

**Design Review & Historic Preservation Board  
Agenda  
November 11, 2021**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **101 Coventry Ridge**  
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5418 square feet and located in the Coventry Ridge Subdivision.
- **49 & 51 Skylight Trail**  
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 27 (51 Skylight Trail) will be approximately 2000 sq. ft. and Lot 28 (49 Skylight Trail) will be 1987 sq. ft. The town homes will be located in the new Alpine Ridge development.
- **49 Van Voorhis Road**  
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 2874 square feet.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

- **3419 Clover Street**  
The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN -Residential Neighborhood.
- **3001 Monroe Avenue**  
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the expansion of an outdoor patio. This property is zoned MATZ – Monroe Avenue Transitional Zone and is designated historic.

**Design Review and Historic Preservation Board**  
**Minutes**  
**October 28, 2021**

**PRESENT**

Kathleen Cristman, Bonnie Salem, Leticia Fornataro, Dave Wigg, Paul Whitbeck

**ALSO PRESENT**

Kevin Beckford, Town Board Liaison; Robert Koegel, Town Attorney; Allen Reitz, Building Inspector, Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; John Mitchell

David Wigg, Vice Chairman, opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem reported that the historic marker for the East Street Burying Ground has been delayed in delivery about three weeks. Depending on the weather, the installation could possibly be delayed until Spring.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **4044A East Avenue**

The Applicant is requesting design review for the construction of approximately an 830 SF addition off two sides of the existing carriage house.

Justin Hamilton was present to discuss the application with the Board.

Leticia Fornataro disclosed that she knows Mr. Hamilton professionally but it would not influence her vote and he had no objection.

The renovation includes two additions on the carriage house. The rooflines will mimic the existing. Board and batten will be used to match the style existing on the home. Original windows taken from the home will be reused on the addition.

David Wigg moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **26 Merryhill Lane**

The Applicant is requesting design review for the construction of approximately a 672 SF garage addition off the existing garage.

The homeowner, Danny Danielle, was present to discuss the application with the Board.

A two car addition will be set back from the existing garage 16". The doors will match the existing as well as the shingles and siding.

Kathleen Cristman moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **80 N. Country Club Drive**

The Applicant is requesting design review for the construction of a garage addition off the existing garage.

The homeowner, Dan Clifford, was present.

The home will be resided and reroofed. Color tone will be soft grey. Lap siding, shakes and stone veneer at lower window sill height is proposed. A variance for this addition was approved by the Zoning Board of Appeals on October 18, 2021.

The Board collectively commented that the new addition should be stepped back from the front façade. They felt they need more information on the drawings regarding materials including the garage door.

Lindsay Fox of Tiverbuilt indicated that an additional projection of the front door is also proposed to enhance the character of the front elevation; however, this is not depicted on the drawings. The Board indicated they will additionally require more information on the materials and design of this projection.

This hearing was held open pending additional information.

- **18 Butternut Drive**

The Applicant is requesting design review for the construction of a covered entryway off the front of the house.

The homeowner, George Fleischer, was present.

Mr. Fleischer reviewed his plans for a cover off his front stoop. The roof shingles will match the existing. The roofline will be lower than depicted in the rendering. The trim will be white to match the house. The existing stoop will be 8' x 12' and the covered overhang will be 10' x 12'. The Board had questions regarding the gutters, roofline and finishing of the posts and interior roofing.

David Wigg moved to accept the application with the following conditions:

1. The interior roof structure will be open.
2. Footings with footings will be installed in front of the existing stoop.
3. The interior gable will be painted white.
4. Roof shingles will match the existing.
5. All construction materials will be white.
6. The columns will be a minimum of 6" x 6" and painted white.
7. The overhead line of the addition will line up below the existing roof ridge height.

Bonnie Salem seconded.

All Ayes.

- **103 Knickerbocker Road**

The Applicant is requesting design review for the construction of approximately a 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18/21 meeting.

No representative was present to discuss this application with the Board.

The Board did not feel they had enough information about the design and materials to make a decision on this application.

This application was held open.

- **8 Chatham Woods**

The Applicant is requesting design review for the construction of approximately a 938 SF addition off the back of the house to include a sunroom and mudroom.

Megan Bryan, representative for the homeowner, was present.

She reviewed the updated drawings with the Board.

The siding will match the existing and sunroom windows trimmed to match.

Metal roofing was recommended for the low pitch roof.

Leticia Fornataro moved to accept the application as submitted with the recommendation of metal roofing on the sunroom.

Kathleen Cristman seconded.

All Ayes.

- **115 Ellingwood Drive**

The Applicant is requesting design review for the construction of a new detached garage with the roof being extended for a covered seating area. This application received Zoning Board of Appeals approval on October 18, 2021.

The homeowner, Eric Howe, was present.

The project is to demolish an existing garage that has fallen into disrepair. A new building will be constructed within the same footprint with an 8 ft. bump out and overhang to create a porch. A double door in be installed in the rear. The porch will feature an open gable, window and man door. The siding will match the existing house. The windows and doors will match the existing home as close as possible.

David Wigg moved to approve the application as submitted.

Paul Whitbeck seconded.

All Ayes.

## **REVIEW OF MINUTES OF OCTOBER 14, 2021 MEETING**

David Wigg moved to accept the minutes of October 14, 2021 as written.

Kathleen Cristman seconded.

All Ayes.

## **ADJOURNMENT**

Vice Chair David Wigg moved to close the meeting at 8:00 pm.

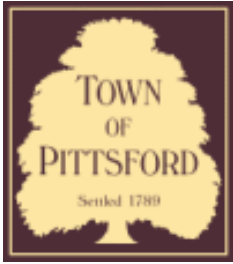
All Ayes.



Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000223**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 101 Coventry Ridge PITTSFORD, NY 14534

**Tax ID Number:** 177.04-3-54

**Zoning District:** IZ Incentive Zoning

**Owner:** Clover St. Development Corp.

**Applicant:** Spall Homes

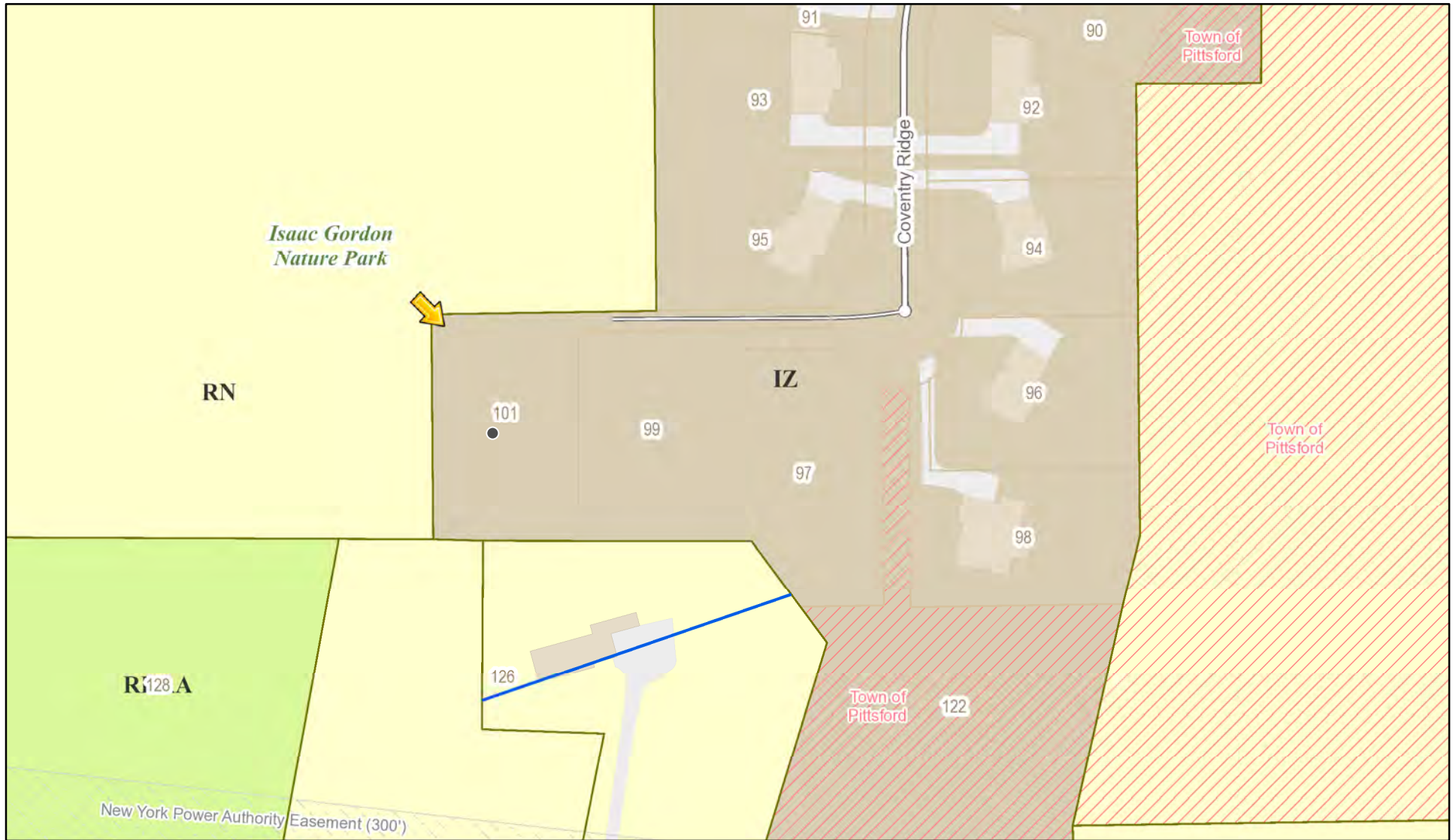
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

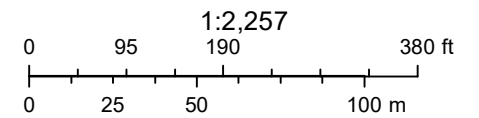
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5418 square feet and located in the Coventry Ridge Subdivision.

**Meeting Date:** November 11, 2021

# RN Residential Neighborhood Zoning



Printed November 3, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.









# GANTZ RESIDENCE

## LOT 71 COVENTRY RIDGE

### PITTSFORD, NY

#### COVENTRY RIDGE BUILDING CORP

# PLAN 5418 / PROJECT 15452

### SHEET INDEX

- C-1 COVER SHEET
- 1/8 ELEVATIONS
- 2/8 ELEVATIONS
- 3/8 FOUNDATION PLAN
- 4/8 FIRST FLOOR PLAN
- 5/8 SECOND FLOOR PLAN
- 6/8 SECTIONS
- 7/8 SECTIONS
- 8/8 ROOF PLAN
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNSY ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE ), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE PUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORTCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN QUITCHES. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDE WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

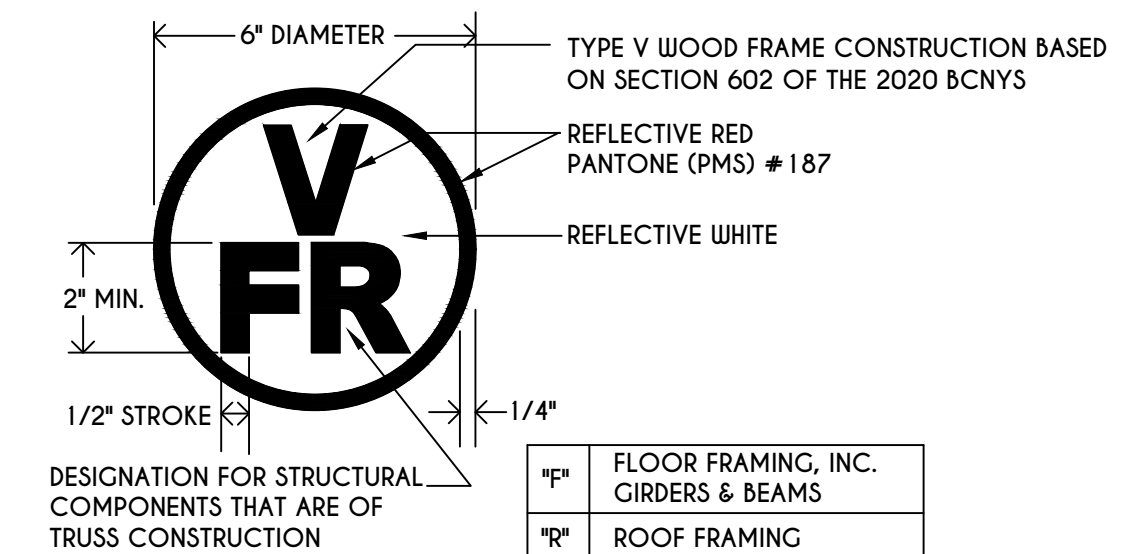
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy = 33 KSI

### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

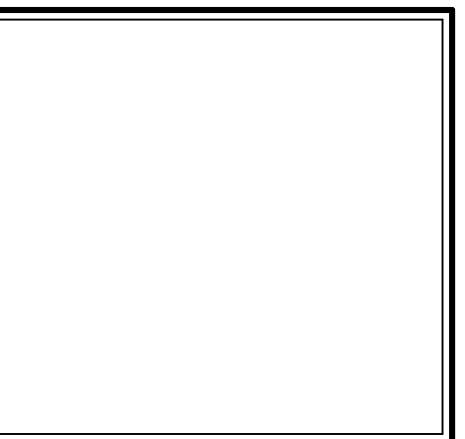
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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DATE	BY	DESCRIPTION

CLIENT/LOCATION:
DR. & MRS. GANTZ RESIDENCE LOT 71 COVENTRY RIDGE PITTSFORD, NY

BUILDER:
COVENTRY RIDGE BUILDING CORP.

COVER PAGE
GLA PLAN 5418

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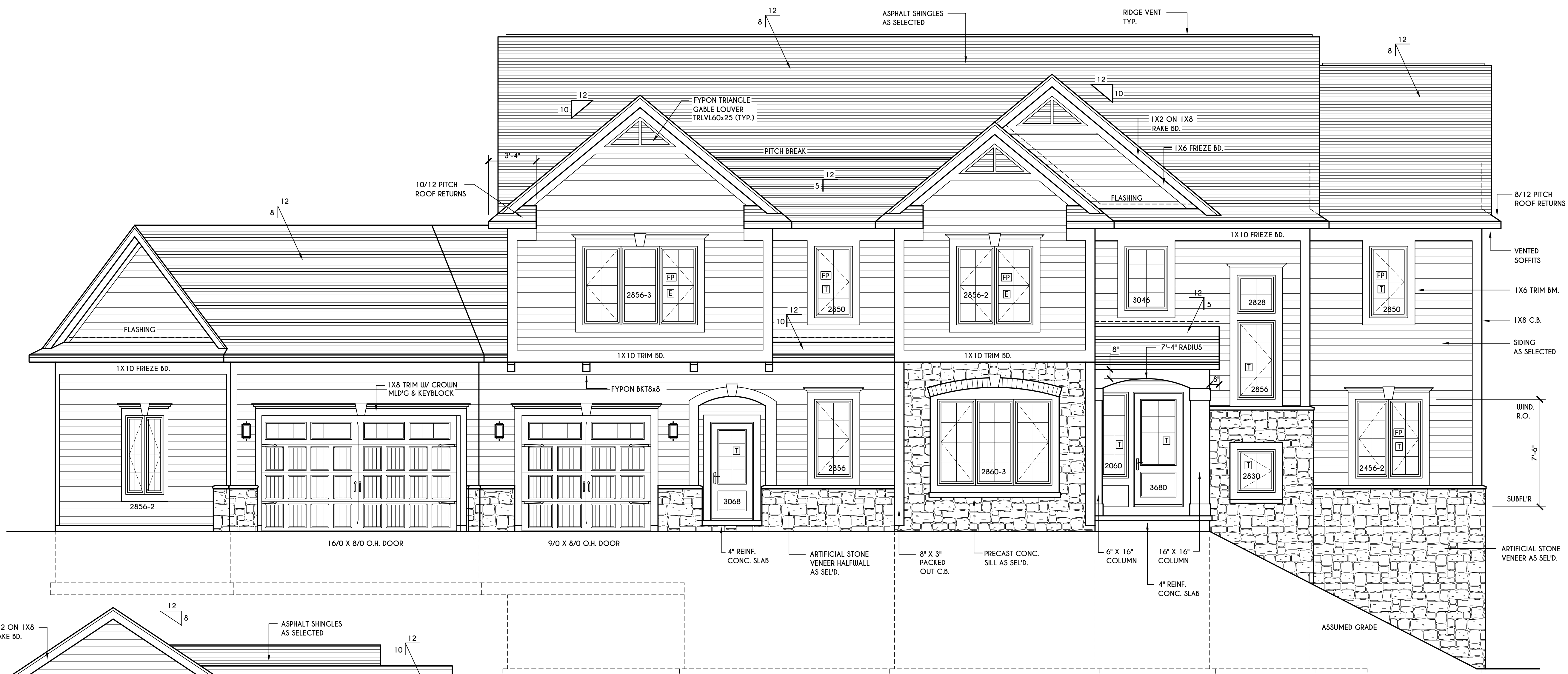
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 DR. & MRS. GANTZ RESIDENCE  
 LOT 71 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**  
 GLA PLAN 5418

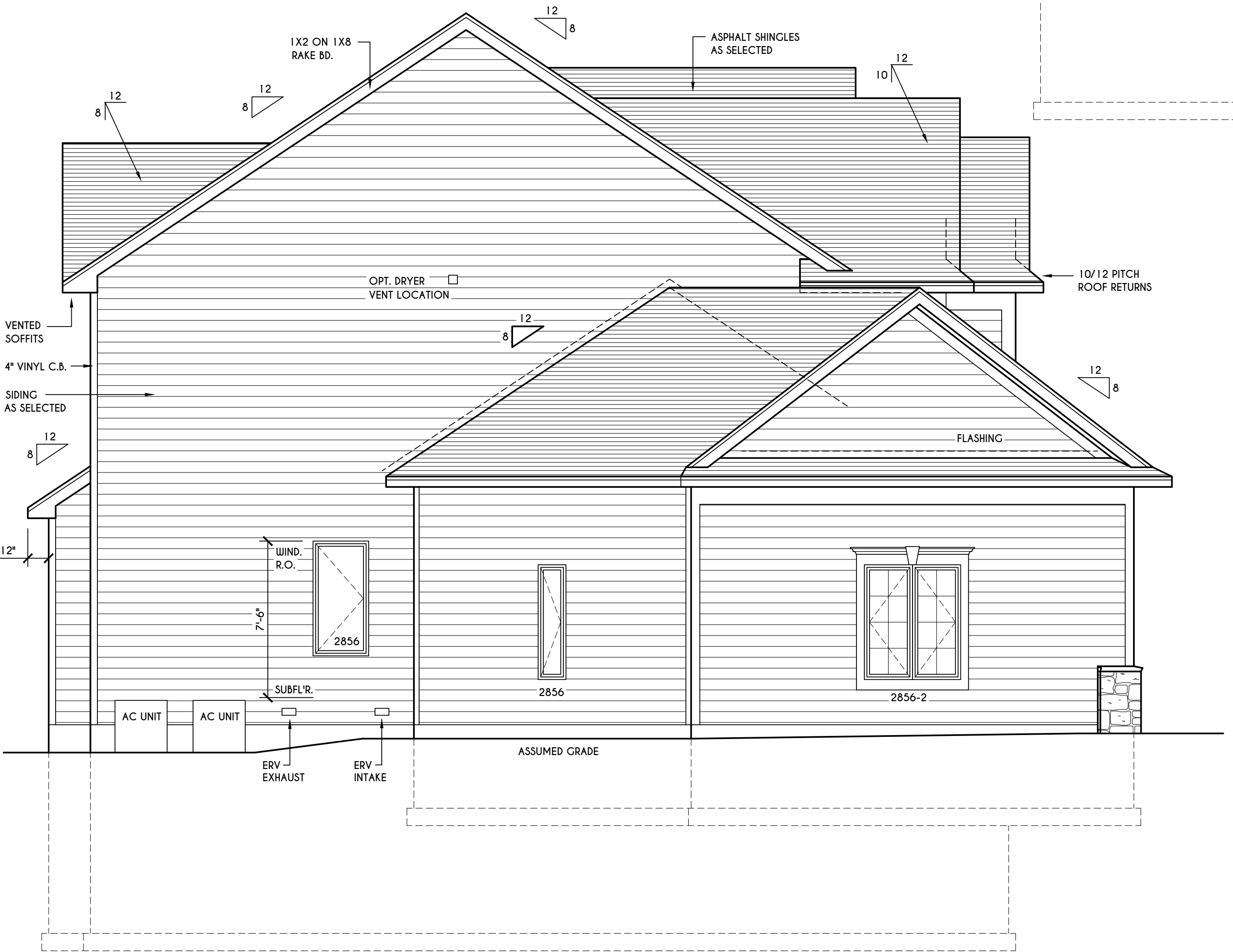
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### FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 2213 SQ.FT.  
 SECOND FLOOR LIVING AREA = 2159 SQ.FT.  
 TERRACE LEVEL LIVING AREA = 1046 SQ.FT.  
 TOTAL LIVING AREA = 5418 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 67,656 CU.FT.

STEP FOOTER AS REQ'D BY GRADE TO REST ON UNDISTURBED SOIL - SEE STEPPED FT'G NOTE PG. 3



### LEFT ELEVATION

SCALE: 1/4" = 1'-0"

**WINDOWS:** VIVID SOLARBAN CLASS 111/ ARGON  
 U-FACTOR ..... 0.28  
 SHGC ..... 0.31

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES ARE 8" & OVERHANGS ARE TO BE 16" UNLESS NOTED OTHERWISE  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 105 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR Sf: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M1505.4.3 (2)

INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

TABLE M1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR Sf: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.





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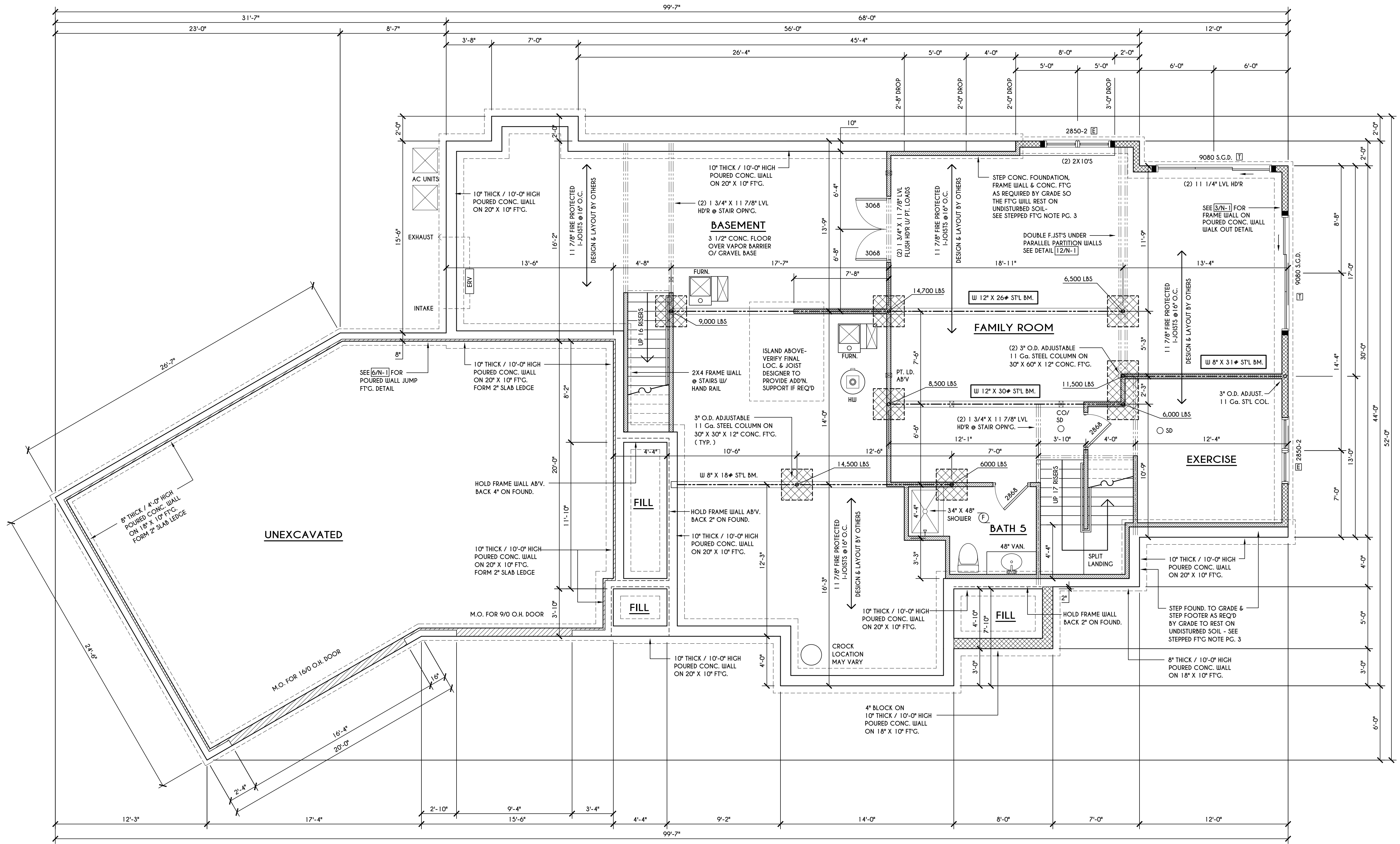
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 DR. & MRS. GANTZ RESIDENCE  
 LOT 71 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FOUNDATION PLAN**

GLA PLAN 5418

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**TERRACE LEVEL & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0" 1046 SQ.FT. FINISHED AREA

**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 35 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS  
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

