

**Design Review & Historic Preservation Board
Agenda
March 10, 2022**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **592 Allens Creek Road**
The Applicant is requesting design review for the construction of an approximately 350 SF two story addition where the current sun room is as well as the construction of a new 690 SF screened in porch off the back side of the house.
- **18 Copper Woods**
The Applicant is requesting design review for the construction of an approximately 194 SF room addition off the back of the house.
- **37 Washington Road**
The Applicant is requesting design review for the construction of an approximately 223 SF 3 season room addition off the back of the house.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **5 Black Wood Circle**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1921 SF and will be located in the Wilshire Hill Subdivision.
- **57 & 59 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 23 (59 Skylight Trail) will be approximately 2000 SF and Lot 24 (57 Skylight Trail) will be 1852 SF. The town homes will be located in the Alpine Ridge development.

Design Review and Historic Preservation Board
Minutes
February 24, 2022

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, Bonnie Salem, Kathleen Cristman, Dave Wigg

ALSO PRESENT

Cathy Koshykar, Town Board liaison; Robert Koegel, Town Attorney; Bill Zink, Building Inspector; Anthony Caruso, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

John Mitchell

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

An unveiling event for the historic marker at the East Street Burying Ground was discussed to take place in the spring.

Bonnie Salem discussed with Town Board member Cathy Koshykar the request for funding from the Town Board initiated by Councilman Kevin Beckford, former DRHP Board liaison. The funding will cover listing the historically designated homes on the Town website. Councilwoman Koshykar indicated she would follow up with the Town Board.

RESIDENTIAL APPLICATION FOR REVIEW

• **25 Knollwood Drive**

The Applicant is requesting design review for the construction of a new covered entryway off the front of the house. In addition, the Applicant would like raise the ridge of the back roof of the main house to blend with the roof of the previously added sunroom.

Chris Hennessey, architect for the project, was present.

Ms. Hennessey described the project and changes to the existing home. This renovation will involve enlarge the front foyer, window replacement, brick removal and changing the ridge height on the rear elevation. Changing the ridge height will serve to avoid water damage and debris collection on the roof. Siding will be uniform on the home as the front elevation brick will be removed. The shutters will be removed and the replacement windows will not feature dividers. The single front door will be replaced by a double door. The columns on the front porch will be changed from round to square. The timber frame porch configuration will be stained or painted.

Kathleen Cristman moved to accept the application as submitted.

Dave Wigg seconded.

All Ayes.

- **4035 East Avenue**

The Applicant is requesting design review for the construction of an approximately 100 SF mudroom entryway off the back of the house.

Tom Lawler was present to discuss the application with the Board.

Mr. Lawler described the project as a simple 8' x 10' mudroom addition on the rear of the home. Siding will match the existing on the home.

Bonnie Salem moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **592 Allens Creek Road**

The Applicant is requesting design review for the construction of an approximately 350 SF two story addition where the current sun room is as well as the construction of a new 690 SF screened in porch off the back side of the house.

This application was withdrawn from this agenda by request of the Applicant.

- **12 Frederick Road**

The Applicant is requesting design review for the construction of an approximately 432 SF addition off the rear of the house. The existing attached sunroom shall be removed.

The homeowner, Alexander Syntik was present.

Mr. Syntik indicated the siding will match the existing.

Kathleen Cristman moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **246 Long Meadow Circle**

The Applicant is requesting design review for the construction of an approximately 1210 SF addition off the rear of the house.

The architect, Paul Morabito, was present.

Mr. Morabito indicated the siding and roofing on the new addition will match the existing on the home. This home is far back from the roof so it should not be particularly noticeable. The exposed foundation walls will match the existing.

The roofline ridge will be extended and a master suite will be created. There will be no grills in the windows and a transom window will be installed above the bed area.

Dirk Schneider moved to approve the application as submitted with the addition of the submission of a front elevation to the application dated 2/24/22.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES RETURNING

- **33 Coventry Ridge**

The Applicant is returning to request design review for the construction of a two story single family home approximately 2926 square feet that is located in the Coventry Ridge Subdivision. Applicant would like change to an end load garage instead of the front load garage that was previously approved.

Steve Maynard representing Coventry Ridge Building Corporation was present.

The Board reviewed the garage location change and agreed that this is a better orientation.

Dave Wigg moved to accept the application as resubmitted.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **1 Stable View**

The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2951 SF.

Lou Masi of Mascot Builders was present.

The front elevation will feature vinyl and stone finishes.

The Board expressed their preference for the stone return to wrap to the side elevation.

It was also recommended that the shutters on the second floor be removed due to the disproportion to the windows.

Dirk Schneider moved to approve the application as submitted with the condition the brick will wrap around to the side elevations and the recommendation that the shutters be removed on the second story front elevation.

Paul Whitbeck seconded.

All Ayes.

- **41 Nature View**

The Applicant is requesting design review for the construction of a two-story single family home approximately 2040 SF.

Lou Masi discussed this application with the Board.

The Board expressed concerns about the massing of the left elevation. They felt some fenestration should be added to break up the façade. Addition of windows in the second floor bedrooms were discussed as a way of accomplishing this.

Paul Whitbeck moved to approve the application as submitted with the condition the two 2' x 2' windows be added to the second floor bedroom #3.

Bonnie Salem seconded.

All Ayes.

- **8 Black Wood Circle**

The Applicant is requesting design review for the construction of an approximately 2107 SF new single story family home in the Wilshire Hill subdivision.

Bill Arieno of Morrell Builders was present.

The front elevation is finished with stone and siding and board and batten above the garage.

A discussion regarding the ceiling materials on the rear porch which is designed in a cathedral style to allow more light in.

Bonnie Salem moved to approve the application as submitted with the recommendation that the gable end porch scissors truss be finished with other materials than are shown in the rendering.

Dirk Schneider seconded.

All Ayes.

- **5 Hawkstone Way**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 3095 square feet and will be located in the Cottages at Malvern Hills Subdivision.

Marie Kenton of Ketmar Corporation was present.

The finishes will two textures – siding and stone.

Ms. Kenton reviewed changes to the submission regarding the windows and sliding door. The rear elevation window will be 3 windows instead of 4 and the 9 ft. door will be 8 ft. The Board felt these changes were more appropriate. The Board stipulated that all these changes should be made on the plans that are submitted to the Town for the building permit.

Dirk Schneider moved to accept the application with the changes described on 2-24-22 to simplify the fenestration.

Bonnie Salem seconded.

All Ayes.

REVIEW OF MINUTES OF JANUARY 27, 2022 MEETING

Dirk Schneider moved to accept the minutes of January 27, 2022

Bonnie Salem seconded.

All Ayes.

ADJOURNMENT

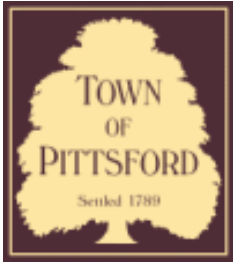
Dirk Schneider moved to close the meeting at 7:05 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000018

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 592 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 137.16-2-21

Zoning District: RN Residential Neighborhood

Owner: Cunniffe, Daniel T

Applicant: A Frank and Co. LLC

Application Type:

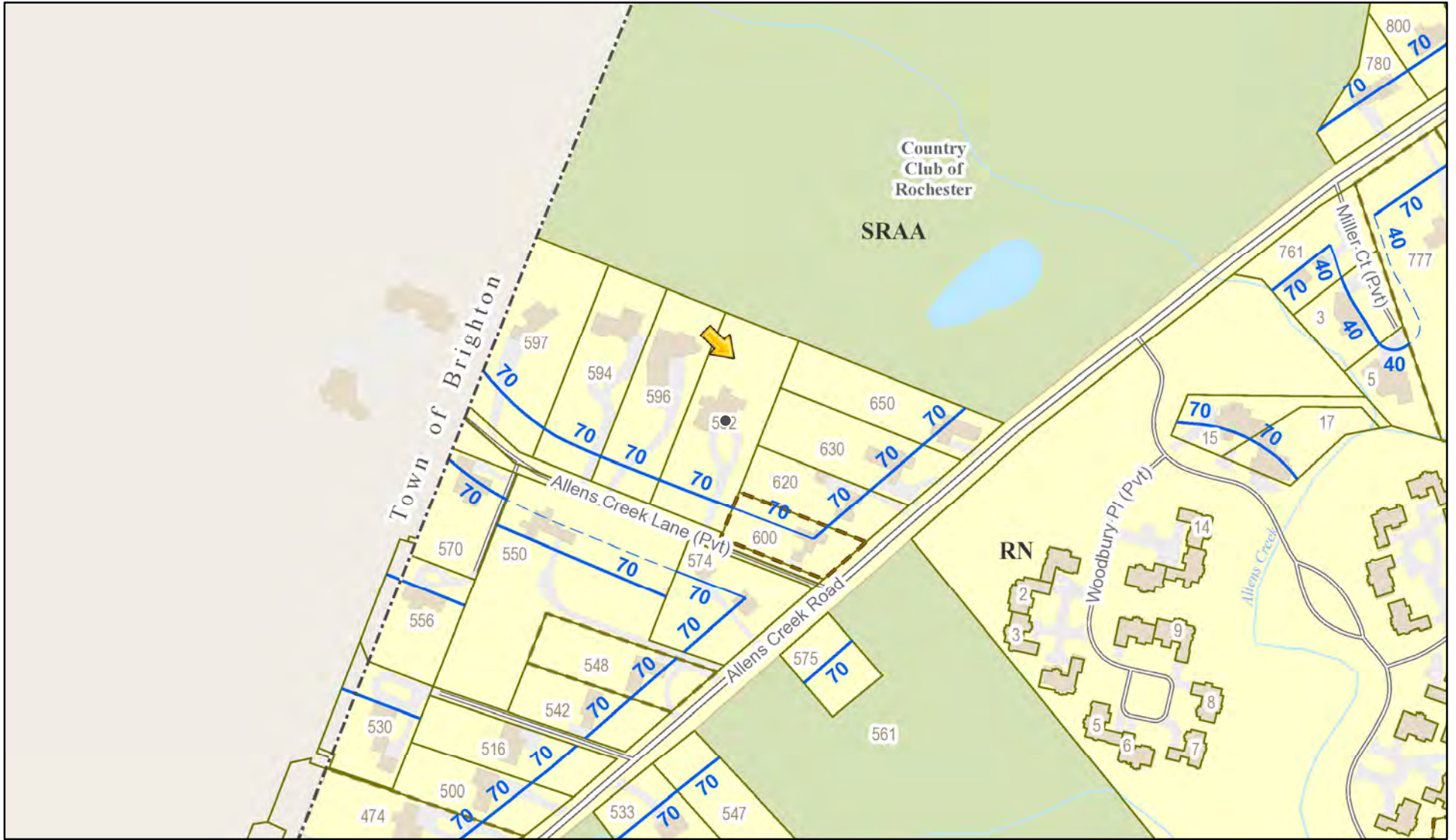
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of an approximately 350 SF two story addition where the current sun room is as well as the construction of a new 690 SF screened in porch off the back side of the house.

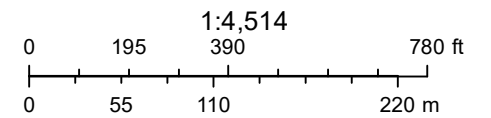
Meeting Date: March 10, 2022



RN Residential Neighborhood Zoning

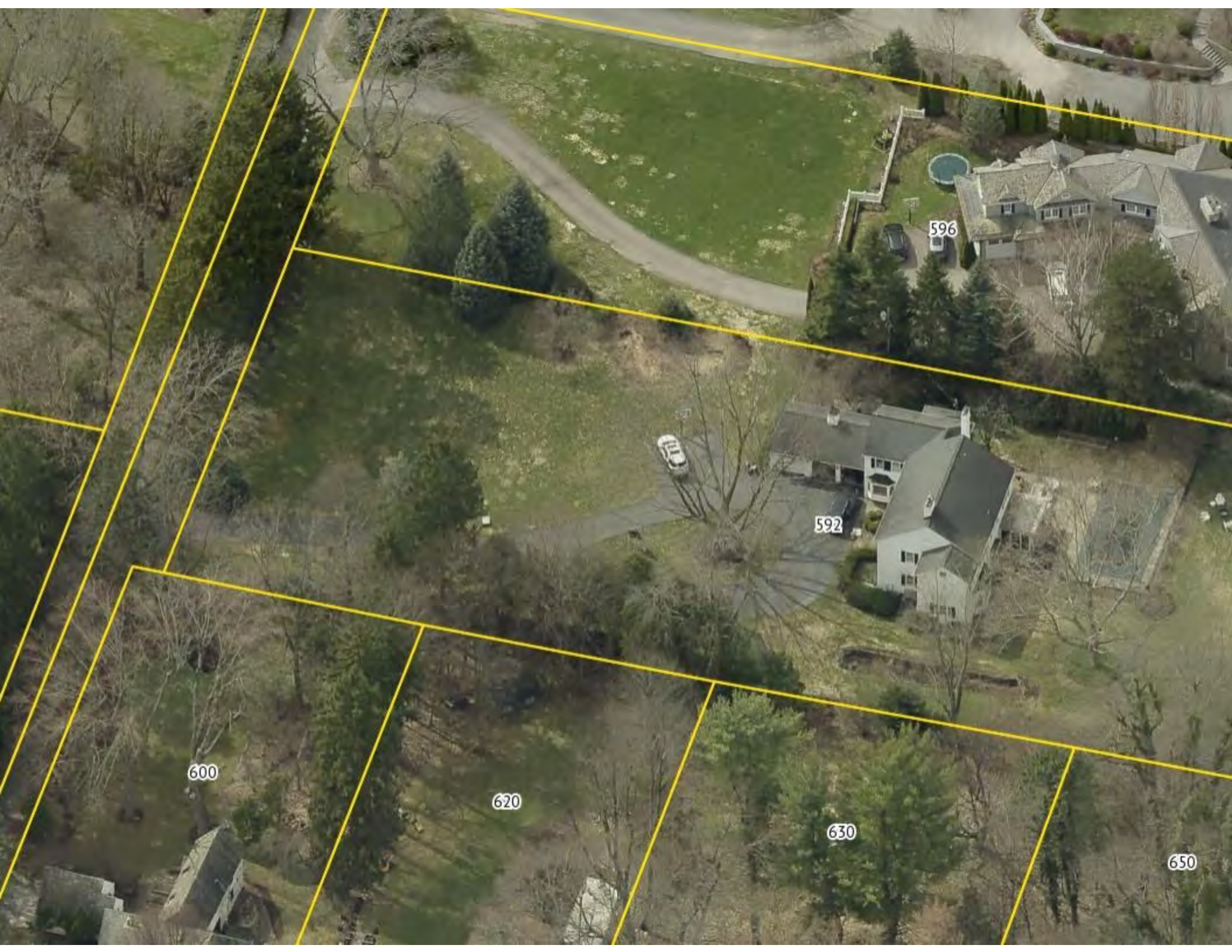


Printed February 3, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



596

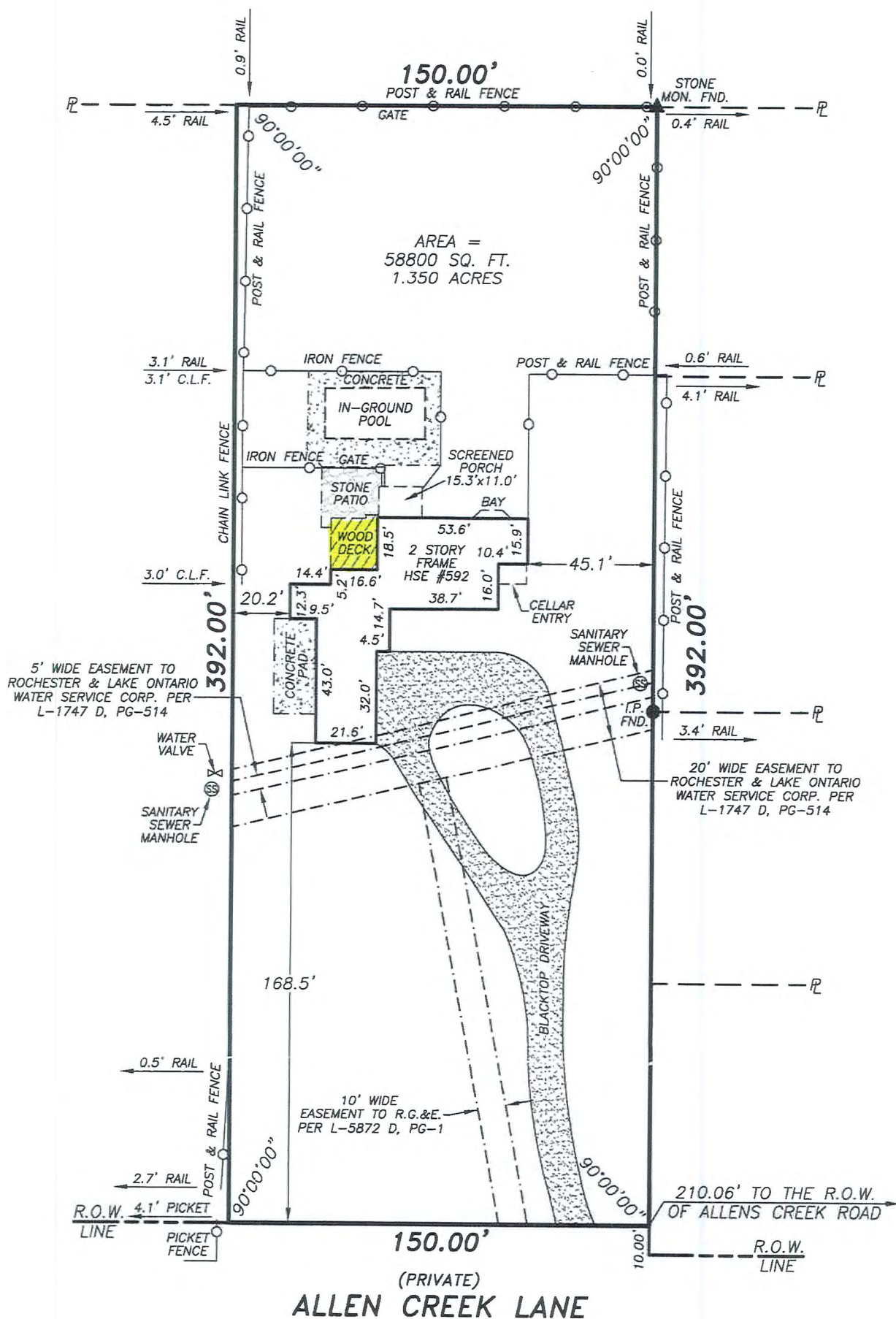
592

600

620

630

650



CERTIFICATION:

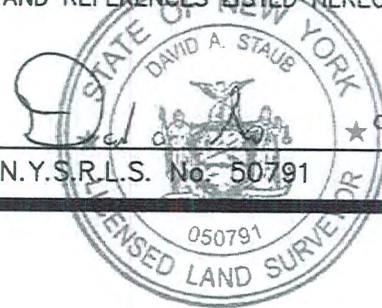
I, DAVID A. STAUB, HEREBY CERTIFY TO:

- DANIEL CUNNIFFE
- OLVER KORTS, LLP.
- CITIBANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS
- STEWART TITLE INSURANCE COMPANY
- THE LAW FIRM REPRESENTING THE LENDER

THAT THIS MAP WAS MADE SEPTEMBER 4, 2012
FROM NOTES OF AN INSTRUMENT SURVEY
COMPLETED AUGUST 30, 2012
AND REFERENCES LISTED HEREON.

REFERENCES:

- 1.) LIBER 9632 OF DEEDS, PAGE 656.
- 2.) ABSTRACT OF TITLE No. WTA-12-25677-NY (WEB TITLE).
- 3.) EASEMENT TO R.G.&E. PER LIBER 5872 OF DEEDS, PAGE 85.
- 4.) EASEMENT TO ROCHESTER & LAKE ONTARIO WATER PER LIBER 2434 OF DEEDS, PAGE 265.



N.Y.S.R.L.S. No. 50791

DATE:

NOTE: PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD.

INSTRUMENT SURVEY
592 ALLEN CREEK LANE
 BEING PART OF TOWN LOTS No. 68 & 69,
 TOWNSHIP No. 12, RANGE No. 5, TOWN OF PITTSFORD,
 COUNTY OF MONROE, STATE OF NEW YORK

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S RED INK SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



TRIPLE POINT LAND SURVEYING, LLC.

16 EAST MAIN STREET SUITE 320
 ROCHESTER, NEW YORK 14614
 Phone (585) 263-9950
 Fax (585) 263-3591

SCALE: 1" = 50'

TAX ACCOUNT: 137.16-2-21

JOB No. 1088-12

DATE: SEPT. 4, 2012

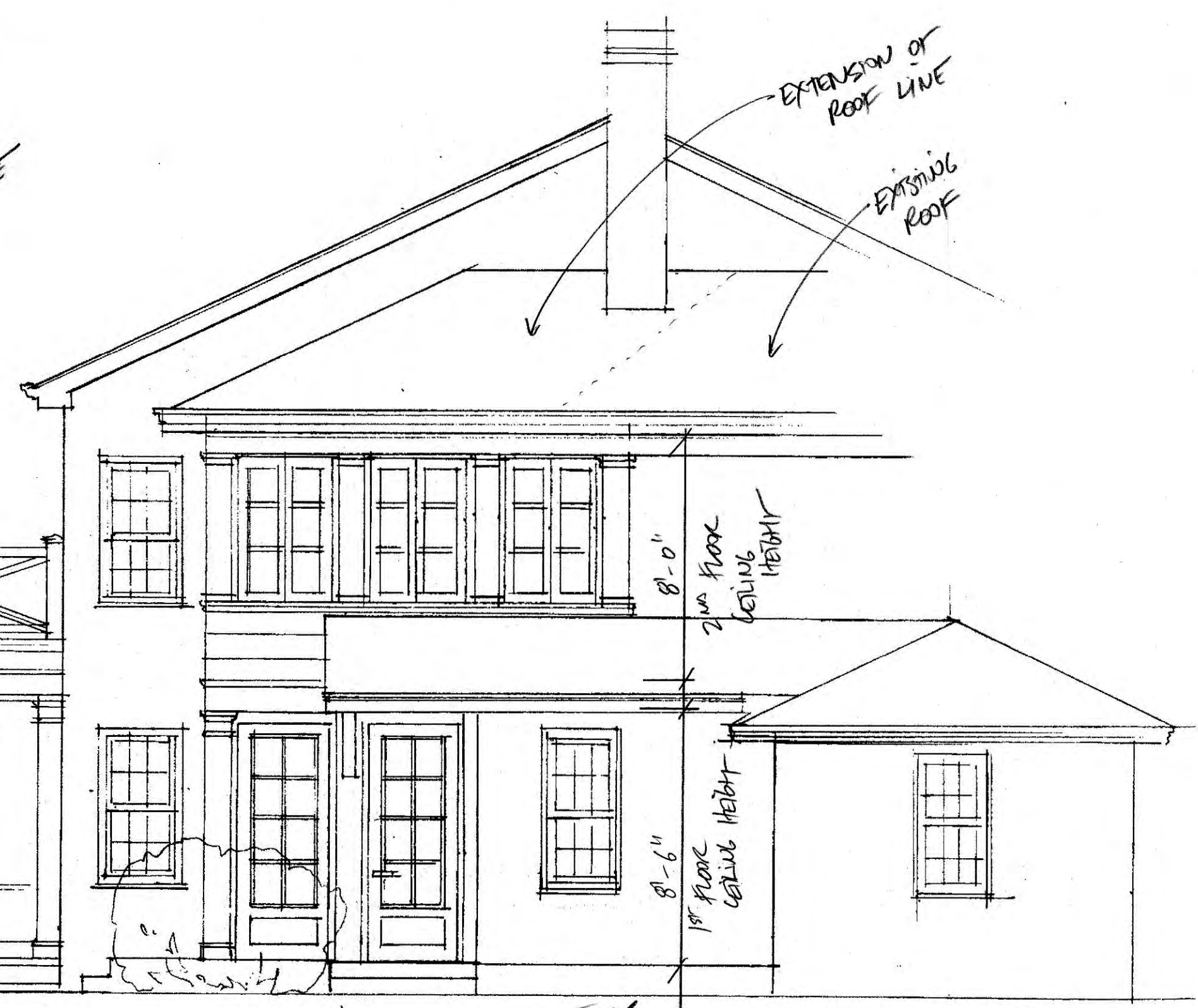


Cumville · Atlas Creek

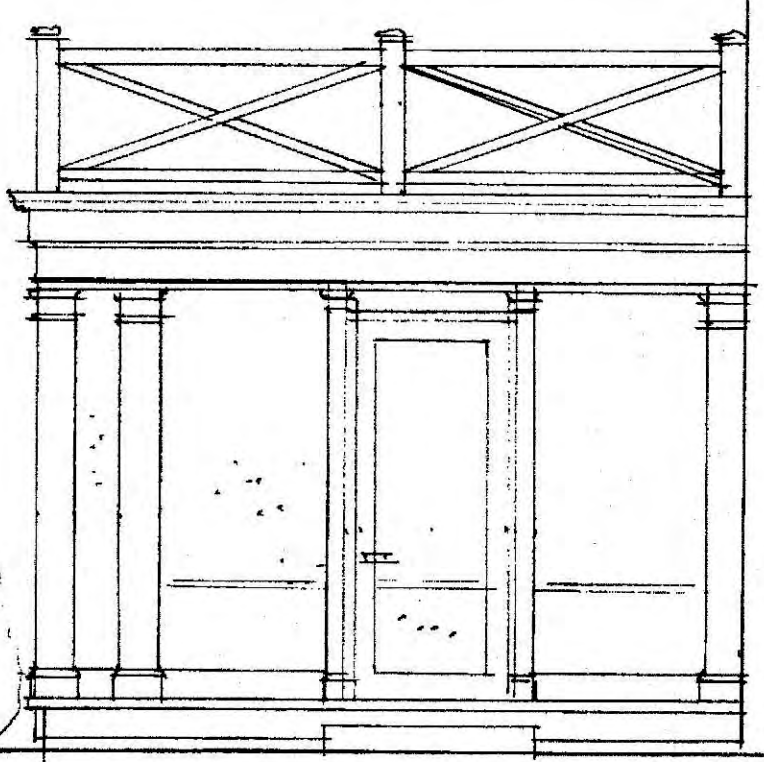
JUNE 4, 2021

MATERIALS

- EXTERNAL: CEDAR SIDING, TRIM, ETC
 (TO MATCH EXISTING)
- WINDOWS AND DOORS - SDL TO MATCH
 - ROOF - MATCH EXISTING ASPHALT SHINGLE



