

**Design Review & Historic Preservation Board  
Agenda  
January 13, 2022**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **6 Cricket Hill Drive**  
The Applicant is requesting design review for the construction of an approximately 2238 SF addition off the side of the existing house.
- **24 Rollins Crossing**  
The Applicant is requesting design review for the construction of a covered entryway off the front of the house.
- **192 Mendon Center Road**  
The Applicant is requesting design review for the construction of a covered entryway off the front of the house.
- **25 Knollwood Drive**  
The Applicant is requesting design review for the construction of a new covered entryway off the front of the house.
- **3765 East Avenue**  
The Applicant is requesting design review for the construction of a covered entryway off the front of the house.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **33 Coventry Ridge**  
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 2926 square feet and located in the Coventry Ridge Subdivision.
- **47 Nature View**  
The Applicant is requesting design review for the construction of a two story single family home that is approximately 2901 square feet.
- **51 Nature View**  
The Applicant is requesting design review for the construction of a two story single family home that is approximately 2328 square feet.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS - RETURNING**

- **682 Stone Road**  
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the construction of an oversized accessory structure on the property of a designated historic home.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

- **51 Long Meadow Circle**  
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of solar panels on the garage of a designated historic home. This property is zoned RN - Residential Neighborhood.

**Design Review and Historic Preservation Board**  
**Minutes**  
**December 9, 2021**

**PRESENT**

Dirk Schneider, Chairman; Bonnie Salem, Paul Whitbeck, John Mitchell, Kathleen Cristman, Leticia Fornataro

**ALSO PRESENT**

Robert Koegel, Town Attorney; Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dave Wigg

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

There is no update on the historical marker for the East Street Burying Ground.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS – RETURNING**

• **3001 Monroe Avenue**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the expansion of an outdoor patio. This property is zoned MATZ – Monroe Avenue Transitional Zone and is designated historic.

This public hearing was closed at the last meeting but the Board held discussion on new materials received.

The Board reviewed the new proposed landscape plan and determined that it was a nice mix of evergreens and other deciduous plantings.

A resolution was moved by Board member Dirk Schneider, seconded by Board member Bonnie Salem, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Aye
David Wigg	Absent
Dirk Schneider	Aye

The granting of the Certificate of Appropriateness was made subject to the following specific conditions:

- a. New concrete patio will match the existing patio.
- b. New railing system be clear glass.
- c. Landscape plan will be completed at time of opening the patio for business.
- d. All work is to be completed by September 8, 2022.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS - NEW**

- **682 Stone Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the construction of an oversized accessory structure on the property of a designated historic home.

Dirk Schneider opened the public hearing.

The homeowner, Dick Goldman and architect Jeff Ashline of Mossien Architects were present.

Mr. Mossien indicated that the homeowner wishes to demolish an existing garage and replace it with a new garage to be placed on the same footprint. The proposed garage will match the existing home and will feature lap siding and asphalt shingles to match the home. Shutters and a cupola are also proposed.

The Board expressed several concerns regarding the proposed structure. They referenced the fact that the existing garage is more of an outbuilding and their opinion is it should not mimic the style of the home but rather should be styled like a barn to be more historically appropriate and retain some of the original character of the property. They did not feel the windows and shutters and cupola were appropriate on an outbuilding. The Board suggested red as a color and felt that the mullions should be removed from the windows. The garage doors were discussed. The Board felt that the arched glass windows were not appropriate in the garage doors and that carriage style doors would be a more appropriate choice.

It was noted by Mr. Mossien that when the home and property were designated the home featured the vinyl lap siding.

Overall, the Board members felt the design should be simplified and the garage made to subservient to the main home. Bonnie Salem discussed that from a historic perspective, vertical siding would be more appropriate.

James Meyer of 693 Stone Road spoke to support the upgrading of the garage indicating the existing garage is in "rough shape".

Dirk Schneider moved to close the public hearing.

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- a. All work is to be completed by December 31, 2022.
- b. Windows will not have mullions.
- c. There will be no cupola.
- d. The shutters will be removed.
- e. There will be no glass in the garage door.

The within Resolution was moved by Board member Dirk Schneider, seconded by Board member Kathleen Cristman, and was voted upon by members of the Board as follows:

Bonnie Salem	Nay
Paul Whitbeck	Aye
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Aye
David Wigg	Absent
Dirk Schneider	Aye

## RESIDENTIAL APPLICATION FOR REVIEW

- **45 Country Club Drive**

The Applicant is requesting design review for the addition to an existing home. The additions will be off each side of the property as well as the back.

The architect, Jim Durfee, was present to address the application with the Board.

This is a renovation and expansion of the home and garage. The existing chimneys will be taken down. The windows are aluminum clad Anderson Series E. The finish will be stucco sand color with complimentary darker Hardi trim. The roof will be architectural shingles. The garage door will be custom wood grain fiberglass and simulated to be two doors. The stone will be mixed fieldstone to complement the stucco.

Leticia Fornataro moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **3 Summers Circle**

The Applicant is requesting design review for the construction of an approximately 144 SF 3 season room off the back of the house.

The contractor, Joe Santora was present.

Mr. Santora indicated that an existing porch is being enclosed. The trim and siding will match the existing on the home. The porch roof will not be changing. The new windows will match the rest of the windows existing on the home. The windows will be Anderson 400 series.

Kathleen Cristman moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **9 High Street**

The Applicant is requesting design review for the addition of a 220 SF addition off the detached garage.

Jim Beerens was present to discuss the application with the Board.

The Board reviewed the plans. The siding will be stucco and the shallow roof will be black standing seam. There will be eight windows on the addition.

Dirk Schneider moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.



- **97 Country Club Drive**

The Applicant is requesting design review for the addition of an approximately 795 SF addition/renovation of the existing house as well as the addition of an approximately 500 SF garage.

Mark and Lisa Stein were present to discuss this application with the Board.

Materials including windows will match the existing and the existing doors will be reused. The shutters will also be reused. Shutters and roof will be black.

Paul Whitbeck moved to accept the application as submitted with two garage doors and matching existing materials.

Leticia Fornataro seconded.

All Ayes.

- **7 Round Trail**

The Applicant is requesting design review for the construction of approximately a 120 SF sunroom on the existing deck.

Travis Skinner was present to discuss the application with the Board.

The shingles will match the existing on the home. Windows will be white to match existing. There will be skirting under the sunroom.

Bonnie Salem moved to approve the application as submitted with the condition that vinyl white bead board skirting be added.

John Mitchell seconded.

All Ayes.

- **155 Sylvania Road**

The Applicant is requesting design review for the complete redesign of the exteriors of all facades adding approximately 1395 sq. ft. upstairs and a 434 sq. ft. pool cabana and a 284 sq. ft. garage addition.

James Fahy was present to represent the homeowners.

All new materials will be used on the exterior. This will be a major renovation to the façade of the home. The color scheme will remain black and white.

The Board commented that this renovation will be an improvement to the façade but expressed concerns about the rendering that depicted a 3 car wide driveway. Mr. Fahy clarified there will be an apron to the present driveway and it will not go directly to the curb so a curb cut will not be required.

Other concerns were expressed about the massive roof over the bonus room accounting for 1/3 of the front façade. The Board also felt that the shutters were not a necessary element.

Dirk Schneider moved to accept the application as submitted with conditions.

1. The shutters over the garage by removed or be double hinged.
2. The shutters on the rear elevation be removed.
3. Approval is subject to the approval of variances from the Zoning Board of Appeals.

In addition, the recommendation was made of lowering the roof ridge at the bonus room to make it equal to or lower than the rest of the home.

John Mitchell seconded.

All Ayes.

#### **RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **35 Coventry Ridge**

The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3005 square feet and located in the Coventry Ridge Subdivision.

Steve Maynard was present to represent Coventry Ridge Building Corporation.

This home will features exterior elevations of vinyl siding and stone. The fireplace will bump out 6 inches.

The Board reviewed the plans and had no further comment.

Leticia Fornataro moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW - SIGN**

- **3330 Monroe Avenue**

The Applicant is requesting design review for the addition of two temporary business identification signs. The sign on the east side of the building will be approximately 41 square feet and the sign on the south side of the building will be approximately 92 square feet. The signs will be made with banner material and will display the "Kinecta" Logo.

Stephanie Cimino of Rochester Signs was present.

Aluminum signs will be installed to replace to currently installed banners.

The red band on the building will be painted gray.

The Board recommended that the triangle above the sign in the "barn" style trim be painted white to match the sign.

Dirk Schneider moved to approve the sign for Kinecta with the condition that the triangle in each location be painted out white to match the new sign as closely as possible.

John Mitchell seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW – WRIGHT HOUSE**

- **3524 East Avenue**

The Applicant is requesting design review for interior and exterior renovations to the Wright House.

Jared Coons and Jerry Watkins were present to discuss the application with the Board.

Two options were discussed with one option being that the renovation be with the shutters to remain and the other that the shutters be removed. Riedman has no preference whether the shutters remain or not.

It was noted that Italianate features may have been removed when the siding was put on so now the structure is in need of the ornamental shutters which have been on the structure for some time now. The shutters will be replaced with new operable composite metal clad shutters. The trim will be PVC trim not wood. The siding will be fiber cement.

The columns on the porch were saved but deemed by Riedman not usable and will be replicated. The windows will be 4/2 with simulated divided lites inside the windows.

On the elevation facing 490, two short windows will be added to the kitchen area. A concrete ramp that transitions to a PVC composite ramp will be installed. The cobblestone foundation will be repaired where needed.

On the front elevation facing East Avenue, the intention is to keep the porch the same as. A dark green or black metal roof was discussed.

Leticia Fornataro moved to approve the application as submitted with the following conditions:

1. The siding will be fiber cement.
2. The shutters will be new painted PVC.
3. The windows will be 4/2 with simulated divided lites with mullions on the inside and spacers on the outside.
4. The side porch will be repainted to match the elements of the original which was removed due to disrepair.
5. The front porch will remain as is with composite decking added.
6. The metal roof on the porches will not be shiny and will be black or very dark green.
7. The cement ramp that transitions to composite decking and will be added to the rear elevation.
8. The cobblestone foundation will be repaired as needed.
9. The corner board trim will be PVC.

John Mitchell seconded.

All Ayes.

#### **REVIEW OF MINUTES OF NOVEMBER 11, 2021 MEETING**

Bonnie Salem moved to accept the minutes of November 11, 2021 as written.

Dirk Schneider seconded.

All Ayes.

**ADJOURNMENT**

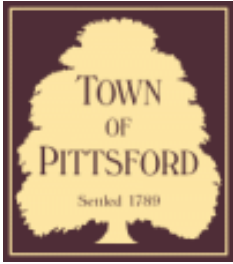
Dirk Schneider moved to close the meeting at 9:25 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000234**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 6 Cricket Hill Drive PITTSFORD, NY 14534

**Tax ID Number:** 164.09-3-44

**Zoning District:** RN Residential Neighborhood

**Owner:** Lyons, Mark E

**Applicant:** Chelsea Enterprises

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

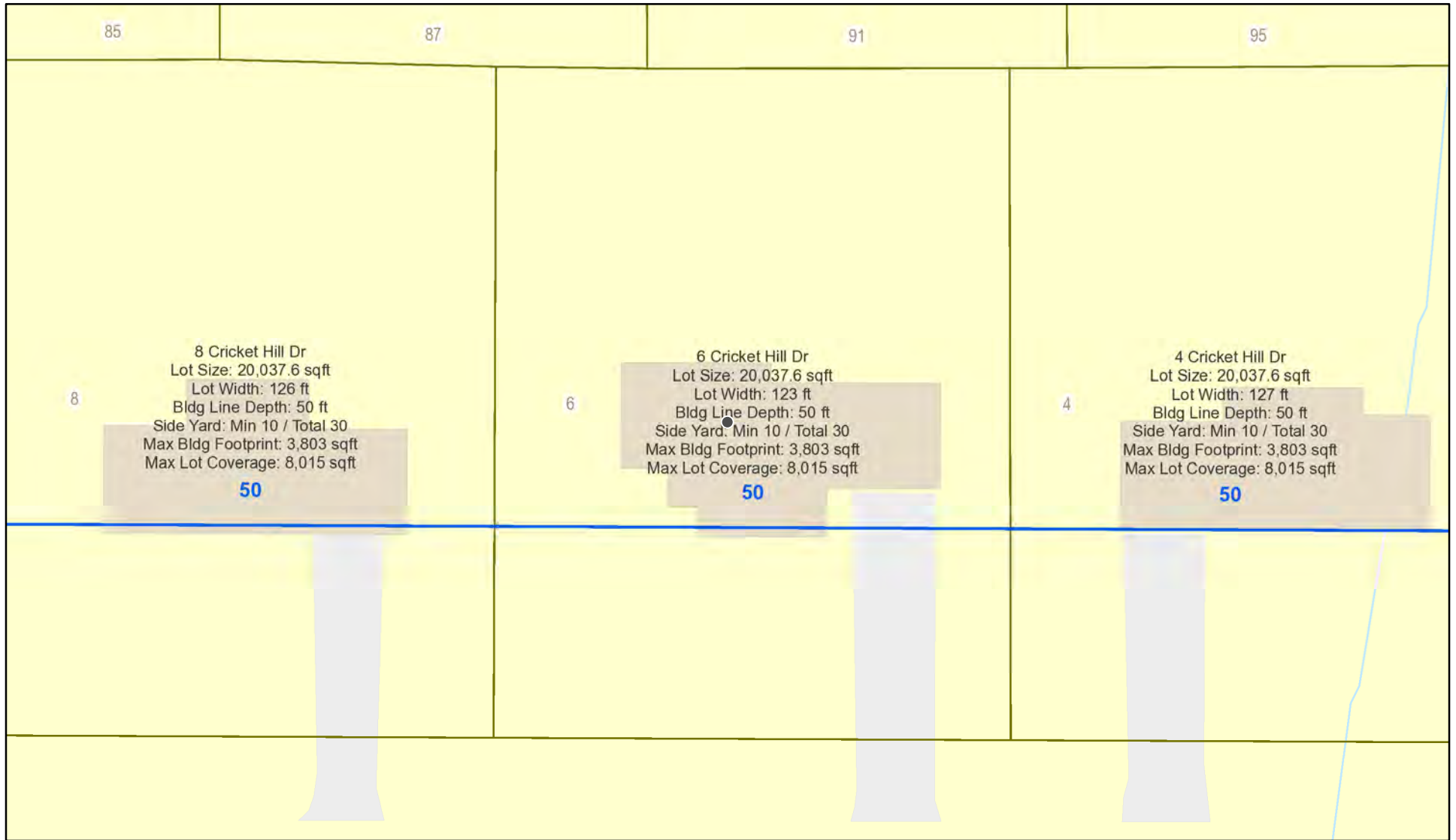
**Project Description:** Applicant is requesting design review for the construction of an approximately 2238 SF addition off the side of the existing house.

**Meeting Date:** January 13, 2022

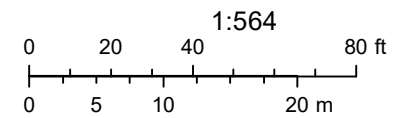




# RN Residential Neighborhood Zoning



Printed December 29, 2021



Town of Pittsford GIS

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# STANDARD TAPE LOCATION MAP

Name .....

Street CRICKET HILL DR. <sup>City</sup> PITTSFORD, <sup>Town</sup> ..... N. Y.

Lot No. 37 Subdivision CRICKET HILL SEC. 2

Liber 144 of Maps, Page 50; Liber of Deeds, Page .....

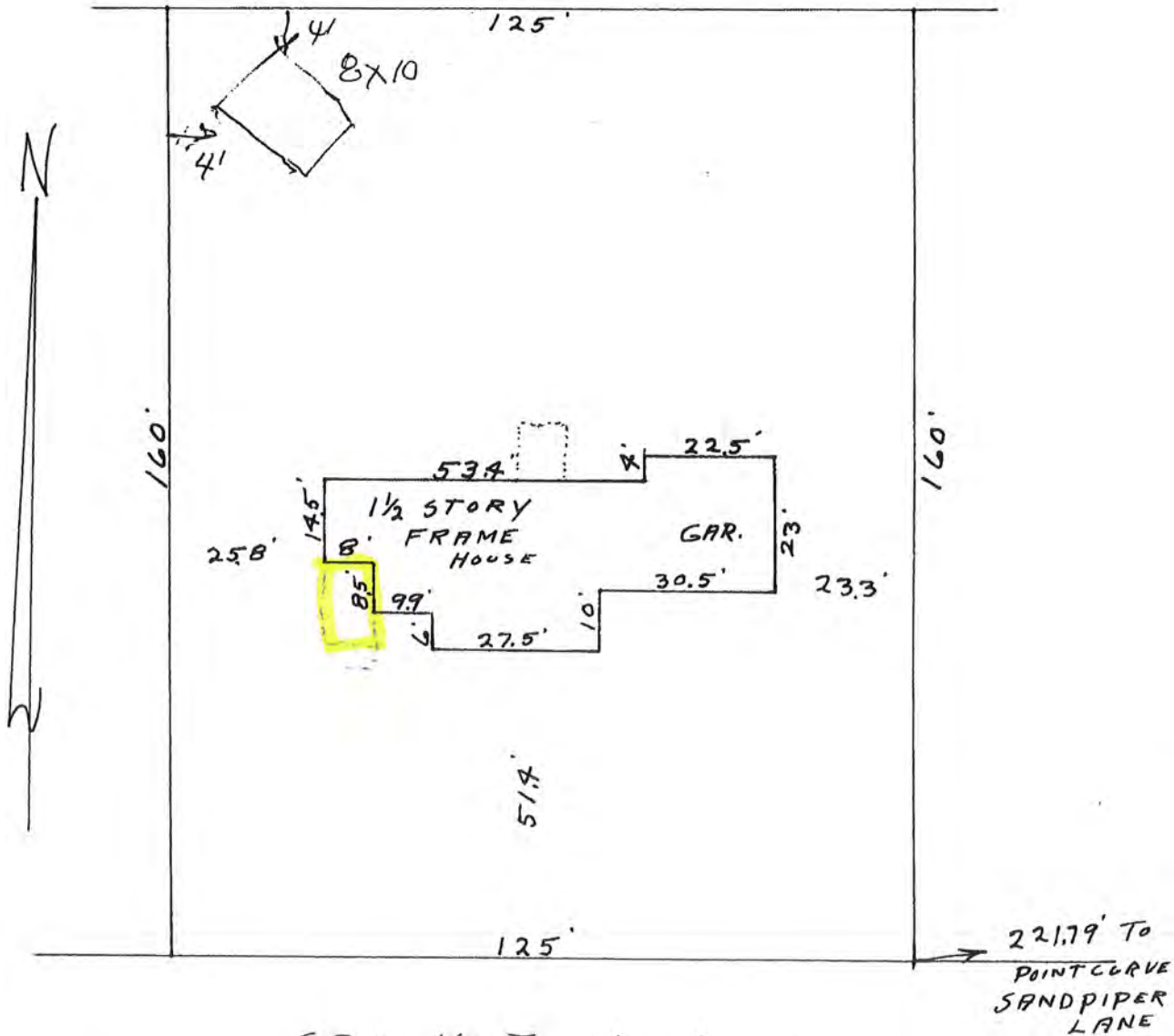
Showing 1/2 story dwelling; garage (~~not~~) attached.

Distance as shown from EAST property line actually measured.

Monuments used: Yes No

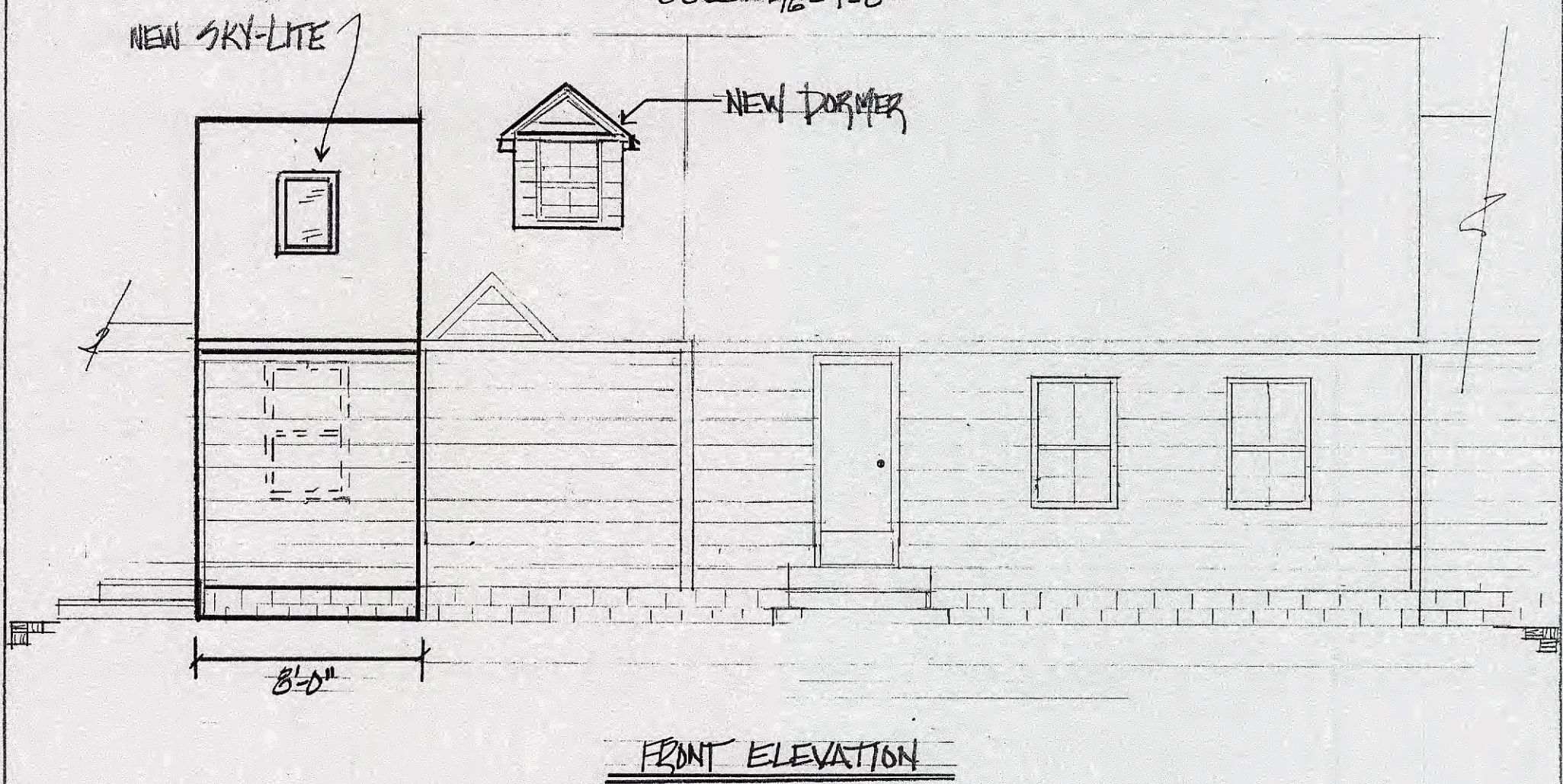
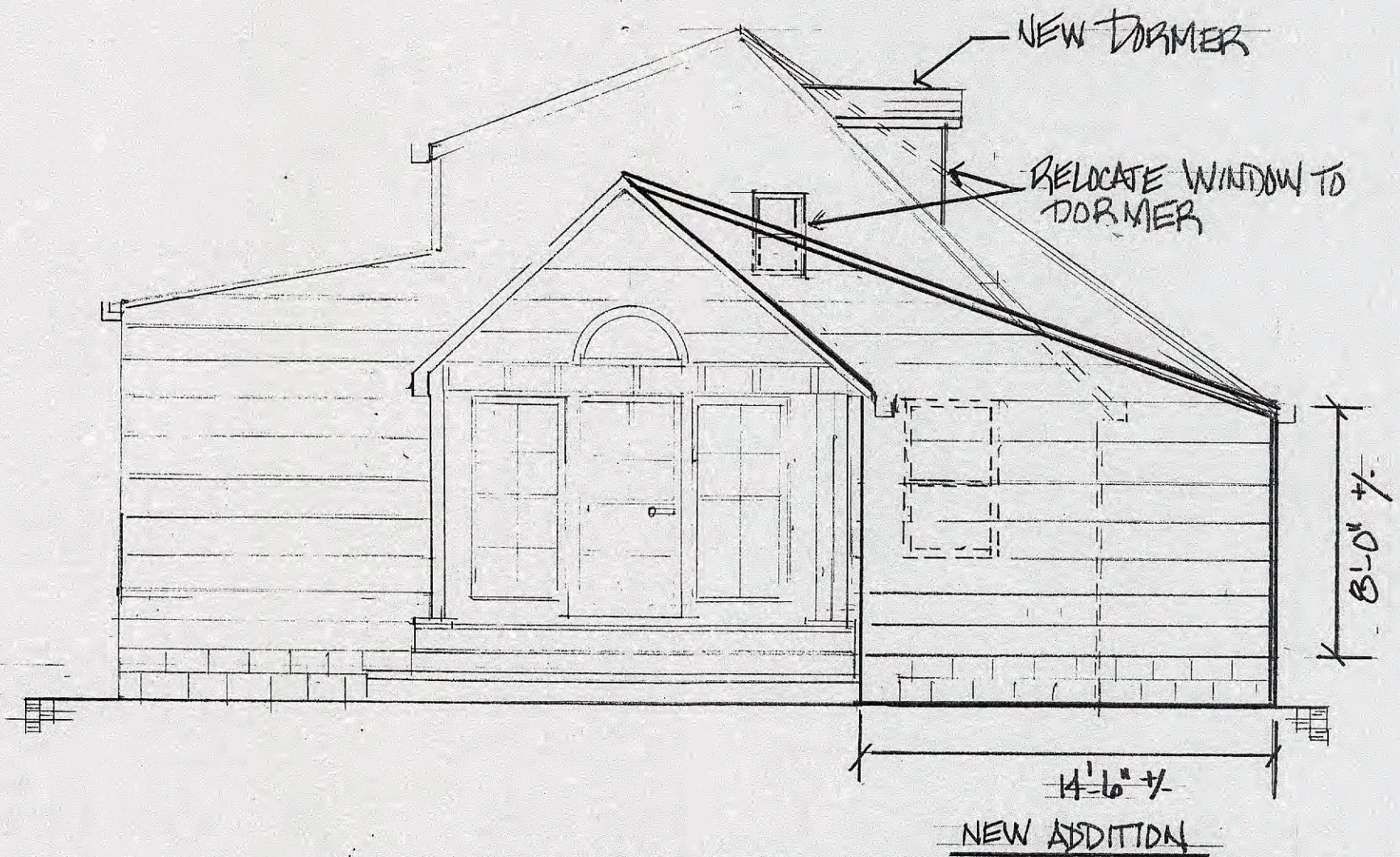
All buildings on premises and any apparent encroachment by or on premises are shown.

Main front wall is (~~is not~~) on apparent uniform set-back line.



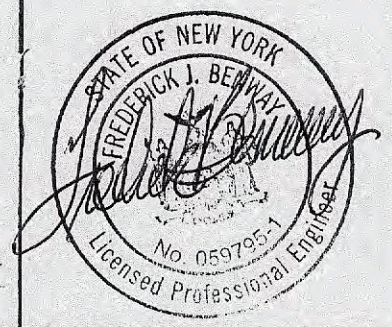
SCALE 1" equals 30' CRICKET HILL DRIVE



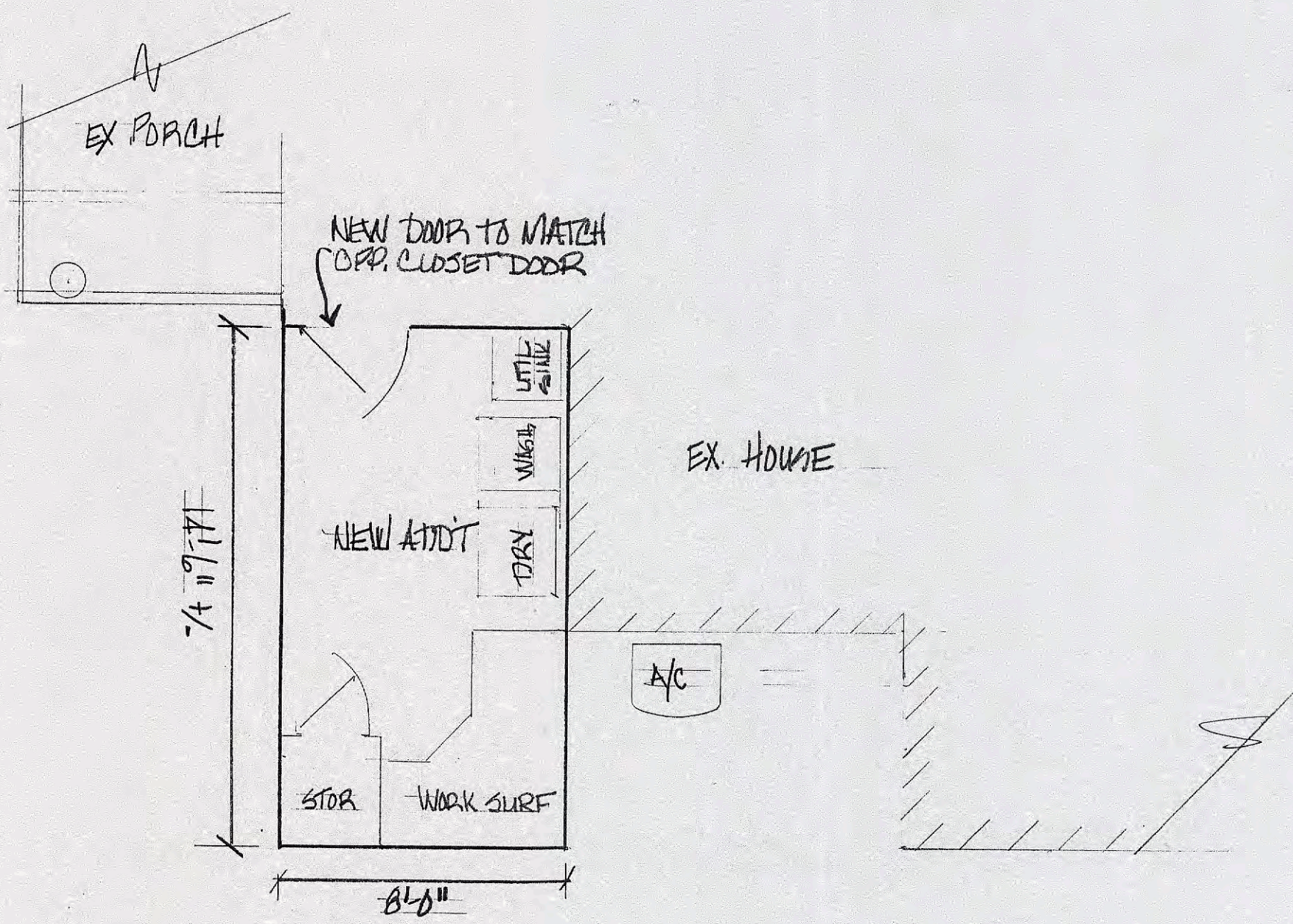


Mark and Nessa Lyons  
**6 Cricket Hill Drive**  
 Pittsford, New York

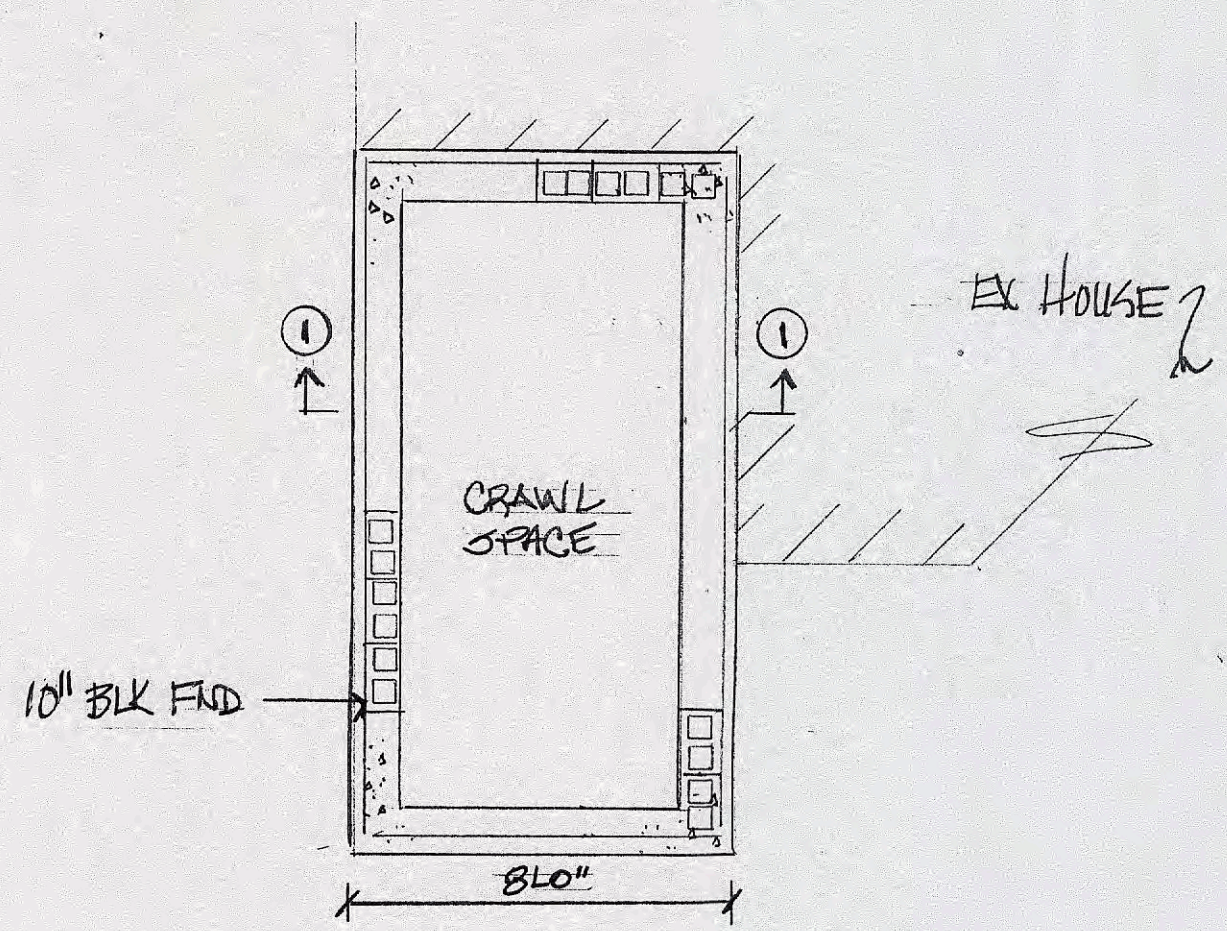
**Rick Benway, P.E.**  
 8 Skelby Moor Lane  
 Fairport, New York  
 (585) 202-7813







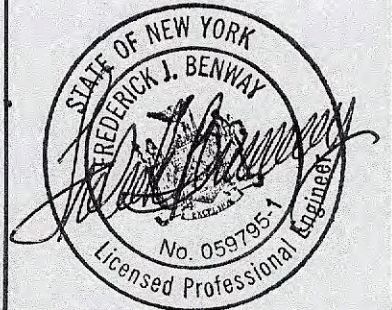
PROPOSED ADD'T LAYOUT  
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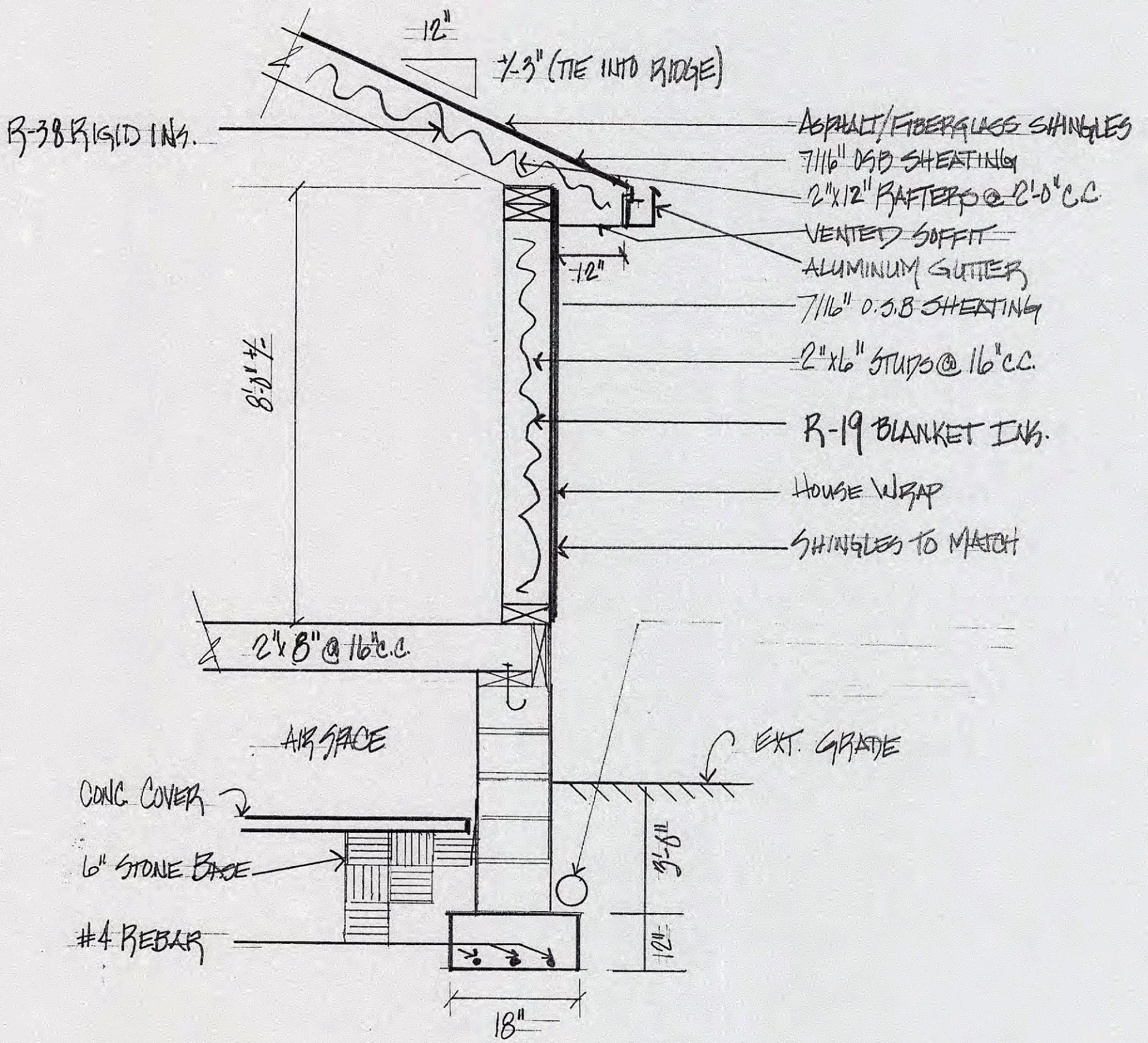
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

Mark and Nessa Lyons  
6 Cricket Hill Drive  
Pittsford, New York

Rick Benway, P.E.  
8 Skelby Moor Lane  
Fairport, New York  
(585) 202-7813



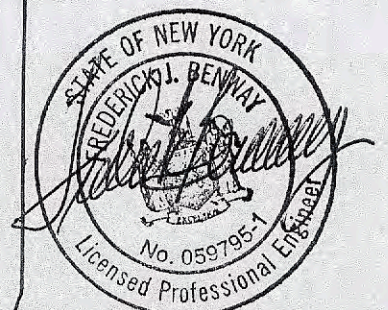




TYP WALL SECTION  
(N.T.S.)

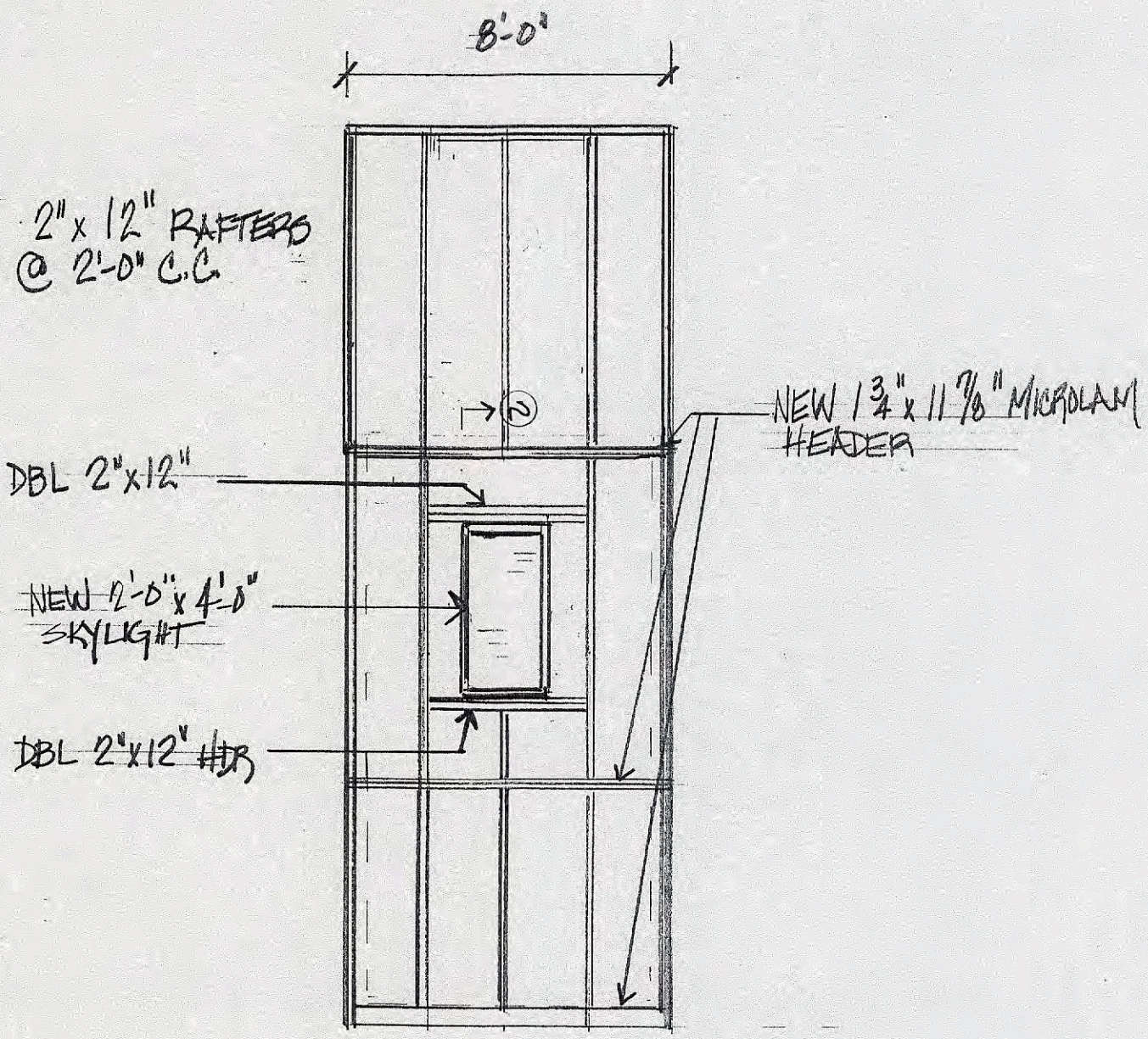
Mark and Nessa Lyons  
 6 Cricket Hill Drive  
 Pittsford, New York

Rick Benway, P.E.  
 8 Skelby Moor Lane  
 Fairport, New York  
 (585) 202-7813

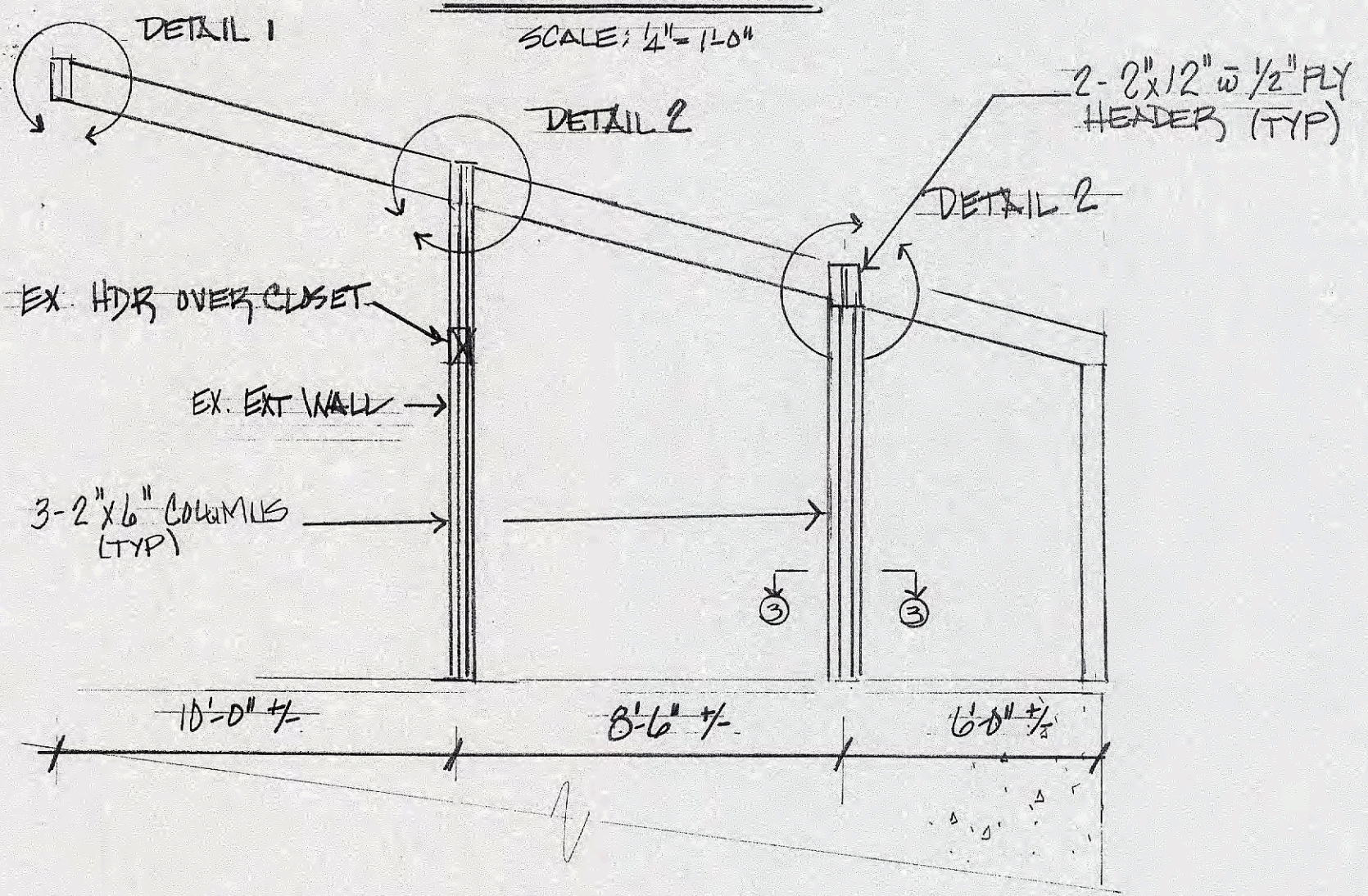


3 of 7





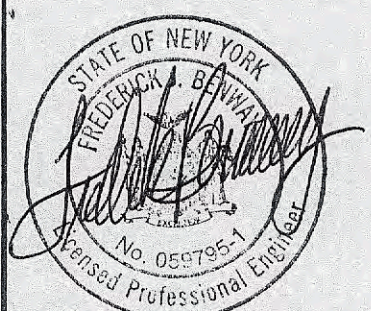
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



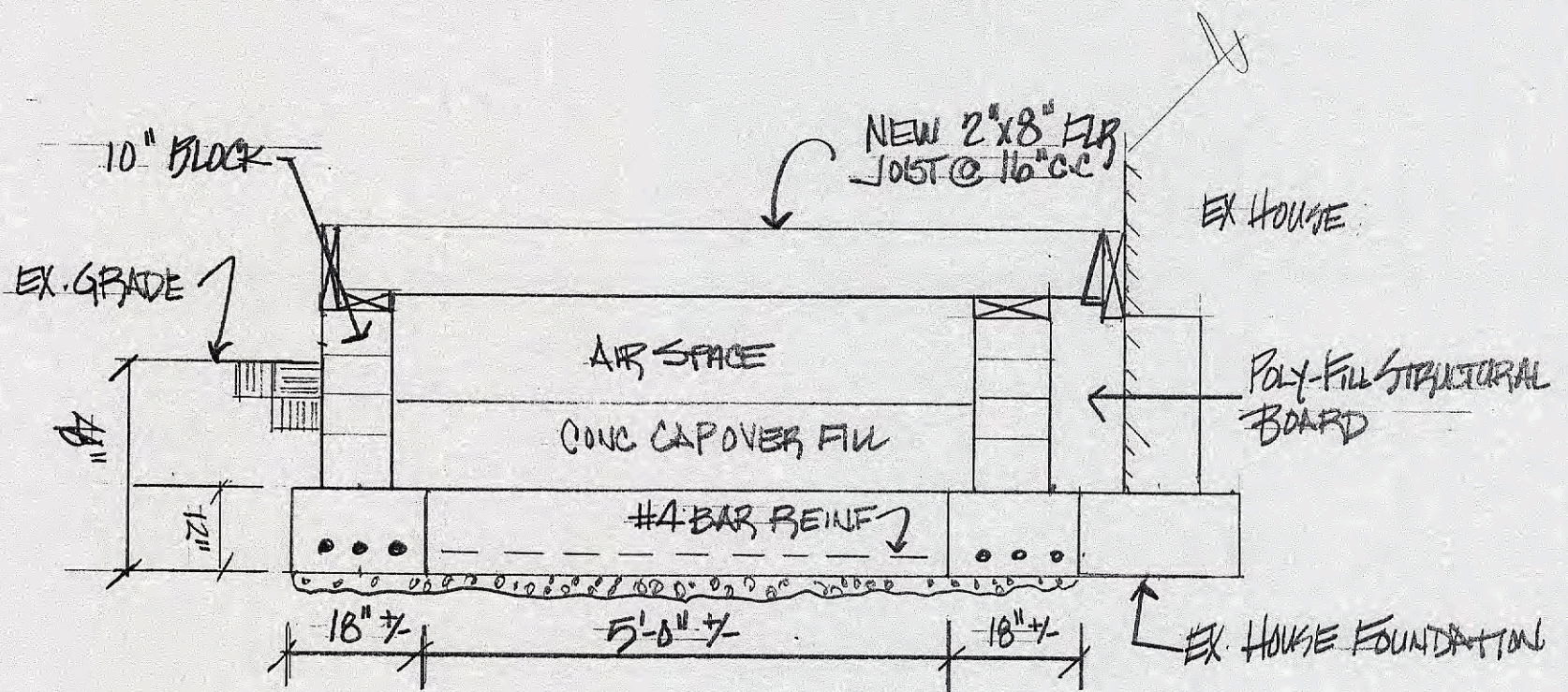
SECTION 2-2  
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Mark and Nessa Lyons  
6 Cricket Hill Drive  
Pittsford, New York

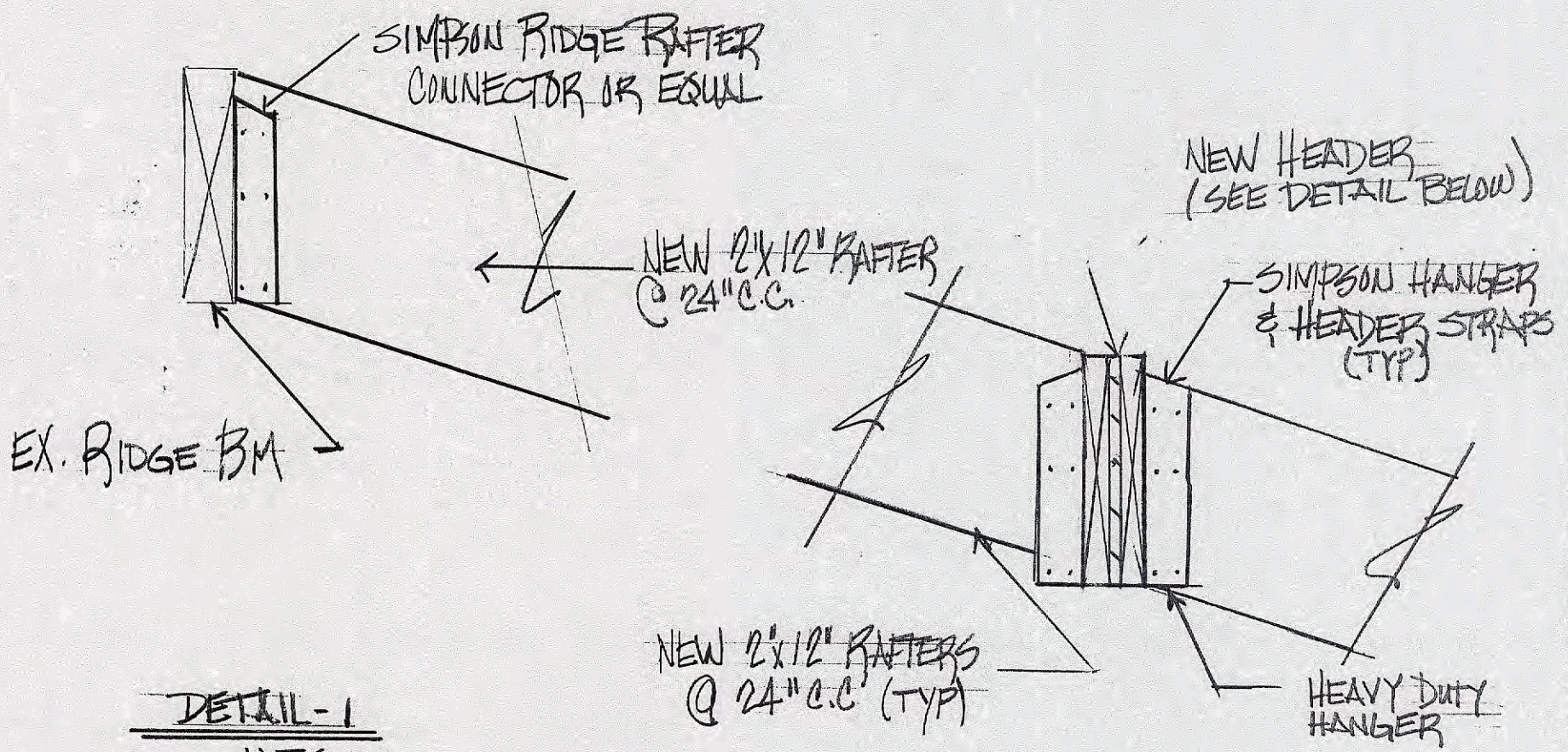
Rick Benway, P.E.  
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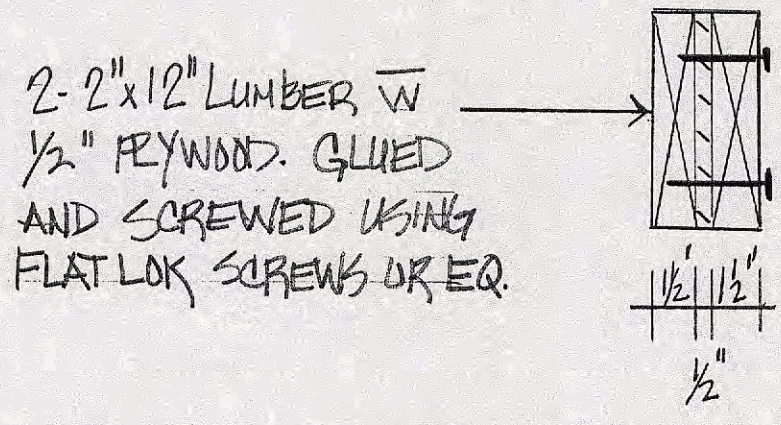


SECTION 1-1  
N.T.S.



