

**Design Review & Historic Preservation Board
Agenda
July 22, 2021**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **305 West Bloomfield Road**
The Applicant is returning for design review for the construction of approximately a 2150 sq. ft. addition to add a great room, 2 bedrooms, rear entry and covered porch.
- **55 North Country Club Drive**
The Applicant is returning for design review for the addition of an approximately 336 sq. ft. single car garage with storage as well as an approximately 120 sq. ft. kitchen addition off the back of the house.
- **24 Harleston Lane**
The Applicant is requesting design review for the construction of approximately a 262 sq. ft. addition to the existing garage.
- **8 Sugarbush Lane**
The Applicant is requesting design review for the construction of approximately a 220 sq. ft. addition of a three season room off of the existing kitchen.
- **19 Creekside Lane**
The Applicant is requesting design review for the construction of approximately a 716 sq. ft. addition to expand the garage and add a second story space above for a master suite of the existing house.
- **38 Amber Hill Drive**
The Applicant is requesting design review for the construction of approximately a 266 sq. ft. roof structure over the existing patio off the back of the house.
- **12 Ravenna Crescent**
The Applicant is requesting design review for the construction of approximately an 310 sq. ft. porch roof and deck including an outdoor fireplace to the rear of the house.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **11 Evesham Place**
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5180 sq. ft. and located in the Malvern Hills Subdivision.

COMMERCIAL APPLICATION FOR REVIEW

- **145 Kilbourn Road**
The Applicant is requesting design review for the construction of two guest cottages. The cottages will be approximately 3645 sq. ft. and will front Chapin Way near the Knollwood neighborhood.

CERTIFICATE OF APPROPRIATENESS - RETURNING

- **810 Allens Creek Road**
The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

Design Review and Historic Preservation Board
Minutes
July 8, 2021

PRESENT

Dirk Schneider, Chairman; David Wigg, Vice Chair; Paul Whitbeck, Bonnie Salem, Leticia Fornataro

ALSO PRESENT

Allen Reitz, Building Inspector; Bill Zink, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Robert Koegel, John Mitchell, Kathleen Cristman

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The Board finalized the wording and the spacing for the historical marker for the East Street Burying Ground. Dave Wigg offered to do the installation. Dirk Schneider thanked Bonnie Salem for her efforts to research and acquire the marker for the Town.

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

• **111 Overbrook Road**

The Applicant is returning to request design review for two additions. There will be an addition to the front of the home to expand the dining room and kitchen. There will also be an addition to the rear of the home for an owners suite, mudroom and laundry room. The applicant has received a variance from the Zoning Board for the side setback.

Roger Langer, of Greater Living Architecture, was present to represent the application for the homeowner, Claudia Rubino.

Mr. Langer reviewed the elevation modifications since the last meeting. He noted the addition of a shed roof above the bay window and the elimination of the distressed stone. A window to the garage has added.

Mr. Langer showed examples of a variety of architectural styles on this street.

David Wigg moved to approve the application with the drawings reviewed on 7-8-21.

Dirk Schneider seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW

• **441 Marsh Road**

The Applicant is requesting design review for the construction of a new entryway.

Todd Jones was present to represent the homeowner, Duane Schenk.

Mr. Jones discussed the construction of the porch. The front posts will be 6 x 6 wrapped vinyl for maintenance free finishing.

Paul Whitbeck moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **7 Whispering Meadow**

The Applicant is requesting design review for the construction of 2-story addition approximately 328 sq. ft. off the back of the house. The first floor will consist of a mud/laundry room and the second floor will be a new master bathroom.

The homeowner, Fred Brundige, was present.

Mr. Brundige indicated that the windows and roof will match the existing as closely as possible.

Bonnie Salem moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **522 Marsh Road**

The Applicant is requesting design review for the addition of a two-car garage and renovation. The current carport will be enclosed for living space and an approximately 696 square foot garage will be added to the west.

The homeowner, Nancy Booth, was present.

Dirk Schneider expressed his approval of the symmetry of the design.

The homeowner stated that the garage will be shingled black and the entire roof will eventually be shingled black to match.

Leticia Fornataro moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **7 Lusk Farm Circle**

The Applicant is requesting design review for the addition of a roof structure over an existing deck. The roof structure will be approximately 480 sq. ft. and located to the rear of the property.

The contractor, Keith Nally, was present.

Mr. Nally indicated that the current deck will be demolished and a new deck will be enclosed as a three-season room with all glass. Lattice will be installed underneath the deck. The vinyl windows will be custom colored to match the existing. The roof will also match existing.

Dirk Schneider moved to approve the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **26 Parker Drive**

The Applicant is requesting design review for the addition of a covered front entry. The entry will be approximately 24 sq. ft. and located on the front of the home.

Eric Neu of Graves Bros. will present to represent the homeowner.

The Board commented that the chosen rounded tapered columns (not in evidence in the renderings) are not in character with the proposed porch. It was recommended that a square column with a square base would be more appropriate.

Dirk Schneider moved to approve the application as discussed on 7-8-21 with the recommendation of using square columns.

Bonnie Salem seconded.

All Ayes.

- **29 French Road**

The Applicant is requesting design review for the construction of approximately an 800 sq. ft. addition off the back of the existing house.

The homeowner, Nick Elliott, and contractor, Jeff Lambert of Gaslight Construction were present.

The siding will be vinyl and the windows will be upgraded. The shingles will match the existing.

Paul Whitbeck moved to accept the application as submitted.

Dave Wigg seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

- **99 Coventry Ridge**

The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3200 square feet and located in the Coventry Ridge Subdivision.

Jim Connaughton of Coventry Ridge Building Corporation was present.

The Board discussed the textures and the Azek panel on the front elevation.

Leticia Fornataro moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **8 Evesham Place**

The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5888 sq. ft. and located in the Malvern Hills Subdivision.

Marie Kenton of Ketmar Building Corporation was present.

The exterior will be white with black window trim and stone elements.

The roof will be all asphalt.

Bonnie Salem moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **5 Stable View**

The Applicant is requesting design review for the construction of a two story single family home.

Lou Masi of Mascot Building Corp. was present.

The Board discussed concerns regarding the busy detailing of the front elevation and the lack of stone returns. They felt that the front elevation should be simplified and all of the bull nose returns were unnecessary. Also, to provide consistency with previous design approvals, that stone returns need to be a condition of approval.

Dirk Schneider moved to approve the application as submitted with conditions:

1. Removal of the bull nose roof detail on two locations on the front elevation extending the associated materials in those gables to the ridgeline.
2. The stone shown on the front elevation at the area of the water table to return to the garage door trim and also full height return to the gable projection and a minimum 2 ft. return on the left hand side with the recommendation of running the brick all the way back to the porch.

David Wigg seconded.

All Ayes.

Mr. Masi requested that the changes be sent to him in writing.

DISCUSSION

Discussion was held regarding the Wright House and the designated home at 181 Sylvania Road.

OTHER – REVIEW OF 6/24/2021 MINUTES

Bonnie Salem moved to accept the minutes of June 24, 2021

Dirk Schneider seconded.

All Ayes.

ADJOURNMENT

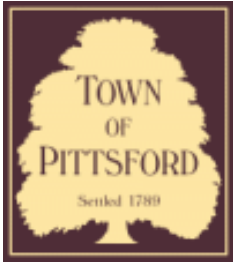
Chairman Dirk Schneider moved to close the meeting at 8:15 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000145

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 305 West Bloomfield Road PITTSFORD, NY 14534

Tax ID Number: 192.01-1-29.1

Zoning District: RN Residential Neighborhood

Owner: Krenzer, Michael

Applicant: Krenzer, Michael

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning for design review for the construction of approximately a 2150 SF addition to add a great room, 2 bedrooms, rear entry and covered porch.

Meeting Date: July 22, 2021

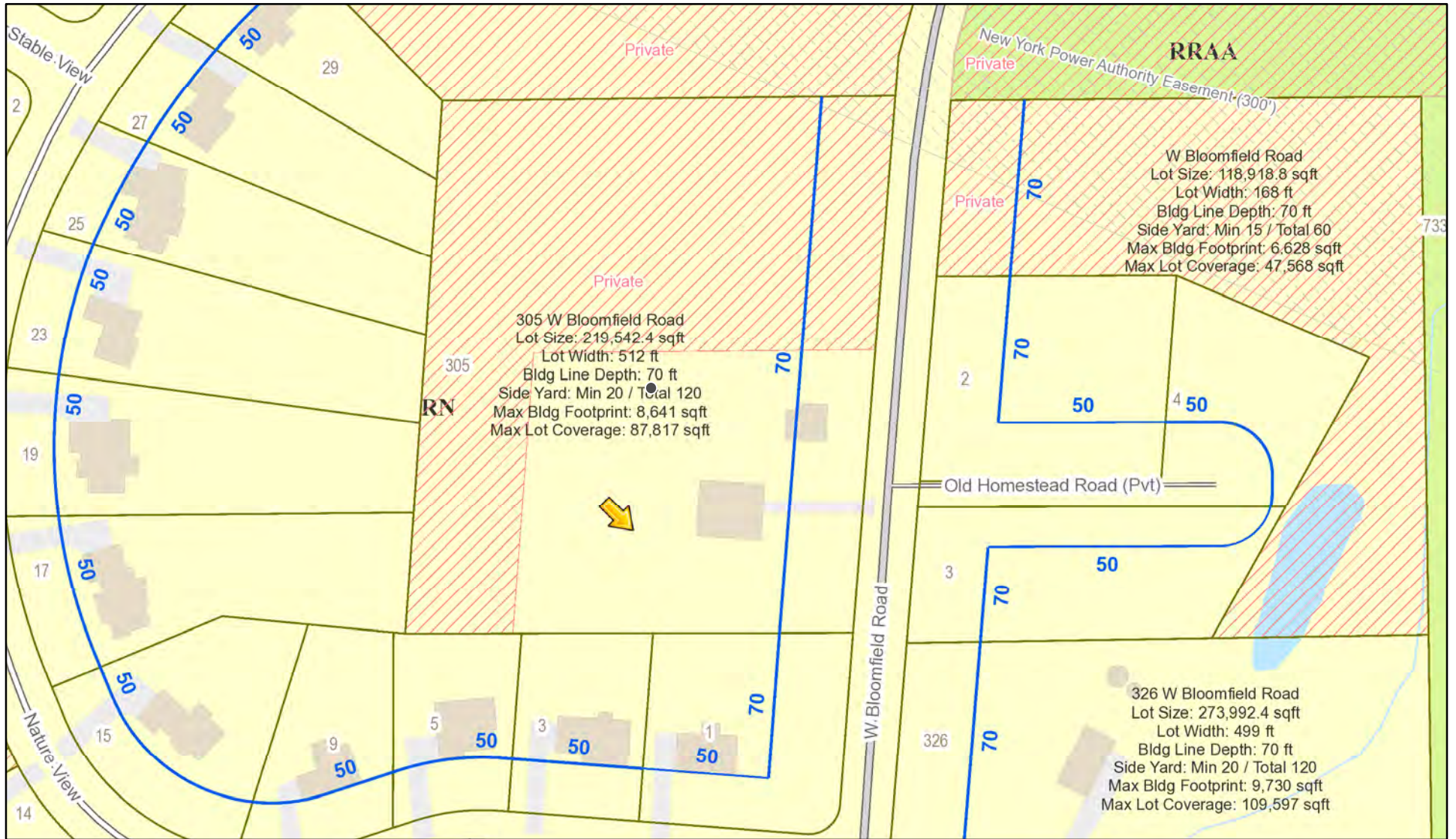


305 W. BLOOMFIELD RD

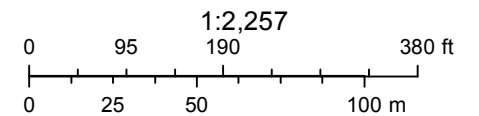


305 W. BLOOMFIELD RD

RN Residential Neighborhood Zoning



Printed July 12, 2021



Town of Pittsford GIS

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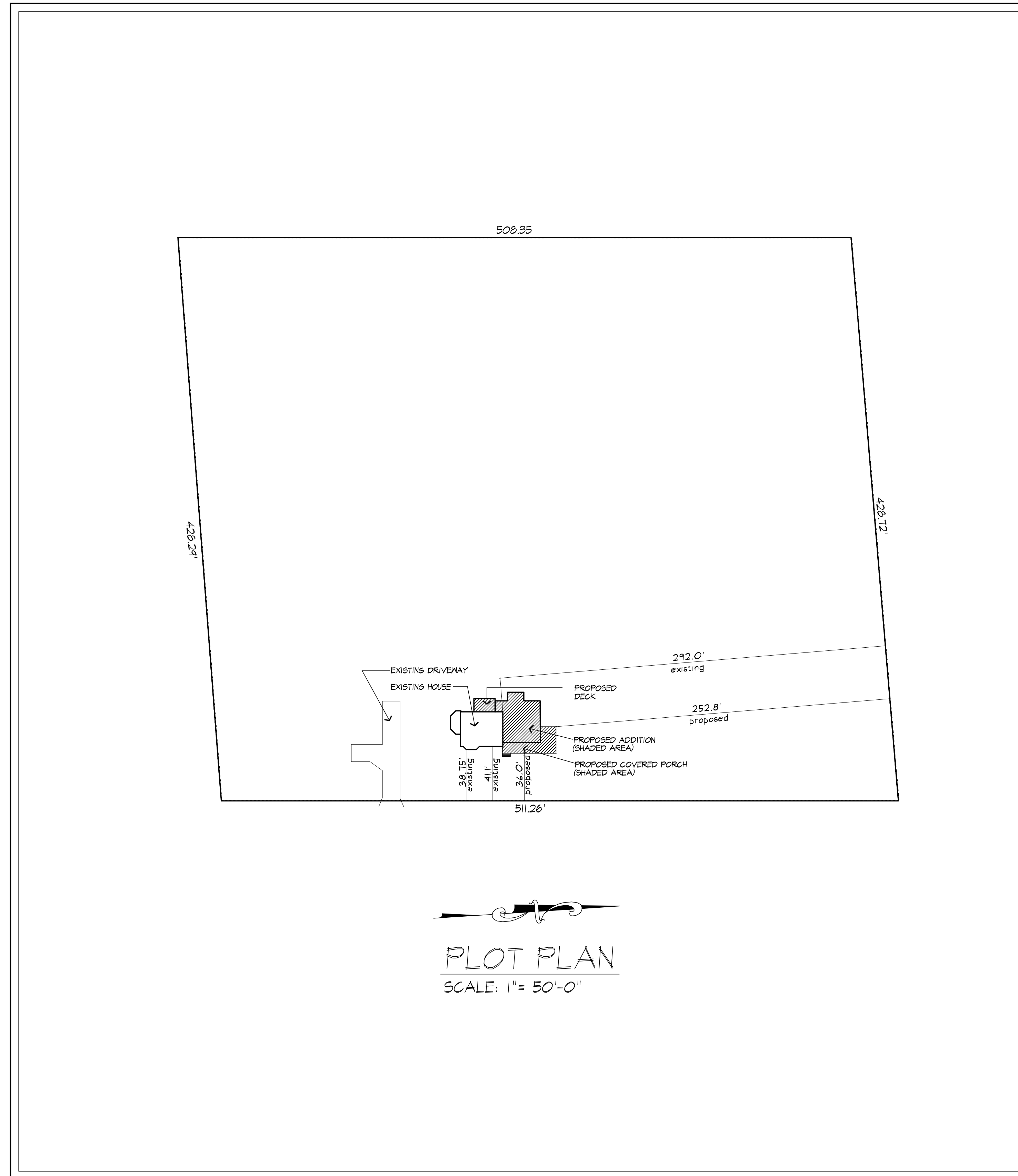


West Bloomfield Road

Old Homestead Road

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C40 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-36. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDS (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE BUILDING CODE OF NEW YORK STATE (2020).
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PROPOSED ADDITION TO RESIDENCE
305 W. BLOOMFIELD RD.
PITTSFORD, NY 14534

DRAWING INDEX


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6	SECOND FLOOR PLAN - proposed
7	ROOF PLAN - propsoed
8	BUILDING SECTIONS - proposed
9	TYPICAL NOTES
10	EXISTING ELEVATIONS - with removals shown
11	EXISTING FLOOR PLANS - with removals shown

ENERGY COMPLIANCE DETAILS & PATH		
MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5		
COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH	
1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1	
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.3	
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1	
4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4	
5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)	
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3	
7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1	
8. MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS PER SECTION M1507.3.3 REQUIREMENT.	
9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.	
10. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.1 REQUIREMENTS.	

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1



MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NY, NY, PA, SE

**121 Sully's Trail
Pittsford, NY 14534**

**(585) 264-1330
(585) 264-1333 Fax**

www.MorabitoArchitects.com

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PROJECT:
PROPOSED ADDITION TO RESIDENCE
305 W. BLOOMFIELD RD
PITTSFORD, NY 14534

CLIENT:
LEIGH VANGSTRAND AND
MIKE KRENZER

DRAWING:
TITLE PAGE

DRAWN: JTL/PM	CHECKED: PM
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DATE: JUNE 22, 2021


SCALE: 1/4"=1'-0"


JOB NO.: 20M3463

SHEET:

1

OF 11 SHEETS





MORABITO ARCHITECTS
 PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
 LICENSED IN CO., MA., ME., NY, NY, PA., SC

121 Sully's Trail
 Pittsford, NY 14534

(585) 264-1330
 (585) 264-1333 Fax

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PROJECT:
 PROPOSED ADDITION TO RESIDENCE
 305 W. BLOOMFIELD RD
 PITTSFORD, NY 14534


CLIENT:
 LEIGH VANOSTRAND AND
 MIKE KRENZER

DRAWING:
 ELEVATIONS - PROPOSED

DRAWN: JTL/PM	CHECKED: PM
DATE: JUNE 22, 2021	
SCALE: 1/4"=1'-0"	
JOB NO.: 20M3463	
SHEET:	

2

OF 11 SHEETS




FRONT ELEVATION
 ADDITION AREA: 1066 SQ FT
 1620 SQ FT EXISTING
 2686 SQ FT TOTAL



LEFT SIDE ELEVATION

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M 1504.2.

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE.

TABLE M 1504.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT					SMOOTH WALL DUCT				
	50	80	100	125	150	50	80	100	125	150
FAN AIRFLOW RATINGS CFM @ 0.25 INCH WG A										
DIAMETER B (INCHES)										
	X	X	X	X	X	X	X	X	X	X
3										
4	56	4	X	X	X	104	31	10	X	X
5	NL	81	42	16	2	X	X	NL	82	41
6	NL	NL	58	41	55	1	X	NL	NL	168
7	NL	NL	NL	161	78	40	X	NL	NL	148
8 AND ABOVE	NL	NL	NL	NL	184	111	64	NL	NL	NL

FOR S: 1 FOOT + 3/8 IN. WH
 A: FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/AMCA 20-AN/ABR48-21
 B: FOR NONRECTANGULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
 C: THE NUMBER THAT FOLLOWS ARE NOT 100% FEET OF ALLOWABLE DUCT LENGTH SHALL BE PROVIDED FOR EACH ELBOW INSTALLED IN THE DUCT RUN
 D: X = VIOLATION OF DUCT LENGTH OF THIS SIZE
 E: X = NOT ALLOWED, ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

WINDOW FALL PROTECTION
 R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.

R312.2.1 WINDOW SILLS
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES, WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING
 R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308.

R308.4.1 GLAZING IN DOORS
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BI-FOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. GLAZING OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
 2. DECORATIVE GLAZING

R308.4.2 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING
 GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
 R314/R315

R314.3 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 1. IN EACH SLEEPING ROOM.
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS.
 4. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
 WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM.
 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
 UNLESS OTHERWISE NOTED

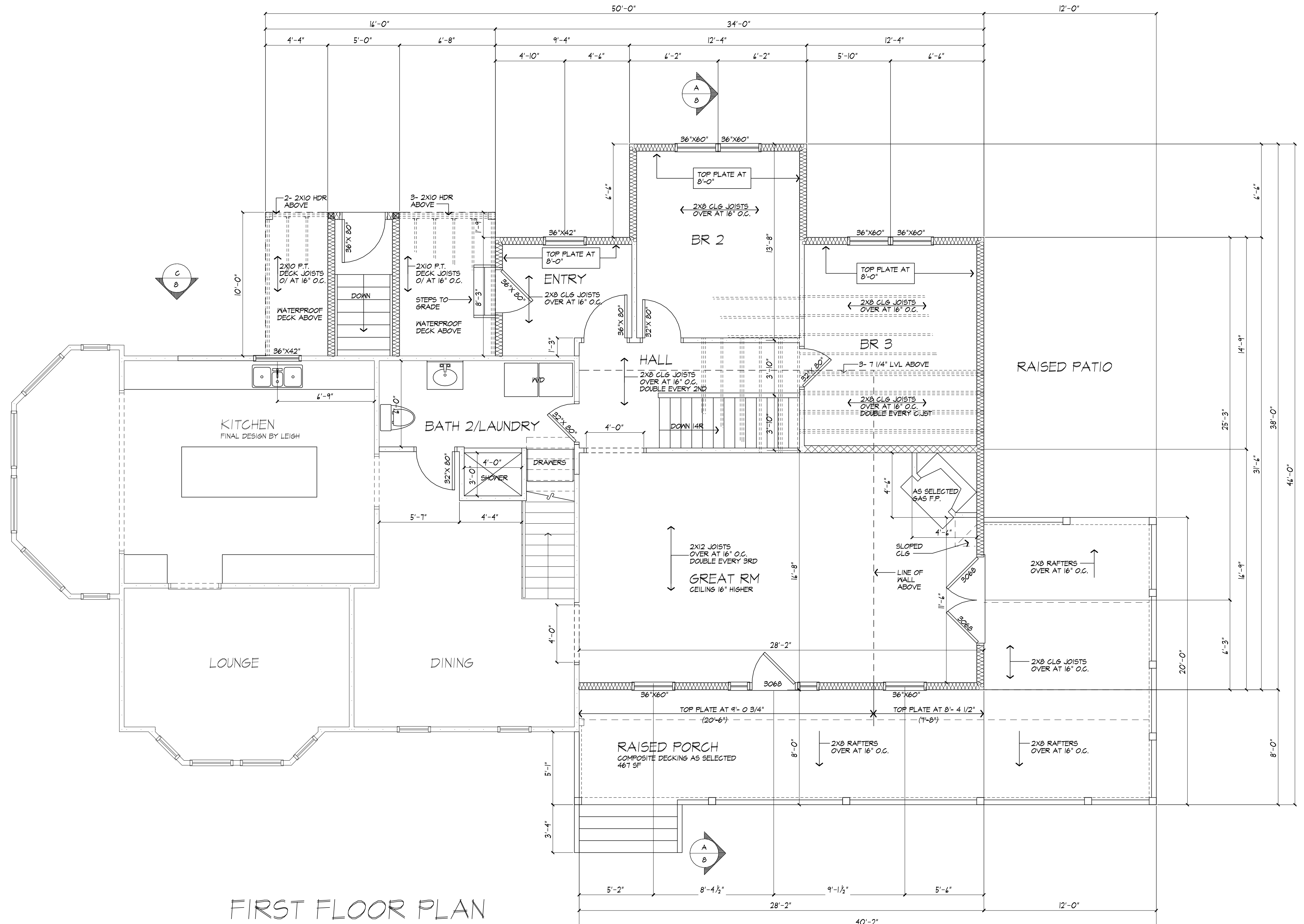
OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" PLY. WD. GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" PLY. WD. GUSSETS - 2X4 WALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16" O.C.		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16" O.C. (INTERIOR WALL)		
	2X4 STUDS @ 16" O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS



FIRST FLOOR PLAN

AREA OF EXIST. TO REMAIN: 977 SQ FT
 AREA OF ADDITION: 1066 SQ FT
 AREA OF RAISED PORCH: 467 SQ FT

GAS F.P. NOTE:
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.

PLUMBING NOTE:
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



MORABITO ARCHITECTS
 PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
 LICENSED IN CO, MA, ME, NY, NY, PA, SC

121 Sully's Trail
 Pittsford, NY 14534

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PROJECT:
 PROPOSED ADDITION TO RESIDENCE
 305 W. BLOOMFIELD RD
 PITTSFORD, NY 14534

CLIENT:
 LEIGH VANGOSTRAND AND
 MIKE KRENZER

DRAWING:
 1ST FLOOR PLAN
 PROPOSED

DRAWN: JTL/PM
CHECKED: PM

DATE: JUNE 22, 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20M09469

SHEET:

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1506.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M 1506.2.

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE.

TABLE M 1506.2 - DUCT LENGTH		FLEX DUCT										SMOOTH WALL DUCT										
FAN AIRFLOW RATING CFM @ 0.25 INCH W.G.A.	DIAMETER B (INCHES)	50	60	80	100	125	150	200	250	300	350	400	500	600	700	800	1000	125	150	200	250	300
3		X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4		X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
5		NL	8	42	6	2	X	X	X	NL	52	41	51	28	4	X	X	X	X	X	X	X
6		NL	NL	58	41	51	18	11	X	NL	NL	188	12	53	25	4	X	X	X	X	X	X
7		NL	NL	NL	NL	91	78	40	H	NL	NL	NL	NL	148	88	54	X	X	X	X	X	X
8 AND ABOVE		NL	NL	NL	NL	NL	104	111	64	NL	NL	NL	NL	NL	108	135	X	X	X	X	X	X

FOR SI: 1 FOOT = 304.8 MM
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/AMCA 200-ANSI/AFRAME 51
 B. FOR NON-CIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS-SECTIONAL AREA DIVIDED BY THE PERIMETER
 C. THE TABLE ASSUMES THAT BLOBS ARE NOT USED; FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH BLOB RESULTED IN THE DUCT RUN
 D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE
 E. X = NOT ALLOWED; ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

WINDOW FALL PROTECTION
R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.

R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING
R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308.

R308.4.1 GLAZING IN DOORS. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

EXCEPTIONS:

1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
2. DECORATIVE GLAZING

R308.4.1.1 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

EXCEPTIONS:

1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE
2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
R314/R315

R314.5 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA. WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

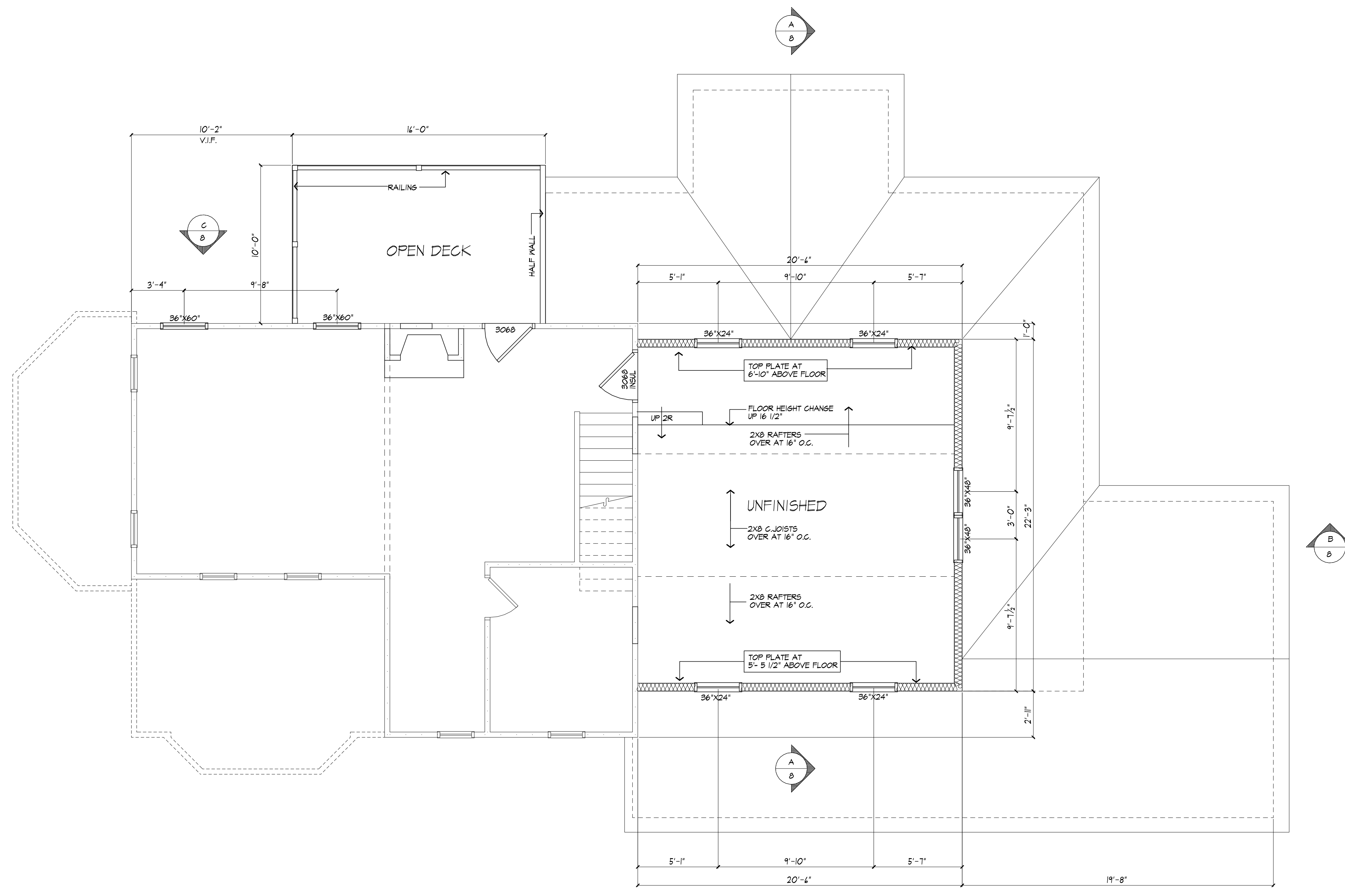
OPENINGS	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" FLY. WD. GUSSETS - 2X6 MALL
 PROVIDE (1) 1/2" FLY. WD. GUSSETS - 2X4 MALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16' O.C. W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16' O.C. (INTERIOR WALL)		
	2X4 STUDS @ 16' O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS



SECOND FLOOR PLAN

AREA OF EXIST. TO REMAIN: 643 SQ FT
 AREA OF COLD STORAGE ADDITION: 456 SQ FT
 AREA OF OPEN PORCH ADDITION: 160 SQ FT

PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R807.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER

MORABITO ARCHITECTS
 PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
 LICENSED IN CO., MA, ME, NY, NY, PA, SC

121 Sully's Trail
 Pittsford, NY 14534

(585) 264-1330
 (585) 264-1333 Fax

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PROJECT:
 PROPOSED ADDITION TO RESIDENCE
 305 W. BLOOMFIELD RD
 PITTSFORD, NY 14534

CLIENT:
 LEIGH VANGSTRAND AND
 MIKE KRENZER

DRAWING:
 2ND FLOOR PLAN
 PROPOSED

DRAWN: JTL/PM	CHECKED: PM
-------------------------	-----------------------

DATE: JUNE 22, 2021

SCALE: 1/4"=1'-0"

JOB NO.: 2019-468

SHEET:

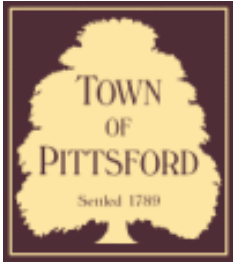
6

OF 11 SHEETS









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000123

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 55 North Country Club Drive ROCHESTER, NY 14618

Tax ID Number: 151.05-1-25

Zoning District: RN Residential Neighborhood

Owner: Fuss, William A

Applicant: Aaron Wolfe Buiders

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning for design review for the addition of an approximately 336 SF single car garage with storage as well as an approximately 120 SF kitchen addition off the back of the house

Meeting Date: July 22, 2021

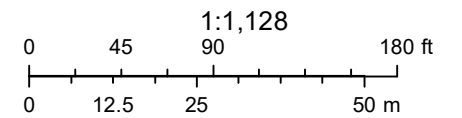
Back to Map



RN Residential Neighborhood Zoning

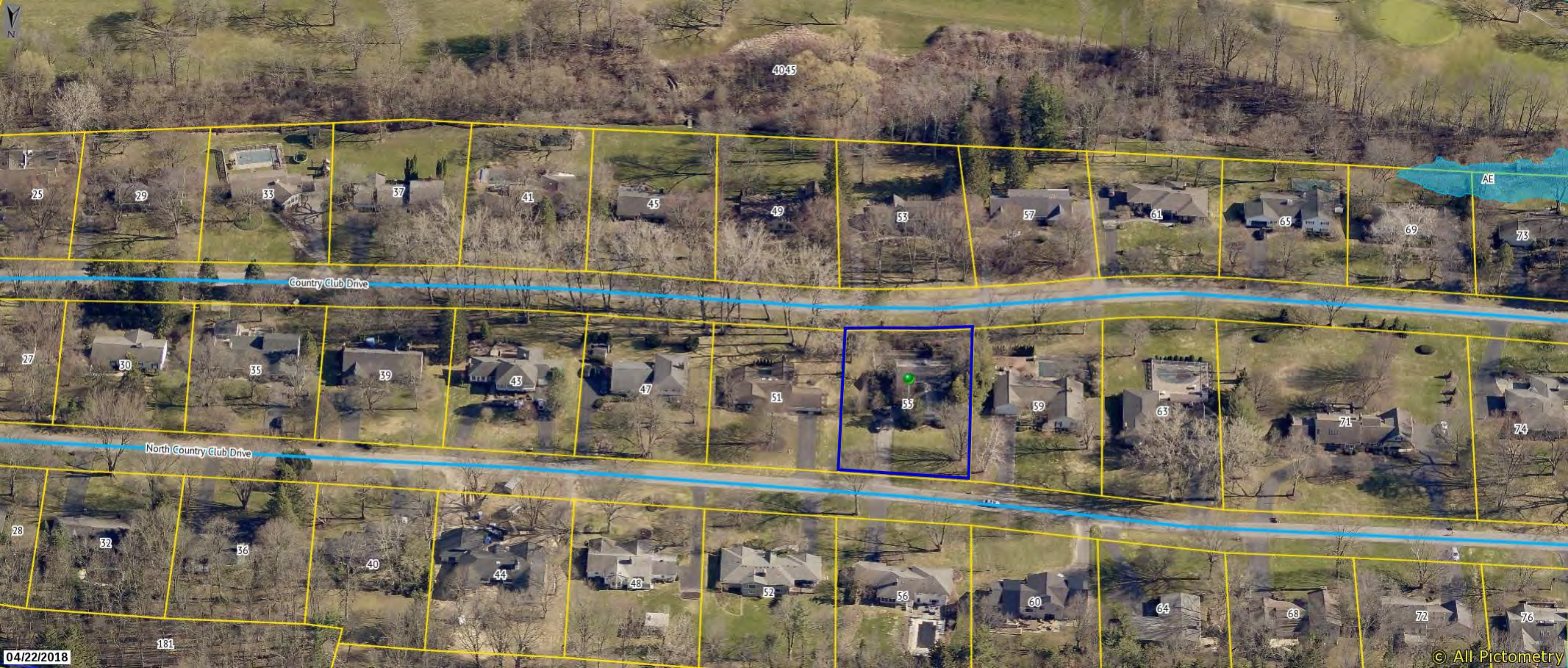


Printed August 7, 2020



Town of Pittsford GIS

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4045

25

29

33

37

41

45

49

53

57

61

65

69

73

AE

Country Club Drive

27

30

35

39

43

47

51

55

59

63

71

74

North Country Club Drive

28

32

36

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44

48

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72

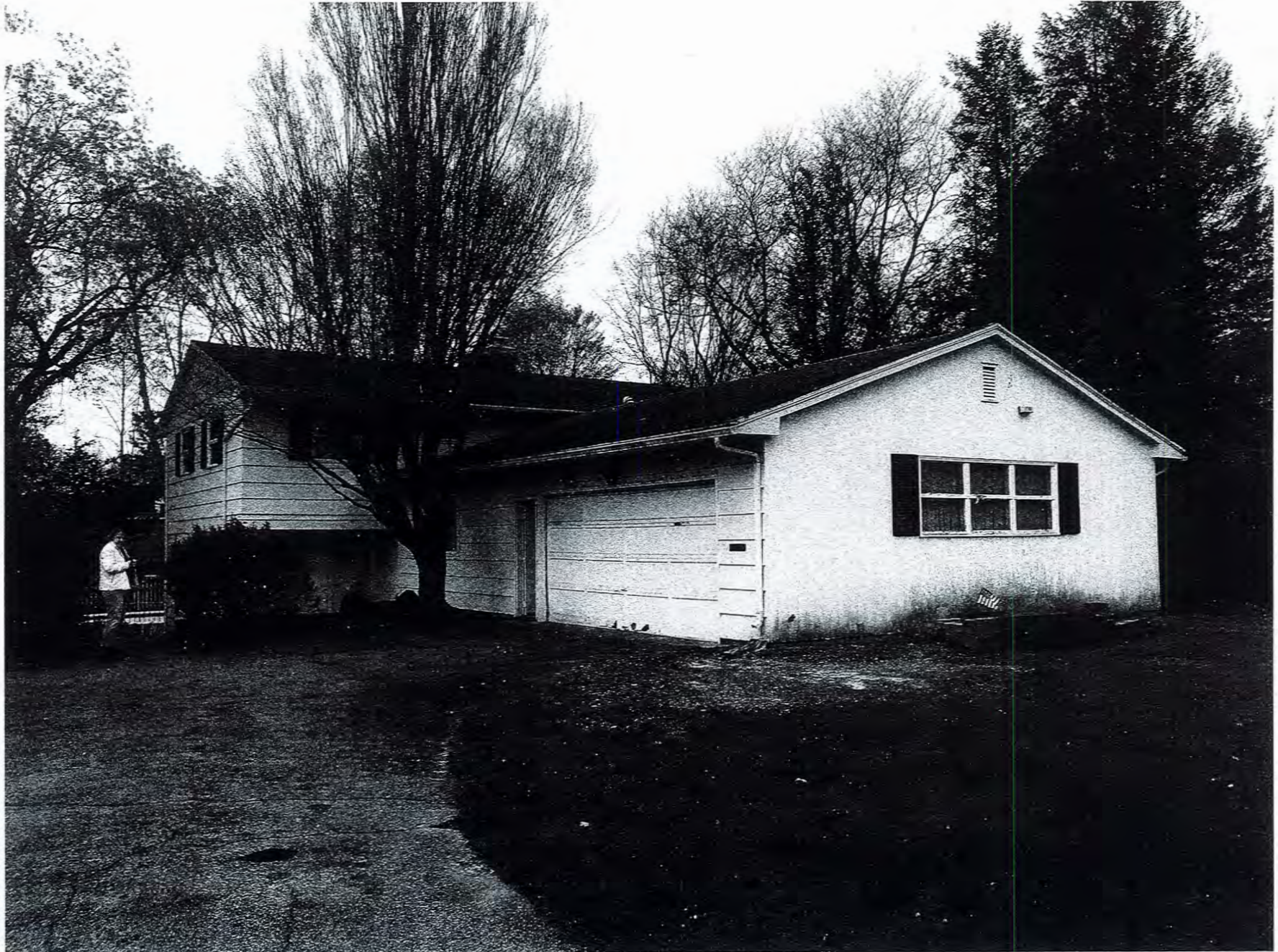
76

181

04/22/2018

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9/10/20 APPROVED DRAWINGS



9/10/20 APPROVED DRAWINGS

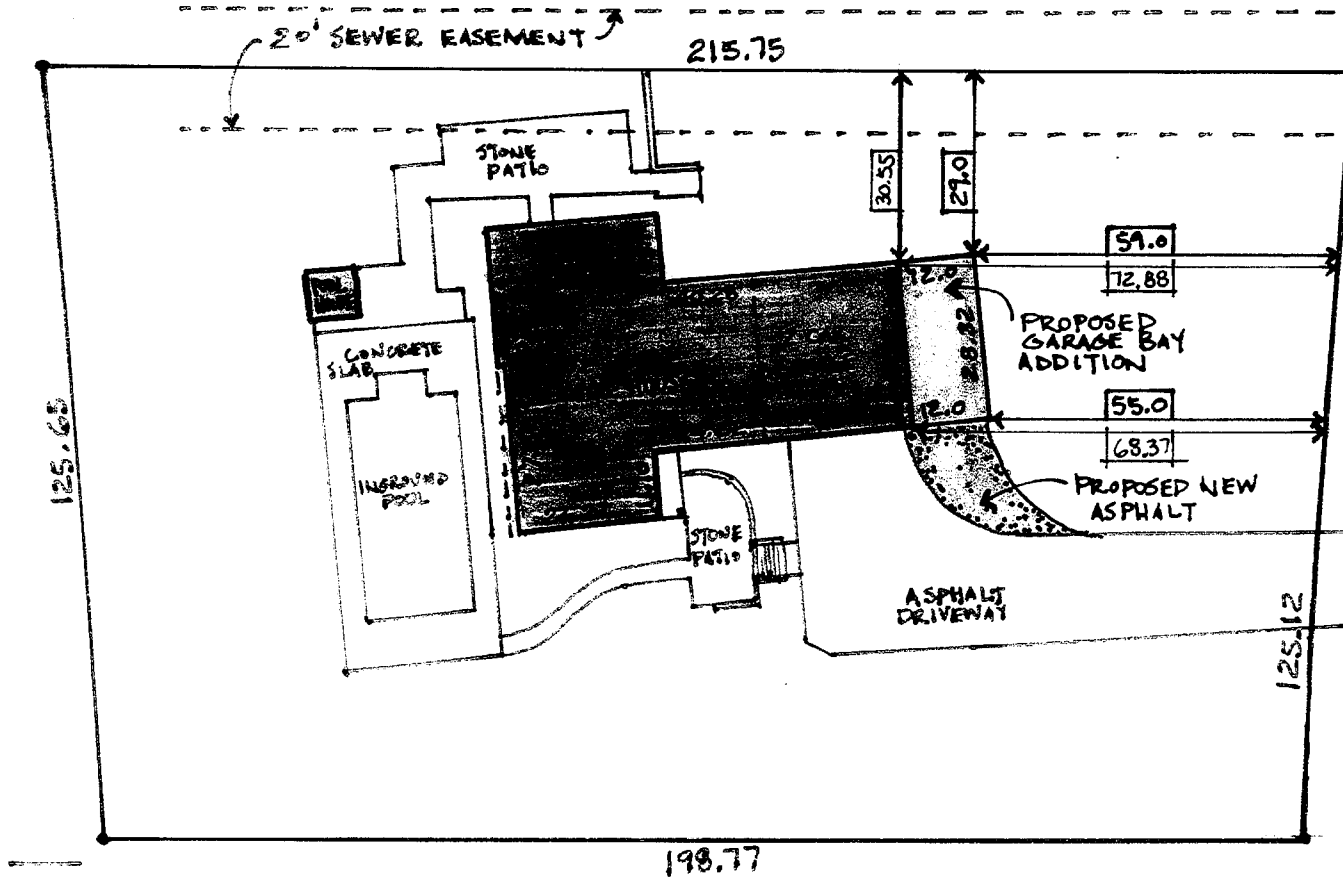
SITE PLAN

1" = 20.0'



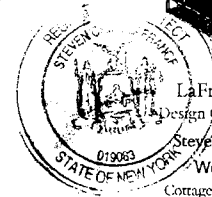
PROPOSED ADDITION

55 COUNTRY CLUB DR.
ROCHESTER, N.Y.
14618



NORTH COUNTRY CLUB DRIVE
60.0 R.O.W.