3'-0" DECORATIVE RAILING
 9'-0" CEILING HEIGHT
 ± 11'-6" TOP OF ROOF

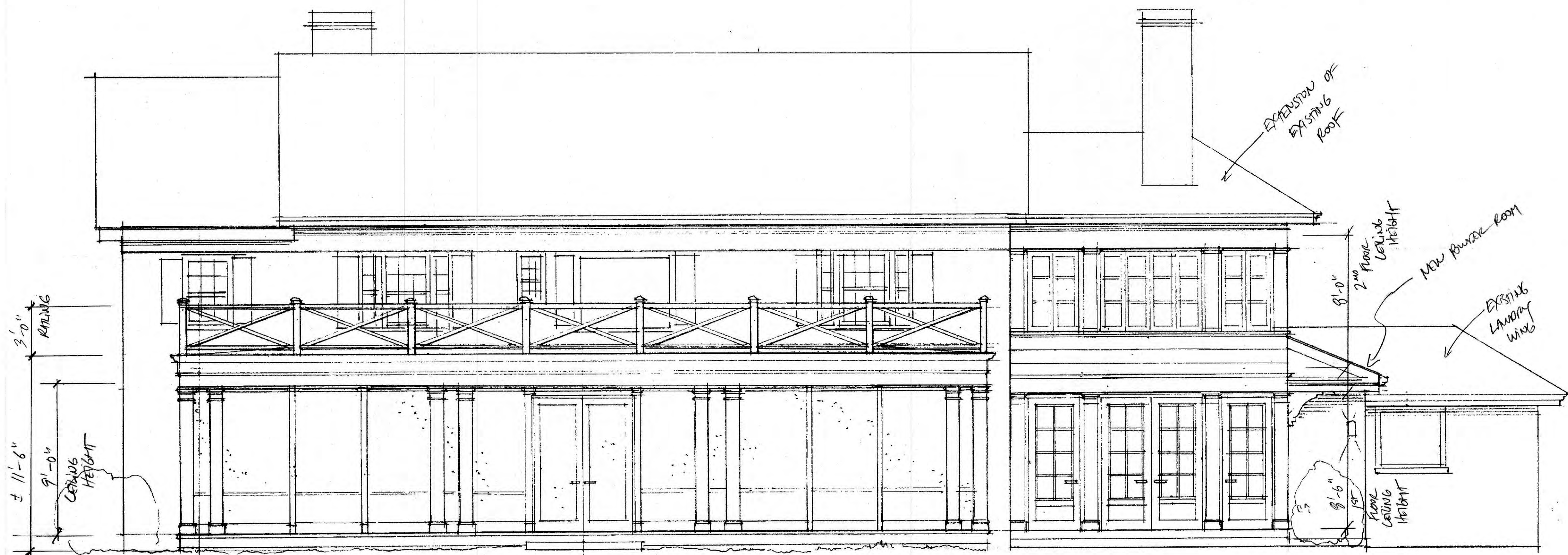


NEW SCREEN PORCH
 15' x 48'

NEW 2 STORY ADDITION
 14' x 16'-6"

CUNIFFE RESIDENCE
 OCT 15, 2021

NEW POWDER ROOM + PORCH
 1 story
 INTERIOR 4'-6" x 10'
 PORCH 4' x 4'-6"

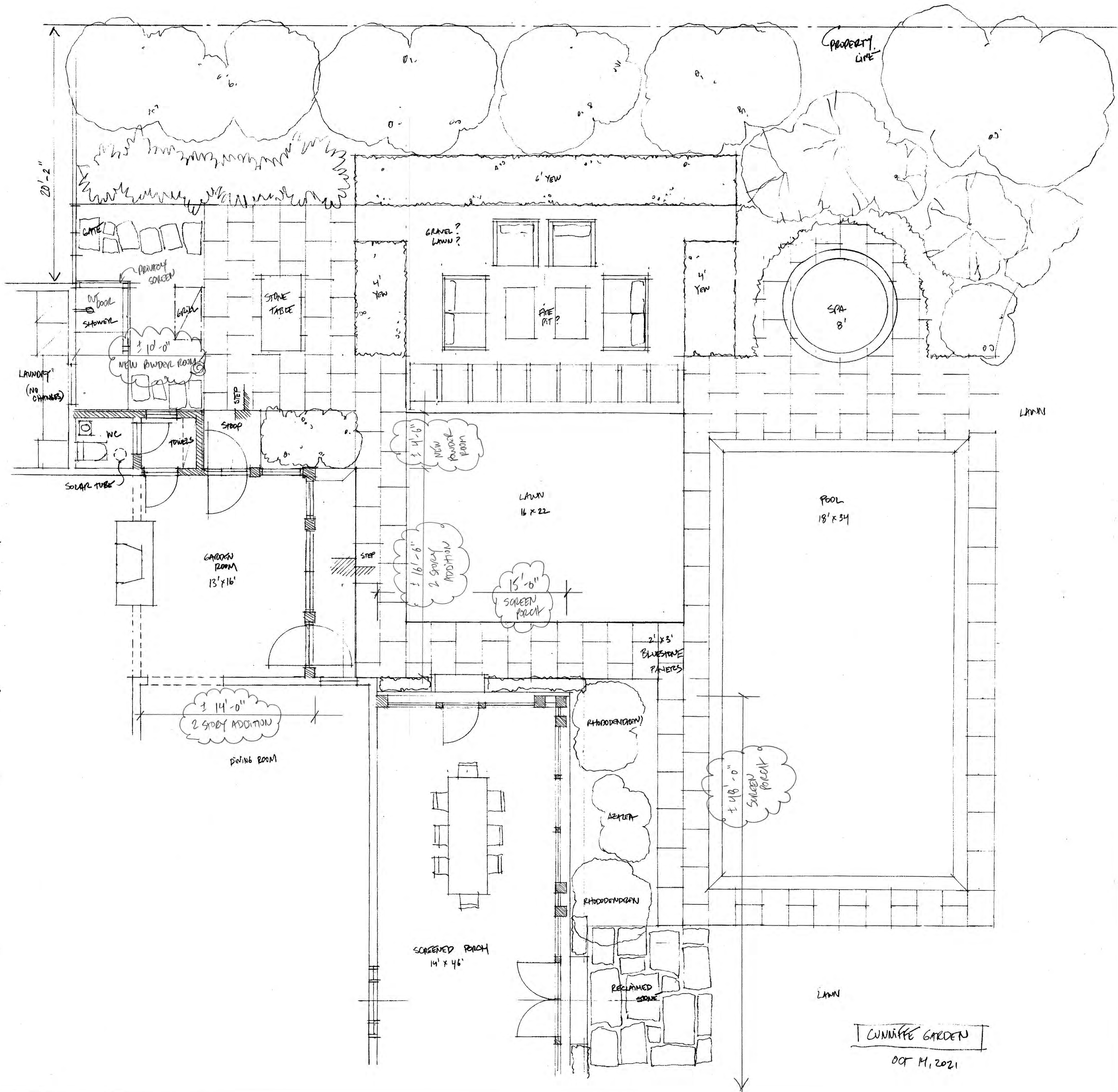


NEW SCREEN PORCH
15' x 48'

NEW 2 STORY ADDITION
14' x 16'-6"

WINIFFE RESIDENCE
OCT 15, 2021

NEW POWDER ROOM + BREAK
4'-6" x 10' 4'-6" x 4'-0"

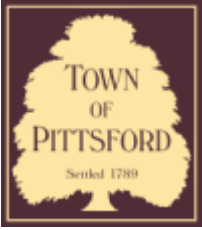


CUNIFFE GARDEN
 OCT 11, 2021









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000035

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Copper Woods PITTSFORD, NY 14534

Tax ID Number: 178.03-1-49

Zoning District: RN Residential Neighborhood

Owner: Mustafa, Syed Izhar

Applicant: Mustafa, Syed Izhar

Application Type:

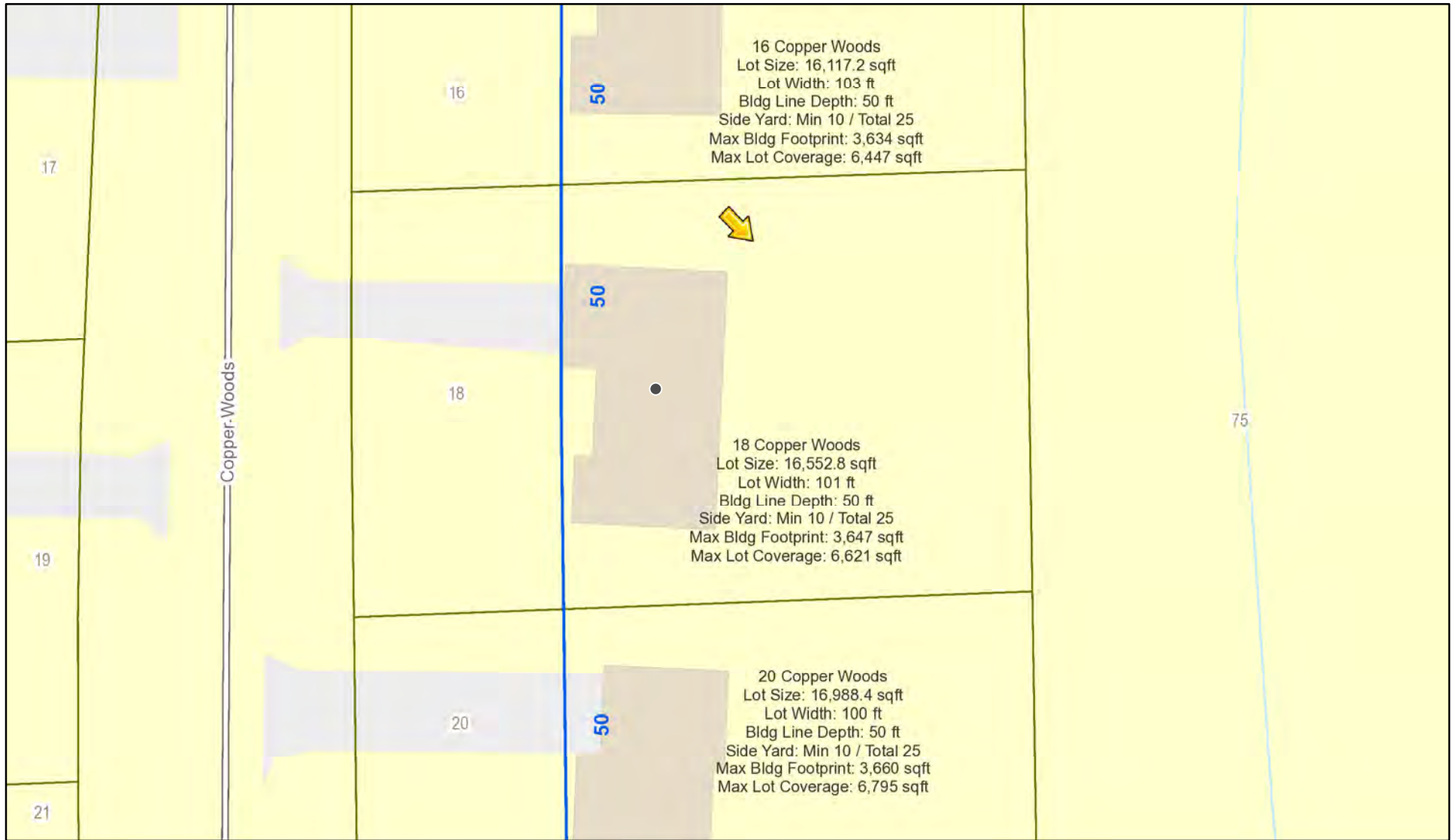
- | | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of an approximately 194 SF room addition off the back of the house.

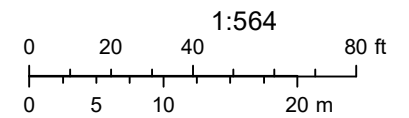
Meeting Date: March 10, 2022



RN Residential Neighborhood Zoning



Printed March 3, 2022



Town of Pittsford GIS

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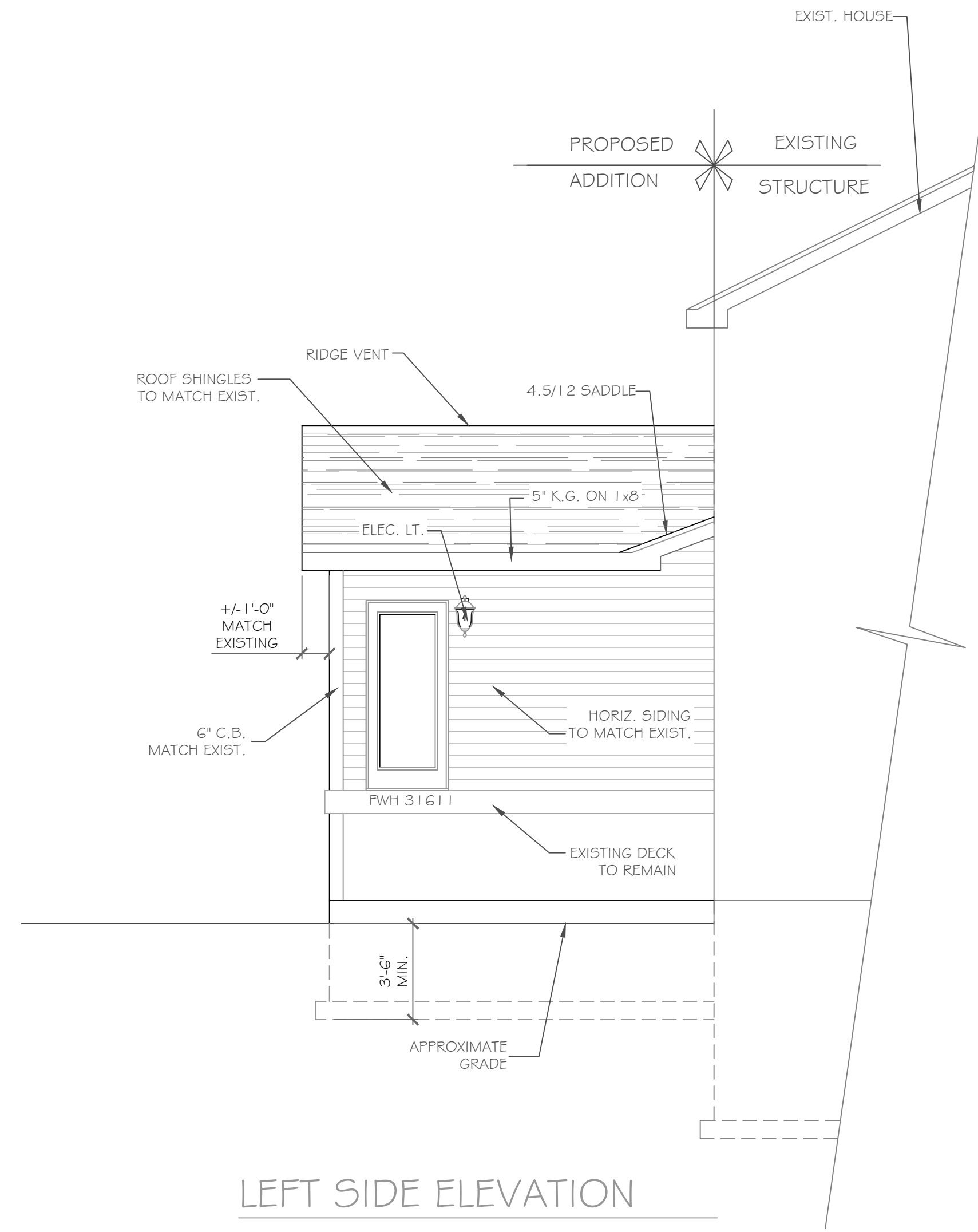


DEMOLITION NOTES:

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Whenever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M. Storage for contractor's equipment and debris must be kept inside the contract area.
- N. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

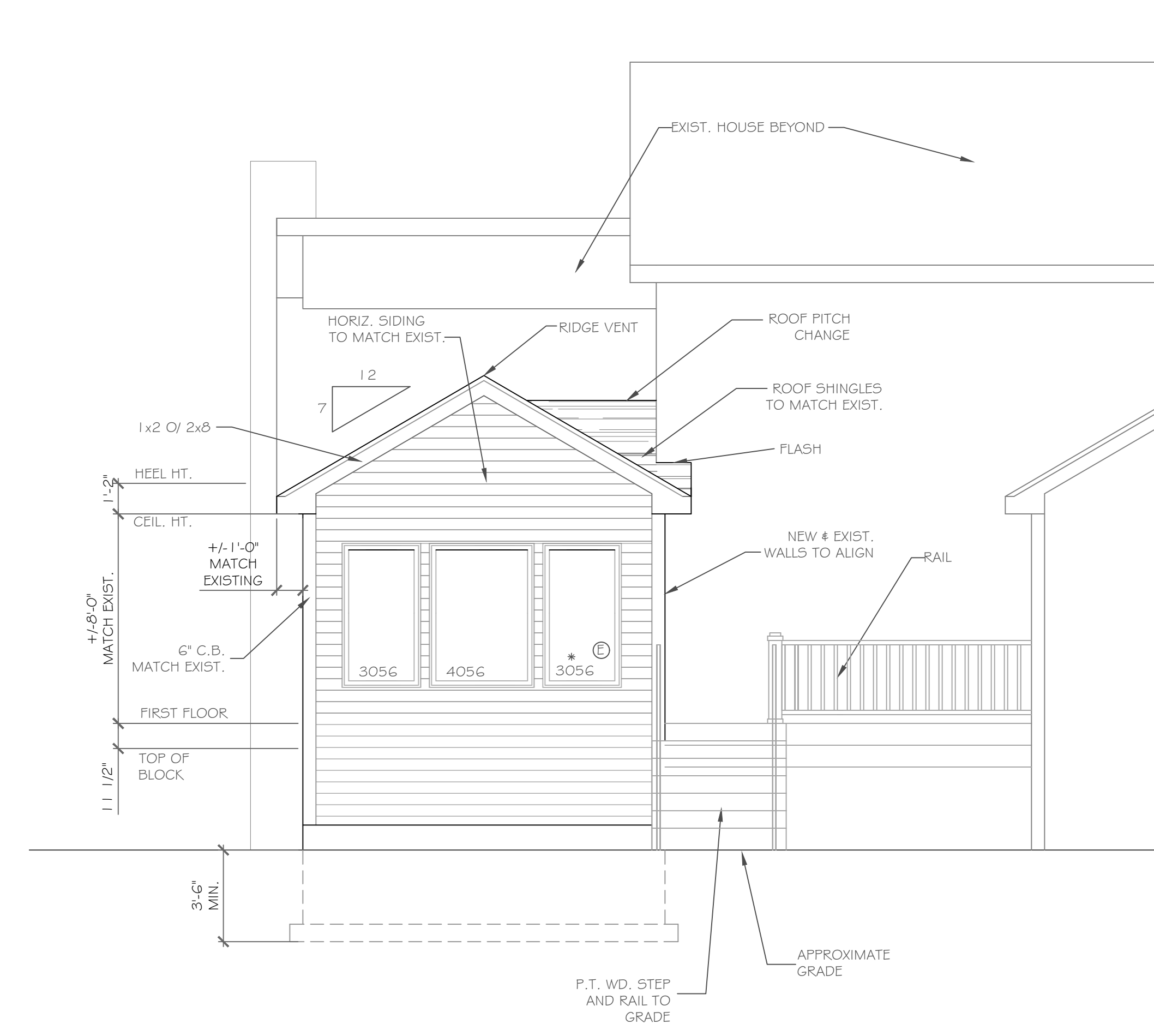
CONSTRUCTION NOTES:

1. Construction shall conform to the residential code of New York State.
2. Comply with all local, state and federal codes and regulations.
3. General Contractor is responsible for all materials, construction methods and craftsmanship.
4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
11. All dimensions are face of wall to face of wall (rough).
12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.
14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
15. Call UFPO before you dig, 1-800-962-7962
16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar.
17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



LEFT SIDE ELEVATION

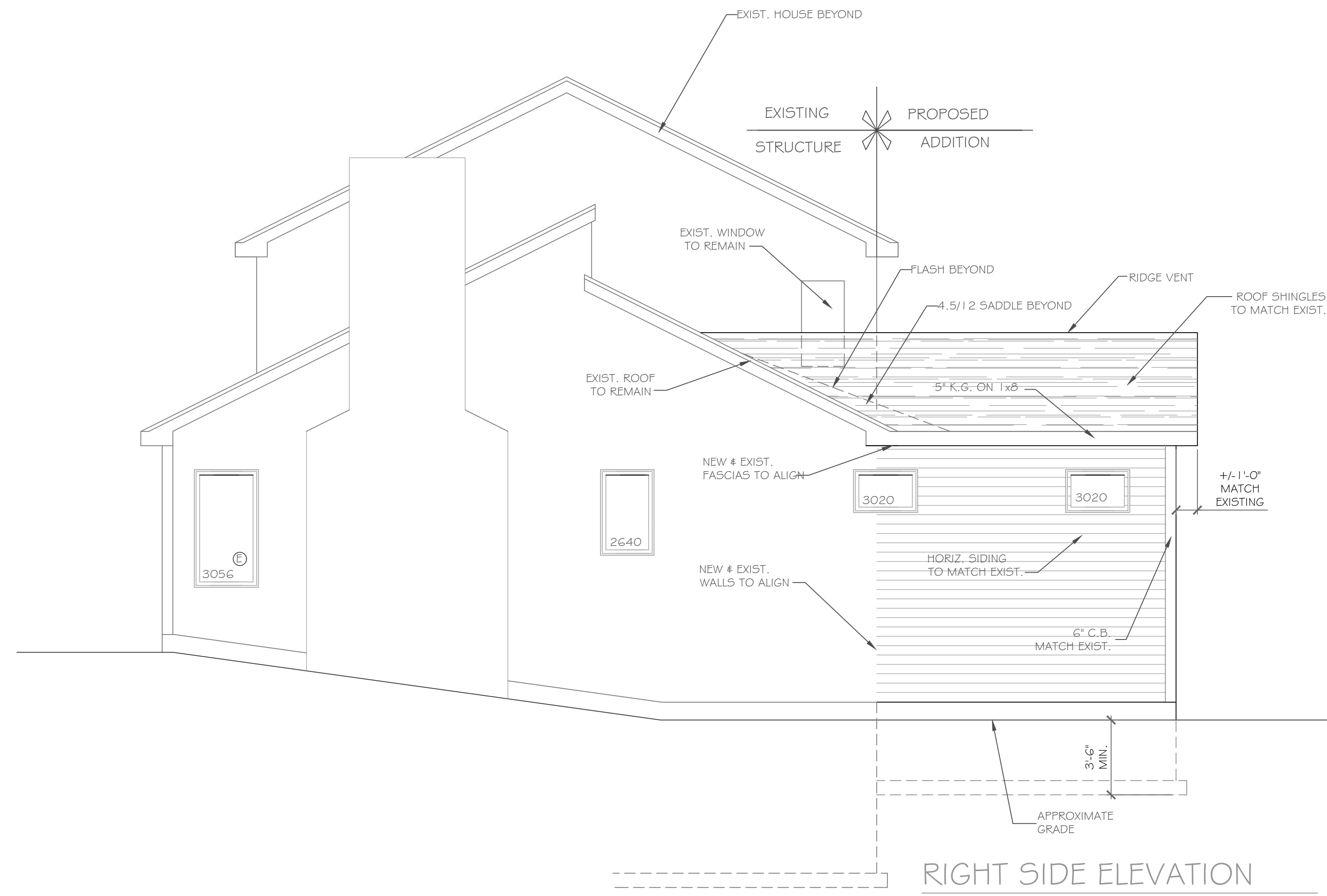
1/4" = 1'-0"



