

**Design Review & Historic Preservation Board
Agenda
June 9, 2022**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **10 Brook Road**
The Applicant is requesting design review for an addition of a 195 SF seasonal sunroom behind the back of the house.
- **56 Devonwood Lane**
The Applicant is requesting design review for the construction of an approximately 272 SF 3 season room addition off the back of the house.
- **80 N. Country Club Drive**
The Applicant is returning to request design review for the construction of a garage addition off the existing garage and a mudroom addition off the rear of the house.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **33 Aden Hill**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2069 square feet and will be located in the Wilshire Hills Subdivision.
- **53 and 55 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 26 (55 Skylight Trail) will be approximately 1987 sq. ft. and Lot 25 (53 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.
- **29 Coventry Ridge**
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3018 square feet and located in the Coventry Ridge Subdivision.

COMMERCIAL APPLICATION FOR REVIEW – NEW

- **500 Hahnemann Trail**
The Applicant is requesting design review for the construction of an approximately 1200 SF storage building on the Highlands Living Center property.

Design Review and Historic Preservation Board
Minutes
May 26, 2022

PRESENT

David Wigg, Vice Chairman; Jim Vekasy, Kathleen Cristman, Bonnie Salem

ALSO PRESENT

Robert Koegel, Town Attorney; Doug DeRue, Director of Planning and Zoning; Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Dirk Schneider, Chairman; Paul Whitbeck, John Mitchell

HISTORIC PRESERVATION DISCUSSION

Dave Wigg indicated that he and Bonnie Salem marked a location at the East Street Burying Ground for the location of the historical marker. A utility stakeout will be called in to Dig Safely before installation. It was discussed that a more formal dedication will occur at a later date.

The Board discussed the desire to continue with the project of putting more information on the website for historic homes in Pittsford.

RESIDENTIAL APPLICATION FOR REVIEW

• **21 Warder Drive**

The Applicant is requesting design review for the construction of an approximately 156 SF new addition to the garage off the front of the house and raise the front porch overhang from the first floor to the second floor.

The homeowner, Monir Hussain, was present.

Mr. Hussain described his plan of raising the front porch to tie into the second floor roof. The pitch of the roof will not change.

Questions were raised regarding the materials to be used. The columns will be rounded as in the drawing submitted to the Town on 5/9/22. Mr. Hussain showed the Board a picture of what this will look like.

David Wigg moved to approve the application with the drawing dated on 5/9/22 otherwise as submitted.

Kathleen Cristman seconded.

All Ayes.

• **37 Briar Patch Road**

The Applicant is requesting design review for the construction of an approximately 116 SF addition to the first floor in the rear of the house and to raise the second floor roof for additional living space.

The architect, Chris Costanza, was present to represent the homeowner.

Mr. Constanza discussed the purpose of the project and reviewed the proposed materials with the Board. New shiplap siding made of vinyl and Hardi Board will replace the original siding materials. The existing dark colored asphalt roofing will remain and metal standing seam roofing will be added to the new area to be redone.

Kathleen Cristman moved to approve the application as submitted.

Dave Wigg seconded.

All Ayes.

- **516 Canfield Road**

The Applicant is requesting design review for the construction of a new front overhang entryway including new steps and landing with improved lighting fixtures.

The homeowner, Adam Constantine, was present.

Mr. Constantine discussed the project. He plans to construct a front entry and replace the existing brick/concrete steps with composite decking and improving the lighting with sconces. The peak of the entry will mimic the dormers on the home. The wrought iron railing will be removed. The recommendation was made to add a board at the bottom roofline of the entryway.

Dave Wigg moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **33 Aden Hill**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2069 square feet and will be located in the Wilshire Hills Subdivision.

This application was withdrawn by the applicant and will return at a later date.

- **4000 East Avenue**

The Applicant is requesting design review for the demolition of a two-story guest home and the construction of a new one bedroom, 2-story guesthouse. The house will be approximately 1488 square feet and will have an enlarged shed and attach the shed to the home with a walled patio.

Chuck Smith of Design Works Architecture was present.

Mr. Smith described the project which will involve the demolition of a current guest home on the property and replace with a two story design of similar size and scale to include a wall and courtyard design. The current structure will be closer to Pine Acres than East Street.

It was determined that prior to reviewing any proposed design that, per the Town demolition code enacted in 2021, that the Board should decide what type of review the application should undergo to receive approval for the demolition of the current structure. It was discussed that this structure may be of some historic significance as part of a former hotel which existed on the property. Consultation with the Town historian would be appropriate in this case.

Kathleen Cristman supported the idea that this application be tabled until further information on the structure could be researched. The other Board members concurred.

Bonnie Salem made a motion to move forward with the full demolition plan review process in order to provide more information to assist the Board with their decision.

Kathleen Cristman seconded.

All Ayes.

The full demolition review process will move forward which will involve a public hearing and notification of the public. The Board discussed the potential of a site walk with Doug DeRue.

- **93 Kilbourn Road**

The Applicant is requesting design review for the demolition of the existing home and construction of an approximately 4210 SF ranch style new home with a three-car garage.

The homeowners, Mr. and Mrs. Giangreco, were present. Also attending as attorney, Dan DaLaus, and architect Al Arlotta.

Mrs. Giangreco discussed her proposed plan of demolishing the current structure at 93 Kilbourn Road and building a new stucco ranch style home with a 3 car garage.

Bonnie Salem discussed concerns of the compatibility of the new structure with the current neighborhood and how it may impact the character of the area. She recommended that this demolition review to undergo the full demolition review process. Other Board members concurred with this recommendation.

The Board continued discussion that although they are pleased to see that this proposed structure is one-story, the prominent 3-car garage in front was of concern. They feel also it is important to review the history of the home and need time to do that research. The Board recognizes Kilbourn Road as a prominent street in the Town of Pittsford and wishes to make careful review of any demolition plans as not to permanently change the character of the neighborhood. They also felt it is important to inform neighbors on the street of any proposed changes through the full demolition process and allow public comment.

Bonnie Salem made a motion to proceed with the full demolition review process to obtain further information on the structure to be demolished.

David Wigg seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW – NEW

- **3280 Monroe Avenue – McDonald's**

The Applicant is requesting design review for the addition of two identification signs for McDonalds. The signs will be approximately 14 square feet and 33 square feet.

No representative was present to discuss this application with the Board.

The Board reviewed the rendering of the signage on the building.

Bonnie Salem moved to approve the application as submitted.

Jim Vekasy seconded.

All Ayes.

- **3349 Monroe Avenue - Rosie's Nepalese and Indian Cuisine**

The Applicant is requesting design review for the addition of an approximately 17 SF sign for a new restaurant.

Amy Catalano of Vital Signs was present to discuss the application with the Board.

The business will replace the former Five Guys retail space.

The sign will be a channel letter lit sign with a depth of 5" for the letters. The dimensions are in compliance with the Town sign code.

It was discussed that there are many different types of signs in the plaza so this sign would not be out of character.

Kathleen Cristman moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

REVIEW OF MINUTES OF MAY 12, 2022 MEETING

Kathleen Cristman moved to accept the minutes of the May 12, 2022 meeting as written.

Bonnie Salem seconded.

All Ayes.

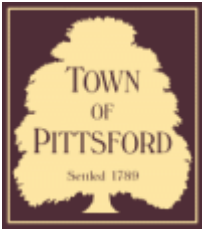
ADJOURNMENT

David Wigg moved to close the meeting at 7:35 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000069

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 10 Brook Road PITTSFORD, NY 14534

Tax ID Number: 151.17-2-31

Zoning District: RN Residential Neighborhood

Owner: Sullivan, Deborah C

Applicant: Sullivan, Deborah C

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: The applicant is requesting design review for an addition of a 195sf seasonal sunroom behind the back of the house

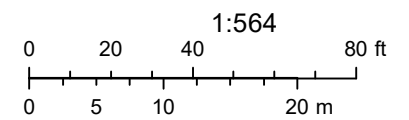
Meeting Date: June 9, 2022



RN Residential Neighborhood Zoning



Printed April 21, 2022



Town of Pittsford GIS

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04/03/2021

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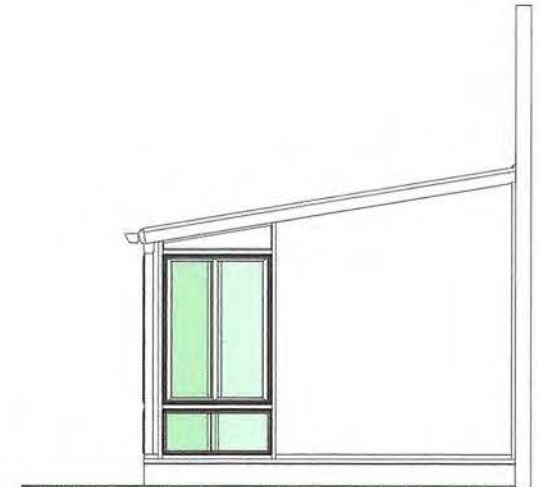
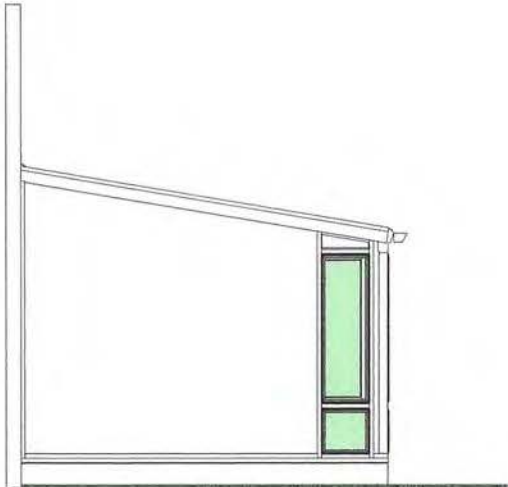
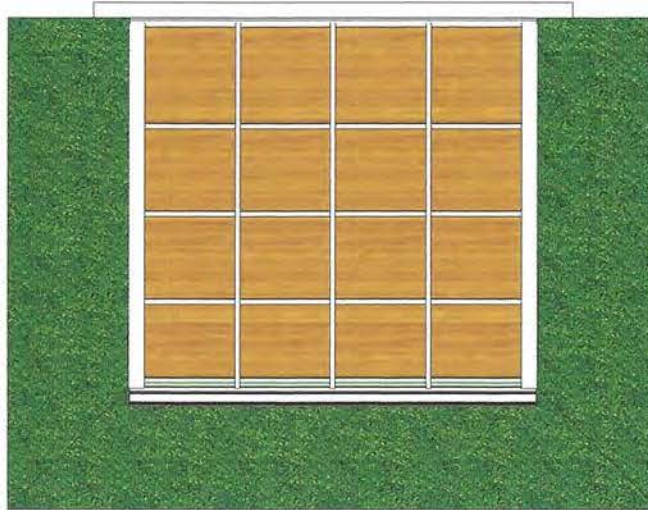


FITCH
DESIGN STUDIO

Scope of Work Sullivan Sunroom Project

Deborah Sullivan
10 Brook Road
Pittsford, NY 14534

- Build a new Sun & Stars seasonal 13' x 15' sunroom
- Move AC outdoor unit
- Six (6) post footings
- Header insulated floor system
- Cricket
- Flashing
- Install header for new trim out doorway
- Exterior of walls will be vinyl siding with vinyl skirting below floor system
- Interior drywall ready for paint
- Sunroom 1-4' double casement, 2-6' double casement, gable glass



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 CONSTRUCTION, INC.
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Fitch Construction Inc.
 7278 Pittsford-Palmyra Road
 Fairport NY 14450
 My address line 3
 Cell: (585)370-2876
 office: (585)377-3330
 matt@fitchconstruction.com

Contract Number	
Order Number	
Customer Reference	
Draughts Person	Matthew Brodman
Process Date	04/02/2022
Site Zip Code	14534
Customer Name	Deb Sullivan



Order Agreement:

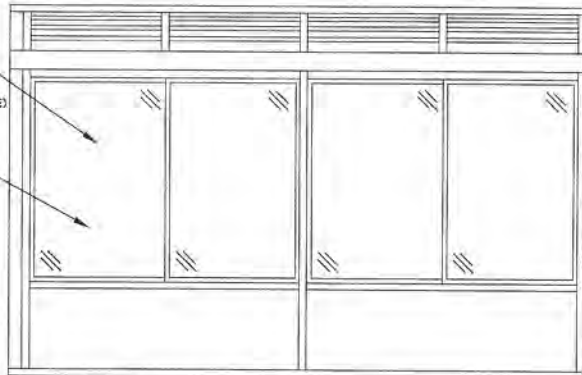
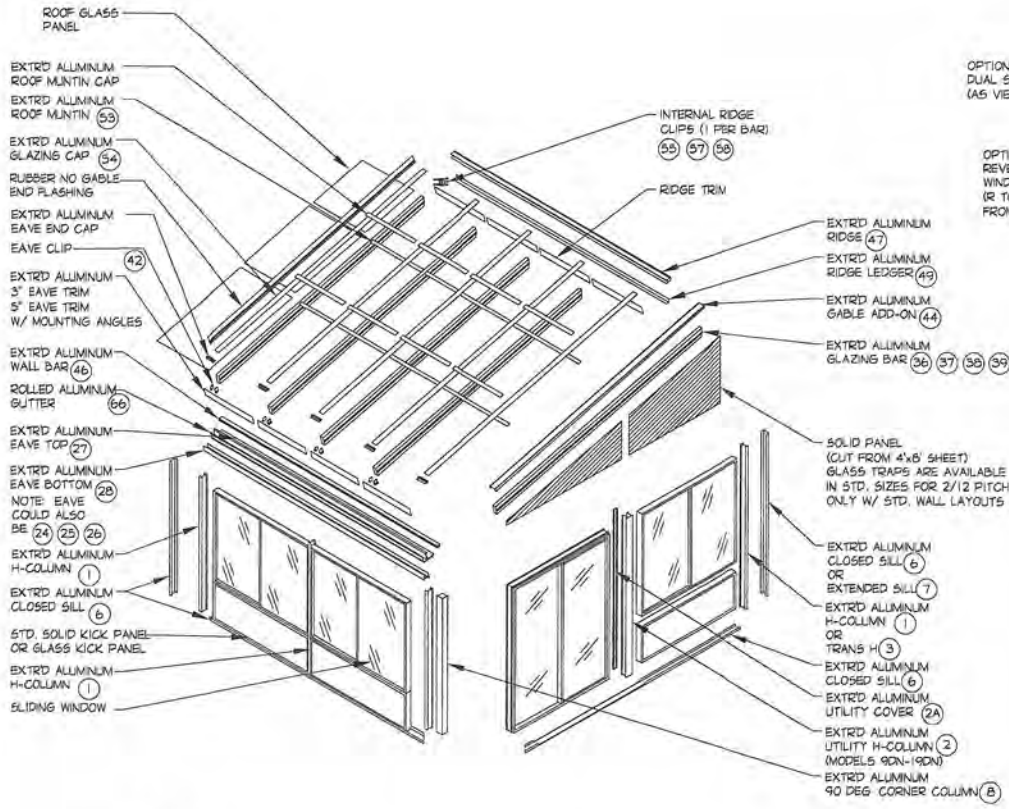
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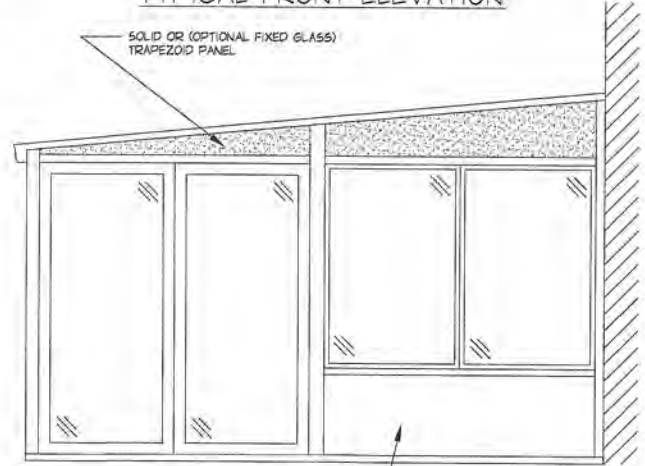
Customer: Deb Sullivan
10 Brook Road
Client address line 2
Pittsford NY 14534 - NY - 14534

Home Phone: Tel : Client Tel No
Work Phone: Fax : Client Fax No
Mobile:
Email: Client email address

1.2	Elevation 2	Specification
1.3	Elevation 3	Specification



TYPICAL FRONT ELEVATION



TYPICAL GABLE ELEVATION

NOTE:
1. SEE DRAWINGS "GENERAL-03" THROUGH "GENERAL-06" FOR ALL ITEM NUMBERS. (X)

NOTE!
CALCULATIONS SHALL BE PREPARED BY A DESIGN PROFESSIONAL AND SUBMITTED TO THE BUILDING OFFICIAL DEMONSTRATING THE DESIGN SNOW LOADS DO NOT EXCEED THE ALLOWABLE ROOF SNOW LOADS SPECIFIED ON THE PLANS. AND THAT CALCULATIONS SHALL ADDRESS THE SNOW LOAD PREVISION OF IBC SECTION 1608 INCLUDING, BUT NOT LIMITED TO, RAIN-ON-SNOW SURCHARGE LOAD, UNBALANCED SNOW AND SNOW DRIFT. (AC 340 SECTION 5.5)

230 SUN & STARS
STRAIGHT EAVE MODEL
IAPMO EVALUATION REPORT
R0110



FOUR SEASONS SOLAR PRODUCTS, LLC.
5005 VETERANS MEMORIAL HIGHWAY
HOLBROOK, NEW YORK 11741
DESIGNERS AND MANUFACTURERS
OF FOUR SEASONS SUNROOMS



DRAWING TITLE

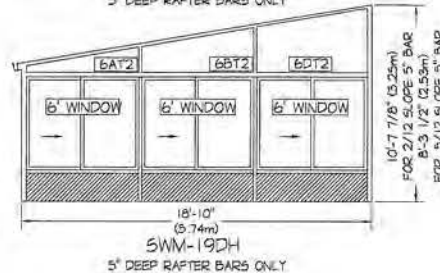
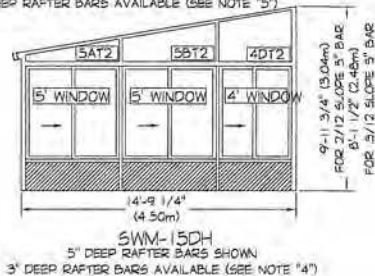
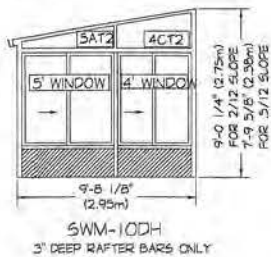
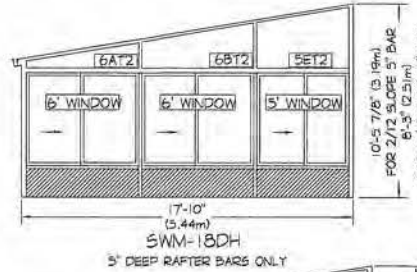
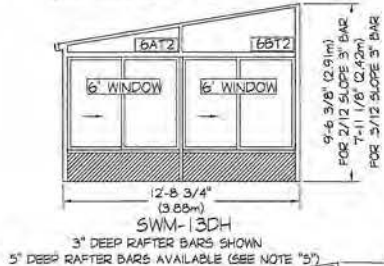
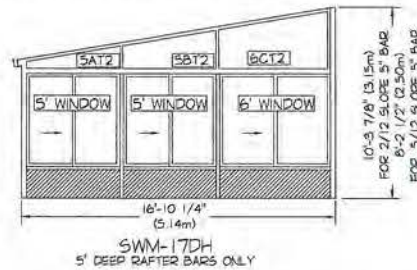
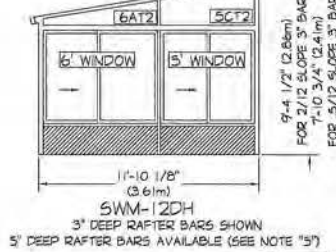
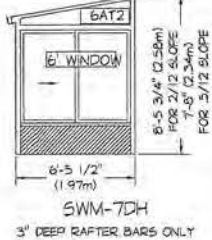
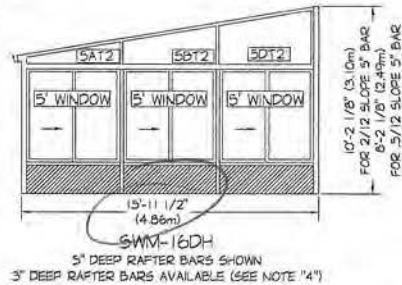
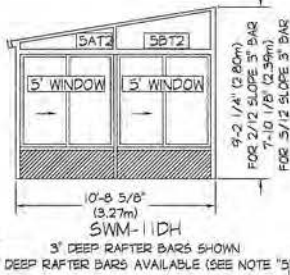
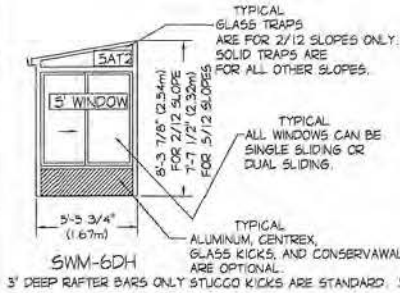
SERIES 230 SUN & STARS
STRAIGHT EAVE DESIGN

REV. No.	DATE	BY
1	2-10-14	RD
2	12-31-15	RD
3	10-1-18	RD
4	9-24-19	RD

REVIEWED BY: AS
DWG. BY: RD
DATE: 1-10-11
JOB#:
STARSTR-01

GABLE WINDOW LAYOUT

2
9.46 DEG SHOWN



SERIES 230 SUN & STARS STRAIGHT EAVE MODEL CONFIGURATION

ROOM MODEL	UNIT WIDTH	UNIT PROJECTION	RIDGE HEIGHT 2/12 SLOPE 3' BAR	RIDGE HEIGHT 2/12 SLOPE 5' BAR	RIDGE HEIGHT 3/12 SLOPE 3' BAR	RIDGE HEIGHT 3/12 SLOPE 5' BAR
SWM-6DH	SEE NOTE 1	5'-5 3/4"	8'-3 7/8"	NA	7'-7 1/2"	NA
SWM-7DH	SEE NOTE 1	6'-5 1/2"	8'-5 3/4"	NA	7'-8"	NA
SWM-9DH	SEE NOTE 1	8'-7 1/2"	8'-10 1/8"	NA	7'-9 1/8"	NA
SWM-10DH	SEE NOTE 1	9'-8 1/8"	9'-0 1/4"	NA	7'-8 5/8"	NA
SWM-11DH	SEE NOTE 1	10'-8 5/8"	9'-2 1/4"	8'-3 9/16"	7'-10 1/8"	7'-11 7/16"
SWM-12DH	SEE NOTE 1	11'-10 1/8"	9'-4 1/2"	8'-3 13/16"	7'-10 3/4"	8'-0 1/16"
SWM-13DH	SEE NOTE 1	12'-8 3/4"	9'-6 3/8"	8'-7 1/16"	7'-11 1/8"	8'-0 7/16"
SWM-15DH	SEE NOTE 1	14'-9 1/4"	9'-10 7/16"	8'-11 3/4"	8'-0 3/16"	8'-1 1/2"
SWM-16DH	SEE NOTE 1	15'-11 1/2"	10'-0 13/16"	10'-2 1/8"	8'-0 13/16"	8'-2 1/8"
SWM-17DH	SEE NOTE 1	16'-10 1/4"	NA	10'-3 7/8"	NA	8'-2 1/2"
SWM-18DH	SEE NOTE 1	17'-10"	NA	10'-5 7/8"	NA	8'-3"
SWM-19DH	SEE NOTE 1	18'-10"	NA	10'-7 7/8"	NA	8'-3 1/2"

- NOTE:
- UNIT WIDTH VARIES DEPENDING UPON NUMBER OF BAYS. BAY SPACING IS EITHER 30 5/8" O.C. OR 36 5/8" O.C. (SEE DWG. STARSTR-03).
 - DIMENSION FROM C/L OF BAR TO OUTSIDE FACE OF SILL + 4 1/2" (WITH GABLE END), 1 1/2" (NO GABLE END). (SEE DWG. STARSTR-03)
 - ALL RIDGE HEIGHTS BASED ON 80-15/16" UNDERSIDE OF EAVE HEIGHT. THESE HEIGHTS CAN VARY WITH THE USE OF TRANSOMS & DIFFERENT SIZED KICK PANELS.
 - WHEN DETERMINING THE RIDGE HEIGHTS, USING THE 3' DEEP RAFTER BARS, SUBTRACT 1-5/16" FROM THE RIDGE HEIGHTS SHOWN. (ON MODELS 15 THROUGH 16 ONLY)
 - WHEN DETERMINING THE RIDGE HEIGHTS, USING THE 5' DEEP RAFTER BARS, ADD 1-5/16" TO THE RIDGE HEIGHTS SHOWN. (ON MODELS 11 THROUGH 13 ONLY.)
 - THE GLASS TRAPAZOIDS HAVE BEEN DESIGNED TO WORK WITH BOTH THE 3' DEEP BARS AND THE 5' DEEP BARS.



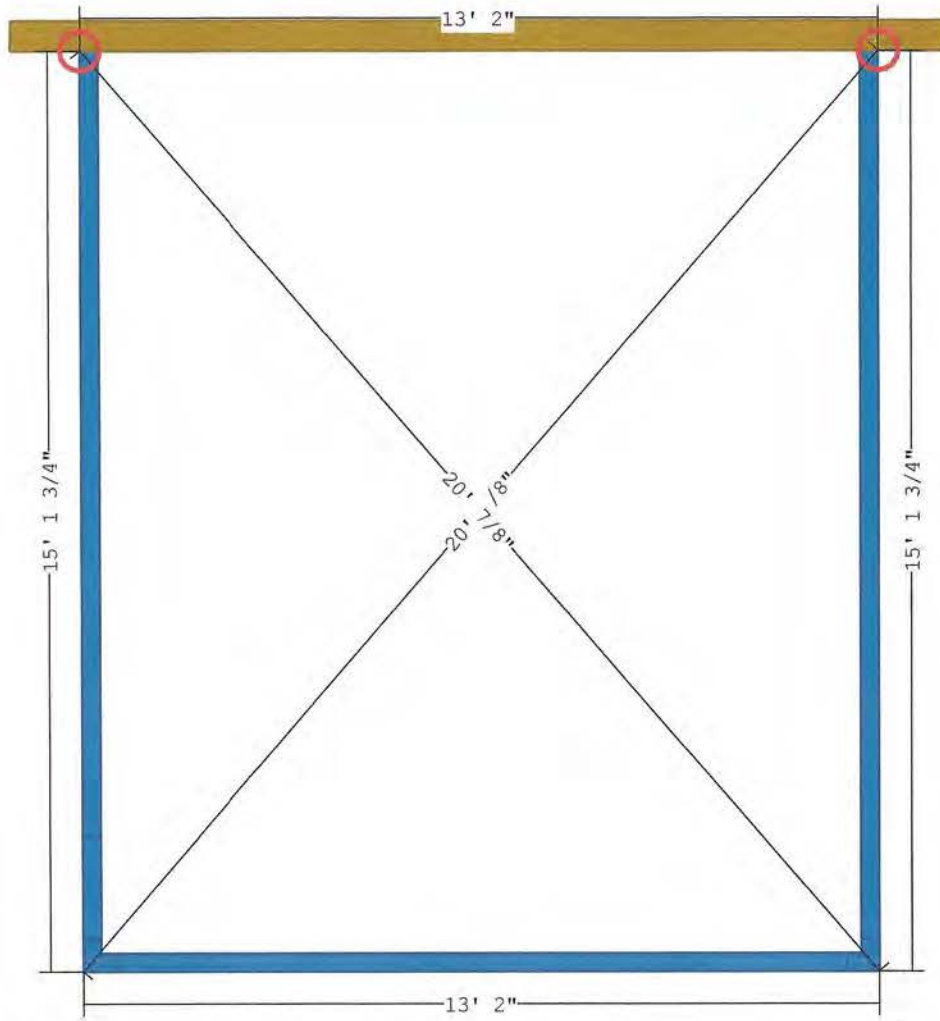
FOUR SEASONS SOLAR PRODUCTS, LLC.
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HOLBROOK, NEW YORK 11741
DESIGNERS AND MANUFACTURERS
OF FOUR SEASONS SUNROOMS



DRAWING TITLE
SERIES 230 SUN & STARS
STRAIGHT EAVE DESIGN

REV. No.	DATE	BY
1	2-16-14	RB
2	12-5-15	RB
3	0-1-18	RB
4	8-24-19	RB

REVIEWED BY: AS
DWG. BY: RD
DATE: 1-10-11
JOB#: STARSTR-02

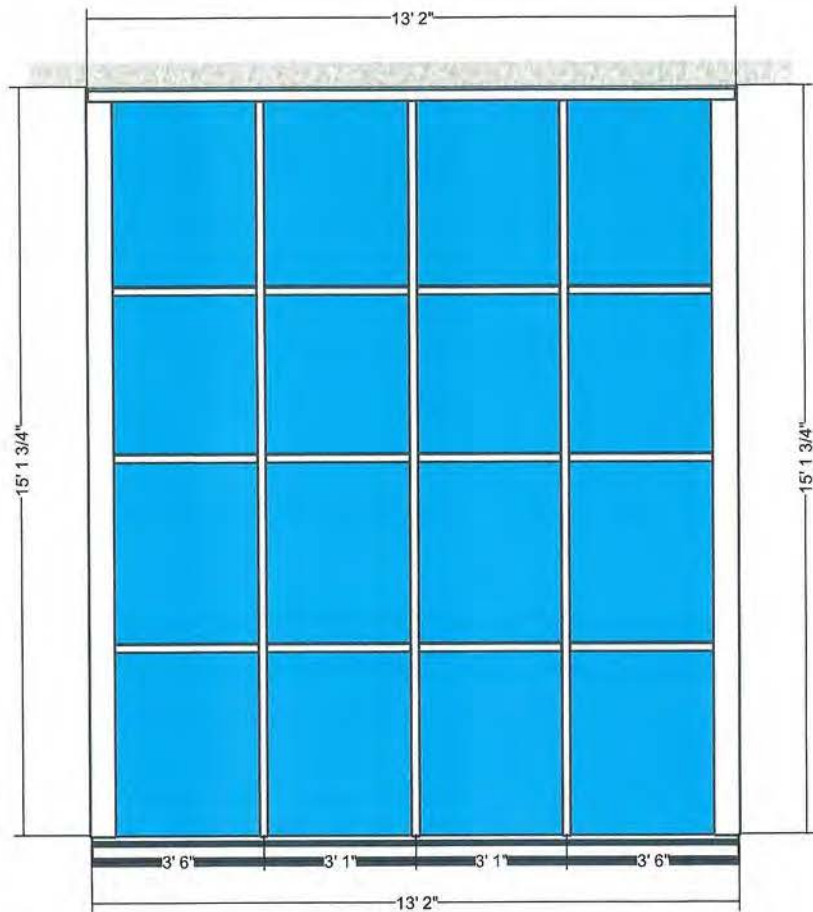


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Fitch Construction Inc.
 7278 Pittsford-Palmyra Road
 Fairport NY 14450
 My address line 3
 Cell: (585)370-2876
 office: (585)377-3330
 matt@fitchconstruction.com

Contract Number	
Order Number	
Customer Reference	
Draughts Person	Matthew Brodman
Process Date	-
Site Zip Code	14534
Customer Name	Deb Sullivan



Profile colour	White
Product	All Seasons
Glazing type	NXT
Roof glazing type	Standard
Add grills to windows / doors	No
Add breather tubes	No
Wall type	No upper transom
Kick panel type	Glass
Transom / trap type	Only gables solid
Rafter type	3" Light
Post type	Standard
Conservadeck	No
IAMPO and ICC tests switched off	
Top of frame to U/S ridge	3' 4 11/16"
Top of frame to top of ridge	3' 4 11/16" (Excl Crest)
Roof slope	9.5°

1. All dimensions relating to perimeter are to internal face of supporting frames or face of host building unless otherwise stated.
2. The support structure for this roof must provide the necessary lateral and axial stability in accordance with the relevant British Standards. Guidance if required should be sought from your frame supplier.

Please check the specification and dimensions shown herewith with care and confirm your acceptance by signing here
 SIGNED : _____ DATED : _____
 If you are unsure of any detail appearing herewith please query with My Company roof department. Tel ???? ?????? Fax ???? ??????

