Design Review & Historic Preservation Board
Agenda
May 12, 2022

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **8 Langley Rise**
  The Applicant is requesting design review for the construction of an oversized accessory structure for a pool house.

- **18 E. Park Road**
  The Applicant is requesting design review for the construction of an approximately 100 SF mudroom entryway off the back of the house.

- **3 Northstone Rise**
  The Applicant is requesting design review for an addition of a covered patio behind the back of the house.

- **103 Knickerbocker Road**
  The Applicant is returning to request design review for the construction of approximately a 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18/21 meeting.

- **32 Rosewood Drive**
  The Applicant is requesting design review for the construction of a covered porch off the front of the house.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **52 Coventry Ridge**
  The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3585 square feet and is located in the Coventry Ridge Subdivision.

- **3590 Clover Street**
  The Applicant is requesting design review for the construction of a new single family home. The home will be approximately 3070 sq. ft. of livable space and will be located on a vacant lot on Clover Street.

- **16 Black Wood Circle**
  The Applicant is requesting design review for the construction of an approximately 2062 SF new single story family home in the Wilshire Hill subdivision.

- **5 & 7 Skylight Trail**
  The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 48 (5 Skylight Trail) will be approximately 2000 sq. ft. and Lot 47 (7 Skylight Trail) will be 1852 sq. ft. The town homes will be located in the new Alpine Ridge development.

COMMERCIAL APPLICATION FOR REVIEW – NEW

- **3280 Monroe Avenue – McDonald's**
  The Applicant is requesting design review for the addition of two identification signs for McDonalds. The signs will be approximately 14 square feet and 33 square feet.

DISCUSSION – Solar Panels on Historic Homes

Design Review and Historic Preservation Board
Minutes
April 28, 2022

PRESENT
David Wigg, Vice Chairman; John Mitchell, Bonnie Salem, Paul Whitbeck,

ALSO PRESENT
Bill Zink, Building Inspector; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT
Robert Koegel, Town Attorney; Dirk Schneider, Chairman; Kathleen Cristman, Jim Vekasy

HISTORIC PRESERVATION DISCUSSION

The historic preservation discussions were held open until more members of the Board are present.

Susan Donnelly reported that Shelley O'Brien, Communications Director, is working on a sample of what can be placed on the Town website to highlight historic designated homes and will share that through email with the Board as it becomes available.

RESIDENTIAL APPLICATION FOR REVIEW

- **3 Sugarbush Lane**
  The Applicant is requesting design review for 195 sf screened in porch over an existing deck.

  There was no representative present to review this application with the Board.

  The Board felt there was enough information to review the application.

  It was noted that this addition is not visible from the street.

  John Mitchell moved to approve the application as submitted.

  David Wigg seconded.

  All Ayes.

- **10 Brook Road**
  The Applicant is requesting design review for an addition of a 195 sf seasonal sunroom behind the back of the house.

  There was no representative present to review this application with the Board.

  The Board had several questions about the drawings that were submitted. It was not evident regarding some of the choices of construction and materials.

  It was determined that this application should be held open until a representative could be present to discuss the application with the Board.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **9 Hawkstone Way**
  The Applicant is requesting design review for the construction of a single family home. The home will have a total living area of approximately 2680 sf.

  Marie Kenton of Ketmar Development was present.

  This is the last home in this development. The garage will be side load and the shingles and vinyl will be the same color.

  It was noted that all windows will be trimmed contrary to the rendering submitted.

  Bonnie Salem moved to approve the application as submitted.

  Paul Whitbeck seconded.

  All Ayes.

- **2 Old Homestead Road**
  The Applicant is requesting design review for the construction of a 2 story single family home. The home will be approximately 2977 sf with a covered patio.

  George, Dawn and Adam Masi were in attendance to represent Mascot Builders.

  This home is a contemporary design with cultural stone and vinyl elements with architectural roof shingles. This is one of three proposed homes on a private drive. It features front and side load garages. The colors will be complementary and consistent with other existing homes on Nature View.

  David Wigg moved to accept the application as submitted.

  Bonnie Salem seconded.

  All Ayes.

COMMERCIAL APPLICATION FOR REVIEW – NEW

- **900 Linden Avenue – sign for Leonard's/Cube Smart**
  The Applicant is requesting design review to change the current road sign so it has the Applicant's address on it and is 8 sf.

  This application was withdrawn from the agenda.

DISCUSSION – Solar Panels on Historic Homes

This discussion was tabled from the meeting until more Board members could be in attendance.

REVIEW OF MINUTES OF APRIL 14, 2022 MEETING

Bonnie Salem moved to accept the minutes of the April 14, 2022 meeting as written.

John Mitchell seconded.

All Ayes.

ADJOURNMENT

David Wigg moved to close the meeting at 6:30 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
RA22-000058

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 8 Langley PITTSFORD, NY 14534
Tax ID Number: 163.04-4-15
Zoning District: RN Residential Neighborhood
Owner: Vornovitsky, Michael
Applicant: Vornovitsky, Michael

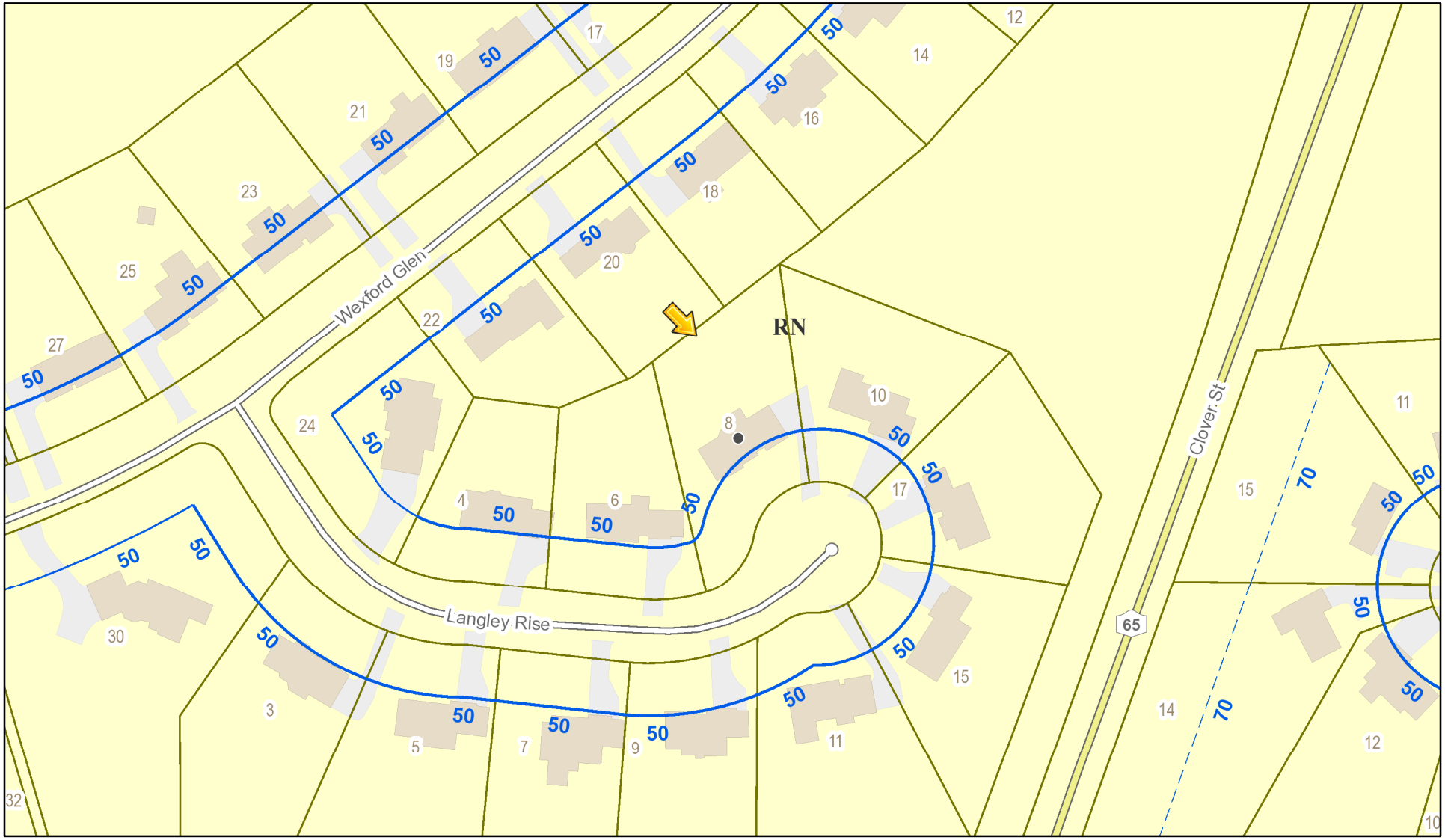
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of an oversized accessory structure for a pool house.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



Printed May 3, 2022

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Town of Pittsford GIS


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PROJECT 8 Langley Rise Notebook No. Scale 1 Block = 1' 69

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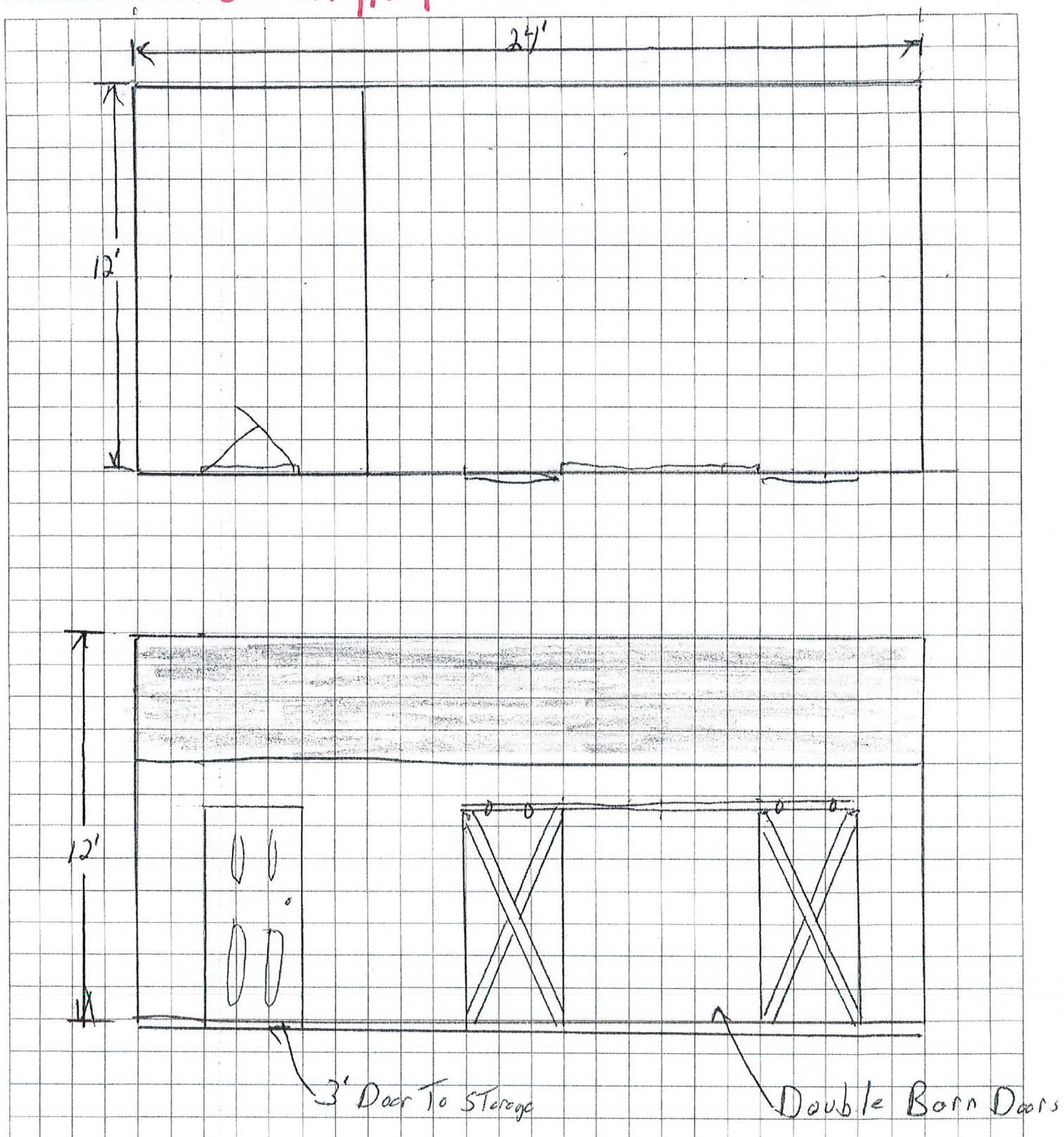

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Read and Understood By

Signed Date Signed Date

PROJECT

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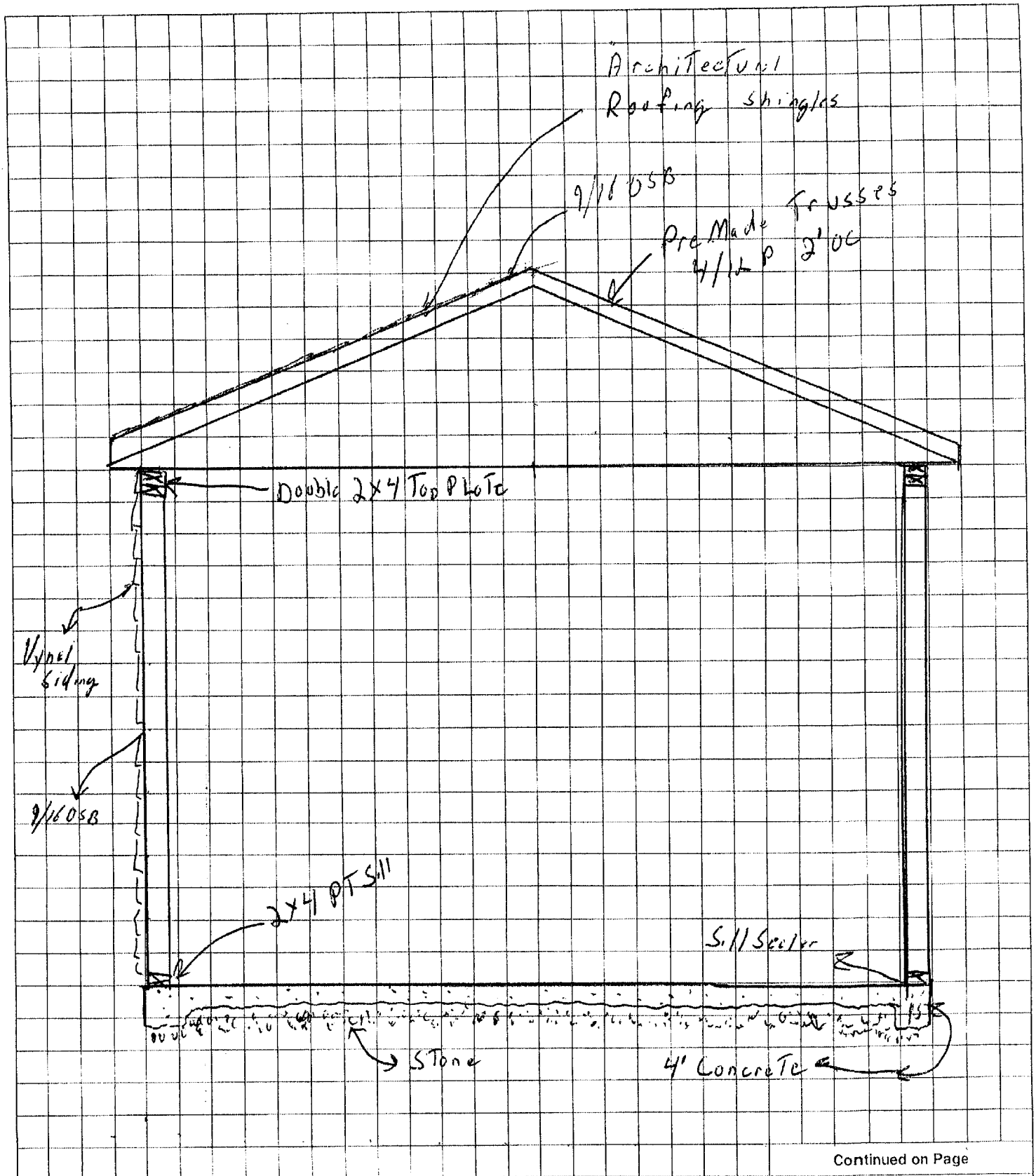

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Read and Understood By

Signed	Date	Signed	Date

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000074

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 18 East Park Road PITTSFORD, NY 14534
Tax ID Number: 151.17-3-12
Zoning District: RN Residential Neighborhood
Owner: Mendolia, Richard S
Applicant: Mendolia, Richard S

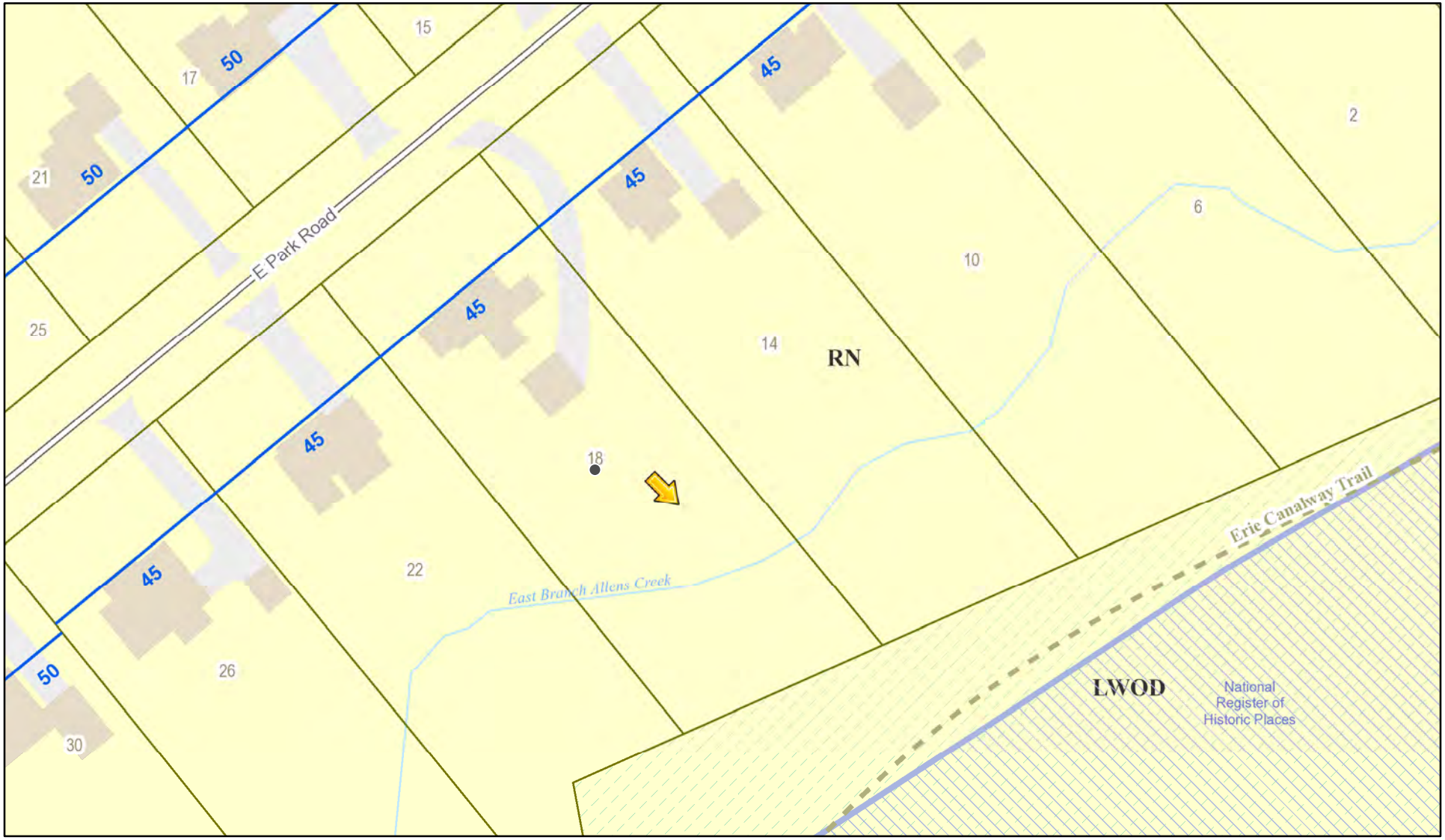
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The Applicant is requesting design review for the construction of an approximately 100 SF mudroom entryway off the back of the house.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



Printed May 3, 2022

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Town of Pittsford GIS


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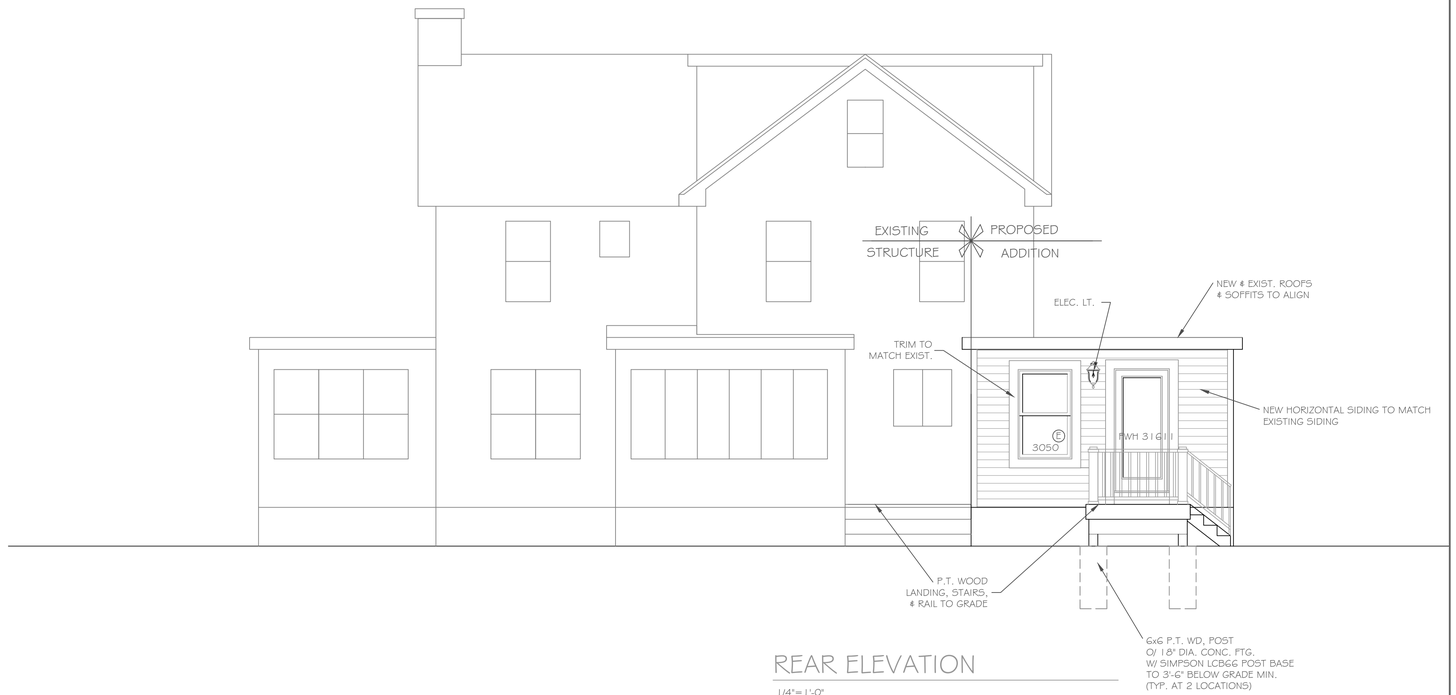
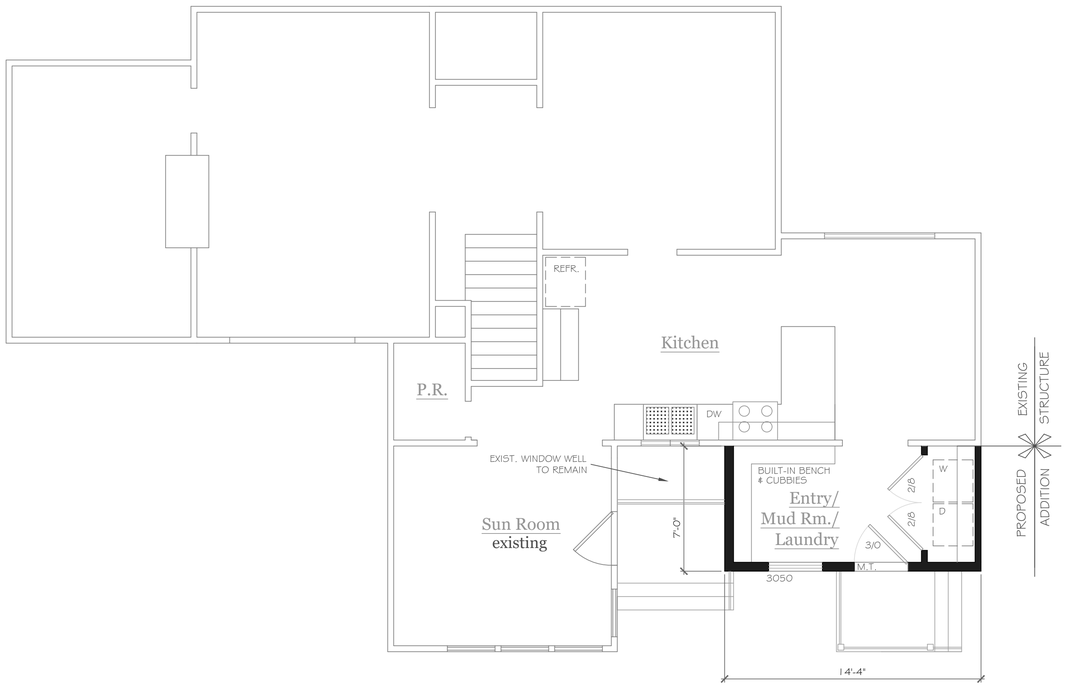


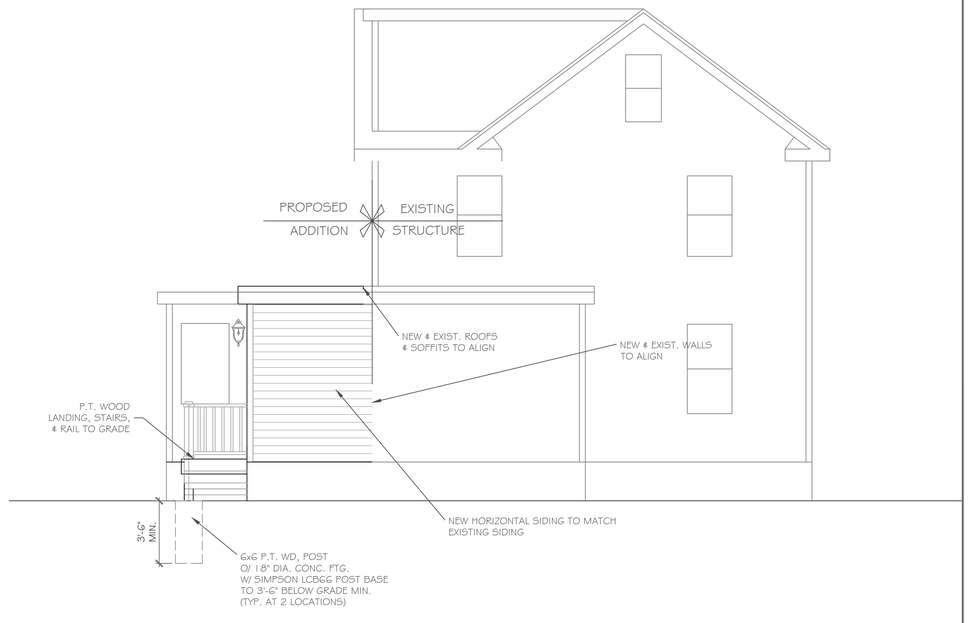
REAR ELEVATION

1/4"= 1'-0"



Proposed
First Floor Plan

100 sf Addition



LEFT SIDE ELEVATION

1/4"= 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Proposed Plan & Elevations

PHASE:
Construction Documents

PROJECT:
18 E. Park Road
Pittsford, N.Y.

CLIENT:
Rick & Emily Mendolia

DATE:
April 2022

JOB NO.:
A21-035

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone:(585) 249-1234
e-mail: CKHeminsley@frontiernet.net

DRAWING NO.:
A-1

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000075

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3 Northstone PITTSFORD, NY 14534
Tax ID Number: 164.15-1-68
Zoning District: RN Residential Neighborhood
Owner: Scheider, Kenneth
Applicant: Scheider, Kenneth

Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
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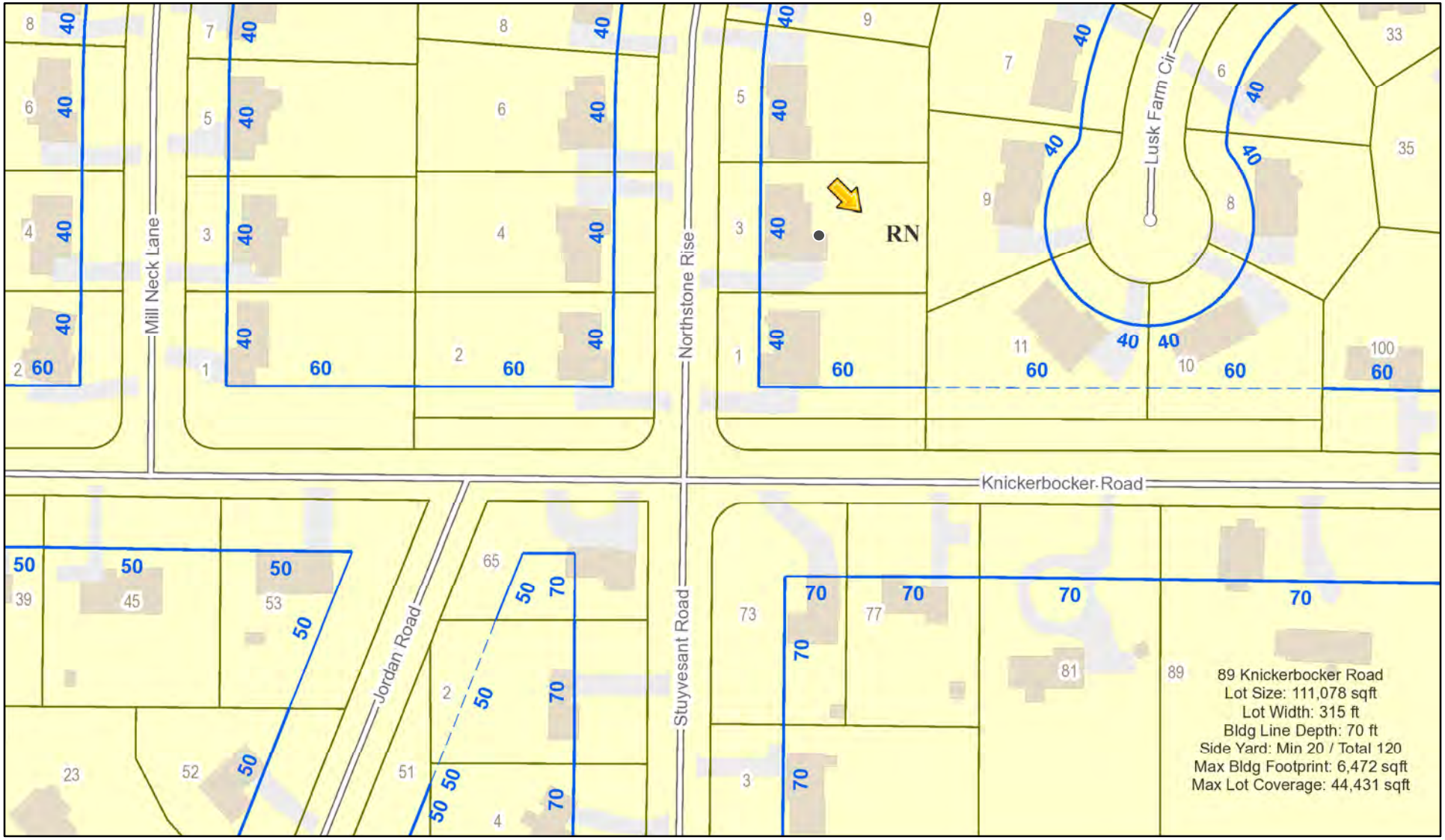
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The Applicant is requesting design review for an addition of a covered patio behind the back of the house.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



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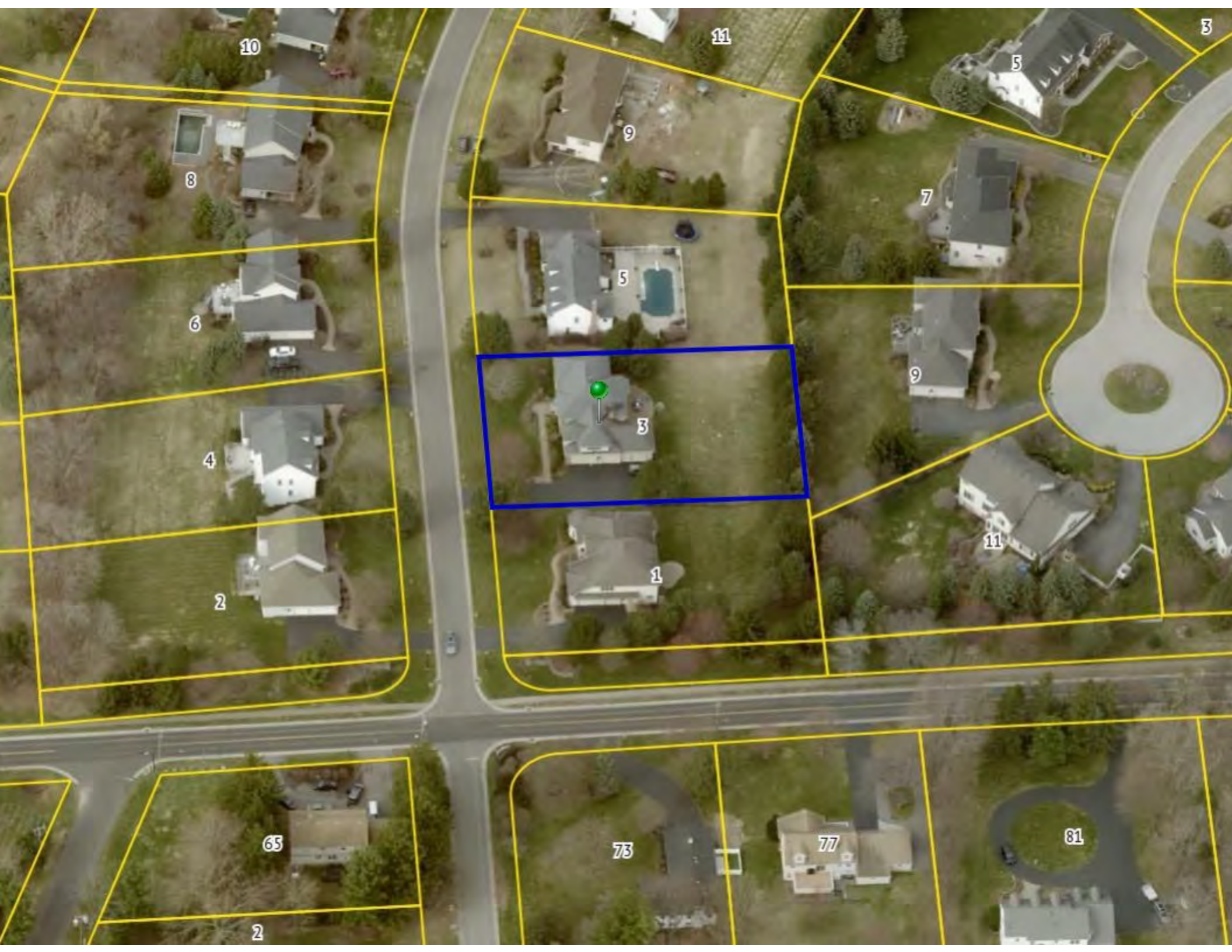
Town of Pittsford GIS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SCHEIDER PORCH ADDITION

3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

ARCHITECT:
JAMES FAHY DESIGN ASSOCIATES
ARCHITECTURE & ENGINEERING P.C.
2024 W. HENRIETTA RD., SUITE 3K
ROCHESTER, NY 14623
TEL. (585) 272-1650
E-MAIL: INFO@JAMESFAHY.COM
WEBSITE: WWW.JAMESFAHY.COM

DRAWING INDEX:

ARCHITECTURAL:

STRUCTURAL:

James Fahy Design Associates
Architecture & Engineering P.C.
2024 W. Henrietta Rd. Suite 3K
Rochester, New York 14623
tel. (585) 272-1650
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

SCHEIDER PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK
KEN & JANINE SCHEIDER

PROJECT:
CLIENT:

REVISIONS:
NO. DATE

JOB NO.
A21-145

PROJECT NO.
ADDITION

PHASE:
CONSTRUCTION DOCUMENTS

DATE:
04-22-2022

DRAWING NO.
T1.0

GENERAL NOTES:

These plans are protected by Federal Copyright Law. Reproduction or modification of these plans without the written consent of James Fahy Design is strictly prohibited.