5-24-2020



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Steven LaFrance - Architect
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Whole House Remodels - Facelifts
Family Rooms - Sunrooms
Bedroom Suites - Kitchens - Baths
Garages - Workshops - Poolhouses
Examples at LaFranceArchitects.com
585 - 739 - 5039

9/10/20 APPROVED DRAWINGS

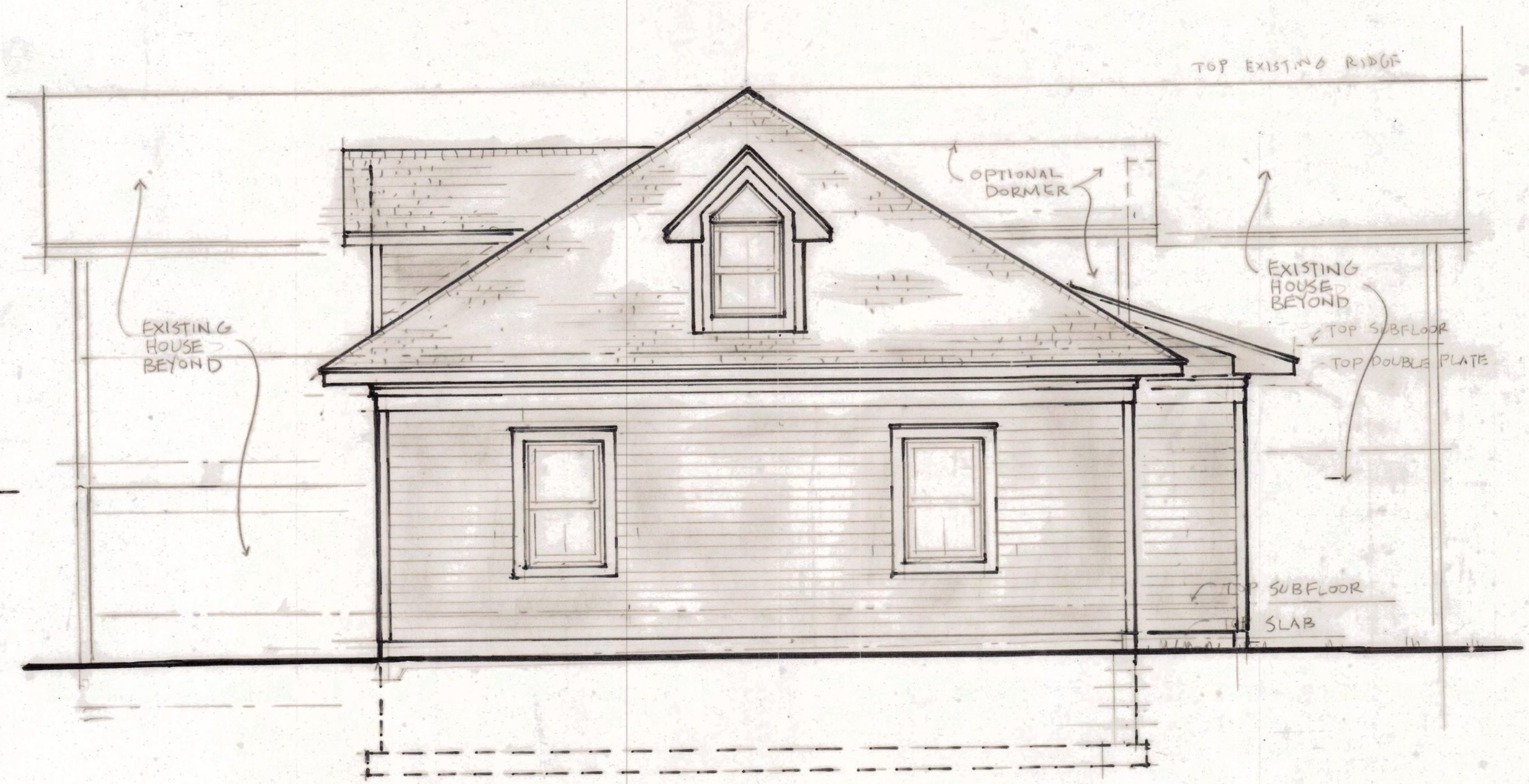


PROPOSED ADDITION

55 COUNTRY CLUB DR.
ROCHESTER, N.Y.
14618

GL 5-26-2020

9/10/20 APPROVED DRAWINGS



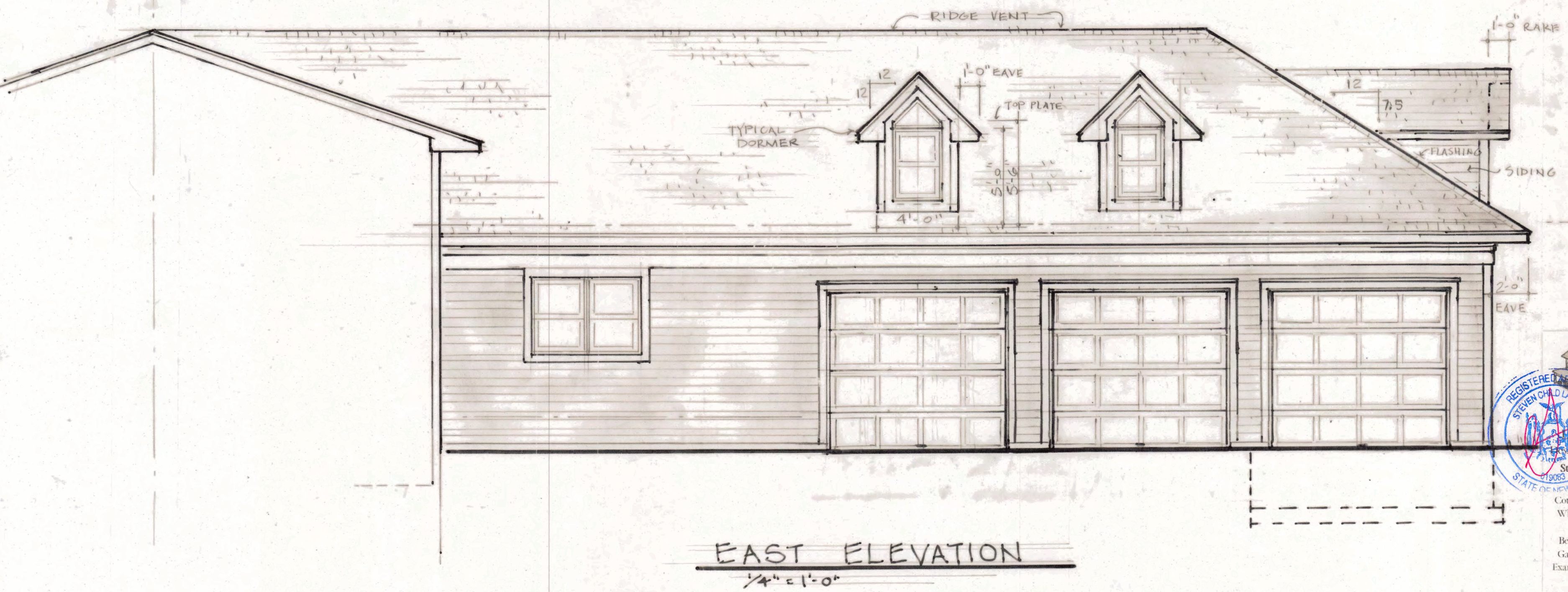
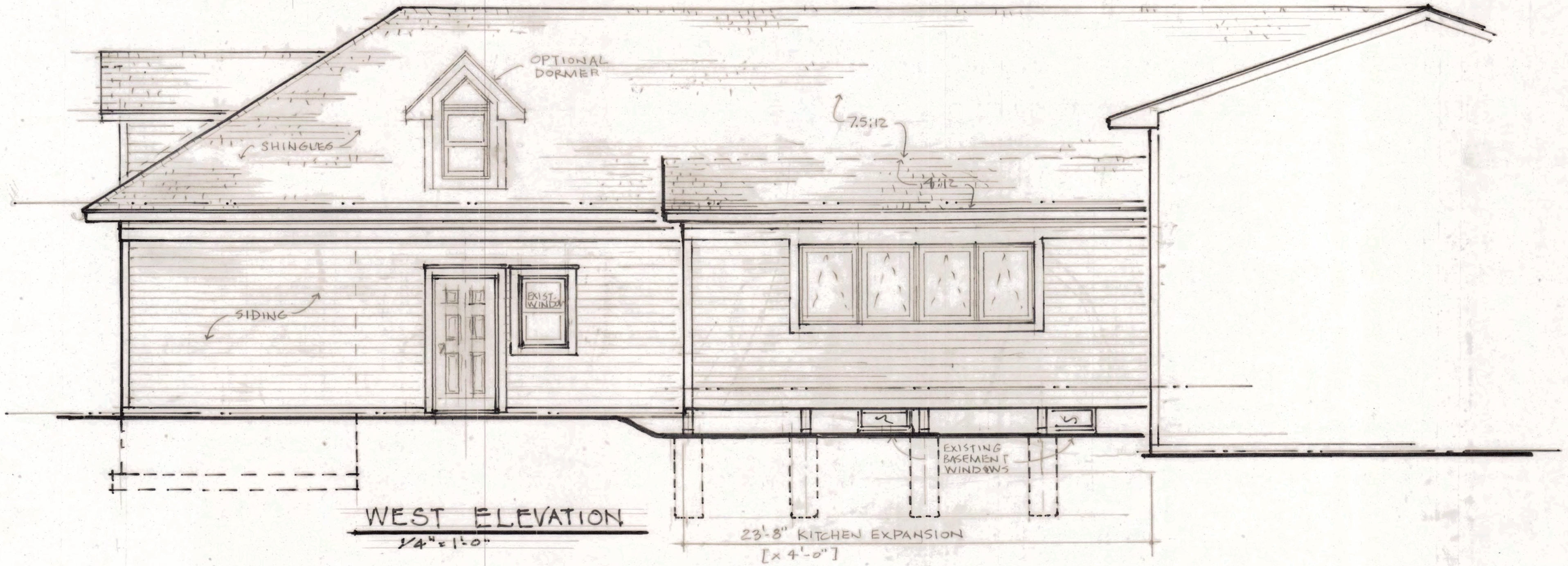
NORTH ELEVATION
1/4" = 1'-0"



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Family Rooms - Sunrooms
Bedroom Suites - Kitchens - Baths
Garages - Workshops - Poolhouses
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55 N Central Club

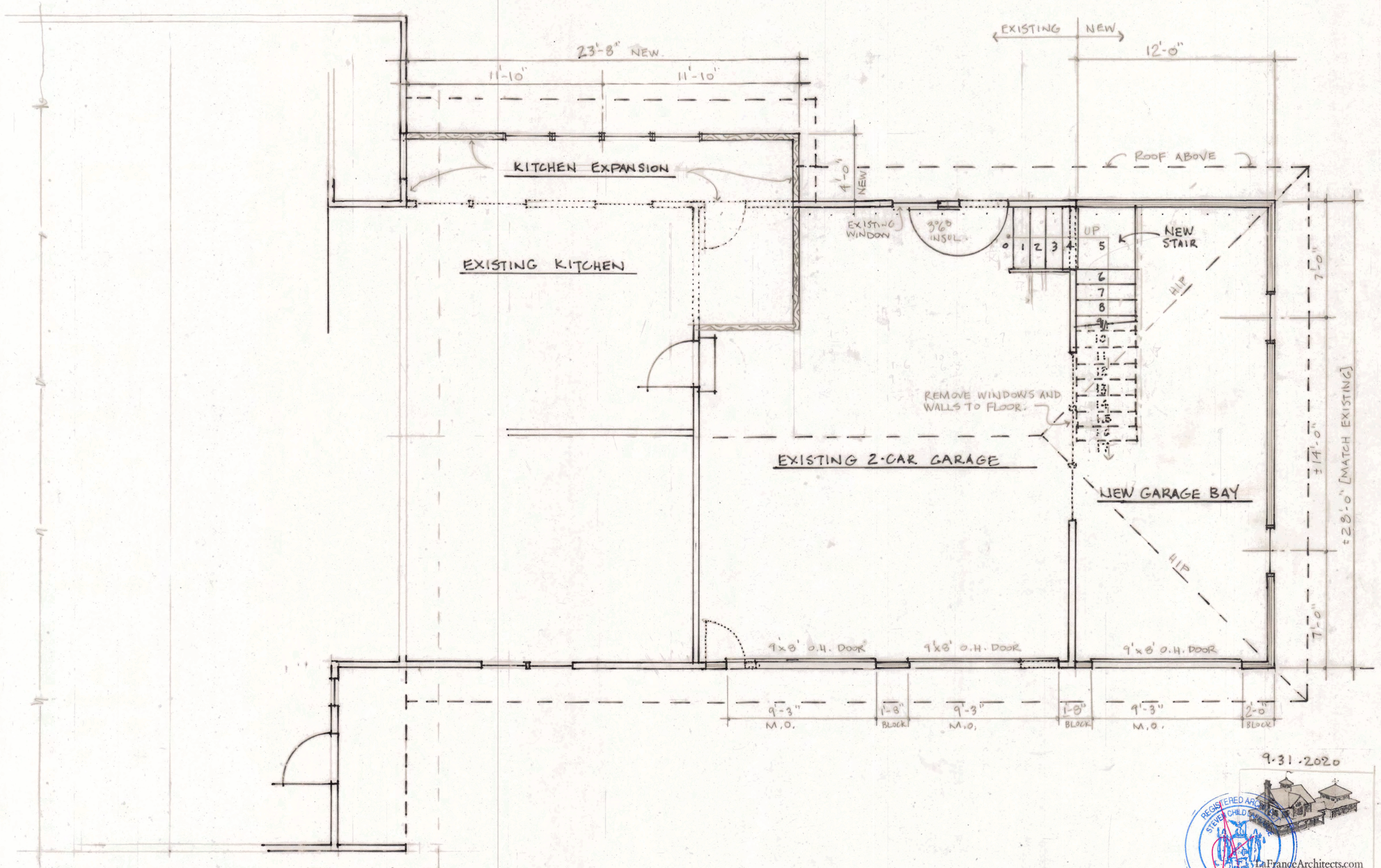
9/10/20 APPROVED DRAWINGS



9-31-2020

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Examples at LaFranceArchitects.com
585 - 739 - 5039

9/10/20 APPROVED DRAWINGS



FLOOR PLAN
1/4" = 1'-0"

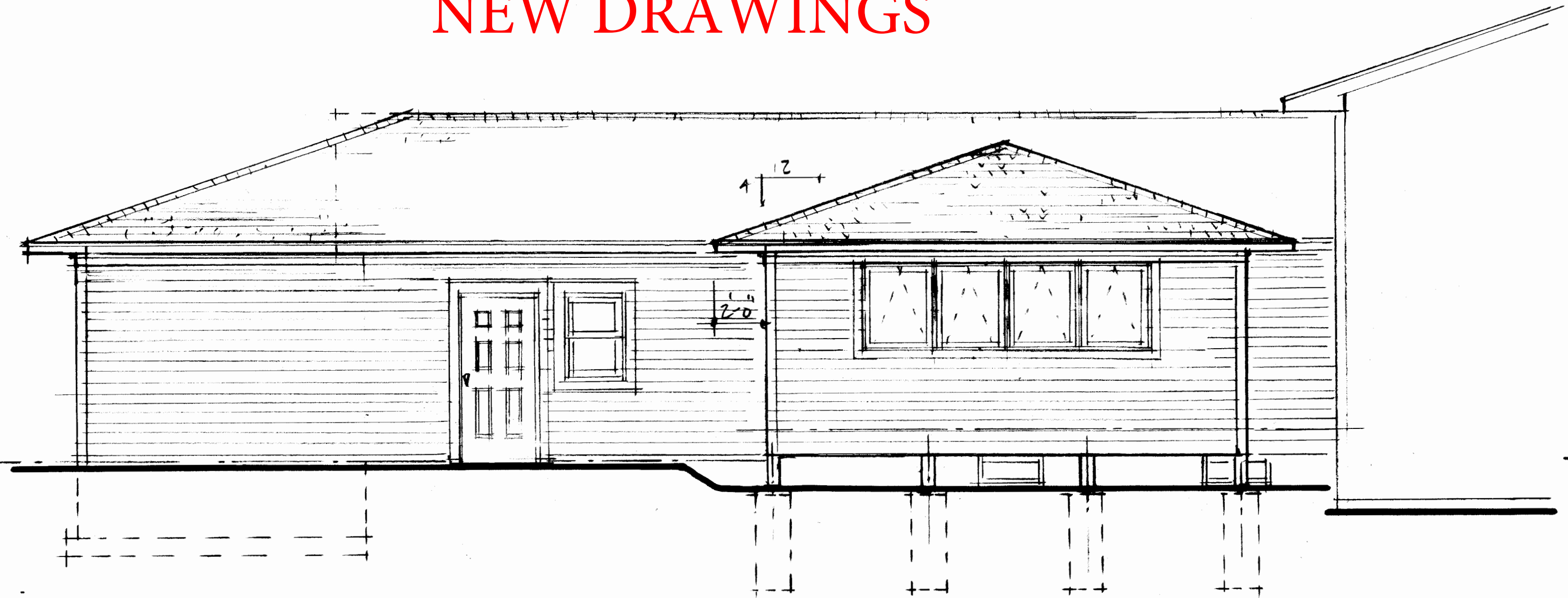
9.31.2020

Steven LaFrance Architects.com
Design Counseling at Your Home
019083
STATE OF NEW JERSEY
Steven LaFrance - Architect

We design and build:
Cottages - Camps - Studios - Homes
Whole House Remodels - Facelifts
Family Rooms - Sunrooms
Bedroom Suites - Kitchens - Baths
Garages - Workshops - Poolhouses
Examples at LaFranceArchitects.com
585 - 739 - 5039

55 N Country Club

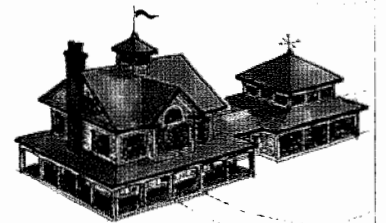
NEW DRAWINGS



WEST ELEVATION

$\frac{1}{4}'' = 1'-0''$

7-1-21



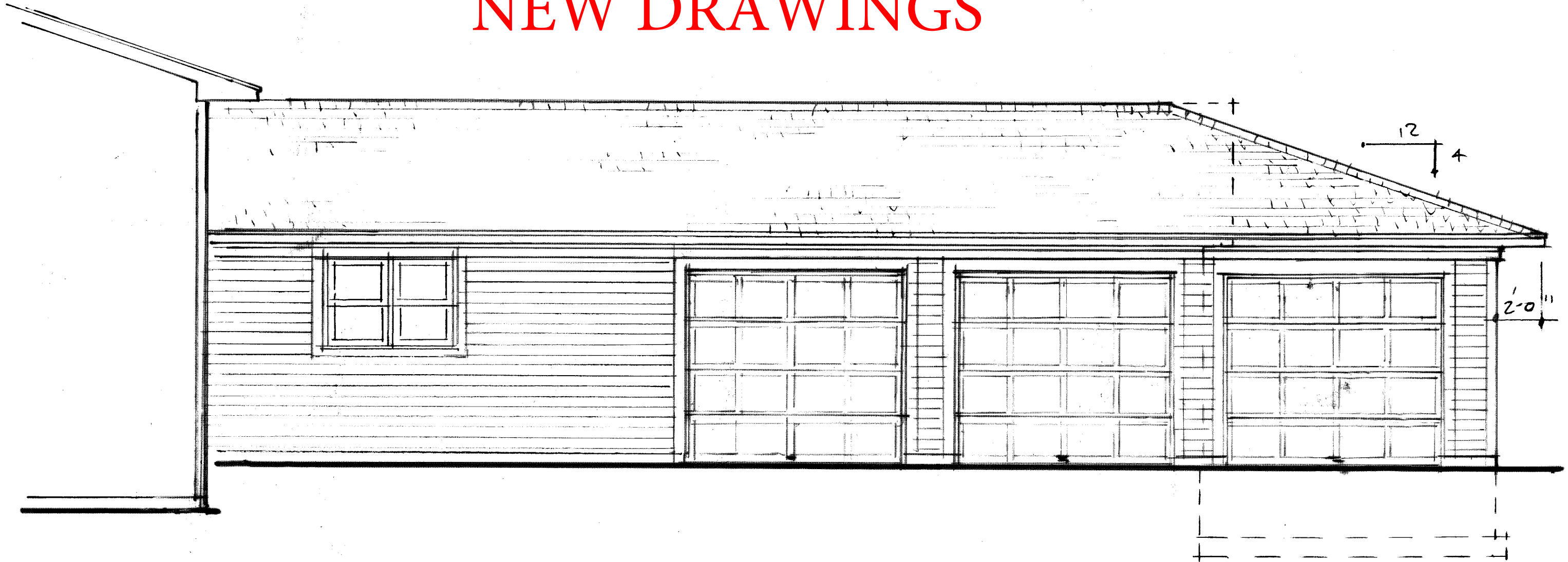
LaFranceArchitects.com
Design Counseling at Your Home
Steven LaFrance - Architect

We design and build:

Cottages - Camps - Studios - Homes
Whole House Remodels - Facelifts
Family Rooms - Sunrooms
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Examples at LaFranceArchitects.com

585 - 739 - 5039

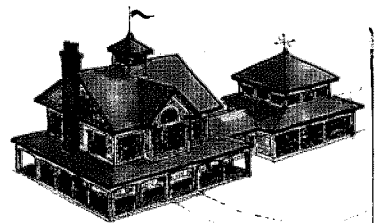
NEW DRAWINGS



EAST ELEVATION

$\frac{1}{4}'' = 1'-0''$

7.1.21



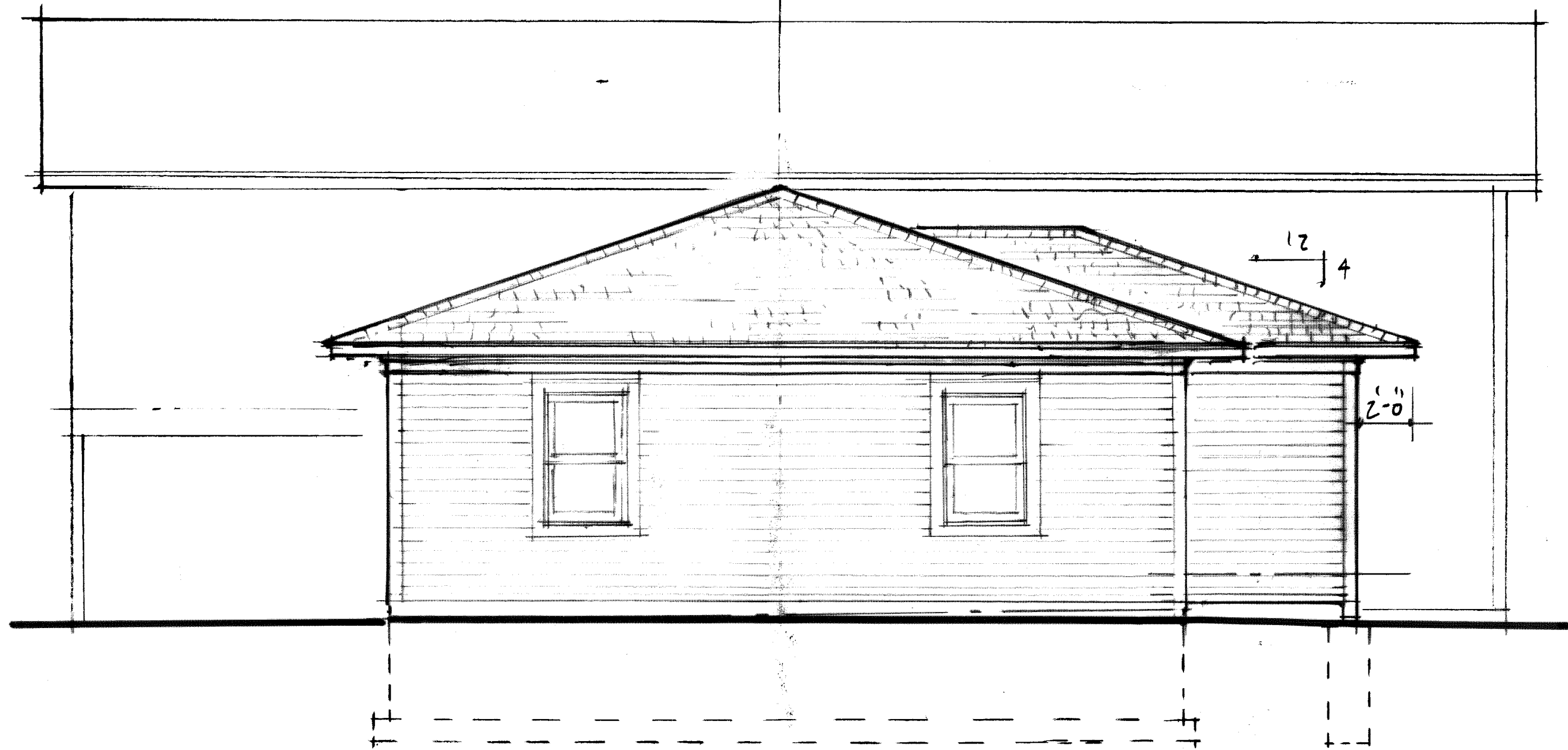
LaFranceArchitects.com
Design Counseling at Your Home
Steven LaFrance - Architect

We design and build:

Cottages - Camps - Studios - Homes
Whole House Remodels - Facelifts
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Examples at LaFranceArchitects.com

585 - 739 - 5039

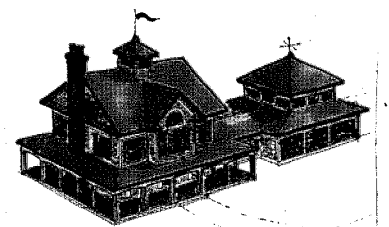
NEW DRAWINGS



NORTH ELEVATION

$\frac{1}{4}'' = 1'-0''$

7.1.21



LaFranceArchitects.com
Design Counseling at Your Home
Steven LaFrance - Architect

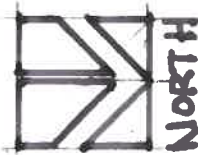
We design and build:

Cottages - Camps - Studios - Homes
Whole House Remodels - Facelifts
Family Rooms - Sunrooms
Bedroom Suites - Kitchens - Baths
Garages - Workshops - Poolhouses
Examples at LaFranceArchitects.com

585 - 739 - 5039

SITE PLAN

1" = 20.0'

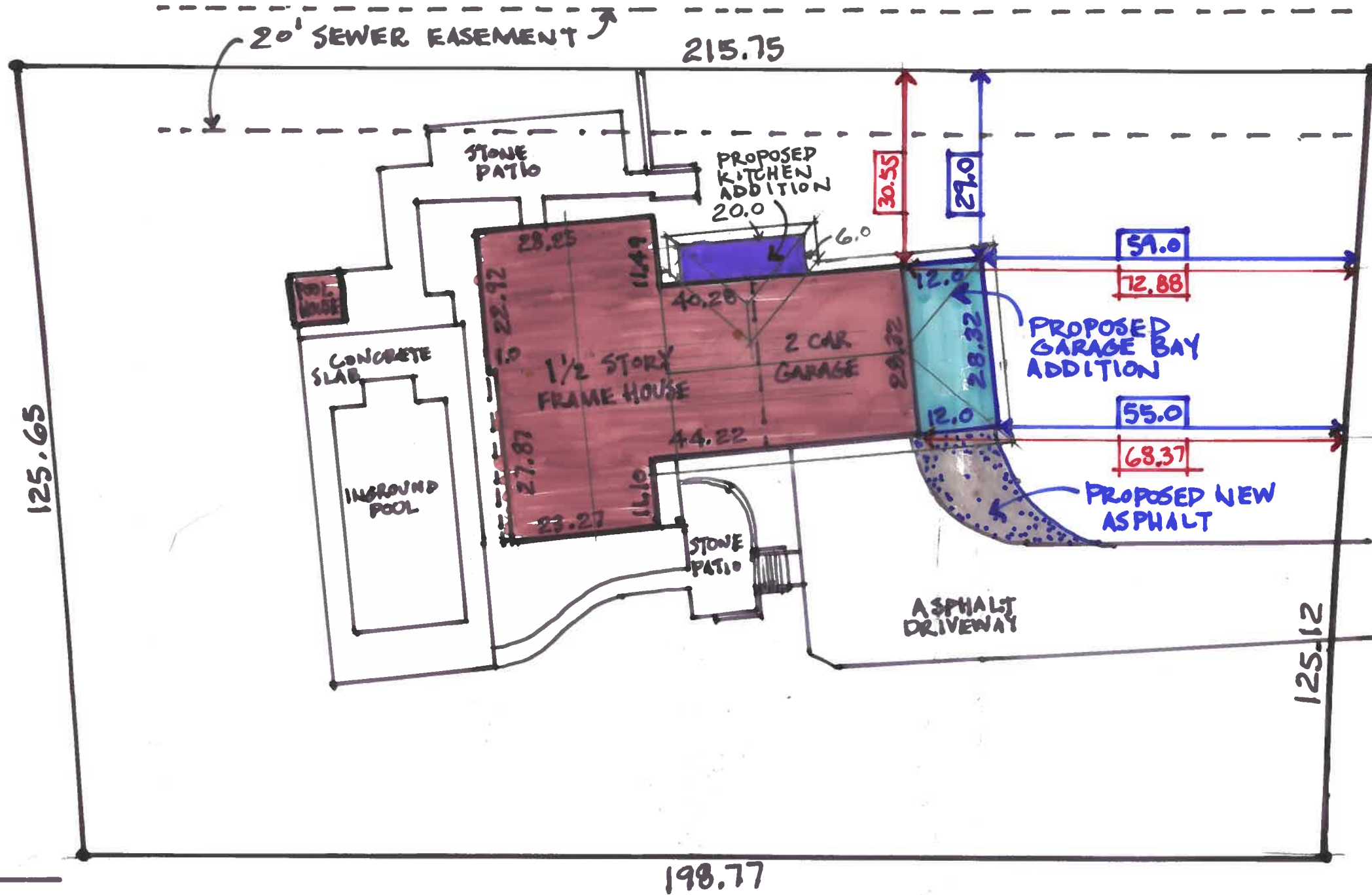


NEW DRAWINGS

PROPOSED ADDITION

55 COUNTRY CLUB DR.
ROCHESTER, N.Y.
14618

NORTH COUNTRY CLUB DRIVE
60.0 R.O.W.



7.1.2021
5.24.2020



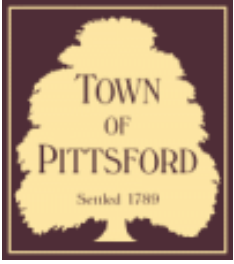
LaFranceArchitects.com
 Design Counseling at Your Home
 Steven LaFrance - Architect

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 Examples at LaFranceArchitects.com
 585 - 739 - 5039









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000147

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 24 Harleston Lane EAST ROCHESTER, NY 14445

Tax ID Number: 138.19-2-43

Zoning District: RN Residential Neighborhood

Owner: Quinzi, Thomas

Applicant: Premier Home Solution

Application Type:

Residential Design Review

§185-205 (B)

Commercial Design Review

§185-205 (B)

Signage

§185-205 (C)

Certificate of Appropriateness

§185-197

Landmark Designation

§185-195 (2)

Informal Review

Build to Line Adjustment

§185-17 (B) (2)

Building Height Above 30 Feet

§185-17 (M)

Corner Lot Orientation

§185-17 (K) (3)

Flag Lot Building Line Location

§185-17 (L) (1) (c)

Undeveloped Flag Lot Requirements

§185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of approximately an 262 SF addition to the existing garage.

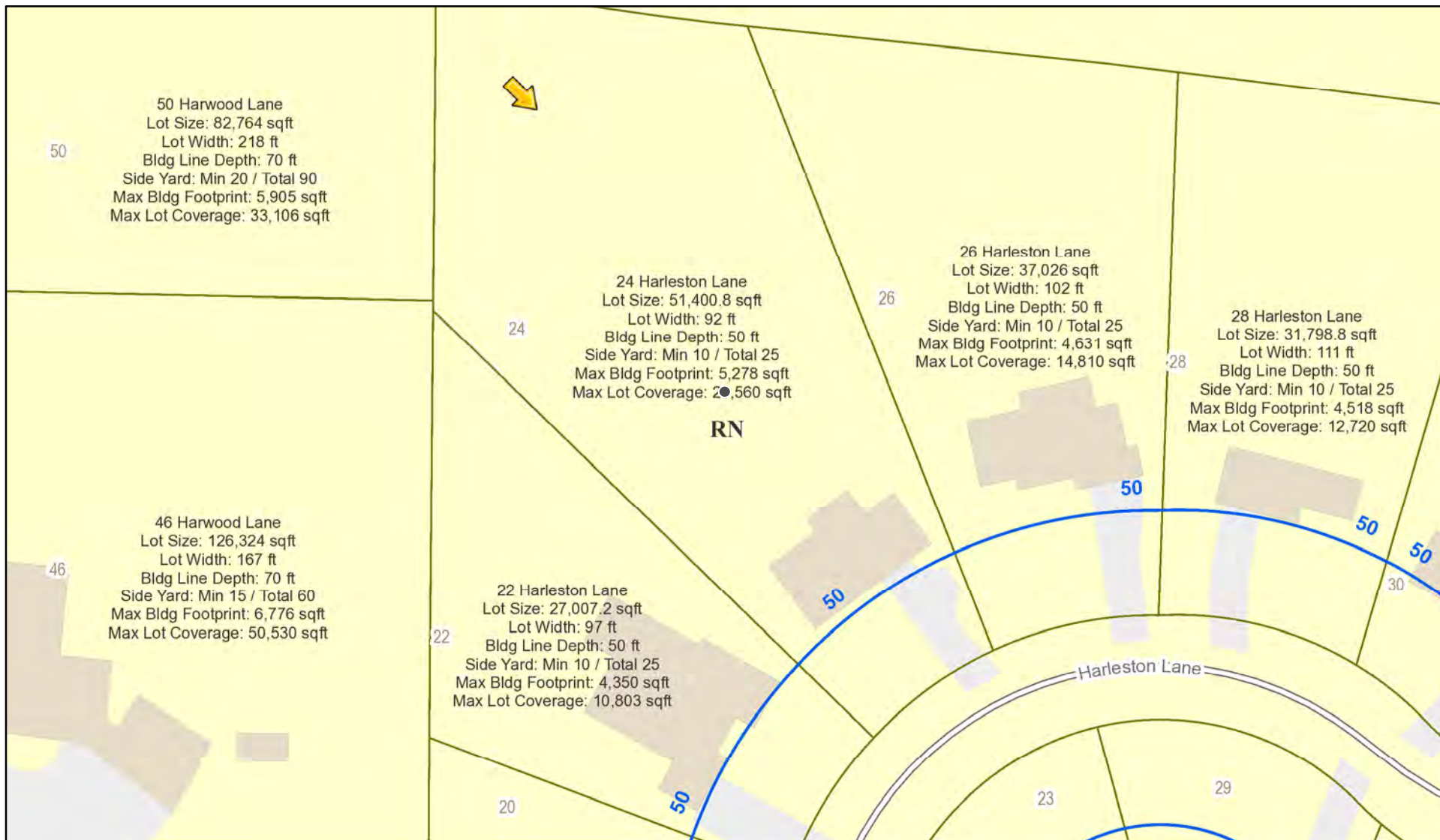
Meeting Date: July 22, 2021



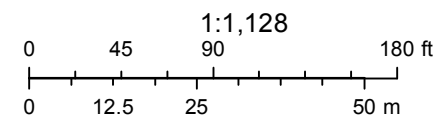
24

ALLEY

RN Residential Neighborhood Zoning



Printed July 12, 2021



Town of Pittsford GIS

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West Commercial Street

West Commercial Street

W Commercial St



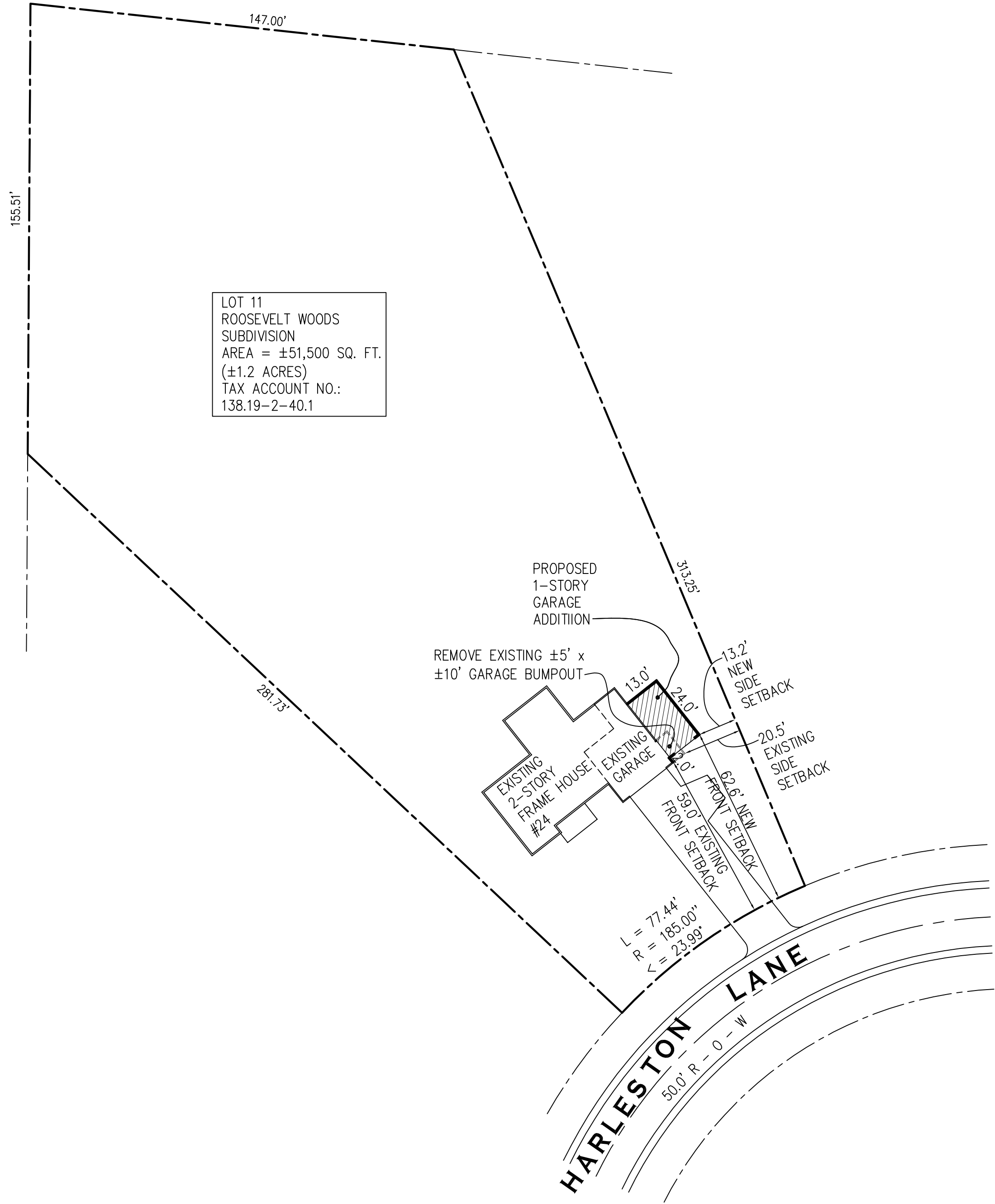
Horseshoe Ln

Horseshoe Ln

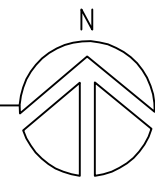
James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490