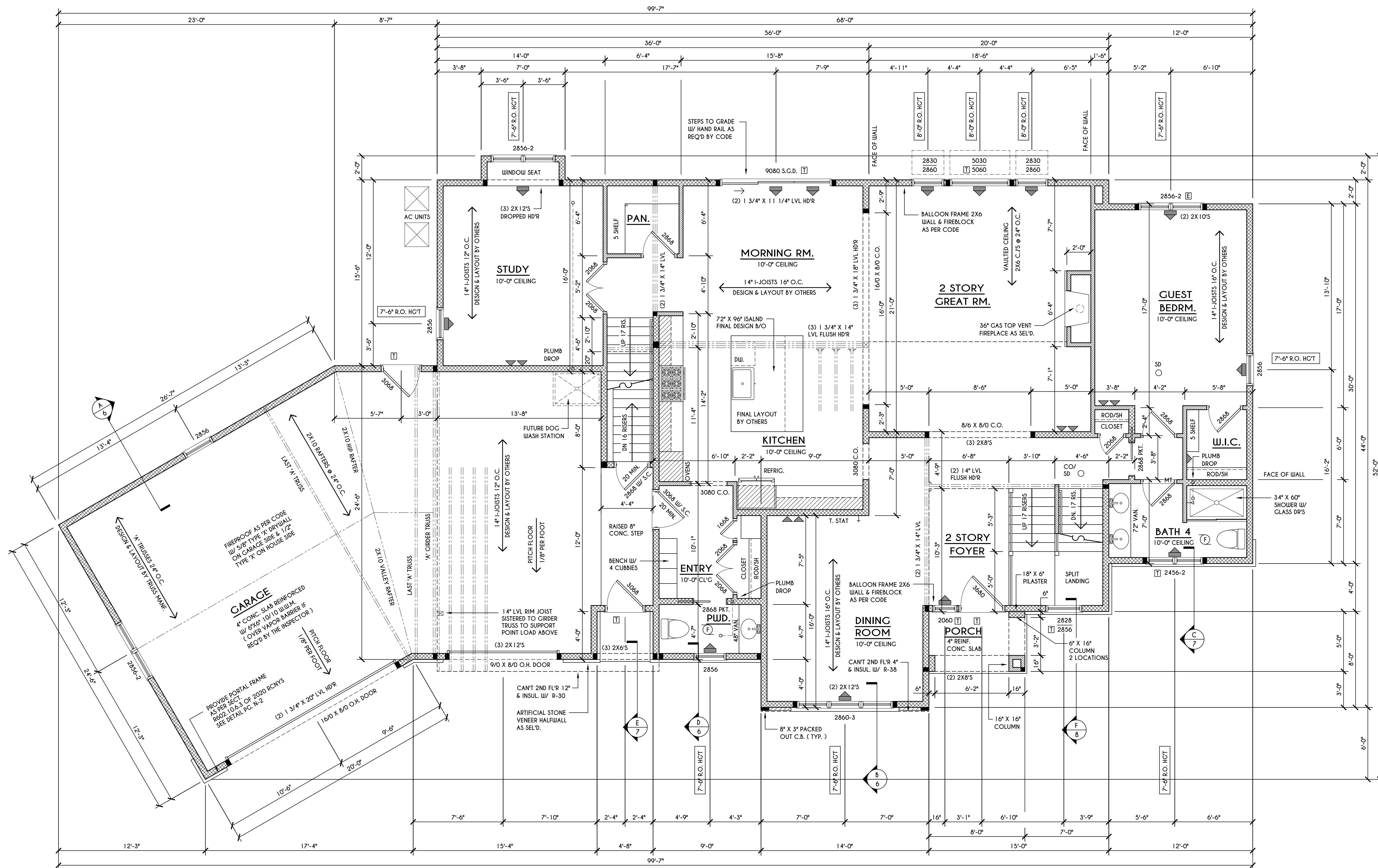
**GENERAL FOUNDATION / BASEMENT NOTES:**

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 9.15.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS





# FIRST FLOOR PLAN

2213 SQ. FT.

SCALE: 1/4" = 1'-0"

### ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

### FRAMING LEGEND:

- PROVIDE SOLID POSTING - GLUED & NAIL, EQUAL TO THE # OF HEADERS TO BE SUPPORTED - UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

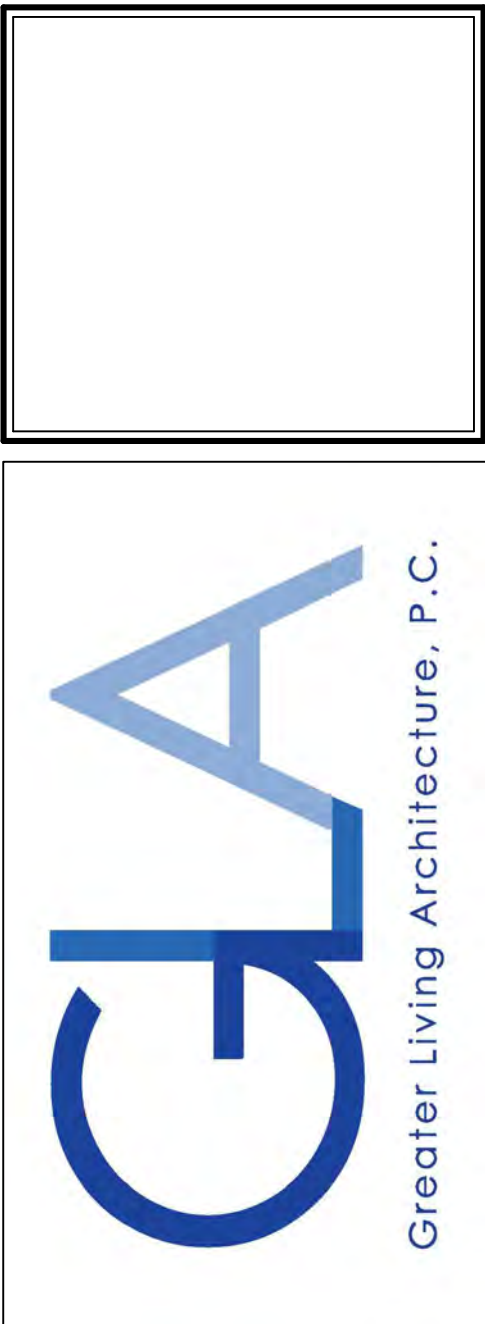
### GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HGT TO BE 10'-1 1/8" (UNLESS NOTED OTHERWISE)  
 ALL WINDOW R.O. HCTS TO BE 7'-6" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

### WINDOW / DOOR LEGEND:

- E** = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ. FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  - PER SECT. R310.2.1 OF 2020 RCNYS
- T** = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP** = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE BUILDING CORP.

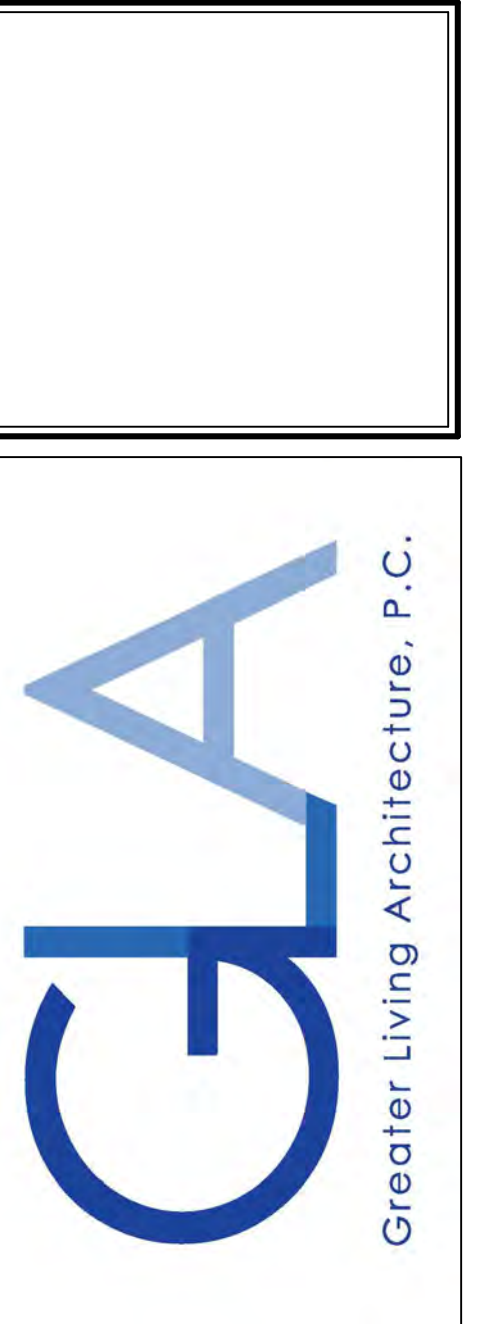
### FIRST FLOOR PLAN

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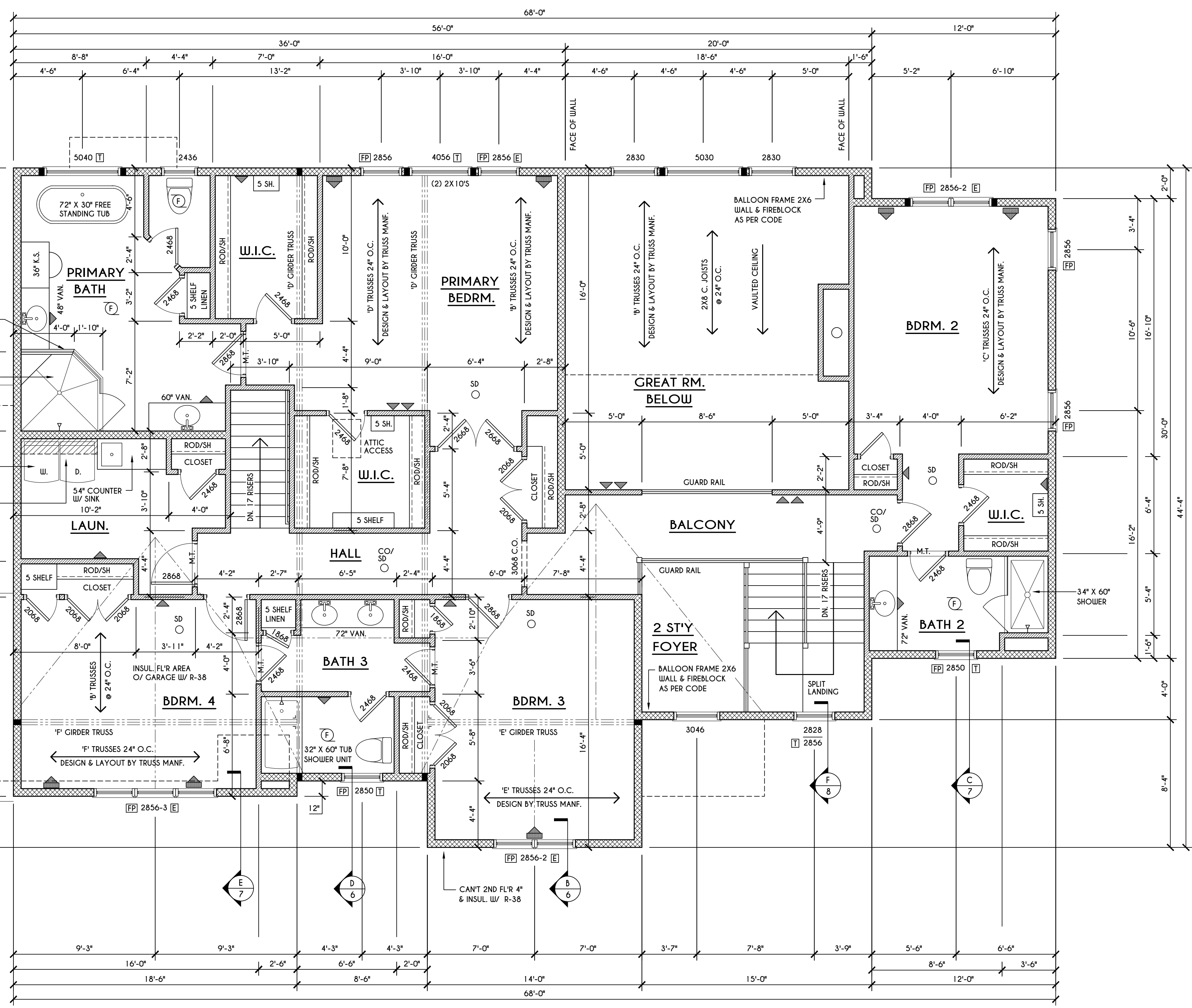
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**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 5418

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**TRUSS NOTE:**  
 TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD

**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" 2159 SQ.FT.

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**GENERAL SECOND FLOOR PLAN NOTES:**

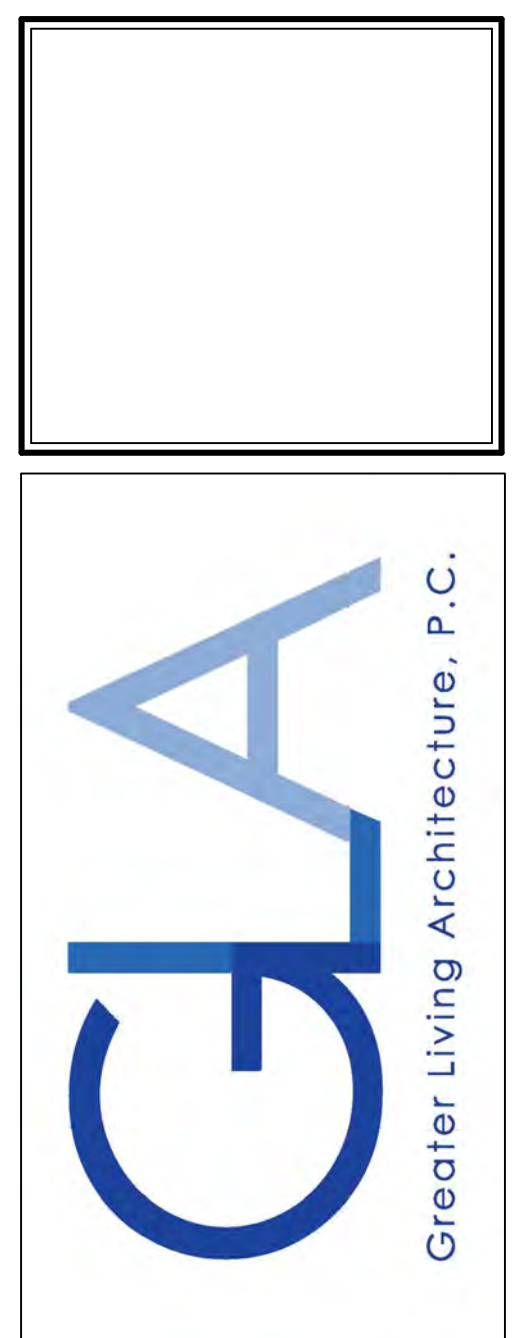
SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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 ROCHESTER, NY 14623  
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 FAX: (585) 292-1262  
 www.greatliving.com

**REVISIONS:**

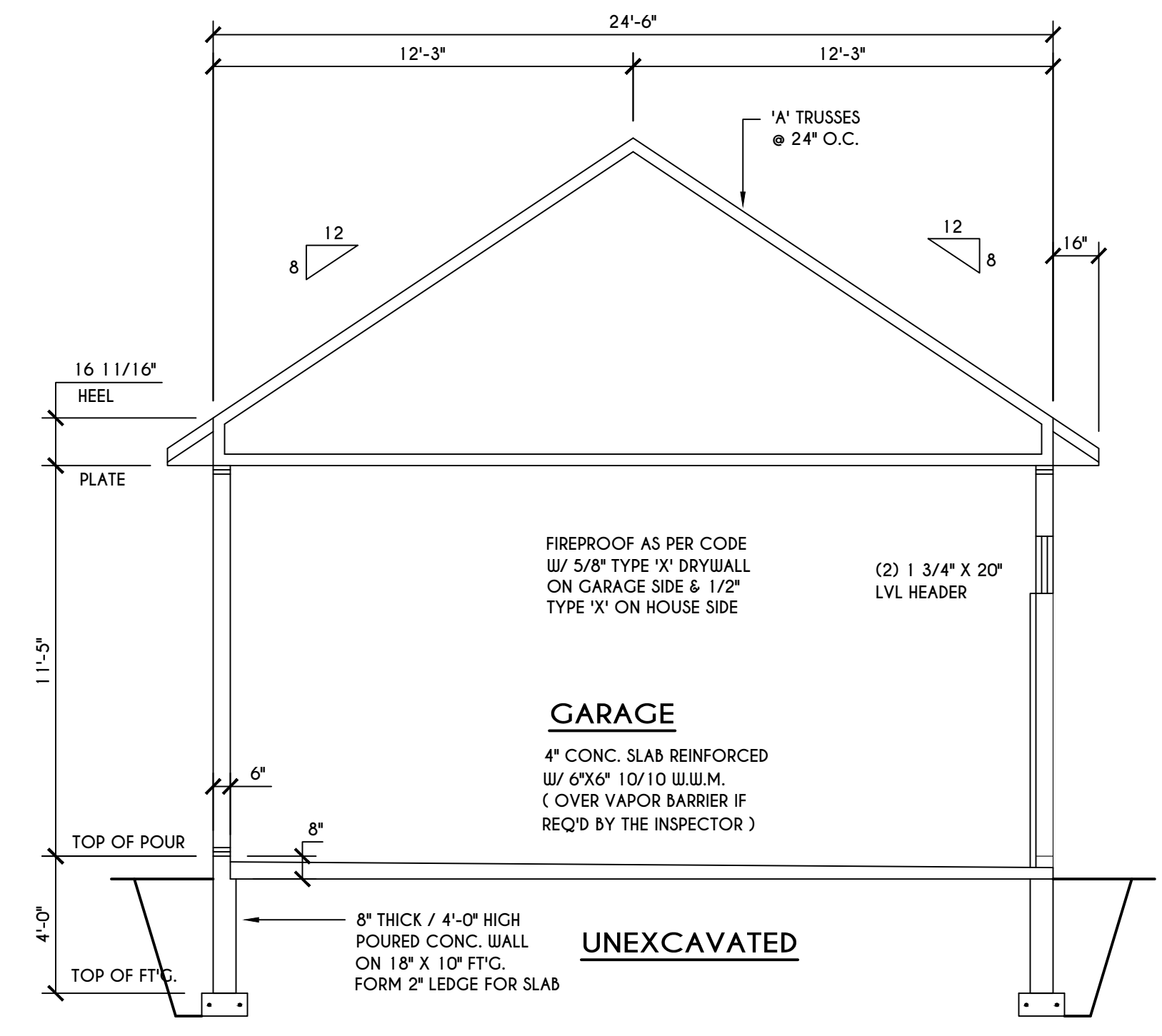
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 DR. & MRS. GANTZ RESIDENCE  
 LOT 71 COVENTRY RIDGE  
 PITTSFORD, NY

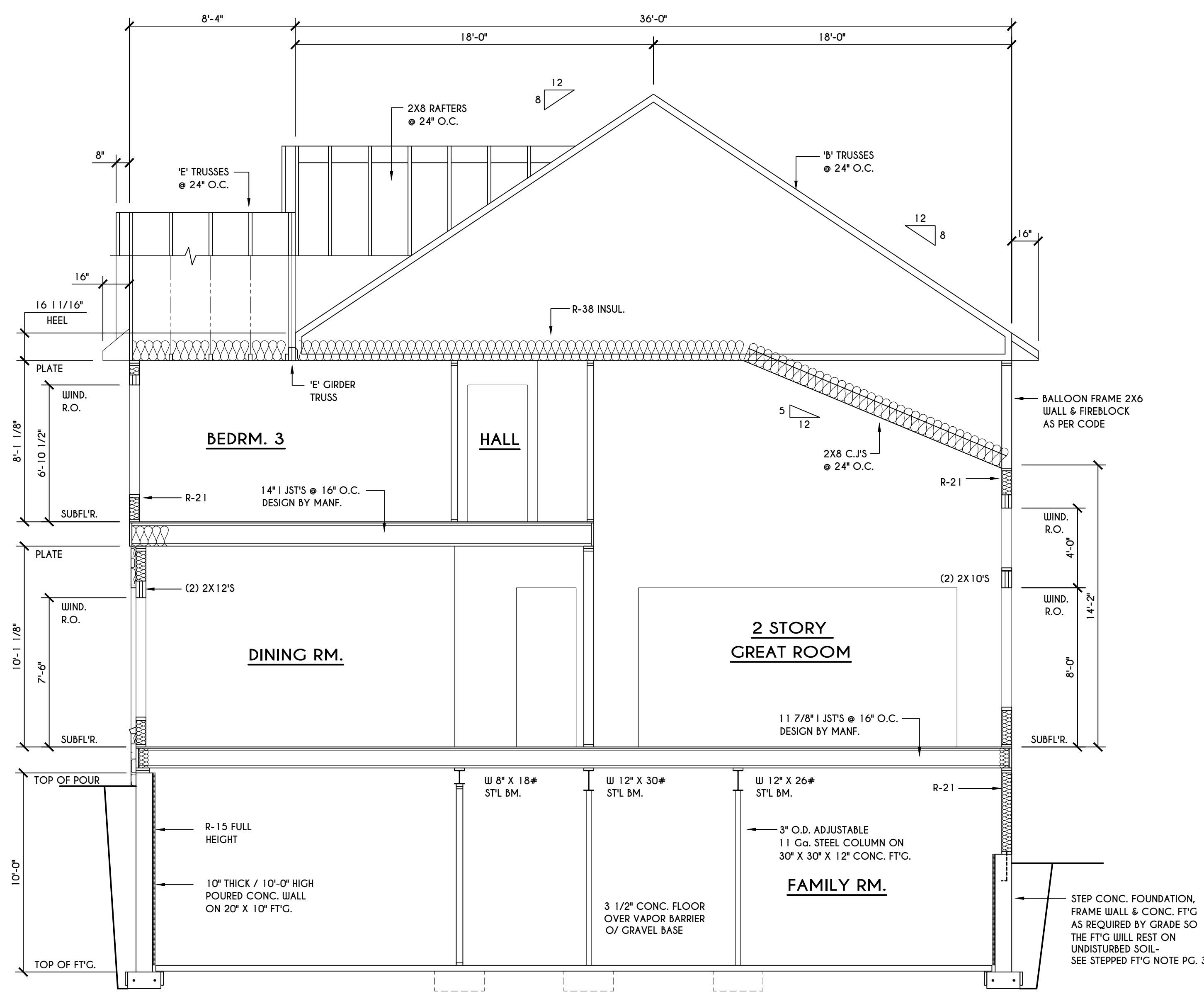
**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECTIONS**  
 GLA PLAN 5418

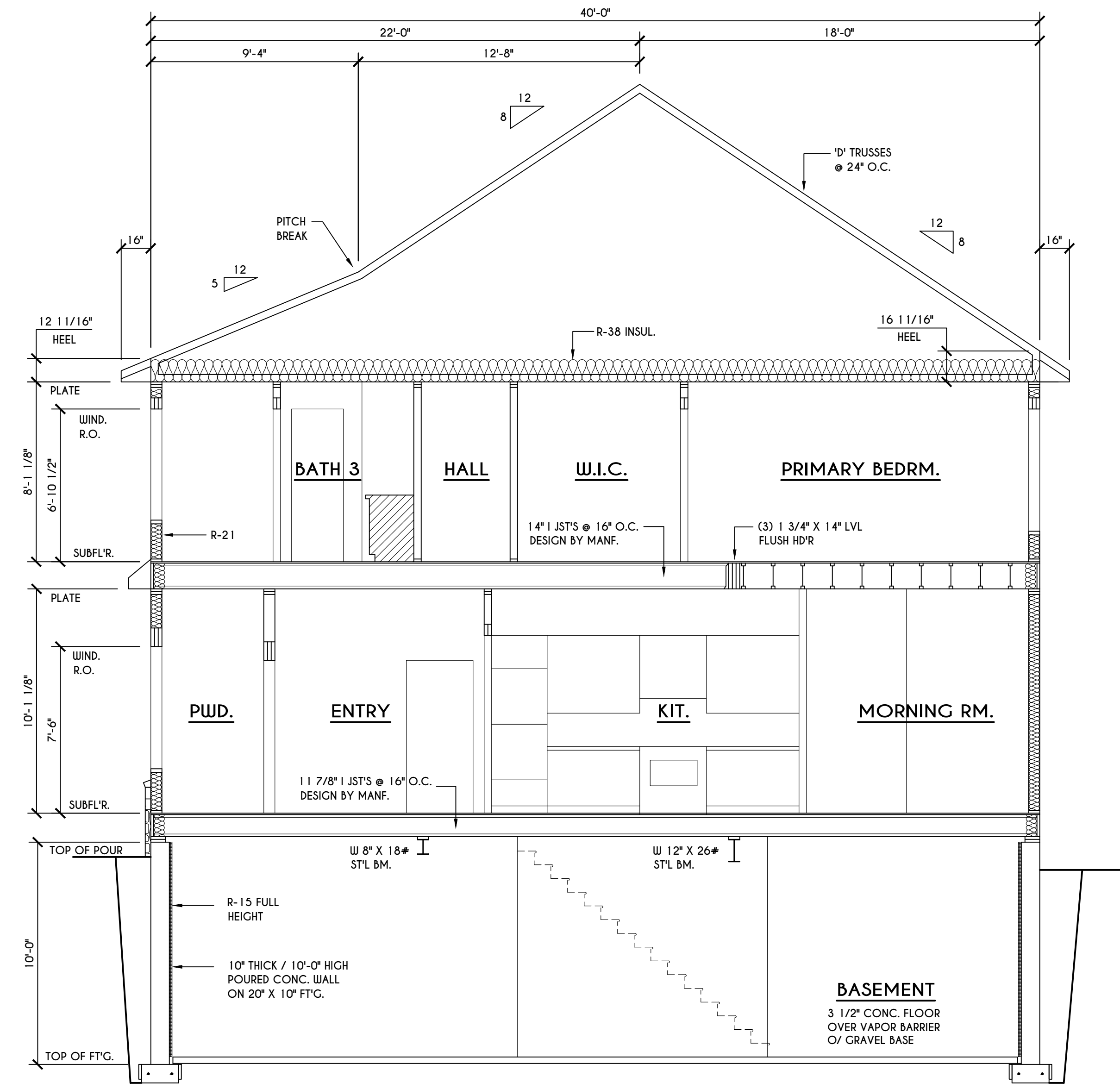
drawn: CDK	checked: AMM
scale: AS NOTED	date: 11 / 21
PROJECT: 15452	sheet: 6 / 8



**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



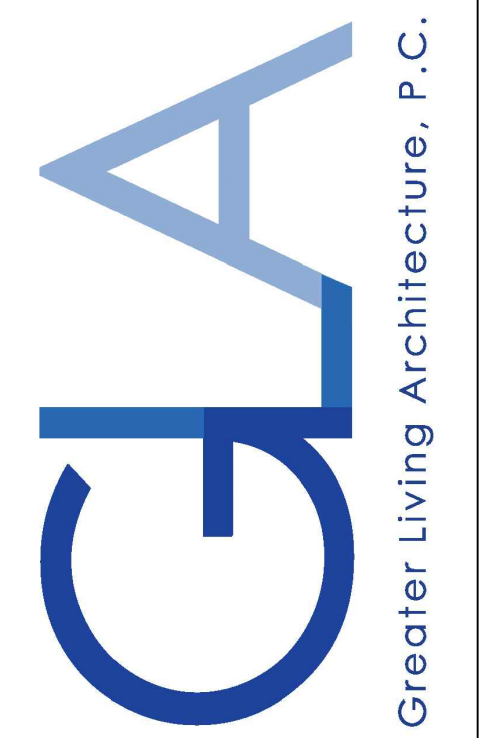
**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**D BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