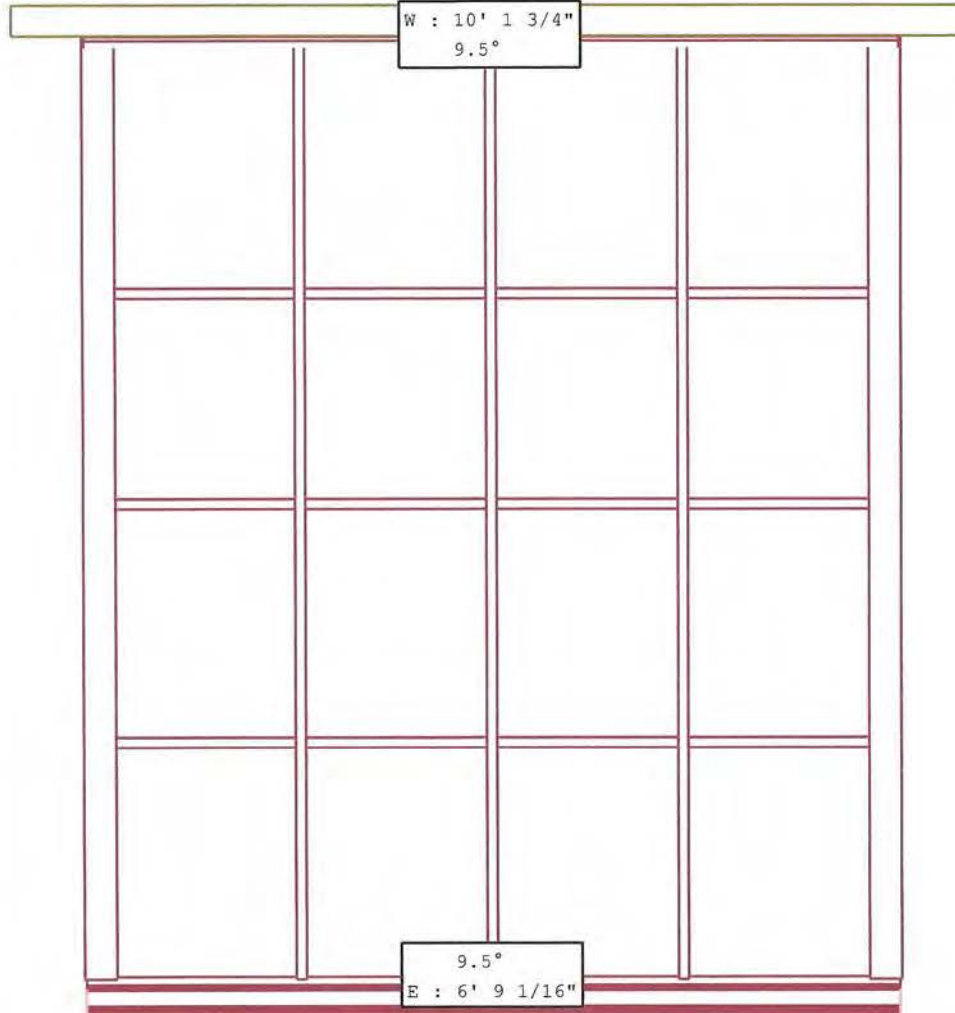


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 Fairport NY 14450
 My address line 3
 Cell: (585)370-2876
 office: (585)377-3330
 matt@fitchconstruction.com

Contract Number
 Order Number
 Customer Reference
 Draughts Person Matthew Brodman
 Process Date -
 Site Zip Code 14534
 Customer Name Deb Sullivan



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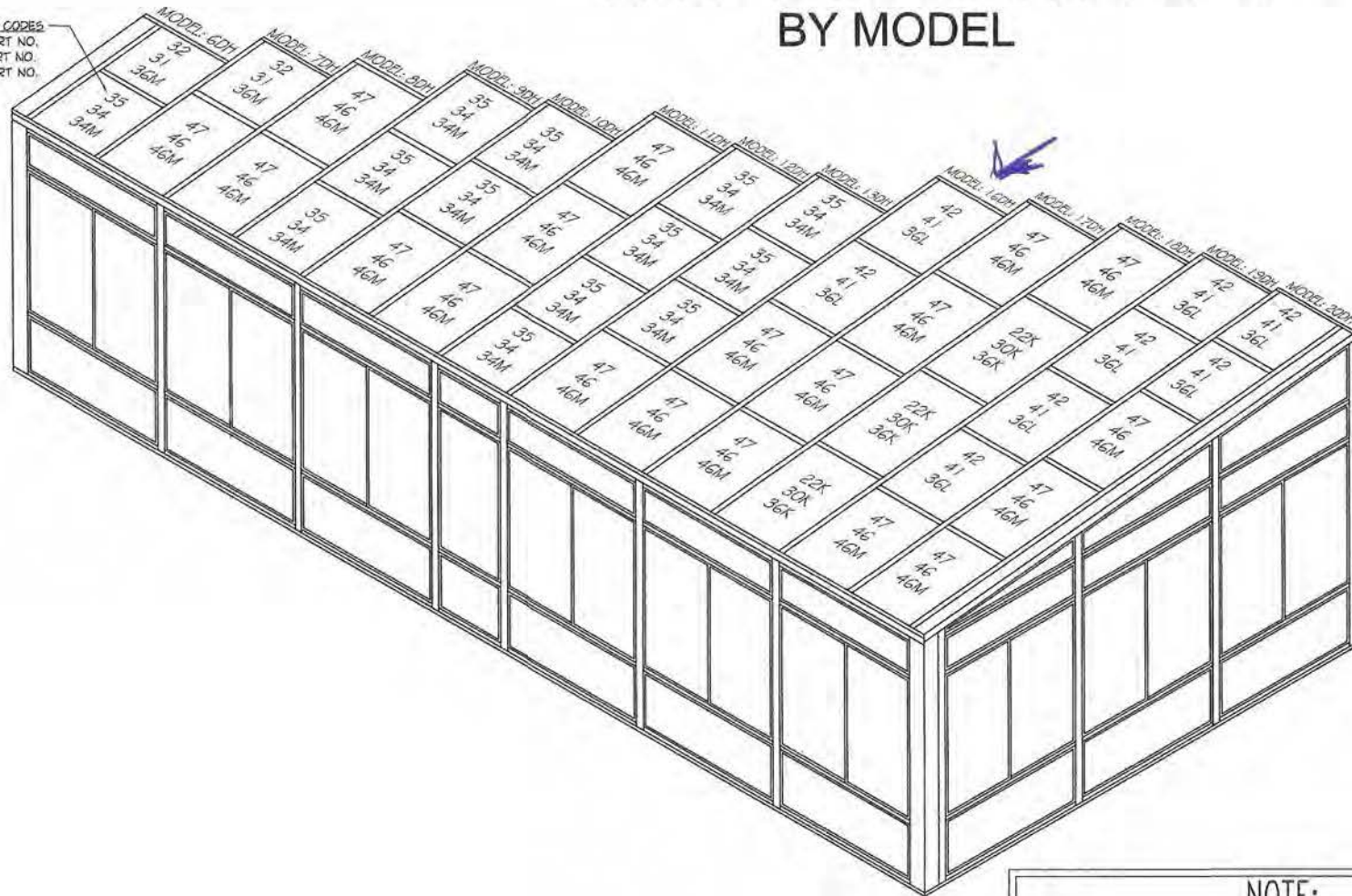
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 matt@fitchconstruction.com

Contract Number	
Order Number	
Customer Reference	
Draughts Person	Matthew Brodman
Process Date	-
Site Zip Code	14534
Customer Name	Deb Sullivan

ROOF GLASS CONFIGURATION BY MODEL

GLASS SIZE CODES
23" BAY PART NO.
31" BAY PART NO.
37" BAY PART NO.



NOTE:
THESE DRAWINGS ARE PROVIDED FOR GENERAL ASSEMBLY, STANDARD SIZES, AND PART IDENTIFICATIONS ONLY. FOR ALL ENGINEERING AND PERMIT PURPOSES SEE IAPMO/GENERIC ENGINEERING OR JOB SPECIFIC ENGINEERING DRAWINGS AND CALCULATIONS.

NO.	REVISION	DATE

ADDITION 365
ASSEMBLY SHOP
DRAWINGS ONLY

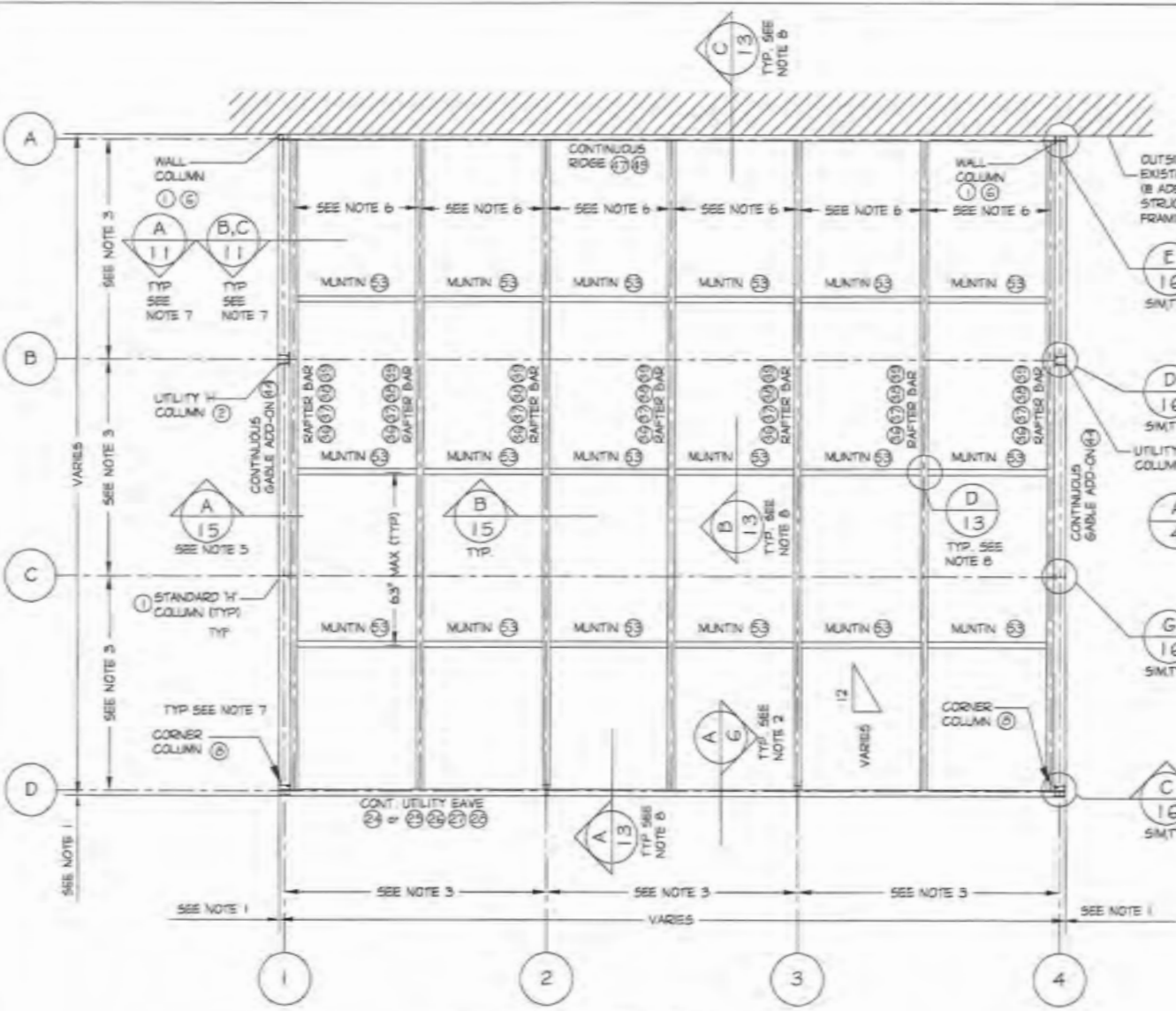
FOUR SEASONS
SUNROOMS & WINDOWS
5005 Veterans Memorial Hwy.
Holbrook, NY 11741

GLASS LEAN-TO
ROOF GLASS CONFIGURATIONS

DRAWN	
DESIGNED	
DATE	
SCALE	
JOB NO.	
FILE NAME	
DRAWING	



FOUR SEASONS SOLAR PRODUCTS, LLC,
 5005 VETERANS MEMORIAL HIGHWAY
 HOLBROOK, NEW YORK 11741
 DESIGNERS AND MANUFACTURERS
 OF FOUR SEASONS SUNROOMS



A STRAIGHT EAVE ROOF FRAMING PLAN
 SCALE: 3/8"=1'-0"

- NOTE:
1. DIM. TO OUTSIDE FACE OF WALL.
 2. WALL SECTIONS VARY DEPENDING UPON MODEL CONFIGURATION, SEE SHEETS 6 THRU 10 FOR ADDITIONAL OPTIONS.
 3. COLUMN SPACING VARIES DEPENDING UPON WINDOW & DOOR SIZES & CONFIGURATION. 6'-1 1/2" MAX. ON CENTER SPACINGS.
 4. SEE PAGE 4 "FOUNDATION PLAN" FOR NOTES NOT SHOWN.
 5. APPLIES ONLY WHEN AN EXISTING WALL IS PRESENT.
 6. 30 5/8" & 36 5/8" BAY SPACING VARIES DEPENDING ON ROOM MODEL.
 7. FOR ADDITIONAL OPTIONS SEE SHEET 12.
 8. ALL ROOF SECTION REFERENCE DETAILS WITH 3" GLAZING BARS. FOR 5" GLAZING BARS SEE SHEET 14.

B ROOF PLAN
 SCALE: 3/8"=1'-0"

DRAWING TITLE

SERIES 230 SUN & STARS
 STRAIGHT EAVE DESIGN

REV. No.	DATE	BY
1	3-10-14	RD
2	3-10-14	RD
3	3-10-14	RD
4	3-10-14	RD

REVIEWED BY: AS
 DWG. BY: RD
 DATE: 1-10-11
 JOB#
 STARSTR-05

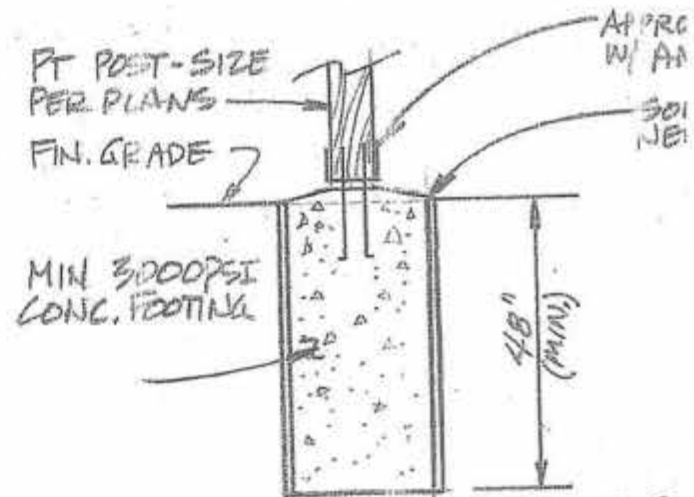
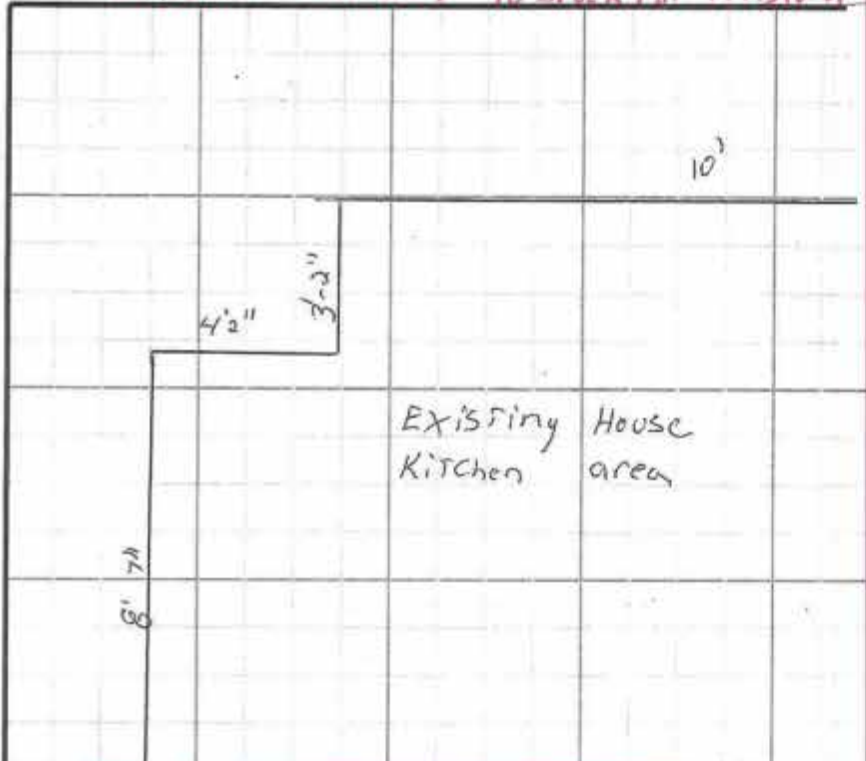


FITCH

CONSTRUCTION, INC.

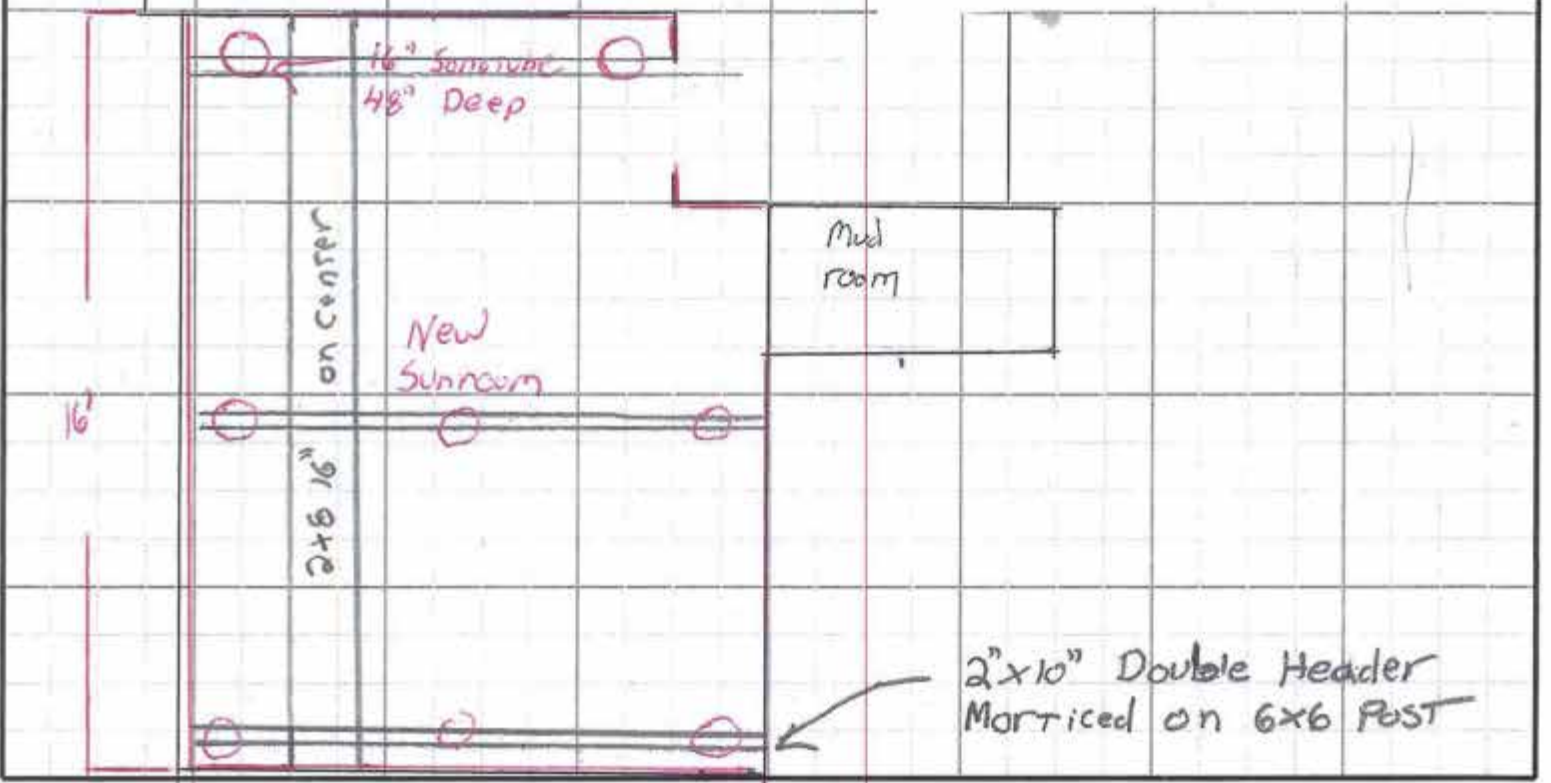
Fresh Ideas for the Good Life

Sullivan Sunroom 10 Brock rd. Pittsford



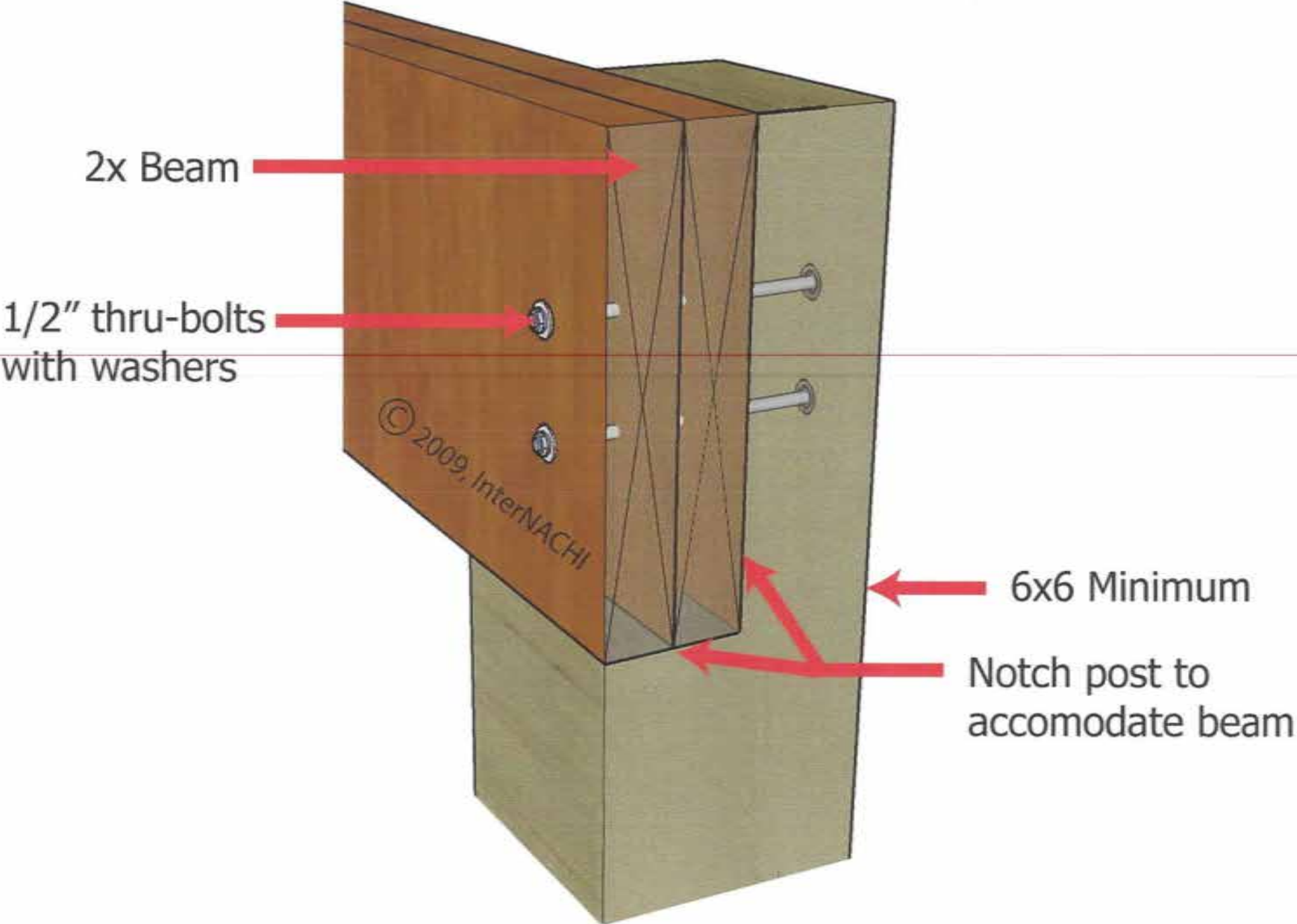
1. FOOTING DESIGN FOR 2000 PSF
2. UPSTATE/ROCHESTER = SEISMIC 2

TYPICAL FOOTING
SCALE: 3/8" = 1'-0"



Simply Better Buildings

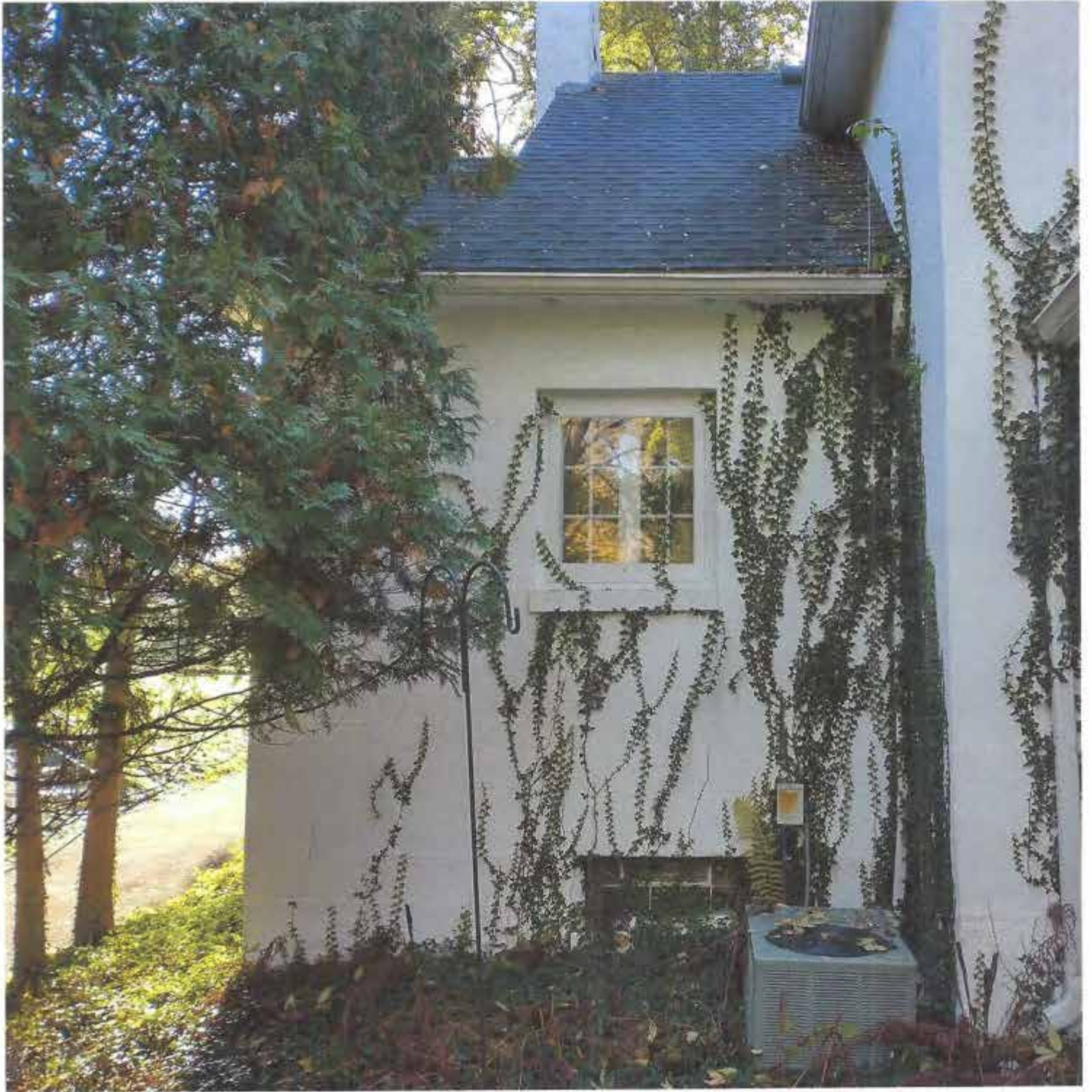
Post to Beam

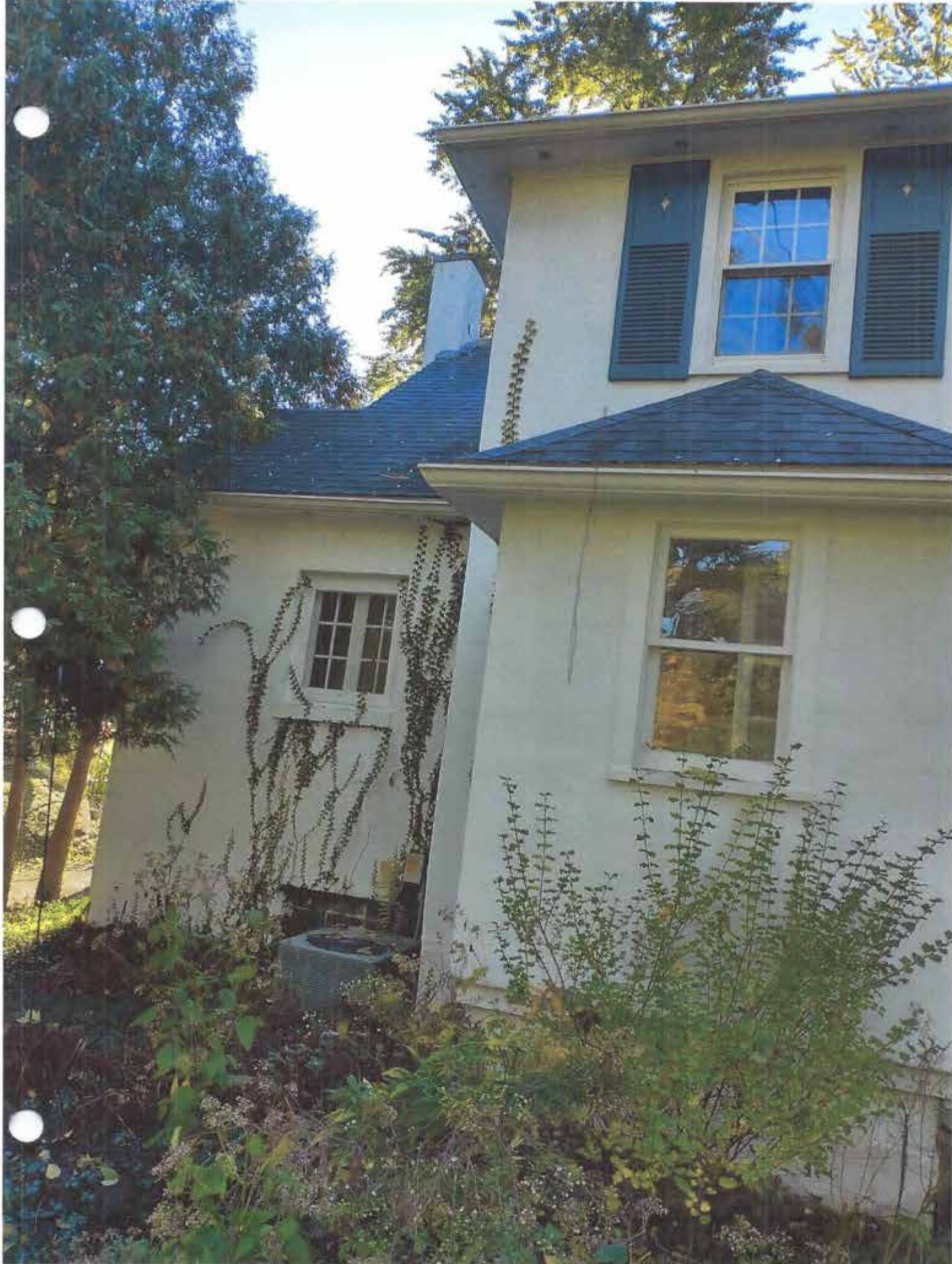


10 Brook Rd, Pittsford, NY



04/03/2021

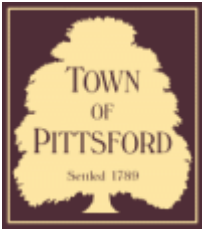












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000090

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 56 Devonwood Lane PITTSFORD, NY 14534

Tax ID Number: 164.17-2-30

Zoning District: RN Residential Neighborhood

Owner: Hobika, Thomas L

Applicant: Hobika, Thomas L

Application Type:

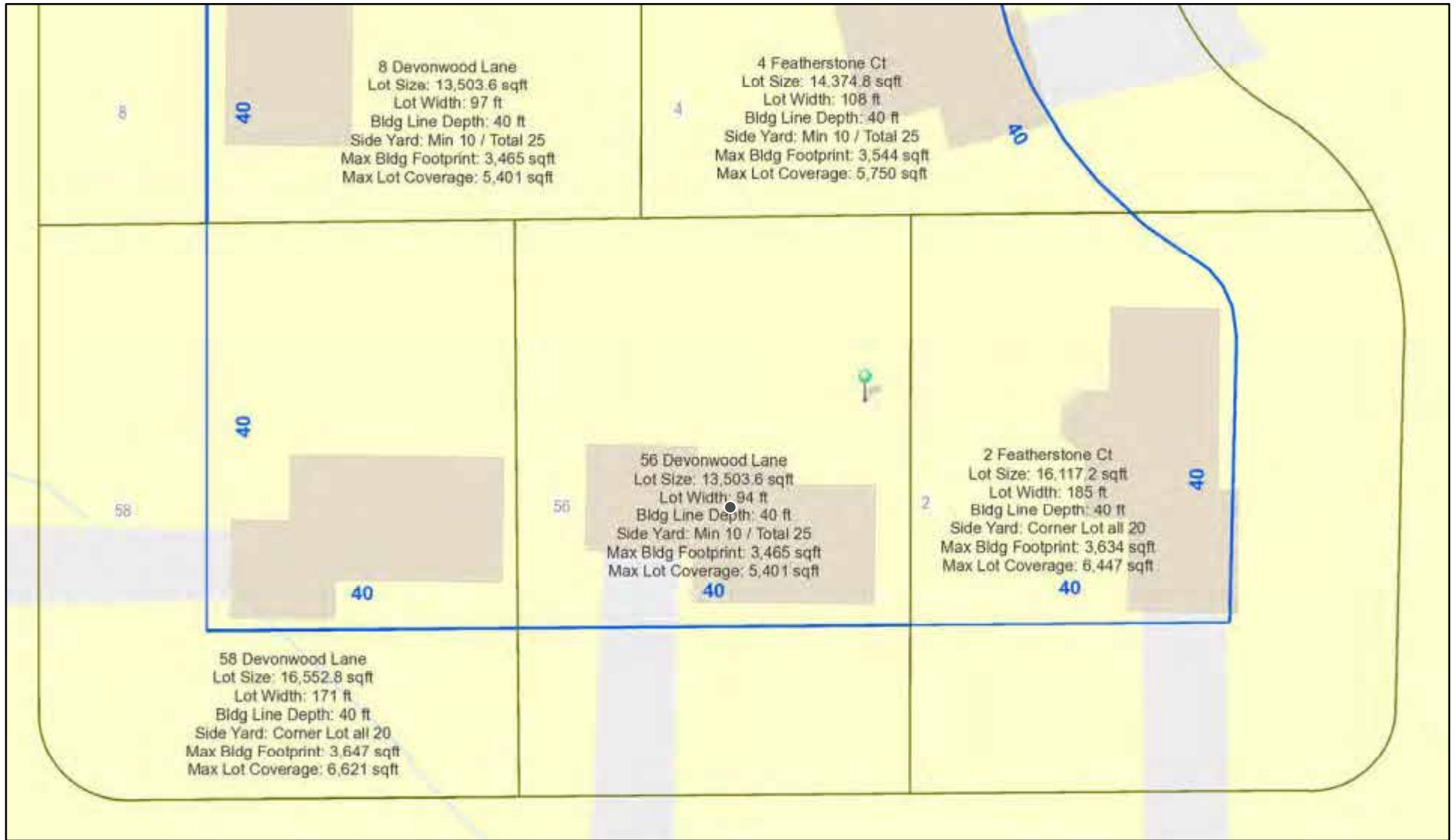
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of an approximately 272 SF 3 seasonroom addition off the back of the house.