LOT 11
ROOSEVELT WOODS
SUBDIVISION
AREA = ±51,500 SQ. FT.
(±1.2 ACRES)
TAX ACCOUNT NO.:
138.19-2-40.1



1 SITE PLAN
C1 SCALE: 1" = 30'

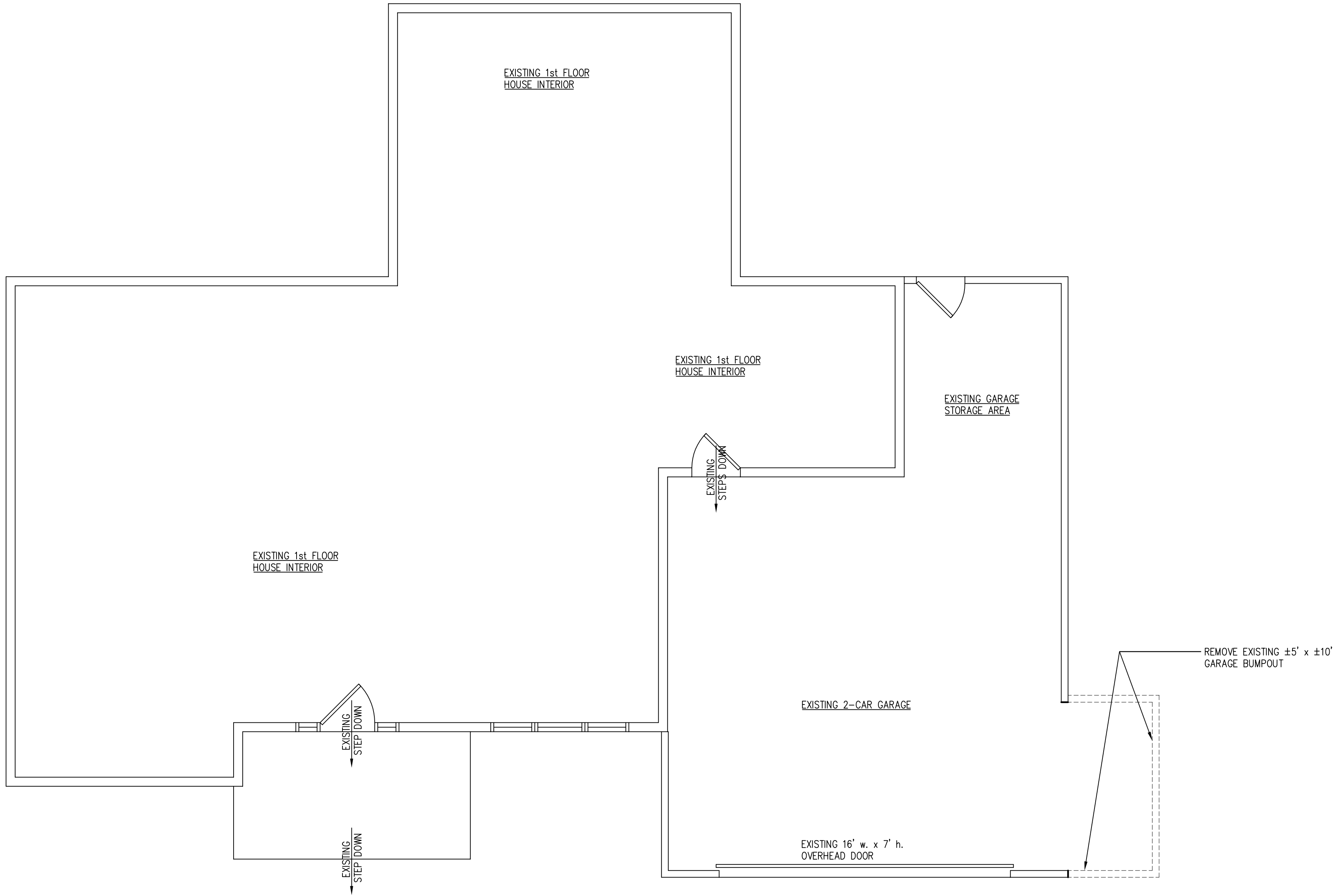


				REVISIONS	DATE	BY
4						
3						
2						
1						

PROJECT NUMBER 1348	DATE 06/22/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Quinzi Residence 24 Harleston Lane East Rochester NY 14445 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING SITE PLAN			
DWG. NO. C1			

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1
A1 FIRST FLOOR PLAN -- EXISTING CONDITIONS
& DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

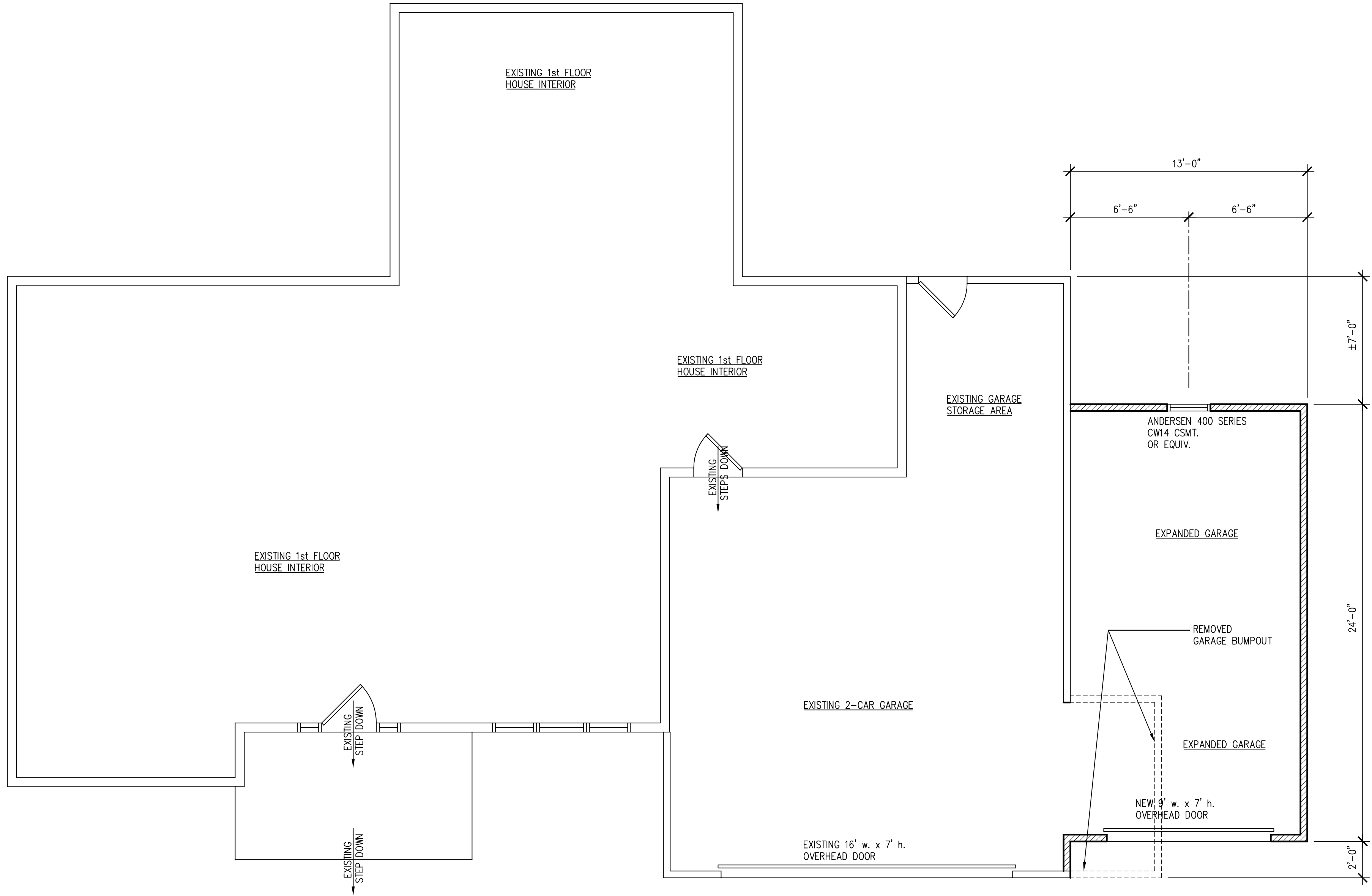
	NEW WALL
	DEMOLISHED WALL
	EXISTING WALL TO REMAIN

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1348	DATE 06/22/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Quinzi Residence 24 Harleston Lane East Rochester NY 14445 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FIRST FLOOR PLAN -- EXISTING CONDITIONS & DEMOLITION PLAN			
DWG. NO. 			

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1 FIRST FLOOR PLAN -- NEW CONSTRUCTION
 A2 SCALE: 1/4" = 1'-0"

LEGEND:

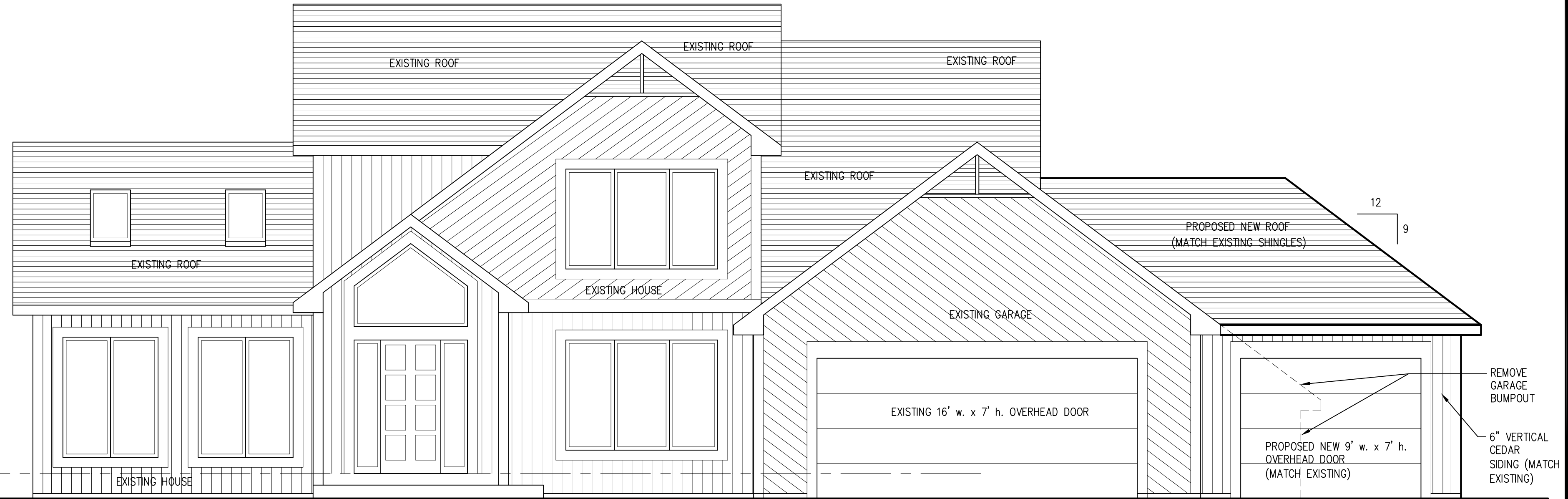
	NEW WALL
	DEMOLISHED WALL
	EXISTING WALL TO REMAIN

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1348	DATE 06/22/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Quinzi Residence 24 Harleston Lane East Rochester NY 14445 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FIRST FLOOR PLAN -- NEW CONSTRUCTION			
DWG. NO. 			

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1 FRONT (SOUTH) ELEVATION
A3 SCALE: 1/4" = 1'-0"

13'-0"
PROPOSED GARAGE ADDITION

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY
JIM BRASLEY

DATE
06/22/2021

PROJECT
1348

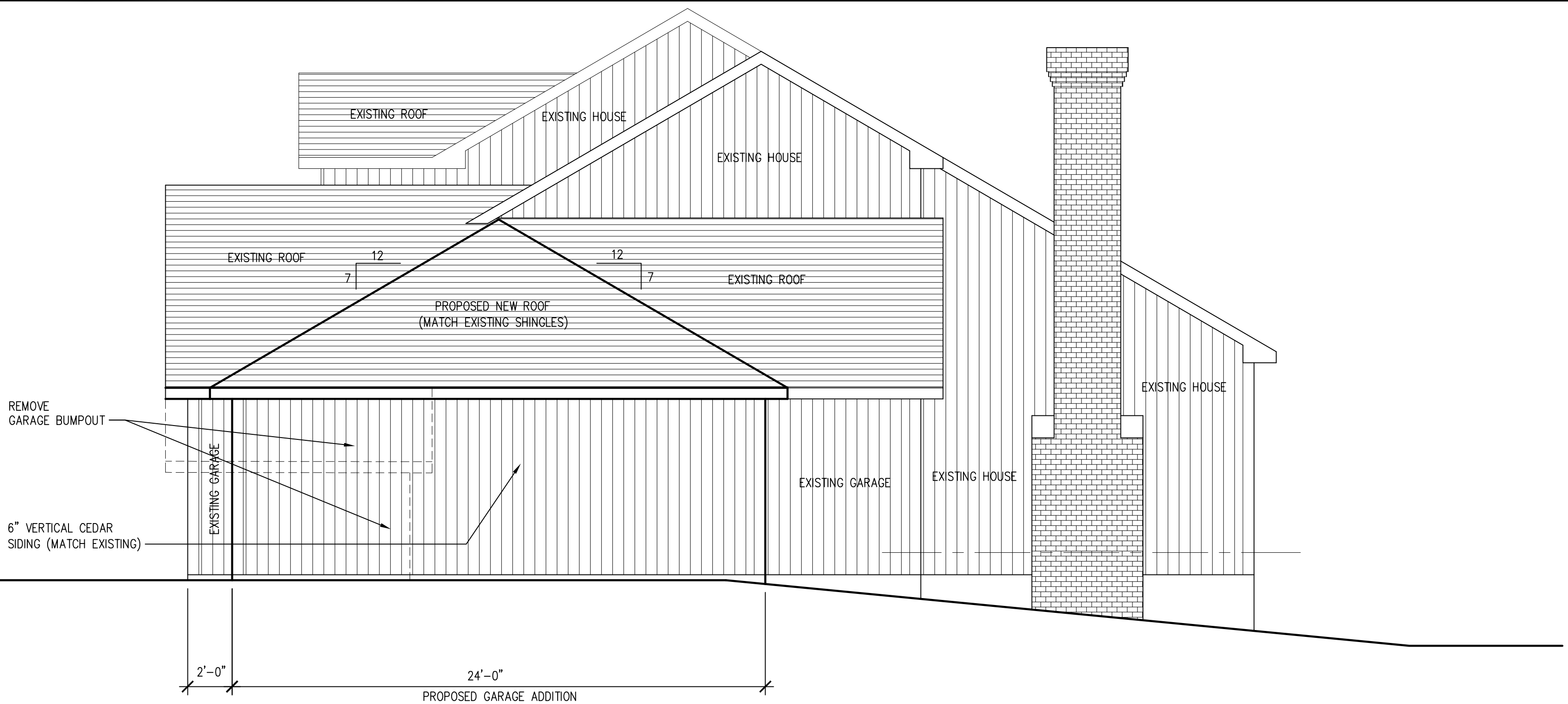
PROJECT
Quinzi Residence
 24 Harleston Lane
 East Rochester NY 14445 (Town of Pittsford, Monroe County)

TITLE OF DRAWING
 FRONT (SOUTH) ELEVATION

DWG. NO.
A3

James P. Brasley

10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1 RIGHT SIDE (EAST) ELEVATION
A4 SCALE: 1/4" = 1'-0"



2 REAR (NORTH) ELEVATION
A4 SCALE: 1/4" = 1'-0"

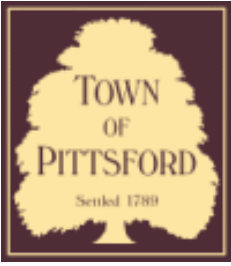
NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER: 1348
 DATE: 06/22/2021
 DRAWN BY: JIM BRASLEY
 SCALE: AS NOTED
 PROJECT: **Quinzi Residence**
 24 Harleston Lane
 East Rochester NY 14445 (Town of Pittsford, Monroe County)
 TITLE OF DRAWING: RIGHT SIDE (EAST) ELEVATION & REAR (NORTH) ELEVATION
 DWG. NO.: **A4**









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000144

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 8 Sugarbush Lane PITTSFORD, NY 14534

Tax ID Number: 178.16-1-20

Zoning District: RN Residential Neighborhood

Owner: Fernandez, Josh

Applicant: Fernandez, Josh

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of approximately an 220 SF addition of a three season room off of the existing kitchen.

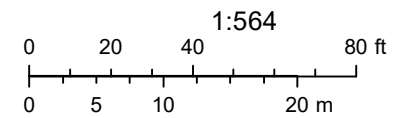
Meeting Date: July 22, 2021



RN Residential Neighborhood Zoning

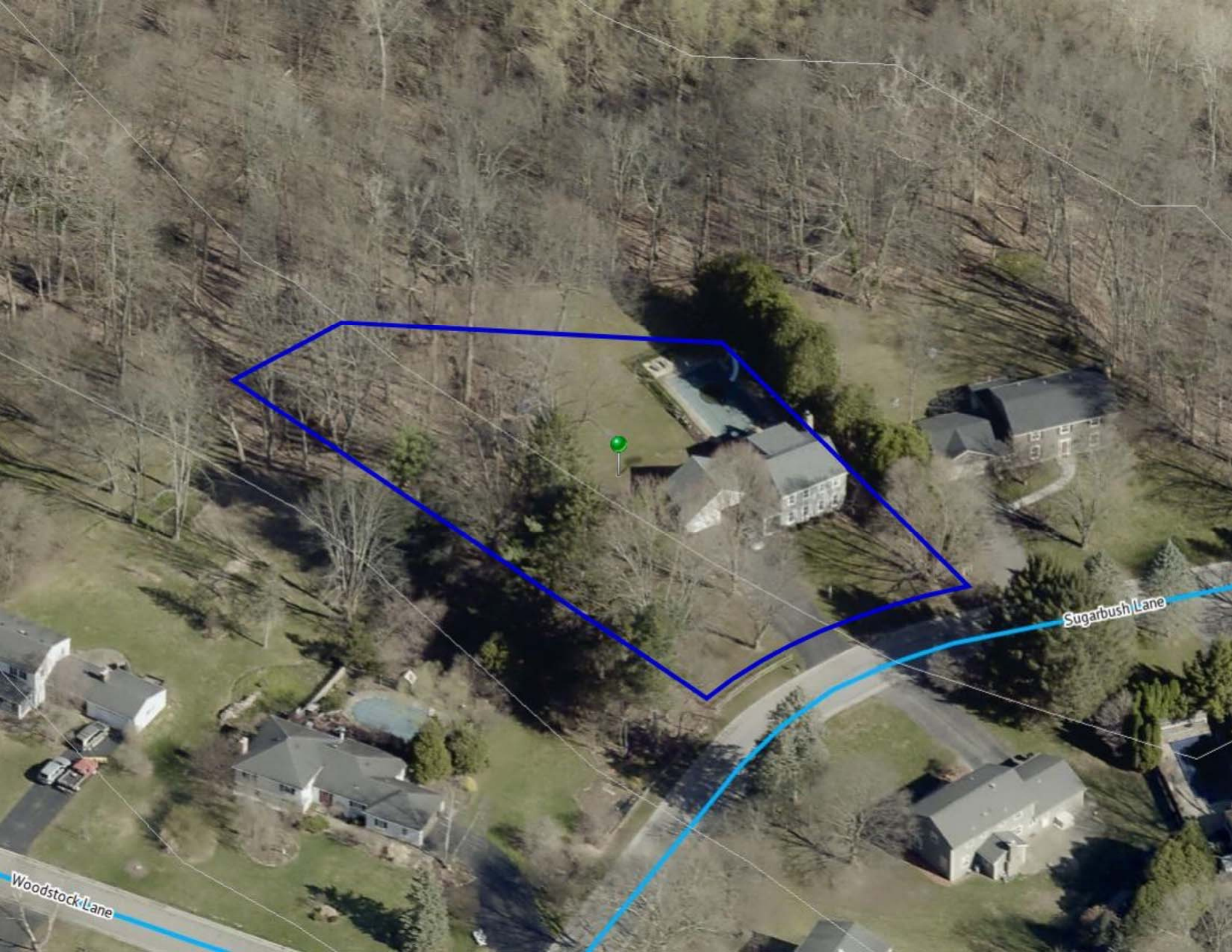


Printed July 13, 2021



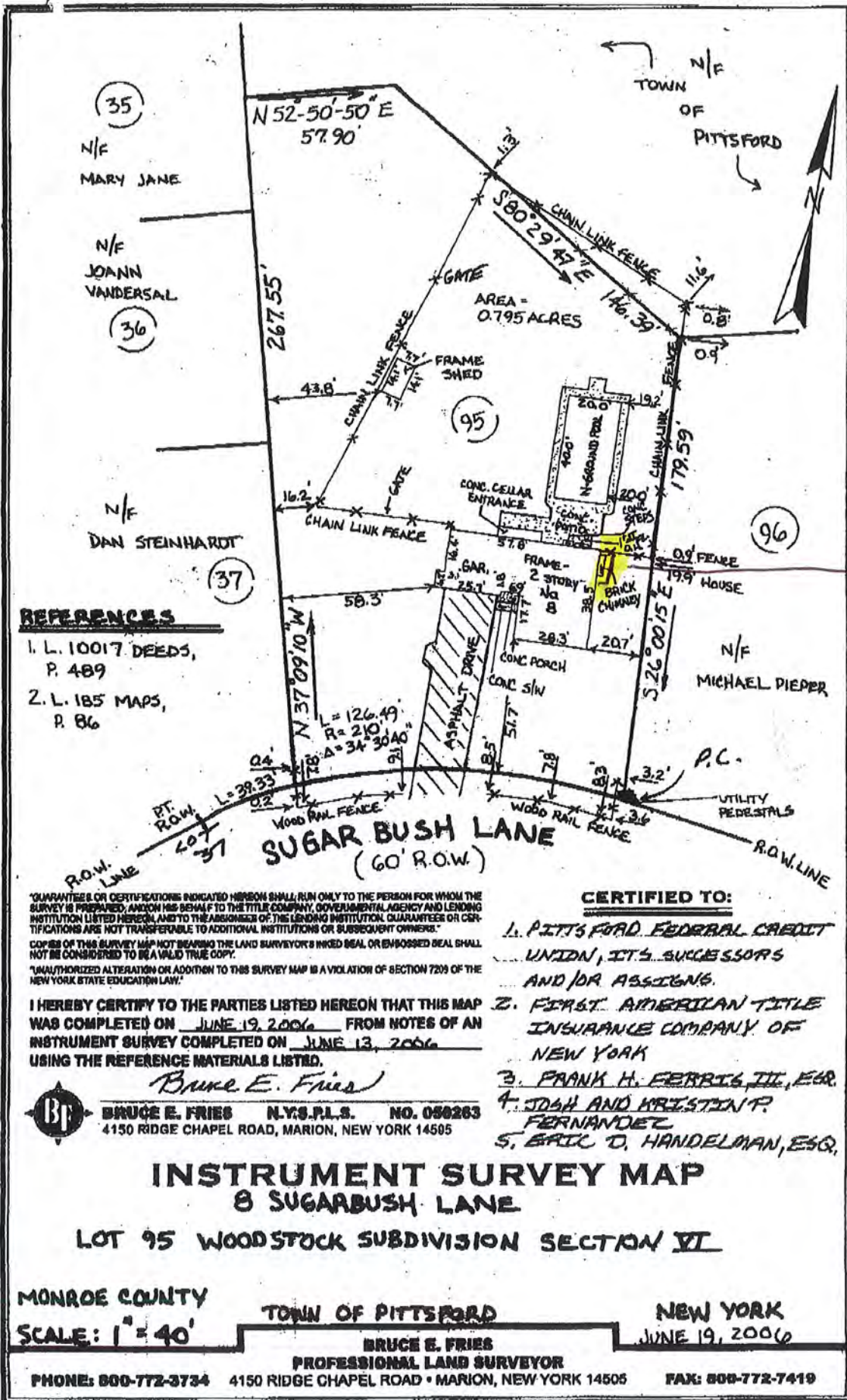
Town of Pittsford GIS

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Sugarbush Lane

Woodstock Lane



with new structure, we will be 6' from the property line

- REFERENCES**
- 1. L. 10017 DEEDS, P. 489
 - 2. L. 185 MAPS, P. 86

"GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

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I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON JUNE 19, 2006 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON JUNE 13, 2006 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries
BRUCE E. FRIES N.Y.S.P.L.S. NO. 080263
 4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

- CERTIFIED TO:**
1. PITTSFORD FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS.
 2. FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK
 3. FRANK H. FERRIS, III, ESQ.
 4. JOSH AND KRISTIN P. FERNANDEZ
 5. ERIC D. HANDELMAN, ESQ.

INSTRUMENT SURVEY MAP
8 SUGARBUSH LANE
LOT 95 WOODSTOCK SUBDIVISION SECTION VI

MONROE COUNTY TOWN OF PITTSFORD NEW YORK
 SCALE: 1" = 40' BRUCE E. FRIES PROFESSIONAL LAND SURVEYOR
 PHONE: 800-772-3734 4150 RIDGE CHAPEL ROAD • MARION, NEW YORK 14505 FAX: 800-772-7419
 JUNE 19, 2006

View from
East

Existing house

Proposed 3 season room

2" x 6" rafters 16" oc.

2" x 4" walls

2" x 8" ceiling joists

2" x 8" headers

Chimney

Flash+

adding to approx. match
Existing

32" x 48"

16"

6" x 6" PT. posts on
1' of concrete
with 2" x 4" bracing

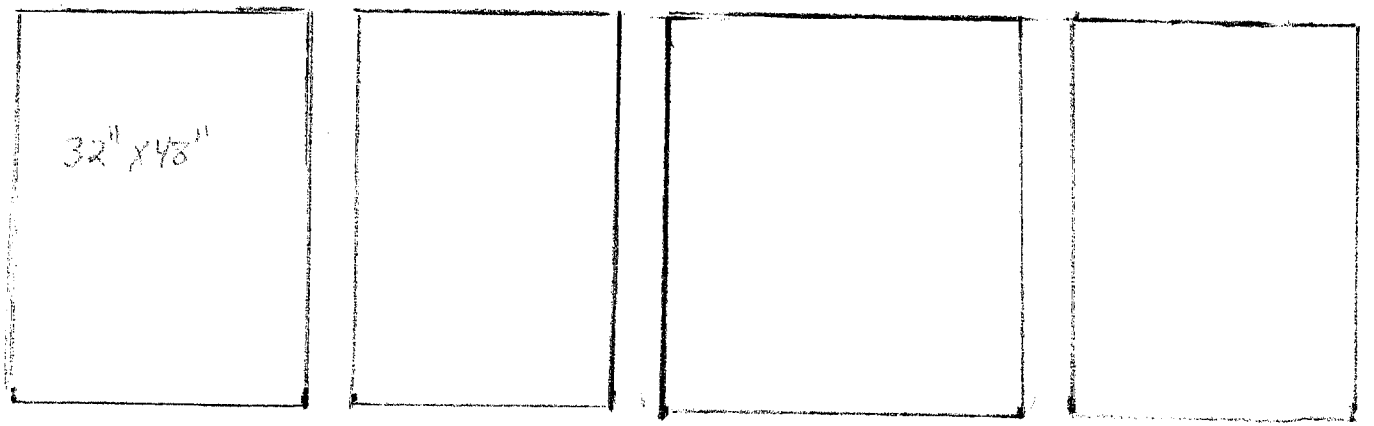
3/4" Plywood
2" x 10" joists
16" oc
1/2" = 1'

View From
South

Existing house

ridge vent

30 year architectural shingles



siding to approx. match existing

$$\frac{1}{2}'' = 1'$$



pic taken from the street.



porch/room will fit in here.

pic taken from the yard.



view from porch/room to the neighbor's property (this is the side of their garage)

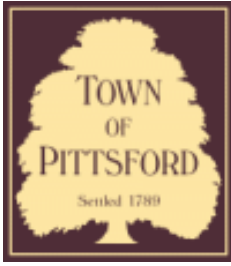


view from neighbor's property (from the side of their garage)









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000146

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 19 Creekside Lane ROCHESTER, NY 14618

Tax ID Number: 138.13-2-42

Zoning District: RN Residential Neighborhood

Owner: Hall, Jason R

Applicant: Hall, Jason R

Application Type:

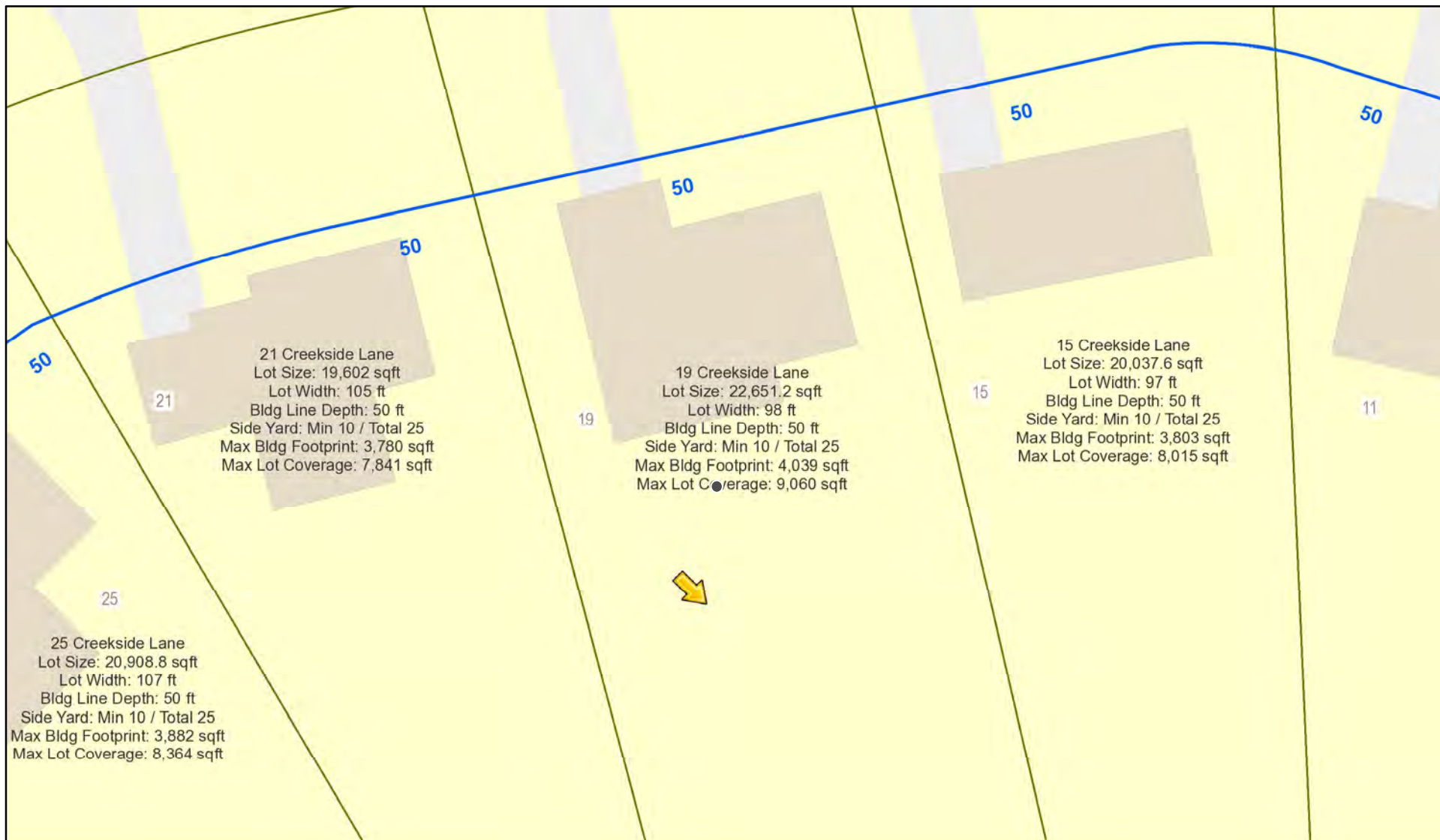
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of approximately a 716 SF addition to expand the garage and add a second story space above for a master suite of the existing house.

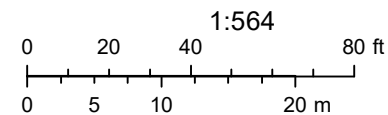
Meeting Date: July 22, 2021



RN Residential Neighborhood Zoning



Printed July 12, 2021



Town of Pittsford GIS

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Creekside Lane Creekside Lane



GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR. PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A99. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-86. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGINGS/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR KOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020).
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

HALL FAMILY RESIDENCE ADDITION

19 CREEKSIDE LANE

ROCHESTER, NY

DRAWING INDEX

1	TITLE PAGE
2	PROPOSED ELEVATIONS
3	PROPOSED ELEVATIONS
4	PROPOSED FIRST FLOOR PLAN
5	PROPOSED SECOND FLOOR PLAN
6	PROPOSED ROOF PLAN
7	EXISTING ELEVATIONS
8	EXISTING FLOOR PLANS

ENERGY COMPLIANCE DETAILS & PATH MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	41	41
3. WOOD FRAME WALL R-VALUE	20 OR 13-5	HIGH DENSITY 21 21/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1109.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1109.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1109.2.1
- MECHANICAL VENTILATION PER SECTION 1109.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1109.6.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1109.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1109.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1



PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
LICENSED IN CO., VA., NC, NY, PA, SC.

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

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PROJECT:

HALL FAMILY RESIDENCE
ADDITION

CLIENT:

JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:

TITLE PAGE

DRAWN:

JTL

CHECKED:

PM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 2020945

SHEET:

1

OF 8 SHEETS





FRONT ELEVATION
PROPOSED



LEFT SIDE ELEVATION
PROPOSED



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PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
LICENSED IN CO., VA., ME., NH., CT., PA., DC.

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

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PROJECT:

HALL FAMILY RESIDENCE
ADDITION

CLIENT:

JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:

FRONT ELEVATION - PROPOSED
LEFT SIDE ELEVATION - PROPOSED

DRAWN:

JTL

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PM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

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2

OF 8 SHEETS





PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
LICENSED IN CO., VA., ME., NH., CT., PA., DC.

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
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REAR ELEVATION
PROPOSED



RIGHT SIDE ELEVATION
PROPOSED

PROJECT:
HALL FAMILY RESIDENCE
ADDITION

CLIENT:
JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:
REAR ELEVATION - PROPOSED
RIGHT SIDE ELEVATION - PROPOSED

DRAWN: JTL	CHECKED: PM
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DATE: JULY 2021

SCALE: 1/4"=1'-0"

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3

OF **8** SHEETS





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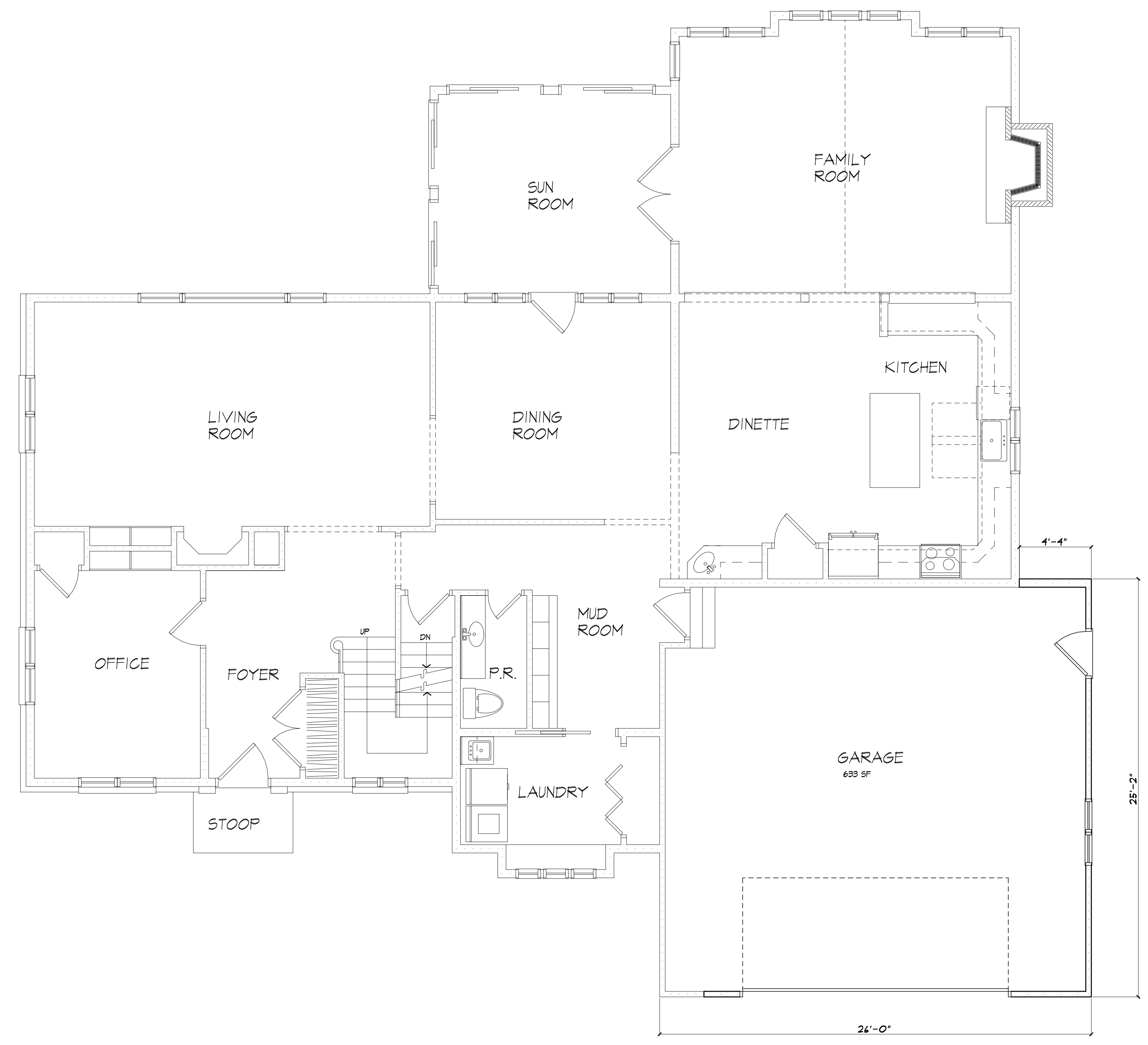
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FIRST FLOOR PLAN
PROPSOED AREA OF GARAGE ADDITION: 109 SF

PROJECT:
HALL FAMILY RESIDENCE ADDITION

CLIENT:
JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:
FIRST FLOOR PLAN- PROPSOED

DRAWN: JTL
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DATE: JULY 2021

SCALE: 1/4"=1'-0"

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4
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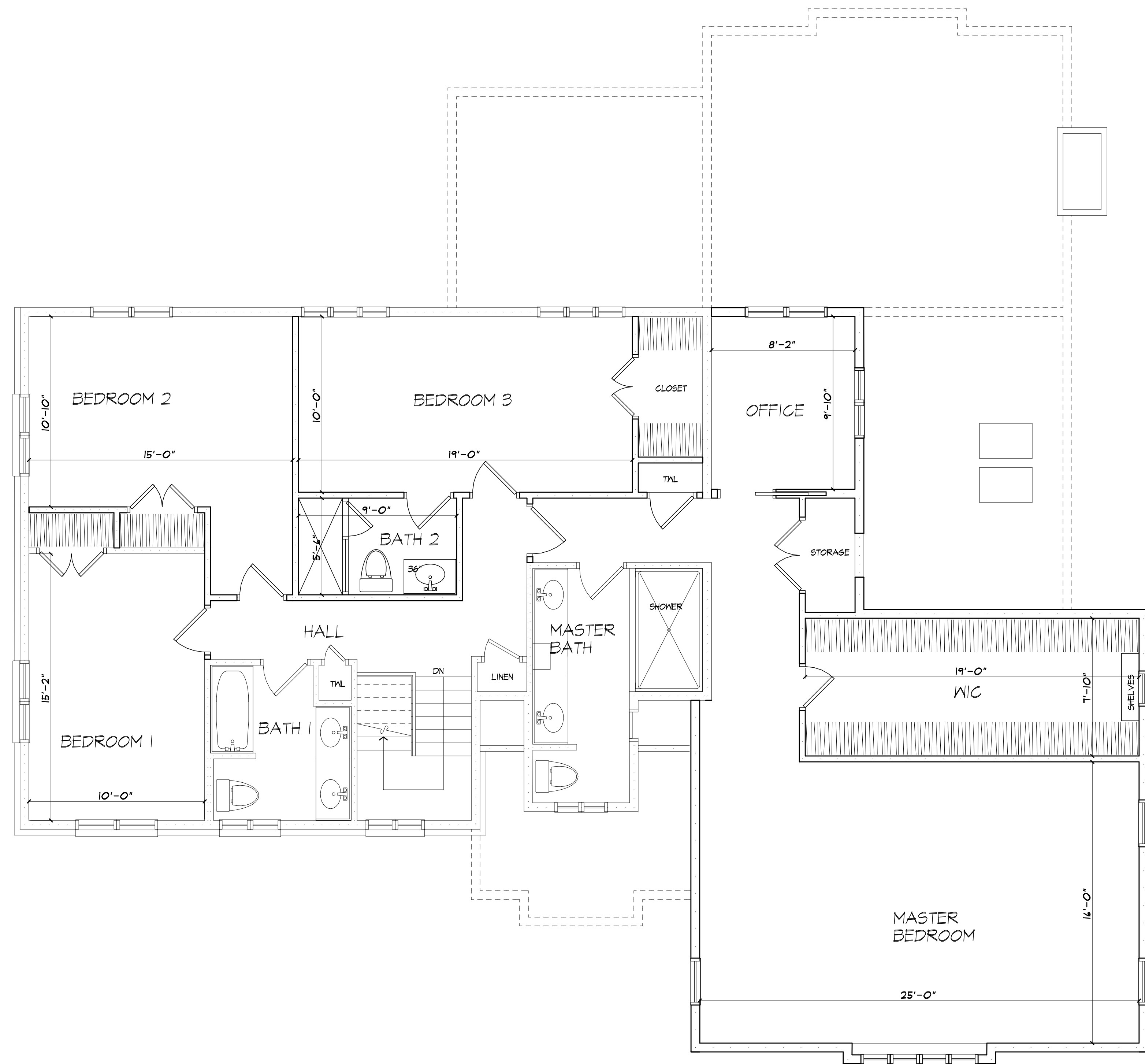
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SECOND FLOOR PLAN

PROPSOED

AREA OF ADDITION: 670 S.F.