1. Construction shall conform to the latest edition of the 2020 Residential Code of New York State. To the best of our knowledge, belief and professional judgement these plans and specifications are in compliance with the 2020 Energy Conservation Construction Code of New York State
2. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the referenced codes.
3. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
4. Contractor shall be responsible for all materials, construction methods, craftsmanship,, procedures, and conditions (including safety).
5. Contractor shall verify all existing conditions, requirements, notes and dimensions shown on drawings or noted in specifications. Any variances within drawings and specifications, or with conditions encountered at job site, shall be reported to James Fahy Design before commencement of any work effected by such variance.
6. Contractor shall rigidly adhere to all laws, codes and ordinances which apply to this work. Contractor shall notify and receive clarification from James Fahy Design of any variations between contract documents and governing regulations.
7. The Contractor shall make no structural changes without written approval of James Fahy Design.
8. James Fahy Design has not been engaged for construction supervision and assumes no responsibility for construction conformance, means, methods techniques or procedures of on-site work relating to the construction plans.
9. Contractor shall investigate site during clearing and earthwork operations for filled excavations or buried structures such as cesspools, cisterns, foundations, etc. If any such items are found and effect the ability to adhere to the construction documents, James Fahy Design shall be notified for revised specifications.
10. All manufactured materials, components, fasteners, assemblies, etc. shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standard and specifications my be used.
11. Construction loads shall not overload structure nor shall they be in excess of design loading indicated herein.
12. Design of electric, plumbing, and HVAC systems by others. Verify location of existing utilities / services prior to construction.

STRUCTURAL MATERIAL SPECIFICATIONS:

Structural Steel.....ASTM A-36, Fy = 36 ksi
Reinforcing Steel.....ASTM A-615, Fy = 60 ksi
Wire Mesh.....ASTM A-185, 6 x 6 10/10 WWM Reinforcing
Lumber.....No. 2 Hem Fir Fb = 1075 psi (repetitive member use) E = 1.3 X 106 psi
Wood Structure Panels.....DOC PSI , DOC PS2 24 / 16 Roof (min.), 24 / 16 Floor (min.): or equal
Microlams & Ganglams.....Fb = 2600 psi, *E = 1.9 x 106 psi * Multiplication factors apply per mfr. specs
Masonry.....ASTM C90, Grade N-1, Fm = 1350 psi
Mortar.....ASTM C270, Type S
Grout.....ASTM C476 Fc = 2000 psi
Bolts.....ASTM A307 , Fy = 33 ksi
Concrete.....ACI 318 (See Table R402.2 Severe Weathering Potential)

TABLE R402.2 (ABBREVIATED FOR SEVERE WEATHERING POTENTIAL)
MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH [a] (PSI)
Basement walls, foundations and other concrete not exposed to the weather	2,500 [c]
Basement slabs and interior slabs on grade, except garage floor slabs	2,500 [c]
Basement walls, foundation walls, exterior walls and other vertical concrete work exposed to the weather	3,000 [d]
Porches, carport slabs and steps exposed to the weather, and garage floor slabs	3,500 [d,e,f]

For SI: 1 pound per square inch = 6.895 kPa.

a. Strength at 28 days psi.
c. Concrete in these locations that may be subject to freezing and thawing during construction shall be air-entrained concrete in accordance with footnote d.
d. Concrete shall be air-entrained. Total air content (percent by volume of concrete) shall be not less than 5 percent or more than 7 percent.
e. See Section R402.2 for maximum cementitious materials content.
f. For garage floors with a steel troweled finish, reduction of the total air content (percent by volume of concrete) to not less than 3 percent is permitted if the specified compressive strength of the concrete is increased to not less than 4,000 psi.

FOUNDATIONS:

1. GENERAL:
Contractor to notify James Fahy Design if site conditions such as adverse ground water or soil conditions warrant modifications to the engineering design of the foundation.
A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.
B. Contractor shall be responsible for support of all temporary embankments and excavations.
C. Backfill shall not be placed against basement foundation walls until:
- Concrete or masonry grout has reached sufficient strength to resist damage.
- Structural floor framing (including plywood subfloor) required to stabilize walls to complete and fully nailed and anchored or sufficient bracing is applied to prevent wall damage.

2. STRUCTURAL BACKFILL:
A. Structural backfill shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs - on - grade and building structure) and 90% (elsewhere) of maximum dry density at moisture content within of 3% optimum as determined by ASTM D1557.
Backfill shall be free of excessive vegetation, debris or other deleterious materials and contain no particles larger than 3 inches in diameter.

3. FOOTINGS:
A. Footings shall be placed at a minimum depth of 42 inches below adjacent finished grade unless otherwise specified on the contract documents.
B. Final 3 inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.
C. Footings shall be founded on firm, undisturbed, native soils free of frost and loose material. Footings may bear on properly engineered backfill provided settlement and / or consolidation tests performed indicate anticipated settlement will not exceed that allowed for the proposed structure
D. Bottom surface of footings shall not slope more than 1.0 vertical to 10.0 horizontal, except as shown otherwise on drawings.
E. No excavation shall be made lower and closer to any footing than 1.0 vertical to 3.0 horizontal , except as shown on drawings.
F. Footings and slab-on-grade shall not be placed on muddy or frozen ground.

PARTIAL TABLE R405.1
PROPERTIES OF SOILS CLASSIFIED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM

SOIL GROUP	UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION	DRANAGE CHARACTERISTICS [a]	FROST HEAVE POTENTIAL	VOLUME CHANGE POTENTIAL EXPANSION [b]
Group I	GW	Well-graded gravels, gravel sand mixtures, little or no fines.	Good	Low	Low
	GP	Poorly graded gravels or gravel sand mixtures, little or no fines.	Good	Low	Low
	SW	Well-graded sands, gravelly sands, little or no fines.	Good	Low	Low
	SP	Poorly-graded sands or gravelly sands, little or no fines.	Good	Low	Low
	GM	Silty gravels, gravel-sand-silt mixtures.	Good	Medium	Low
	SM	Silty sand, sand-silt mixtures.	Good	Medium	Low
Group II	GC	Clayey gravels, gravel-sand-clay mixtures.	Medium	Medium	Low
	SC	Clayey sands, sand-clay mixture.	Medium	Medium	Low
	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity.	Medium	High	Low
	CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.	Medium	Medium	Medium to Low
Group III	CH	Inorganic clays of high plasticity, fat clays.	Poor	Medium	High
	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.	Poor	High	High
Group IV	OL	Organic silts and organic silty clays of low plasticity.	Poor	Medium	Medium
	OH	Organic clays of medium to high plasticity, organic silts.	Unsatisfactory	Medium	High
	Pt	Peat and other highly organic soils.	Unsatisfactory	Medium	High

a. The percolation rate for good drainage is over 4 inches per hour, medium drainage is 2 inches to 4 inches per hour, poor is less than 2 inches per hour.
b. Soils with a low potential expansion typically have a plasticity index (PI) of 0 to 15, soils with a medium potential expansion have a PI of 10 to 35 and soils with a high potential expansion have a PI greater than 20.

CONCRETE:

1. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements for Reinforced Concrete".
2. In on-grade concrete slabs the welded wire fabric reinforcement (when required) shall be located midway in the slab thickness
3. All exterior concrete to be air - entrained.
4. Provide concrete reinforcing bars at footing locations where soil is engineered fill. Bars shall be 2 no. 4 bars, at the bottom with a minimum of 3" concrete cover, unless noted otherwise. Concrete reinforcing bars are not required at footings bearing on undisturbed soil with a bearing capacity of 2000 psf unless noted otherwise on the drawings.
5. Provisions must be taken to protect all concrete work from frost damage with special attention paid to footings and other on - grade construction prior to backfilling and enclosing the building.
6. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diameter and 10" long unless otherwise noted (u.o.n.). Placement of anchor bolts shall be: 12" from plate end, 6'-0" o.c. maximum intermediate spacing, minimum 2 bolts per bearing plate section.
7. Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D 2103 where indicated on drawings.

MILD STEEL REINFORCEMENTS FOR CONCRETE AND MASONRY:

1. Mild steel reinforcement for concrete and masonry construction shall conform to ASTM-A615 Grade 60. Ties, stirrups, and hoops shall conform to ASTM A615-87, Grade 60.

2. Welded wire fabric shall conform to ASTM A185 in as long lengths as practical.

3. SPLICES:
A. Reinforcement in concrete and masonry shall have lap lengths as follows, unless otherwise specified on drawings:

Bar Size	Length in Concrete	Length in Masonry
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-3"
#6	3'-4"	3'-9"

B. Welded wire fabrics shall be lapped one grid width plus 2"
C. Reinforcement shall be bent cold.
D. Reinforcement shall not be welded.

4. PLACING:
A. Reinforcement shall be accurately placed and adequately supported by concrete, metal, or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement. Tack welding is not allowed.
B. Except where shown otherwise on structural drawings, reinforcement in concrete shall have concrete cover as follows:
- Concrete deposited against earth.....3"
- Formed concrete against earth.....2"
- Exterior faces of walls.....2"
- Interior faces of walls.....3/4"
- To top of slabs on grade.....3/4"

WOOD:

1. MATERIALS:

A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
1. American Institute of Timber Construction: (Standard Manual)
2. National Forest Products Association: National Design Specifications for Wood Construction.
3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.
4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TPI-71)
5. U.S. Department of Commerce N.I.S.T. PS-1 & PS-2
6. American Plywood Association: Guide to Plywood for Floors, Plywood Sheathings for Walls and Roofs.
7. American Wood Preservers Association Standards.
B. All structural lumber shall be Hem Fir #2 (minimum) stress grade lumber unless noted otherwise.
Fb = 1075 psi; Fv = 150 psi; E = 1,300,000 psi
Repetitive member value may vary due to member size per National Forest Products Association specifications.
C. All structural lumber shall be stamped in accordance with the American Institute of Timber Construction 'Construction Manual'
D. Grade loss resulting from effects of weathering, handling, storage, resawing or dividing lengths will be cause for rejection.
E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat interior with ext. glue unless otherwise specified on drawings.
F. Wood structural panels shall conform to the requirements of DOC PS-1 & PS-2 and be identified by a grade mark of an approved inspection agency.
G. Wood which is in contact with concrete, masonry, within 0'-8" of grade or exposed to the exterior shall by pressure preservative treated. all fasteners, joist hangers and flashings shall be hot dip galvanized, stainless steel or approved by the manufacturer for use with pressure preservative treated wood.
H. All headers at non-bearing conditions shall be as follows: (unless otherwise noted)
opening size header size
up to 6'-0" 2-2x8
6'-0" to 9'-0" 2-2x10
I. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1x3 mid-span cross bridging at all floor joists and spans. Double floor joists under parallel partitions over 8'-0" in length.
J. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by an Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.

2. CONNECTIONS:

A. Nailing:
1. Minimum nailing requirements for standard connections unless specifically shown or noted otherwise

ITEM	NO. OR C/O OF NAILS	SIZE OF NAIL BOX OR COMMON
Joint		
toe nail to plates, sill or girder	3	8d
To parallel alternate joints	3	16d
At laps overbearing, face nail	3	16d
Studs		
End nail to plates	2	16d
Or toe nail 2 each side	4	8d
Top Plates		
Spike together	16" o/c	16d
Laps & intersections, face nail	2	16d
Blocking		
to plate	2	16d
or toe nail	4	8d
Toe joist each side	2	16d
or toe nail	4	8d
Bridging		
Toe nail to joist, each end	2	8d
Studs		
Corner, angle or multiple	24" o/c	16d
2" x __ Laminated beams		
Lintels spike together	16" o/c	16d
Double Joists or Headers		
Spike together, along each edge	16" o/c	16d
Plywood Sheathing and Sub-floor		
Nailing at edges of each sheet 3/8" thick	6" o/c max.	8d
Nailing at edges of each sheet 1/2 & 5/8" thick	6" o/c max.	10d

At interior of each sheet space nails 10" o/c for 3/8" and 1/2" thick plywood

B. Sheathing shall be nailed as follows, except where shown otherwise:
1. Roof sheathing: 8d common at 6" o/c at all supported edges and at 12" o/c at interior supports.
2. Floor sheathing: 8d common at 6" o/c at all supported edges and at 10" o/c at interior supports.
3. Nail wood sheathing direct to framing: 10d common at 6" o/c all panel edges and at 10" o/c at all interior studs.
C. All manufactured connection hardware designated on drawings shall be nailed in strict conformance to manufacturer's instructions.
D. All steel connection assembly details on drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC 'Specification for the design Fabrication and Erection of Structural Steel for Building'. Welding shall conform to AMS D1.1-86.
E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.
F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all bolt heads and nuts bearing on wood. Holes shall be properly aligned.
G. In no case shall misalignment be allowed which prevents proper bearing or alignment of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts. Nuts shall be tightened snug.

3. INSTALLATIONS:

A. All stud walls shown on drawings shall have studs placed at 16" o/c, except where shown otherwise
B. Top plates shall be doubled on all stud walls.
C. Cripples under headers shall be continuous to sole plate.
D. Block all stud walls as required for sheathing.
E. Beams, girders, and joists supporting bearing walls or other concentrated loads, shall not be notched unless specified. Joists, except as above, may be notched no deeper than 1/6 the depth provided such notch is located within 1/3 span from face of support. Saw cuts for notches shall not overrun depth of notch. Holes in joists, beams and girders shall not be larger in diameter than 1/3 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member with a minimum of 2" lumber remaining above and below drill hole. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1/4 of the stud width. Holes bored through studs may not exceed 40% of stud width and be no closer than 5/8" to edge of stud.
F. Joists, rafter, and decking shall not be cut and headed or displaced to provide for openings in roofs or floors, except as detailed on drawings.
G. Install all horizontal members with crown up. All beam and joist intersections to receive galvanized joist / beam hangers.
H. All members in bearing shall be accurately cut and aligned so that full bearing is provided without use of shims. Bearing posts shall have full blocking or support under.
I. All rafters shall be notched for full bearing at all supports unless otherwise specified.
J. All joists shall have a minimum of 2" bearing at supports unless otherwise specified.
K. All wood wall sheathing shall be applied as follows: center vertical joints over studs, Nail top of panels to double top plate, and nail bottom of panels to anchored sill plate. Apply gypsum board so that end joists of adjacent courses do not occur over the same stud.
L. Plywood sub-floor and roof sheathing: Install with face grain at right angles to supports, continuous over two or more spans. Allow minimum space 1/16" between end joints and 1/8" at edge joints for expansion and contraction of panels. Plywood decking shall also be continuously glued and nailed to all joists, rafters or trusses.

R302.11 FIREBLOCKING:

In combustible construction, fire-blocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.
Fireblocking shall be provided in woodframed construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
1.1 Vertically at the ceiling and floor levels.
1.2 Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved mate-rial to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 require-ments.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

R302.12 DRAFTSTOPPING:

In combustible construction where there is usable space both above and below the concealed space of a floor-ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). draftstopping shall divide the concealed space into approximately equal areas. where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor-ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type openweb or perforated members.

FINISHES:

A. Provide 5/8" type 'X' wall board at fire-resistance assemblies where indicated. Strict compliance with products and installation of wallboard per the fire-rated assembly test indicated must be provided, as noted.

Note: Type 'X' is a generic term. See referenced tests for actual wall board specifications to be provided.

THERMAL & MOISTURE PROTECTION:

1. The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals.
2. Install flashing and sheet metal in compliance with Architectural Sheet Metal Manual by SMACNA.
3. Aluminum flashing shall conform to ASTM B 209
4. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight / weatherproof performance as specified in section R703 & R903 of the 2020 RCNYS.
5. Siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation.
6. Roof valley linings shall be installed in accordance with manufactures installation instructions before applying shingles
A. Open Valleys: metal linings shall be at least 24" wide of approved corrosion resistant metals of Table R905.2.8.2 of the 2020 RCNYS. 2-plies of mineral surface rolled roofing complying with ASTM D249. Bottom layer 18" and top layer 36" wide.
B. Closed Valleys: 1 ply smooth roll roofing complying with ASTM D224 Type II or III 36" (min.) wide.
7. Shingles shall be fastened according to manufacturer's printed instructions. Provide one layer of 15 lb. (min.) building felt under shingles unless otherwise specified. Ice and water shield shall be installed beneath shingles extending from eaves edge to a point at least 24" inside the exterior wall line of the structure.
8. Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain. The net free ventilating areas shall 1/150 of the area of the vented space unless otherwise noted. Provide continuous ridge vents and soffit vents per plan, installed to manufacturers printed instructions.
9. Provide and install ceiling and exterior wall insulation with draft facing per plan.
10. In all framed walls floors and roof / ceilings comprising elements of the building thermal envelope a vapor retarder shall be installed on the warm in winter side of the insulation
11. All locations indicated on Drawings, unless otherwise noted and wherever air, water, or dust may infiltrate between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.
12. Provide seamless k gutters and downspouts connected to storm sewer system or non-erosive splash pads at grade. Include all accessories required for a complete installation.
13. The design, materials, construction and qualities of roof assemblies shall be in compliance with the provisions set forth in 2020 RCNYS Chapter 9 and with applicable manufacturers specifications.
14. The wall area above built-in tubs with installed shower heads and in shower compartments shall be constructed of smooth, noncorosive and non absorbent waterproof materials to a height of not less than 6 feet above the room floor level and not less than 70 inches where measured from the compartment floor at the drain. Such walls shall form a water-tight joint with each other and with either the tub, receptor or shower floor.
15. P2603.5 A water, soil, or waste pipe shall not be installed outside of the building, in exterior walls, in attics or crawl spaces or in any other place subject to freezing temperatures unless adequate provision is made to protect it from freezing by insulation, heat, or both.
16. Insulation materials, including facings such as vapor retarders or vapor permeable membranes installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl/basement spaces and attics shall have a flame spread index not to exceed 25 with an accompanying smoke developed index not to exceed 450 when tested in accordance with ASTME 84. When installed in concealed spaces (ie. drywall covered framing cavity) the flame spread and smoke developed index limitations do not apply to the facings.

MECHANICAL:

1. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilation of, roof and floor drains, heating and air conditioning. All work shall comply with applicable Federal state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety devices prior to operations of system.
2. 2020 ECCC of NYS Section R403.6 mechanical ventilation (mandatory). The building shall be provided with ventilation that meets the requirements of The Residential code of New York State or The Mechanical code of New York State, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.
3. All bathrooms, water closet compartments, or similar rooms without natural ventilation shall be provided with mechanical ventilation in conformity with Section R303.3 of The 2020 RCNYS. The minimum ventilation rate shall be 50 cfm for intermittent ventilation or 20 cfm for continuous ventilation. Ventilation air from the space shall be exhausted directly to the outside.
4. All equipment and appliances shall be installed in accordance with the 2020 RCNYS Chapter 13 and manufacturers installation instructions. Instructions shall be made available to the code enforcement official.
5. Vented gas fireplace (decorative) shall be listed, labeled, and installed in accordance with ANSI Z21.50, 2020 RCNYS Chapter 24 and the manufacturer's instructions. Instructions shall be available on site for building inspector. Appliance shall be equipped with a flame safeguard device in accordance with Section G2432.2 of the 2020 RCNYS.
6. Automatic garage door openers shall be listed in accordance with UL32.
7. Clothes dryers shall be exhausted in accordance with the manufacturer's instructions and comply with the requirements of 2020 RCNYS G2439.

ELECTRICAL:

1. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and the Provisions of Part VIII of the IRC. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.
2. Electrical system layouts, if included in construction documents, are generally diagrammatic, locations of outlets and equipment is approximate. Exact routing of wiring, locations of outlets shall be governed by structural conditions and obstructions. Wiring for equipment requiring maintenance and inspection shall be readily accessible.

STRUCTURAL LOADING DESIGN CRITERIA:
Live Load
Loads, psf Deflective

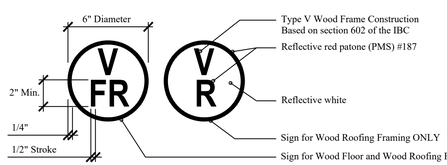
Location	Live	Dead	Limit
1st Floor	40	15	L/360
2nd Floor (sleeping)	30	10	L/360
2nd Floor (non-sleeping)	40	10	L/360
Attic (no storage)	10	5	L/240
Attic (light storage)	20	10	L/240
Roof (w/finished clg.)*	50	20	L/240
Roof (no finished clg.)*	40	15	L/180
Decks	40	10	L/360

*Roof live loads based on 50 psf ground snow load w/ reduction factors per ASCE 7 for sloped roofs.

Assumed Safe Soil Bearing.....*2000 psf at min. 48 inches below finished grade
*Value may be increased if site specific soil classification or load bearing test data is available.

REFERENCED STANDARDS ORGANIZATIONS
A.C.I. American Concrete Institute
2240 W. 7 Mile Rd., Box 19150, Redford Station
Detroit, MI 48219, Phone: (313) 532-2600.
A.I.T.C. American Institute for Timber Construction
333 W. Hampden Ave., Englewood, CO 80110
Phone: (303) 761-3212.
AA.S.T.M. American Society for Testing and Materials
1916 Race St., Philadelphia, PA 19103 Phone: (215) 299-5400.
D.O.C. United States Department of Commerce
National Institute of Standards Technology
Gaithersburg, MD 20899

TRUSS IDENTIFICATION SIGN:
- Identification of floor and roof truss construction shall be provided by sign or symbol and shall be affixed to the exterior wall of the residential structure in compliance with 19 NYCRR PART 1265. Residential Structures with Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction.



REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
MATERIAL & GUIDE SPECIFICATIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO. A21-145
PROJECT NO. ADDITION
DRAWN BY: CME
DRAWING NO: T2.0
CHECKED BY: JRF
DATE: 04-22-2022

James Fahy Design
2024 W. Hennetta Rd. Suite 3K
Rochester, New York 14623
tel: 585-272-1650
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

ARCHITECTURAL ABBREVIATION INDEX

ABV.	ABOVE
A.F.F.	ABOVE FINISHED FLOOR
A.P.	ACCESS PANEL
ACOUS.	ACOUSTICAL
A.C.T.	ACOUSTICAL CEILING TILE
ADJ.	ADJACENT
ADJ.	ADJUSTABLE
AGGR.	AGGREGATE
A/C	AIR CONDITIONING
ALT.	ALTERNATE
AL.	ALUMINUM
ANCH.	ANCHOR
A.B.	ANCHOR BOLT
ANOD.	ANODIZED
APPL.	APPLIED
A.V.	APPLIED VALLEY
APPX.	APPROXIMATE
ARCH.	ARCHITECT
ARCH.	ARCHITECTURAL
ASB.	ASBESTOS
ASPH.	ASPHALT
AUTO.	AUTOMATIC
AVG.	AVERAGE
BALC.	BALCONY
BSMT.	BASEMENT
BRG.	BEARING
BM.	BEAM
BDRM	BEDROOM
BTW.	BETWEEN
BITUM.	BITUMINOUS
BLK.	BLOCK
BLKG.	BLOCKING
BD.	BOARD
BOT.	BOTTOM
B.O.	BOTTOM OF
BRIDG.	BRIDGING
B.C.	BROOM CLOSET
BLDG.	BUILDING
B.I.	BUILT IN
CAB.	CABINET
CANT.	CANTILEVER
CPT.	CARPET
C.O.	CASED OPENING
C.I.	CAST IRON
CATH.	CATHEDRAL
CLG.	CEILING
CTR.	CENTER
CEM.	CEMENT
C.T.B.	CERAMIC TILE BASE
C.A.	CERAMIC TILE
C.W.T.	CERAMIC WALL TILE
C.O.	CLEAN OUT
CL.	CLOSET
C.F.M.F.	COLD FORM METAL FRAMING
C.T.	COLLAR TILE
COL.	COLUMN
CONC.	CONCRETE
CMU	CONCRETE MASONRY UNIT
COND.	CONDUCTOR
CONT.	CONTINUOUS
C.J.	CEILING JOIST
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONTR.	CONTRACTOR
COORD.	COORDINATE
C.B.	CORNER BOARD
C.G.	CORNER GUARD
CORR.	CORRUGATED
CNTR.	COUNTER
CRS.	COURSE
D.L.	DEAD LOAD
DK.	DECK
DEC.	DECORATIVE
DP.	DEEP
DEPT.	DEPARTMENT
DET.	DETAIL
DIAG.	DIAGRAM
DIM.	DIMENSION
DIN.	DINING
D.V.	DIRECT VENT
DW.	DISHWASHER
DR.	DOOR
DBL.	DOUBLE
D.H.	DOUBLE HUNG
DN.	DOWN
DWR.	DRAWER
DWG.	DRAWING
DSG.	DRESSING
DW.	DRYWALL
D.F.	DRINKING FOUNTIAN
DRY.	DRYER
D.O.	DUPLICATE OF
EA.	EACH
E	EAST
ELEC.	ELECTRIC
ELEV.	ELEVATION
ELEV.	ELEVATOR
ENCL.	ENCLOSURE
ENT.	ENTRANCE
ENT.CTR.	ENTERTAINMENT CENTER
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.T.R.	EXISTING TO REMAIN
EXIST.	EXISTING
EXP.	EXPANSION
EXP. JT.	EXPANSION JOINT
EXPO.	EXPOSED
EXT.	EXTERIOR
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM
F.G.	FIBERGLASS
FIN.	FINISH
F.F.	FINISHED FLOOR
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
FP.	FIREPLACE
F.P.	FIRE PROOF
FIXT.	FIXTURE
F.D.	FLOOR DRAIN
FLASH.	FLASHING
FLR.	FLOOR
F.J.	FLOOR JOIST
FT.	FOOT, FEET
FTG.	FOOTING
FND.	FOUNDATION
FRZR.	FREEZER
FR.	FRENCH
FURN.	FURNACE
FURR.	FURRING
FUT.	FUTURE
GALV.	GALVANIZED
GAR.	GARAGE
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
GL.	GLASS
G+N	GLUED AND NAILED
G.B.	GRAB BAR
GR.	GRADE
GR.RM.	GREAT ROOM
GND.	GROUND
GYP.BD.	GYPSUM BOARD
GWB.	GYPSUM WALL BOARD
H.R.	HAND RAIL
HGR.	HANGER
HD.BD.	HARD BOARD
HDWR.	HARDWARE
HDWD.	HARDWOOD
HDR.	HEADER
HVAC	HEATING VENTILATING AIR CONDITIONING
HT.	HEIGHT
H.	HIGH
HI.EFF.	HIGH EFFICIENCY
HC	HOLLOW CORE
HM	HOLLOW METAL
HB	HOSE BIB
HORIZ.	HORIZONTAL
HR.	HOUR
IN.	INCH
INSUL.	INSULATION
INT.	INTERIOR
I.C.	IRONING BOARD
ISOL.JT.	ISOLATION JOINT
JB.	JAMB
JAN.	JANITOR
JT.	JOINT
JST.	JOIST
KIT.	KITCHEN
K.S.	KNEE SPACE
K.D.	KNOCK DOWN
K.G.	K SHAPE GUTTER
LNDG.	LANDING
LAM.	LAMINATE
LAUN.	LAUNDRY
L.T.	LAUNDRY TUB
LAV.	LAVATORY
L.S.	LAZY SUSAN
L.H.	LEFT HAND
L.H.R.	LEFT HAND REVERSE
LT.	LIGHT
LTG.	LIGHTING
LT.WT.	LIGHT WEIGHT
L.C.	LINEN CLOSET
L.L.	LIVE LOAD
LIV.RM.	LIVING ROOM
LD.	LOAD
LG.	LONG
LOC.	LOCATION
LVL	LAMINATED VENEER LUMBER
MAINT.	MAINTENANCE
MAINT.	MAINTAIN
MFR.	MANUFACTURER
M.O.	MASONRY OPENING
M.	MASTER (IE M.BATH)
MBR.	MASTER BEDROOM
MAT.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
M.C.	MEDICINE CABINET
MTL.	METAL
M.T.	METAL THRESHOLD
ML.	MICROLAM
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
MLDG.	MOLDING
MTD.	MOUNTED
MUL.	MULLION
NAT.	NATURAL
NOM.	NOMINAL
N	NORTH
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
OPT.	OPTION, OPTIONAL
O.S.B.	ORIENTED STRAND BOARD
O/	OVER
OA.	OVERALL
OH.	OVERHEAD
OH.DR.	OVERHEAD DOOR
OH.	OVERHANG
PR.	PAIR
PANT.	PANTRY
P.H.	PAPER HOLDER
PL.	PARALLAM
PART.BD.	PARTICLE BOARD
PART.	PARTITION
PERF.	PERFORATED
PERM.	PERIMETER
P.S.	PLANT SHELF
PLAS.	PLASTER
P.LAM	PLASTIC LAMINATE
PLT.	PLATE
PLT.HT.	PLATE HEIGHT
PLUMB.	PLUMBING
PW.	PLYWOOD
PKT.	POCKET
PT.	POINT
P.L.	POINT LOAD
P.S.F.	PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
PDR.	POWDER ROOM
PC.	PRECAST
P.T.	PRESSURE TREATED
PROT.	PROTECT, PROTECTIVE
PROV.	PROVIDE
Q.T.	QUARRY TILE
Q.T.B.	QUARRY TILE BASE
R.	RADIUS
RAFT.	RAFTER
RAIL.	RAILING
REF.	REFERENCE
REFR.	REFRIGERATOR
REINF.	REINFORCED
RESIL.	RESILIENT
REQ.	REQUIRED
REV.	REVISION
R.V.	RIDGE VENT, ROOF VENT
R.	RISER
R.D.	ROOF DRAIN
RM.	ROOM
R.O.	ROUGH OPENING
R.S.	ROUGH SAWN
SCH.	SCHEDULE
SECT.	SECTION
S.C.	SELF CLOSING
SHT.	SHEET
S.M.	SHEET METAL
SH.	SHELF
SHR.	SHOWER
S.L.	SIDE LIGHT
SIM.	SIMILAR
S.L.	SKYLIGHT
SGD.	SLIDING GLASS DOOR
S.D.	SMOKE DETECTOR
SOF.	SOFFIT
S.C.	SOLID CORE
S	SOUTH
SPEC.	SPECIFICATION
SL.	SPRINGLINE
SQ.	SQUARE
S.F.	SQUARE FOOT
STD.	STANDARD
ST.	STAIN
S.S.	STAINLESS STEEL
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
STYRO.	STYROFOAM
SUSP.	SUSPENDED
TEL.	TELEPHONE
TV.	TELEVISION
TEMP.	TEMPERED
THK.	THICK
T&G	TONGUE AND GROOVE
T.O.BLK.	TOP OF BLOCK
T.O.FND.	TOP OF FOUNDATION
T.O.PLT.	TOP OF PLATE
T.O.S.	TOP OF STEEL
T.B.	TOWEL BAR
TR.	TRANSOM
T.	TREAD
TYP.	TYPICAL
U.A.	UNDER CABINET
U.L.	UNDERWRITERS LABORATORY
UNFIN.	UNFINISHED
U.O.N.	UNLESS OTHERWISE NOTED
VAN.	VANITY
VAULT.	VAULTED
V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
VEST.	VESTIBULE
WAINS.	WAINSCOT
W.I.C.	WALK IN CLOSET
W.O.	WALK OUT
WASH.	WASHER
W.C.	WATER CLOSET
W.H.	WATER HEATER
W.P.	WATER PROOF
W.S.	WEATHER STRIPPING
WT.	WEIGHT
W.W.M.	WELDED WIRE MESH
W	WEST
W.	WIDTH, WIDE
WDW.	WINDOW
W/	WITH
W/O	WITHOUT
WD.	WOOD
W.I.	WROUGHT IRON
YD.	YARD