REAR ELEVATION 194 S.F. Addition

1/4" = 1'-0"

- NOTE: - WINDOWS TO BE "GREAT LAKES" (HP LOW-E)
 - DOUBLE-HUNG (DR. EQUAL)
 - DOORS TO BE "ANDERSEN" (OR EQUAL)
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

1/4" = 1'-0"

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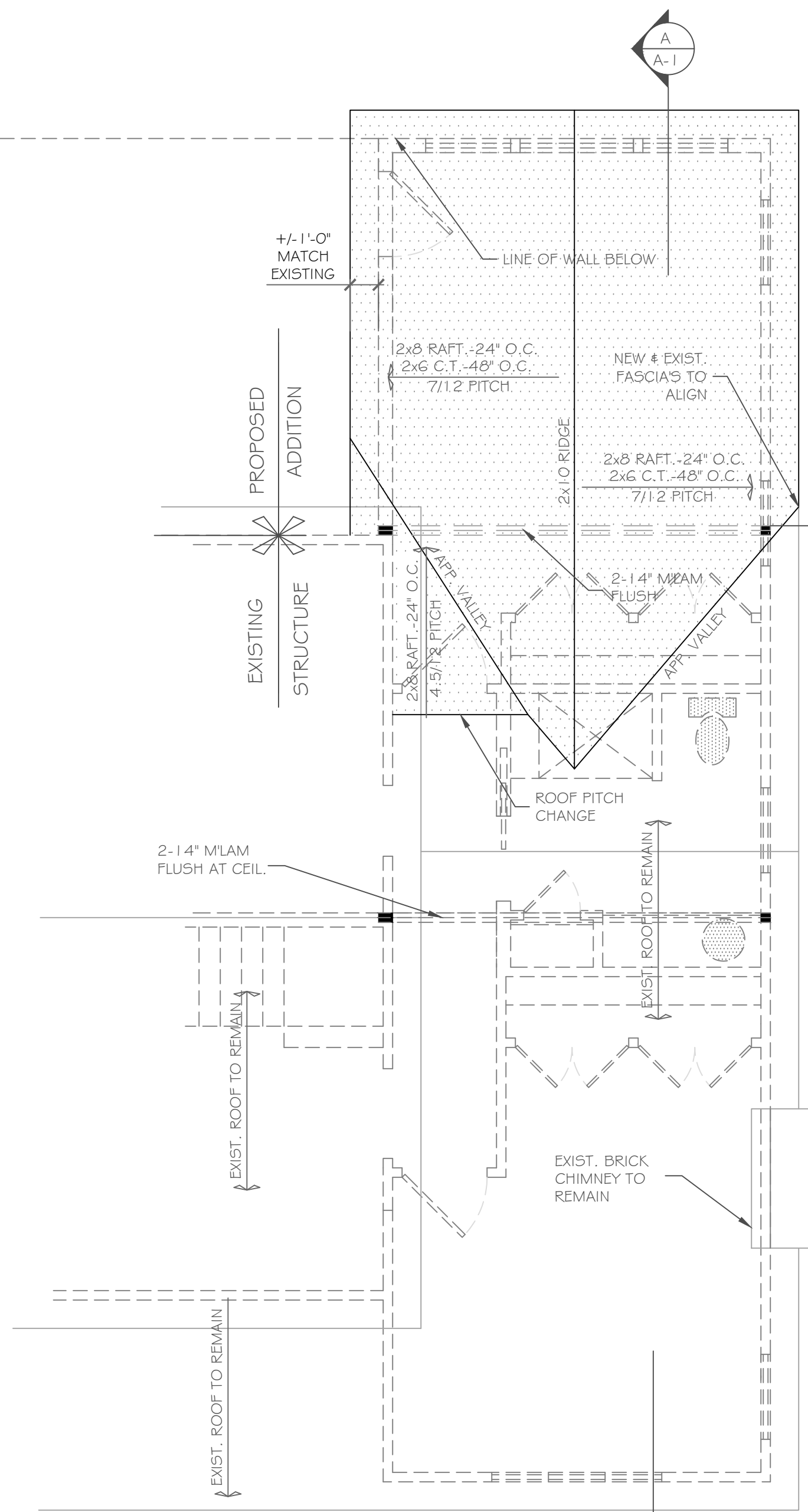
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations, Section & Notes	PROJECT: Additions and Renovations to: 18 Copper Woods, Pittsford, N.Y.
	CLIENT: Mrs. Mustafa
PHASE: Construction Documents	DATE: January 24, 2022
JOB NO. - A21-042	

PROJECT: Additions and Renovations to: 18 Copper Woods, Pittsford, N.Y.	CLIENT: Mrs. Mustafa
	DATE: January 24, 2022
JOB NO. - A21-042	

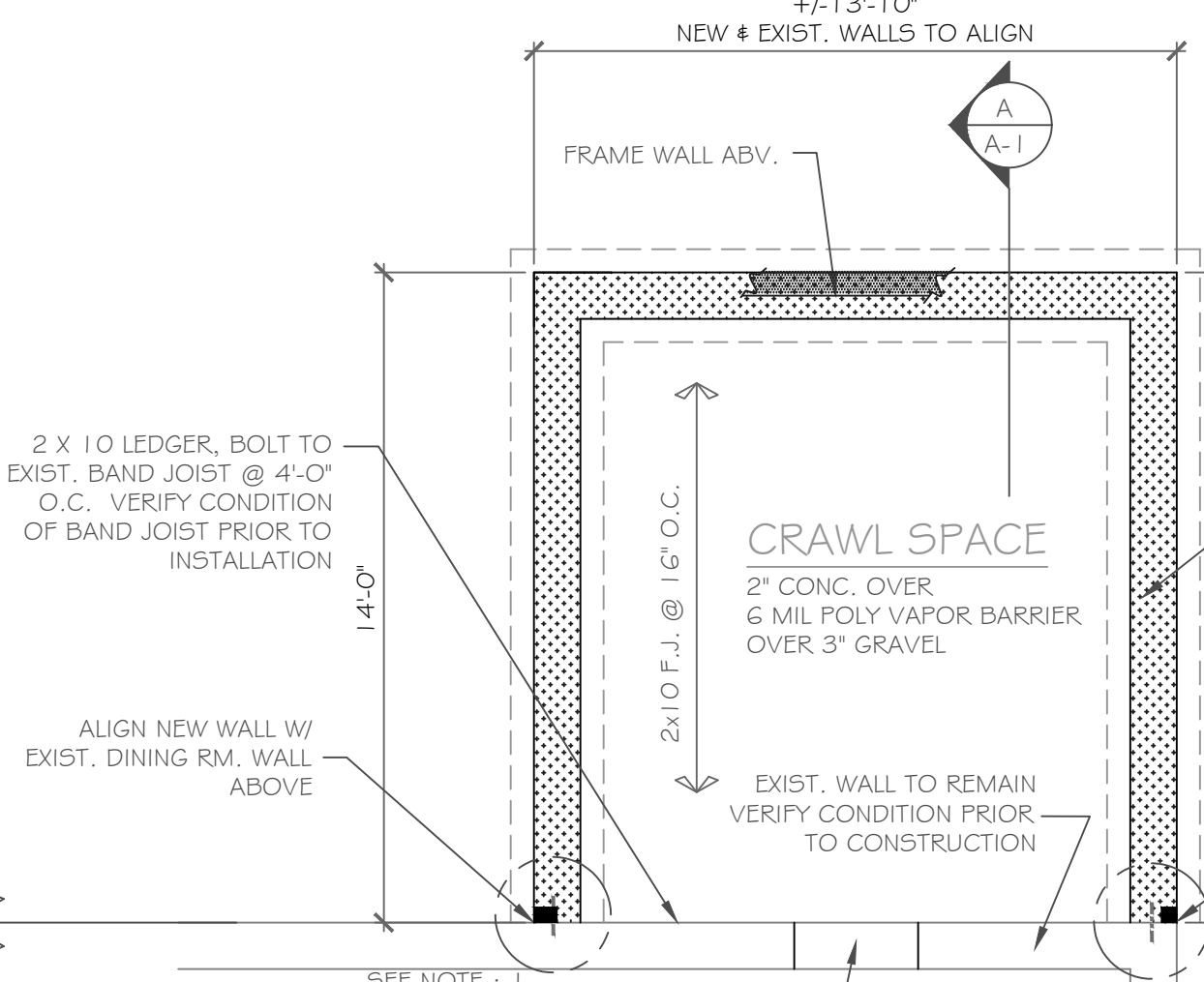
CKH
architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-1



PROPOSED ADDITION
EXISTING STRUCTURE

PROPOSED ADDITION
EXISTING STRUCTURE



PROPOSED ADDITION
EXISTING STRUCTURE

PROPOSED ADDITION
EXISTING STRUCTURE

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:

1. PROVIDE 1 2" LONG NO. 5 BAR EVERY 2ND. CRS. @ NEW AND EXISTING BLK. JOINT GROUT CORES SOLID FULL HEIGHT.
2. GROUT CORES SOLID FULL HEIGHT AT ALL BEAM BEARING LOCATIONS.
3. USE SIMPSON (OR EQUAL) JOIST HANGERS AT ALL HEADER CONNECTIONS.
4. NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS.
5. NEW # EXIST. FIRST FLOORS TO ALIGN
6. VERIFY DEPTH OF EXIST. FL. JST. IN FIELD PRIOR TO CONSTRUCTION

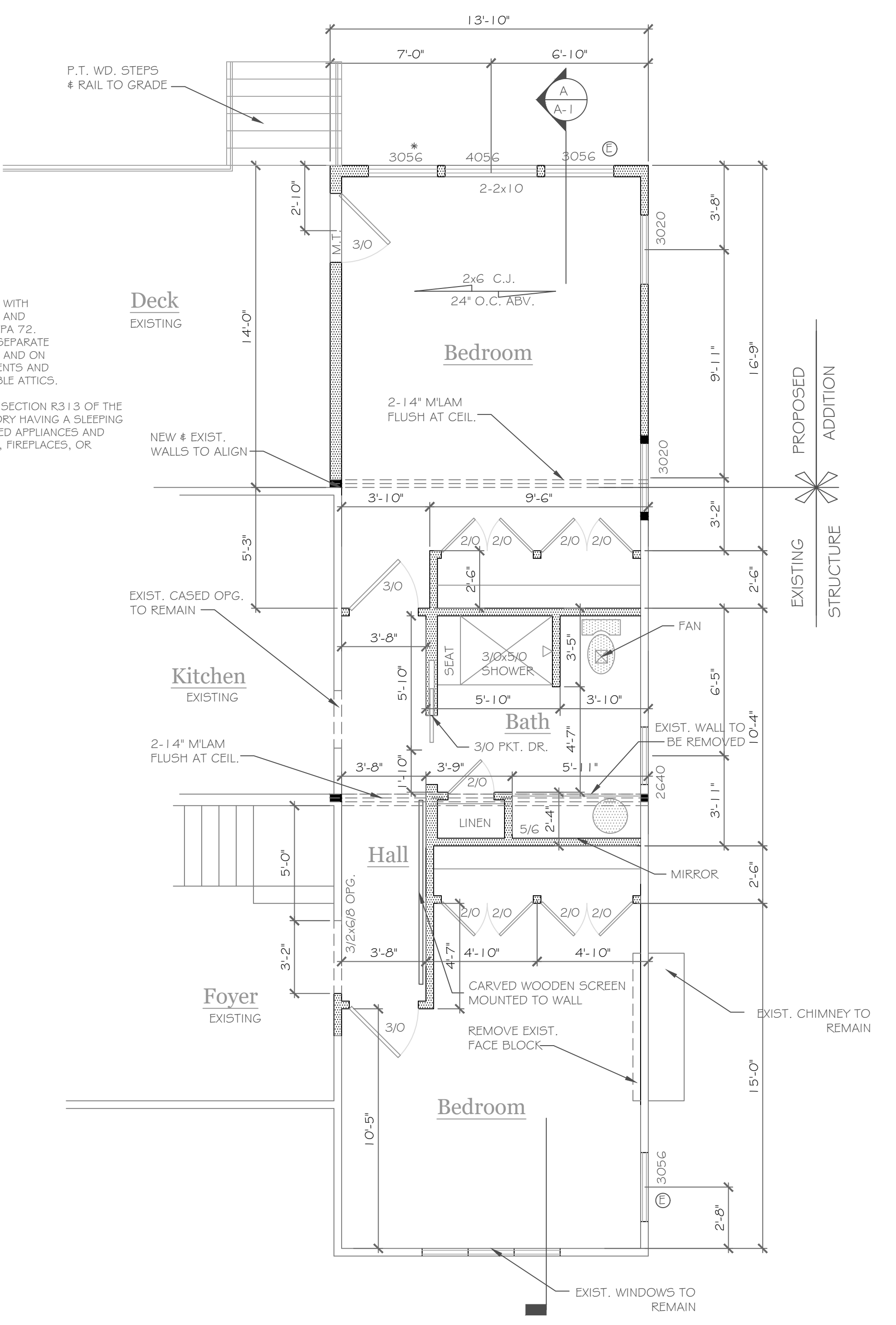
CONC. BLK. LEGEND:

- NEW 12" C.M.U. - ELEV. = 0"
- NEW 12" C.M.U. - ELEV. = (-)8"
- EXIST. FOUND. WALL - ELEV. = 0"
- BRG. POINT ABV. W/ FULL SUPPORT TO SOLID BEARING OR MASONRY (GROUT SOLID)

PARTIAL TABLE R404.1.1(3)
REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	VERTICAL REINFORCEMENT SIZE AND SPACING(b,c) FOR 1 2-INCH NOMINAL WALL THICKNESS		
		Soil classes(d)		
		GW, GP, SW and SP soils	GM, GC, SM, SM-SC and M soils	SC, MH, ML-CL and inorganic CL soils
8	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.
	6	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 72" o.c.
	7	#4 at 64" o.c.	#5 at 64" o.c.	#4 at 32" o.c.
	8	#4 at 48" o.c.	#4 at 32" o.c.	#5 at 40" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond.
b. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per linear foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.
c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 8.75 inches.
d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.
e. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.



WALL KEY & NOTES

- EXIST. 2 x FRAME WALL
 - NEW 2 X STUDS @ 16" O.C. - 8'-1 1/8" PL. HT.
 - NEW 2 X STUDS @ 16" O.C. - 9'-1 1/8" PL. HT.
- ALL EXTERIOR WALLS TO BE 2 X 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- ALL INTERIOR WALLS TO BE 2 X 4 - 16" O.C. U.O.N.

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: WINDOW R.O. HTS. TO BE +/- G-8" (U.O.N.) CLG. HTS. TO BE +/- 8'-0" (NEW # EXIST. FIRST FLOORS + CEIL. TO ALIGN) ALL ANGLES TO BE 12/12 U.O.N. REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
① WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor, Foundation, & Roof Plans

PROJECT:
Additions and Renovations to:
18 Copper Woods, Pittsford, N.Y.

CLIENT:
Mrs. Mustafa

PHASE:
Construction Documents

DATE:
January 24, 2022

JOB NO.:
A21-042

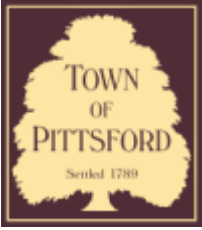
CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO.:
A-2









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000033

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 37 Washington Road PITTSFORD, NY 14534

Tax ID Number: 151.15-1-19

Zoning District: RN Residential Neighborhood

Owner: Tom Mucha

Applicant: Five Star Improvements Inc. & Five Star Roofing & Siding LLC.

Application Type:

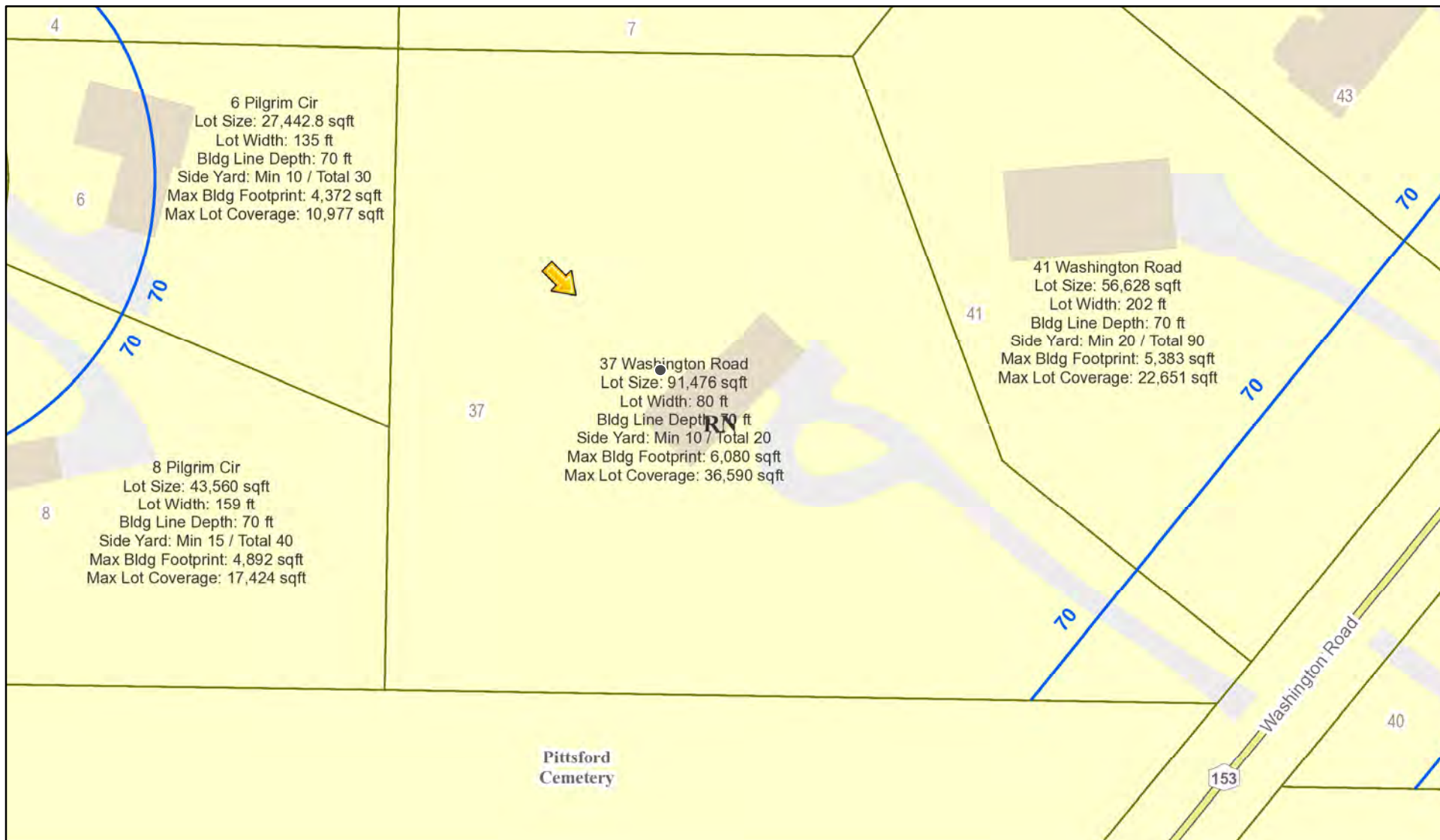
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|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of an approximately 223 SF 3 season room addition off the back of the house.

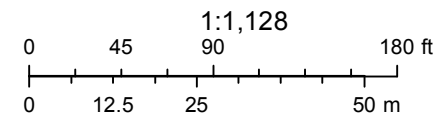
Meeting Date: March 10, 2022



RN Residential Neighborhood Zoning



Printed March 3, 2022



Town of Pittsford GIS

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Pilgrim Cir

Pilgrim Cir

Pilgrim Cir

Unnamed Street

Unnamed Street

Unnamed Street

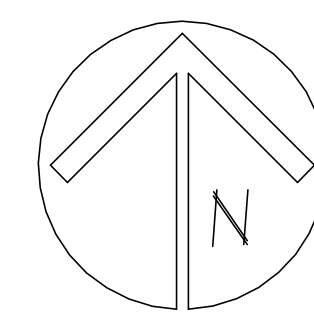
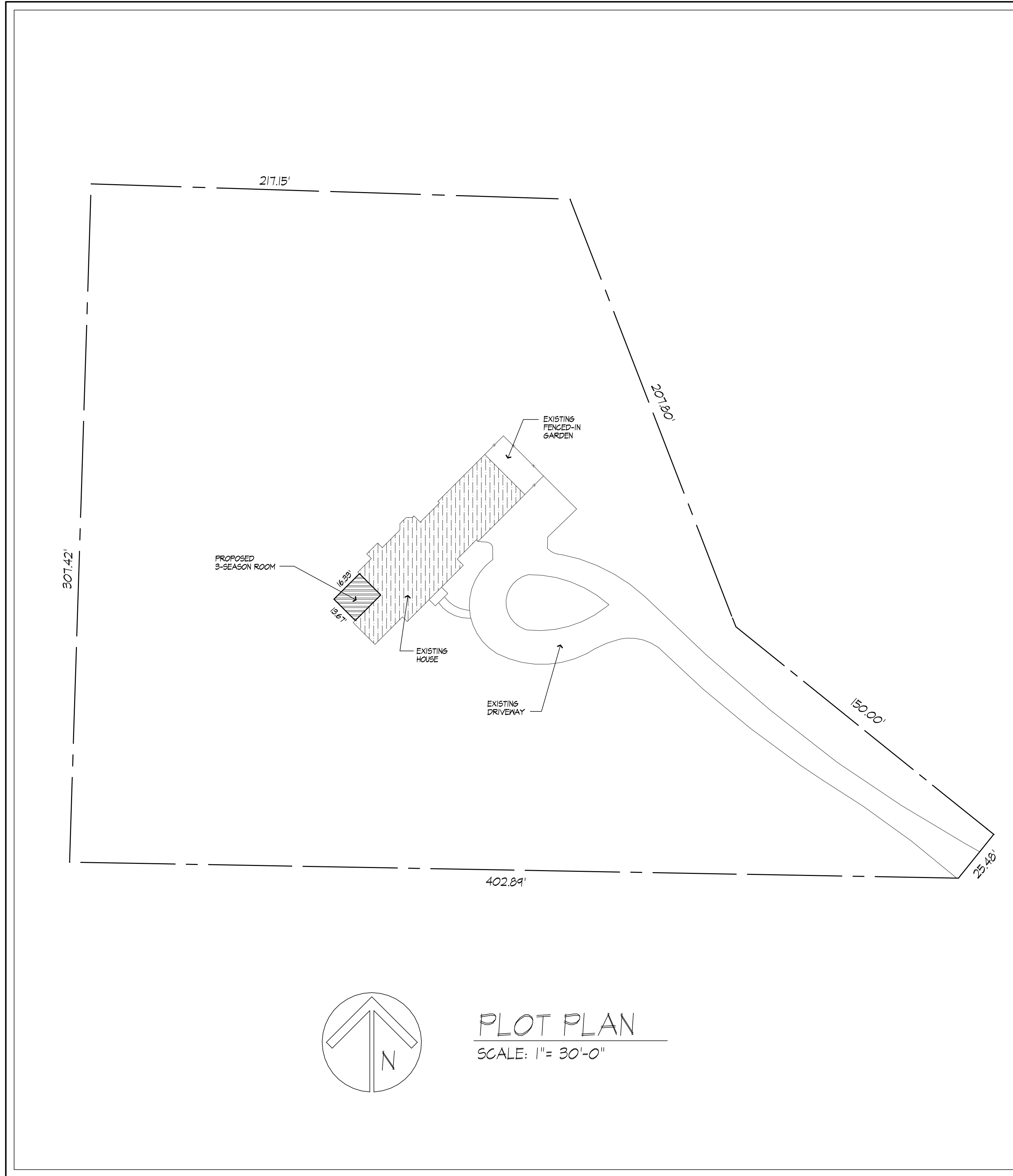
Washington Rd

Unnamed Street

Washington Rd

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR. PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 102.4.5
RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERINGS TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 102.4.5
- MINIMUM FIBER STRESS IN BENDING (F_b) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- N/A
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXPI. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH ORGANIC SALTS OR POLYMER SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHINGS SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- N/A
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDINGS IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R301.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R303.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R301.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN
SCALE: 1" = 30'-0"

TOM MUCHA
3- SEASON ROOM ADDITION
PITTSFORD, NY

DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS - PARTIAL
	BASEMENT/FOUNDATION PLAN - proposed
	1ST FLOOR PLAN - proposed
	FRAMING PLAN - PARTIAL
	BUILDING SECTION - proposed

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 102.4.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERINGS TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 102.4.5