DETAIL-1  
N.T.S.

DETAIL-2  
N.T.S.



NEW HDR DETAIL

Mark and Nessa Lyons  
6 Cricket Hill Drive  
Pittsford, New York

Rick Benway, P.E.  
8 Skelby Moor Lane  
Fairport, New York  
(585) 202-7813



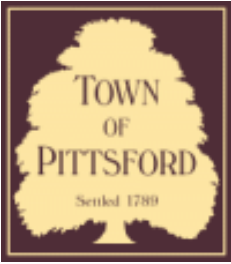












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000242**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 24 Rollins PITTSFORD, NY 14534

**Tax ID Number:** 177.01-2-22

**Zoning District:** RN Residential Neighborhood

**Owner:** Devgun, Surinder

**Applicant:** B. E. Decking and Construction

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a covered entryway off the front of the house.

**Meeting Date:** January 13, 2022

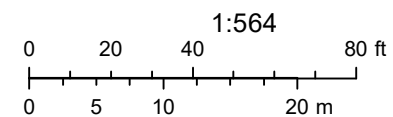




# RN Residential Neighborhood Zoning



Printed December 30, 2021



Town of Pittsford GIS

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# HARRINGTON PORCH

24 Rollins Crossing, Pittsford, NY

CLIENT:

JAKE HARRINGTON



DATE:

10-31-21

ARCHITECT:



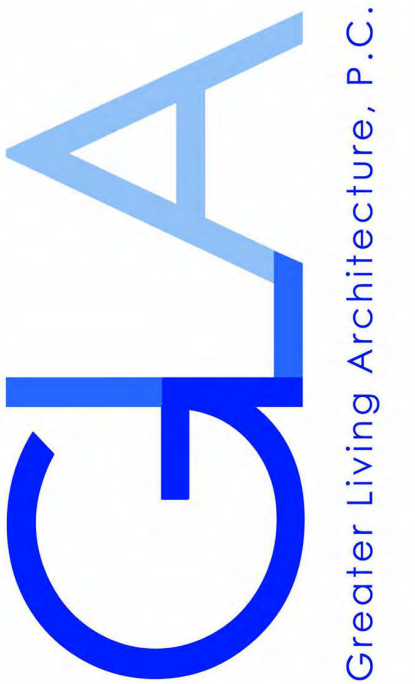
Greater Living Architecture, P.C.  
3033 BRIGHTON HENRIETTA TOWNLINE RD  
ROCHESTER, NY 14623

## DRAWING LIST

CO	COVER PAGE
AS 1	PROPOSED SITE PLAN
A1	PROPOSED BASEMENT & FIRST FLOOR PLANS
N-1	DETAILS
N-2	REINFORCEMENT
T1	TECHNICAL DATA

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ROCHESTER, NY 14623  
CALL: (585) 272-9170  
FAX: (585) 292-1262  
www.greaterviving.com

CONSULTANT:

CLIENT/LOCATION:

JAKE HARRINGTON  
24 Rollins Crossing, Pittsford, NY

REVISIONS:

DATE	BY	DESCRIPTION

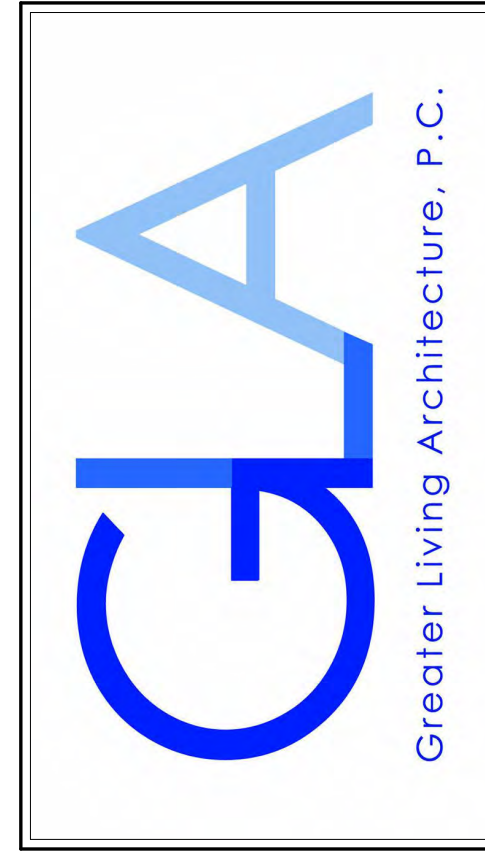
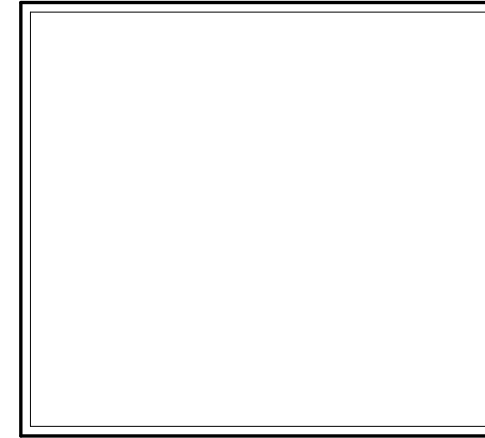
COVER PAGE

DRAWN: XW DATE: 10/31/21

PROJECT: SHEET: CO



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 FAX: (585) 292-1262  
 www.greaterliving.com

**CONSULTANT:**

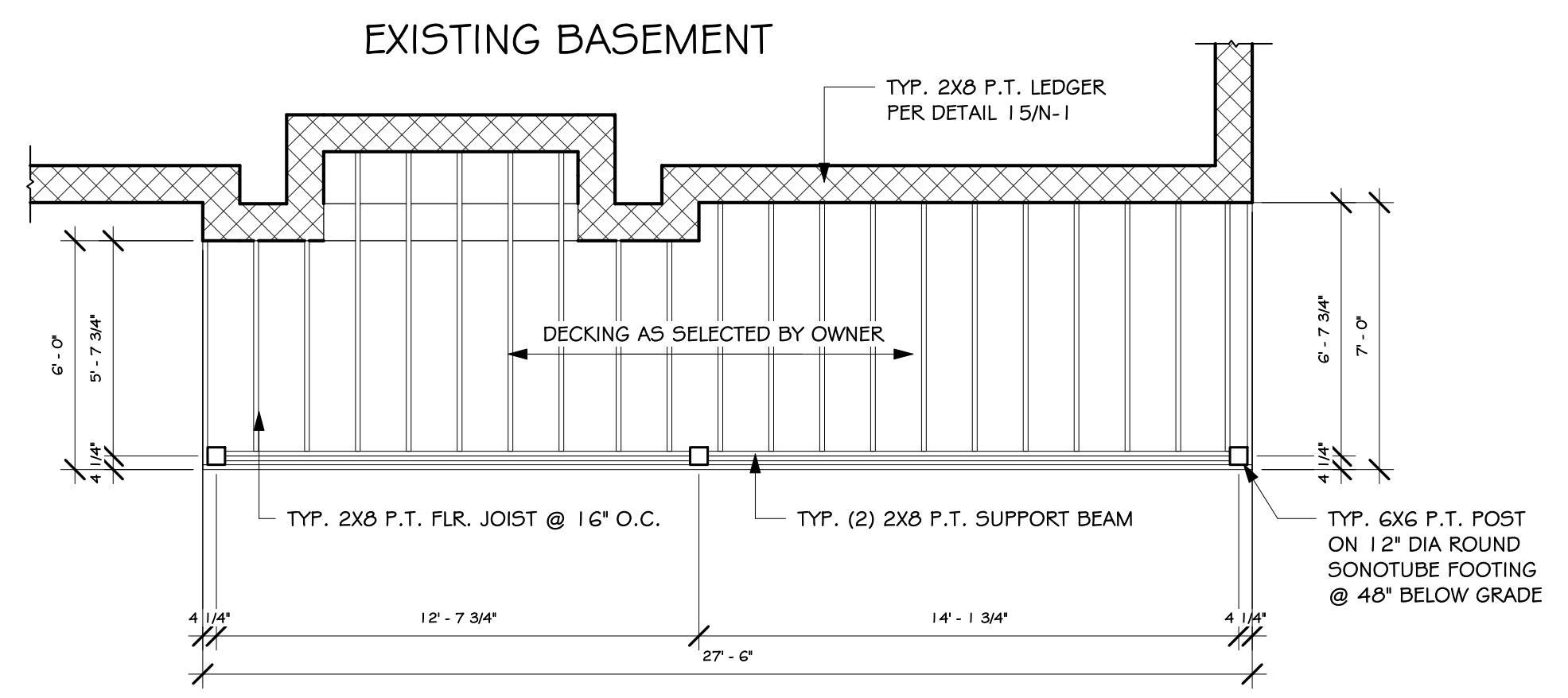
**CLIENT/LOCATION:**  
 JAKE HARRINGTON  
 24 Rollins Crossing, Pittsford, NY

**REVISIONS:**

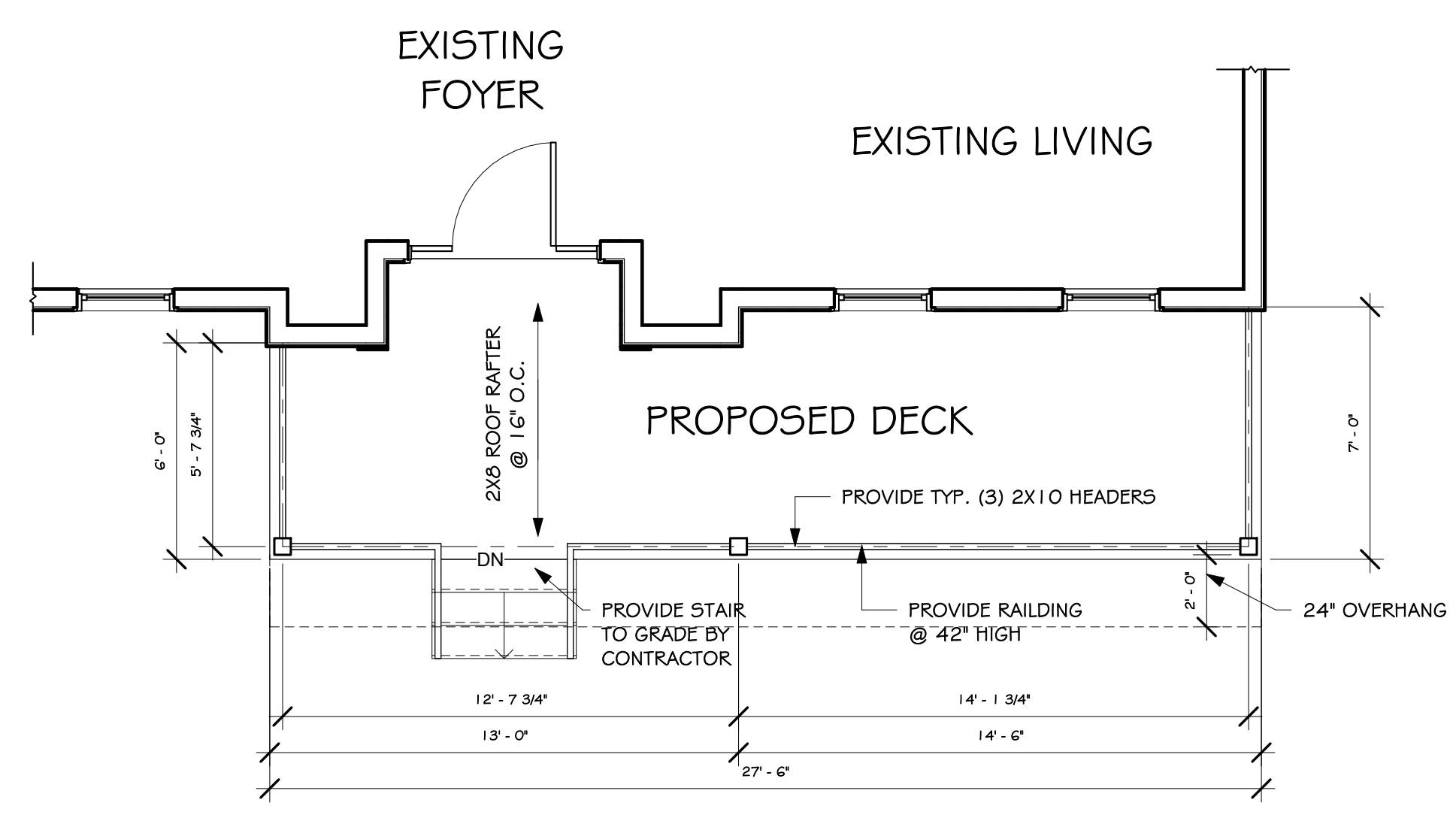
DATE	BY	DESCRIPTION

**PROPOSED BASEMENT & FIRST FLOOR PLANS**

<b>DRAWN:</b> XW	<b>DATE:</b> 10/31/21
<b>PROJECT:</b>	<b>SHEET:</b> A1



**1 FOUNDATION PLAN**  
 1/4" = 1'-0"



**2 FIRST FLOOR PLAN**  
 1/4" = 1'-0"

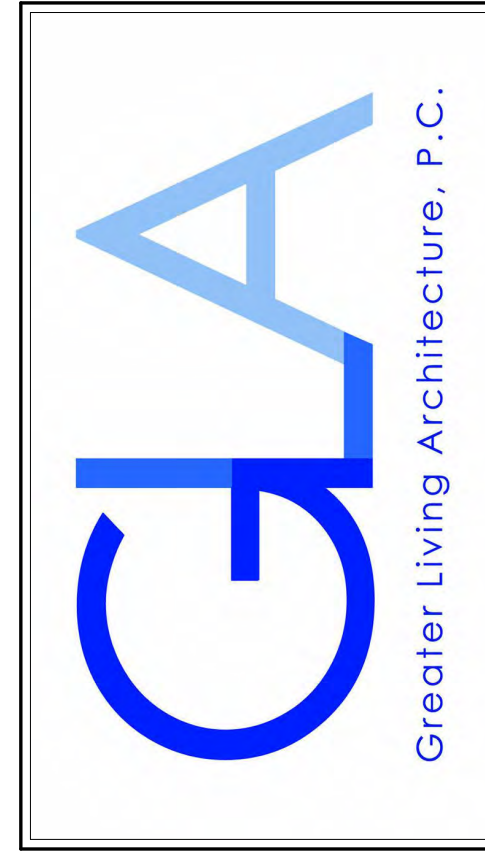
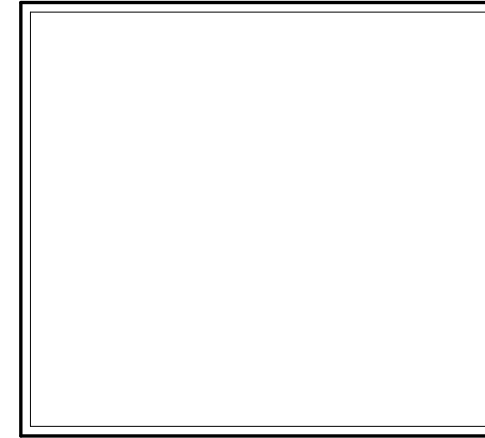


**3 SOUTH ELEVATION**  
 1/4" = 1'-0"

- GENERAL NOTES:**
- 1) ALL NEW PLUMBING FIXTURES TO BE CONNECTED TO EXISTING SUPPLY & WASTE LINES.
  - 2) VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
  - 3) CONTRACTOR TO SUPPLY SOLID BLOCKING IN WALLS FOR ATTACHEMENT OF ALL TOILET ROOM ACCESSORIES, DOOR STOPS, SHELVEING & OTHER SURFACE MOUNTED DEVICES.
  - 4) WALL FRAMING:  
 INTERIOR WALLS: 2x4 STUDS @ 16" O.C.  
 (PROVIDE 2x6 WALL BEHIND ALL NEW TOILET LOCATIONS)  
 (PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS & KITCHEN LOCATIONS.)
  - 5) SEAL ALL NEW EXTERIOR WALL PENETRATIONS.



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3033 BRIGHTON-HENRIETTA TOWNLIN RD  
 ROCHESTER, NY 14623  
 CALL: (585) 272-9170  
 FAX: (585) 292-1262  
 www.greatliving.com

**CONSULTANT:**

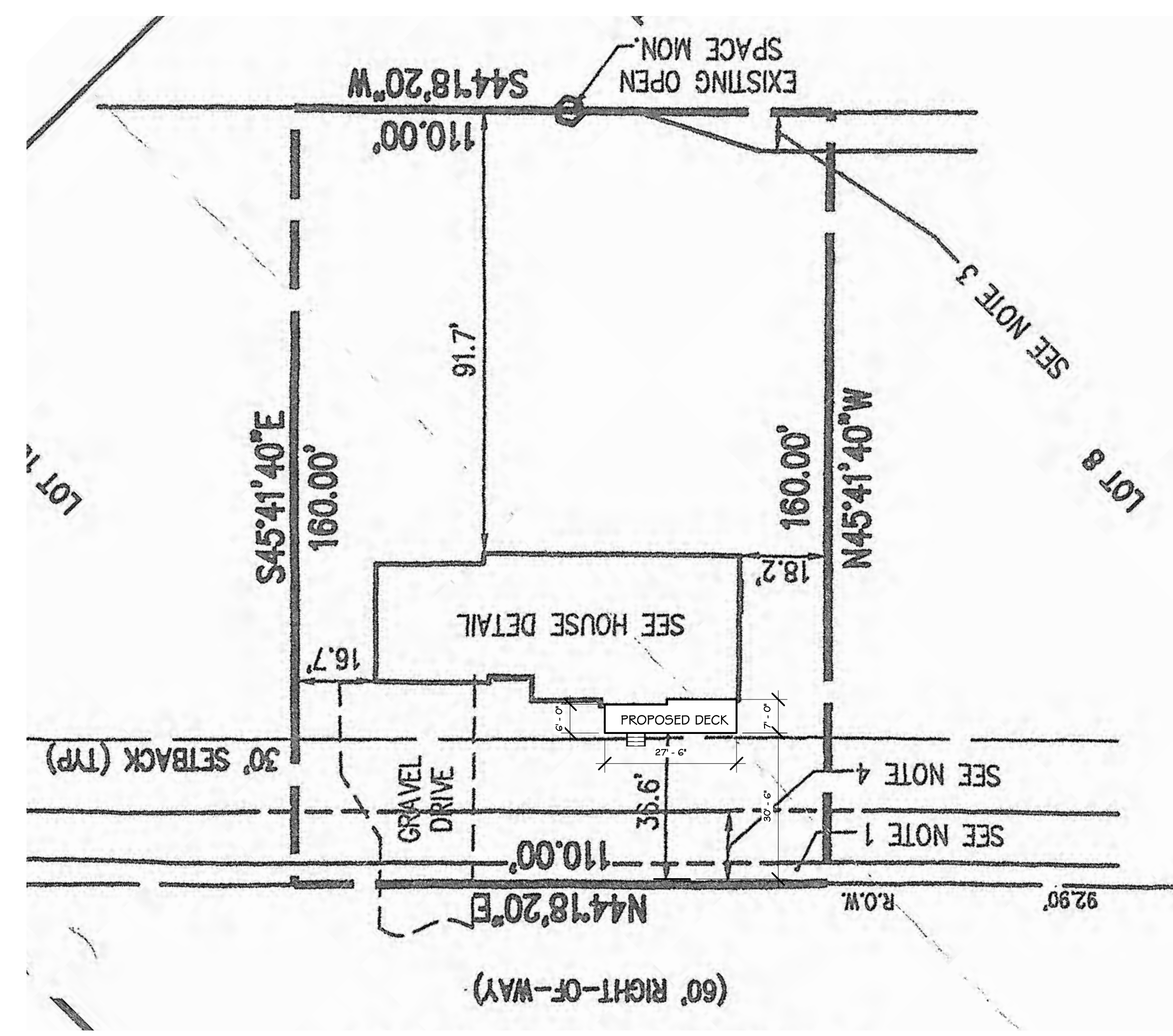
**CLIENT/LOCATION:**  
 JAKE HARRINGTON  
 24 Rollins Crossing, Pittsford, NY

**REVISIONS:**

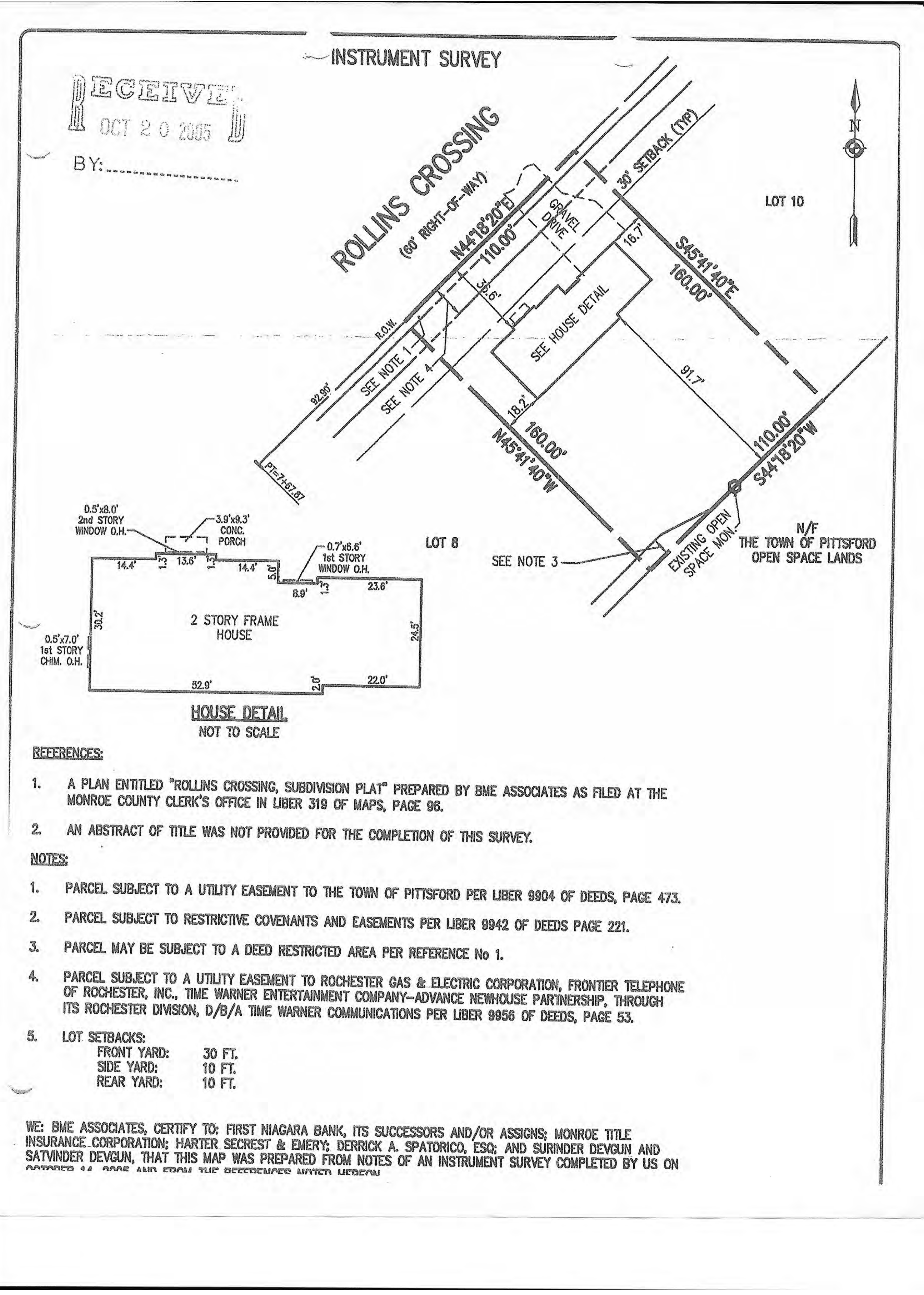
DATE	BY	DESCRIPTION

**PROPOSED SITE PLAN**

**DRAWN:** XW      **DATE:** 10/31/21  
**PROJECT:**      **SHEET:** AS 1



2 SITE PLAN  
 1" = 20'-0"



1 EXISTING SITE PLAN  
 1" = 30'-0"

**INSTRUMENT SURVEY**

**RECEIVED**  
 OCT 20 2025  
 BY: .....

**ROLLINS CROSSING**  
 (60' RIGHT-OF-WAY)

LOT 10

LOT 8

N/F THE TOWN OF PITTSFORD OPEN SPACE LANDS

**HOUSE DETAIL**  
 NOT TO SCALE

**REFERENCES:**

1. A PLAN ENTITLED "ROLLINS CROSSING, SUBDIVISION PLAT" PREPARED BY BME ASSOCIATES AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 319 OF MAPS, PAGE 96.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

**NOTES:**

1. PARCEL SUBJECT TO A UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER LIBER 9904 OF DEEDS, PAGE 473.
2. PARCEL SUBJECT TO RESTRICTIVE COVENANTS AND EASEMENTS PER LIBER 9942 OF DEEDS PAGE 221.
3. PARCEL MAY BE SUBJECT TO A DEED RESTRICTED AREA PER REFERENCE No 1.
4. PARCEL SUBJECT TO A UTILITY EASEMENT TO ROCHESTER GAS & ELECTRIC CORPORATION, FRONTIER TELEPHONE OF ROCHESTER, INC., TIME WARNER ENTERTAINMENT COMPANY-ADVANCE NEWHOUSE PARTNERSHIP, THROUGH ITS ROCHESTER DIVISION, D/B/A TIME WARNER COMMUNICATIONS PER LIBER 9956 OF DEEDS, PAGE 53.
5. LOT SETBACKS:  
 FRONT YARD: 30 FT.  
 SIDE YARD: 10 FT.  
 REAR YARD: 10 FT.

WE, BME ASSOCIATES, CERTIFY TO: FIRST NIAGARA BANK, ITS SUCCESSORS AND/OR ASSIGNS; MONROE TITLE INSURANCE CORPORATION; HARTER SECREST & EMERY; DERRICK A. SPATORICO, ESQ; AND SURINDER DEVGUN AND SATVINDER DEVGUN, THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON





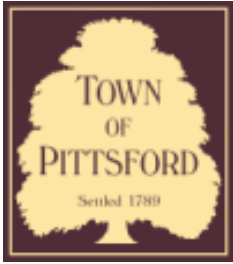




26

26  
Springfield  
Massachusetts





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000252**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 192 Mendon Center Road PITTSFORD, NY 14534

**Tax ID Number:** 178.05-1-83

**Zoning District:** RN Residential Neighborhood

**Owner:** Nguyen, Hiep Dinh

**Applicant:** Nguyen, Hiep Dinh

### Application Type:

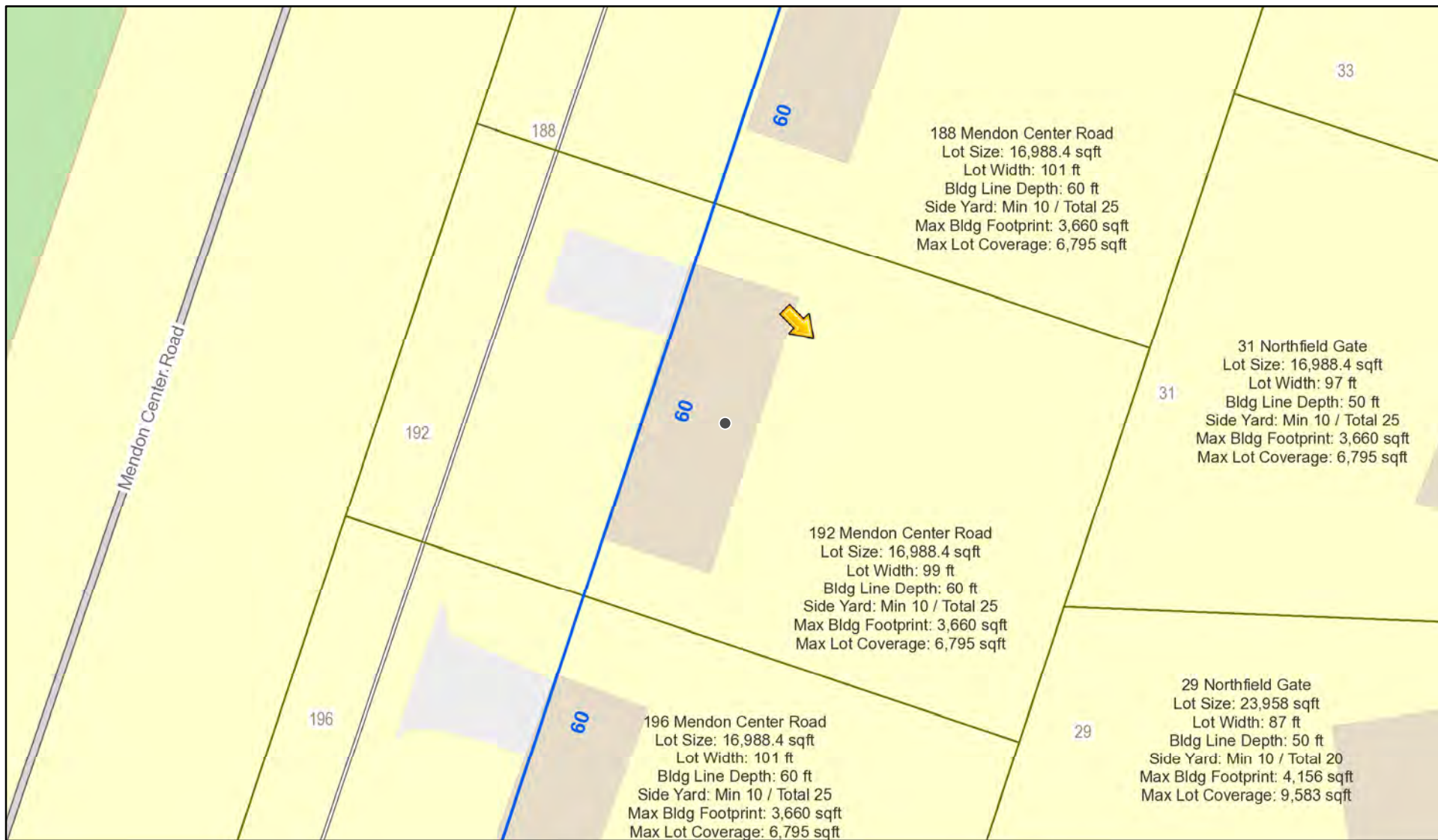
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for the construction of a covered entryway off the front of the house.

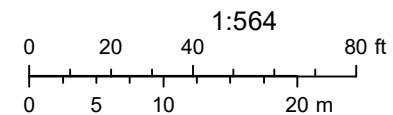
**Meeting Date:** January 13, 2022



# RN Residential Neighborhood Zoning



Printed December 30, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



4287

192

182

201



Proposed Concept Drawing for #192 MENDON CENTER Rd.

12/4/21

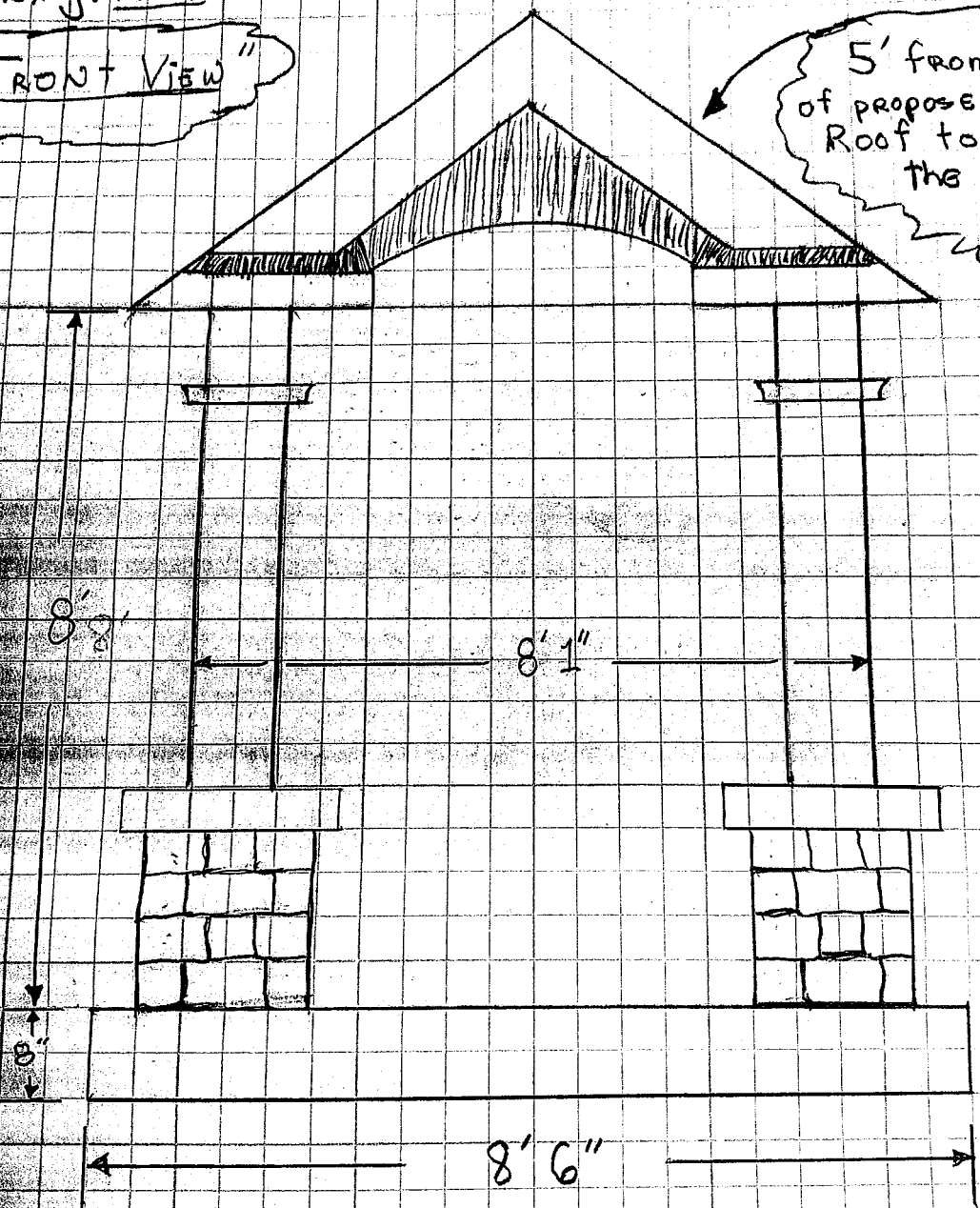
DRAWING: A-2

OWNER: Hiep Nguyen mobile #355-2320

Pg. 3 of 7

"FRONT VIEW"

5' from front of proposed Porch Roof to front of the House



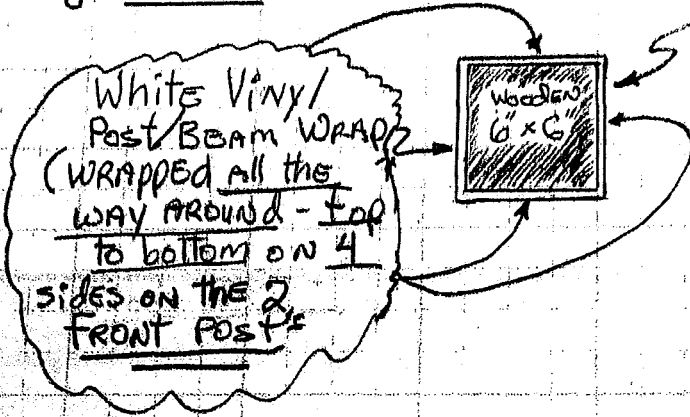
Notes: N.T.S.



Proposed Front Porch for 192 Mendon Center Rd.

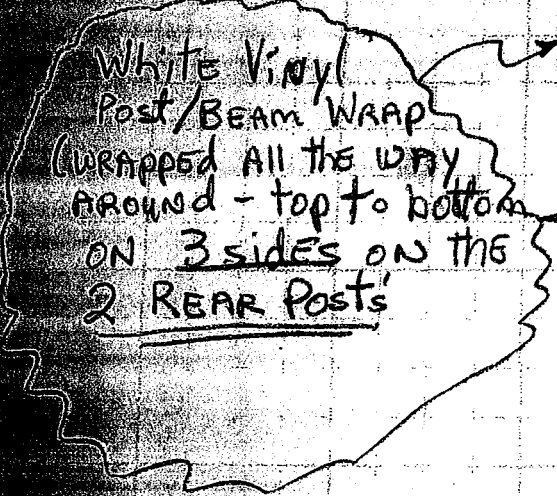
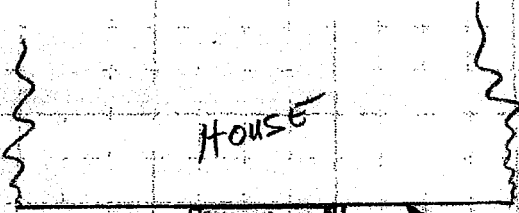
OWNER: Hiep Nguyen mobile #355-2320

12/14/21  
DRAWING: A-1



These ARE what the FRONT 2 Post's will look like:

Showing "Top View" of the 2 FRONT Post's



front of house AND BEAM is mounted flush AGAINST the siding

Showing "Top View" of the 2 Back Post's that will be flush AGAINST the house

Note: N.T.S.



rh0850

12/14/21

Stamping Rochester 100 <stamping@rochester100.com>

pg. 7 of 7

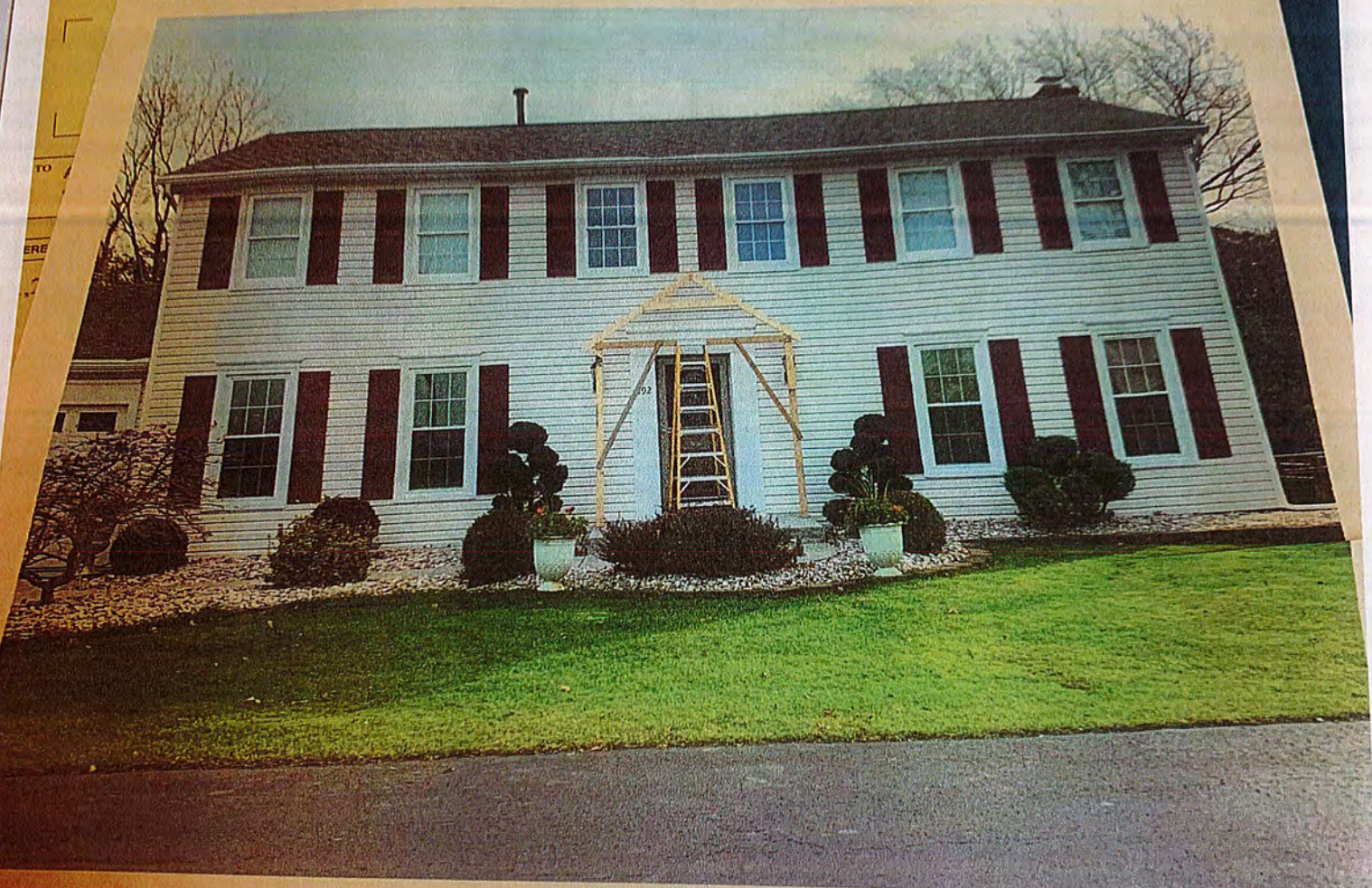
Tue, Dec 7, 2021 at 8:30 AM



1: (585) 477  
X: (585) 477  
MAILING /  
P.O. BO  
CHESTE

(no subject)  
1 message

Hiep Nguyen <chihiep.nguyen@gmail.com>  
To: stamping@rochester100.com

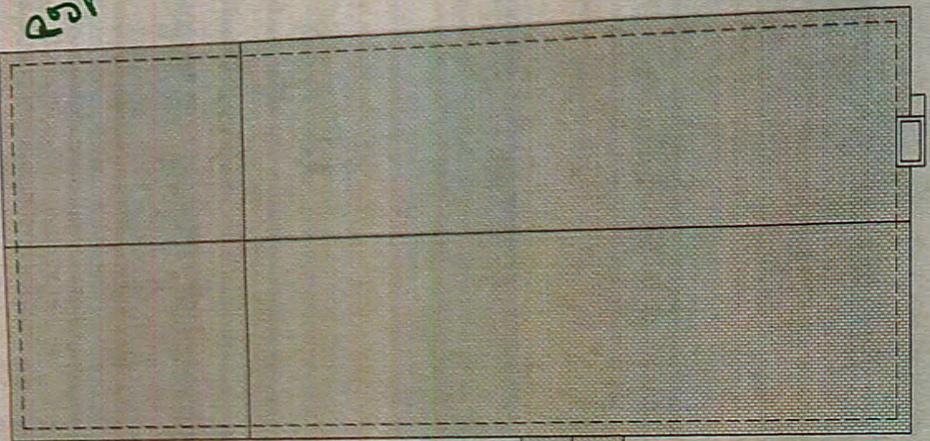


This is my template of my front house

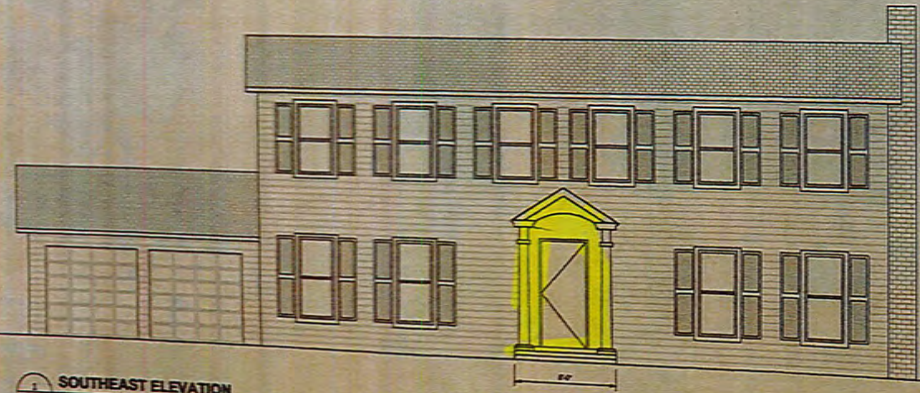


Pg. 6 of 7

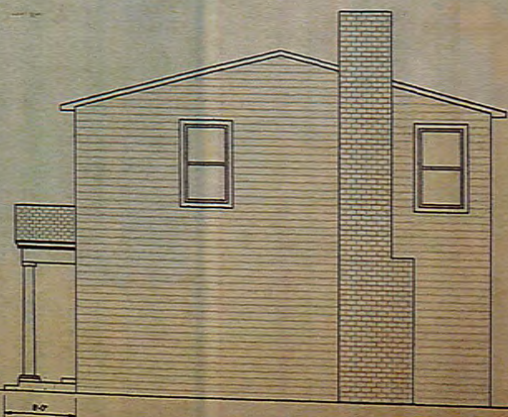
submit  
to) and  
/ht on



SCALE: 1/4" = 1'-0" (3/16")  
1/8" = 1'-0" (1/16")



1  
SOUTHEAST ELEVATION

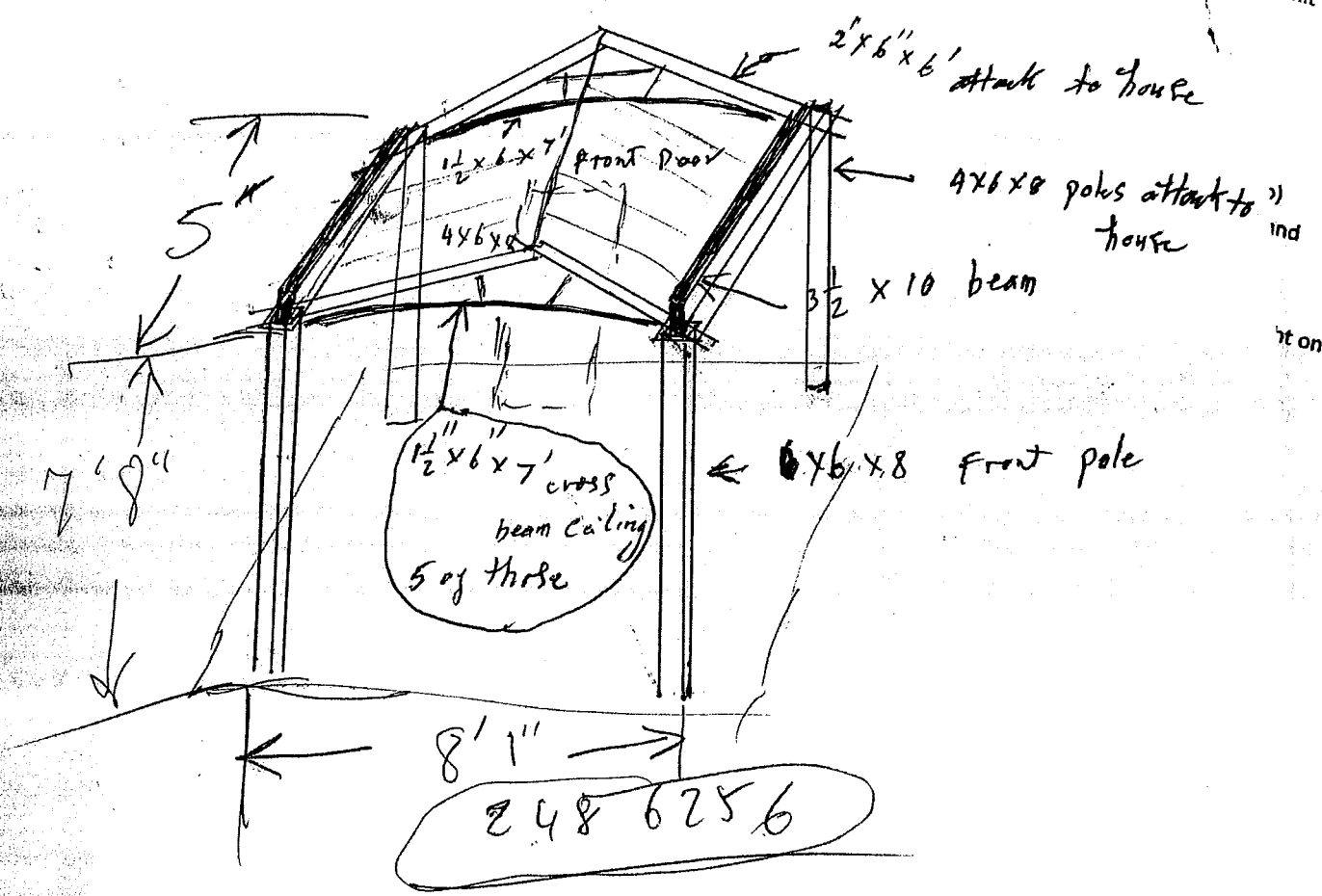


2  
NORTHEAST ELEVATION



192 MENDON CENTER RD  
14534  
cell 355-2350

12/14/21  
Pg. 5 of 7



8" step up  
onto existing  
concrete  
pad

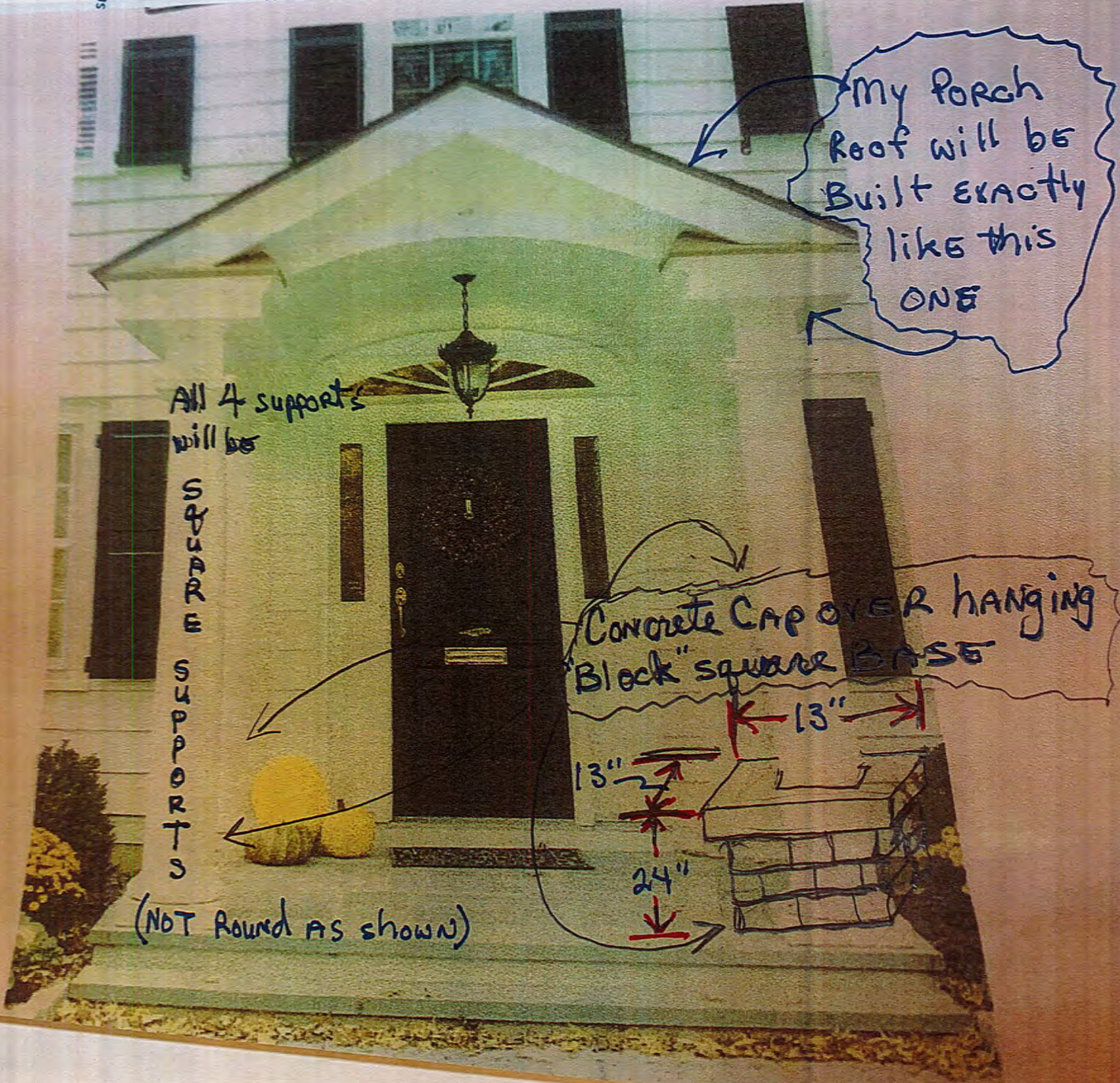


12/14/21  
Pg. 4 of 7

submit this

) Ind

it on



My Porch  
Roof will be  
Built EXACTLY  
like this  
ONE

All 4 supports  
will be

S  
Q  
U  
A  
R  
E  
  
S  
U  
P  
P  
O  
R  
T  
S

(NOT Round AS shown)

Concrete Cap over hanging  
'Block' square BASE

13"

13"

24"





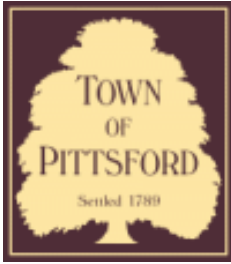












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000256**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 25 Knollwood Drive ROCHESTER, NY 14618

**Tax ID Number:** 138.13-1-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Senthil & Colleen Natarajan

**Applicant:** Senthil & Colleen Natarajan

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a new covered entryway off the front of the house.