ARCHITECTURAL SYMBOLS INDEX

- BRICK
- CONCRETE MASONRY UNIT
- CAST IN PLACE OR PRE-CAST CONCRETE
- EARTH
- BATT OR BLOWN INSULATION
- RIGID INSULATION
- METAL OR ALUMINUM
- STEEL
- PLASTER, GYPSUM BOARD
- GRAVEL
- WOOD FINISH
- WOOD ROUGH
- WOOD BLOCKING
- PLYWOOD
- 1 — REVISION SYMBOL
- 001 — DOOR SYMBOL
- A — WINDOW SYMBOL
- 001 — ROOM NUMBER SYMBOL
- DATUM ELEVATION
- MATCH LINE
- E — WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
- T — WINDOW MEETS REQUIREMENTS FOR HAZARDOUS LOCATIONS NEEDING SAFETY GLAZING
- S — WINDOW MEETS REQUIREMENTS FOR WINDOWS NEEDING WINDOW FALL PROTECTION
- I — CONSTRUCTION DETAIL
- A / A6.0 — SECTION NUMBER, SHEET NUMBER — BUILDING SECTION
- I / A7.0 — DETAIL NUMBER, SHEET NUMBER — DETAIL ENLARGEMENT
- VOID, ELEVATION NO. — INTERIOR ELEVATION
- A / A1.0 — ELEVATION NUMBER, SHEET NUMBER — BUILDING ELEVATION

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

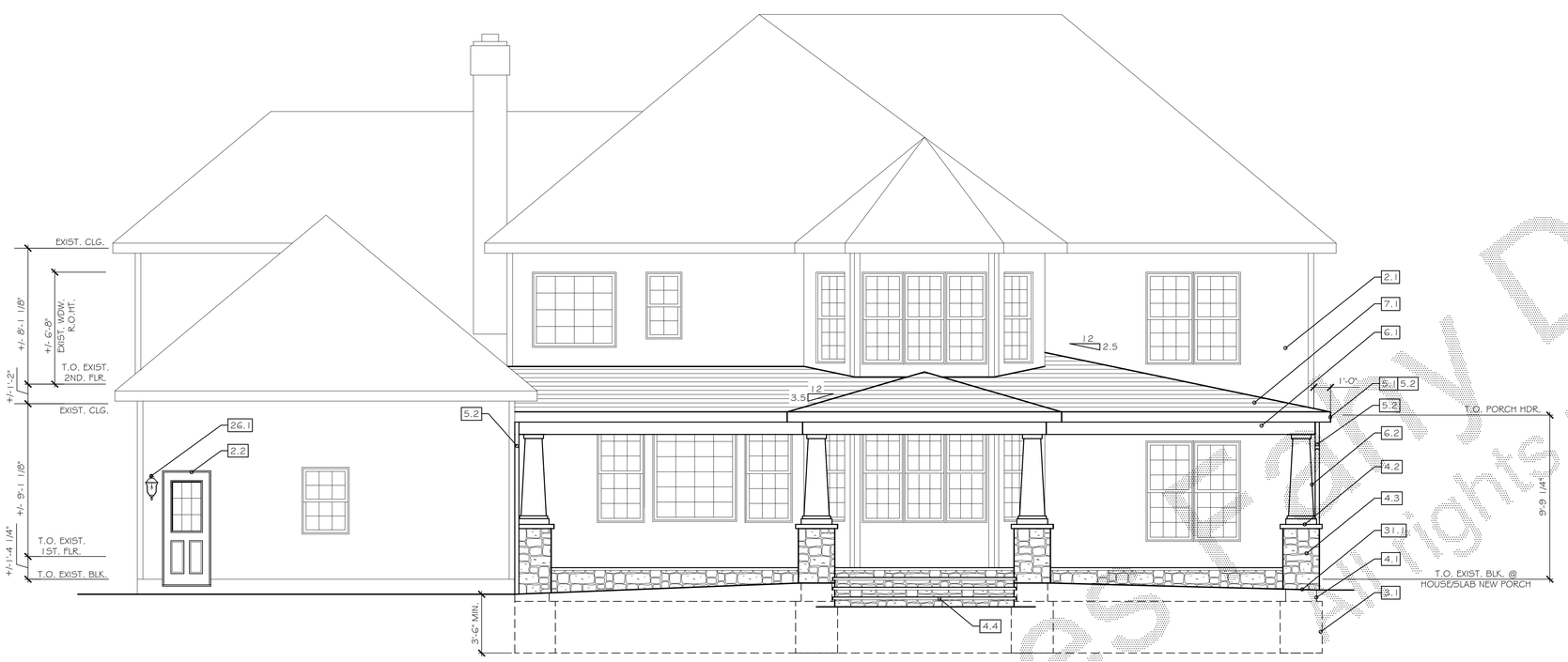
CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
ARCHITECTURAL ABBREVIATION & SYMBOL INDEXES

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO. A21-145	PROJECT NO. ADDITION
DRAWN BY: CME	DRAWING NO: T3.0
CHECKED BY: JRF	
DATE: 04-22-2022	

James Fahy Design
2024 W. Hennetta Rd. Suite 3K
Rochester, New York 14623
tel: 585-272-1650
e-mail: info@jamesfahy.com
website: www.jamesfahy.com



EAST ELEVATION

SCALE: 1/4"= 1'-0"

ELEVATION SPECIFICATION NOTES:

2.0 EXISTING CONDITIONS
- 2.1 EXISTING HOUSE
- 2.2 EXISTING DOOR TO BE REMOVED & RELOCATED AS SHOWN

3.0 CONCRETE
- 3.1 CONCRETE TRENCH FOOTING. REFER TO FOUNDATION PLAN FOR SIZING

4.0 MASONRY
- 4.1 CONCRETE BLOCK FOUNDATION STEM WALL
- 4.2 LIMESTONE CAP
- 4.3 THIN CUT WEST COAST LEDGESTONE AS SELECTED
- 4.4 STEPS TO GRADE BY OTHERS

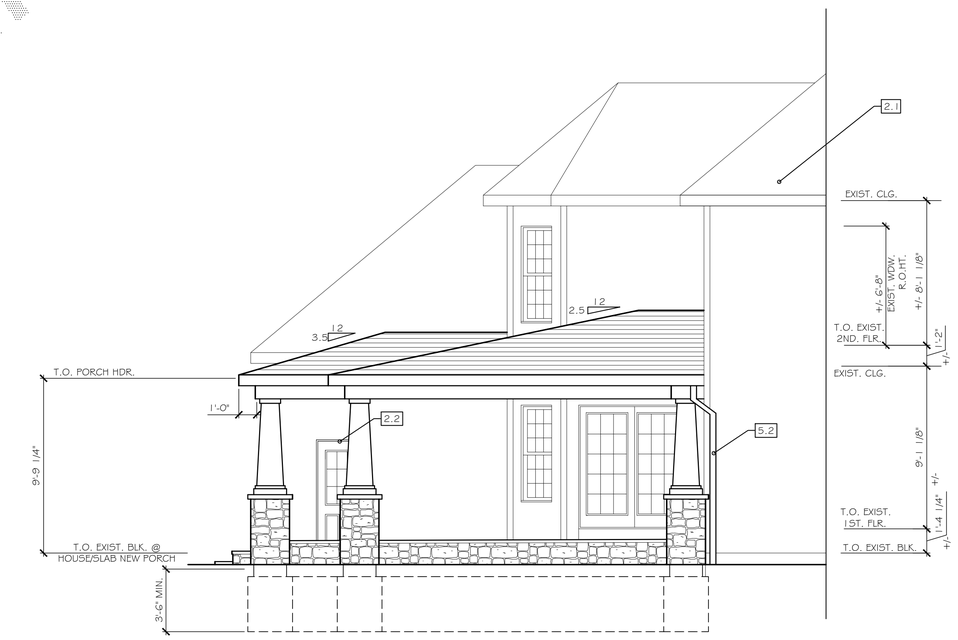
5.0 METALS
- 5.1 5/4" x 8" 'AZEK' FASCIA WITH METAL DRIP EDGE
- 5.2 6" ALUMINUM K GUTTER WITH 3"x4" DOWNSPOUTS. FINAL LOCATION BY CONTRACTOR IN FIELD.

6.0 WOOD, PLASTICS & COMPOSITES
- 6.1 18"W x 8"H 'AZEK' WRAPPED BOX BEAM
- 6.2 5/4"X 'AZEK' WRAPPED 18" BATTERED POST W/ BASE & CAP

7.0 THERMAL & MOISTURE PROTECTION
- 7.1 ARCHITECTURAL FIBERGLASS / ASPHALT SHINGLES. MATCH EXISTING

26.0 ELECTRICAL
- 26.1 PROVIDE WALL OR CEILING MOUNTED LIGHTING AT ENTRY DOORS

31.0 EARTHWORK
- 31.1 GRADE VARIES (REFER TO SITE ENGINEERS GRADING PLAN)



NORTH ELEVATION

SCALE: 1/4"= 1'-0"

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
EAST & NORTH ELEVATIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A21-145	ADDITION
DRAWN BY: CME	DRAWING NO: A1.0
CHECKED BY: JRF	
DATE: 04-22-2022	

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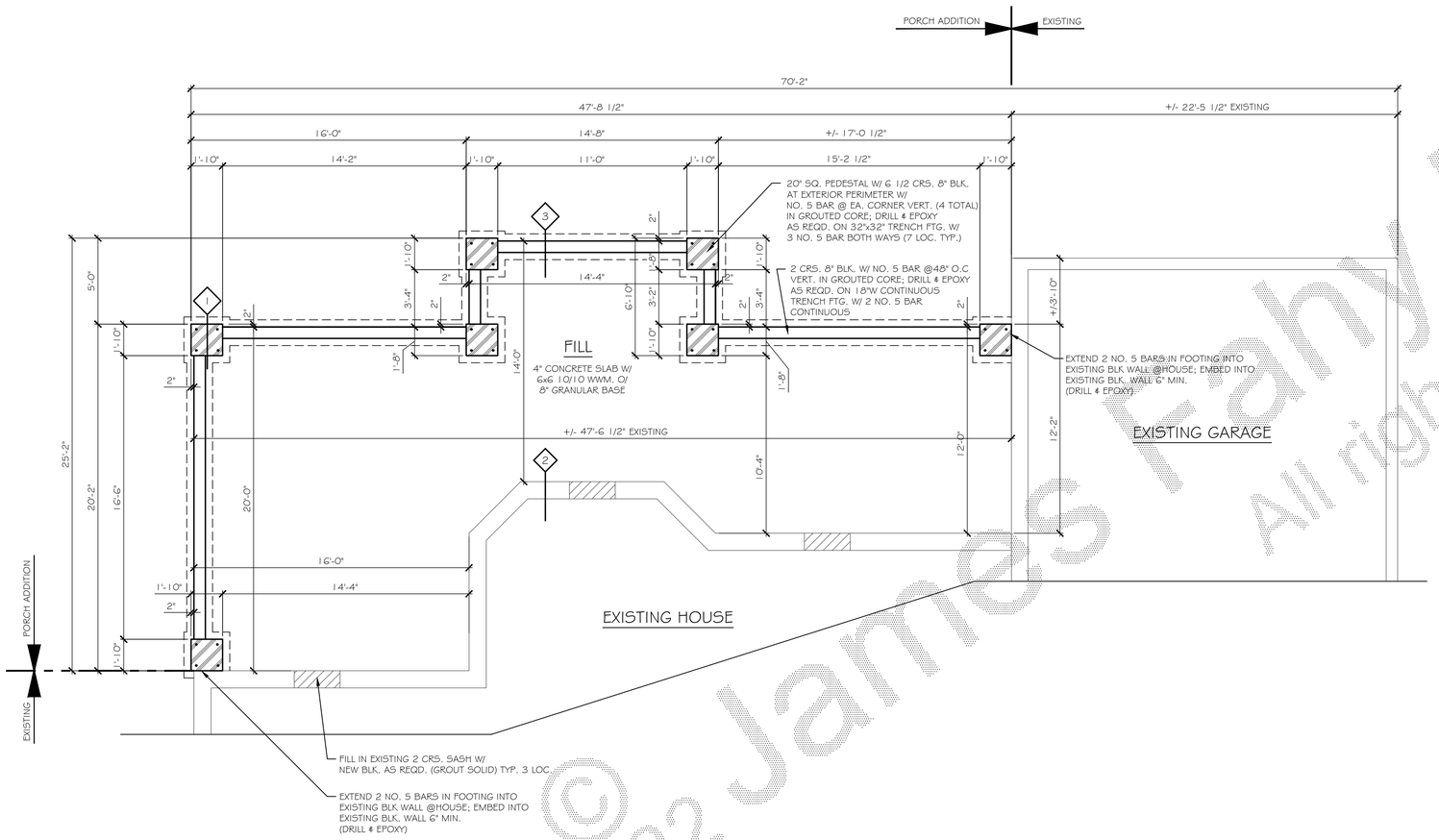

N

FOUNDATION PLAN

SCALE: 1/4"= 1'-0"

GENERAL CONSTRUCTION NOTES:

A. Construction shall conform to the 2020 International Residential code of New York State.
B. Comply with all local, state and federal codes and regulations.
C. General Contractor is responsible for all materials, construction methods and craftmanship.
D. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
E. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
F. Contractors are responsible for coordinating work with other trades wherever they overlap.
G. When materials and/or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
H. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
I. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
J. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
K. All dimensions are face of wall to face of wall (rough).
L. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings.
M. Coordinate wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
N. Call UFPO before you dig. 1-800-962-7962
O. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar.
P. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
Q. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
R. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

GENERAL DEMOLITION NOTES:

A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
C. Contractor to remove all finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
D. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
E. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
F. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
G. Storage for contractor's equipment and debris must be kept inside the contract area.
H. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.

GENERAL NOTES: FOUNDATION (UNLESS OTHERWISE NOTED)

CONSTRUCTION NOTES:

- ALL DIMENSIONS BASED ON EXISTING CONDITIONS ARE ± AND MUST BE FIELD VERIFIED BEFORE STARTING WORK.
- CONTRACTOR TO CONTACT ARCHITECT IF EXISTING FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON CONSTRUCTION DOCUMENTS.
- NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS.
- NEW FOOTINGS TO BEAR ON FIRM UNDISTURBED NATIVE SOILS 3'-6" MIN. BELOW ADJACENT GRADE. VERIFY IN FIELD. REFER TO DET. 10 SHT.A7.0 FOR STEPPED FOOTING REQUIREMENTS.
- INTERIOR SLABS SHALL BE 2500 PSI MIN. AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
- SPREAD FOOTINGS TO BE 3000 PSI MIN. W/ REINFORCING AS NOTED AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
- ALL SLABS TO BE REINFORCED WITH WIRE MESH AS NOTED.
- INSTALL 1" DEEP x 1/4" WIDE CONTROL JOINTS IN SLAB EVERY 300 S.F. ±
- GROUT CORES SOLID @ ALL 4" & 6" BLK. LOCATIONS AND IN THE STARTING COURSE ON FOUNDATION WHERE ADJACENT CELLS OR CAVITIES ARE TO BE GROUTED.
- GROUT CORES SOLID AT ALL LOCATIONS RECEIVING VERTICAL REINFORCING.
- CONCRETE MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ACI AND 2020 RCNYS CHAPTER 4.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 TYPE I, GRADE N, MOISTURE CONTROLLED UNITS. MORTAR SHALL BE TYPE M OR S.
- GROUT SHALL CONFORM TO ASTM C476 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. GROUT SHALL BE PLACED IN LIFTS NOT EXCEEDING 7 COURSES IN HEIGHT UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
- COORDINATE LOCATION OF ALL MASONRY WALLS, PARTITIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS.
- ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL. (SEE NOTE BELOW)
- ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3 INCHES. FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM.
- PROVIDE CHEMICAL HARDENER AND SEALER TO ALL TROWEL FINISHED INTERIOR FLOORS WHICH ARE TO BE LEFT EXPOSED.

REINFORCING:

- AS NOTED ON FOUNDATION PLAN & ON DETAILS SHT. A4.0

LEGEND:

- X — CONSTRUCTION DETAIL SHOWN ON SHEET A4.0
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE FILLED IN
- NEW CONSTRUCTION

FOUNDATION ELEVATION LEGEND:

- ELEV. = +28" (+6 1/2 CRS. o/ TRENCH FTG.)
- ELEV. = 0" (T.O. EXISTING BLK. @ HOUSE/SLAB)

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
FOUNDATION PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A21-145	ADDITION
DRAWN BY: CME	DRAWING NO: A2.0
CHECKED BY: JRF	
DATE: 04-22-2022	

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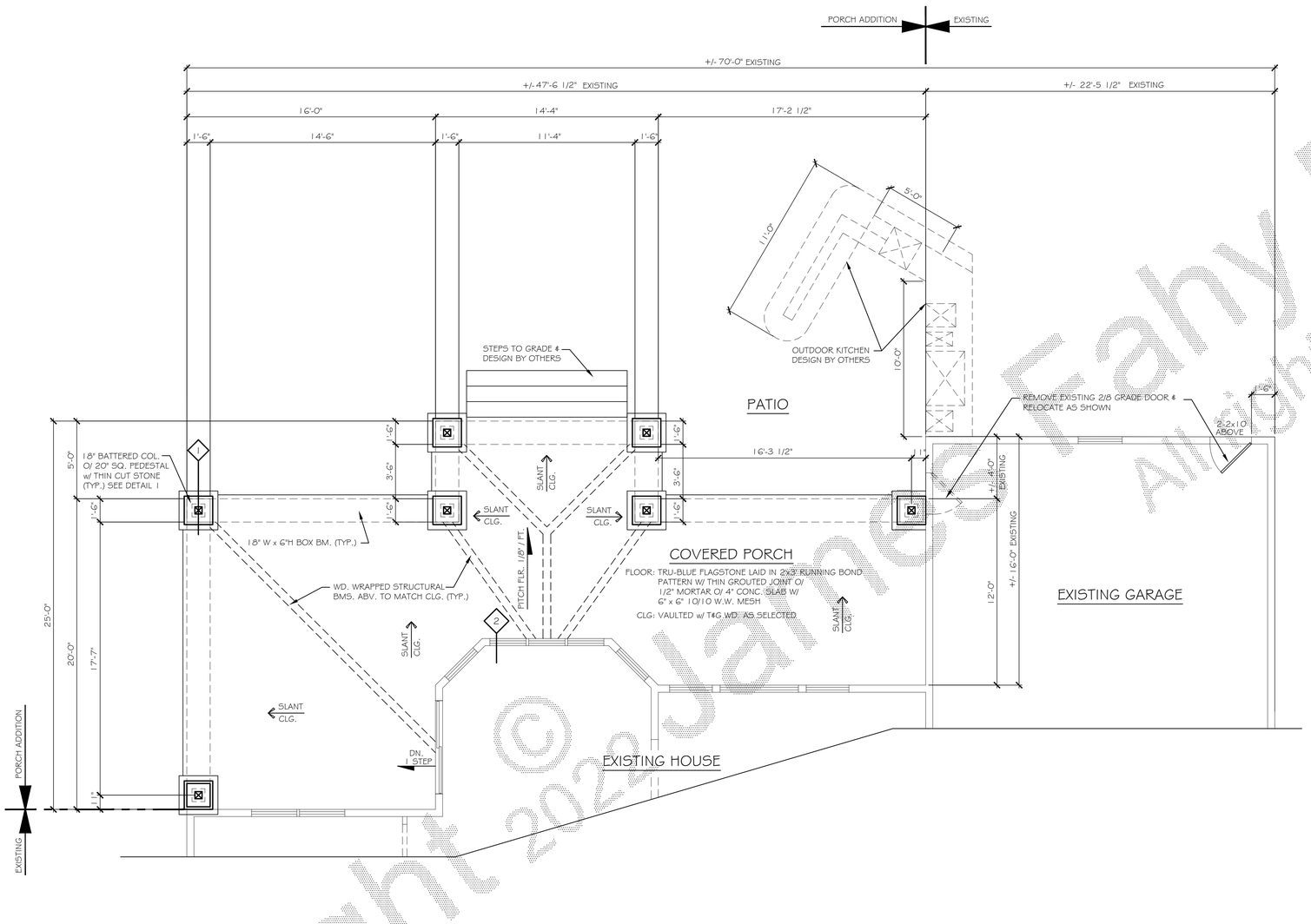

N

FLOOR PLAN 736 S.F.

SCALE: 1/4"= 1'-0"

GENERAL CONSTRUCTION NOTES:

A. Construction shall conform to the 2020 International Residential code of New York State.
B. Comply with all local, state and federal codes and regulations.
C. General Contractor is responsible for all materials, construction methods and craftmanship.
D. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
E. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
F. Contractors are responsible for coordinating work with other trades wherever they overlap.
G. When materials and/or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
H. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
I. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
J. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
K. All dimensions are face of wall to face of wall (rough).
L. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings.
M. Coordinate wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
N. Call UFPO before you dig. 1-800-962-7962
O. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
P. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
Q. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
R. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

GENERAL DEMOLITION NOTES:

A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
C. Contractor to remove all finishes not shown to remain.
Infill wall openings as required and patch surfaces to match adjacent existing.
D. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
E. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
F. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
G. Storage for contractor's equipment and debris must be kept inside the contract area.
H. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.

GENERAL NOTES: FIRST FLOOR (UNLESS OTHERWISE NOTED)

- ALL PLT. HEIGHTS TO BE AS NOTED ON ELEVATIONS & DETAILS
- REFER TO SHEET S1.0 FOR ALL HEADERS FRAMING

LEGEND:

X — CONSTRUCTION DETAIL
ALL DETAILS SHOWN ON SHEET A4.0

EXISTING CONSTRUCTION TO REMAIN

6" x 6" P.T. POST

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
FLOOR PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A21-145	ADDITION
DRAWN BY: CME	DRAWING NO: A3.0
CHECKED BY: JRF	
DATE: 04-22-2022	

James Fahy Design
2024 W. Hennetta Rd. Suite 3K
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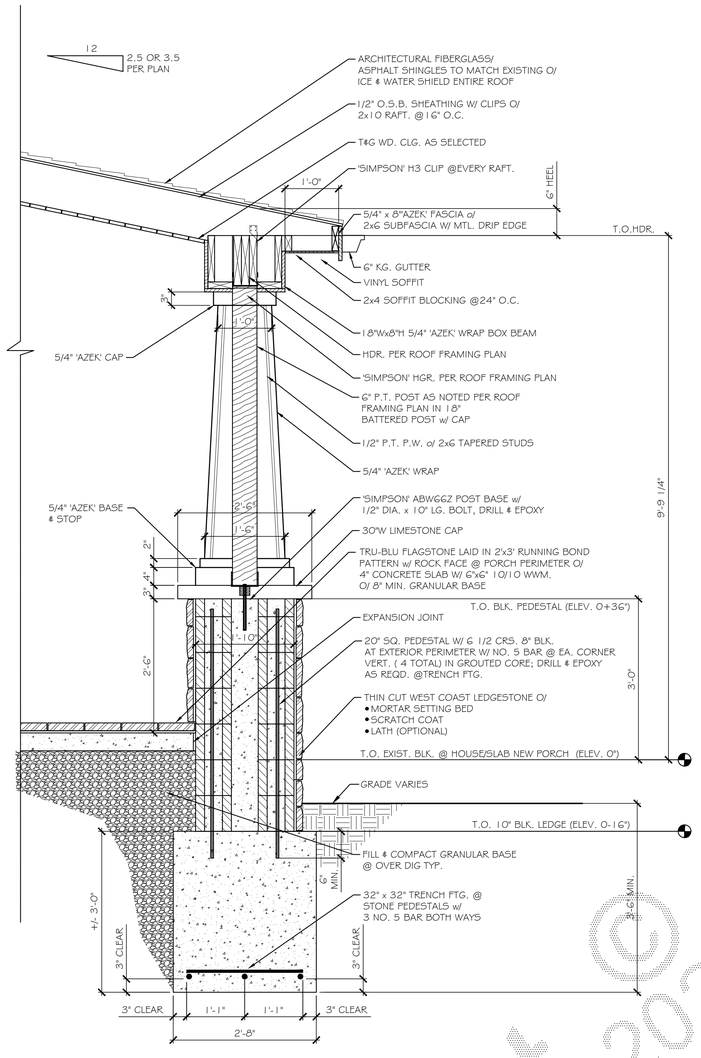
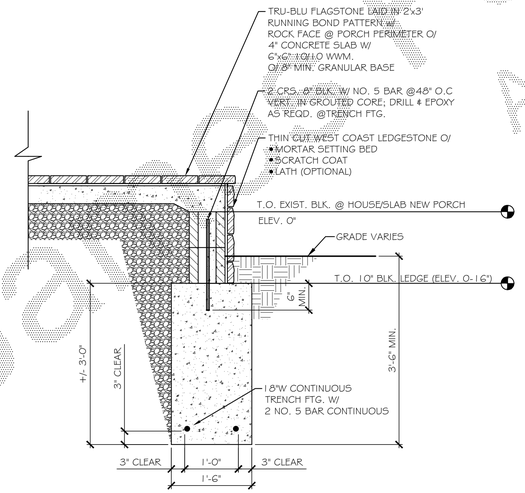
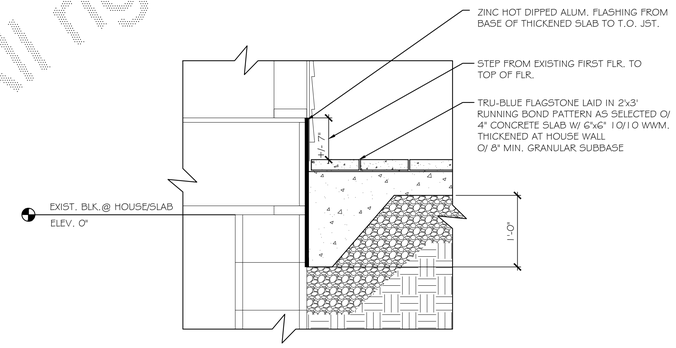


1 DETAIL @ STONE PIER
SCALE: 3/4"= 1'-0"



2 DETAIL @ PORCH PERIMETER
SCALE: 3/4"= 1'-0"



3 CONCRETE SLAB @EXISTING HOUSE
SCALE: 1" = 1'-0"

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
DETAILS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A21-145	ADDITION
DRAWN BY: CME	DRAWING NO: A4.0
CHECKED BY: JRF	
DATE: 04-22-2022	

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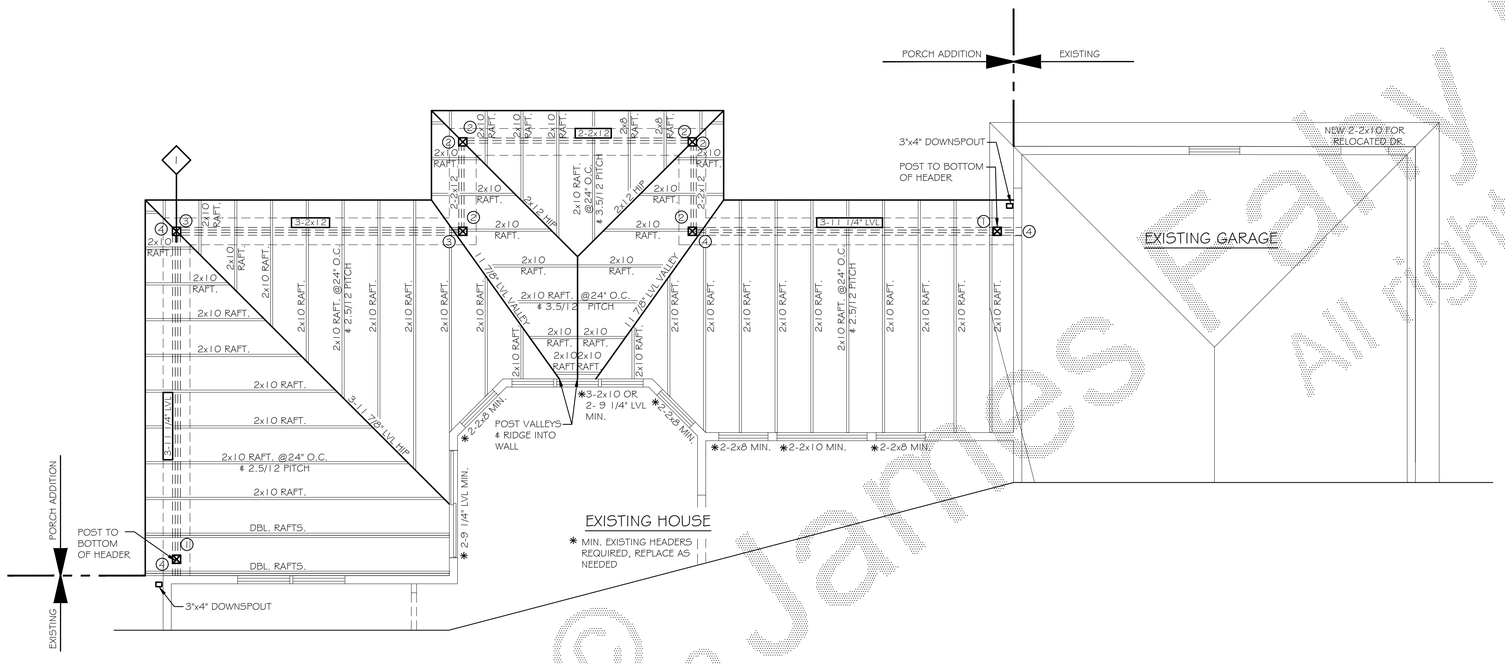

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES:

- ALL SOFFITS TO BE 1'-0" (UNLESS OTHERWISE NOTED)
- POST ALL HIP, RIDGE & VALLEY TERMINATIONS TO SOLID BRG. BELOW
- A.V.: APPLIED VALLEY
- AT ALL HEADER TO WALL CONNECTIONS, PROVIDE SOLID BEARING IN WALL FOR CONNECTION
- ICE & WATER SHIELD ENTIRE ROOF.

APPLIED VALLEY FRAMING

- USE 2x12 FLAT OVER ROOF SHEATHILNG FOR 2x10 RAFTERS
- USE 2x10 FLAT OVER ROOF SHEATHING FOR 2x8 RAFTERS
- USE 2x8 FLAT OVER ROOF SHEATHING FOR 2x6 RAFTERS

LEGEND:

: LINE OF WALL & ROOF BELOW

X : CONSTRUCTION DETAIL ALL DETAILS SHOWN ON SHEET A4.0

: 6" x 6" P.T. POST (ALL CORNER POST TO BE FULL HT.)