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (b)
- WIND SPEED - 115 MPH EXPOSURE B R301.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1912
- ROOF TIE DOWN REQUIREMENTS R302.1.1



MORABITO ARCHITECTS
PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

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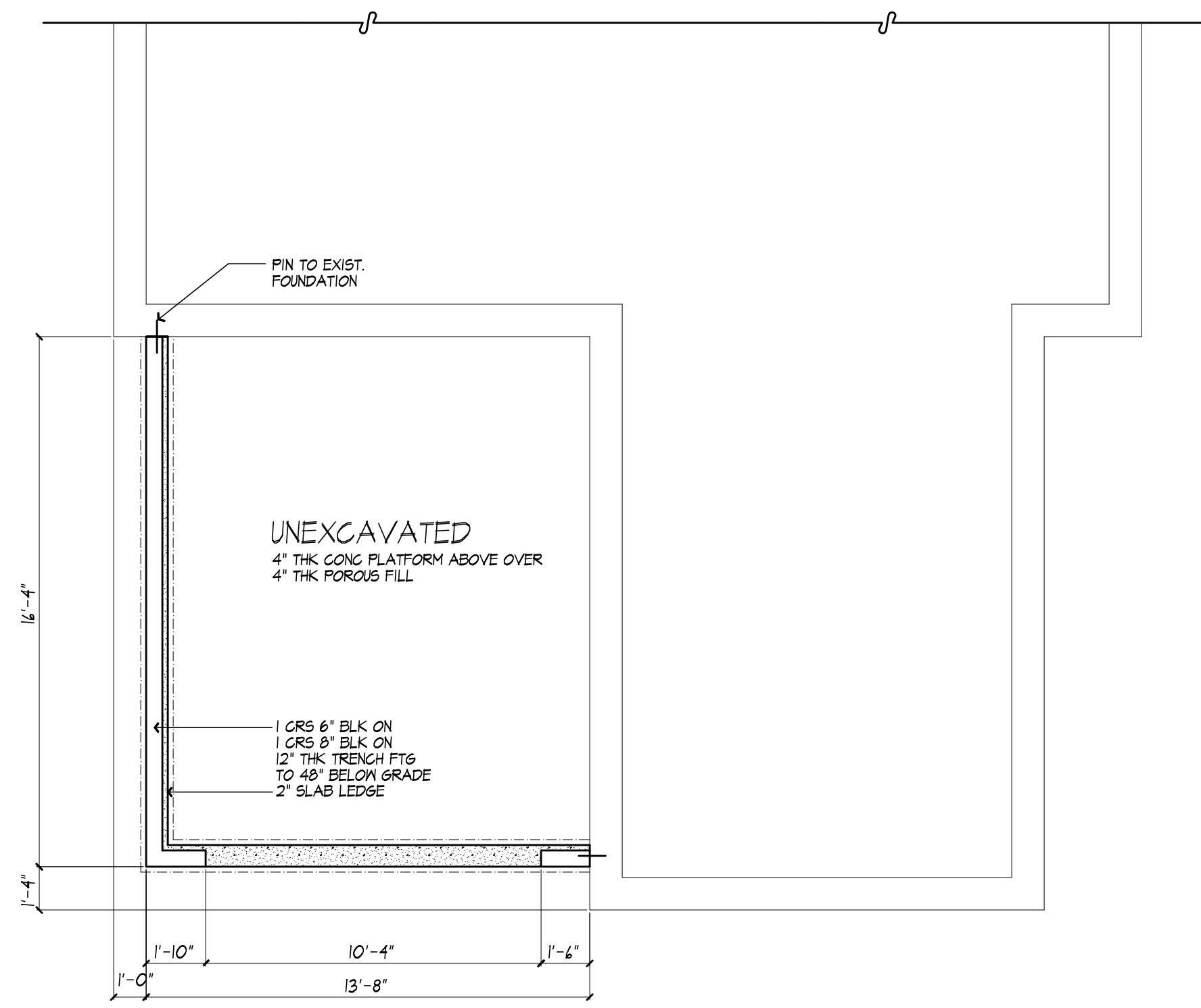
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PROJECT: 3-SEASON RM ADDITION	
CLIENT: TOM MUCHA 87 WASHINGTON RD. PITTSFORD, NY	
DRAWING: TITLE PAGE	
DRAWN: JTL/PM	CHECKED: PM
DATE: FEBRUARY 2022	
SCALE: 1/4"=1'-0"	
JOB NO.: 21M4029	
SHEET: 1 OF 2 SHEETS	



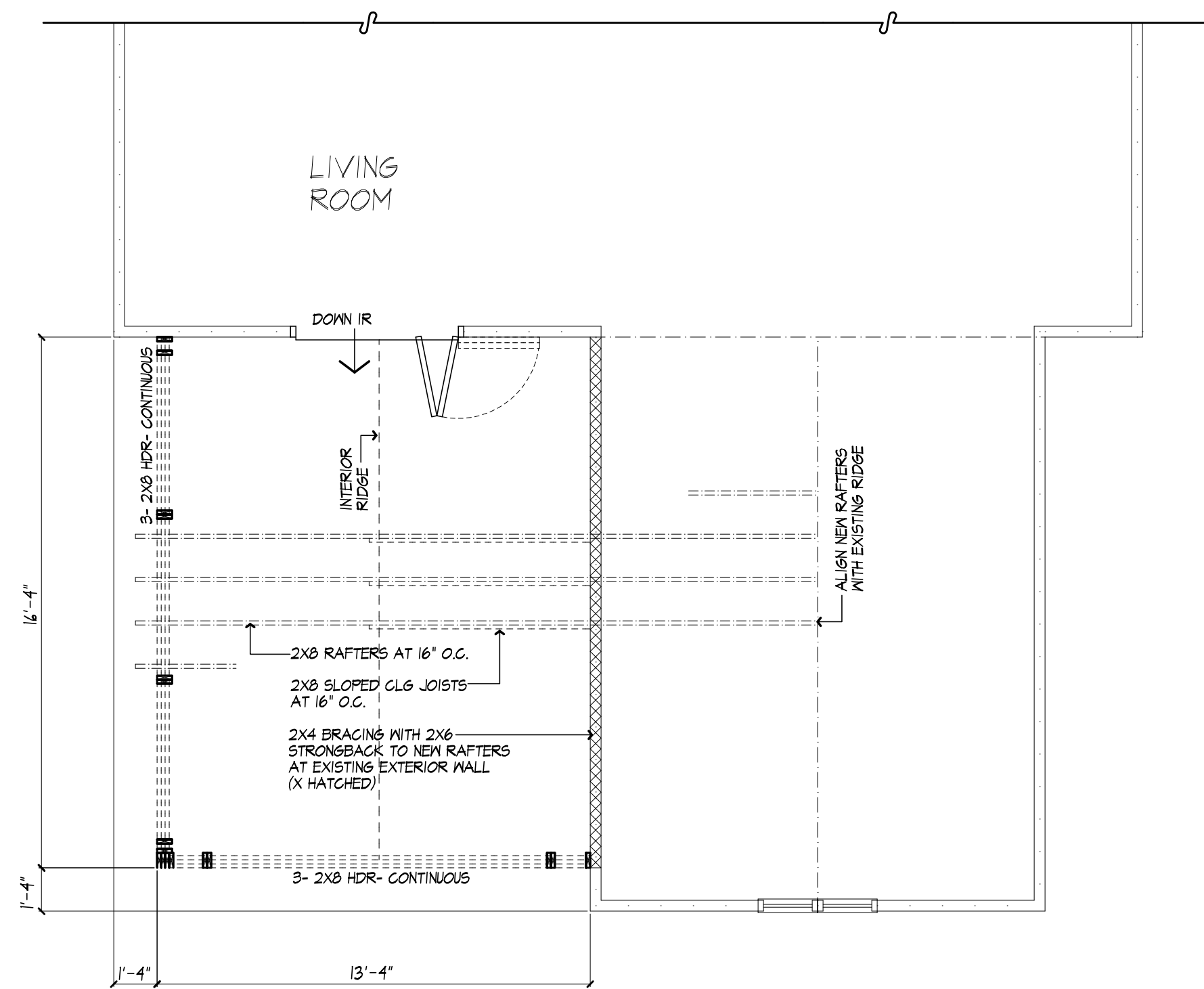


FOUNDATION PLAN

PROPOSED

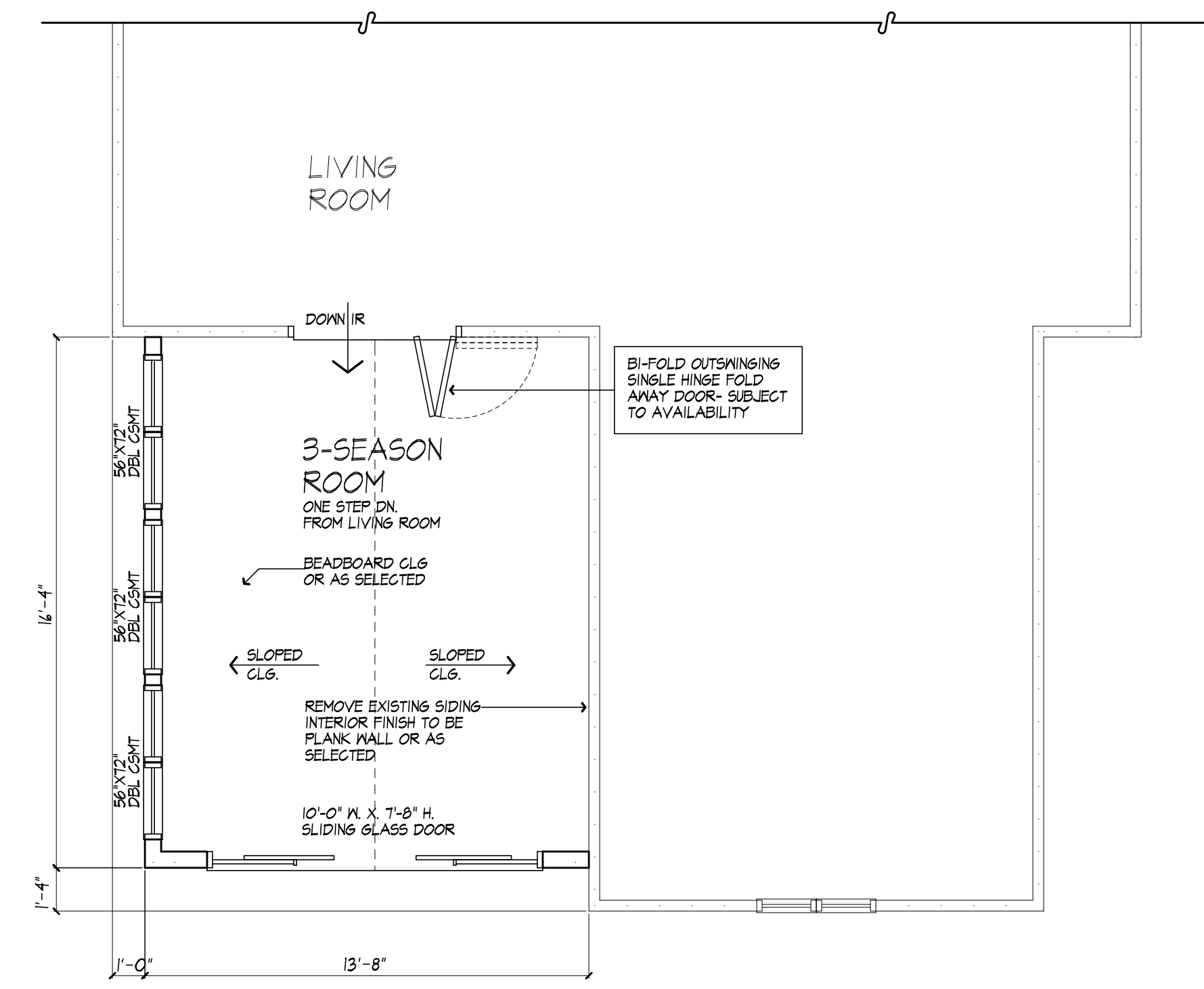
NOTES :

- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
SIZES: 8" BLK - 16" WIDE X 8" THK.
12" BLK - 20" WIDE X 8" THK.
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
- MIN. CONG. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.
PORCH: 3500 P.S.I.



FRAMING PLAN

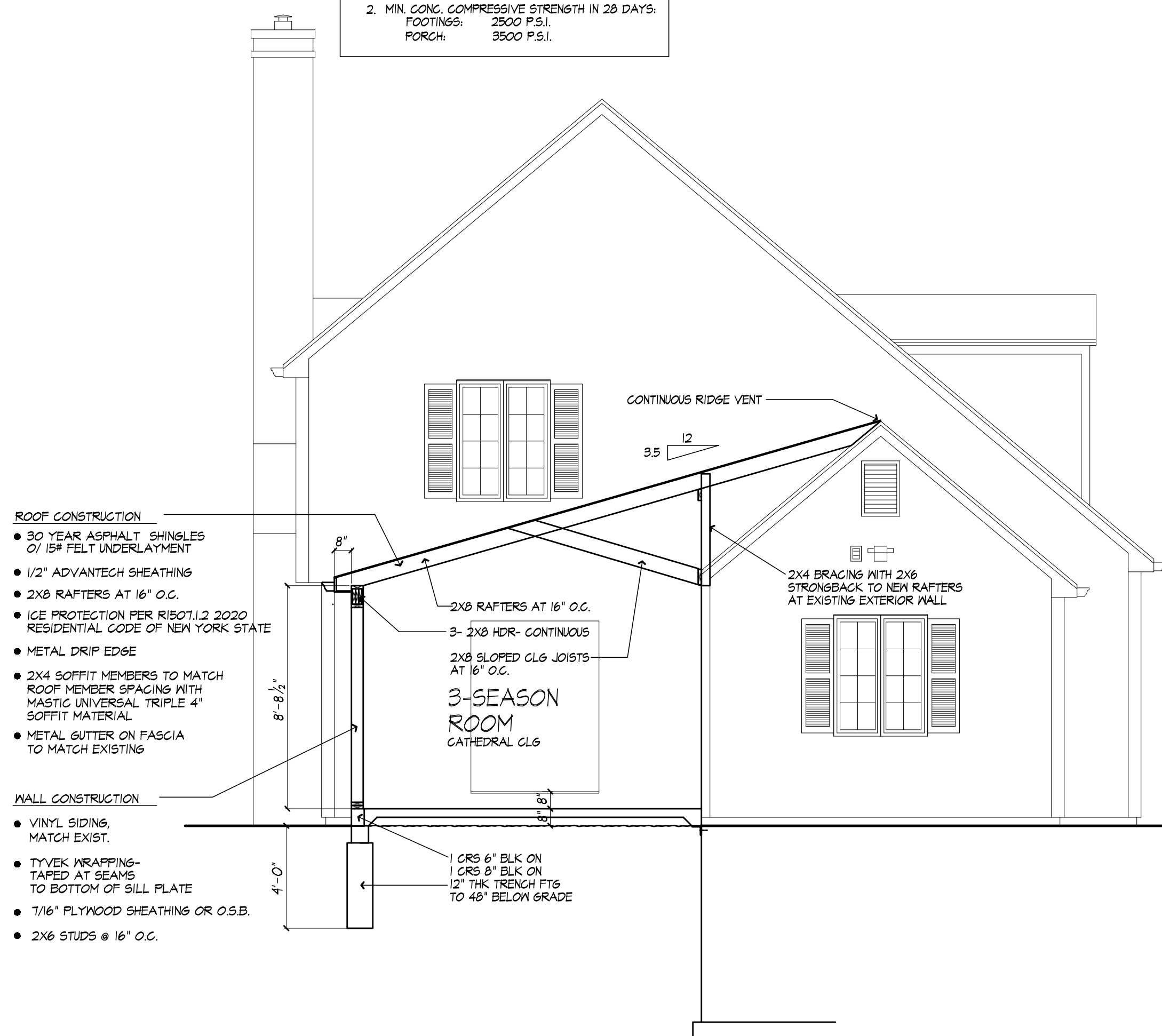
PROPOSED



FLOOR PLAN - PARTIAL

PROPOSED

ADDITION: 223 SQ. FT.



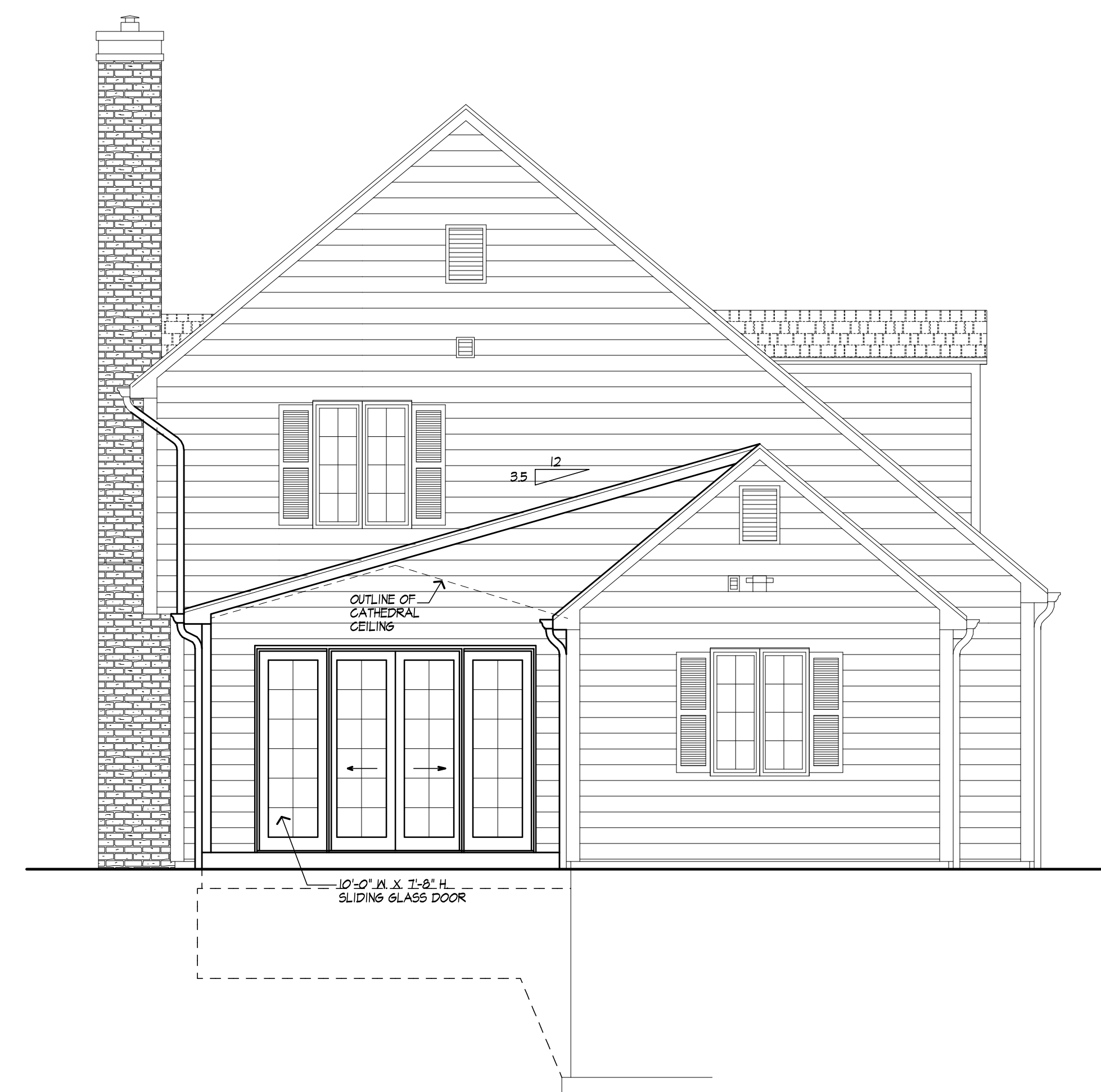
BUILDING SECTION

PROPOSED



NORTHWEST ELEVATION - PARTIAL

PROPOSED



SOUTHWEST ELEVATION

PROPOSED



MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
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PROJECT:

3-SEASON RM ADDITION

CLIENT:

TOM MUGHA
57 WASHINGTON RD.
PITTSFORD, NY

DRAWING:

ALL VIEWS

DRAWN:

JTL/PM

CHECKED:

PM

DATE:

FEBRUARY 2022

SCALE:

1/4"=1'-0"

JOB NO.:

21M4084

SHEET:

2

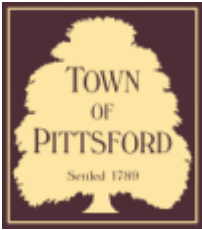
OF 2 SHEETS











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000039

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5 Black Wood Circle PITTSFORD, NY 14534

Tax ID Number: 178.03-5-41

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Wilshire Hill LLC

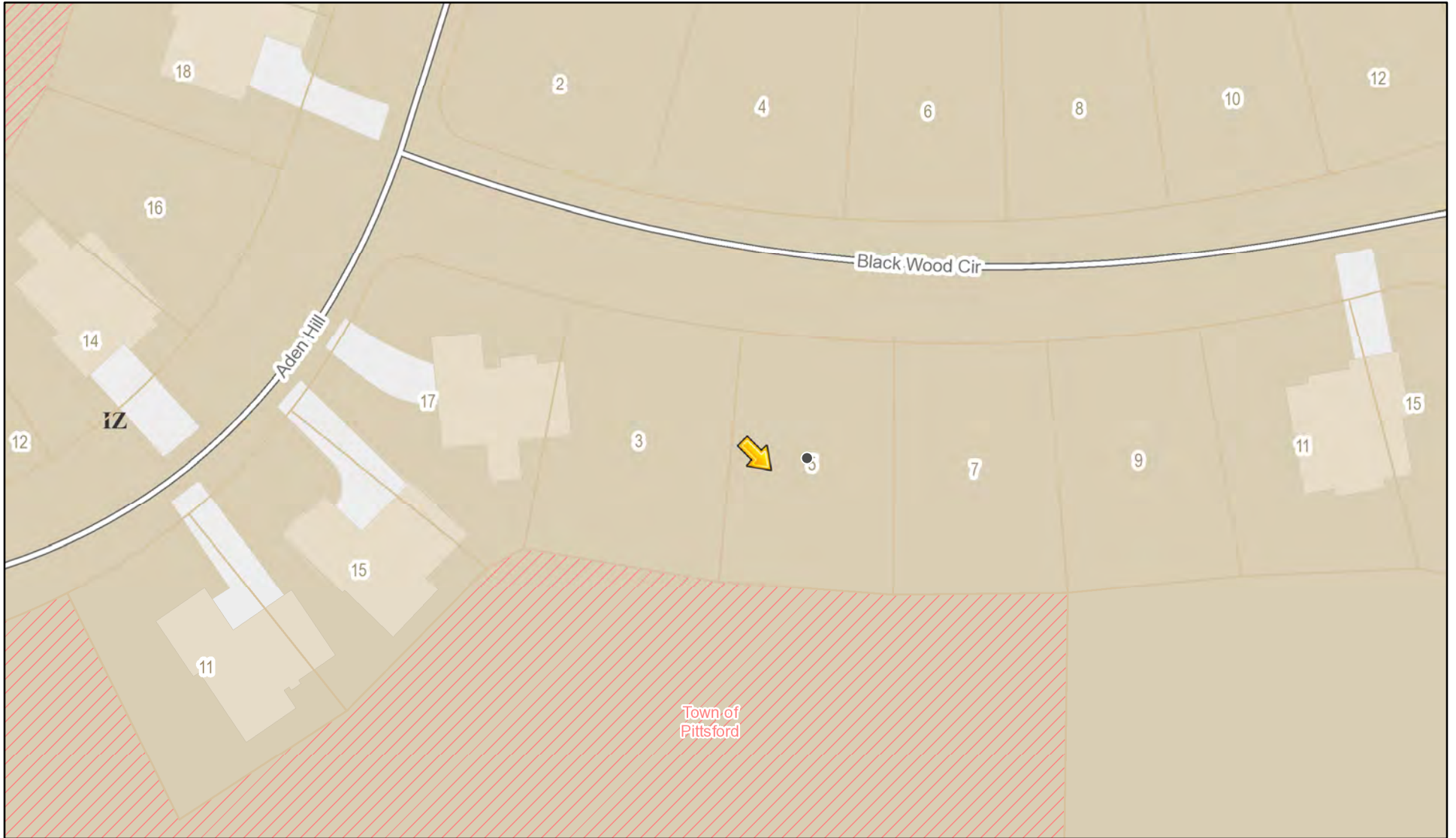
Application Type:

- | | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

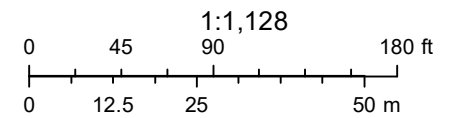
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1921 square feet and will be located in the Whilshire Hills Subdivision.