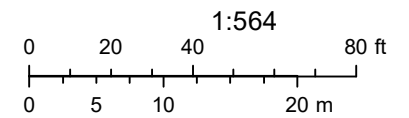
Meeting Date: June 09, 2022



RN Residential Neighborhood Zoning



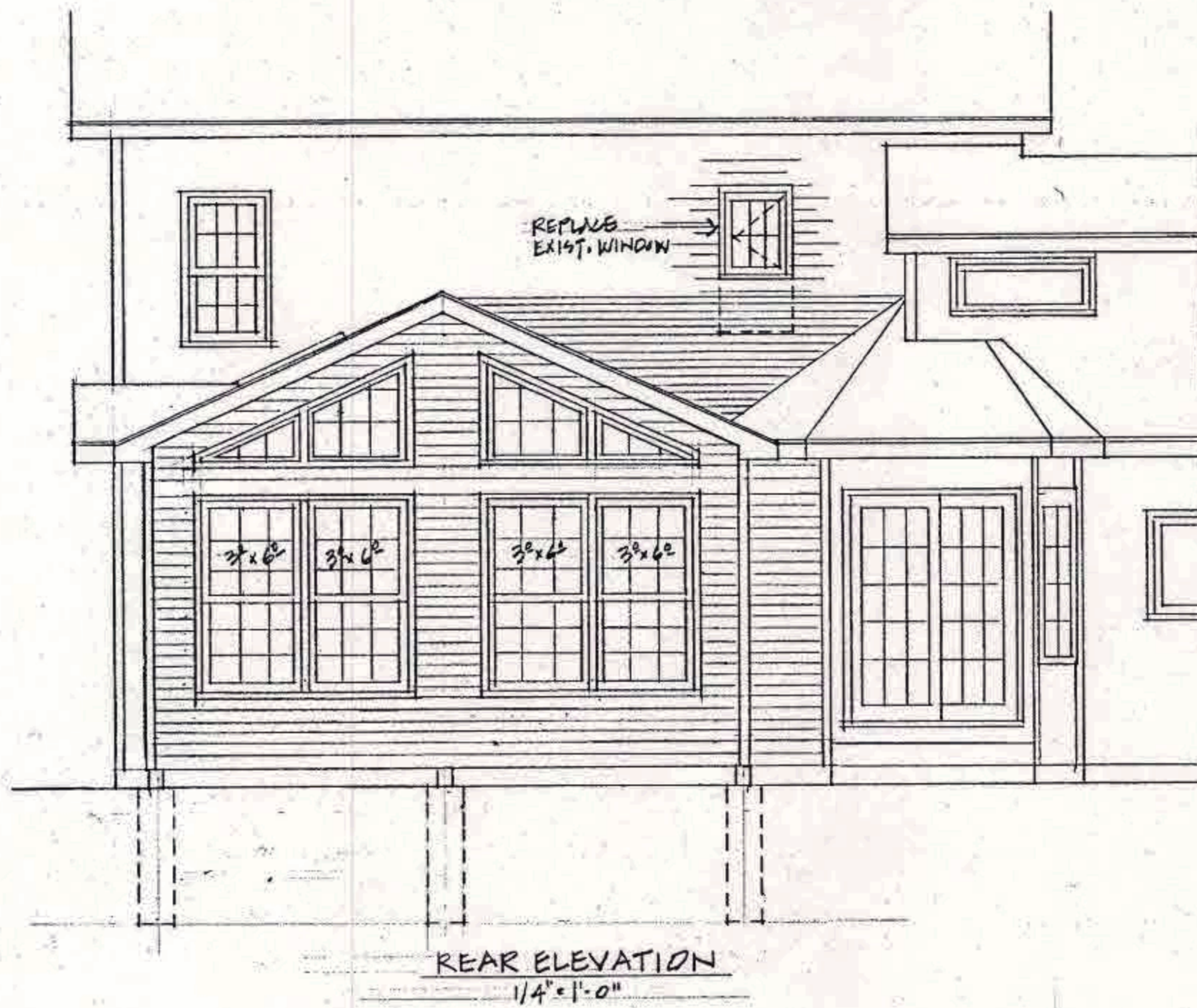
Printed May 31, 2022



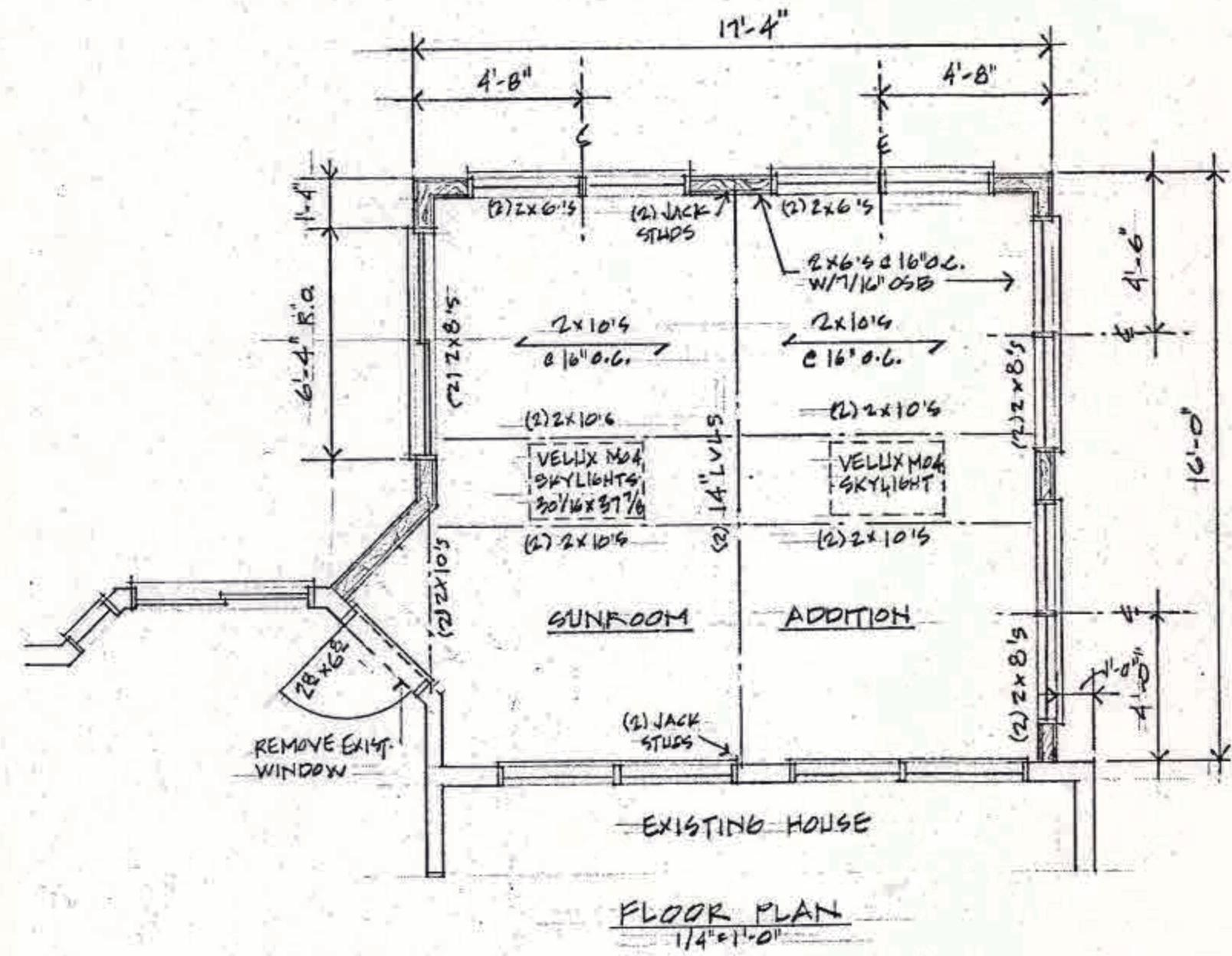
Town of Pittsford GIS

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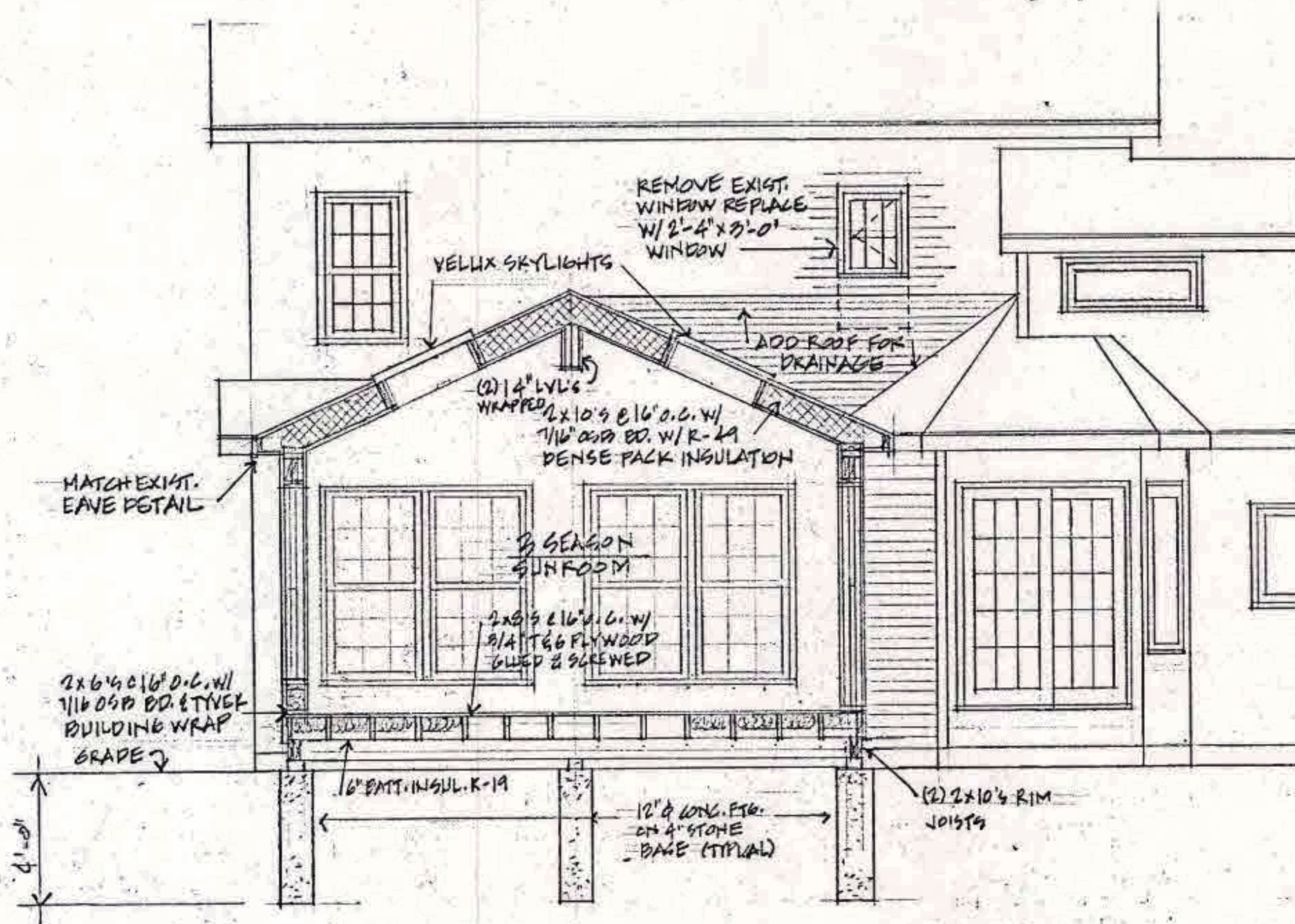




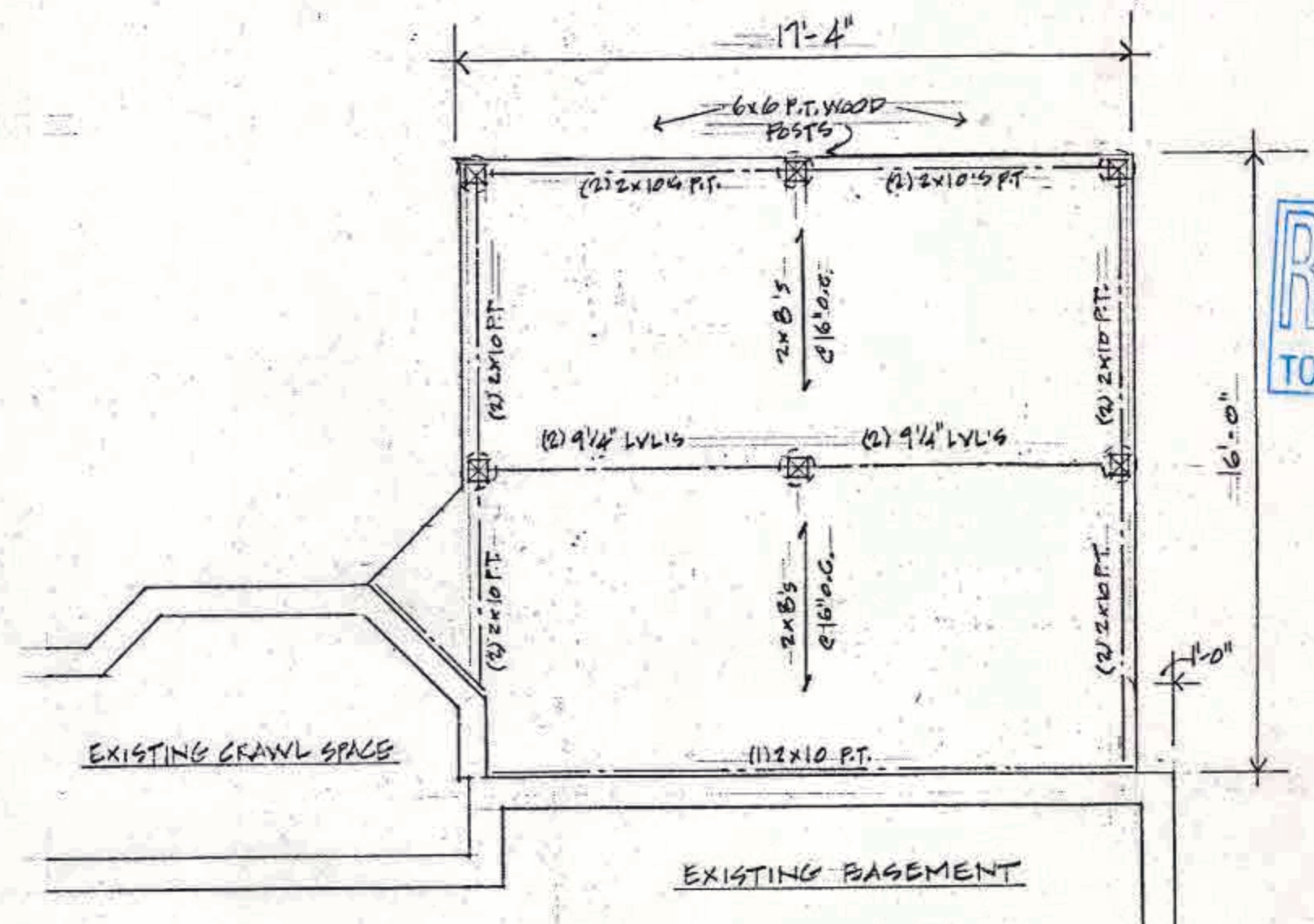
REAR ELEVATION
1/4" = 1'-0"



FLOOR PLAN
1/4" = 1'-0"



BUILDING SECTION
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"



Nehemiah Design
90 Winding Creek Lane
Rochester, New York 14625
585-746-5943



Hobika Sun Room Addition
56 Devonwood Lane, Pittsford, New York 14534
Contractor: Cornell Construction Design
P.O. Box 18532, Rochester, New York 14618

Foundation Plan
First Floor Plan
Building Section
Rear Elevation

General Attachment of Ledger Board to Band Joist or Rim Joist.

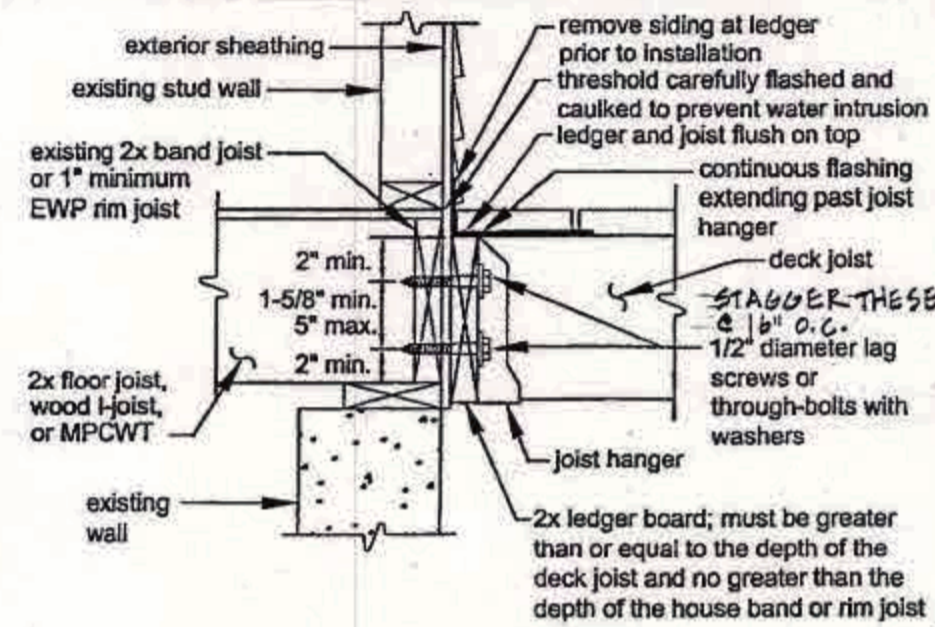
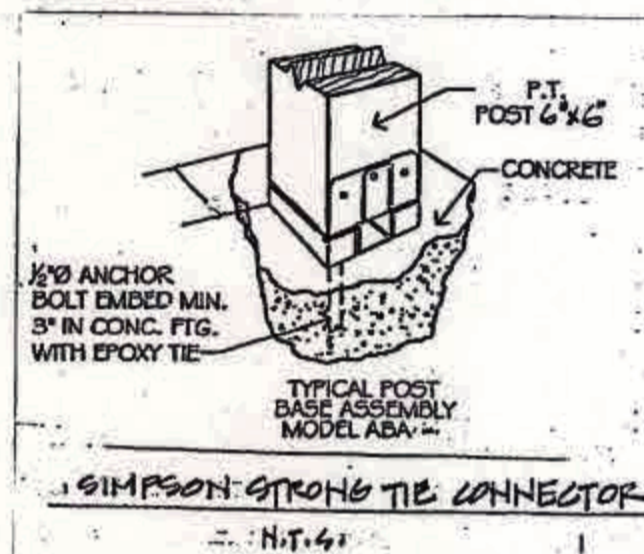
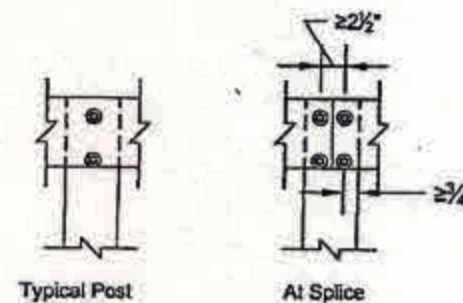
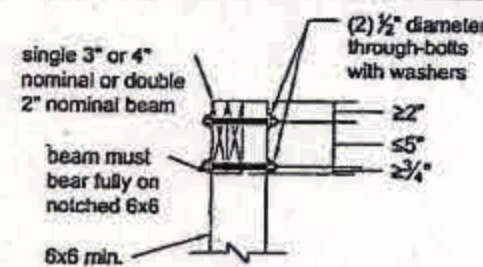


Figure 8A. Post-to-Beam Attachment Requirements.



General Notes:

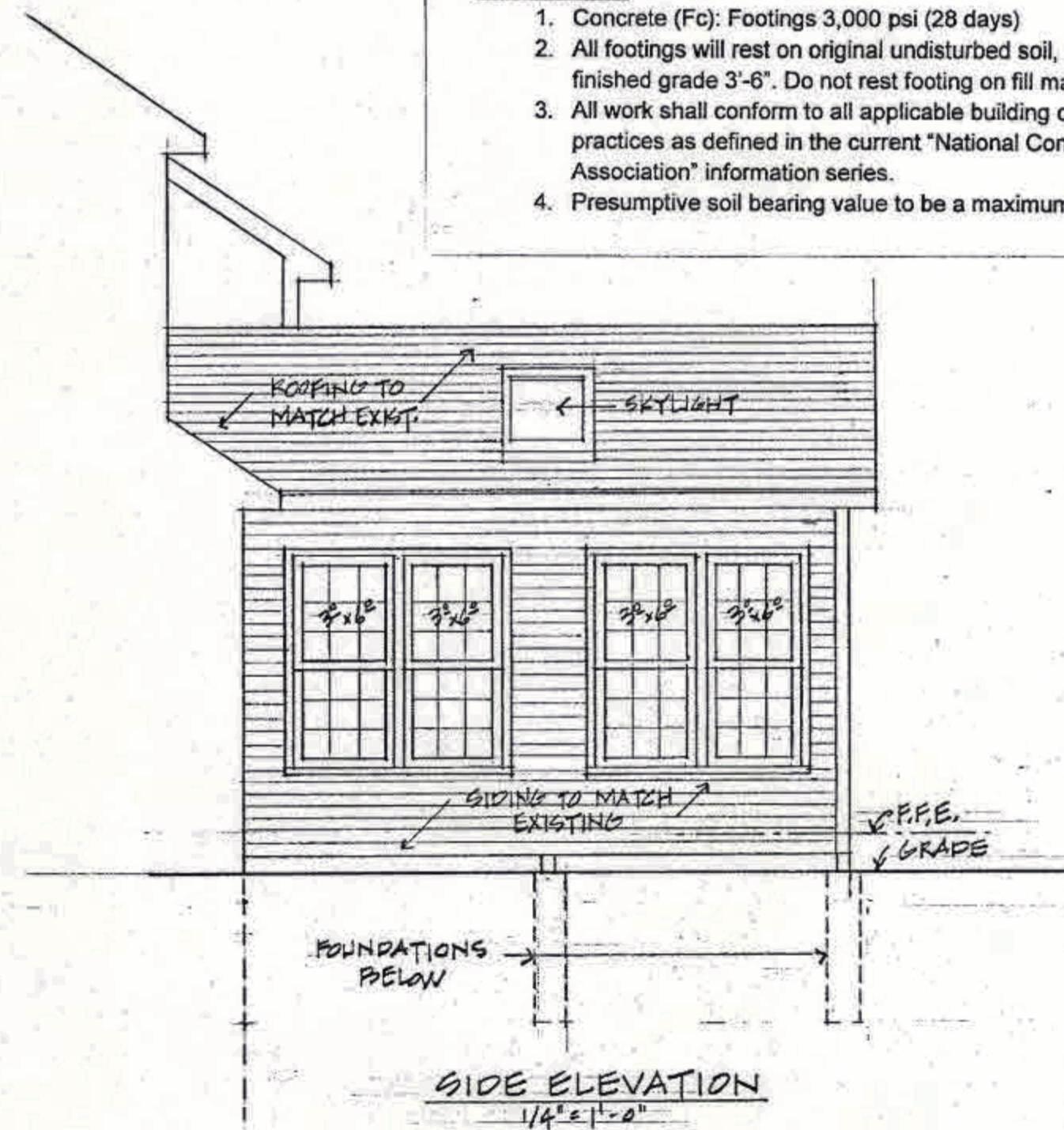
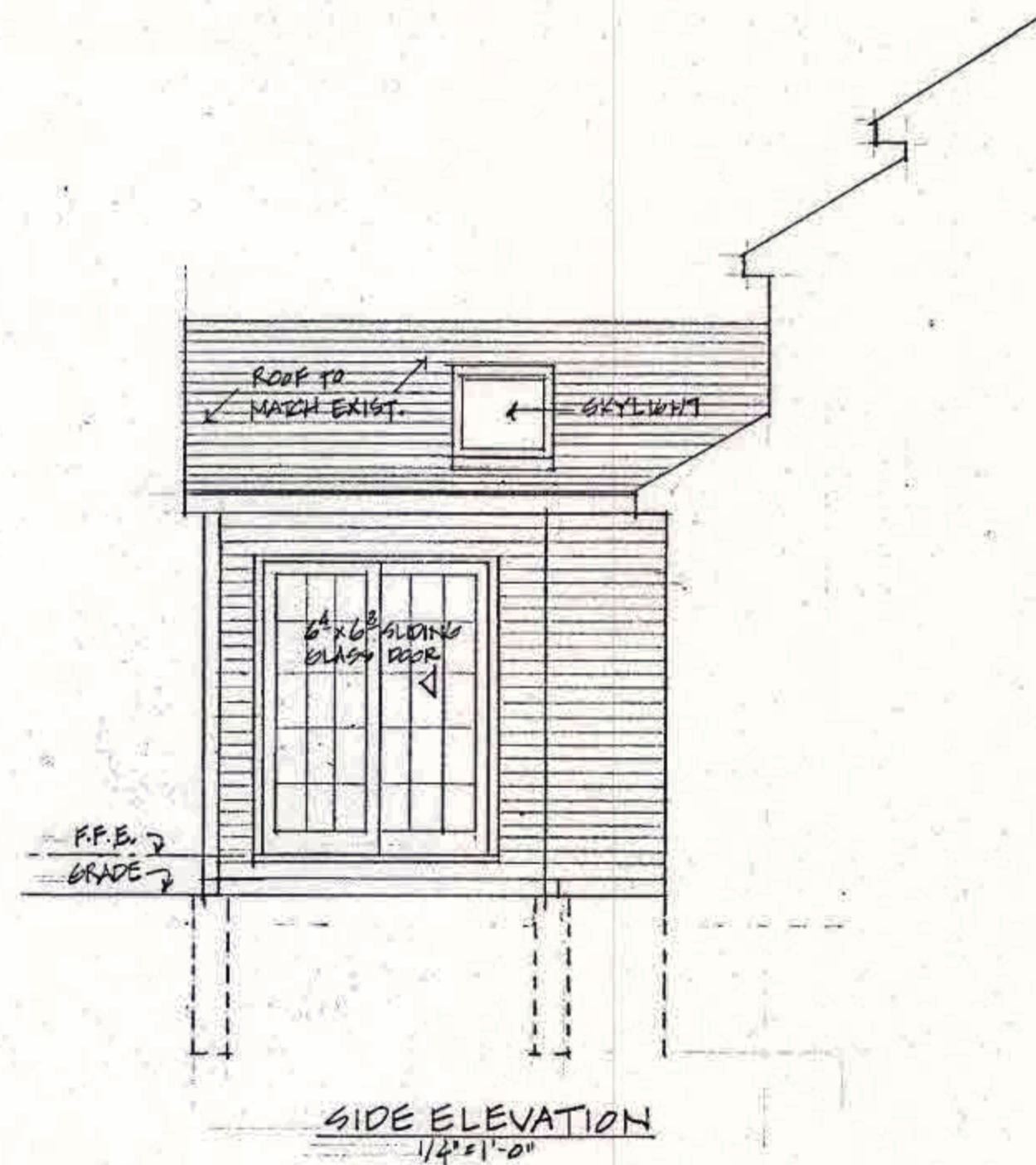
1. Use minimum Hem Fir #2 (or better) for all dimensional lumber for joists, headers and beams unless noted and all LVL material min. E = 2.0 (or better).
2. Contractor to verify all notes and dimensions before starting construction.
3. Contractor to be responsible for construction means, methods, techniques, sequence or procedures and safety precaution programs in connection with the work.
4. The contractor shall indemnify the owner and his agents through adequate insurance coverage against any claims.
5. No mechanical, plumbing or electrical design is included in these drawings. These systems are to be designed and installed to meet or exceed applicable codes.
6. Finishes and exterior materials are to be approved by the owner.
7. Windows have been sized based on Anderson series windows. Substitutions are to be approved by owner.
8. Insulation as required for exterior wall construction per zone 5 R-21 in 2x6 exterior walls R-49 roof insulation
9. Use 2x6 wood studs @16" o.c. at all installed exterior walls, unless otherwise noted or shown.
10. All wall and floor systems are to be fire-stopped per applicable code.
11. Dimensions shown on floor plans are to rough framing dimensions and doors and windows are to opening centerline.
12. Use 2 jack studs at headers supporting greater than 6' span.
13. Skylight - Velux Skylight #MO4, 30 1/16" x 37 7/8"

Energy Statement:

1. This addition complies with the 2020 International Residential Building Code with the New York State amendments for insulation and fenestration.

Masonry Note:

1. Concrete (Fc): Footings 3,000 psi (28 days)
2. All footings will rest on original undisturbed soil, minimum depth below finished grade 3'-6". Do not rest footing on fill material of any kind.
3. All work shall conform to all applicable building code and standard practices as defined in the current "National Concrete Masonry Association" information series.
4. Presumptive soil bearing value to be a maximum of 1,500 psi.

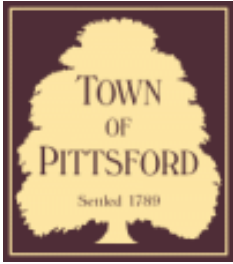


Nehemiah Design
90 Winding Creek Lane
Rochester, New York 14625
585-746-5943



Hobika Sun Room Addition
56 Devonwood Lane, Pittsford, New York 14534
Contractor: Cornell Construction Design
P.O. Box 18532, Rochester, New York 14618

Site Plan
General Notes
Side Elevations



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

**Permit #
B21-000219**

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 80 North Country Club Drive ROCHESTER, NY 14618

Tax ID Number: 151.05-1-11

Zoning District: RN Residential Neighborhood

Owner: Clifford, Daniel K

Applicant: Clifford, Daniel K

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is returning to request design review for the construction of a garage addition off the existing garage and a mudroom addition off the rear of the house.

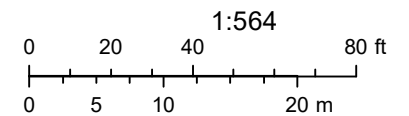
Meeting Date: June 9, 2022



RN Residential Neighborhood Zoning

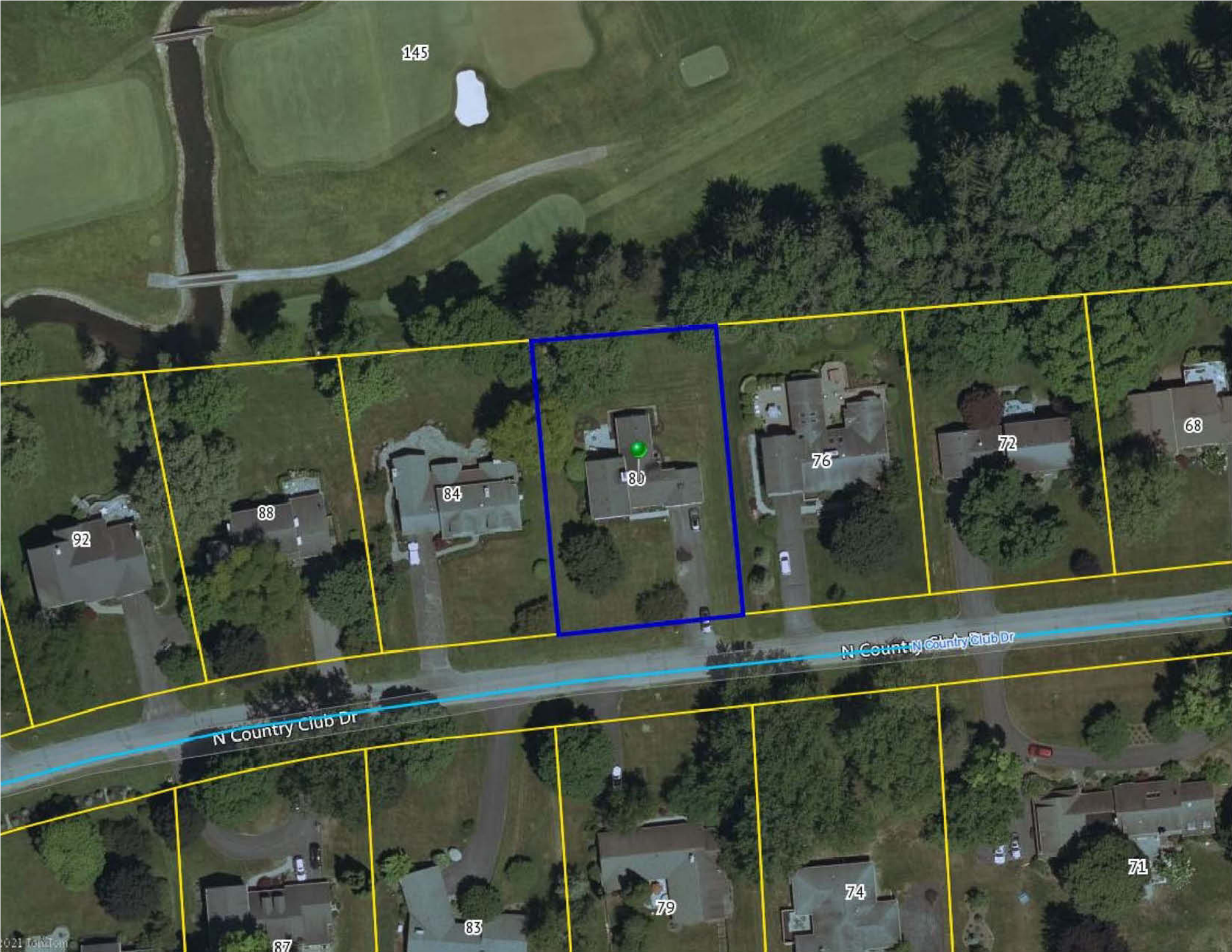


Printed October 5, 2021



Town of Pittsford GIS

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145

92

88

84

80

76

72

68

N Country Club Dr

N Country Club Dr

71

74

79

83

87



1 FRONT ELEVATION NEW - DESIGN REVIEW
1" = 10'-0"



2 FRONT ELEVATION EXISTING - DESIGN REVIEW
1" = 10'-0"

CLIFFORD
Scale 1" = 10'-0"



1 BACK ELEVATION NEW - DESIGN REVIEW
1" = 10'-0"

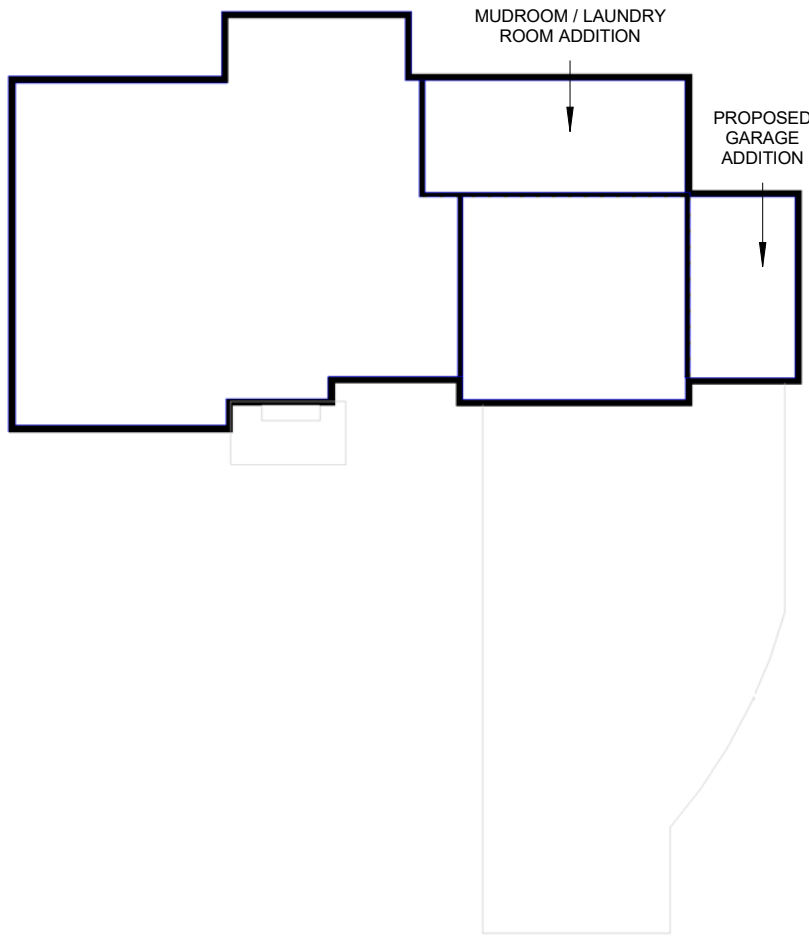


2 RIGHT ELEVATION - DESIGN REVIEW
1" = 10'-0"

CLIFFORD

Scale 1" = 10'-0"

OAK HILL COUNTRY CLUB



PROPERTY LINE

NORTH COUNTRY CLUB DRIVE

1 SITE PLAN - NEW
1" = 20'-0"



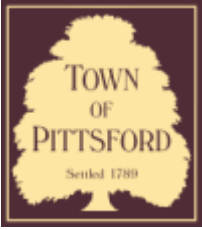
CLIFFORD

Scale 1" = 20'-0"









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000088

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Aden Hill PITTSFORD, NY 14534

Tax ID Number: 178.03-4-70

Zoning District: IZ Incentive Zoning

Owner:

Applicant: TBD

Application Type:

- | | |
|---|---|
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
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§185-17 (L) (2) |
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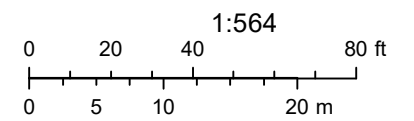
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2069 square feet and will be located in the Whilshire Hills Subdivision.