SIMPSON (OR EQUAL) POST CAP & HANGER CONNECTIONS

1 : CCQ5-6SDS2.5

2 : HUC 212-2 (FOR 2-2x12)

3 : HUC 212-3 (FOR 3-2x12)

4 : HUCQ12 (FOR 3-11 1/4" LVL)

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SCHEIDER RESIDENCE
PORCH ADDITION
3 NORTHSTONE RISE
PITTSFORD, NEW YORK

CLIENT:
KEN & JANINE SCHEIDER

DRAWING TITLE:
ROOF FRAMING PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A21-145	ADDITION
DRAWN BY: CME	DRAWING NO: S1.0
CHECKED BY: JRF	
DATE: 04-22-2022	

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Rochester, New York 14623
tel: 585-272-1650
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000217

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 103 Knickerbocker Road PITTSFORD, NY 14534
Tax ID Number: 164.19-1-5
Zoning District: RN Residential Neighborhood
Owner: Henderson, Blake A
Applicant: Henderson, Blake A

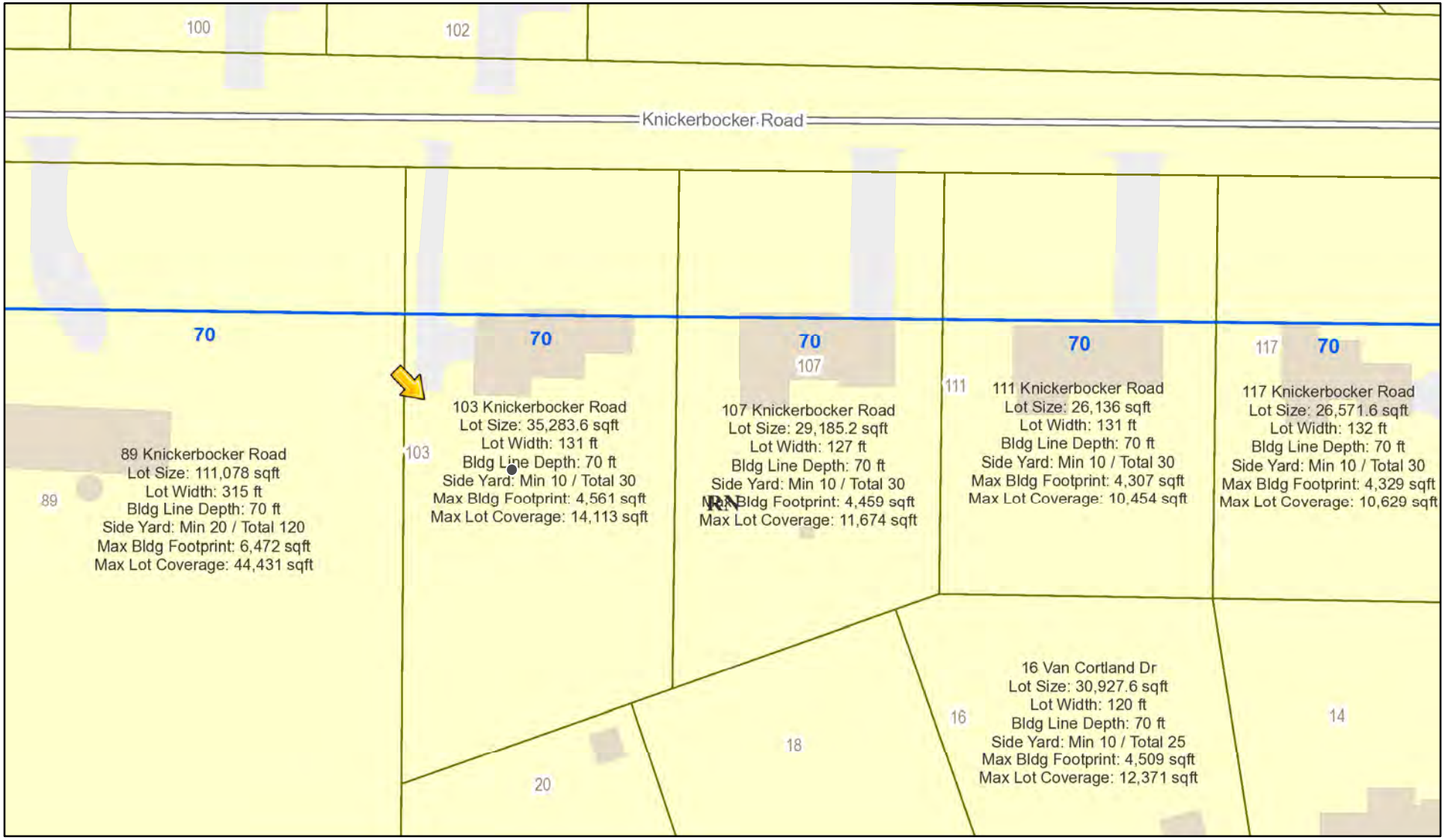
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is returning to request the design review for the construction of approximately an 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18 meeting.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



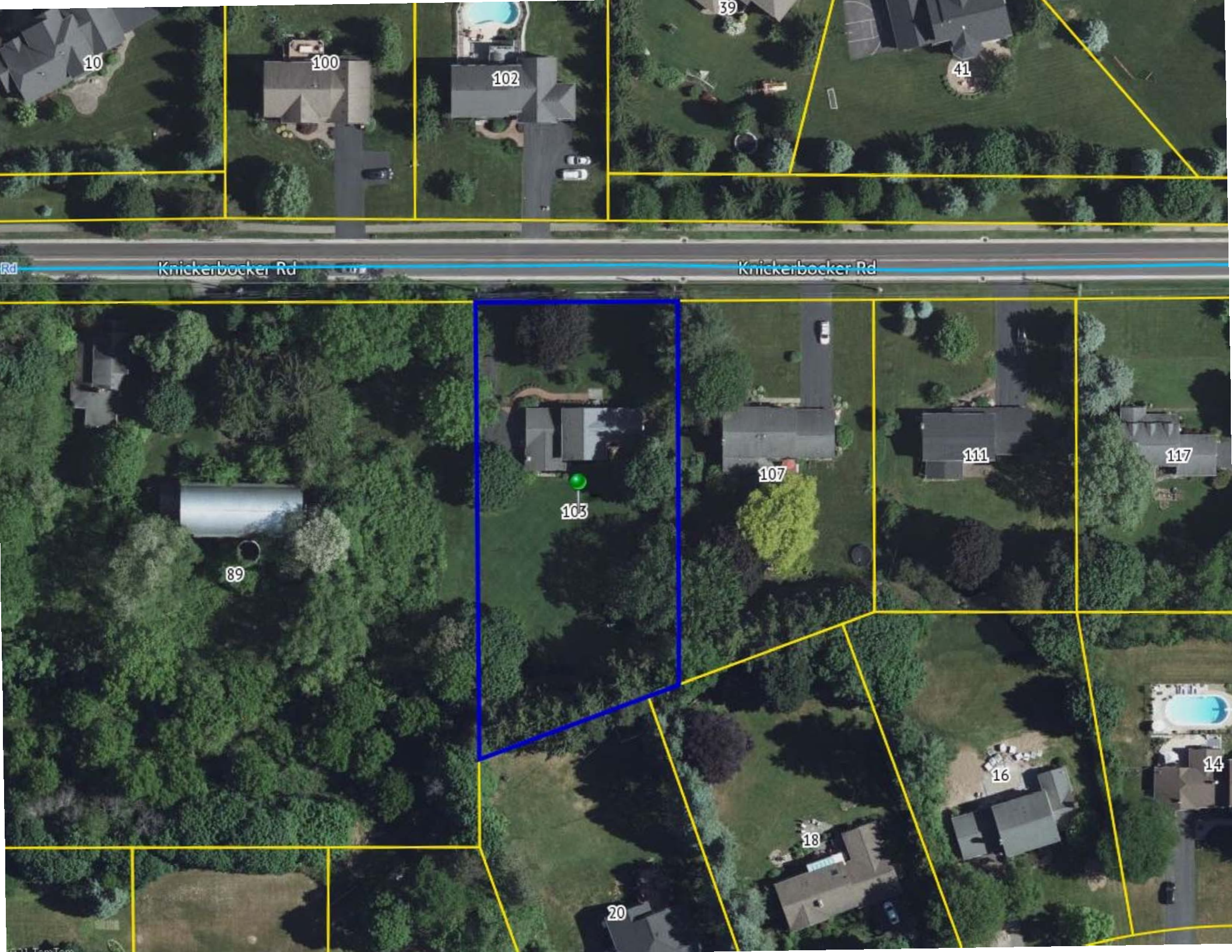
Printed October 6, 2021

1:1,128

0 45 90 180 ft

0 12.5 25 50 m

Town of Pittsford GIS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Knickerbocker Rd
Knickerbocker Rd
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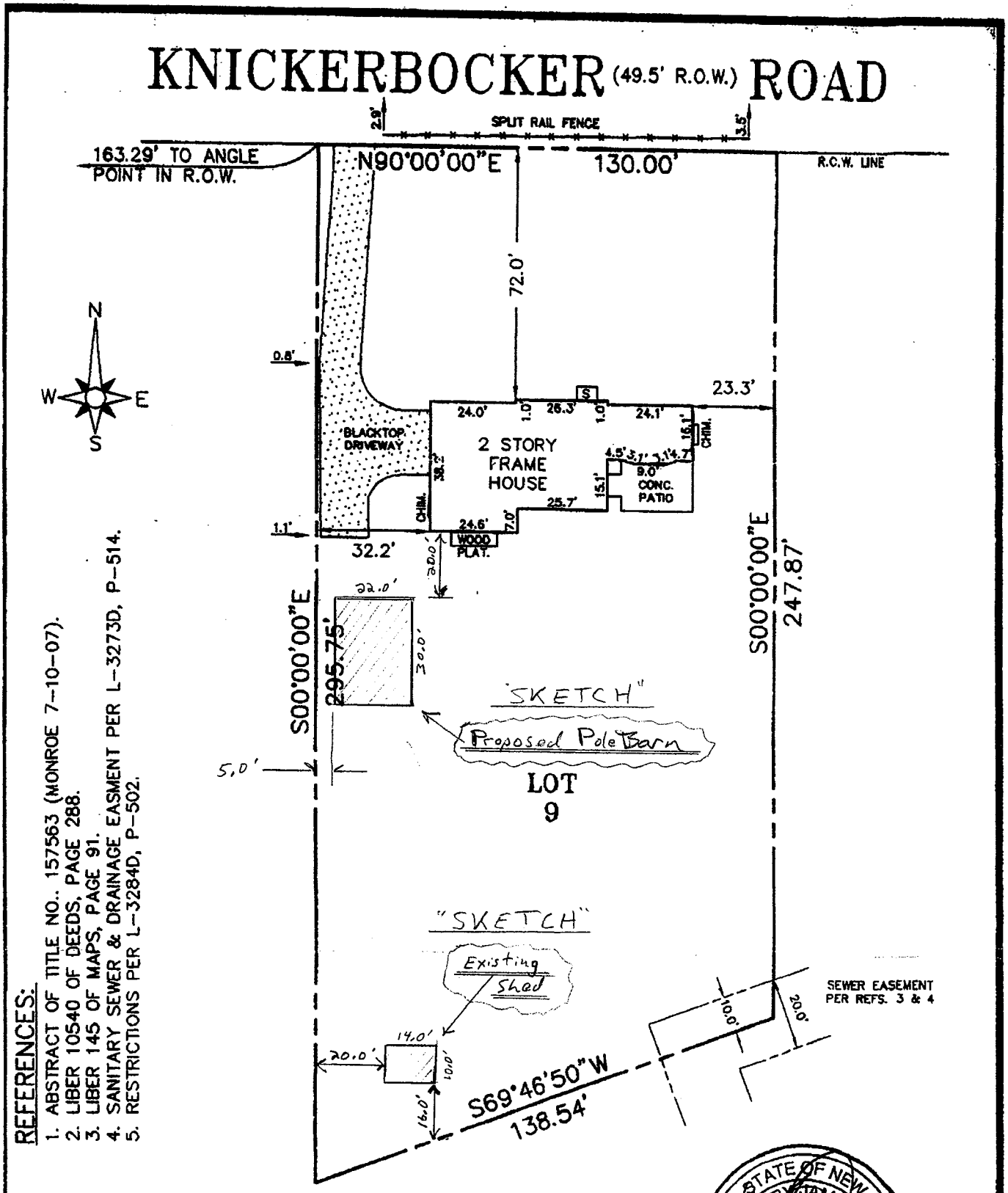


REFERENCES:

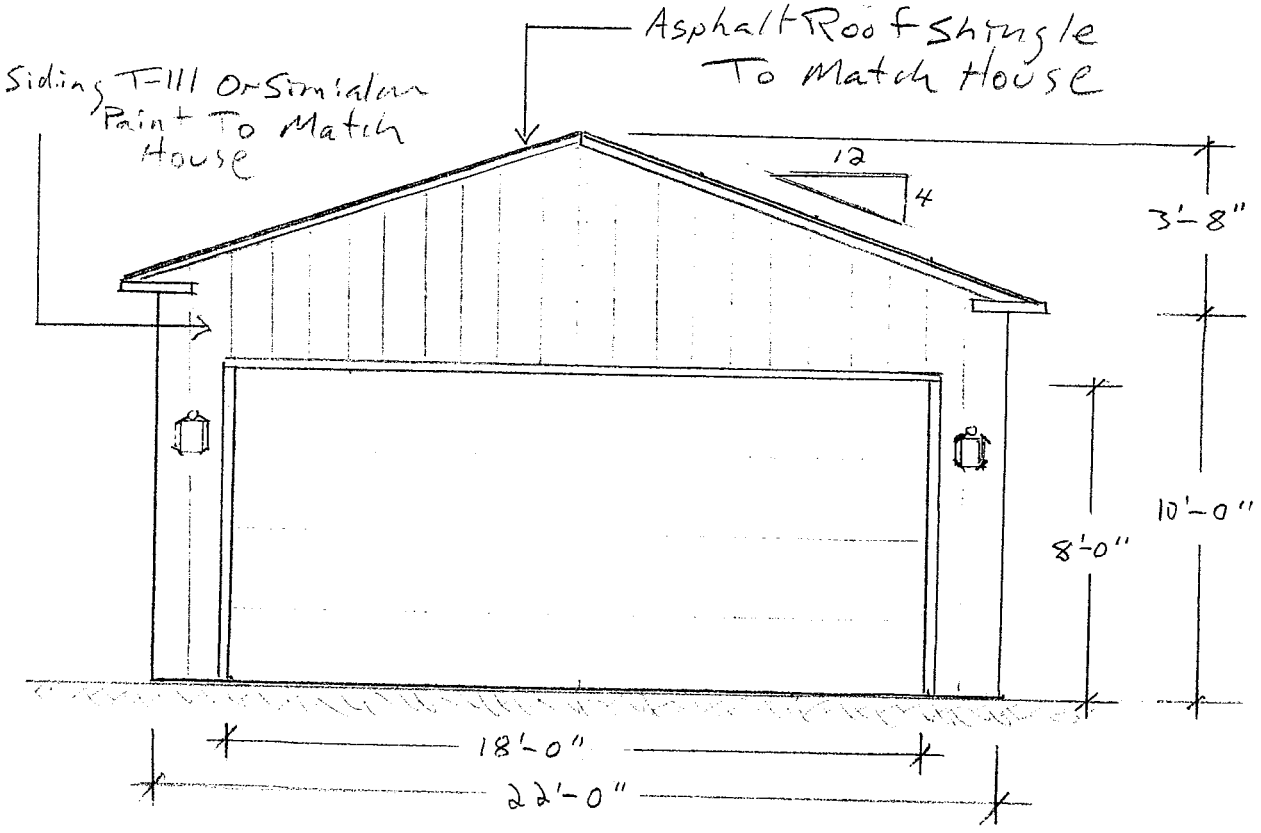
1. ABSTRACT OF TITLE NO.. 157563 (MONROE 7-10-07).
2. LIBER 10540 OF DEEDS, PAGE 288.
3. LIBER 145 OF MAPS, PAGE 91.
4. SANITARY SEWER & DRAINAGE EASMENT PER L-3273D, P-514.
5. RESTRICTIONS PER L-3284D, P-502.

CERTIFICATION:

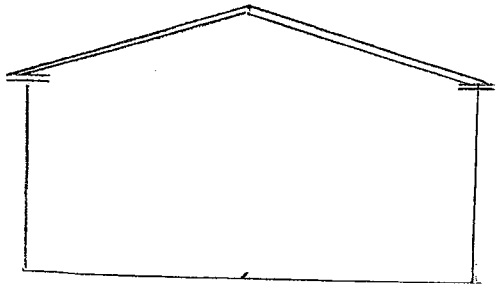
I hereby certify to:
BLAKE A. HENDERSON;
LAUREN A. HENDERSON;

Blake Henderson
585-749-2058
bah997@yahoo.com

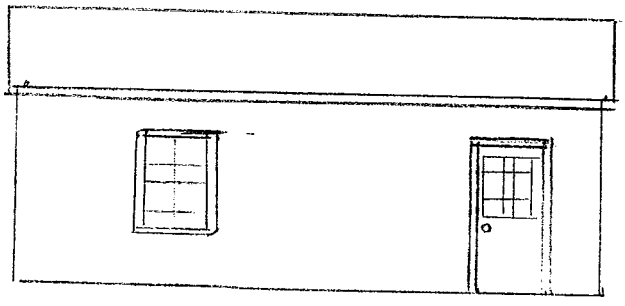
22x30 Pole Barn
103 Knickerbocker Rd.
Pittsford, NY 14534



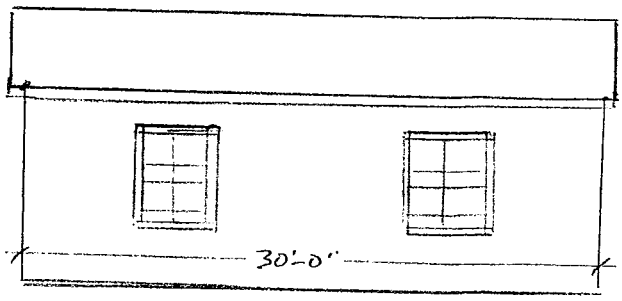
FRONT ELEVATION Scale: 1" = 5'



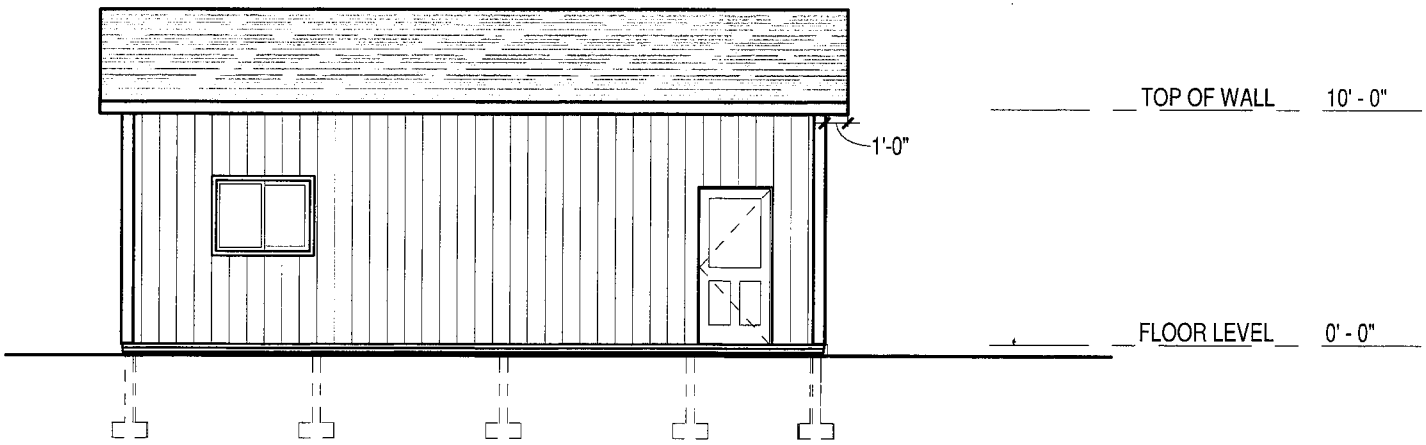
REAR ELEVATION
Scale: 1" = 10'



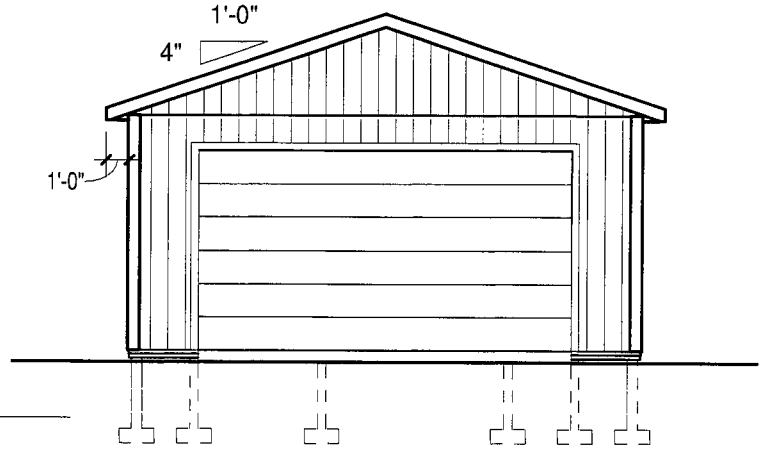
LEFT ELE.



RIGHT ELE.



1 SIDE ELEVATION
1/8" = 1'-0"



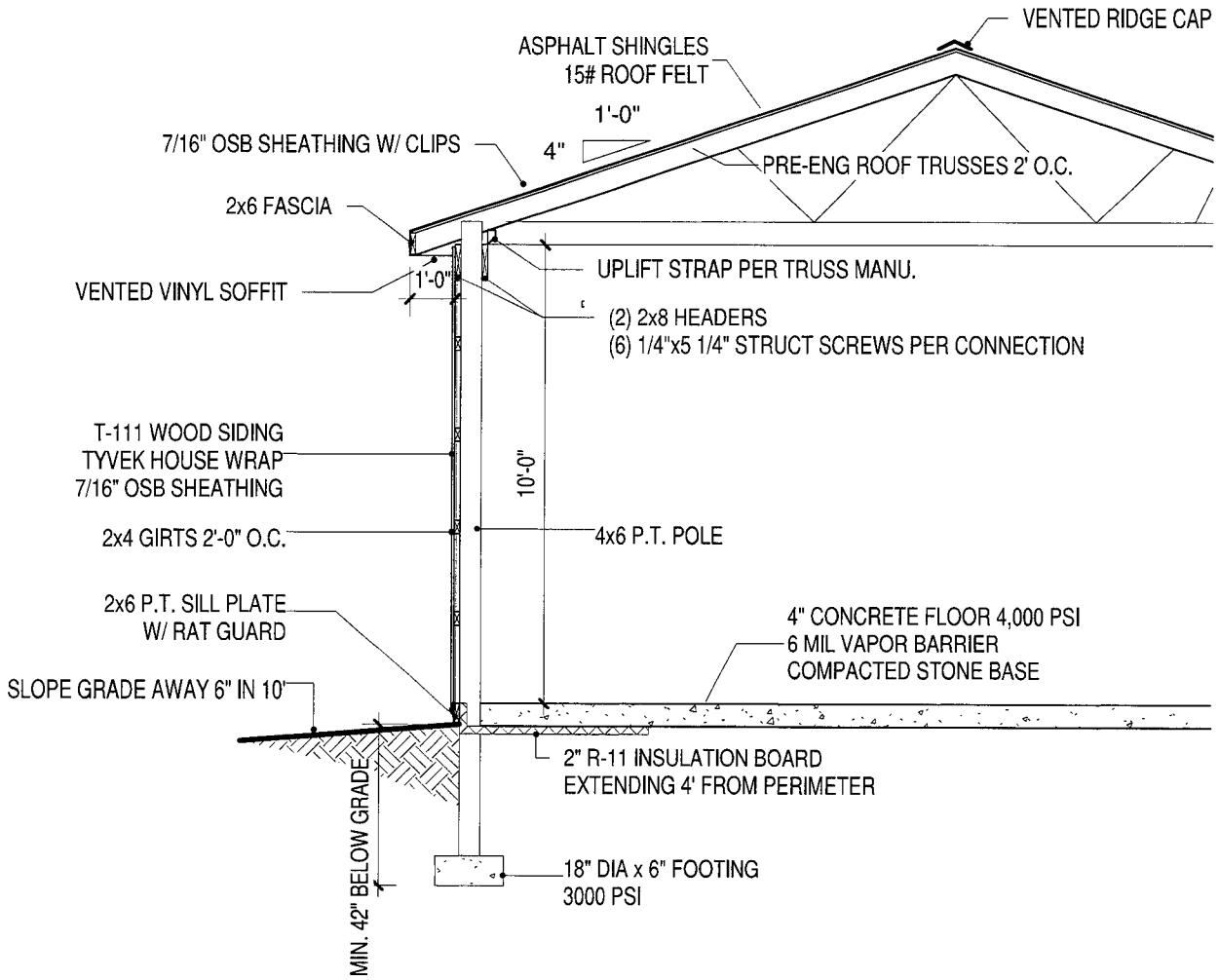
2 GABLE ELEVATION
1/8" = 1'-0"

Burkholder Brothers LLC
4445 RT 14
DUNDEE, NY 14837
(607) 229-5487

BLAKE HENDERSON
103 KNICKERBOCKER RD
PITTSFORD, NY 14539

4/26/22

A102
ELEVATIONS



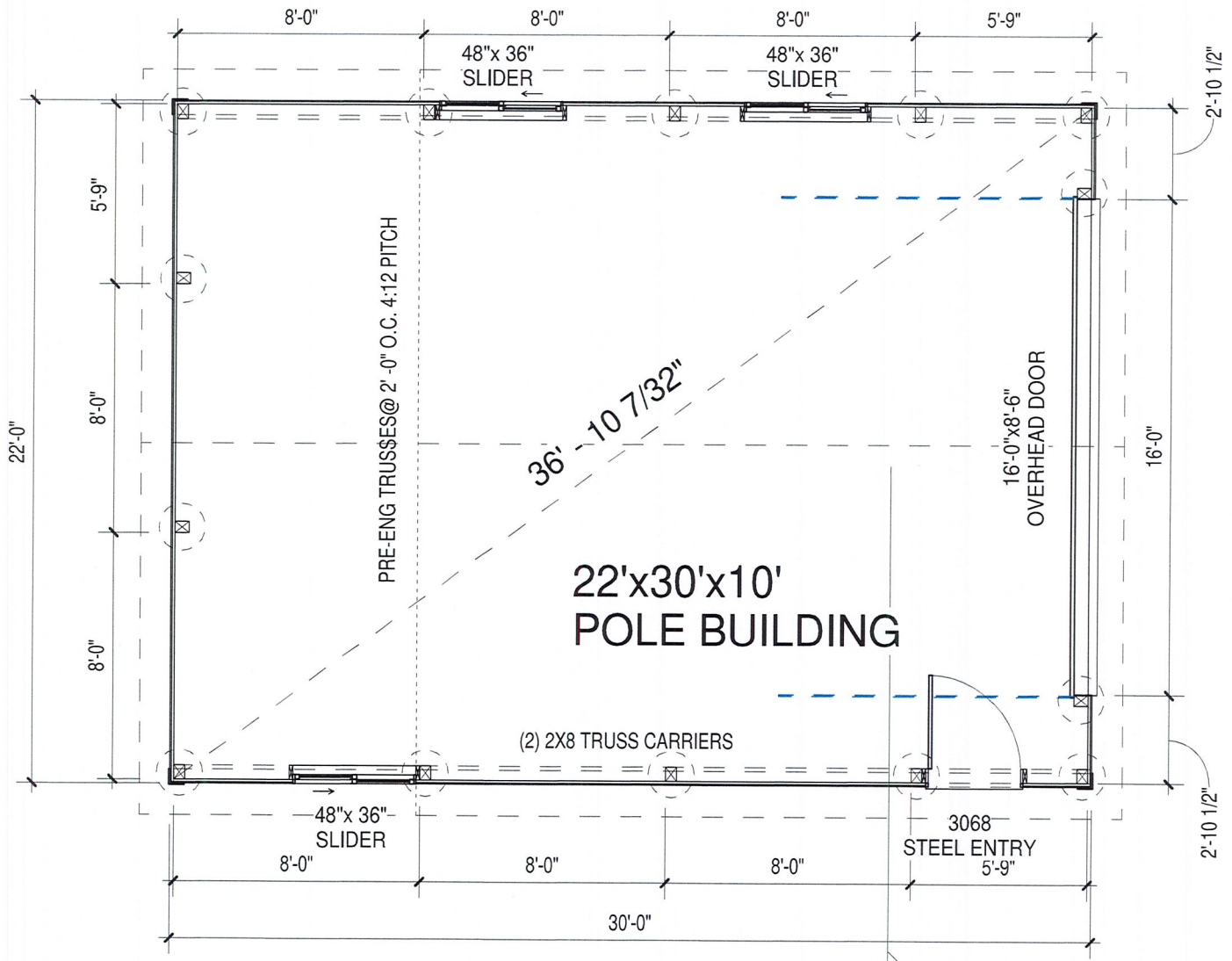
1 TYPICAL SECTION
1/4" = 1'-0"

Burkholder Brothers LLC
4445 RT 14
DUNDEE, NY 14837
(607) 229-5487

BLAKE HENDERSON
103 KNICKERBOCKER RD
PITTSFORD, NY 14539

4/26/22

A103
SECTION



1 FLOOR LEVEL
3/16" = 1'-0"

Burkholder Brothers LLC
4445 RT 14
DUNDEE, NY 14837
(607) 229-5487

BLAKE HENDERSON
103 KNICKERBOCKER RD
PITTSFORD, NY 14539

4/26/22

A101
FLOORPLAN

PROPOSAL

BURKHOLDER BROTHERS
4445 RT. 14
DUNDEE, NY 14837
607-229-5487

PROPOSAL SUBMITTED TO: Blake Henderson
STREET: 103 Knickerbecker Rd.
CITY, STATE AND ZIP CODE: Pittsford N.Y. 14534
ARCHITECT:

PHONE: 585-749-2058 DATE: 2-9-2022
JOB NAME:
JOB LOCATION: bah997@Yahoo.Com
DATE OF PLANS: JOB PHONE:

We hereby submit specifications and estimates for

22'x 30'x 10' Pole building garage
Asphalt shingle roof w/vented Ridge
T1-11 wood siding (painted by others)
12" vented overhangs All Around
1- 36" nine-lite passage door
3- 4/0x3/0 vinyle insulated windows
1- 16'x8' insulated residential overhead door
w/electric opener
4" concrete floor (4000 mix)
2" foam insulation board under slab around 4' perimeter
All drawings as needed by Code

☐ overhead door tracks?	☐ floor elevation
☐ slab thickness?	☐ batton strips
☐ insulation on ceiling	☐ gutters
☐ electric, where? feed?	

$34,700 —

We Propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of

Payment to be made as follows: 10% down payment _____ dollars ($ _____)
30% job start, 30% roof on
Bal on Completion

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature

Note
This proposal may be withdrawn by us if not accepted within 15 days

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature

Date of Acceptance

Signature

Property line to neighboring structure = 112'

Proposed pole barn garage to neighboring structure = 117'

Existing side load garage image

New structure will be very simialar

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000076

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 32 Rosewood Drive PITTSFORD, NY 14534
Tax ID Number: 178.20-2-20
Zoning District: RN Residential Neighborhood
Owner: Madden, Michael R
Applicant: Madden, Michael R

Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The Applicant is requesting design review for the construction of a covered porch off the front of the house.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning

Printed May 3, 2022

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


16
14
12
10
28
30
32
34
36
29
31
33
7


SketchUp

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000079

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 52 Coventry Ridge ,
Tax ID Number:
Zoning District:
Owner: Spall Homes
Applicant: Spall Homes

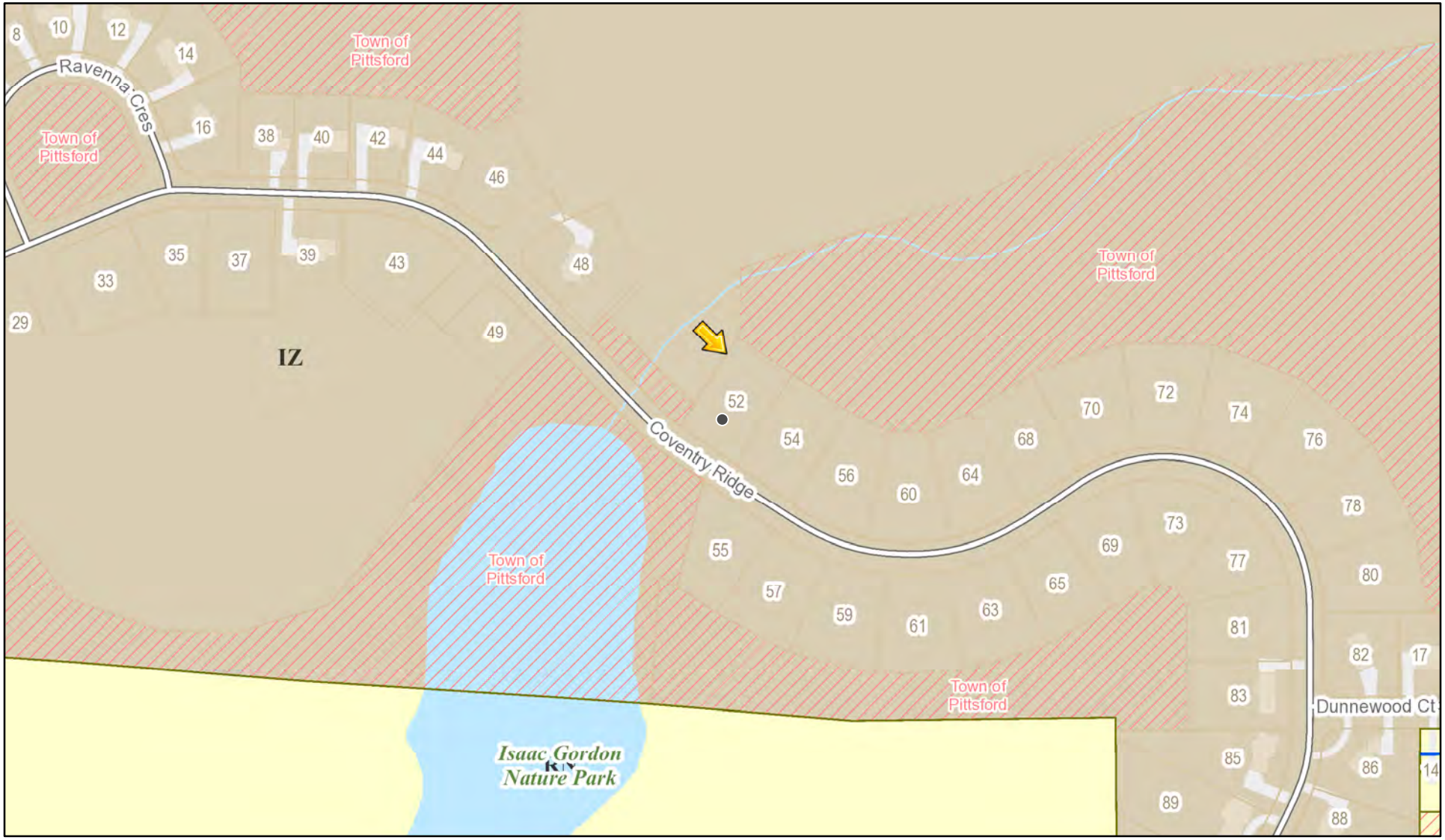
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3585 square feet and located in the Coventry Ridge Subdivision.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



Printed May 4, 2022

1:4,514

0 195 390 780 ft

0 55 110 220 m

Town of Pittsford GIS

SPEC HOME

LOT 48 COVENTRY RIDGE
PITTSFORD, NY
COVENTRY RIDGE BUILDING CORP.