Meeting Date: March 10, 2022

RN Residential Neighborhood Zoning



Printed March 3, 2022



Town of Pittsford GIS

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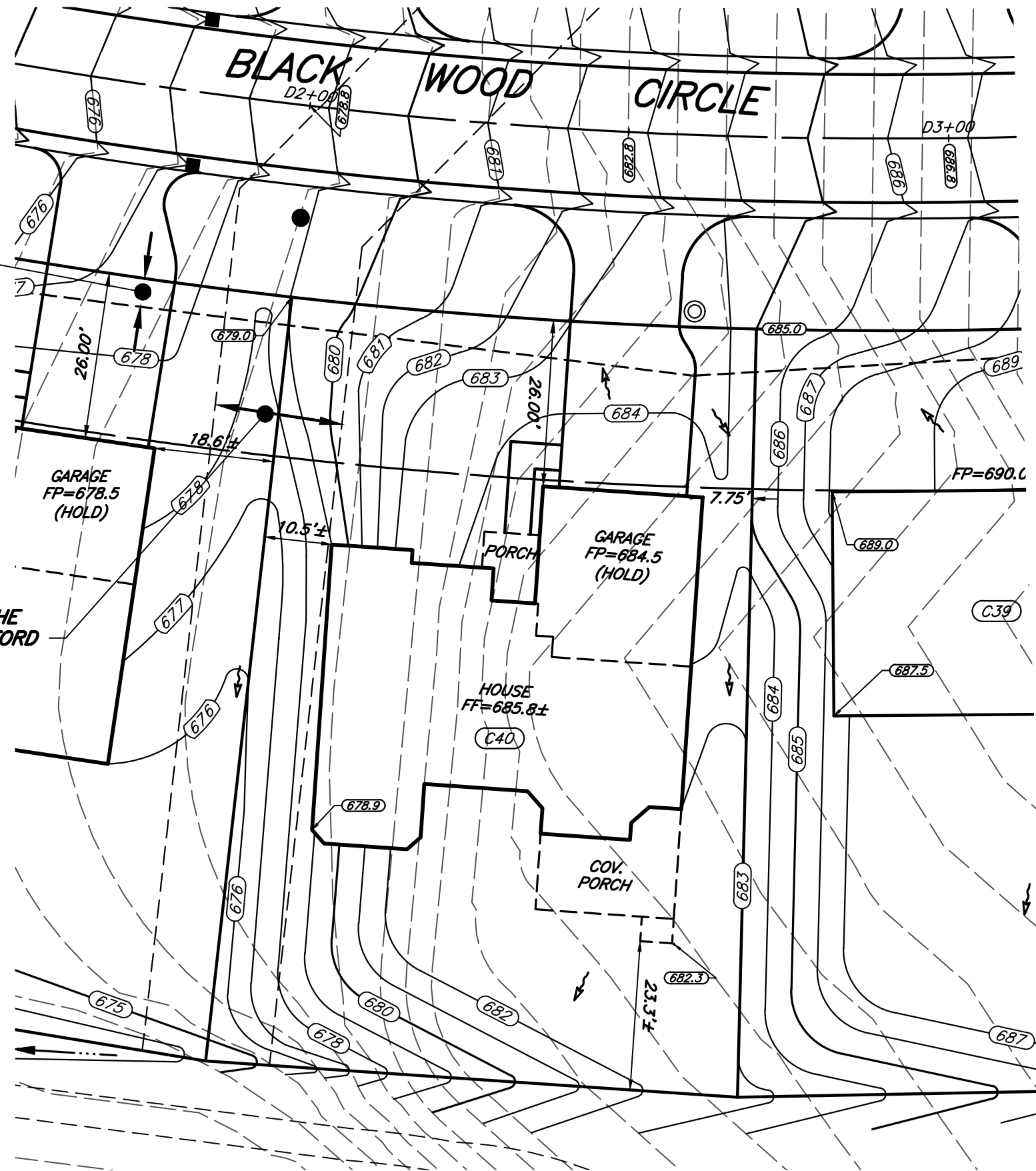


Aden Hill

File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C40\LOT C40.dwg, Plot Date: 2/16/2022, By: RTEDE

SANITARY SEWER
EASEMENT TO THE
TOWN OF PITTSFORD

STORM SEWER
EASEMENT TO THE
TOWN OF PITTSFORD



TITLE:

PLOT PLAN - LOT C40

WILSHIRE HILL - SECTION 3

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



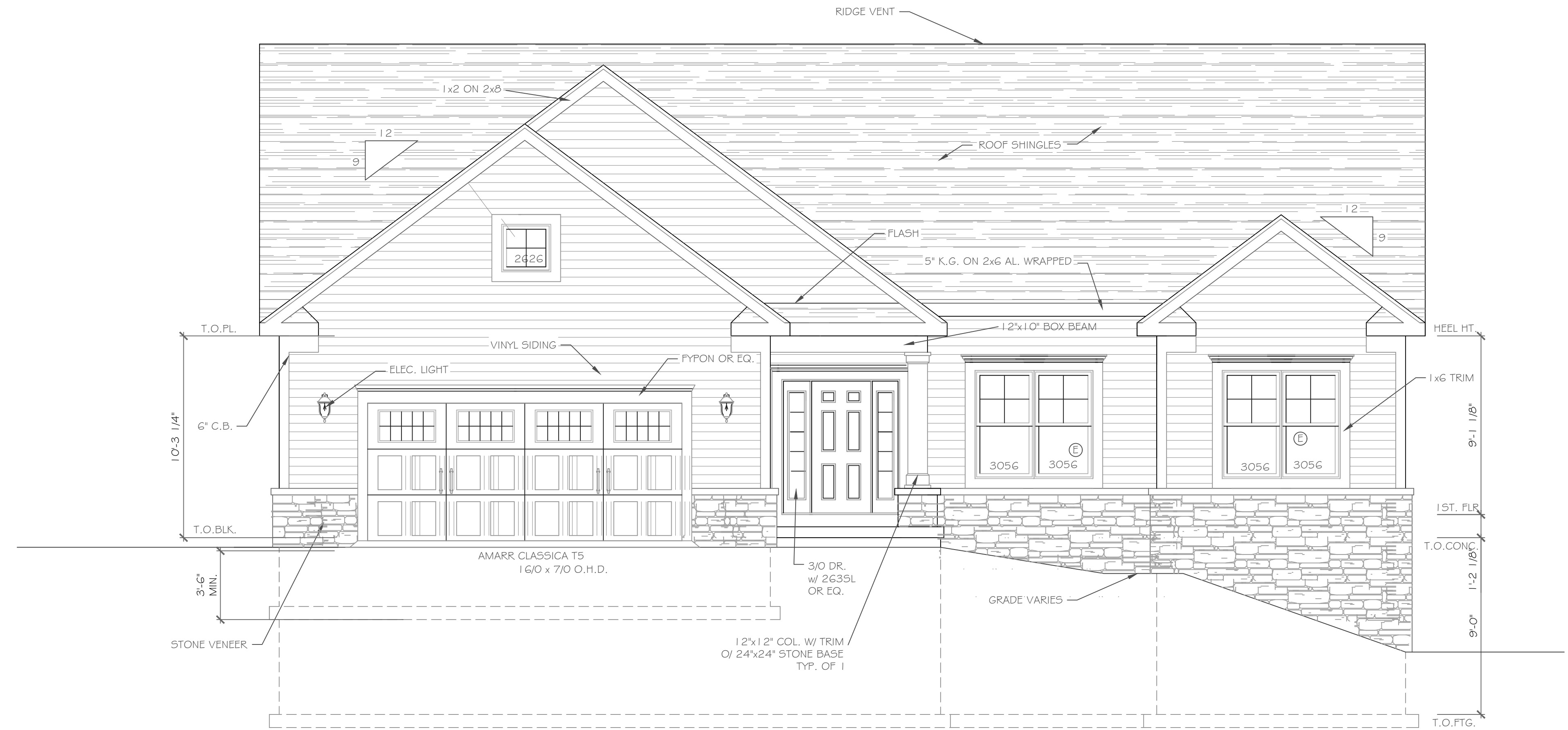
JOB NO: 0423-17
SCALE: 1" = 20'
DRAWN: RJT
DESIGNED: RJT
DATE: 2/16/22

	REQUIRED	PROVIDED
SETBACK		
FRONT	25'	26.0'
SIDE	7.5'	7.75'
REAR	10'	23.3' ±

DESIGN CRITERIA:

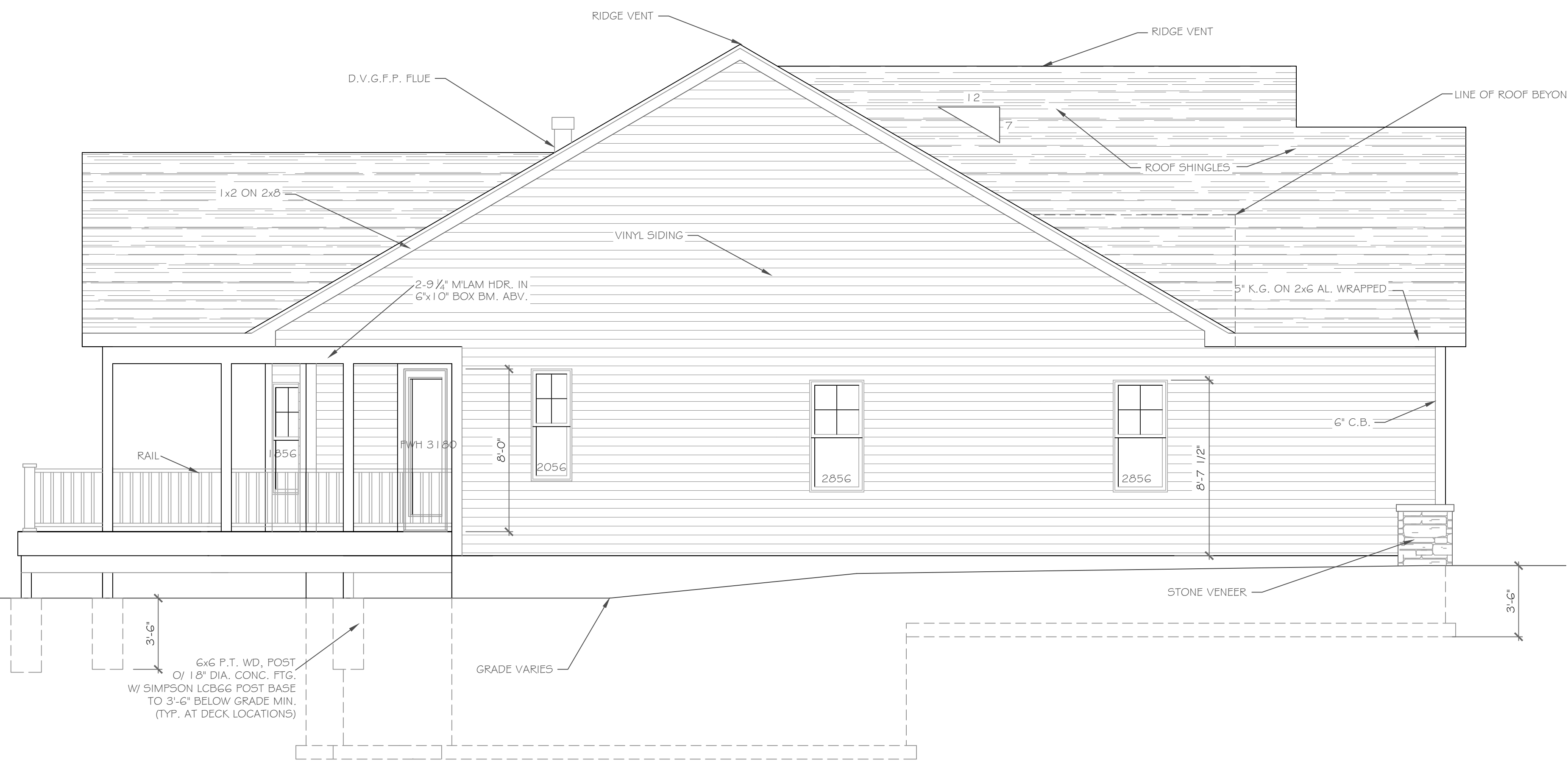
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R302.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 1921 S.F.

- NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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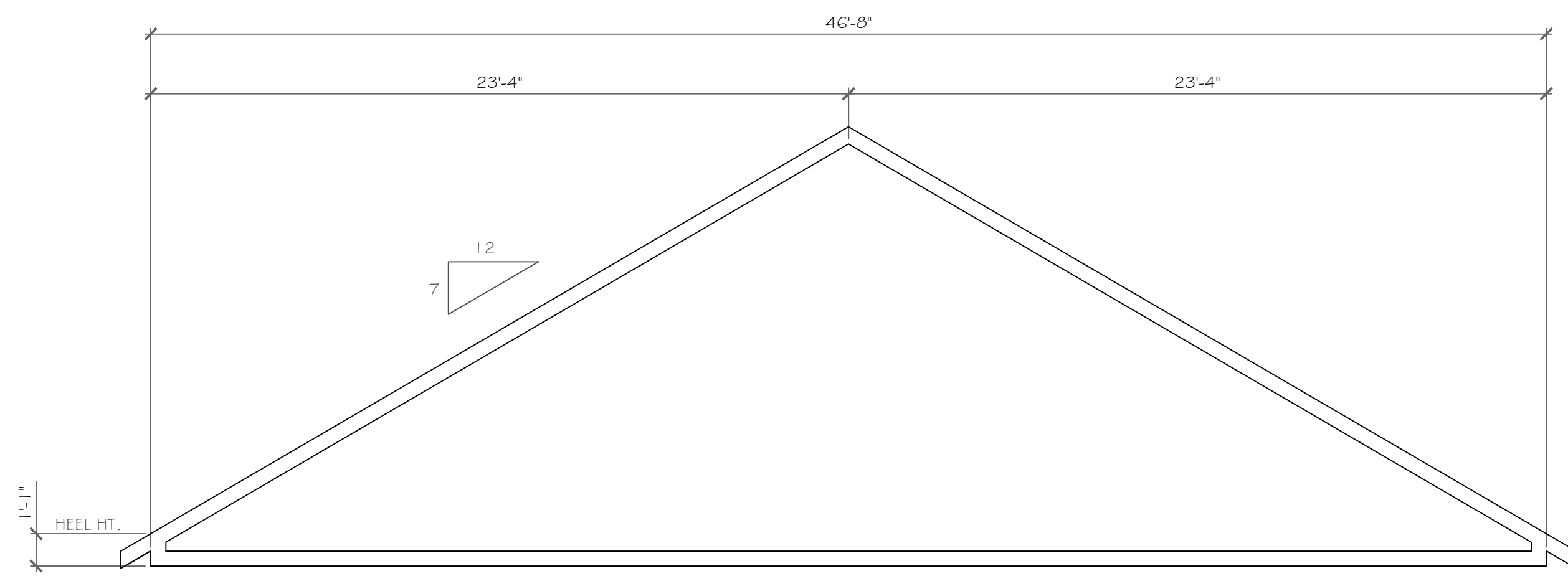
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations	PHASE: Construction Documents

PROJECT: Lot 40C, Wishire Hill Pittsford, New York	CLIENT: Pride Mark Homes, Inc.
JOB NO. - A21-077	DATE: February 2022

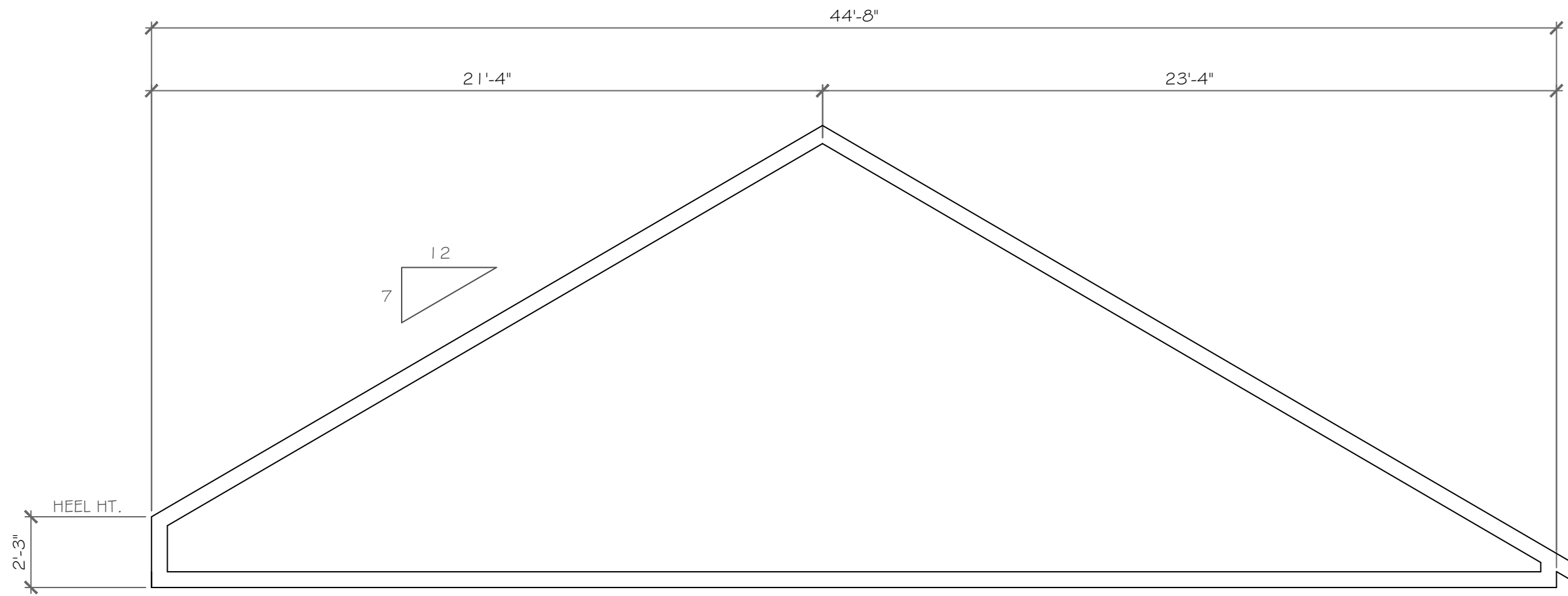
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DRAWING NO. -
A-1



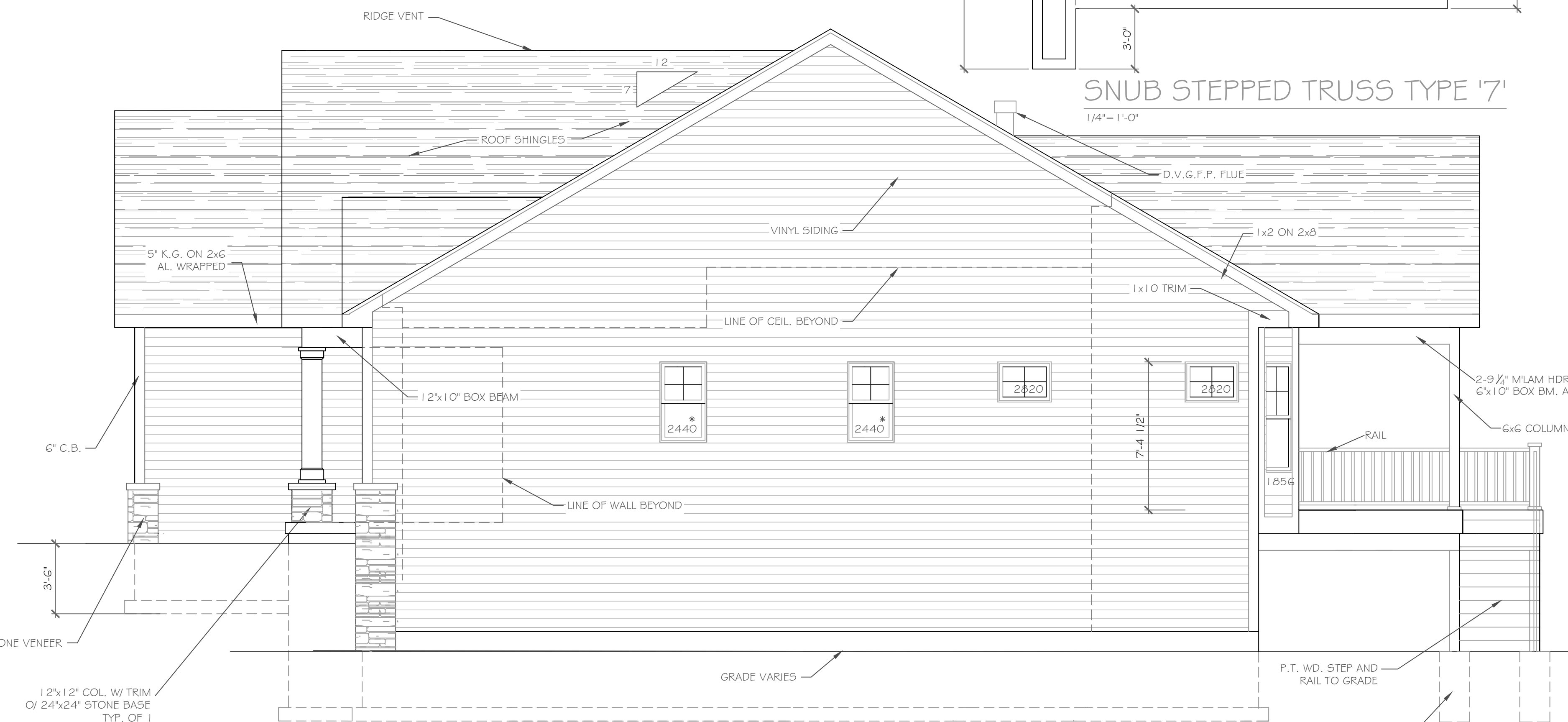
TRUSS TYPE '3'

1/4" = 1'-0"



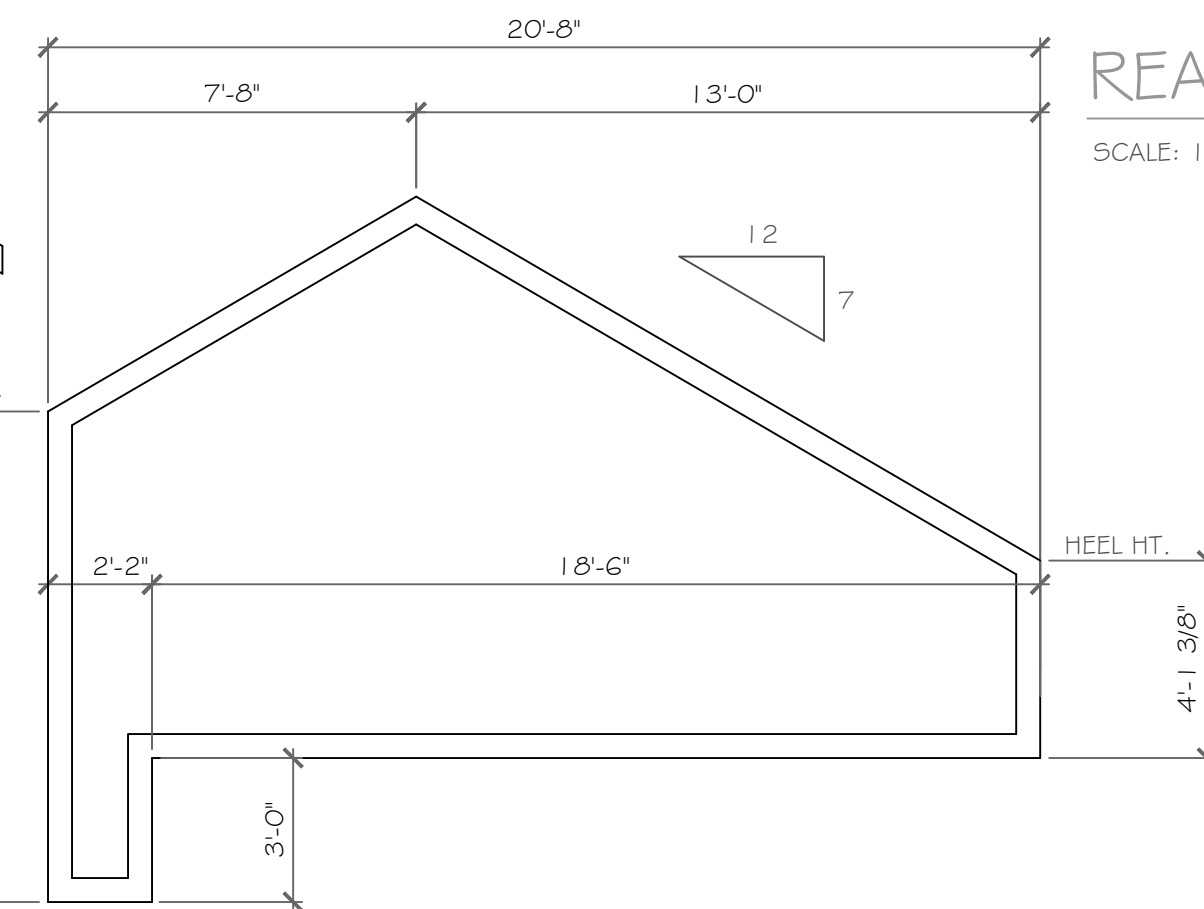
TRUSS TYPE '4'