Meeting Date: June 9, 2022

RN Residential Neighborhood Zoning



Printed May 18, 2022



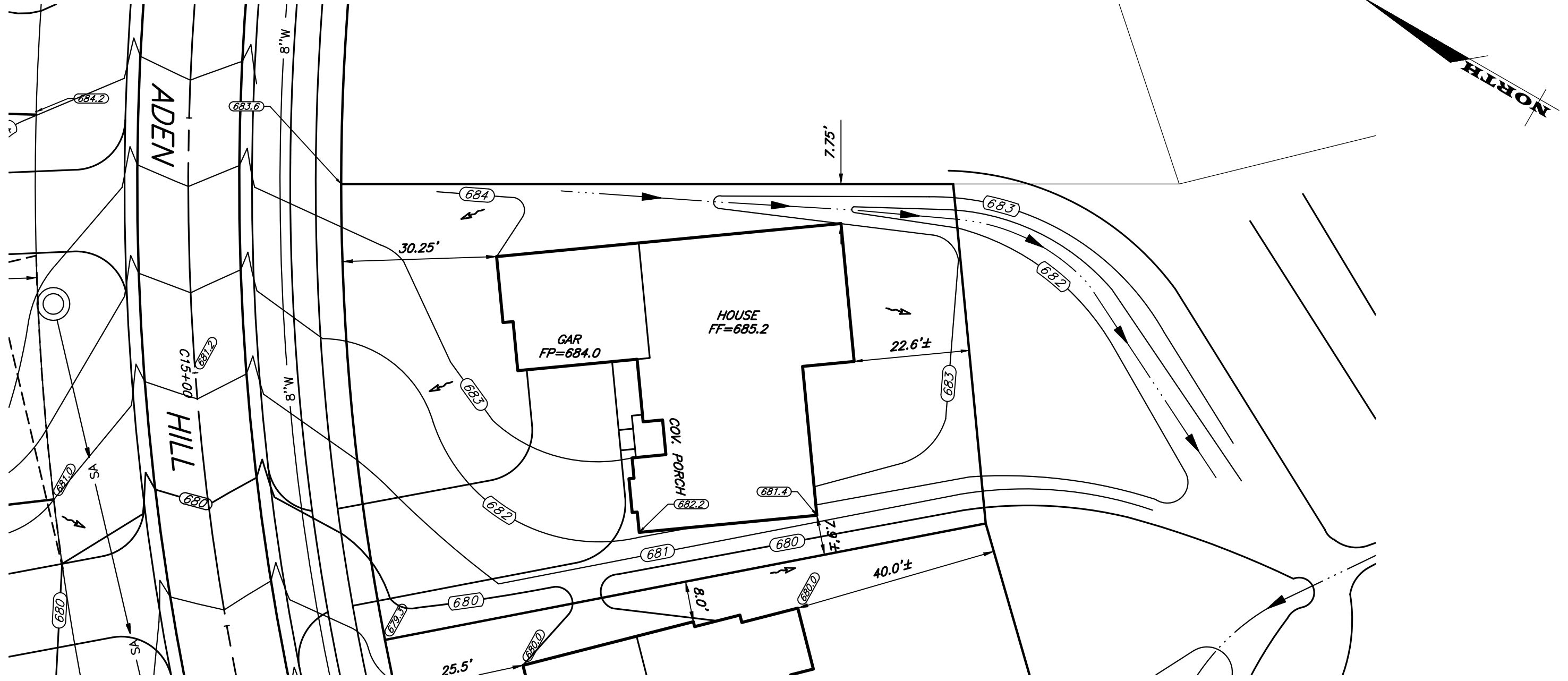
Town of Pittsford GIS

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Aden Hill

File: Z:\Engineering\Job Files\0423-12\Drawings\Section 2\Plot plans\Lot C18\LOT C18.dwg, Plot Date: 5/6/2022, By: RTEDE



JOB NO: 0423-13
 SCALE: 1" = 20'
 DRAWN: RJT
 DESIGNED: RJT
 DATE: 5/6/22

SETBACK	REQUIRED	PROVIDED
FRONT	30'	30.25'
SIDE	7.5'	7.75'
REAR	20'	22.6'±

TITLE:

PLOT PLAN - LOT C18
WILSHIRE HILL - SECTION 2

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2069 S.F.
1/4" = 1'-0"

NOTE: - WINDOWS TO BE 'GREAT LAKES' DOUBLE-HUNG
 - DOORS TO BE 'THERMA-TRU' OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R306.4 OF THE RES. CODE OF NYS

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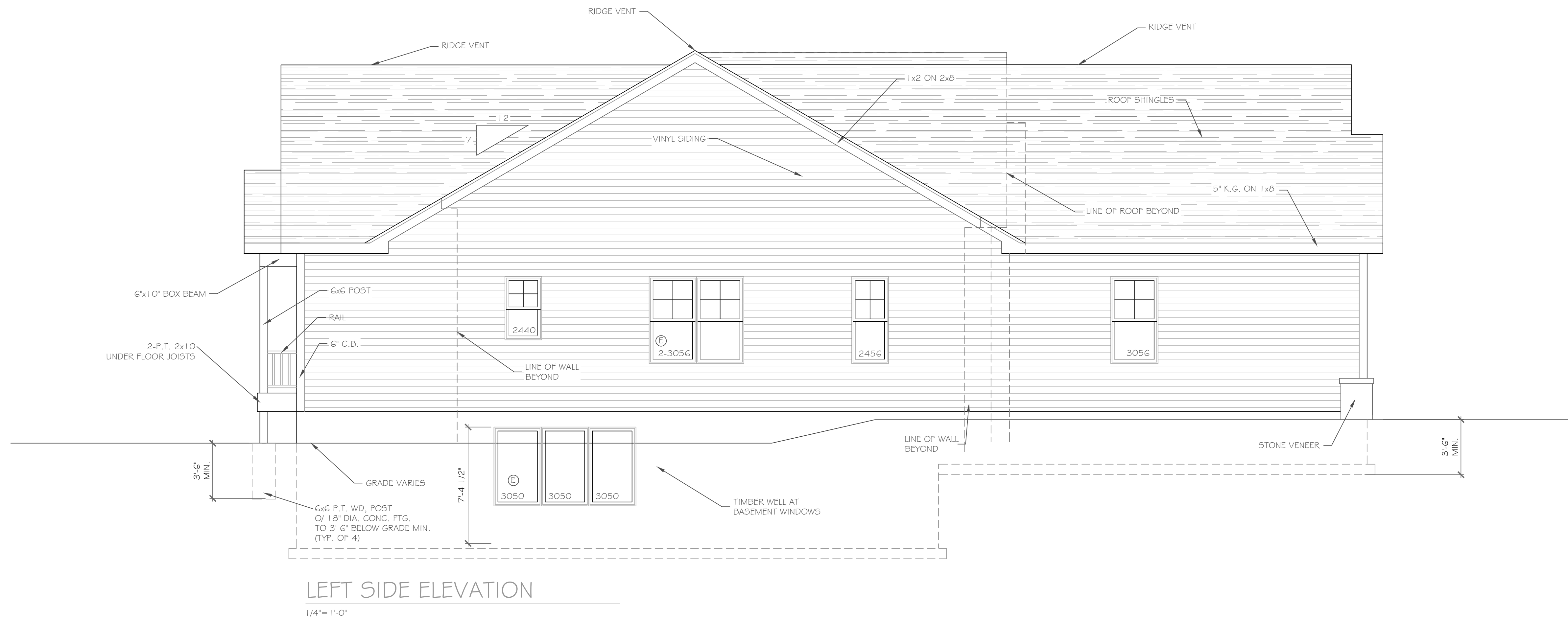
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations	PHASE: Construction Documents
------------------------------	----------------------------------

PROJECT: Lot 18C Wilshire Hill, Pittsford, N.Y.	DATE: May 2022
CLIENT: Pride Mark Homes, Inc.	JOB NO. - A22-021

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. - A-1



LEFT SIDE ELEVATION
1/4" = 1'-0"

ROOF CONSTRUCTION

- ROOF SHINGLES OF ICE BARRIER AT EAVE @ 1/5 LB. FELT
- 7/16" O.S.B. SHEATHING
- TRUSSES OR RAFTS, PER PLAN (FINAL DESIGN BY MFR.)
- R-49 INSULATION, ROOF VENTS AND INSULATION Baffles AS REQD. TO MAINTAIN 1" AIRSPACE
- 1/2" DRYWALL CEILING

EAVE CONST.

- 5" K.G. ON 1x8 ON 2x6
- MTL. DRIP EDGE
- SOFFIT w/ VENTS

WALL CONST.

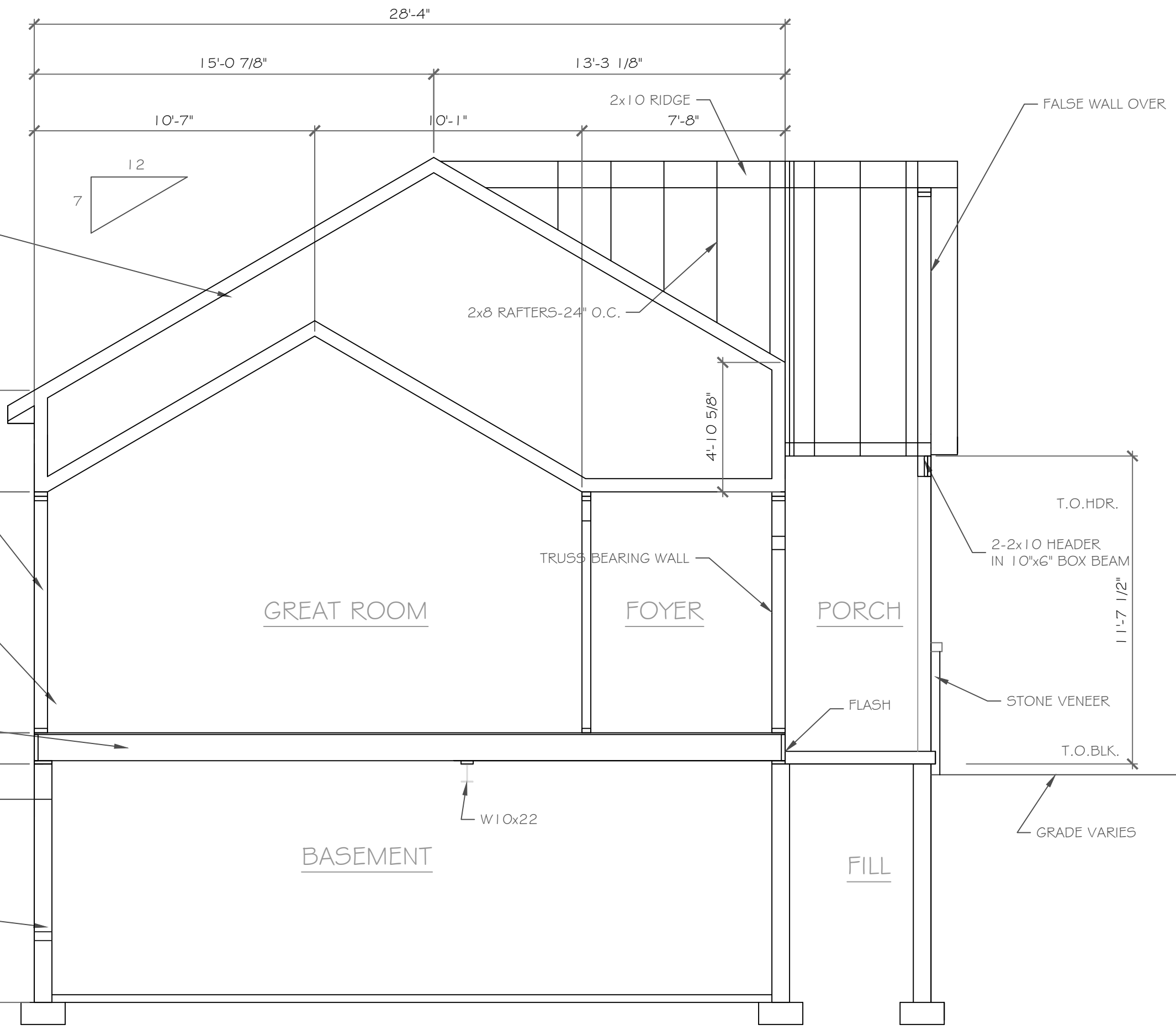
- HORIZ. VINYL SIDING
- HOUSE WRAP
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS @ 16" O.C.
- R-20 INSULATION w/ KRAFT VAPOUR BARRIER
- 1/2" DRYWALL

FLOOR CONST.

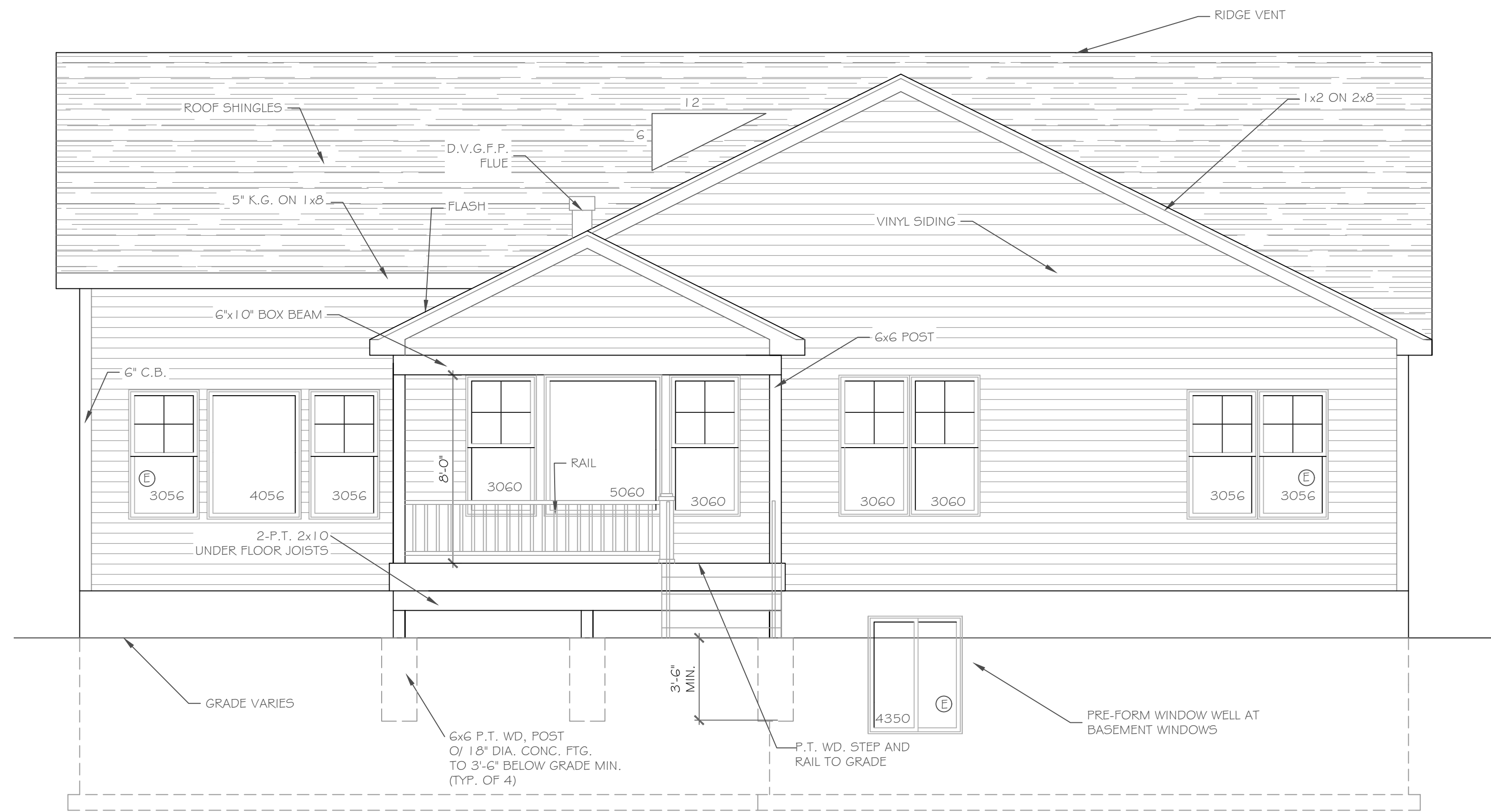
- 3/4" ADVANTECH SUBFLOOR, GLUED & NAILED
- 1 1/2" TJI 2305 - 19.2" O.C.
- R-19 INSULATION, 2" O" FULL PERIMETER

FOUNDATION CONST.

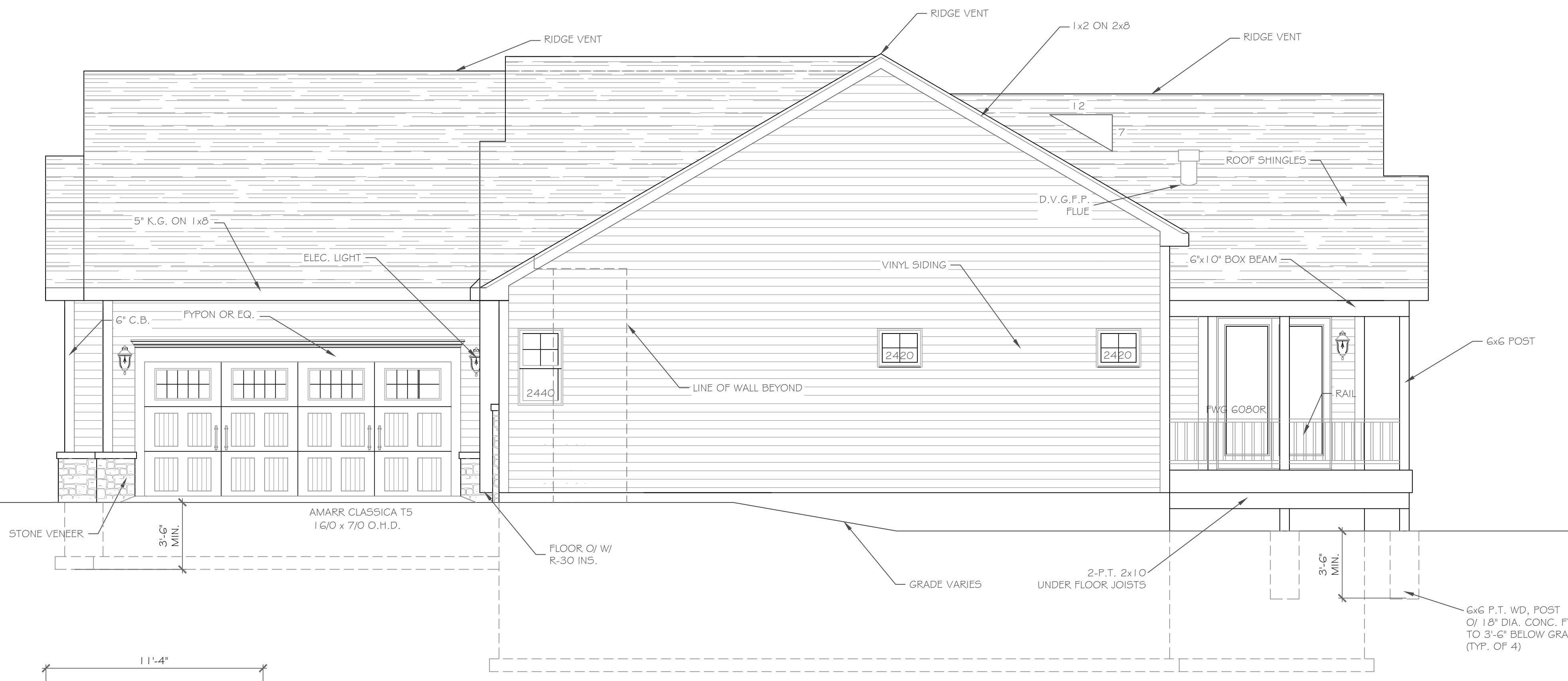
- 2x8 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- POURED 9" CONC. WALL - FOR VERTICAL REINFORCING SEE TABLE R404.1.1(1) ON FOUNDATION PLAN
- CEMENT PARGE AND TAR COAT DAMPROOFING OR EQ.
- R-15 INSULATION TO SLAB
- 20x8" CONT. CONC. FTG. w/ COVE BASE



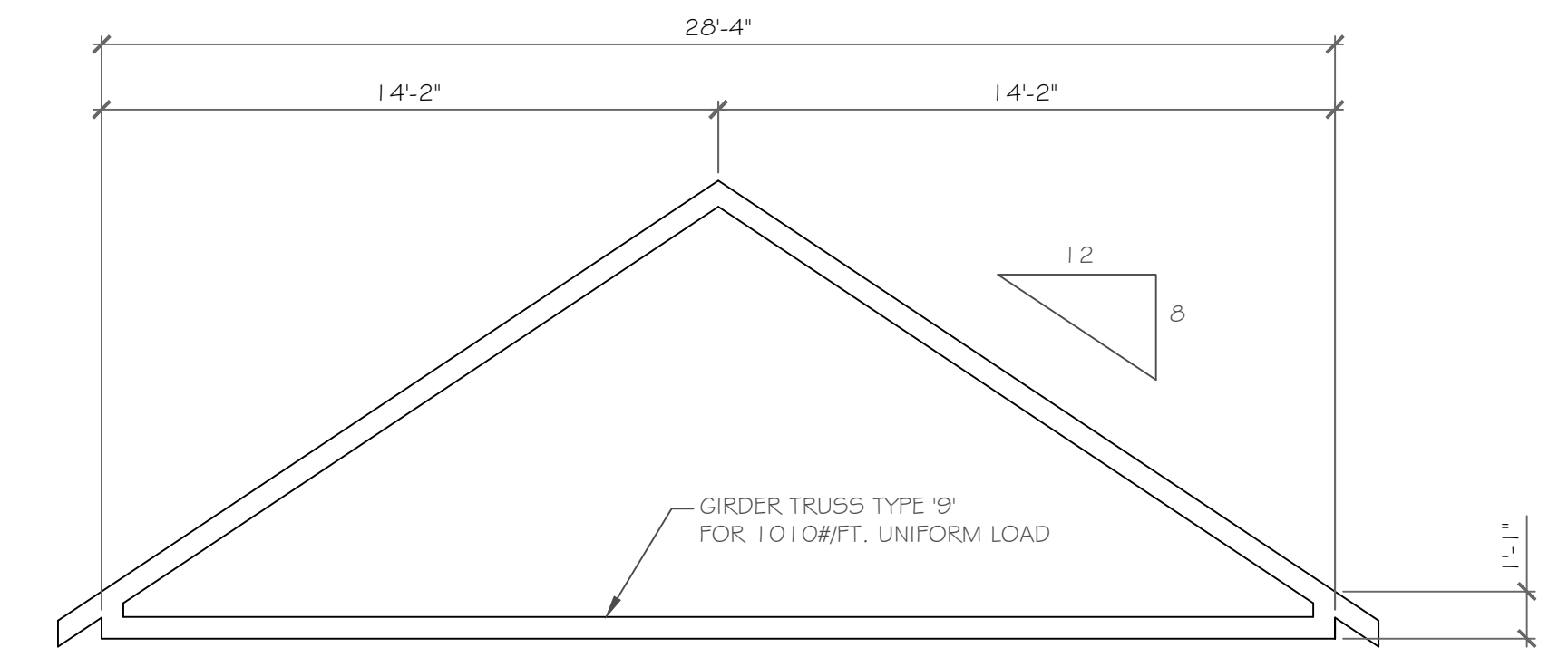
(B) CROSS SECTION
1/4" = 1'-0"



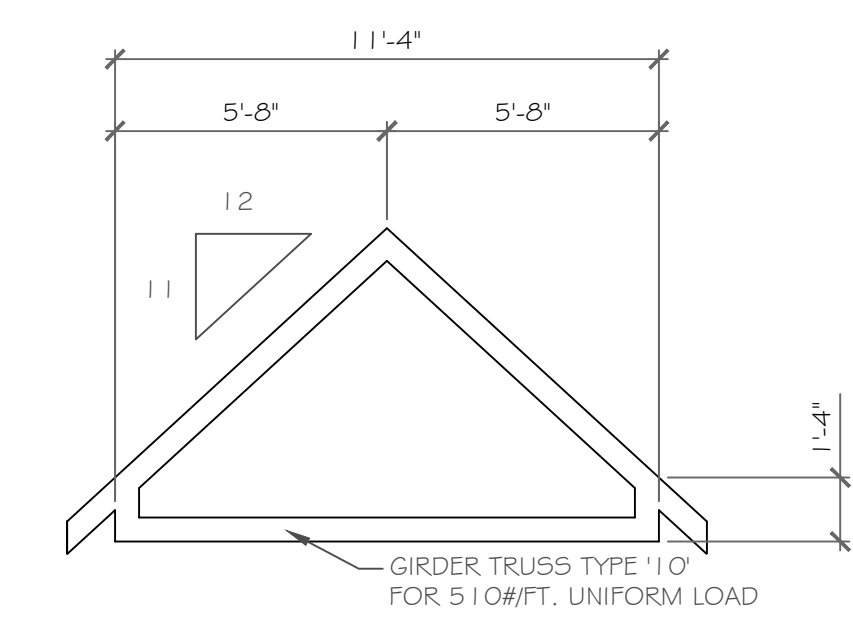
REAR ELEVATION
1/4" = 1'-0"



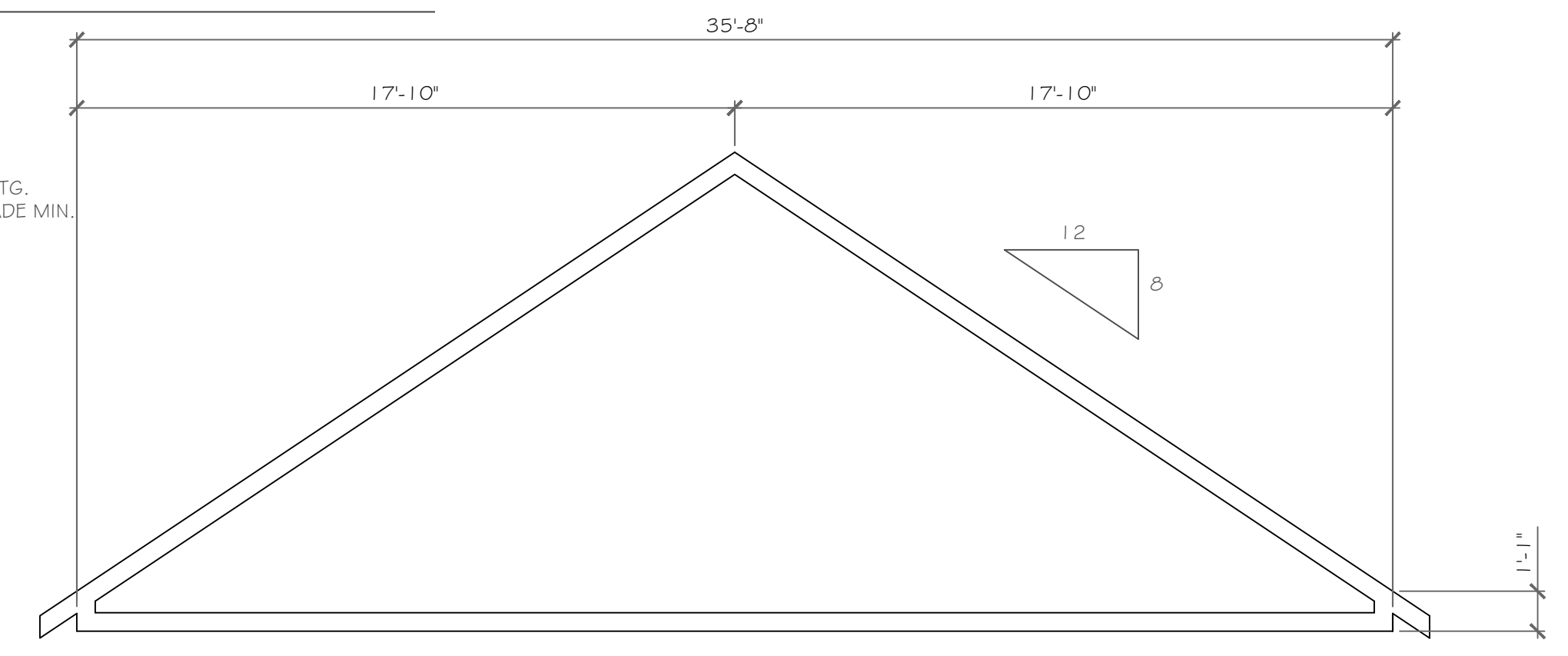
RIGHT SIDE ELEVATION
1/4" = 1'-0"



TRUSS '9' DIAGRAM
1/4" = 1'-0"



TRUSS '10' DIAGRAM
1/4" = 1'-0"



TRUSS '7' DIAGRAM
1/4" = 1'-0"

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REVISIONS- NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations & Section

PHASE:
Construction Documents

PROJECT:
Lot 18C
Wilshire Hill, Pittsford, N.Y.

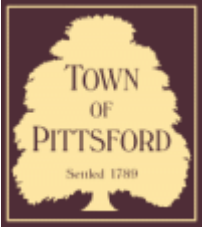
CLIENT:
Pride Mark Homes, Inc.

JOB NO.:
A22-021

DATE:
May 2022

CKH architecture
1301 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
A-5



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000095

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 53 Skylight Trail ,

Tax ID Number:

Zoning District:

Owner: Morrell Builders

Applicant: Morrell Builders

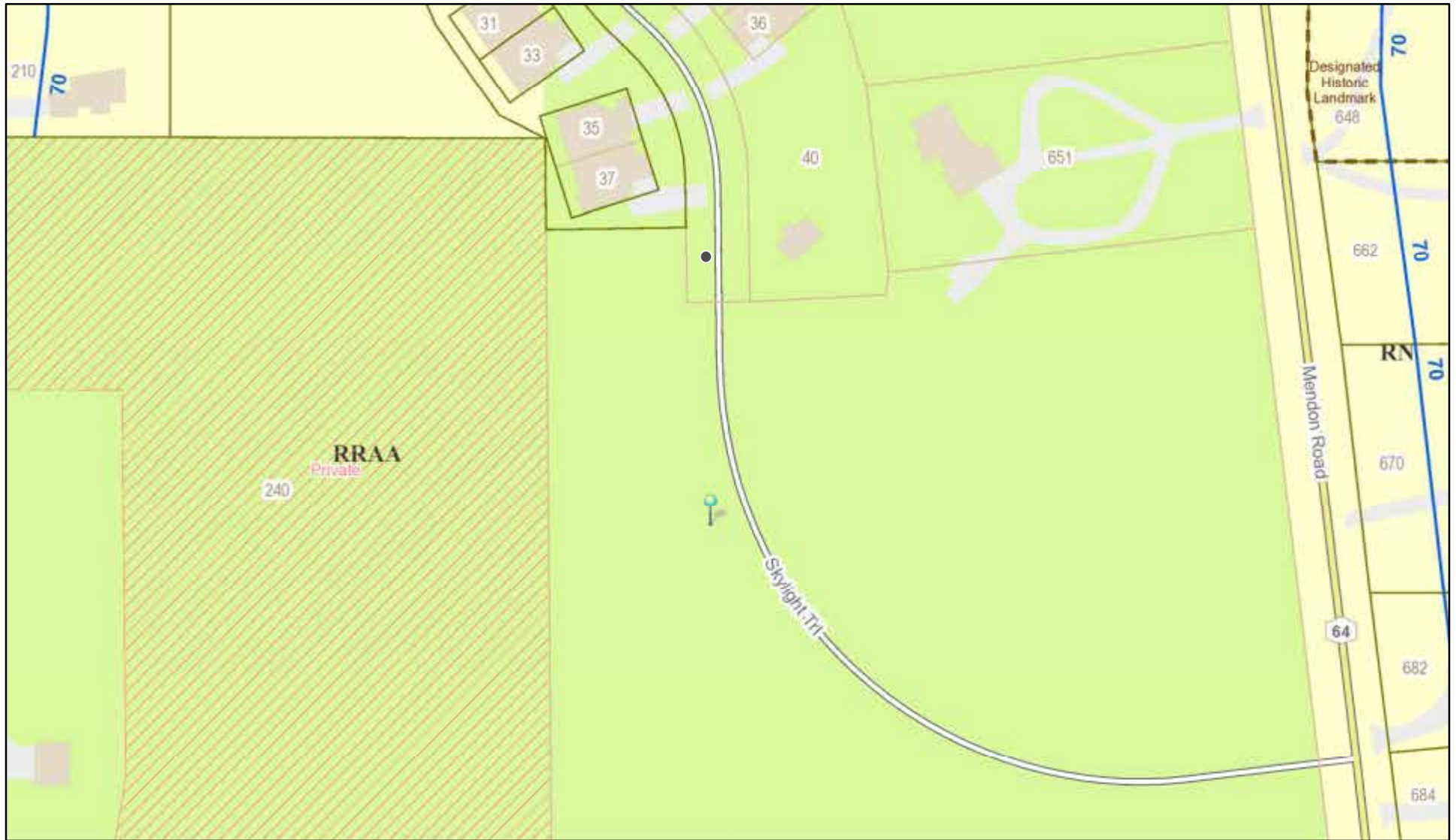
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

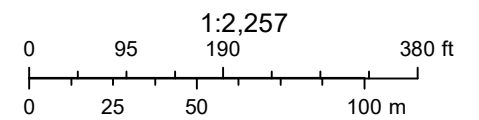
Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 26 (55 Skylight Trail) will be approximately 1987 sq. ft. and Lot 25 (53 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: June 09, 2022

RN Residential Neighborhood Zoning



Printed June 1, 2022



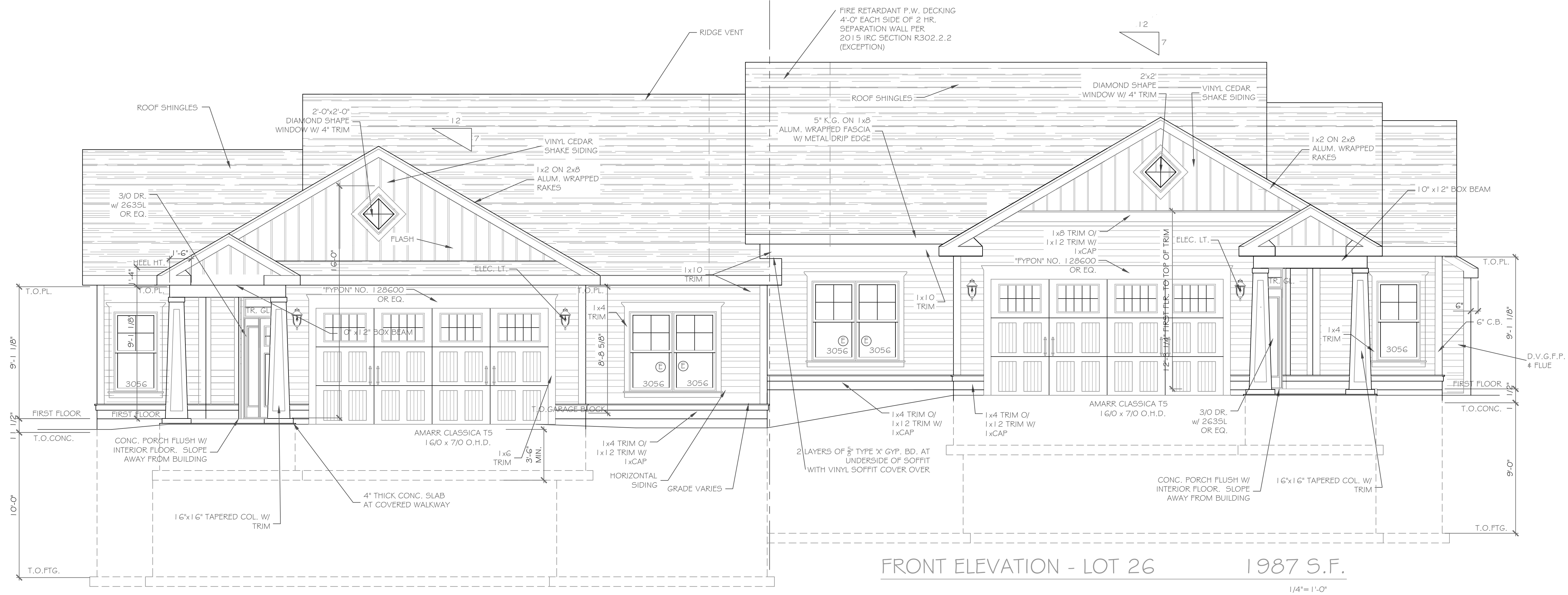
Town of Pittsford GIS

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04/03/2021

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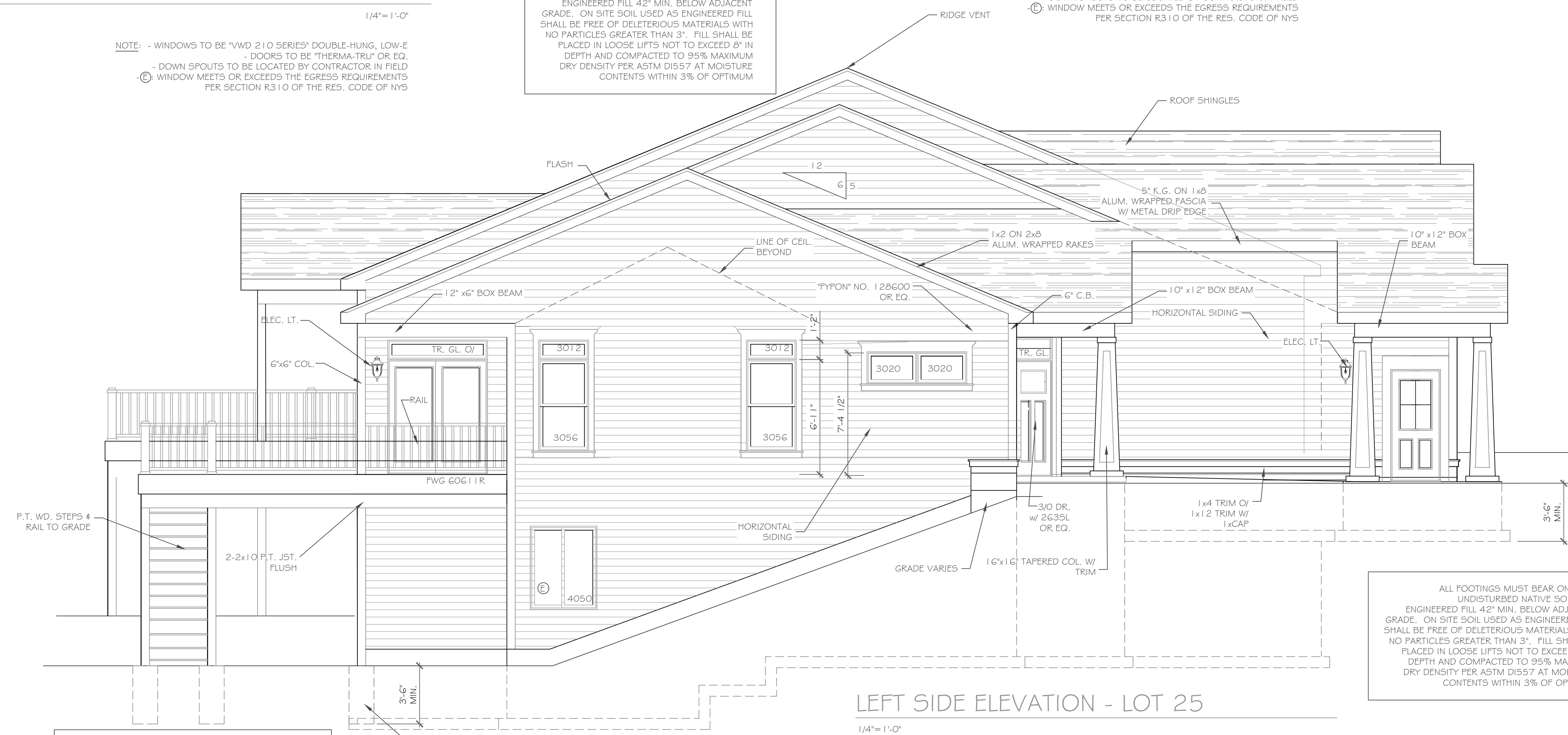