**Meeting Date:** January 13, 2022









35

33

39

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22

25

16

10

10

906

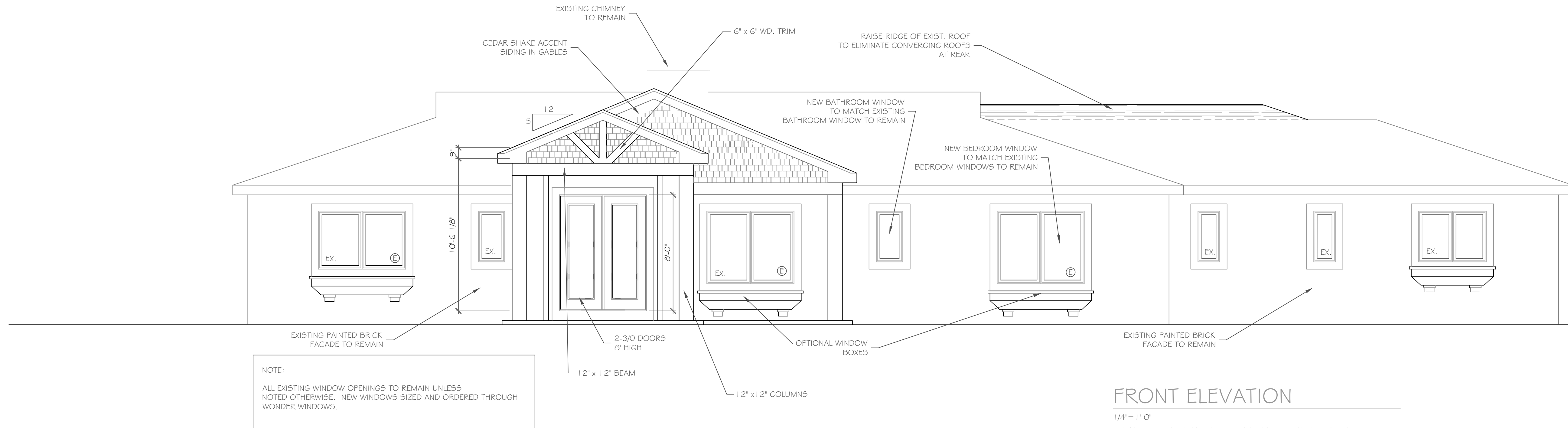
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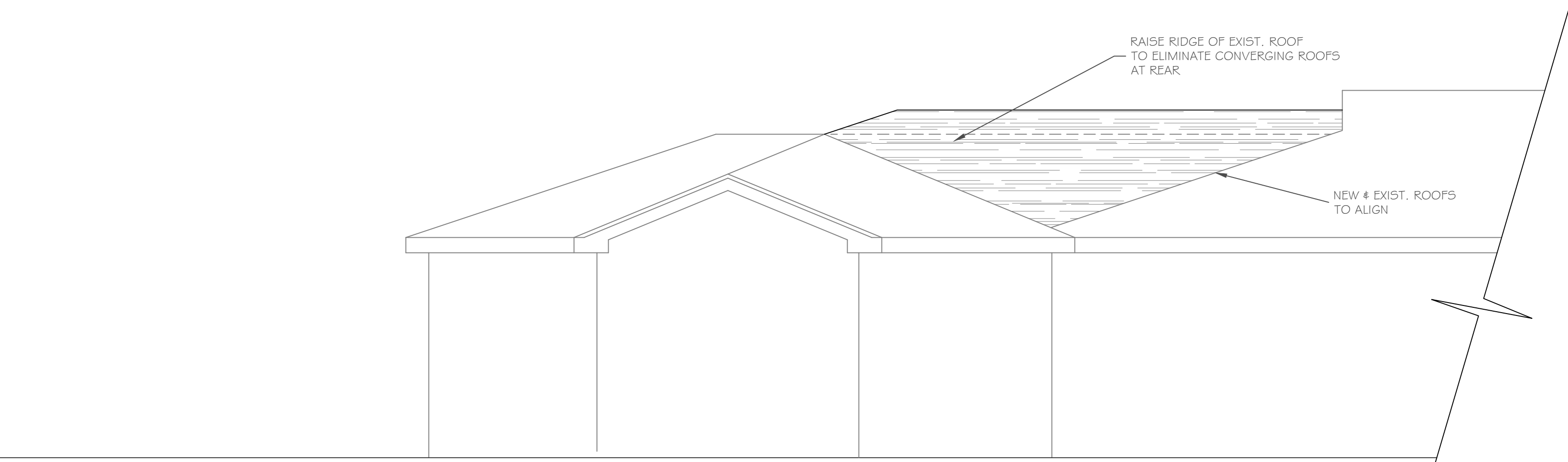
977



NOTE:  
ALL EXISTING WINDOW OPENINGS TO REMAIN UNLESS NOTED OTHERWISE. NEW WINDOWS SIZED AND ORDERED THROUGH WONDER WINDOWS.

**FRONT ELEVATION**

1/4" = 1'-0"  
NOTE: - WINDOWS TO BE "ANDERSEN 200 SERIES" (HP LOW-E) DOUBLE-HUNG (OR EQUAL)  
- DOORS TO BE "ANDERSEN" (OR EQUAL)  
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD PER SECTION R310 OF THE RES. CODE OF NYS  
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R308.4 OF THE RES. CODE OF NYS  
- \* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



NOTE:  
ALL EXISTING WINDOW OPENINGS TO REMAIN UNLESS NOTED OTHERWISE. NEW WINDOWS SIZED AND ORDERED THROUGH WONDER WINDOWS.

**REAR ELEVATION**

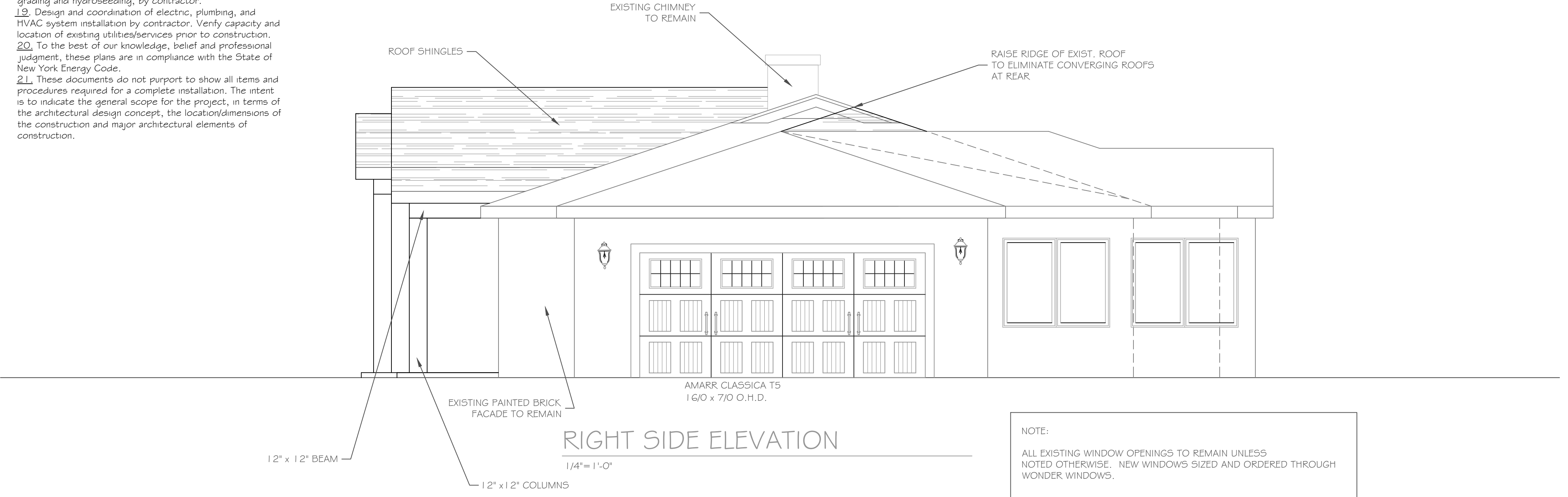
1/4" = 1'-0"

**DEMOLITION NOTES:**

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or sewer.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M. Storage for contractor's equipment and debris must be kept inside the contract area.
- N. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

**CONSTRUCTION NOTES:**

1. Construction shall conform to the residential code of New York State.
2. Comply with all local, state and federal codes and regulations.
3. General Contractor is responsible for all materials, construction methods and craftsmanship.
4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
11. All dimensions are face of wall to face of wall (rough).
12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
13. No site visits will be made by this Architect. contractor shall assume all responsibility for changes to these drawings.
14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
15. Call UFPO before you dig. 1-800-962-7962
16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



NOTE:  
ALL EXISTING WINDOW OPENINGS TO REMAIN UNLESS NOTED OTHERWISE. NEW WINDOWS SIZED AND ORDERED THROUGH WONDER WINDOWS.

**RIGHT SIDE ELEVATION**

1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

**PROJECT:** Renovations to: 25 Knollwood Drive

**CLIENT:** Senthil & Colleen Natarajan

**DRAWING TITLE:** Elevation & Sections

**PHASE:** Construction Documents

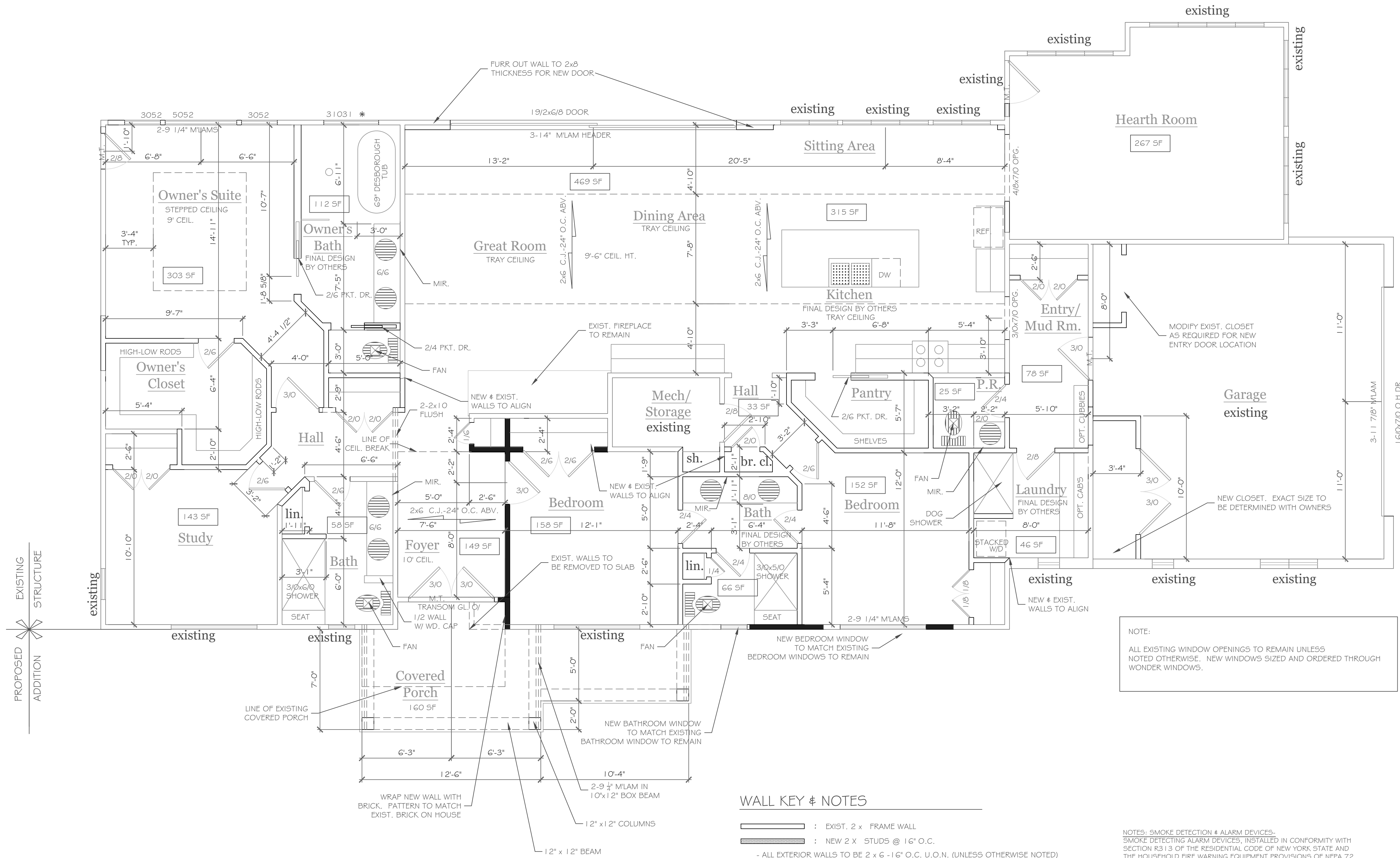
**DATE:** December 2021

**JOB NO.:** A21-011

**CKH architecture**  
1501 Pinesford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontiernet.net

DRAWING NO. -  
**A-1**





# First Floor Plan

1/4"=1'-0"

### WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL
- - - : NEW 2 x STUDS @ 16" O.C.
- ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■ WINDOW R.O. HTS. TO BE +/- 6'-10 1/2" (U.O.N.) CLG. HTS. TO BE +/- 8'-0" (NEW & EXIST. FLOOR & CEIL. LEVELS TO ALIGN)(U.O.N.) ALL ANGLES TO BE 1/2 U.O.N. REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS. (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES- SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RES. CODE OF NEW YORK STATE, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

NOTE:  
ALL EXISTING WINDOW OPENINGS TO REMAIN UNLESS NOTED OTHERWISE. NEW WINDOWS SIZED AND ORDERED THROUGH WUNDER WINDOWS.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-  
**First Floor Plan**

PHASE-  
Construction Documents

PROJECT-  
**Renovations to:  
25 Knollwood Drive**

CLIENT-  
**Senthil & Colleen Natarajan**

JOB NO.-  
A21-011

DATE-  
December 2021

**CKH**  
architecture

1501 Pinetree Victor Road  
Suite 100  
Victor, New York 14564

phone-(585) 249-1334  
e-mail-CKHennessey@frontiernet.net

DRAWING NO.-  
**A-2**



CAROL

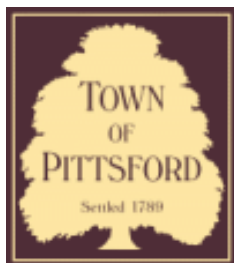












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #  
B21-000253**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3765 East Avenue ROCHESTER, NY 14618

**Tax ID Number:** 138.18-2-15

**Zoning District:** RN Residential Neighborhood

**Owner:** Glenn Paynter

**Applicant:** Cornell Construction Design DBA R & D Remodeling Inc.

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for the construction of a covered entryway off the front of the house.

**Meeting Date:** January 13, 2022



**FOR SALE**



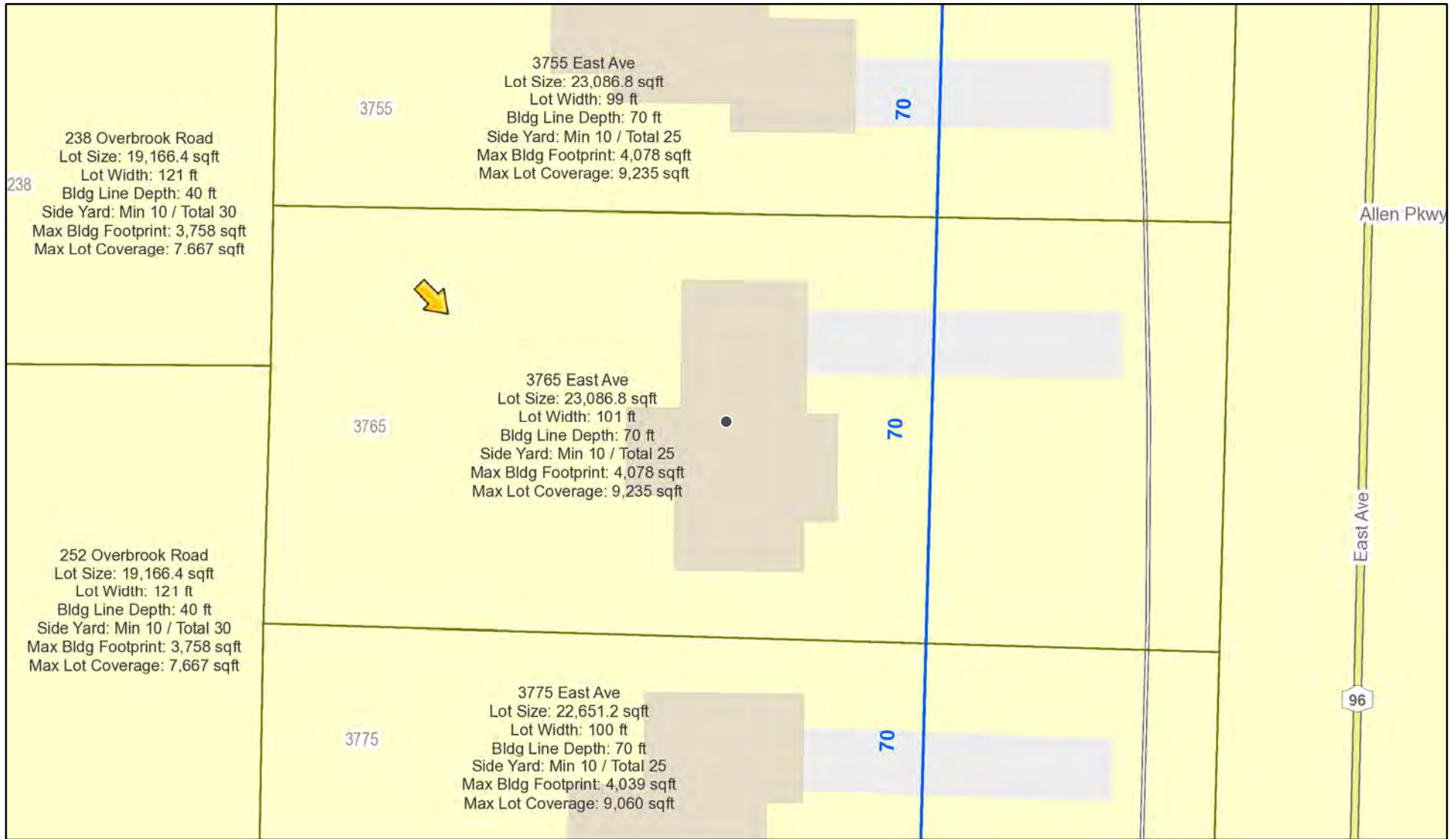
Jim Gaze

PRIM 279-8192  
Plus

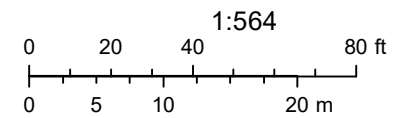
**OPEN SUNDAY**  
1 to 3 PM



# RN Residential Neighborhood Zoning



Printed December 30, 2021



Town of Pittsford GIS

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5765



# PAYNTER RESIDENCE - PORCH

3765 EAST AVENUE PITTSFORD, NY 14534



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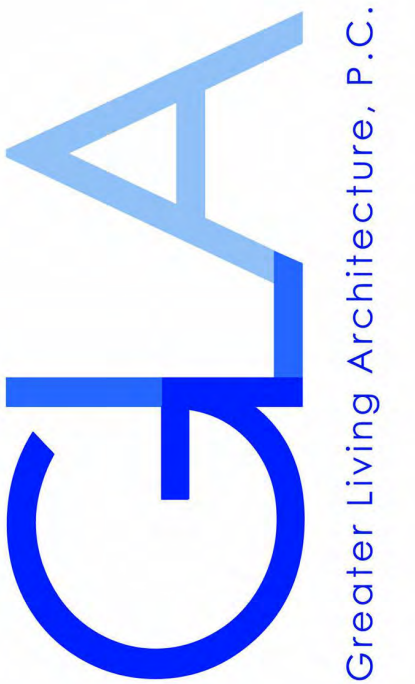


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DATE	BY	DESCRIPTION

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**ABBREVIATIONS:**

AAT	ACCESSIBLE ACOUSTICAL TILE	LH	LEFT HAND
AB	ANCHOR BOLT	LH	LONG LEGS HORIZONTAL
ABV	ABOVE	LLV	LONG LEGS VERTICAL
ACST	ACROUSTICAL	LOC	LOCATION
ADJ	ADJACENT	LOU	LOUVER
A.F.F.	ABOVE FINISHED FLOOR	LT	LIGHT
ALUM	ALUMINIUM	LVL	LEVEL
ANOD	ANODIZED	LW	LIGHT WEIGHT
APPROX	APPROXIMATE	MANUF	MANUFACTURER
APPROV	APPROVED	MATL	MATERIAL
ARCHT	ARCHITECT	MAX	MAXIMUM
ASPH	ASPHALT	MECH	MECHANICAL
ATT	ATTACHED	MEMB	MEMBRANE
B, BO	BULLET BOARD	MFR	MANUFACTURER
BD	BOARD	MR	MAN HOLE
BIFUM	BIFUNCTIONAL	MIN	MINIMUM
BLDG	BUILDING	MIS	MISCELLANEOUS
BLK	BLOCK	MO	MASONRY OPENING
BM	BEAM	MON	MONUMENT
B.O.F.	BOTTOM OF FOOTING	MT	MOUNTED
B.O.H.	BOTTOM OF HEADER	MTL	METAL
BRC	BEARING	MULL	MULLION
BRK	BRICK	N	NORTH
BSMT	BASEMENT	NA	NOT APPLICABLE
BTM	BOTTOM	NCC	NECESSARY
BTWN	BETWEEN	N.H.	NOW HEALING
CRPT	CARPET	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NO	NUMBER
CB	CATCH BASIN	NDM	NOMINAL
CC	CENTER TO CENTER	NTS	NOT TO SCALE
CMNT	CEMENT	OA	OVERALL
CH	CONCRETE HARDENER	OC	ON CENTER
CI	CAST IRON	ODIA	OUTSIDE DIAMETER
CL	CONTROL JOINT	OPG	OPENING
CLST	CLOSET	OPF	OPPOSITE
CL	CENTER LINE	OPV	OVER
CLG	CEILING	OS	OUTSIDE TO OUTSIDE
CLG	CHAULKING	OS	OUTSIDE TO OUTSIDE
CMU	CONCRETE MASONRY UNIT	P	PAINT
CO	CLEAN OUT	FC	FLUING CONTRACTOR
COL	COLUMN	FL	FLATE
COMBO	COMBINATION	F-LAM	PLASTIC LAMINATE
CONC	CONCRETE	FLAS	PLASTER
COND	CONDUCTOR	FLD	PLACES
CONN	CONNECTION	FLWD	PLYWOOD
CONST	CONSTRUCTION	F # P	PAINT # PRIME
CONT	CONTINUOUS	FR	FRAMING
COS	COURSES	FR	FRAMING
CS	COUNTER SINK	FT	FRESHLY TREATED
CTR	CERAMIC TILE	FS	PIPE SLEEVE
CTA	CENTER	FSJ	FOOTINGS PER SQUARE INCH
D	DEEP	FT	FOOT
D	DOUBLE	FTN	PARTITION
DBL	DOUBLE	F.V.C.	FLUOR VITRIL CHLORIDE
DEPT	DEPARTMENT	PMT	PAVEMENT
DF	DRINKING FOUNTAIN	QTY	QUANTITY
DIA	DIAMETER	Q	QUARRY TILE
DIM	DIMENSION	R	RADIUS
DN	DOWN	RB	RUBBER BASE
D.O.	DITTO	RD	ROOT DRAIN
DR	DOOR	REC	RECESSED
DS	DOWNSPOUT	REF	REFRIGERATOR
DTL	DETAIL	REIN	REINFORCING
DW	DRAWING	REQD	REQUIRED
DWG	DRAWING	RESIL	RESILIENT
DWR	DRAWER	RFM	ROOFING
E	EACH	RK	RUBBER
EJ	EXPANSION JOINT	RN	RIGHT HAND
ELEV	ELEVATION	RH	RIGHT HAND
ELC	ELECTRIC	R.O.	ROUGH OPENING
EMER	EMERGENCY	R.O.B.	RUN OF BANK
ENCL	ENCLOSURE	R.O.W.	RIGHT OF WAY
ENT	ENTRANCE	R 4 R	RUBBER # REPLACE
EP	ELECTRICAL PANEL	RS	RISERS
EQ	EQUAL	S	SINK
EQUIP	EQUIPMENT	SC	SOLID CORE
EW	EACH WAY	SCHD	SCHEDULE
EX	EXTERIOR	SD	SMOKE DETECTOR
EXC	EXCAVATE	SECT	SECTION
EXIST	EXISTING	SGL	STRUCTURAL GLAZED UNIT
EXP	EXPANSION	SHT	SHEET
EXPOD	EXPOSED	SHTG	SHREATHING
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	SIDELT	SIDE LIGHT
		SN	SMALL
		SL	SLATE
		SP	SPACE
		SPEC	SPECIFICATIONS
		SQ	SQUARE
		SS	STAINLESS STEEL
		STD	STANDARD
		STR	STRIP
		STR	STRUCTURAL
		SUSP	SUSPENDED
		T	TILE
		TD	TRENCH DRAIN
		TEL	TELEPHONE
		TEMP	TEMPERED
		TERZ	TERRAZZO
		T 4 G	THICK 4 GROOVE
		THK	THICK
		THR	THRESHOLD
		TOP	TOP OF PLATE
		TOS	TOP OF SLAB
		TR	TREAD
		TYP	TYPICAL
		UH	UNIT HEATER
		UNF	UNFINISHED
		U.O.N.	UNLESS OTHERWISE NOTED
		V	VENT
		VAR	VARIABLE
		VB	VINYL BASE
		VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VEST	VESTIBULE
		VF	VERIFY IN FIELD
		VFR	VINYL REINFORCED TILE
		VST	VENT STACK
		VSP	VENT PIPE
		W	WIDE
		W	WITH
		WANIS	WAINSCOT
		WC	WALL COVERING
		WD	WOOD
		WF	WIDE FLANGE
		WH	WATER HEATER
		WO	WITHOUT
		WP	WATERPROOF
		WR	WATER RESISTANT
		WT	WEIGHT
		WW	WOVEN WIRE FABRIC
		YD	YARD

**GENERAL NOTES:**

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL BUILDING CODE ON NEW YORK STATE AND THE NOVEMBER 2018 UNIFORM CODE SUPPLEMENT AND 2020 INTERNATIONAL ENERGY CONSERVATION CODE AND THE 2020 SUPPLEMENT TO THE NYS ENERGY CONSERVATION CODE.

COMPLIANCE METHOD: RES CHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CONSERVATION CODES-STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENTS INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR/SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR/SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAM IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS-USE DIMENSIONS GIVEN.

THE CONTRACTOR/OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNERS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDINGS SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

**SITE WORK:**

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPARTMENT.

**FOUNDATION:**

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALL AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHOULD BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALL AND FOOTINGS.

CONTINUOUS FABRIC WRAPPED 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALL WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER REINFORCEMENT CHARTS.

**FIREPLACES:**

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

**FRAMING:**

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD. WOOD WEB TRUSSES, TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH A MINIMUM OF 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

**ENERGY EFFICIENCY:**

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED.

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

R404.4 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

R402.4.1.2 TESTING. THE ADDITION SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 6. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G., (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

**DURING TESTING:**

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE OPEN FULLY.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

R402.5 MAXIMUM PENETRATION U-FACTOR # SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM PENETRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 # 5 AND .40 IN CLIMATE ZONES 6-8 FOR VERTICAL PENETRATION, # .75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA WEIGHTED AVERAGE MAXIMUM PENETRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATES ZONES 1-3 SHALL BE .50.

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. # A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAD (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY - ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.1.3 INSULATION (PRESCRIPTIVE). SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6 WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa.) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURERS AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa.) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURERS AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 A MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION # TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTIONS R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS # PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVICING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.1

R403.7 EQUIPMENT SIZING AND EFFICIENCY RATING (MANDATORY). HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL AND BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

**GARAGE FIREPROOFING:**

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE # GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THE ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

**STAIRWAY GUARD REQUIREMENTS:**

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE, AS PER SECTION 312.1.1 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

**VENTILATION:**

R806.2 MINIMUM VENT AREA. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS TO BE PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

**STRUCTURAL MATERIAL SPECIFICATIONS:**

STRUCTURAL STEEL ASTM A-36, Fy=36 KSI

REINFORCED STEEL ASTM A-615, Fy=40 KSI

WIRE MESH ASTM A-185, 6x6-10/10 W.W.W.M.

LUMBER ALL STRUCTURAL MEMBERS, JOIST, RAFTERS, ETC. TO BE # 2 GRADE LUMBER (DOUGLAS FIRE-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE

PLYWOOD CDX, PANEL INDEX

LVL, PSL, LSL Fb = 2600 Fv = 285 Ex 10° - 1.9 FcI = 750

MASONRY ASTM C90, GRADE N-1 Fm = 1350 PSI

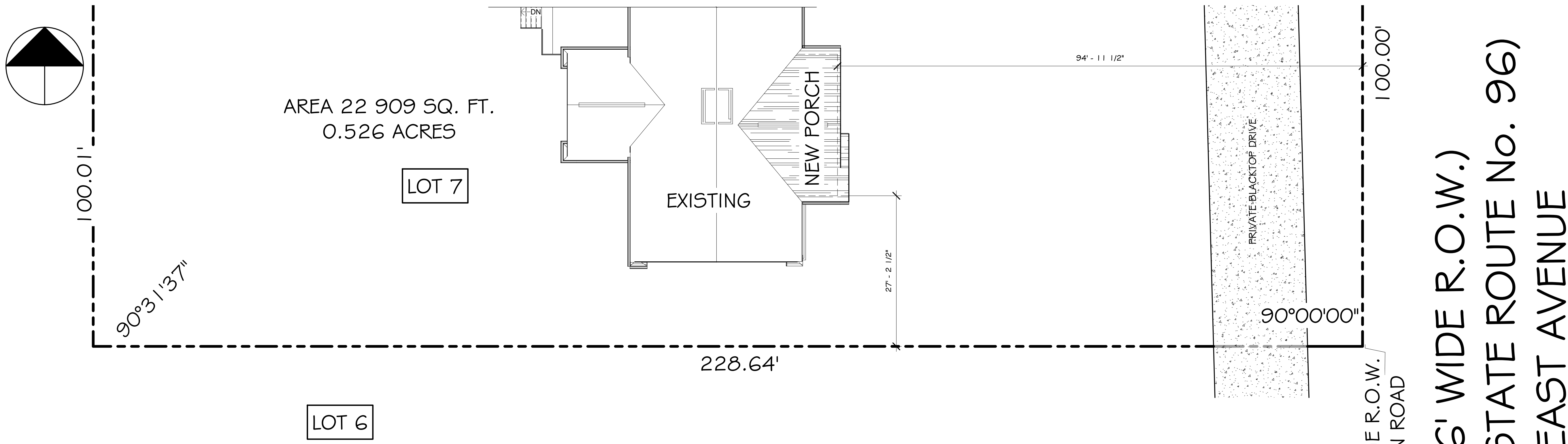
MORTAR ASTM C270, TYPE S

GROUT Fc=2000 PSI ASTM C476

CONCRETE Fc=2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc=3500 PSI MIN (GARAGE SLAB, PORCH SLAB # POURED FOUNDATION WALLS) ALL CONCRETE EXPOSED TO FROST OR WEATHER SHALL BE AIR-ENTRAINED WITH 4.5

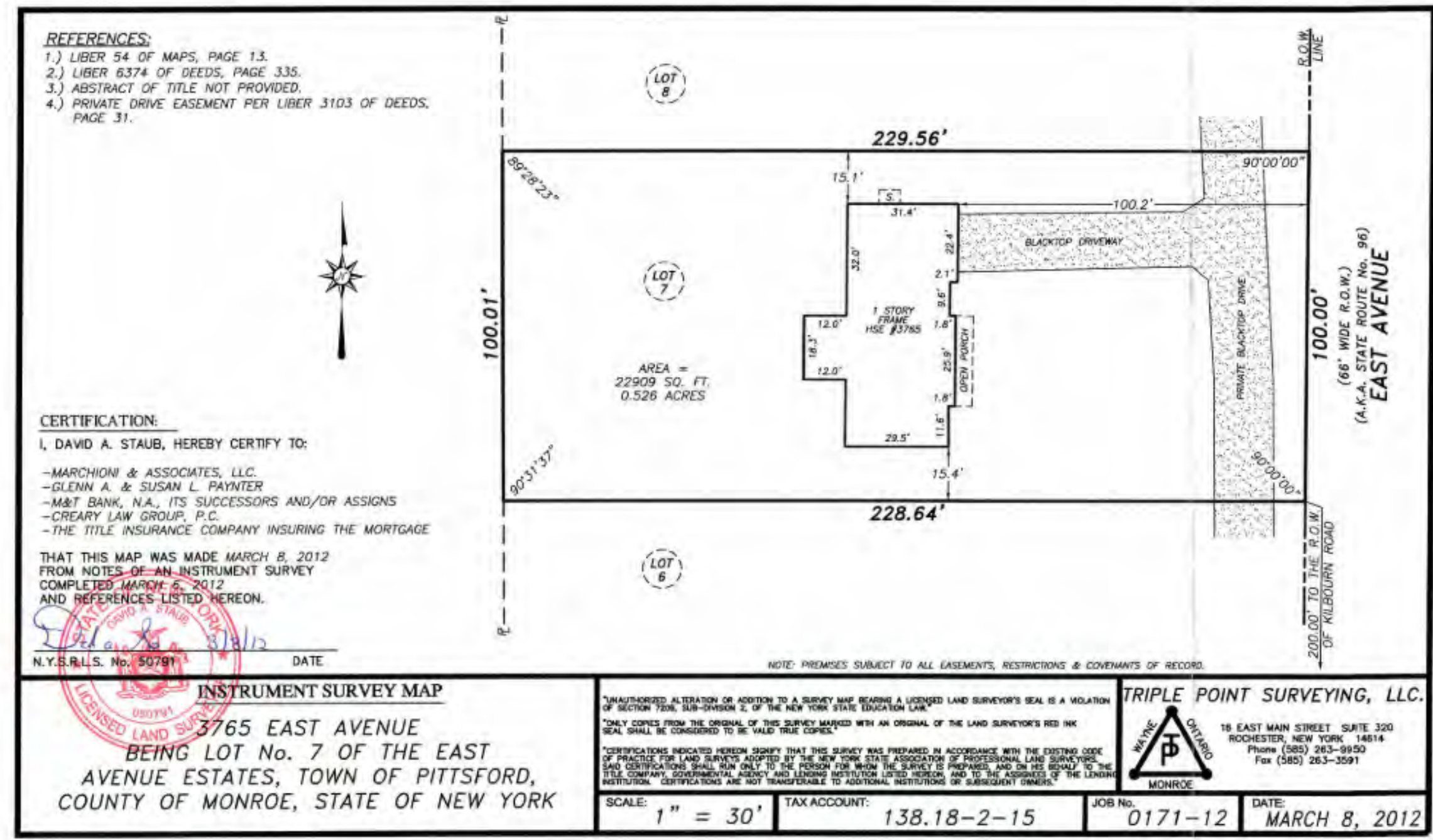


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**1 SITE PLAN**  
 1" = 10'-0"

**GENERAL NOTES:**  
 ARCHITECTURAL SITE PLAN PRODUCED FROM INFORMATION GIVEN ON AN INSTRUMENT SURVEY DATED MARCH 8, 2012 FOR 3765 EAST AVE, TOWN OF PITTSFORD, NY  
 GREATER LIVING ARCHITECTURE IS NOT LIABLE FOR INACCURACIES FROM THE INSTRUMENT SURVEY.



**INSTRUMENT SURVEY MAP**  
 3765 EAST AVENUE  
 BEING LOT No. 7 OF THE EAST AVENUE ESTATES, TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK  
 SCALE: 1" = 30'  
 TAX ACCOUNT: 138.18-2-15  
 JOB NO: 0171-12  
 DATE: MARCH 8, 2012  
 TRIPLE POINT SURVEYING, LLC.  
 18 EAST MAIN STREET, SUITE 320  
 ROCHESTER, NEW YORK 14614  
 Phone: (585) 263-3900  
 Fax: (585) 263-3591

200.00' TO THE R.O.W. OF KILBOURN ROAD  
 (66' WIDE R.O.W.)  
 (A.K.A. STATE ROUTE No. 96)  
 EAST AVENUE

3033 BRIGHTON-HENRIETTA TOWNLINE RD  
 ROCHESTER, NY 14623  
 CALL: (585) 272-9170  
 FAX: (585) 292-1262  
 www.greaterviving.com

**CONSULTANT:**

**CLIENT/LOCATION:**  
 GLENN PAYNTER  
 3765 EAST AVENUE PITTSFORD, NY 14534

**REVISIONS:**

DATE	BY	DESCRIPTION

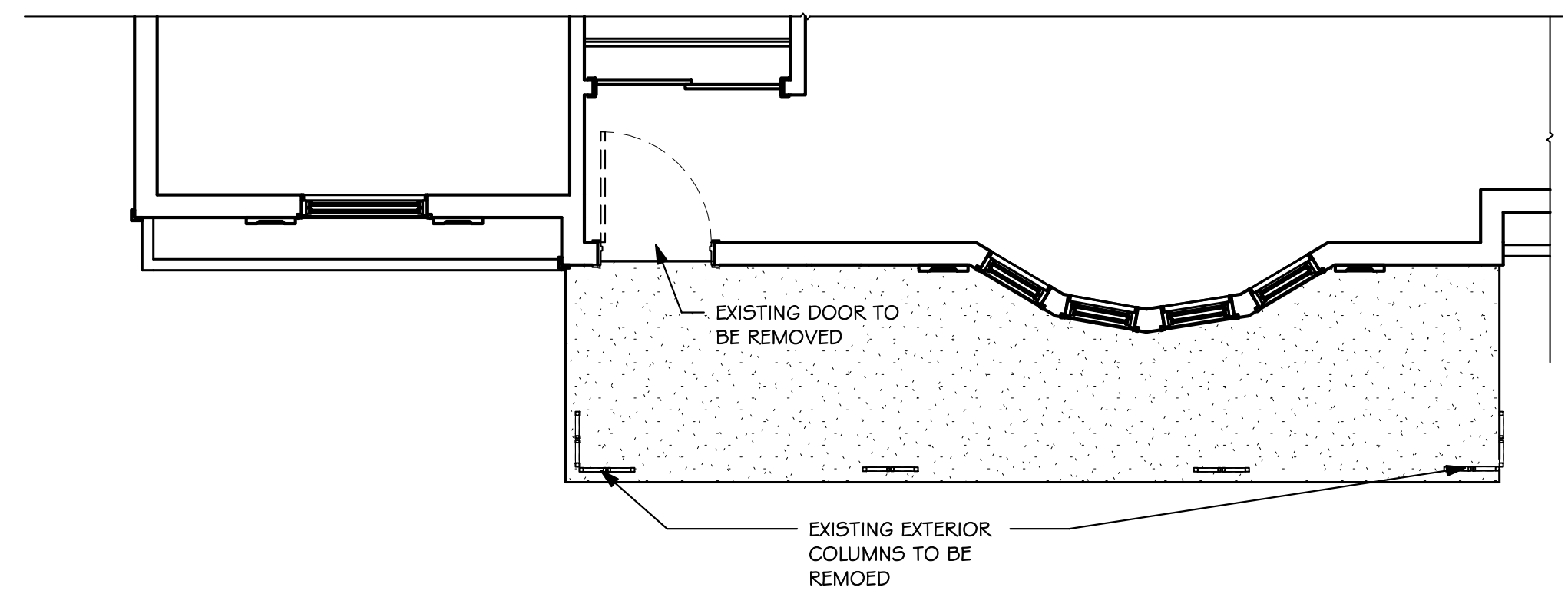
PROPOSED SITE PLAN

**DRAWN:** DOR  
**DATE:** 12/16/2020  
**PROJECT:** 19252  
**SHEET:** AS1

GREATER LIVING ARCHITECTURE, PC  
 NOT RESPONSIBLE FOR SURVEY'S ACCURACY  
 ZONING DISTRICT: RLC - RESIDENTIAL, LOW DENSITY DISTRICT 600  
 SQ. FT. (MAX) GARAGE AND 250 SQ. FT. (MAX) SHED PERMITTED



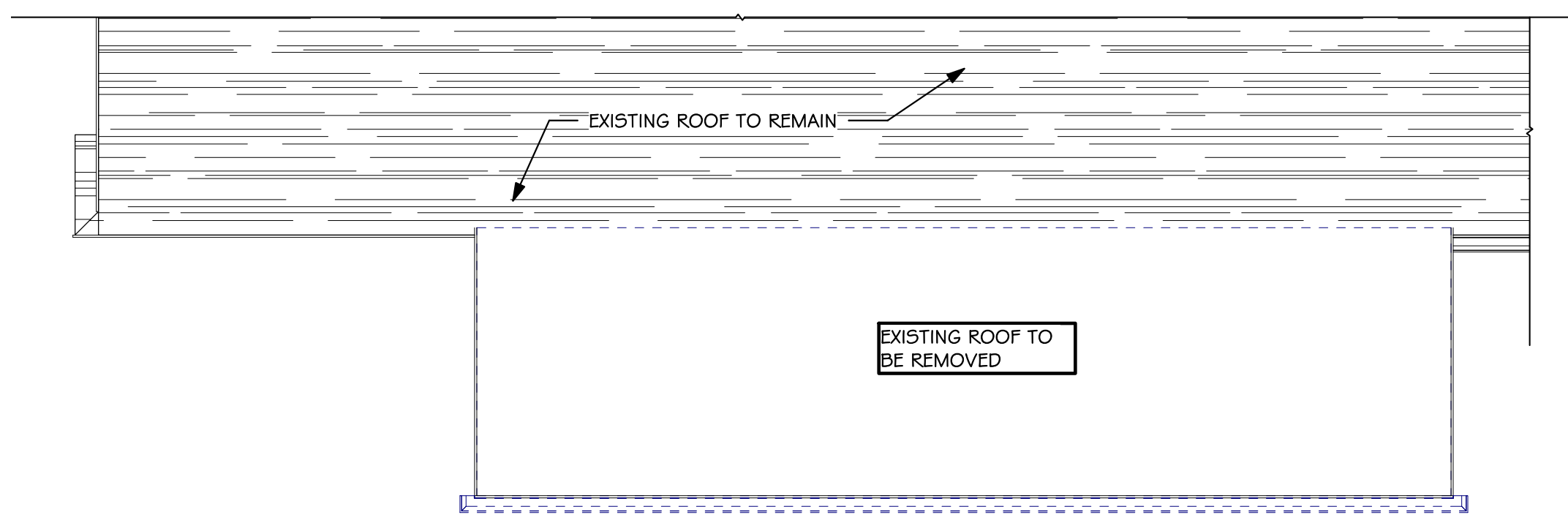
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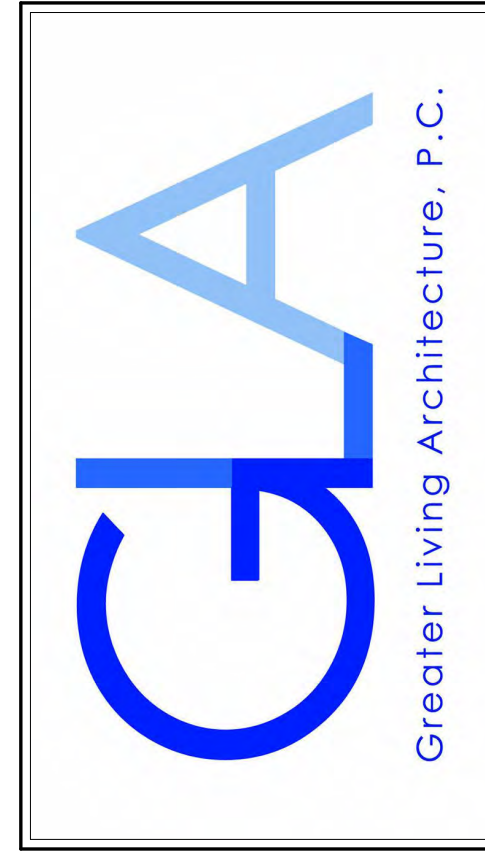
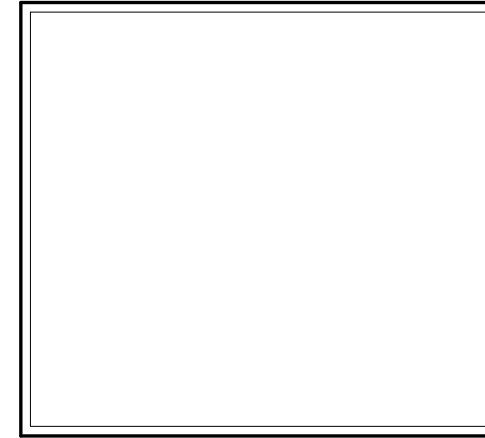
**3** FIRST FLOOR DEMOLITION PLAN  
 1/4" = 1'-0"

**DEMOLITION GENERAL NOTES:**

1. VERIFY BEARING CONDITIONS PRIOR TO REMOVAL OF ANY WALL SCHEDULED FOR DEMOLITION.
2. TEMPORARILY BRACE BEARING WALLS SCHEDULED FOR DEMOLITION.
3. IF ANY BEARING WALLS ARE SCHEDULED FOR DEMOLITION, REVIEW NEW FRAMING REQUIREMENTS WITH THE ARCHITECT PRIOR TO REMOVAL.
4. IF EXCESSIVE DEMOLITION OCCURS REPAIR TO "LIKE NEW" CONDITION AT NO COST TO THE OWNER.
5. IF EQUIPMENT/ WIRING OR DUCT WORK PASSES THROUGH WALLS SCHEDULED FOR DEMOLITION, REMOVE AND RELOCATE IN WALLS TO REMAIN OR NEW WALLS.
6. IF LUGS/ ANCHORS OR FASTENERS REMAIN AFTER WALL REMOVAL CUT THEM OFF FLUSH WITH ADJACENT SURFACES.
7. IF EQUIPMENT/ FIXTURES OR DUCT WORK IS SCHEDULED TO BE REMOVED AND NOT REPLACED, REMOVE IT AND ITS RELATED COMPONENTS IN THEIR ENTIRETY AND CAP OFF PER CODE REQUIREMENTS.