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 CALL: (585) 272-9170  
 FAX: (585) 292-1262  
 www.greaterliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 DR. & MRS. GANTZ RESIDENCE  
 LOT 71 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

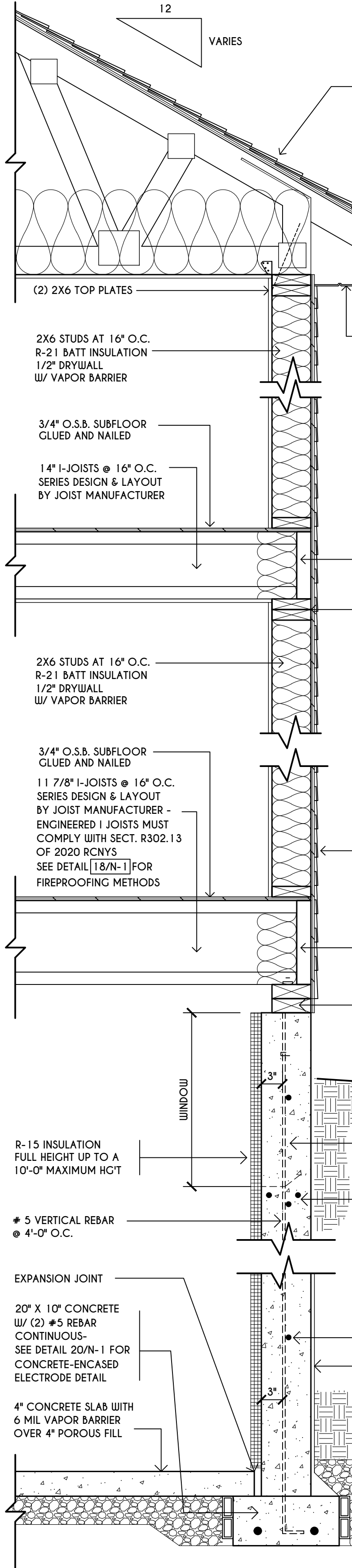
**SECTIONS**

GLA PLAN 5418

drawn: CDK	checked: AMM
scale: AS NOTED	date: 11 / 21
PROJECT:	sheet: <b>7</b>
15452	<b>8</b>

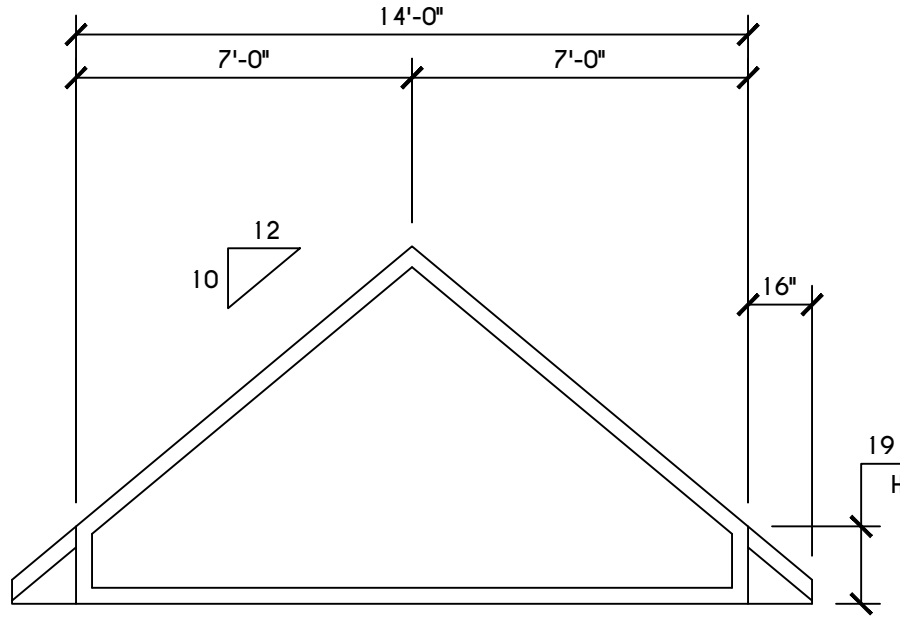
**TRUSS EAVE CONSTRUCTION**

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS  
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWC 15600 TRUSS SCREW OR EQUAL  
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING  
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE  
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC  
 R-38 CEILING INSULATION

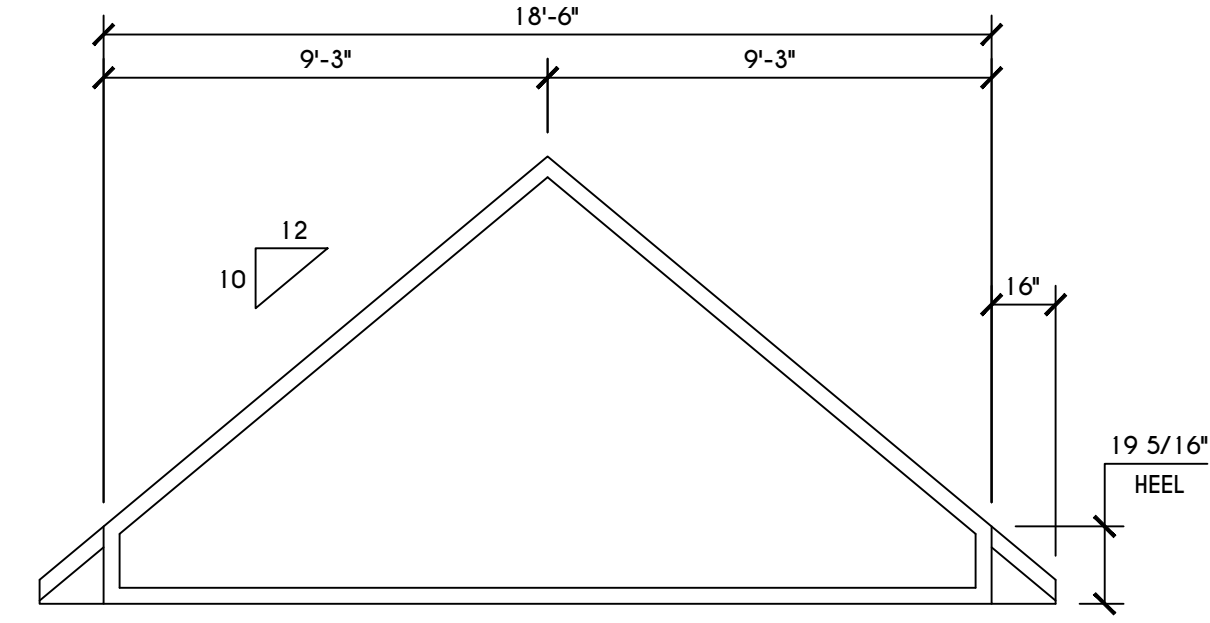


**FIRST FLOOR**

**BASEMENT / FOUNDATION**

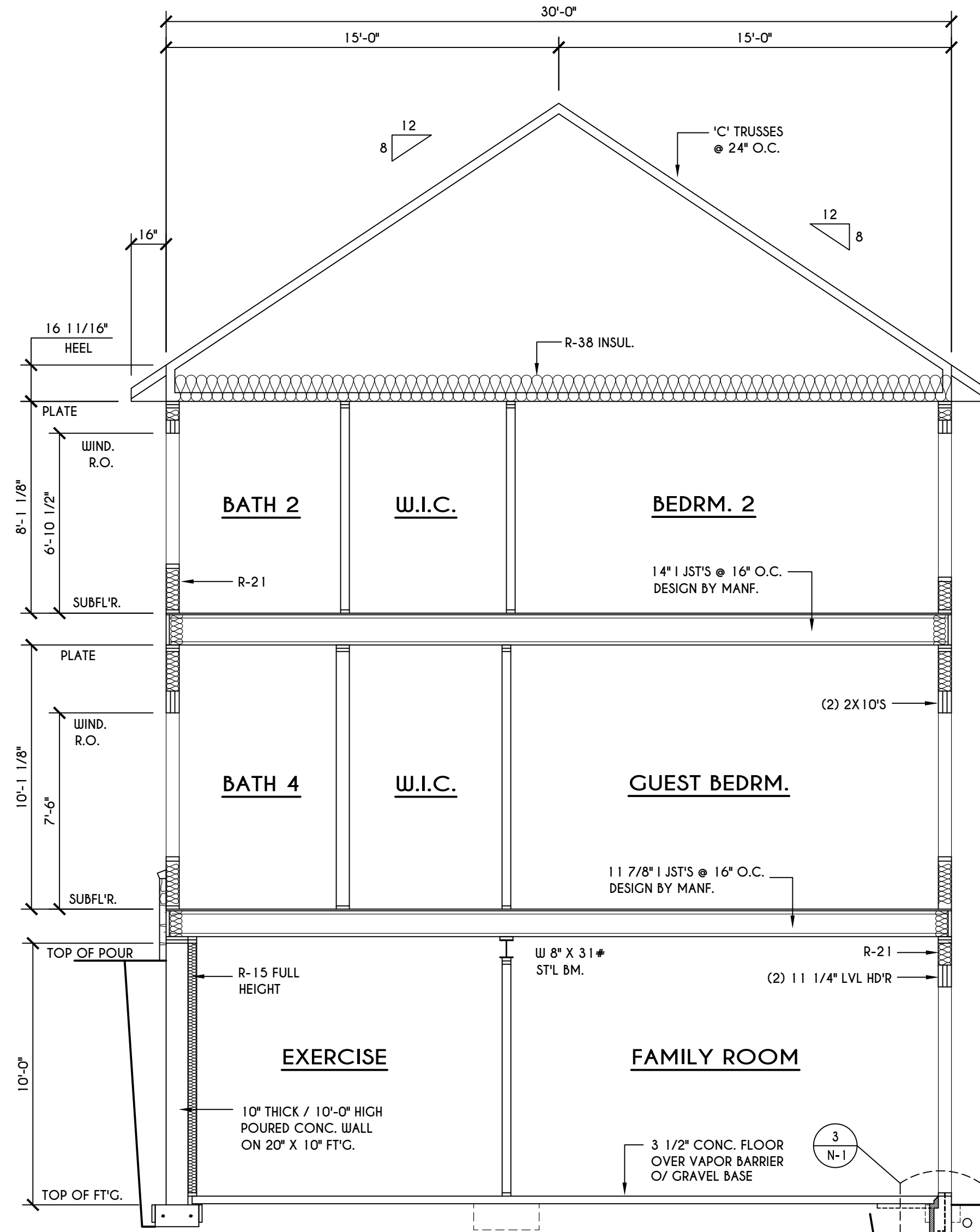


**'E' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

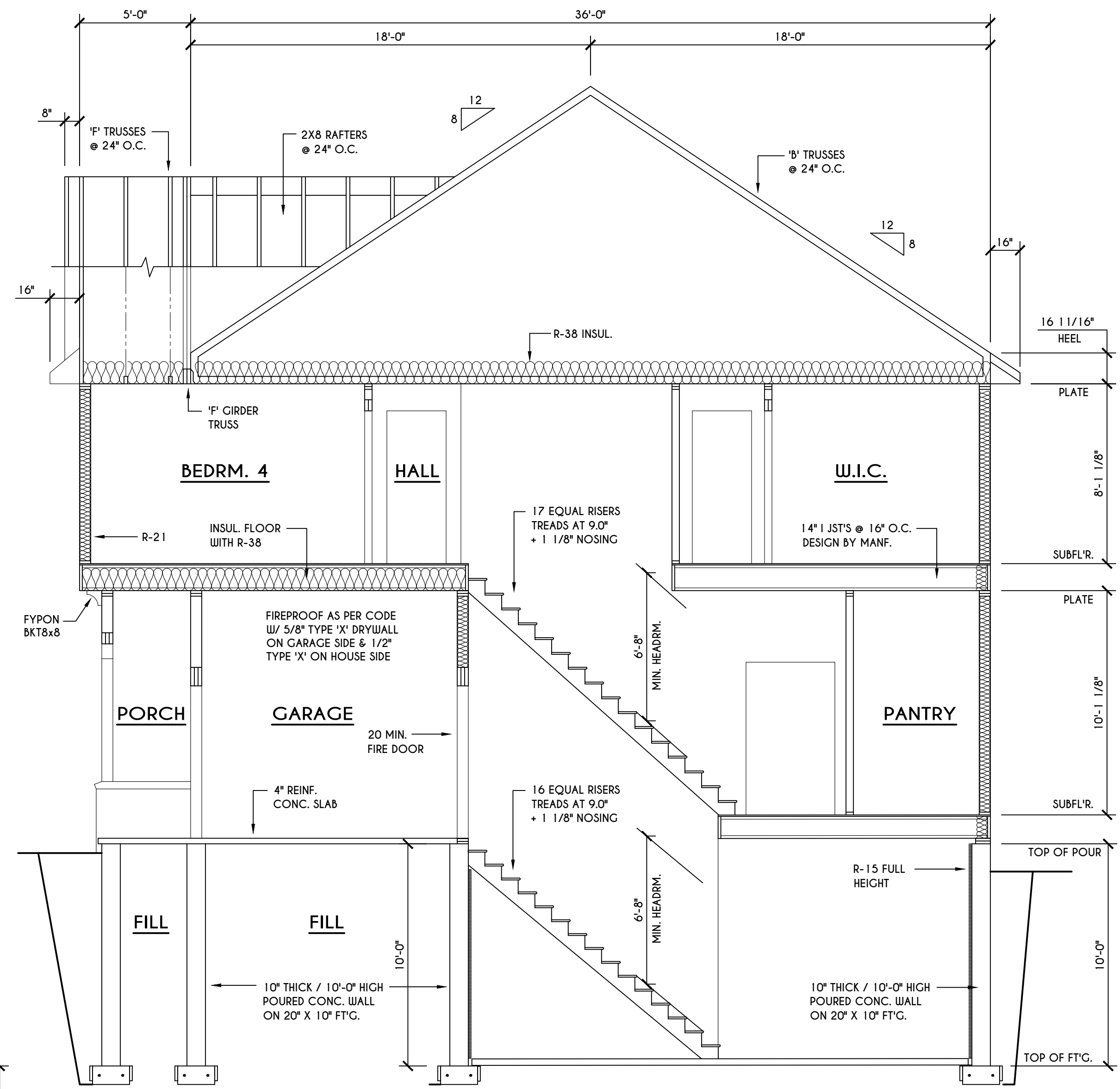


**'F' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

**TRUSS NOTES:**  
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD  
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



**C BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**E BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"

**TYPICAL WALL SECTION**  
 SCALE: 1" = 1'-0"

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**REVISIONS:**

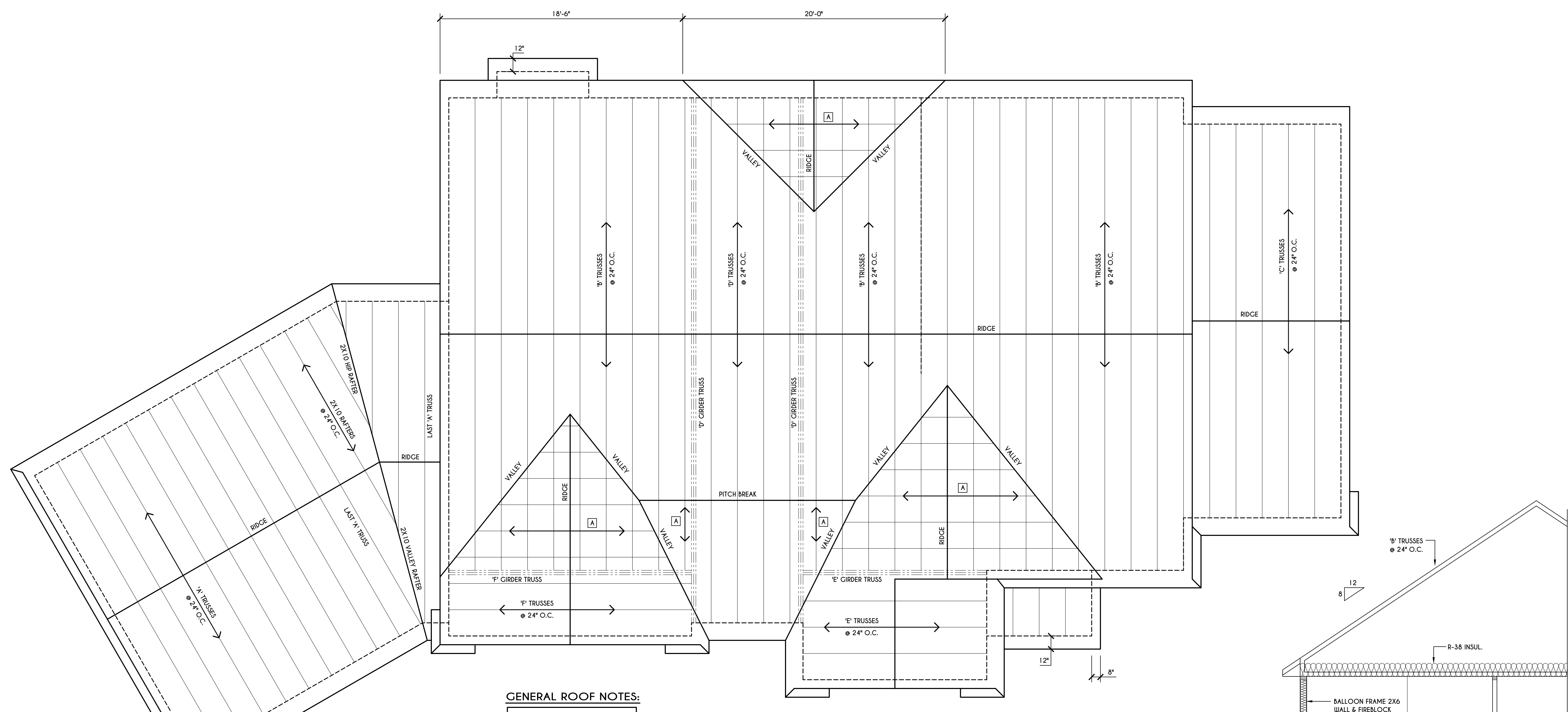
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 DR. & MRS. GANTZ RESIDENCE  
 LOT 71 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ROOF PLAN**  
 GLA PLAN 5418

drawn: CDK	checked: AMM
scale: AS NOTED	date: 11 / 21
PROJECT:	sheet: <b>8</b>
15452	<b>8</b>

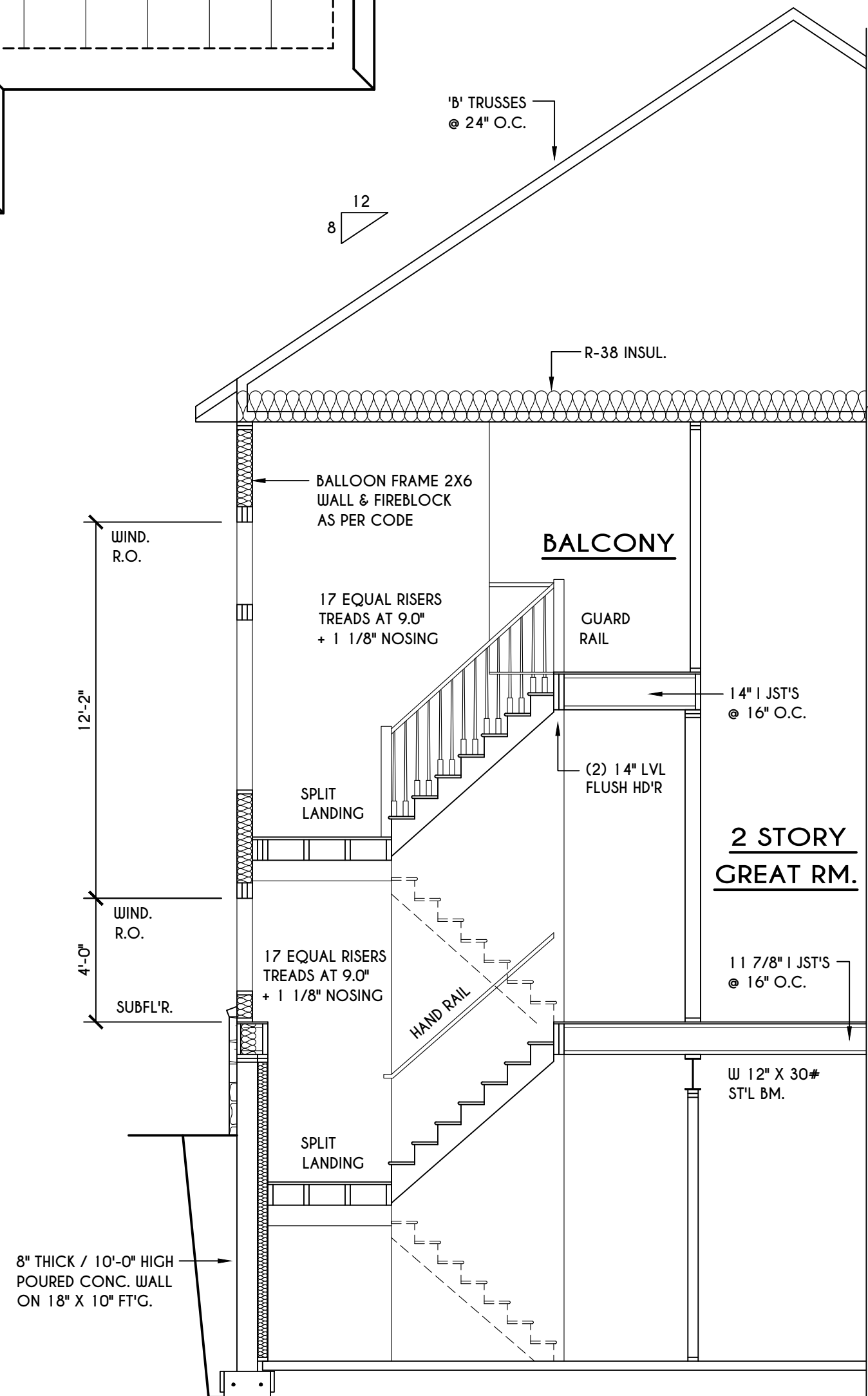


**GENERAL ROOF NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

**TRUSS NOTE:**  
 TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD.

**ROOF PLAN**

SCALE: 1/4" = 1'-0"  
 [A] - 2X8 LAYOVER RAFTERS 24" O.C.



**F 8 STAIR SECTION**  
 SCALE: 1/4" = 1'-0"





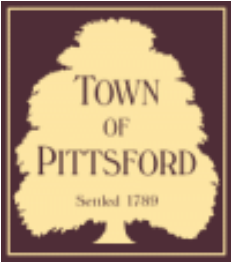
07/25/2016



07/25/2016







## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000225**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 49 Skylight Trail ,

**Tax ID Number:**

**Zoning District:**

**Owner:**

**Applicant:** S & J Morrell

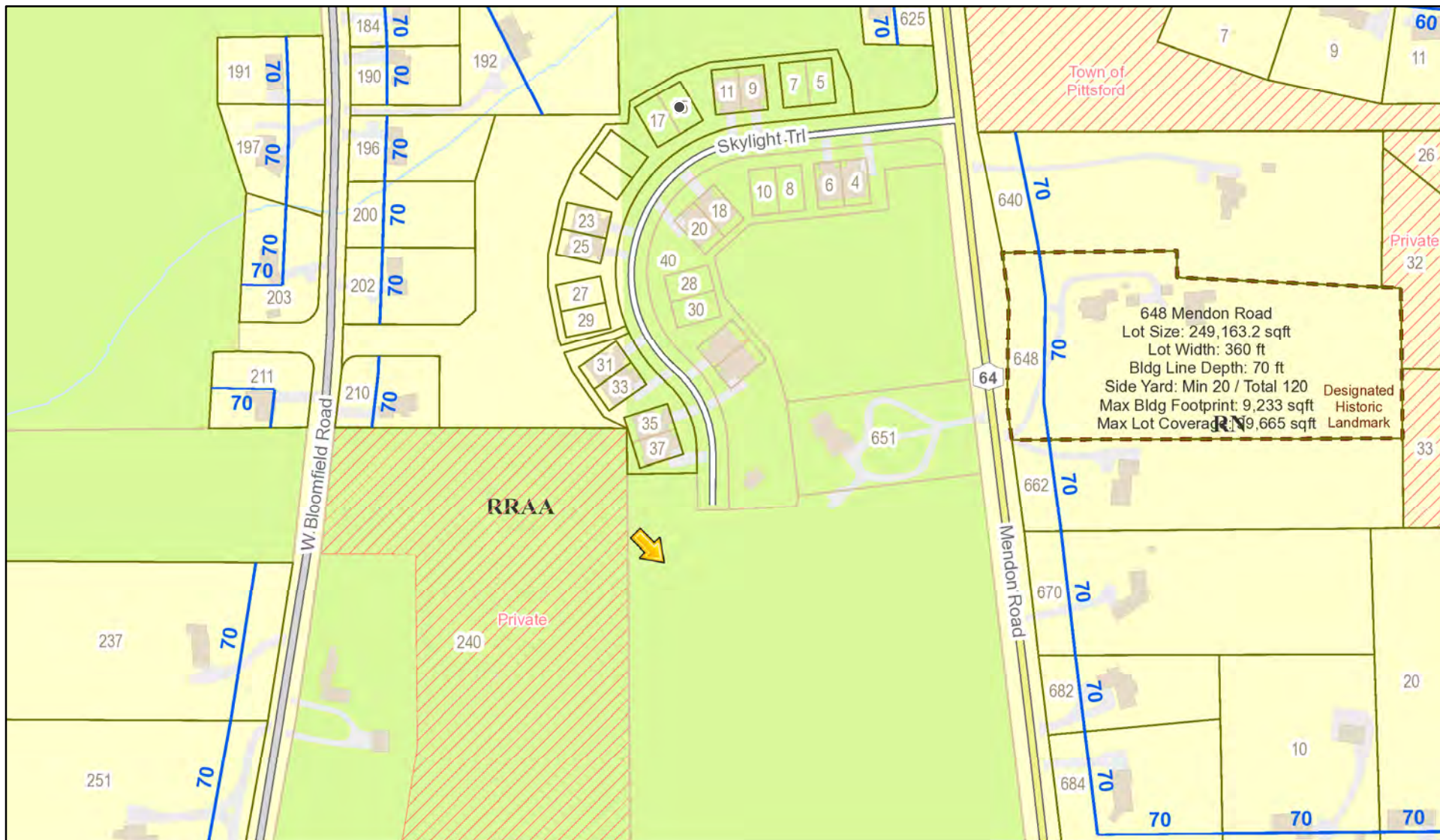
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

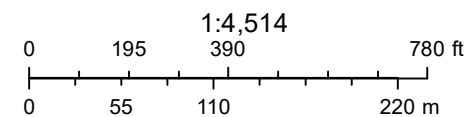
**Project Description:** Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 27 (51 Skylight Trail) will be approximately 2000 sq. ft. and Lot 28 (49 Skylight Trail) will be 1987 sq. ft. The town homes will be located in the new Alpine Ridge development.