FRONT ELEVATION - LOT 25 2000 S.F.
1/4" = 1'-0"

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



HANDRAIL NOTES:
- HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
- HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST OF 1 1/2" DIA. CONC. FTG. W/ SIMPSON LCB66 POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

LEFT SIDE ELEVATION - LOT 25
1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:	Front Elevation
	Units 25 & 26
PROJECT:	Alpine Ridge - Units 25 & 26
CLIENT:	Morrell Builders
PHASE:	Construction Documents
DATE:	April 2022
JOB NO.:	A21-081

PROJECT:	Alpine Ridge - Units 25 & 26
	Pittsford, N.Y.
CLIENT:	Morrell Builders
DATE:	April 2022
JOB NO.:	A21-081

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO.:	A-1
--------------	-----



REAR ELEVATION - LOT 26
1/4" = 1'-0"

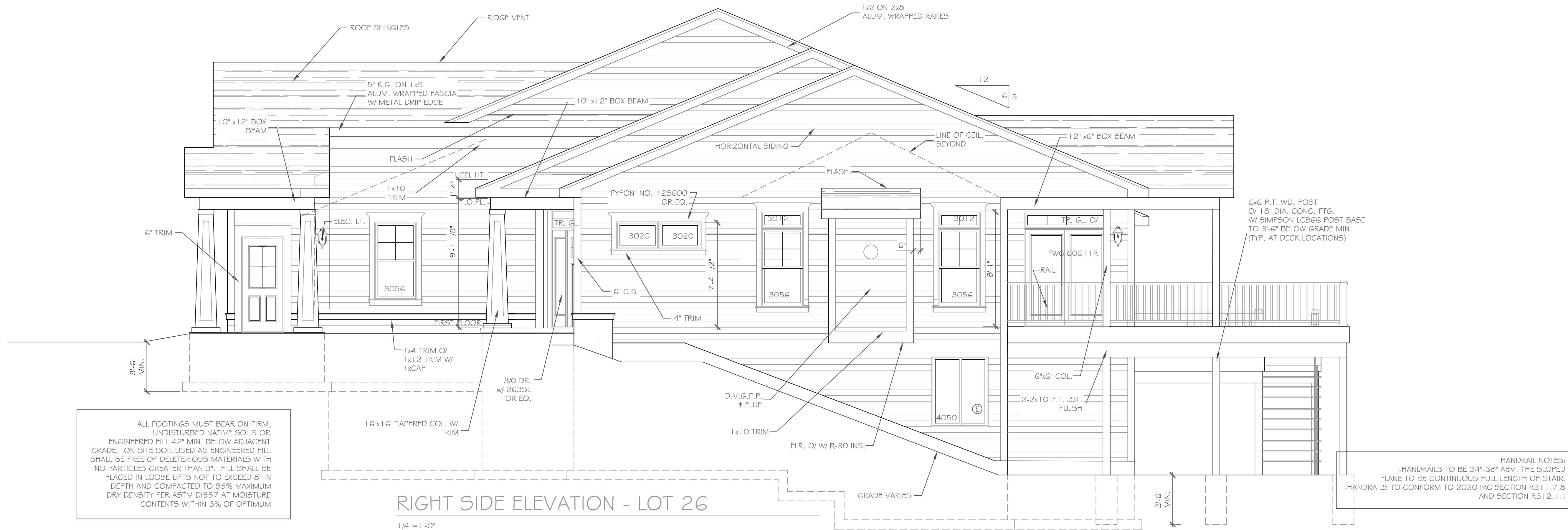
REAR ELEVATION - LOT 25
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST
O/ 1 8" DIA. CONC. FTG.
W/ SIMPSON LCB66 POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LOCATIONS)

6x6 P.T. WD. POST
O/ 1 8" DIA. CONC. FTG.
W/ SIMPSON LCB66 POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LOCATIONS)



RIGHT SIDE ELEVATION - LOT 26
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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NO.	DATE	DESCRIPTION

PROJECT: Alpine Ridge - Lots 25 & 26
Pittsford, N.Y.
CLIENT: Morrell Builders

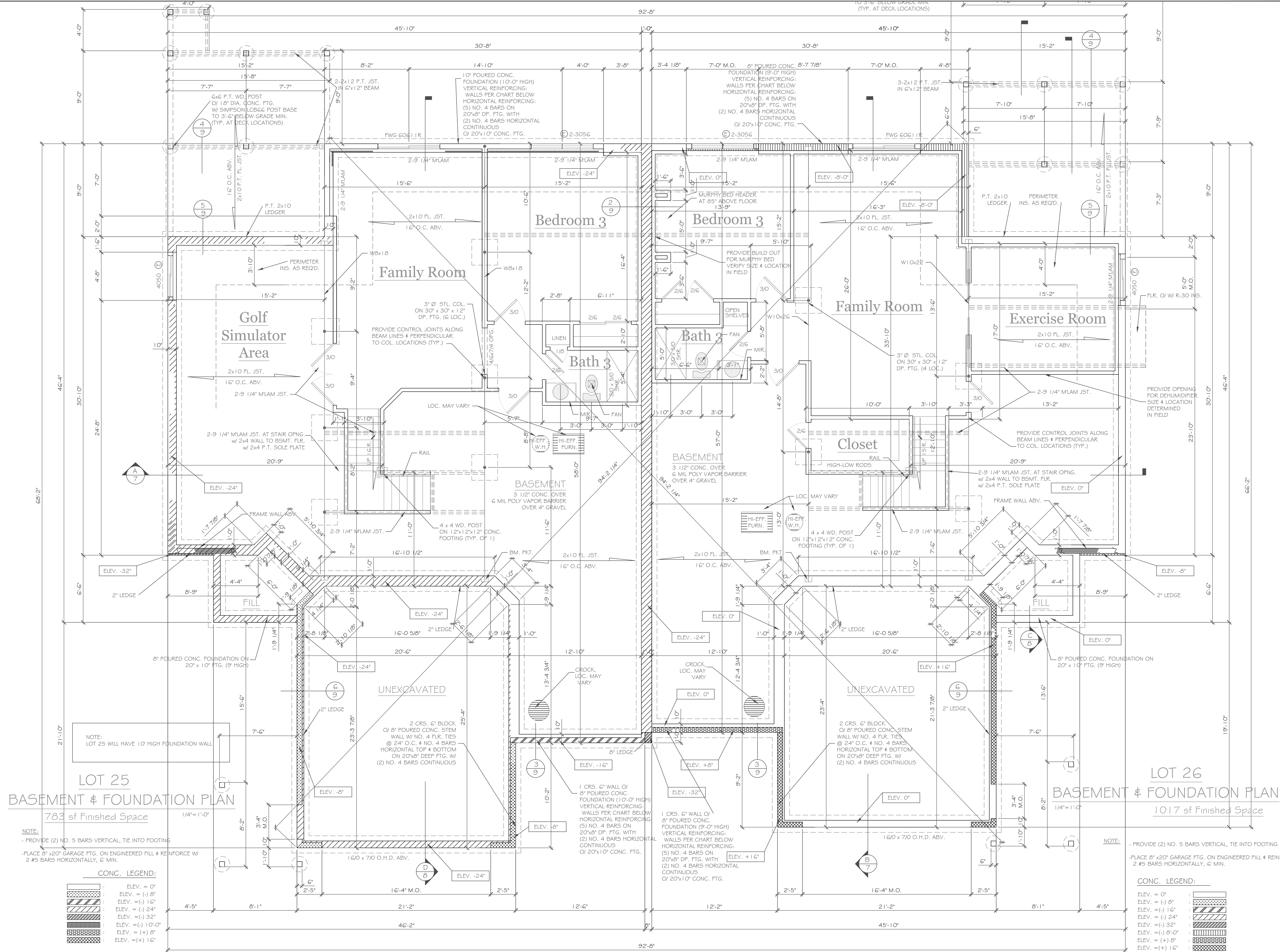
DRAWING TITLE: Rear Elevation
Lots 25 & 26

PHASE: Construction Documents

JOB NO.: A21-081
DATE: April 2022

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO.: A-2



LOT 25
BASEMENT & FOUNDATION PLAN
 783 sf Finished Space

LOT 26
BASEMENT & FOUNDATION PLAN
 1017 sf Finished Space

NOTE:
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0"
[Pattern]	ELEV. = (-) 8"
[Pattern]	ELEV. = (-) 16"
[Pattern]	ELEV. = (-) 24"
[Pattern]	ELEV. = (-) 32"
[Pattern]	ELEV. = (-) 10'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"

NOTE:
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0"
[Pattern]	ELEV. = (-) 8"
[Pattern]	ELEV. = (-) 16"
[Pattern]	ELEV. = (-) 24"
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[Pattern]	ELEV. = (-) 8'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PROJECT:
 Alpine Ridge - Units 25 & 26
 Pittsford, New York

CLIENT:
 Morrell Builders

PHASE:
 Construction Documents

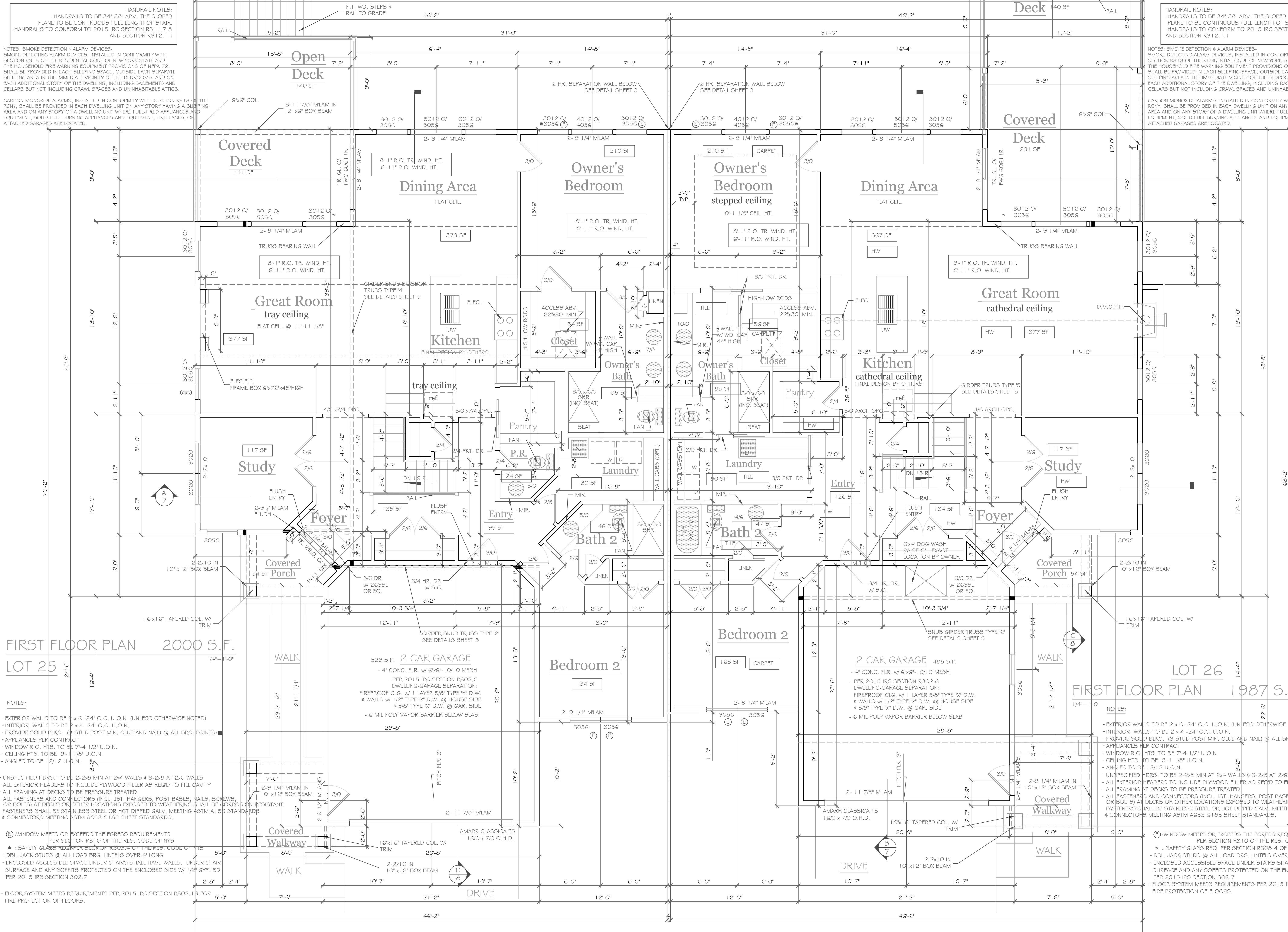
DATE:
 April 2022

DATE:
 April 2022

DATE:
 April 2022

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architecture
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 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.:
A-3



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-36" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-36" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

FIRST FLOOR PLAN 2000 S.F.
 LOT 25

FIRST FLOOR PLAN 1987 S.F.
 LOT 26

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.

- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL. JACK STUDS @ ALL LOAD BRG. UNLESS OTHERWISE NOTED
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2015 IRS SECTION 302.7
 - FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL. JACK STUDS @ ALL LOAD BRG. UNLESS OTHERWISE NOTED
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2015 IRS SECTION 302.7
 - FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plans
Units 25 & 26

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 25 & 26
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 April 2022

JOB NO.:
 A21-081

CKH architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
A-4

SUBJECT Lot 25- 55 Skylight Trail and Lot 26- 53 Skylight Trail

Siding: Navajo Beige

Front Door: New Earth

Garage Door: Mahogany



Navajo Beige ★



New Earth



Mahogany

LEFT OF SUBJECT Lot 23- 59 Skylight Trail and Lot 24- 57 Skylight Trail

Siding: Light Mist Gray

Front Door: Dark Maple

Garage Door: Walnut



Light Mist ★



Dark Maple



Walnut

RIGHT OF SUBJECT Lot 27- 51 Skylight Trail and Lot 28- 49 Skylight Trail

Siding: Khaki Brown

Front Door: Driftwood

Garage Door: Dark Oak



Khaki Brown



Driftwood



Dark Oak



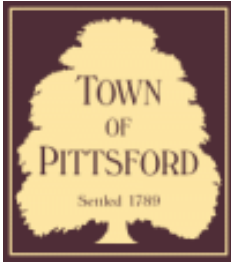
ALPINE RIDGE
A MORRIS COMMUNITY

No development agricultural zone

● = Side Load Garage

X = Stone Siding

	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000097

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 29 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.03-5-43

Zoning District: IZ Incentive Zoning

Owner: Clover Street Development

Applicant: Clover Street Development

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

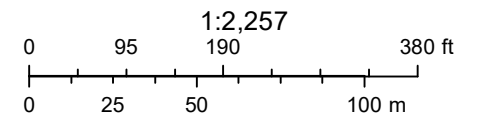
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3018 square feet and located in the Coventry Ridge Subdivision.

Meeting Date: June 09, 2022

RN Residential Neighborhood Zoning



6/1/2022, 9:57:18 AM



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



SPEC HOUSE

LOT 102 COVENTRY RIDGE

PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP.

PLAN 3018 / PROJECT 15428 B

SHEET INDEX

- C-1 COVER SHEET
- 1/5 ELEVATIONS
- 2/5 FOUNDATION PLAN
- 3/5 FIRST FLOOR PLAN
- 4/5 SECOND FLOOR & ROOF PLAN
- 5/5 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY S).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG., THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MAINF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE PUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT-FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORTCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN QUILTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4" HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

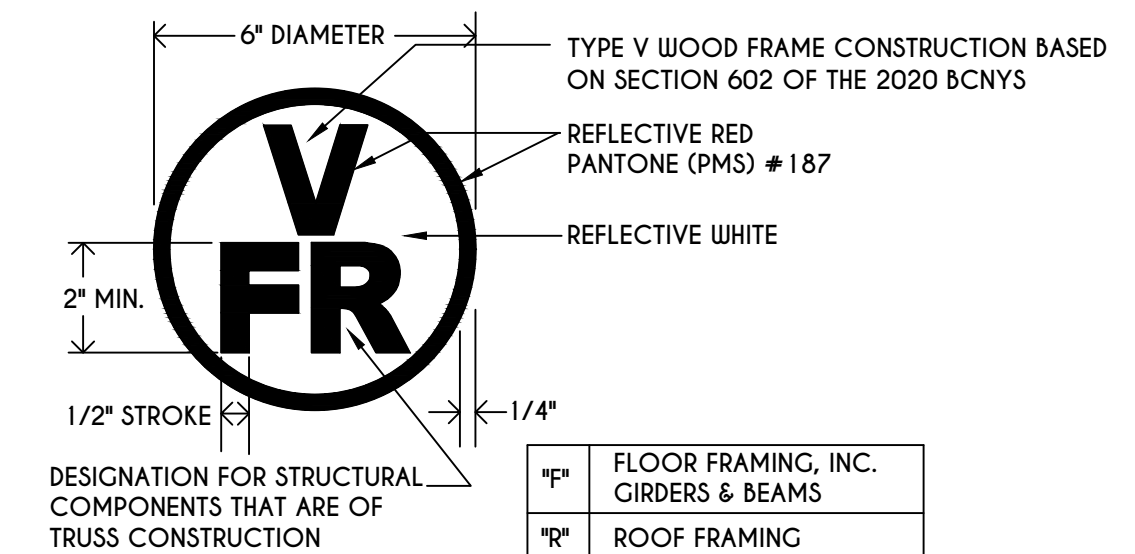
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

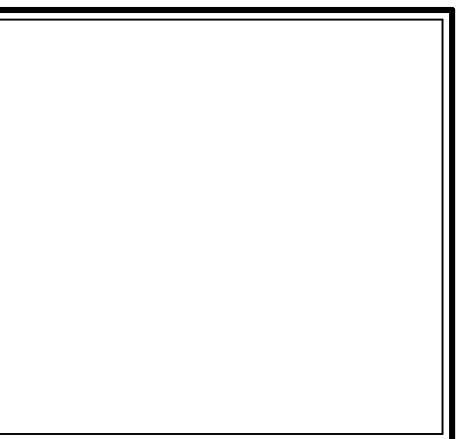
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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LOT 102 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

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TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.00047 19 m³/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

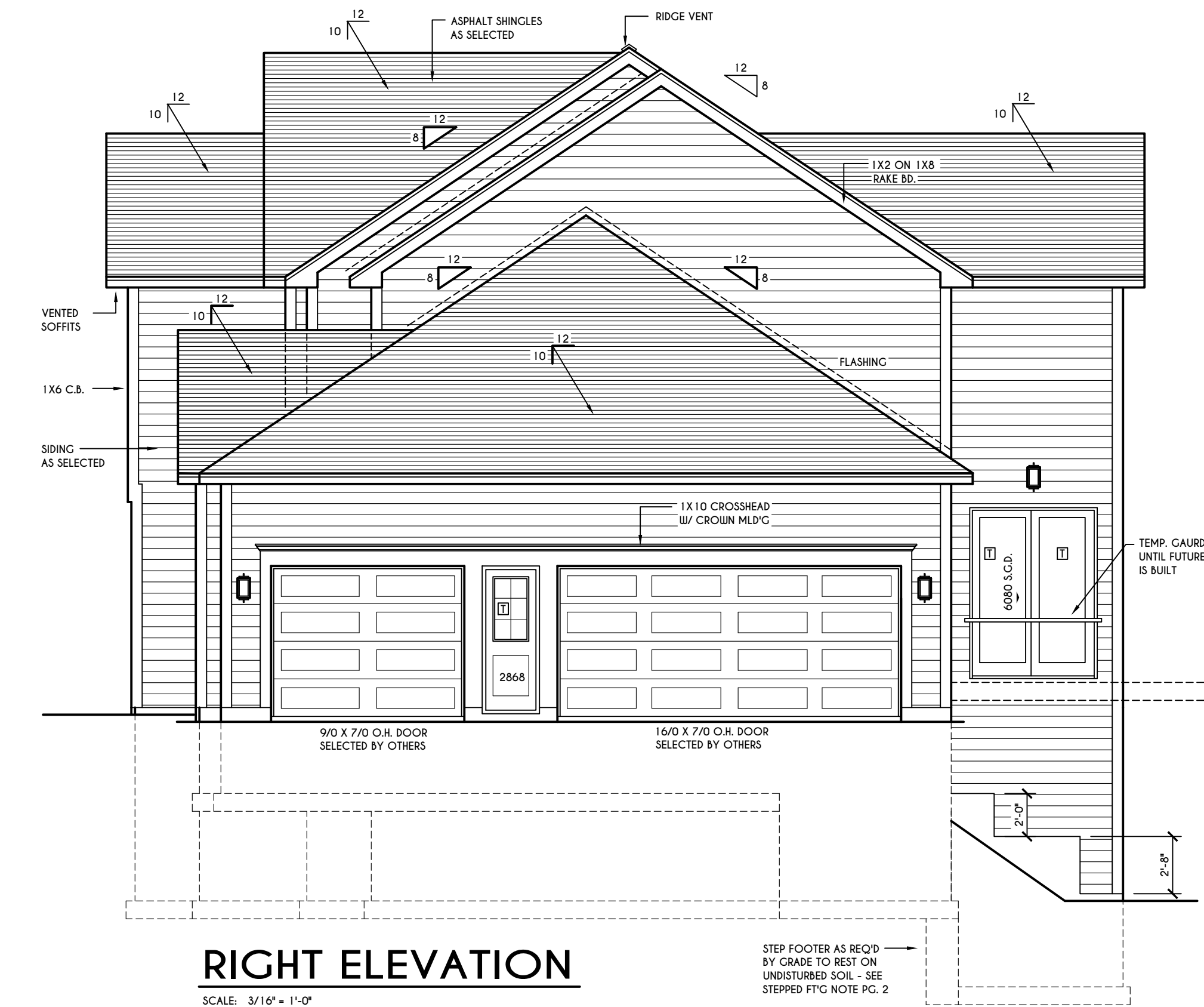
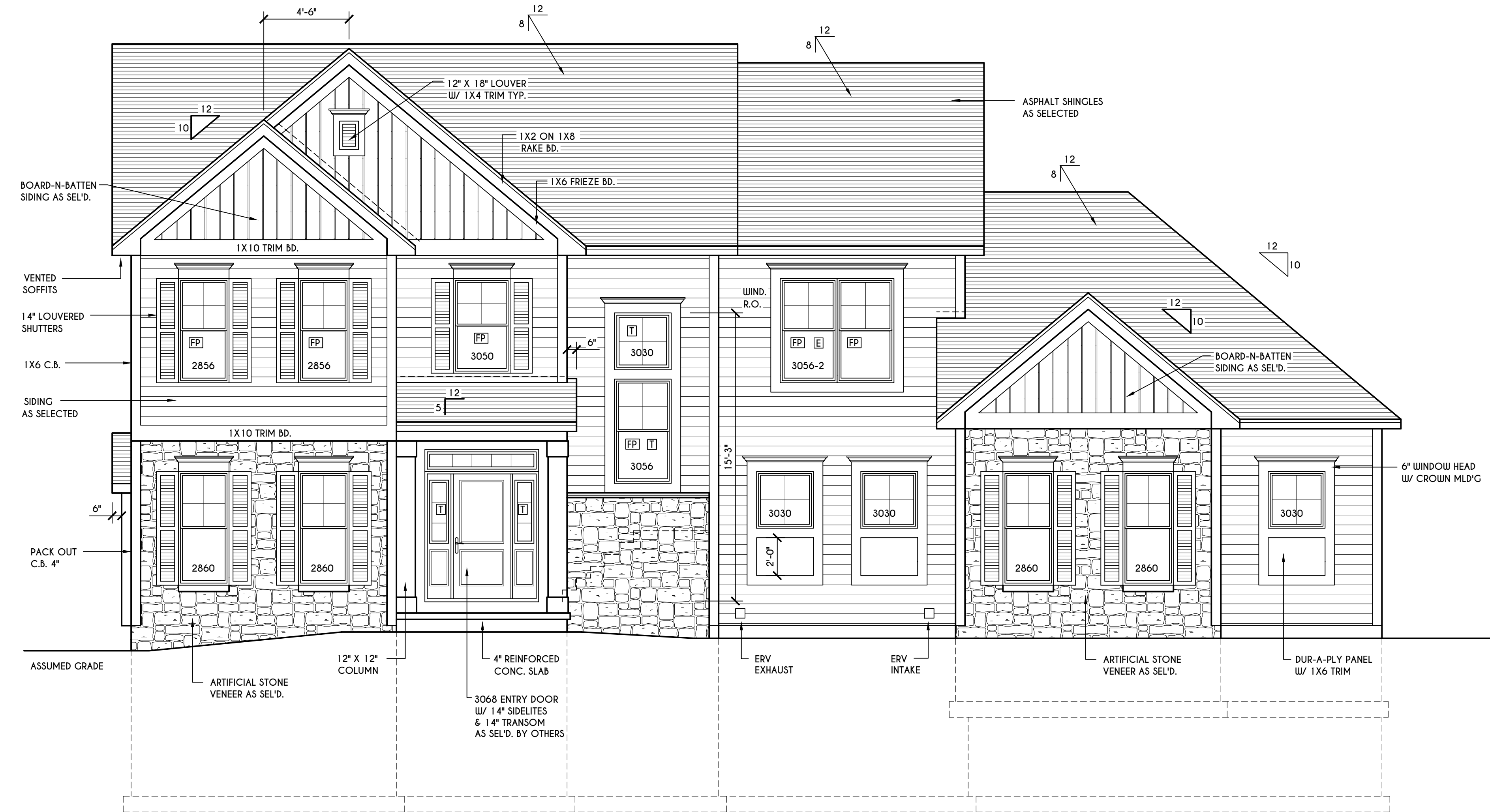
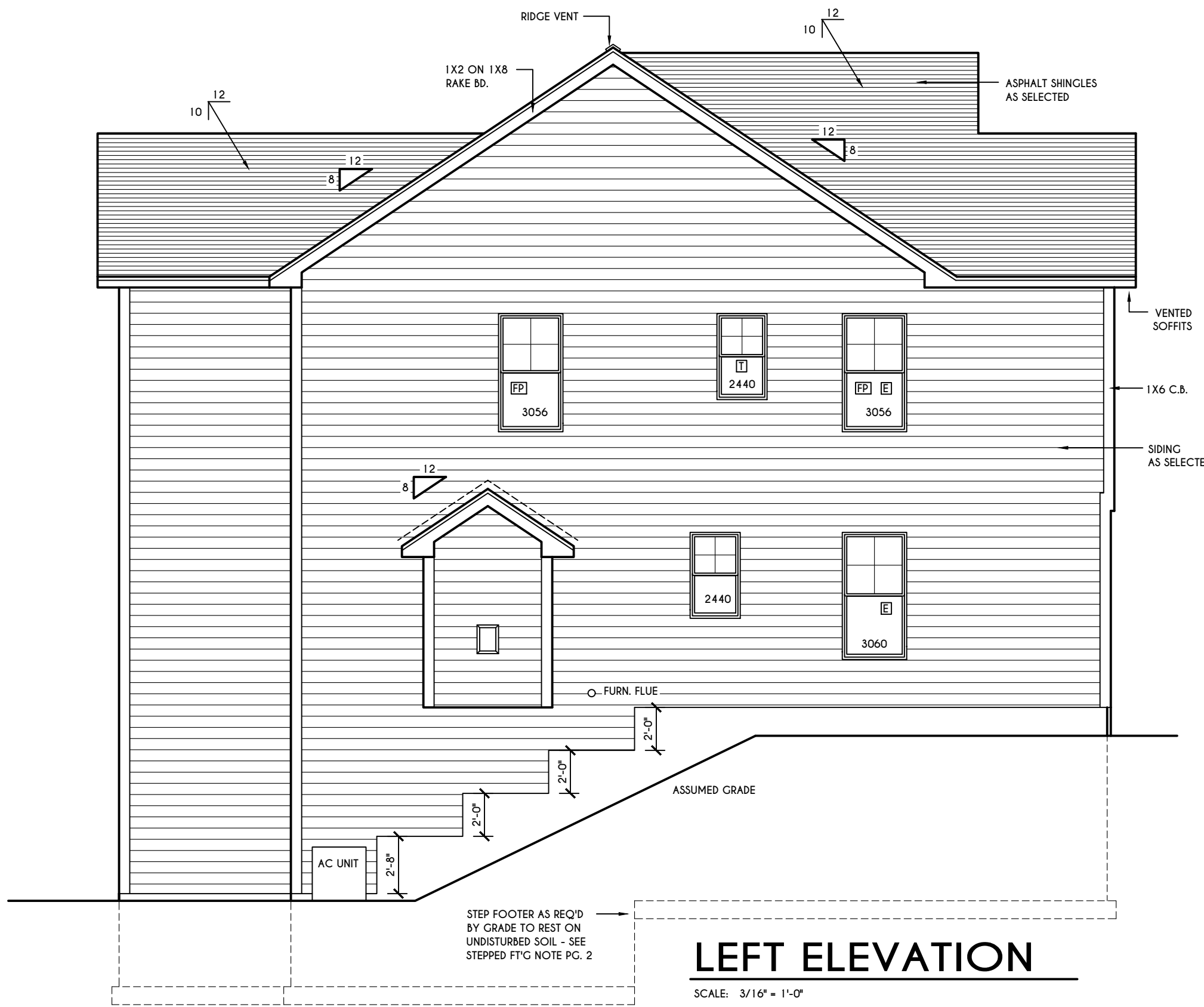
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT FACTOR a	25%	33%	50%	66%	75%	100%
		4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.00047 19 m³/s.



WINDOWS: VIVID SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30
SHGC 0.54

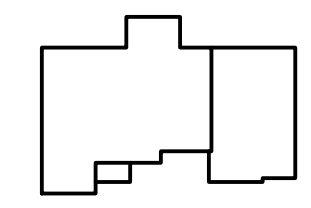
DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNS

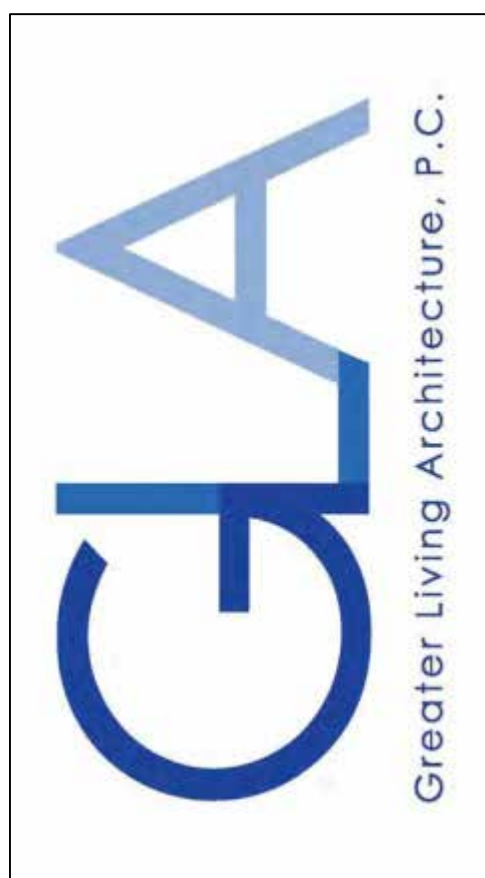
WINDOW / DOOR LEGEND:
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



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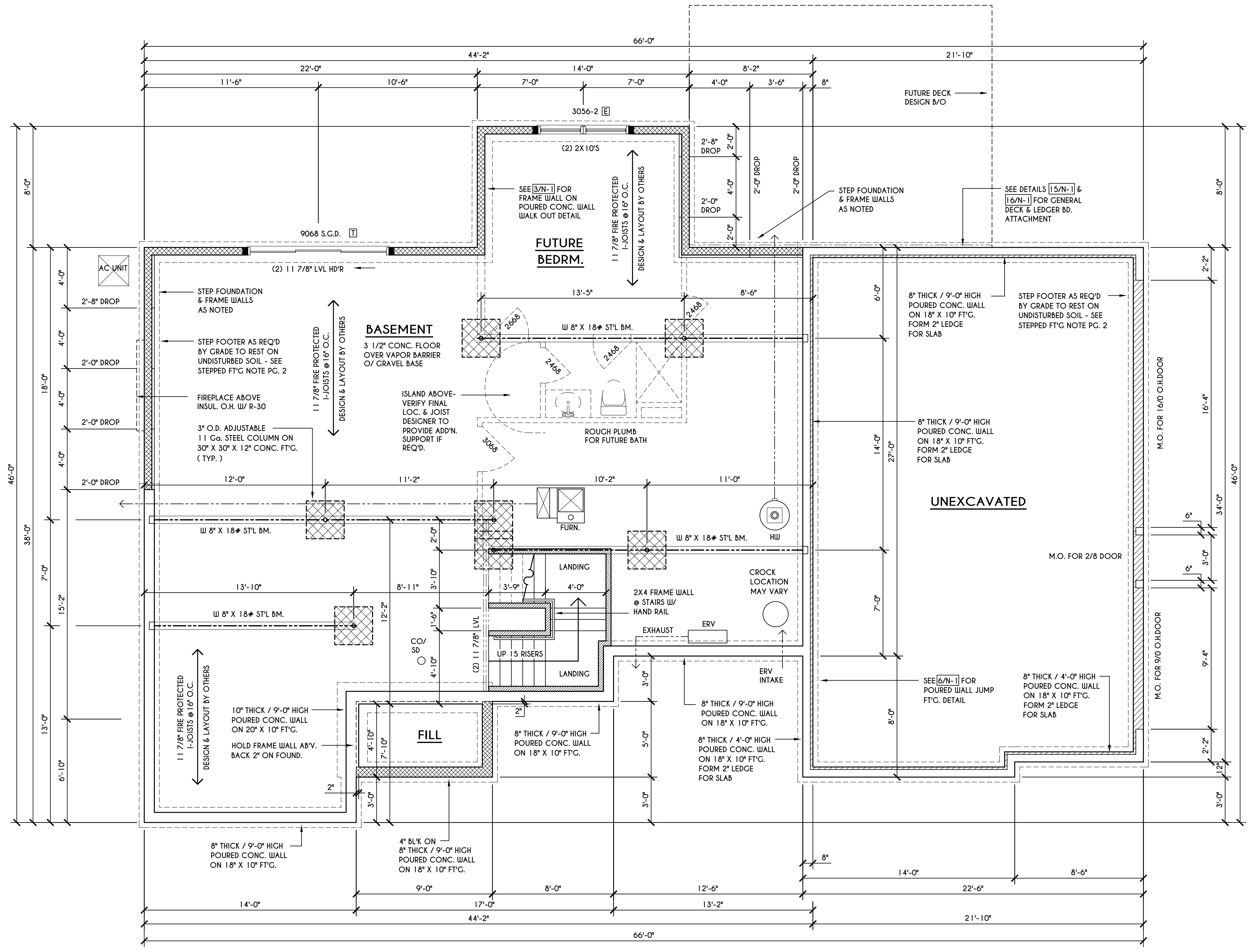
BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FOUNDATION PLAN

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STEPPED FOOTING NOTE:
 R403.1.5 OF RCNYS SLOPE.
 THE TOP SURFACE OF THE FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE).