PROJECT:
 HALL FAMILY RESIDENCE
 ADDITION

CLIENT:
 JASON AND LISA HALL
 19 CREEKSIDE LANE
 ROCHESTER, NY

DRAWING:
 SECOND FLOOR PLAN- PROPSOED

DRAWN: JTL	CHECKED: PM
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DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB945

SHEET:

5

OF **8** SHEETS





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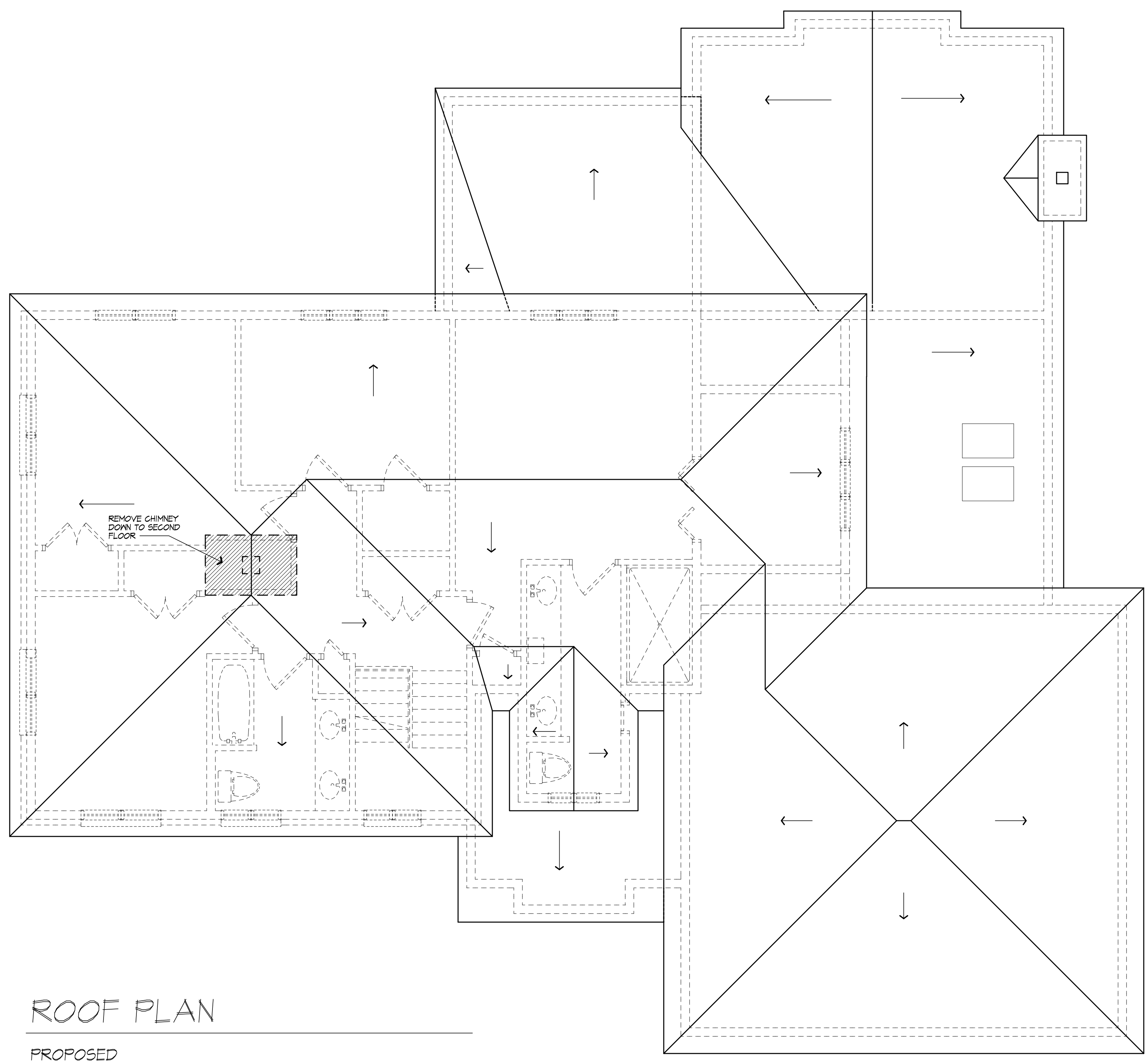
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ROOF PLAN

PROPOSED

PROJECT:
HALL FAMILY RESIDENCE
ADDITION

CLIENT:
JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:
ROOF PLAN- PROPOSED

DRAWN: JTL
CHECKED: PM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB945

SHEET:

6

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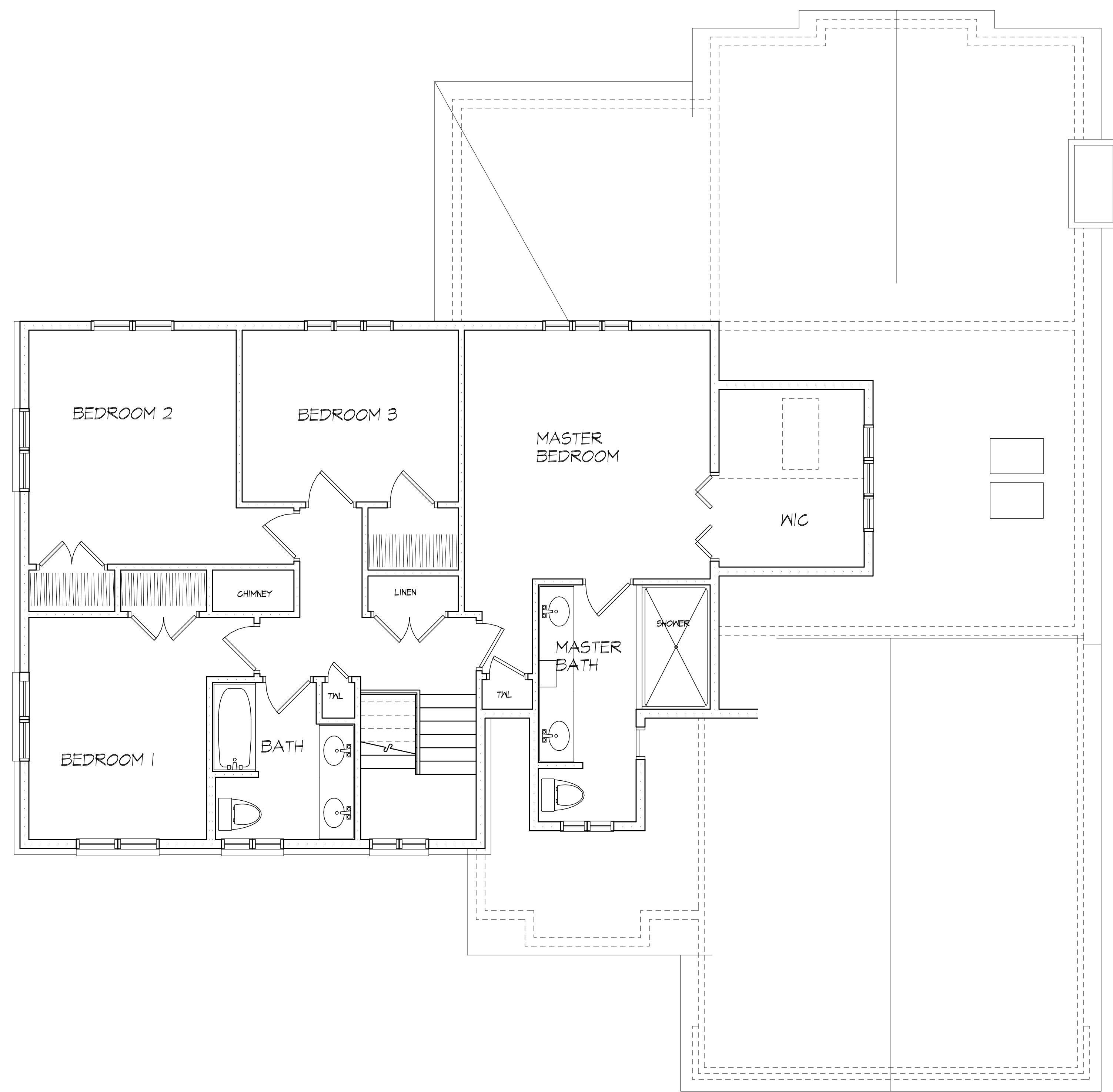
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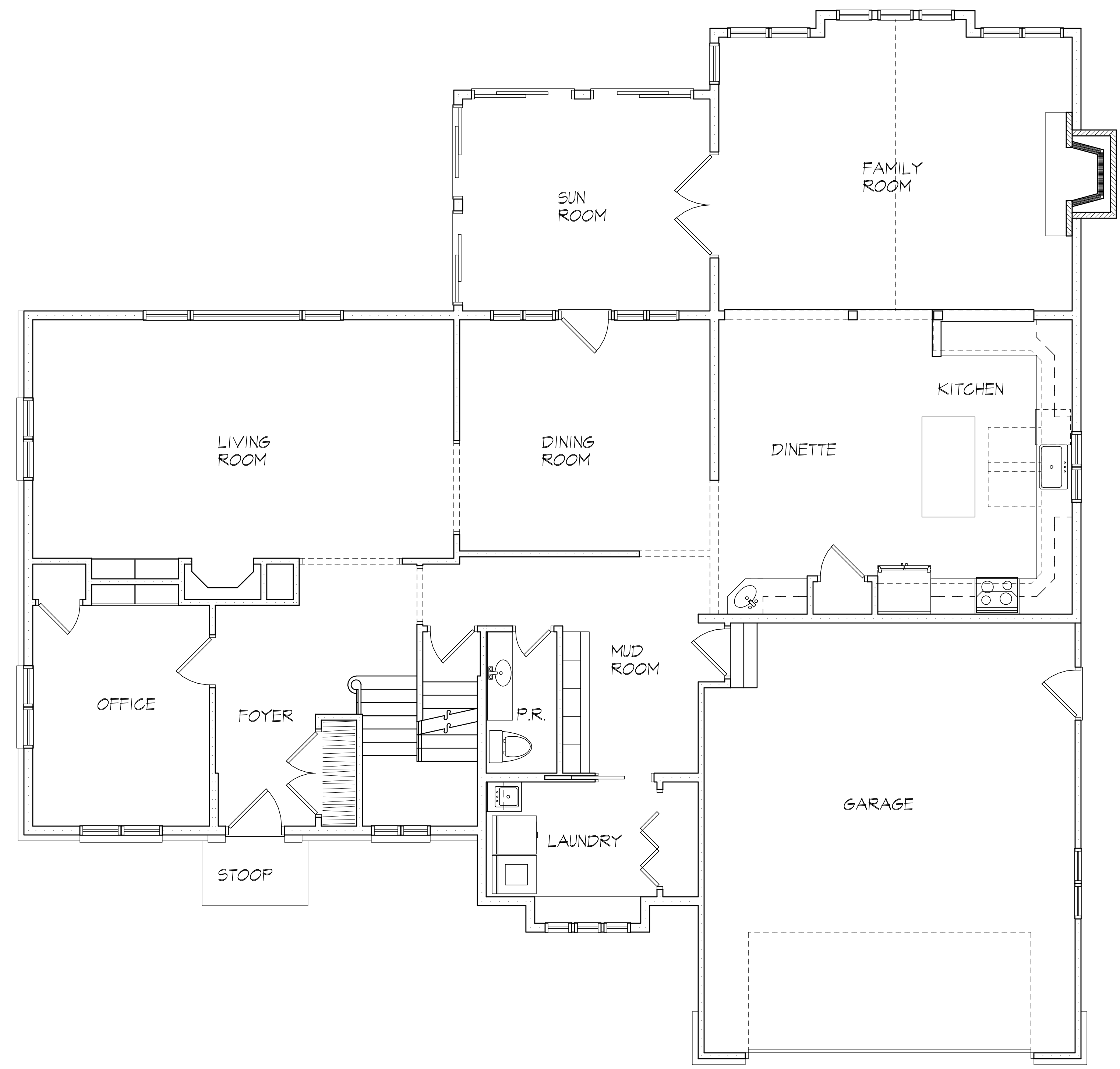
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SECOND FLOOR PLAN
EXISTING



FIRST FLOOR PLAN
EXISTING

PROJECT:
HALL FAMILY RESIDENCE
ADDITION

CLIENT:
JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:
FLOOR PLANS- EXISTING

DRAWN: JTL
CHECKED: PM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB945

SHEET:

8
OF 8 SHEETS





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PROJECT:
HALL FAMILY RESIDENCE
ADDITION

CLIENT:
JASON AND LISA HALL
19 CREEKSIDE LANE
ROCHESTER, NY

DRAWING:
ELEVATIONS - EXISTING

DRAWN: JTL
CHECKED: PM

DATE: JULY 2021

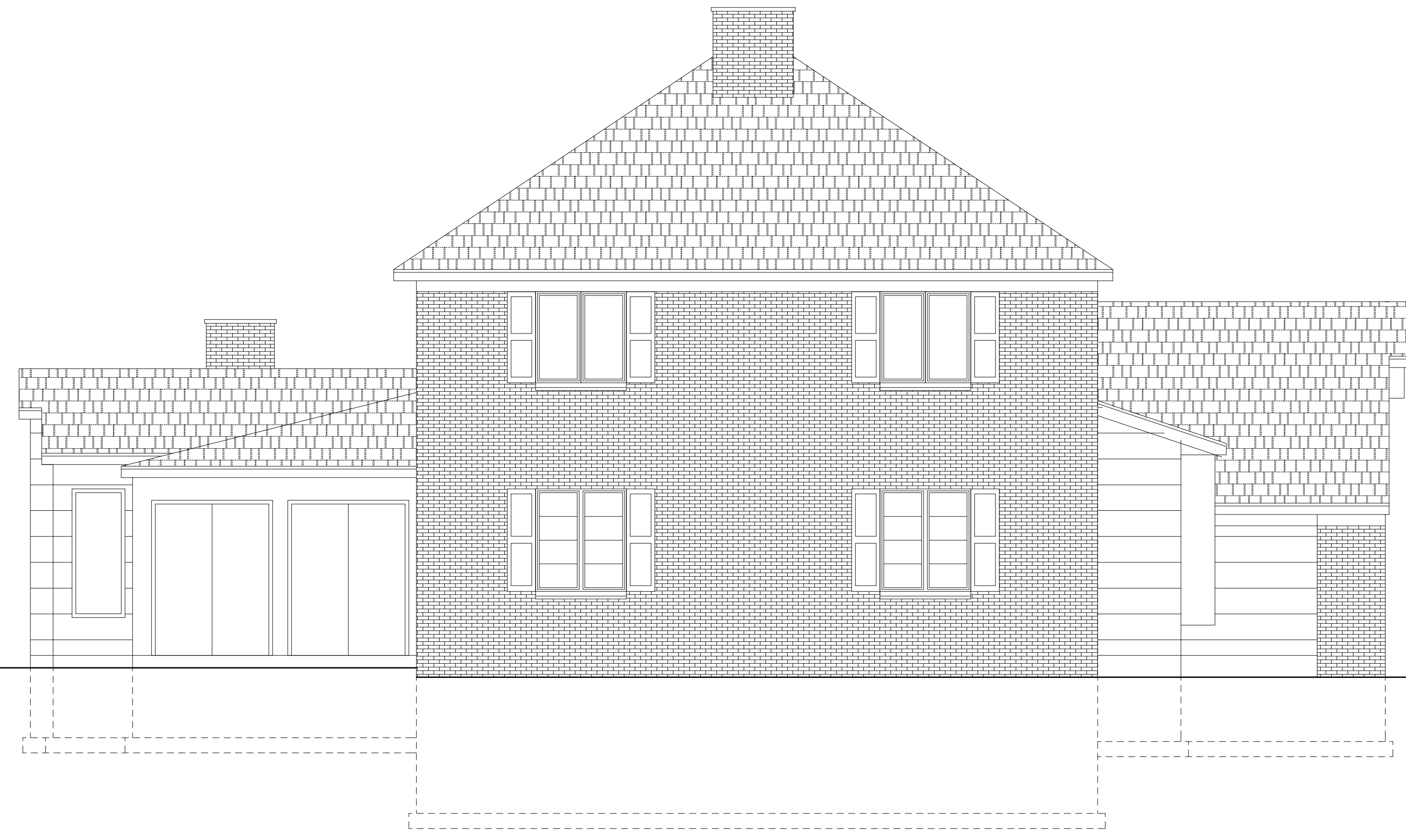
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JOB NO.: 20M0945

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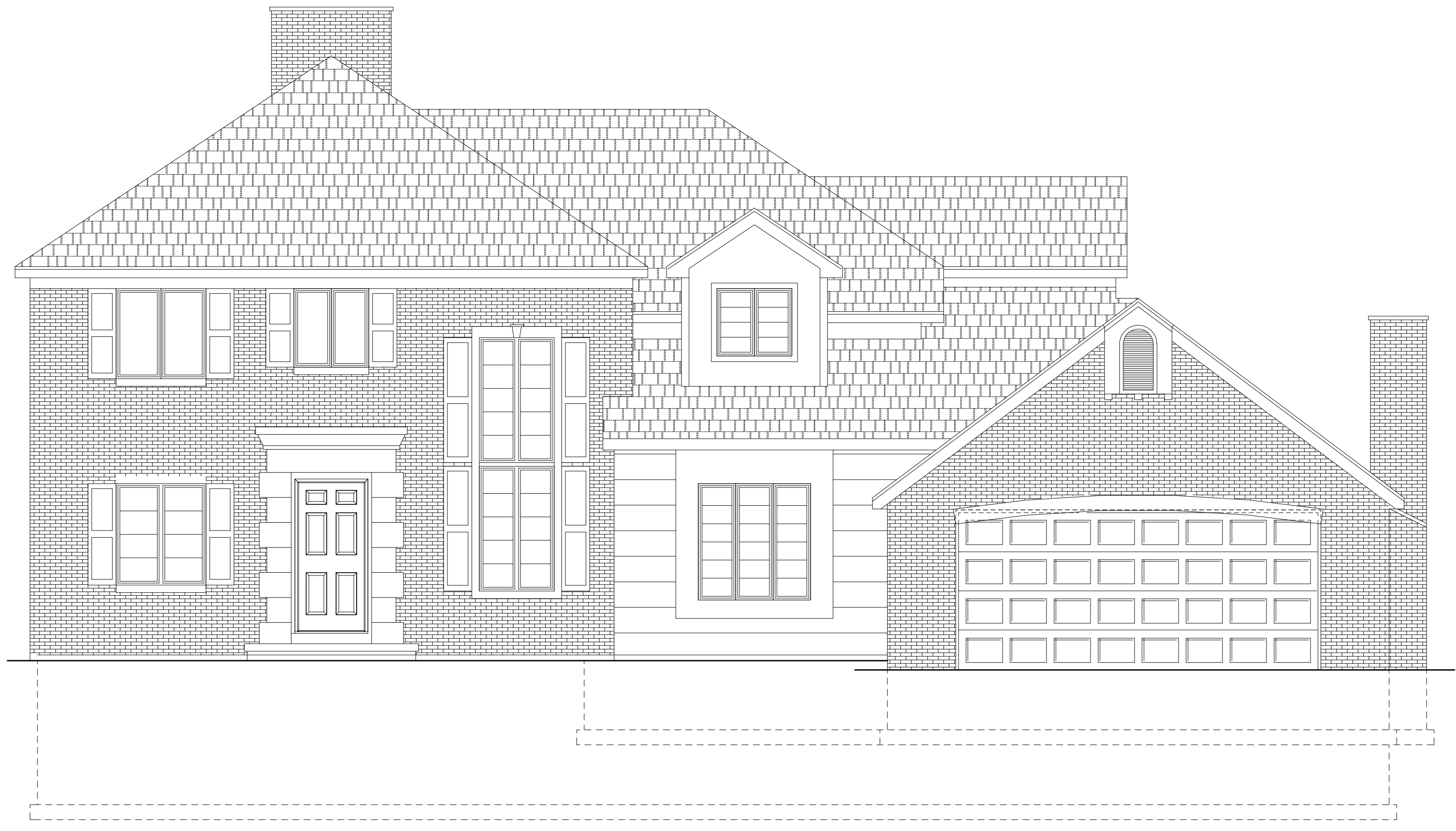
7

OF **8** SHEETS



LEFT SIDE ELEVATION

EXISTING



FRONT SIDE ELEVATION

EXISTING



REAR ELEVATION

EXISTING



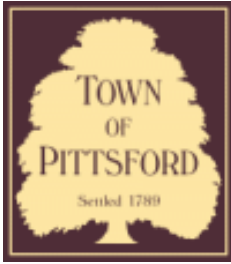
RIGHT SIDE ELEVATION

EXISTING









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000148

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 38 Amber Hill Drive PITTSFORD, NY 14534

Tax ID Number: 177.04-2-42

Zoning District: RN Residential Neighborhood

Owner: Osborne, Alexander M

Applicant: Keystone Custom Decks LLC

Application Type:

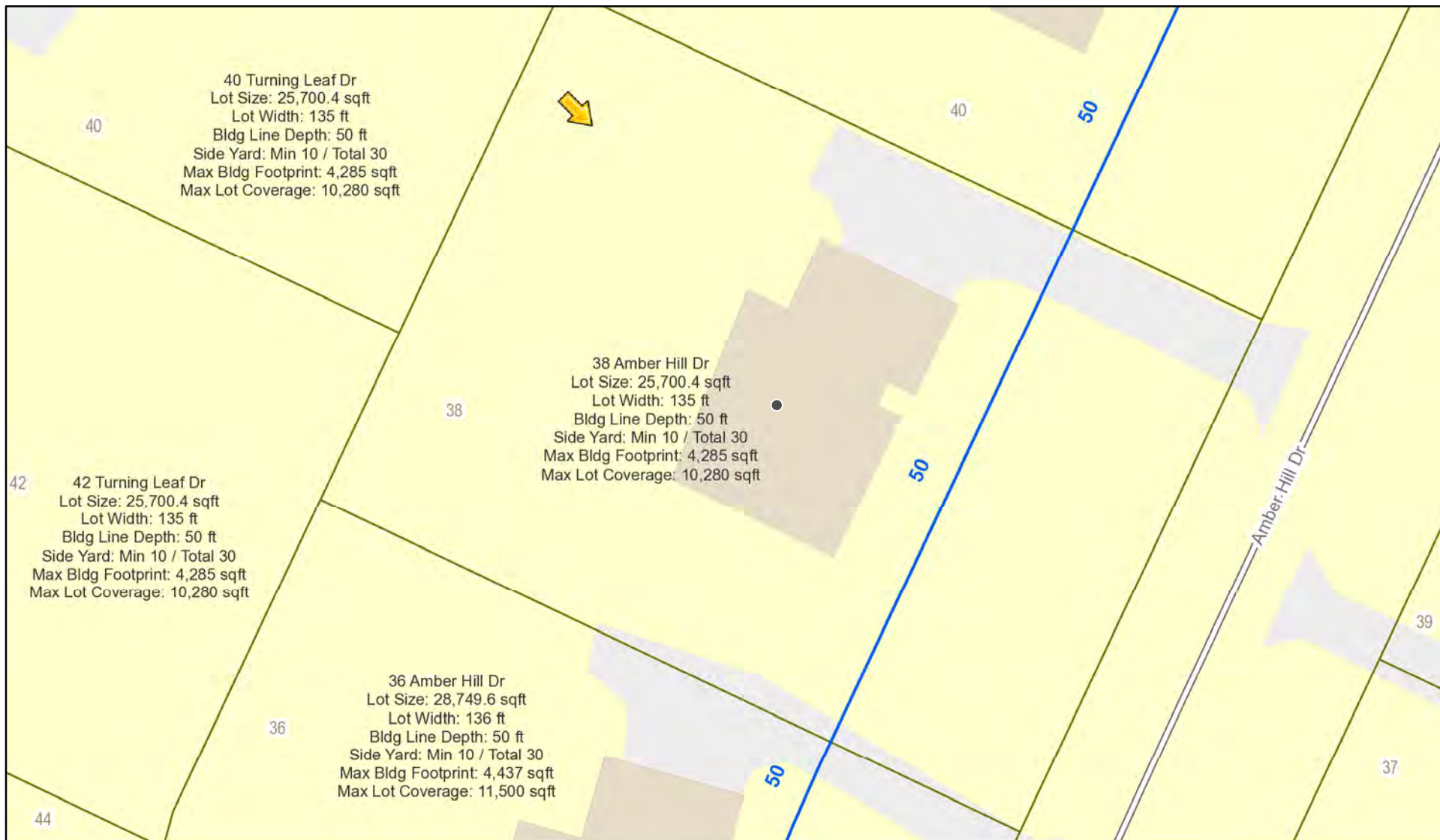
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of approximately an 266 SF roof structure over the existing patio off the back of the house.

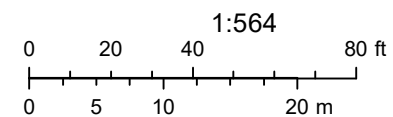
Meeting Date: July 22, 2021



RN Residential Neighborhood Zoning



Printed July 13, 2021

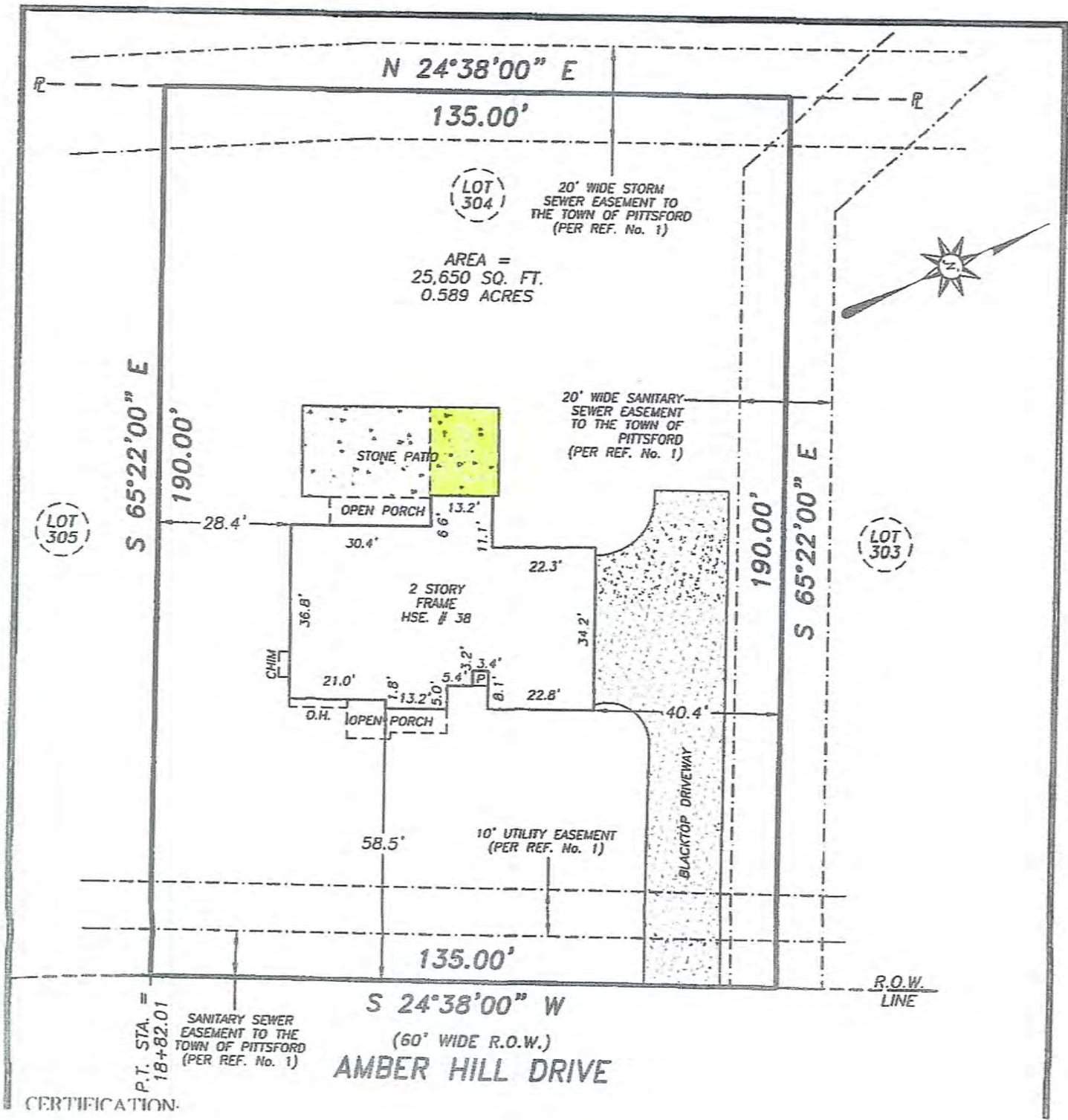


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Amber



LOT 304

AREA =
25,650 SQ. FT.
0.589 ACRES

20' WIDE STORM
SEWER EASEMENT TO
THE TOWN OF PITTSFORD
(PER REF. No. 1)

20' WIDE SANITARY
SEWER EASEMENT TO THE TOWN OF
PITTSFORD
(PER REF. No. 1)

STONE PATIO

OPEN PORCH

2 STORY
FRAME
HSE. # 38

OPEN PORCH

10' UTILITY EASEMENT
(PER REF. No. 1)

BLACKTOP DRIVEWAY

LOT 305

LOT 303

P.T. STA. =
18+82.01

SANITARY SEWER
EASEMENT TO THE
TOWN OF PITTSFORD
(PER REF. No. 1)

S 24°38'00" W
(60' WIDE R.O.W.)
AMBER HILL DRIVE

R.O.W.
LINE

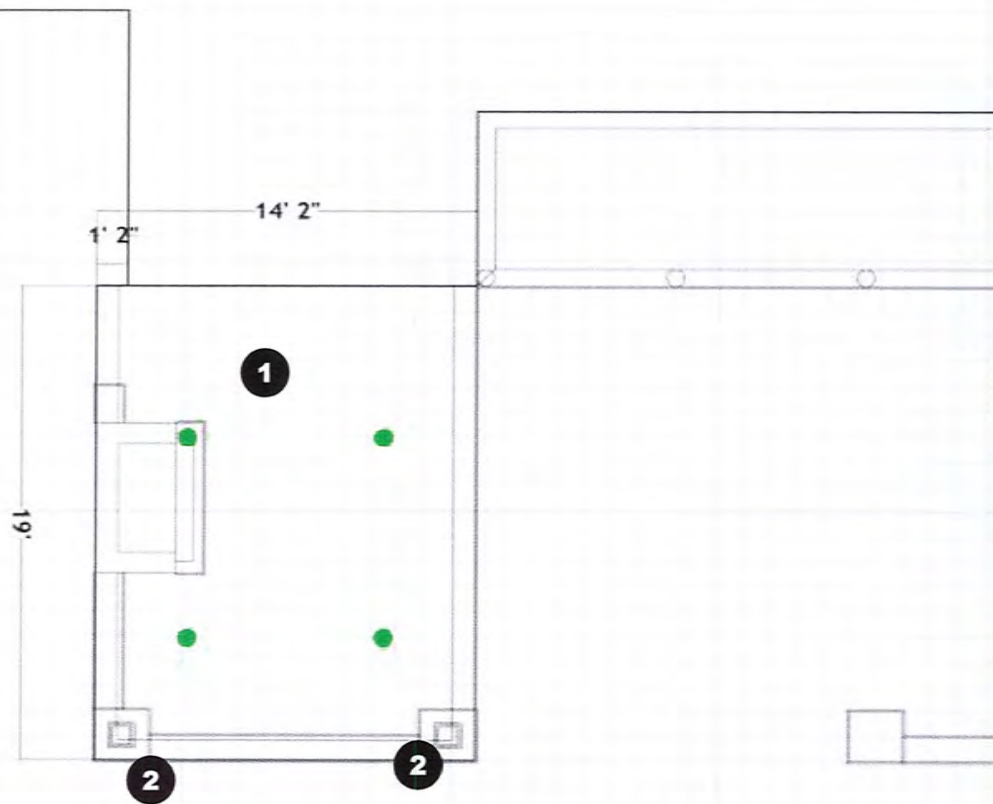
CERTIFICATION:

Osborne
82 Amber Hill Drive
Pittsford, NY 14534
585-261-8271

1. Existing Flagstone Patio
2. 16"x48" Holes with Concrete Poured to Grade Level to Support Roof Structure

315-227-2288

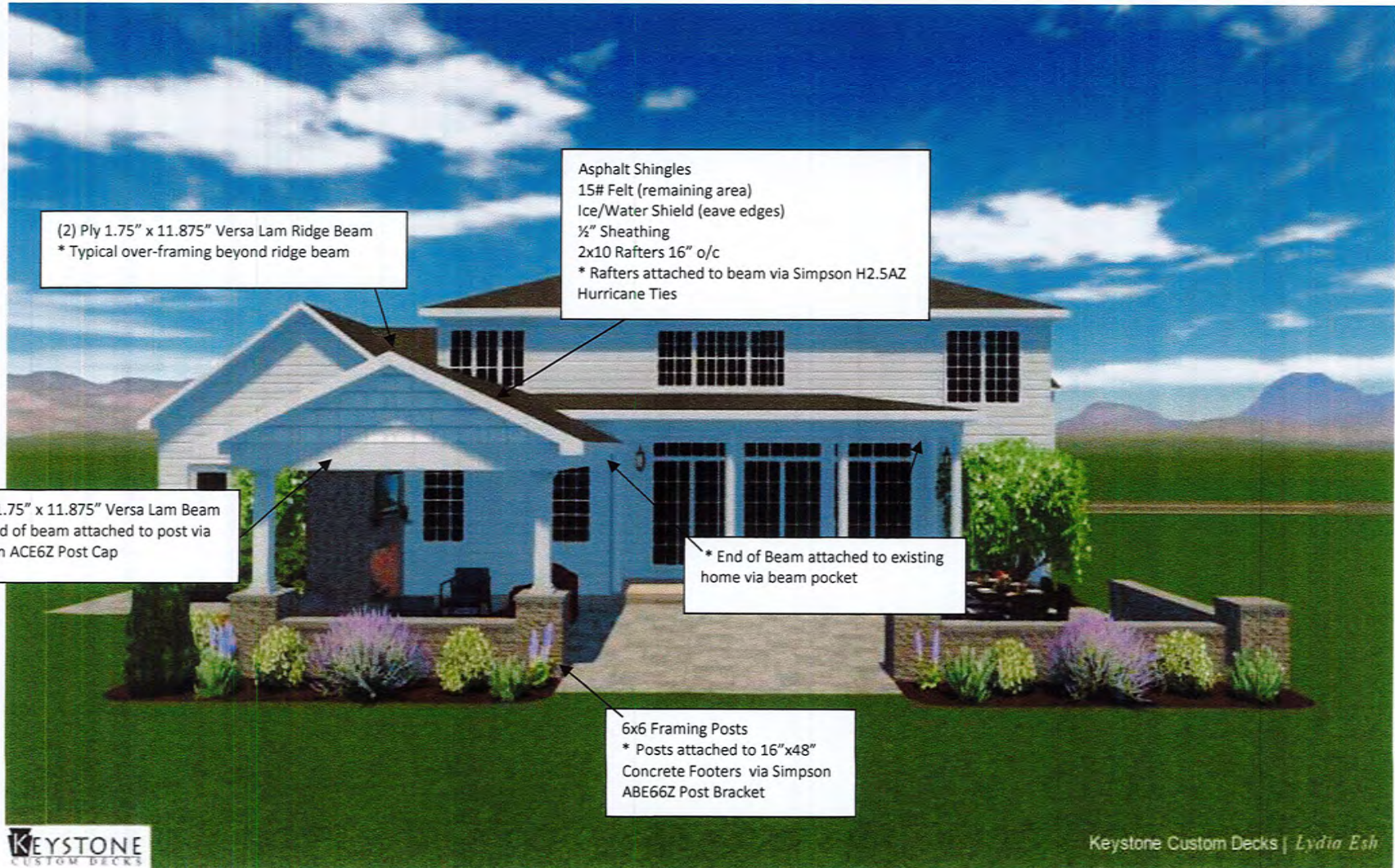
FRAMING PLAN



Customer Info

Client Name: Alma Osborne
 Address: 82 Amber Hill Drive
 City: Pittsford
 State/Province: New York
 Zip/Post Code: 14534
 Designer Name: Letta E.

Scale: 1/4" = 1 ft.

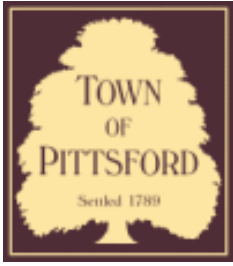












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA21-000142

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 12 Ravenna PITTSFORD, NY 14534

Tax ID Number: 177.03-5-27

Zoning District: IZ Incentive Zoning

Owner: Karen Hyatt

Applicant: Karen Hyatt

Application Type:

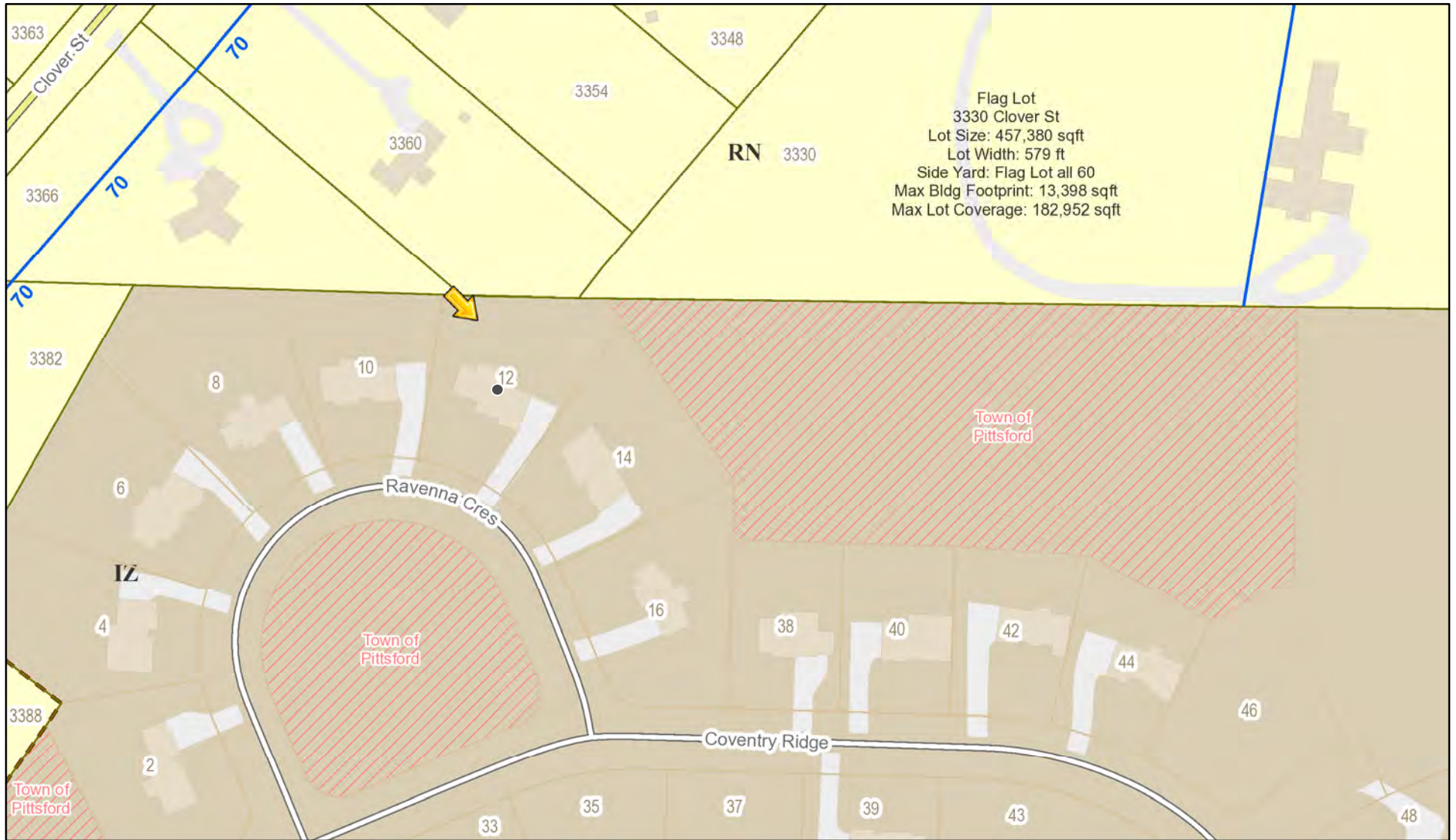
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of approximately an 310 SF porch roof and deck including an outdoor fireplace to the rear of the house.