**Meeting Date:** November 11, 2021

# RN Residential Neighborhood Zoning



Printed November 3, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.







**ALPINE RIDGE**  
A MORRELL COMMUNITY

*No development agricultural zone*

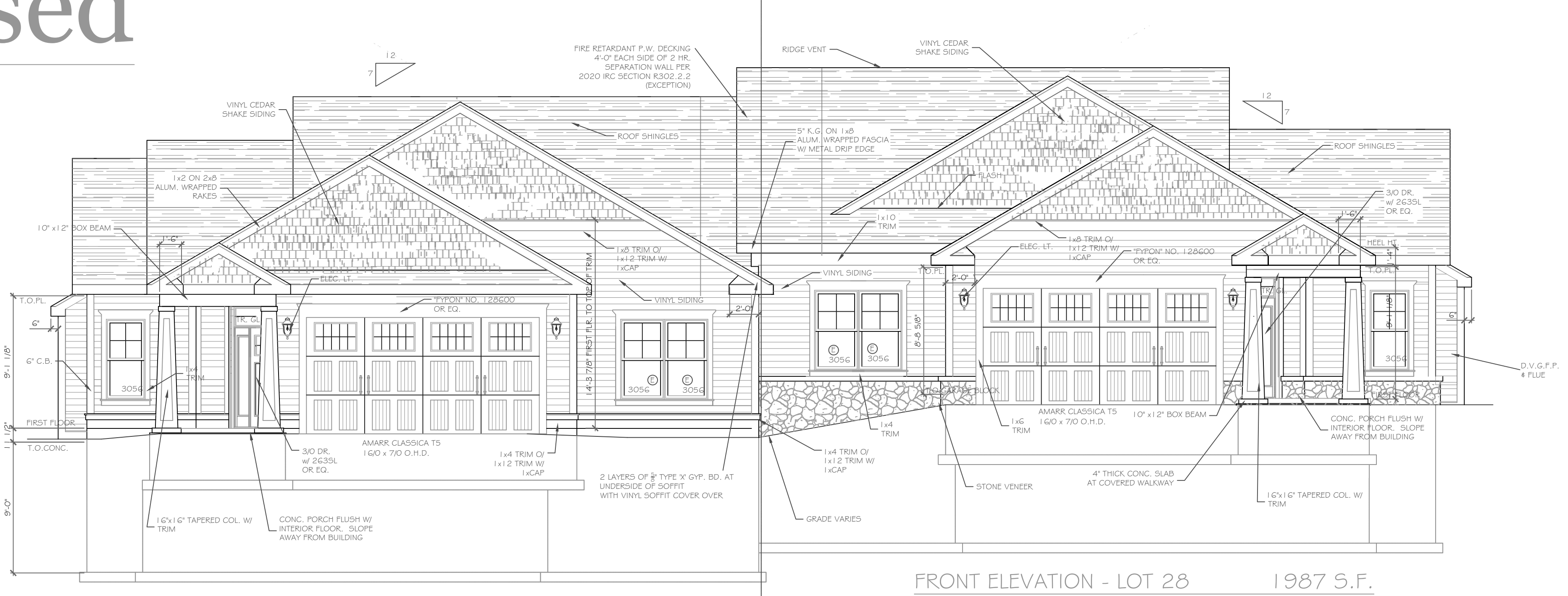


● = Side Load Garage

X = Stone Siding

	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)

# Proposed



FRONT ELEVATION - LOT 27 2000 S.F.

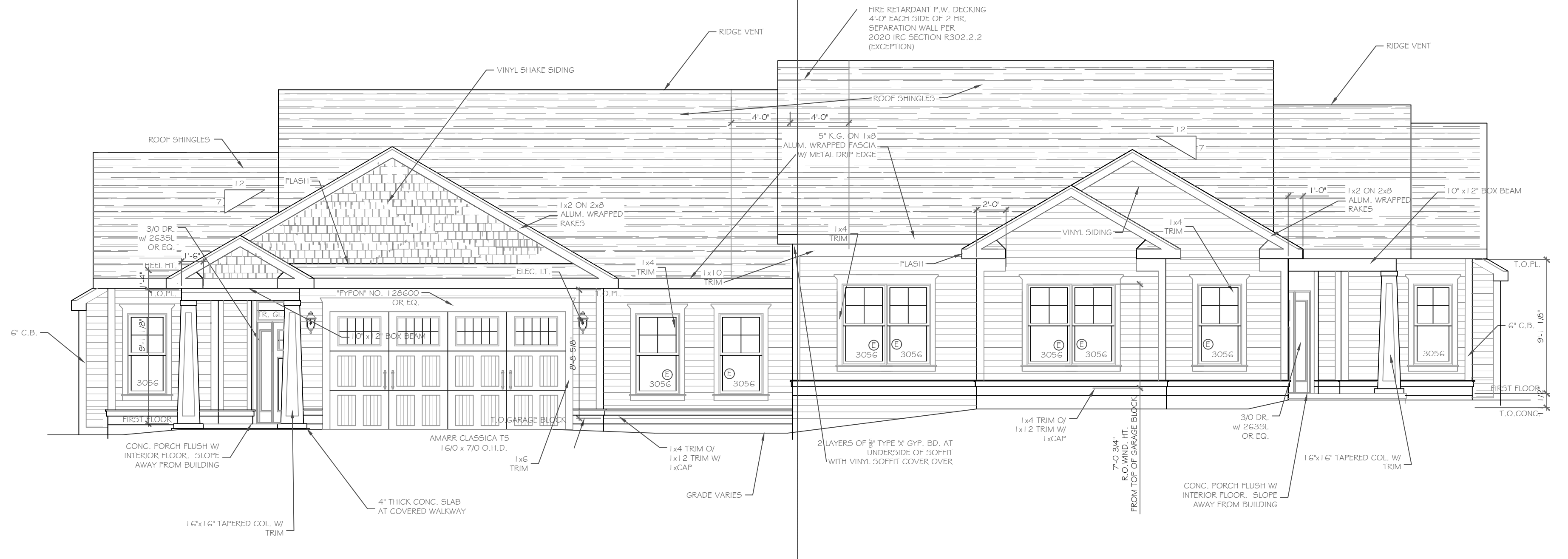
FRONT ELEVATION - LOT 28 1987 S.F.

NOTE - WINDOWS TO BE "WYO 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.  
 DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USE AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE - WINDOWS TO BE "WYO 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.  
 DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

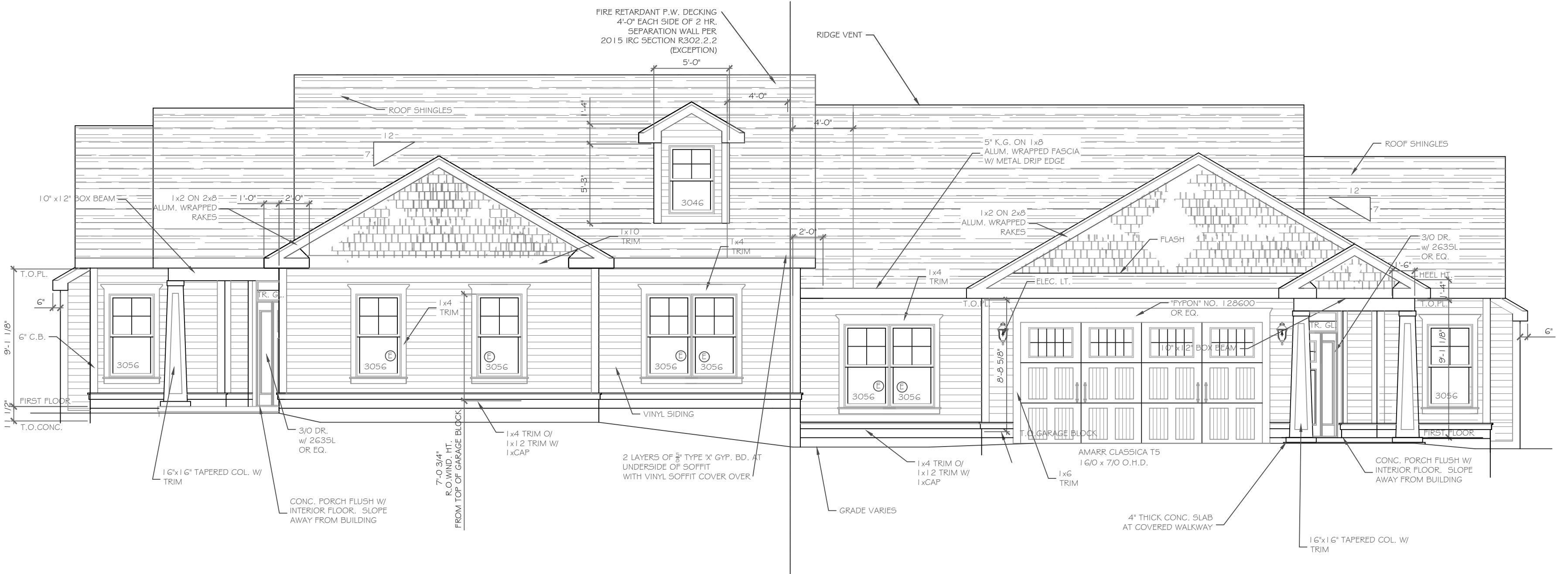
# Approved



FRONT ELEVATION - LOT 9 1987 S.F.

FRONT ELEVATION - LOT 10 2000 S.F.

# Approved

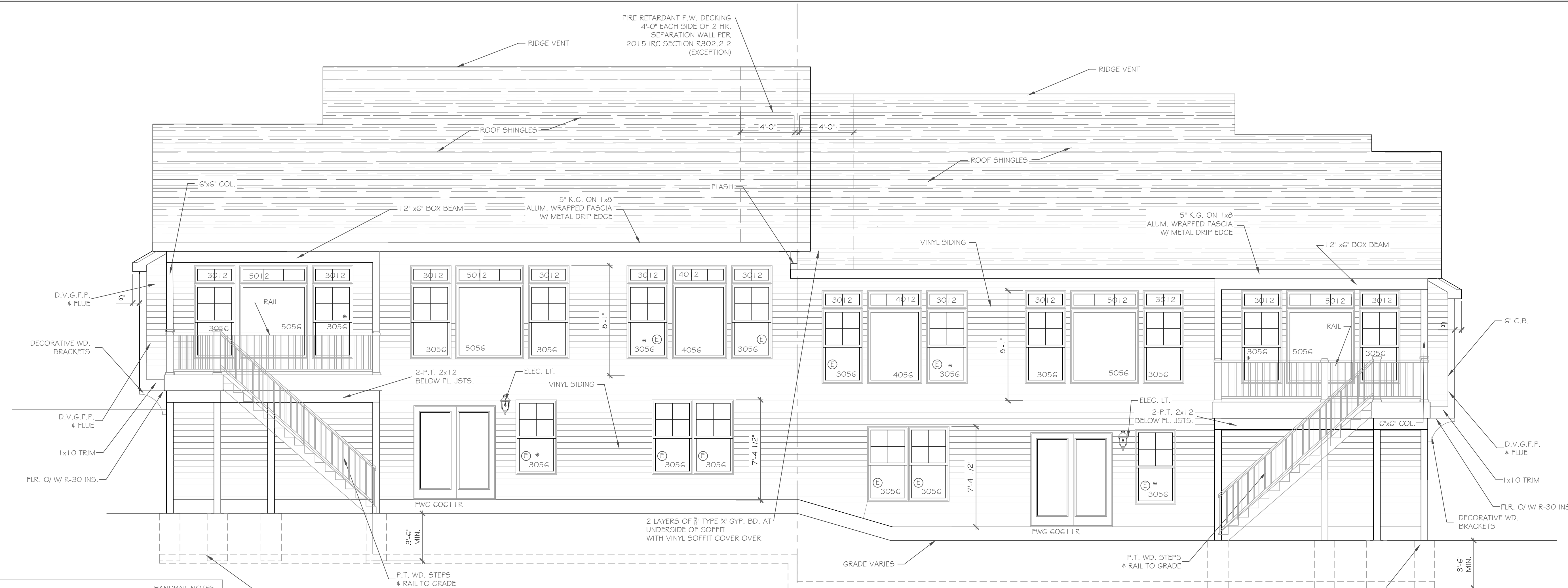


FRONT ELEVATION - LOT 33 2217 S.F.

FRONT ELEVATION - LOT 34 2000 S.F.







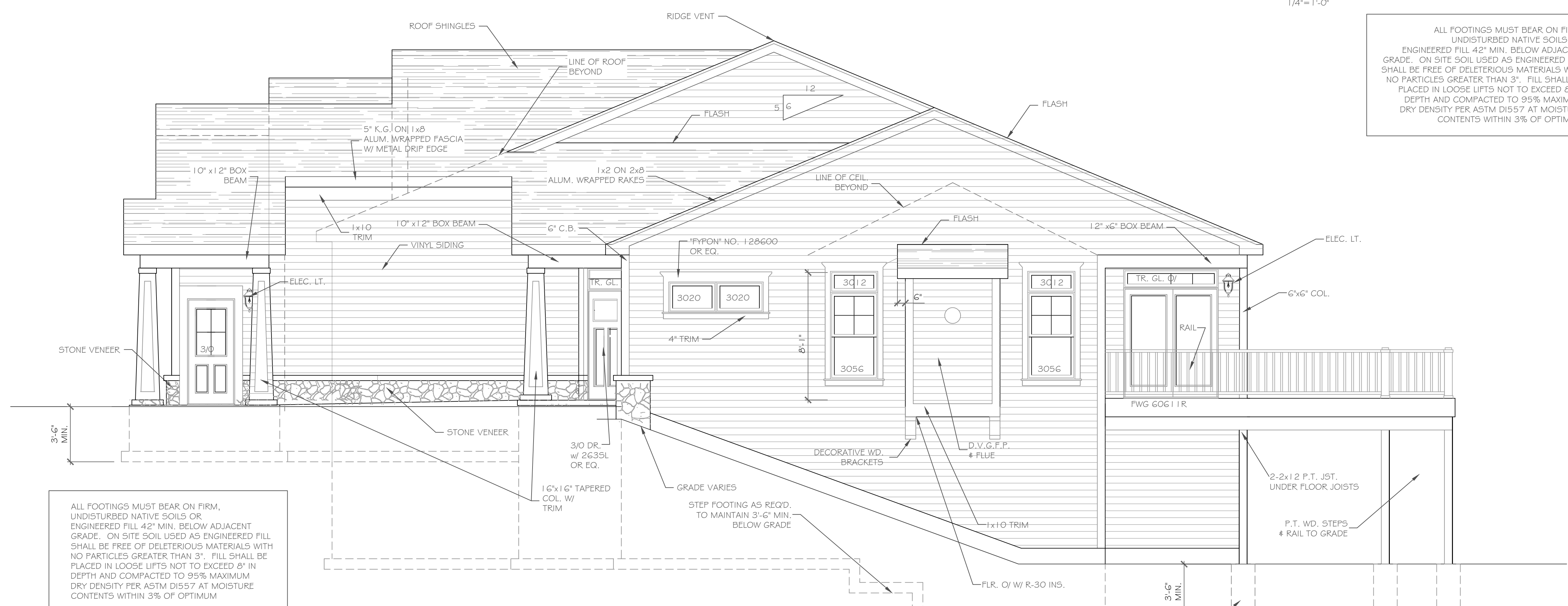
REAR ELEVATION - LOT 28

REAR ELEVATION - LOT 27

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST  
 O/ 1 1/8" DIA. CONC. FTG.  
 W/ SIMPSON LCB66 POST BASE  
 TO 3'-6" BELOW GRADE MIN.  
 (TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM



RIGHT SIDE ELEVATION - LOT 28

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

6x6 P.T. WD. POST  
 O/ 1 1/8" DIA. CONC. FTG.  
 W/ SIMPSON LCB66 POST BASE  
 TO 3'-6" BELOW GRADE MIN.  
 (TYP. AT DECK LOCATIONS)

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

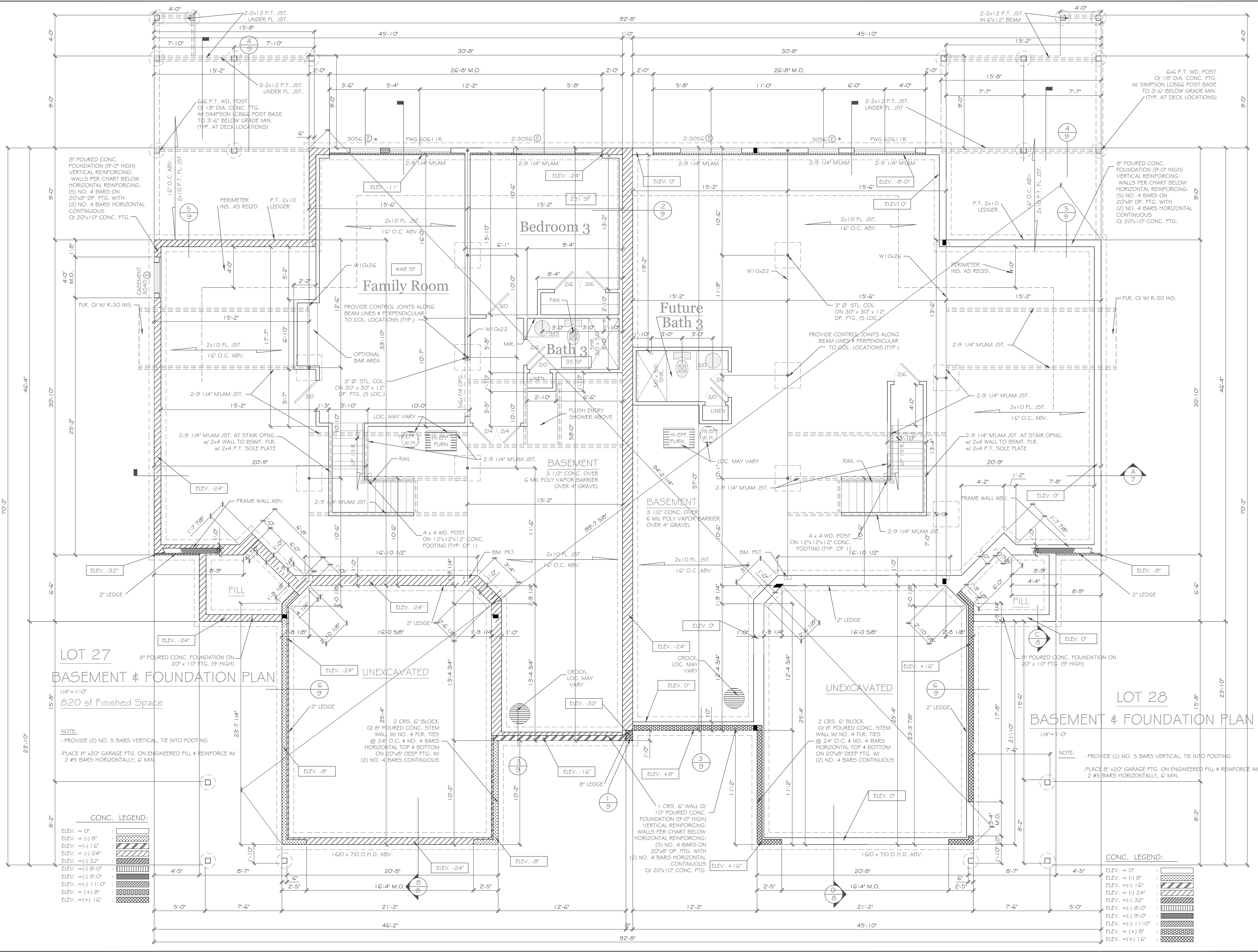
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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- <b>Elevations</b>	PHASE- Construction Documents
	DATE- October 29, 2021

PROJECT- <b>Alpine Ridge - Units 27 &amp; 28 Pittsford, New York</b>	CLIENT- <b>Morrell Builders</b>
JOB NO.- A21-070	DATE- October 29, 2021

**CKH**  
 architecture  
 1501 Pittsford Victor Rd.  
 Suite 100  
 Victor, New York 14564  
 phone-(585) 249-1334  
 e-mail-CKHennessey@frontier.net



**LOT 27**  
**BASEMENT & FOUNDATION PLAN**  
 1/4" = 1'-0"  
 820 sf Finished Space

**NOTE:**  
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING  
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. LEGEND:**

ELEV. = 0"	[Pattern]
ELEV. = (-) 8"	[Pattern]
ELEV. = (-) 16"	[Pattern]
ELEV. = (-) 24"	[Pattern]
ELEV. = (-) 32"	[Pattern]
ELEV. = (-) 8'-0"	[Pattern]
ELEV. = (-) 9'-0"	[Pattern]
ELEV. = (-) 11'-0"	[Pattern]
ELEV. = (+) 8"	[Pattern]
ELEV. = (+) 16"	[Pattern]

**LOT 28**  
**BASEMENT & FOUNDATION PLAN**  
 1/4" = 1'-0"

**NOTE:**  
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING  
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. LEGEND:**

ELEV. = 0"	[Pattern]
ELEV. = (-) 8"	[Pattern]
ELEV. = (-) 16"	[Pattern]
ELEV. = (-) 24"	[Pattern]
ELEV. = (-) 32"	[Pattern]
ELEV. = (-) 8'-0"	[Pattern]
ELEV. = (-) 9'-0"	[Pattern]
ELEV. = (-) 11'-0"	[Pattern]
ELEV. = (+) 8"	[Pattern]
ELEV. = (+) 16"	[Pattern]

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**REVISIONS:**

NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
**Basement & Foundation Plan**

**PHASE:**  
 Construction Documents

**PROJECT:**  
 Alpine Ridge - Units 27 & 28  
 Pittsford, New York

**CLIENT:**  
 Morrell Builders

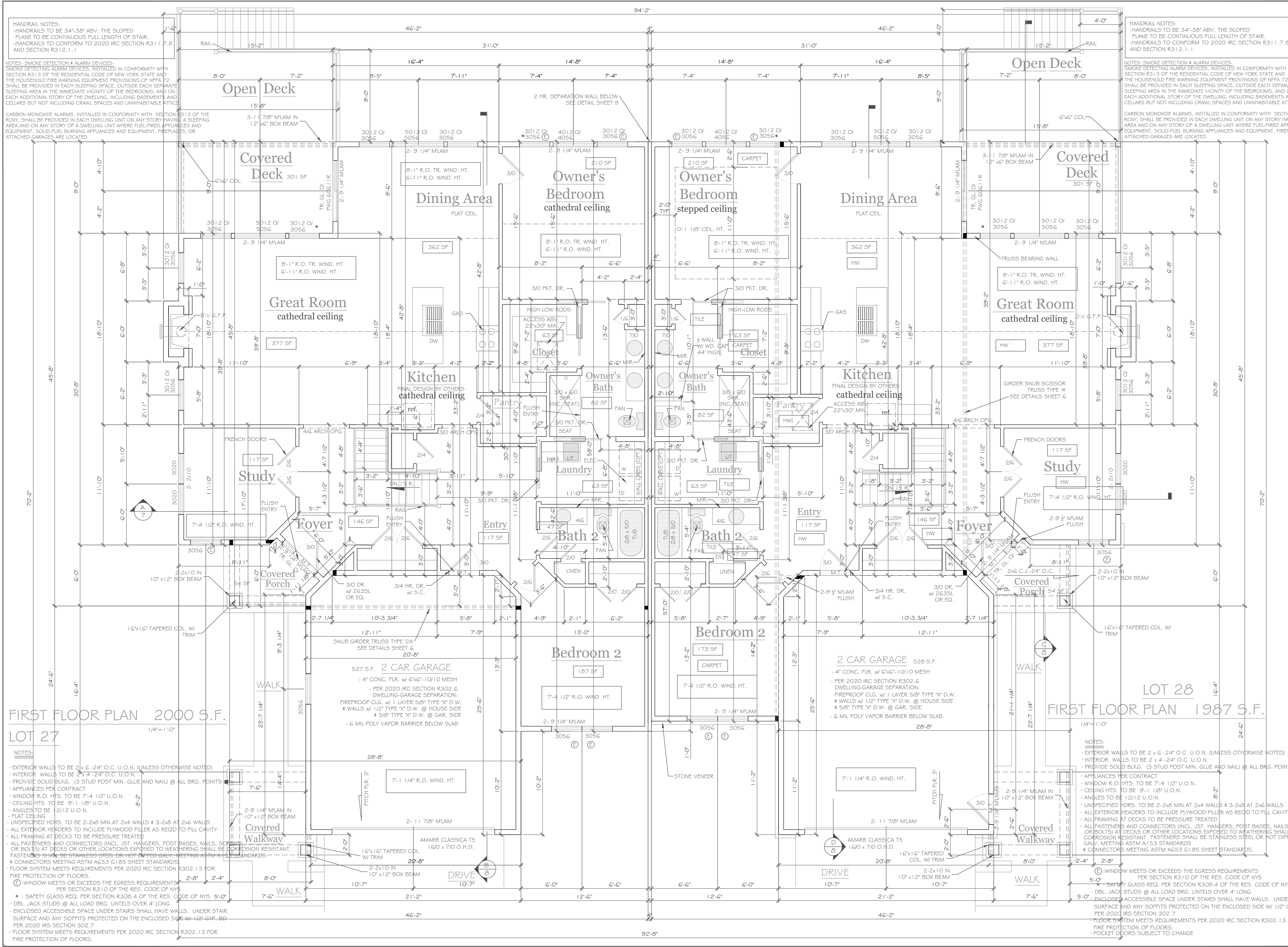
**JOB NO.:**  
 A21-070

**DATE:**  
 October 29, 2021

**CKH**  
 architecture  
 1501 Pittsford Victor Rd.  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net

**DRAWING NO.:**  
**A-3**





FIRST FLOOR PLAN 2000 S.F. LOT 27

FIRST FLOOR PLAN 1987 S.F. LOT 28

- NOTES:**
- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
  - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
  - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
  - APPLIANCES PER CONTRACT
  - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
  - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
  - ANGLES TO BE 12/12 U.O.N.
  - FLAT CEILING
  - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
  - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
  - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
  - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT-DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS
  - FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.
  - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
  - SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
  - DBL. JACK STUDS @ ALL LOAD BRG. UNITS OVER 4' LONG
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
  - FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.
  - FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.