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS
 SEE DETAIL [T&N-1] FOR FIREPROOFING METHODS

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FOUNDATION / BASEMENT NOTES:

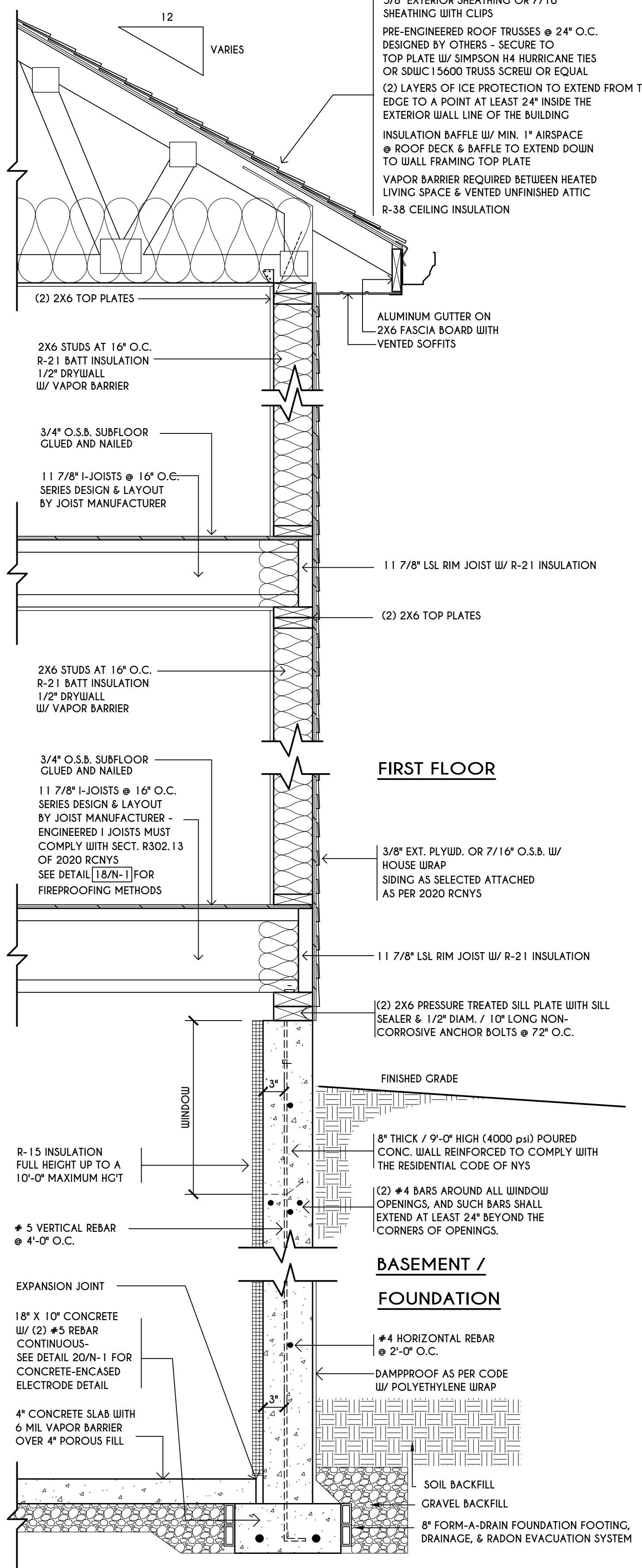
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19W-1

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWC 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE
 ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC R-38 CEILING INSULATION



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

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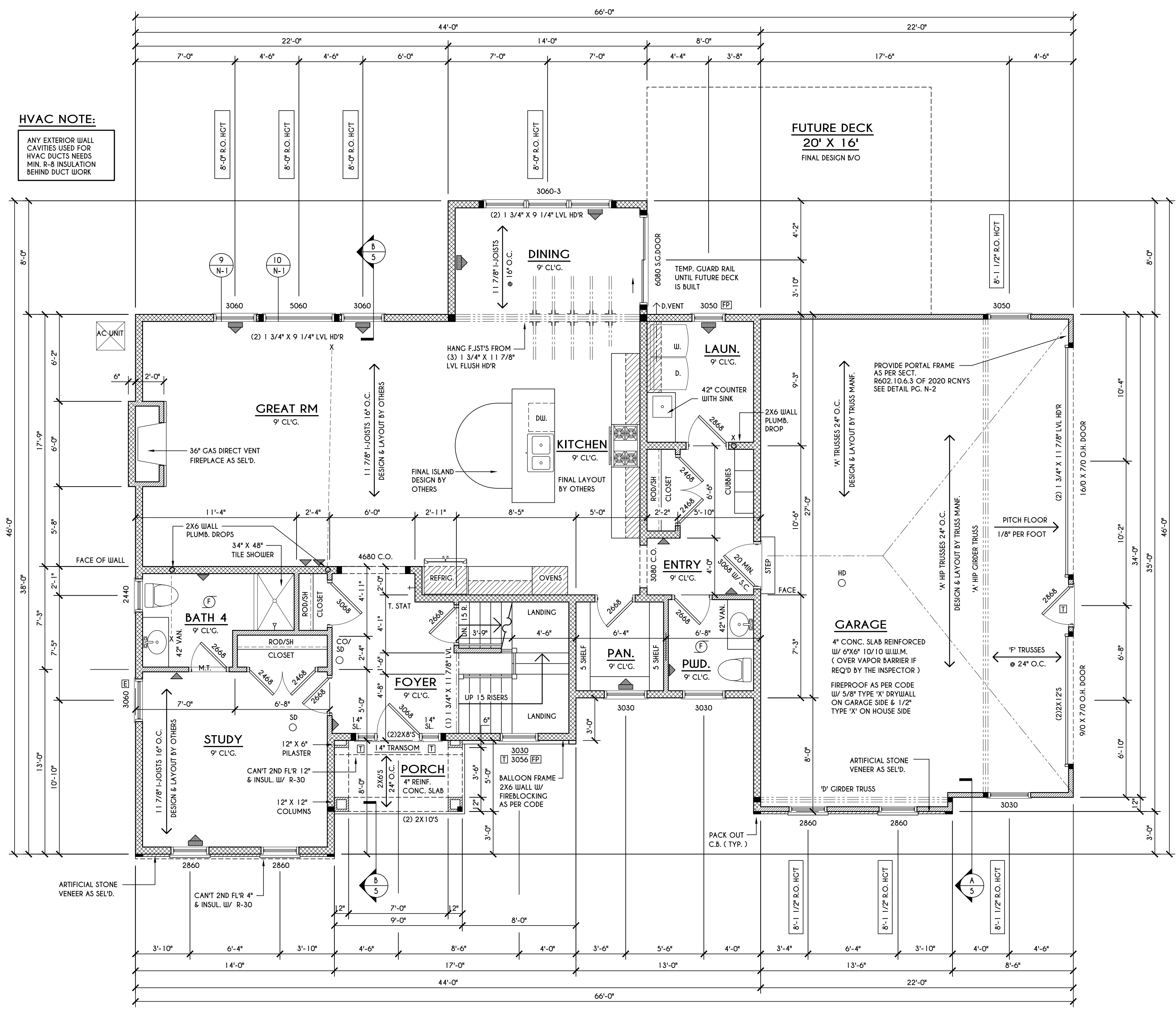
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 SPEC HOUSE
 LOT 102 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN
GLA PLAN 3018

drawn: CDK	checked: CSB
scale: AS NOTED	date: 5 / 22
PROJECT: 15428B	sheet: 3 / 5



HVAC NOTE:
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

FUTURE DECK
 20' X 16'
 FINAL DESIGN B/O

FIRST FLOOR PLAN

1505 SQ. FT.

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW.
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

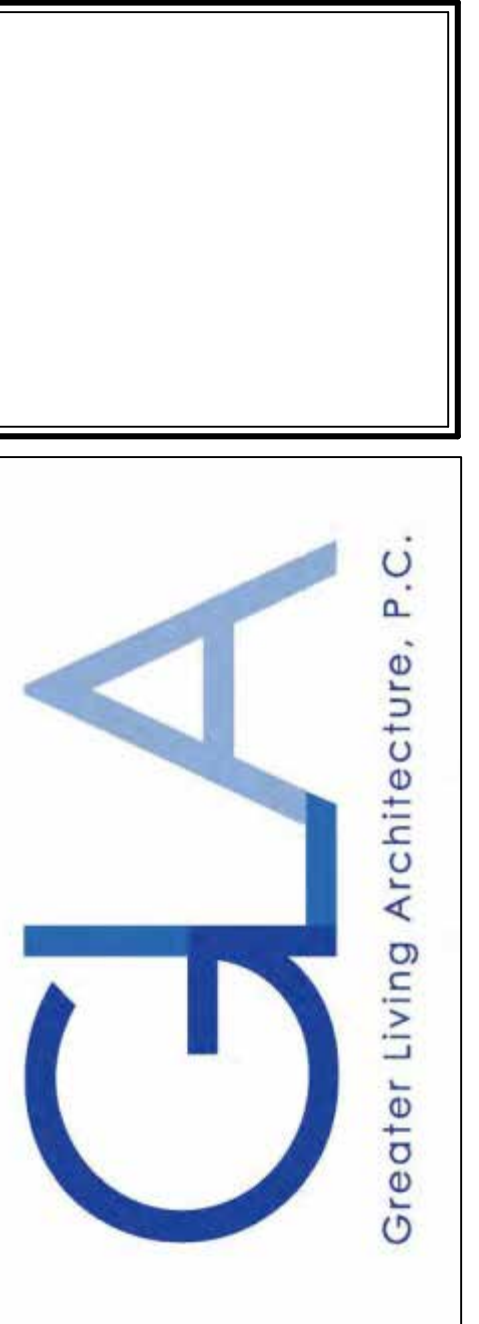
GENERAL FIRST FLOOR PLAN NOTES:

- FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- IF AN AUTOMATIC GARAGE DOOR OPERATOR IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
- THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING
 PER SECT. R308.4 OF 2020 RCNYS
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION
 PER SECT. R312.2 OF 2020 RCNYS

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DATE	BY	DESCRIPTION

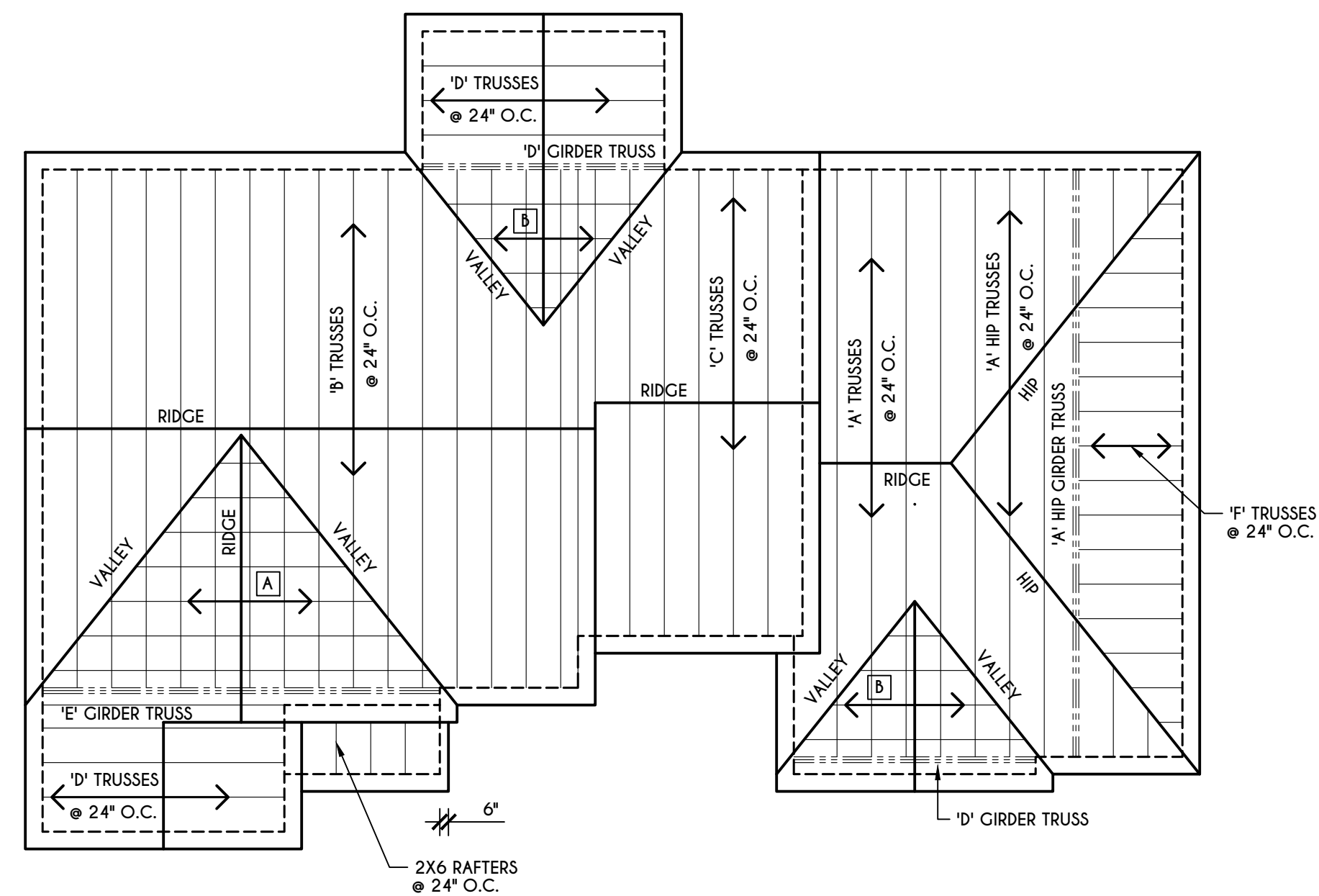
CLIENT/LOCATION:
 SPEC HOUSE
 LOT 102 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3018

drawn: CDK	checked: CSB
scale: AS NOTED	date: 5 / 22
PROJECT: 15428B	sheet: 4 / 5



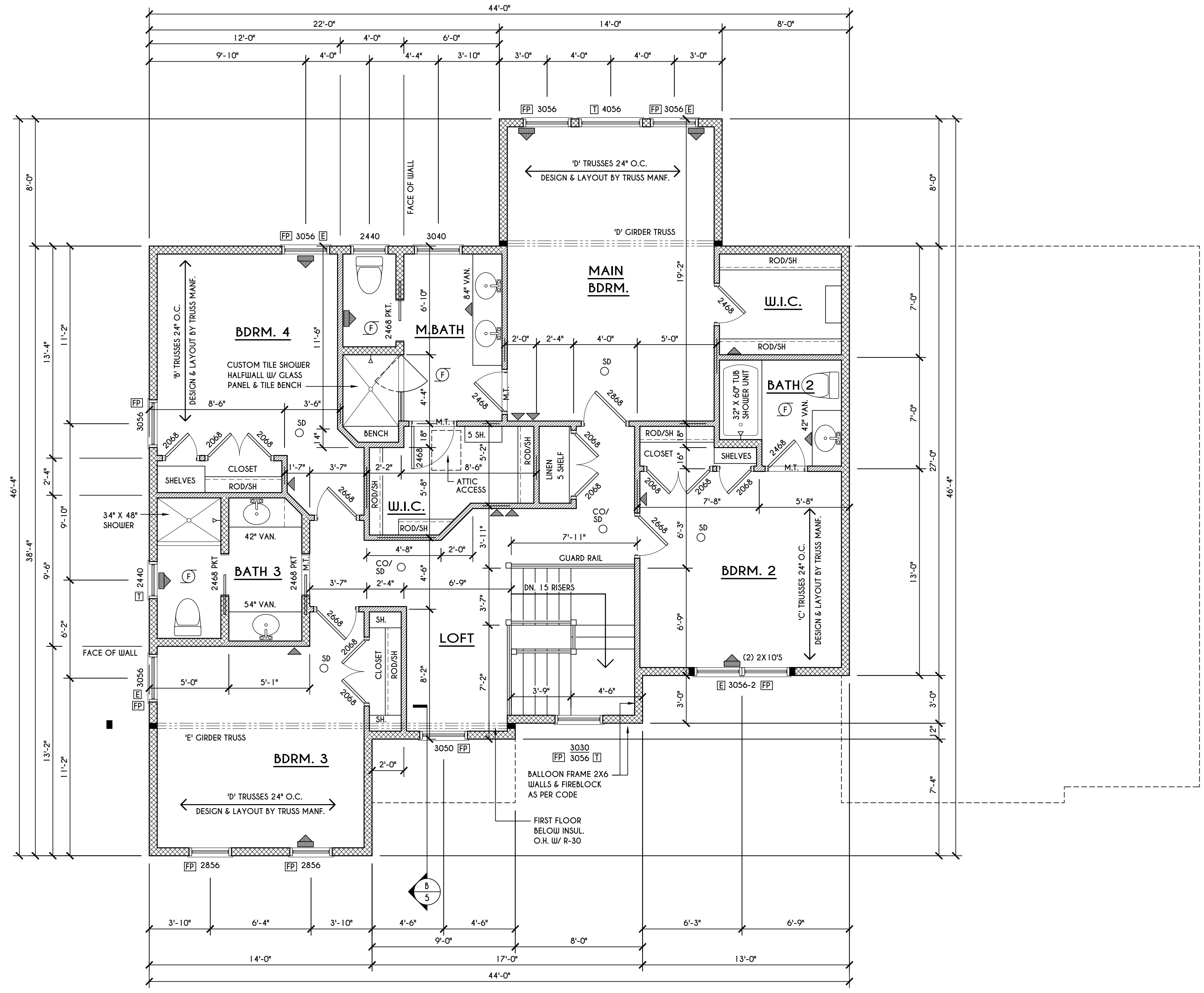
GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN

SCALE: 1/8" = 1'-0"

- A 2X8 LAYOVER RAFTERS 24" O.C.
- B 2X6 LAYOVER RAFTERS 24" O.C.



SECOND FLOOR PLAN

1513 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

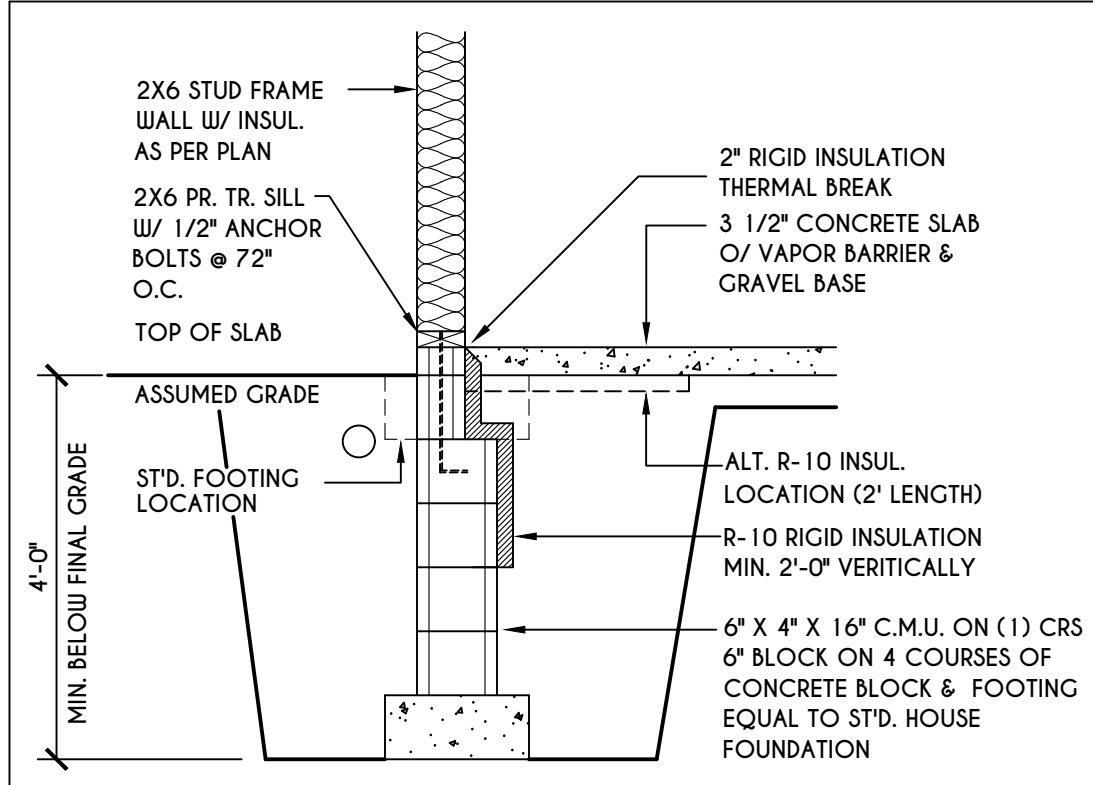
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

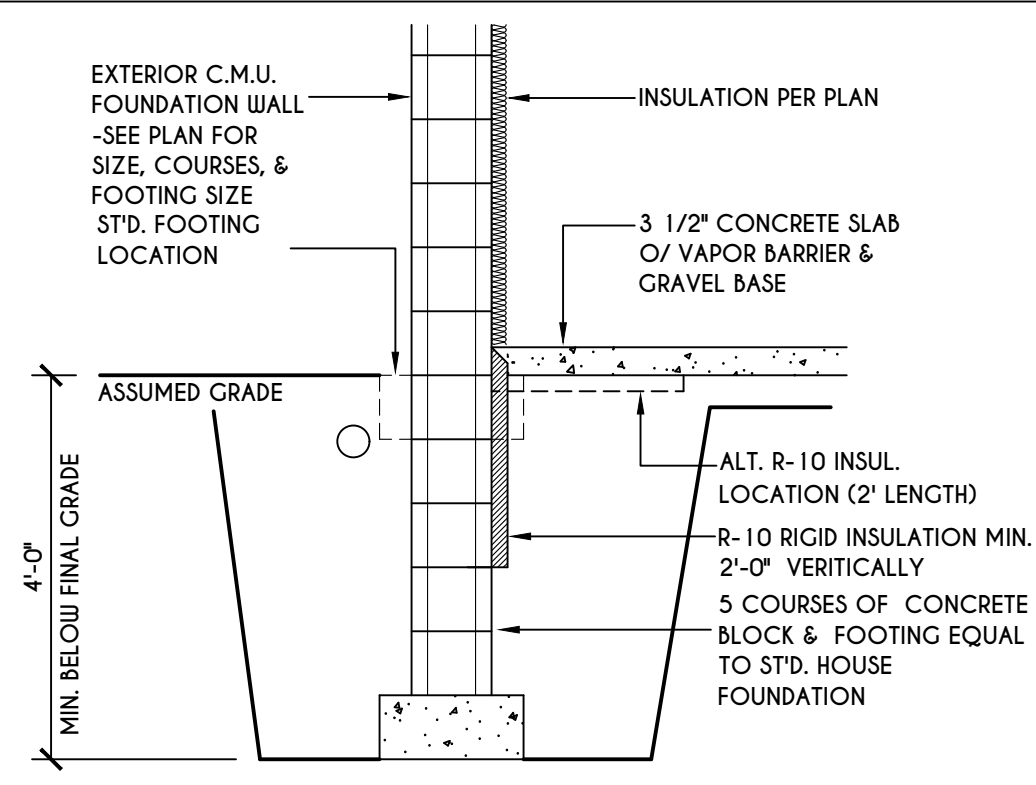
SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7' - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

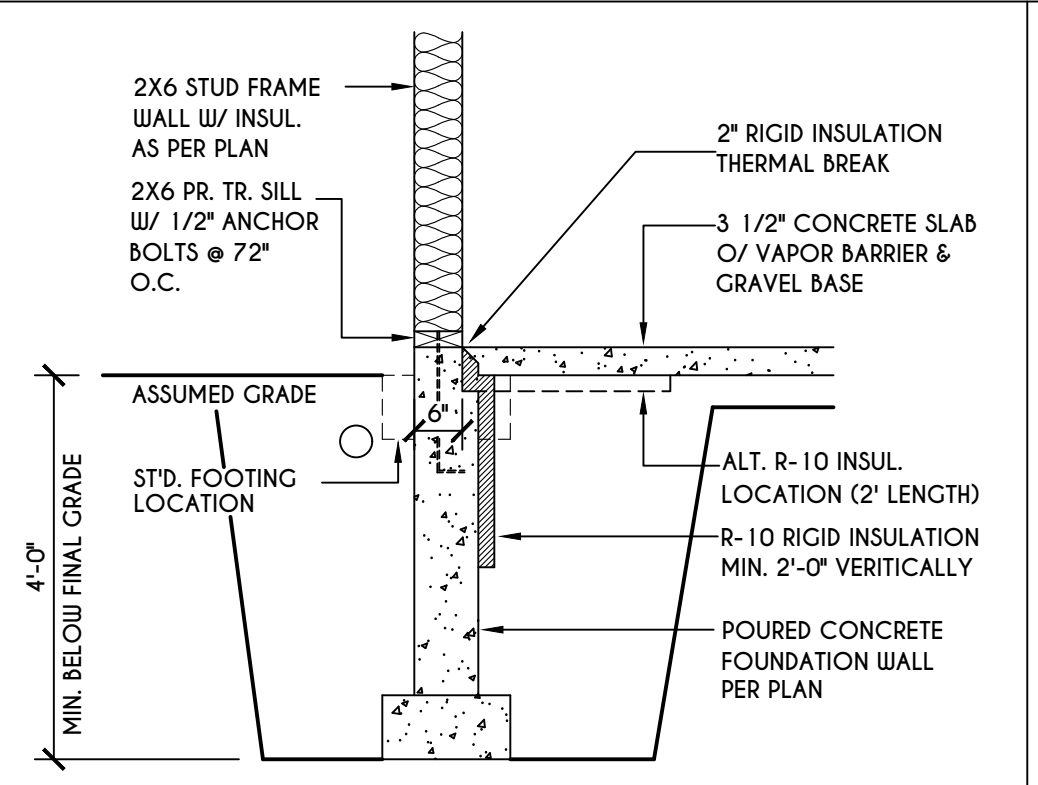
- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



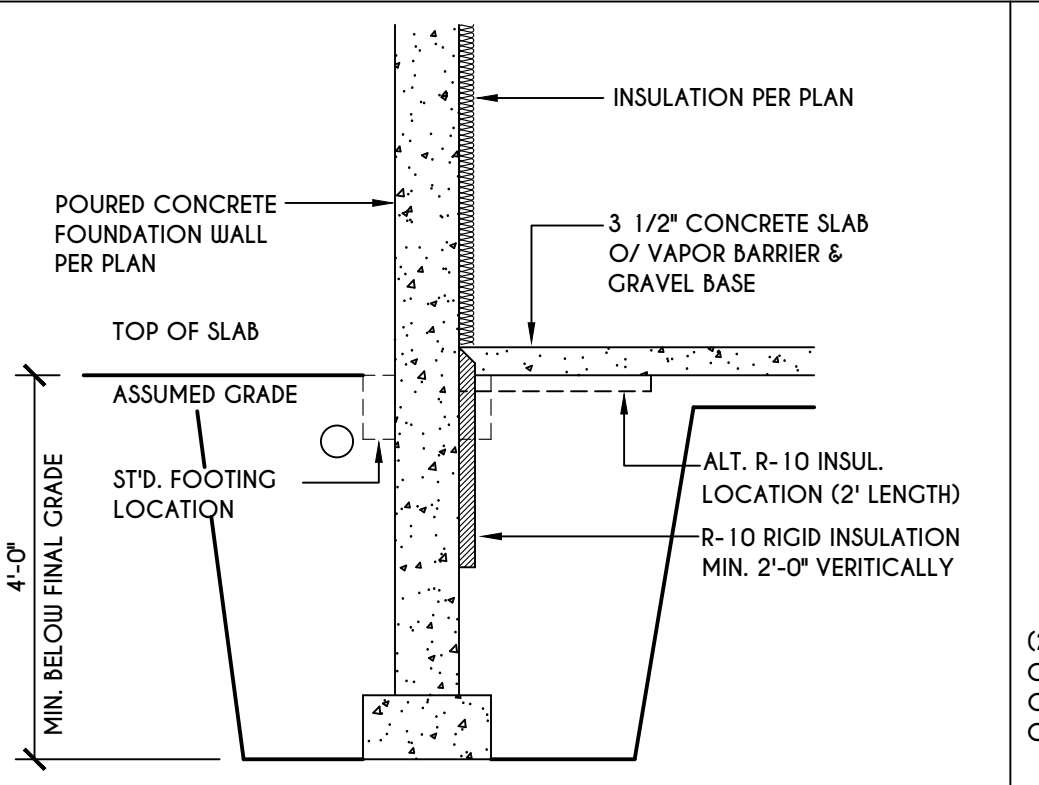
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



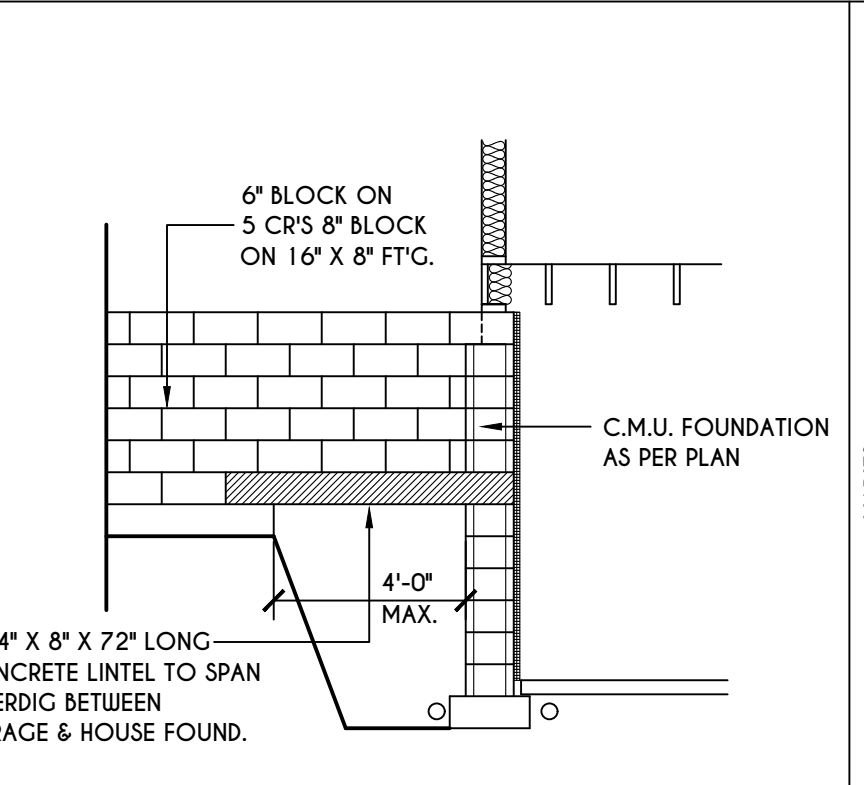
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



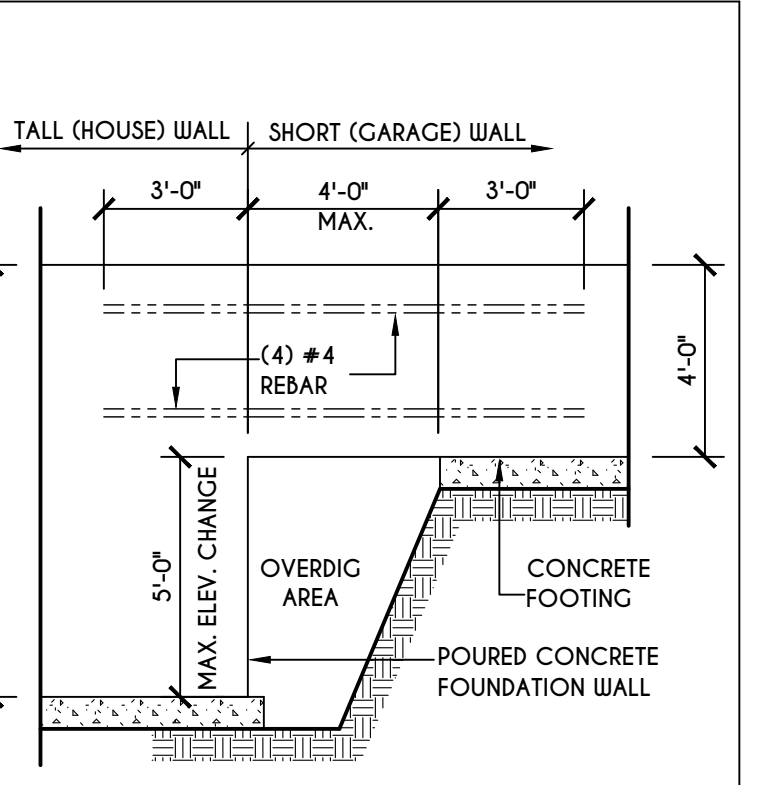
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



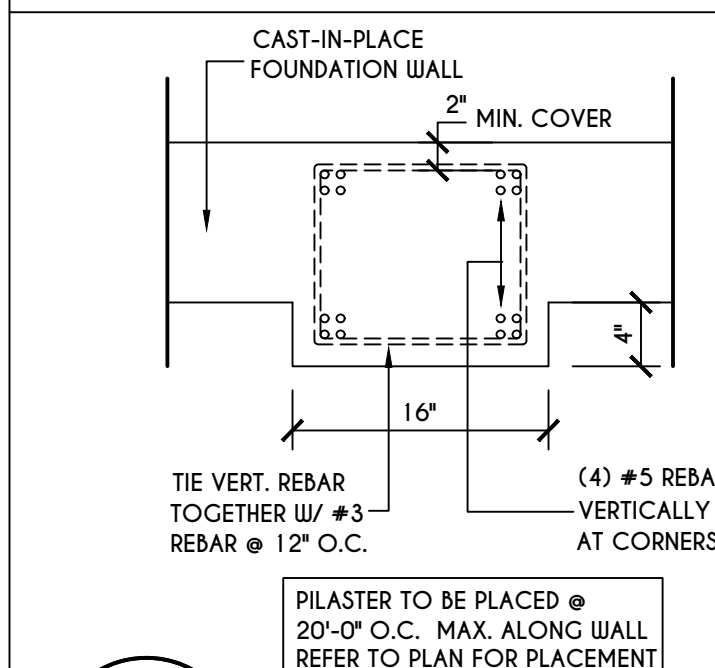
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