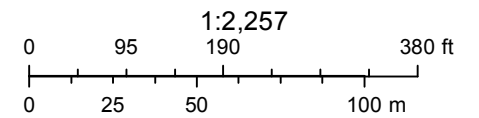
Meeting Date: July 22, 2021



RN Residential Neighborhood Zoning

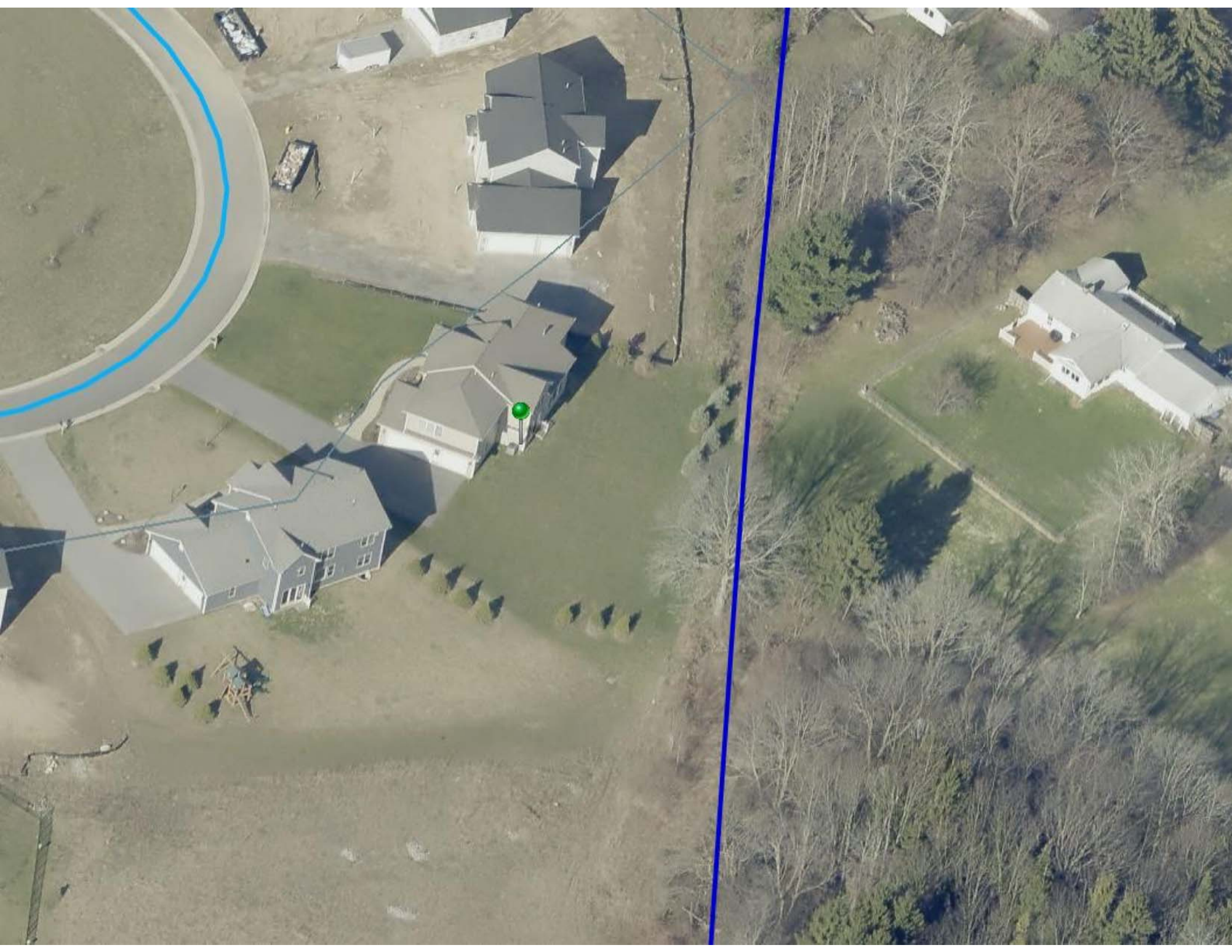


Printed July 13, 2021

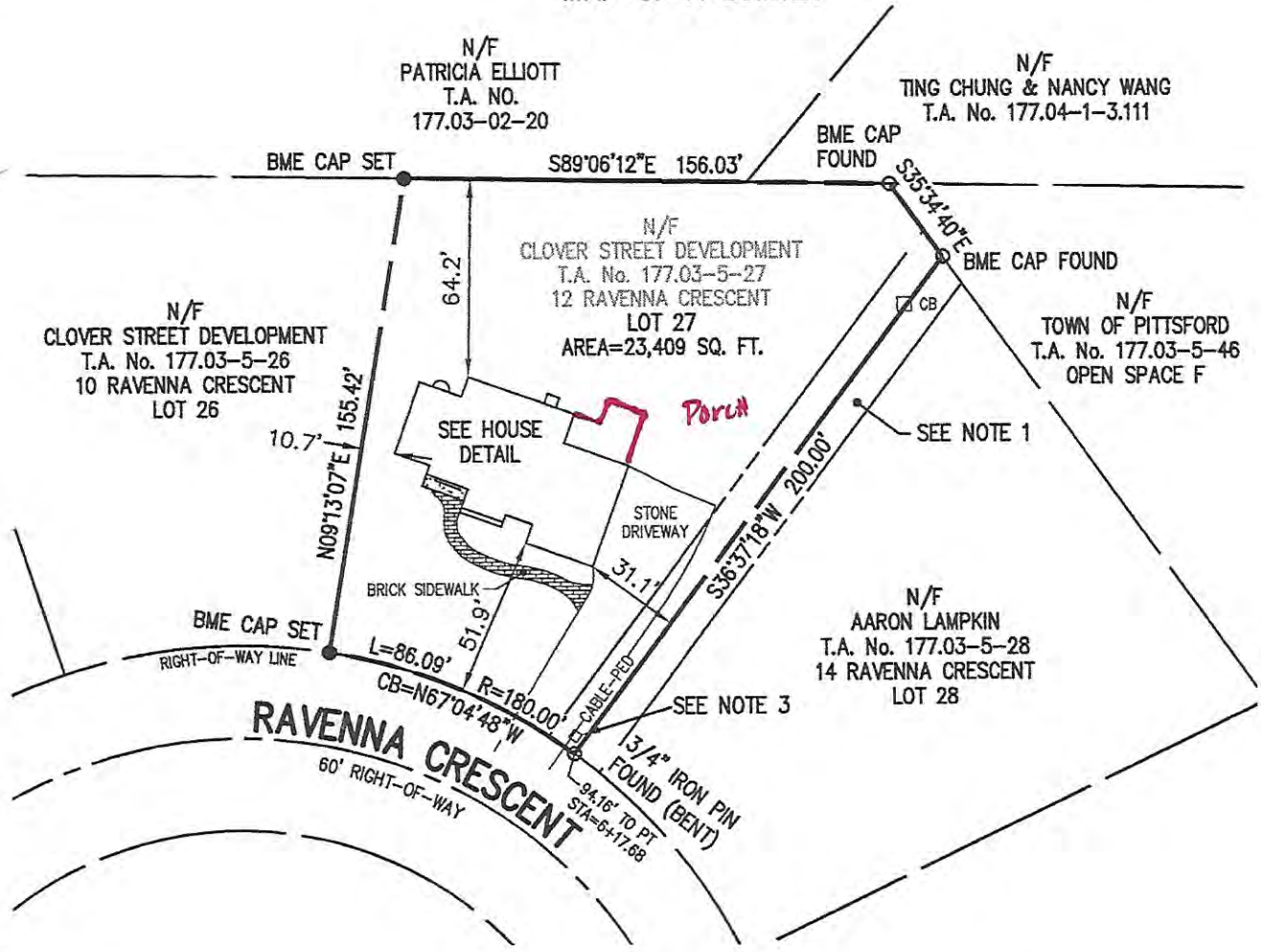


Town of Pittsford GIS

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MAP OF A SURVEY

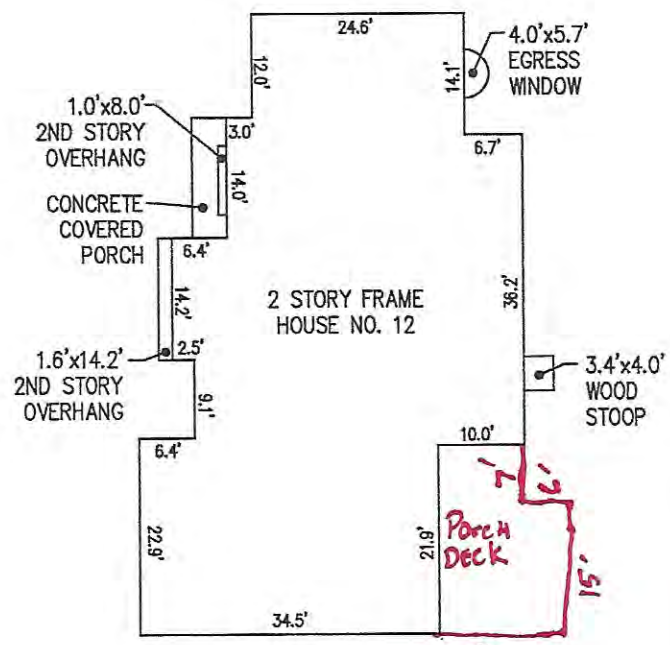


REFERENCES:

1. A PLAN PREPARED BY BME ASSOCIATES ENTITLED "COVENTRY RIDGE, SECTION 2, FINAL SUBDIVISION PLAT" AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 349 OF MAPS, PAGE 77.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

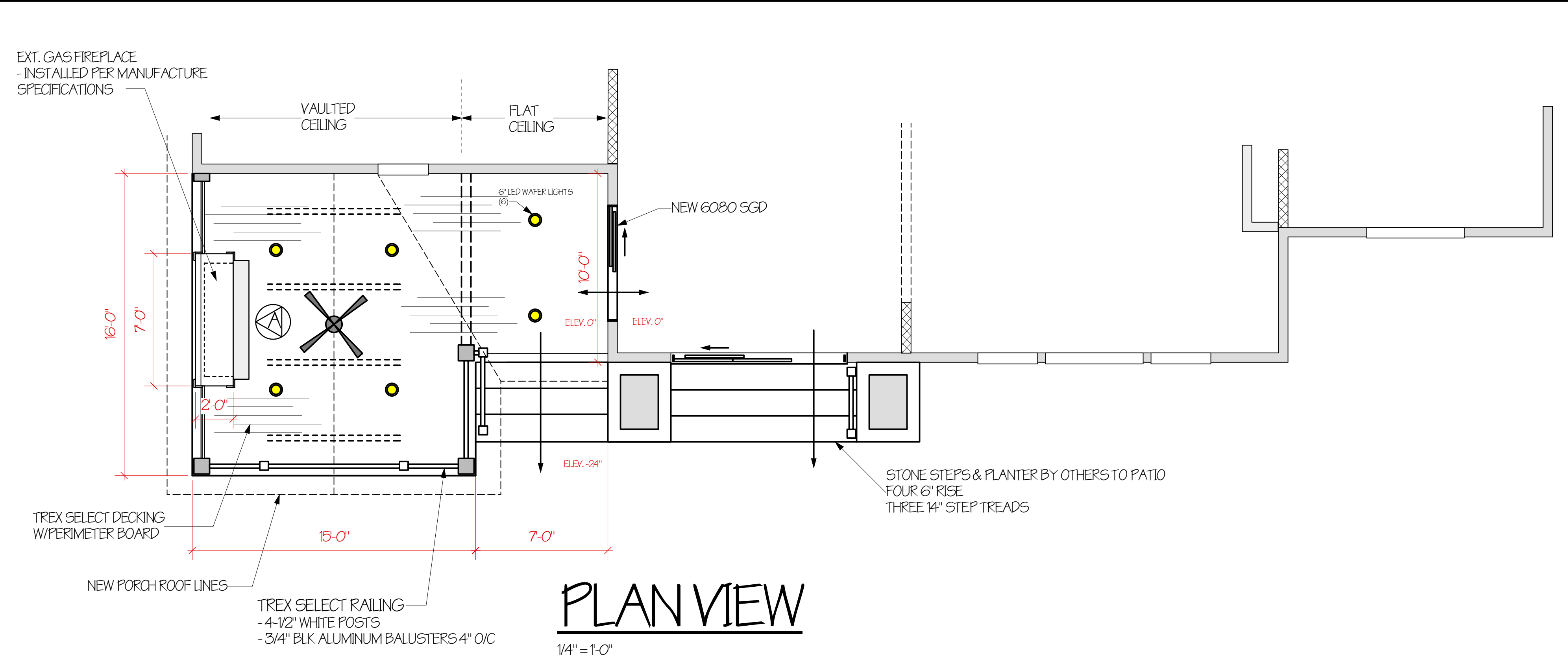
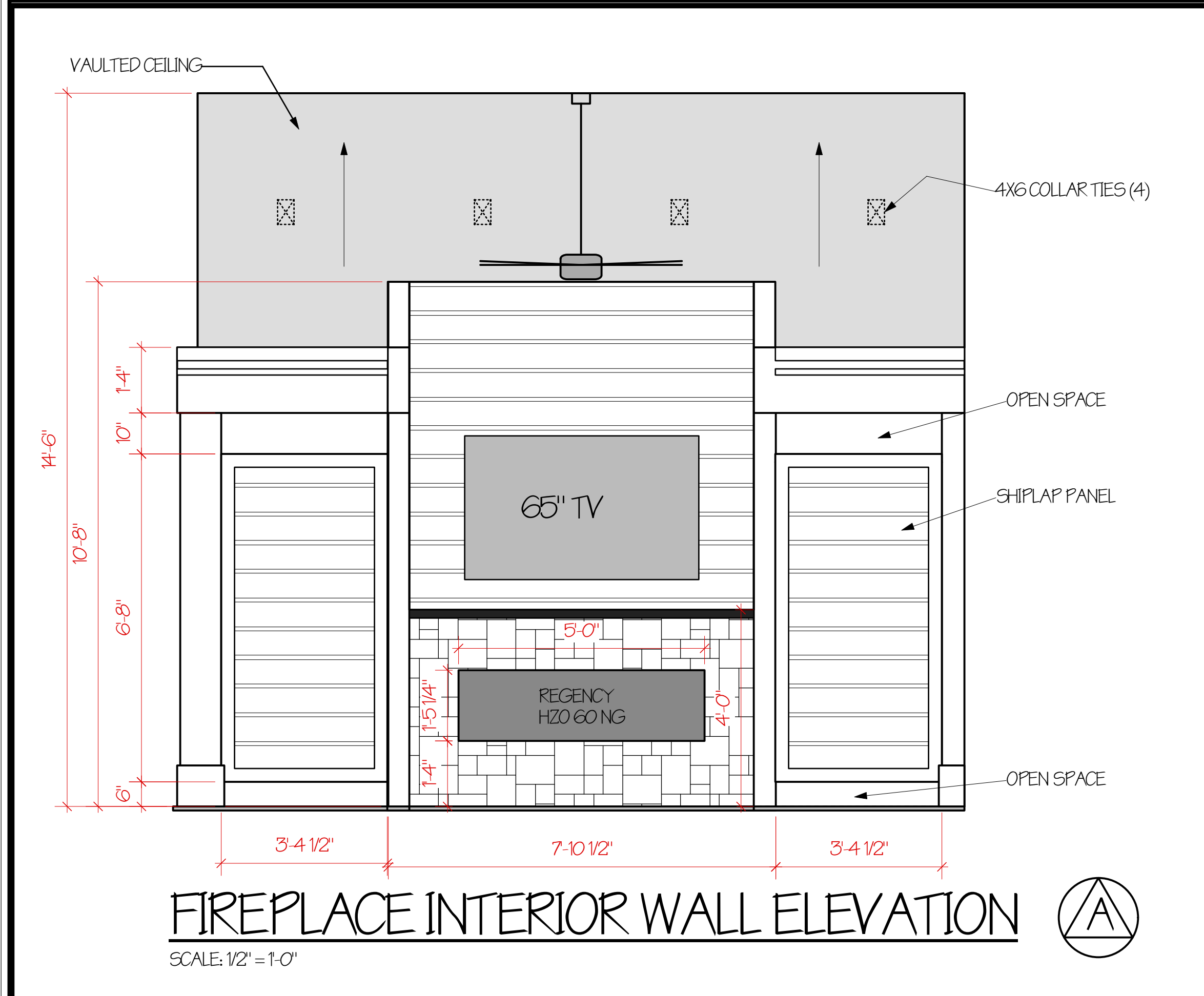
1. PARCEL SUBJECT TO AN EASEMENT TO TOWN OF PITTSFORD PER LIBER 11532 OF DEEDS, PAGE 54.
2. PARCEL SUBJECT TO A DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS PER LIBER 11656 OF DEEDS, PAGE 147, AND AMENDED PER LIBER 11676 OF DEEDS, PAGE 397 AND LIBER 11763 OF DEEDS, PAGE 58.
3. PARCEL MAY BE SUBJECT TO RIGHTS OF OTHERS FOR UTILITIES.
4. SETBACK REQUIREMENTS:
 FRONT YARD: 50'
 SIDE YARD: 10'
 REAR YARD: 10'



HOUSE DETAIL
NOT TO SCALE

WE, BME ASSOCIATES, CERTIFY TO: CLOVER STREET DEVELOPMENT, THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON JULY 30, 2020 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

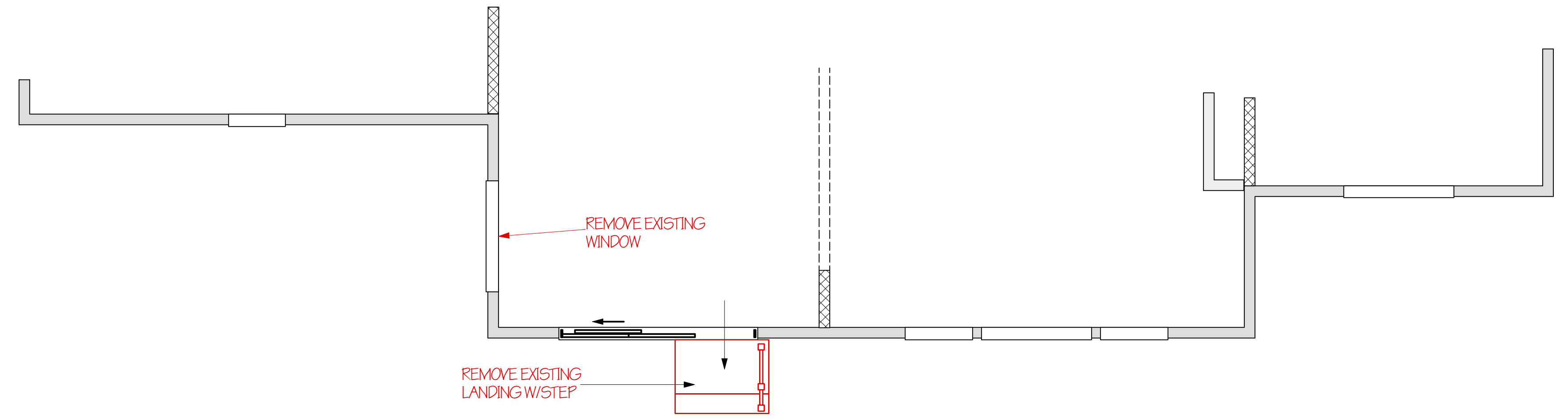
THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.



boardwalk design•build

Plan Date: 6-15-2021	HYATT RESIDENCE 12 RAVENNA CRESCENT T.O. PITTSFORD	DECK W/ ROOF CONCEPT PLAN	Scale: AS NOTED
Revisions: 7-2-2021			Drawn By: P. ZACHMAN
7-7-2021			

BOARDWALK DESIGN INC 604 PITTSFORD VICTOR ROAD PITTSFORD, NY



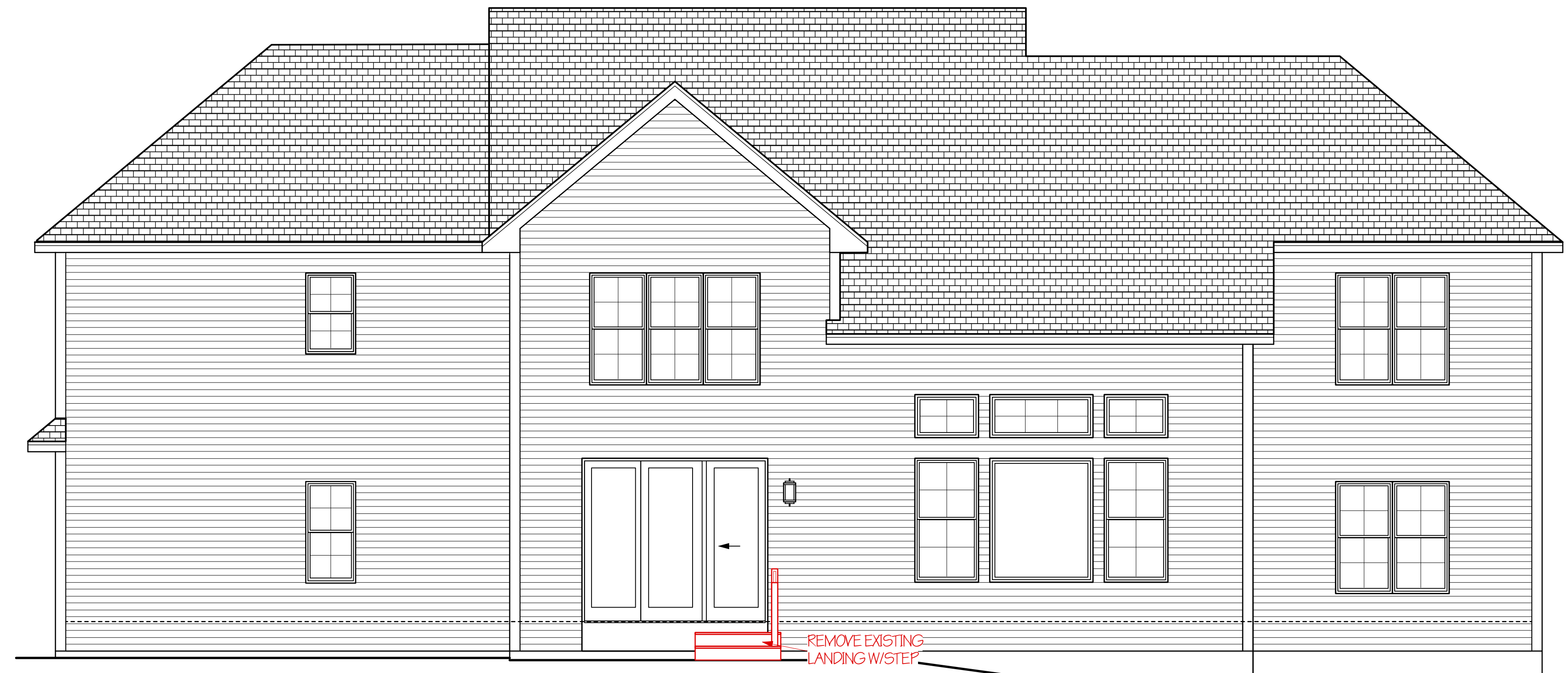
PLAN VIEW

1/4" = 1'-0"



EAST SIDE ELEVATION VIEW

1/4" = 1'-0"



NORTH REAR ELEVATION VIEW

1/4" = 1'-0"



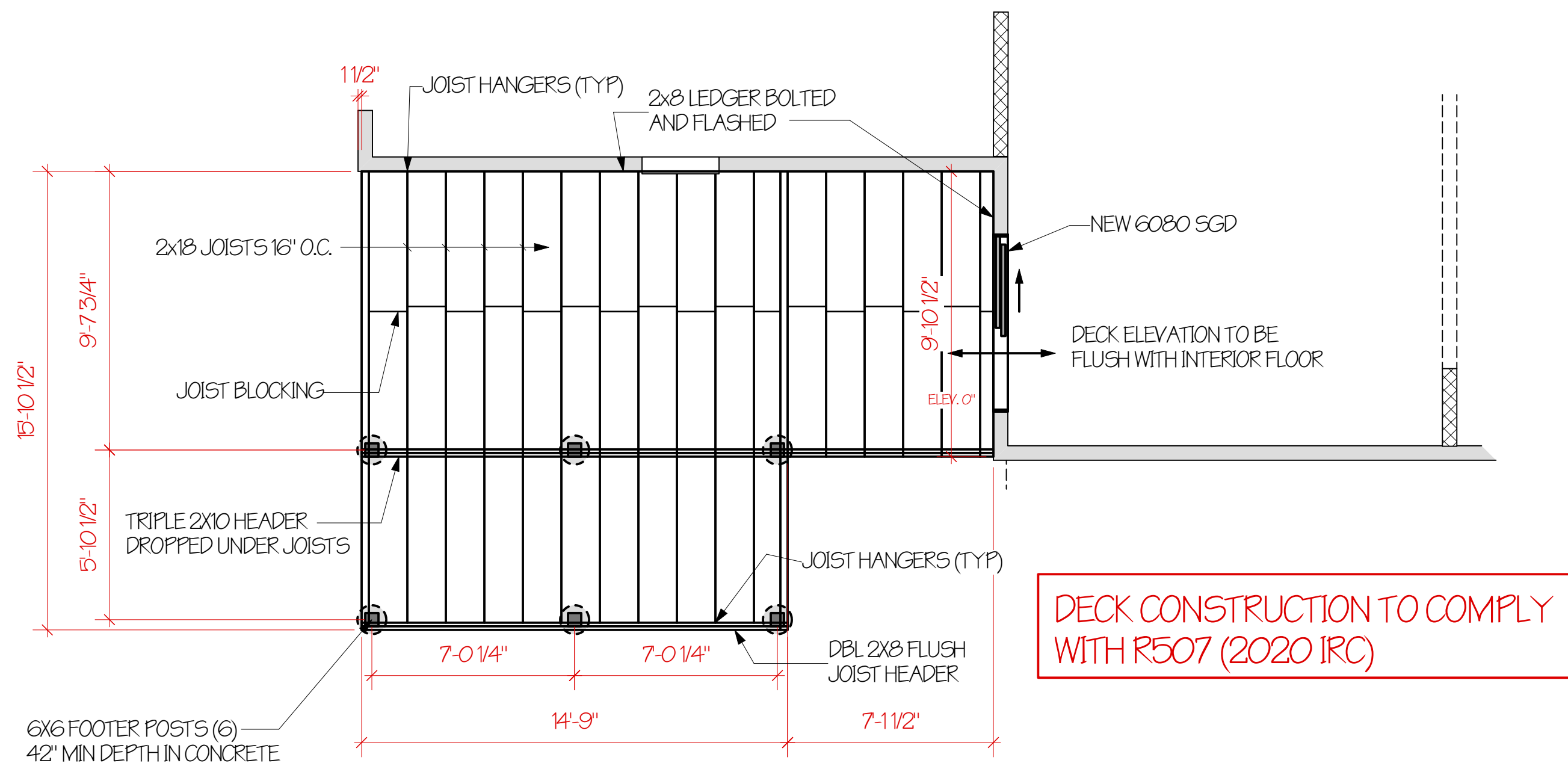
Plan Date:	6-15-2021
Revisions:	

HYATT RESIDENCE
12 RAVENNA CRESCENT
T.O. PITTSFORD

EXISTING ELEV. & PLAN VIEW

Scale:	AS NOTED
Drawn By:	P. ZACHMAN

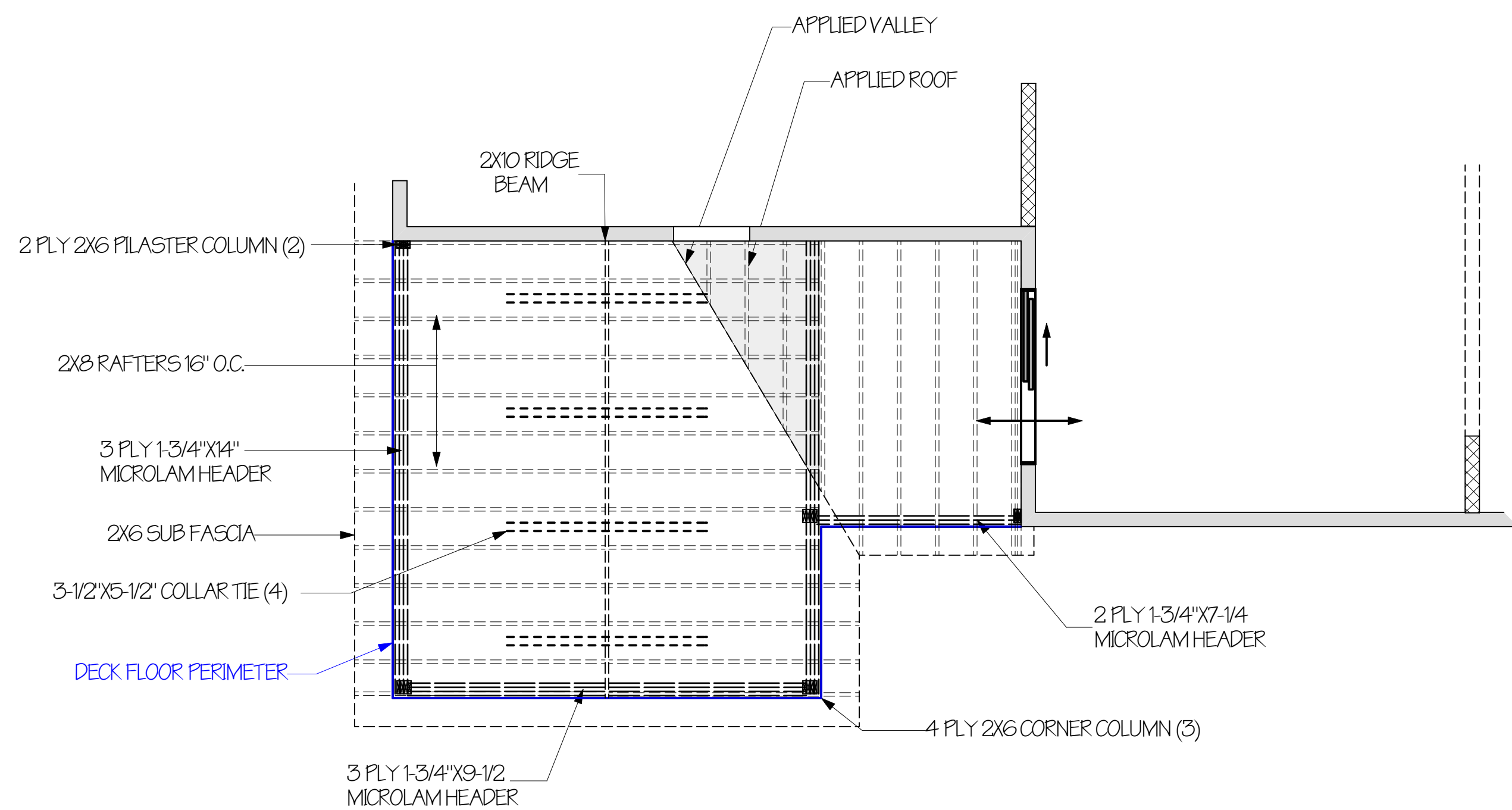
BOARDWALK DESIGN INC 604 PITTSFORD VICTOR ROAD PITTSFORD, NY



DECK CONSTRUCTION TO COMPLY WITH R507 (2020 IRC)

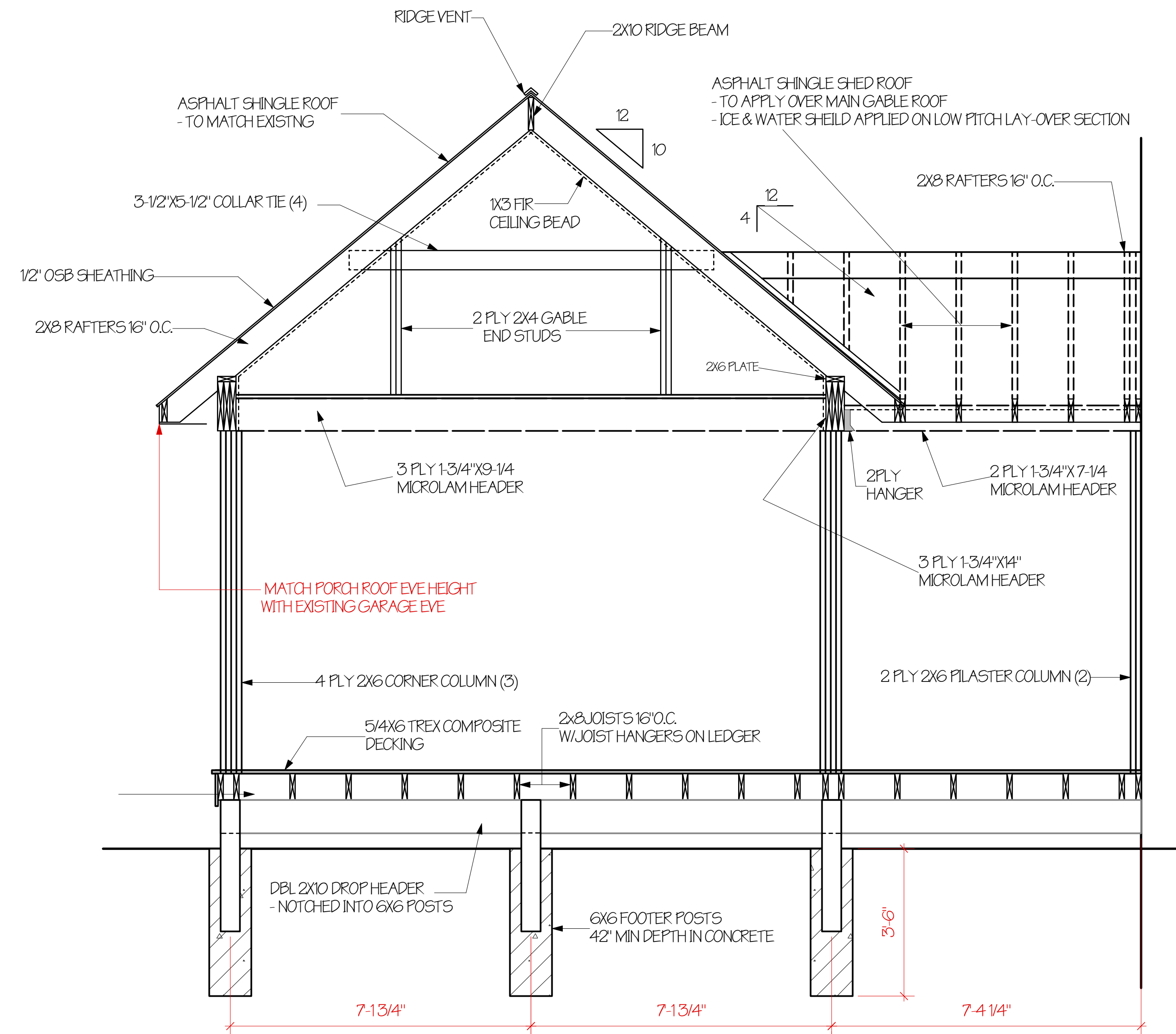
DECK LEVEL FRAMING & FOOTERS

SCALE 1/4" = 1'-0"



ROOF FRAMING

SCALE 1/4" = 1'-0"



FRAMING-FOOTER SECTION VIEW

SCALE 1/2" = 1'-0"



Plan Date: 6-15-2021
 Revisions: 7-2-2021
 7-7-2021

HYATT RESIDENCE
 12 RAVENNA CRESCENT
 T.O. PITTSFORD

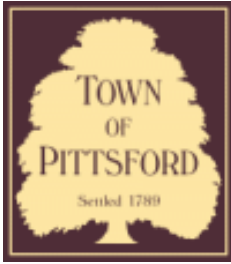
DECK W/ ROOF
 CONCEPT PLAN

Scale: AS NOTED
 Drawn By: P. ZACHMAN
 BOARDWALK DESIGN INC 604 PITTSFORD VICTOR ROAD PITTSFORD, NY









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000149

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 11 Evesham Place PITTSFORD, NY 14534

Tax ID Number: 178.03-2-47

Zoning District: RN Residential Neighborhood

Owner: Ketmar Development Corp

Applicant: Ketmar Development Corp

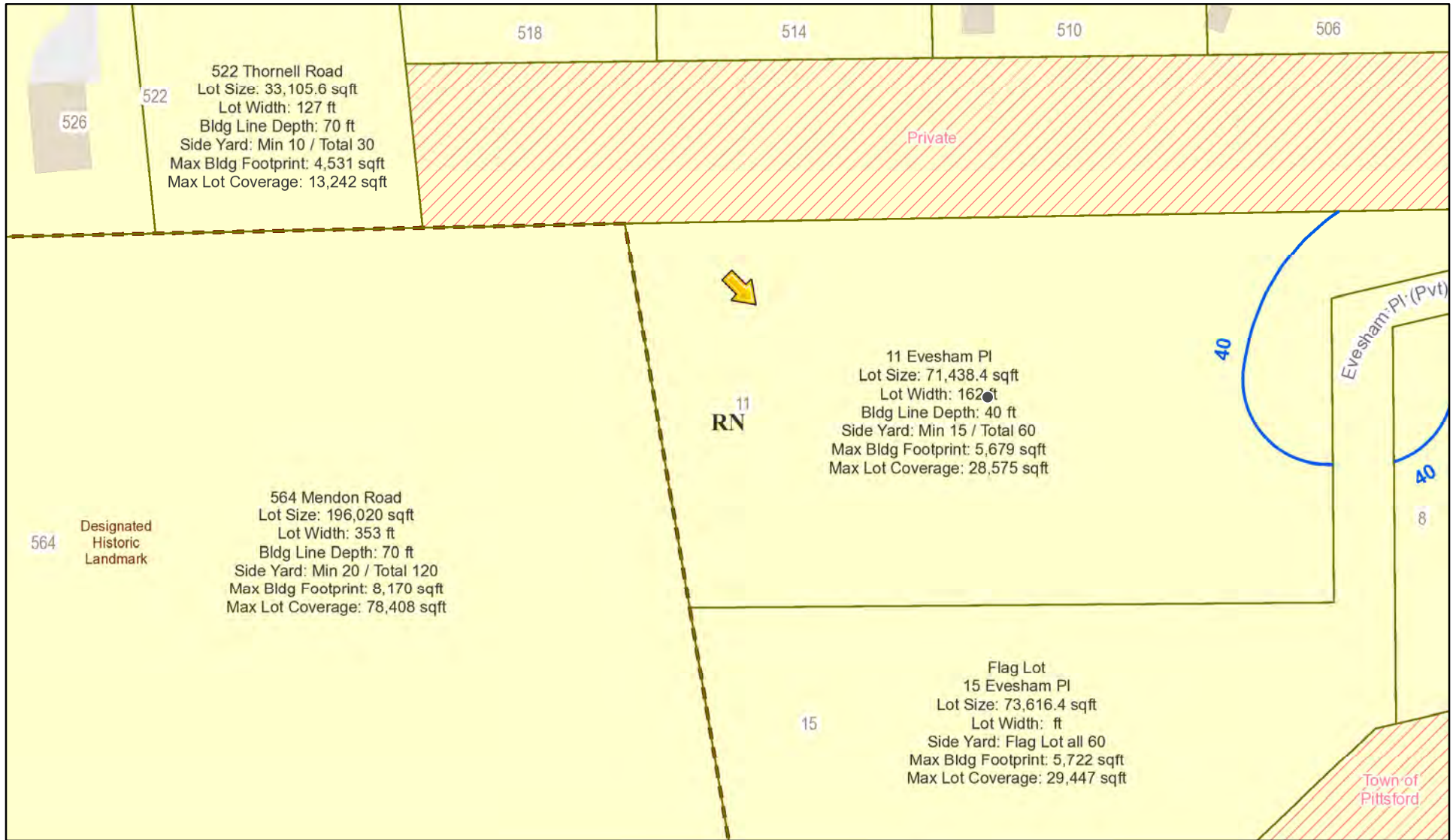
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

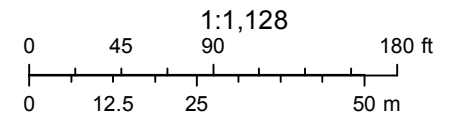
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5180 square feet and located in the Malvern Hills Subdivision.

Meeting Date: July 22, 2021

RN Residential Neighborhood Zoning

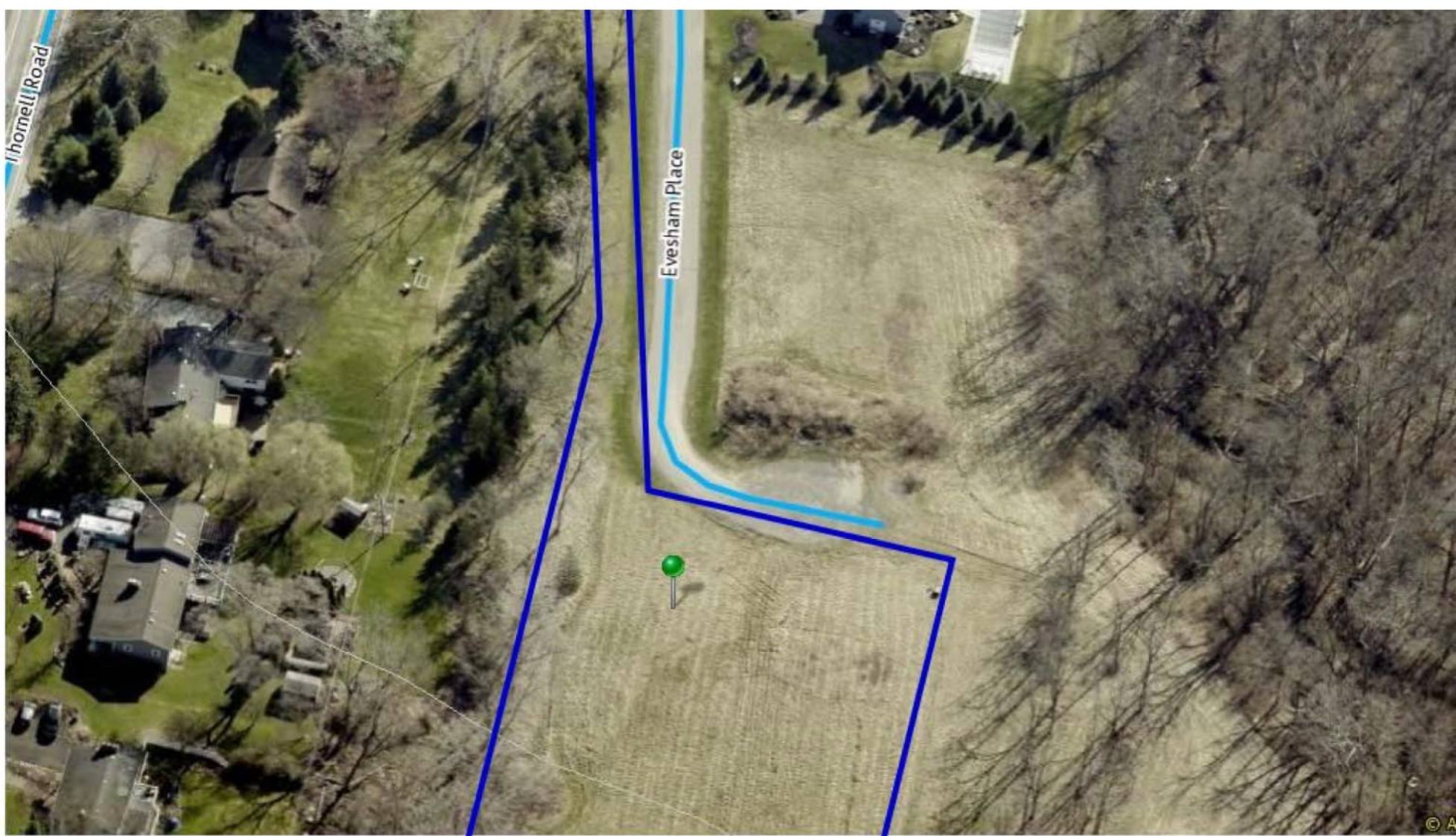


Printed July 14, 2021



Town of Pittsford GIS

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LIPOF RESIDENCE

LOT 210 EVESHAM PLACE
PITTSFORD, NY

KETMAR DEVELOPMENT CORP.