**2** DEMOLITION ROOF PLAN  
 1/4" = 1'-0"



3033 BRIGHTON-HENRIETTA TOWNLINE RD  
 ROCHESTER, NY 14623  
 CALL: (585) 272-9170  
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**CONSULTANT:**

**CLIENT/LOCATION:**  
 GLENN PAYNTER  
 3765 EAST AVENUE PITTSFORD, NY 14534

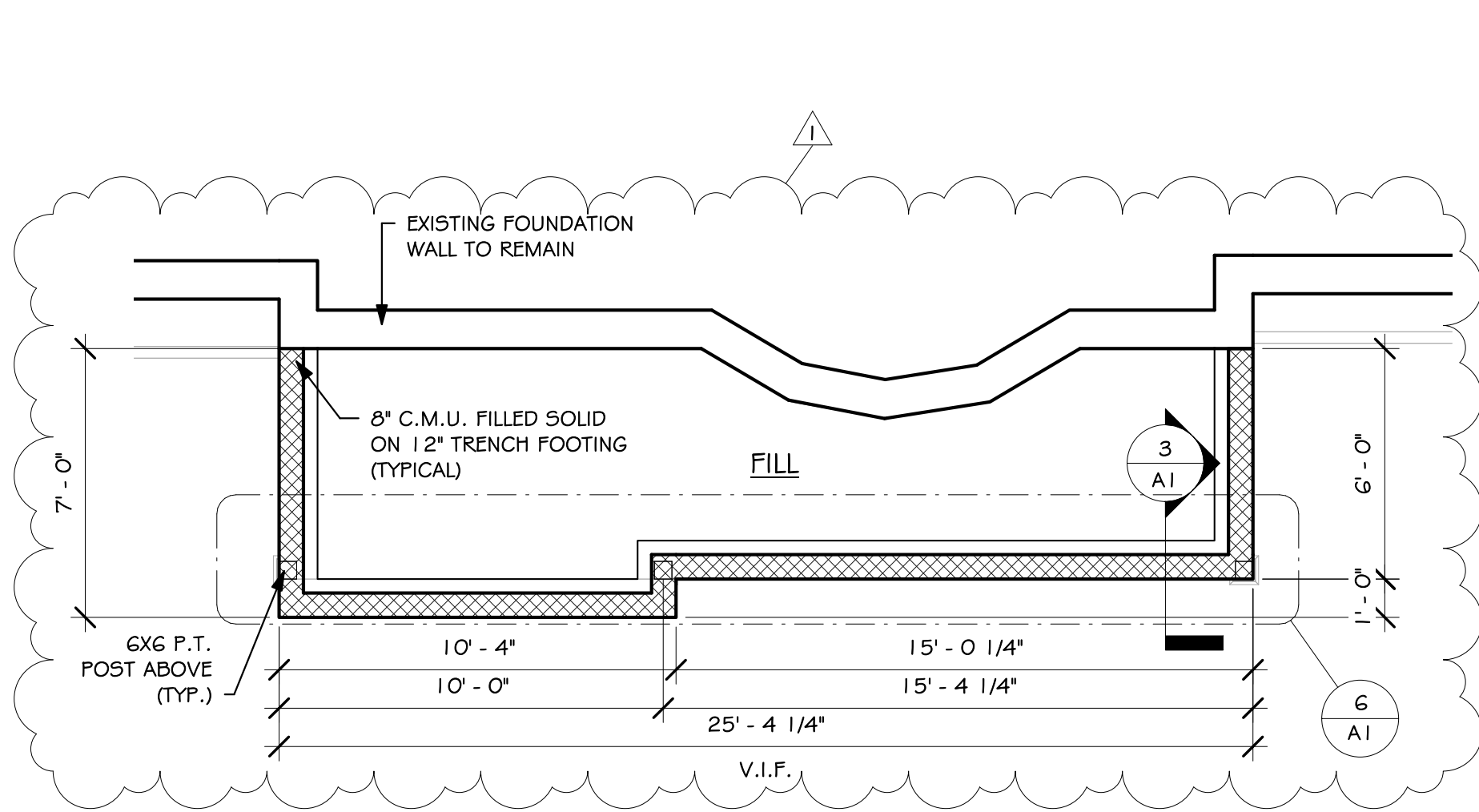
**REVISIONS:**

DATE	BY	DESCRIPTION

ROOF DEMOLITION PLAN  
 # FIRST FLOOR EXISTING  
 # DEMOLITION PLAN

DRAWN: DOR	DATE: 12/16/2021
PROJECT: 19252	SHEET: D1

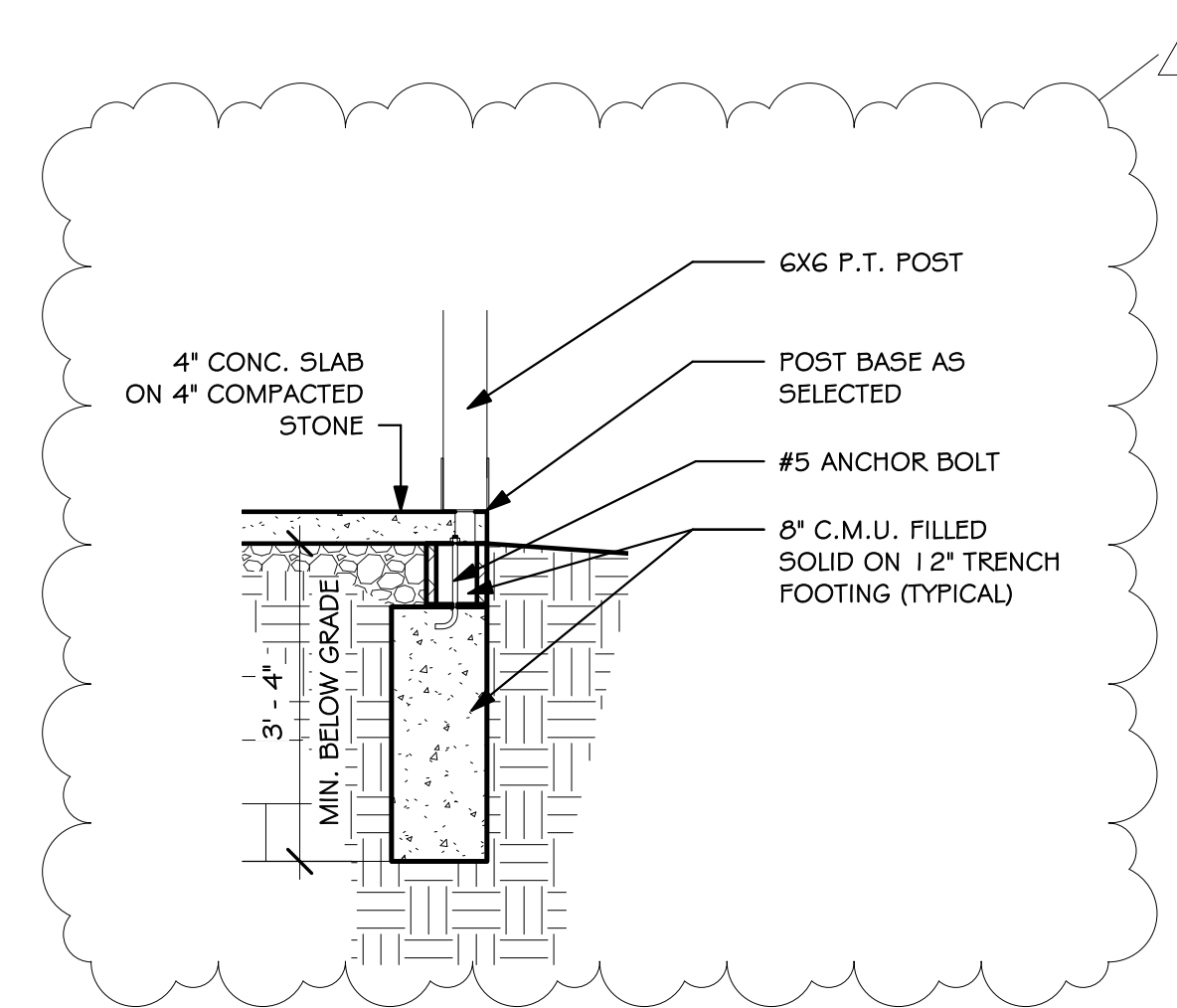




**PORCH FOUNDATION**

**PLAN**

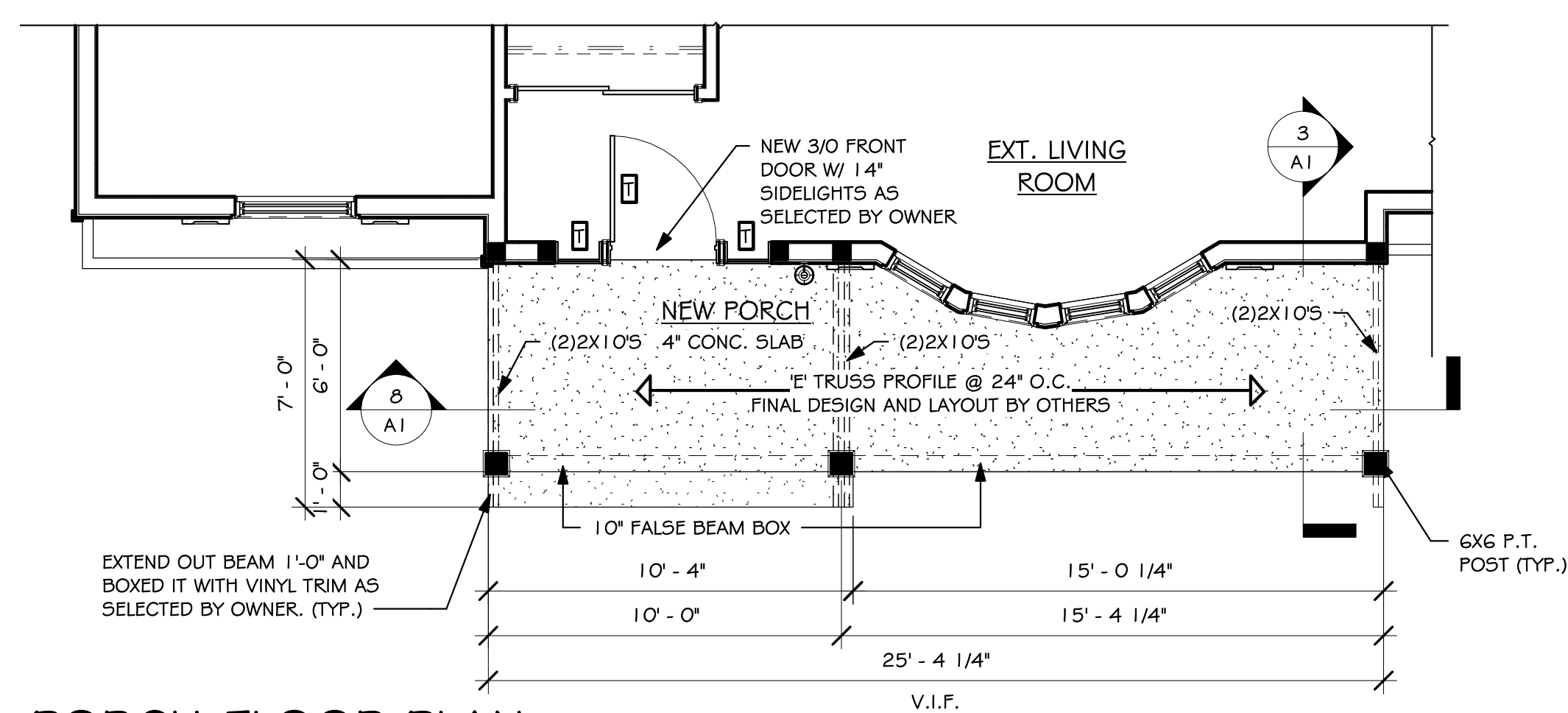
1  
1/4" = 1'-0"



**PORCH FOUNDATION**

**DETAIL**

3  
1/2" = 1'-0"



**PORCH FLOOR PLAN**

2  
1/4" = 1'-0"

**WINDOW/ DOOR LEGEND**

<b>E</b>	= MEET OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
<b>T</b>	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
<b>FP</b>	= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

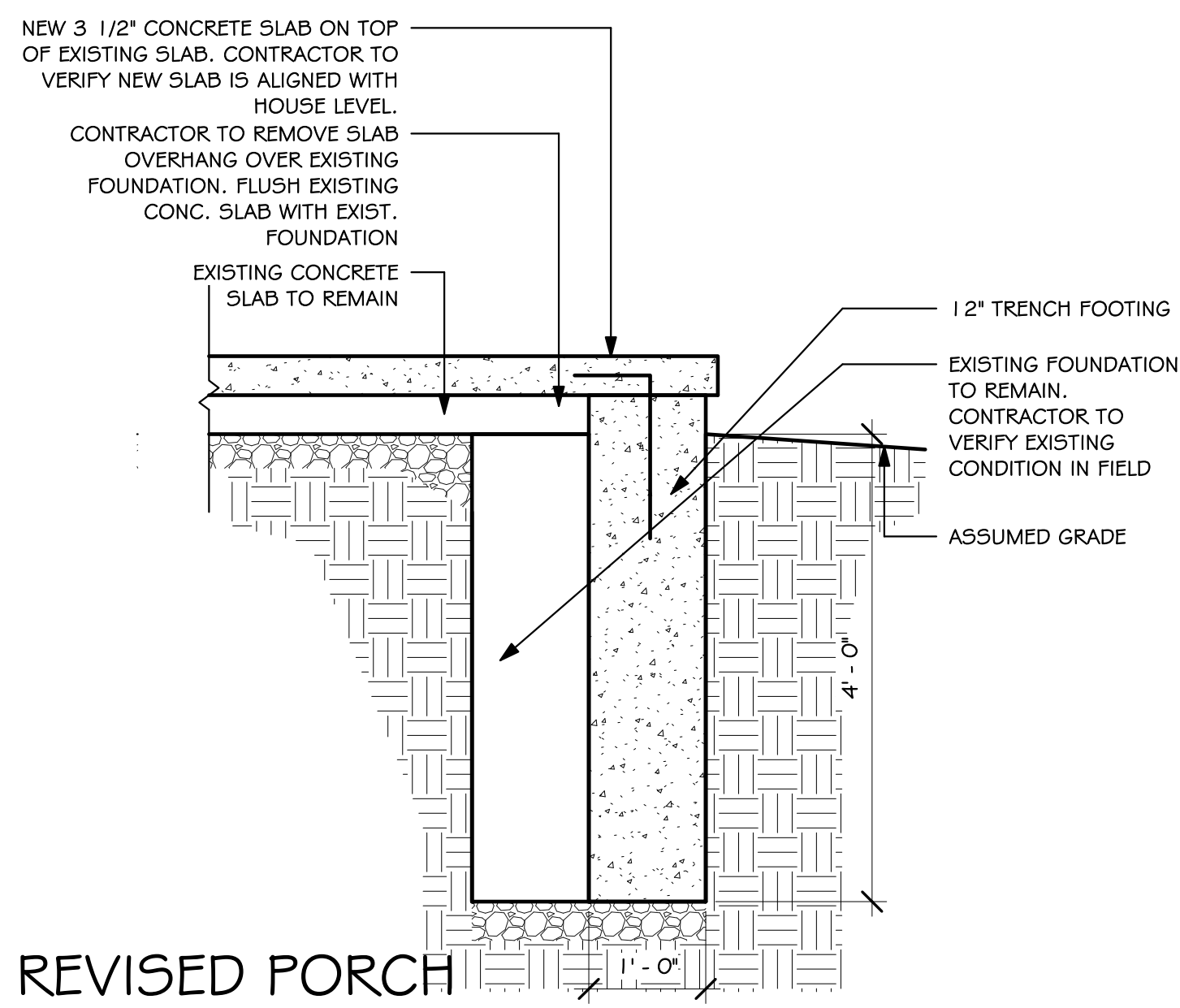
**HEADER SCHEDULE**

EXTERIOR WALLS - FIRST FLOOR		
< 4'-0"	(2) 2x6s	G4N w/ (2) JACK STUDS
< 5'-0"	(2) 2x8s	G4N w/ (2) JACK STUDS
< 6'-2"	(2) 2x10s	G4N w/ (2) JACK STUDS
< 7'-1"	(2) 2x12s OR (3) 2x10s	G4N w/ (2) JACK STUDS
EXTERIOR WALLS - SECOND FLOOR		
< 3'-2"	(2) 2x4s	G4N w/ (2) JACK STUDS
< 4'-8"	(2) 2x6s	G4N w/ (2) JACK STUDS
< 5'-11"	(2) 2x8s	G4N w/ (2) JACK STUDS
< 7'-3"	(2) 2x10s OR (3) 2x8s	G4N w/ (2) JACK STUDS

NOTE: ALL HEADERS TO BE GLUED & NAILED, TYP.

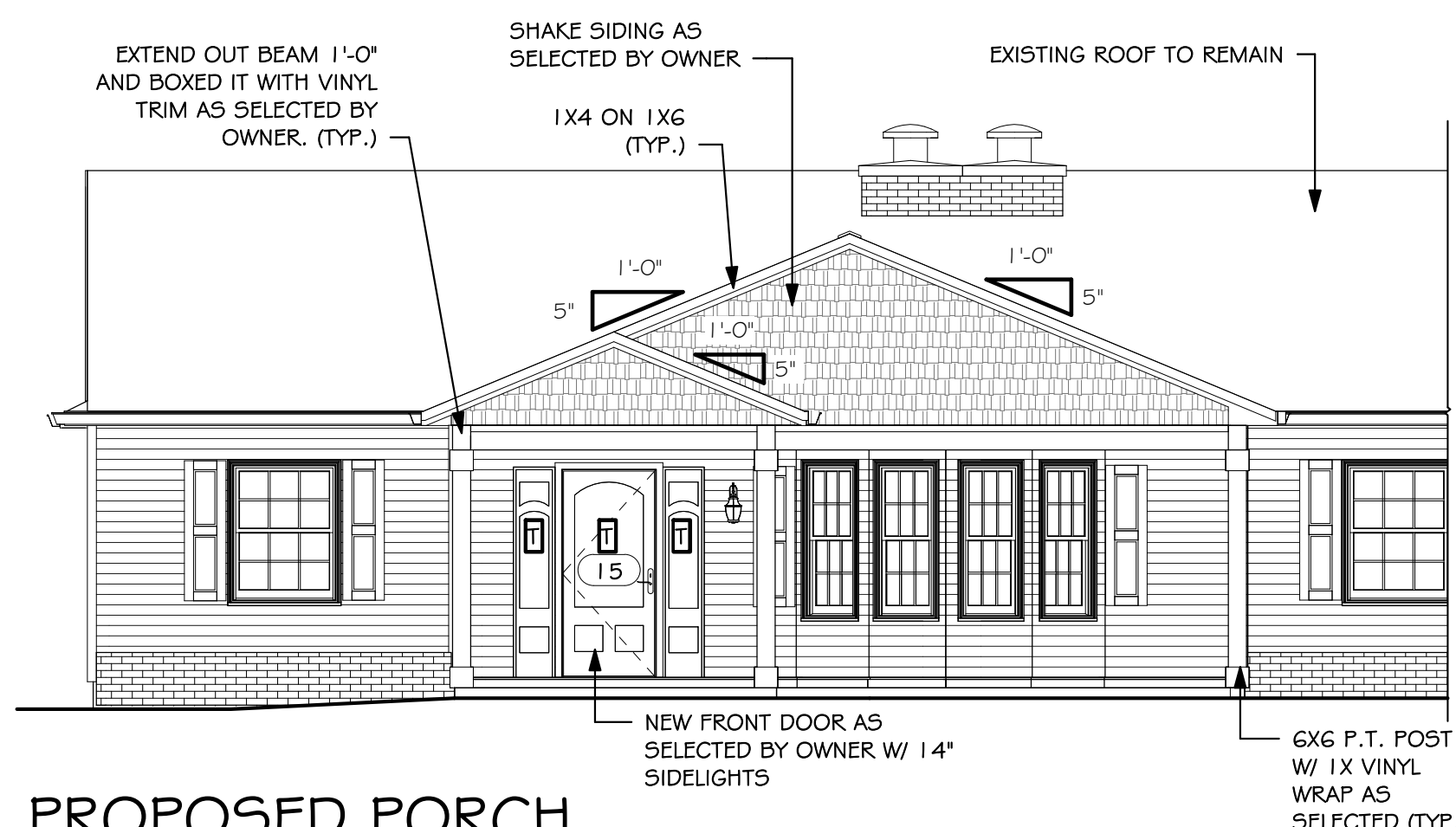
**FRAMING LEGEND**

	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 24" O.C.
	2X6 STUDS @ 24" O.C.
	2X STUDS @ 16" O.C. AT STAIR WALLS, GARAGE WALLS, HOUSE-GARAGE WALLS, & ALL CABINET WALLS



**REVISED PORCH FOUND. DETAIL**

6  
3/4" = 1'-0"



**PROPOSED PORCH FRONT ELEVATION**

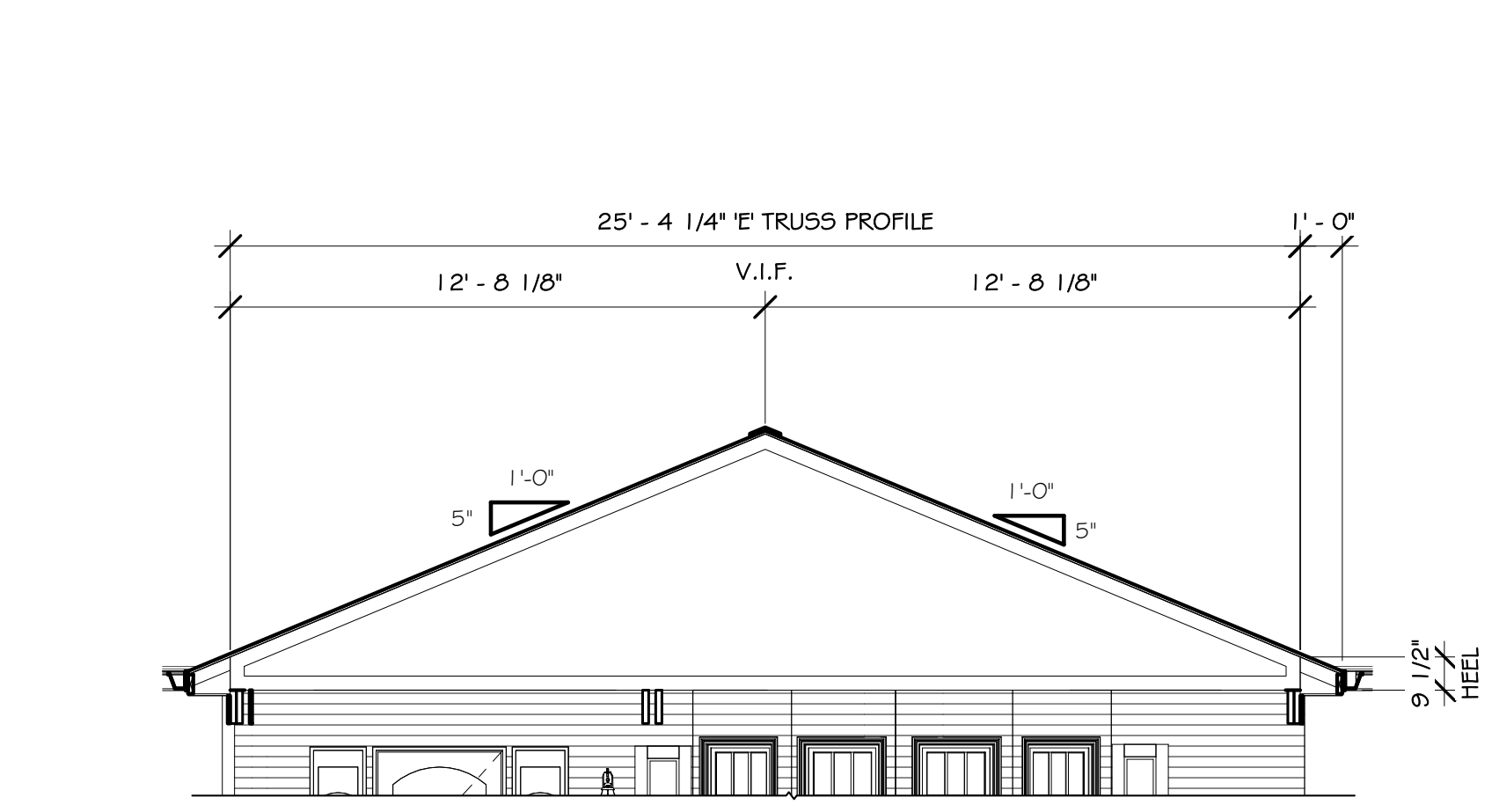
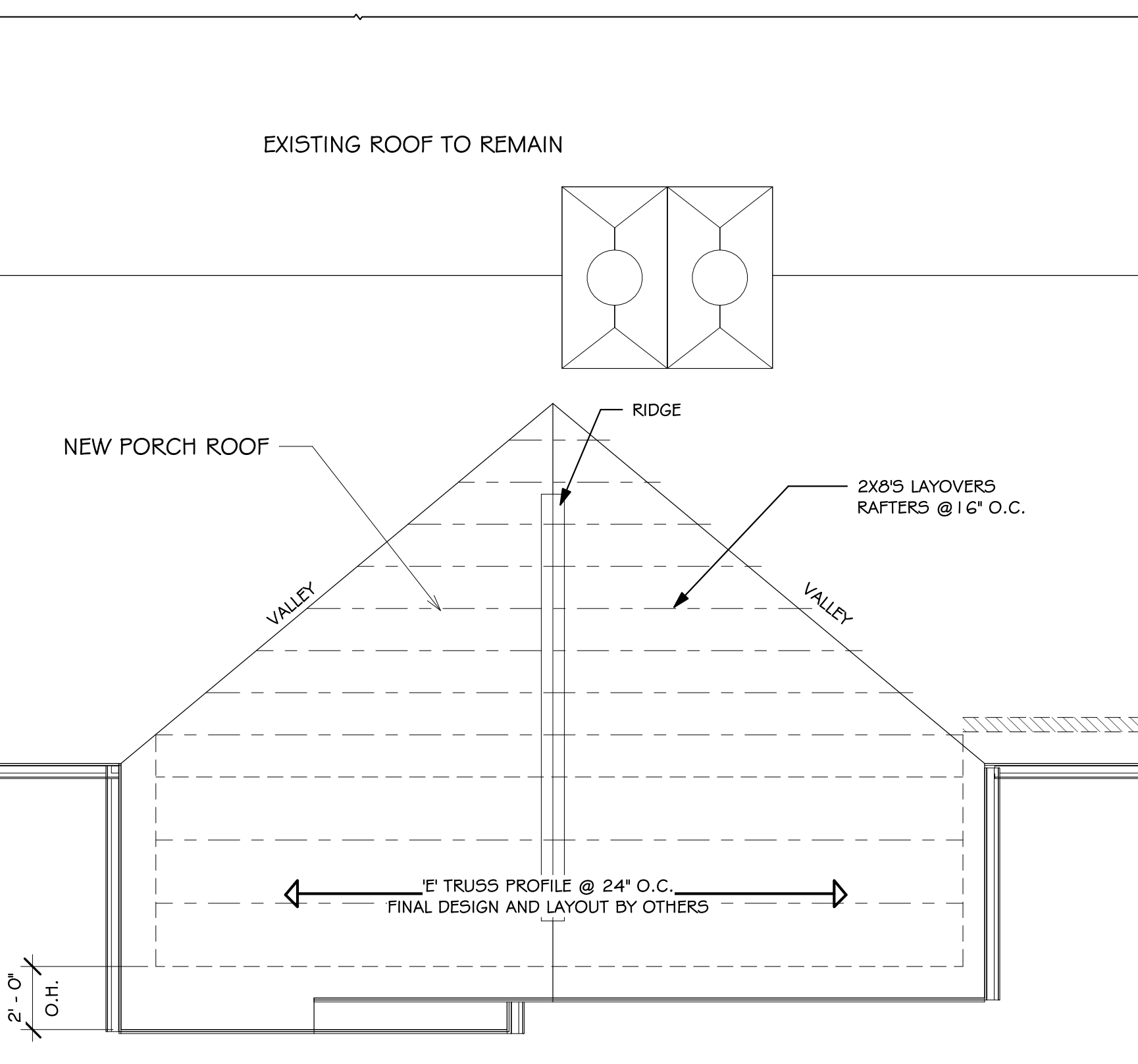
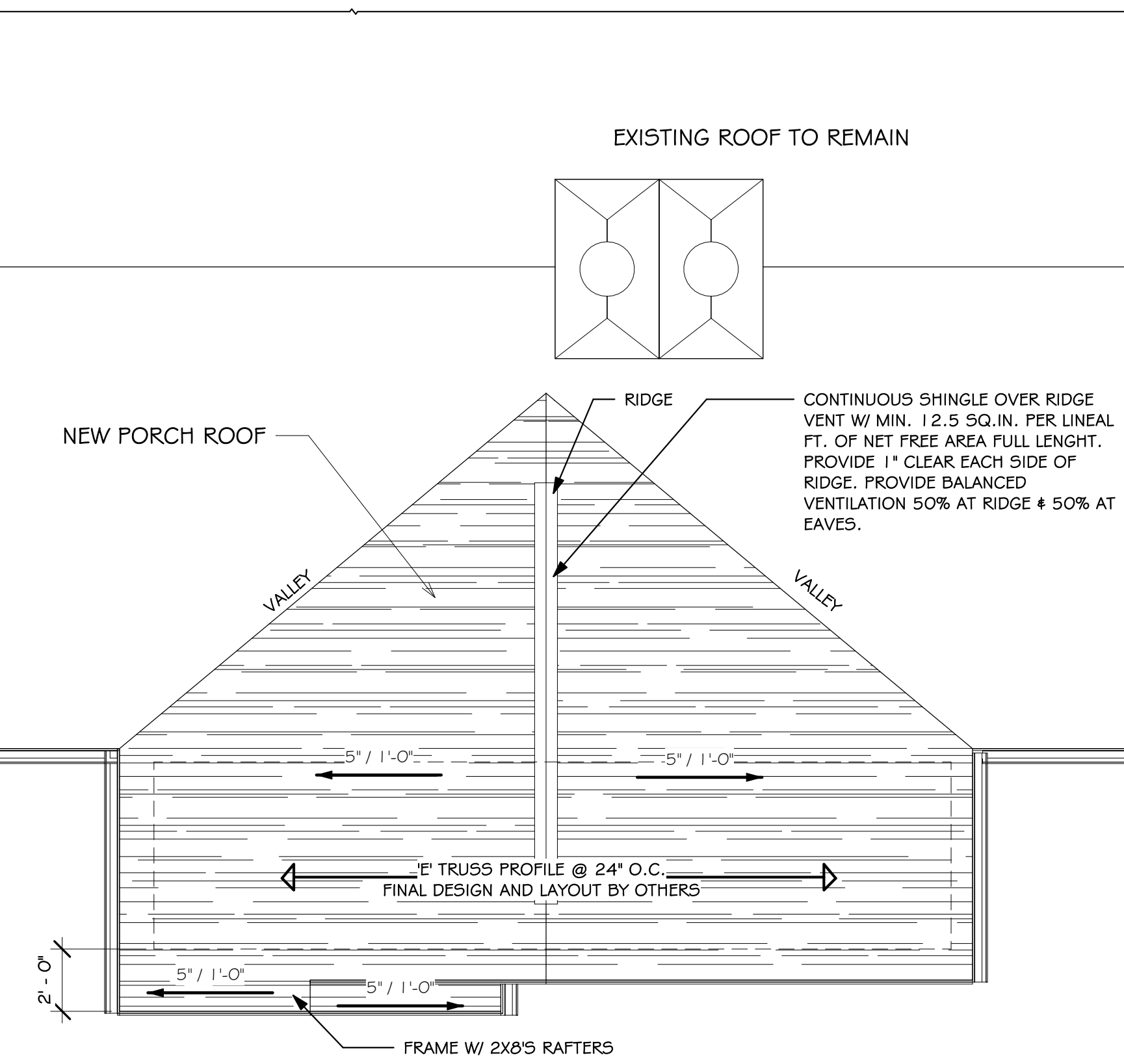
7  
3/16" = 1'-0"

**PORCH ROOF PLAN**

4  
1/4" = 1'-0"

**PORCH ROOF FRAMING PLAN**

5  
1/4" = 1'-0"



**1" TRUSS PROFILE**

8  
1/4" = 1'-0"

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www.greatliving.com

**CONSULTANT:**

**CLIENT/LOCATION:**

GLENN PAYNTER  
3765 EAST AVENUE PITTSFORD, NY 14534

**REVISIONS:**

DATE	BY	NO.	DESCRIPTION
12/02/22	DOR	1	REVISED PORCH DETAIL. REFER TO GA1

**FOUNDATION, FLOOR & ROOF PLANS**

DRAWN:	DATE:
DOR	12/16/2021
PROJECT:	SHEET:
19252	A1





1735

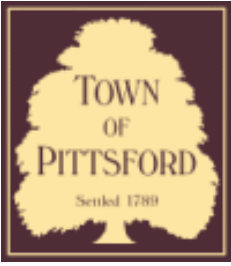












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000240**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 33 Coventry Ridge PITTSFORD, NY 14534

**Tax ID Number:** 177.03-5-42

**Zoning District:** IZ Incentive Zoning

**Owner:** TOC Capital Ventures LLC

**Applicant:** Coventry Ridge Building Corp.

#### Application Type:

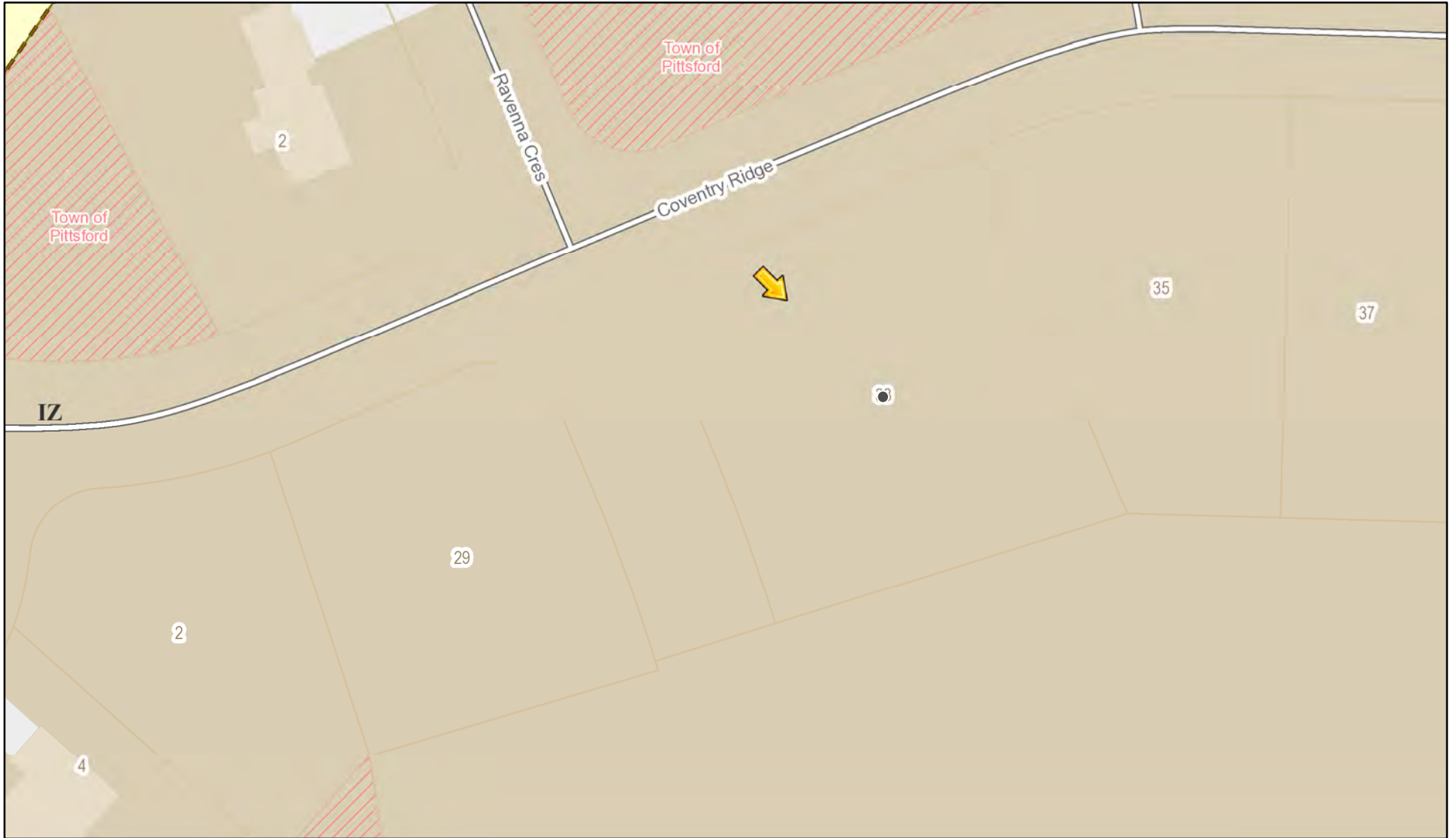
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 2926 square feet and located in the Coventry Ridge Subdivision.

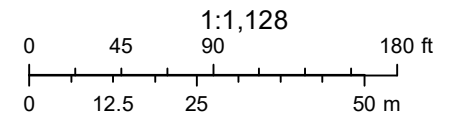
**Meeting Date:** January 13, 2022



# RN Residential Neighborhood Zoning



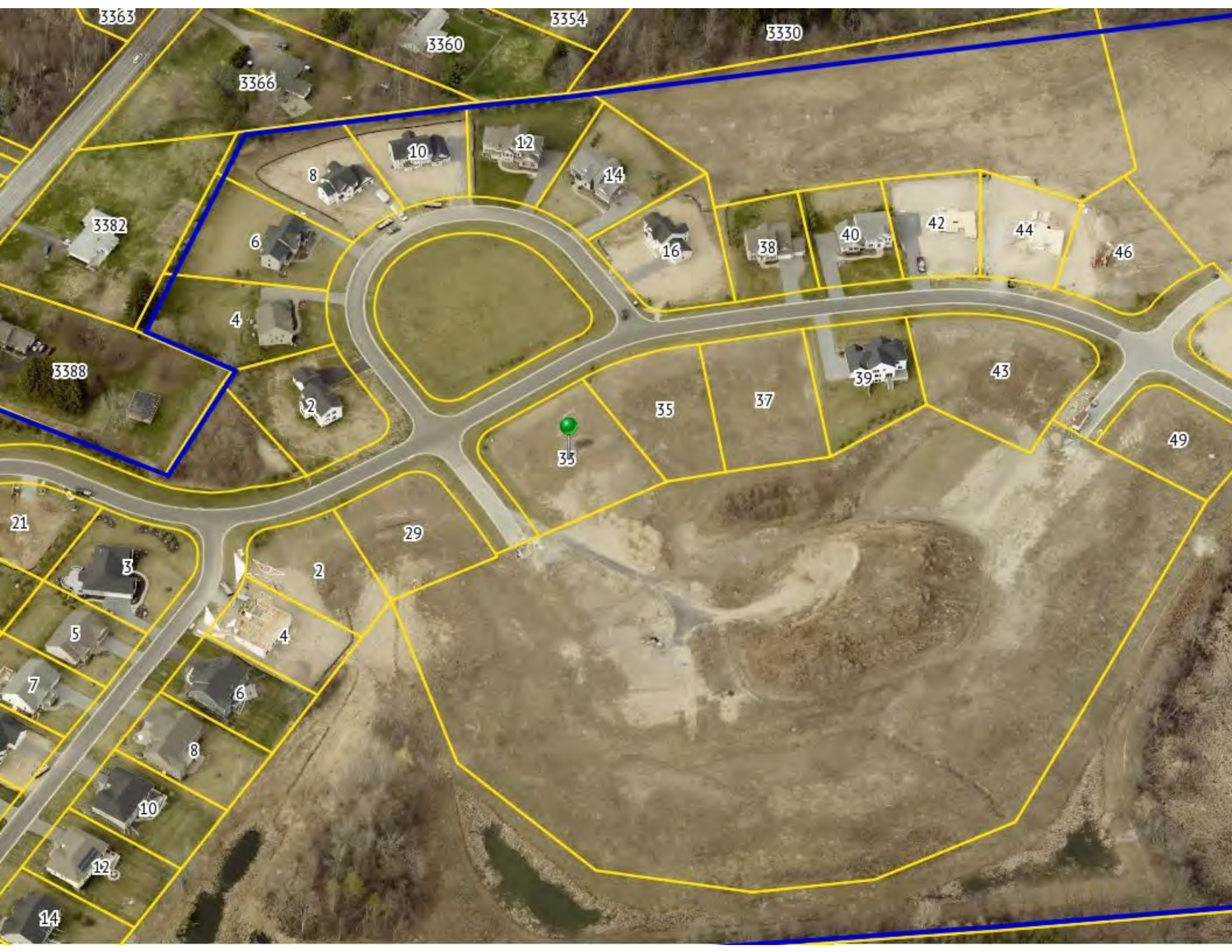
Printed December 29, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





3363

3354

3330

3360

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3382

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29

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12

14





# SPEC HOME

## LOT 103 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP.

### PLAN 2926 / PROJECT 15420D

#### SHEET INDEX

- C-1 COVER SHEET
- 1/6 ELEVATIONS
- 2/6 ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

#### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNYS ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE ), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

#### ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG., THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

#### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

#### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE PUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

#### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

#### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQD. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

#### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R31.1.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

#### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

#### STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy = 33 KSI

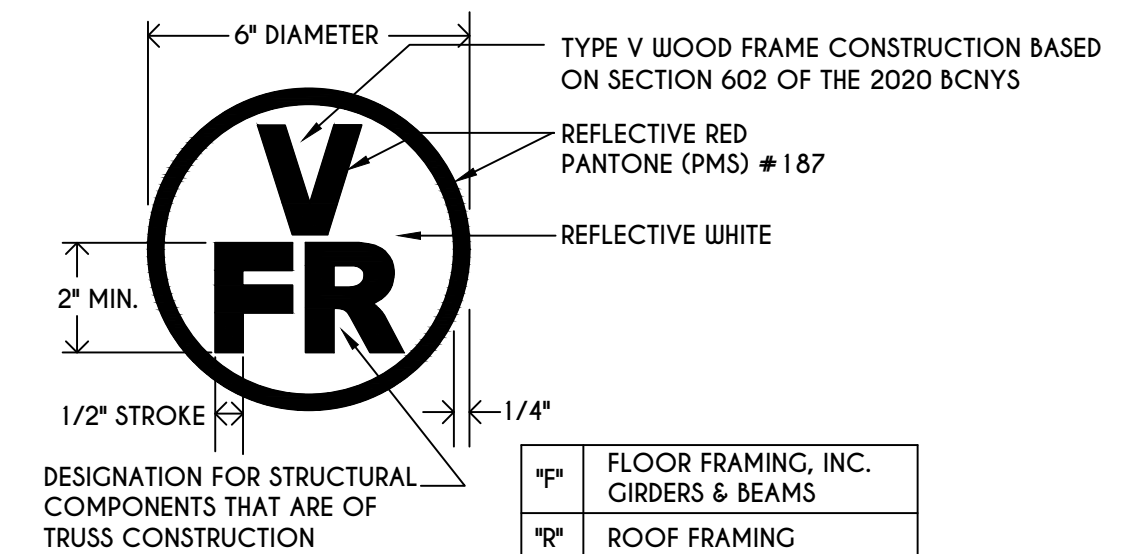
#### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

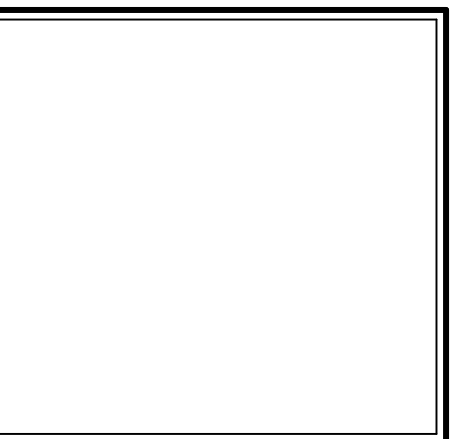
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

#### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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REVISIONS:		
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
  
SPEC HOUSE  
LOT 103 COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

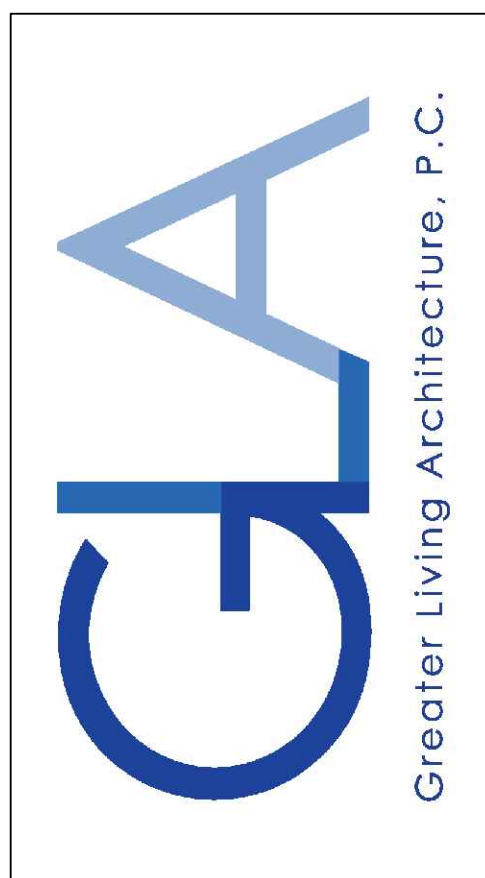
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GLA PLAN 2926

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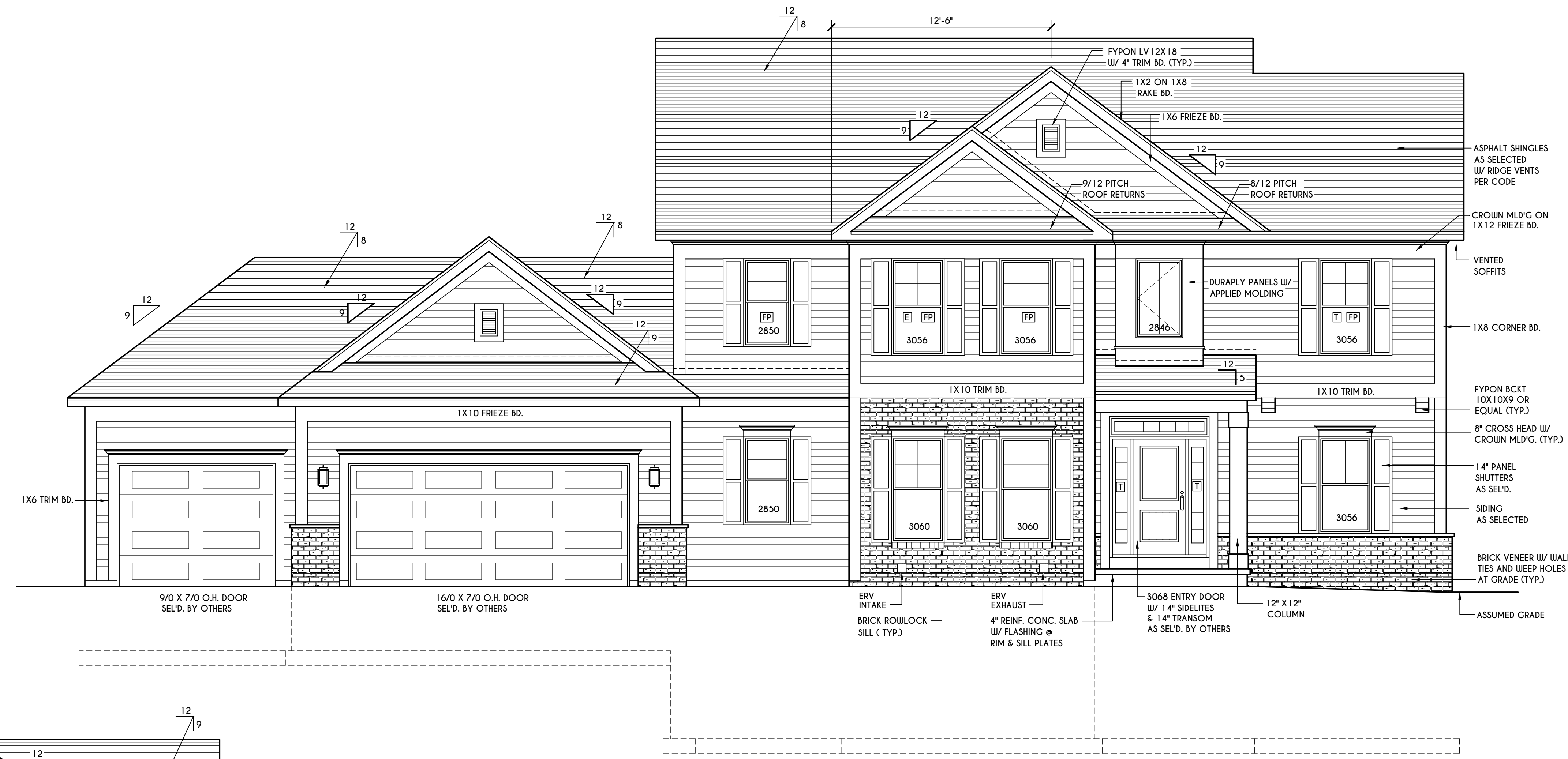
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 2926**

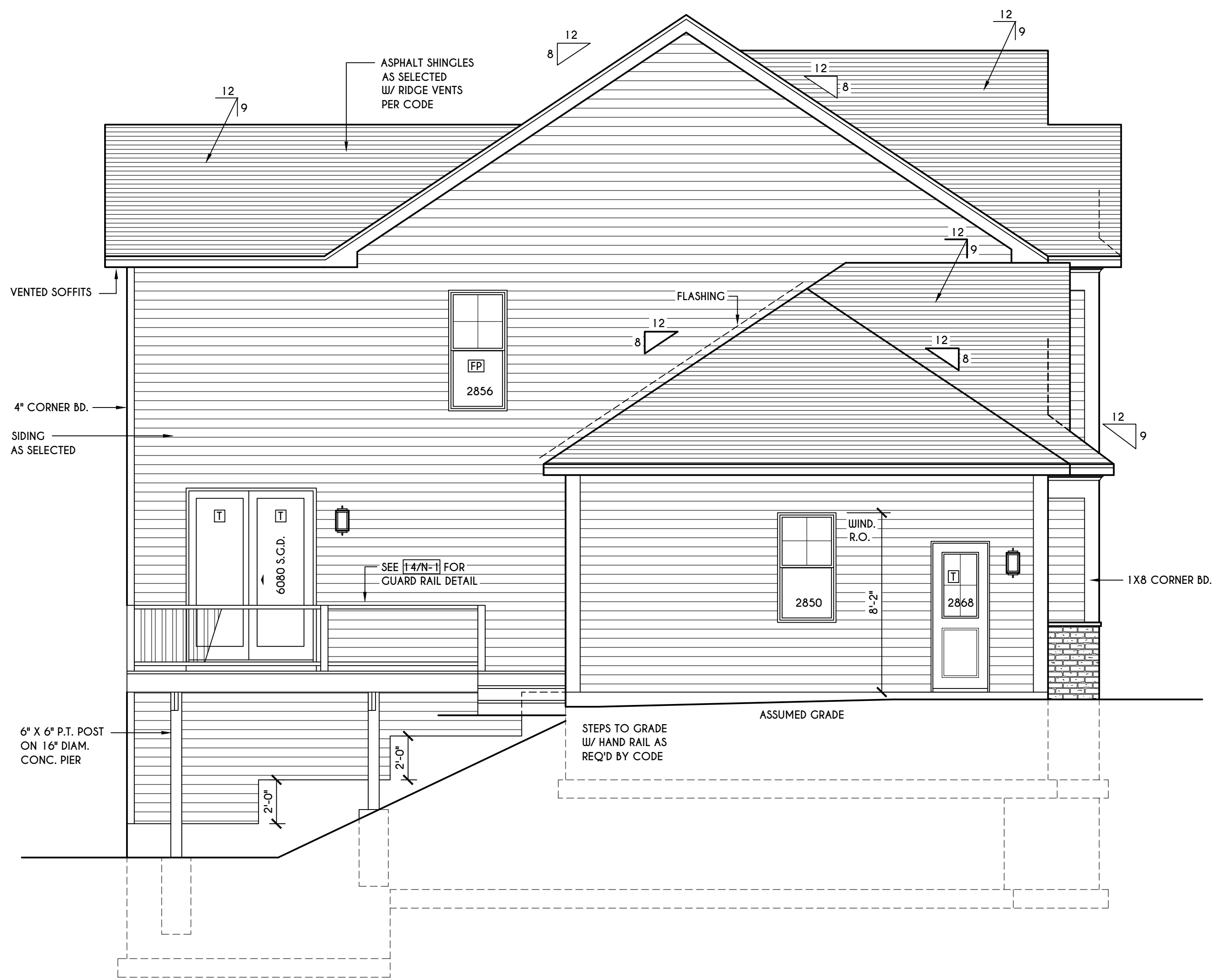
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**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 1444 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1482 SQ.FT.  
 TOTAL LIVING AREA = 2926 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 40,774 CU.FT.

**HOUSE FOOTPRINT**  
 SCALE: 1" = 50'-0"



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

**TABLE M1505.4.3 (1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a, b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4**  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** U-FACTOR 0.29, SHGC 0.56, WINDOW TYPE: WOOD 2 LOC DH SOLAR GAIN W/ ARGON

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

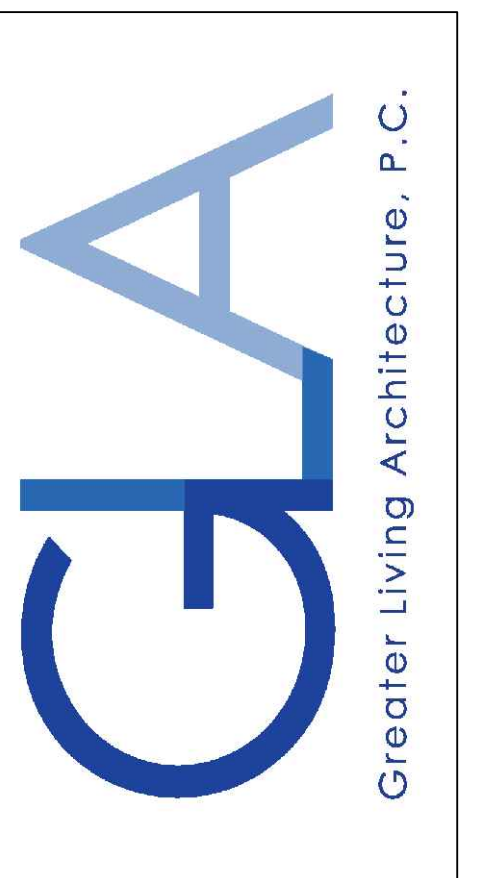
**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL BAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



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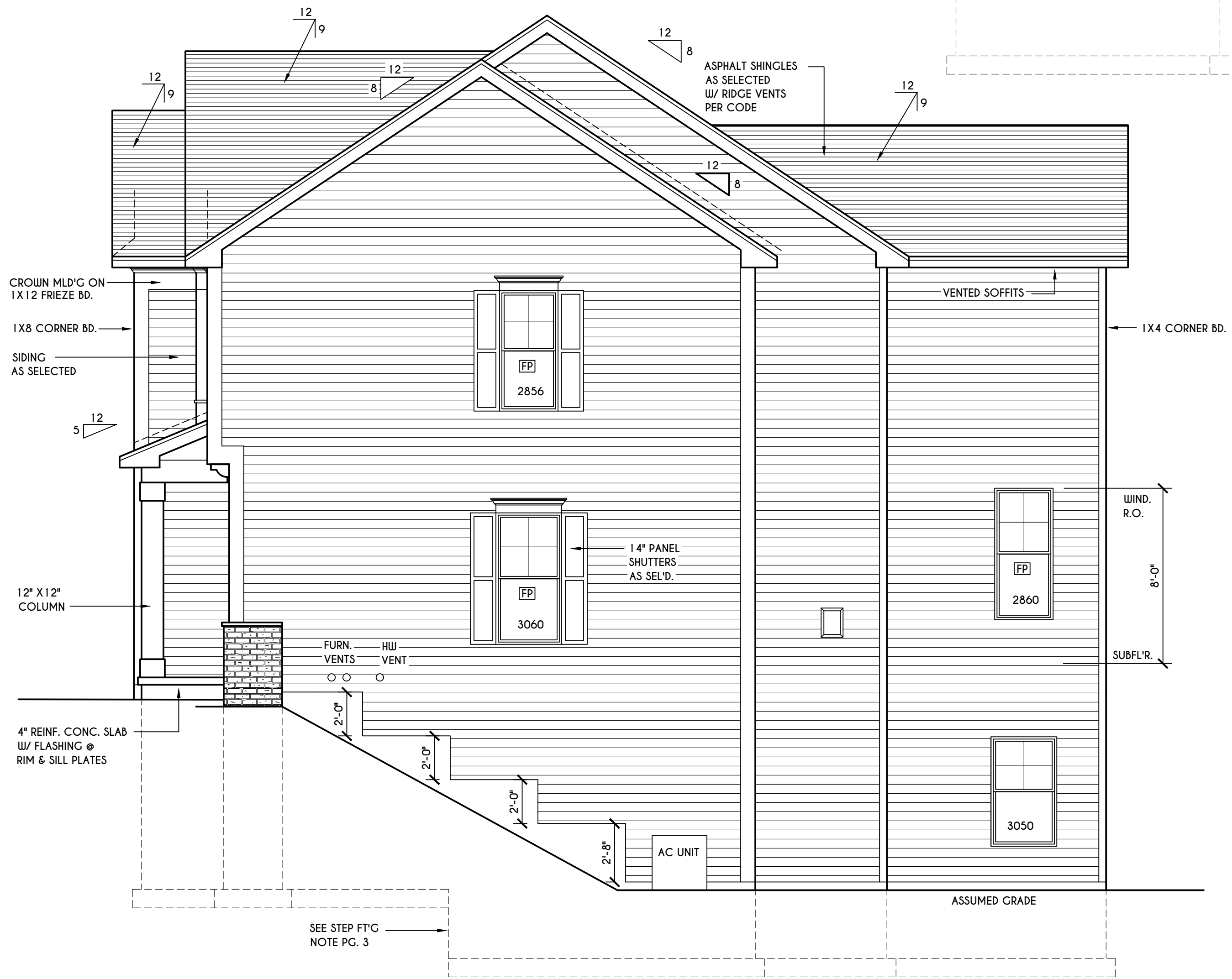
**ELEVATIONS**

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**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**TABLE M1505.4.3 (1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR Sl: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4**  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR Sl: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** WVD 2 10C DH SOLAR GAIN W/ ARGON  
 U-FACTOR ..... 0.29  
 SHGC ..... 0.56

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

**WINDOW / DOOR LEGEND:**

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2) 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

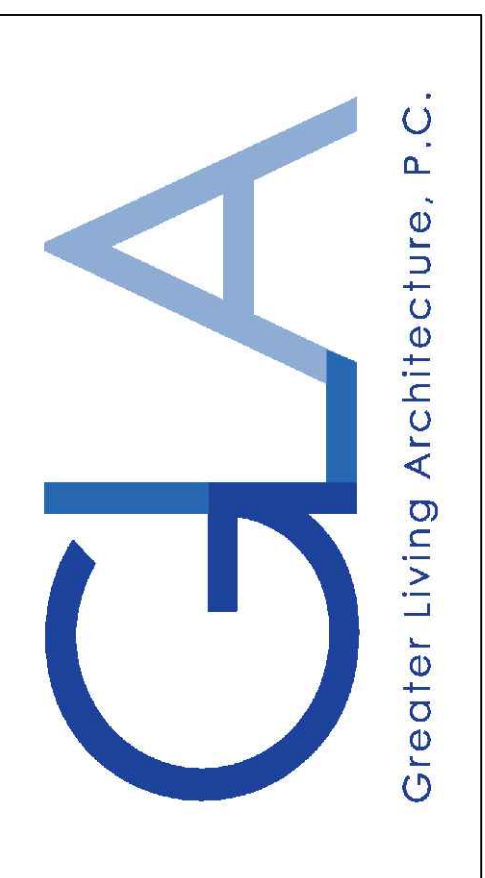
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



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**REVISIONS:**

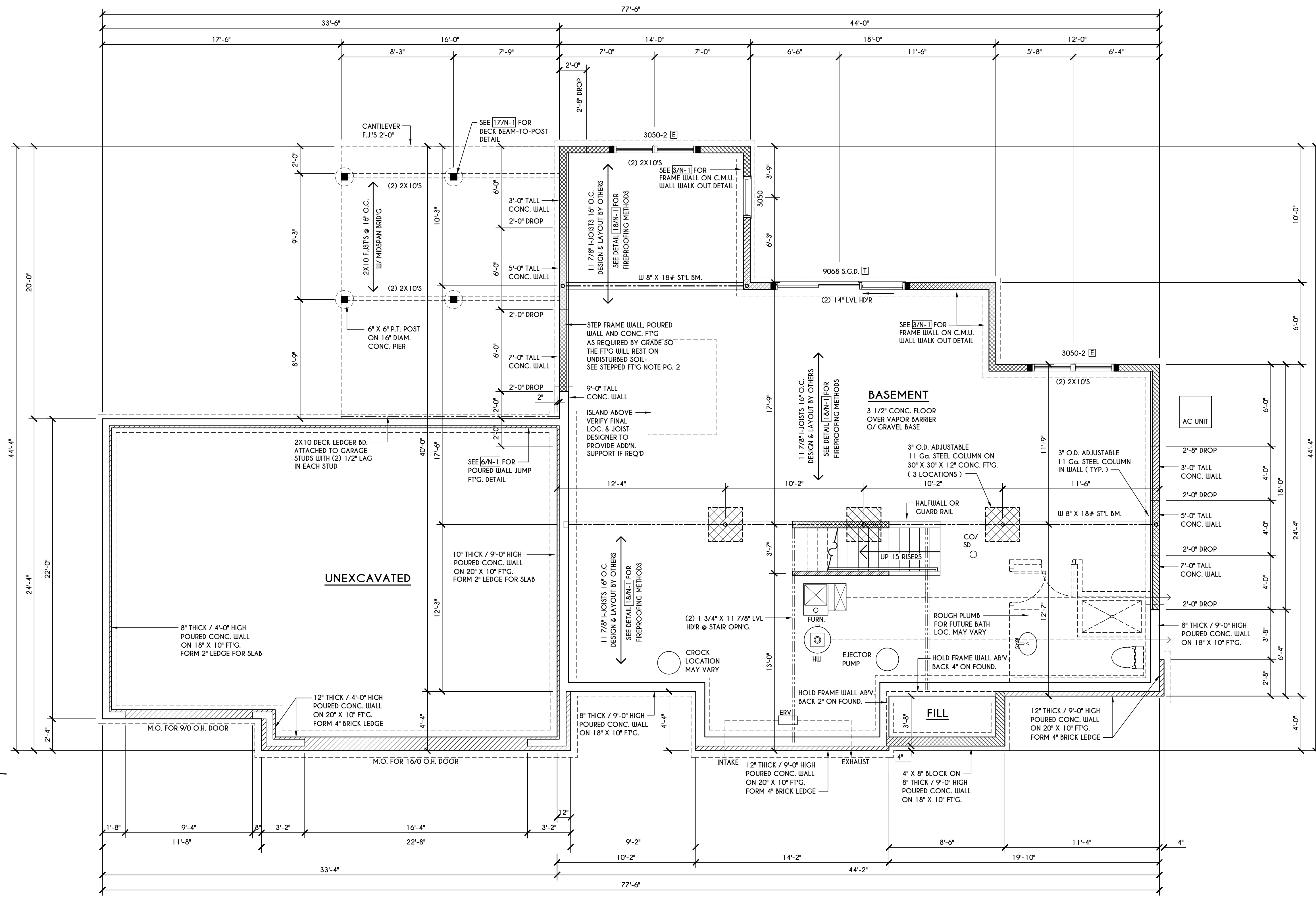
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SPEC HOUSE  
 LOT 103 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FOUNDATION PLAN**  
 GLA PLAN 2926

drawn: AMM	checked: CDK
scale: AS NOTED	date: 11/21
PROJECT: 15420D	sheet: 3 6



**STEPPED FOOTING NOTE:**  
 R403.1.5 OF RCNYS SLOPE:  
 THE TOP SURFACE OF THE FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL ( 10% SLOPE ). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL ( 10% SLOPE ).