- NOTES:**
- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
  - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
  - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
  - APPLIANCES PER CONTRACT
  - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
  - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
  - ANGLES TO BE 12/12 U.O.N.
  - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
  - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
  - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
  - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT-DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.
  - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
  - SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
  - DBL. JACK STUDS @ ALL LOAD BRG. UNITS OVER 4' LONG
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
  - FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.
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  - FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.

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**PROJECT:** Alpine Ridge - Units 27 & 28  
**CLIENT:** Morrell Builders  
**DRAWING TITLE:** First Floor Plan  
**PHASE:** Construction Documents

**DATE:** October 29, 2021  
**JOB NO.:** A21-070

**CKH architecture**  
 1501 Pittsford Victor Rd.  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net

**DRAWING NO.:** A-4

**Lots 25 and 26 LEFT OF SUBJECT**

Siding: Navajo Beige

Front Door: New Earth

Garage Door: Mahogany



Navajo Beige ★



New Earth



Mahogany

**Lots 27 and 28 SUBJECT**

Siding: Khaki Brown

Front Door: Driftwood

Garage Door: Dark Oak



*Khaki Brown*



Driftwood



Dark Oak

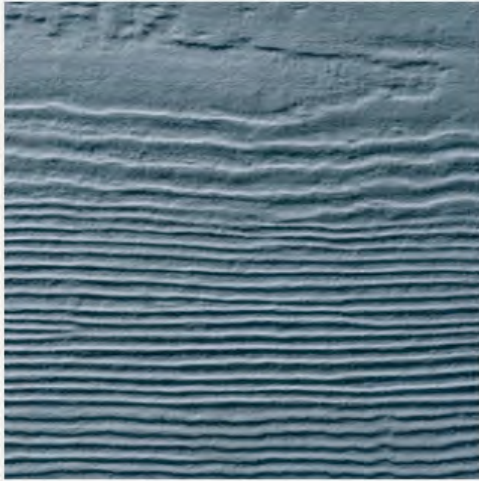


**Lots 29 and 30 RIGHT OF SUBJECT**

Siding: Booth Bay Blue

Front Door: New Earth

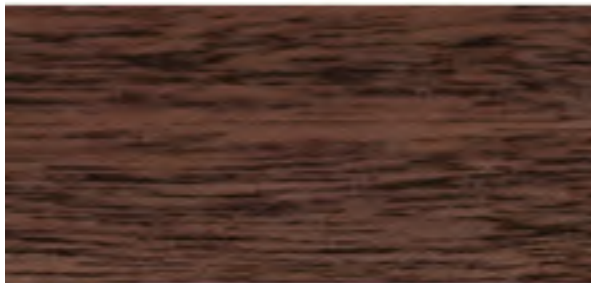
Garage Door: Mahogany



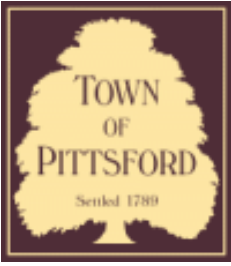
*Boothbay Blue* ★



New Earth



Mahogany



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000222**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 49 Van Voorhis Road PITTSFORD, NY 14534

**Tax ID Number:** 192.02-1-18

**Zoning District:** RN Residential Neighborhood

**Owner:** Liu, Sumei

**Applicant:** Gerber Homes & Additions LLC

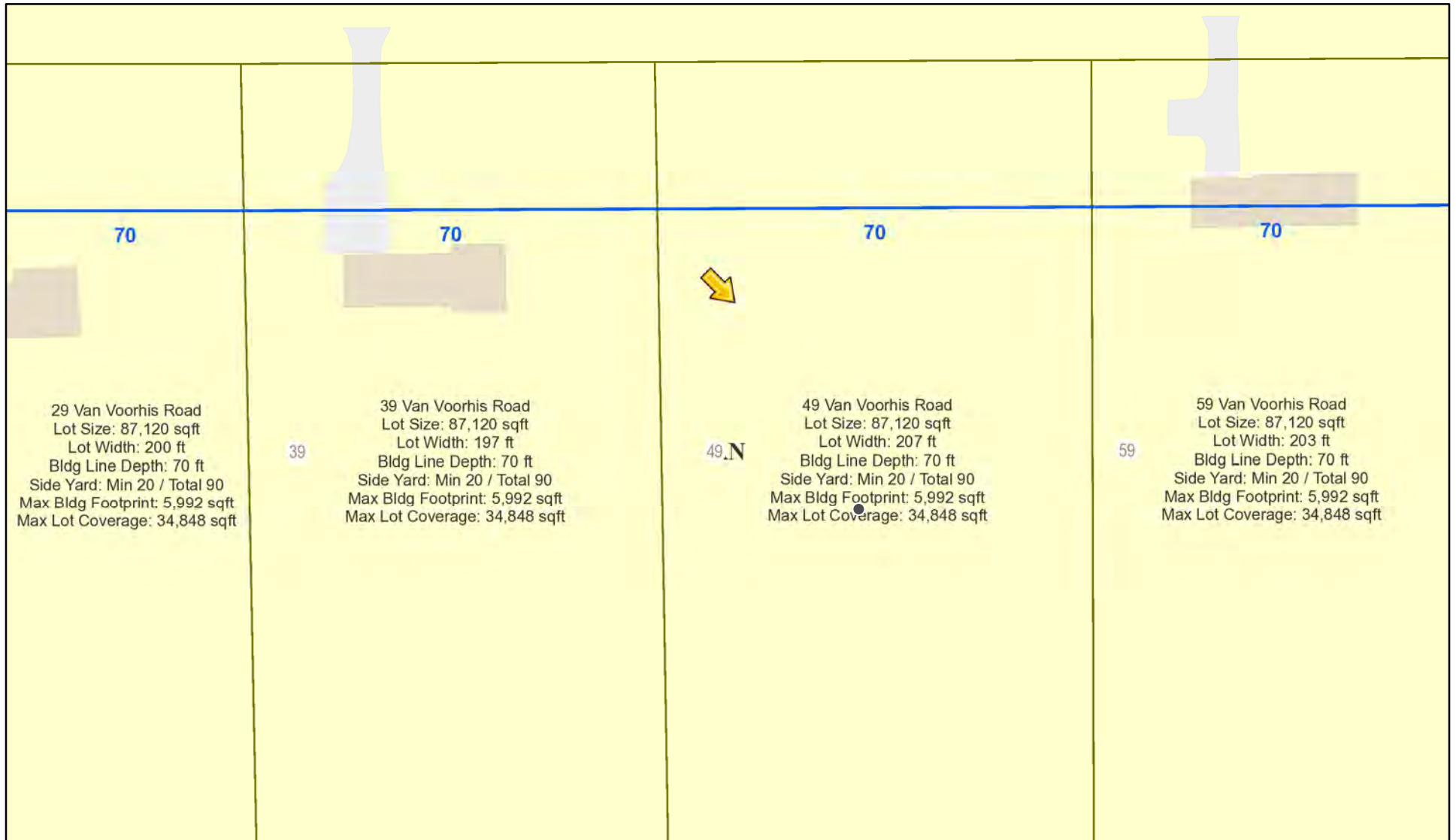
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

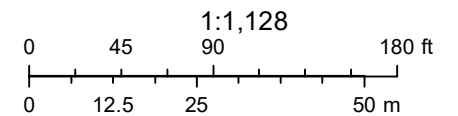
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 2874 square feet.

**Meeting Date:** November 11, 2021

# RN Residential Neighborhood Zoning



Printed November 3, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.







**WINDOWS:** VUID

U-FACTOR ..... 0.30  
SHGC ..... 0.33

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

**WINDOW / DOOR LEGEND:**

- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
- [I] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

**TABLE M1505.4.3 (1)**  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7 > 7
< 1,500	30	45	60	75 90
1,501-3,000	45	60	75	90 105
3,001-4,500	60	75	90	105 120
4,501-6,000	75	90	105	120 135
6,001-7,500	90	105	120	135 150
> 7,500	105	120	135	150 165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

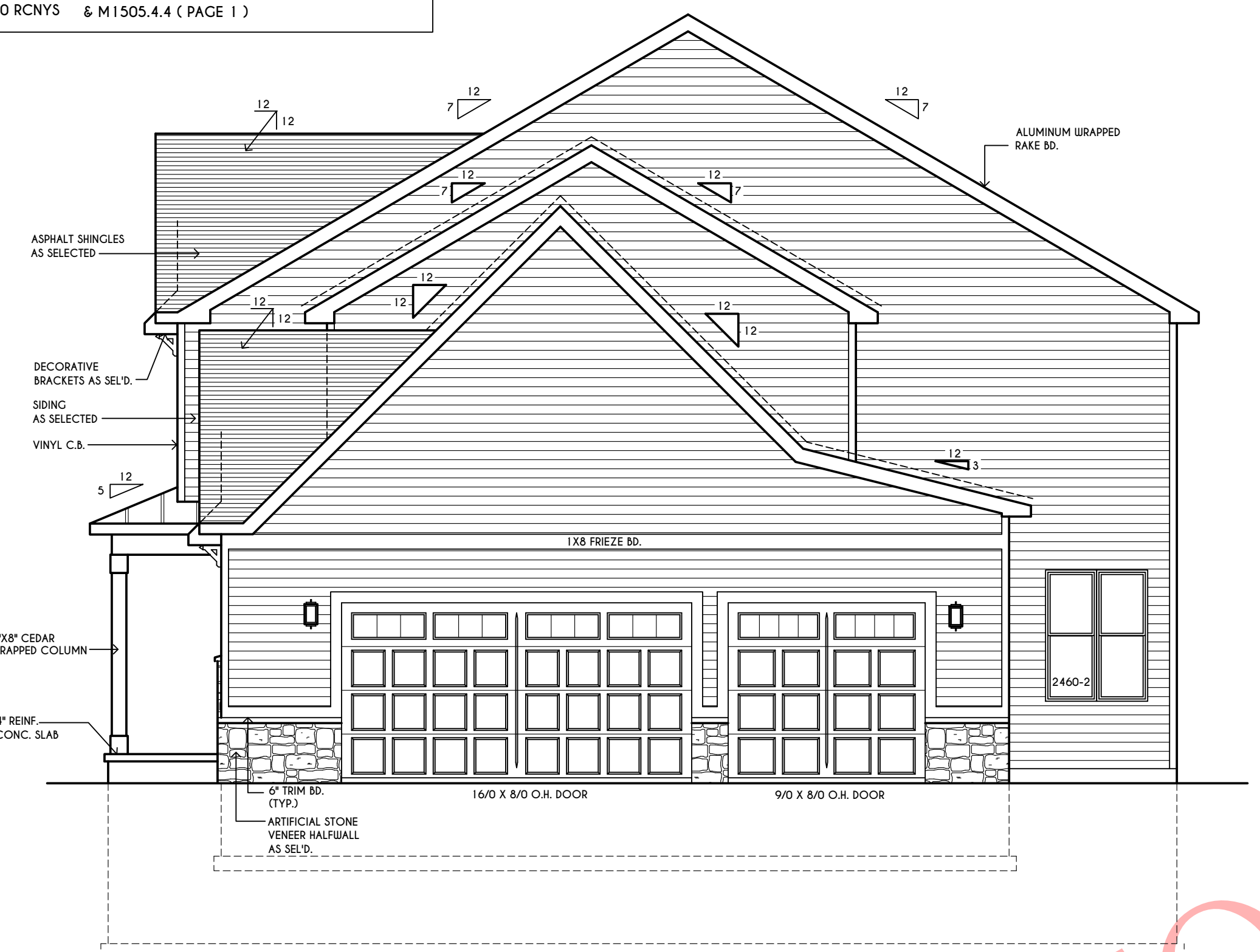
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

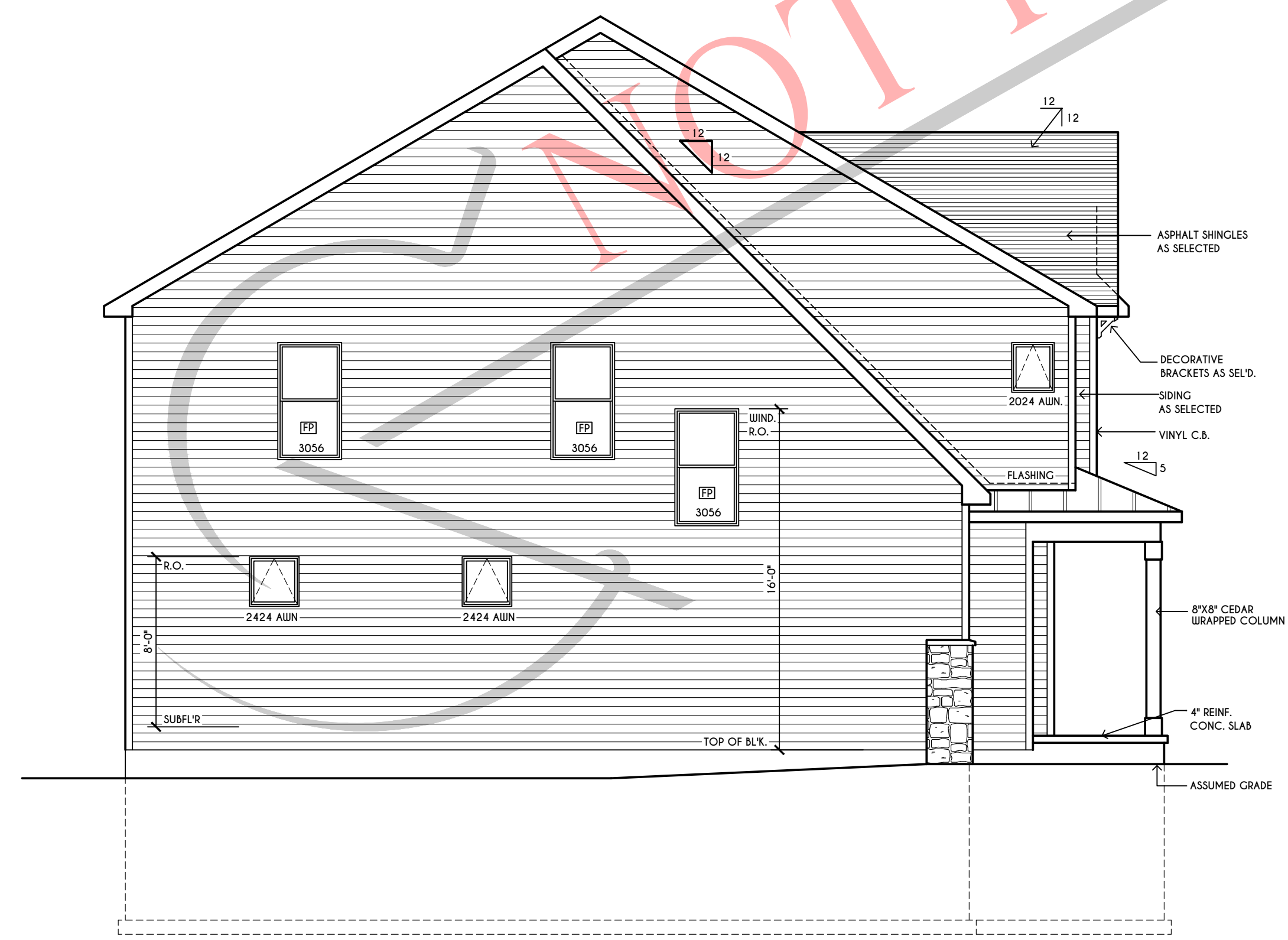
**TABLE M1505.4.4**  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

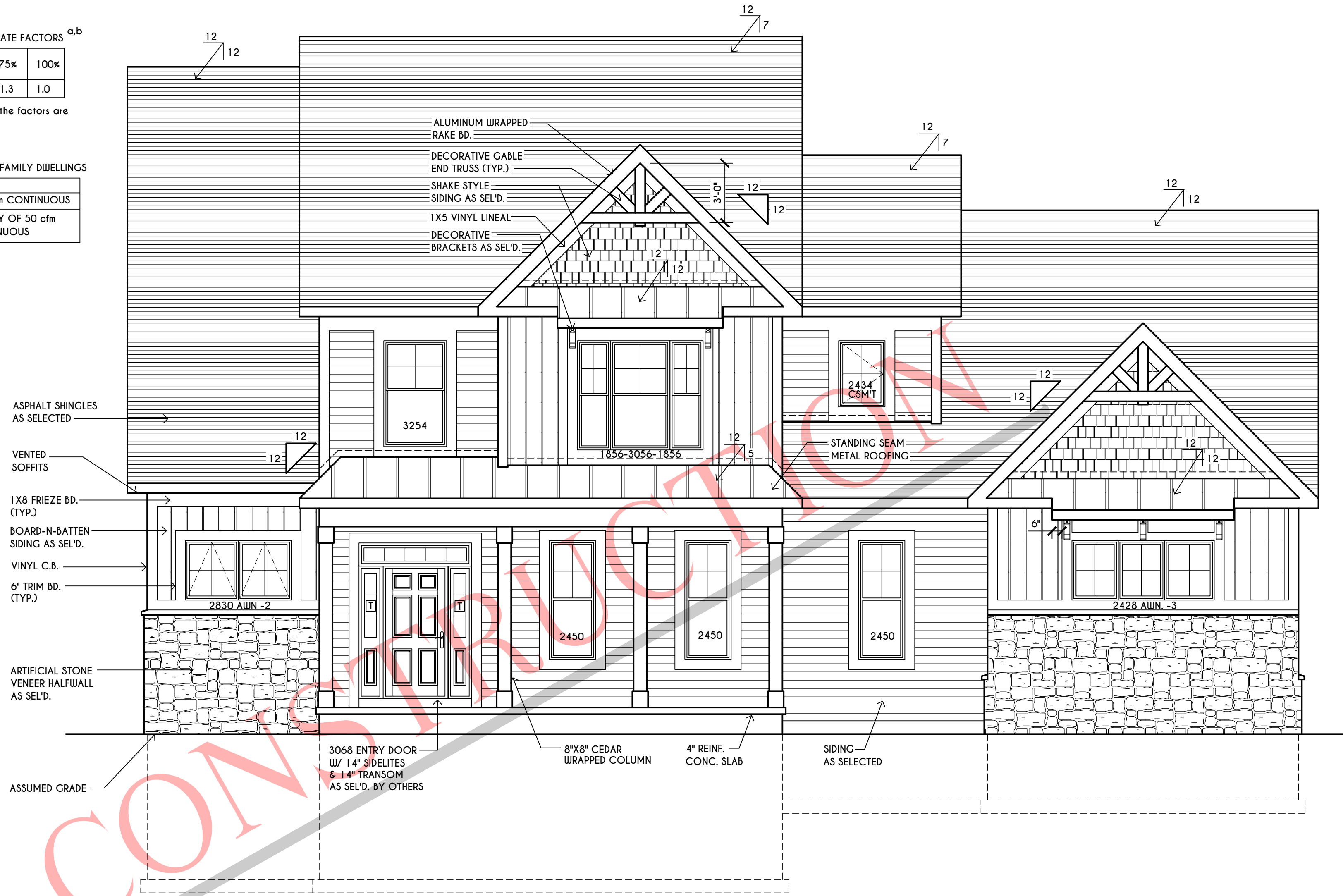
FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.



**RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"



**LEFT ELEVATION**  
SCALE: 3/16" = 1'-0"



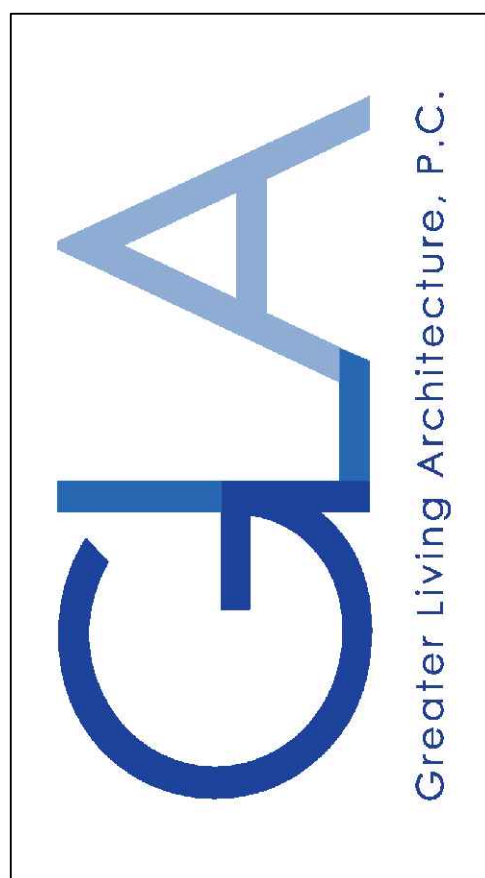
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1354 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1520 SQ.FT.  
 TOTAL LIVING AREA = 2874 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 32,850 CU.FT.



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

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DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SAHLI - SCHICK RESIDENCE  
 49 VAN VOORHIS RD  
 PITTSFORD, NY

**BUILDER:**  
 GERBER HOMES

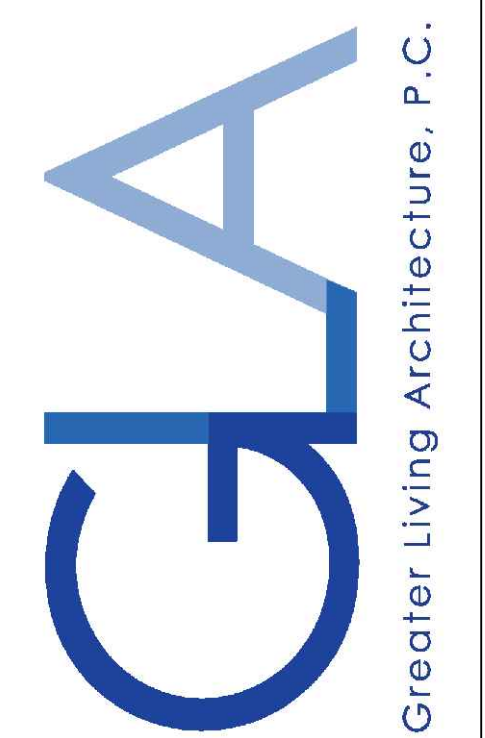
**ELEVATIONS**

**GLA PLAN 2874**

drawn: AMM	checked: XXX
scale: AS NOTED	date: 11/1/21
PROJECT: 15458B	sheet: 1 5



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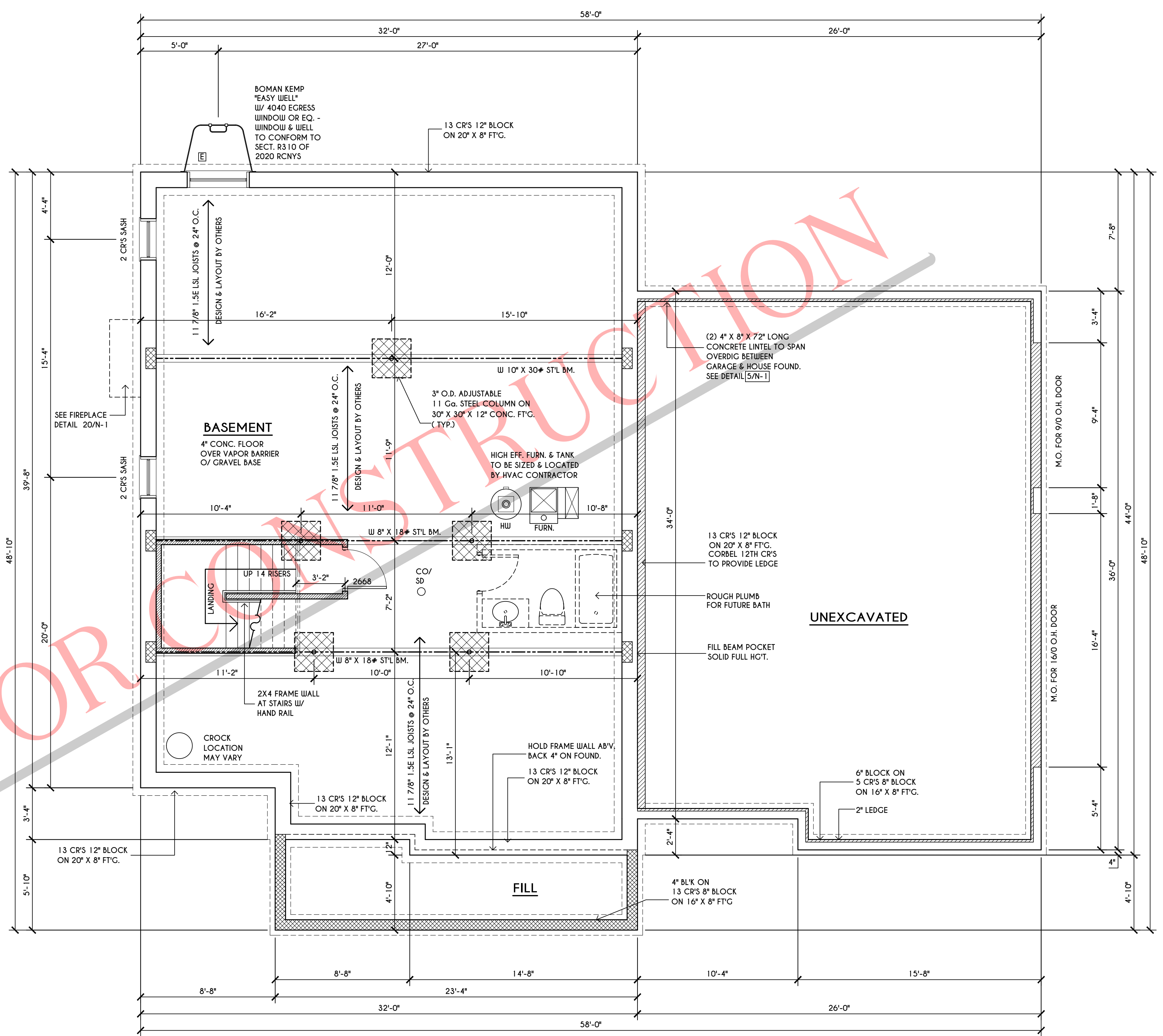
**CLIENT/LOCATION:**  
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 49 VAN VOORHIS RD  
 PITTSFORD, NY

**BUILDER:**  
 GERBER HOMES

**FOUNDATION PLAN**

GLA PLAN 2874

drawn: AMM	checked: XXX
scale: AS NOTED	date: 11/1/21
PROJECT: 154588	sheet: 2 5



**BASEMENT & FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 24" O.C.
- POINT LOAD FROM ABOVE

**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 35 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS  
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