PLAN 3585 / PROJECT 15360 F

SHEET INDEX

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10^6 - 1.9 $Fc^{\perp}$ = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

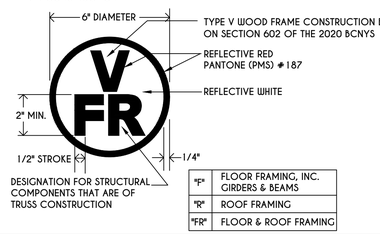
DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION

"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

GLA PLAN 3585

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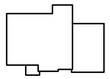
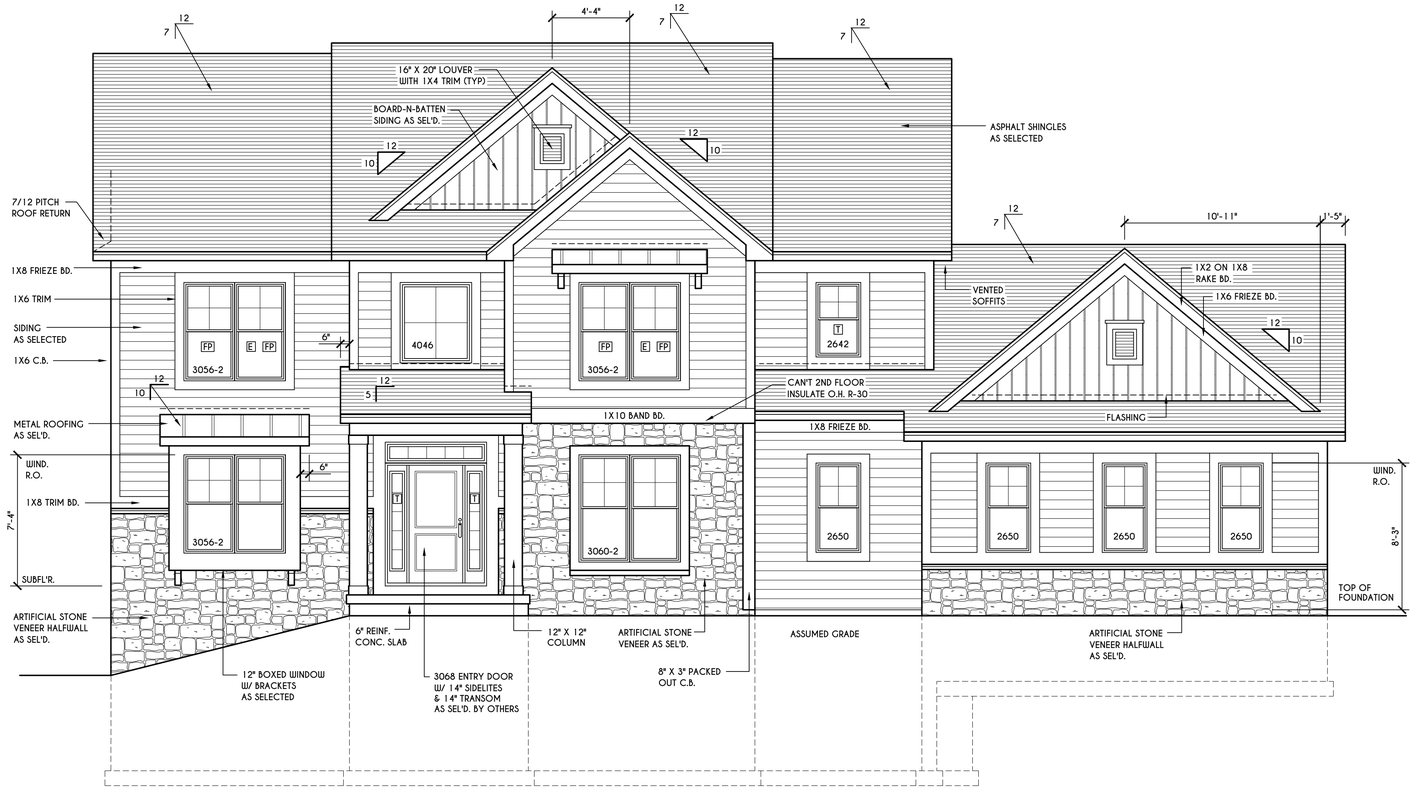


HOUSE FOOTPRINT

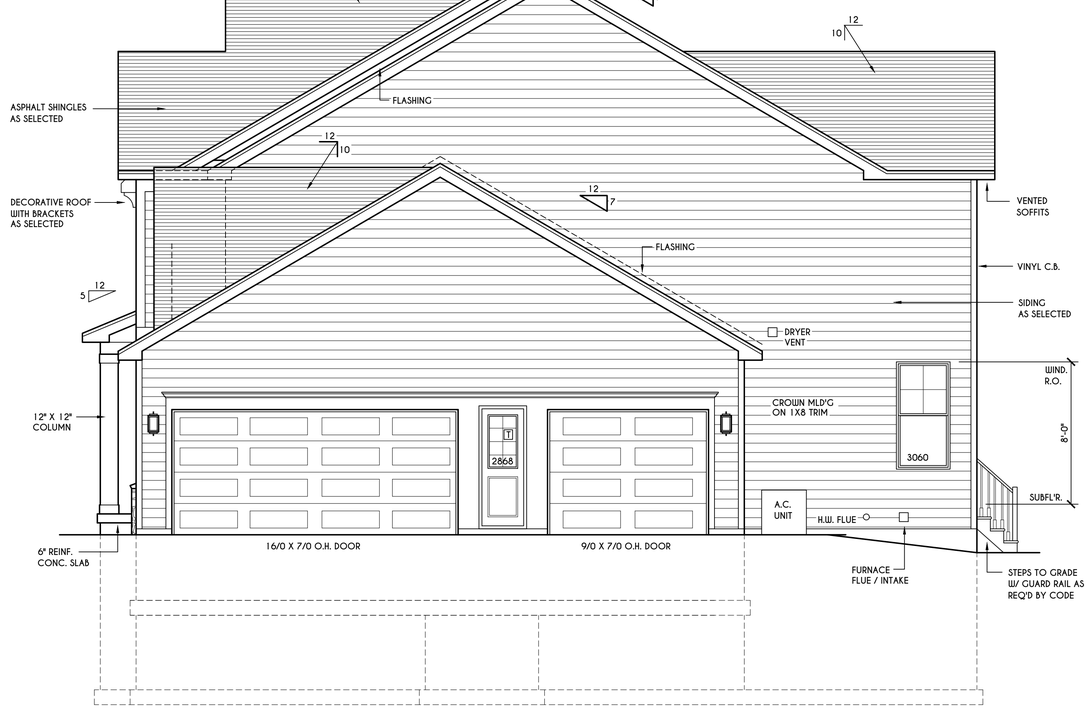
SCALE: 1" = 50'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1843 SQ.FT.
SECOND FLOOR LIVING AREA = 1742 SQ.FT.
TOTAL LIVING AREA = 3585 SQ.FT.
TOTAL CONDITIONED VOLUME = 50,668 CU.FT.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: VWD LOW E GLASS W/ ARGON
U-FACTOR 0.29
SHGC 0.31

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS [a,b]

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given,the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

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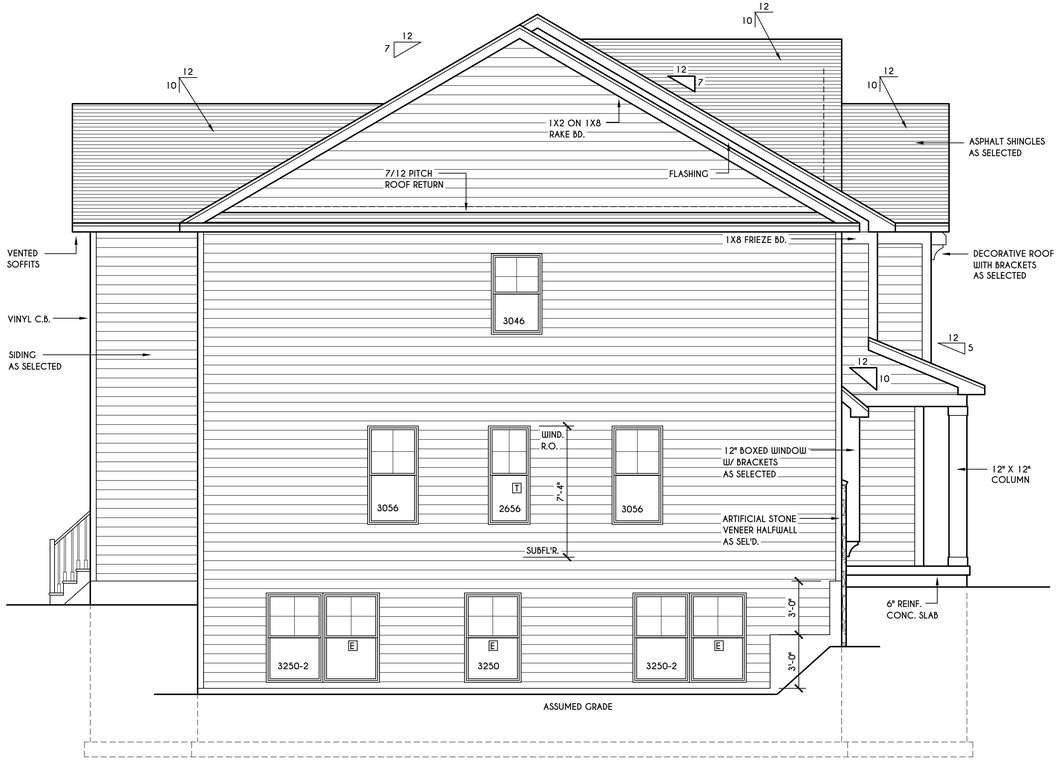
REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS:	VUID LOW E GLASS W/ ARGON U-FACTOR ..... 0.29 SHGC 0.31
DOORS:	SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS. SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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BUILDER:

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BUILDING CORP.

ELEVATIONS

GLA PLAN 3585

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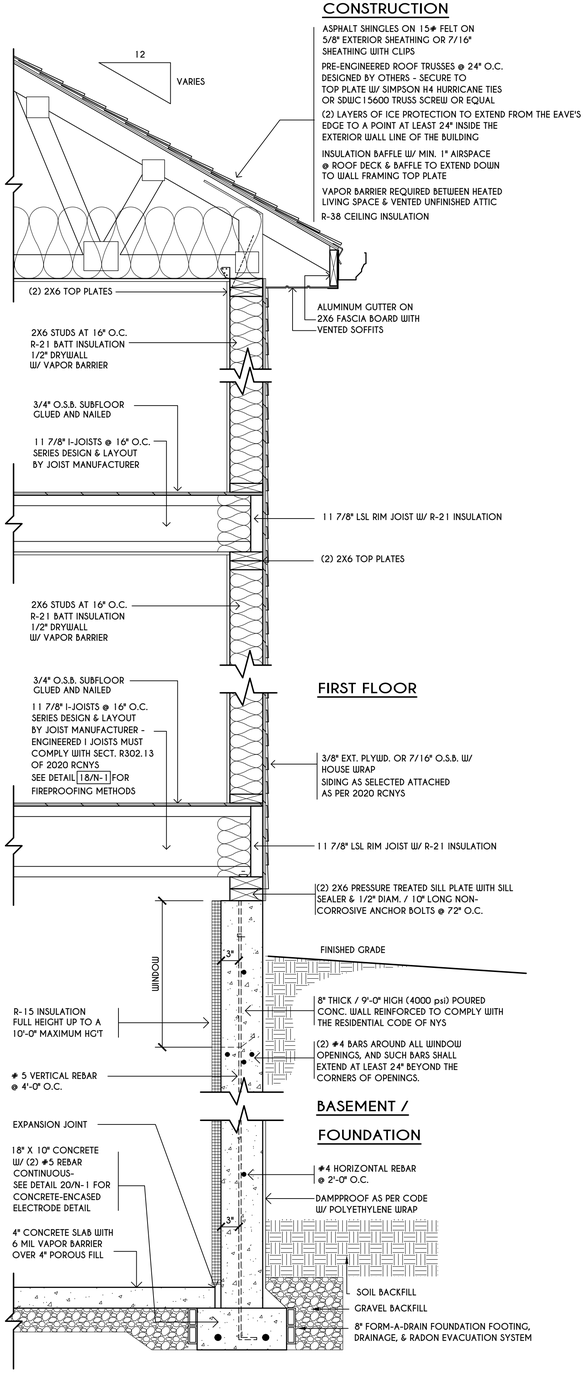


TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS

PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWC15600 TRUSS SCREW OR EQUAL

(2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING

INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE

VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC

R-38 CEILING INSULATION

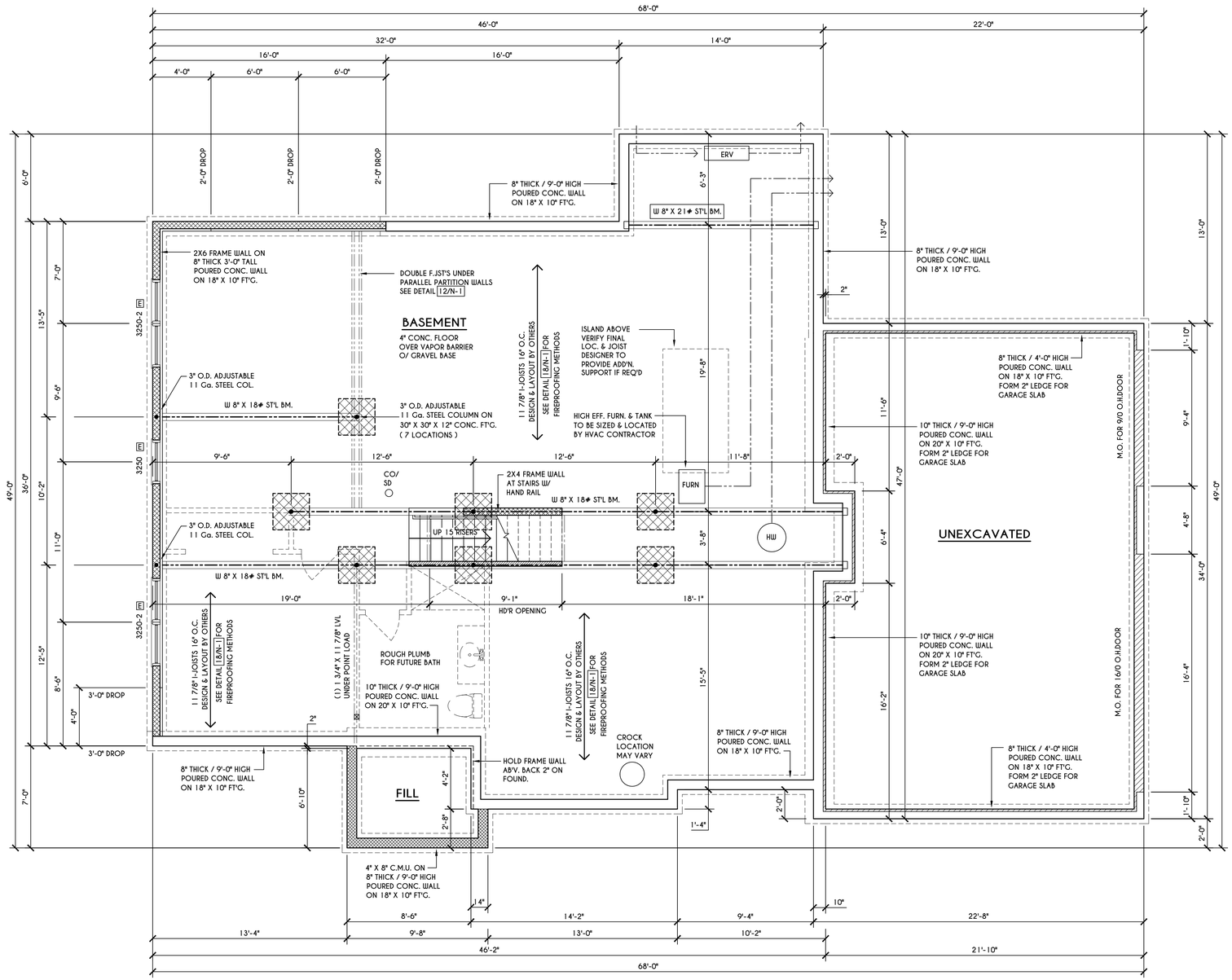
ALUMINUM GUTTER ON 2X6 FASCIA BOARD WITH VENTED SOFFITS

FIRST FLOOR

BASEMENT / FOUNDATION

TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:

ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL 18/N-1 FOR FIREPROOFING METHODS

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

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BUILDER:

COVENTRY RIDGE
BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 3585

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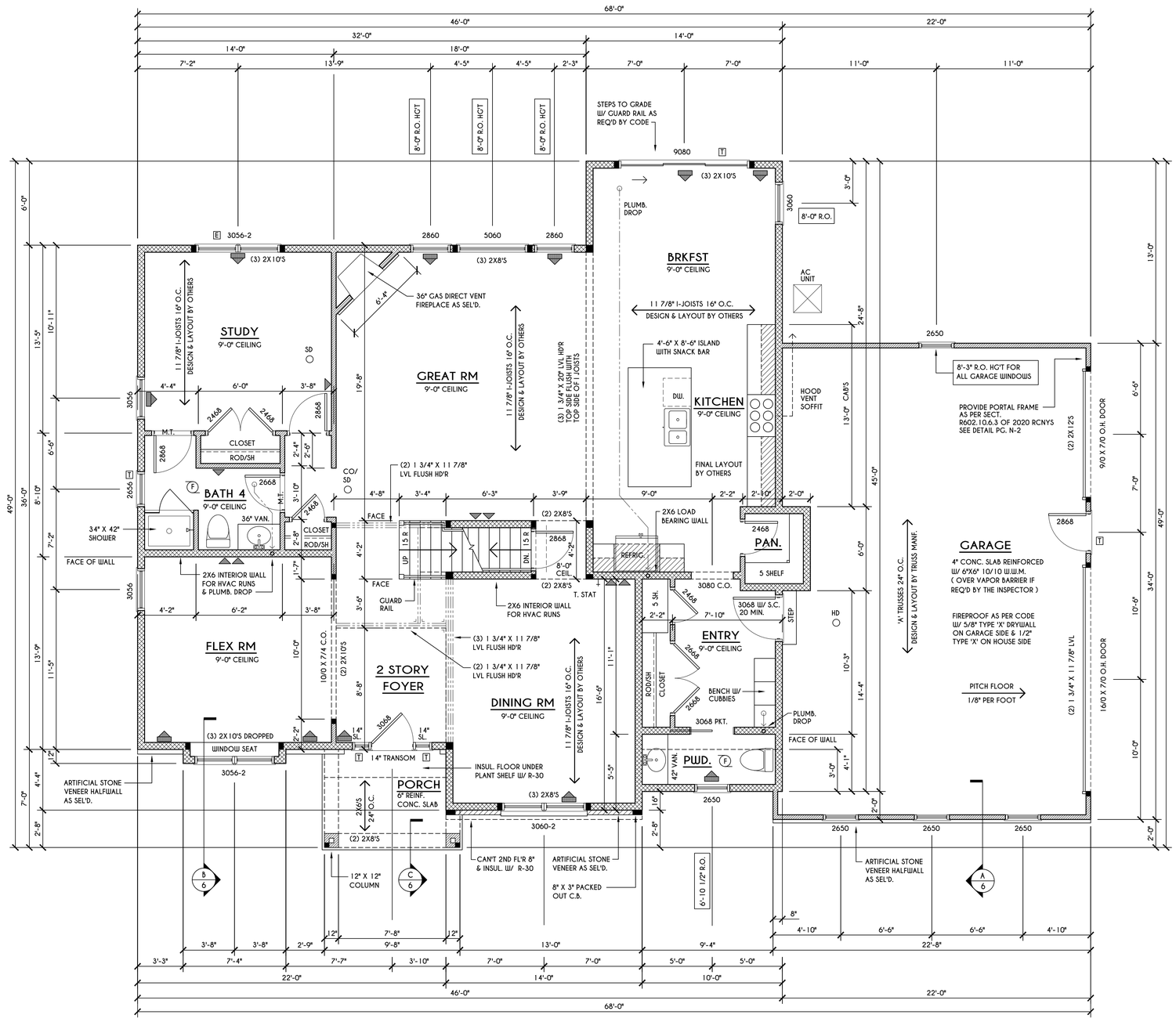

FIRST FLOOR PLAN

1843 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 7'-4" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

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FIRST FLOOR PLAN

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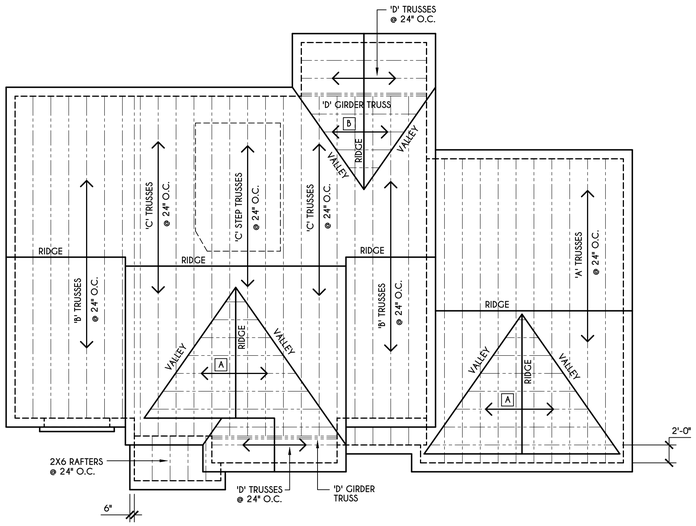


ROOF PLAN

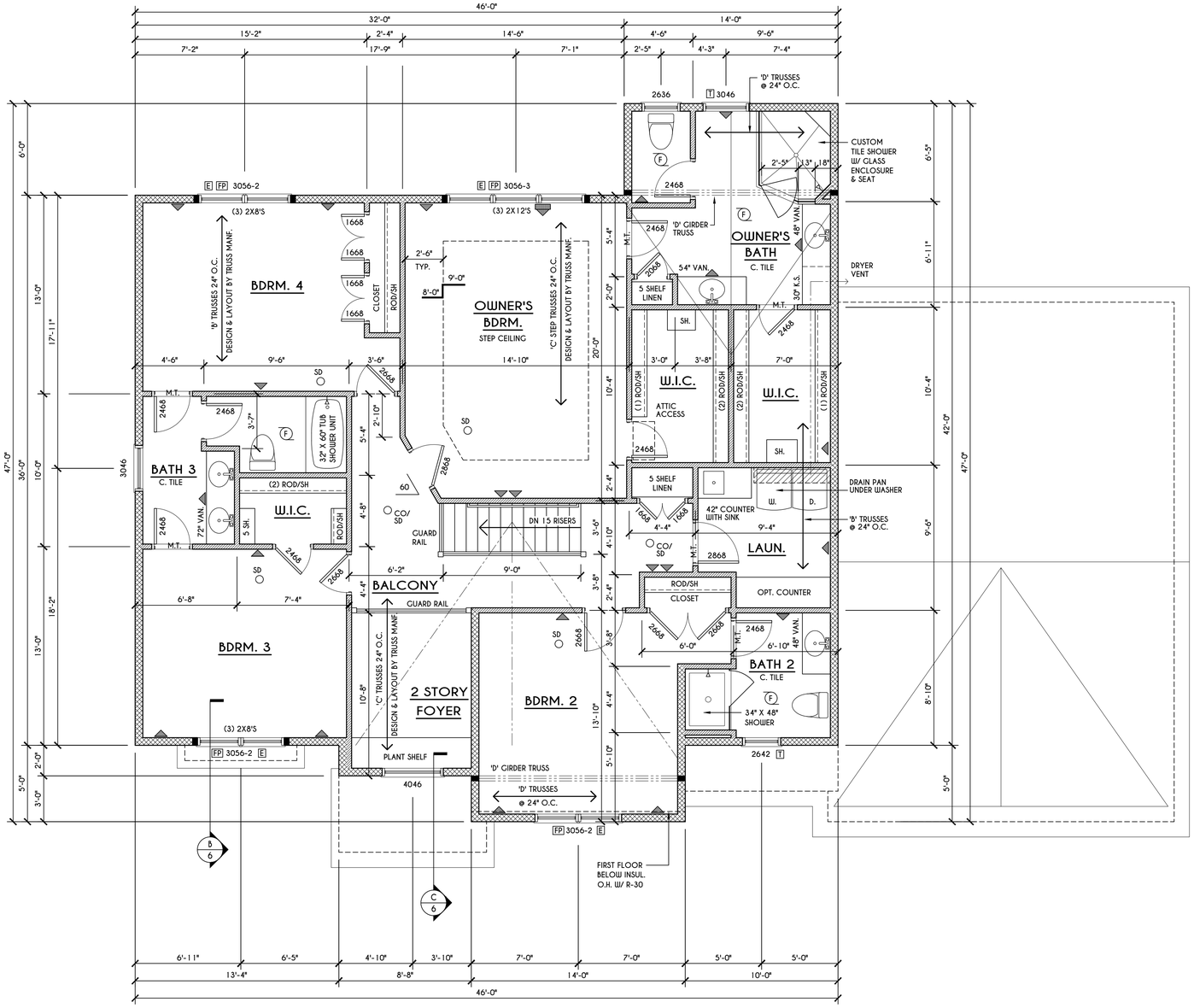
SCALE: 1/8" = 1'-0"

A — 2X8 LAYOVER RAFTERS 24" O.C.

B — 2X6 LAYOVER RAFTERS 24" O.C.

GENERAL ROOF NOTES:

- ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
- ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
- THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
- 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT



SECOND FLOOR PLAN

1742 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

- SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
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  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  PER SECT. R310.2.1 OF 2020 RCNYS
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SECOND FLOOR PLAN

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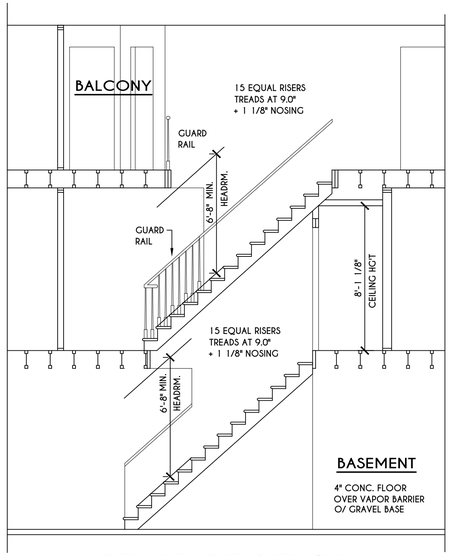
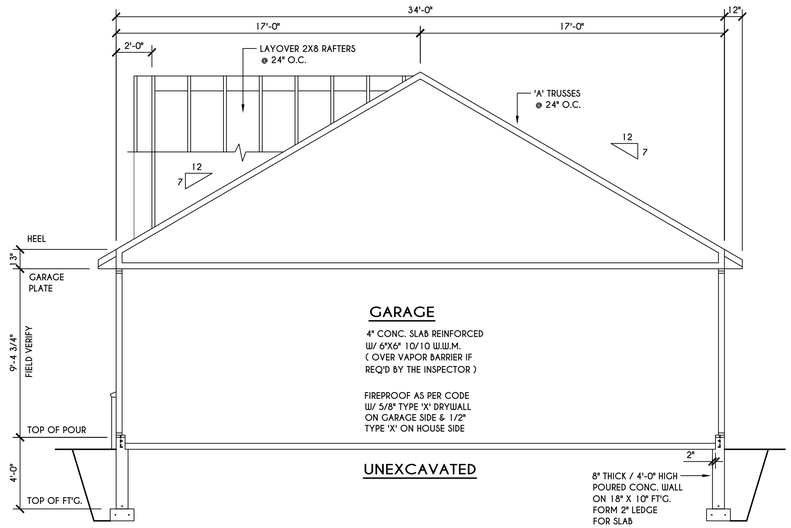


STAIR SECTION

SCALE: 1/4" = 1'-0"

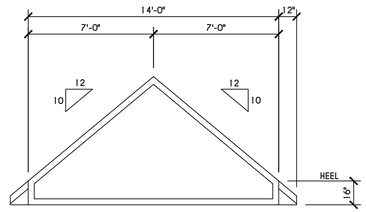


A/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"

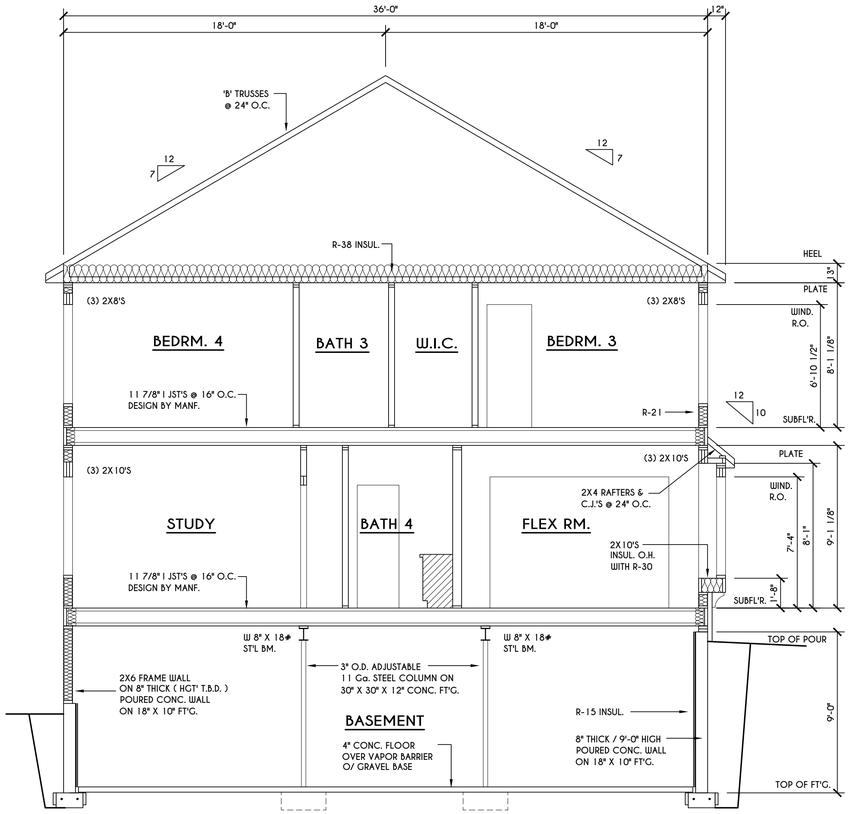
TRUSS NOTES:

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONISBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



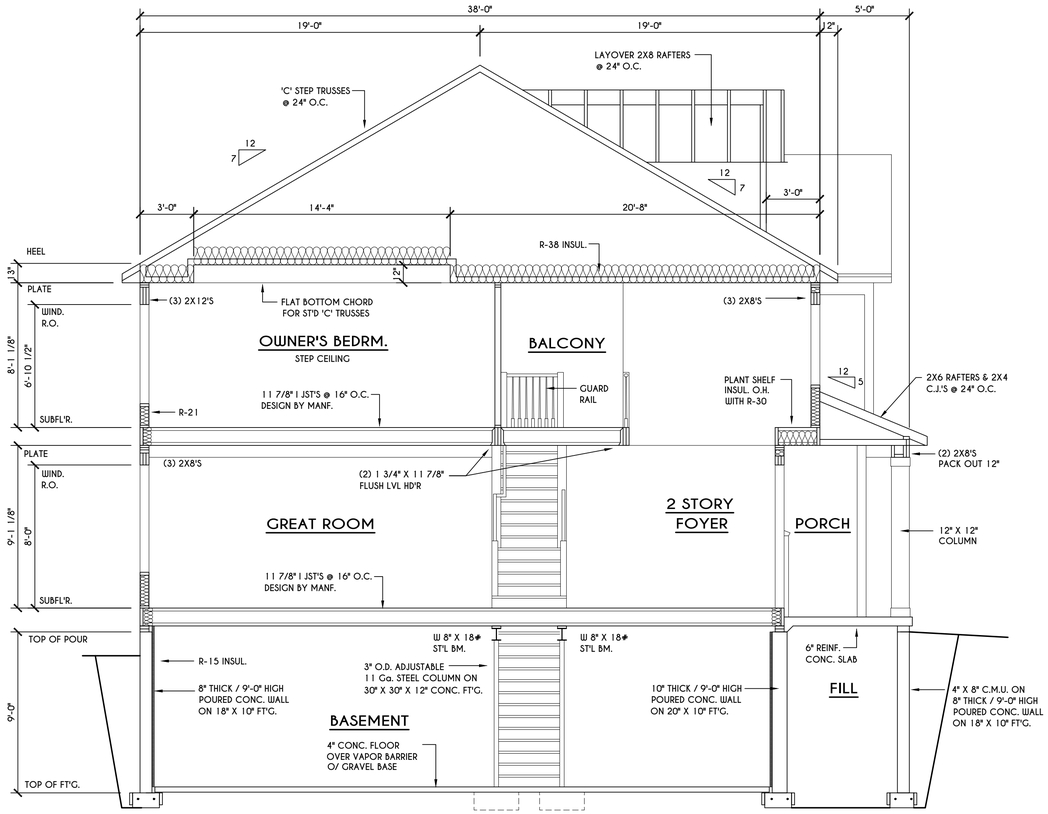
'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



B/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"



C/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:

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PITTSFORD, NY

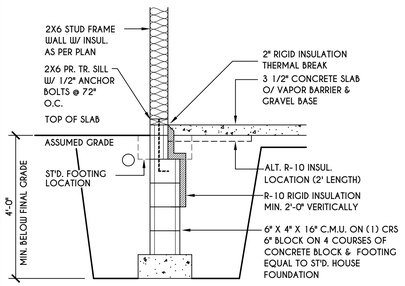
BUILDER:

COVENTRY RIDGE
BUILDING CORP.