1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

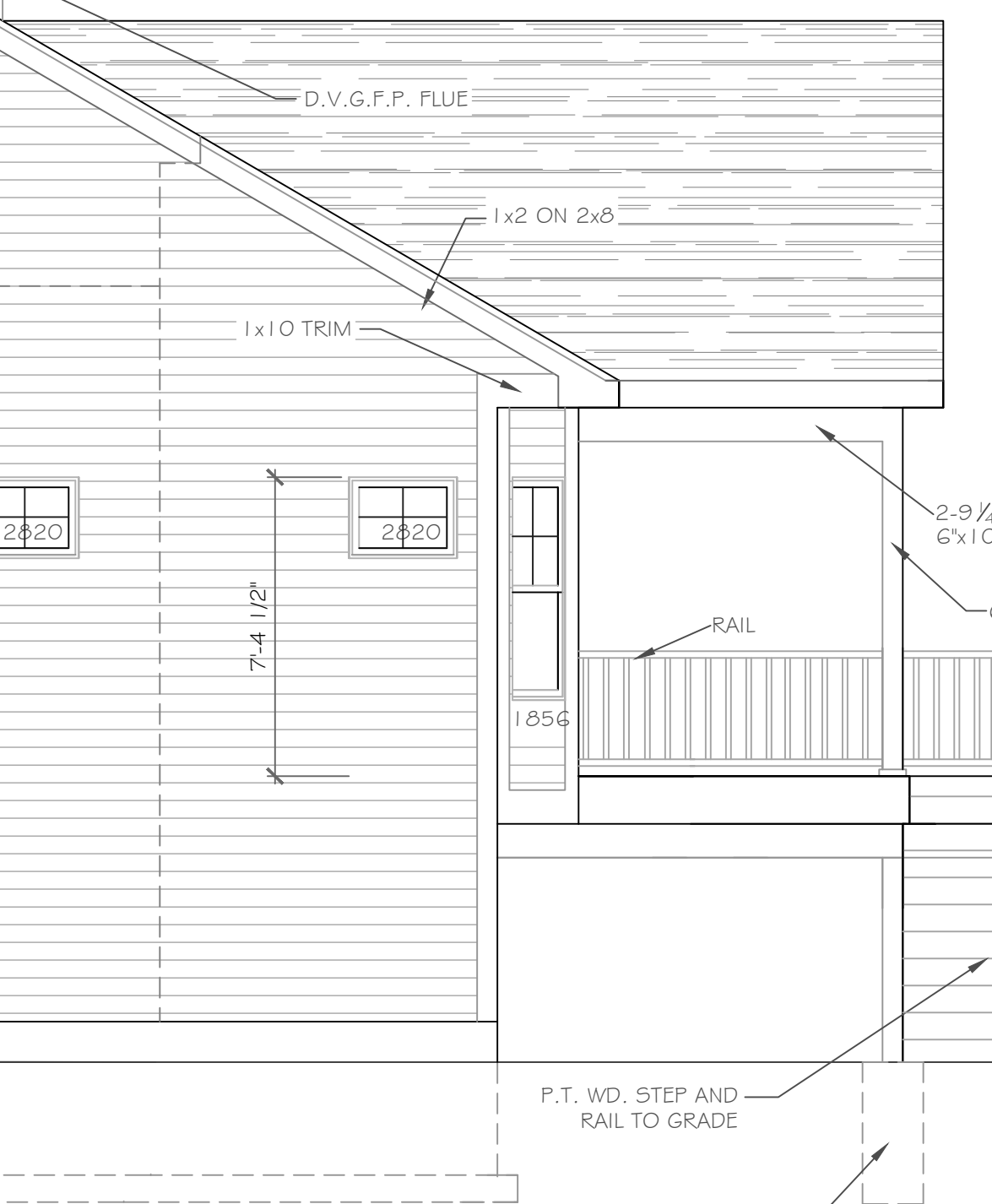


REAR ELEVATION

SCALE: 1/4" = 1'-0"

SNUB STEPPED TRUSS TYPE '7'

1/4" = 1'-0"



TRUSS TYPE '7'

SCALE: 1/4" = 1'-0"

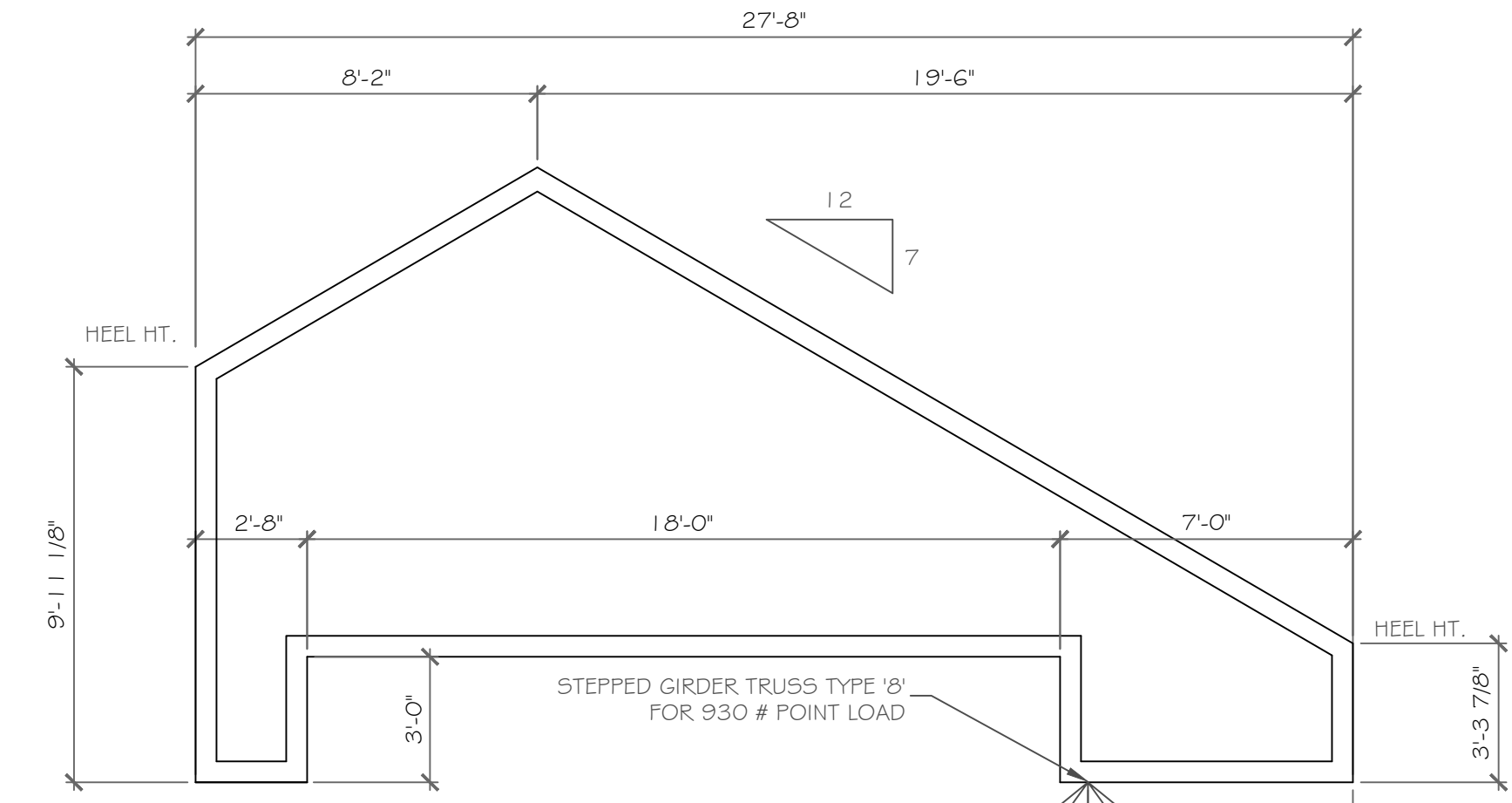


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

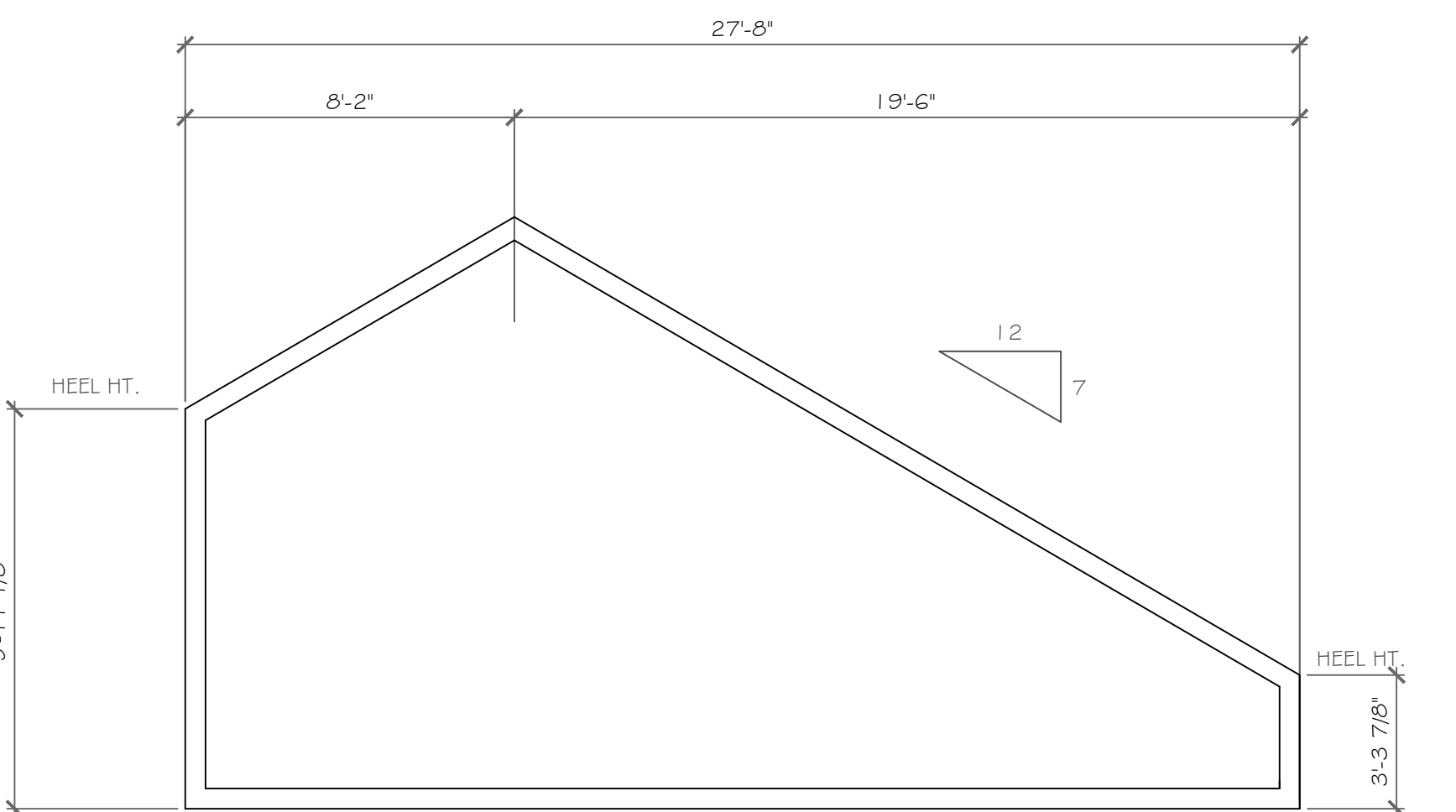
NOTE:
CONC. FTG. TO MAINTAIN
MIN. 3'-6" BELOW GRADE #
BELOW ALL WINDOW #
BELOW ALL WINDOW #
DOOR OPENINGS

6x6 P.T. WD. POST
OF 18" DIA. CONC. FTG.
W/ SIMPSON LCB66 POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LOCATIONS)



STEPPED TRUSS TYPE '8'

1/4" = 1'-0"



TRUSS TYPE '9'

1/4" = 1'-0"

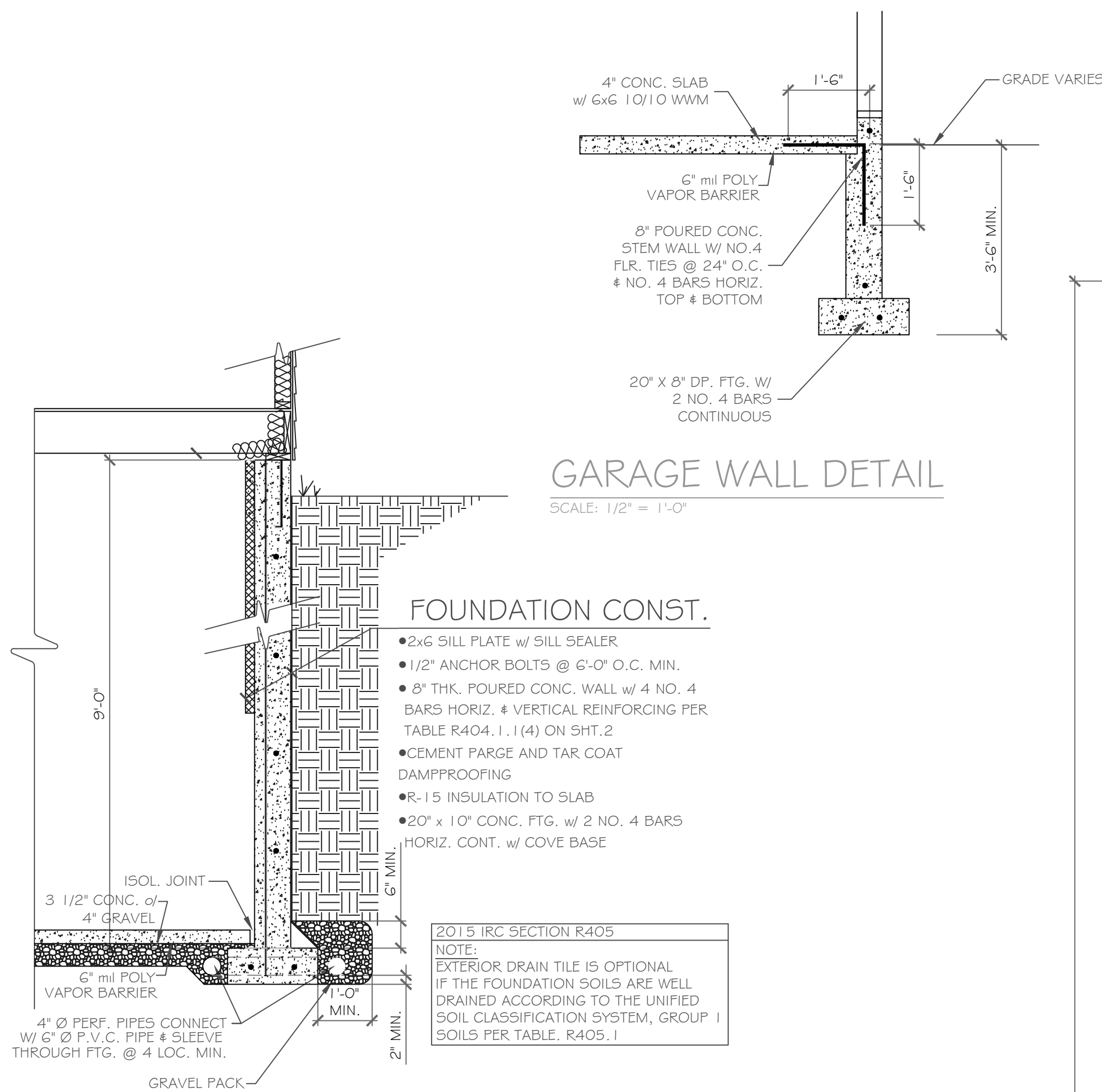
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REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT:	Lot 40C, Wishire Hill Pittsford, New York
CLIENT:	Pride Mark Homes, Inc.
DRAWING TITLE:	Elevations
PHASE:	Construction Documents
JOB NO.:	A21-077
DATE:	February 2022

PROJECT:	Lot 40C, Wishire Hill Pittsford, New York
CLIENT:	Pride Mark Homes, Inc.
DRAWING TITLE:	Elevations
PHASE:	Construction Documents
JOB NO.:	A21-077
DATE:	February 2022

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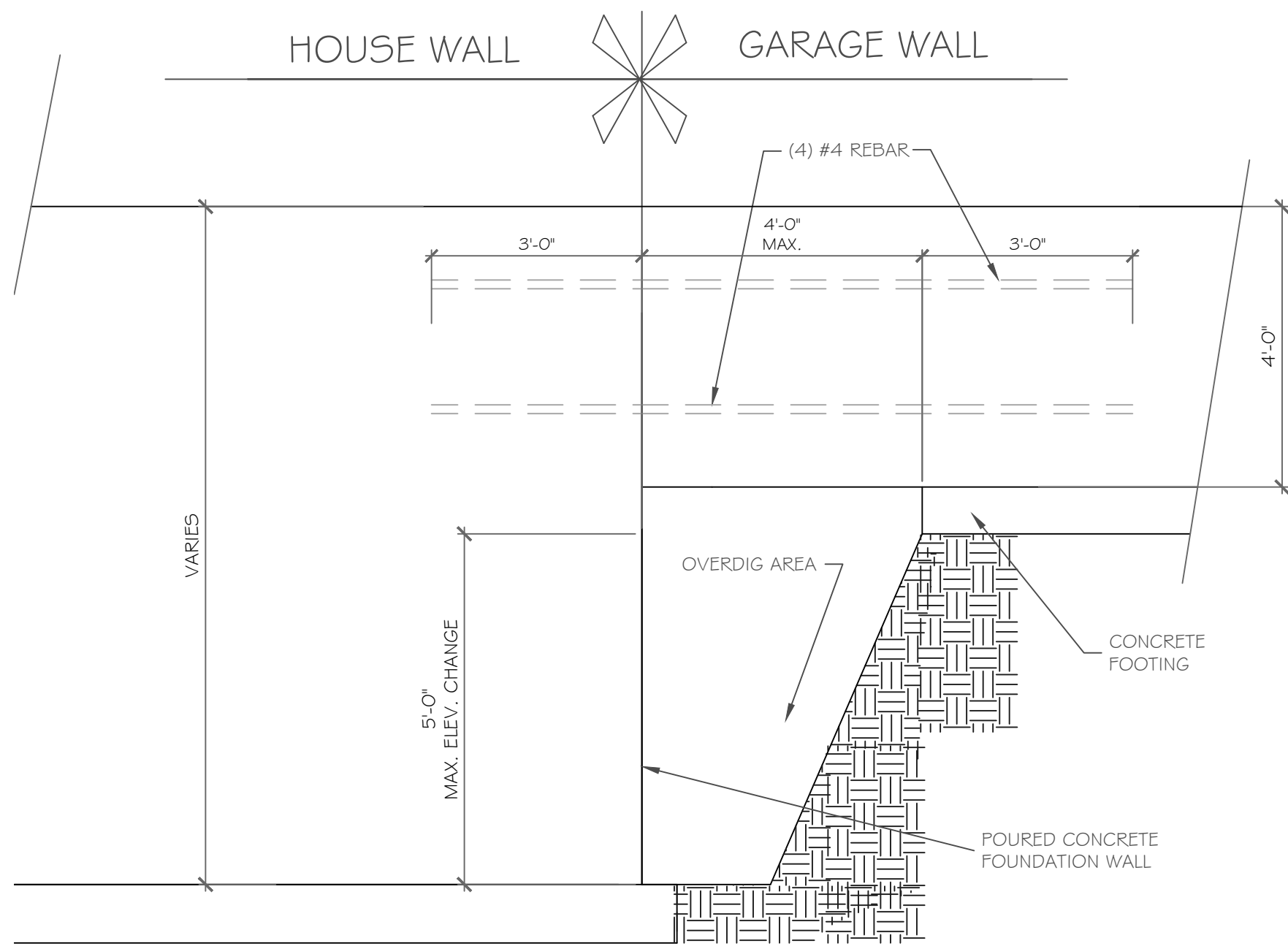
GARAGE WALL DETAIL
SCALE: 1/2" = 1'-0"

FOUNDATION CONST.

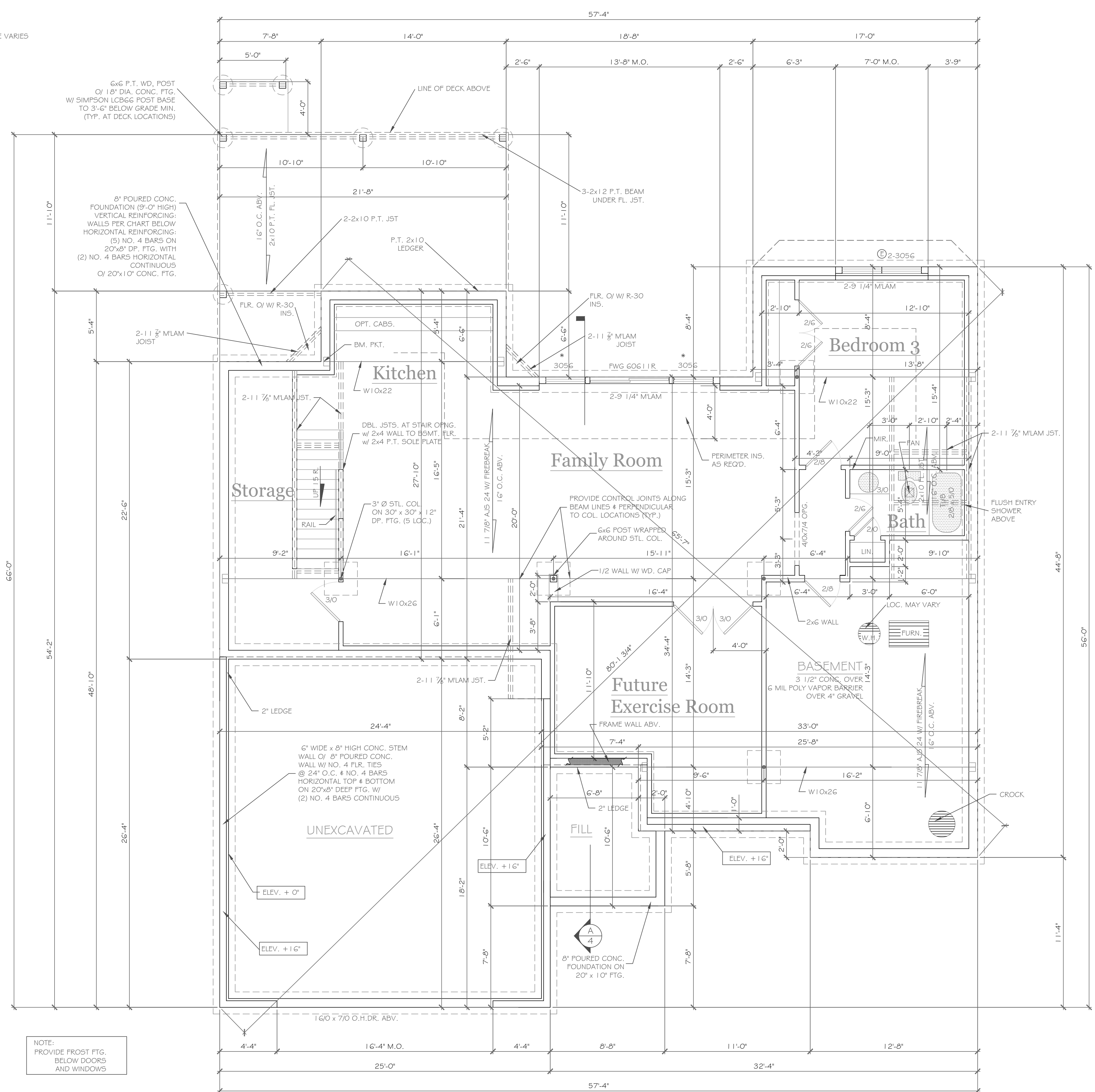
- 2x6 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 8" THK. POURED CONC. WALL w/ 4 NO. 4 BARS HORIZ. & VERTICAL REINFORCING PER TABLE R404.1.1 (4) ON SHT. 2
- CEMENT PARGE AND TAR COAT DAMPPROOFING
- R-15 INSULATION TO SLAB
- 20" x 10" CONC. FTG. w/ 2 NO. 4 BARS HORIZ. CONT. w/ COVE BASE

2015 IRC SECTION R405
NOTE:
EXTERIOR DRAIN TILE IS OPTIONAL IF THE FOUNDATION SOILS ARE WELL DRAINED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS PER TABLE, R405.1

TYPICAL POURED WALL DETAILS
SCALE: 1/2" = 1'-0"



POURED WALL JUMP FOOTING DETAIL
SCALE: 1/2" = 1'-0"



BASEMENT & FOUNDATION PLAN

1/4" = 1'-0"

1061 sf Finished Area

- NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. BLK. LEGEND:

[Symbol]	ELEV. = 0'
[Symbol]	ELEV. = (-) 8'
[Symbol]	ELEV. = (-) 1'-4"
[Symbol]	ELEV. = (-) 7'-0"
[Symbol]	ELEV. = (-) 9'-0"

PARTIAL TABLE R404.1.2(8)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,k,n,o)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (INCHES)			
		Soil classes (a) & design lateral soil (psf per foot of depth)	Soil classes (a) & design lateral soil (psf per foot of depth)	Soil classes (a) & design lateral soil (psf per foot of depth)	
9	4	GW, GP, SW and SP 30' soils	NR	NR	
	5	GM, GC, SM, SM-SC and ML 45' soils	NR	NR	
	6	NR	NR	NR	
	7	NR	#5 at 37" o.c.	#6 at 39" o.c.	
	8	#5 at 41" o.c.	#6 at 39" o.c.	#6 at 29" o.c.	
	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.	
			SH, ML-CL and inorganic CL 60 soils	NR	NR
				#6 at 39" o.c.	
				#6 at 38" o.c.	