**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS  
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

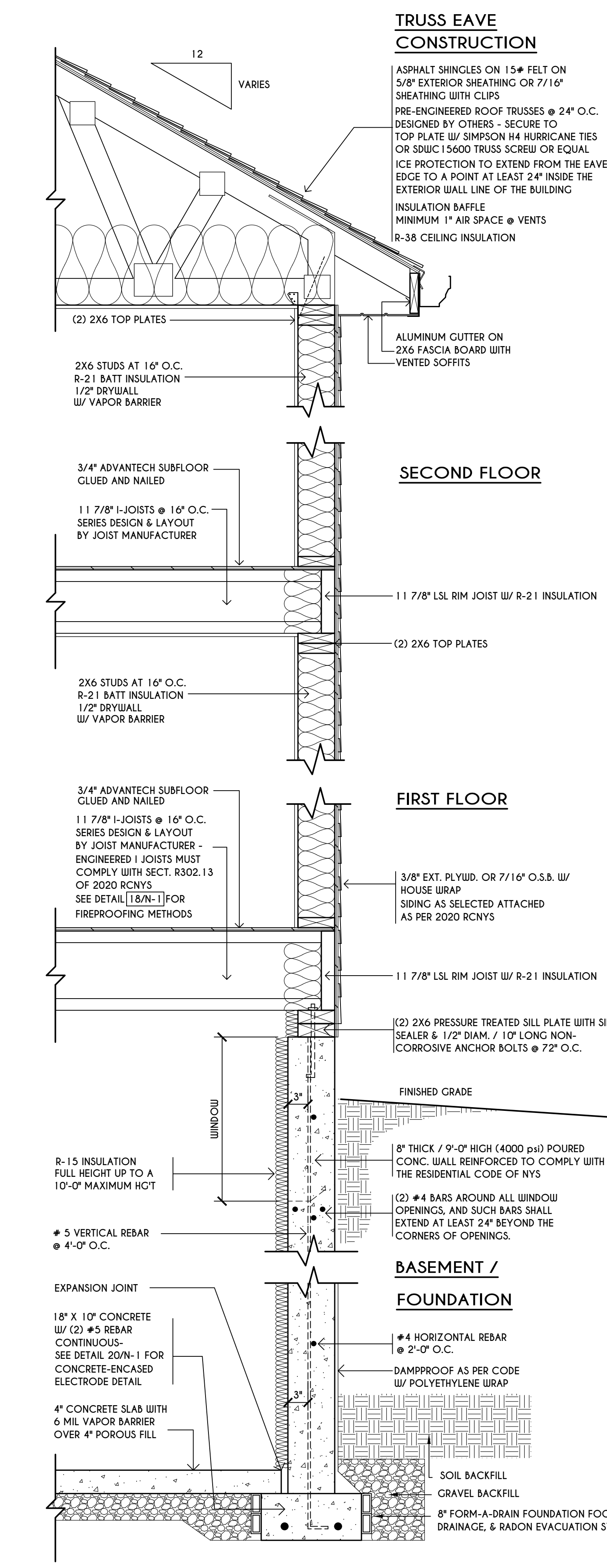
**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**GENERAL FOUNDATION / BASEMENT NOTES:**  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 3'-6"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS >= 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



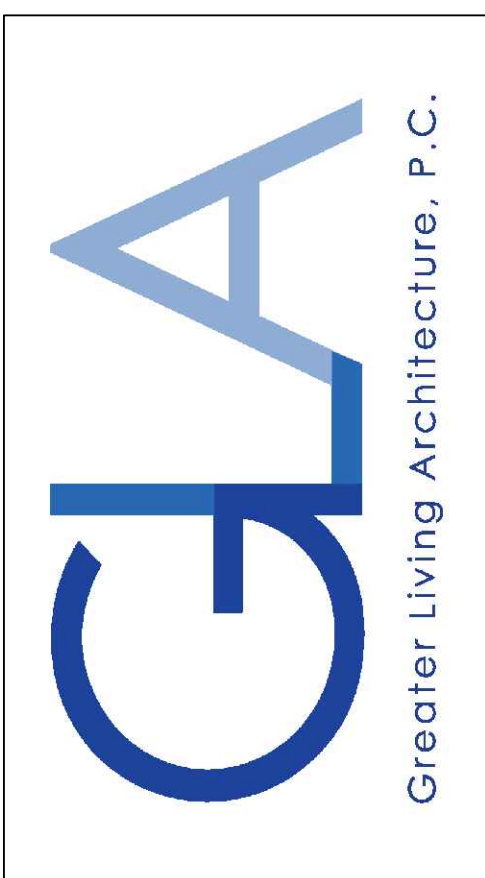
**TYPICAL WALL SECTION**  
 SCALE: 1" = 1'-0"

**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



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**REVISIONS:**

DATE	BY	DESCRIPTION

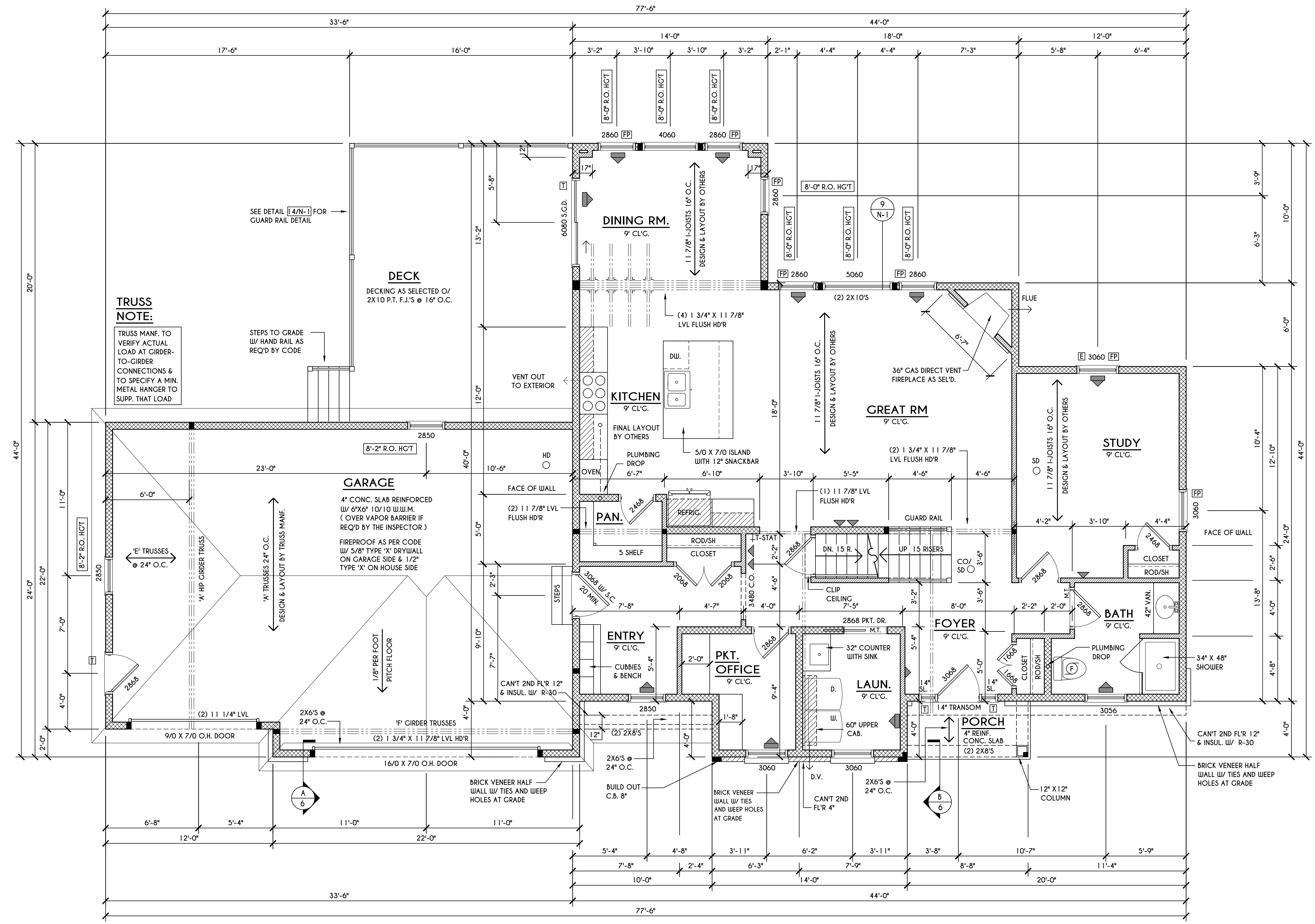
**CLIENT/LOCATION:**  
 SPEC HOUSE  
 LOT 103 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FIRST FLOOR PLAN**

**GLA PLAN 2926**

<b>drawn:</b> AMM	<b>checked:</b> CDK
<b>scale:</b> AS NOTED	<b>date:</b> 11/21
<b>PROJECT:</b> 15420D	<b>sheet:</b> 4 6



# FIRST FLOOR PLAN

1444 SQ. FT.  
 SCALE: 1/4" = 1'-0"

**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

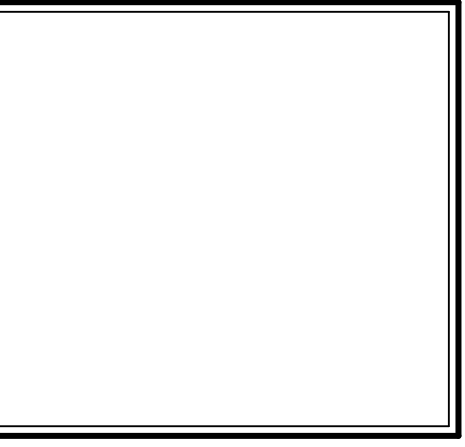
- FRAMING LEGEND:**
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
  - DROPPED HEADER
  - FLUSH HEADER
  - 2X4 STUDS @ 16" O.C.
  - 2X6 STUDS @ 16" O.C.

**GENERAL FIRST FLOOR PLAN NOTES:**  
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R3.14 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

- WINDOW / DOOR LEGEND:**
- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R3.10.2.1 OF 2020 RCNYS
  - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
  - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED PROTECTION PER SECT. R3.12.2 OF 2020 RCNYS



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 FAX: (585) 292-1262  
 www.greatliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

SPEC HOUSE  
 LOT 103 COVENTRY RIDGE  
 PITTSFORD, NY

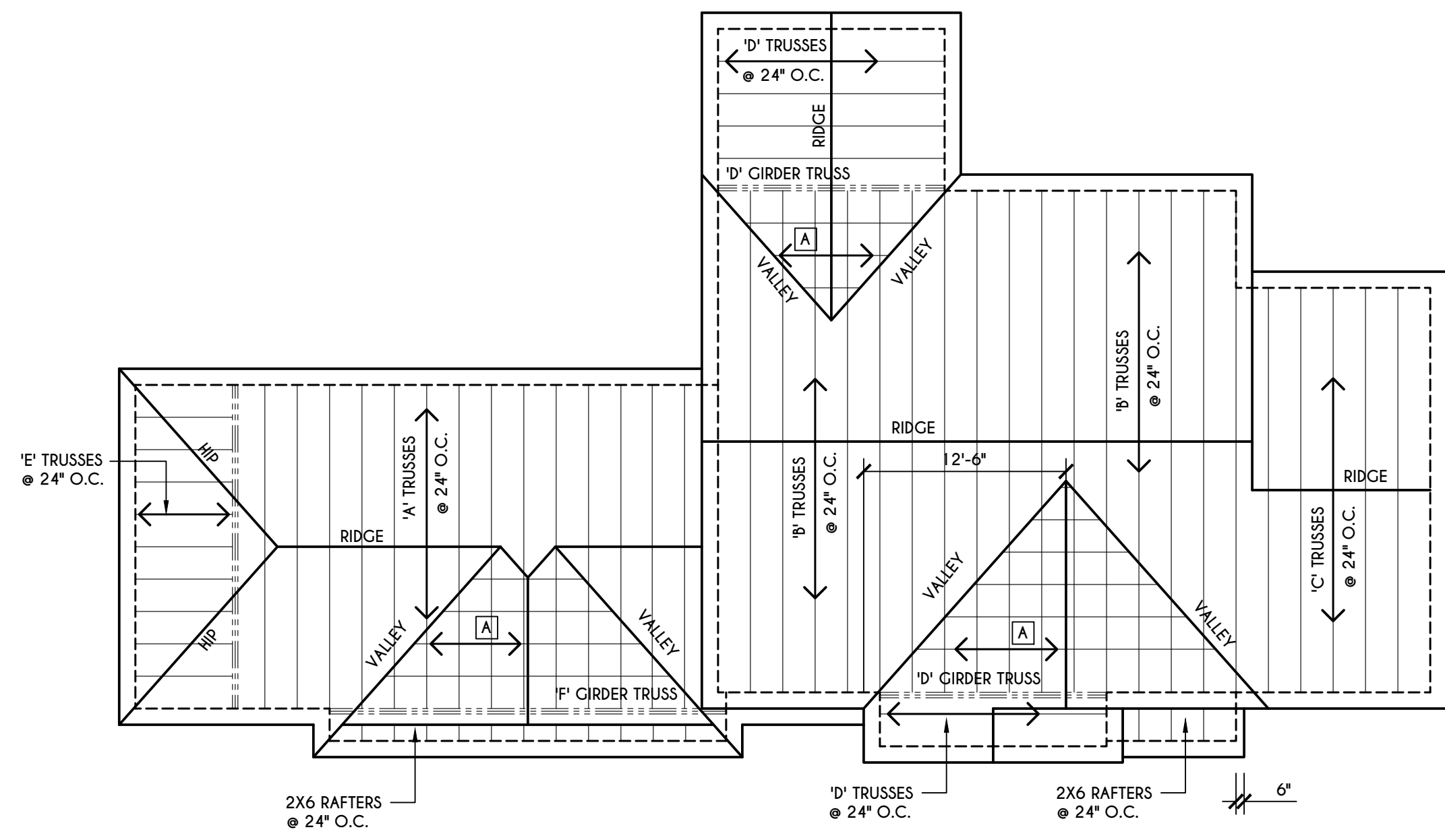
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 2926

drawn: AMM	checked: CDK
scale: AS NOTED	date: 11/21
PROJECT: 15420D	sheet: 5 6



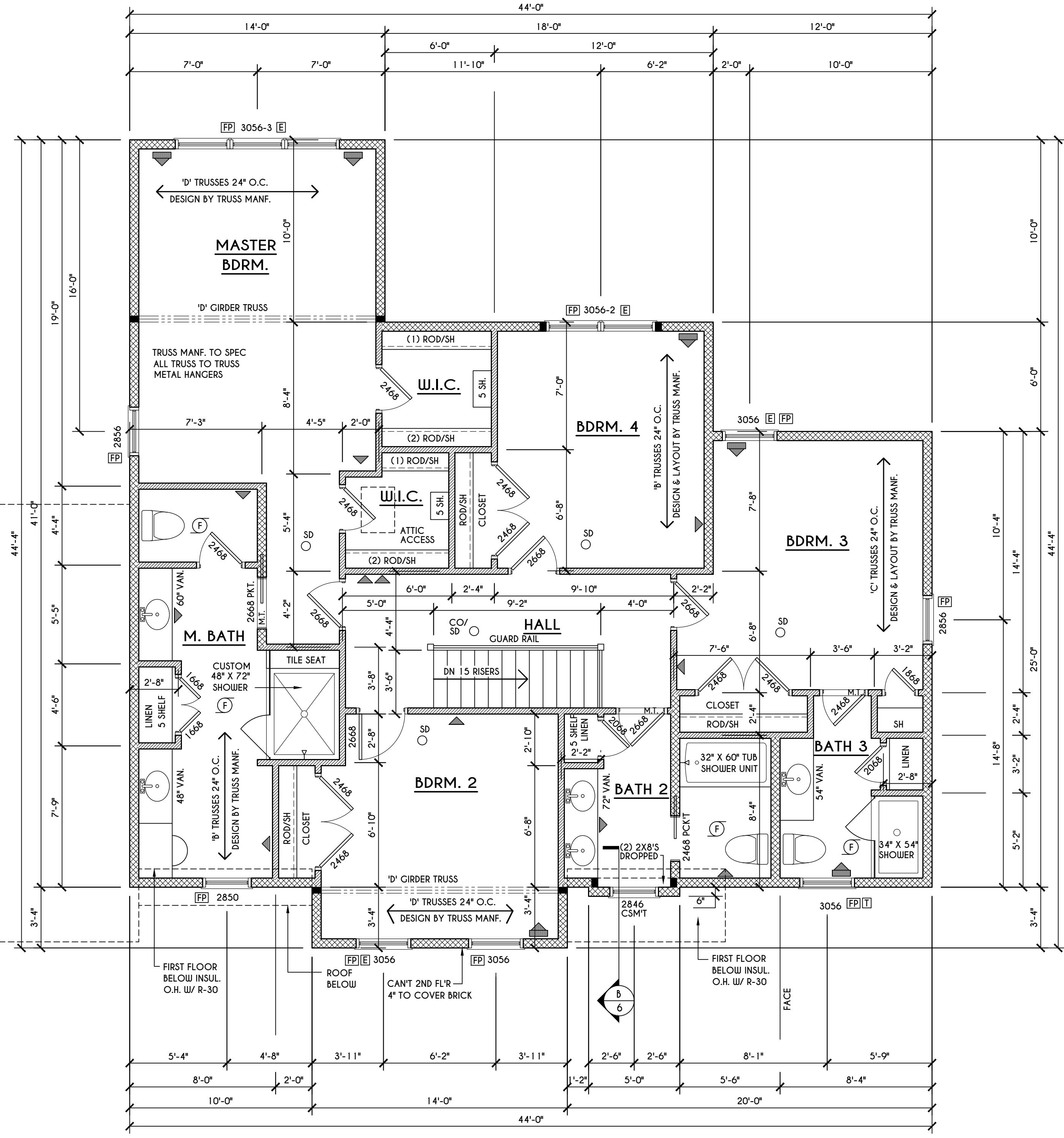
**ROOF PLAN**

SCALE: 1/8" = 1'-0"

**GENERAL ROOF NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

[A] - 2X8 LAYOVER RAFTERS 24" O.C.



**SECOND FLOOR PLAN**

1482 SQ.FT.

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

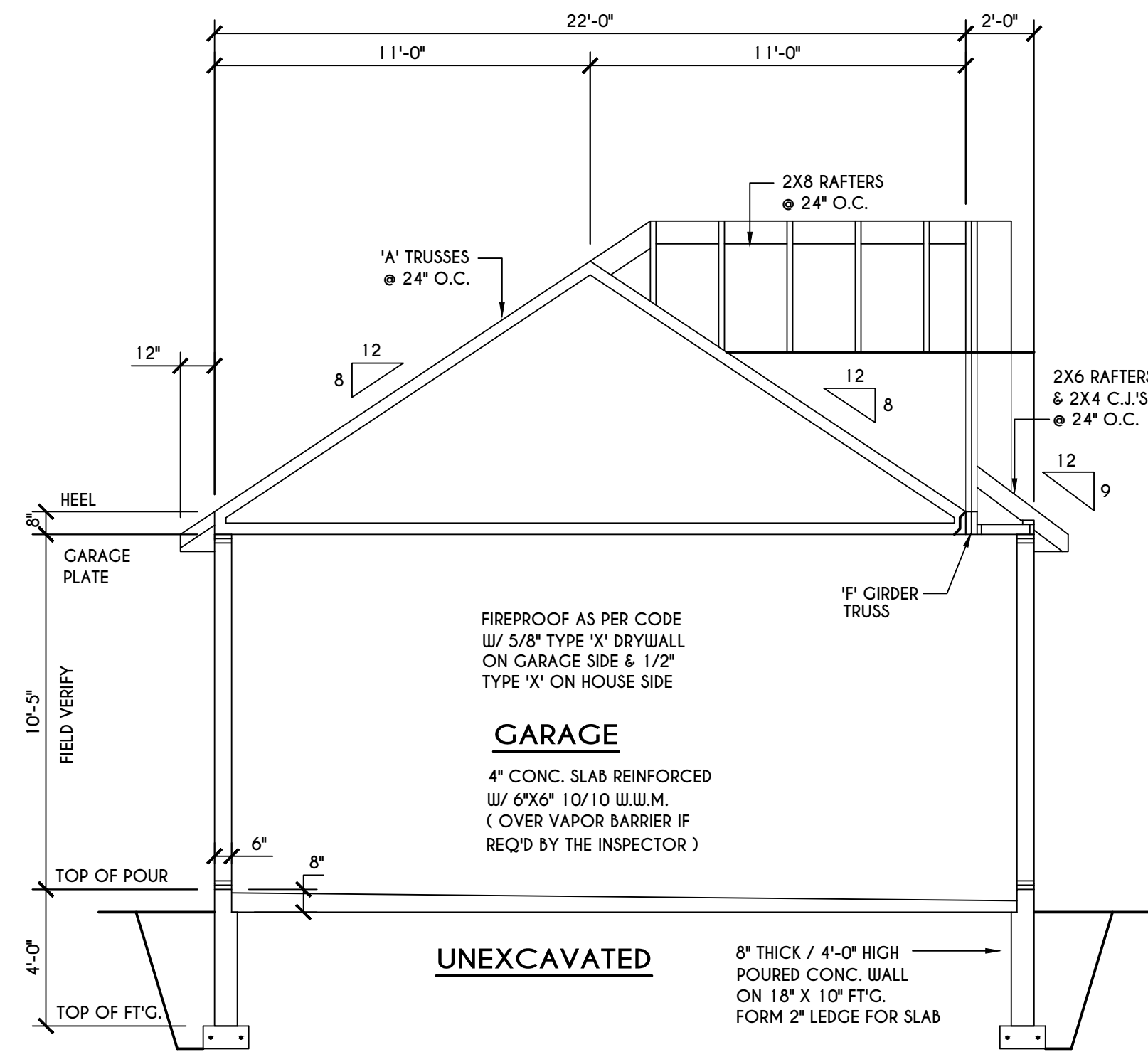
**GENERAL SECOND FLOOR PLAN NOTES:**

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

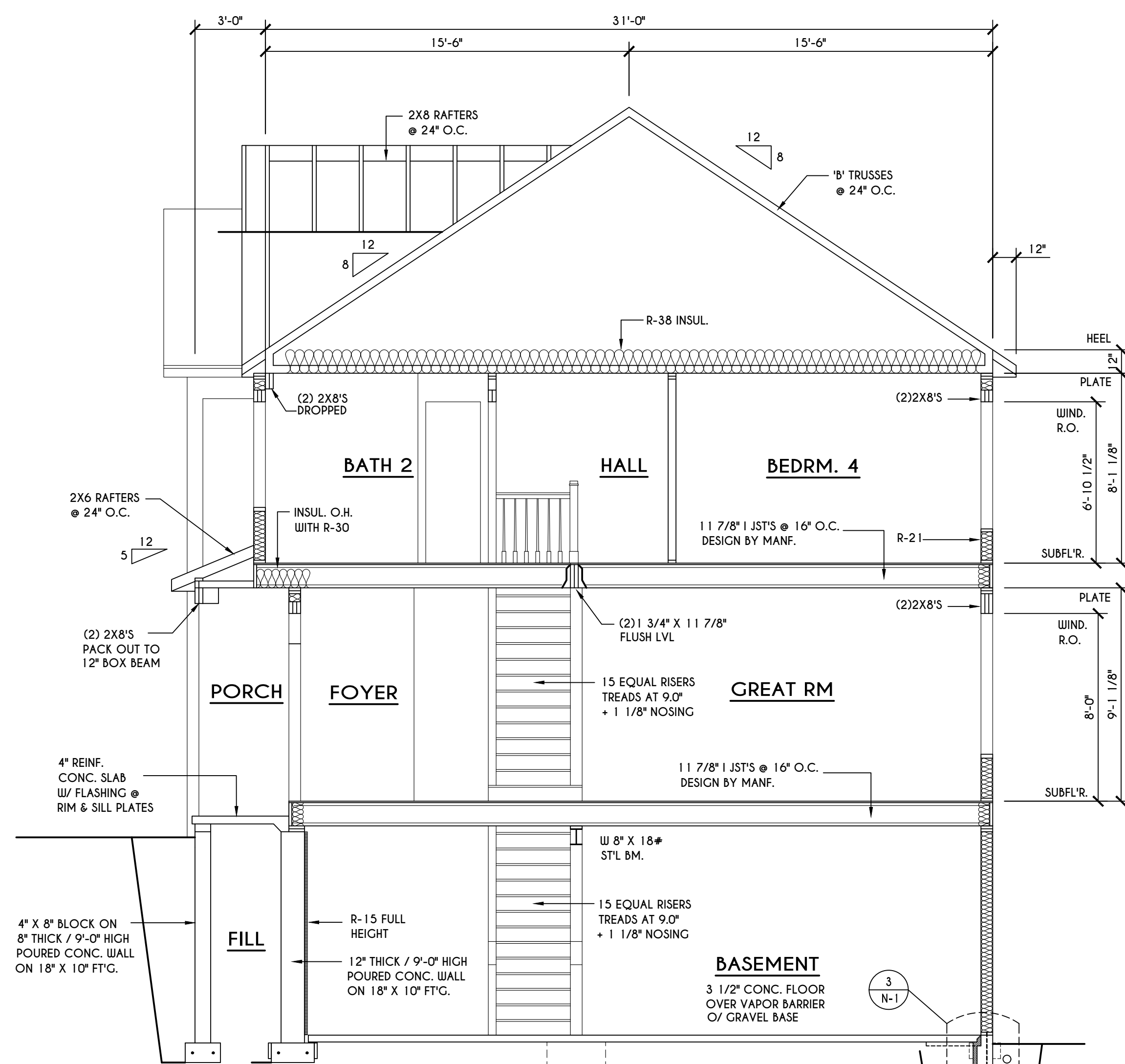
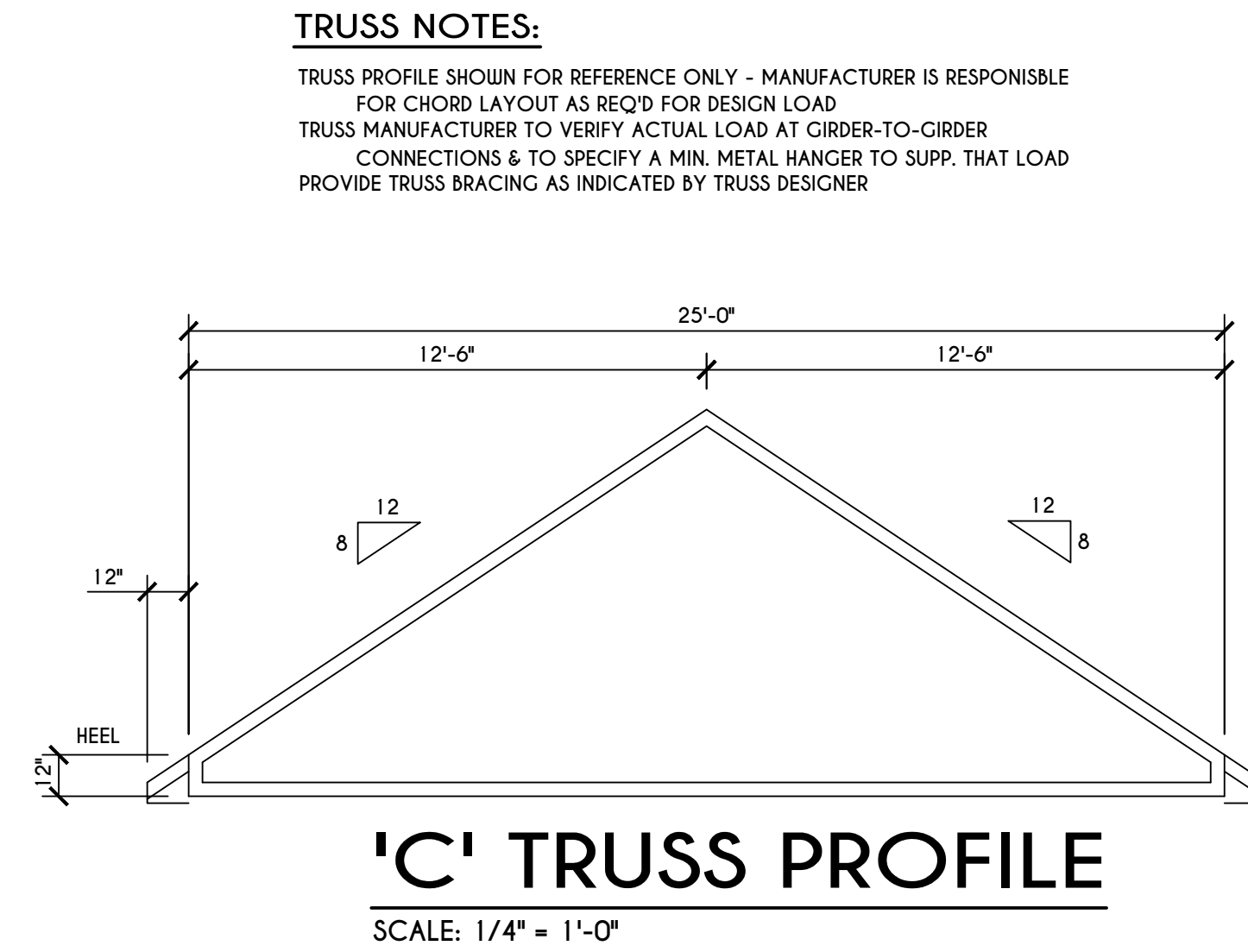
**WINDOW / DOOR LEGEND:**

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- [F] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [P] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

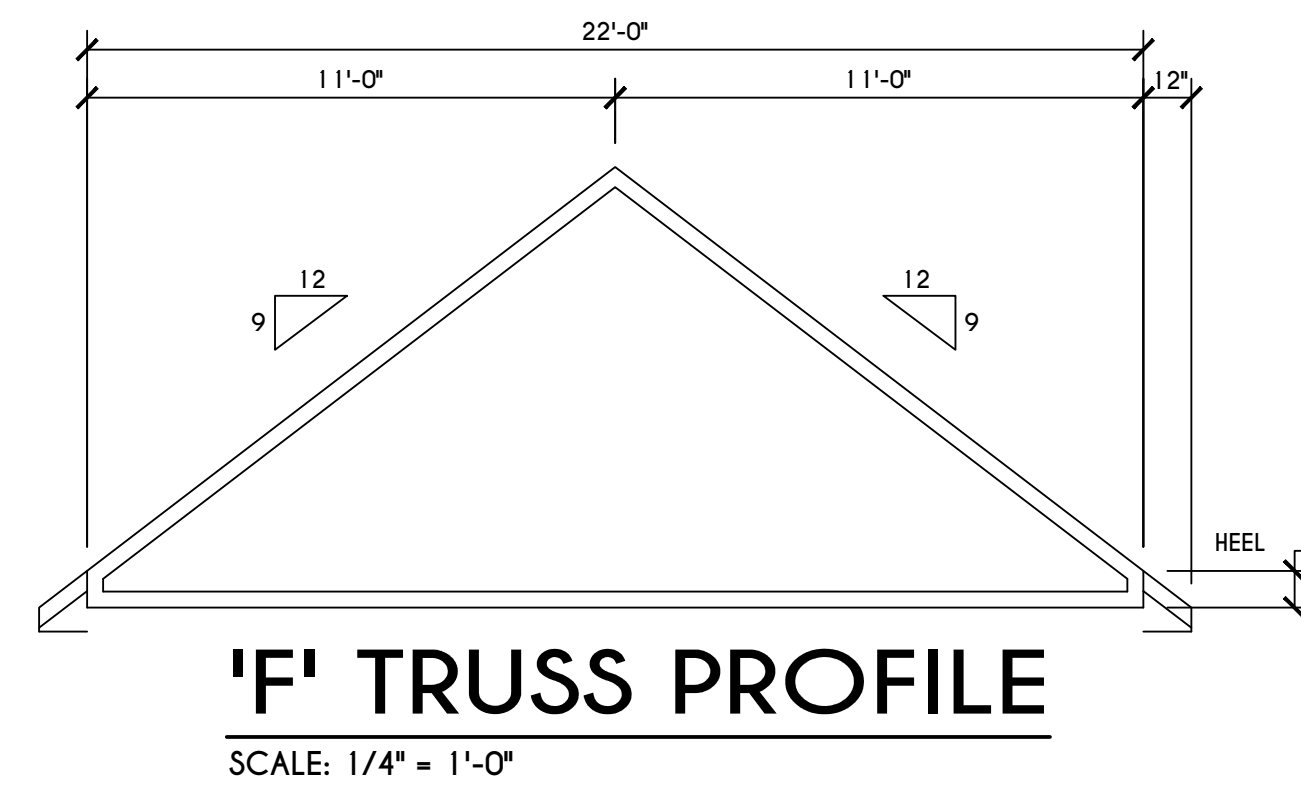
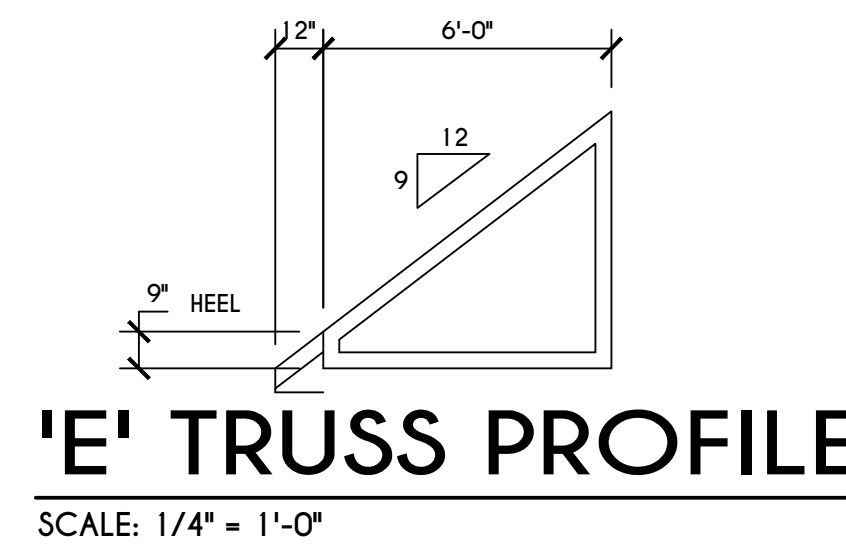
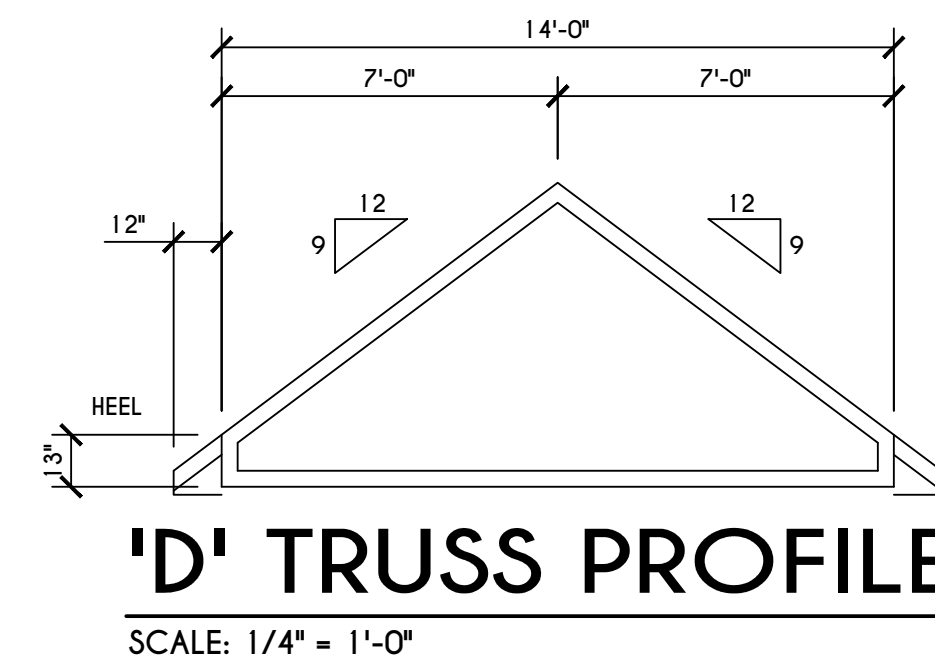




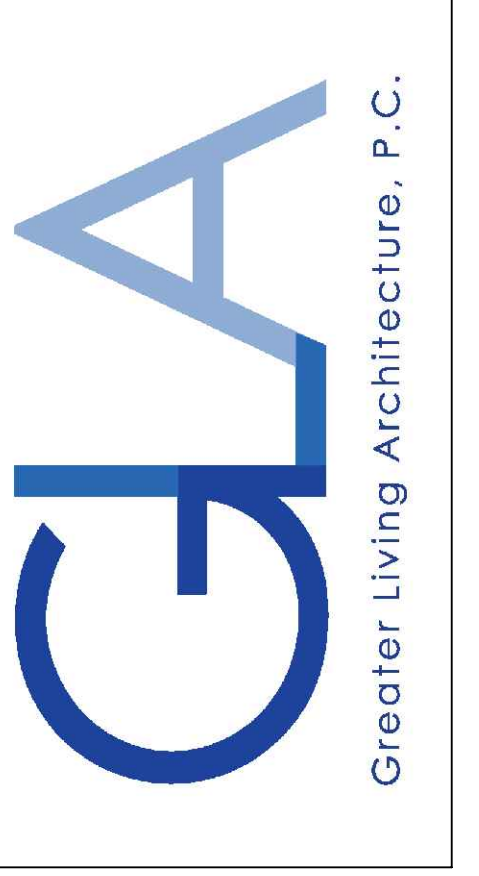
**A BUILDING SECTION**  
6 SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
6 SCALE: 1/4" = 1'-0"



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ROCHESTER, NY 14623  
CALL: (585) 272-9170  
FAX: (585) 292-1262  
www.greaterliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
  
SPEC HOUSE  
LOT 103 COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

**SECTIONS**  
GLA PLAN 2926

drawn: AMM	checked: CDK
scale: AS NOTED	date: 11/21
PROJECT: 15420D	sheet: 6/6









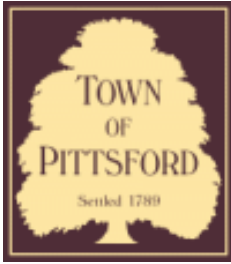
07/25/2016





07/25/2016





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000248**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 47 Nature View PITTSFORD, NY 14534

**Tax ID Number:** 192.01-3-41

**Zoning District:** RN Residential Neighborhood

**Owner:** Masi Enterprises Inc.

**Applicant:** Masi Enterprises Inc.

#### Application Type:

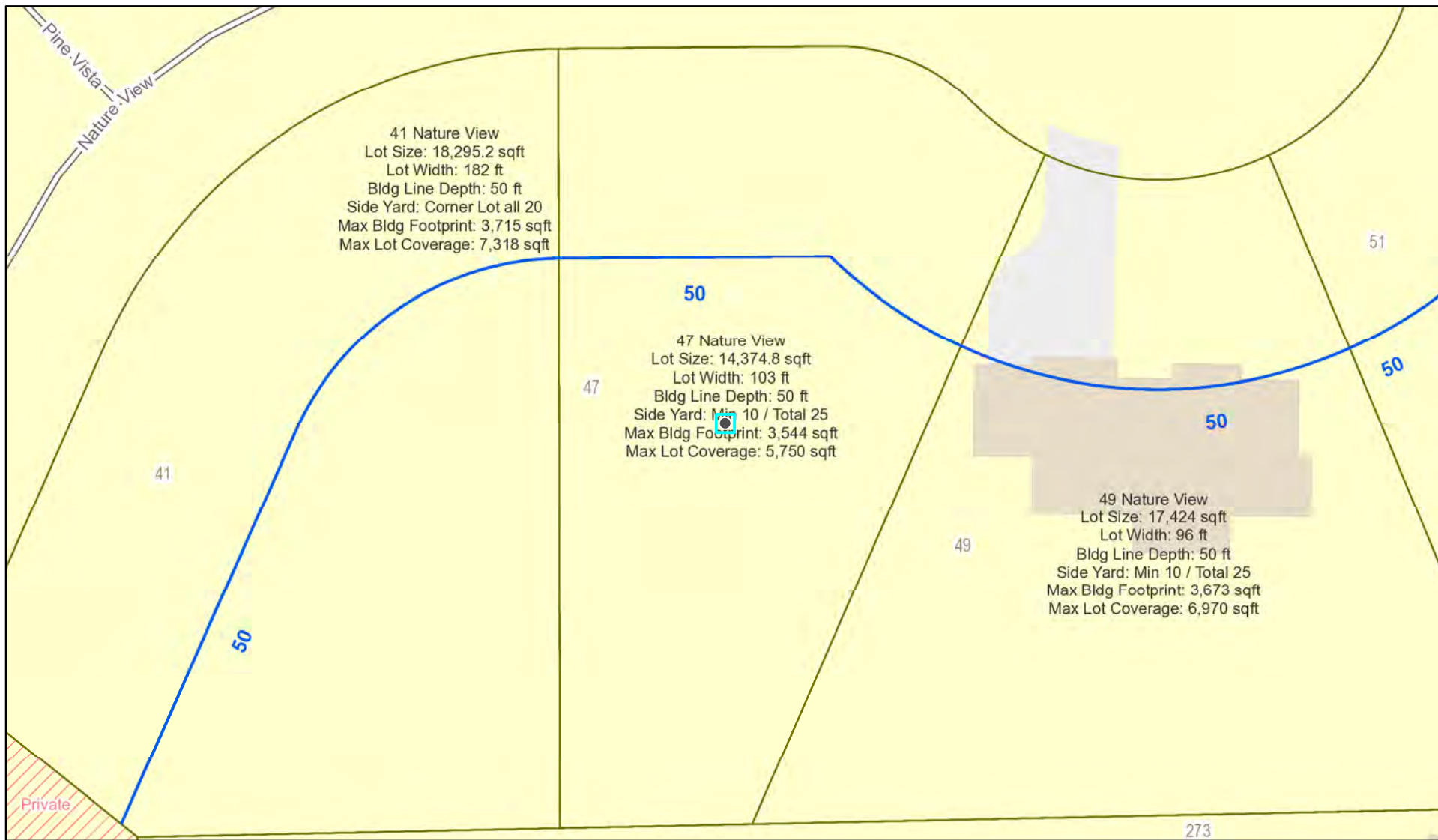
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a two story single family home approximately 2901 square feet.

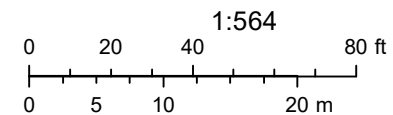
**Meeting Date:** January 13, 2022



# RN Residential Neighborhood Zoning



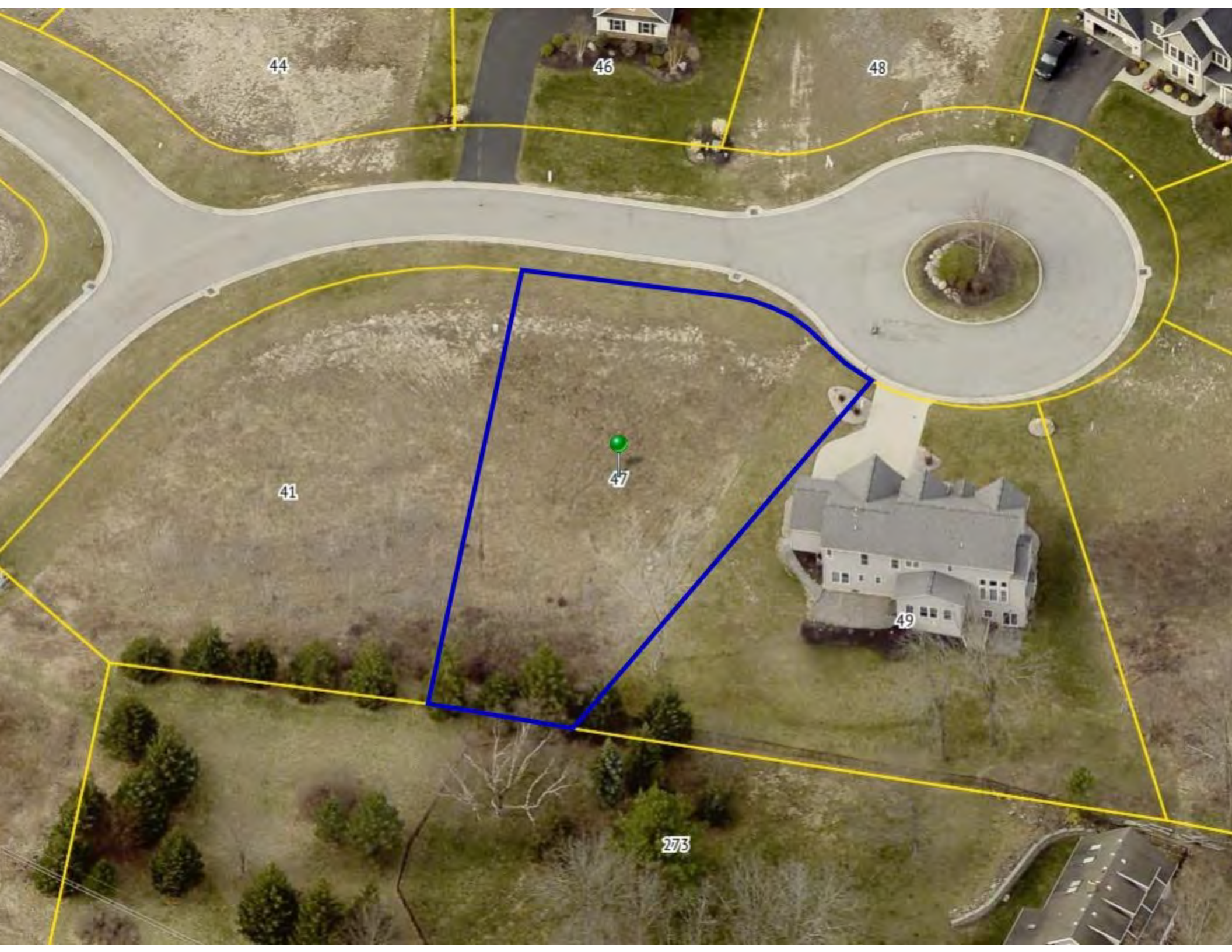
Printed December 29, 2021



Town of Pittsford GIS

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44

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273





# OJO RESIDENCE

## LOT 41 COUNTRY POINT

### PITTSFORD, NY

### MASCOT INC.

## PLAN 2901 / PROJECT 4482N

### SHEET INDEX

- C-1 COVER SHEET
- 1/5 ELEVATIONS
- 2/5 FOUNDATION PLAN
- 3/5 FIRST FLOOR PLAN
- 4/5 SECOND FLOOR PLAN
- 5/5 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNY S ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE ), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS OR FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

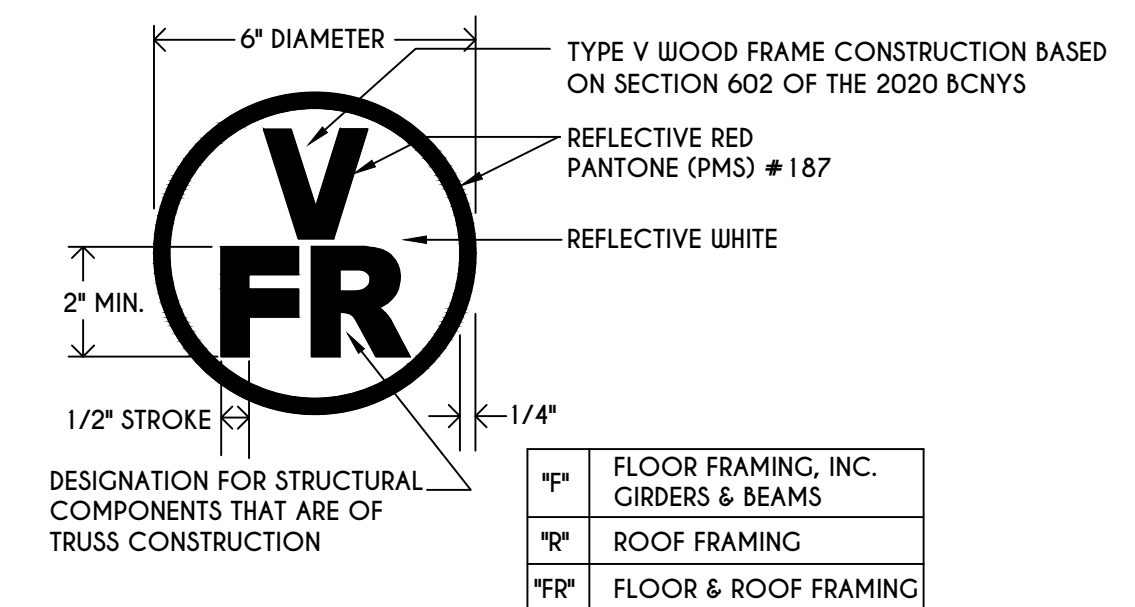
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy = 33 KSI

### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

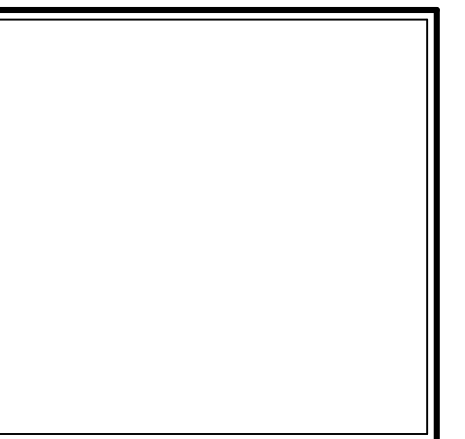
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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DATE	BY	DESCRIPTION

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LOT 41 COUNTRY POINT SUB.  
PITTSFORD, NY

**BUILDER:**

MASCOT INC.