PLAN 3664 / PROJECT 15440

SHEET INDEX

- C- 1 COVER SHEET
- 1/7 FRONT & LEFT ELEVATIONS
- 2/7 REAR & RIGHT ELEVATIONS
- 3/7 FOUNDATION PLAN
- 4/7 FIRST FLOOR PLAN
- 5/7 SECOND FLOOR PLAN
- 6/7 SECTIONS
- 7/7 SECTIONS & ROOF PLAN
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

- DURING TESTING:
- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
 - DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
 - INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
 - INTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
 - HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
 - SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST. TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST-CONSTRUCTION TEST. TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL 5 BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE, WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAUNING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.1.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

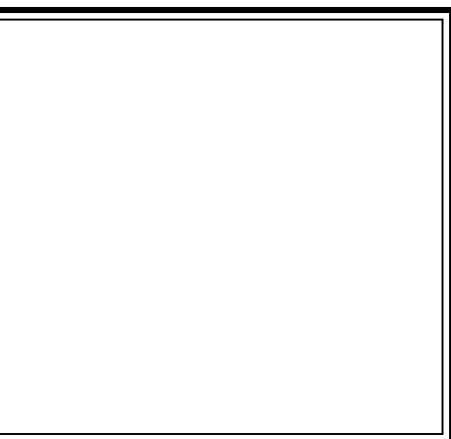
IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

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LOT 210 EVESHAM PLACE
PITTSFORD, NY

BUILDER:

KETMAR DEVELOPMENT

COVER PAGE

GLA PLAN 3664

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scale: AS NOTED	date: 7 / 21
PROJECT: 15440	sheet: C 1

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ⁻⁶ = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

DESIGN CRITERIA:

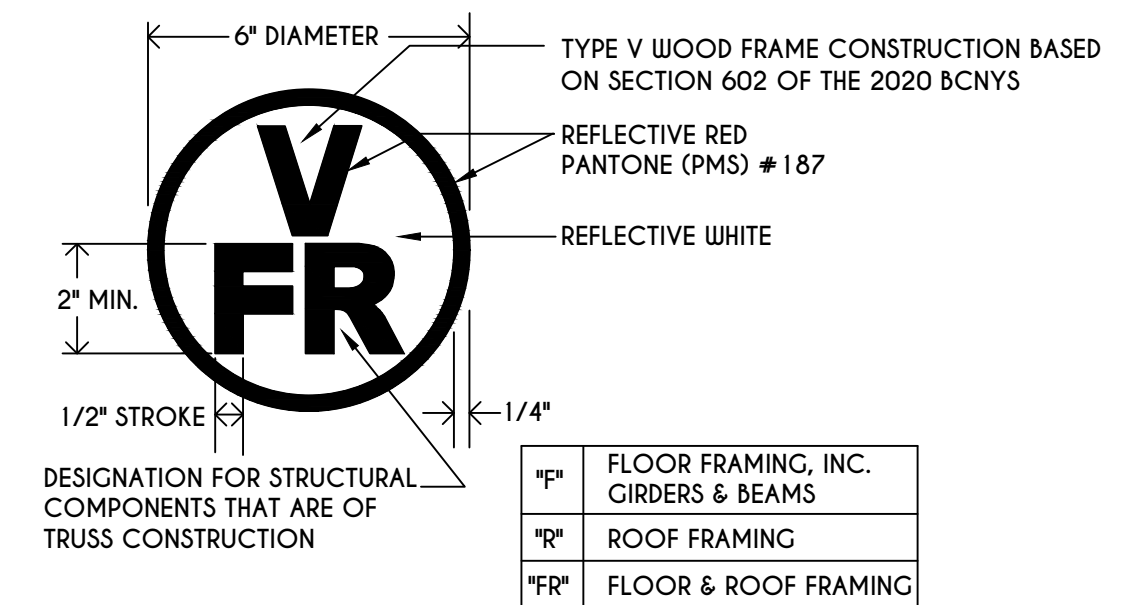
(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

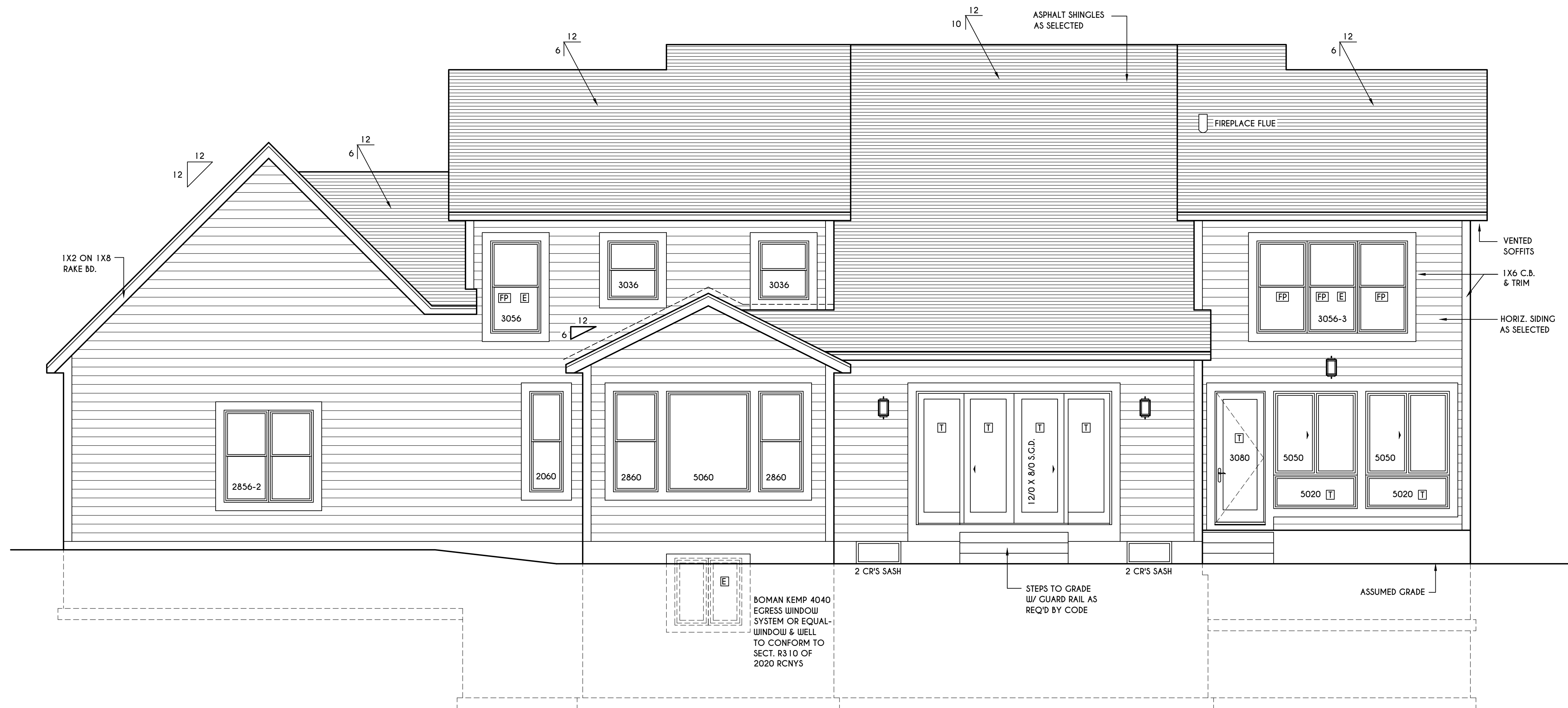
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

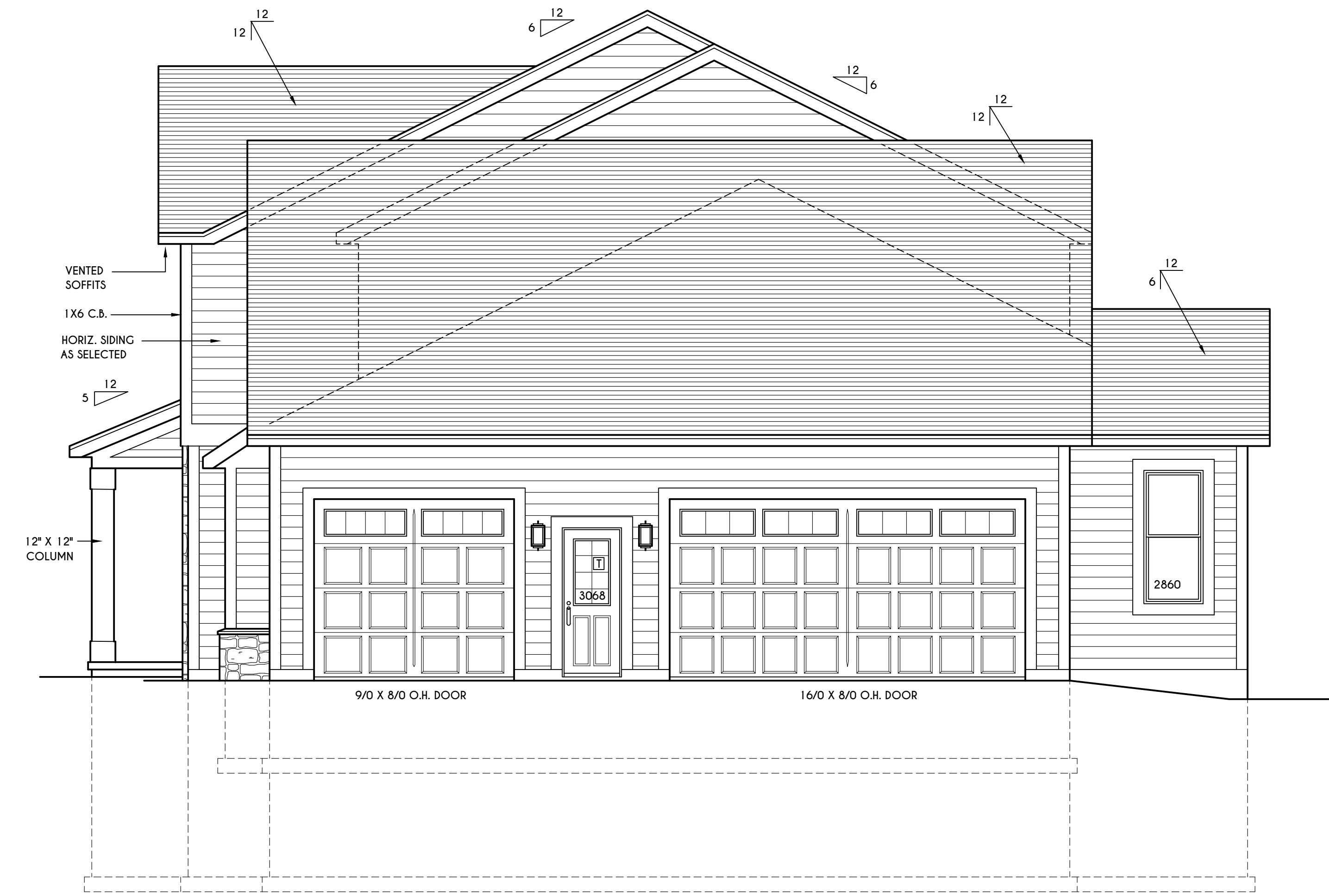
IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL

WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



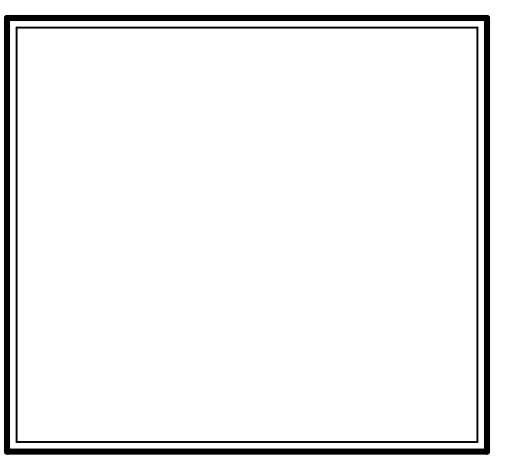


REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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PITTSFORD, NY

BUILDER:

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ELEVATIONS

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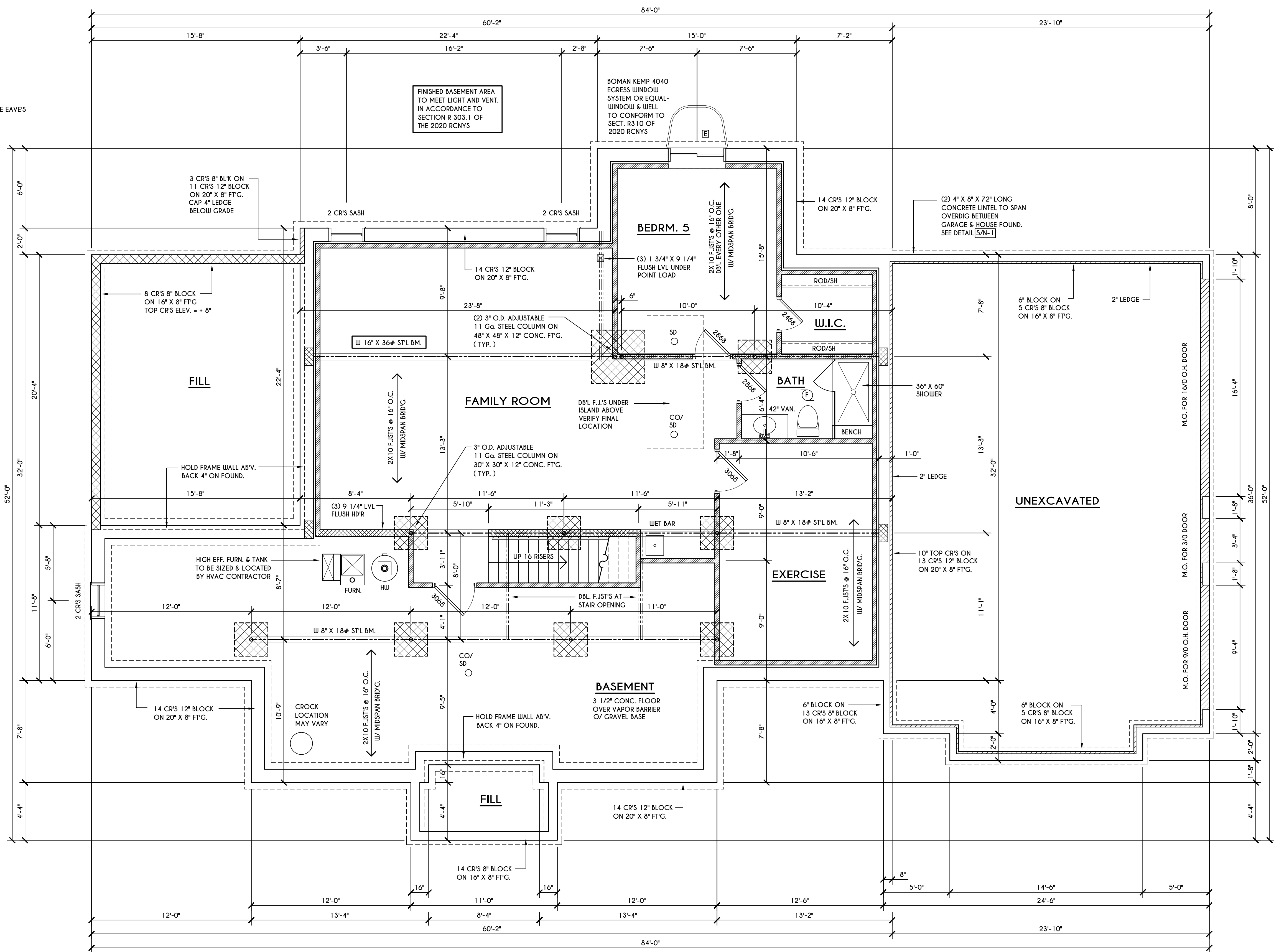
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FOUNDATION PLAN

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BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0" FINISHED LIVING AREA 1185 SQ.FT.

NOTES: CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 197N-1

WINDOW / DOOR LEGEND:

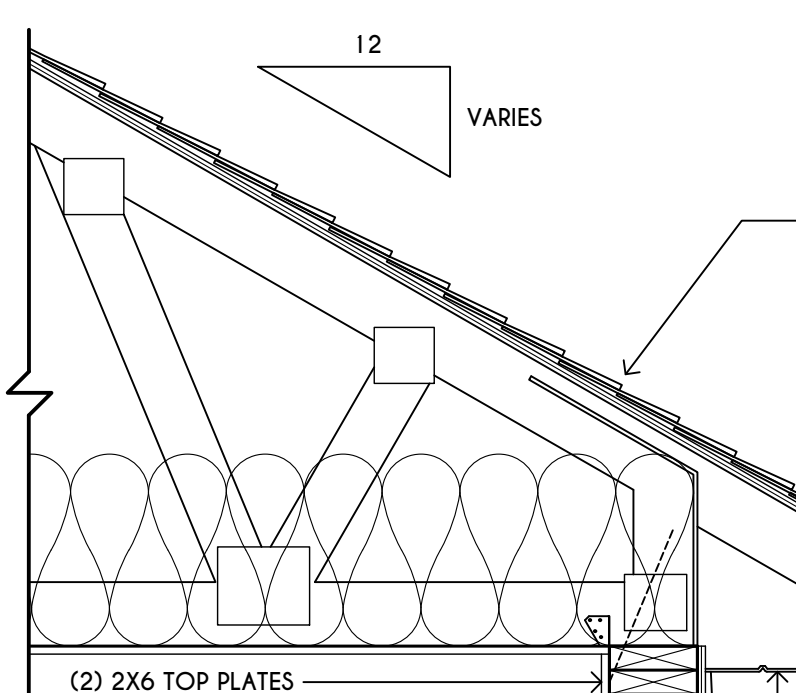
E	= MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
T	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
FP	= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

FRAMING LEGEND:

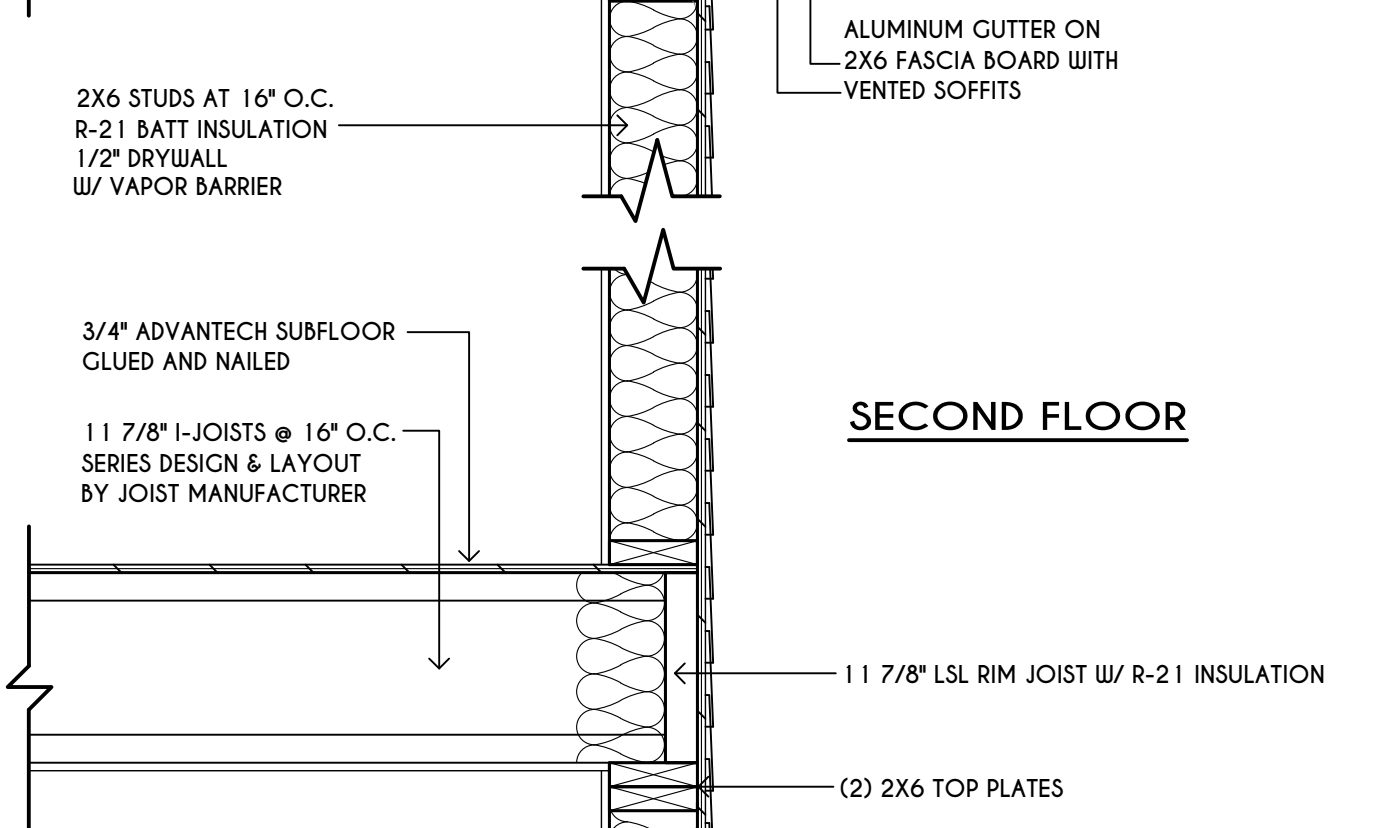
	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.

TRUSS EAVE CONSTRUCTION

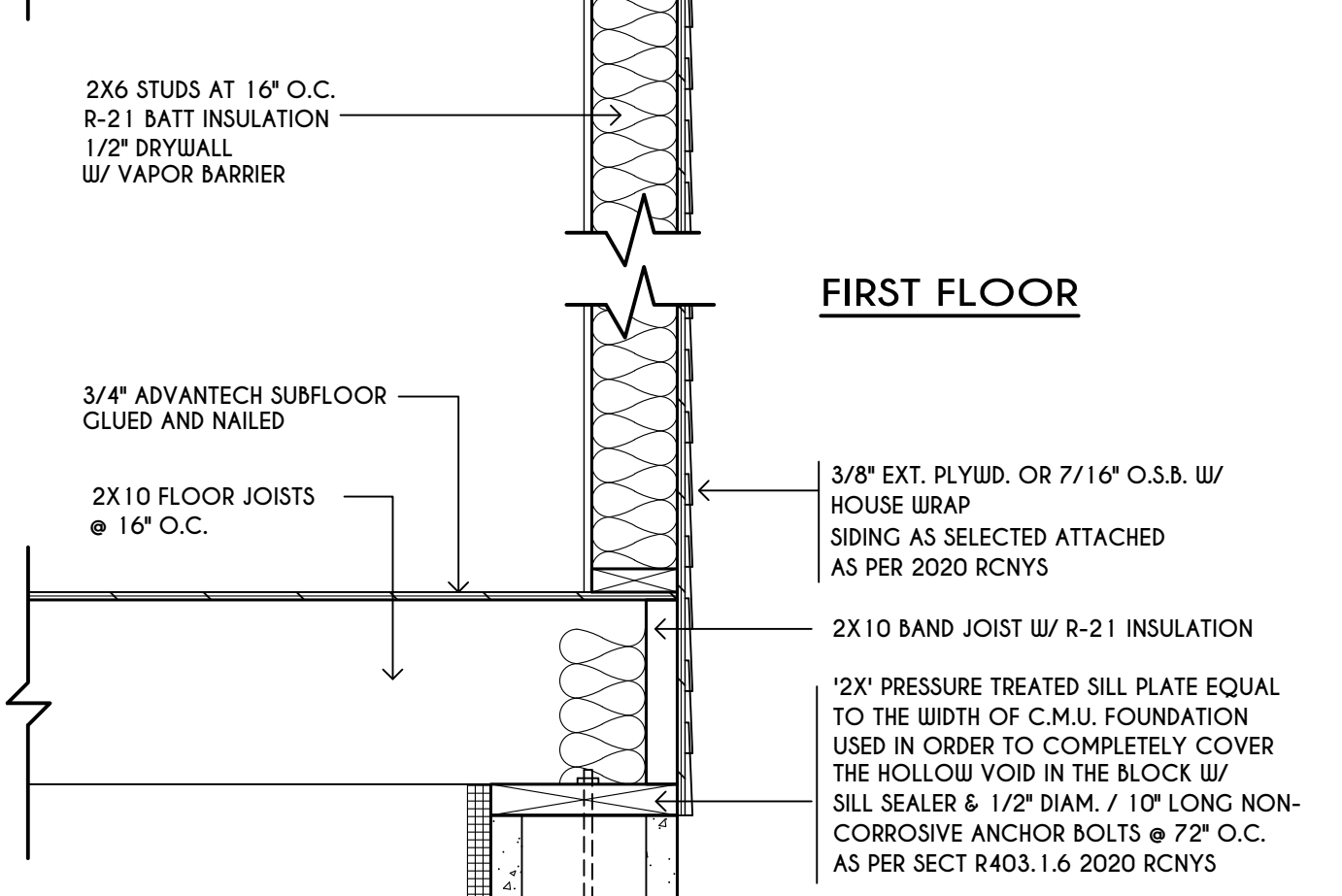
ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON I4 HURRICANE TIES OR SDUC 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION Baffle W/ MIN. 1" AIRSPACE
 ROOF DECK & Baffle TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC
 R-38 CEILING INSULATION



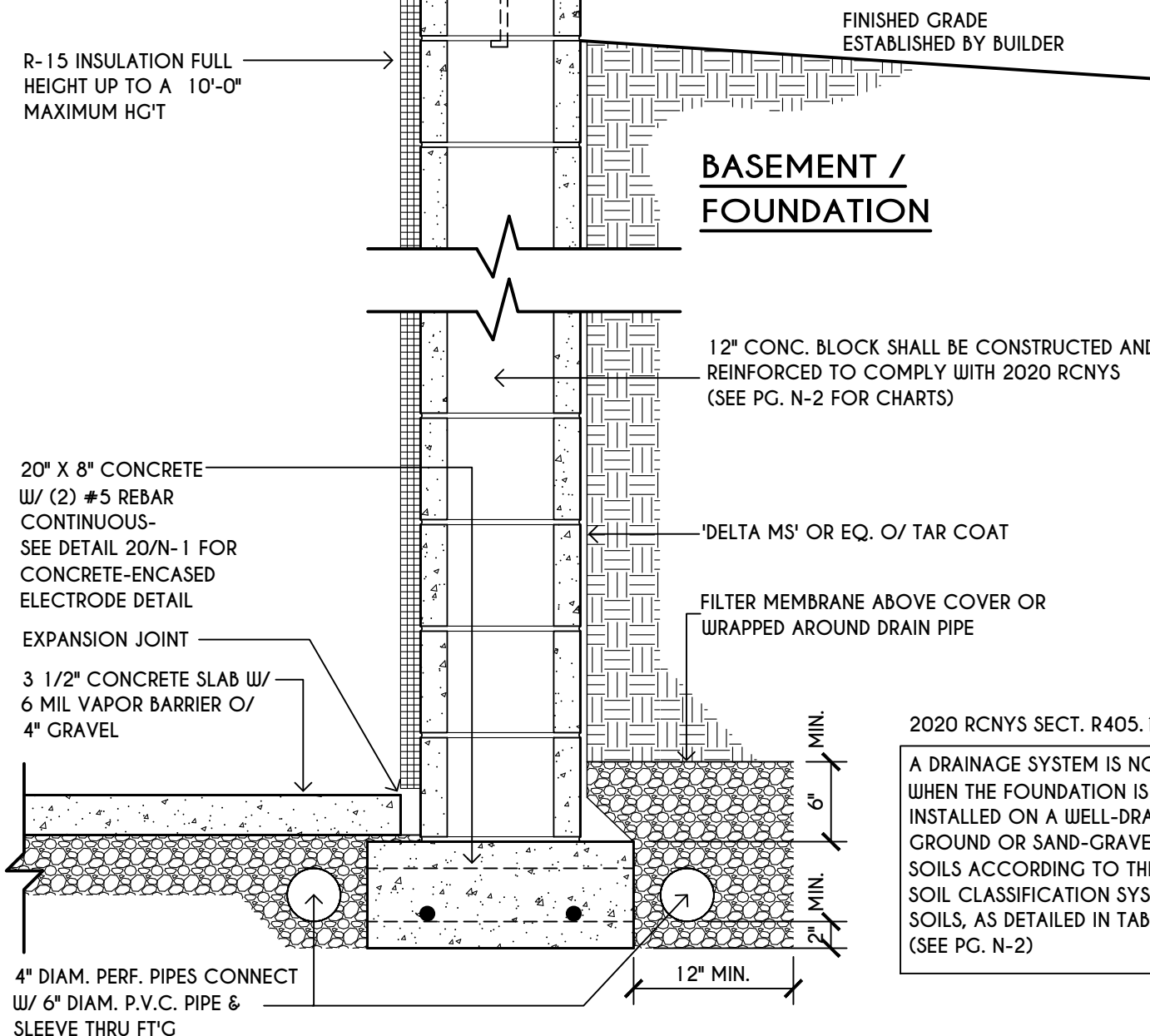
SECOND FLOOR



FIRST FLOOR



BASEMENT / FOUNDATION



2020 RCNYS SECT. R405.1, EXCEPTION
 A DRAINAGE SYSTEM IS NOT REQ'D. WHEN THE FOUNDATION IS INSTALLED ON A WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1. (SEE PG. N-2)

TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

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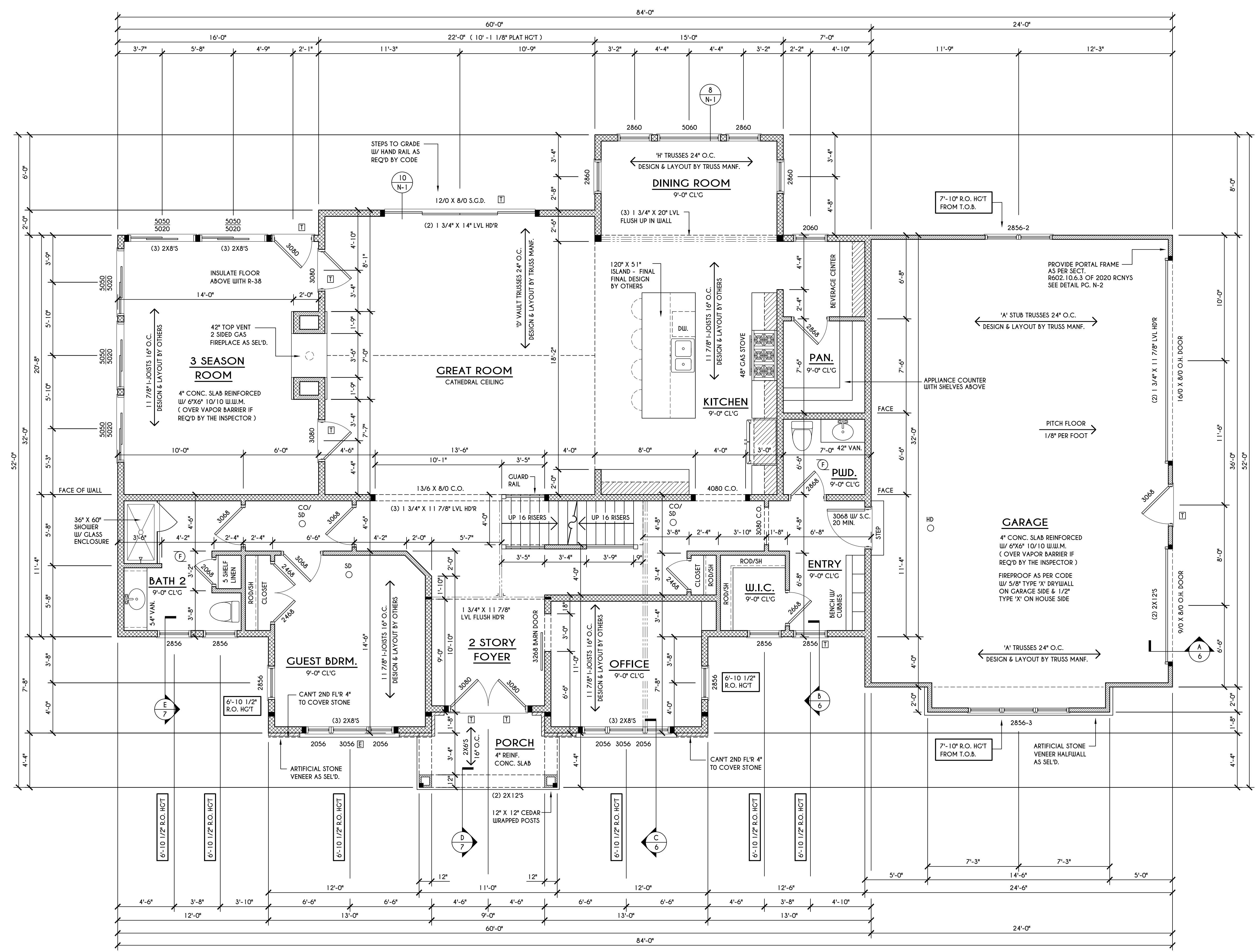
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BUILDER:
 KETMAR DEVELOPMENT

FIRST FLOOR PLAN

GLA PLAN 3664

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PROJECT: 15440	sheet: 4 / 7



ENGINEERED FLOOR JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.

FIRST FLOOR PLAN
 2007 SQ. FT.
 SCALE: 1/4" = 1'-0"
 * 330 SQ. FT. (3 SEASON ROOM)

NOTES: FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HCTS TO BE 8'-0" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENING > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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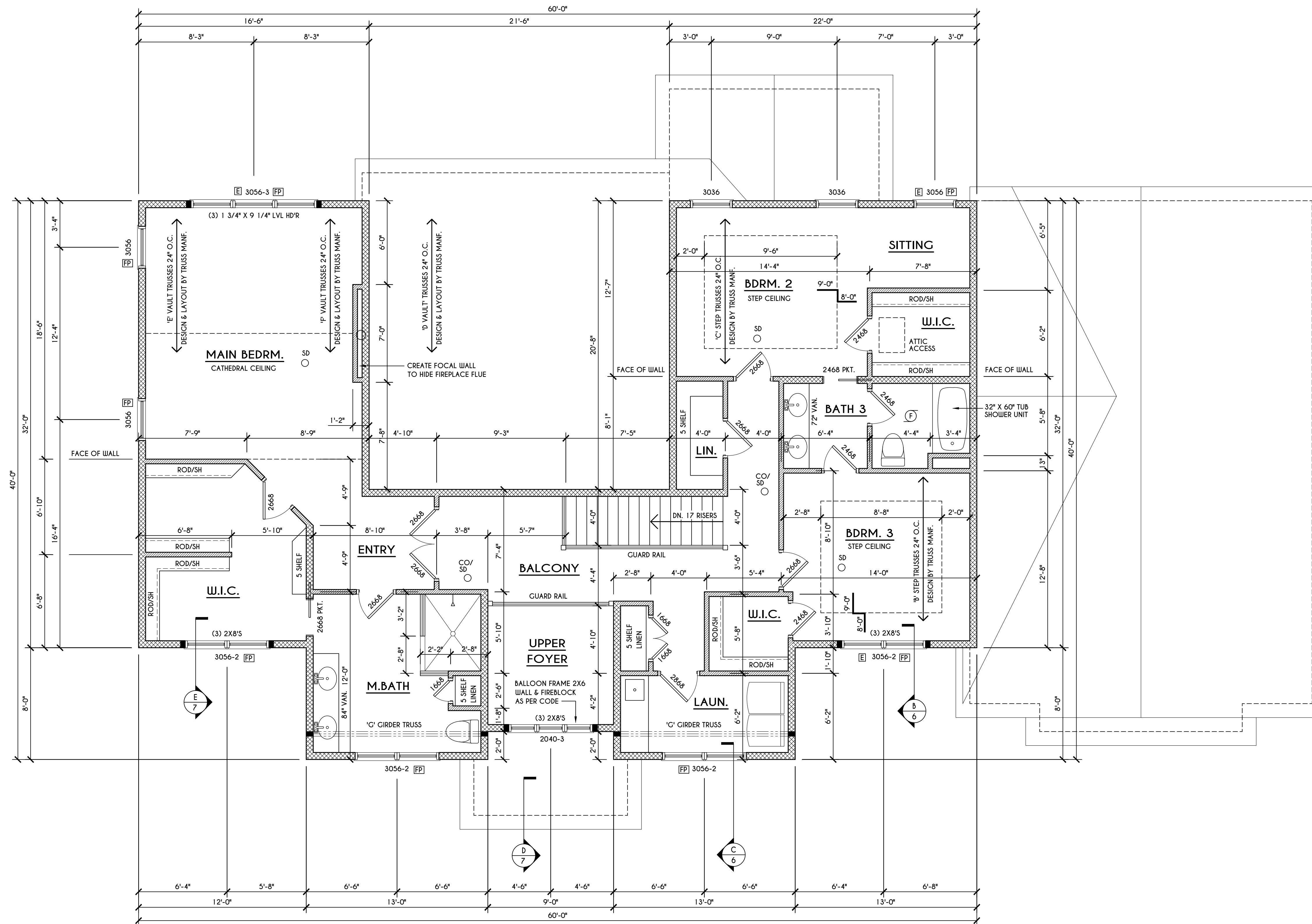
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 PITTSFORD, NY

BUILDER:
 KETMAR DEVELOPMENT

SECOND FLOOR PLAN

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SECOND FLOOR PLAN

1657 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

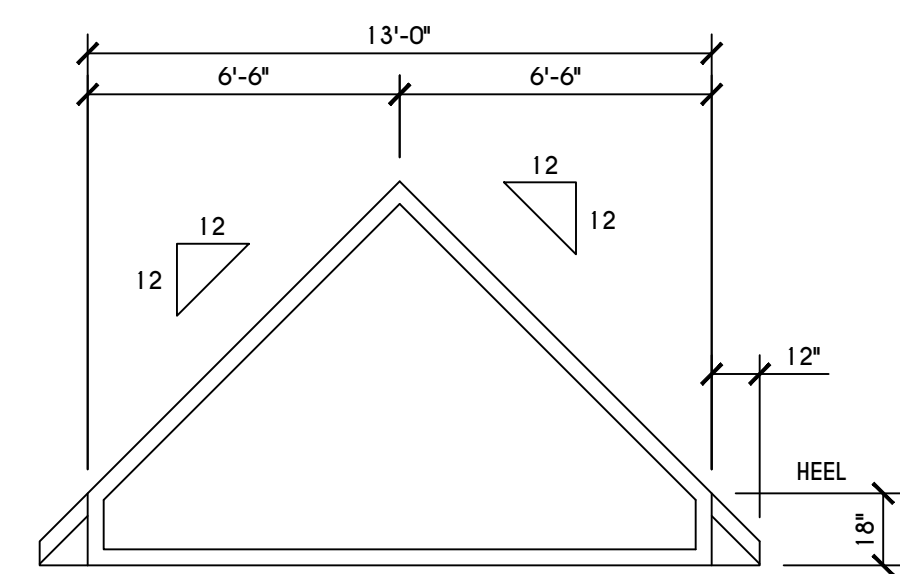
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

NOTES:

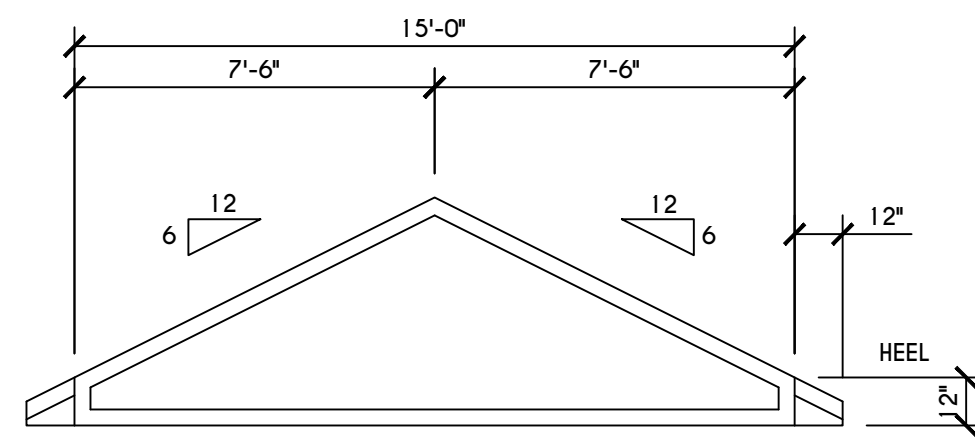
SECOND FLOOR PLATE NOT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/8" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DR'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

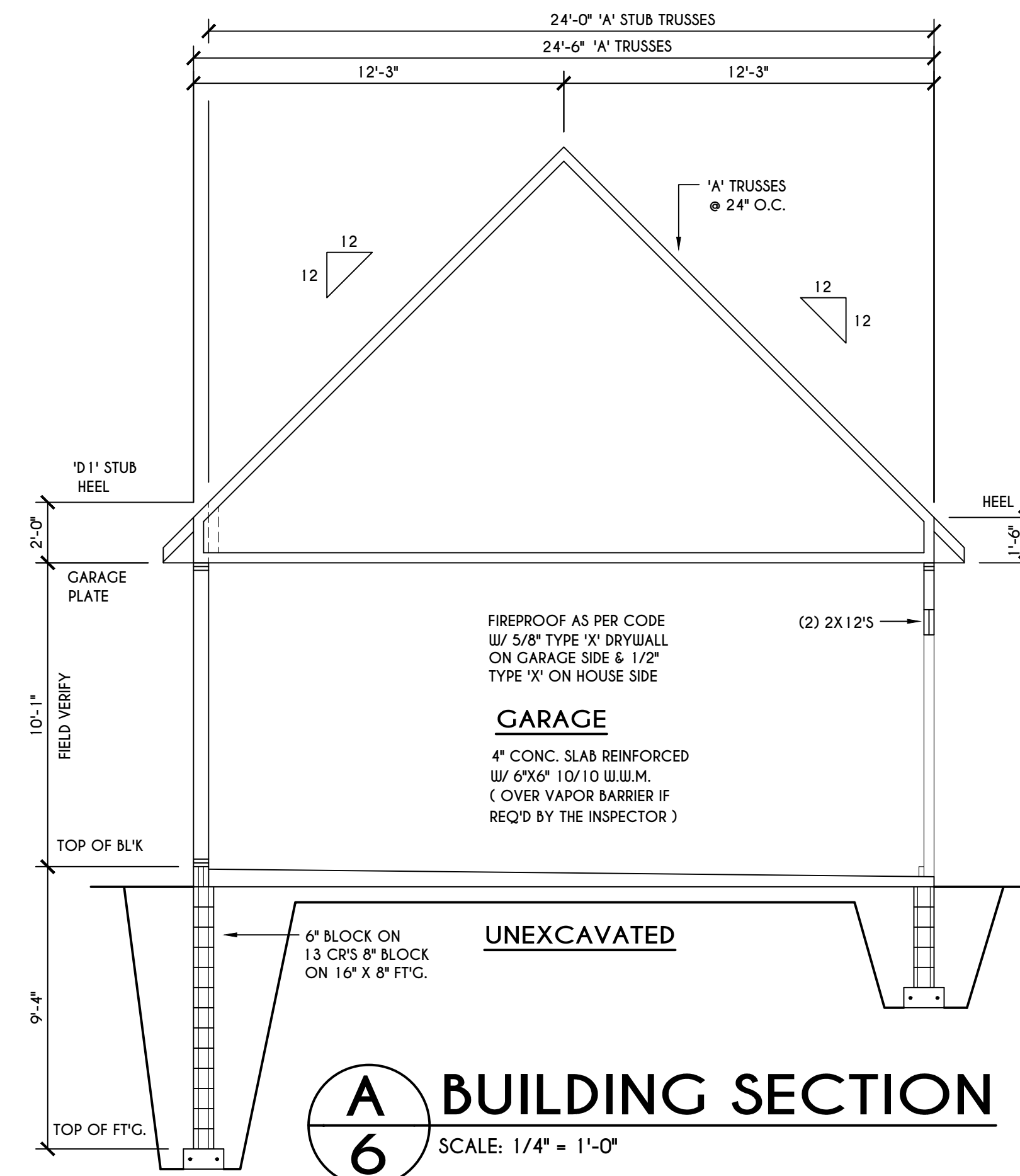
- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