- b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3, 7.6 and Table R404.1.2(9).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
m. See Table R608.3 for tolerance from nominal thickness permitted for flat walls.
n. The use of this Table shall be prohibited for soil classifications not shown.

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REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PHASE:
Construction Documents

PROJECT:
Lot 40C, Wishire Hill
Pittsford, New York

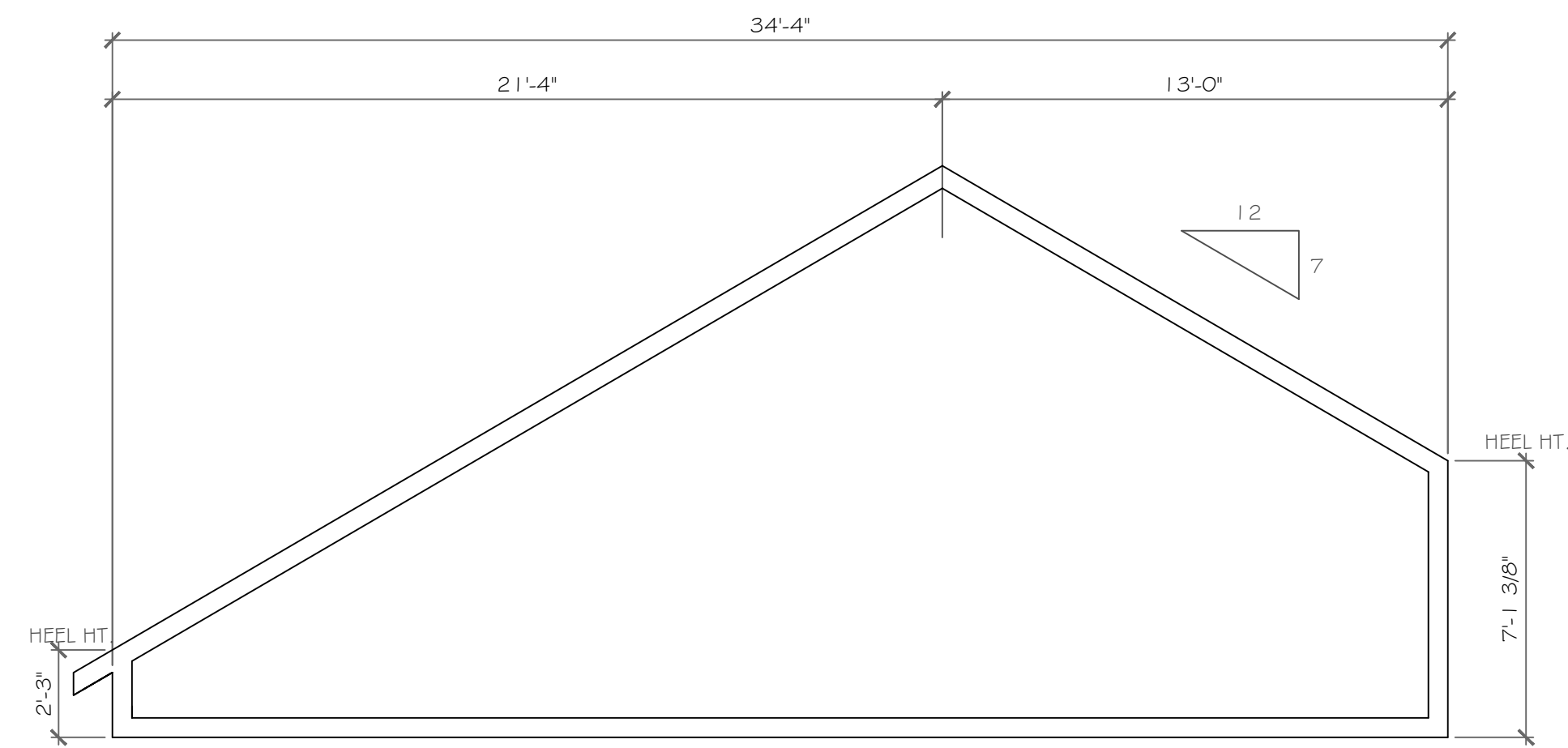
CLIENT:
Pride Mark Homes, Inc.

JOB NO.:
A21-077

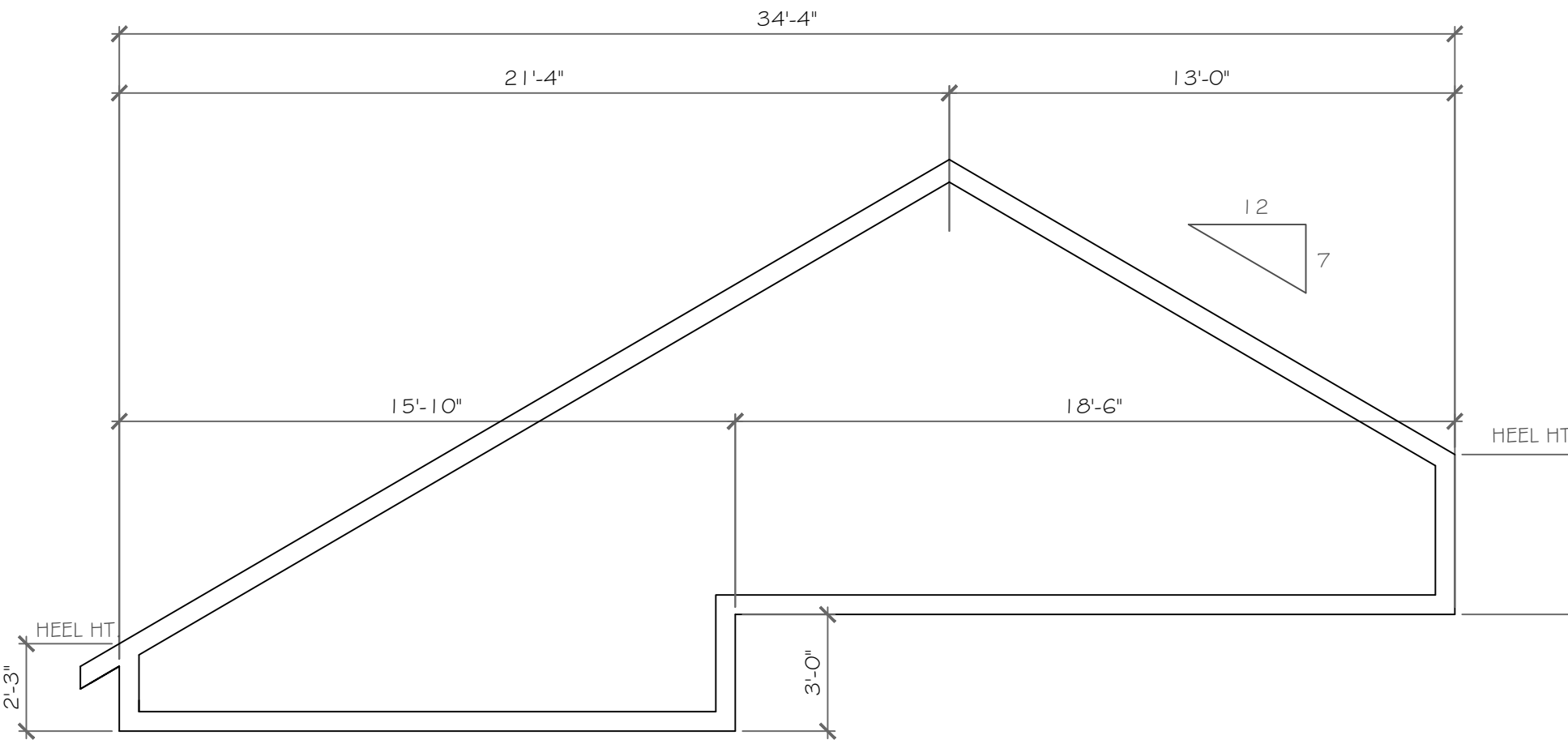
DATE:
February 2022

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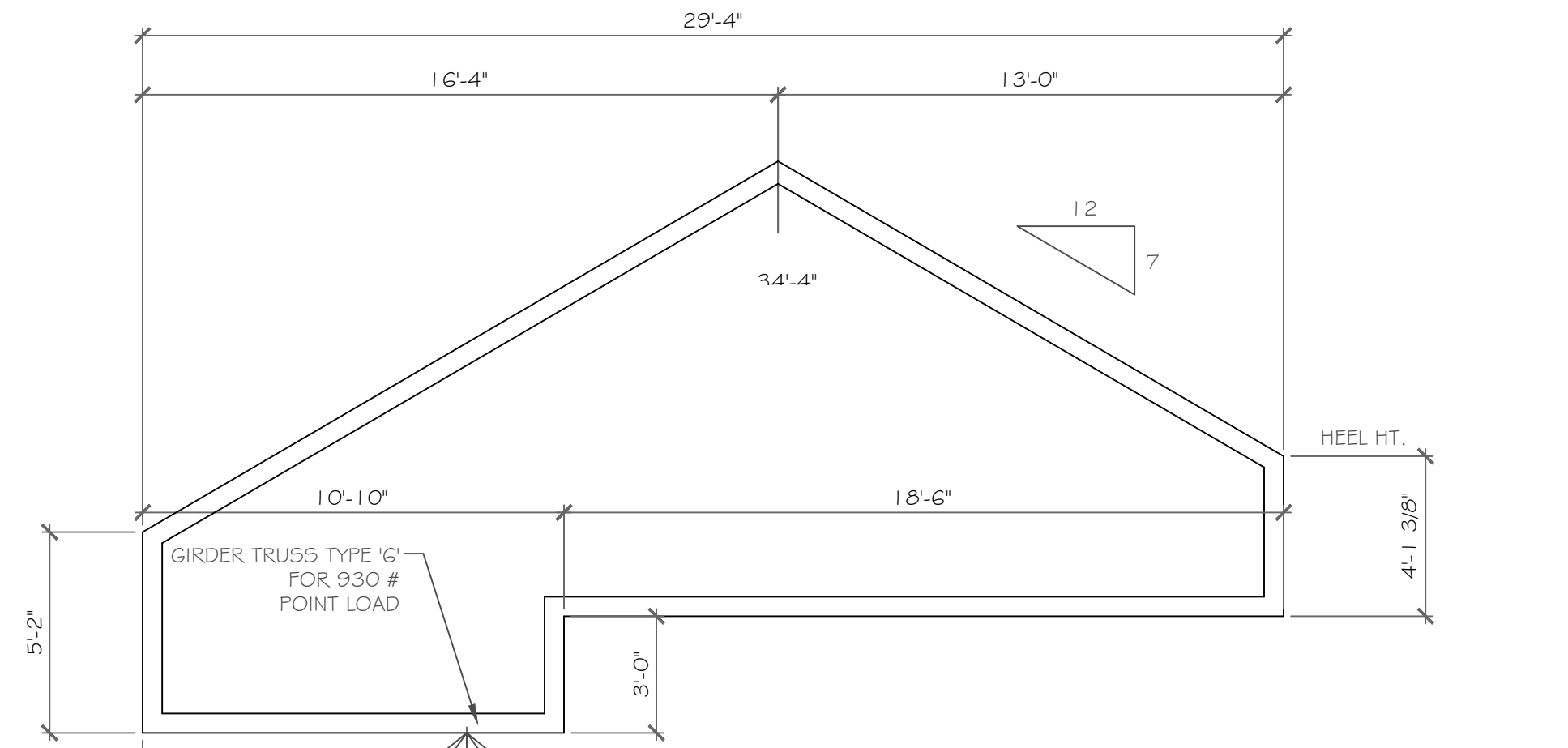
DRAWING NO. -
A-2



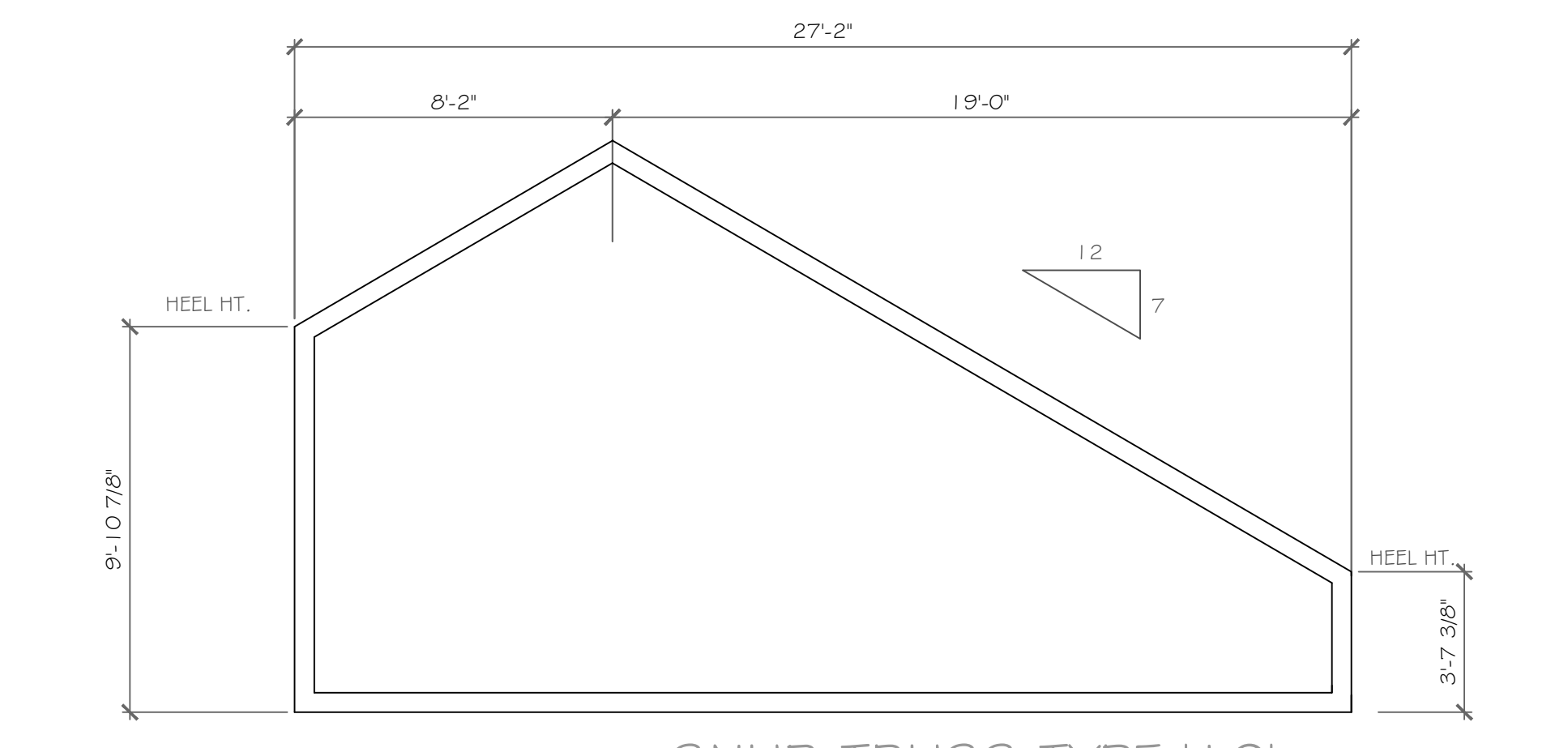
TRUSS TYPE '5'
1/4" = 1'-0"



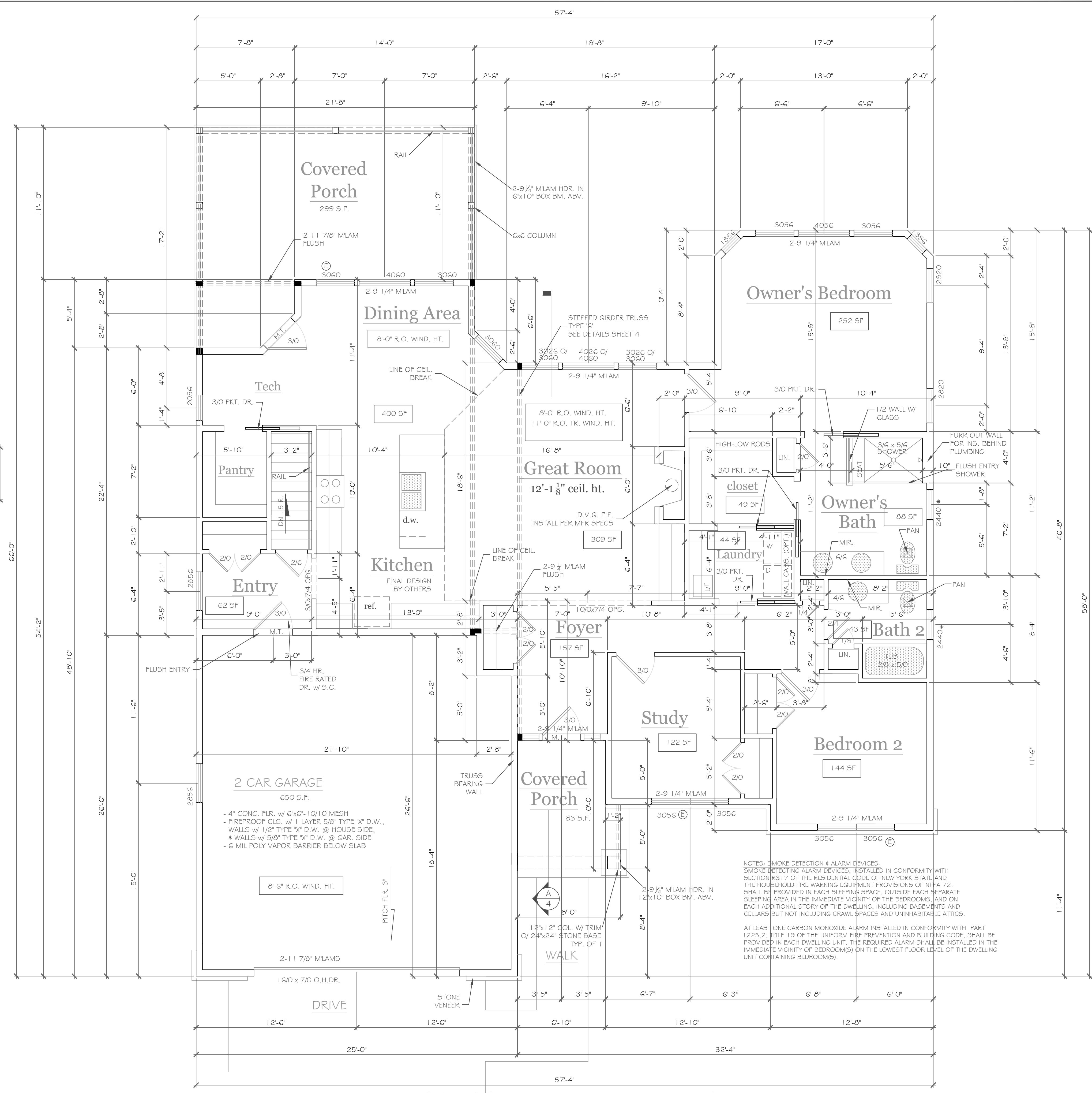
STEPPED TRUSS TYPE '5A'
1/4" = 1'-0"



STEPPED TRUSS TYPE '6'
1/4" = 1'-0"



SNUB TRUSS TYPE '10'
1/4" = 1'-0"



FIRST FLOOR PLAN 1921 s.f.
1/4" = 1'-0"

NOTES:
EXTERIOR WALLS TO BE 2 x 6 - 1 1/2" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 1 1/2" O.C. U.O.N.
PROVIDE SOLID BULK. (3 STD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
APPLIANCES PER CONTRACT

WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
CEILING HTS. TO BE 9'-1 1/8" U.O.N.
ANGLES TO BE 12/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
⊕ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
PER SECTION R310 OF THE RES. CODE OF NYS
* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. UNTELS OVER 4' LONG

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REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT-	Lot 40C, Wishire Hill Pittsford, New York
DRAWING TITLE-	First Floor Plan
CLIENT-	Pride Mark Homes, Inc.
PHASE-	Construction Documents
DATE-	February 2022
JOB NO. -	A21-077

PROJECT-	Lot 40C, Wishire Hill Pittsford, New York
DRAWING TITLE-	First Floor Plan
CLIENT-	Pride Mark Homes, Inc.
PHASE-	Construction Documents
DATE-	February 2022
JOB NO. -	A21-077

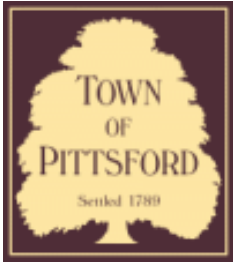
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e-mail: CKHennessey@frontnet.net

DRAWING NO. -	A-3
---------------	-----









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000036

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 59 Skylight Trail ,
Tax ID Number: 192.06-2-13
Zoning District:
Owner: S & J Morrell, Inc.
Applicant: S & J Morrell, Inc.

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 23 (59 Skylight Trail) will be approximately 2000 sq. ft. and Lot 24 (57 Skylight Trail) will be 1852 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: March 10, 2022



29

30

31

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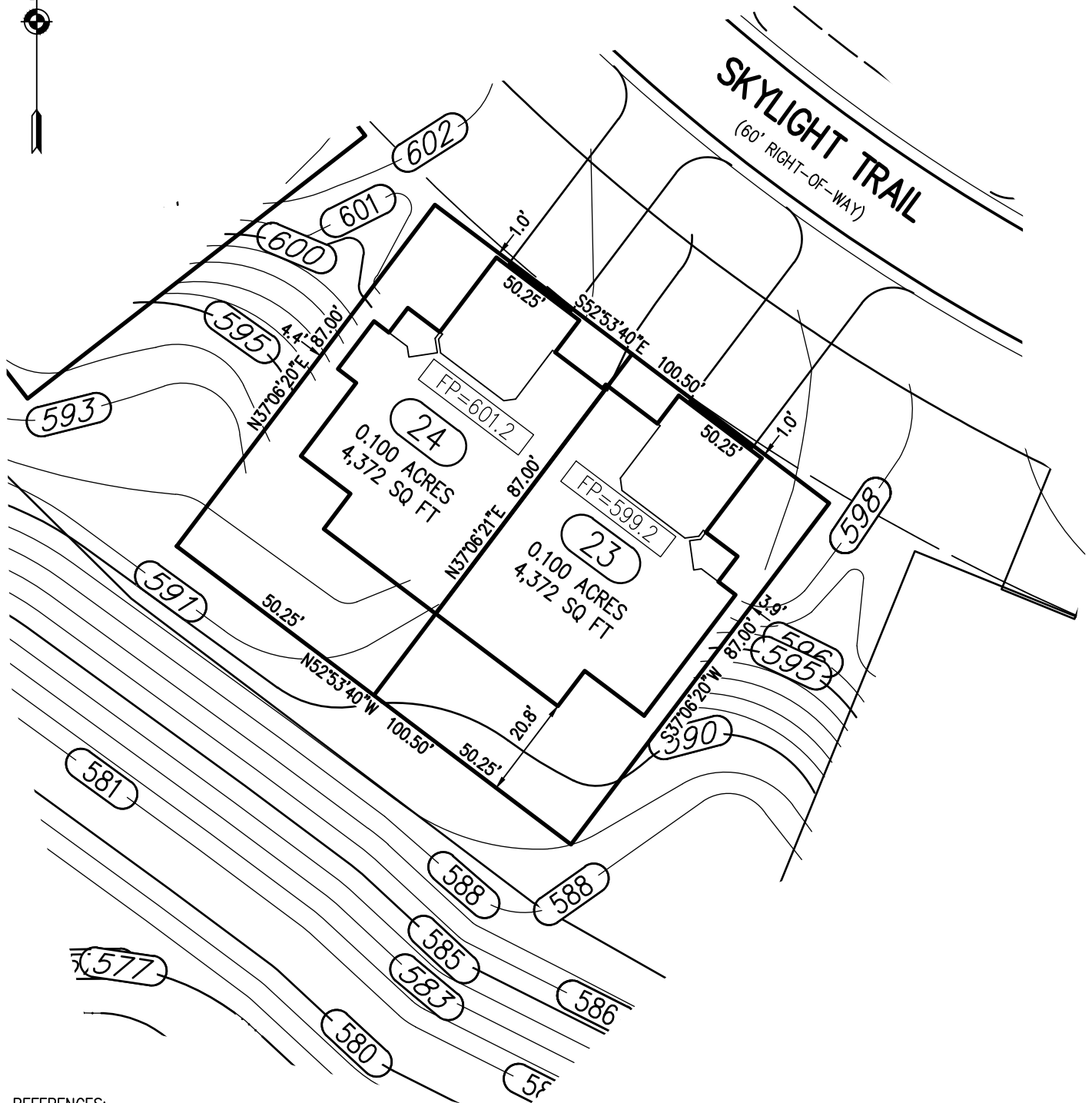
37

40

651

240

PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
 FRONT 0' (LOT) 25' (R.O.W.)
 SIDE 0'
 REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN, PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 17, 2021.