**COVER PAGE**

GLA PLAN 2901

drawn: JJS	checked: CSB
scale: AS NOTED	date: 12/2/21
PROJECT: 4482N	sheet: C 1



**TABLE M 1505.4.3 (1)**  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7 > 7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,001-4,500	60	75	90	105
4,501-6,000	75	90	105	120
6,001-7,500	90	105	120	135
> 7,500	105	120	135	150

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.00047 19 m<sup>3</sup>/s

**TABLE M 1505.4.3 (2)**  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

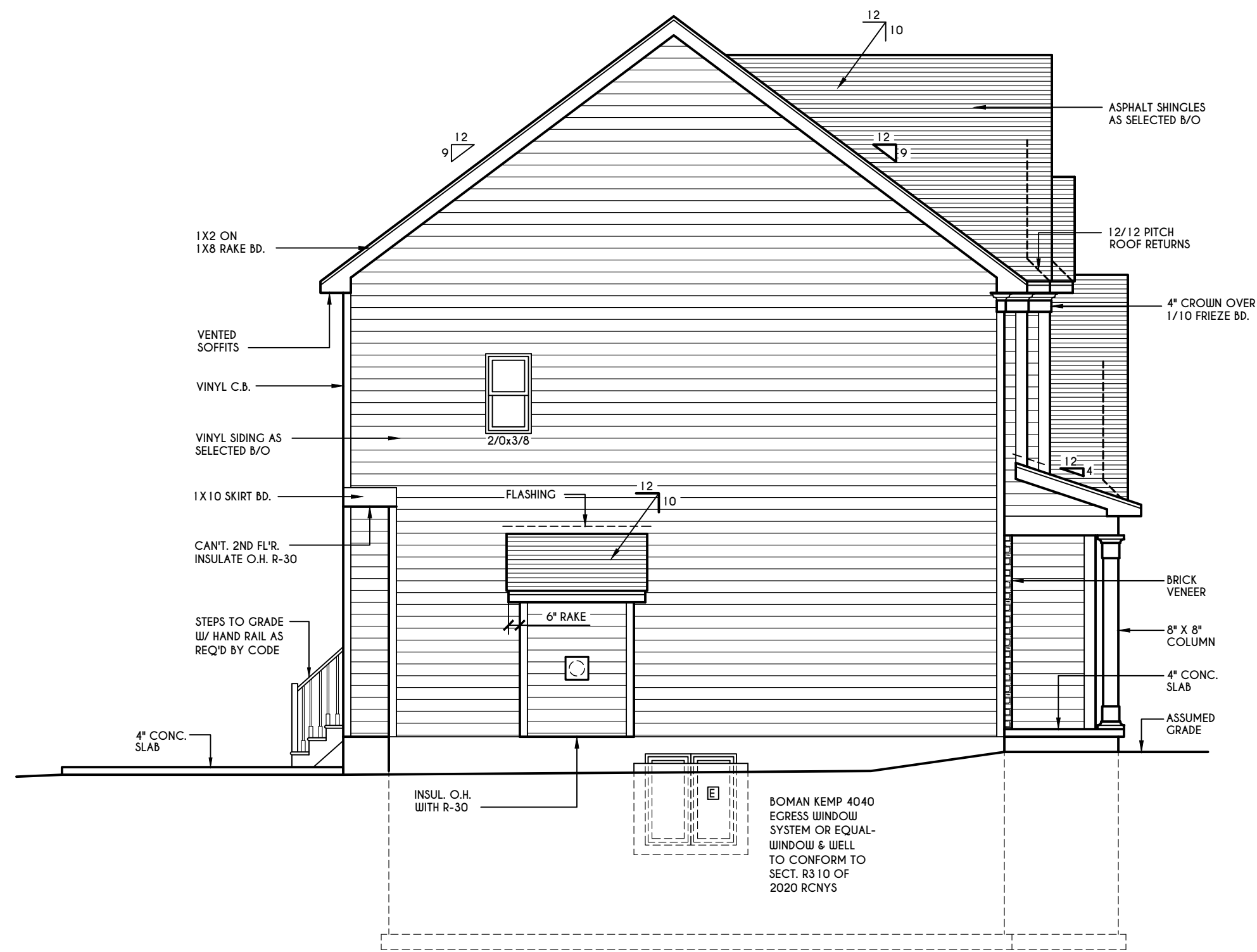
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT FACTOR <sup>a</sup>	25%	33%	50%	66%	75%	100%
		4	3	2	1.5	1.3

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

**TABLE M 1505.4.4**  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

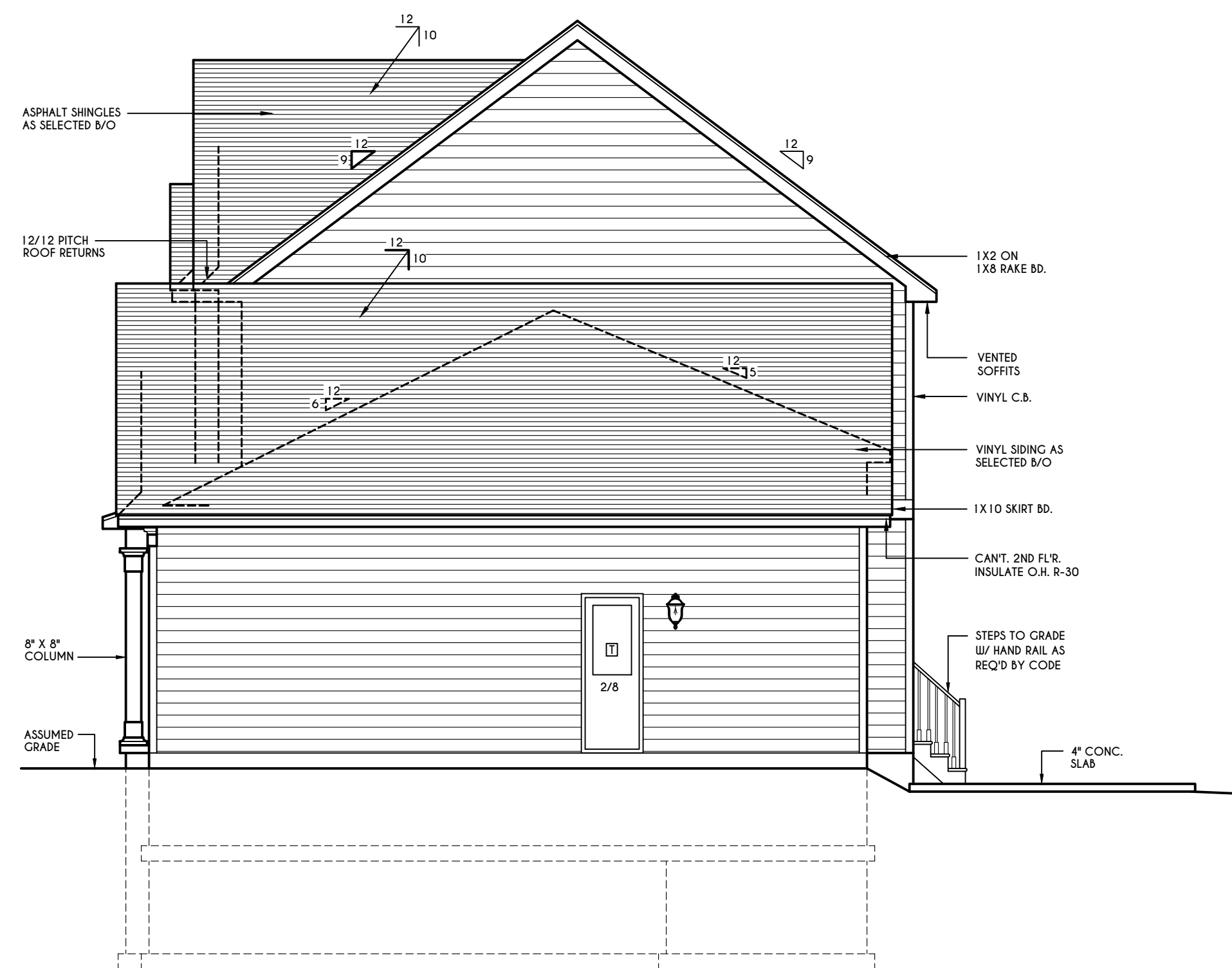
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.00047 19 m<sup>3</sup>/s.



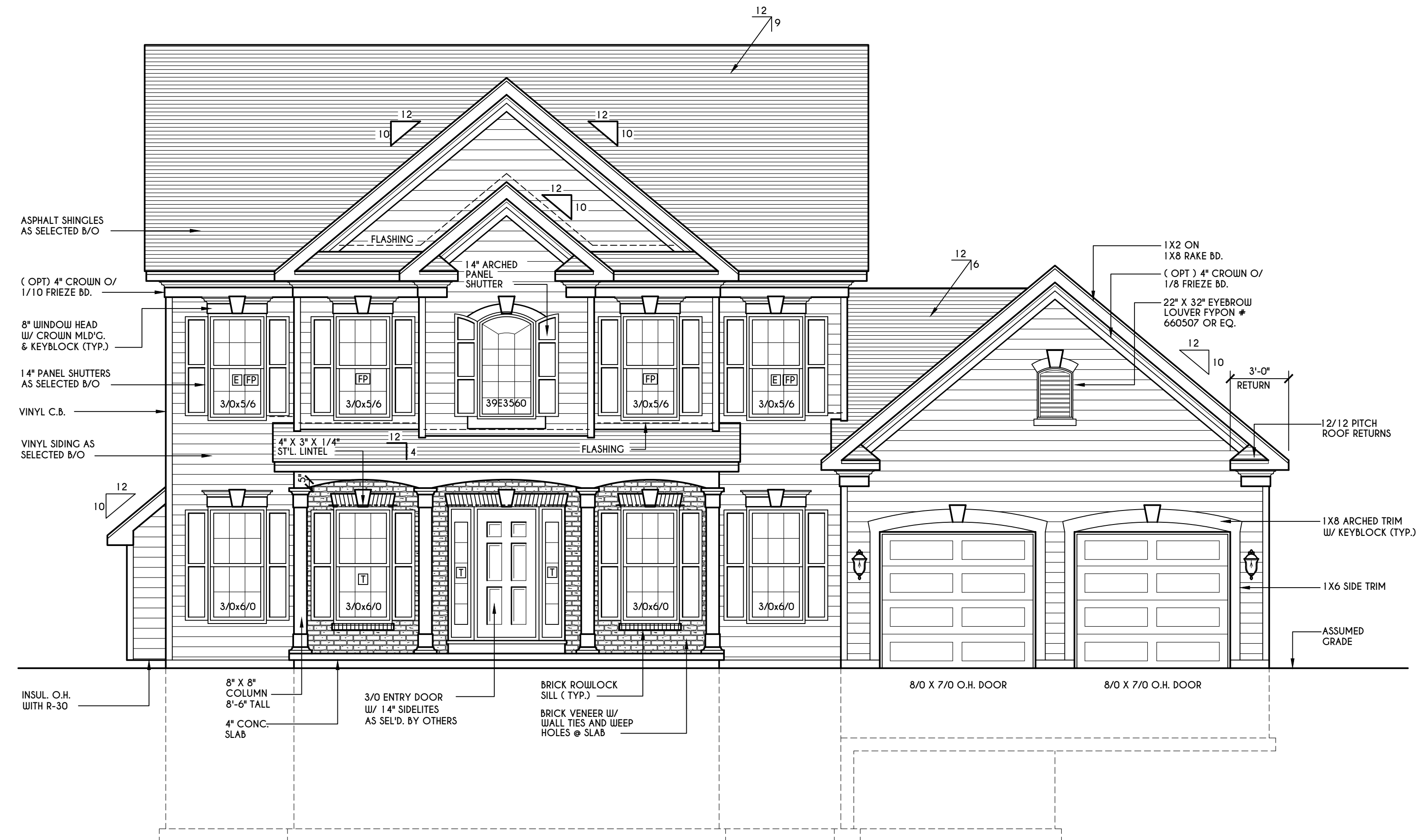
**LEFT ELEVATION**

SCALE: 3/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1056 SQ.FT.  
SECOND FLOOR LIVING AREA = 967 SQ.FT.  
FINISHED BASEMENT = 878 SQ.FT.  
TOTAL LIVING AREA = 2901 SQ.FT.  
TOTAL CONDITIONED VOLUME = 27,525 CU.FT.



**REAR ELEVATION**

SCALE: 3/16" = 1'-0"

**WINDOWS:** SILVERLINE 300 SERIES  
U-FACTOR ..... 0.29  
SHGC ..... 0.26

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SWING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

**WINDOW / DOOR LEGEND:**

- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
- [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)

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ROCHESTER, NY 14623  
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FAX: (585) 292-1262  
www.greatliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

OJO RESIDENCE  
LOT 41 COUNTRY POINT SUB.  
PITTSFORD, NY

**BUILDER:**

MASCOT INC.

**ELEVATIONS**

**GLA PLAN 2901**

drawn: JJS	checked: CSB
scale: AS NOTED	date: 12/2/21
PROJECT: 4482N	sheet: 1 5



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**REVISIONS:**

DATE	BY	DESCRIPTION

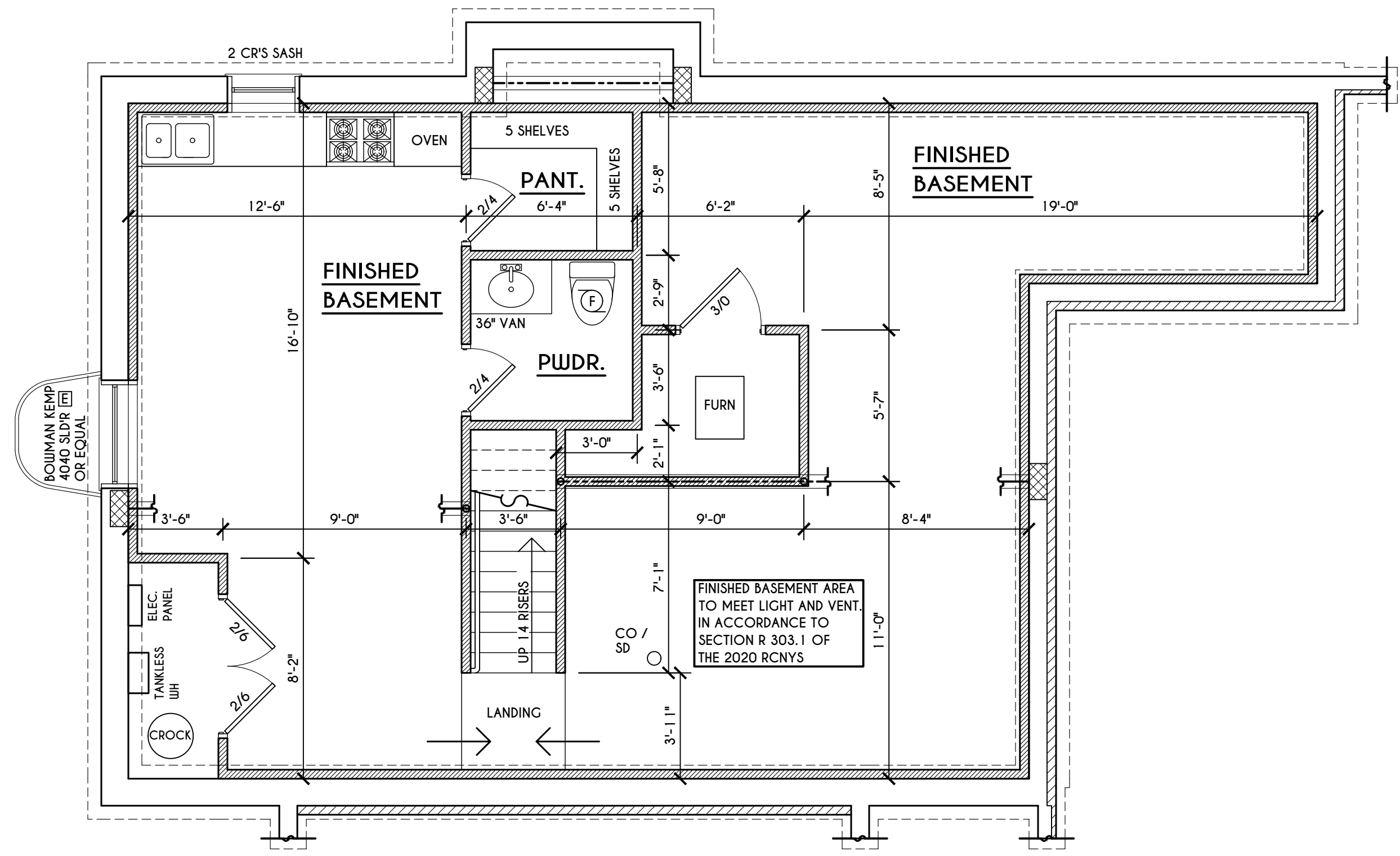
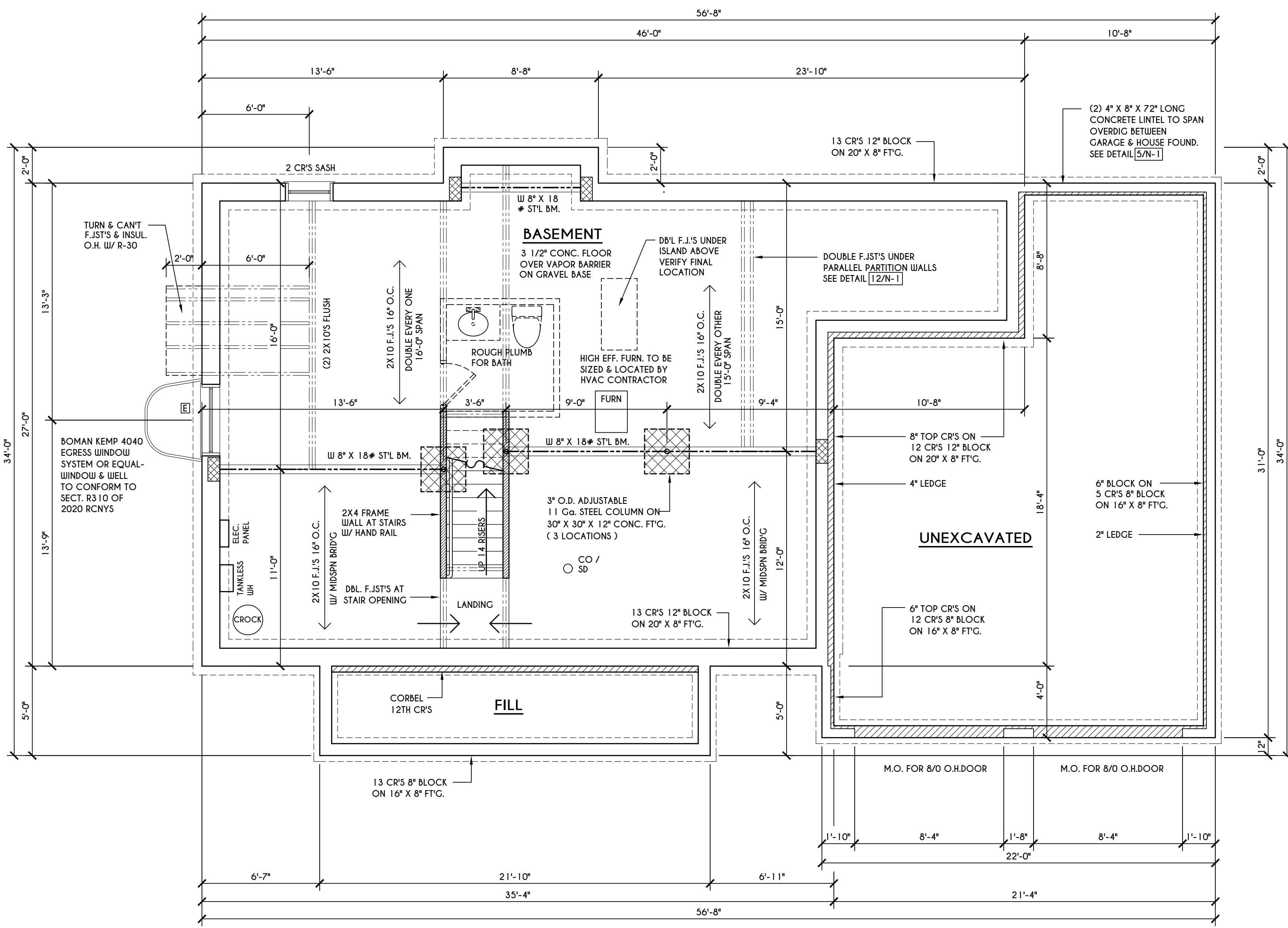
**CLIENT/LOCATION:**  
 OJO RESIDENCE  
 LOT 41 COUNTRY POINT SUB.  
 PITTSFORD, NY

**BUILDER:**  
 MASCOT INC.

**FOUNDATION PLAN**

**GLA PLAN 2901**

drawn: JJS	checked: CSB
scale: AS NOTED	date: 12/2/21
PROJECT: 4482N	sheet: 2 5



**FINISHED BASEMENT PLAN**  
 SCALE: 1/4" = 1'-0"  
 878 SQ. FT.

**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.

**GENERAL FOUNDATION / BASEMENT NOTES:**  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS  
 PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2X2X8'S OR (3X2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL. 19/N-1

**WINDOW / DOOR LEGEND:**

	- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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**REVISIONS:**

DATE	BY	DESCRIPTION

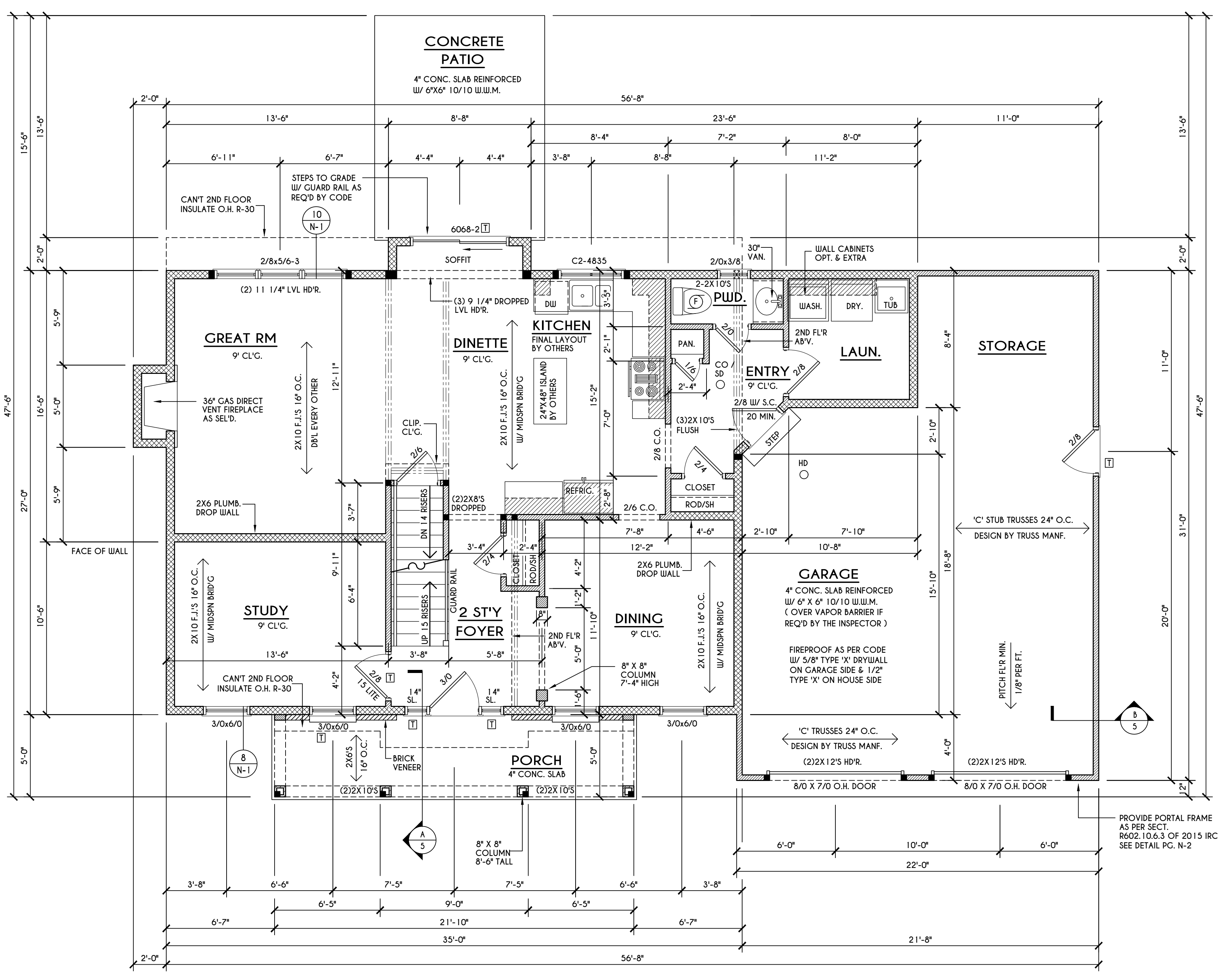
**CLIENT/LOCATION:**  
 OJO RESIDENCE  
 LOT 41 COUNTRY POINT SUB.  
 PITTSFORD, NY

**BUILDER:**  
 MASCOT INC.

**FIRST FLOOR PLAN**

**GLA PLAN 2901**

drawn: JJS	checked: CSB
scale: AS NOTED	date: 12/2/21
PROJECT: 4482N	sheet: 3 5



**FIRST FLOOR PLAN**  
 1056 SQ. FT.

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**GENERAL FIRST FLOOR PLAN NOTES:**

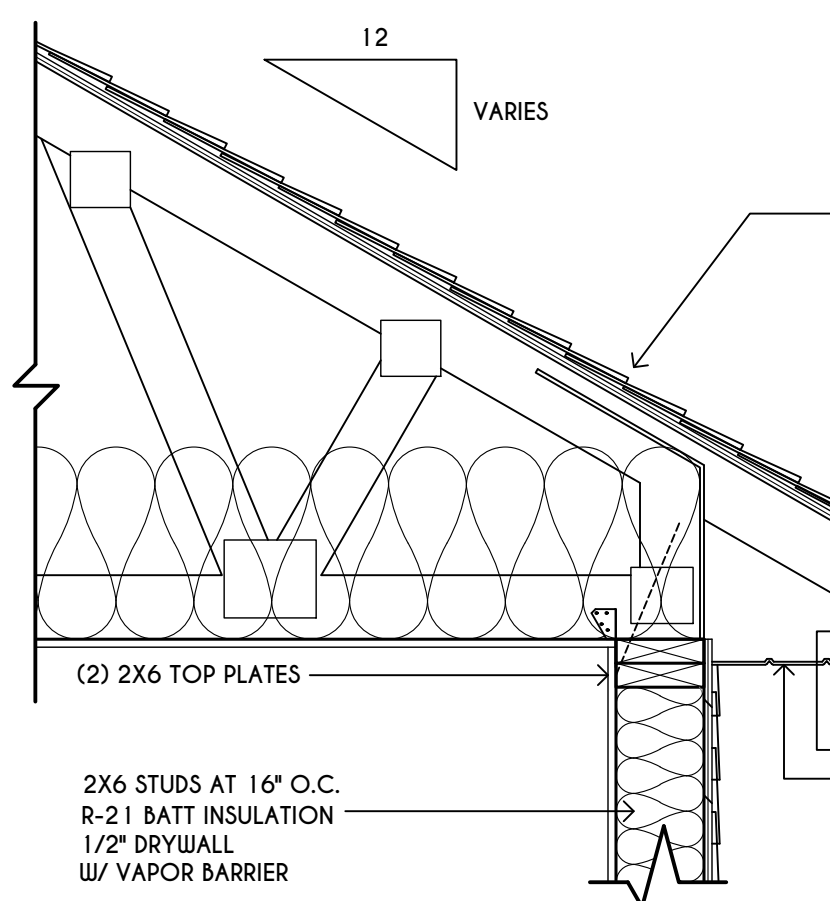
FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S OR (3) 2X6'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

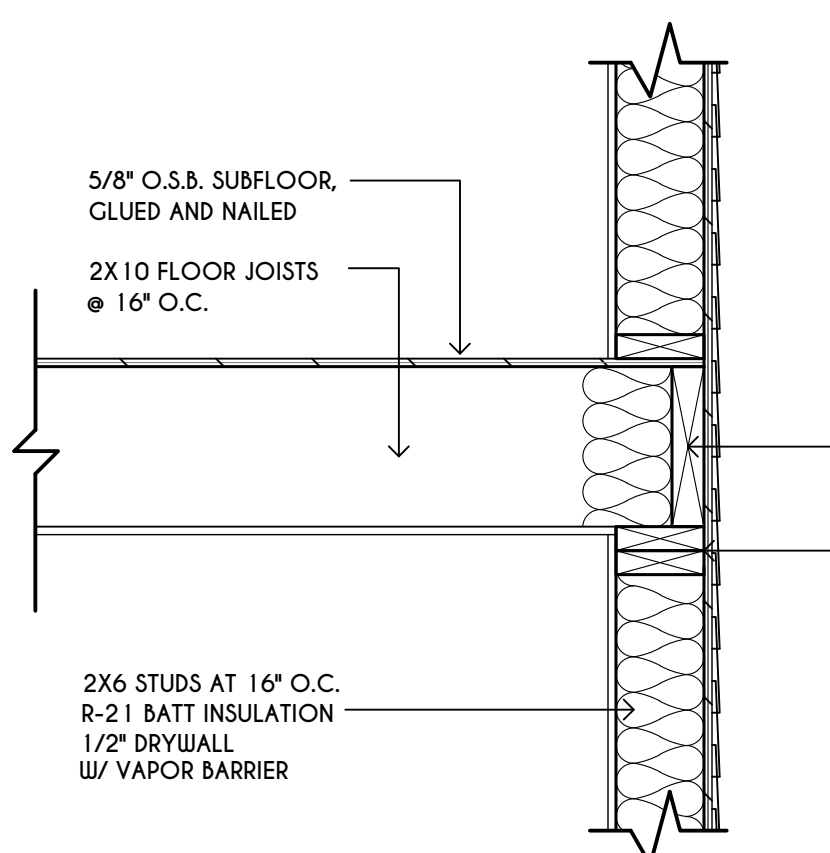
- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**TRUSS EAVE CONSTRUCTION**

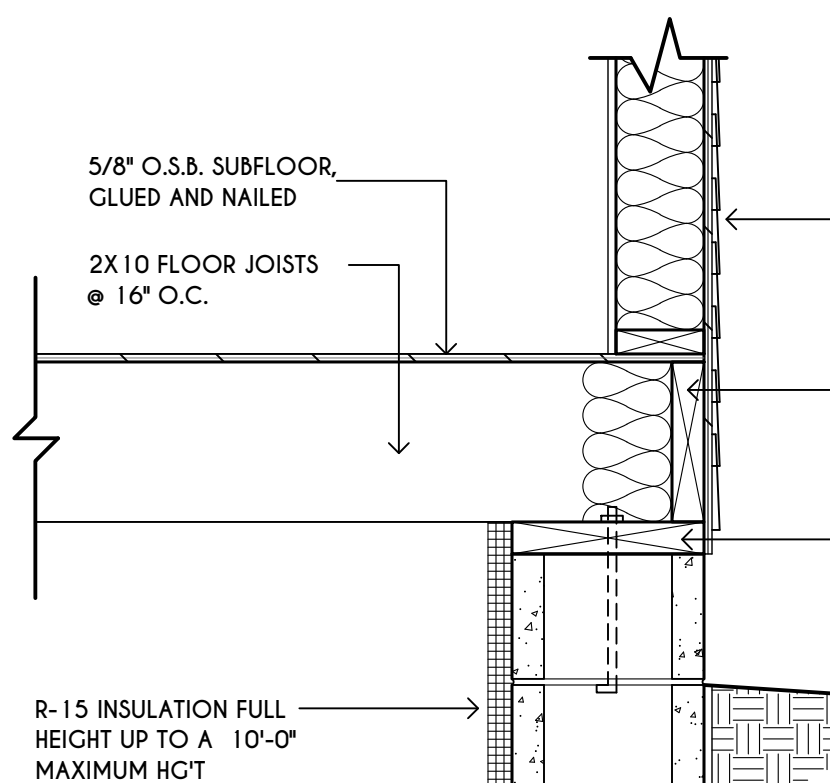
ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS  
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON I4 HURRICANE TIES OR SDWC 15600 TRUSS SCREW OR EQUAL  
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING  
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE  
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC  
 R-38 CEILING INSULATION



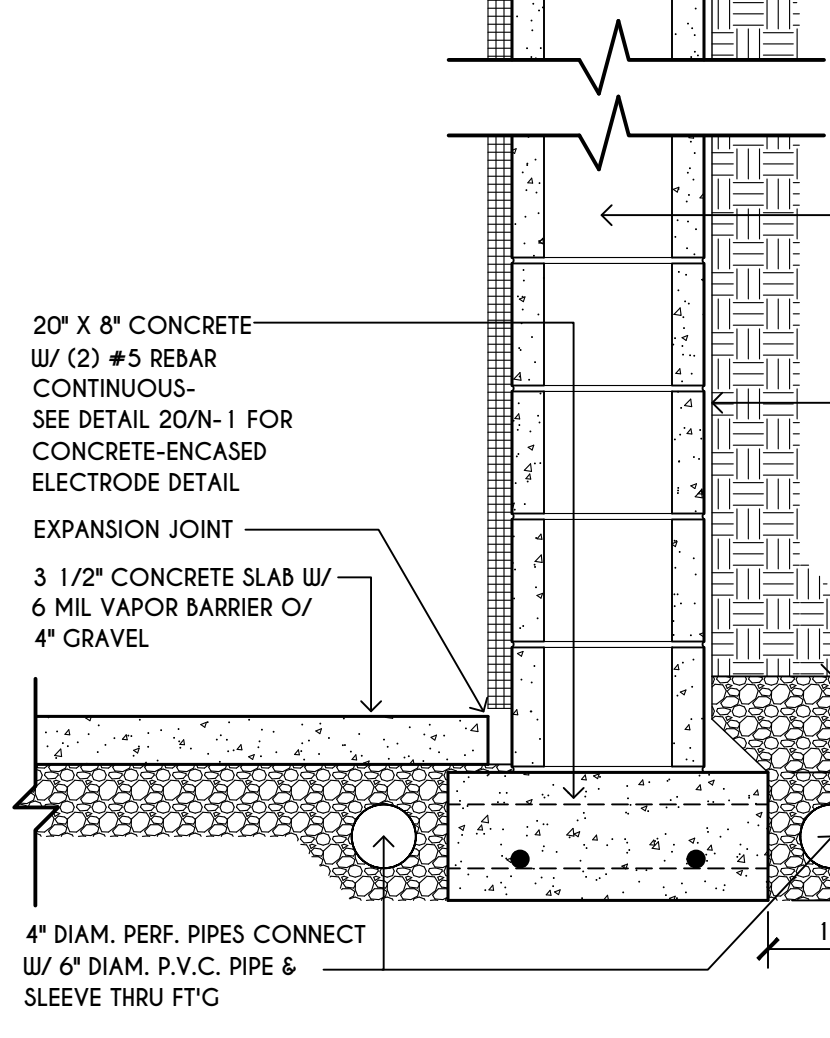
**SECOND FLOOR**



**FIRST FLOOR**



**BASEMENT / FOUNDATION**



12" CONC. BLOCK SHALL BE CONSTRUCTED AND REINFORCED TO COMPLY WITH 2020 RCNYS (SEE PG. N-2 FOR CHARTS)  
 DELTA M5' OR EQ. O/ TAR COAT  
 FILTER MEMBRANE ABOVE COVER OR WRAPPED AROUND DRAIN PIPE  
 2020 RCNYS SECT. R405.1, EXCEPTION  
 A DRAINAGE SYSTEM IS NOT REQ'D. WHEN THE FOUNDATION IS INSTALLED ON A WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1. (SEE PG. N-2)  
 4" DIAM. PERF. PIPES CONNECT W/ 6" DIAM. P.V.C. PIPE & SLEEVE THRU FT'G

**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"



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**REVISIONS:**

DATE	BY	DESCRIPTION

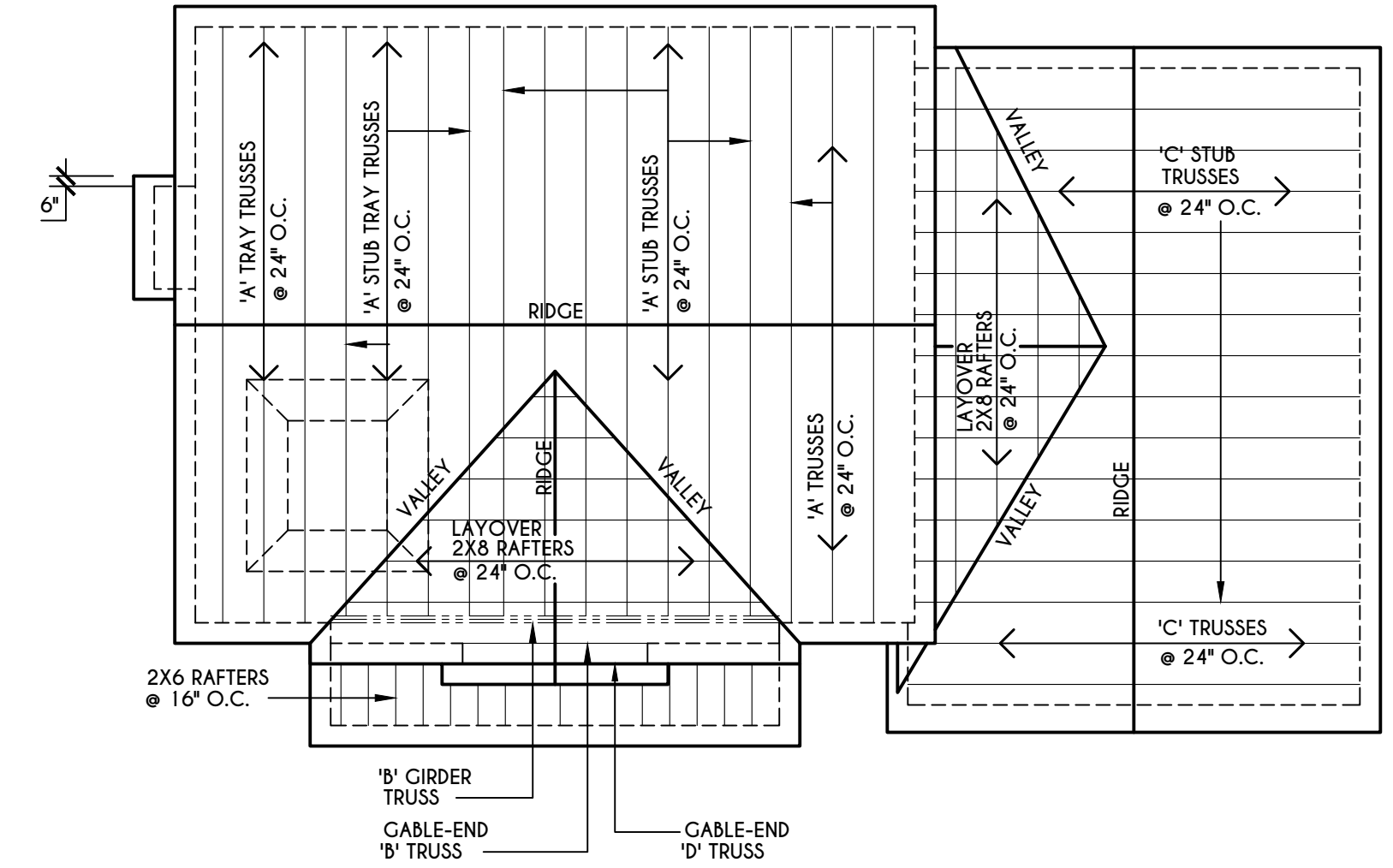
**CLIENT/LOCATION:**  
 OJO RESIDENCE  
 LOT 41 COUNTRY POINT SUB.  
 PITTSFORD, NY

**BUILDER:**  
 MASCOT INC.

**SECOND FLOOR PLAN**

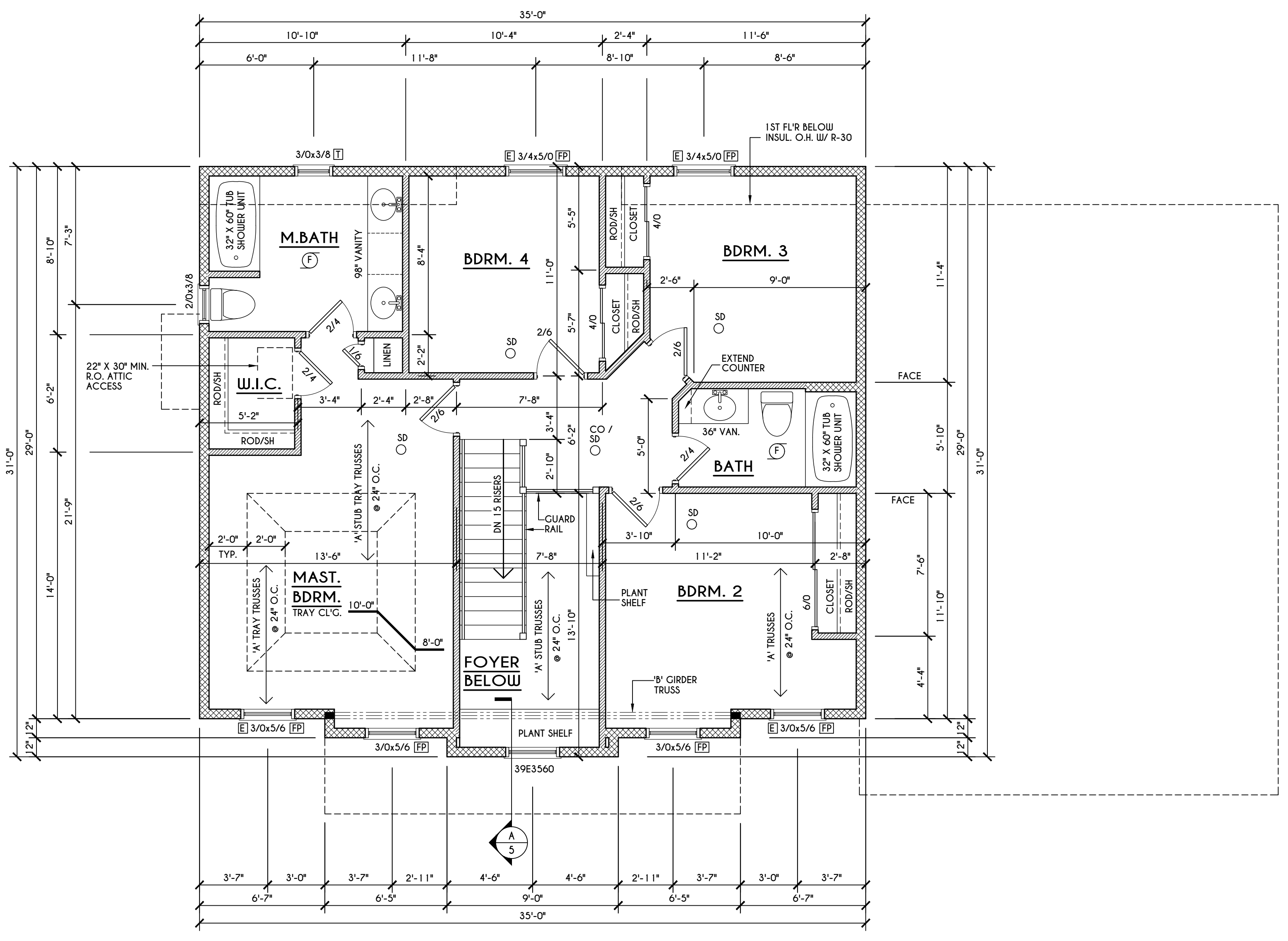
GLA PLAN 2901

drawn: JJS	checked: CSB
scale: AS NOTED	date: 12/2/21
PROJECT: 4482N	sheet: 4 5



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**GENERAL ROOF NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT



**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" 967 SQ.FT.

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**GENERAL SECOND FLOOR PLAN NOTES:**  
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DR. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R3102.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS









  
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**(585) 400-4000**  
HOLLY CREEK, OH

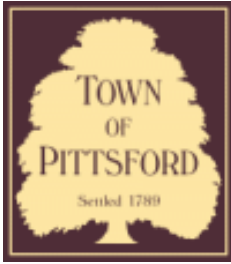












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000236**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 51 Nature View PITTSFORD, NY 14534

**Tax ID Number:** 192.01-3-39

**Zoning District:** RN Residential Neighborhood

**Owner:** Masi Enterprises Inc.

**Applicant:** Masi Enterprises Inc.

#### Application Type:

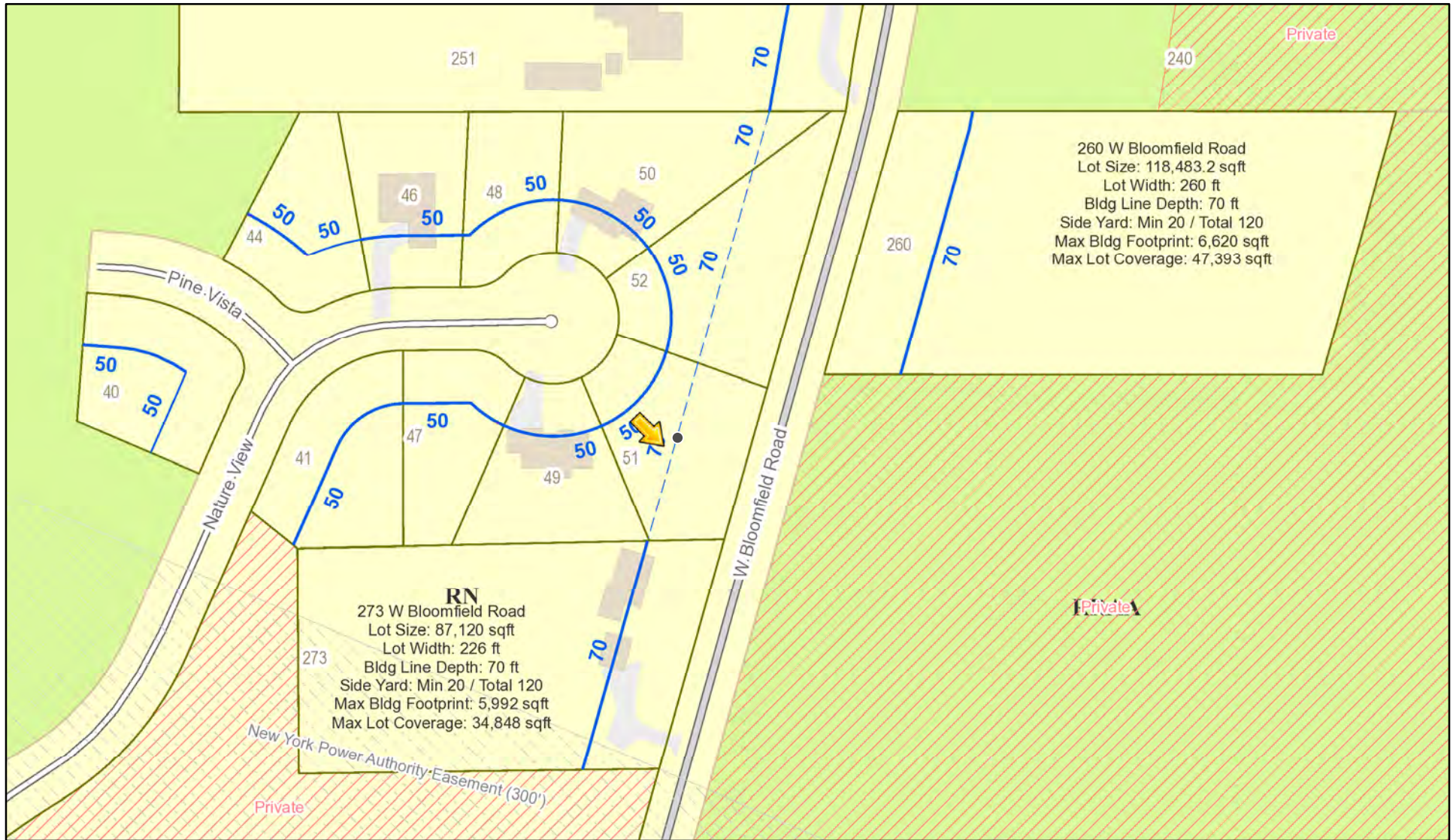
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a two story single family home that is approximately 2328 square feet.

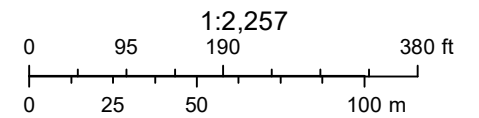
**Meeting Date:** January 13, 2022



# RN Residential Neighborhood Zoning



Printed December 29, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





273

49

47

51

52

260





# HERENDEEN RESIDENCE

## LOT 39 COUNTRY POINTE PITTSFORD, NY MASCOT INC. PLAN 2328 M / PROJECT 15078 V

### SHEET INDEX

- C-1 COVER SHEET
- 1/5 ELEVATIONS
- 2/5 FOUNDATION PLAN
- 3/5 FIRST FLOOR & ROOF PLAN
- 4/5 SECOND FLOOR PLAN
- 5/5 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY). A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASSEALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS.

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m. (0.944 l/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE: 4-8 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8, WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST. TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST. TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL 5 BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS, AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN COUNTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 6 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R31.1.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>-6</sup> = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy = 33 KSI

### DESIGN CRITERIA:

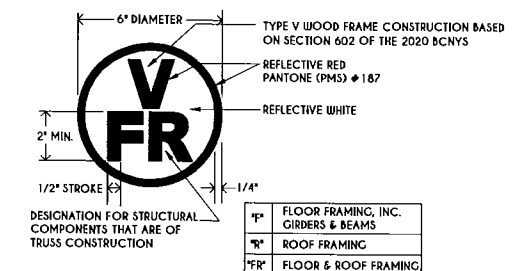
( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 4" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 2" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2006
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

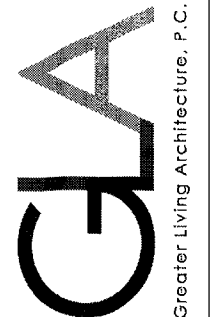
### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



*F*	FLOOR FRAMING, INC. GIRDBERS & BEAMS
*R*	ROOF FRAMING
*FR*	FLOOR & ROOF FRAMING

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COVER PAGE

GLA PLAN 2328 M

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TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.00047 19 m<sup>3</sup>/h

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

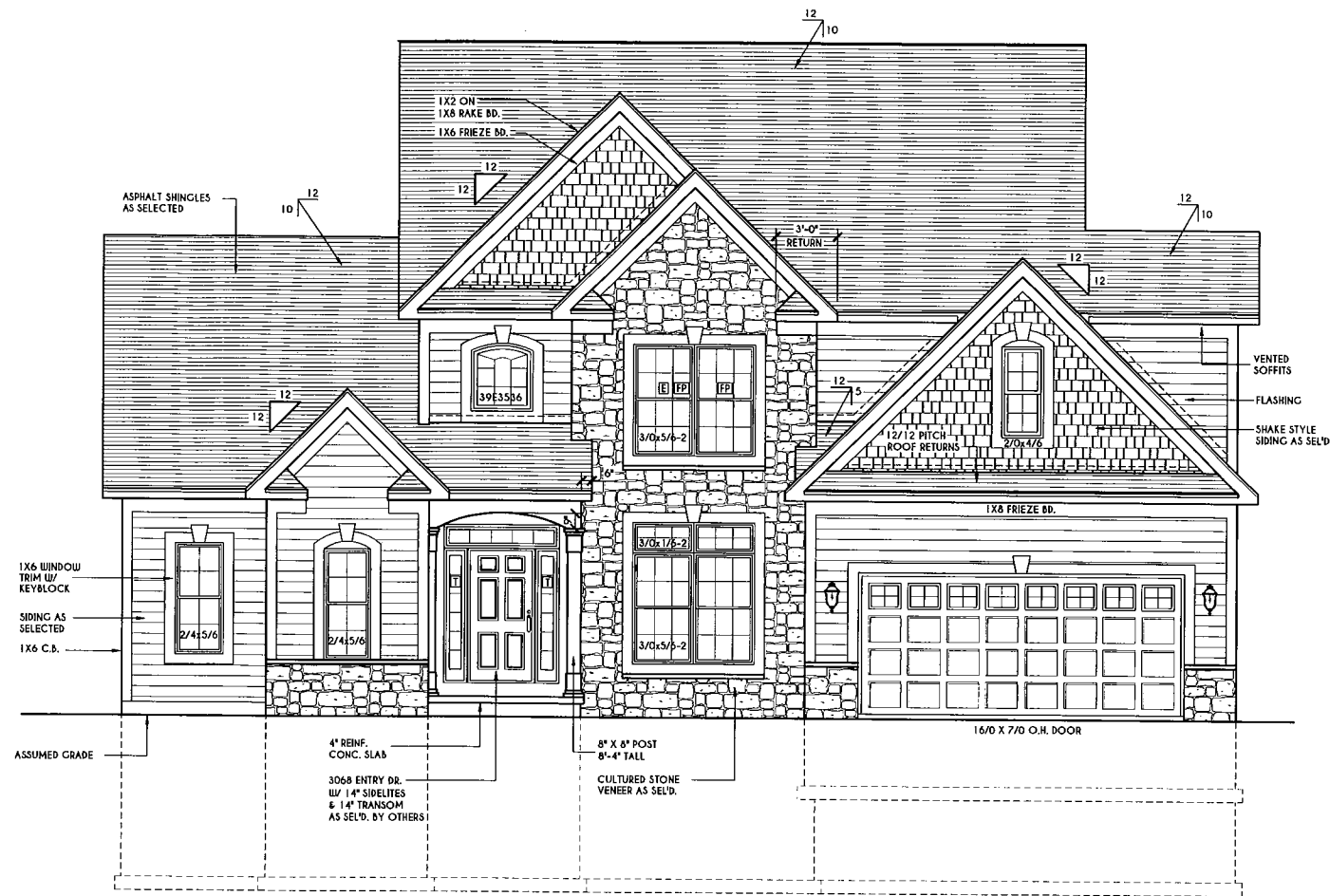
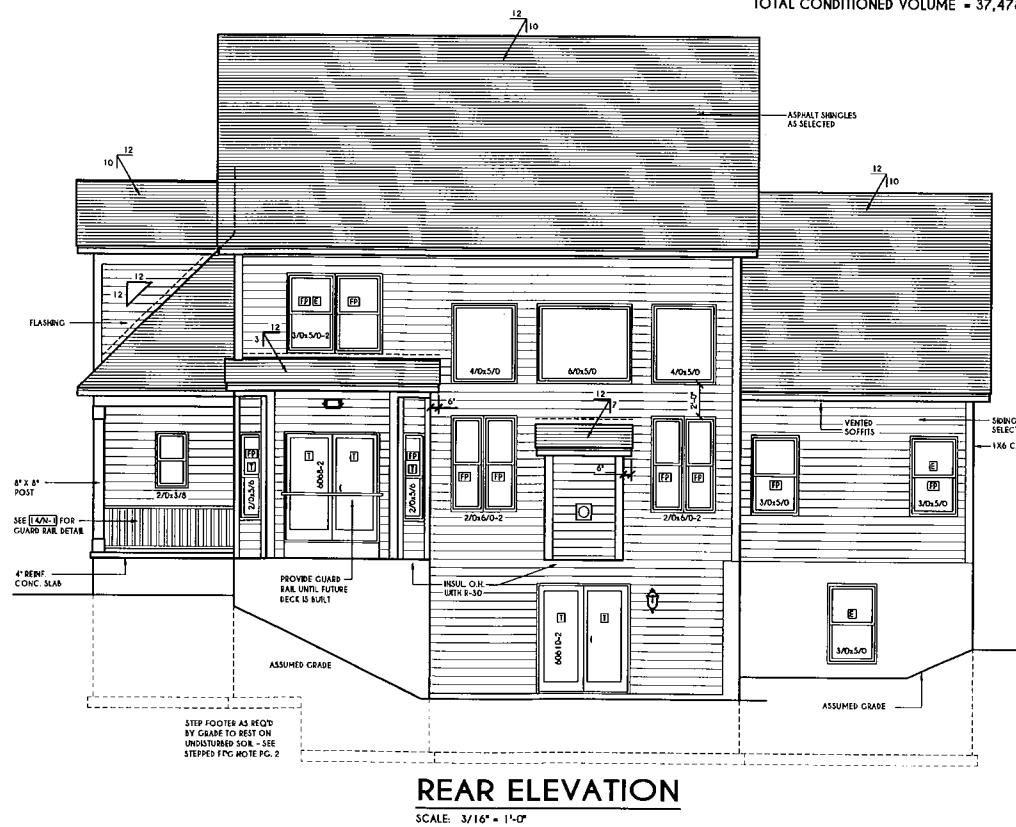
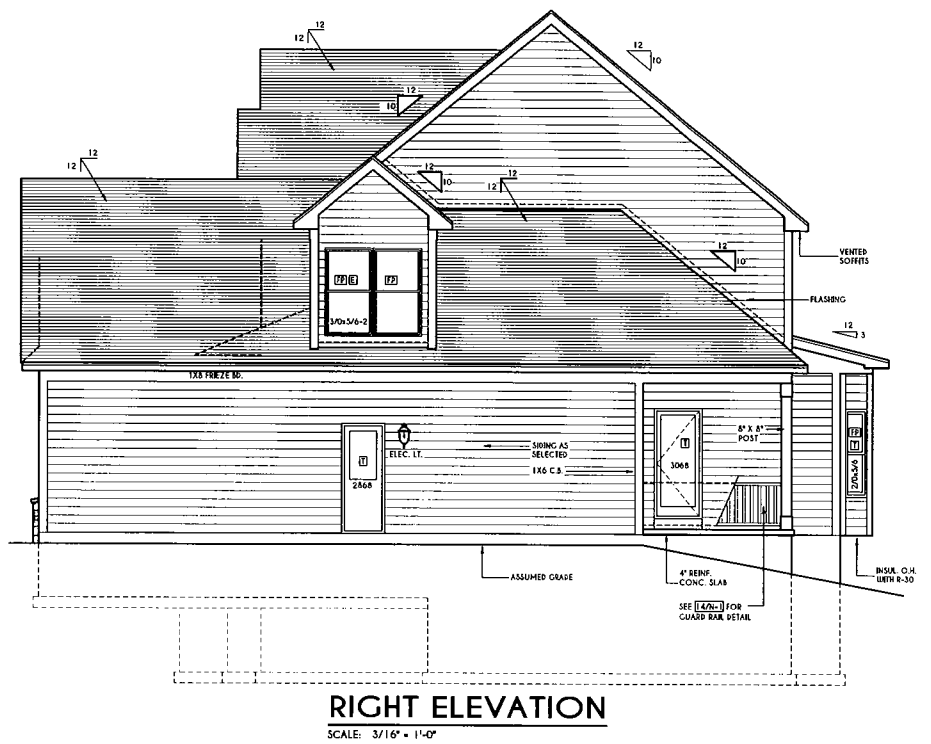
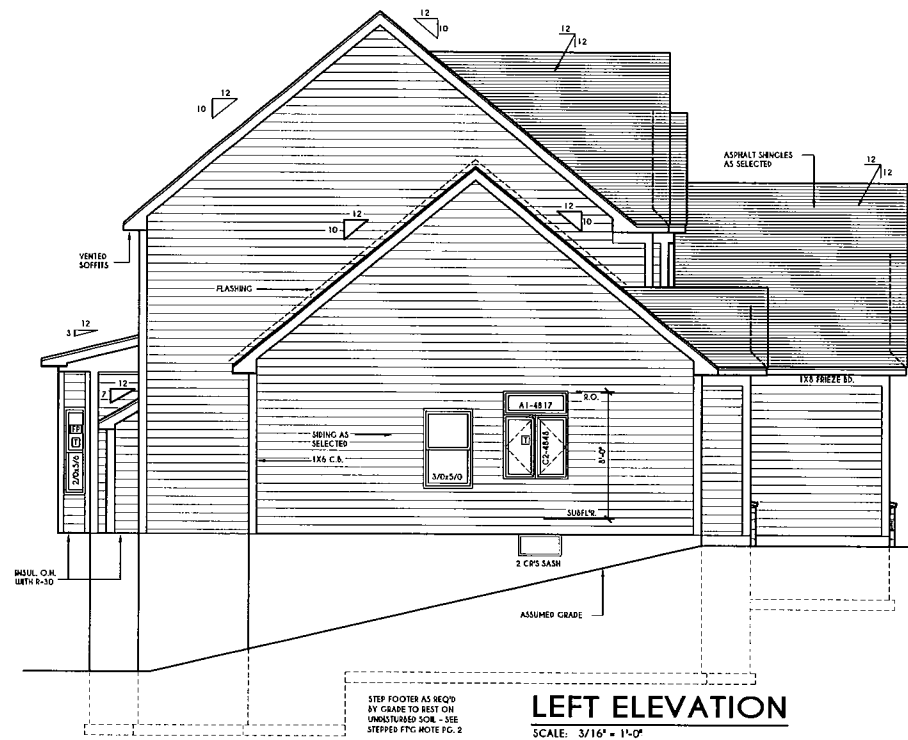
INTERMITTENT PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

<sup>a</sup> For ventilation system run time values between those given the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.00047 19 m<sup>3</sup>/h



FIRST FLOOR LIVING AREA = 1500 SQ.FT.  
SECOND FLOOR LIVING AREA = 513 SQ.FT.  
FINISHED BONUS AREA = 315 SQ.FT.  
TOTAL FINISHED LIVING AREA = 2328 SQ.FT.  
TOTAL CONDITIONED VOLUME = 37,478 CU.FT.