**GENERAL FOUNDATION / BASEMENT NOTES:**

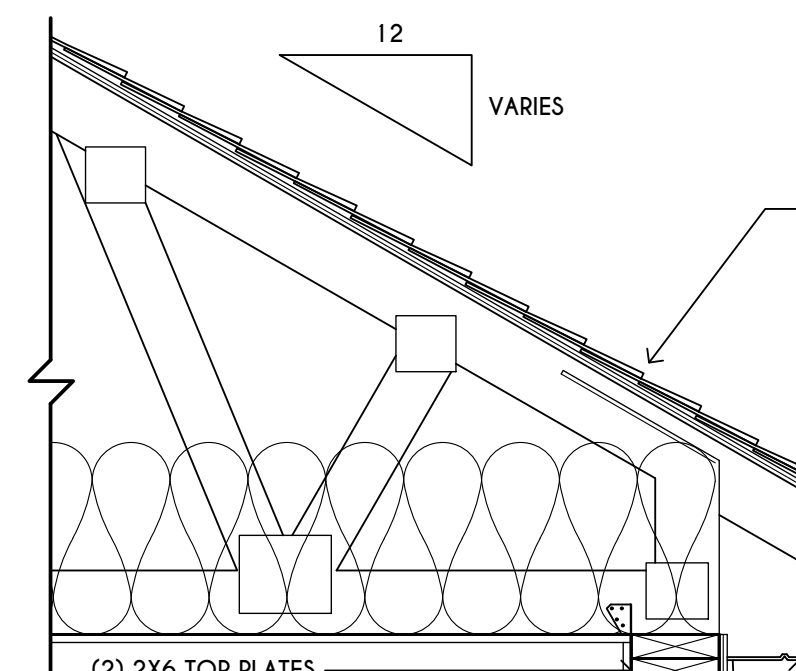
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 1/2

**WINDOW / DOOR LEGEND:**

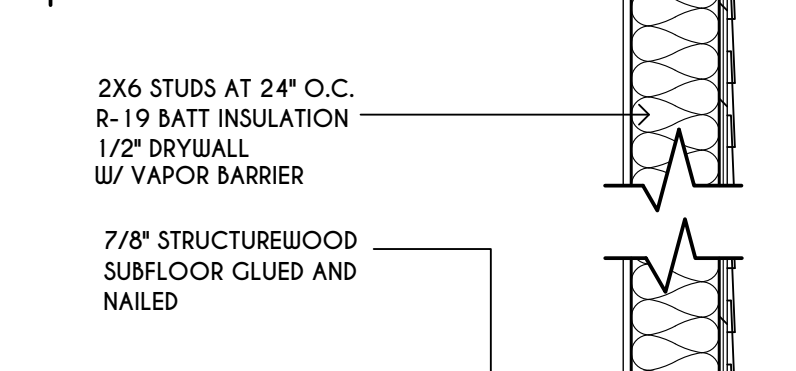
- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING  
 PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION  
 PER SECT. R312.2 OF 2020 RCNYS

**CONSTRUCTION**

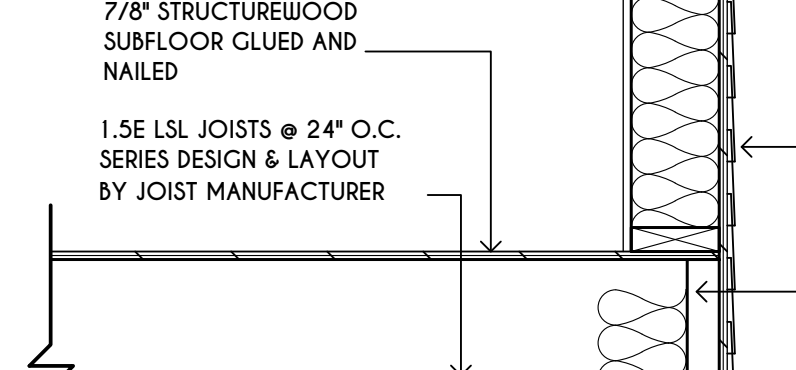
ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS  
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDUC 15600 TRUSS SCREW OR EQUAL  
 (2) LAYERS ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING  
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE  
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC  
 R-49 CEILING INSULATION



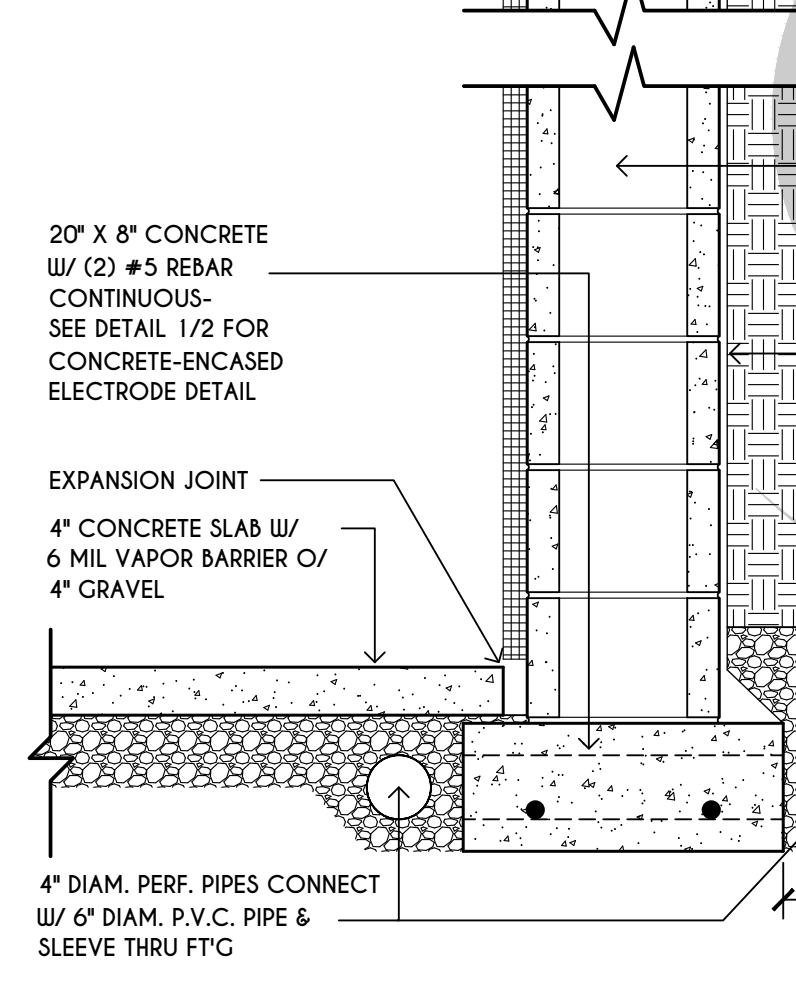
**SECOND FLOOR**



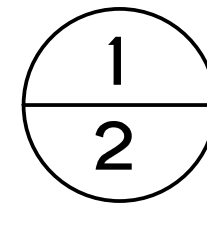
**FIRST FLOOR**



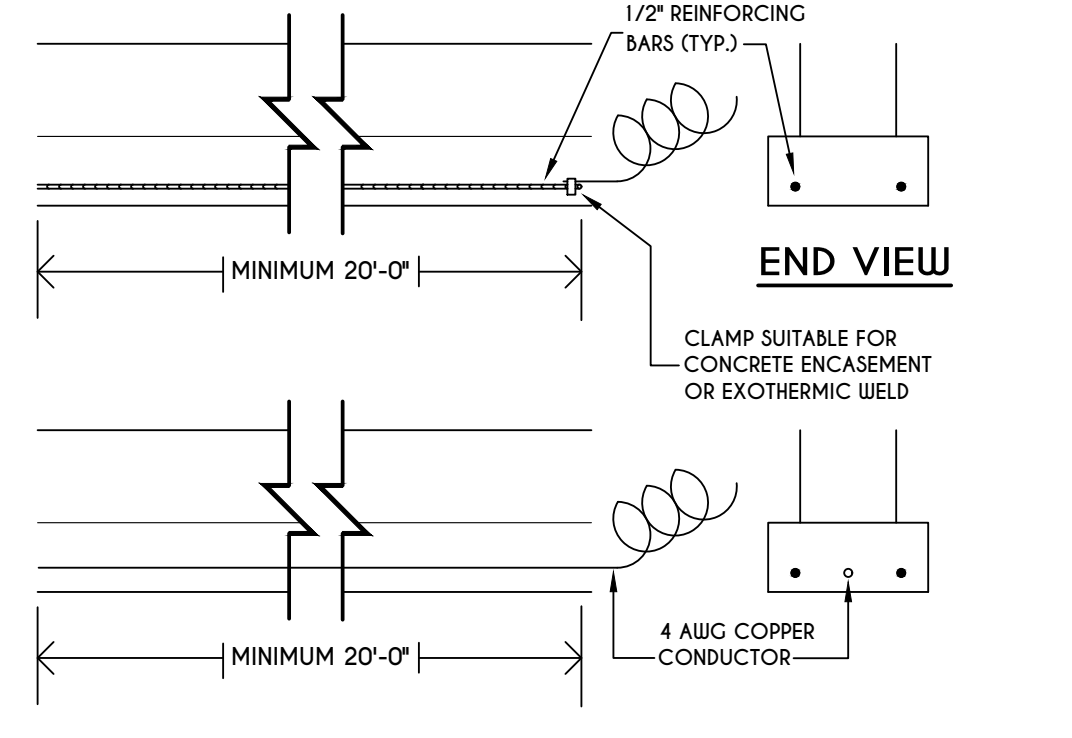
**BASEMENT / FOUNDATION**



**TYPICAL WALL SECTION**  
 SCALE: 1" = 1'-0"

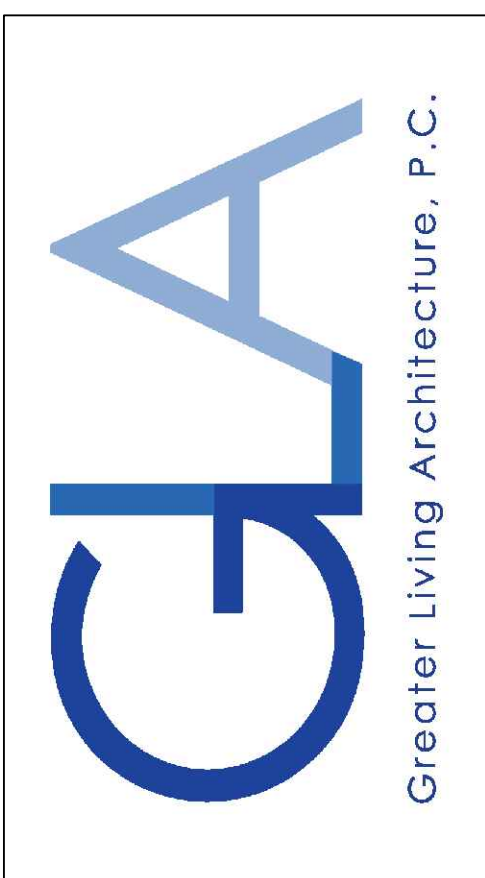


**250.52(A) (3) CONCRETE-ENCASED ELECTRODES**





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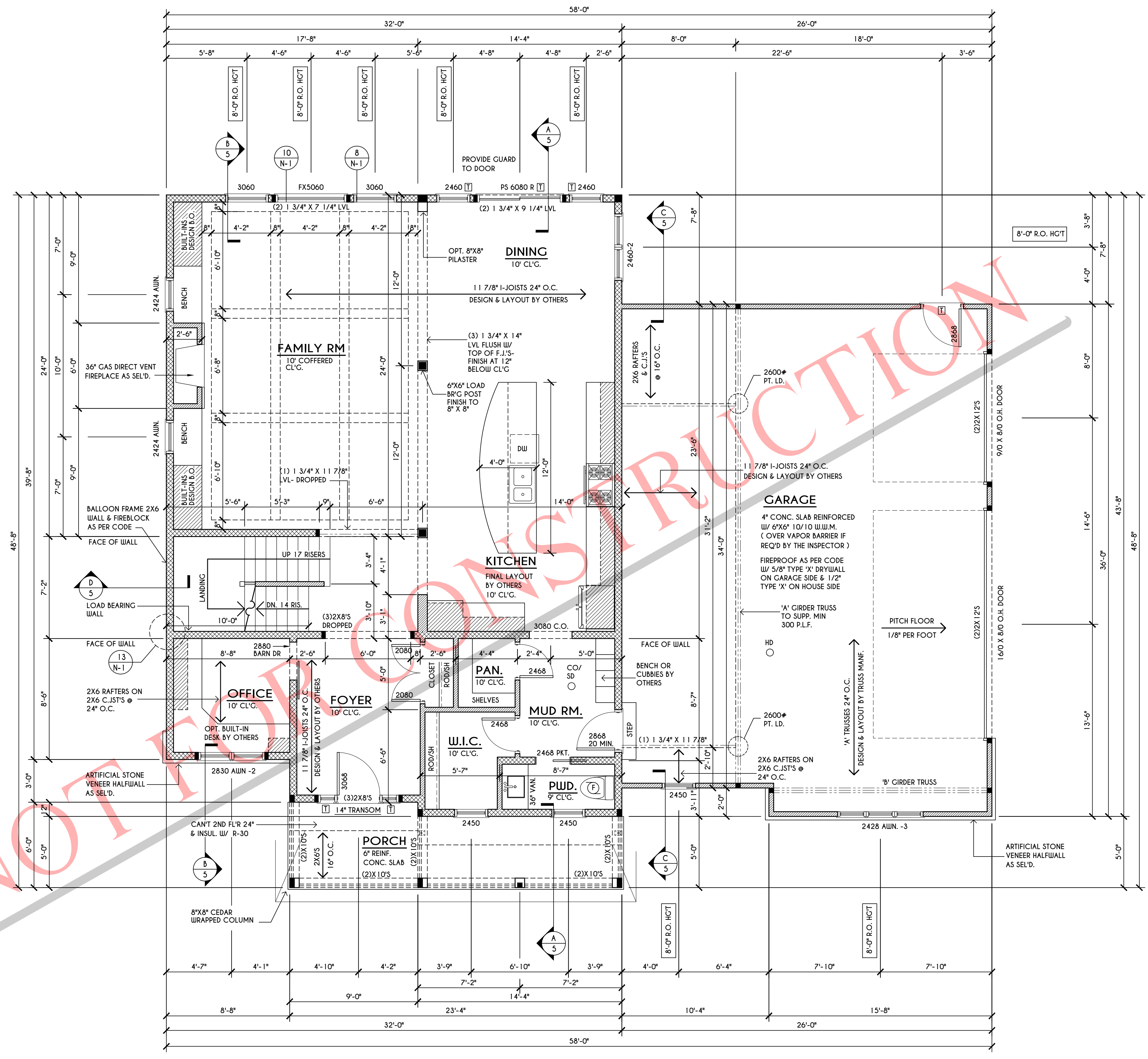
**CLIENT/LOCATION:**  
 SAHLI - SCHICK RESIDENCE  
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 PITTSFORD, NY

**BUILDER:**  
 GERBER HOMES

**FIRST FLOOR PLAN**

**GLA PLAN 2874**

drawn: AMM	checked: XXX
scale: AS NOTED	date: 11/11/21
PROJECT: 15458B	sheet: 3 5



**FIRST FLOOR PLAN**

1354 SQ. FT.

SCALE: 1/4" = 1'-0"

**ENGINEERED FLOOR JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X4 GARAGE STUDS @ 24" O.C.
- 2X6 STUDS @ 24" O.C.

**GENERAL FIRST FLOOR PLAN NOTES:**

FIRST FLOOR PLATE HGT TO BE 10'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O., HGT'S TO BE 8'-0" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBT JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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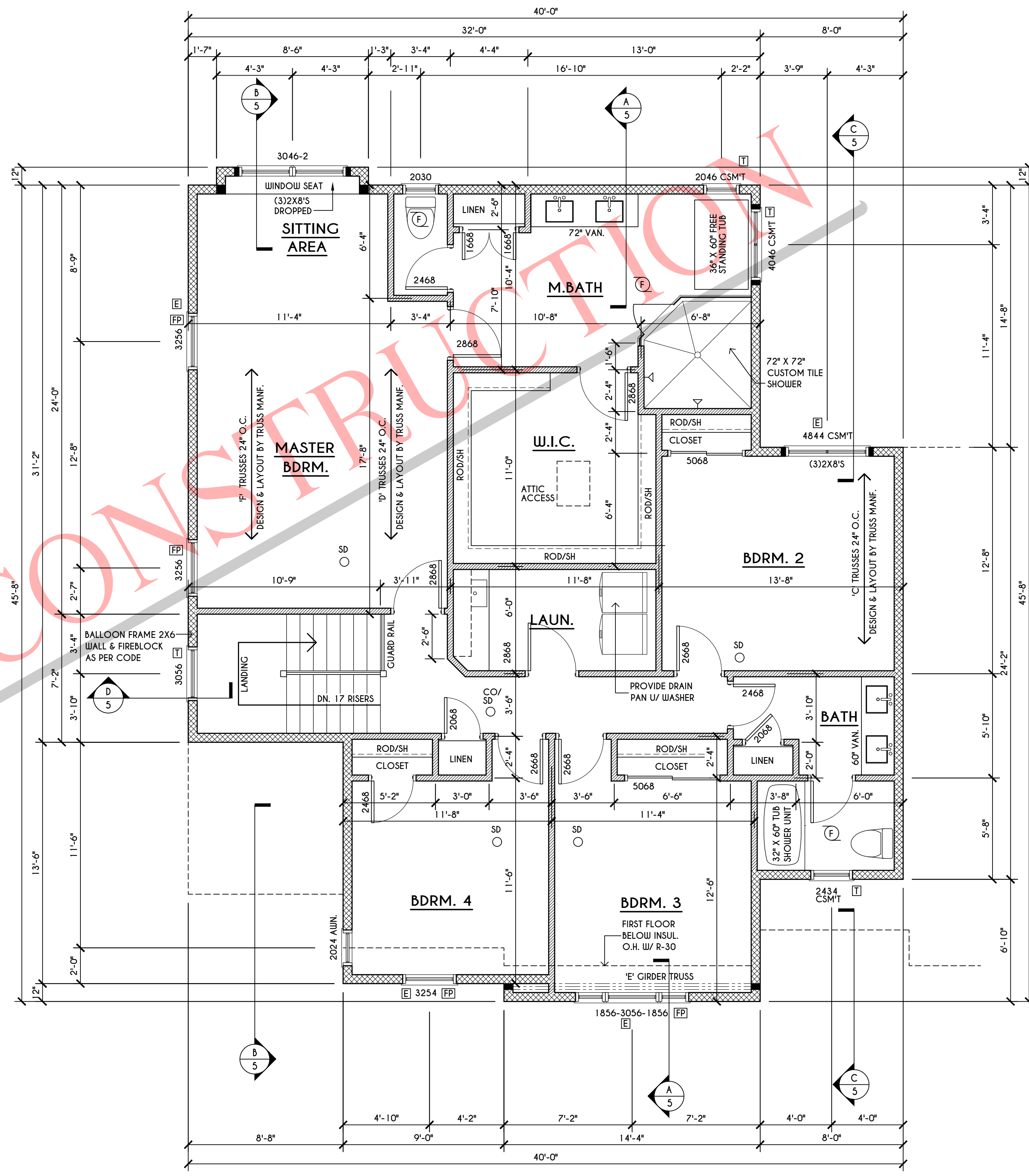
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 GERBER HOMES

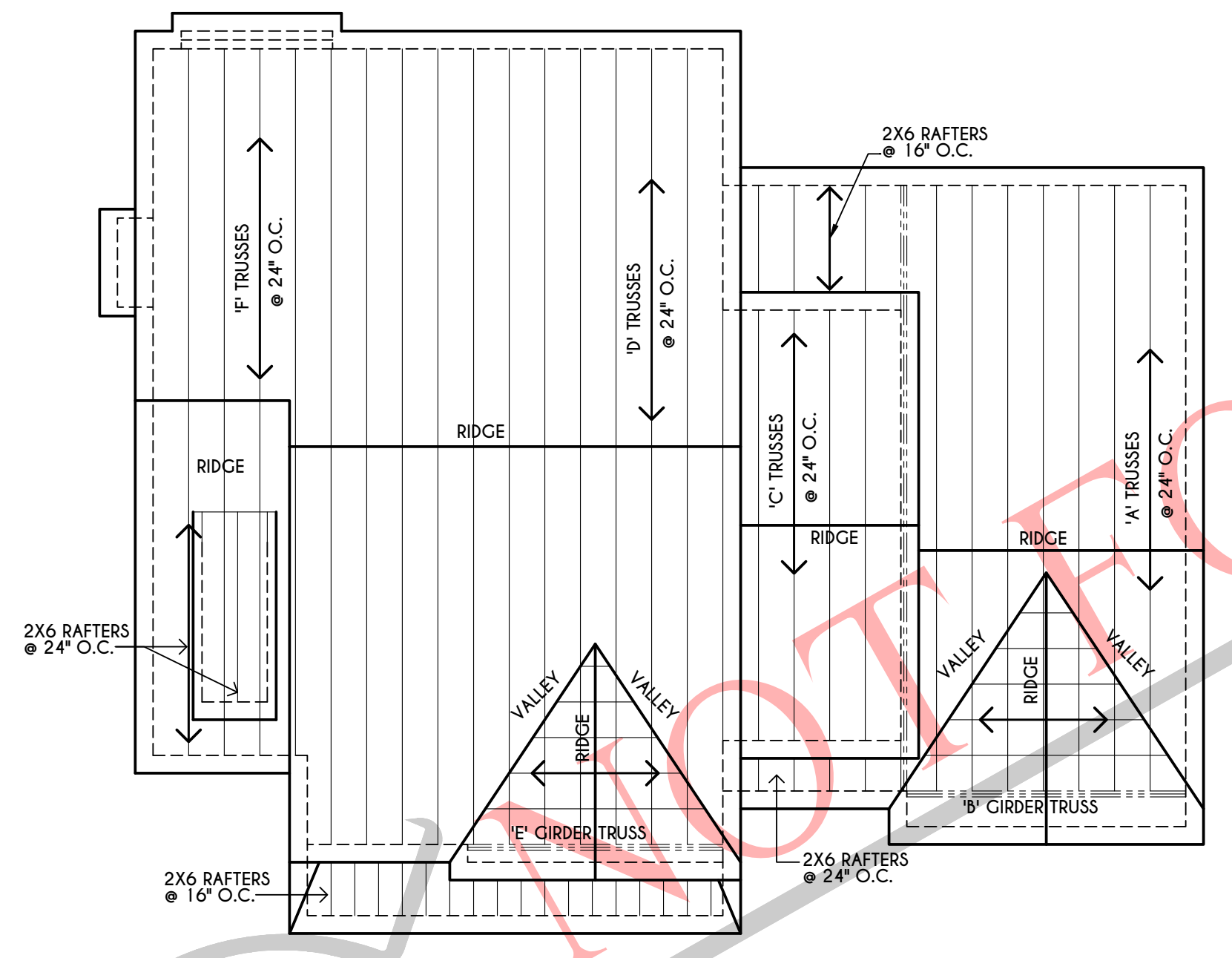
**SECOND FLOOR PLAN**

GLA PLAN 2874

drawn: AMM	checked: XXX
scale: AS NOTED	date: 11/1/21
PROJECT: 154588	sheet: 4 5



**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1520 SQ.FT.



**ROOF PLAN**

SCALE: 1/8" = 1'-0"  
 [A] 2X6 LAYOVER RAFTERS 24" O.C.

**GENERAL ROOF NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

**FRAMING LEGEND:**

[Symbol]	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
[Symbol]	- DROPPED HEADER
[Symbol]	- FLUSH HEADER
[Symbol]	- 2X4 STUDS @ 16" O.C.
[Symbol]	- 2X6 STUDS @ 24" O.C.