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BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 PHONE 585-377-7360
 FAX 585-377-7309

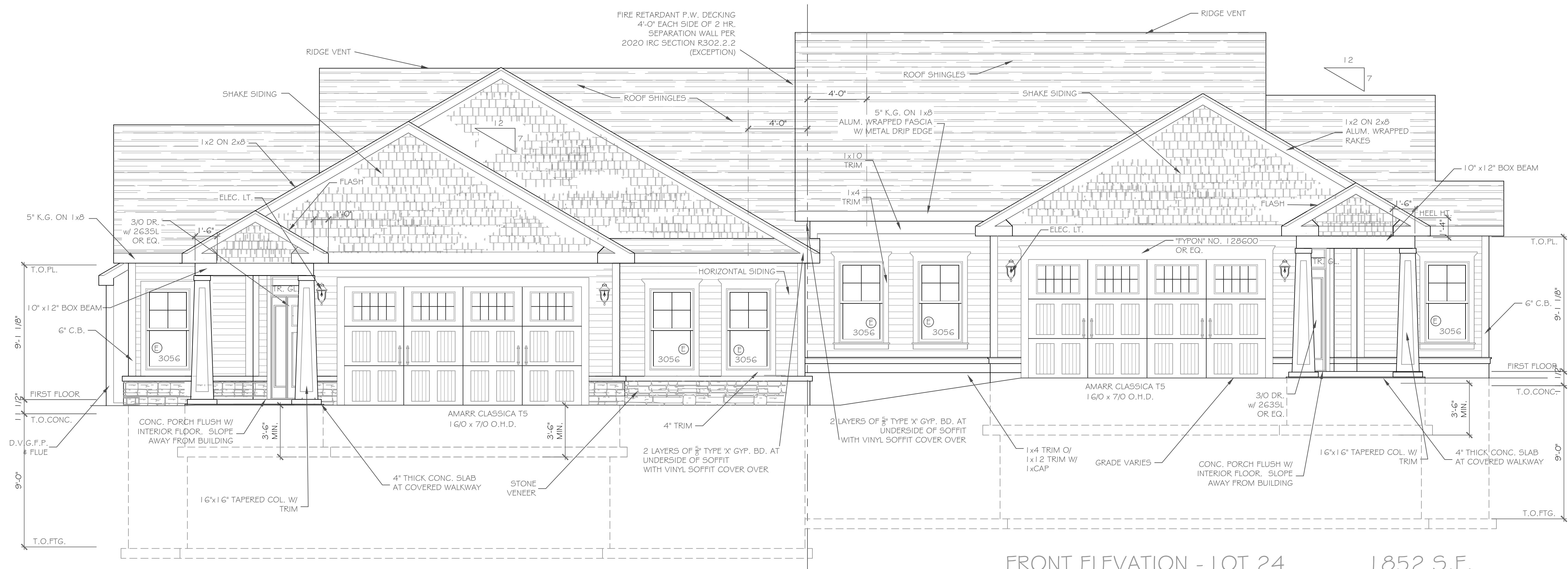
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**LOTS 23 & 24 ALPINE RIDGE SUBDIVISION SECTION 2
 TOWN OF PITTSFORD MONROE COUNTY NEW YORK**

DRAWN BY: MRP
 DATE: 2-14-22

SCALE: 1"=30'
 DWG NO: 2688-27





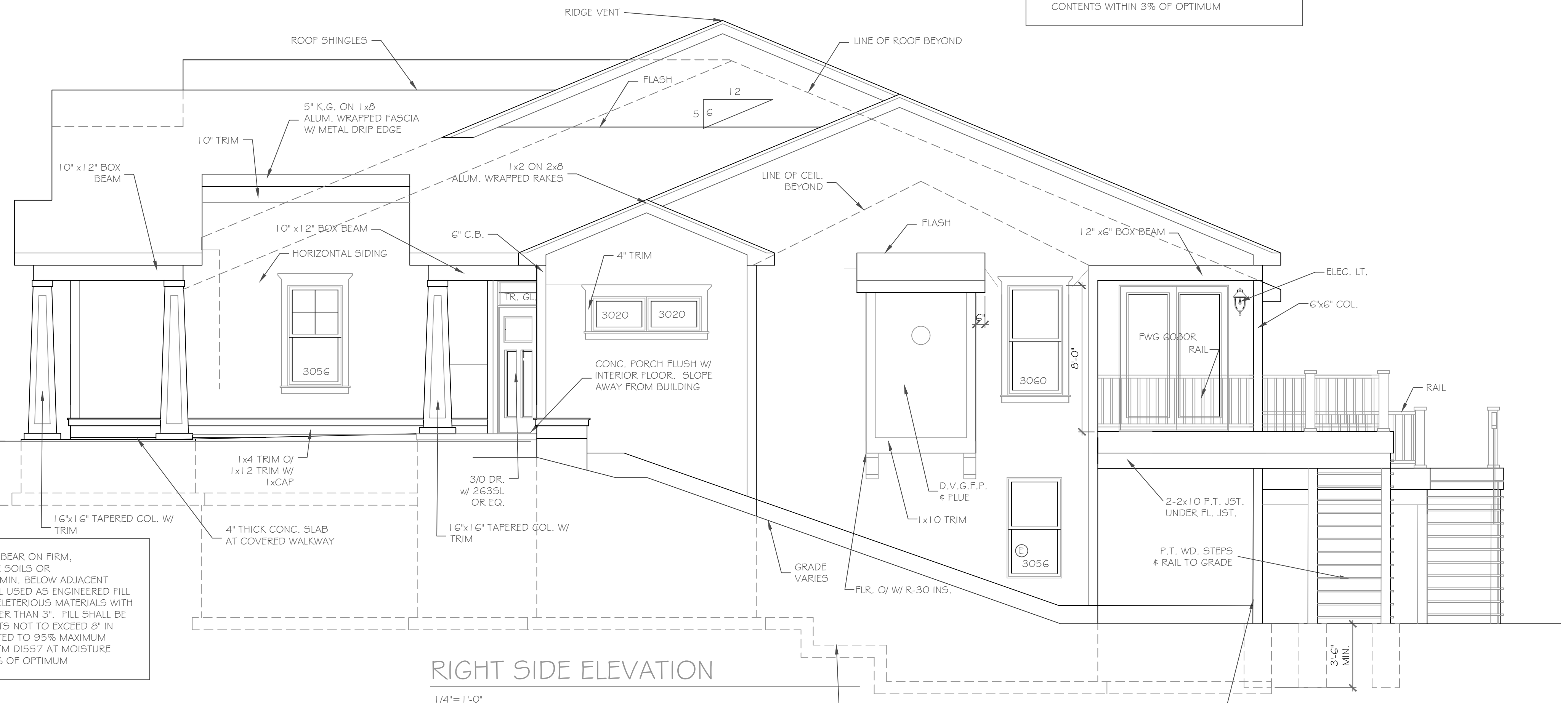
FRONT ELEVATION - LOT 23 2000 S.F.

1/4" = 1'-0"
 NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

FRONT ELEVATION - LOT 24 1852 S.F.

1/4" = 1'-0"
 NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM



RIGHT SIDE ELEVATION LOT 24

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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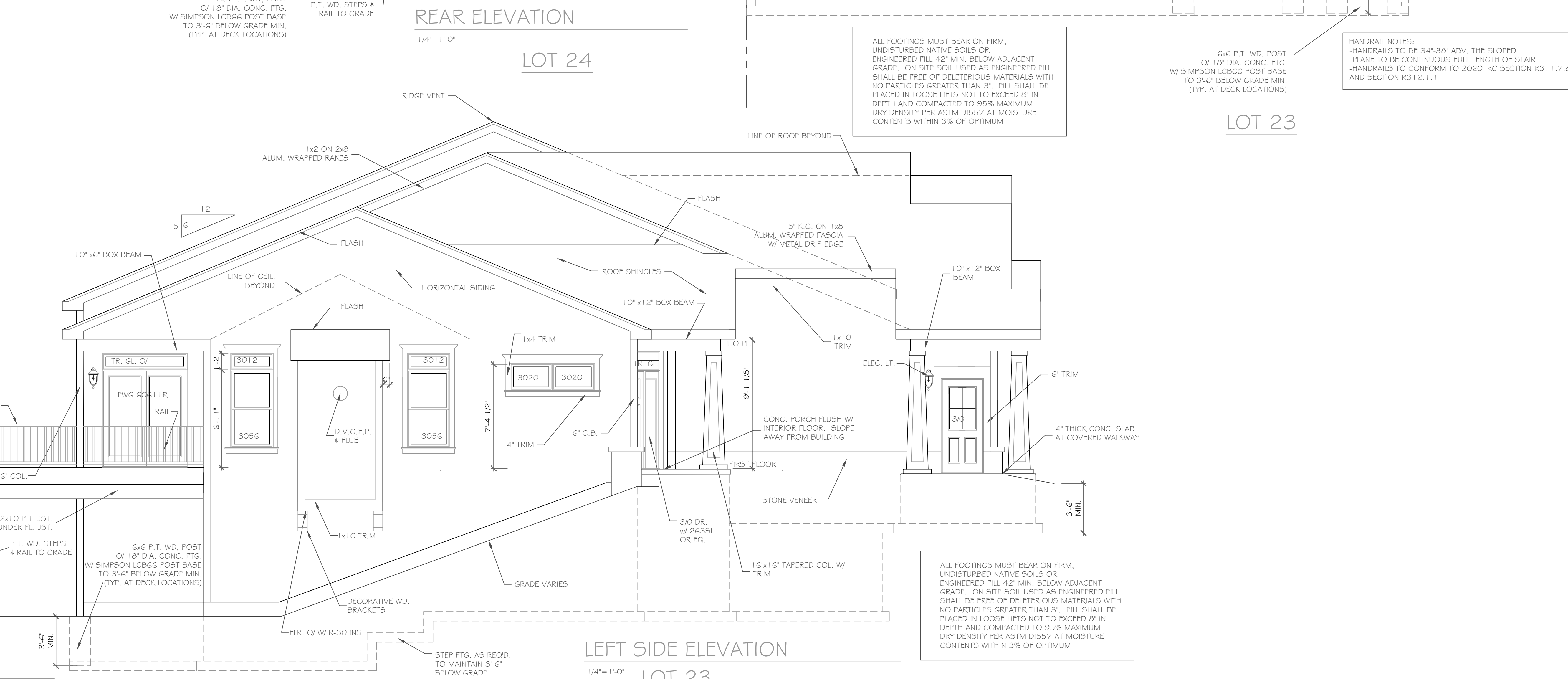
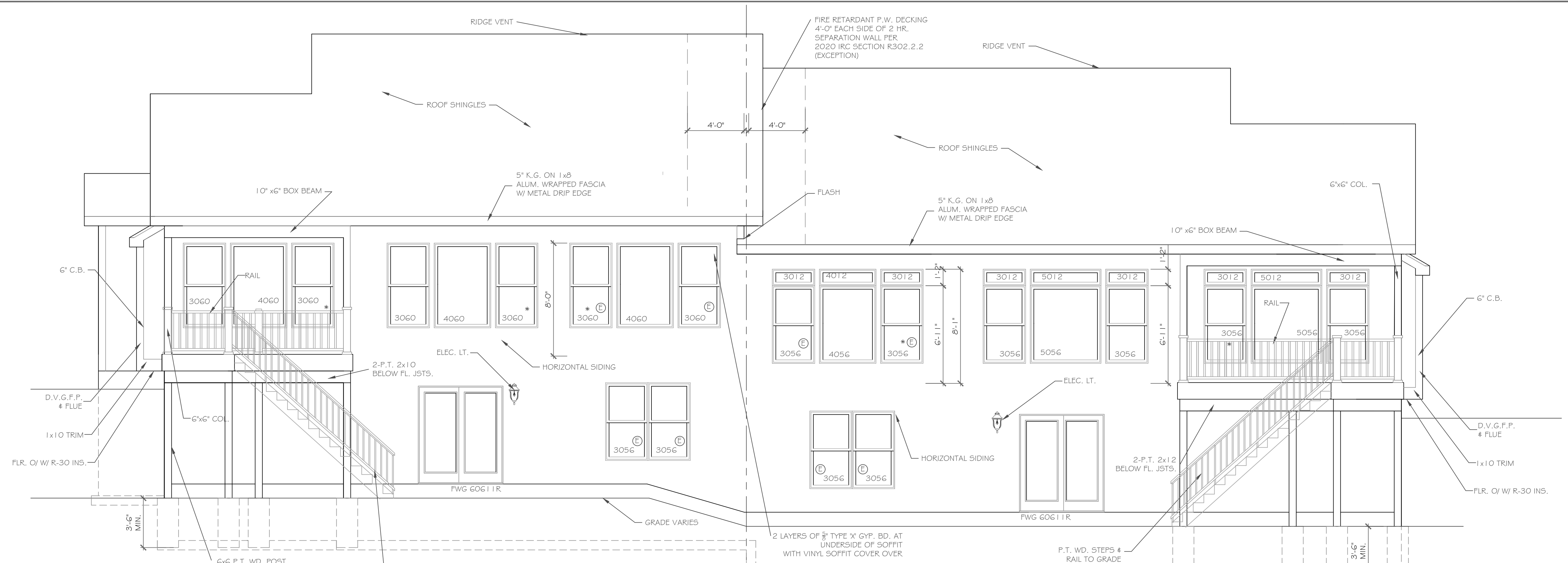
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations Units 23 & 24

PROJECT: **Skylight Trail Alpine Ridge - Units 23 & 24**
 CLIENT: **Morrell Builders**
 PITTSFORD, N.Y.
 DATE: **February 9, 2022**
 JOB NO.: **A22-00G**

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 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. - **A-1**



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NO.	DATE	DESCRIPTION

PROJECT: Alpine Ridge - Units 23 & 24
 Pittsford, N.Y.
CLIENT: Morrell Builders

DRAWING TITLE: Elevations
 Units 23 & 24

DATE: February 9, 2022
PHASE: Construction Documents

JOB NO.: A22-007

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 Suite 100
 Victor, New York 14564
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 e-mail: CKHennessey@frontiernet.net

DRAWING NO.: A-2

PARTIAL TABLE R404.1.2(B)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,j,k,n,o)

Soil classes(a) & design lateral soil (psf per foot of depth)			MAXIMUM UNBALANCED BACKFILL HEIGHT(L) (feet)	MAXIMUM WALL HEIGHT (feet)
SH,ML,CL and inorganic CL 60 soils	GM,GC,SM,SM-5C and ML 4 soils	GW, GP, SW and SP 30 soils		
NR	NR	NR	4	9
NR(I)	NR(I)	NR(I)	5	7
#6 at 39" o.c.	#5 at 37" o.c.	#5 at 41" o.c.	6	7
#6 at 29" o.c.	#6 at 35" o.c.	#6 at 46" o.c.	7	7
#6 at 23" o.c.	#6 at 30" o.c.		9	9

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(B).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
n. See Table R603.3 for tolerance from nominal thickness permitted for flat walls.
o. The use of this Table shall be prohibited for soil classifications not shown.

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REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan
Units 23 & 24

PHASE:
Construction Documents

PROJECT:
Alpine Ridge - Units 23 & 24
Pittsford, N.Y.

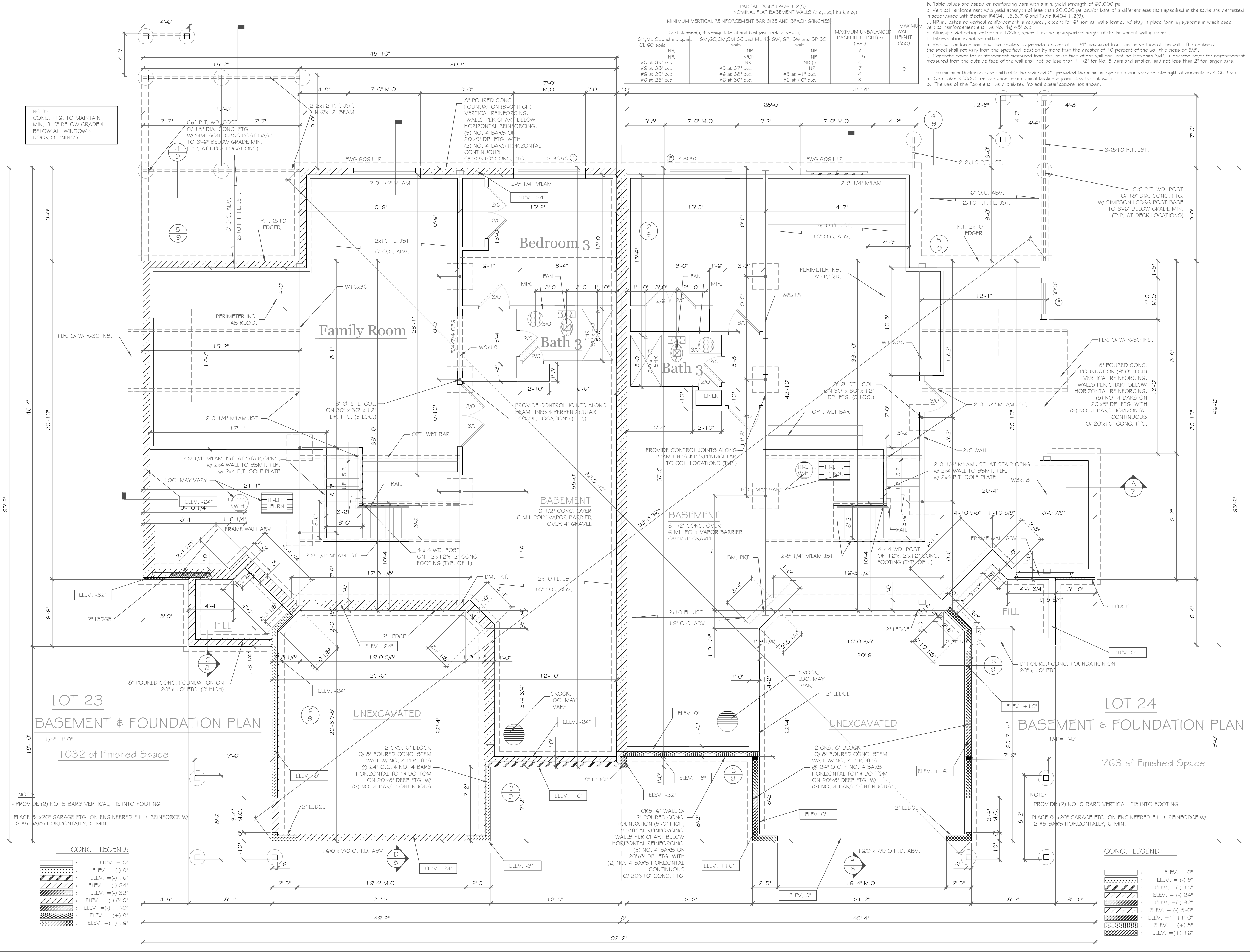
CLIENT:
Morrell Builders

DATE:
February 9, 2022

JOB NO. -
A22-00G

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DRAWING NO. -
A-3



NOTE:
CONC. FTG. TO MAINTAIN MIN. 3'-6" BELOW GRADE & BELOW ALL WINDOW & DOOR OPENINGS

NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

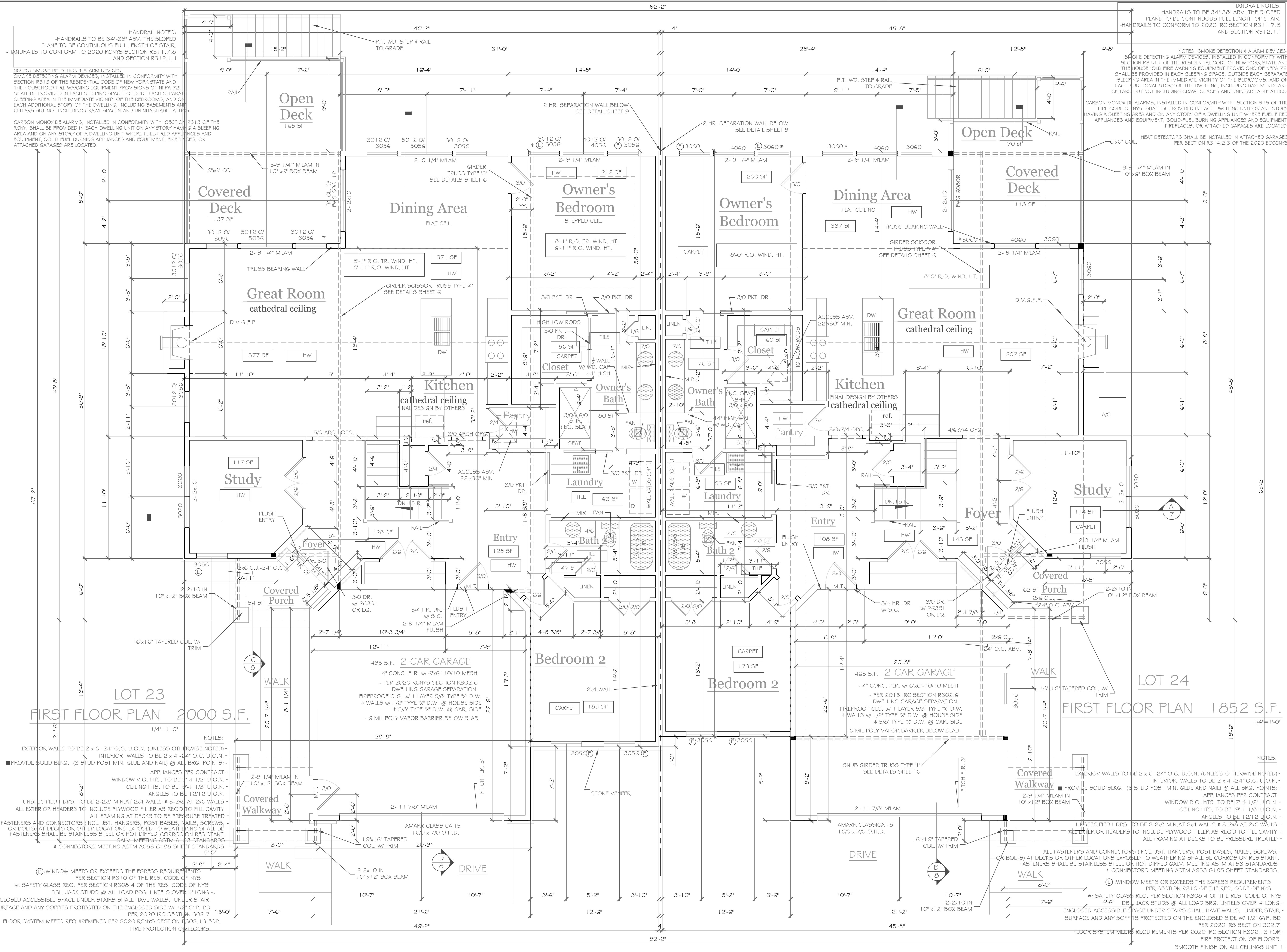
NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0"
[Pattern]	ELEV. = (-) 8"
[Pattern]	ELEV. = (-) 16"
[Pattern]	ELEV. = (-) 24"
[Pattern]	ELEV. = (-) 32"
[Pattern]	ELEV. = (-) 8'-0"
[Pattern]	ELEV. = (-) 11'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"

CONC. LEGEND:

[Pattern]	ELEV. = 0"
[Pattern]	ELEV. = (-) 8"
[Pattern]	ELEV. = (-) 16"
[Pattern]	ELEV. = (-) 24"
[Pattern]	ELEV. = (-) 32"
[Pattern]	ELEV. = (-) 8'-0"
[Pattern]	ELEV. = (-) 11'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R312.1.1

NOTES: SMOKE DETECTION 4 ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R315 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R312.1.1

NOTES: SMOKE DETECTION 4 ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R314.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION 915 OF THE FIRE CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HEAT DETECTORS: SHALL BE INSTALLED IN ATTACHED GARAGES PER SECTION R314.2.3 OF THE 2020 ECCCNS

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
 First Floor Plans
 Units 23 & 24

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 23 & 24
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 February 9, 2022

JOB NO.:
 A22-00G

CKH architecture

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DRAWING NO.:
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