**WINDOWS:** SILVERLINE BH LOW E ARGON  
U-FACTOR ..... 0.29  
SHGC ..... 0.28

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft<sup>2</sup> & SWING DOORS NO MORE THAN 0.5 cfm/ft<sup>2</sup> AS PER SECT. R402.4.3 OF 2020 ECCCNY'S

**WINDOW / DOOR LEGEND:**

- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCHYS
- [I] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY CLAZING PER SECT. R308.4 OF 2020 RCHYS
- [OP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCHYS

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCHYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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FAX: (585) 292-1262  
www.greatliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

HEREDEEN RESIDENCE  
LOT 39 COUNTRY POINTE  
PITTSFORD, NY

**BUILDER:**

MASCOT INC.

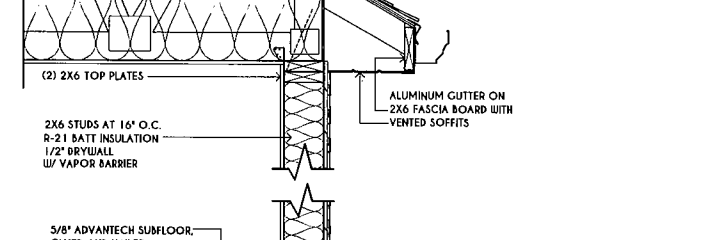
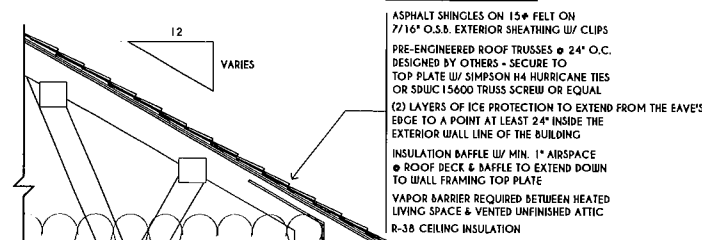
**ELEVATIONS**

GLA PLAN 2328 M

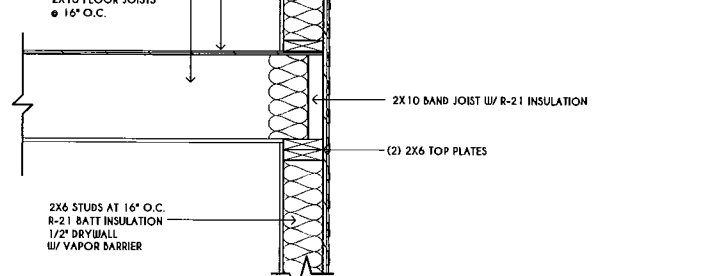
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scale: AS NOTED	date: 11 / 21
PROJECT: 15078 V	sheet: 1 / 5



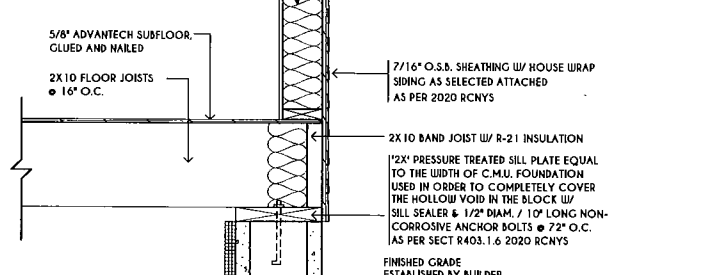
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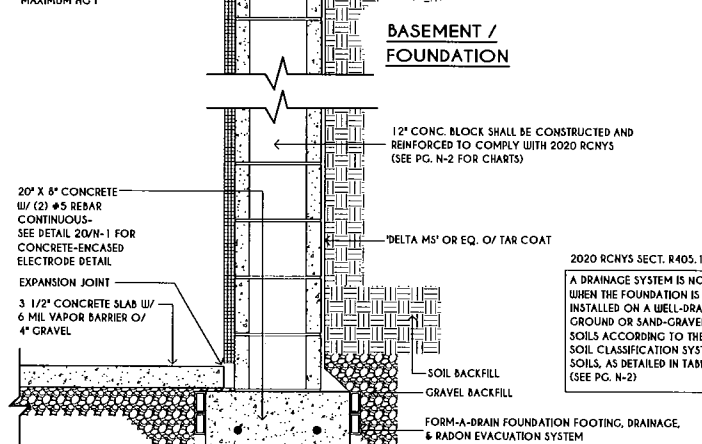
**SECOND FLOOR**



**FIRST FLOOR**

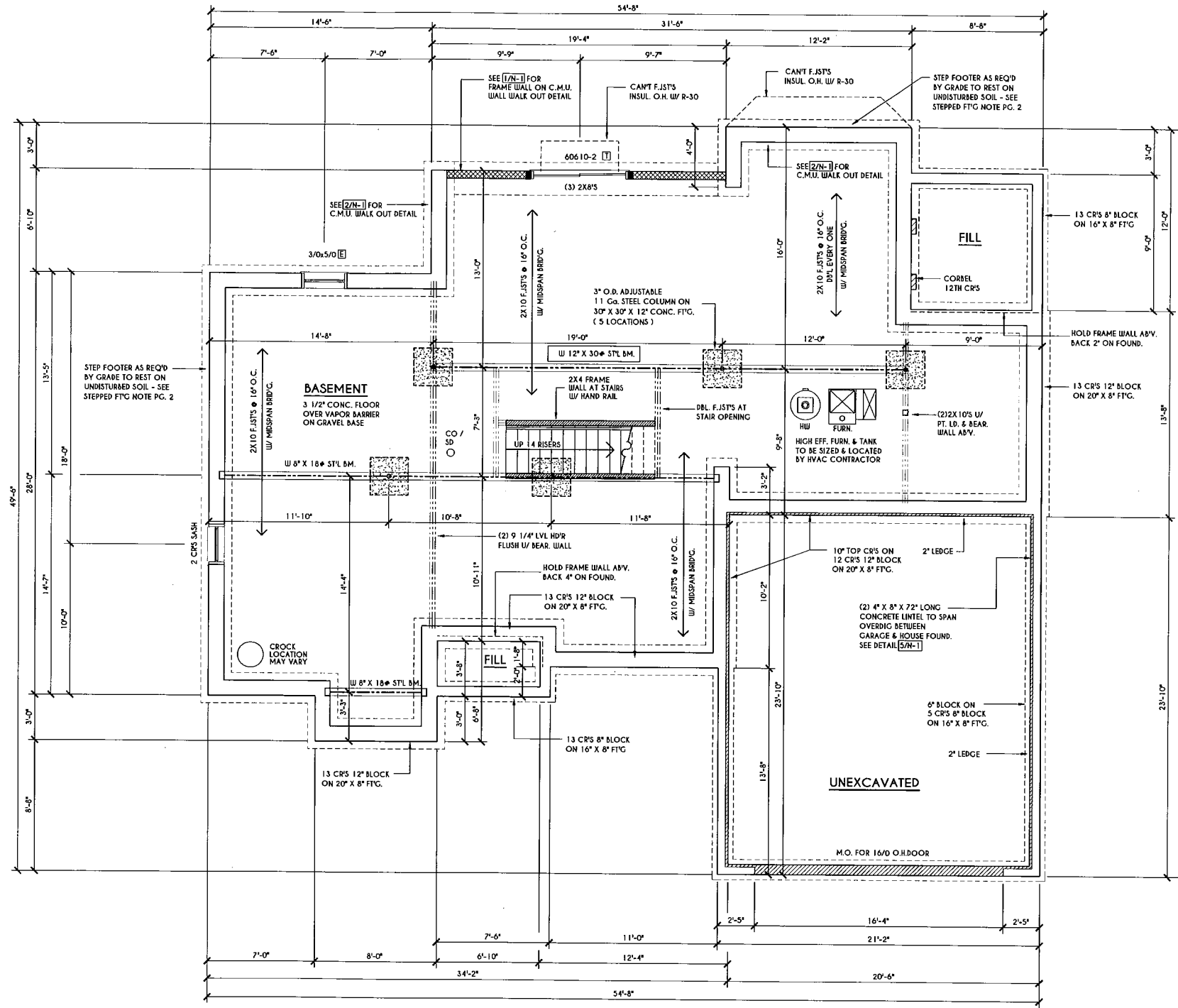


**BASEMENT / FOUNDATION**



**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"



**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING - GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED - UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

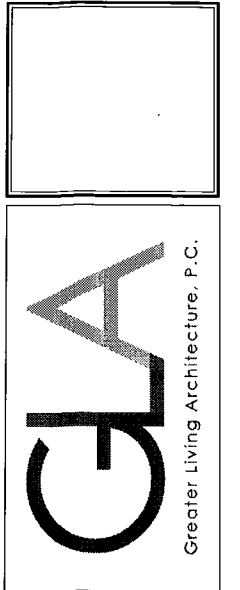
**GENERAL FOUNDATION / BASEMENT NOTES:**

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. UNL.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HID), SHALL BE INSTALLED AS PER SECT. 915.3.3 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.3.3 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19(N-1)

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ. FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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**REVISIONS:**

DATE	BY	DESCRIPTION

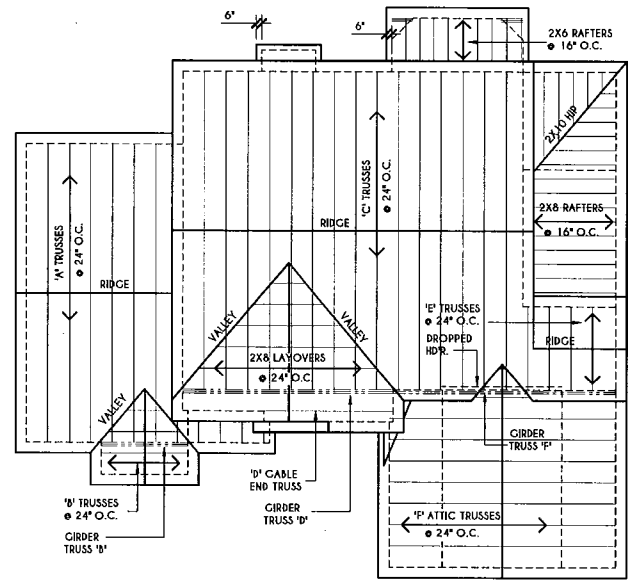
**CLIENT/LOCATION:**  
 HEREDDEEN RESIDENCE  
 LOT 39 COUNTRY POINTE  
 PITTSFORD, NY

**BUILDER:**  
 MASCOT INC.

**FOUNDATION PLAN**  
 CLA PLAN 2328 M

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 21
PROJECT: 1507 & V	sheet: 2 / 5



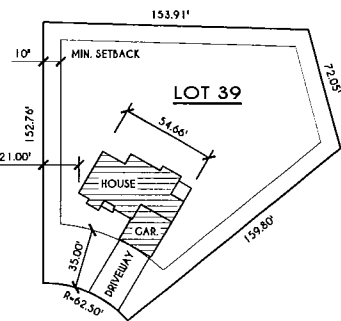


**GENERAL ROOF NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

**ROOF PLAN**

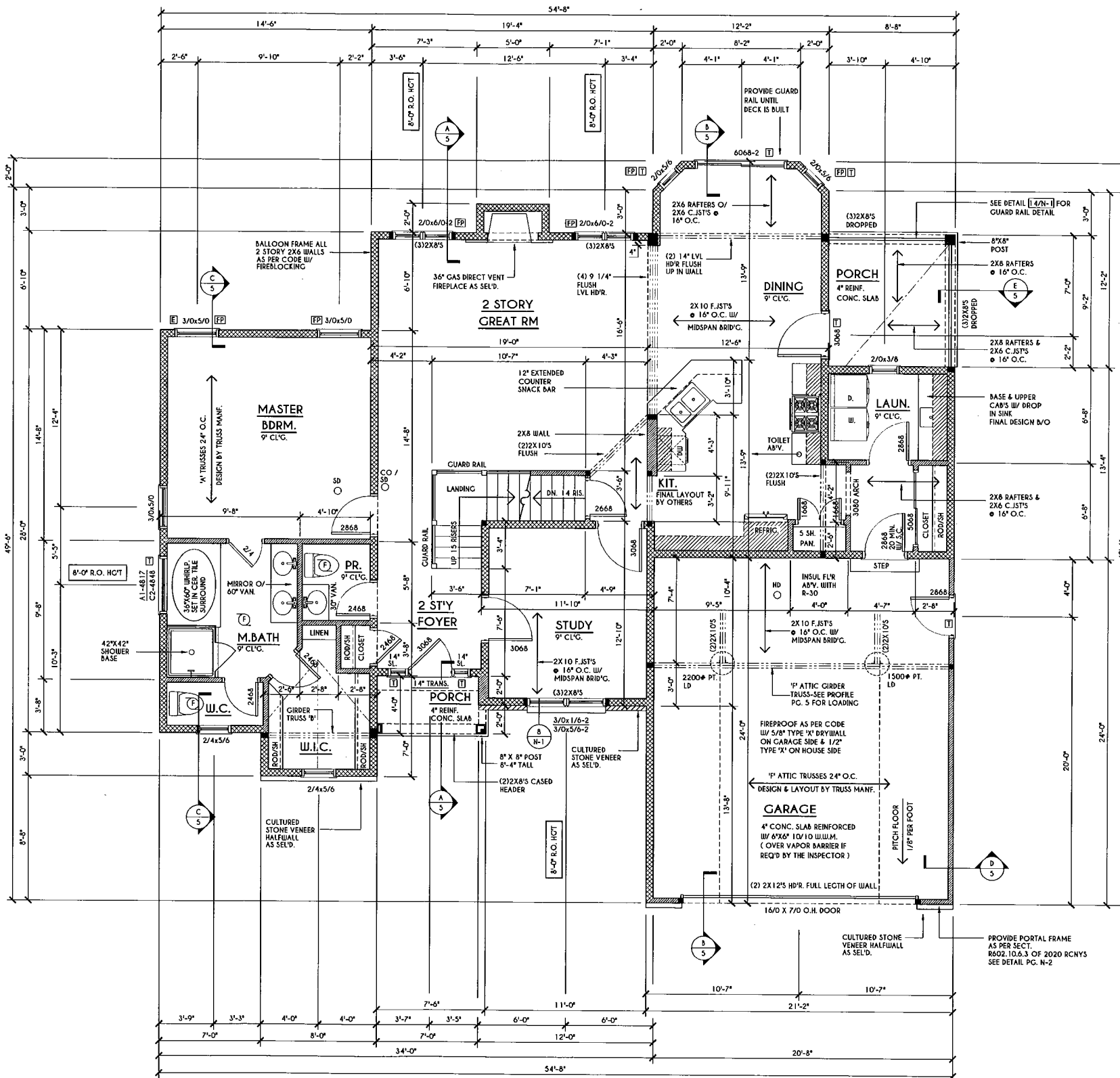
SCALE: 1/8" = 1'-0"



**PLOT PLAN**

SCALE: 1" = 50'

LOT 39 COUNTRY POINTE



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

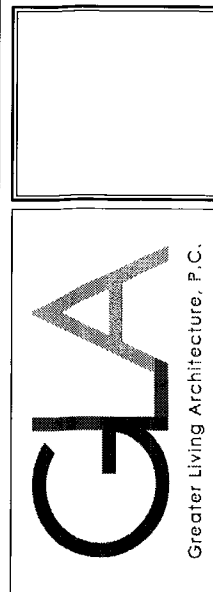
**GENERAL FIRST FLOOR PLAN NOTES:**

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. UNO.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (212X8'S) OR (312X6'S) ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW/ UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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**REVISIONS:**

DATE	BY	DESCRIPTION

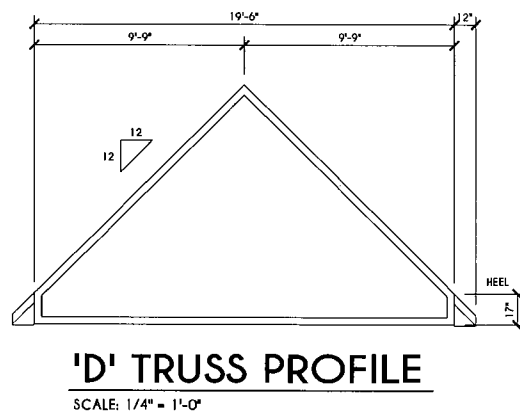
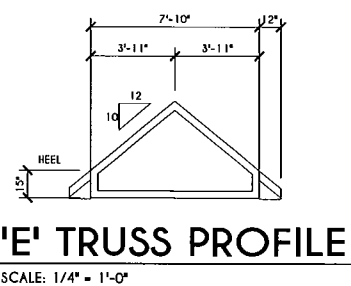
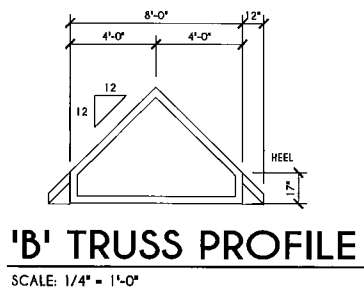
**CLIENT/LOCATION:**  
 HERENEEN RESIDENCE  
 LOT 39 COUNTRY POINTE  
 PITTSFORD, NY

**BUILDER:**  
 MASCOT INC.

FIRST FLOOR PLAN  
 GLA PLAN 2328 M

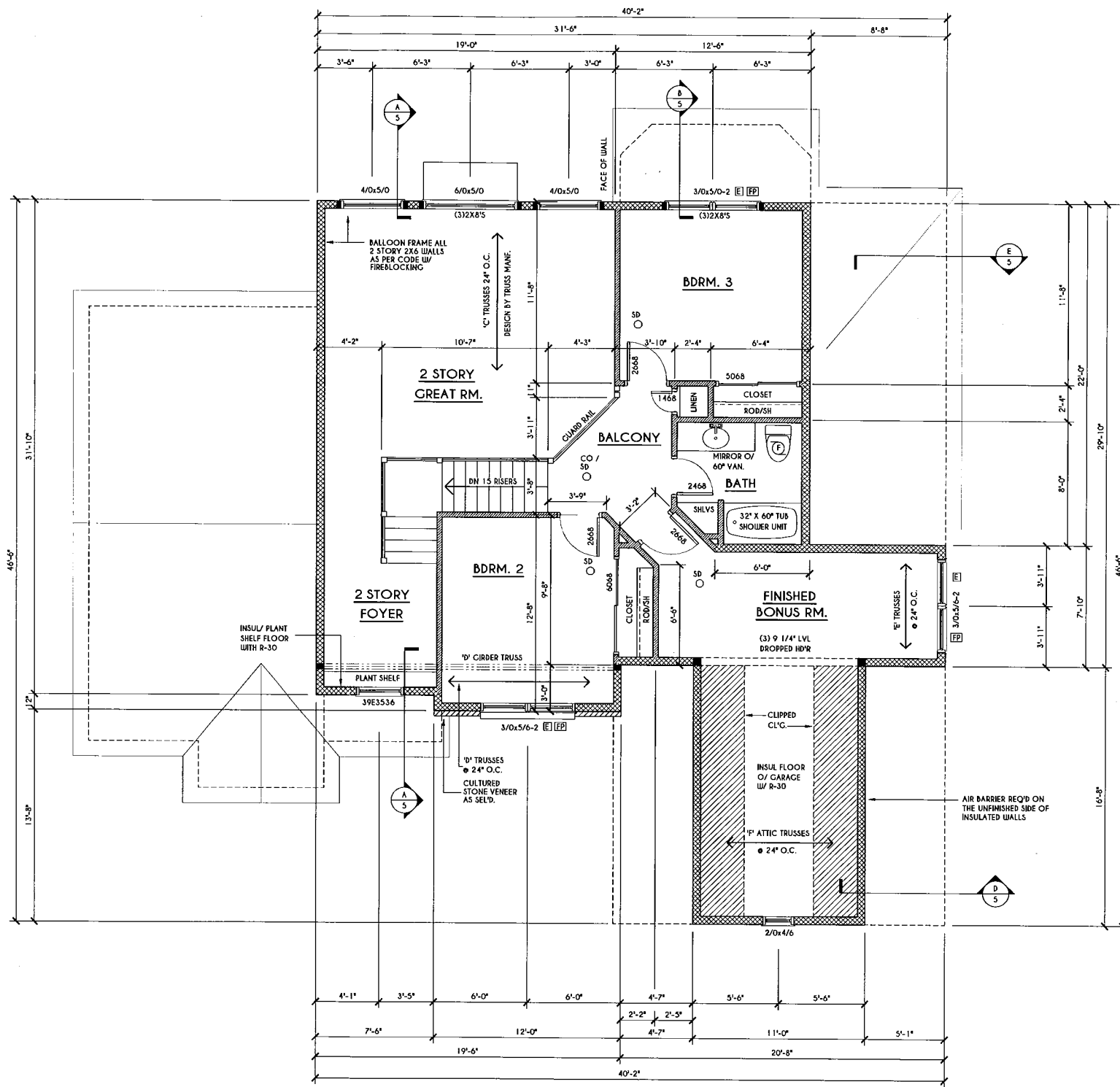
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CDK	CSB
scale:	date:
AS NOTED	11 / 21
PROJECT:	sheet:
15078 V	3
	5





**TRUSS NOTES:**

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD  
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" 513 SQ. FT. + 315 SQ. FT. FINISHED BONUS

**NOTES:**  
SECOND FLOOR PLATE HOT TO BE 8'-1 1/2" (UNLESS NOTED OTHERWISE)  
ALL WINDOW R.O. HG'TS TO BE 6'-10 1/2" U.N.O.  
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4'-0"  
ALL ANGLES TO BE 45 DEG. U.N.O.  
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)  
ALL APPLIANCES SHOWN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER  
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

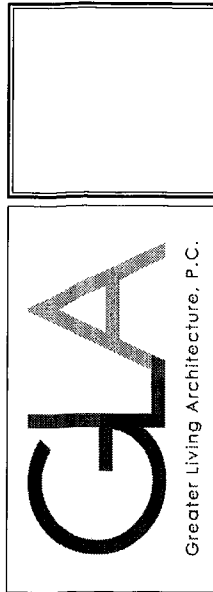
**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
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**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
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**REVISIONS:**

DATE	BY	DESCRIPTION

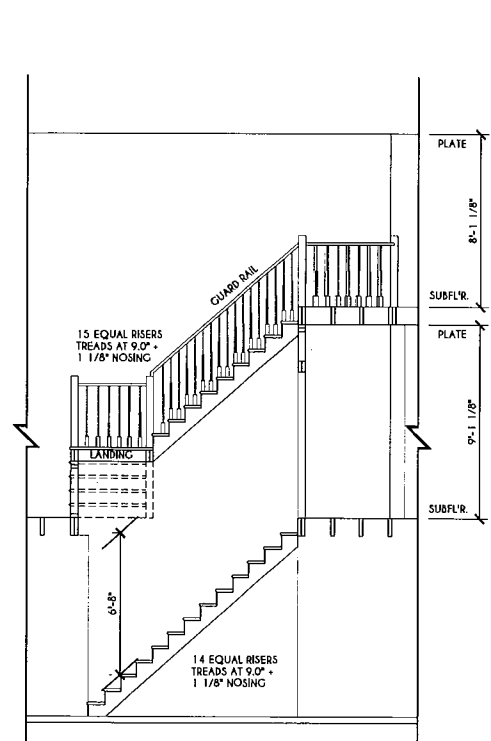
**CLIENT/LOCATION:**  
HERENDEEN RESIDENCE  
LOT 39 COUNTRY POINTE  
PITTSFORD, NY

**BUILDER:**  
MASCOT INC.

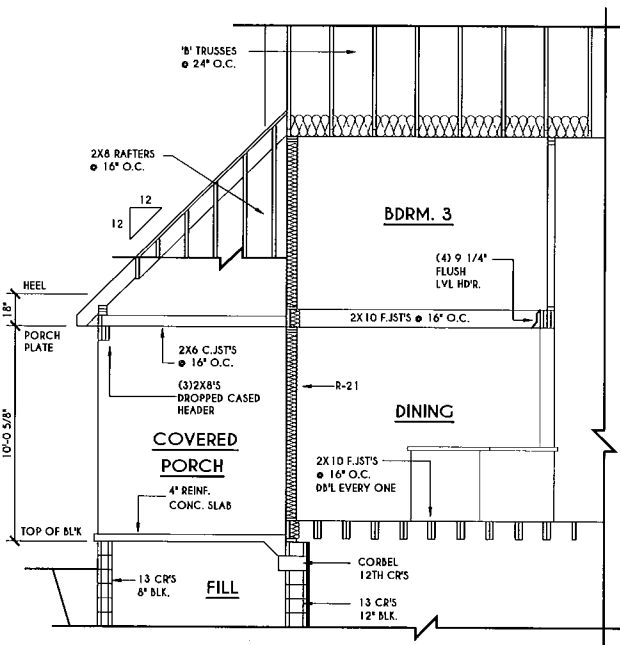
**SECOND FLOOR PLAN**  
GLA PLAN 2328 M

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 21
PROJECT: 15078 V	sheet: 4 / 5

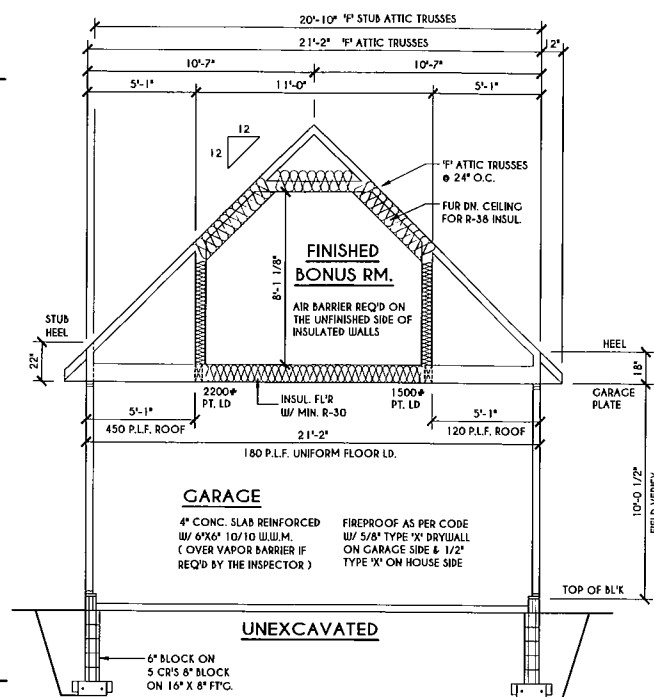




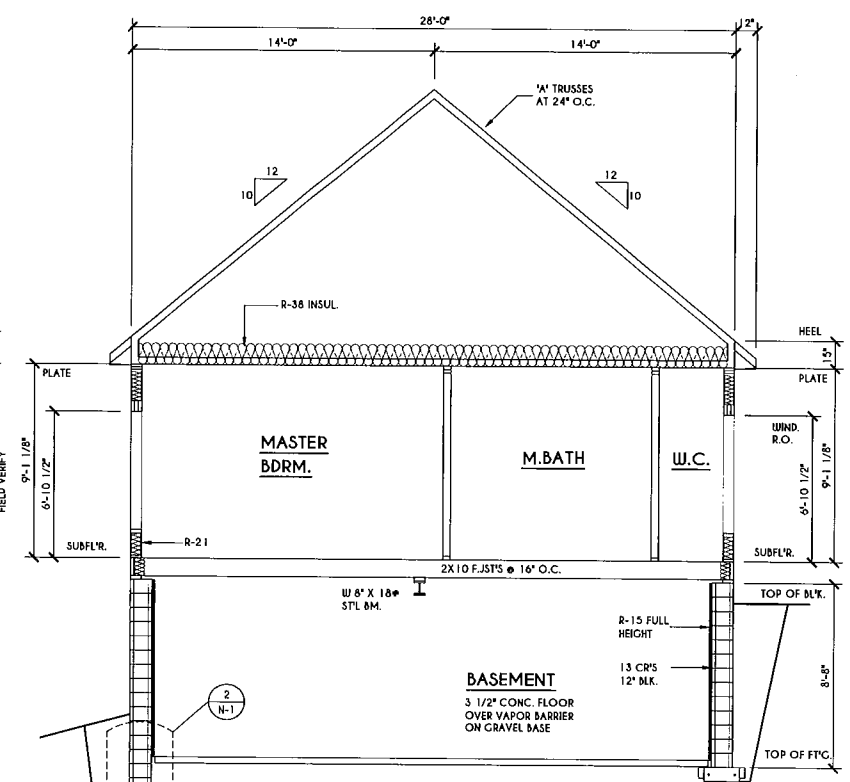
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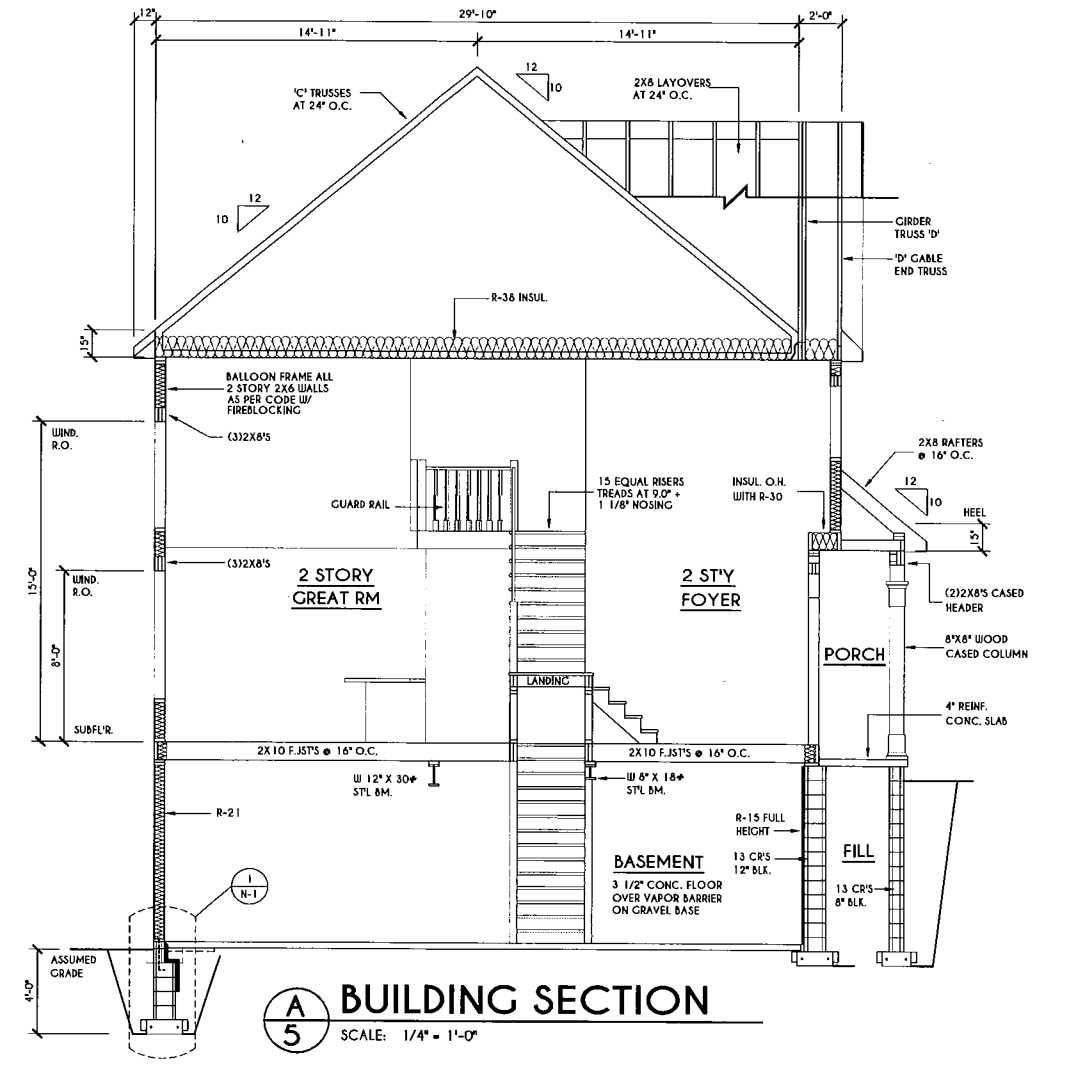
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SCALE: 1/4" = 1'-0"



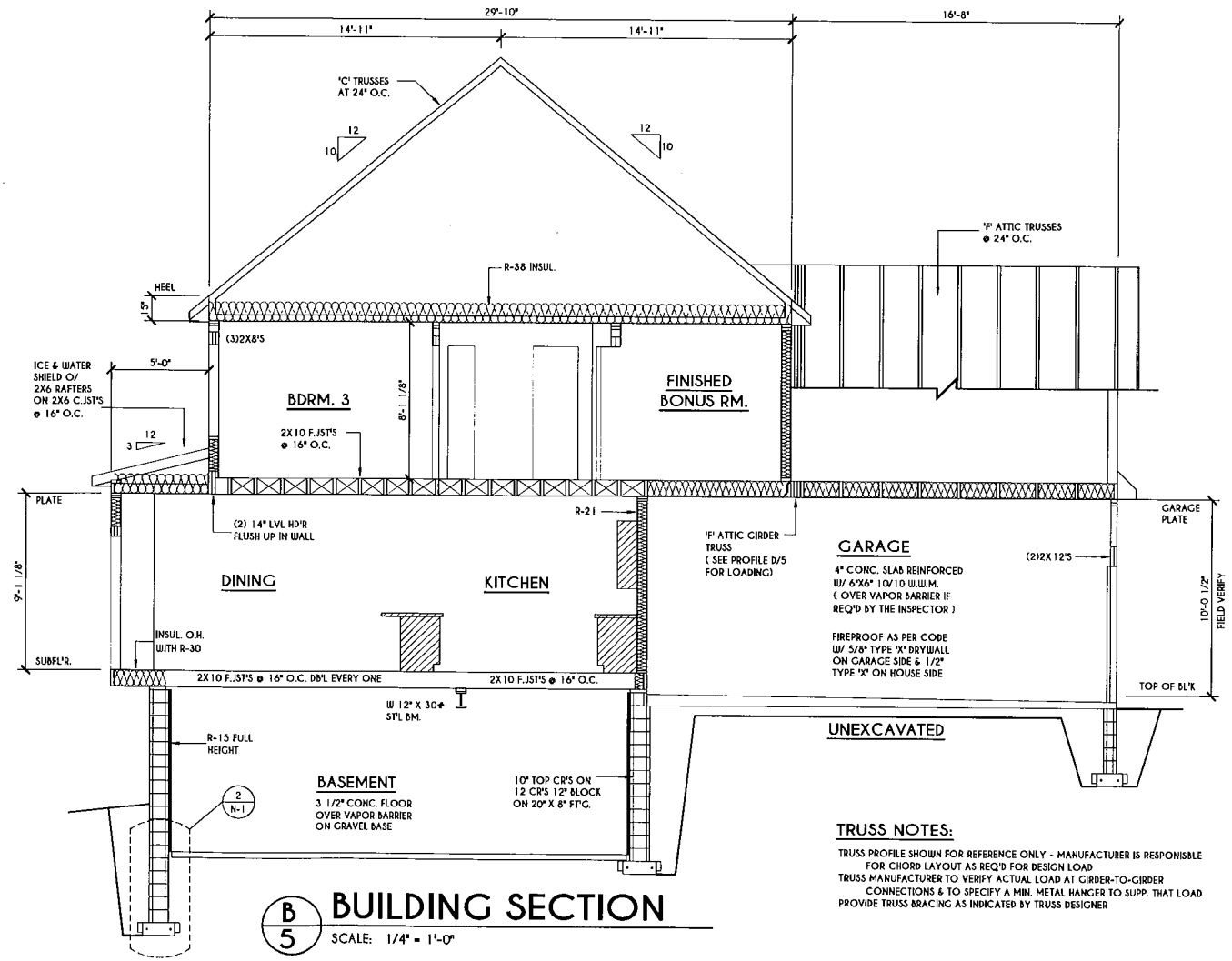
**D BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**C BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



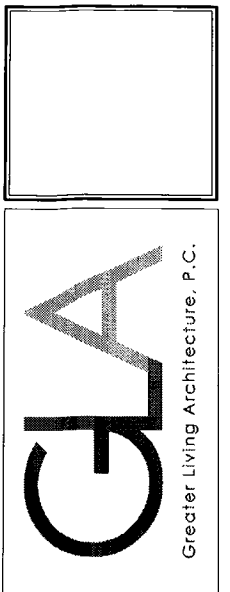
**A BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

**TRUSS NOTES:**  
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TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER

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DATE	BY	DESCRIPTION

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HEREDEEN RESIDENCE  
LOT 39 COUNTRY POINTE  
PITTSFORD, NY

**BUILDER:**  
MASCOT INC.

**SECTIONS**  
GLA PLAN 2328 M

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11/21
PROJECT: 15078 V	sheet: 5





  
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**(585) 400-4000**  
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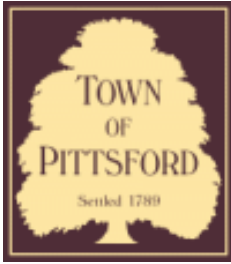












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA21-000010**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 682 Stone Road PITTSFORD, NY 14534

**Tax ID Number:** 163.16-1-24

**Zoning District:** RN Residential Neighborhood

**Owner:** Goldman, Richard A

**Applicant:** Goldman, Richard A

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the construction of an oversized accessory structure on the property of a designated historic home.

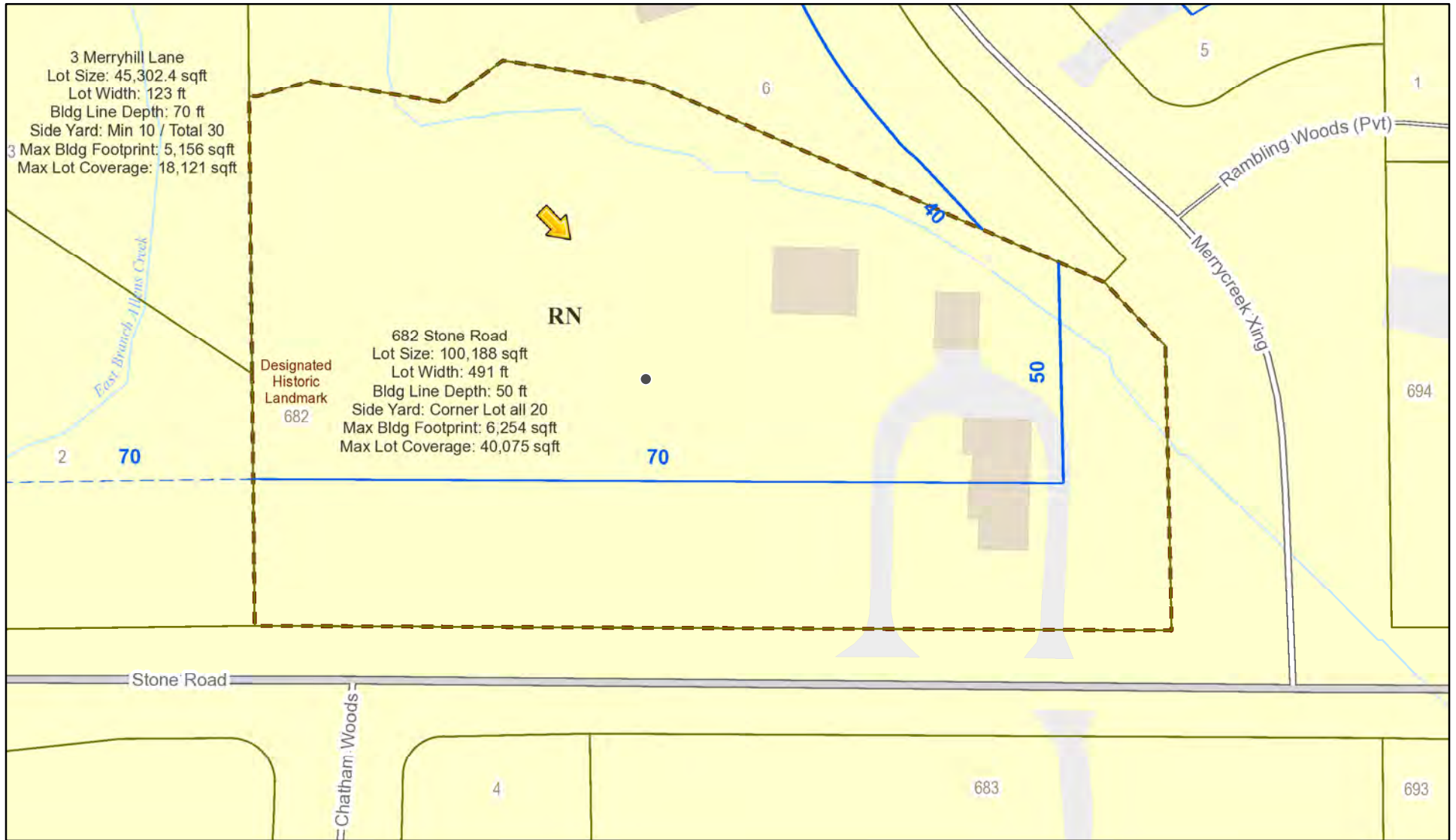
**Meeting Date:** January 13, 2022



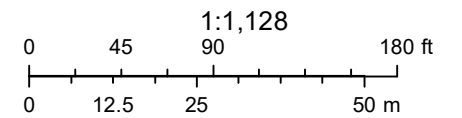




# RN Residential Neighborhood Zoning



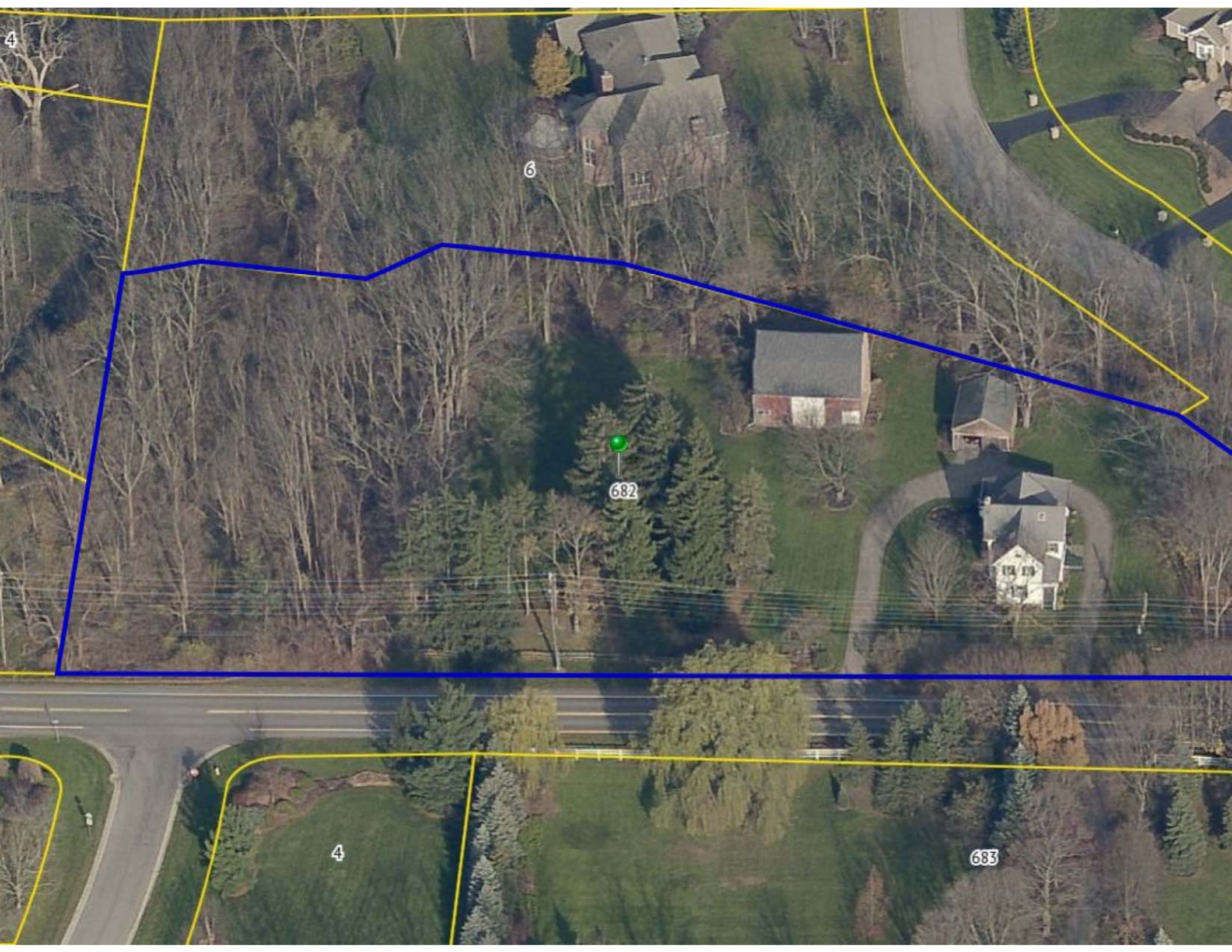
Printed November 22, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





4

6

682

4

683

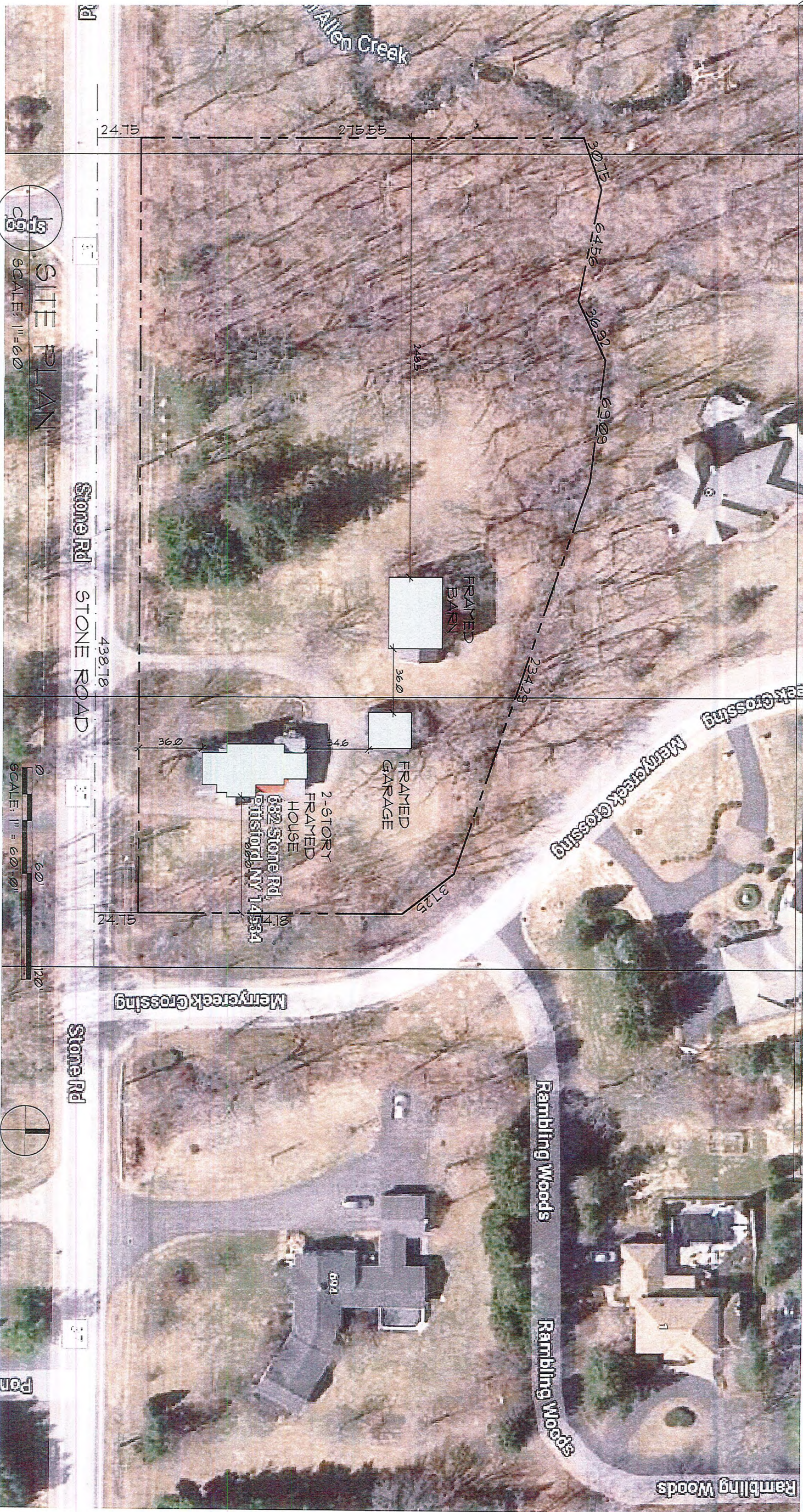


**SITE INFORMATION:**

PROPERTY ADDRESS: 682 STONE ROAD  
 TAX MAP # 16316-1-24  
 DEED MAP 316-164  
 PRESENT ZONING: RN  
 TOWN OF PITTSFORD, MONROE COUNTY

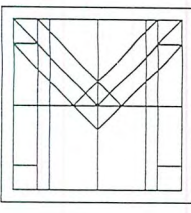
INFORMATION TAKEN FROM SURVEY BY DENLUCK, THOMAS, MCGRAIL & ASSOCIATES SURVEYORS DATED OCTOBER 3, 1973 WHICH REFERENCE THE SURVEY BY THOMAS SEAR DATED SEPTEMBER 13, 1958

- PARCEL AREA:  
101689 SF = (+/-) 2.3 ACRES)
  - EXISTING HOUSE SQUARE FOOTAGE:  
2068 SF
  - EXISTING BARN SQUARE FOOTAGE:  
1222 SF
  - EXISTING GARAGE SQUARE FOOTAGE:  
500 SF
- PROPOSED NEW GARAGE:  
480 SF
1. SIDE - 20' MINIMUM ONE SIDE, 120' BOTH SIDES TOTAL 66'+/- AND 314' TOTAL PROVIDED
  2. REAR BUFFER - 20' REQUIRED, 50' +/- PROVIDE



**SITE PLAN**  
 SCALE: 1" = 60'

**SITE PLAN**  
 SCALE: 1" = 60'-0"



**MOSSIEN**  
 ASSOCIATES  
 ARCHITECTS, P.C.

**GOLDMAN RESIDENCE  
 NEW GARAGE**

682 STONE ROAD  
 PITTSFORD, NY 14534

PROJECT NO.:  
2021-038

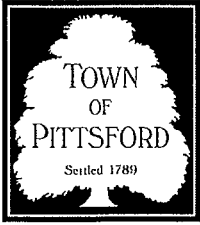
DATE:  
11/09/2021

DRAWN BY:  
JAB

DRAWING NO.:  
01

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# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

- Property Address: 682 Stone Road, Pittsford NY 14534
- Tax Account Number: 163.16-1-24
- Applicant's Name: Jeffrey Ashline (Mossien Associates Architects, P.C.)  
Address: 70 Linden Oaks, Suite 110 Phone: 585.262.6000  
*Street*  
Rochester NY 14625 E-mail: jashline@mossien.com  
*City State Zip Code*
- Applicant's Interest in Property:  
Owner:  Lessee:  Holding Purchase Offer:   
Other (explain): Owner's Architect
- Owner (if other than above): Dick Goldman  
Address: 682 Stone Road Phone: 585.953.6103  
*Street*  
Pittsford NY 14534 E-mail: rgoldman682@gmail.com  
*City State Zip Code*  
Has the Owner been contacted by the Applicant? Yes  No
- Application prepared by: Jeffrey Ashline (Mossien Associates Architects, P.C.)  
Address: 70 Linden Oaks, Suite 110 Phone: 585.262.6000  
*Street*  
Rochester NY 14625 E-mail: jashline@mossien.com  
*City State Zip Code*
- Project Design Professional (if Available): Same as above  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_  
*City State Zip Code*



8. Project Contractor (if Available): Charles Robinson General Contractors  
Address: 7455 Boughton Road Phone: \_\_\_\_\_  
Bloomfield NY 14469 E-mail: charlierob54@icloud.com  
*City State Zip Code*

9. Present use of Property: Single family home + detached garage + detached storage barn

10. Zoning District of Property: RN

11. Is the property located in a Town Designated Historic District?  
Yes  No

12. Is the property listed on the National Registry of Historic Places?  
Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
Yes  No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

The scope-of-work for this project includes the removal of the existing, non-historic 2-car garage and replacement with a new 2-car garage in the same location and fitting within the same limits as the current garage. The existing garage is structurally un-sound and in need of replacement. The exterior siding barn boards are weathered and unable to prevent water infiltration and the existing stone foundation is failing and in need of a new, stable masonry foundation and slab.