SECTIONS

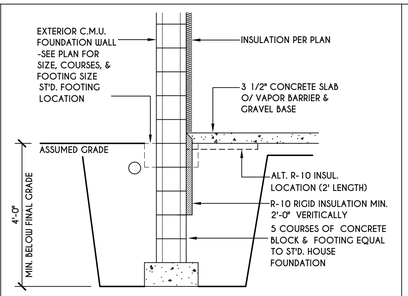
GLA PLAN 3585

drawn:	checked:
CDK	AMM
scale:	date:
AS NOTED	5 / 22
PROJECT:	sheet:
15360F	6 / 6



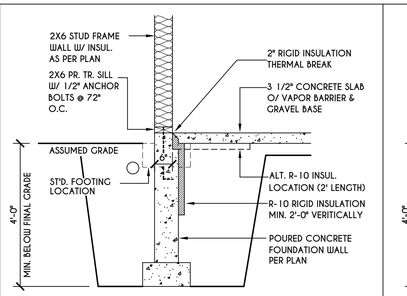
1 N-1 **2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



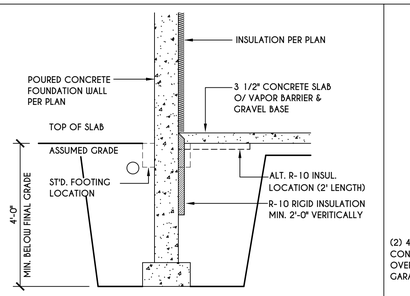
2 N-1 **C.M.U. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



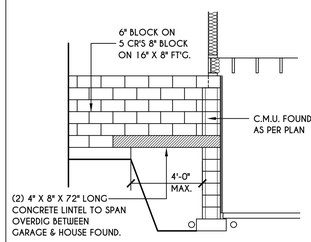
3 N-1 **2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



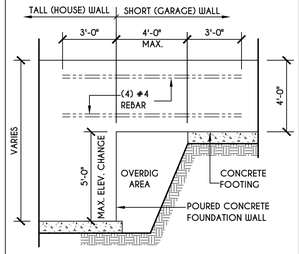
4 N-1 **POURED CONC. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



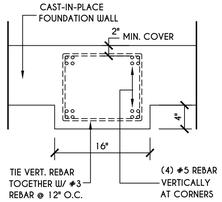
5 N-1 **C.M.U. JUMP FOOTING DETAIL**

SCALE: 1/4" = 1'-0"



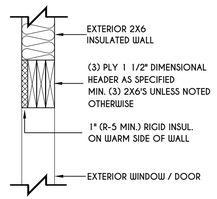
6 N-1 **POURED WALL JUMP FOOTING DETAIL**

SCALE: 1/4" = 1'-0"



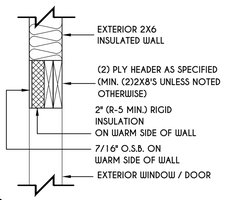
7 N-1 **POURED WALL PILASTER DETAIL**

SCALE: 1" = 1'-0"



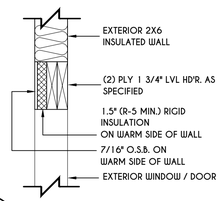
8 N-1 **EXTERIOR INSULATED 3 PLY HEADER DETAIL**

SCALE: 1" = 1'-0"



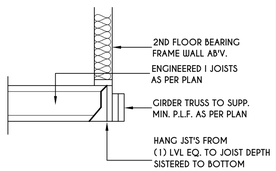
9 N-1 **EXTERIOR INSULATED 2 PLY HEADER DETAIL**

SCALE: 1" = 1'-0"



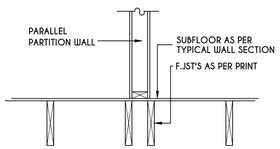
10 N-1 **EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL**

SCALE: 1" = 1'-0"



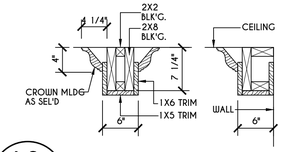
11 N-1 **I JST / GIRDER DETAIL**

SCALE: 1/2" = 1'-0"



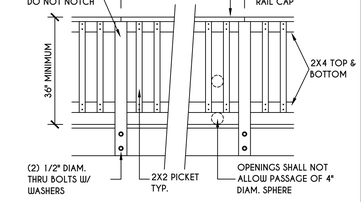
12 N-1 **DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL**

N.T.S.



13 N-1 **COFFERED BEAM DETAIL**

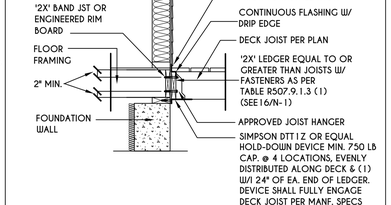
N.T.S.



14 N-1 **TYPICAL GUARD RAIL DETAIL**

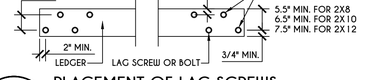
SCALE: 1/2" = 1'-0"

GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15 N-1 **GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.**

SCALE: 1/2" = 1'-0"



16 N-1 **PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS**

FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"- 10'	10'-1"- 12'	12'-1"- 14'	14'-1"- 16'	16'-1"- 18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

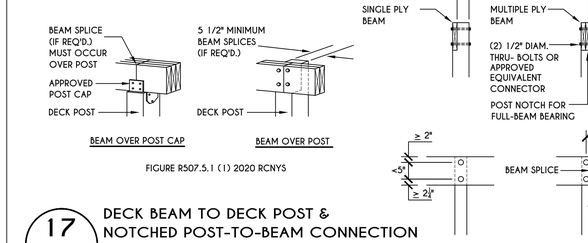


FIGURE R507.5.1 (1) 2020 RCNYS

FIGURE R507.5.1 (2) 2020 RCNYS

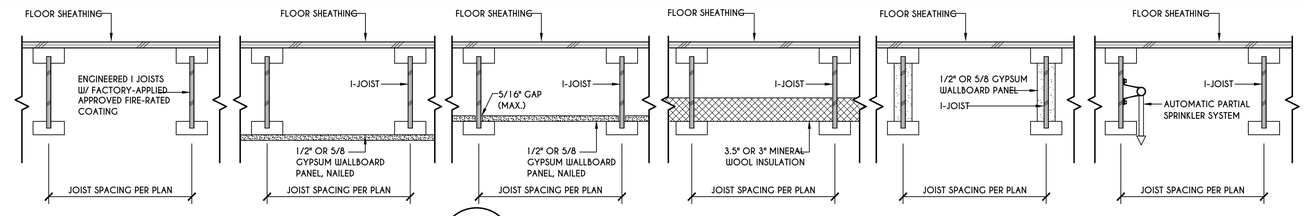
17 N-1 **DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION**

N.T.S.

TABLE R507.4
DECK POST HEIGHT [a]

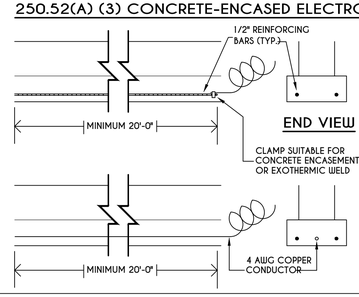
DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"

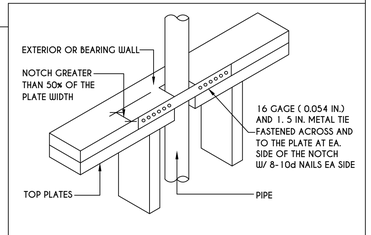


18 N-1 **I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY**

DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS

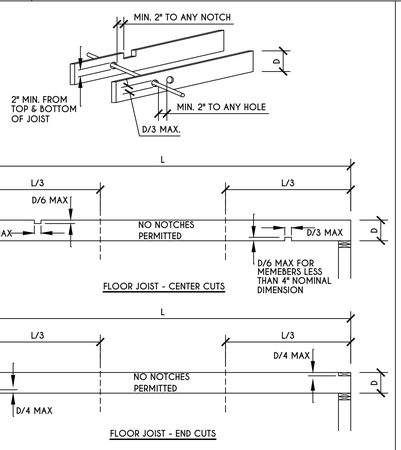


19 N-1



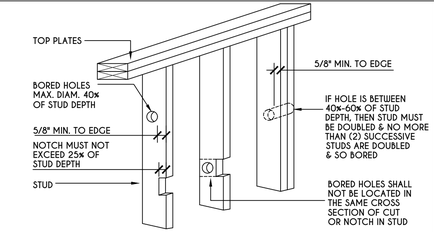
TOP PLATE FRAMING TO ACCOMMODATE PIPING

FIGURE R602.6.1
N.T.S.



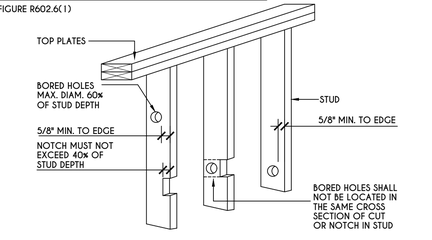
CUTTING, NOTCHING, & DRILLING OF JOISTS

FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS

FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS

FIGURE R602.6(2)

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BUILDING CORP.

DETAILS

GLA PLAN 3585

drawn:	checked:
CDK	AMM
scale:	date:
AS NOTED	5 / 22
PROJECT:	sheet:
15360F	N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] — SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] — SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] — SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches); SOIL CLASSES [a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH); MIMIMUM WALL THICKNESS (INCHES)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT [g] (FEET)	GW, GP, SW, AND SP 30: 6	8	10	12	GM, GS, SM-SC AND ML 45: 6	8	10	12	SC, MH, ML-CL AND INORGANIC CL 60: 6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR [l]	NR	NR	#4 @ 35"	NR [l]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR [l]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR [l]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR [l]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR [l]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR [l]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR [l]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR [l]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR [l]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48" [m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR [l]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR [l]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR [l]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR [l]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45" [m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR [l]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @ 48" [m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR [j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE l OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS [a]

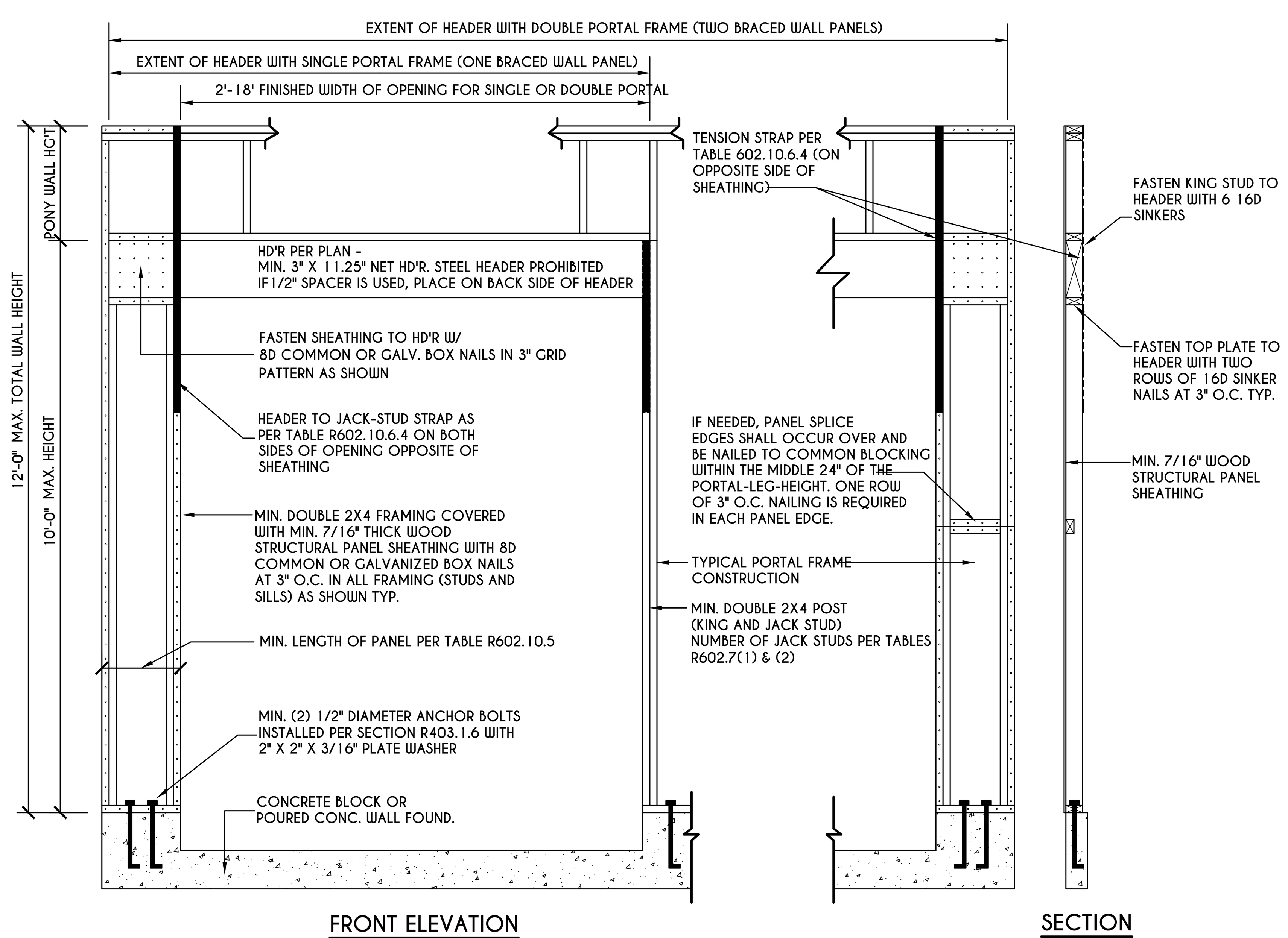
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 [b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3

Greater Living Architecture, P.C.

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ROCHESTER, NY 14623
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FAX: (585) 292-1262

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
LOT 48 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

REINFORCING NOTES

GLA PLAN 3585

drawn:	checked:
CDK	AMM
scale: AS NOTED	date: 5 / 22
PROJECT: 15360F	sheet: N / 2

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000078

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3590 Clover Street PITTSFORD, NY 14534
Tax ID Number: 191.01-1-56
Zoning District: RRSP Rural Residential South Pittsford
Owner: James Salone
Applicant: James Salone

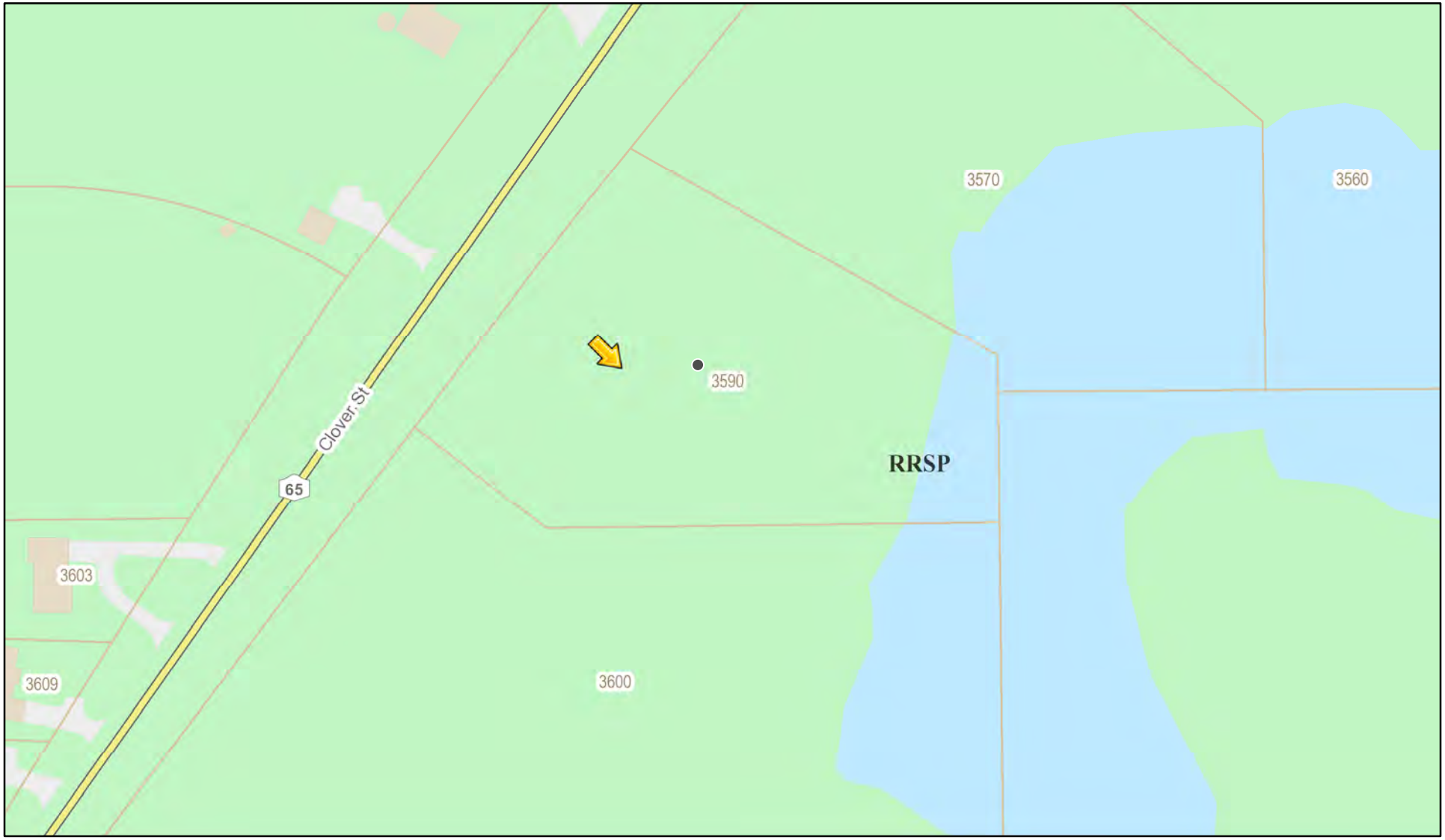
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design and review for the construction of a new single family home. The home will be approximately 3070 sq. ft. of livable space and will be located on a vacant lot on Clover Street.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



Printed May 4, 2022

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


3570
3590
3603
3600
3626
3628

front elevation

1/4"=1'-0"

rear elevation

1/4"=1'-0"

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255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 704-7347 ALAARC@FRONTIERNET.NET

PROPOSED RESIDENCE
FOR
MR. JAMES SALONE
3590 CLOVER STREET TOWN OF PITTSFORD, NEW YORK

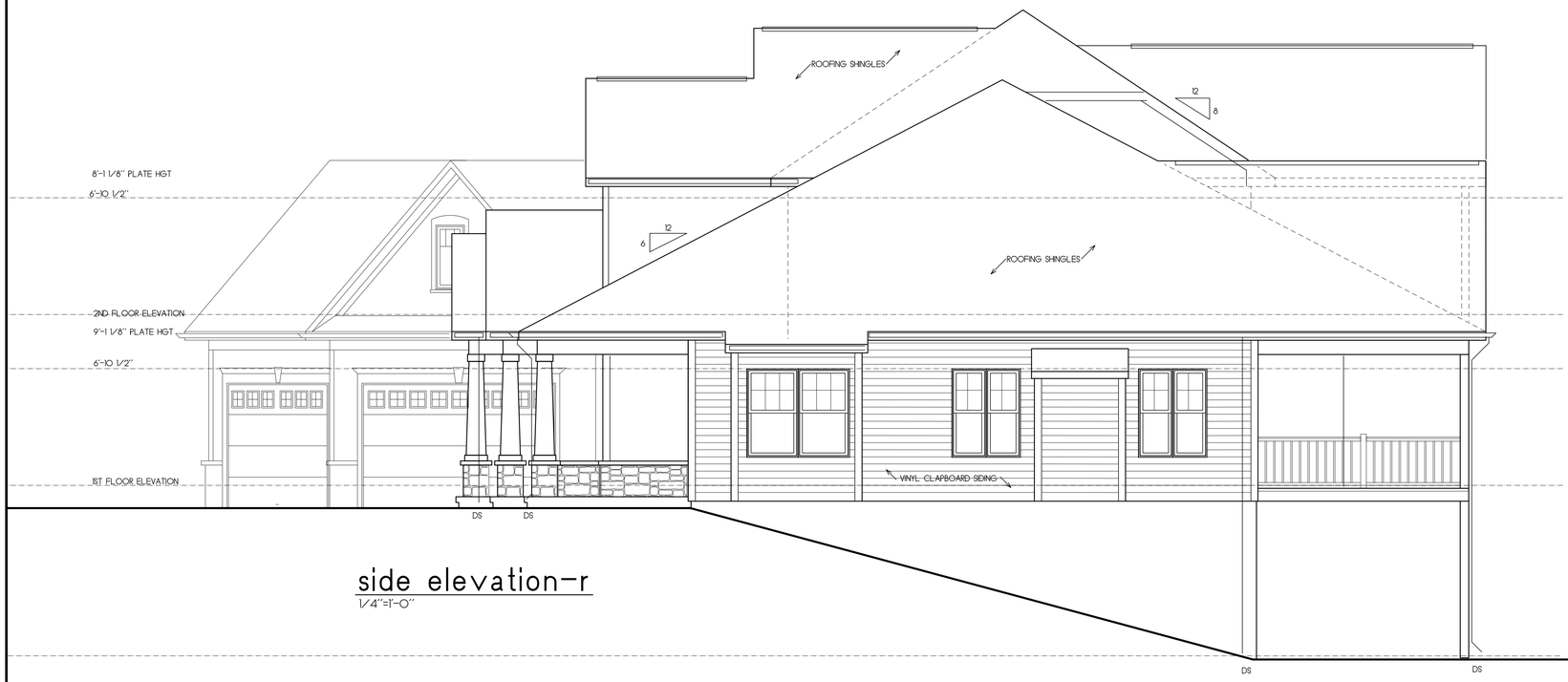
REVISIONS

No.	DATE	DESCRIPTION

JOB NO. VISCA

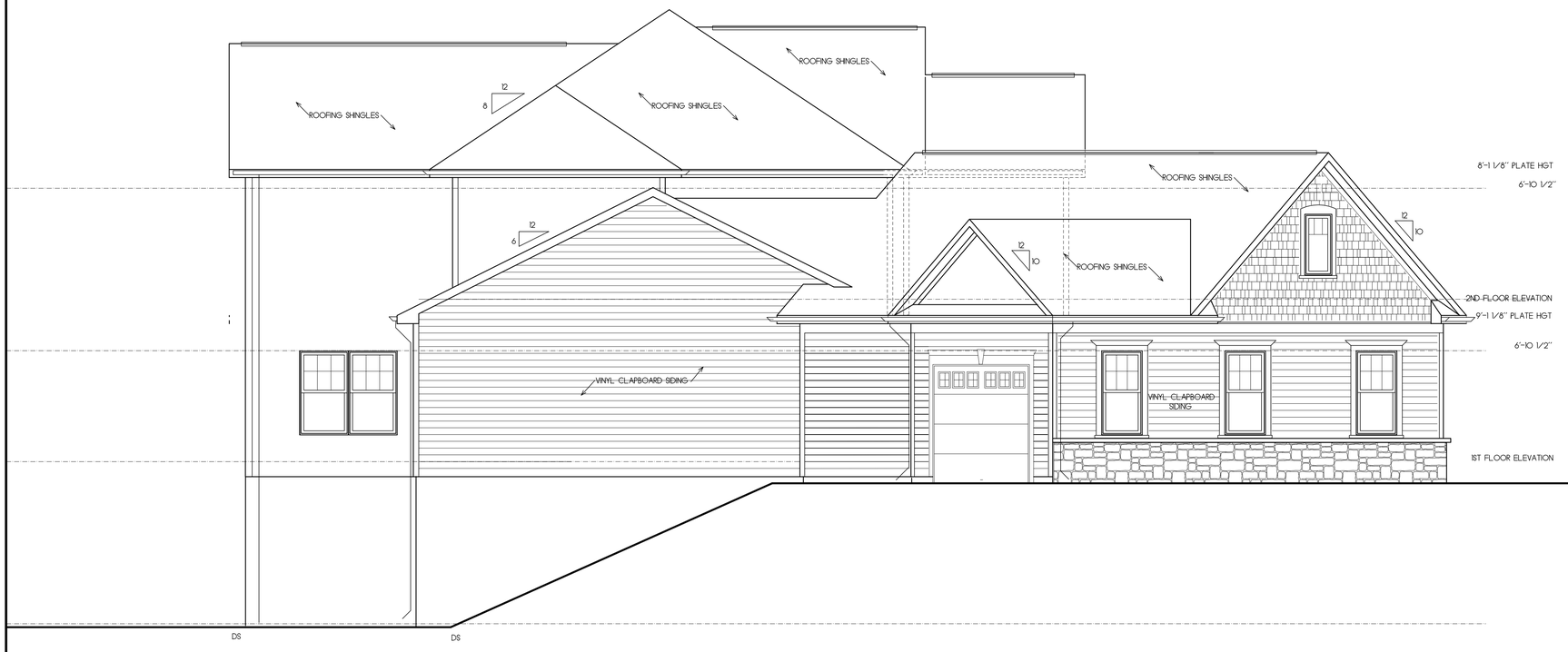
A-1

MAY 02, 2022



side elevation-r

1/4"=1'-0"



side elevation-l

1/4"=1'-0"

ALA architects
ROCHESTER, NEW YORK 14604
255 EAST AVENUE
AL-AARC@ FRONTIERNET.NET
(585) 704-7347

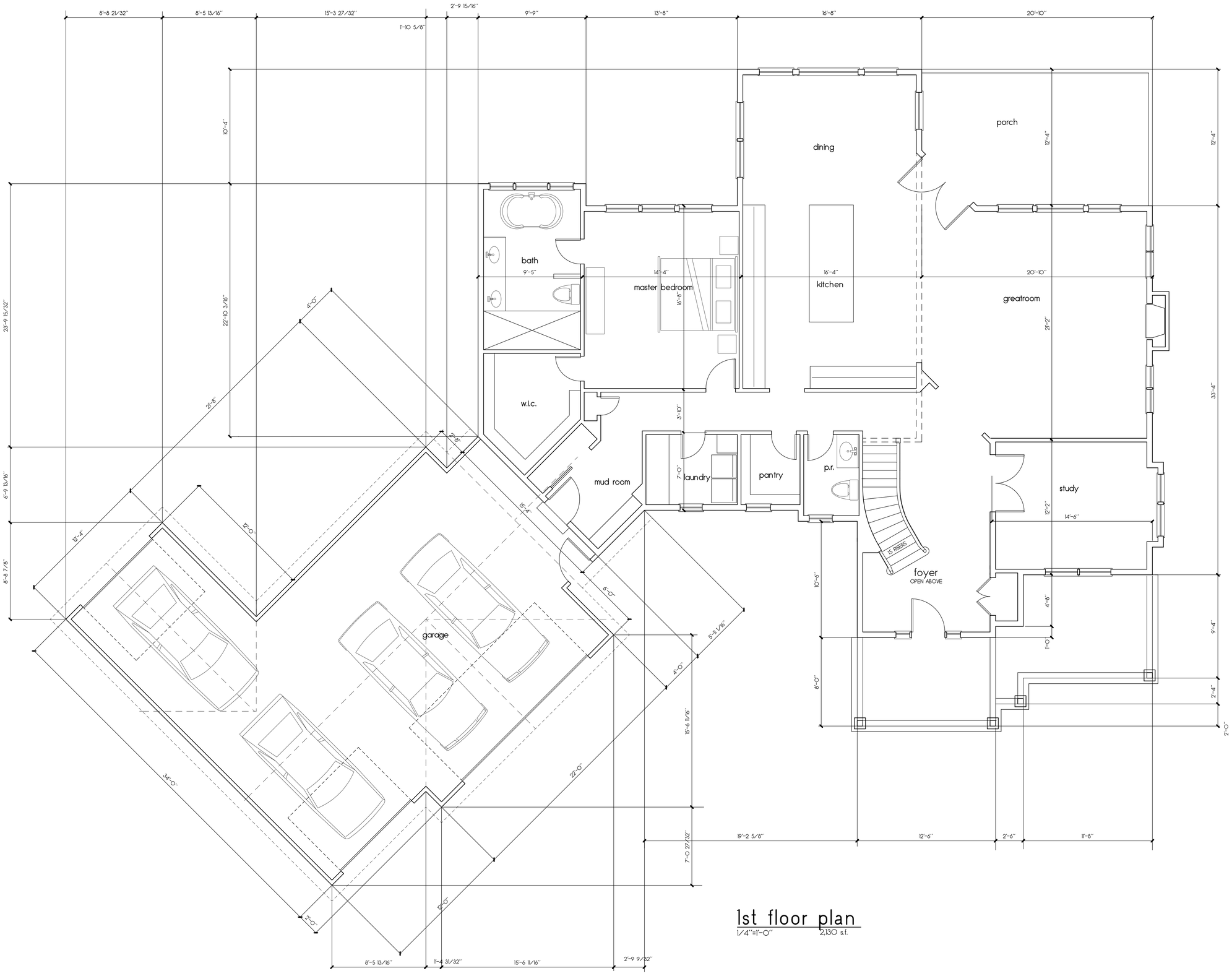
PROPOSED RESIDENCE
FOR
MR. JAMES SALONE
3590 CLOVER STREET TOWN OF PITTSFORD, NEW YORK

REVISIONS
No. DATE DESCRIPTION

JOB NO. VISCA

A-2

MAY 02, 2022



1st floor plan

1/4"=1'-0" 2,130 s.f.

ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 704-7347 ALAARC@FRONTIERNET.NET

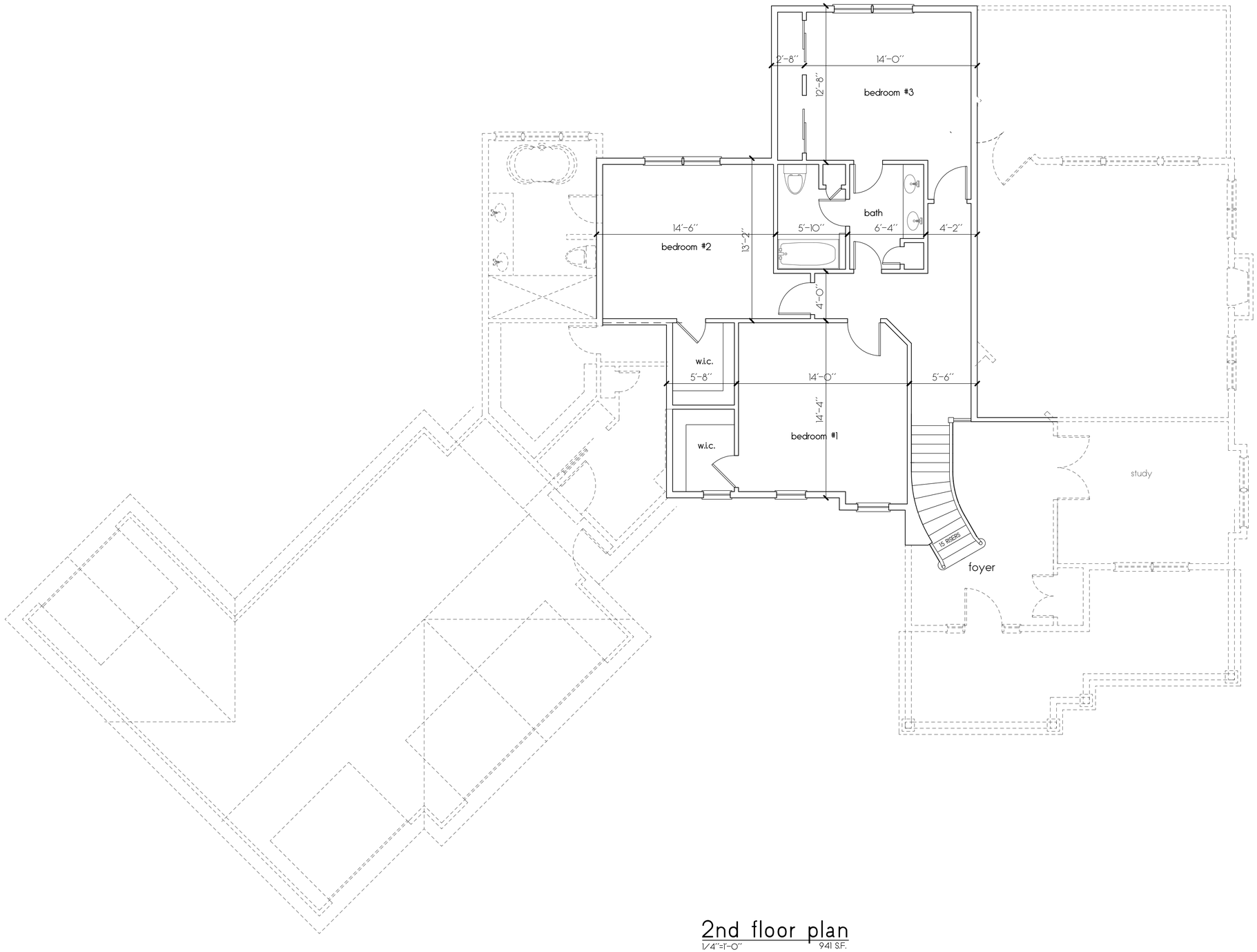
PROPOSED RESIDENCE
FOR
MR. JAMES SALONE
3590 CLOVER STREET TOWN OF PITTSFORD, NEW YORK

REVISIONS		
No.	DATE	DESCRIPTION

JOB NO. VISCA

A-3

MAY 02, 2022



2nd floor plan

1/4''=1'-0'' 941 S.F.

ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 704-7347 ALAARC@FRONTIERNET.NET

PROPOSED RESIDENCE
FOR
MR. JAMES SALONE
3590 CLOVER STREET TOWN OF PITTSFORD, NEW YORK

REVISIONS		
No.	DATE	DESCRIPTION

JOB NO. VISCA

A-4

MAY 02, 2022

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000071

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 16 Black Wood Circle PITTSFORD, NY 14534
Tax ID Number: 178.03-5-33
Zoning District: IZ Incentive Zoning
Owner: Wilshire Hill LLC
Applicant: Wilshire Hill LLC

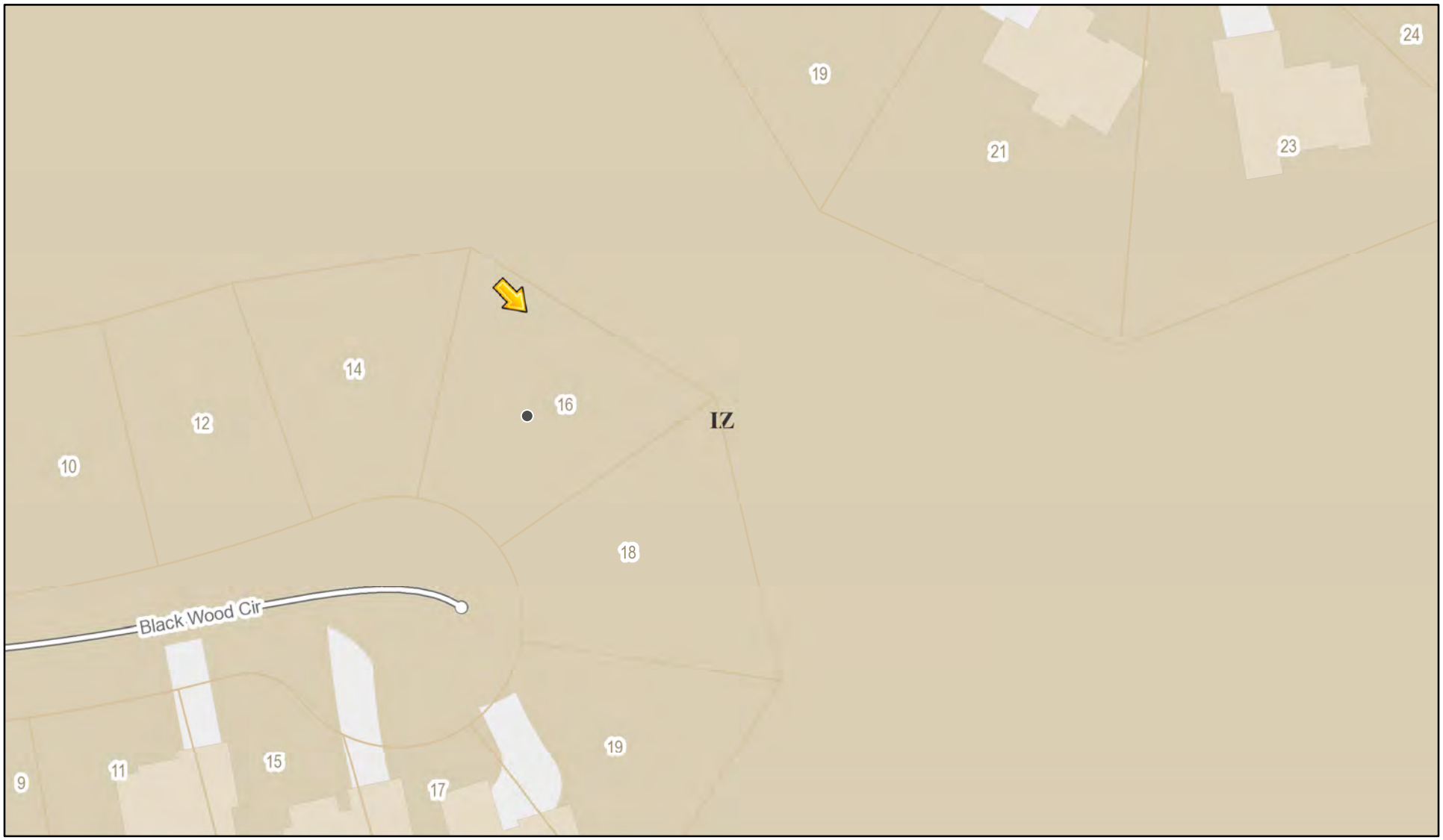
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of an approximately 22062 SF new single story family home in the Wilshire Hill subdivision.

Meeting Date: May 12, 2022

RN Residential Neighborhood Zoning



Printed May 3, 2022

1:1,128

0 45 90 180 ft

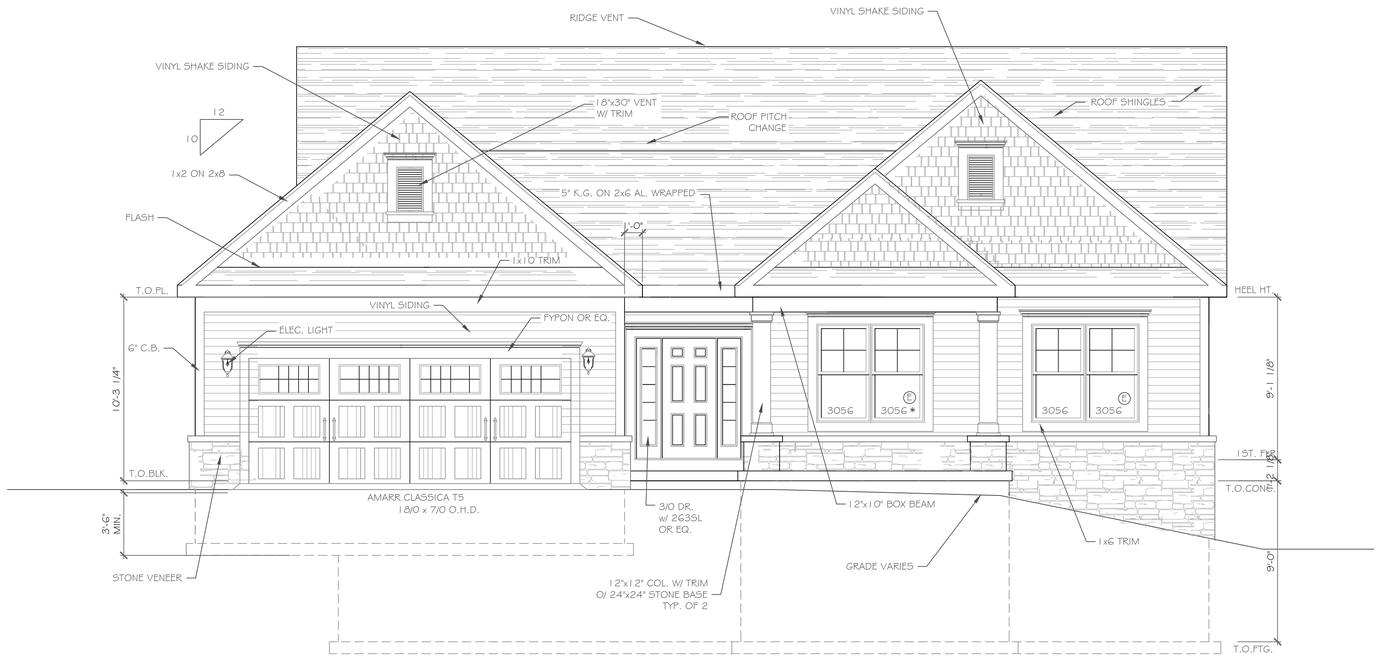
0 12.5 25 50 m

Town of Pittsford GIS

DESIGN CRITERIA:

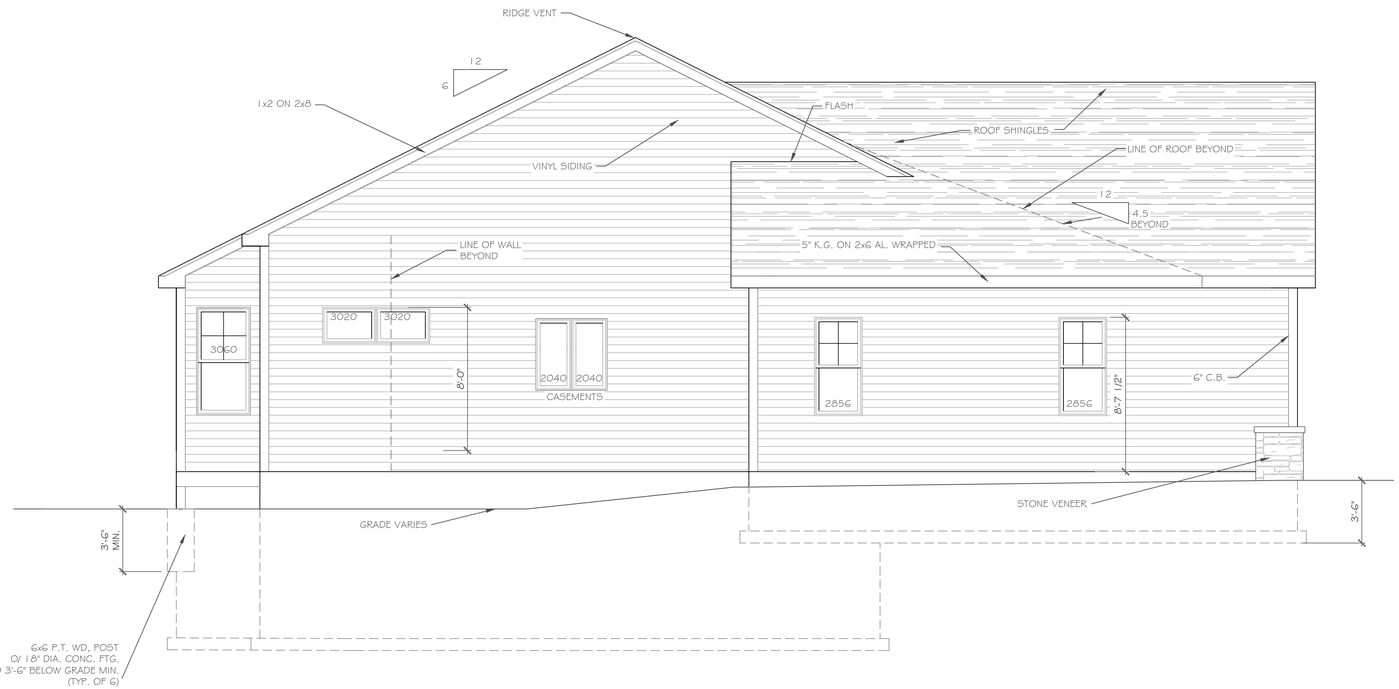
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2062 S.F.

NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- (E): WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations

PHASE: Construction Documents

PROJECT: Lot 32C Wilshire Hill Pittsford, New York

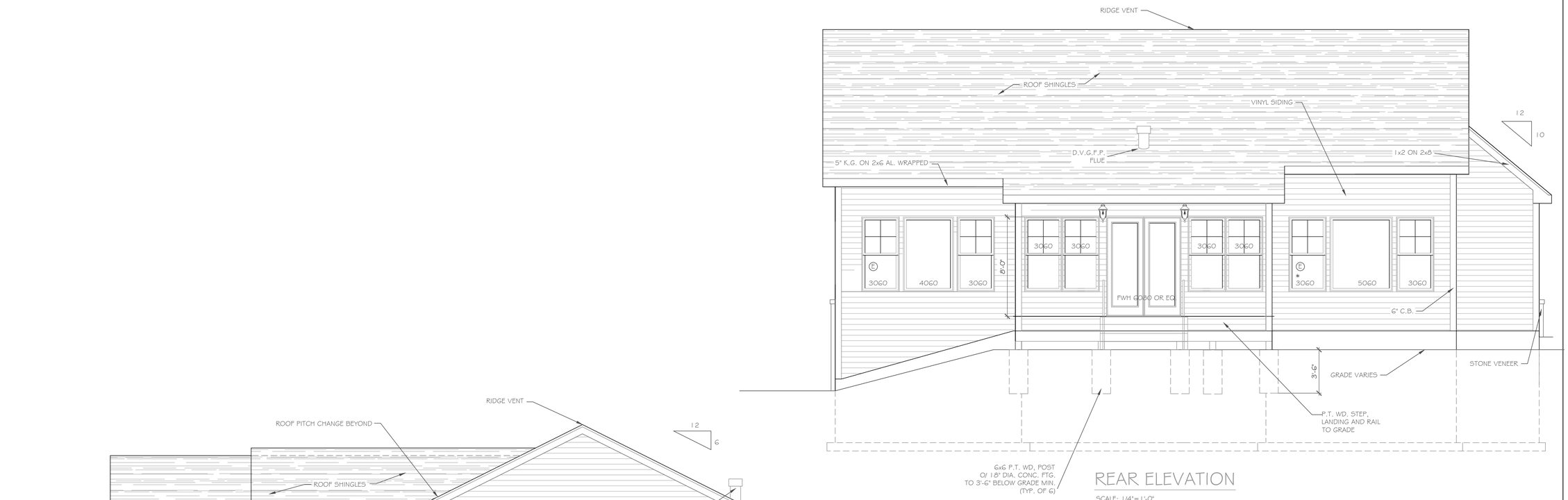
CLIENT: Pride Mark Homes, Inc.

DATE: March 2022

JOB NO.- A22-019

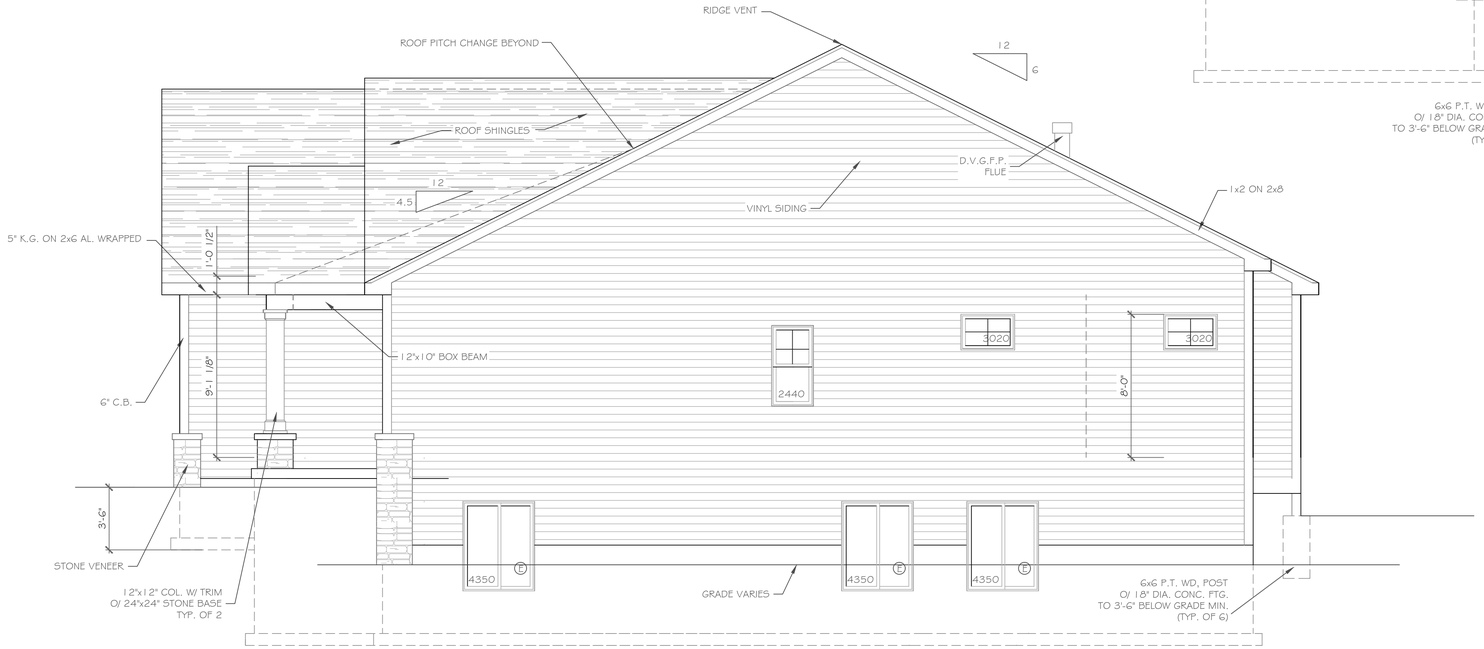
CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1234
e-mail: CKHennessey@frontiernet.net

DRAWING NO.- A-1



REAR ELEVATION

SCALE: 1/4"= 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE-
Elevations

PHASE-
Construction Documents

PROJECT-
Lot 32C Wilshire Hill
Pittsford, New York

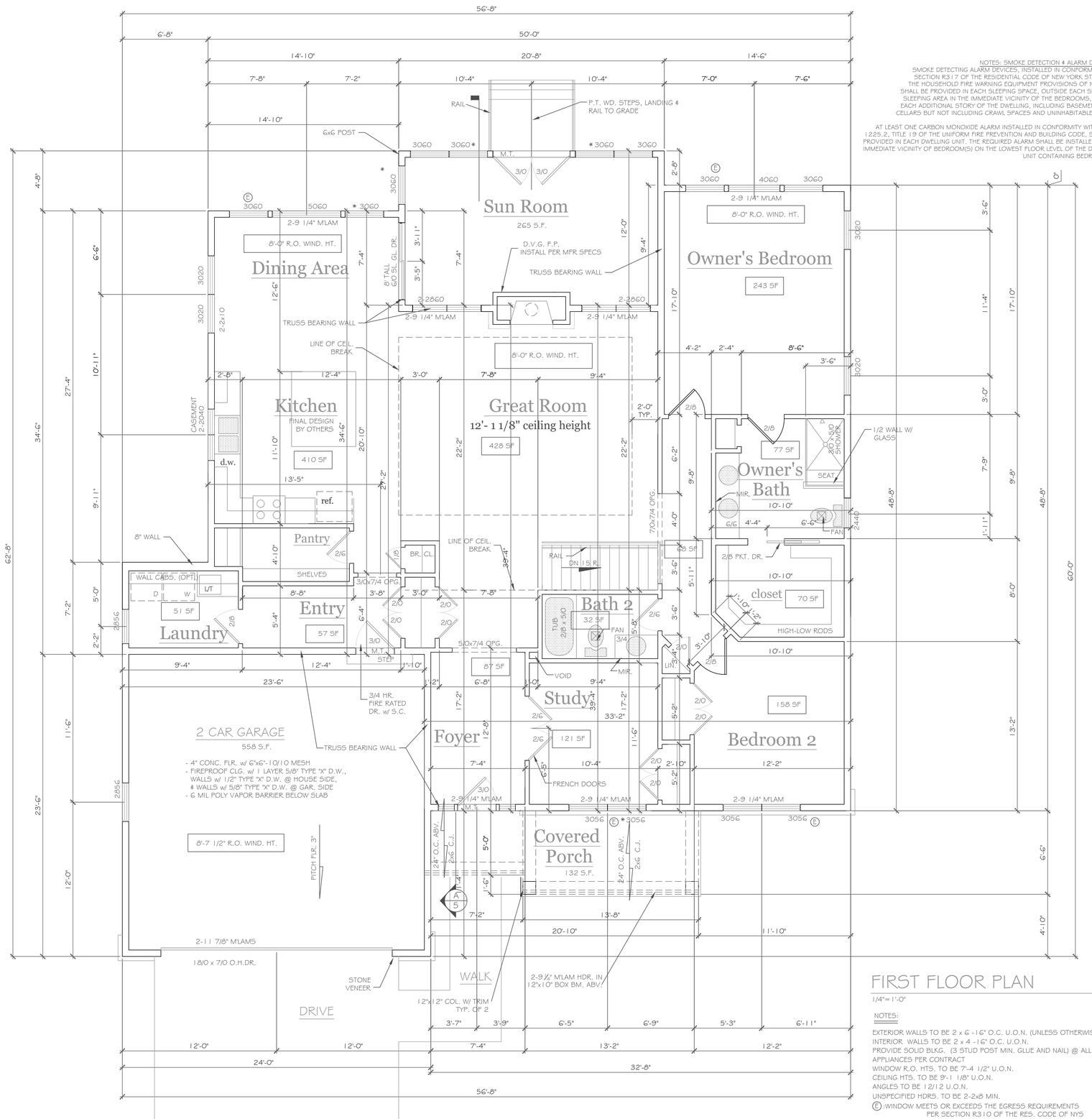
CLIENT-
Pride Mark Homes, Inc.

DATE-
March 2022

JOB NO.-
A22-019

CKH architecture
501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail-CKHennessey@frontiernet.net

DRAWING NO.-
A-5



NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).

FIRST FLOOR PLAN 2062 s.f.

1/4"= 1'-0"

NOTES:

EXTERIOR WALLS TO BE 2 x 6 -16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 -16" O.C. U.O.N.
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
CEILING HTS. TO BE 9'-1 1/8" U.O.N.
ANGLES TO BE 12/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
Ⓔ :WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE: First Floor Plan

PHASE: Construction Documents

PROJECT: Lot 32C Wilshire Hill Pittsford, New York

CLIENT: Pride Mark Homes, Inc.

JOB NO.: A22-019

DATE: March 2022

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO.: A-3


15 BLACKWOOD CIRCLE

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000073

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 5 Skylight Trail PITTSFORD, NY 14534
Tax ID Number: 192.06-1-26
Zoning District: RRAA Rural Residential
Owner: S & J Morrell, Inc
Applicant: S & J Morrell, Inc

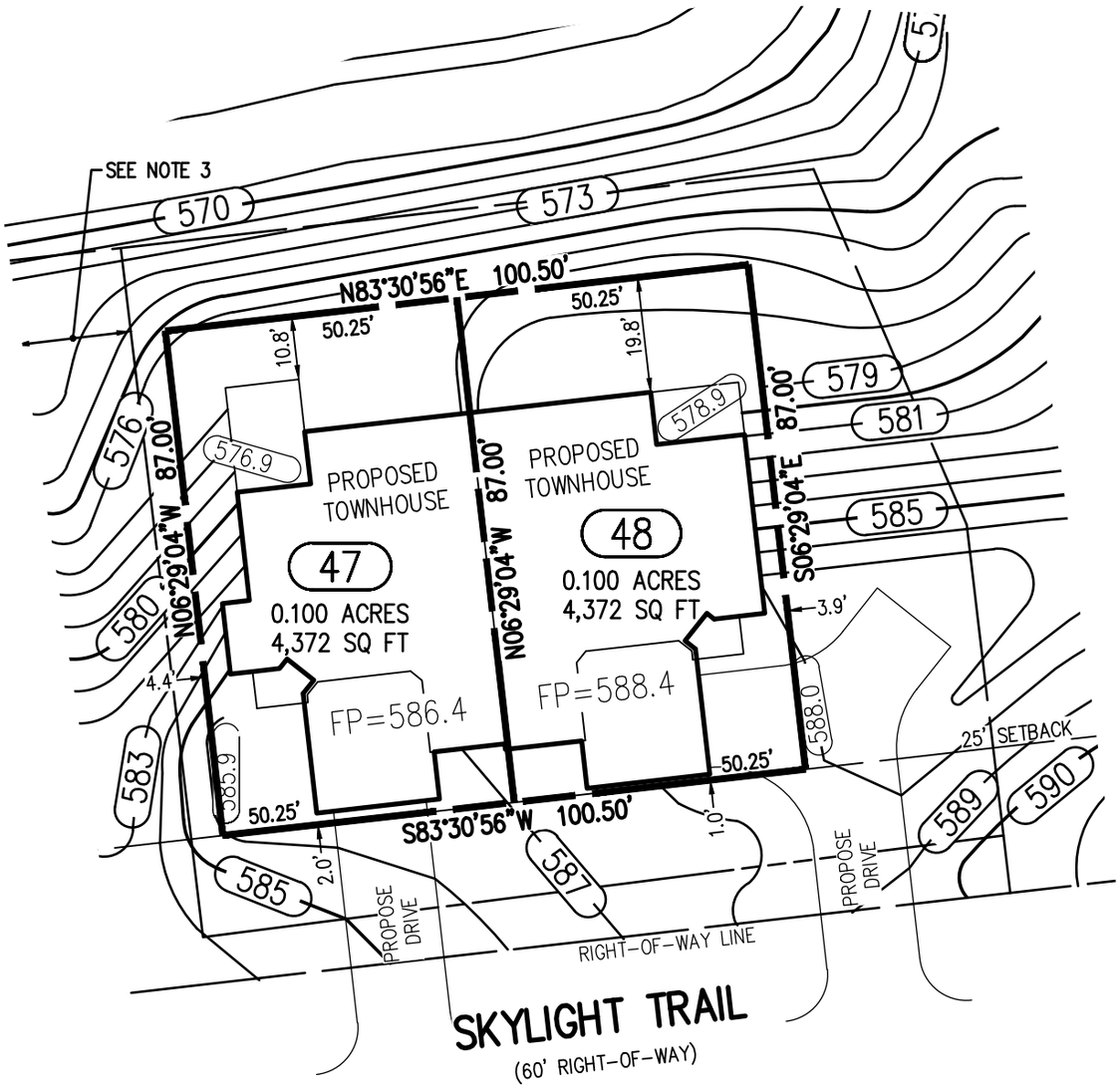
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 48 (5 Skylight Trail) will be approximately 2000 sq. ft. and Lot 47 (7 Skylight Trail) will be 1852 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: May 12, 2022

PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," PREPARED BY DOUGLAS W. MAGDE, L.S. HAVING DRAWING NUMBER SV1.0 AND LAST REVISED JUNE 27, 2019.
2. A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2)," PREPARED BY MARATHON ENGINEERING, HAVING DRAWING NUMBER C4.0, LAST REVISED JUNE 27, 2019.
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
   FRONT 0' (LOT) 25' (R.O.W.)
   SIDE 0'
   REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOWN HEREON WAS TAKEN FROM REFERENCE 2.

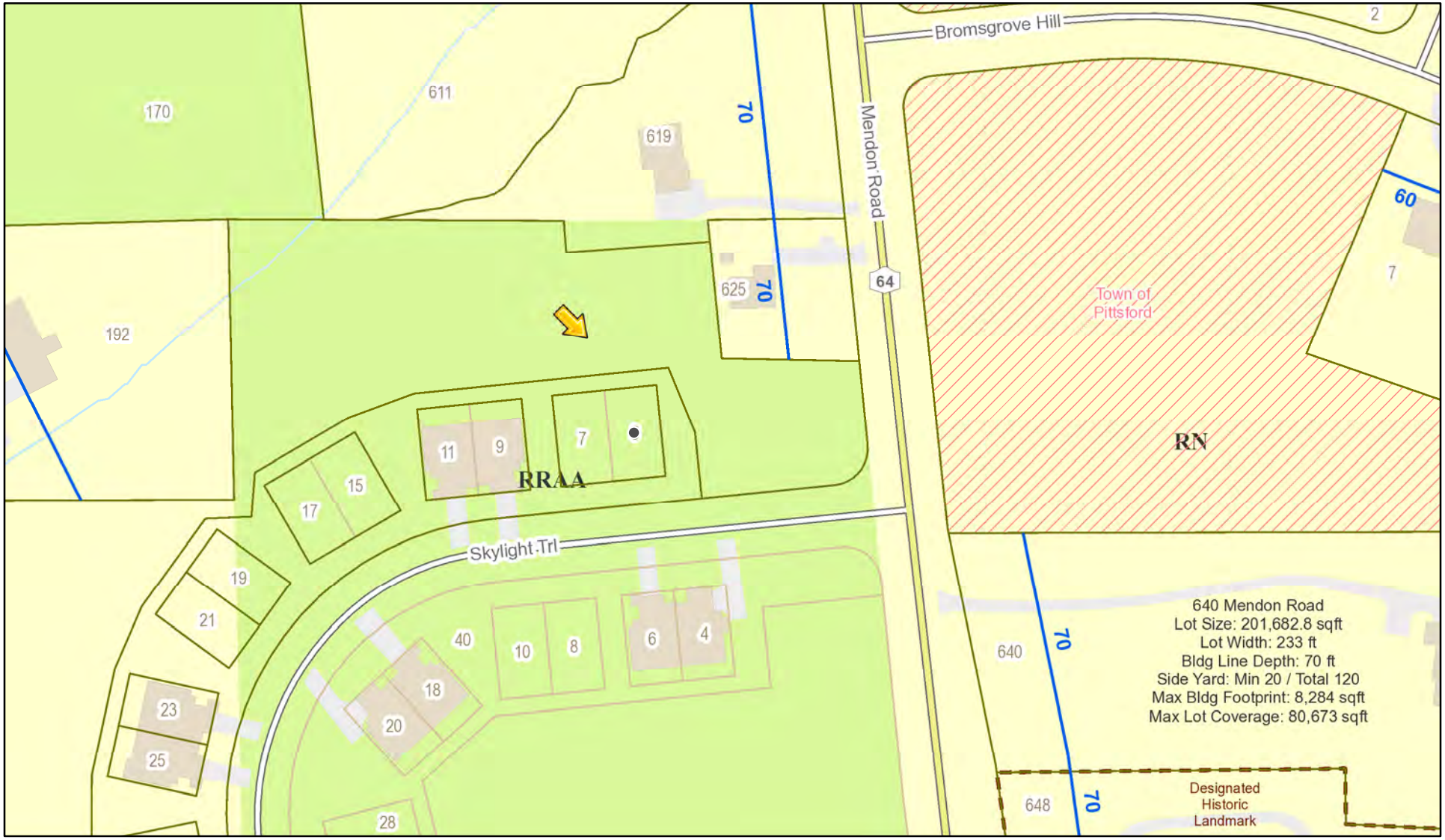
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7360
WWW.BMEPC.COM