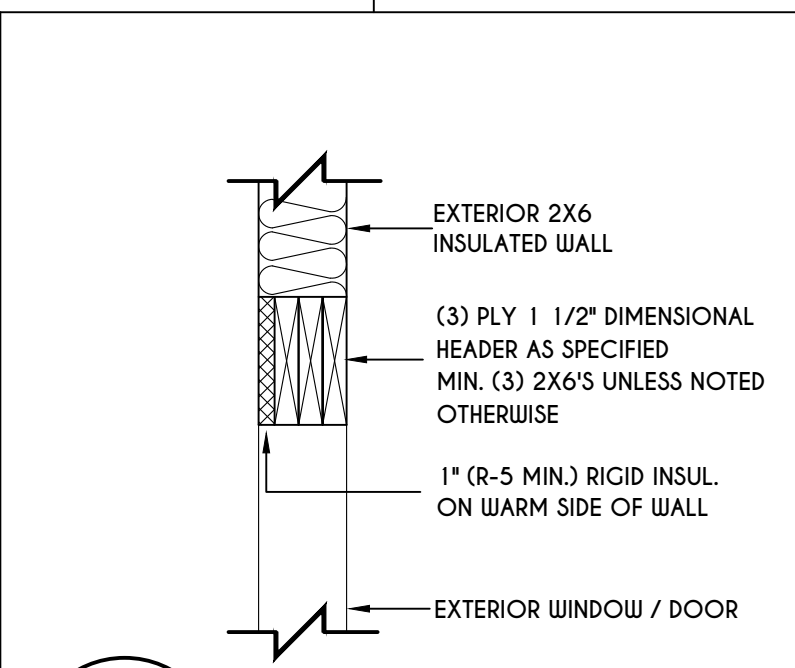
5
N-1
C.M.U. JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



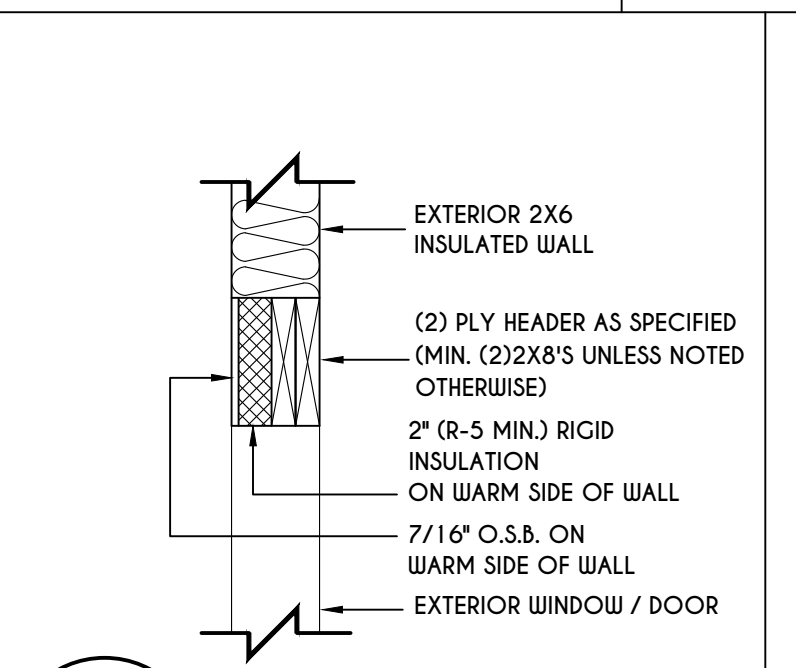
6
N-1
POURED WALL JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



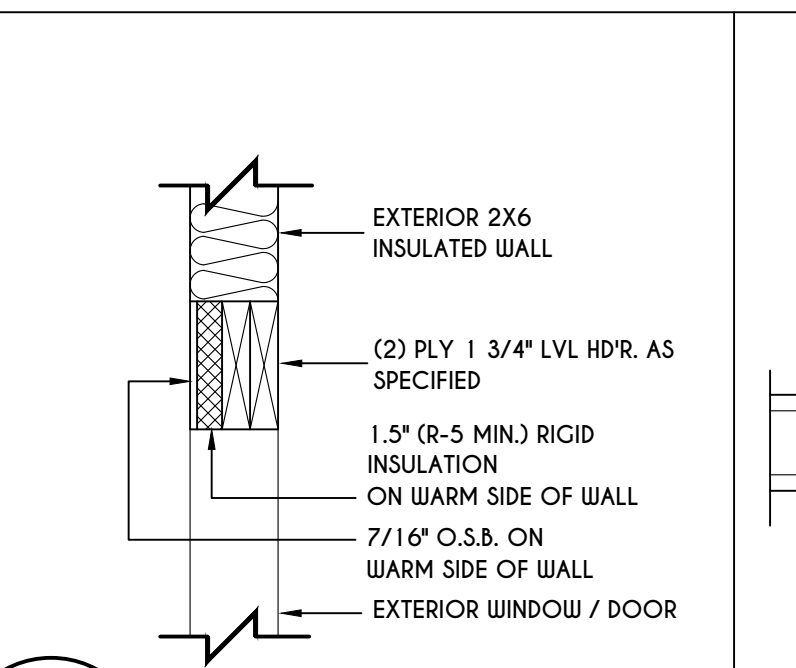
7
N-1
POURED WALL
PILASTER DETAIL
SCALE: 1" = 1'-0"



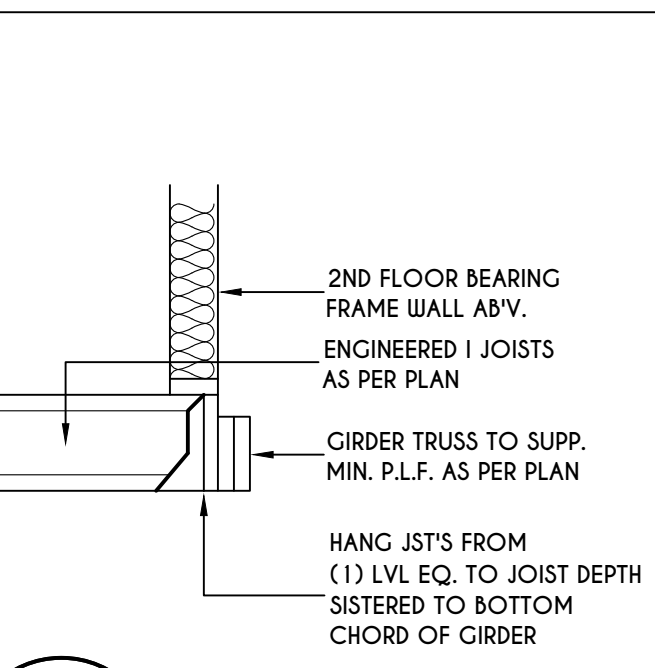
8
N-1
EXTERIOR INSULATED
3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



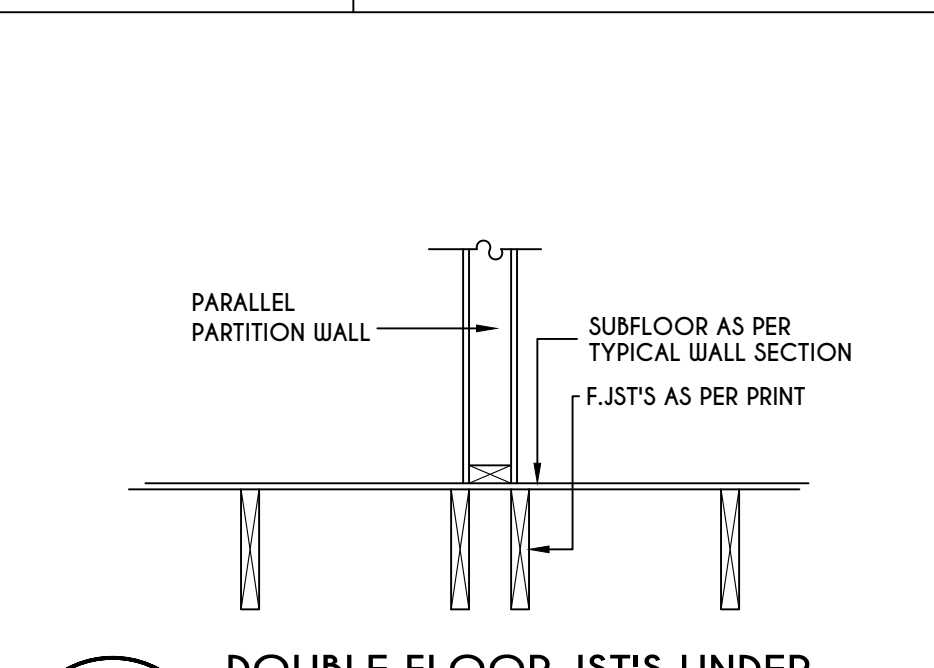
9
N-1
EXTERIOR INSULATED
2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



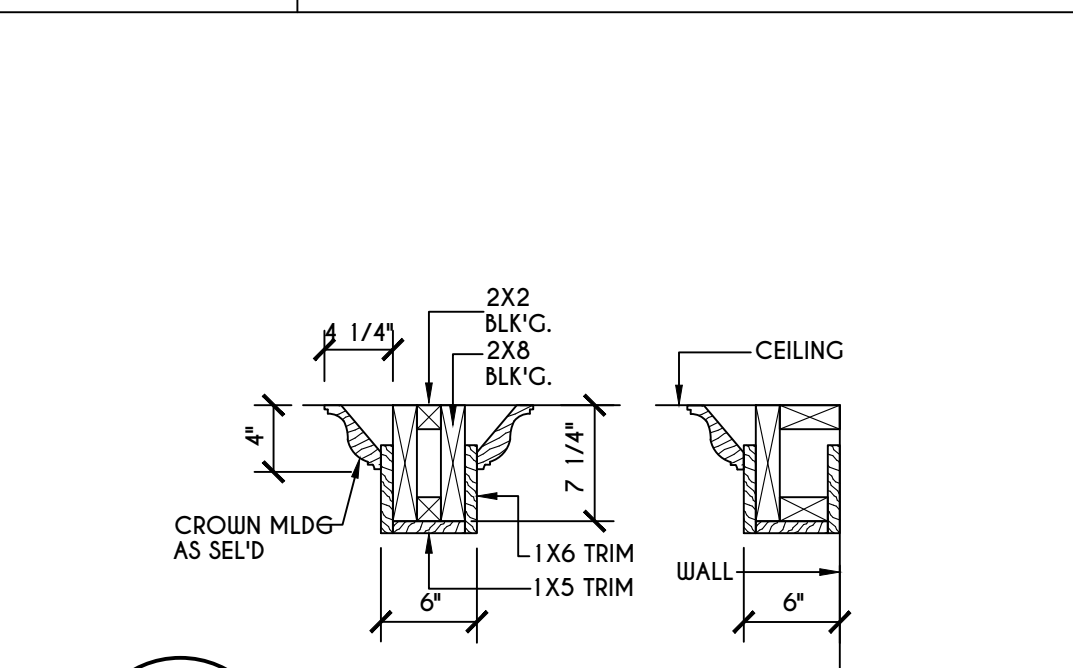
10
N-1
EXTERIOR INSULATED
2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



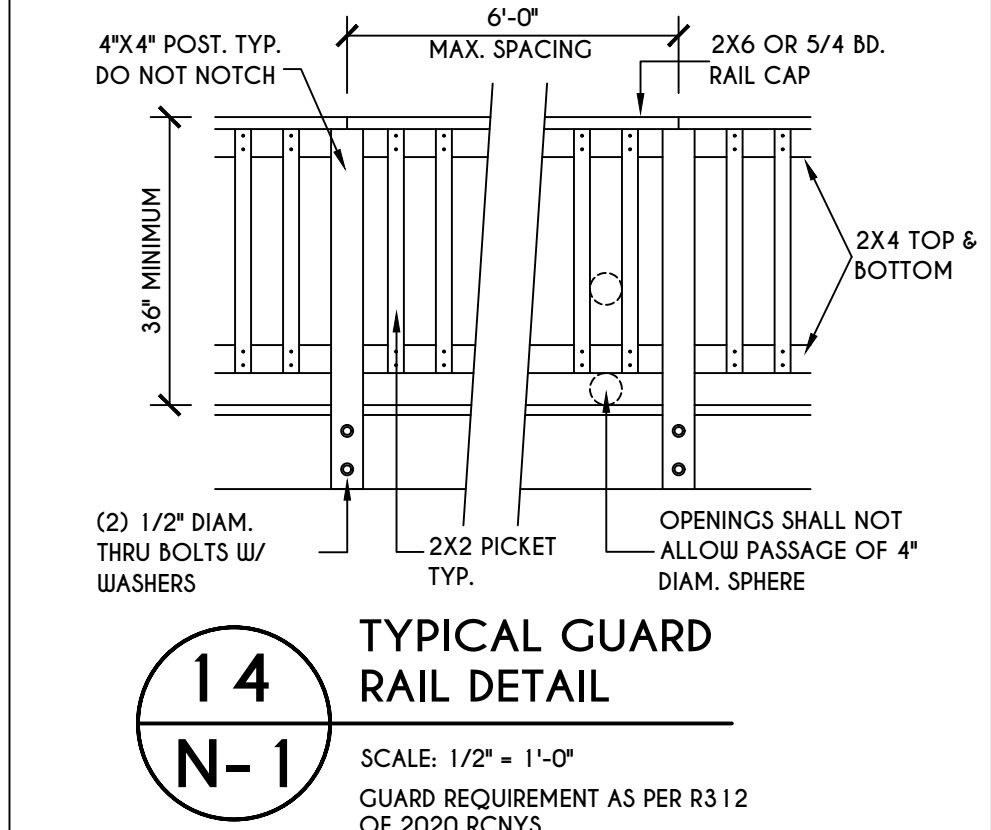
11
N-1
I JOIST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



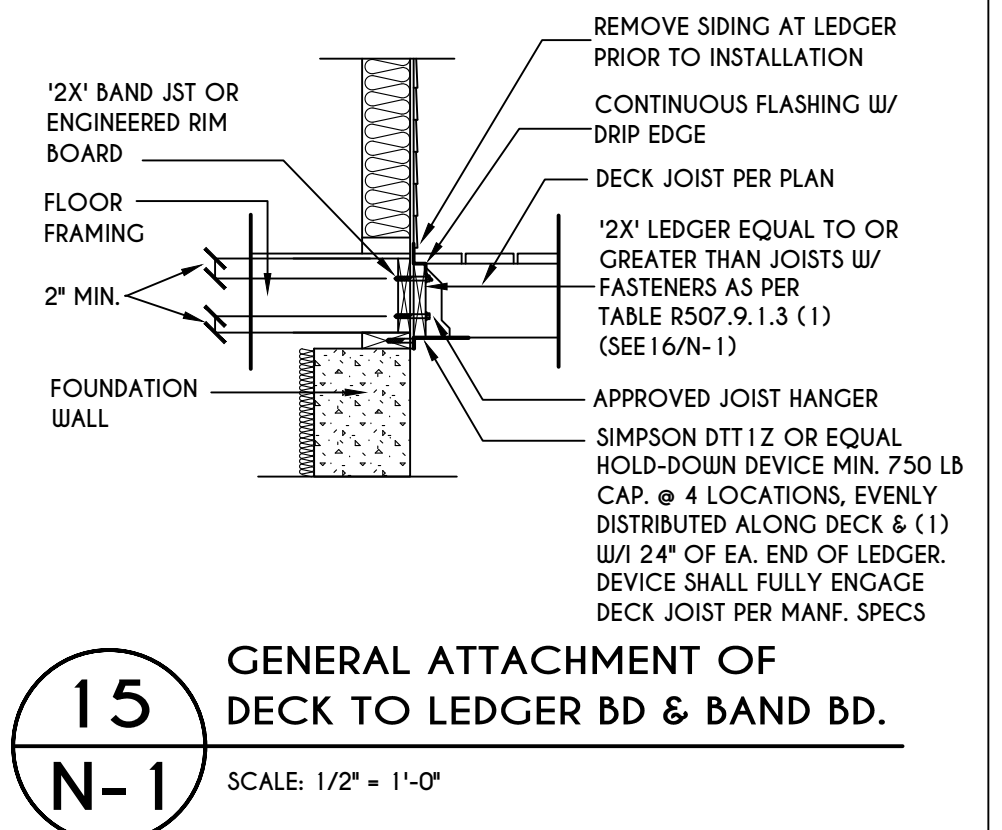
12
N-1
DOUBLE FLOOR JOIST'S UNDER
PARALLEL PARTITION WALL DETAIL
N.T.S.



13
N-1
COFFERED BEAM DETAIL
N.T.S.



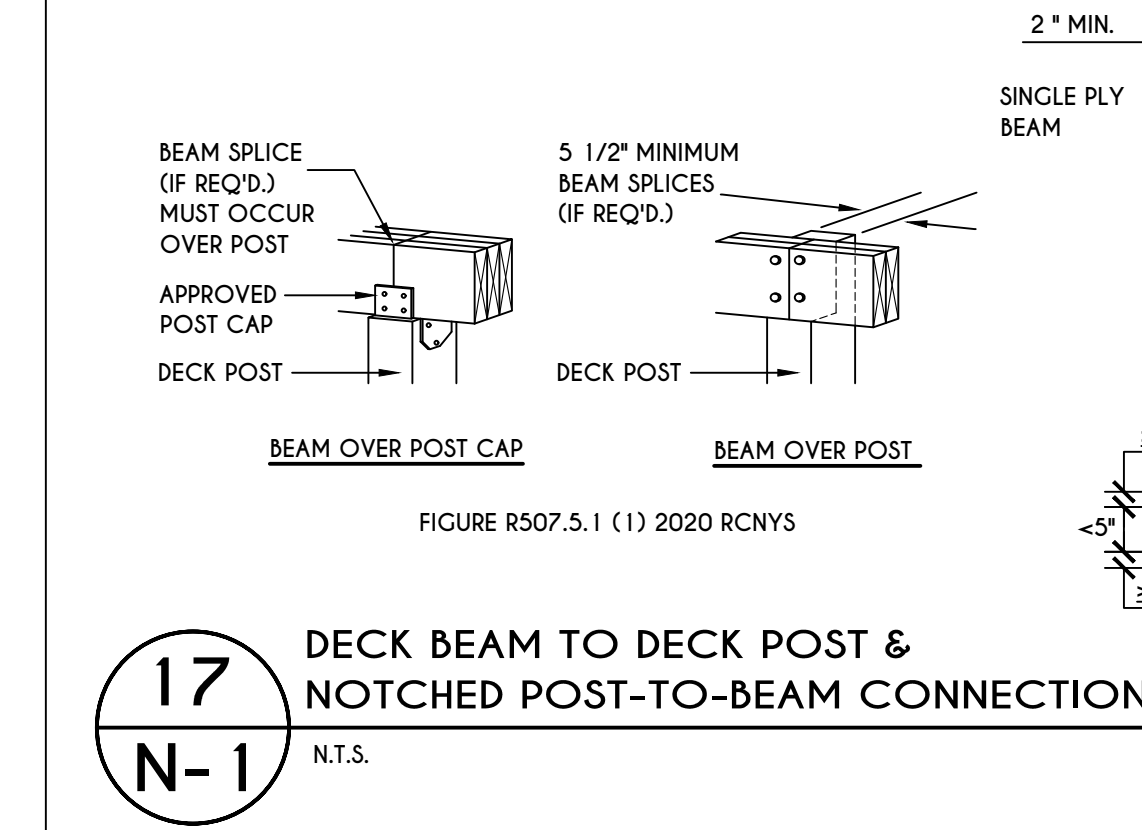
14
N-1
TYPICAL GUARD
RAIL DETAIL
SCALE: 1/2" = 1'-0"



15
N-1
GENERAL ATTACHMENT OF
DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

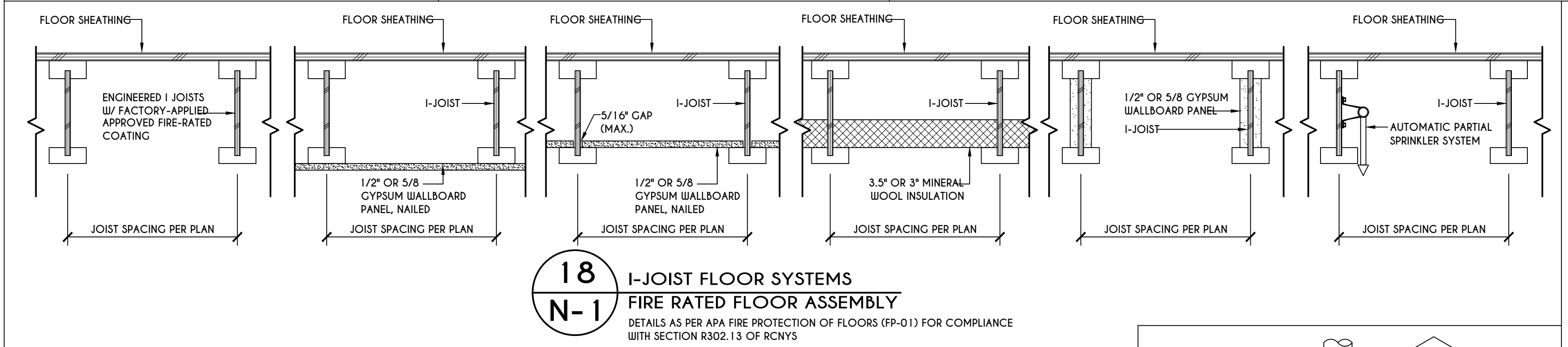


17
N-1
DECK BEAM TO DECK POST &
NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

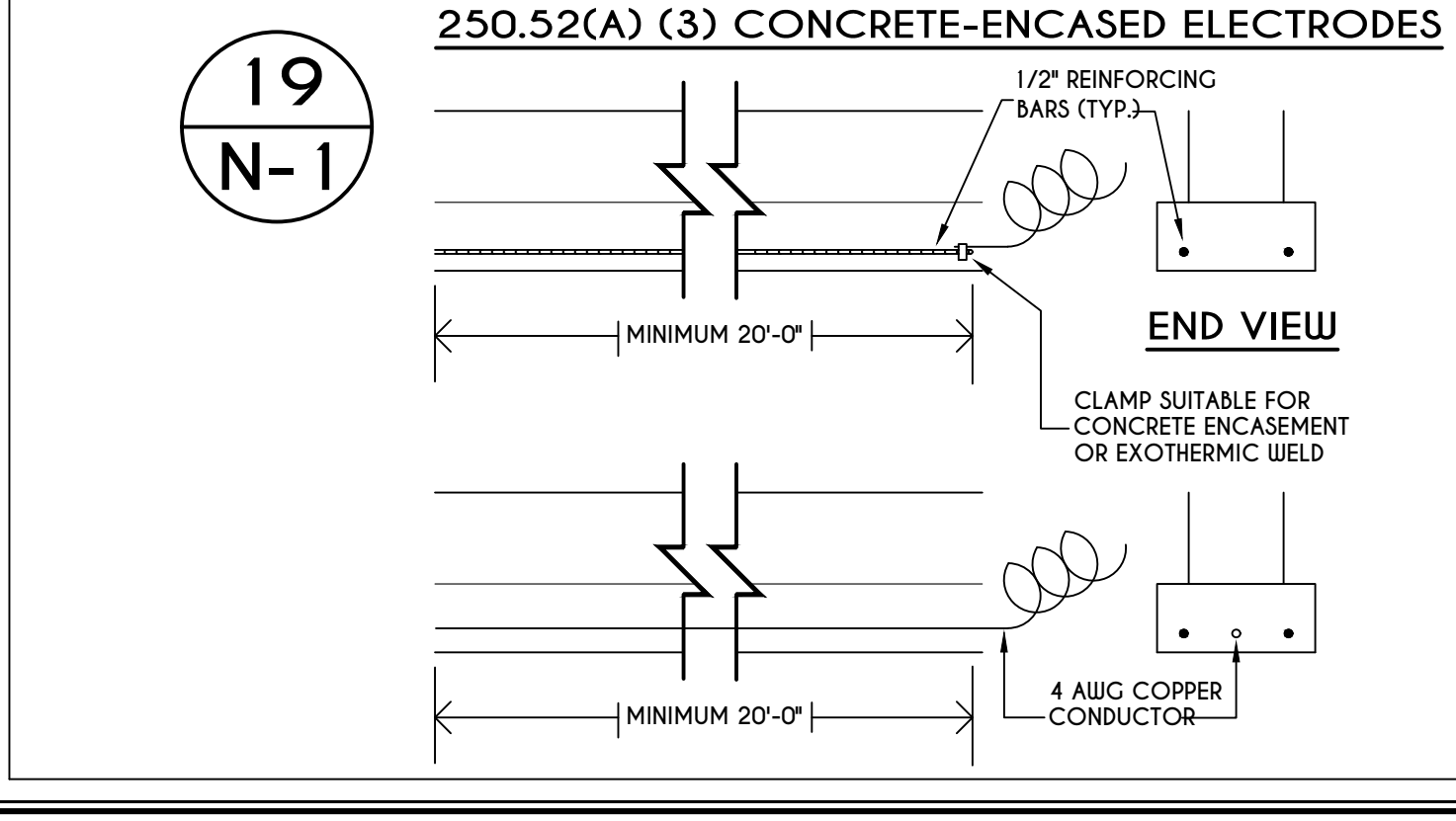
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

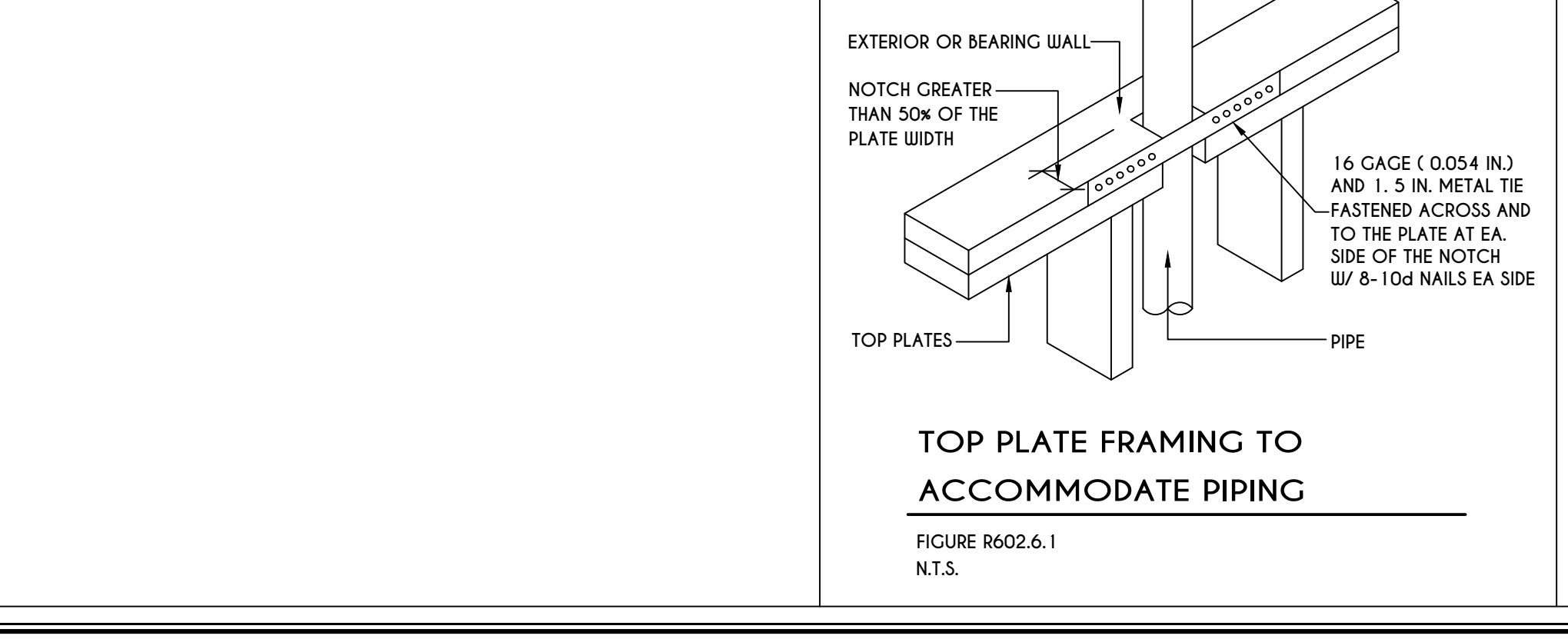
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



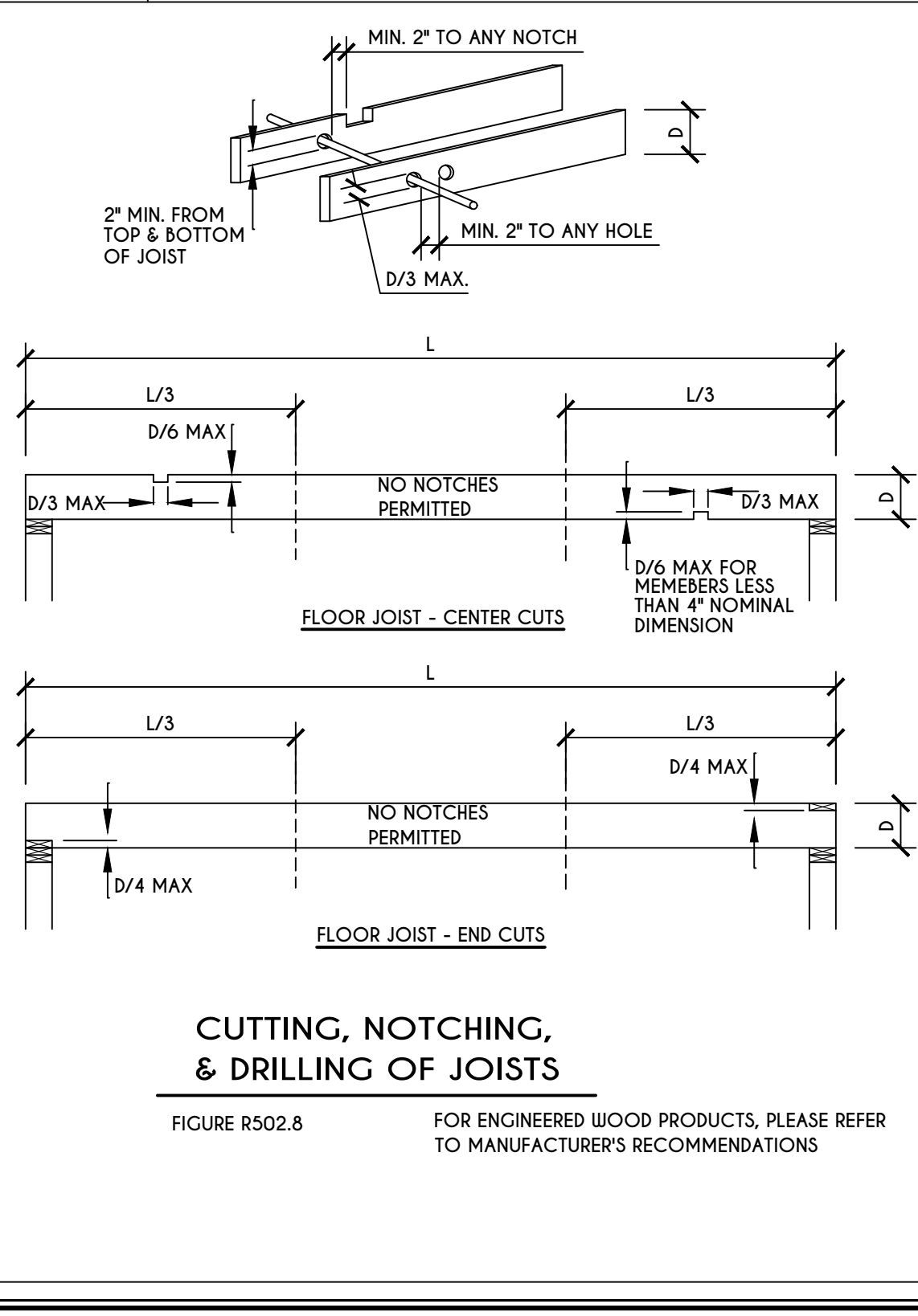
18
N-1
I-JOIST FLOOR SYSTEMS
FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



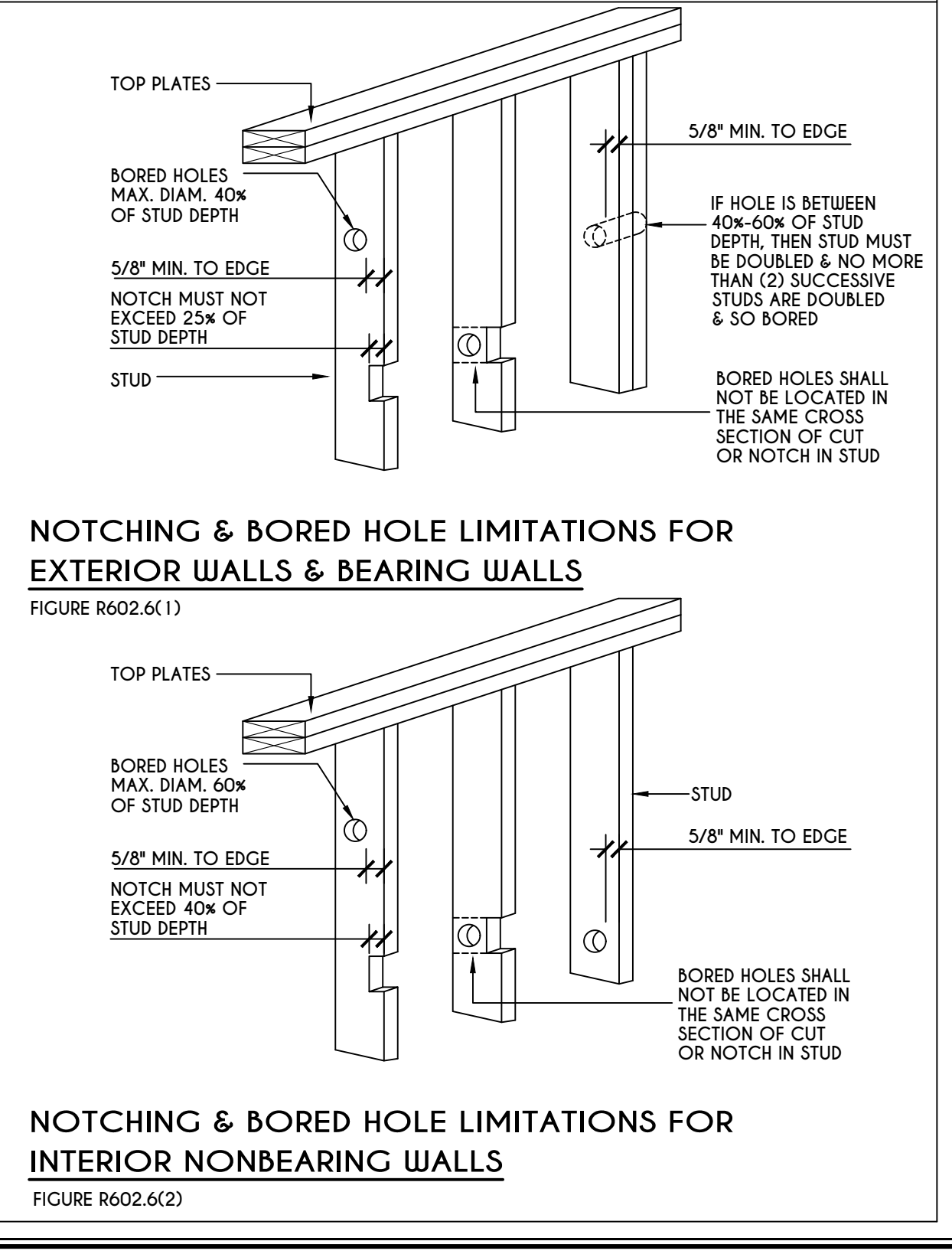
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASEMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR
MINIMUM 20'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