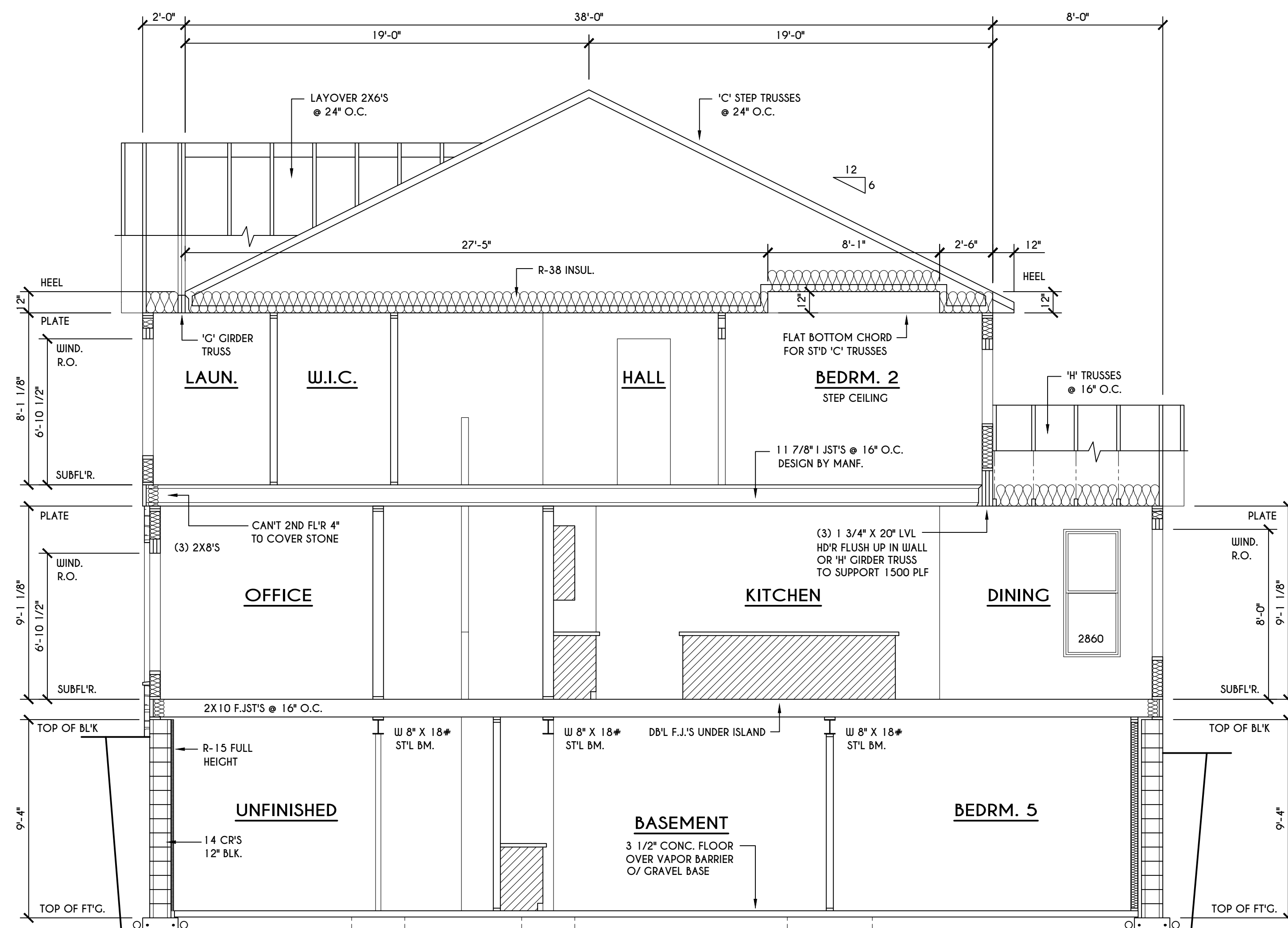
'G' TRUSS PROFILE
SCALE: 1/4" = 1'-0"



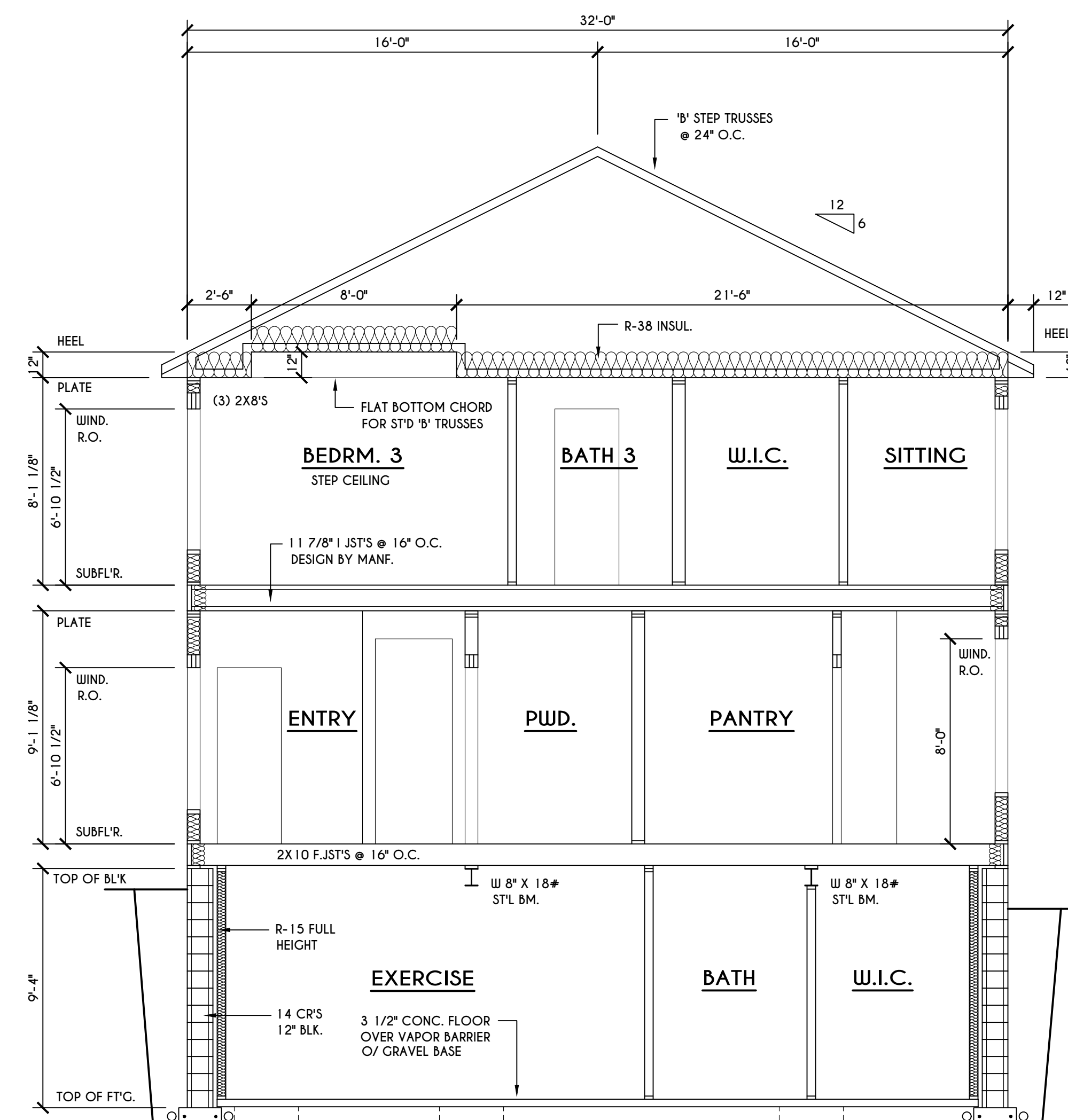
'H' TRUSS PROFILE
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

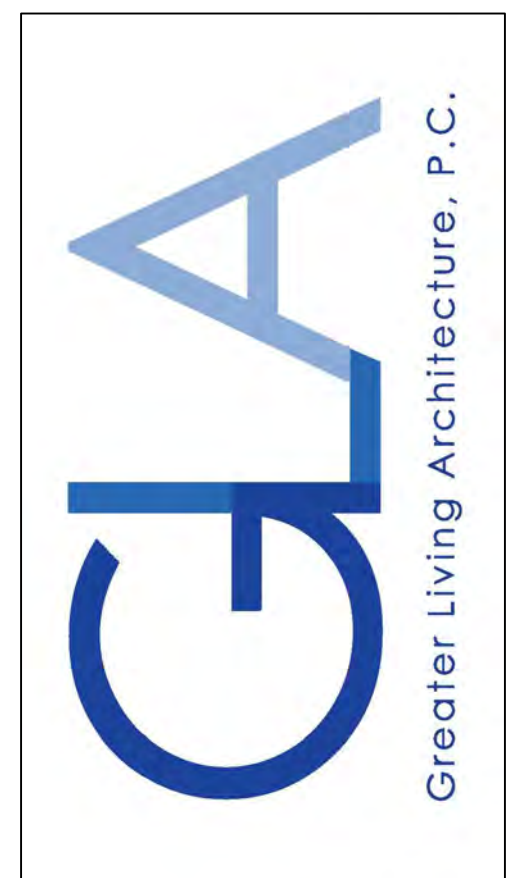
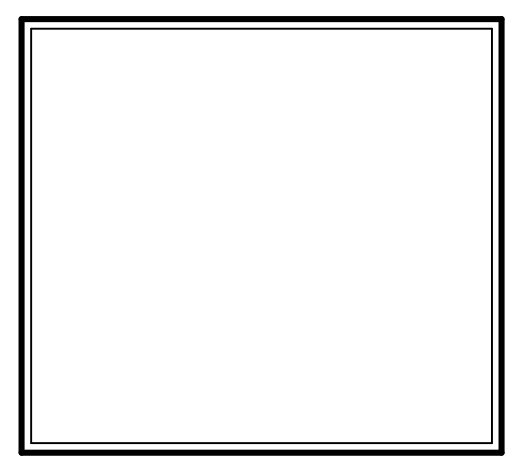


C BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:
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LOT 210 EVESHAM PLACE
PITTSFORD, NY

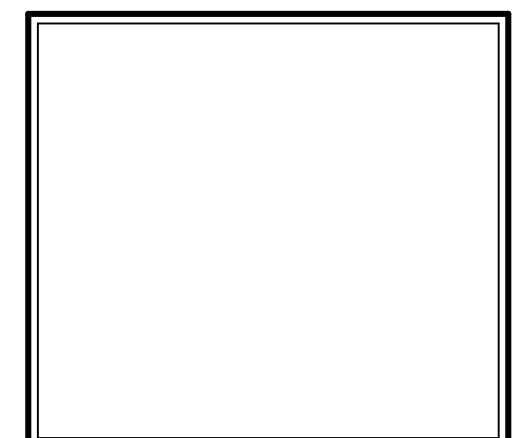
BUILDER:
KETMAR DEVELOPMENT

SECTIONS

GLA PLAN 3664

drawn: CDK	checked: AMM
scale: AS NOTED	date: 7 / 21
PROJECT: 15440	sheet: 6 / 7

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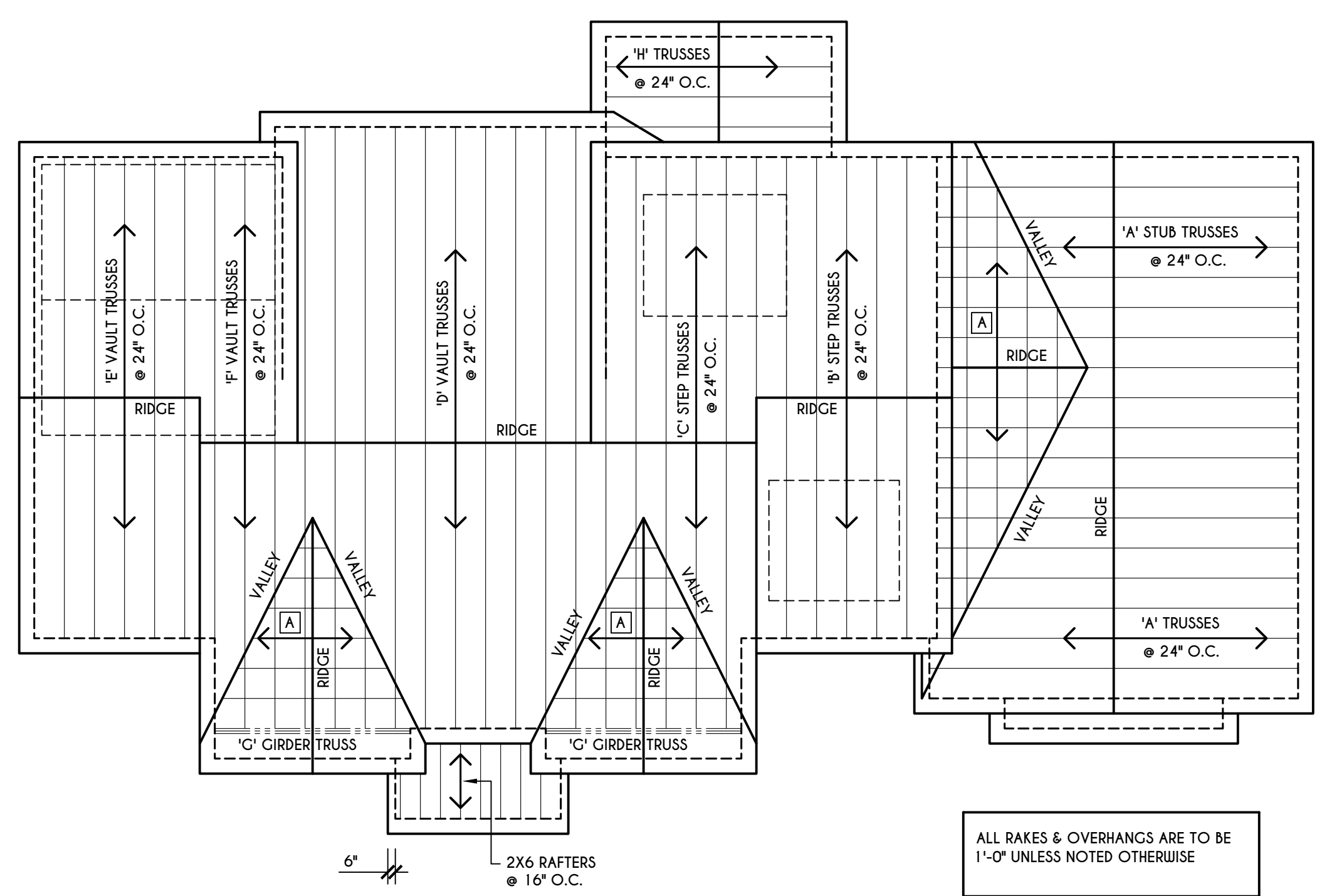
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 LIPOF RESIDENCE
 LOT 210 EVESHAM PLACE
 PITTSFORD, NY

BUILDER:
 KETMAR DEVELOPMENT

SECTIONS
 GLA PLAN 3664

drawn: CDK	checked: AMM
scale: AS NOTED	date: 7 / 21
PROJECT: 15440	sheet: 7 / 7



ROOF PLAN

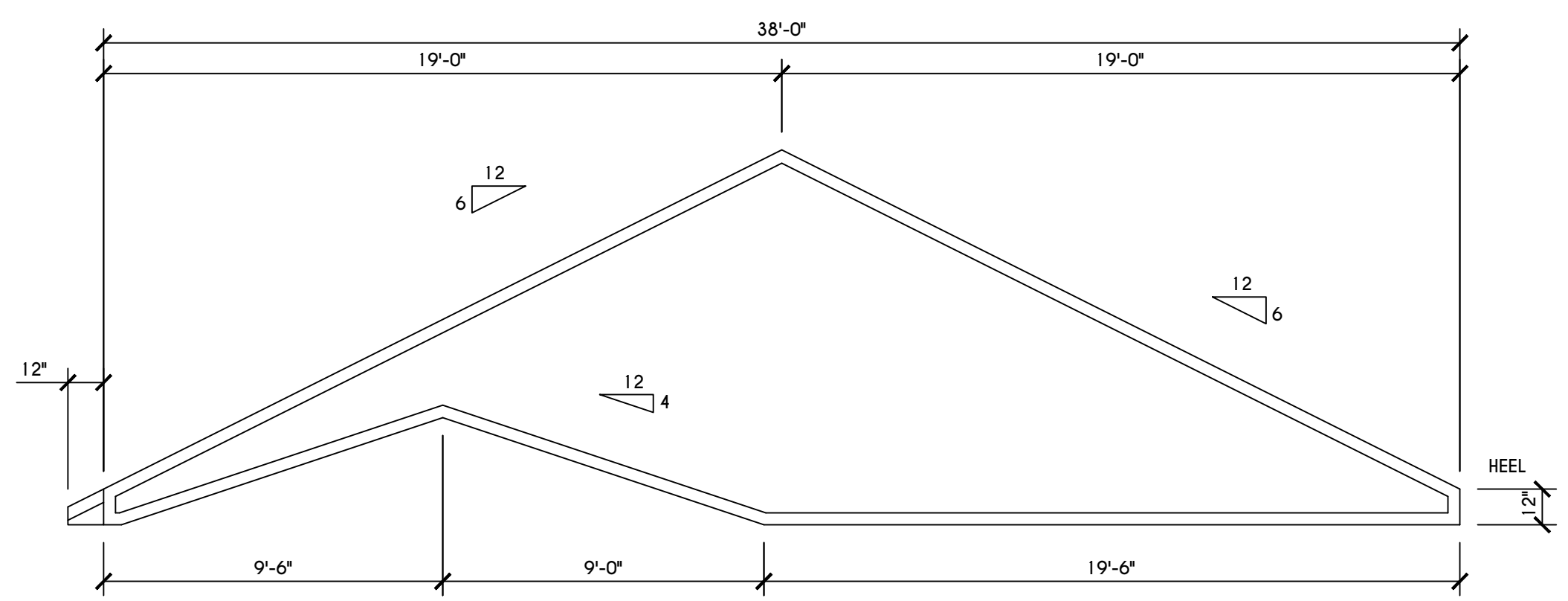
SCALE: 1/8" = 1'-0"

□ - 2X8 LAYOVER RAFTERS 24" O.C.

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

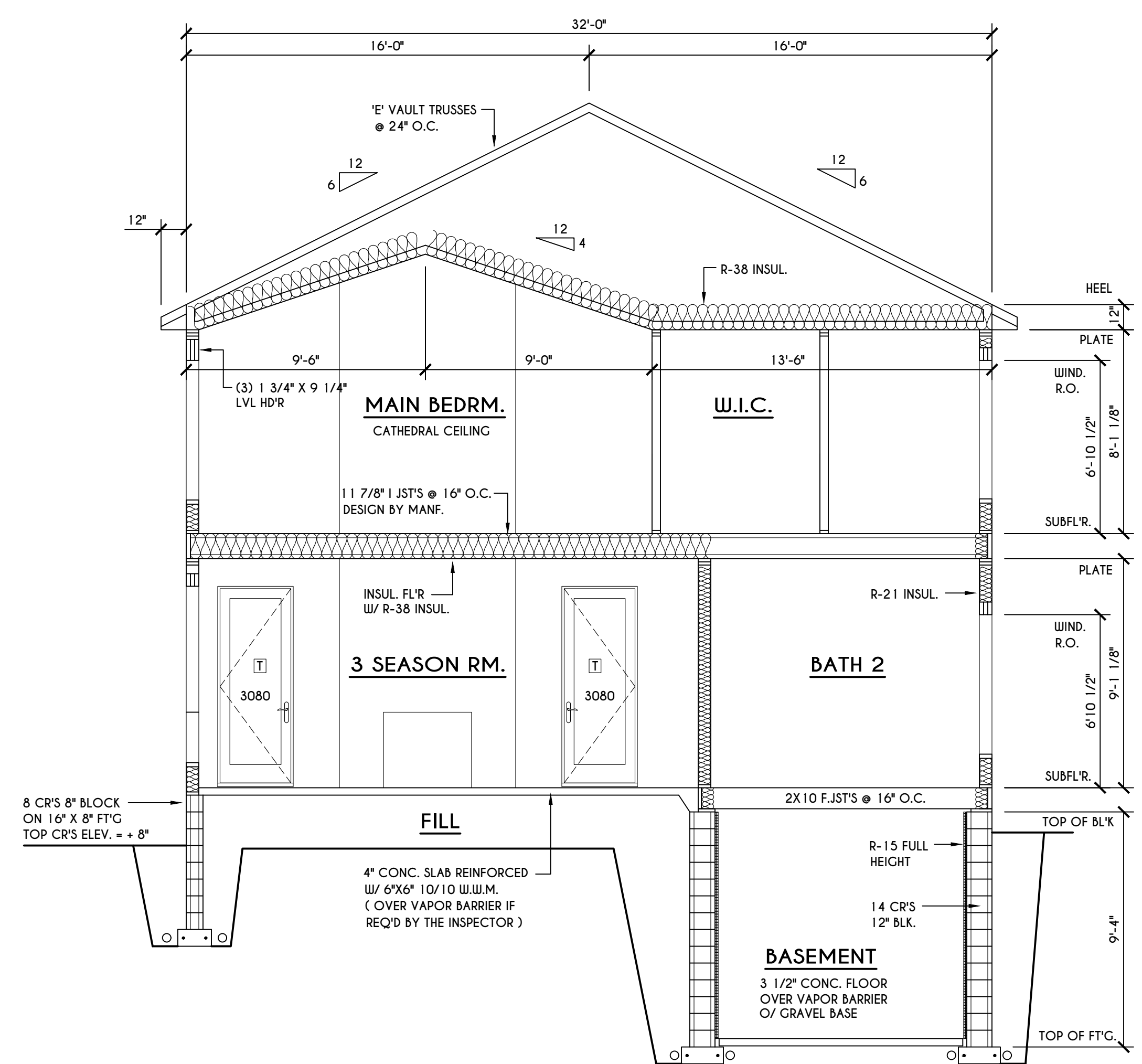
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



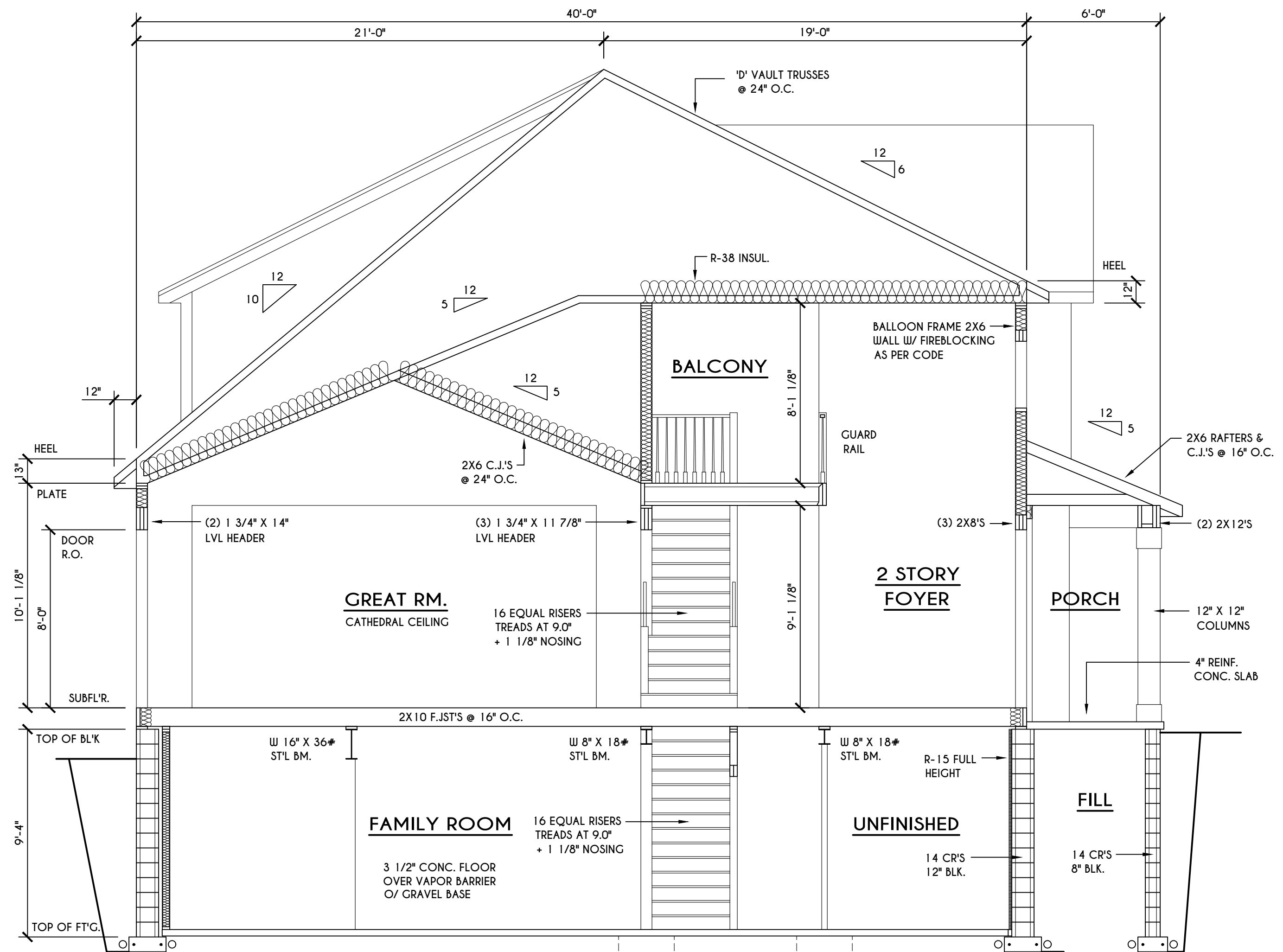
'F' VAULT TRUSS PROFILE

SCALE: 1/4" = 1'-0"



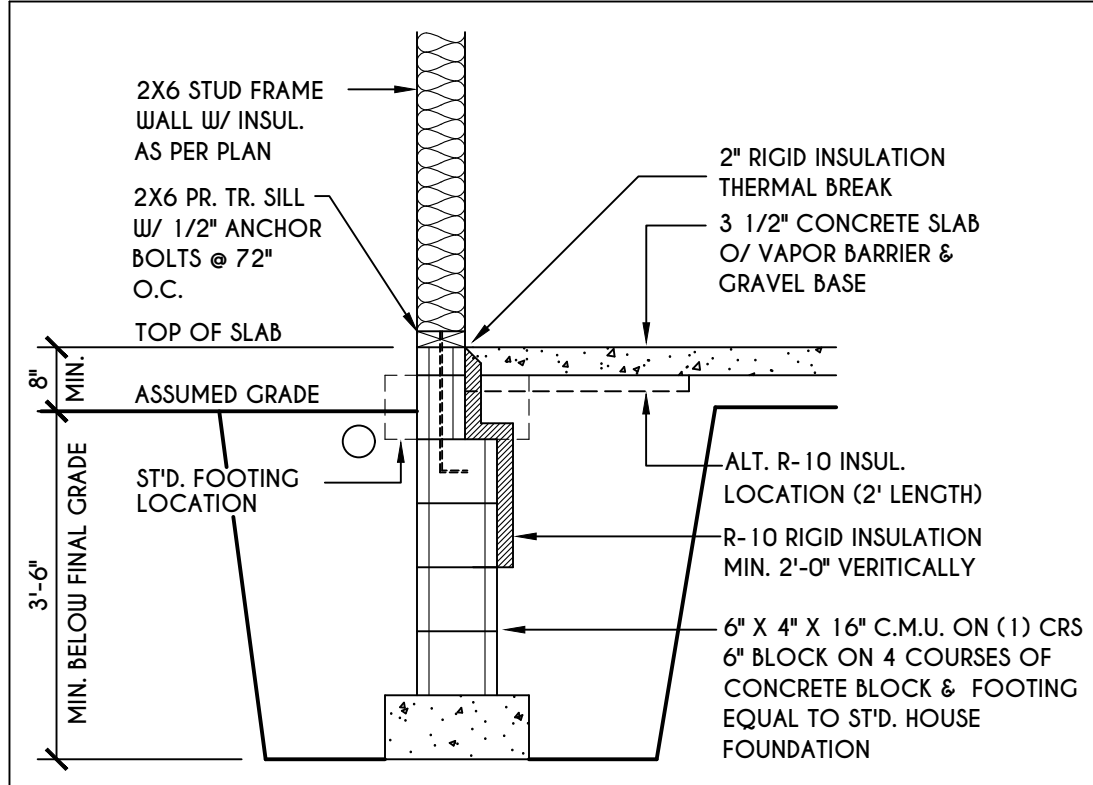
E BUILDING SECTION

SCALE: 1/4" = 1'-0"

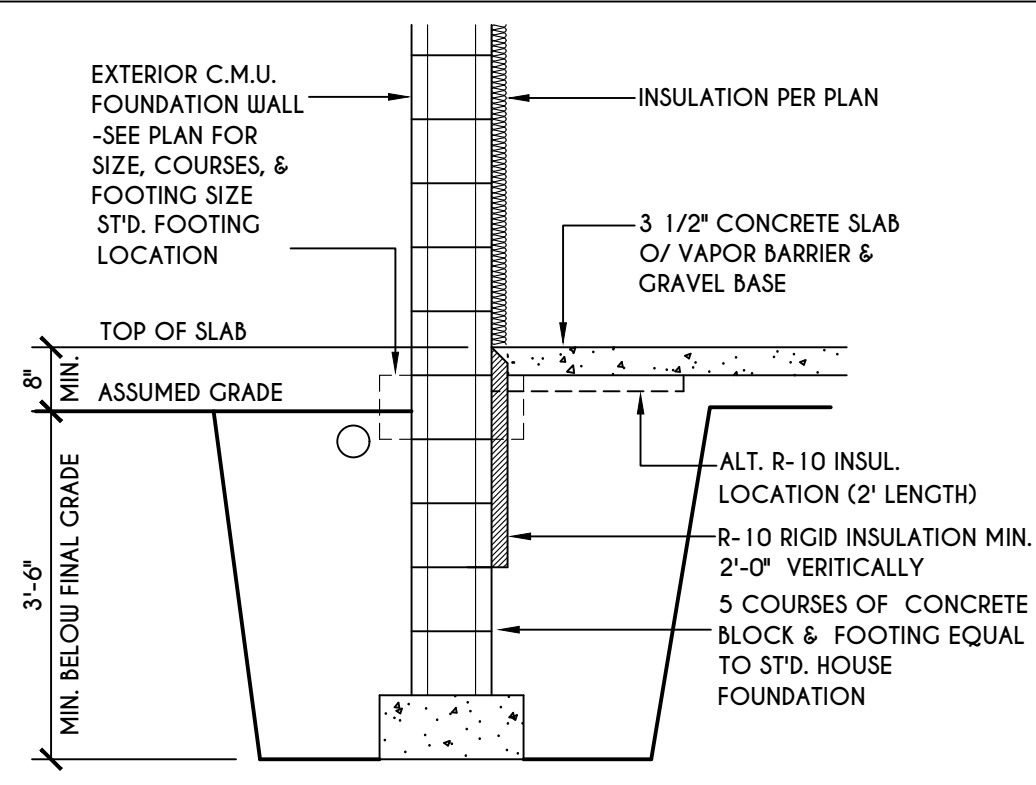


D BUILDING SECTION

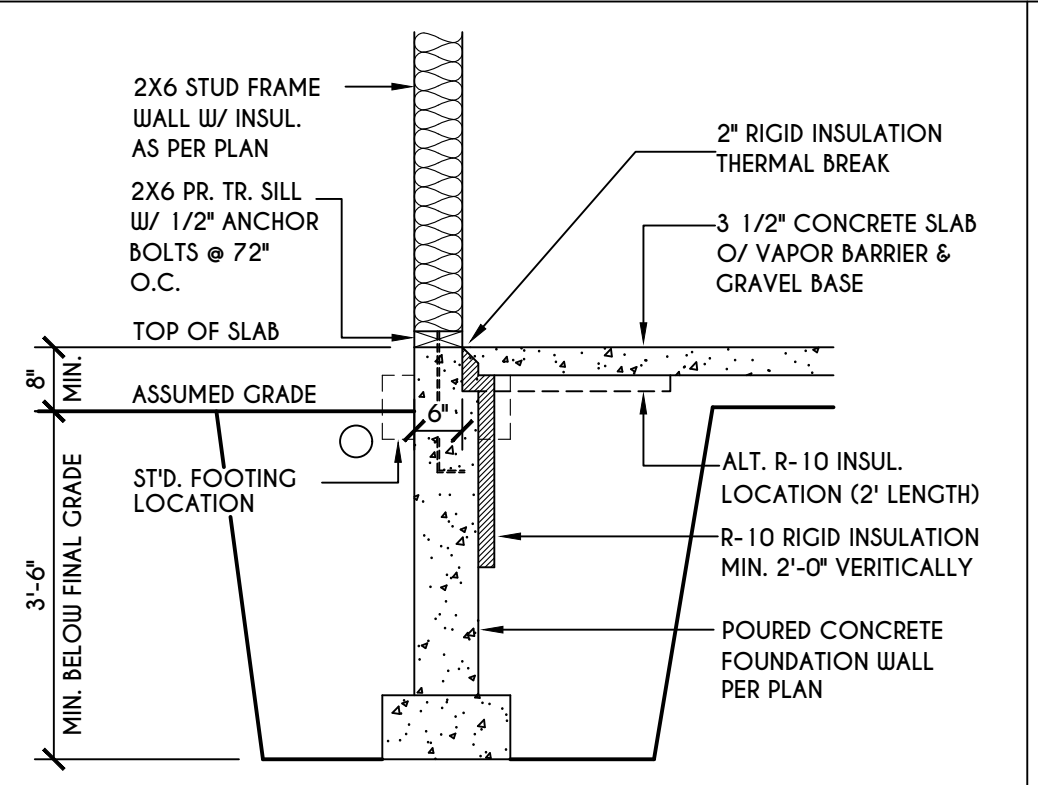
SCALE: 1/4" = 1'-0"



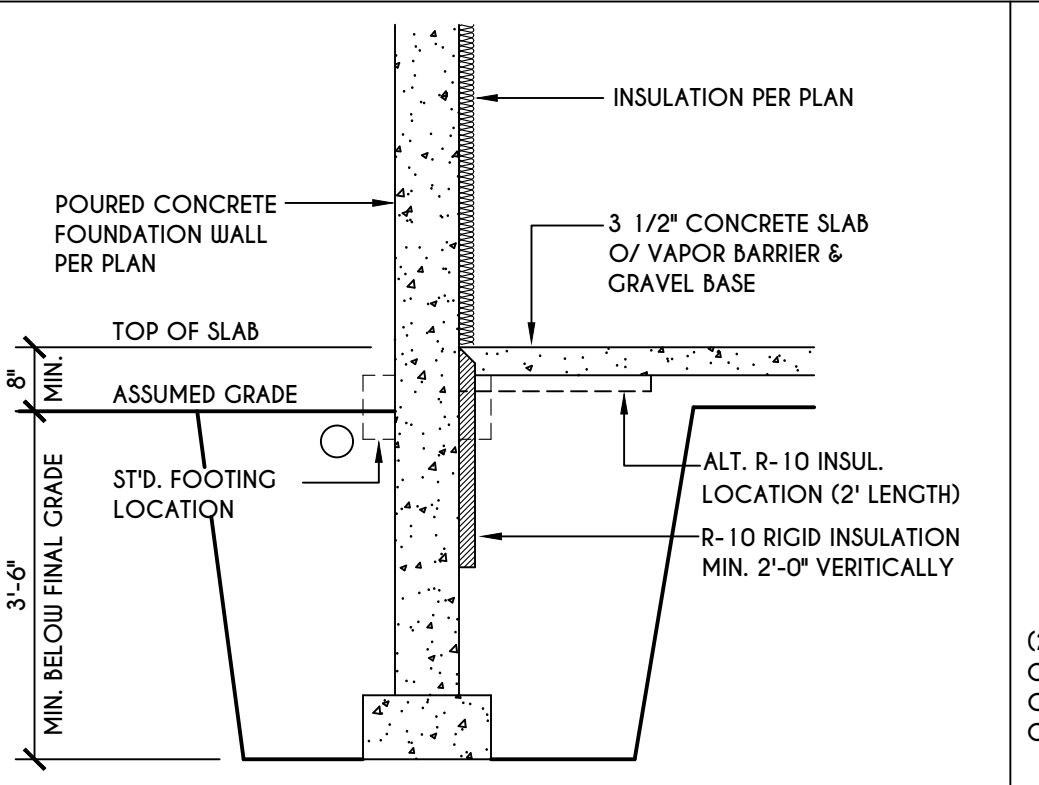
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



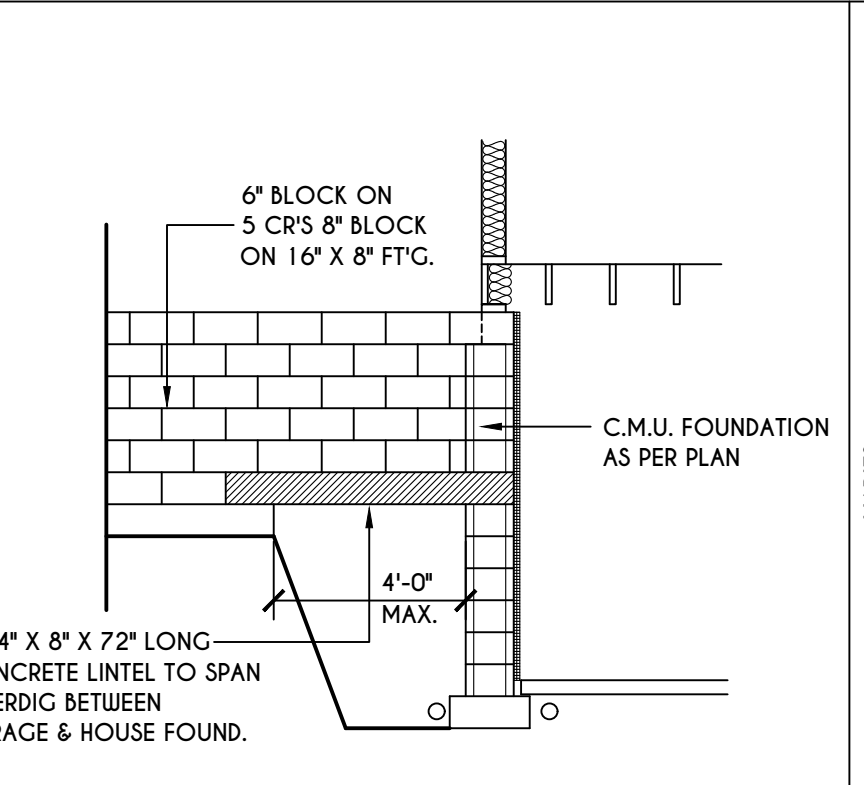
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



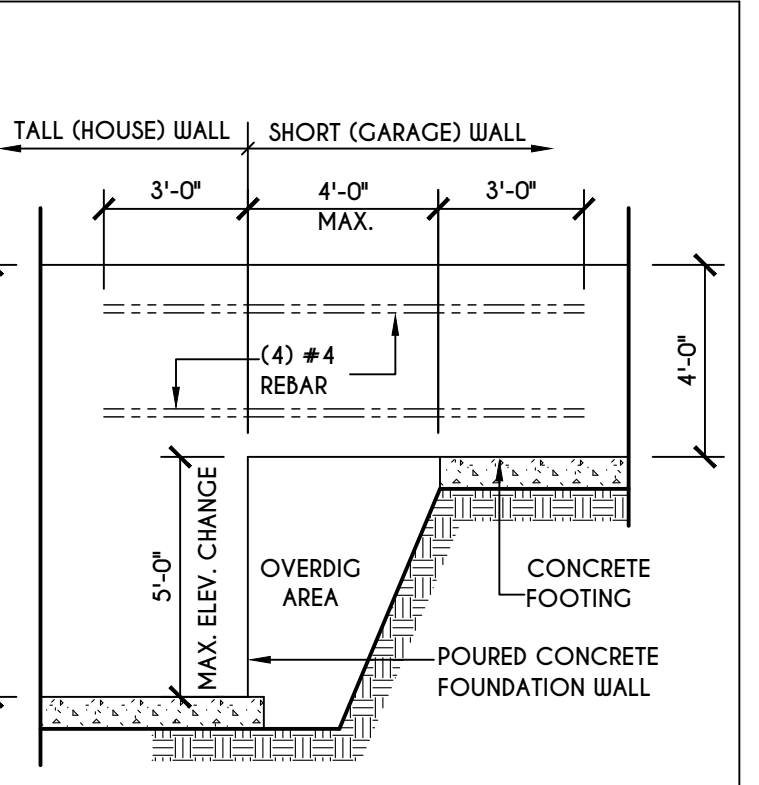
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