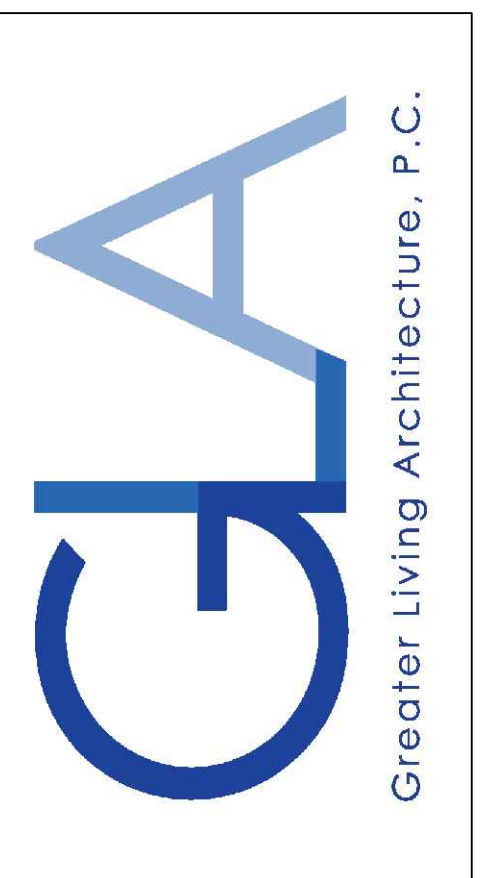
**GENERAL SECOND FLOOR PLAN NOTES:**  
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DN/L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

[E]	- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
[T]	- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP]	- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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3033 BRIGHTON-HENRIETTA TOWNLINE RD  
 ROCHESTER, NY 14623  
 CALL: (585) 272-9170  
 FAX: (585) 292-1262  
 www.greatliving.com

**REVISIONS:**

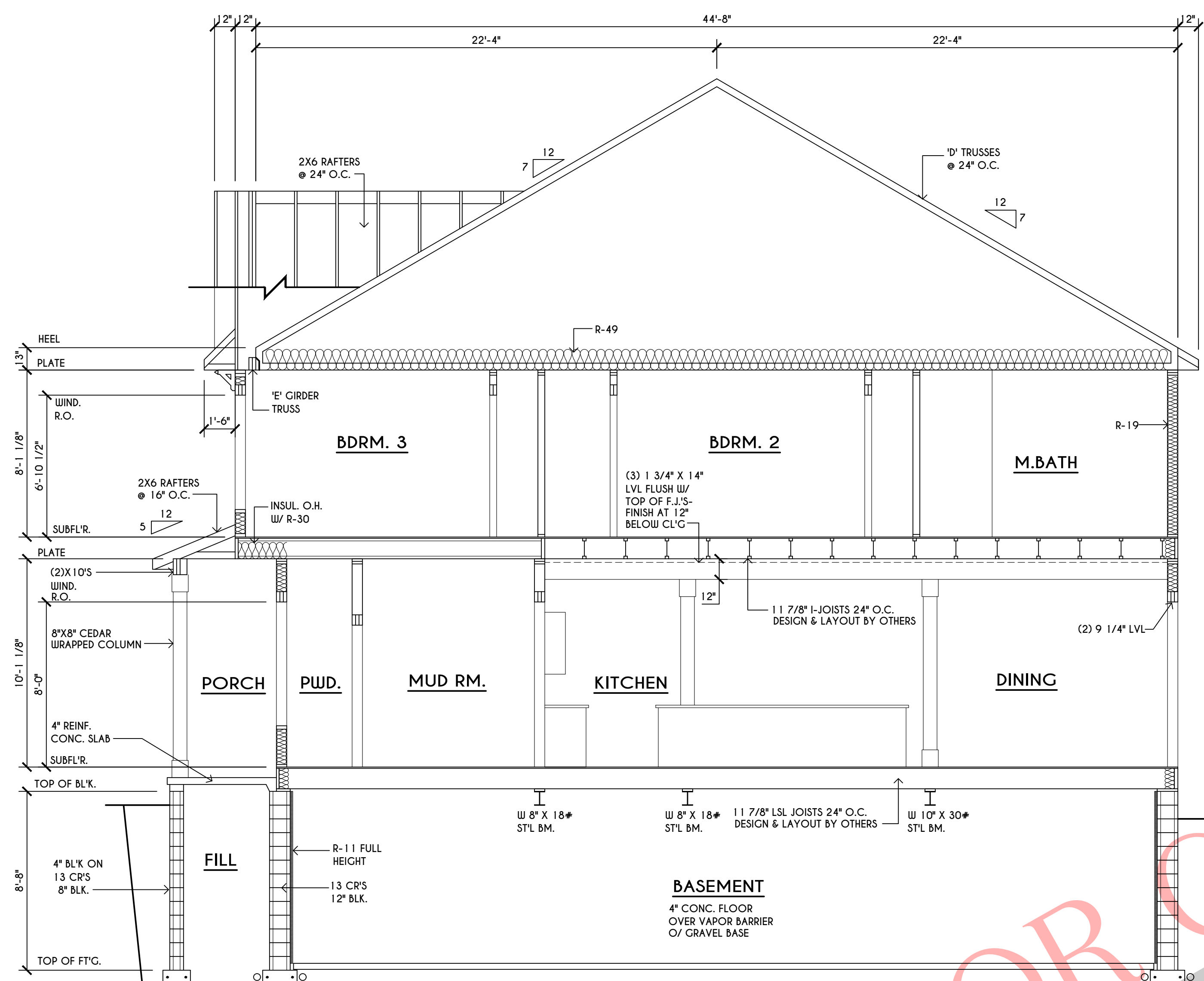
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SAHLI - SCHICK RESIDENCE  
 49 VAN VOORHIS RD  
 PITTSFORD, NY

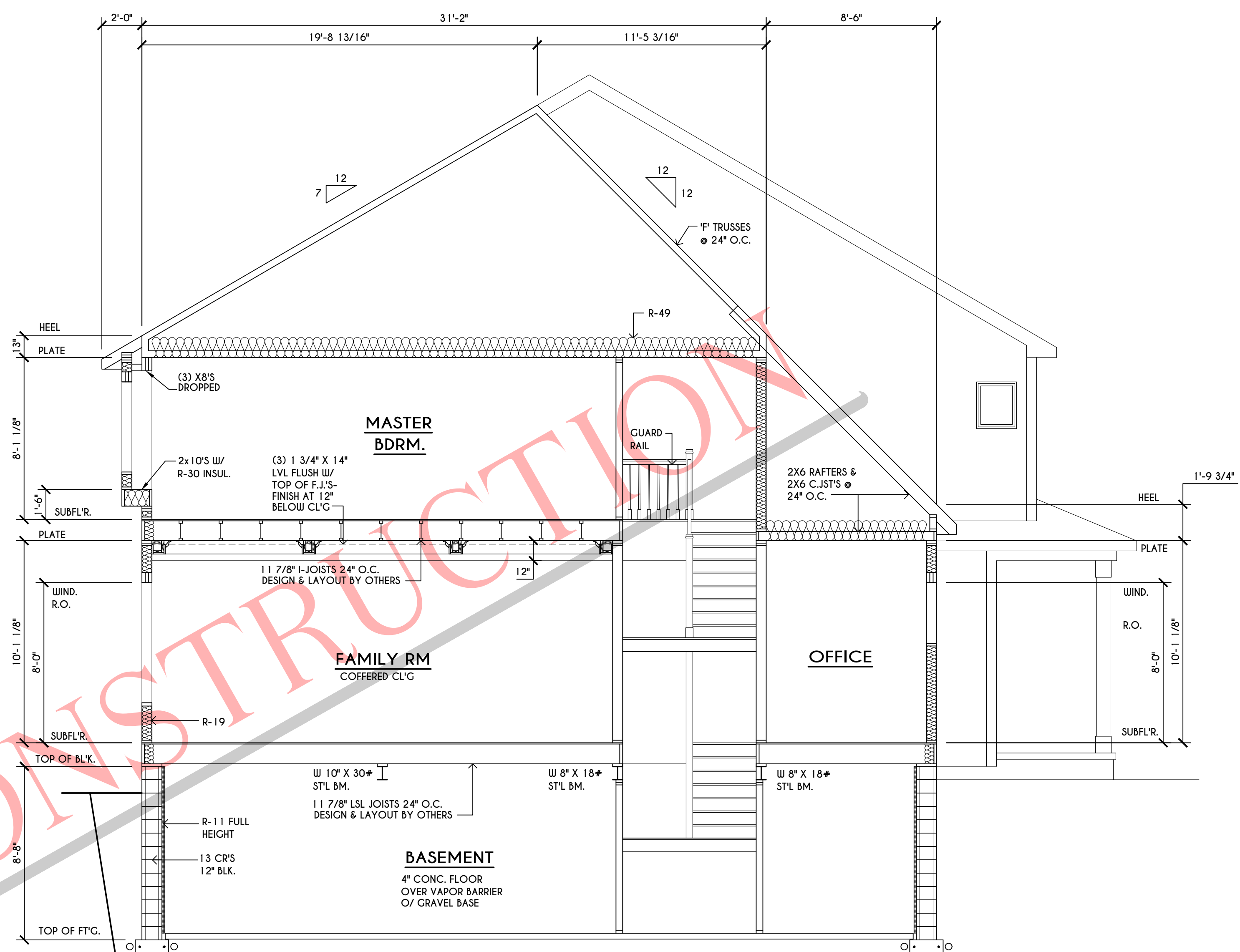
**BUILDER:**  
 GERBER HOMES

**SECTIONS**  
 GLA PLAN 2874

drawn: AMM	checked: XXX
scale: AS NOTED	date: 6/15/21
PROJECT: 15458B	sheet: 5

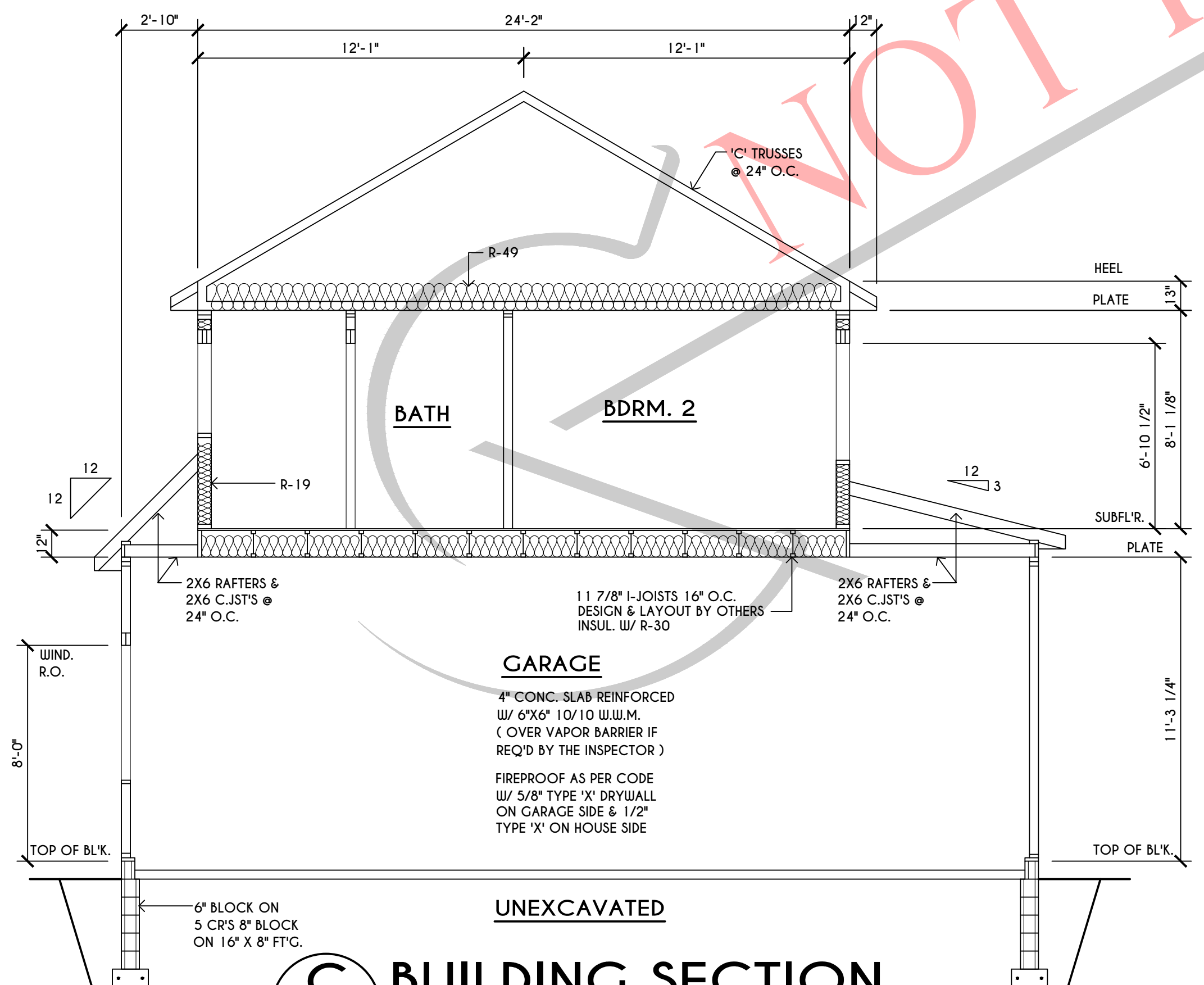


**A BUILDING SECTION**  
 5 SCALE: 1/4" = 1'-0"

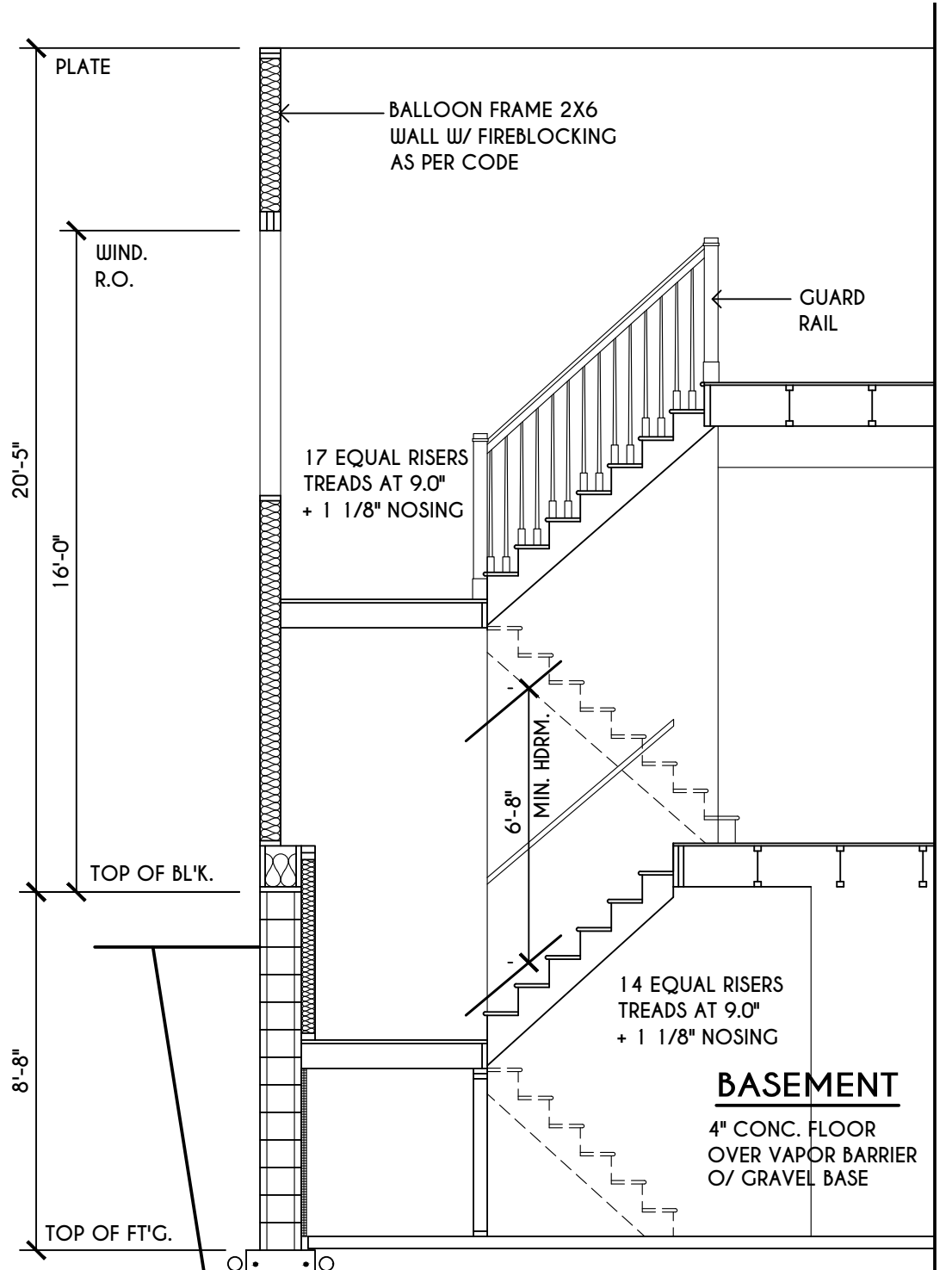


**B BUILDING SECTION**  
 5 SCALE: 1/4" = 1'-0"

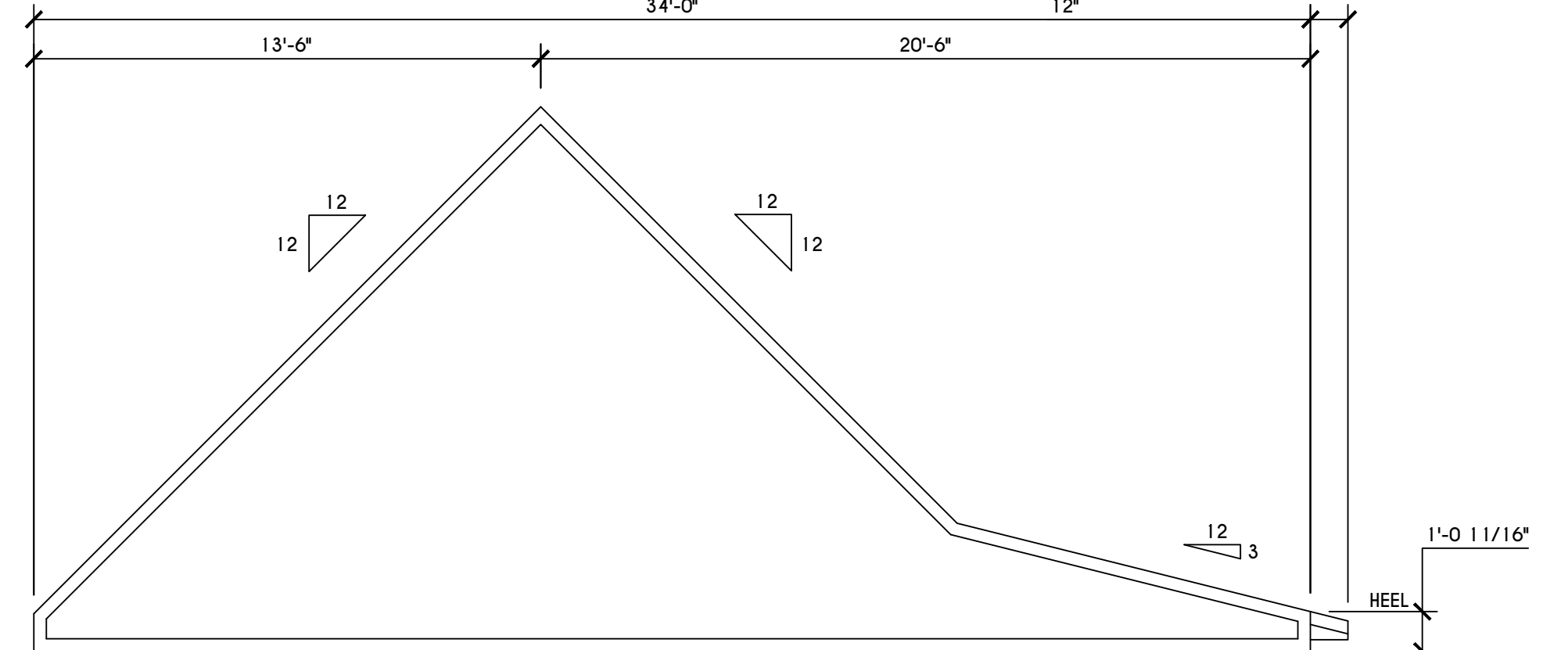
**TRUSS NOTES:**  
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD.  
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER.



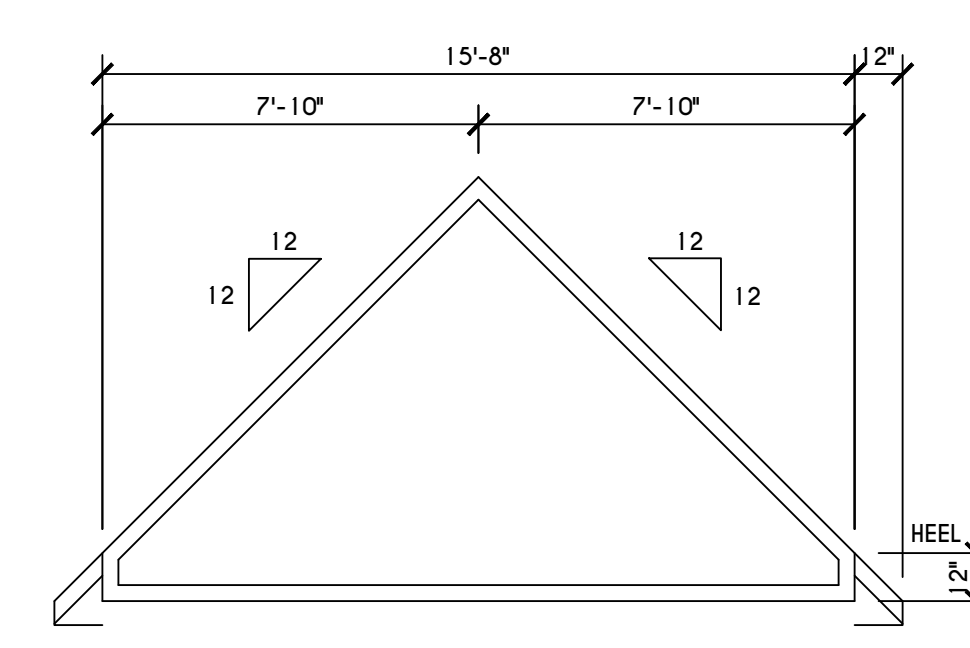
**C BUILDING SECTION**  
 5 SCALE: 1/4" = 1'-0"



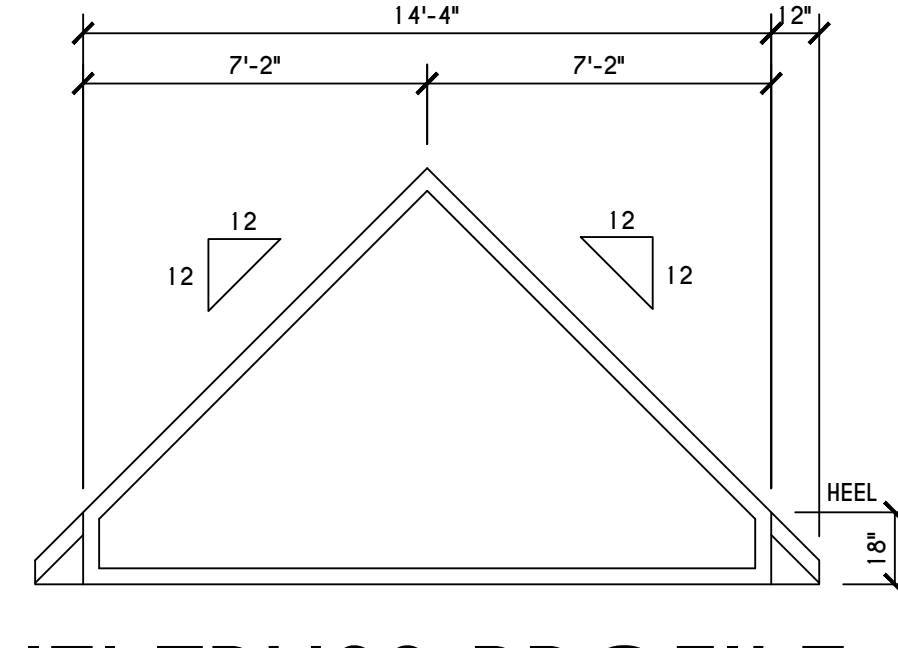
**D BUILDING SECTION**  
 5 SCALE: 1/4" = 1'-0"



**'A' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"



**'B' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"



**'E' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"





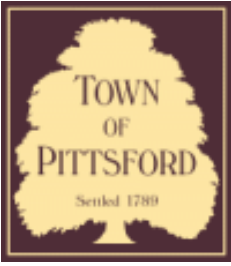
9632094







68



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA21-000002**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3419 Clover Street PITTSFORD, NY 14534

**Tax ID Number:** 177.03-2-26.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Dutko, Frank E

**Applicant:** Dutko, Frank E

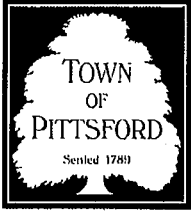
### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN -Residential Neighborhood.

**Meeting Date:** November 11, 2021





# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 3419 clover st
2. Tax Account Number: \_\_\_\_\_
3. Applicant's Name: Frank Dutko and Sandy Plumb  
Address: 3419 clover st Phone: 585-820-3144  
Street  
Pittsford NY 14534 E-mail: \_\_\_\_\_  
City State Zip Code
4. Applicant's Interest in Property:  
Owner:  Lessee:  Holding Purchase Offer:   
Other (explain): \_\_\_\_\_
5. Owner (if other than above): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code  
Has the Owner been contacted by the Applicant? Yes  No
6. Application prepared by: Frank Dutko  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
SAME Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code
7. Project Design Professional (if Available): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

8. Project Contractor (if Available): \_\_\_\_\_  
Address: \_\_\_\_\_ Street \_\_\_\_\_ Phone: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ E-mail: \_\_\_\_\_

9. Present use of Property: Single Family home

10. Zoning District of Property: \_\_\_\_\_

11. Is the property located in a Town Designated Historic District?  
Yes  No

12. Is the property listed on the National Registry of Historic Places?  
Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
Yes  No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

I will like to make the following changes to my home addition plans that was approved back in may 2021

- 1: Remove 1 60x60 window on the first floor south side
- 2: Replace window on south side with a person door and a dog door
- 3: Remove French door on second floor west side and replace with a 36x80 inch door
- 4: install 2 36x48 windows to the west side second floor
- 5: Install 2 36x48 windows to the south side second floor



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

the 36 x 48 windows being added to the second floor will be the same size as windows already on the that side of house

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

- |  |   |
|--|---|
| <input type="checkbox"/> Parcel map      | <input type="checkbox"/> Architectural elevations       |
| <input type="checkbox"/> Photographs     | <input checked="" type="checkbox"/> Architectural plans |
| <input type="checkbox"/> Other materials |   |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Fred E. Dett  
Signature of applicant

11-2-21  
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes  No

If Yes, owner's signature:

Fred E. Dett



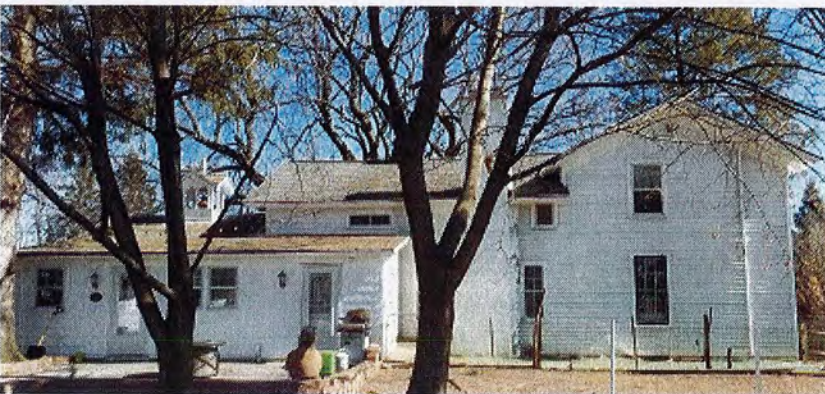
Picture 1

Front view of 3419 Clover St.  
Taken from Clover St looking  
west



Picture 2

Side view of 3419 Clover St.  
Taken from side yard looking  
north



Picture 3

Back view of 3419 Clover St.  
Taken from back yard looking  
east



Picture 4

Front view of 3419 Clover St.  
Taken from side yard looking  
south





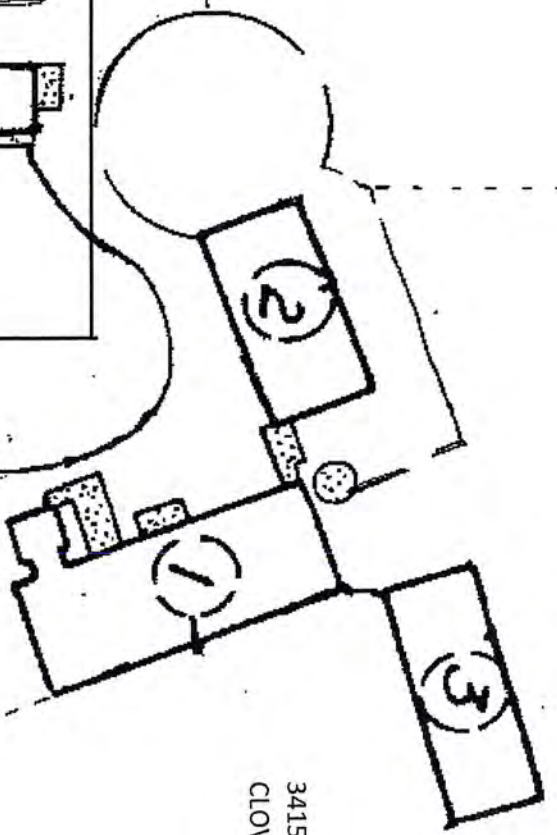
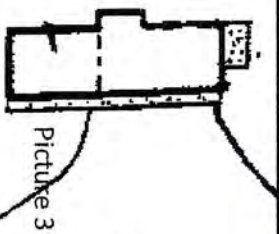
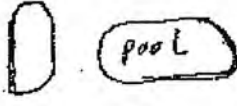
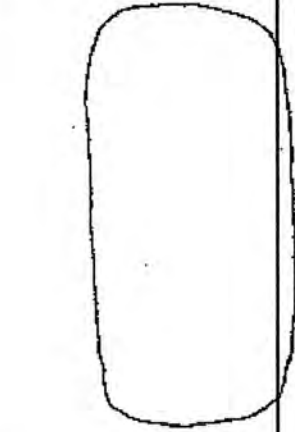
55.49'

REMNANTS  
FENCE &  
W IN BERM.