LOTS 47 & 48 ALPINE RIDGE SUBDIVISION SECTION 1
TOWN OF PITTSFORD MONROE COUNTY NEW YORK

DRAWN BY: JTG
DATE: 4-05-22
SCALE: 1"=30'
DWG NO: 2688-30

STATE OF NEW YORK
GREGORY D. DEAL
050661
LICENSED LAND SURVEYOR

RN Residential Neighborhood Zoning



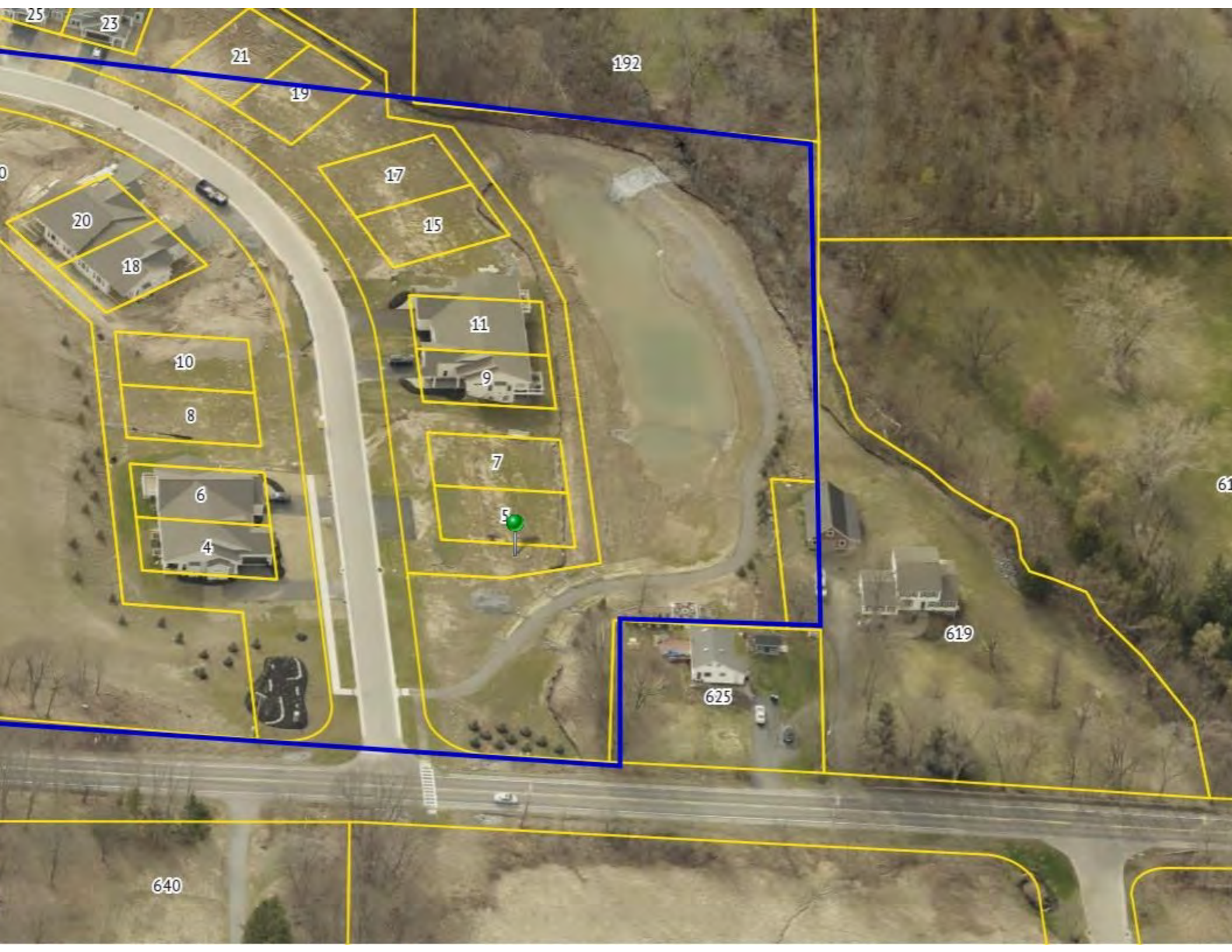
Printed May 3, 2022

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


25
23
21
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192
17
15
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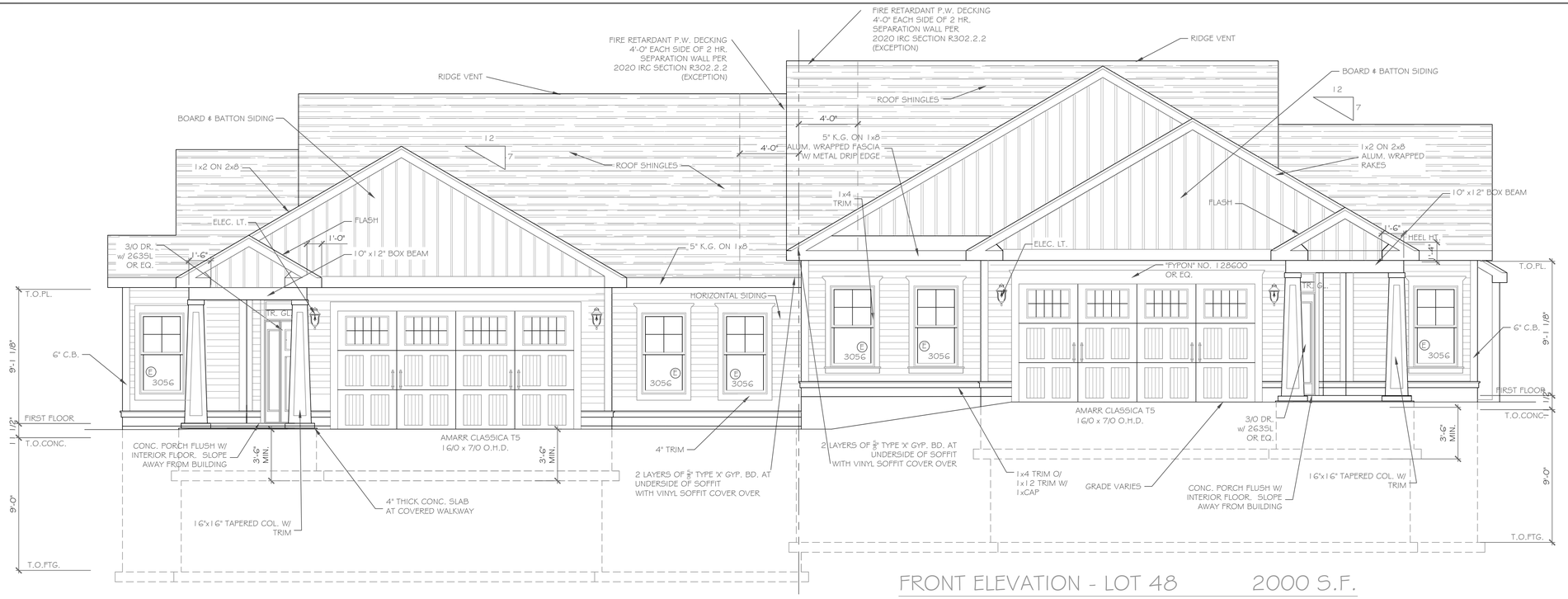
18
11
10
9
8
7
6
5
4
619
625
640



FRONT ELEVATION - LOT 47 1852 S.F.

1/4"= 1'-0"

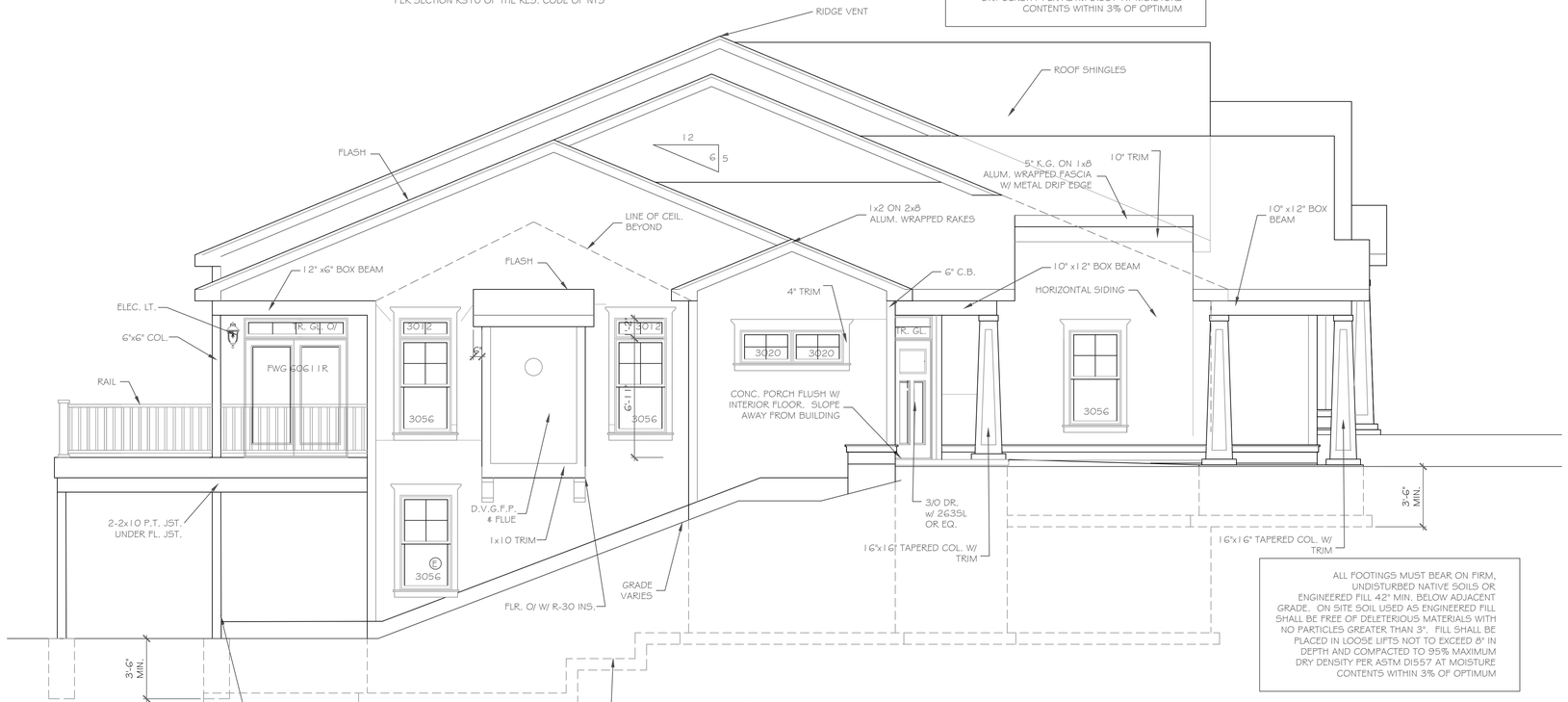
NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
-(E)- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

FRONT ELEVATION - LOT 48 2000 S.F.

1/4"= 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
-(E)- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

LOT 47

LEFT SIDE ELEVATION

1/4"= 1'-0"

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations

PHASE: Construction Documents

PROJECT: 7 & 5 Skylight Trail
Alpine Ridge - Units 47 & 48
Pittsford, N.Y.

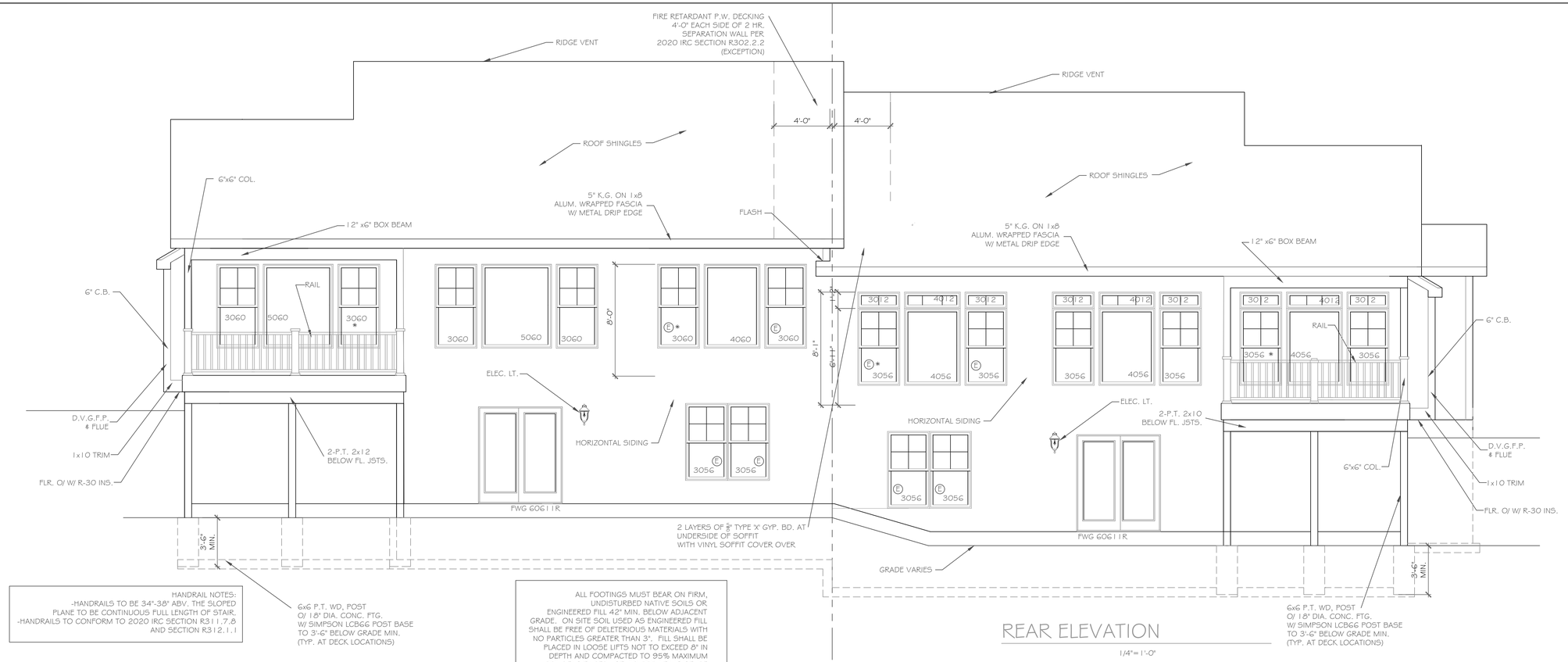
CLIENT: Morrell Builders

DATE: April 12, 2022

JOB NO.: A22-022

CKH architecture
501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHarnessey@frontiernet.net

DRAWING NO.-
A-1



HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST O/ 18" DIA. CONC. FTG. W/ SIMPSON LCB66 POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

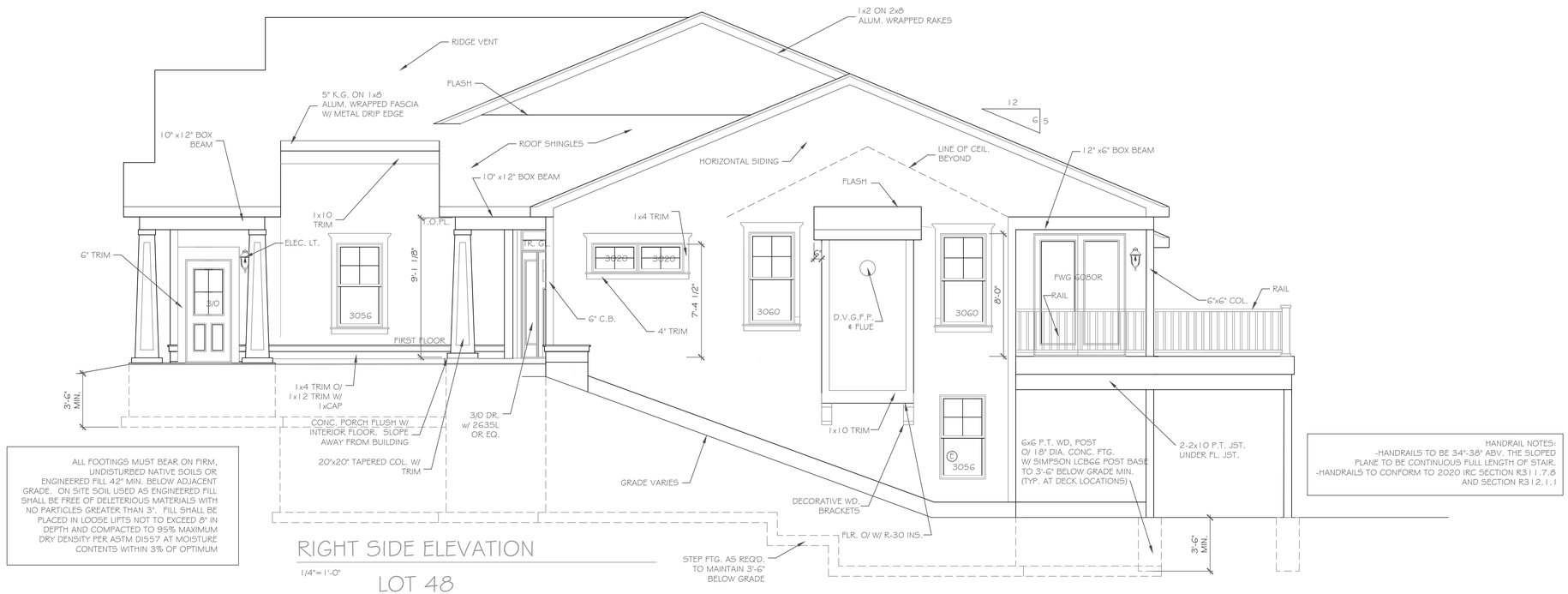
ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

LOT 48

REAR ELEVATION

1/4"=1'-0"

LOT 47



ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

RIGHT SIDE ELEVATION

1/4"=1'-0"

LOT 48

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations

PHASE- Construction Documents

PROJECT: Alpine Ridge - Lots 47 & 48 Pittsford, N.Y.

CLIENT: Morrell Builders

DATE: April 12, 2022

JOB NO.: A22-022

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail- CKHemissary@frontiernet.net

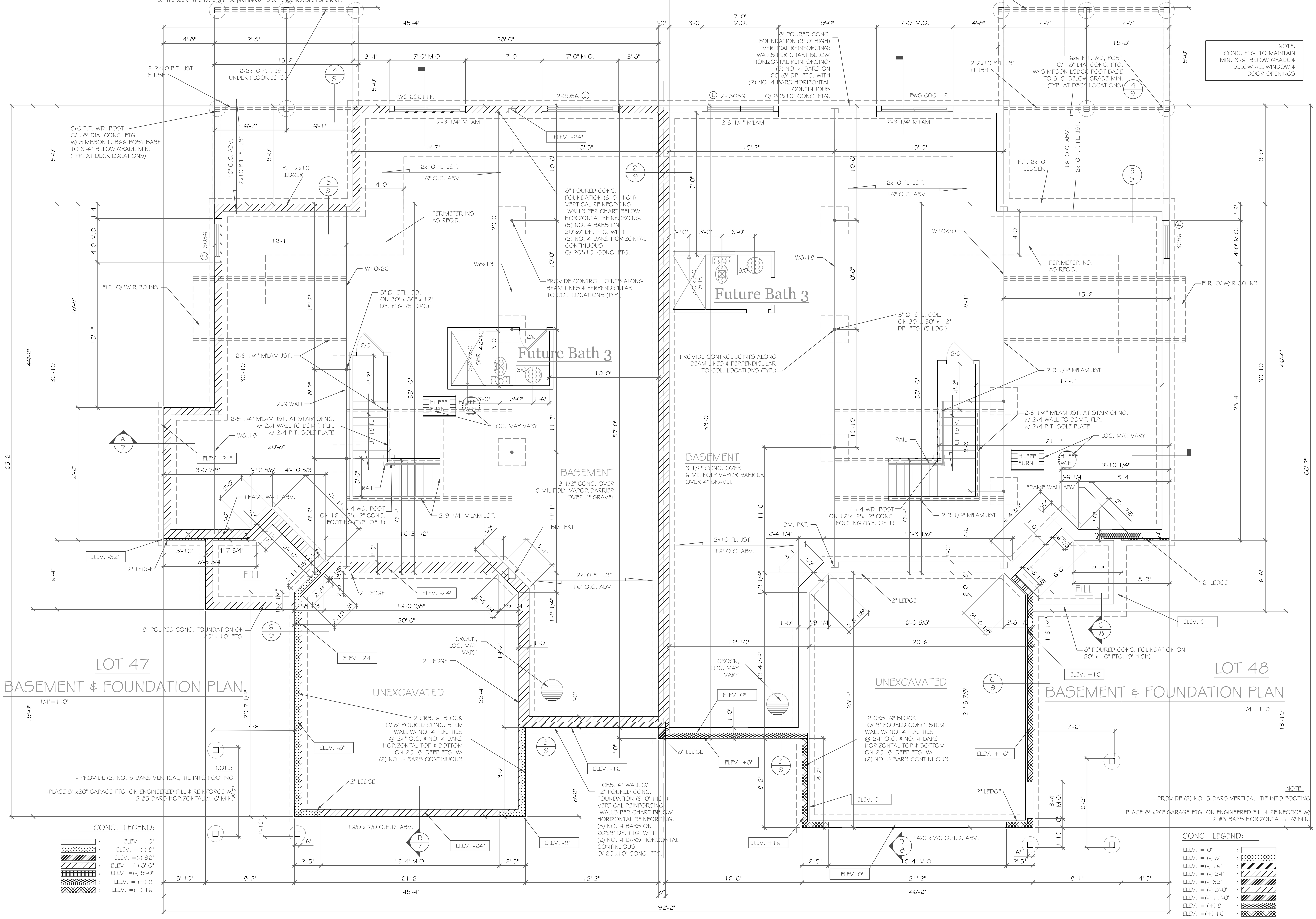
DRAWING NO.- A-2

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(9).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4@48" o.c.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
h. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
i. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.

l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
n. See Table R608.3 for tolerance from nominal thickness permitted for flat walls.
o. The use of this Table shall be prohibited fro soil classifications not shown.

PARTIAL TABLE R404.1.2(8)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n,o,)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING(INCHES)		
		Soil classes(a) & design lateral soil (psf per foot of depth)		
		GW, GP, SW and SP 30 soils	GM,GC,SM,SM-SC and ML 45 soils	SH,ML-CL and inorganic CL 60 soils
9	4	NR	NR	NR
	5	NR	NR(l)	NR
	6	NR (l)	NR	#6 at 39" o.c.
	7	NR	#5 at 37" o.c.	#6 at 38" o.c.
	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 29" o.c.
	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.



REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE-
Basement & Foundation Plan

PHASE-
Construction Documents

PROJECT-
Alpine Ridge - Units 47 & 48
Pittsford, N.Y.

CLIENT-
Morrell Builders

DATE-
April 12, 2022

JOB NO.-
A22-022

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail- CKHennessey@frontiernet.net

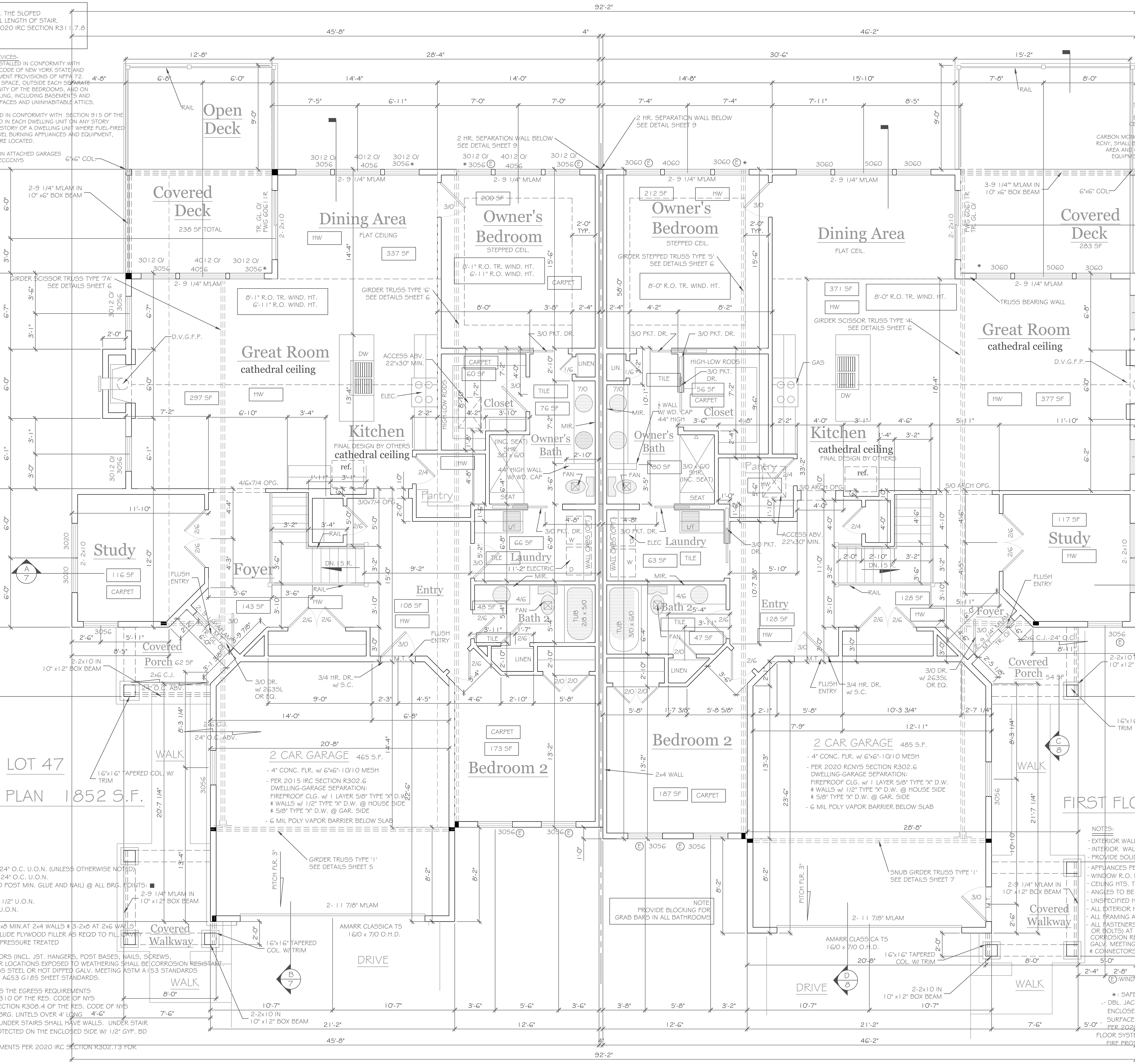
DRAWING NO.-
A-3

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES-
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R314.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION 915 OF THE FIRE CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HEAT DETECTORS SHALL BE INSTALLED IN ATTACHED GARAGES PER SECTION R314.2.3 OF THE 2020 ECCCNYS



Open Deck
Covered Deck
238 SF TOTAL
Dining Area
FLAT CEILING
337 SF
Owner's Bedroom
STEPPED CEIL.
Great Room
cathedral ceiling
297 SF
Kitchen
FINAL DESIGN BY OTHERS
cathedral ceiling
Closet
Owner's Bath
Pantry
Laundry
Study
116 SF
Foyer
143 SF
Entry
108 SF
Bath 2
Covered Porch 62 SF
2 CAR GARAGE 465 S.F.
- 4" CONC. FLR. w/ 6"x6"-10/10 MESH
- PER 2015 IRC SECTION R302.6 DWELLING-GARAGE SEPARATION: FIREPROOF CLG. w/ 1 LAYER 5/8" TYPE "X" D.W. & WALLS w/ 1/2" TYPE "X" D.W. @ HOUSE SIDE & 5/8" TYPE "X" D.W. @ GAR. SIDE
- 6 MIL POLY VAPOR BARRIER BELOW SLAB
Bedroom 2
173 SF
LOT 47
FIRST FLOOR PLAN 1852 S.F.
1/4"= 1'-0"
Covered Walkway
WALK
DRIVE
AMARR CLASSICA T5
16/0 x 7/0 O.H.D.
2 HR. SEPARATION WALL BELOW
SEE DETAIL SHEET 9
Owner's Bedroom
STEPPED CEIL.
Dining Area
FLAT CEIL.
371 SF
Covered Deck
283 SF
Great Room
cathedral ceiling
377 SF
Kitchen
cathedral ceiling
FINAL DESIGN BY OTHERS
Study
117 SF
Laundry
63 SF
Entry
128 SF
Bath 2
Bedroom 2
187 SF
2 CAR GARAGE 485 S.F.
- 4" CONC. FLR. w/ 6"x6"-10/10 MESH
- PER 2020 RCNYS SECTION R302.6 DWELLING-GARAGE SEPARATION: FIREPROOF CLG. w/ 1 LAYER 5/8" TYPE "X" D.W. & WALLS w/ 1/2" TYPE "X" D.W. @ HOUSE SIDE & 5/8" TYPE "X" D.W. @ GAR. SIDE
- 6 MIL POLY VAPOR BARRIER BELOW SLAB
NOTE:
PROVIDE BLOCKING FOR GRAB BARS IN ALL BATHROOMS
Covered Porch 54 SF
Covered Walkway
LOT 48
FIRST FLOOR PLAN 2000 S.F.
1/4"=1'-0"
92'-2"
45'-8"
46'-2"

NOTES:
- EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 12/12 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED

- ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

Ⓔ :WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

✱ : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES-
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

NOTES:
- EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 12/12 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

Ⓔ:WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
✱ : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 RCNYS SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE- First Floor Plans

PHASE- Construction Documents

PROJECT- Alpine Ridge - Lots 47 & 48
Pittsford, N.Y.

CLIENT- Morrell Builders

DATE- April 12, 2022

JOB NO.- A22-022

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail- CKHennessey@frontiernet.net

DRAWING NO.- A-4

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
S22-000004

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3280 Monroe Avenue ROCHESTER, NY 14618
Tax ID Number: 150.12-1-12
Zoning District: C Commercial
Owner: Mc Donald's Corp
Applicant: Mc Donald's Corp

Application Type:

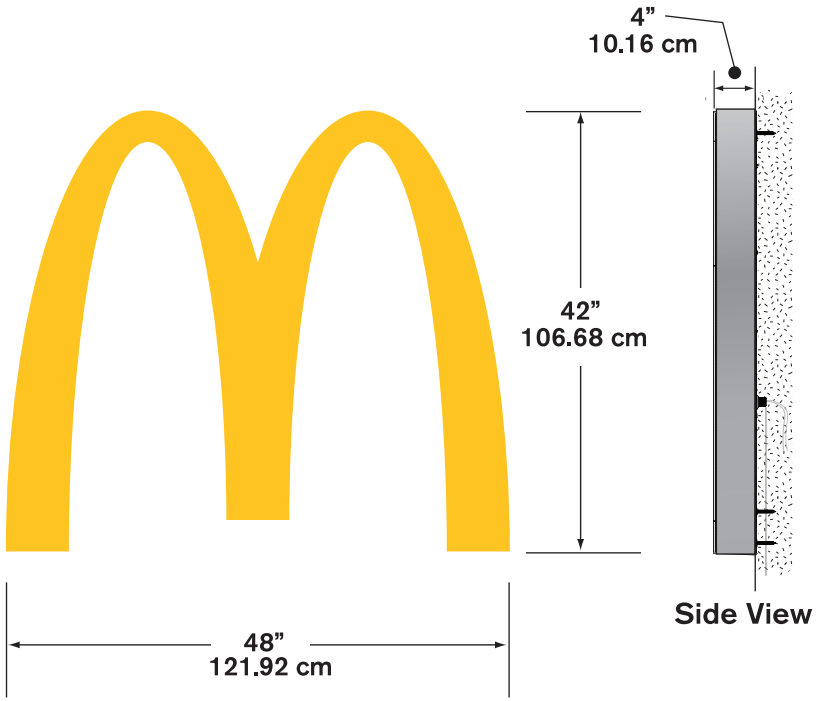
- ☐ Residential Design Review §185-205 (B)
- ☐ Commercial Design Review §185-205 (B)
- ☑ Signage §185-205 (C)
- ☐ Certificate of Appropriateness §185-197
- ☐ Landmark Designation §185-195 (2)
- ☐ Informal Review
- ☐ Build to Line Adjustment §185-17 (B) (2)
- ☐ Building Height Above 30 Feet §185-17 (M)
- ☐ Corner Lot Orientation §185-17 (K) (3)
- ☐ Flag Lot Building Line Location §185-17 (L) (1) (c)
- ☐ Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The Applicant is requesting design review for the addition of two identification signs for McDonalds. The signs will be approximately 14 square feet and 33 square feet.

Meeting Date: May 12, 2022

42” NextGen Illuminated Building Arch - LED

Sign S9, 14.0 sq. ft.



Illumination: LED

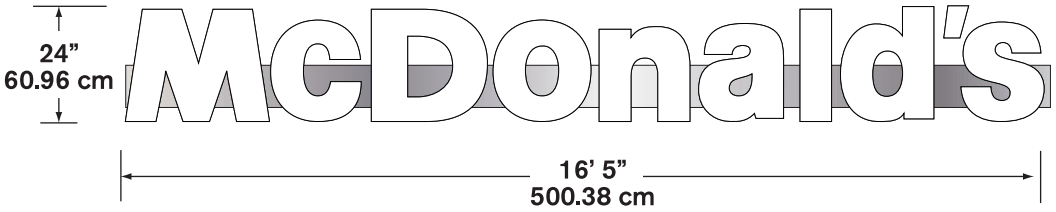
Electrical: .35 AMPS

Ballast: (1) OSRAM OT75-120-277-24

Ship Weight:

NextGen 24” Wordmark

Sign S10, 32.9 sq. ft.

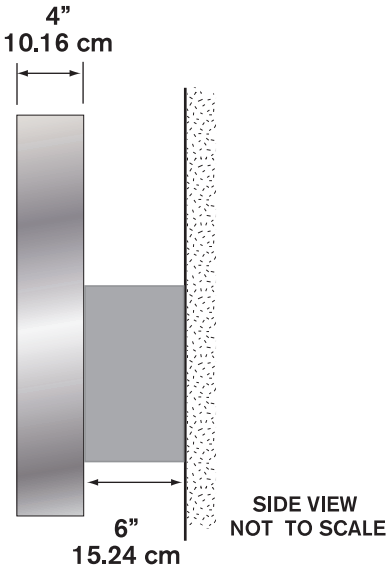


Illumination: LED

Electrical: 1.6 AMPS

Power Supply: (1) Amperor ANP90-30P1

Ship Weight:



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