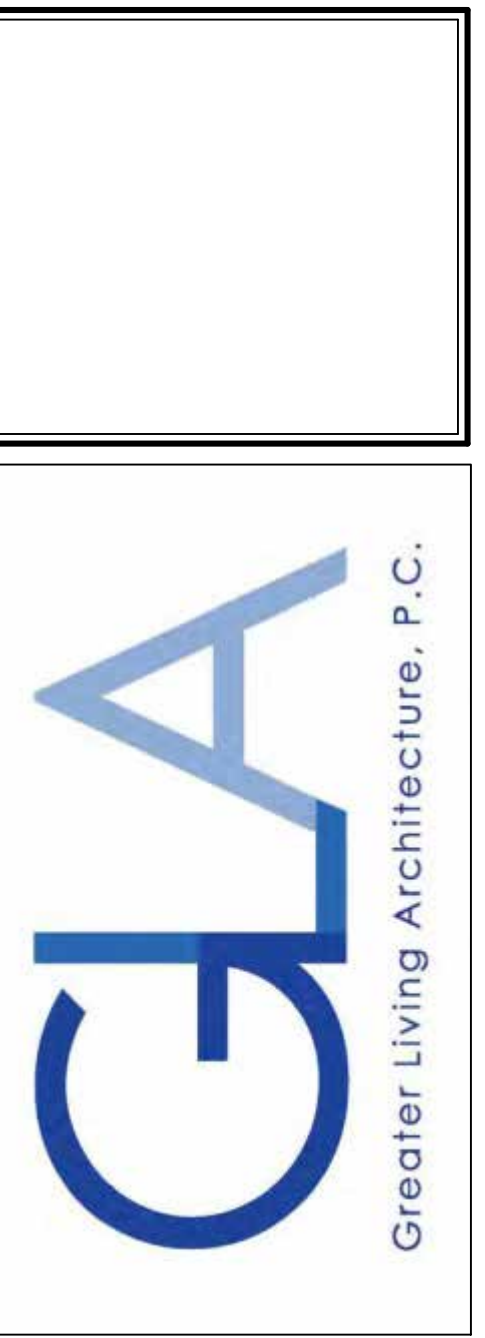


CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOUSE
LOT 102 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

DETAILS
GLA PLAN 3018

drawn: CDK	checked: CSB
scale: AS NOTED	date: 5 / 22
PROJECT: 15428B	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
 b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
 e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
 f. INTERPOLATION IS NOT PERMITTED.
 g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
 h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
 i. CONCRETE COVERS FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVERS FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 3 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
 j. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
 k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 1a.
 l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
 m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
 n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	RIM JOISTS SHALL BE SEALED.
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CHALKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL JOINTS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.
CONCEALED SPRINKLERS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CHALKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL JOINTS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

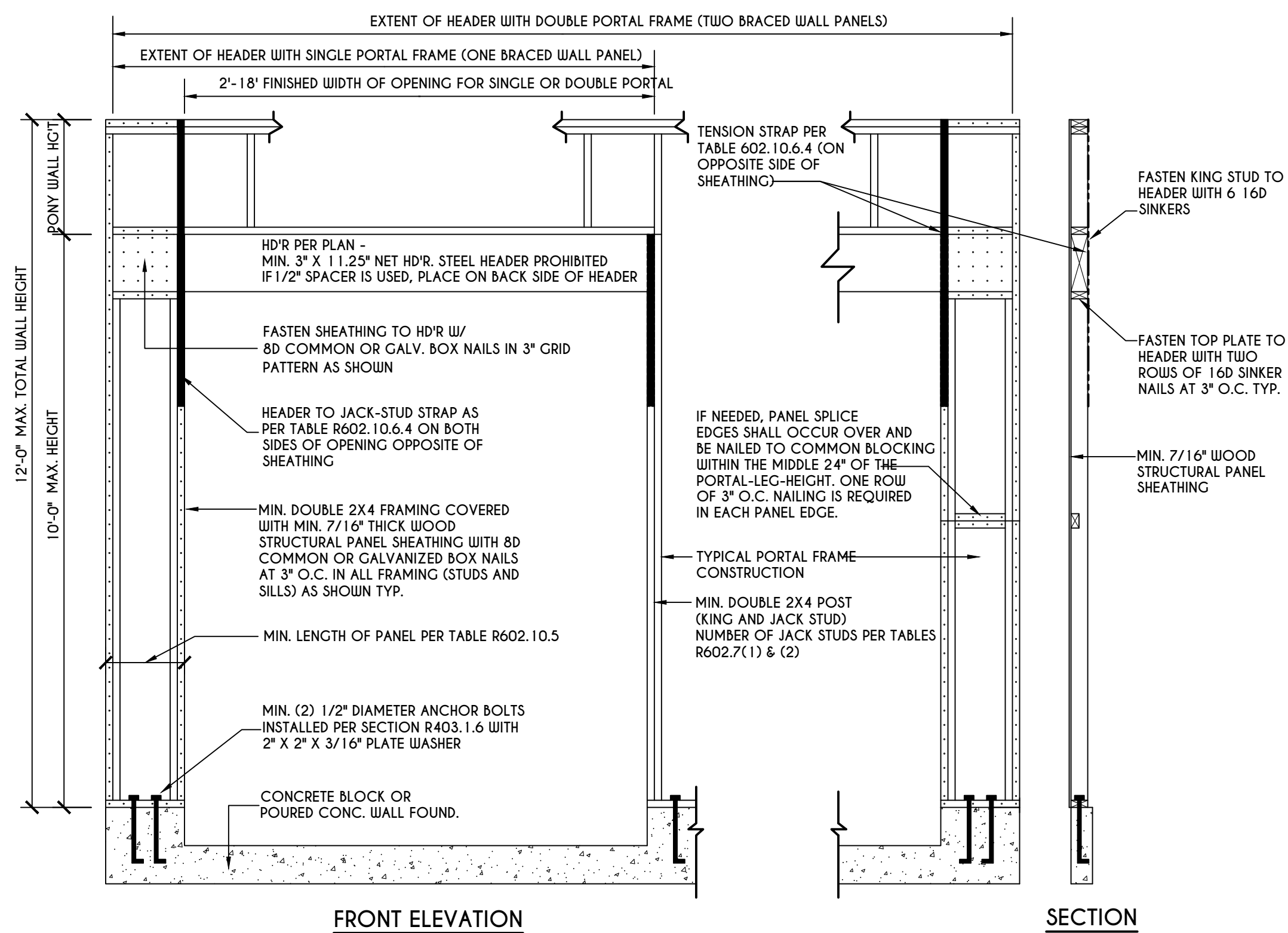
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
 b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GM	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



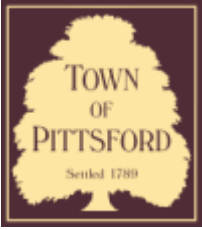




07/25/2016



07/25/2016



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C22-000030

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 500 Hahnemann Trail PITTSFORD, NY 14534

Tax ID Number: 164.08-1-44

Zoning District: PUD Planned Unit Development

Owner: Highlands Living Center Inc

Applicant: Highlands Living Center Inc

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of an approximately 1200 SF Storage building on the Highlands Living Center property.

Meeting Date: June 09, 2022





Interstate 490 Westbound

Interstate 490 Eastbound

Wood Creek Dr

Hahnemann Trl

Hahnemann Trl

Unnamed Street

Hahnemann Trl

Hahnemann Trl

CONSTRUCTION NOTES

1. EXISTING: (a) All existing structures to be demolished and removed from the site. (b) All existing utilities to be located and marked. (c) All existing trees to be preserved and protected.
2. EXISTING: (a) All existing structures to be demolished and removed from the site. (b) All existing utilities to be located and marked. (c) All existing trees to be preserved and protected.
3. EXISTING: (a) All existing structures to be demolished and removed from the site. (b) All existing utilities to be located and marked. (c) All existing trees to be preserved and protected.
4. EXISTING: (a) All existing structures to be demolished and removed from the site. (b) All existing utilities to be located and marked. (c) All existing trees to be preserved and protected.

PROJECT STATISTICS

Project No. 2022-001
 Date: 05/24/22
 Scale: 1" = 40' (Overall Site Plan)
 Scale: 1" = 20' (Blow-Up View)
 Project Name: Highlands Storage Building '22



OVERALL SITE PLAN

LOCATION MAP

- GENERAL**
1. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 2. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 3. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 4. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 5. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 6. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 7. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 8. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 9. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.
 10. THE PROPOSED STORAGE BUILDING AND PARKING AREAS ARE SHOWN ON THE LOCATION MAP.



BLOW-UP VIEW



**PROPOSED STORAGE BUILDING
 for
 THE HIGHLANDS LIVING CENTER**

50 HANCOCK TRAIL
 HONOLULU, HAWAII 96813
 STATE OF NEW YORK

APPROVED
 05/24/22
 DATE

TOWN OF PITTSFORD
 PLANNING BOARD
John P. ...

DATE	10/22
SCALE	AS SHOWN
DRAWN	SPB
DESIGNED	SPB
CHECK	ENR/CML
REVISIONS	

**FINAL
 APPROVED**



WORKING TITLE
SITE PLAN

SCALE
C1.0

PROJECT NO. **N/A**
 PROJECT BY: *[Signature]*
 DATE: 05/24/22

Highlands Storage Buildings '22



Route 31—Lyons, NY 14489
 (315) 946-4867
 1660 Division Street—Palmyra, NY 14522
 (315) 597-4884

www.santellilumber.com

ADDENDUM A

Foundation: 80# Bag Sakrete Per Post 6"x12"x16" Solid Block Per Post Contract# _____

Framing: 4 x 6 .60CCA 6 x 6 .60CCA
 3 ply 2 x 6 Laminated Poles by Rigid Ply Rafters
 4 ply 2 x 6 Laminated Poles by Rigid Ply Rafters
 2 x 8 .40CCA Treated Splash Plank
 2 x 4 Girts & Perlins Spaced 2' O/C
 2-Ply 2x10 Double Top Plate
 Truss 4' O/C, 4/12 Pitch
 Truss Loading = 33.6 — 5 — 5
 12" Gable End Overhang
 12" Eave Overhang

Roofing: GR3 Galv. GR3 Painted GR3 Plus Painted
 Other By Fabral.

Siding GR3 Galv. GR3 Plus Painted Vinyl Wood
 Other By Fabral.

Trim: 2 x 6 Subfascia Painted Steel or Alum. Fascia Cover
 Vented Vinyl Soffit Vented Ridge Cap

Doors:	Solid Glass	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> 1 ea. - 10'x8' Model #2283. Insulated. Raised Panel. No Glass.
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> 1 ea. - 3' Man Door. 1/2" Glass.
		<input type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input type="checkbox"/>	

Windows: None

Concrete: None

Color:

Roof: _____	F&J Channel _____
Sides: _____	Gable Trim: _____
Wainscott: _____	J Channel: _____
Soffit: _____	Baseguard: _____
Outside Corner: _____	Jamb Trim: _____
Fascia: _____	Z Trim: _____
Ridge Cap: _____	Track Cover: _____
OH Door: _____	Slider: _____

ATTENTION: Color Samples
 Are NOT An Exact
 Indicator Of Actual Colors

I have read and agree to the specifications
 and colors of this building.

Signed _____

SANTELLI

LUMBER

1660 Division St.
 Palmyra, NY
 (315) 597-4884
 (800) 439-5697

Route 31
 Lyons, NY
 (315) 946-4867
 (800) 427-6263

Date: _____

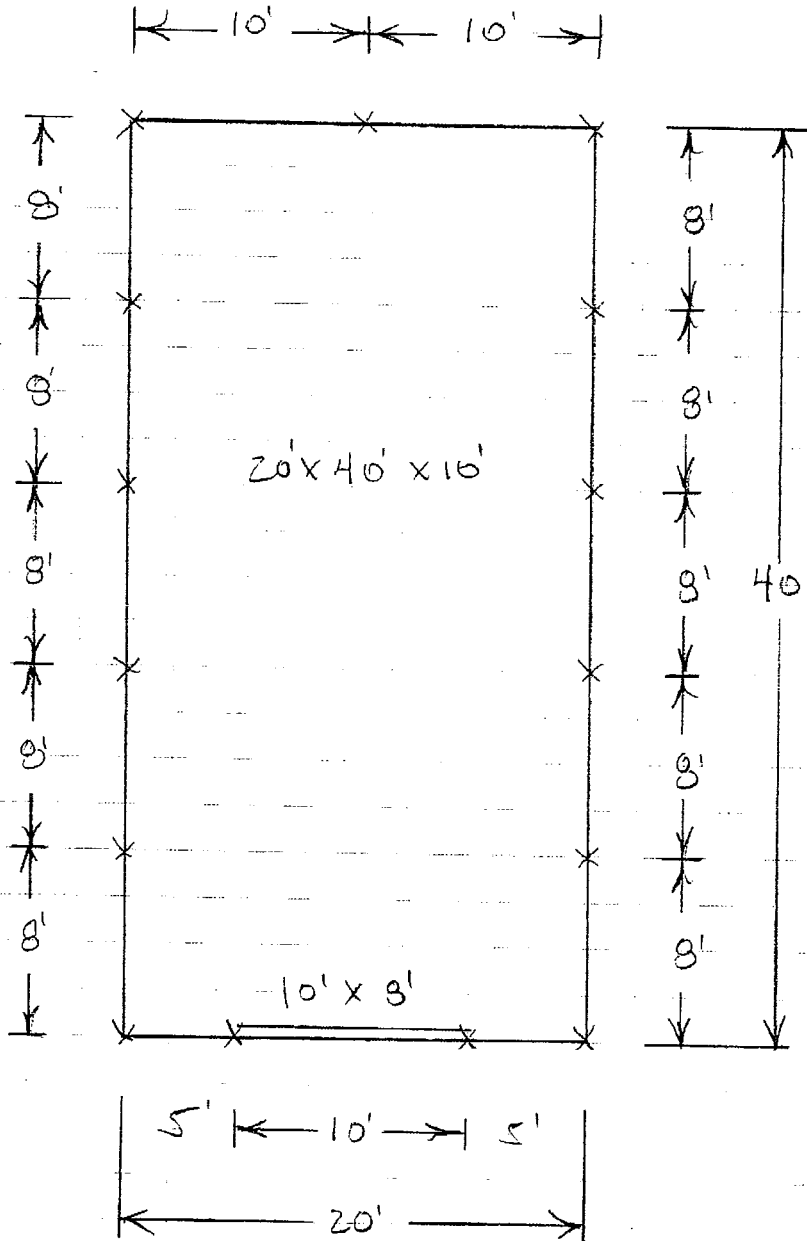
Project Name: _____

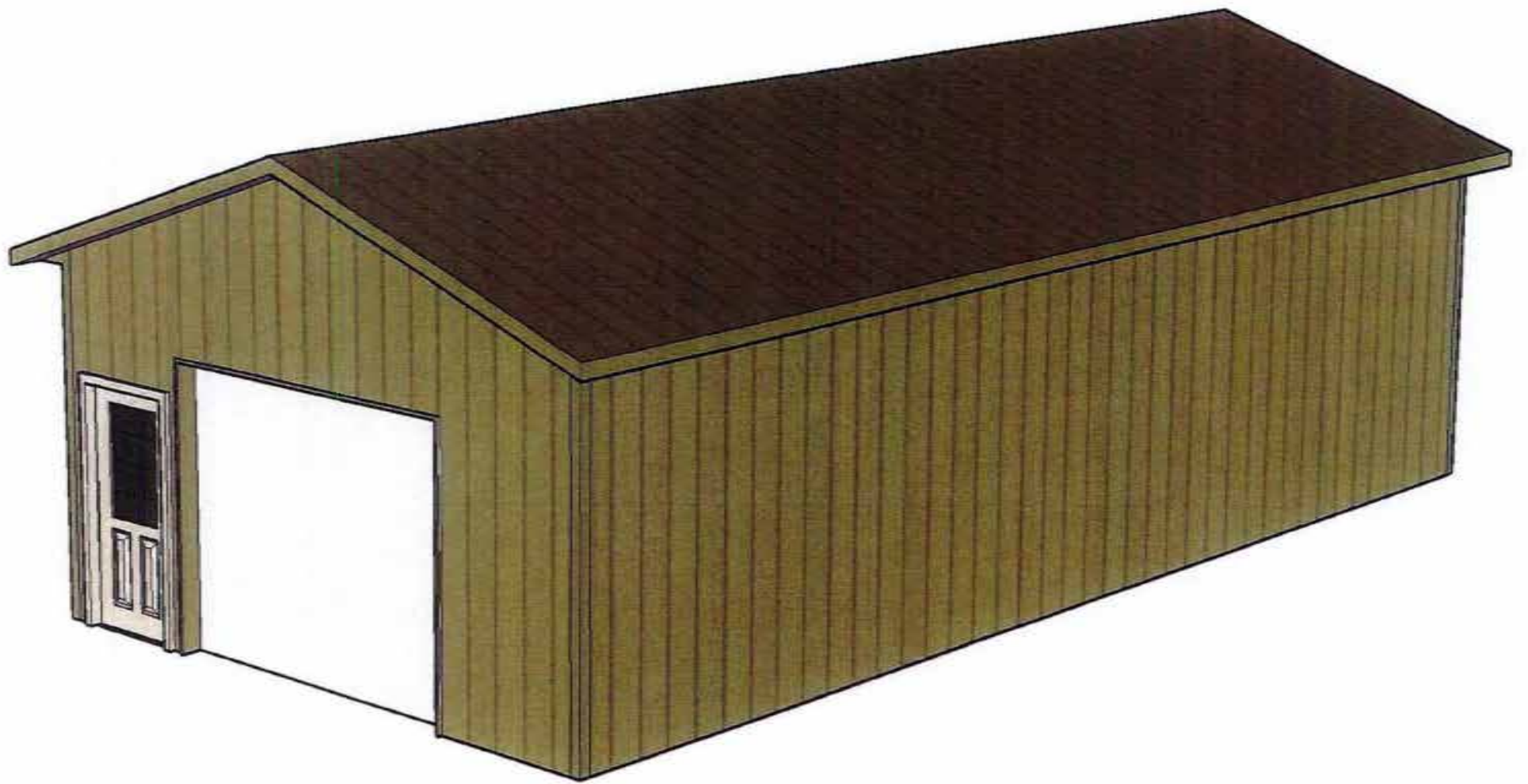
Project Location: _____

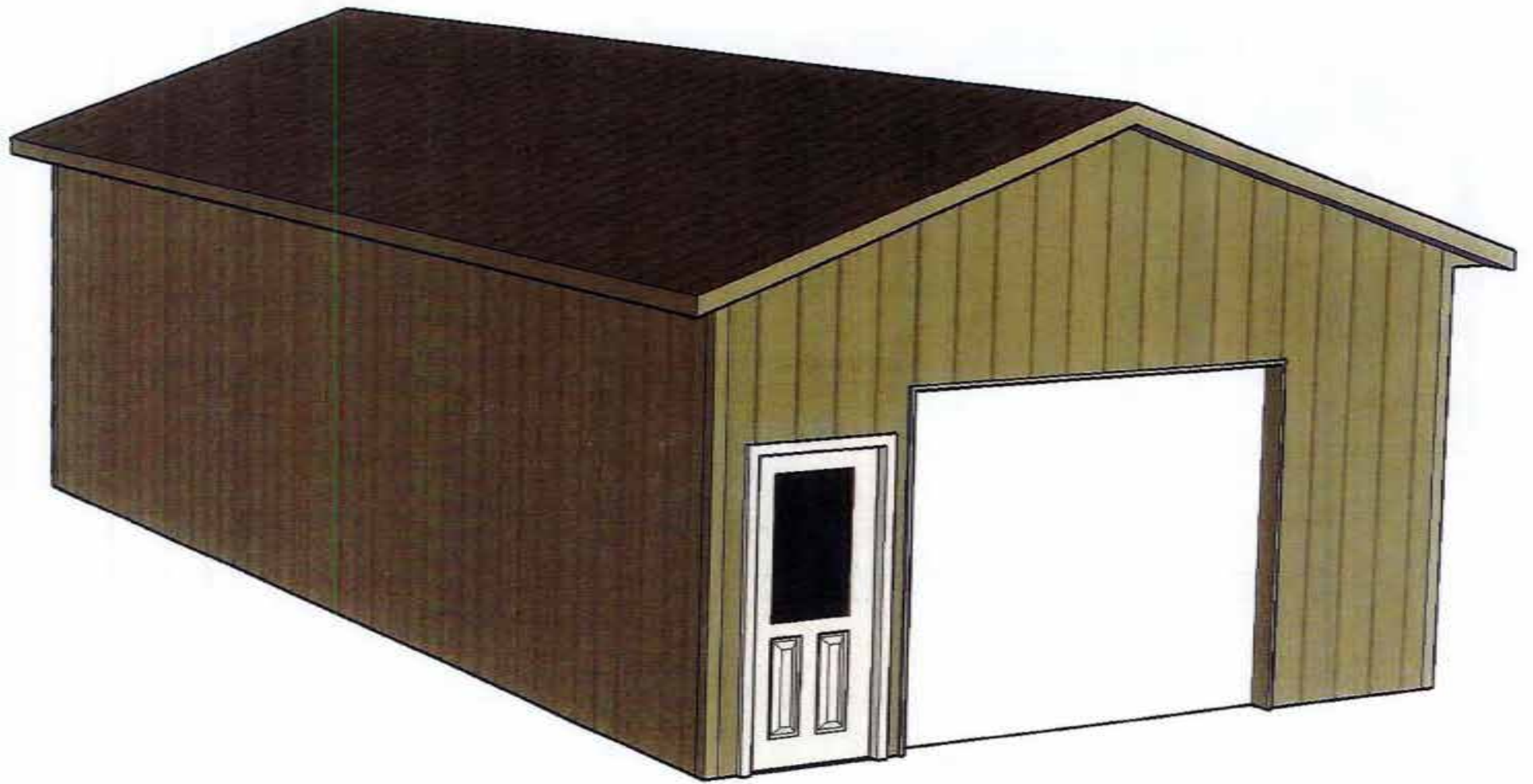
Salesperson: _____

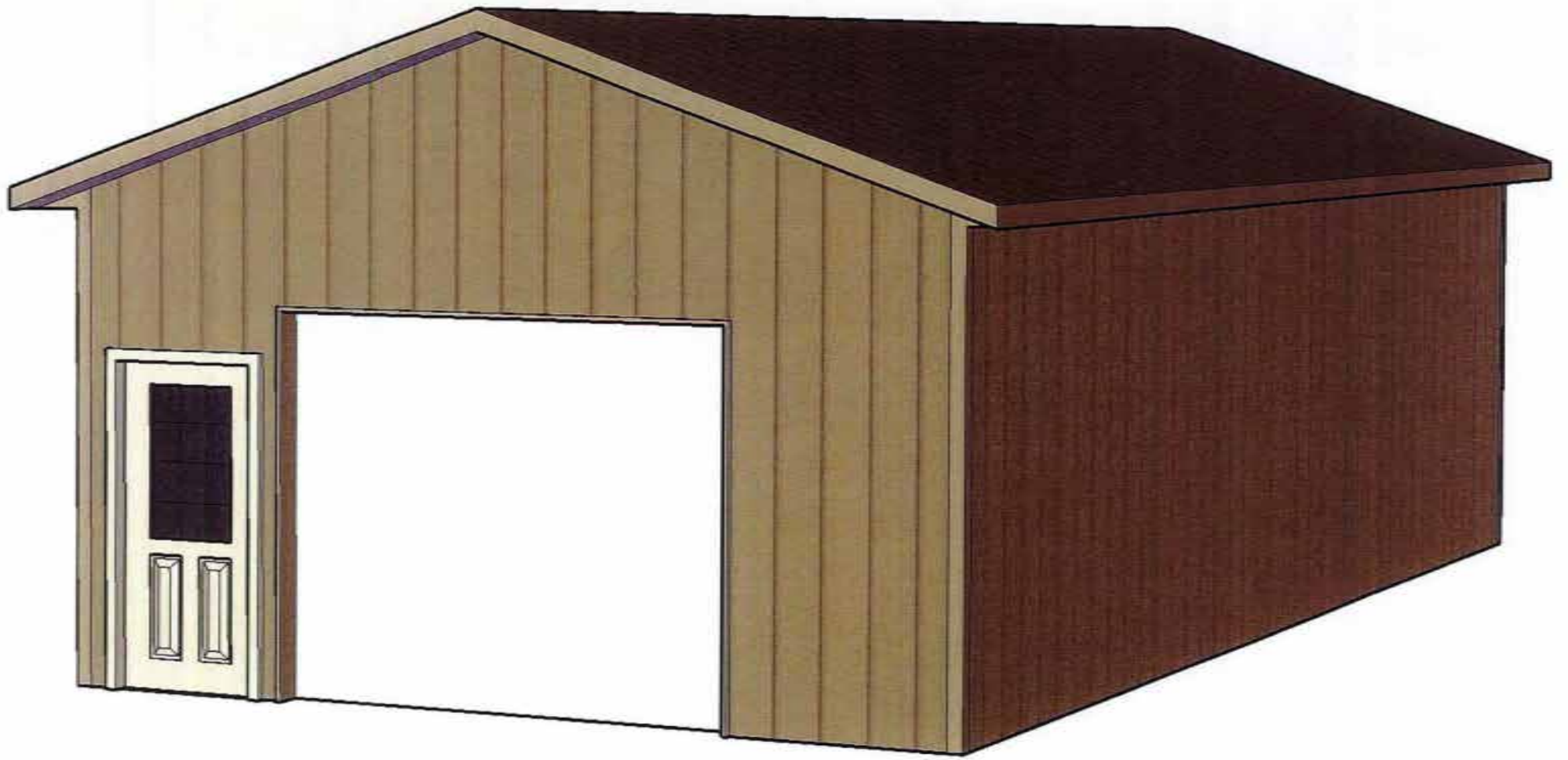
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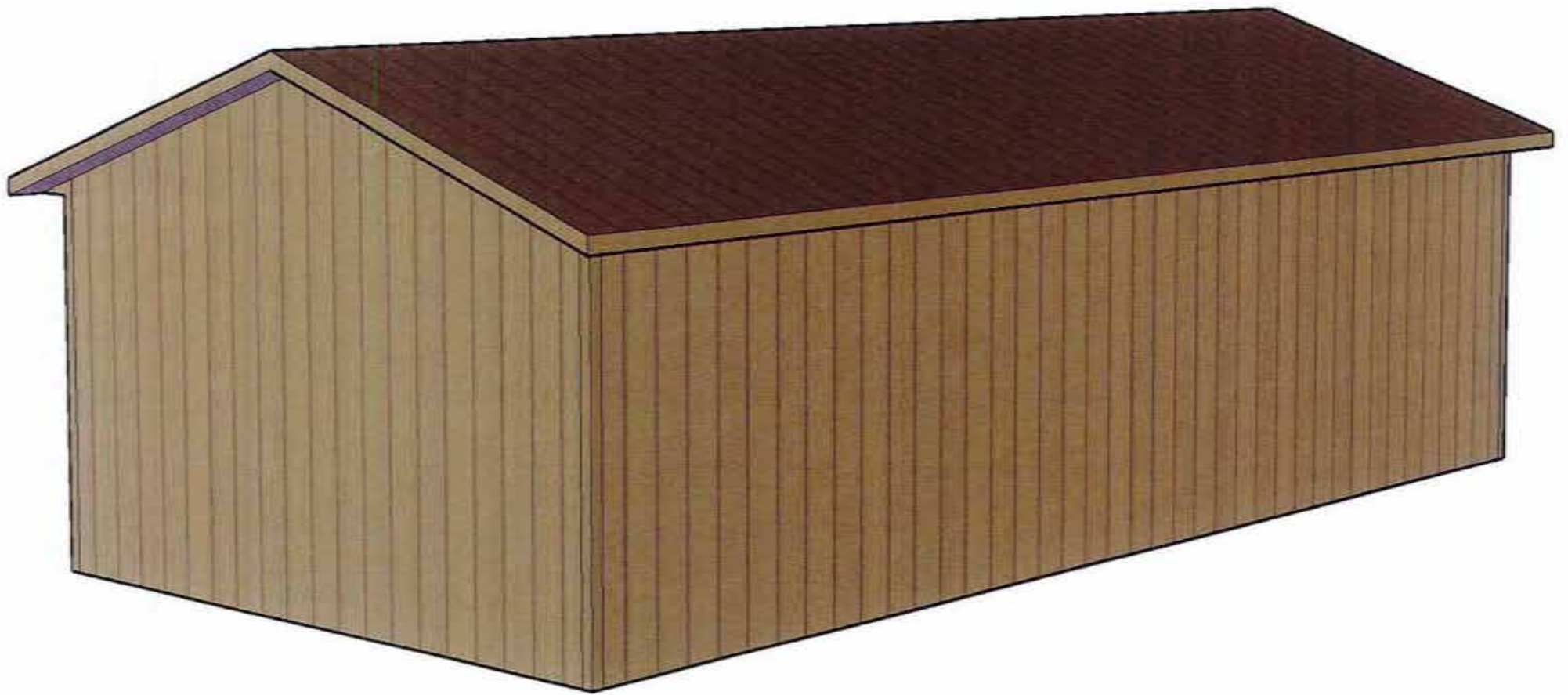
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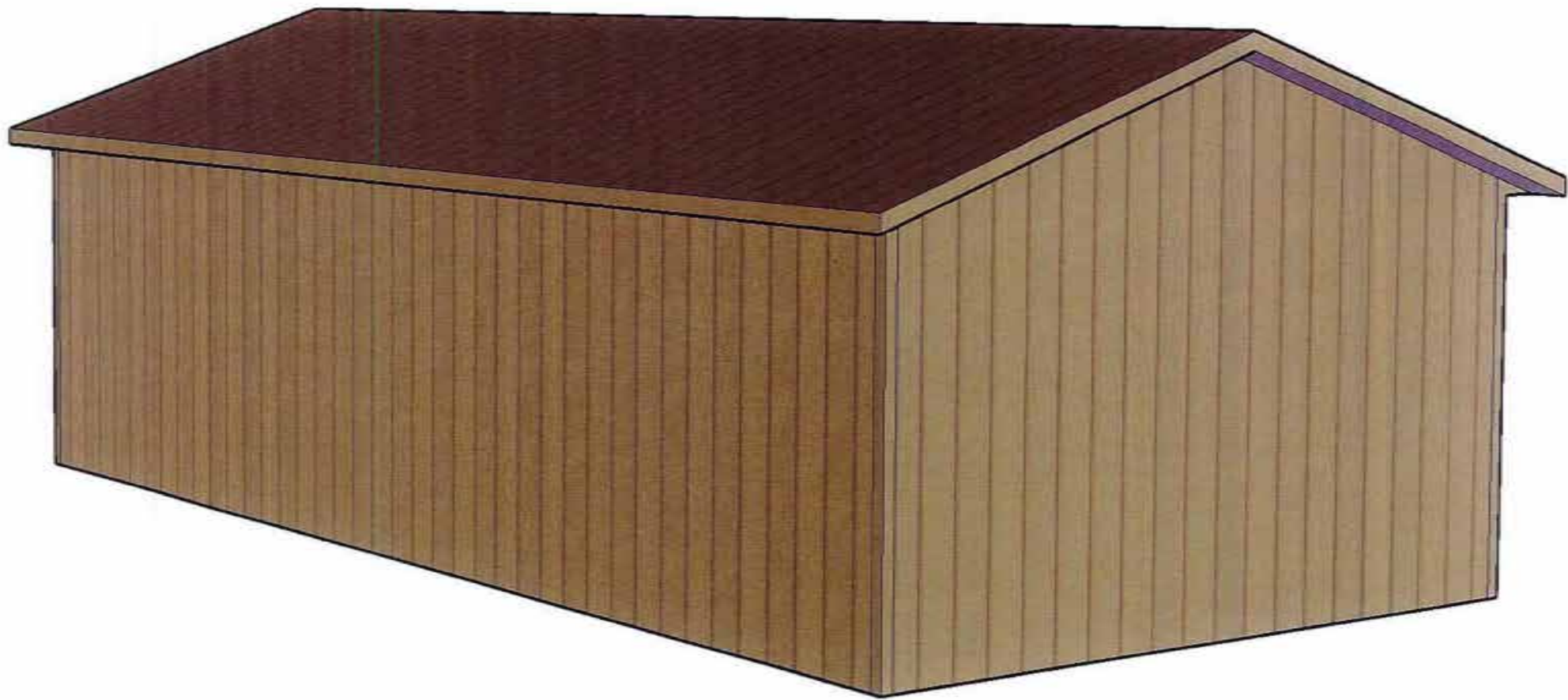












ROOF TRUSSES @ 4' OC
 W/4" FACE CUT ON TRUSS
 TAIL AS DESIGNED BY
 CERTIFIED NYS TRUSS
 MANF. ATTACHE TO
 HEADERS WITH HURRICANE
 STRAPS

2X4 PURLINS @ 24"OC

GR-3 STEEL ROOF PANELS
 LAP PER MFR.
 INSTRUCTIONS OVER 1/2"
 CONDENSATION BD
 (AIR BARRIER)

2X6 SUB FASCIA

AL-4 METAL
 FASCIA MODIFIED
 TO 61/8"

VINYL VENTED SOFFIT

RJ-9 TRIM

2X4 GIRTS @ 24"OC

GR-3 STEEL SIDING

2X8 GROUND CONTACT
 SKIRT BOARD

ABG-1 BASE

FINISH GRADE

12" LONG PT 2X8 UPLIFT
 BLOCKS-ONE ON EACH
 SIDE-FASTEN WITH 4 16D
 NAILS EACH SIDE

CONNECT HEADER TO POST
 WITH 4" STRUCTURAL SCREWS

2-2X__ HEADER
 2X8 @ 24' WIDE BUILDING
 *2X10 @ 30' WIDE BUILDING
 2X10 @ 40' WIDE BUILDING
 2X12 @ 50' WIDE BUILDING

PT POST @ 8'OC
 4X6 OR 6X6 TO 10' HIGH
 3 PLY 2X6 TO 12' HIGH
 4 PLY 2X6 TO 16' HIGH

4" CONCRETE SLAB
 WITH FIBERMESH
 REINFORCEMENT

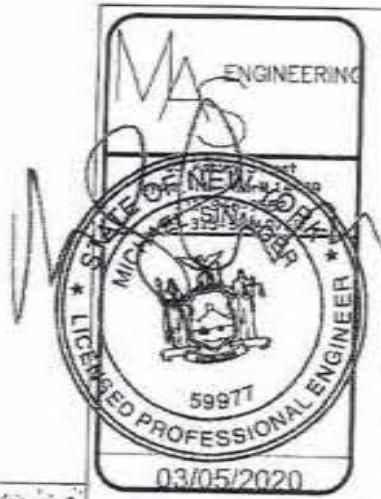
6" COMPACTED STRUCTURAL
 FILL WITH 6 MIL VAPOR
 BARRIER

16" DIA X 8" THICK CONC.
 FOOTER

10'-0" TO 12'-6"

4'-0"

SIDEWALL DETAIL
 3/8" = 1'



DRAWN BY: MAS

DATE: 1/7/2019

PAGE # A1

TRUSS @ 4' OC ATTACH TO
EXTENDED POST & HEADER
W/ 2X6X12 TIE BACK

POST EXTENDS
PAST HEADER
TO ATTACH TO
TRUSS

2X4 CROSS BRACING @ 1ST
12' ON EACH END OF
BUILDING

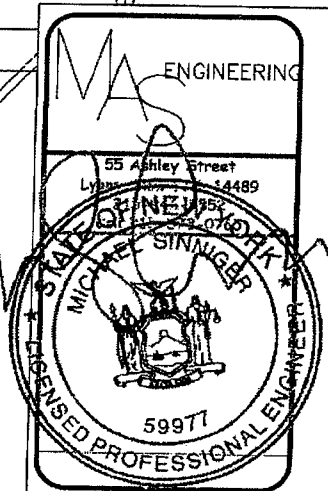
2X6 HEADER
SEE DWG A
FOR SIZE

4' Y BRACING

2X6X16 SUPPORT
BLOCK

POST AS SPECIFIED

SIDEWALL BRACING DETAILS
3/8" = 1'



03/05/2020

DRAWN BY: MAS

DATE: 1/1/2019

PAGE P

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or Grandrib 3 Plus

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Cocoa Brown 856 IR=.35



Dark Brown 859 IR=.30



Antique Bronze 854 IR=.29



Patina Green 893 IR=.38



Evergreen 875 IR=.27



Hartford Green 821 IR=.29



Caribbean Blue 881 IR=.27



Gallery Blue 826 IR=.29



Copper Penny 939 * IR=.48



Brick Red 898 IR=.31



Brite Red 845 IR=.32



Classic Burgundy 853 IR=.26



Ash Gray 848 IR=.38



Light Gray 889 IR=.31



Charcoal Gray 851 IR=.35



True Black 882 IR=.30



Crinkle Ash * SR=.43



Crinkle Rural Red * SR=.35



Crinkle Burnished Slate * SR=.31



Crinkle Matte Black * SR=.31



Crinkle Charcoal * SR=.33



Crinkle Evergreen * SR=.38

Lead times may vary for
Copper Penny and
Crinkle Coat finishes.

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