5.74'

37.28'  
551°07'07"W  
266.76'  
282.41'

3419 Clover St



3415  
CLOVER ST

227.78'

165.91'

RIG POLE  
167A

551°07'07"W

ONE STORY  
FR.

6.7'  
63.93' from R to R along  
line N0° from, and para 1,  
551°07'07"W  
62.50'

550.19















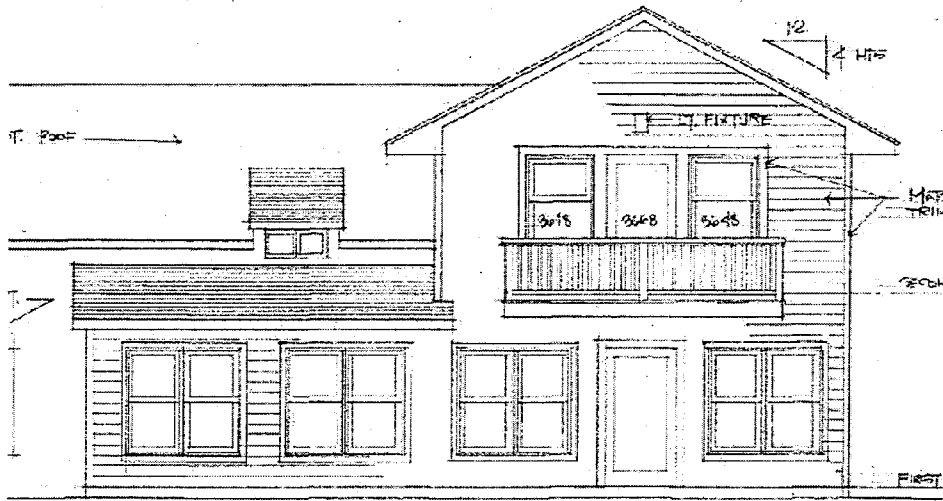




New Proposed

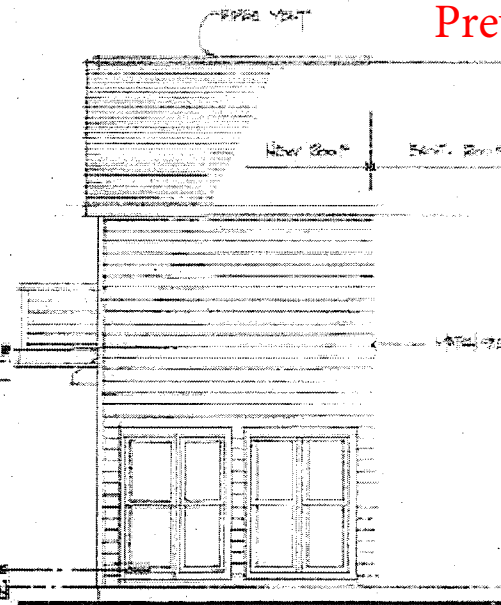
West side

South side

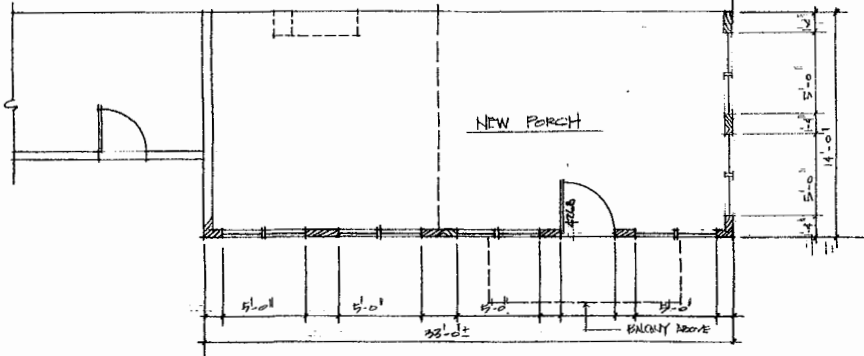


will like to make changes from below picture to above

Previously Approved

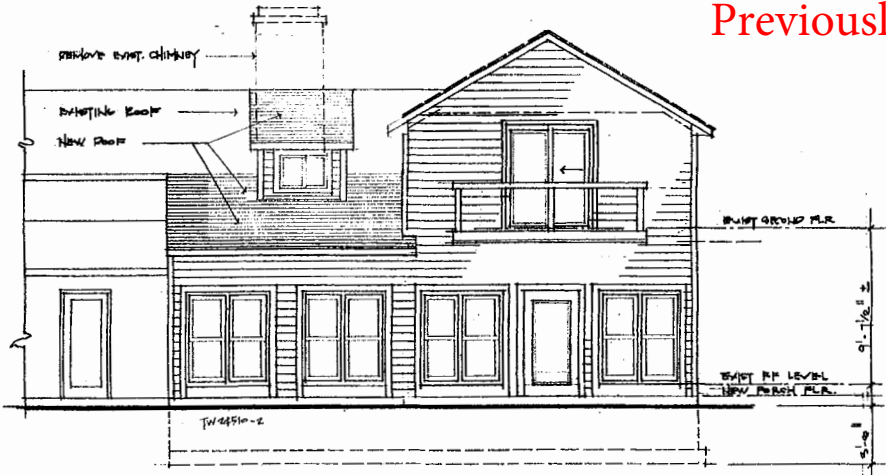






FIRST FLOOR PLAN  
1/4" = 1'-0"

Previously Approved



WEST ELEVATION  
1/4" = 1'-0"

10-10-21

# New Proposed



## WEST ELEVATION

1/4" = 1'-0"

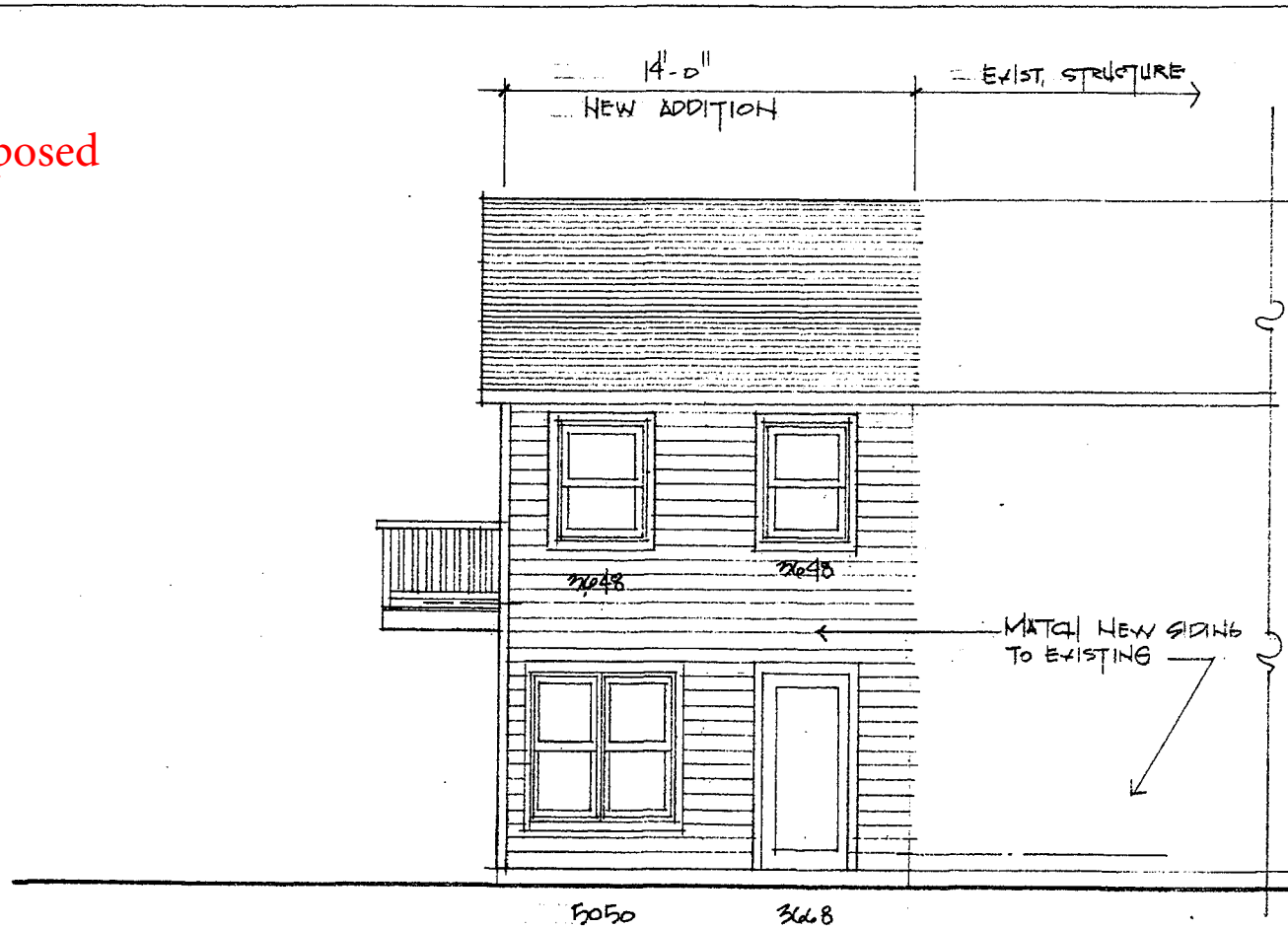
ARCHITECT  
 DAVID A. WALDAREK RA  
 1049 GRAVEL RD  
 WEBSTER, NY 14580

PROJECT  
 DUTKO ADDITION  
 3419 CLOVER ST.  
 PITTSFORD NY 14534

AD-1



New Proposed



SOUTH ELEVATION

1/4" = 1'-0"

APPENDUM #1 - CHANGE WINDOWS & DOORS ON SHTS. AD-1 & AD-2 FROM ORIGINAL CONST. DOCUMENTS

6.10.21

ARCHITECT  
DAVID A. WALDAREK RA  
49 GRAVEL RD  
WEBSTER, NY 14580



PROJECT  
DUTKO ADDITION  
3419 CLOVER ST.  
PITTSFORD NY 14534

AD-2

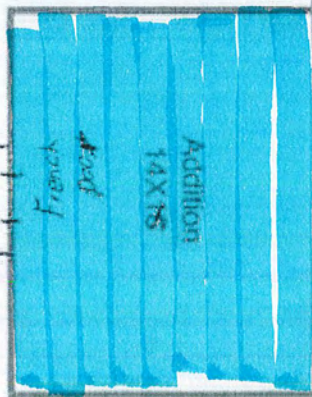




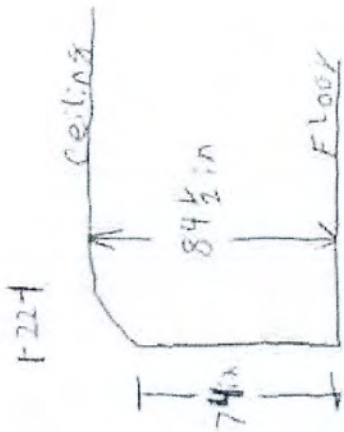
Outside

222 in

Balcony  
4 FT x 2 FT



French door  
Addition  
14 X 16



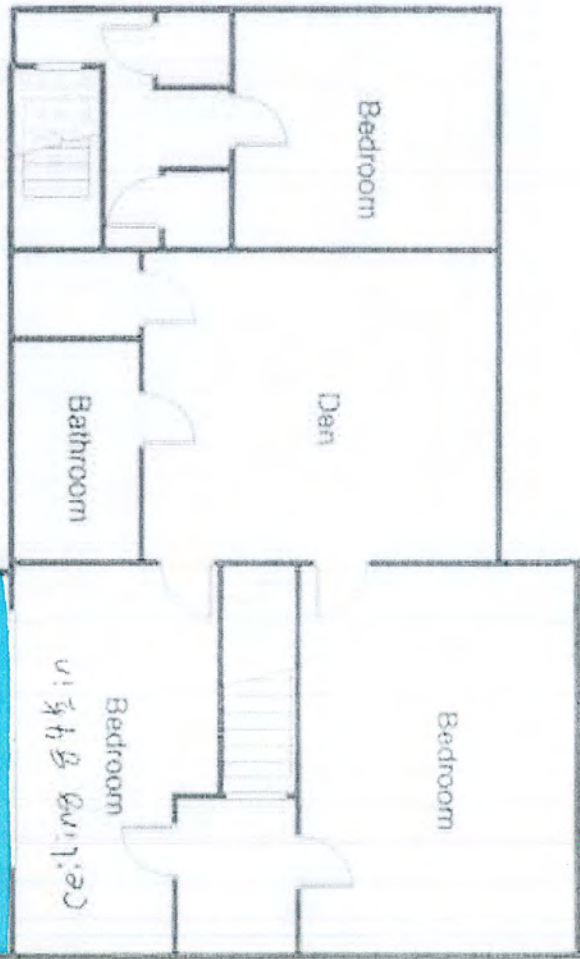
122 in

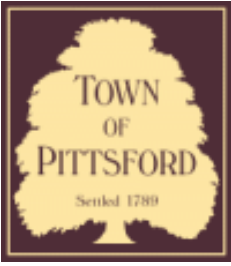
ceiling

84 1/2 in

Floor

74 in





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA21-000008**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3001 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.08-1-71.1

**Zoning District:** C Commercial

**Owner:** Monroe Clover Plaza LLC

**Applicant:** Monroe Clover Plaza LLC

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the expansion of an outdoor patio. This property is zoned MATZ - Monroe Avenue Transitional Zone and is designated historic.

**Meeting Date:** November 11, 2021





**M** MONROE'S OPEN! **BAR & RESTAURANT**  
**SPRINGHOUSE COMMONS**

**BAKERY & CATERING**

NO PARKING  
ANY TIME





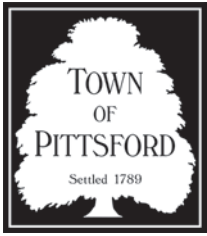












# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 3001 Monroe Avenue Rochester, NY 14618

2. Tax Account Number: 16-1591452

3. Applicant's Name: Monroe Clover Plaza LLC

Address: 259 Alexander Street Phone: (585) 295-9500  
Street  
Rochester, NY 14607 E-mail: \_\_\_\_\_  
City State Zip Code

4. Applicant's Interest in Property:  
Owner:  Lessee:  Holding Purchase Offer:   
Other (explain): \_\_\_\_\_

5. Owner (if other than above): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

Has the Owner been contacted by the Applicant? Yes  No

6. Application prepared by: Buckingham Properties

Address: 259 Alexander Street Phone: (585) 797-3048  
Street  
Rochester, NY 14607 E-mail: AMalbone@buckprop.com  
City State Zip Code

7. Project Design Professional (if Available): HBT Architects

Address: 2 Elton Street Phone: (585) 510-2487  
Street  
Rochester, NY 14607 E-mail: mprattico@hbtarchitects.com  
City State Zip Code

8. Project Contractor (if Available): Buckingham Properties  
Address: 259 Alexander Street Phone: (585) 295-9500  
*Street*  
Rochester, NY 14607 E-mail: \_\_\_\_\_  
*City State Zip Code*

9. Present use of Property: Restuarant/Patio/Green space

10. Zoning District of Property: Commercial

11. Is the property located in a Town Designated Historic District?

Yes  No

12. Is the property listed on the National Registry of Historic Places?

Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes  No

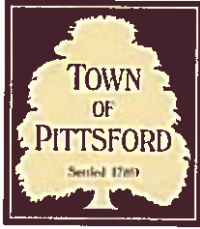
If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

No exterior architectural improvements are being proposed.





# TOWN OF PITTSFORD SITE PLAN AUTHORIZATION TO MAKE APPLICATION

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

*If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.*

I, Monroe Clover Plaza LLC, the owner of the property located

at: 3001 Monroe Avenue, Rochester, NY 14618  
(Street) (Town) (Zip)

Tax Parcel # 150.08-1-71.1 do hereby authorize

Kathy Mott to make application to the

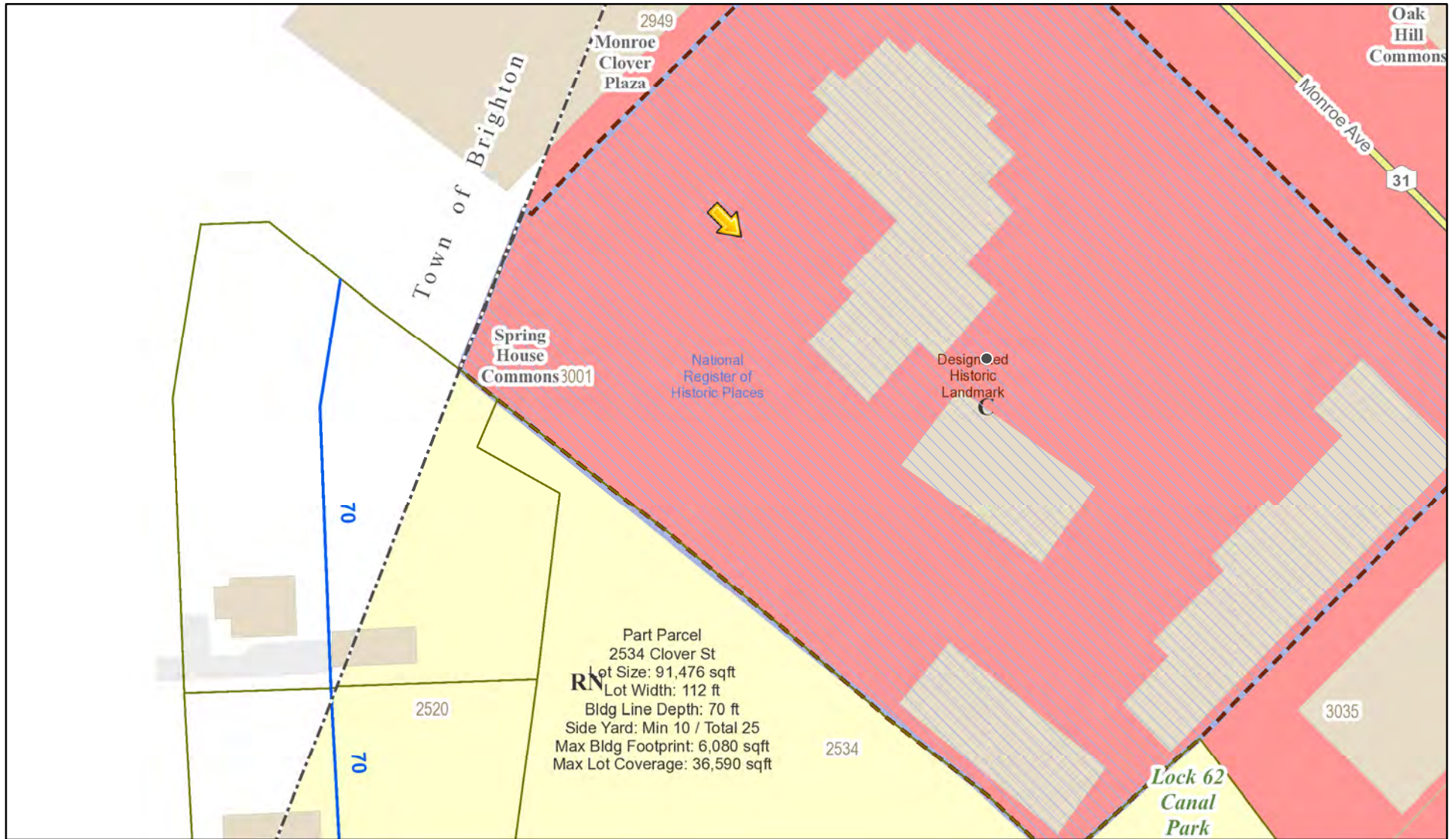
Town of Pittsford Planning Board, 11 South Main Street, Pittsford NY 14534 for the

purpose(s) of expansion of existing outdoor patio space

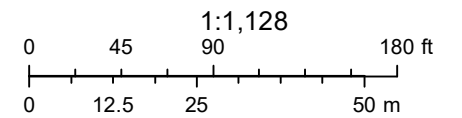
[Handwritten Signature]  
Signature of Owner

September 15, 2021  
Date

# RN Residential Neighborhood Zoning



Printed October 6, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Monroe & 2945 Monroe

31

Monroe Ave

Monroe & 3030 Monroe



Monroe Ave

31

Spring House

65

65

Clover St

65

Bizmark Ln



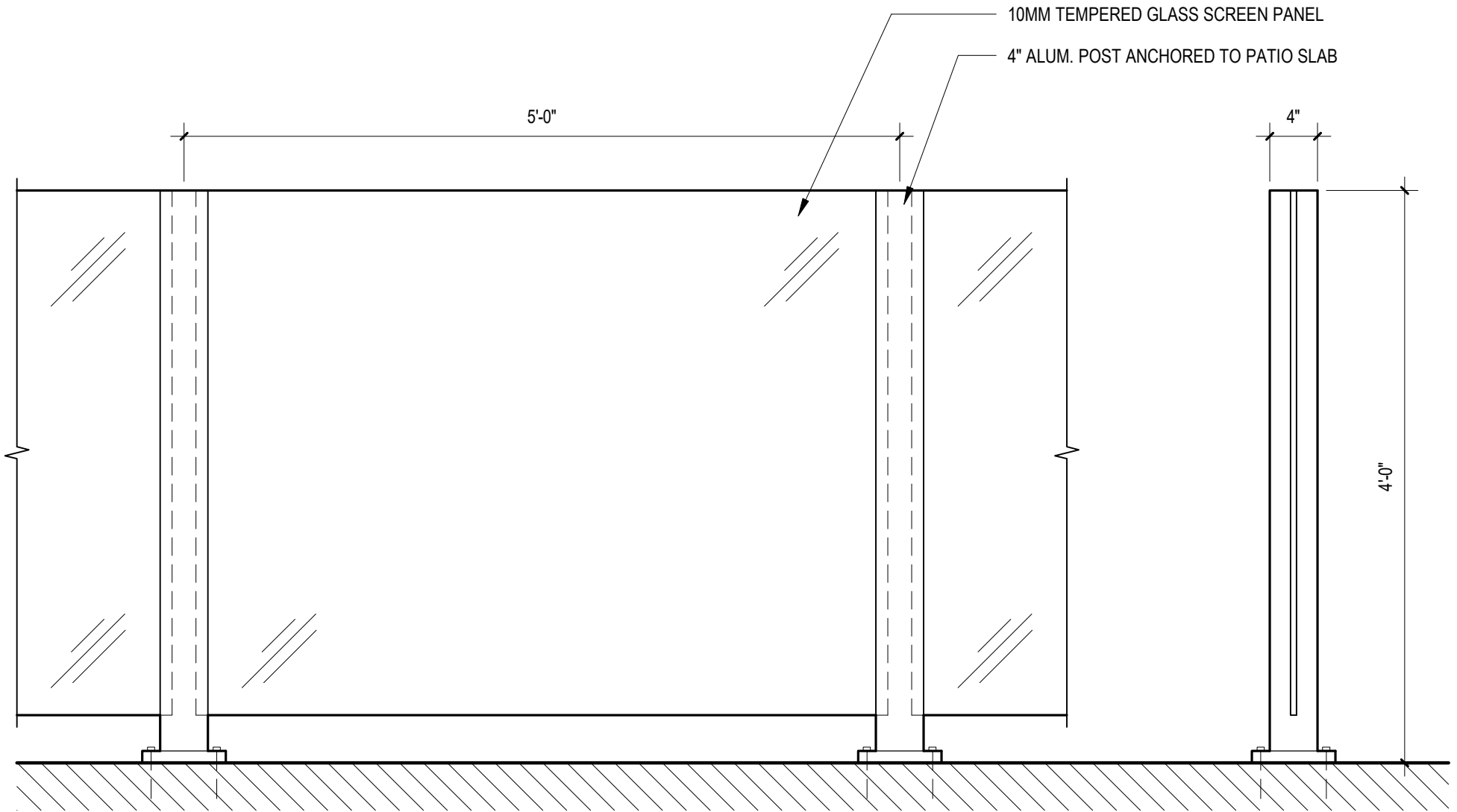


Spring House

Monroe &

Monroe











Buckingham Properties LLC  
259 Alexander Street | Rochester, NY 14607

P: (585) 295-9500 | F: (585) 295-9505  
[www.buckprop.com](http://www.buckprop.com)

# BUCKINGHAM PROPERTIES

Town of Pittsford  
Town Planning Board  
11 South Main Street  
Pittsford, NY 14534

**Re: Monroe's at the Spring House Outdoor Patio**

To whom it may concern;

This letter is in regard to the request for additional patio space and outdoor seating for Monroe's at the Spring House located at 3001 Monroe Avenue.

Currently, per the August 10, 2009 planning board resolution 56 seats for the outdoor patio space are allowed. We are requesting an additional 24 seats to be allowed as well as the expansion of the existing patio space. Please see the attached seating and landscaping plan as reference for this request. We are planning to use the same materials and finishes as to match the existing outdoor patio space.

Thank you for your time and attention on this matter. Any questions or for further information regarding this matter please do not hesitate to contact me directly at 585- 797-3048 or [amalbone@buckprop.com](mailto:amalbone@buckprop.com)

Respectfully,

*AARON MALBONE*

Aaron Malbone

VP of Construction and Development

Buckingham Properties LLC