Our proposal is to provide a new garage that is no taller than the existing garage that sits on the same footprint as the current garage. We will provide new CMU foundation walls along with a new poured concrete slab. The exterior walls will be wood framed and have a white vinyl lap siding with a profile and smooth texture that matches that of the existing single family home. There will be new composite windows on the east and west elevations, a new window above the overhead door along with a single 'man-door' on the east elevation. The new 16' overhead garage door is proposed to be 'Green' in color, to match that of the existing green window shutters on the home. The new shingles will be simple and dark in color to match that of the existing home. A new cupola is being proposed to add a small touch of ornament to the new structure.



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

As part of the scope-of-work for the project we would like to raise the garage floor slab approximately 18" so that when the existing asphalt driveway is re-paved there is positive drainage away from the overhead door. This is not the case today as water drains towards and into the garage. The new foundation wall is proposed to be concrete block and can be painted or left natural like the wall is today. Existing landscaping will need to be removed in order to demolish and rebuild the new garage but similar low-lying plantings and ground-cover will be planted after garage construction. The Owner has had a new garage on his list for several years. Among the issues he has seen are:

- Sliding doors that stick in the winter (He has even raised the sliding supports once)
- The sticking of the doors occurs on the east side, meaning the structure is not level anymore
- Water seeps into the garage and freezes on the floor in the winter – a dangerous situation
- One rafter is barely secure, a risk of falling
- Most of the external side boards are decaying at the bottom on the east side
- Some foundation blocks are crumbling and separating from each other

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).


Not applicable

16. Additional materials submitted with this application (if available):

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Parcel map      | <input checked="" type="checkbox"/> Architectural elevations                         |
| <input checked="" type="checkbox"/> Photographs     | <input checked="" type="checkbox"/> Architectural plans                              |
| <input checked="" type="checkbox"/> Other materials | Asphalt shingle sample, exterior lap siding sample, green overhead door color sample |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

11-17-21

Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

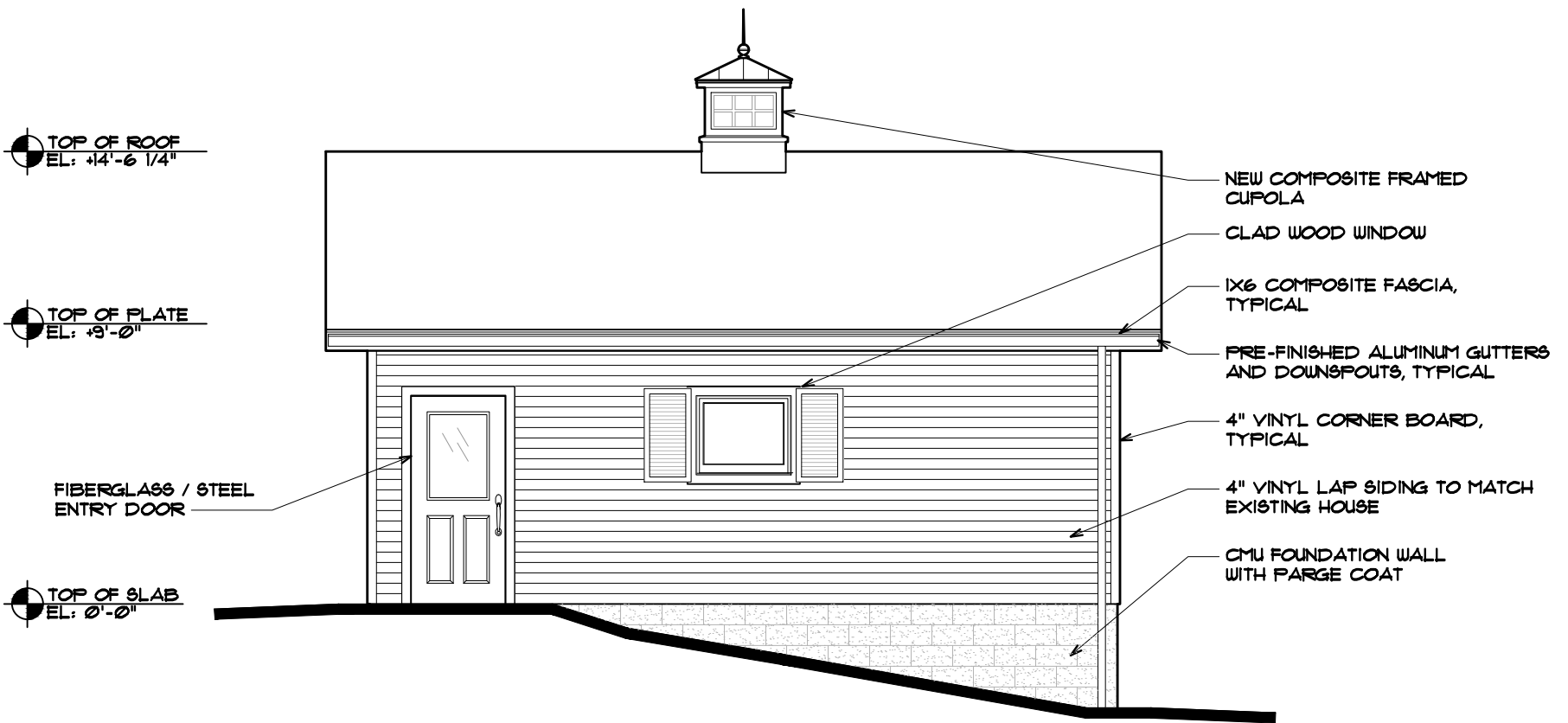
Yes  No

If Yes, owner's signature:

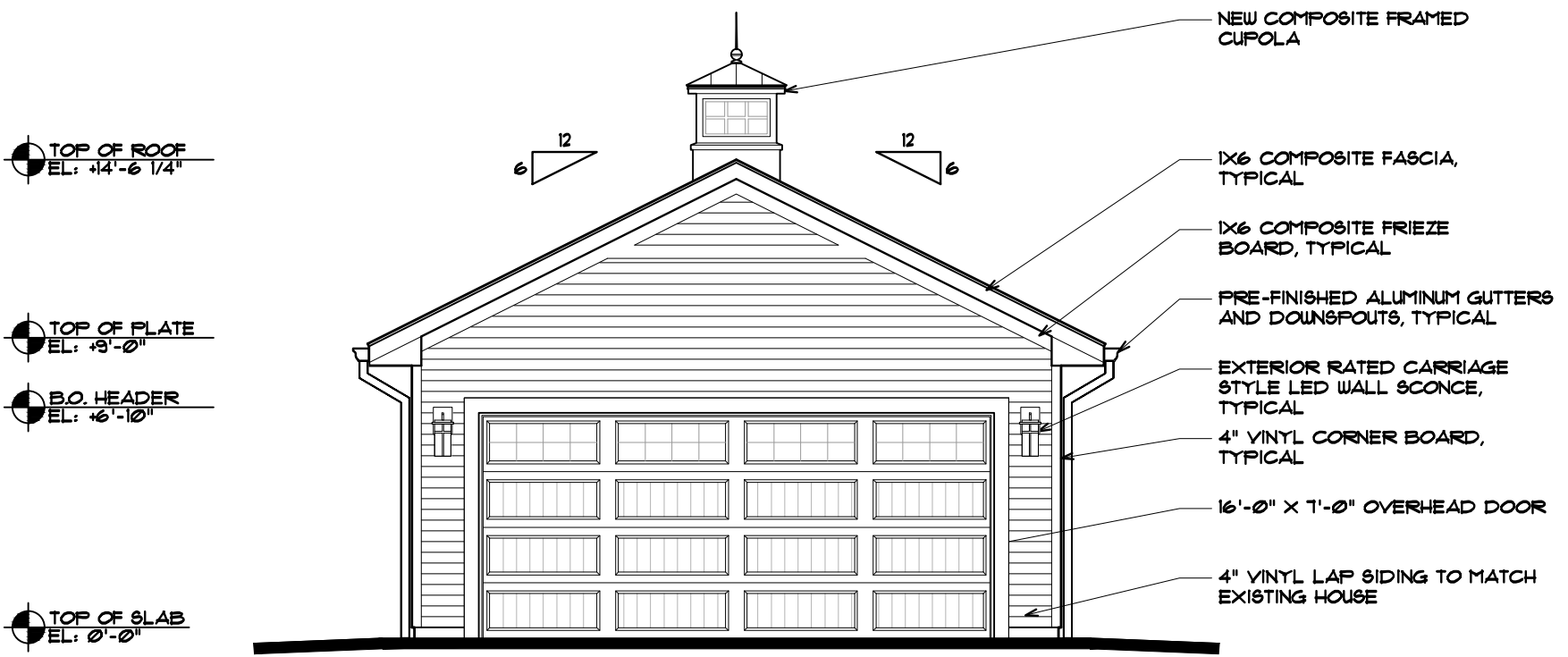
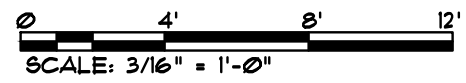




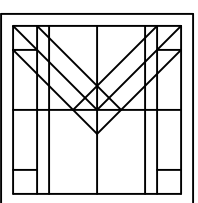
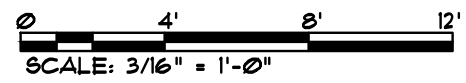
# REVISED SUBMISSION



2
**EAST ELEVATION**  
 SK-1 SCALE: 3/16" = 1'-0"



1
**SOUTH ELEVATION**  
 SK-1 SCALE: 3/16" = 1'-0"



MOSSIEN

ASSOCIATES

ARCHITECTS, P.C.

GOLDMAN RESIDENCE  
NEW GARAGE

682 STONE ROAD  
PITTSFORD, NY 14534

PROJECT NO.:  
**2021-038**

DATE:  
**12/13/2021**

DRAWN BY:  
**JAB**

DRAWING NO.:

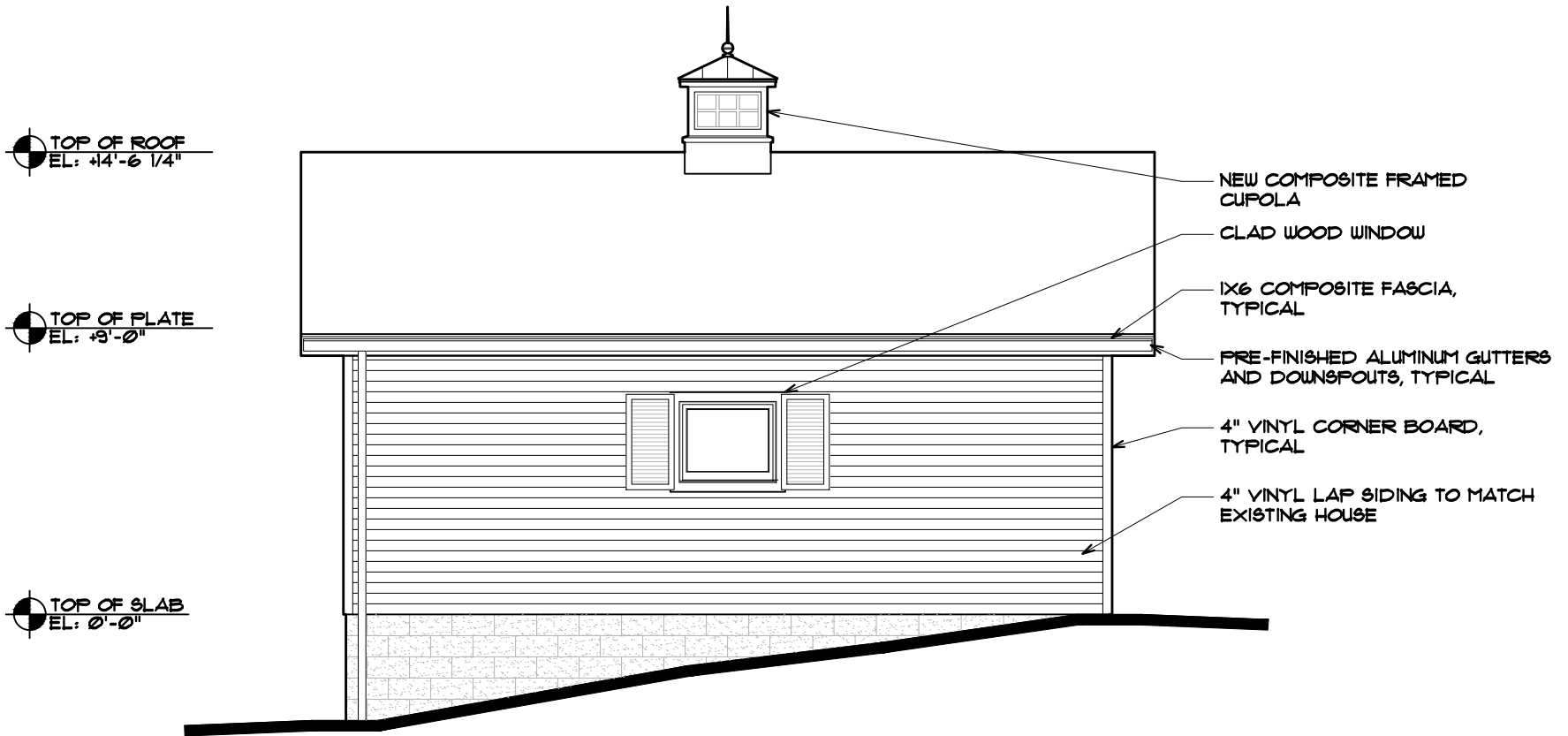
SK

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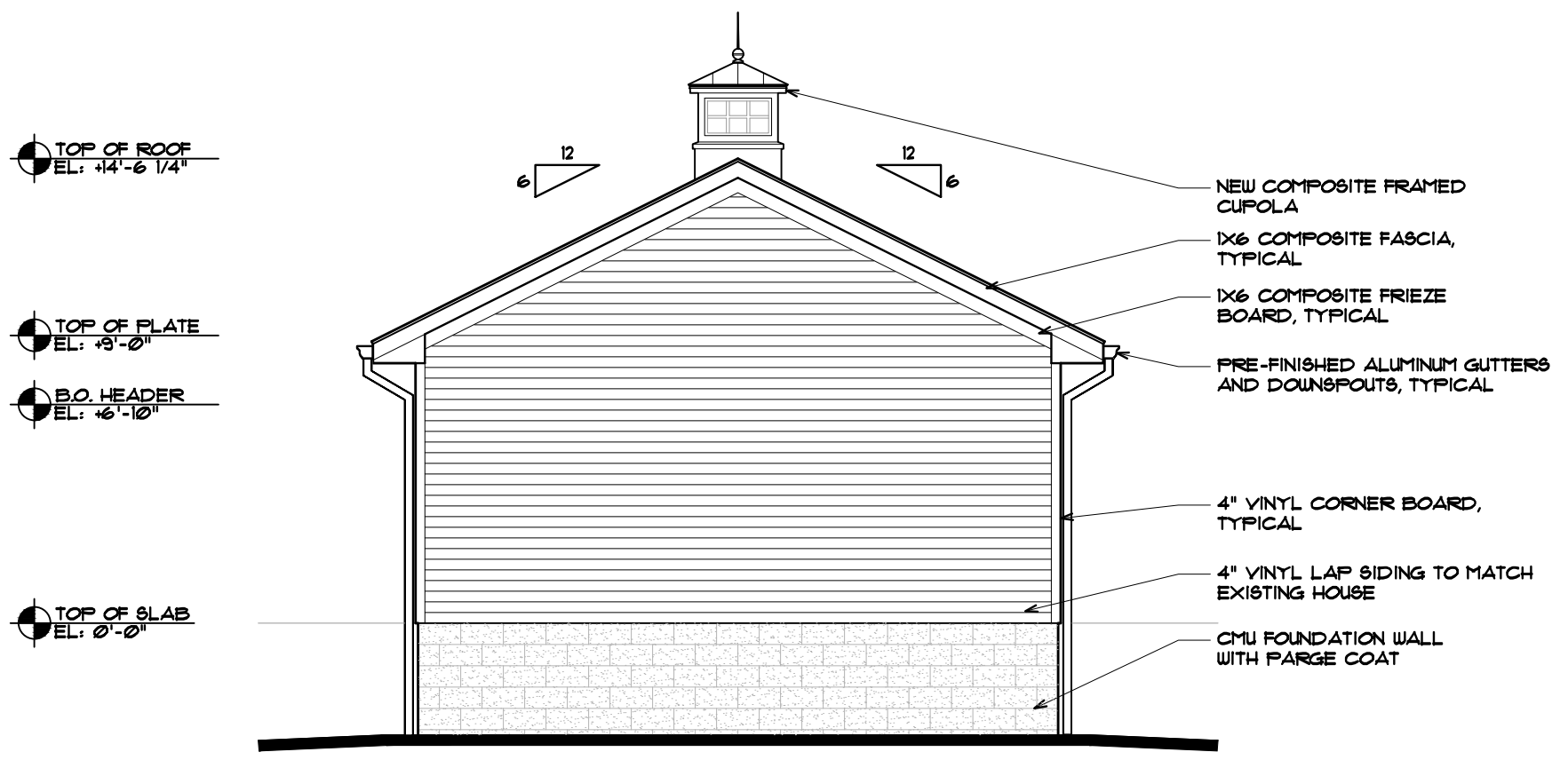
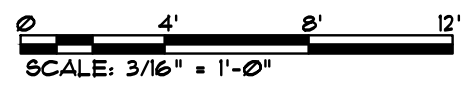
© 2021 DANIEL E. MOSSIEN



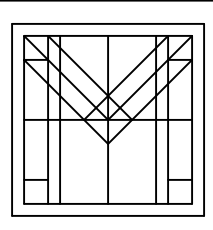
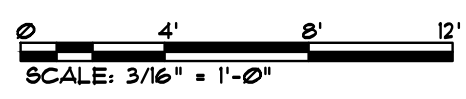
# REVISED SUBMISSION



2 WEST ELEVATION  
 SK-2 SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION  
 SK-2 SCALE: 3/16" = 1'-0"



**MOSSIEN**  
 ASSOCIATES  
 ARCHITECTS, P.C.

**GOLDMAN RESIDENCE  
 NEW GARAGE**

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682 STONE ROAD  
 PITTSFORD, NY 14534

PROJECT NO.:  
**2021-038**

DATE:  
**12/13/2021**

DRAWN BY:  
**JAB**

DRAWING NO.:

**SK**

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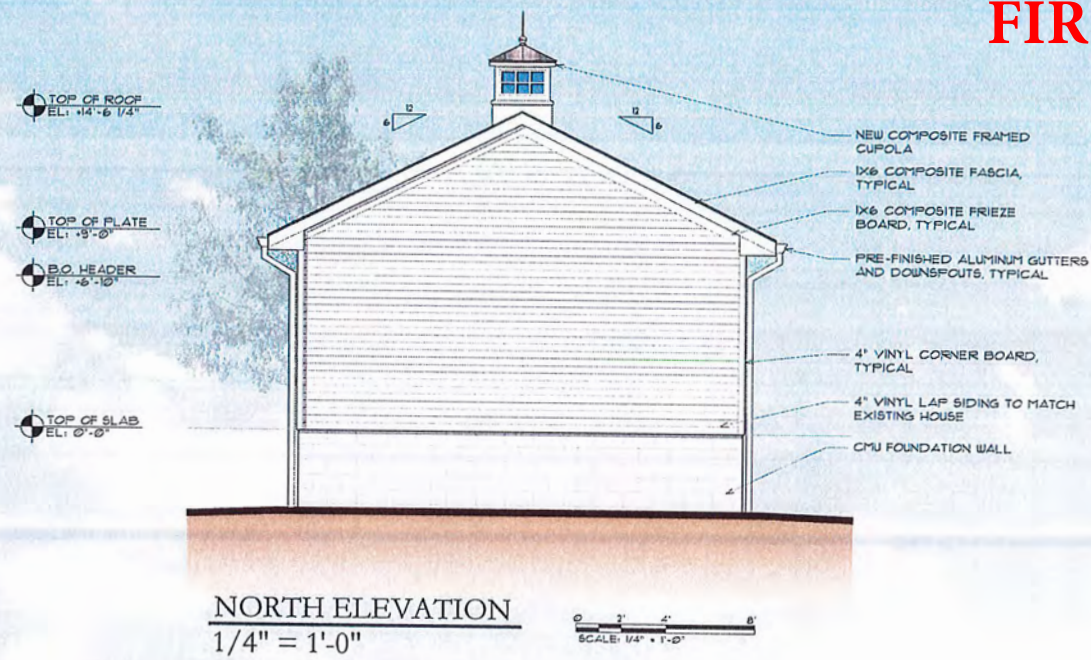
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© 2021 DANIEL E. MOSSIEN

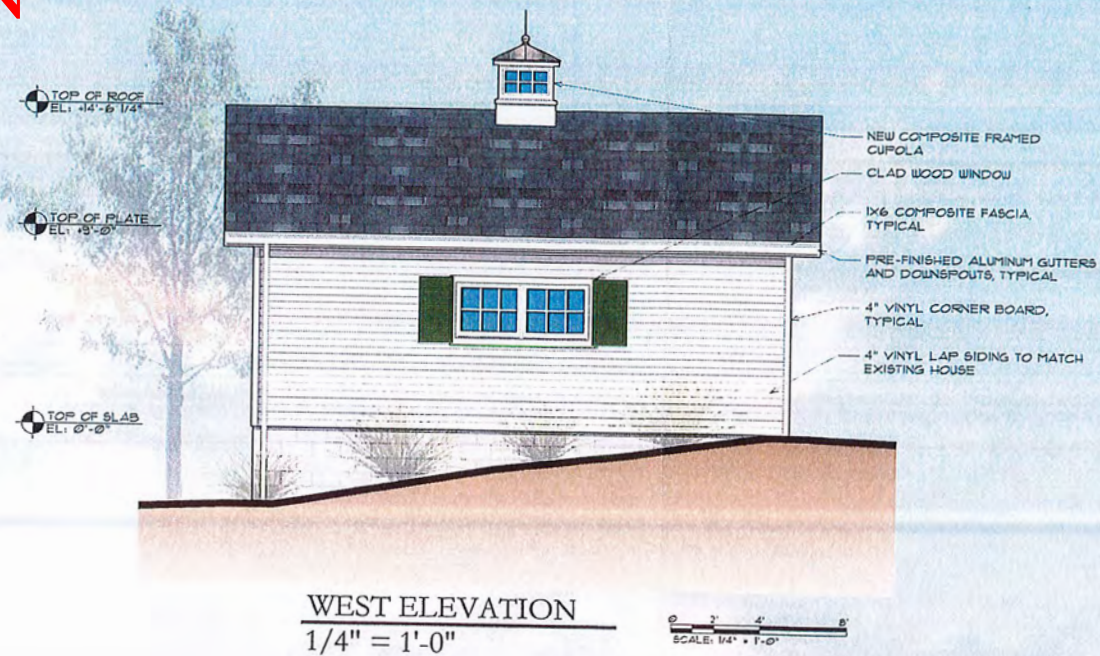
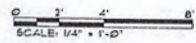
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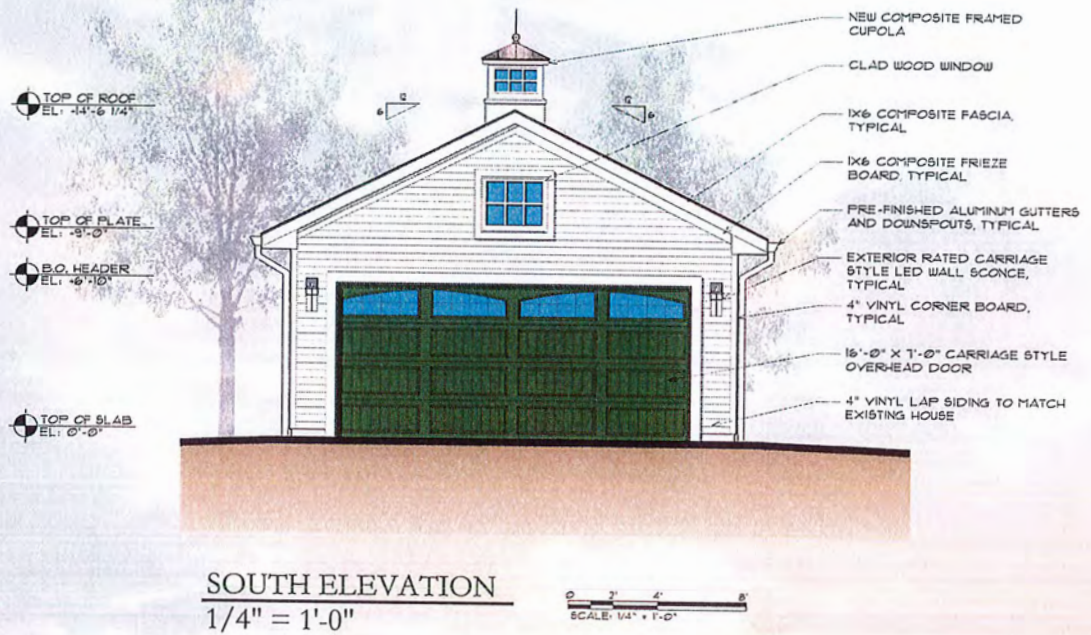
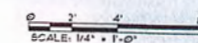
# FIRST SUBMISSION



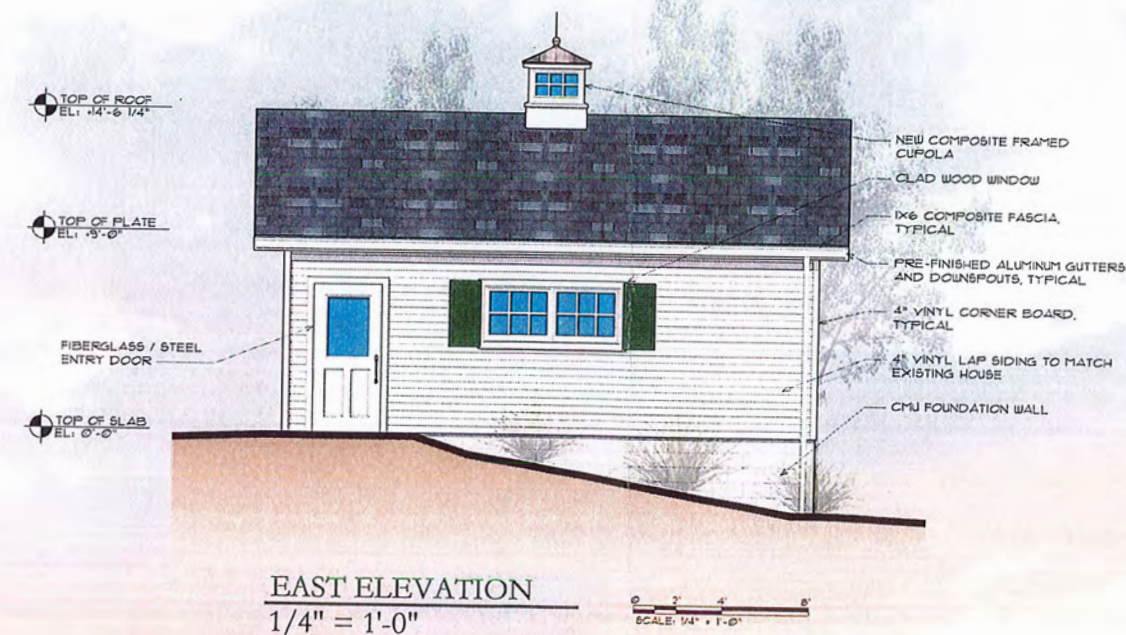
**NORTH ELEVATION**  
1/4" = 1'-0"



**WEST ELEVATION**  
1/4" = 1'-0"



**SOUTH ELEVATION**  
1/4" = 1'-0"



**EAST ELEVATION**  
1/4" = 1'-0"



**Project**

## PROPOSED RESIDENTIAL GARAGE - GOLDMAN RESIDENCE

682 STONE ROAD / PITTSFORD, NEW YORK  
OCTOBER 2021  
MAA # 2021-038

**Client**

DICK GOLDMAN  
682 Stone Road  
Pittsford, NY 14534

**General Contractor**

CHARLES ROBINSON  
GENERAL CONTRACTORS  
7455 Boughton Road  
Bloomfield NY 14469

**Architect**

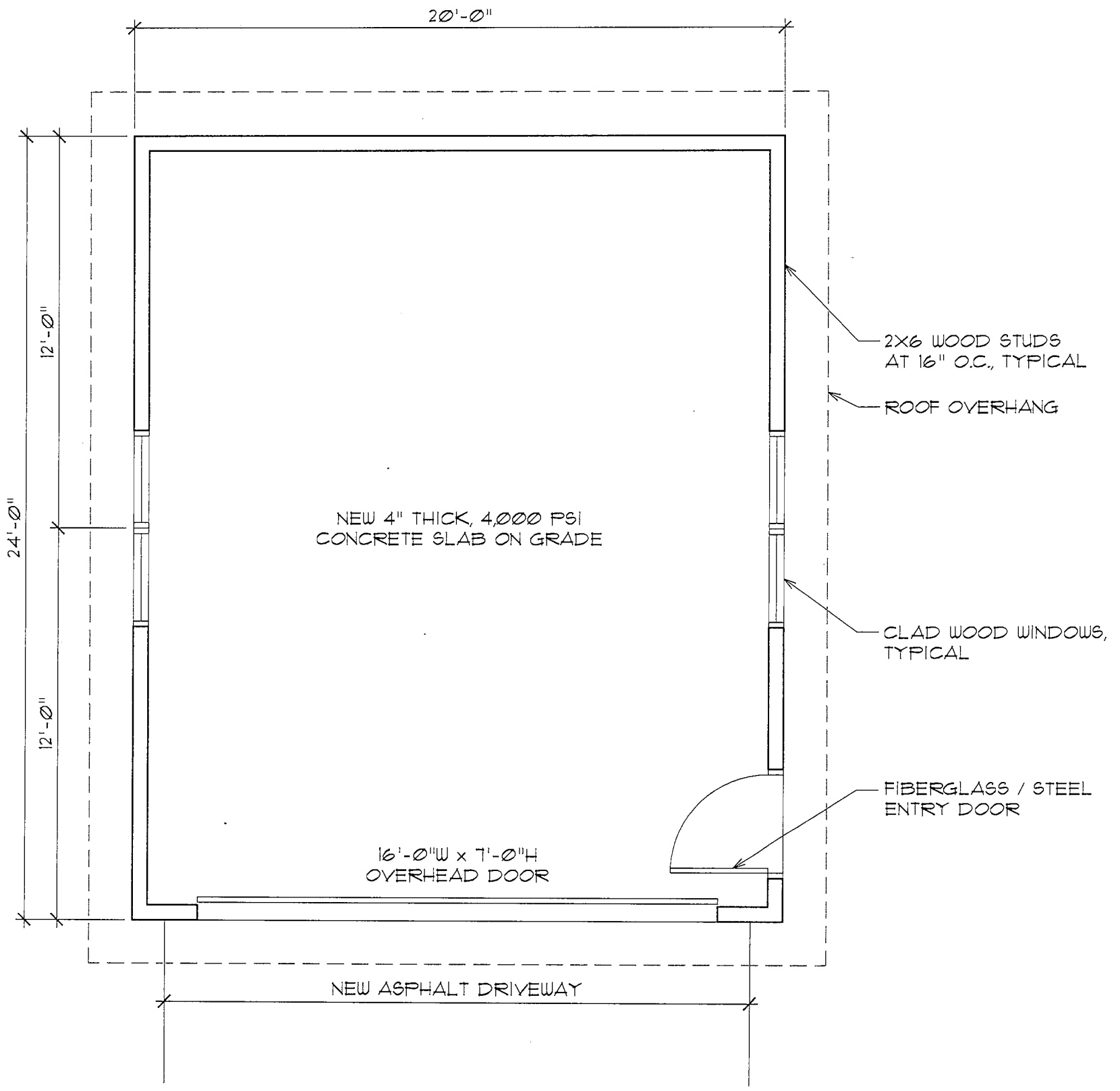
MOSSIEN

ASSOCIATES

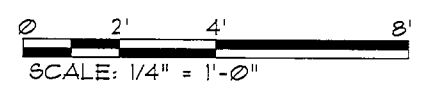
ARCHITECTS, P.C.

285-232-6270  
20 LINCOLN OPEN SQUARE EAST | ROCHESTER, NY 14623  
WWW.MOSSIEN.COM

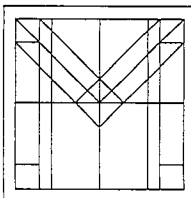




1 PROPOSED FLOOR PLAN  
 SK-1 SCALE: 1/4" = 1'-0"



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**MOSSIEN**  
 ASSOCIATES  
 ARCHITECTS, P.C.

GOLDMAN RESIDENCE  
 NEW GARAGE

---

682 STONE ROAD  
 PITTSFORD, NY 14534

PROJECT NO.:  
 2021-038

DATE:  
 11/16/2021

DRAWN BY:  
 JAB

DRAWING NO.:

**SK**

1

© 2021 DANIEL E. MOSSIEN



682 Stone Road - Goldman Residence  
Existing Barn, House & Garage - 10.12.2021





682 Stone Road - Goldman Residence  
Existing Garage - 10.12.2021





682 Stone Road - Goldman Residence  
Existing House - 10.12.2021



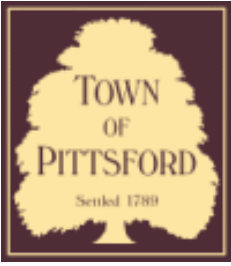












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA21-000011**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 51 Long Meadow Circle PITTSFORD, NY 14534

**Tax ID Number:** 150.16-2-21

**Zoning District:** RN Residential Neighborhood

**Owner:** Montgomery, Christopher

**Applicant:** Montgomery, Christopher

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of solar panels on the garage of a designated historic home. This property is zoned RN -Residential Neighborhood.

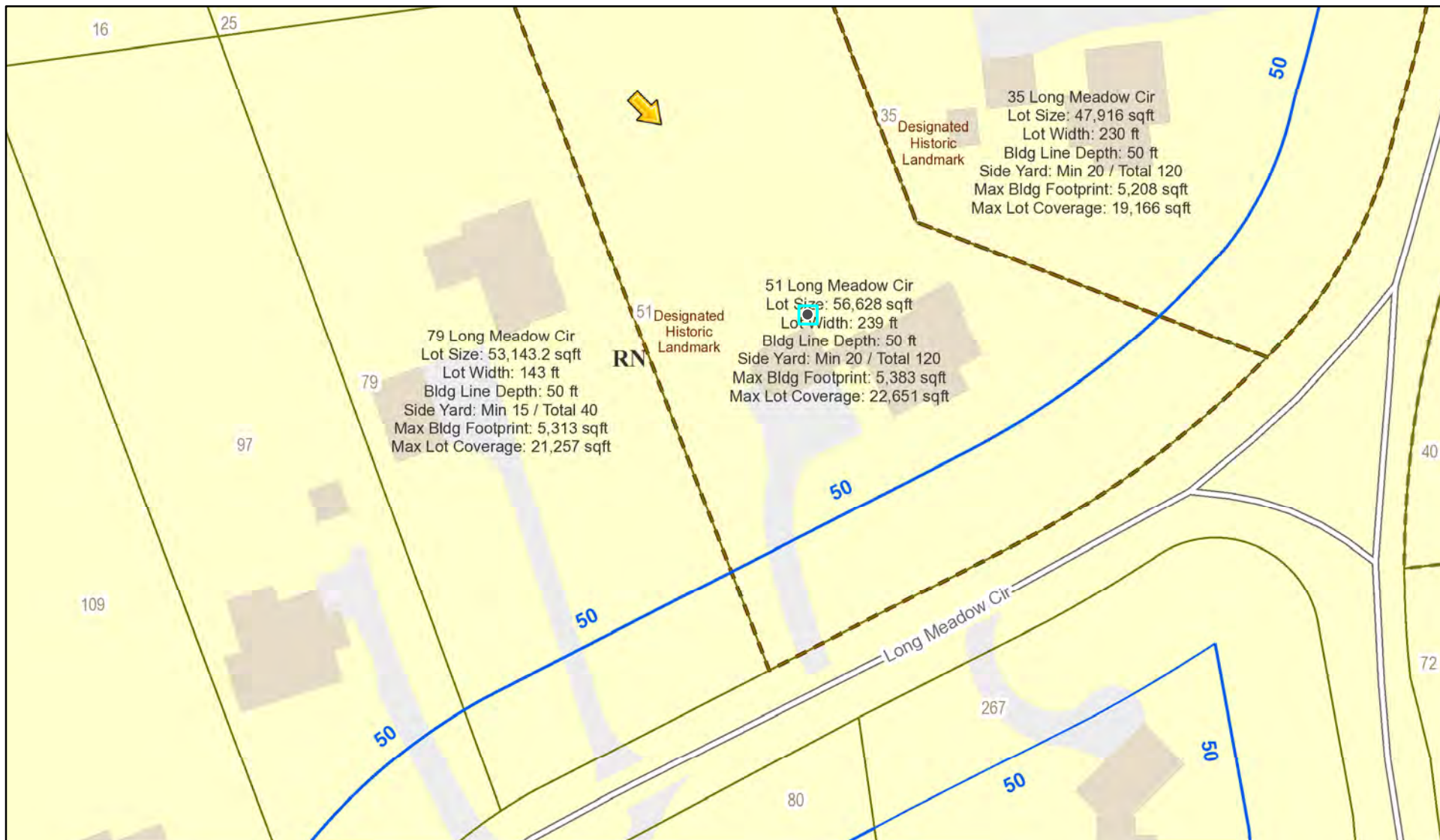
**Meeting Date:** January 13, 2022



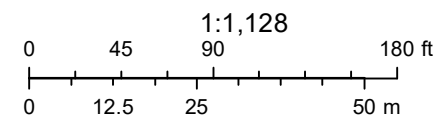




# RN Residential Neighborhood Zoning



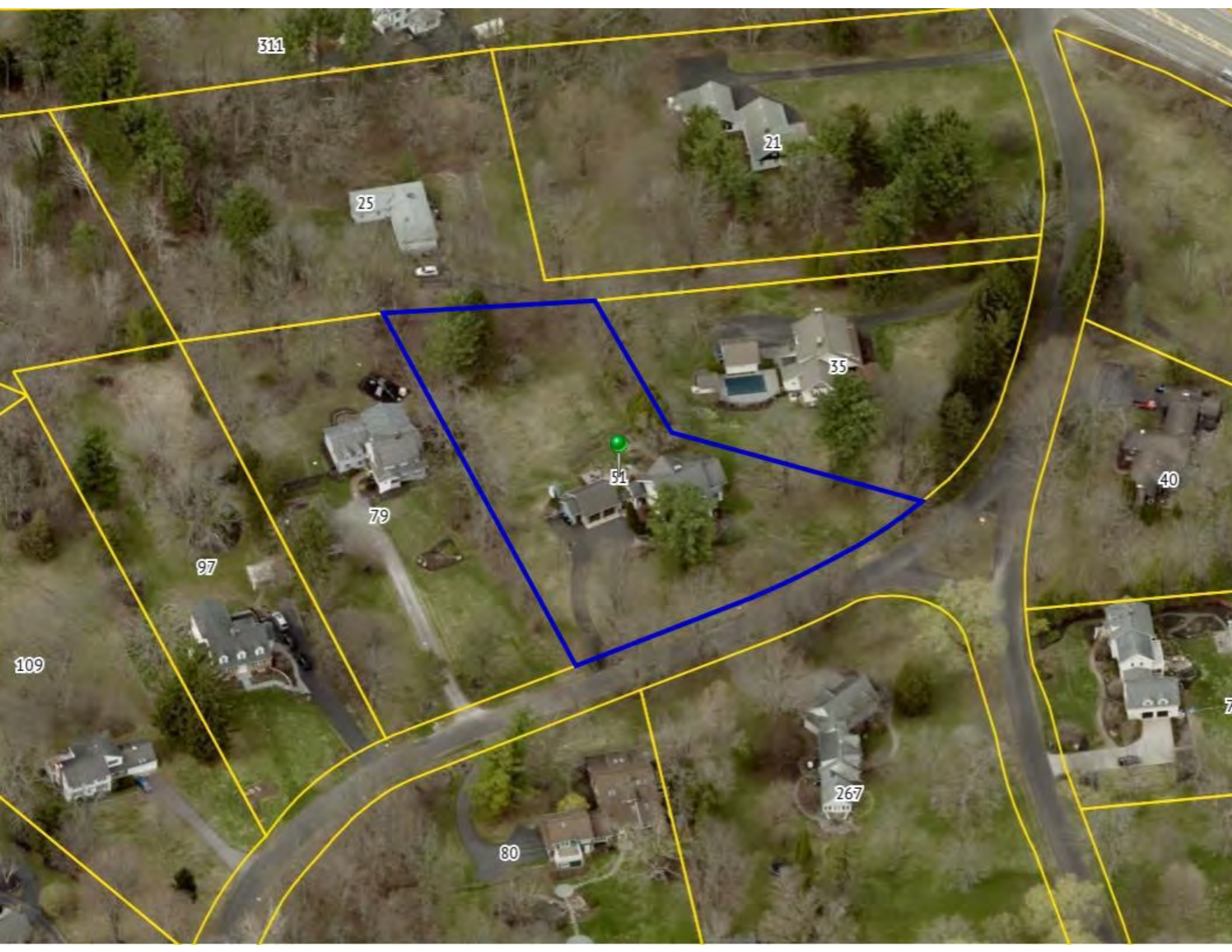
Printed January 3, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





311

25

21

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51

79

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97

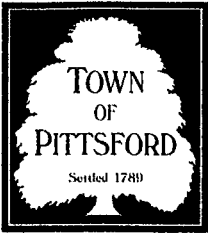
109

80

267

7





# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

**Case #** \_\_\_\_\_

1. Property Address: 51 Long Meadow Circle, Pittsford, NY 14534
  
2. Tax Account Number: \_\_\_\_\_
  
3. Applicant's Name: Christopher & Megan Montgomery  
 Address: 51 Long Meadow Circle Phone: 7167259237  
Street  
Pittsford NY 14534 E-mail: megg620@gmail.com  
City State Zip Code
  
4. Applicant's Interest in Property:  
 Owner:  Lessee:  Holding Purchase Offer:   
 Other (explain): \_\_\_\_\_
  
5. Owner (if other than above): \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
 \_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code
  

Has the Owner been contacted by the Applicant? Yes  No

  
6. Application prepared by: Megan Montgomery  
 Address: 51 Long Meadow Circle Phone: 716 725 9237  
Street  
Pittsford ny 14534 E-mail: megg620@gmail.com  
City State Zip Code
  
7. Project Design Professional (if Available): \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone: 866.807.3639 ext. 101  
Street  
 \_\_\_\_\_ E-mail: ryan@solarliberty.com  
City State Zip Code



8. Project Contractor (if Available): Solar Liberty

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street

\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

9. Present use of Property: Home

10. Zoning District of Property: \_\_\_\_\_

11. Is the property located in a Town Designated Historic District?

Yes  No

12. Is the property listed on the National Registry of Historic Places? UNIK

Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes  No

If Yes, please explain:

The federal residential solar energy credit is a tax credit that can be claimed on federal income taxes for a percentage of the cost of a solar photovoltaic (PV) system.

The system must be placed in service during the tax year and generate electricity for a home located in the United States. There is no bright-line test from the IRS on what constitutes "placed in service," but the IRS has equated it with completed installation.

In December 2020, Congress passed an extension of the ITC, which provides a 26% tax credit for systems installed in 2020-2022.

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Solar panels added to roof of garage (see attached details)



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

Solar panels added to garage roof (see attached details)

- 15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

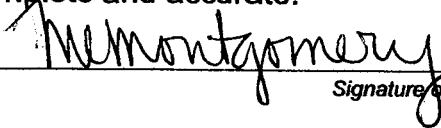
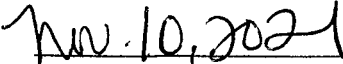
n/a

- 16. Additional materials submitted with this application (if available):

- Parcel map
- Architectural elevations
- Photographs
- Architectural plans
- Other materials

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.


  
 \_\_\_\_\_  
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

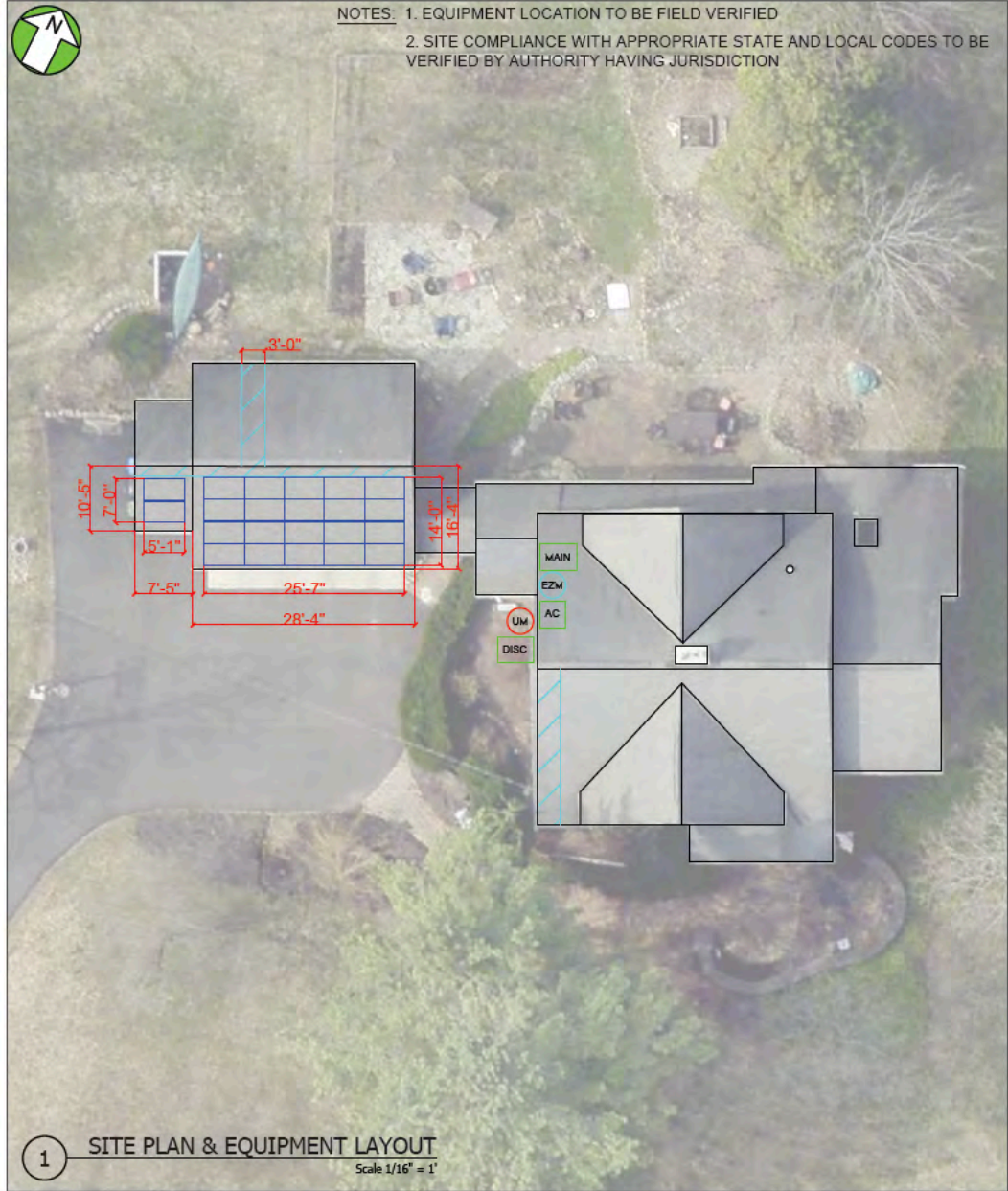
Yes  No

If Yes, owner's signature: \_\_\_\_\_





NOTES: 1. EQUIPMENT LOCATION TO BE FIELD VERIFIED  
 2. SITE COMPLIANCE WITH APPROPRIATE STATE AND LOCAL CODES TO BE VERIFIED BY AUTHORITY HAVING JURISDICTION



1 SITE PLAN & EQUIPMENT LAYOUT  
 Scale 1/16" = 1'

PV SYSTEM SUMMARY

TOTAL STC DC SYSTEM SIZE	7.92 kW
SOLAR MODULE MODEL	SUNPOWER AC
SOLAR MODULE STC DC RATING	360 W
SOLAR MODULE INFO	61.3" x 41.2" x 1.8", 45.5 lbs
SOLAR MODULE COUNT	22
RACKING SYSTEM	SUNPOWER INVISIMOUNT
PITCH OF ARRAY	9:12
INVERTER MODEL	INTEGRATED MICROINVERTERS
ARRAY AZIMUTH	154°
EAVE HEIGHT	9'
INTERCONNECTION VOLTAGE	240V/1Φ
SOLAR ARRAY PERIMETER	123'-4"

LEGEND

- UNSHADED SOLAR MODULE
- SHADED SOLAR MODULE
- MIXED ORIENTATION SOLAR MODULE
- INV INVERTER
- EZM EASY TO READ METER
- AC AC COMBINER BOX
- UM UTILITY METER
- DISC AC DISCONNECT
- MAIN MAIN BREAKER PANEL
- ELECTRICAL TRENCH
- VENTING AND PATHWAYS

2 PV SYSTEM OVERVIEW  
 Scale: N.T.S.



3 AERIAL VIEW  
 Scale: N.T.S.

General Notes

THE INSTALLATION OF PV SYSTEM SHALL BE IN ACCORDANCE WITH THE MOST RECENT NATIONAL ELECTRICAL AND BUILDING CODES AND STANDARDS, AS AMENDED BY JURISDICTION

ELECTRICAL STAMP AREA

THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO SOLAR LIBERTY ENERGY SYSTEMS, INC. PLEASE DO NOT SHARE THIS WITH ANYONE UNLESS THERE IS A WRITTEN APPROVAL FROM SOLAR LIBERTY.

No.	Original Title	Date
0	Original Site Plan	10/26/21
	Revision/Issue	Date

**SOLARLIBERTY**  
 THE FUTURE OF GREEN TECHNOLOGIES

6500 Sheridan Drive  
 Suite 120  
 Buffalo, NY 14221  
 866-80-RENEW

**NABCEP**  
**CERTIFIED**  
 PV Installation Professional

Project Name and Address  
 Montgomery Residence  
 51 Long Meadow Circle  
 Pittsford NY 14534

Drawn By CR	Checked By
Date 10/27/2021	Date
Scale AS NOTED	Sheet PV-S1













35