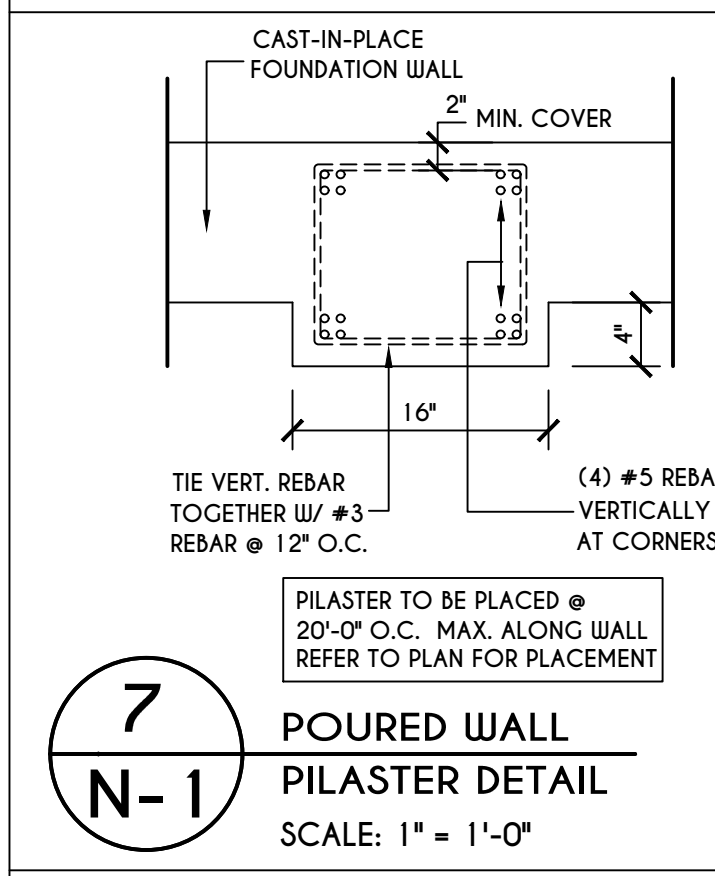
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



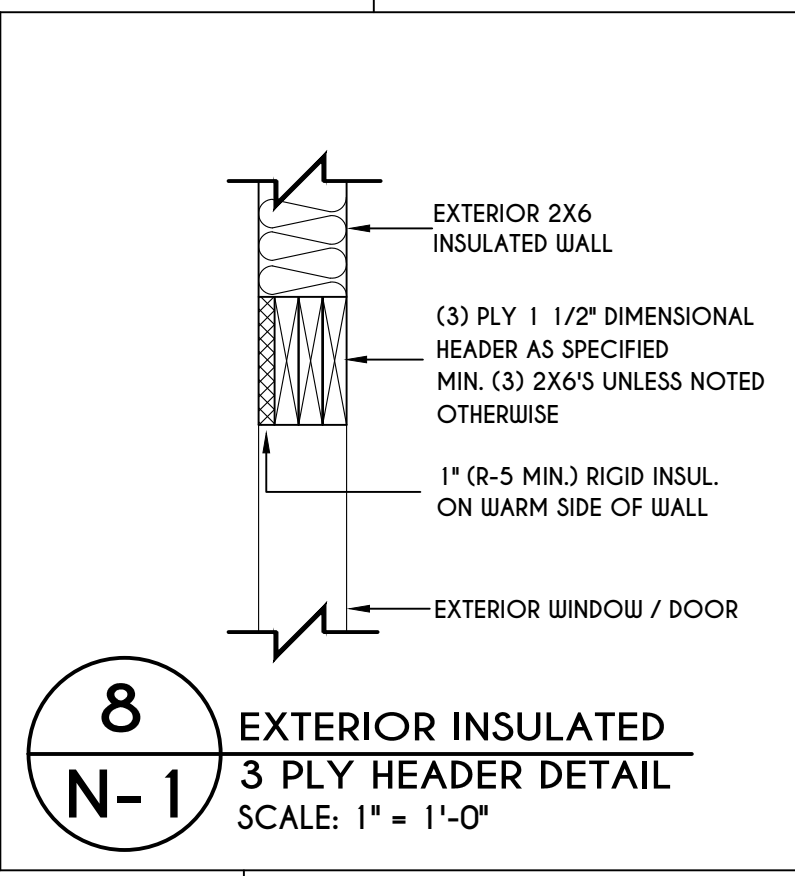
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



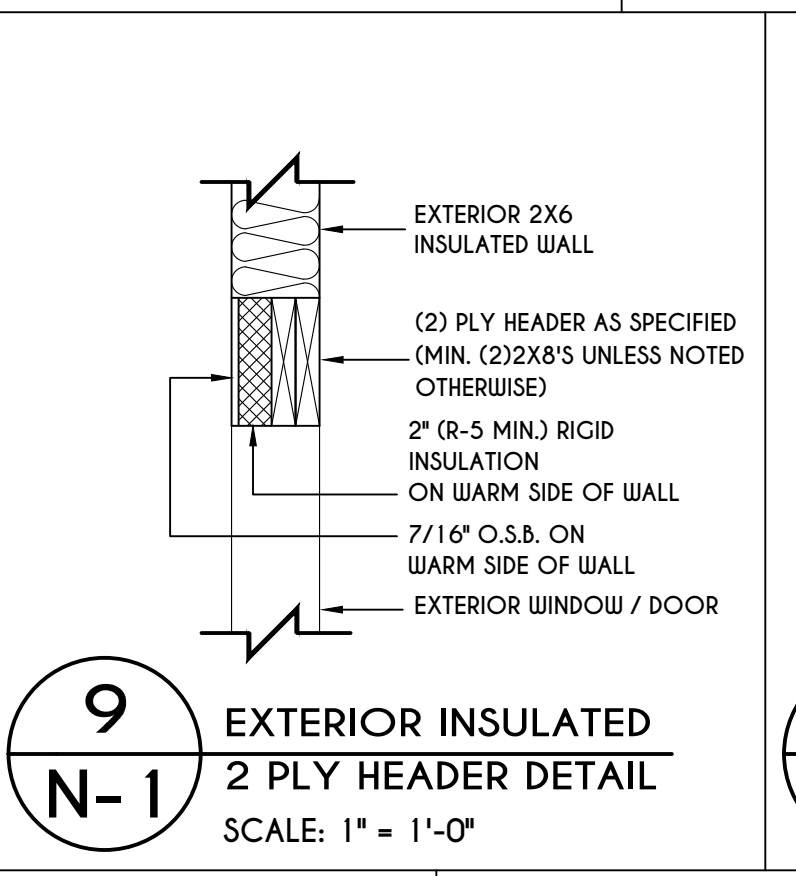
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



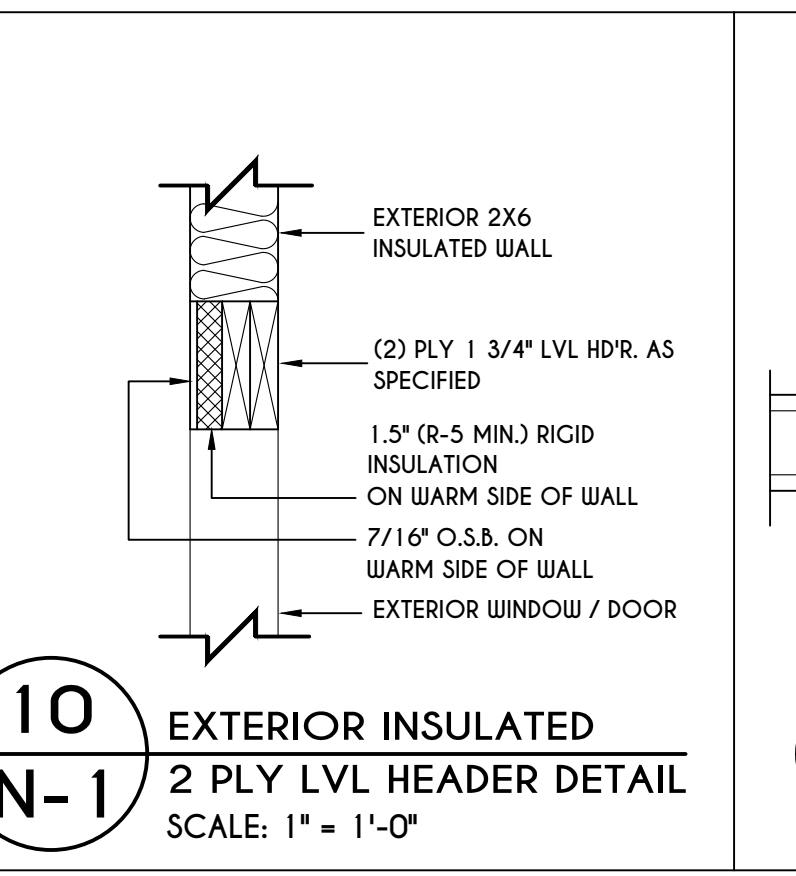
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



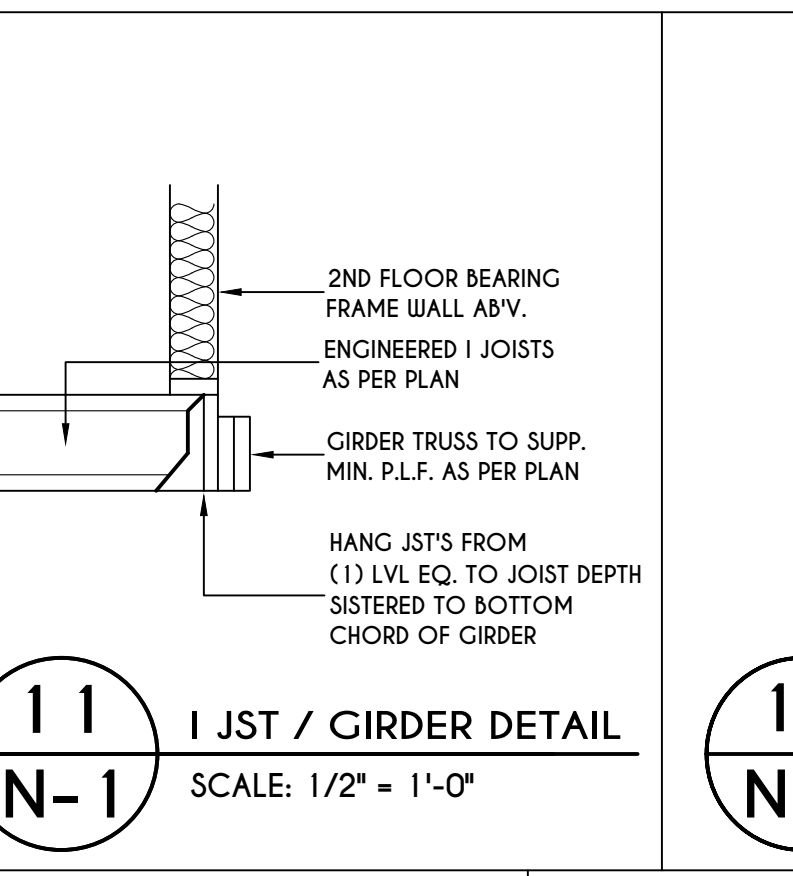
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



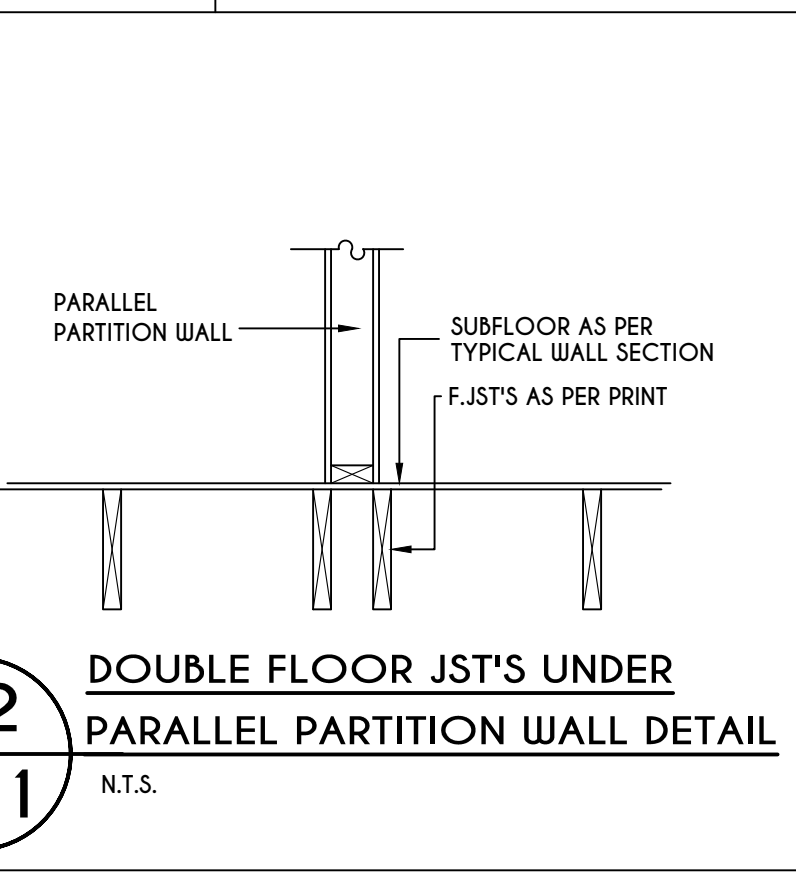
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



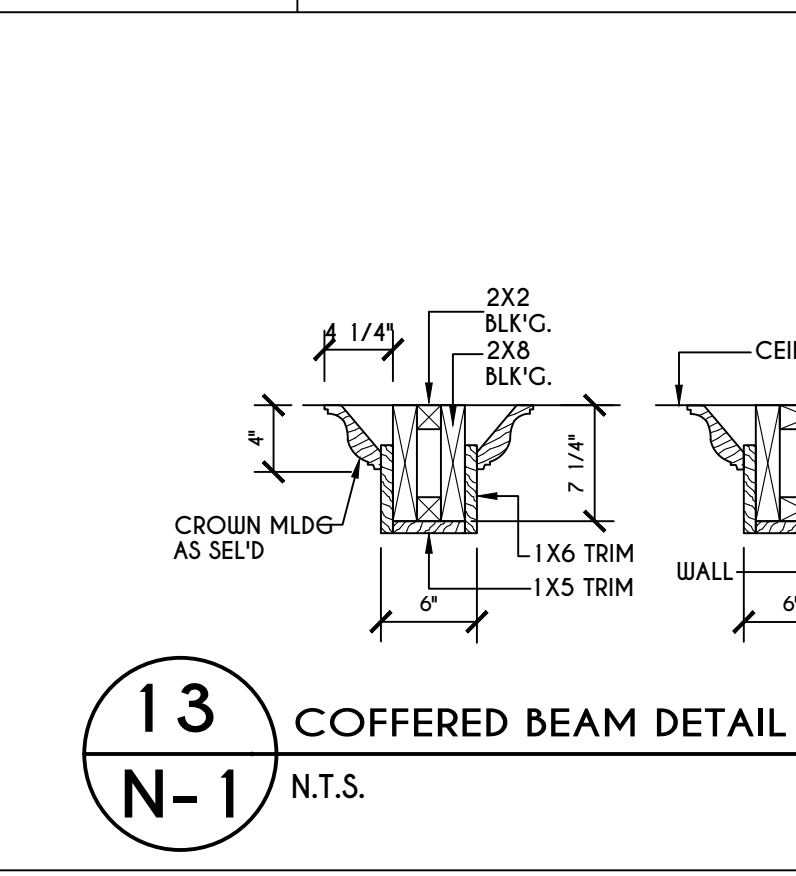
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



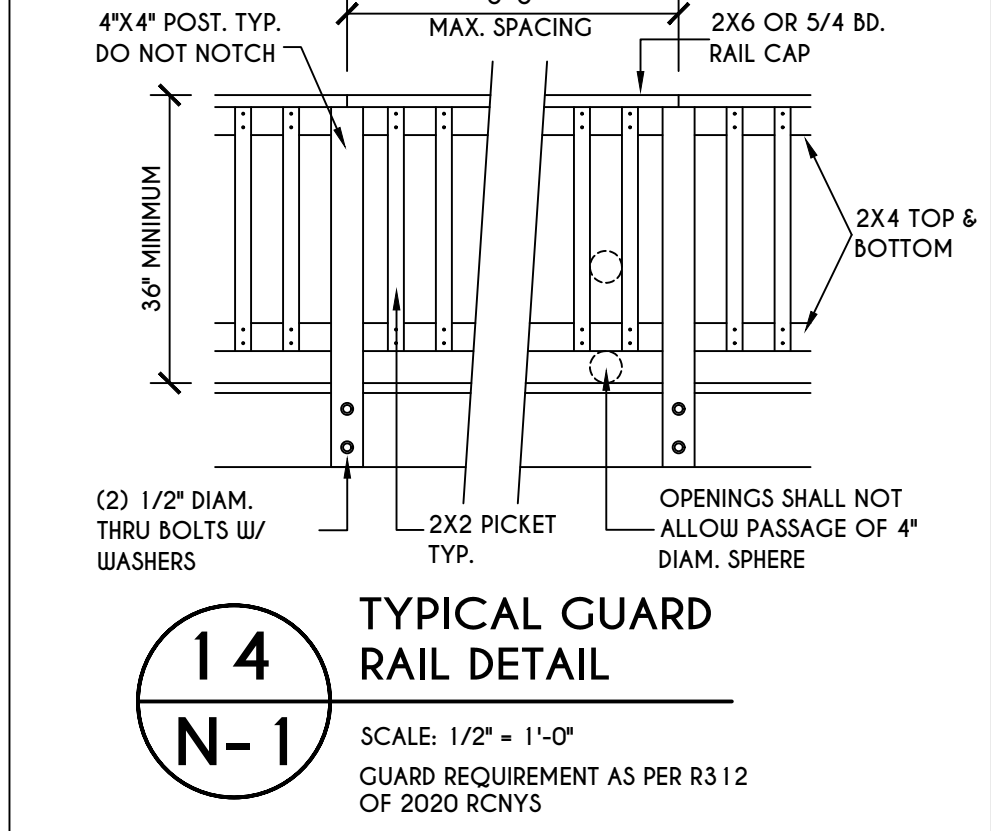
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



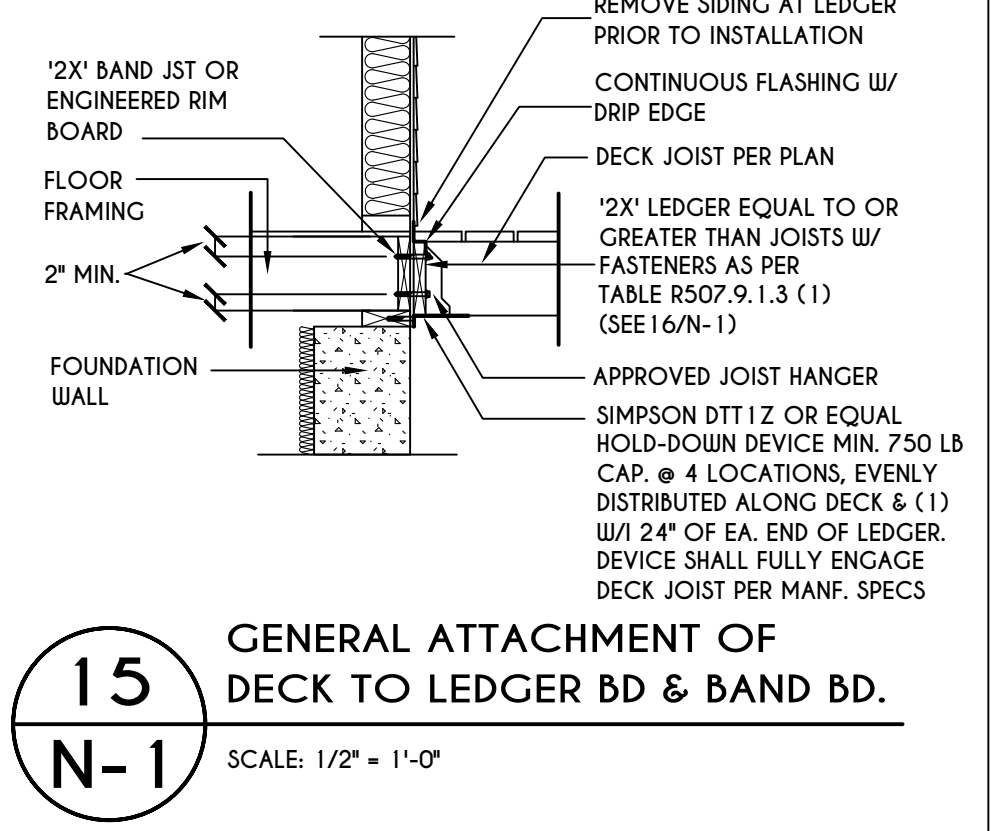
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



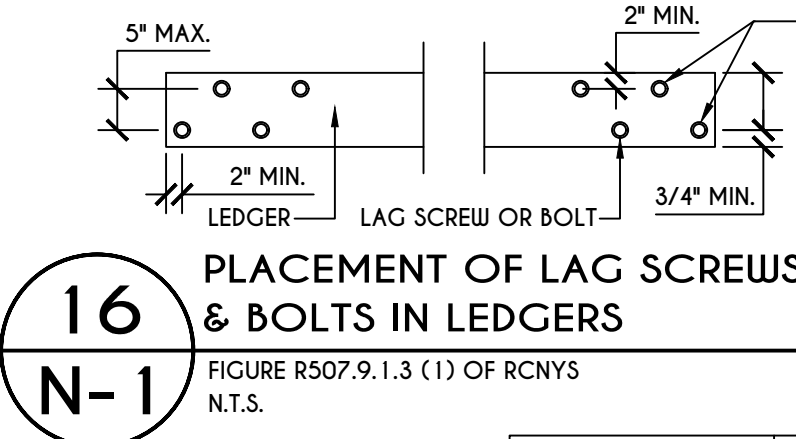
13
N-1
COFFERED BEAM DETAIL
N.T.S.



14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"



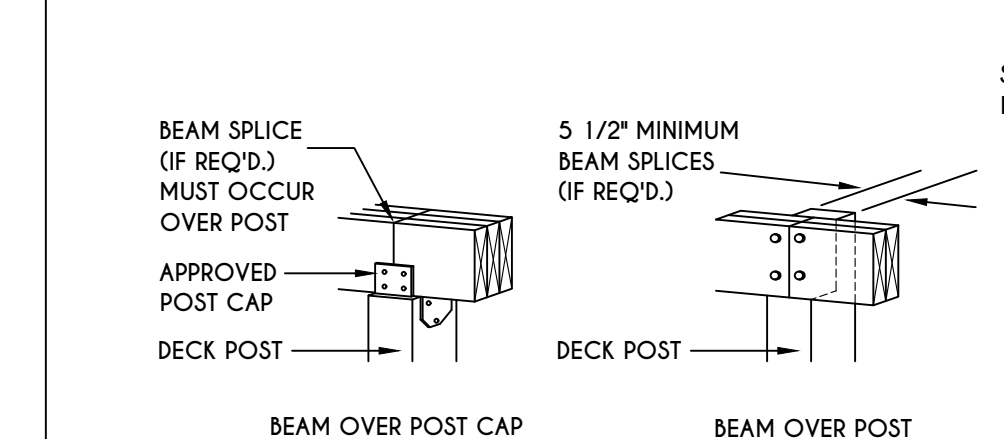
15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



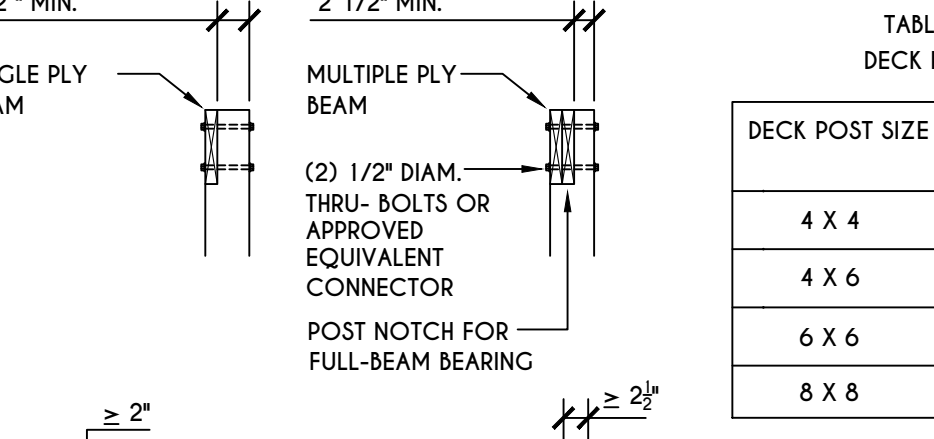
16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
SCALE: 1/2" = 1'-0"

TABLE R507.9.1.3 (1) OF RCNYS
DECK LEDGER CONNECTION TO BAND JOIST
ON-CENTER SPACING OF FASTENERS (IN.)

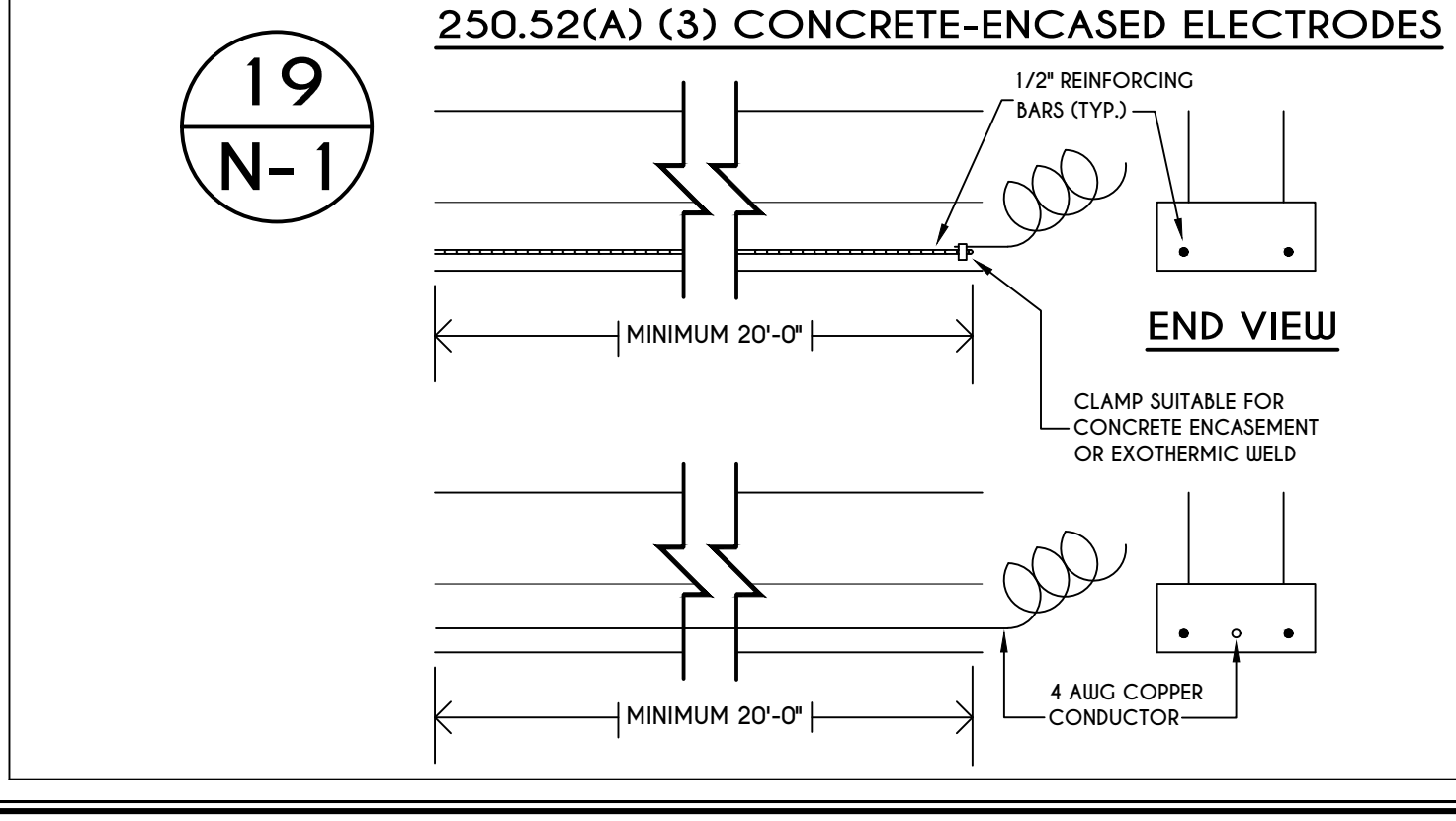
CONNECTION DETAILS	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16



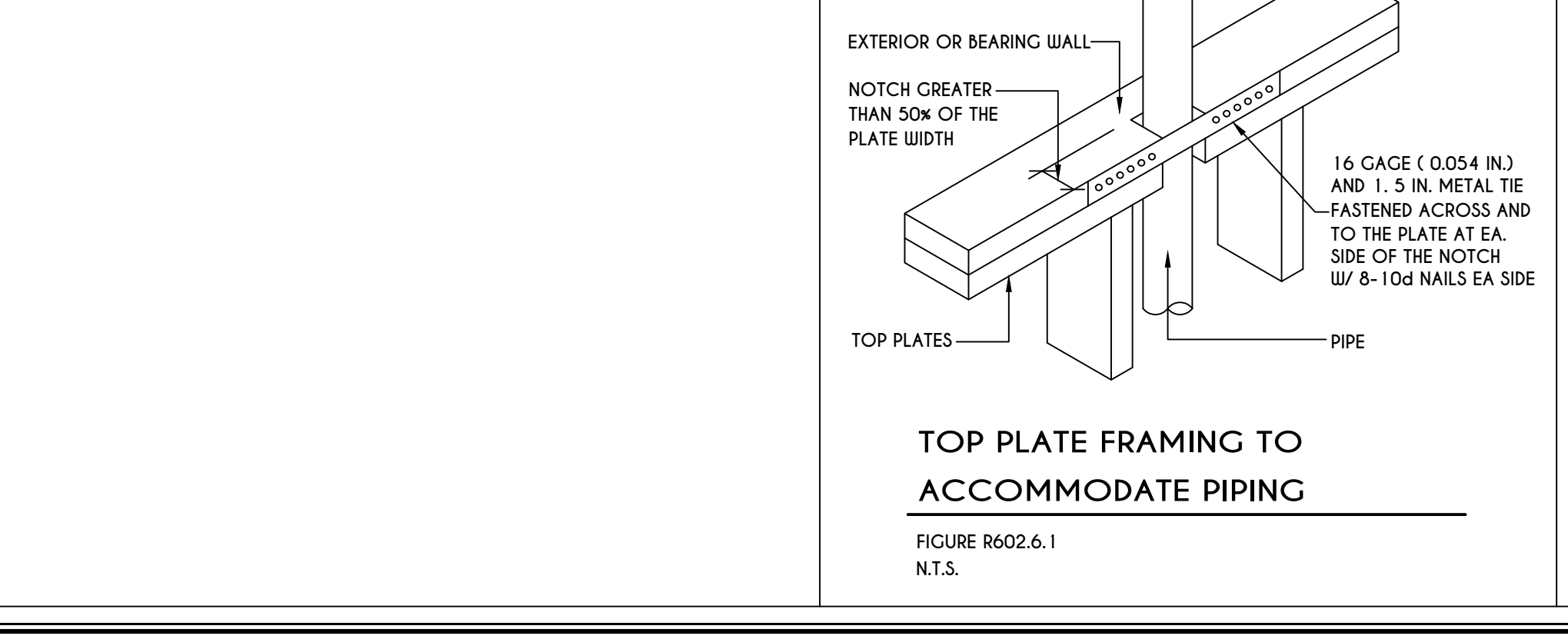
17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
SCALE: 1/2" = 1'-0"



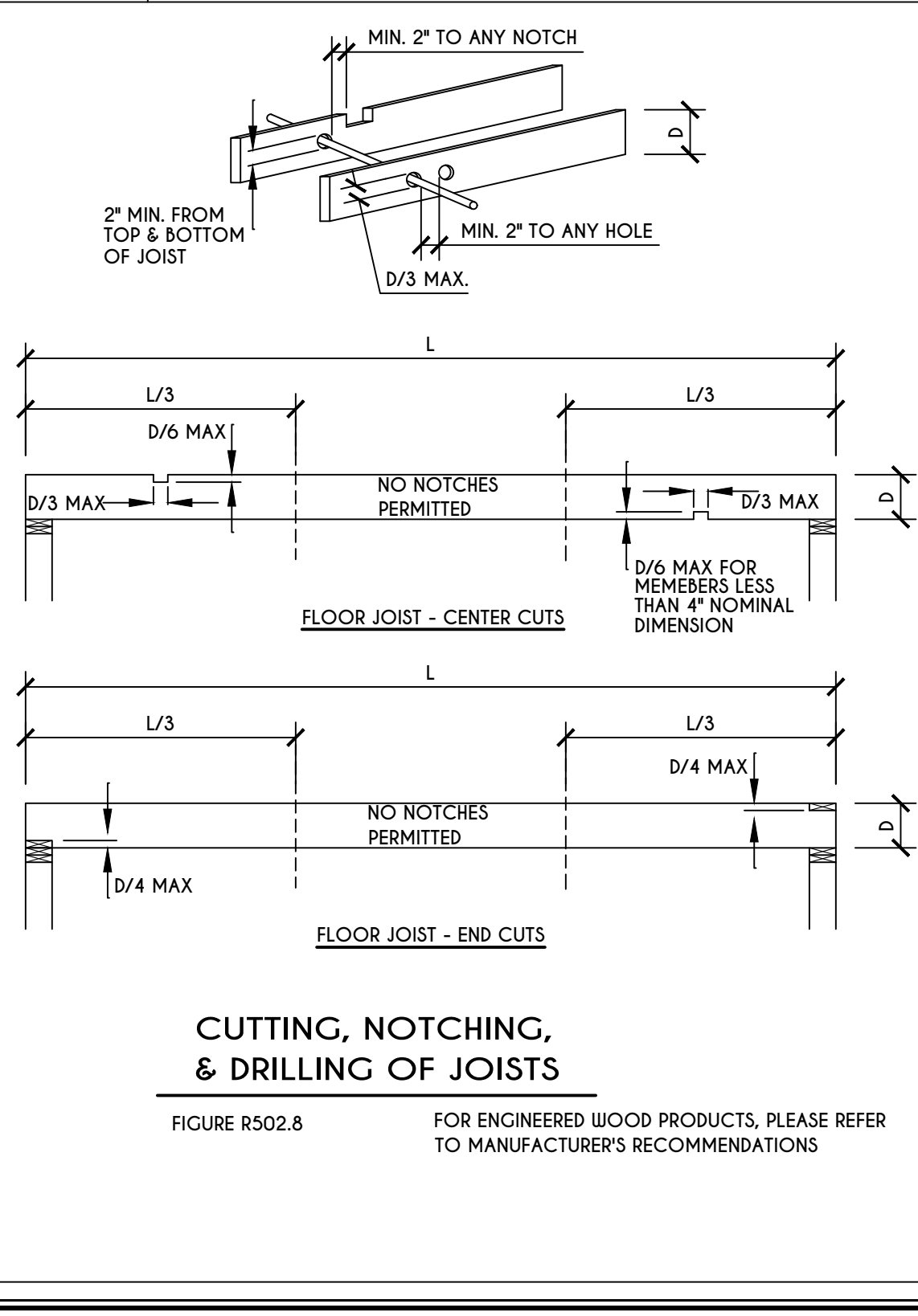
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



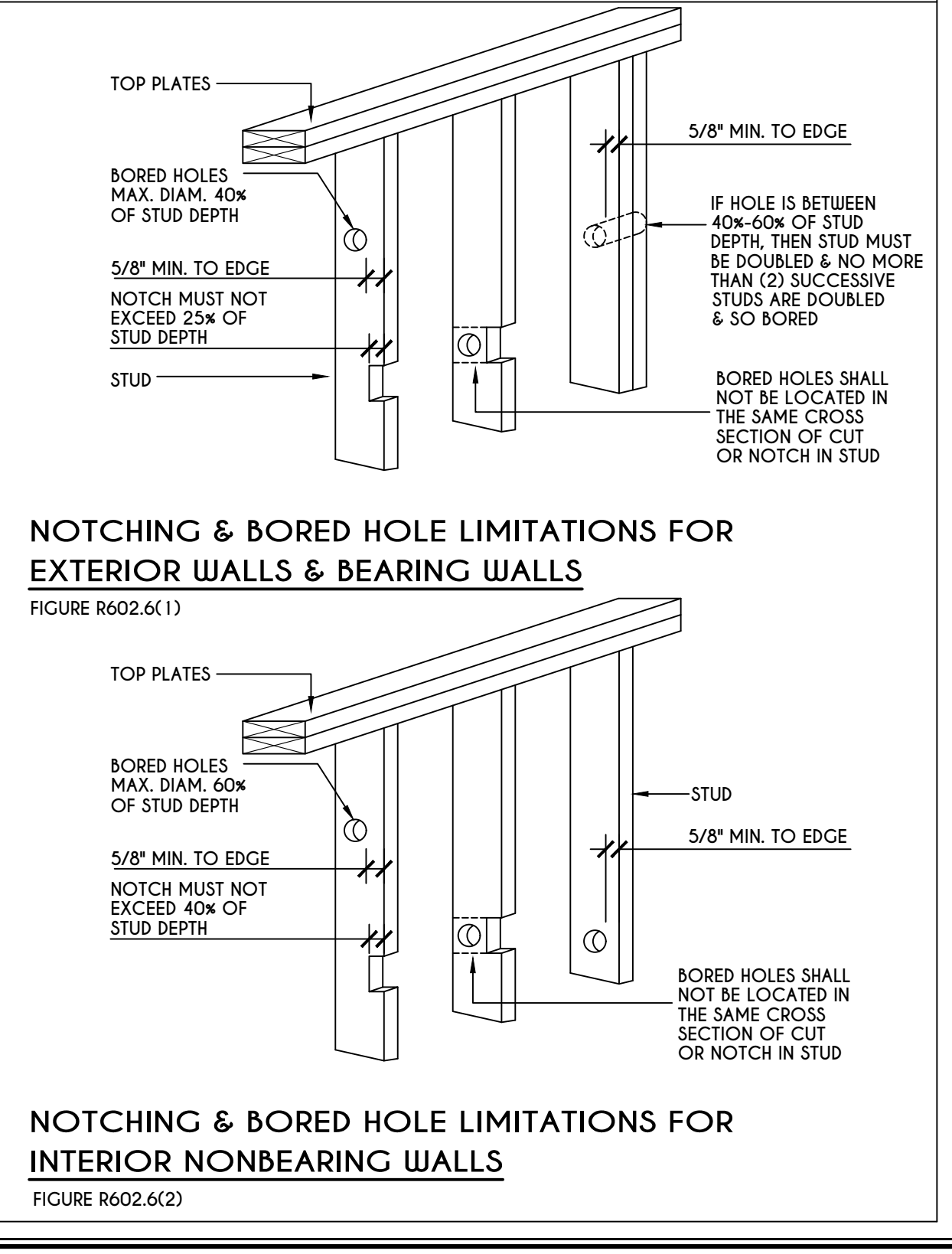
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
SCALE: 1/2" = 1'-0"



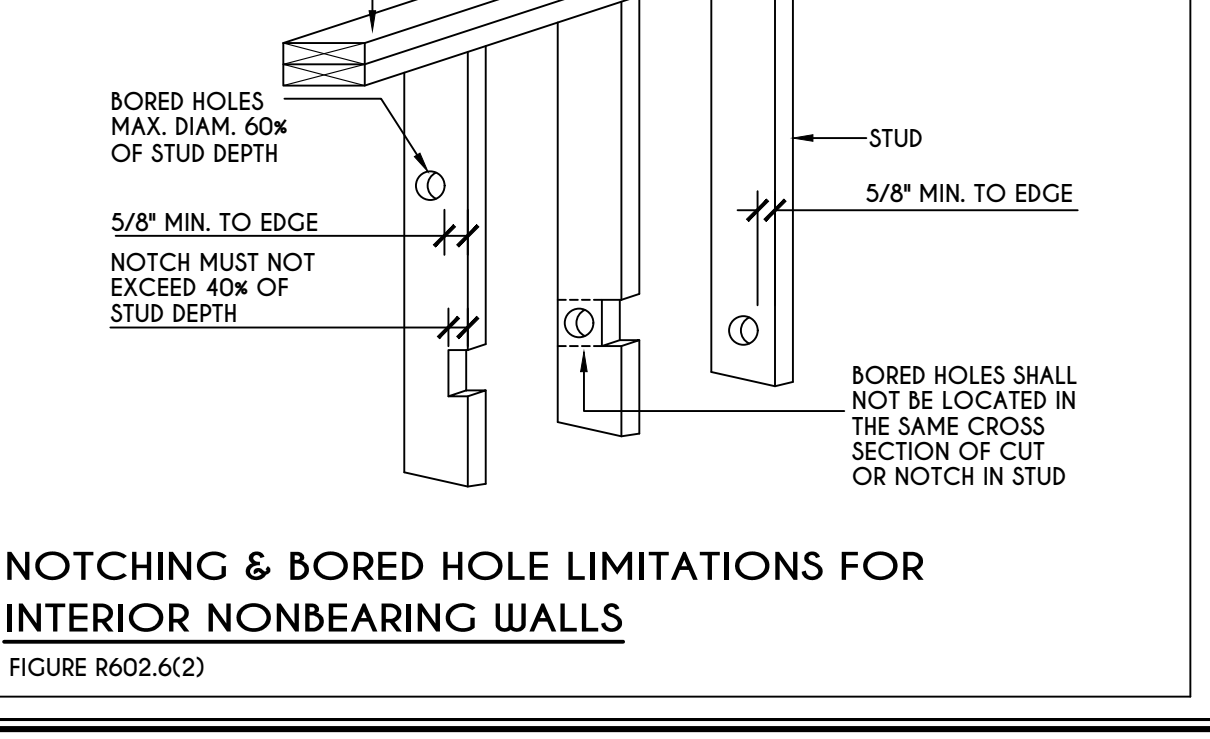
20
N-1
TOP PLATE FRAMING TO ACCOMMODATE PIPING
SCALE: 1/2" = 1'-0"



21
N-1
CUTTING, NOTCHING, & DRILLING OF JOISTS
SCALE: 1/2" = 1'-0"

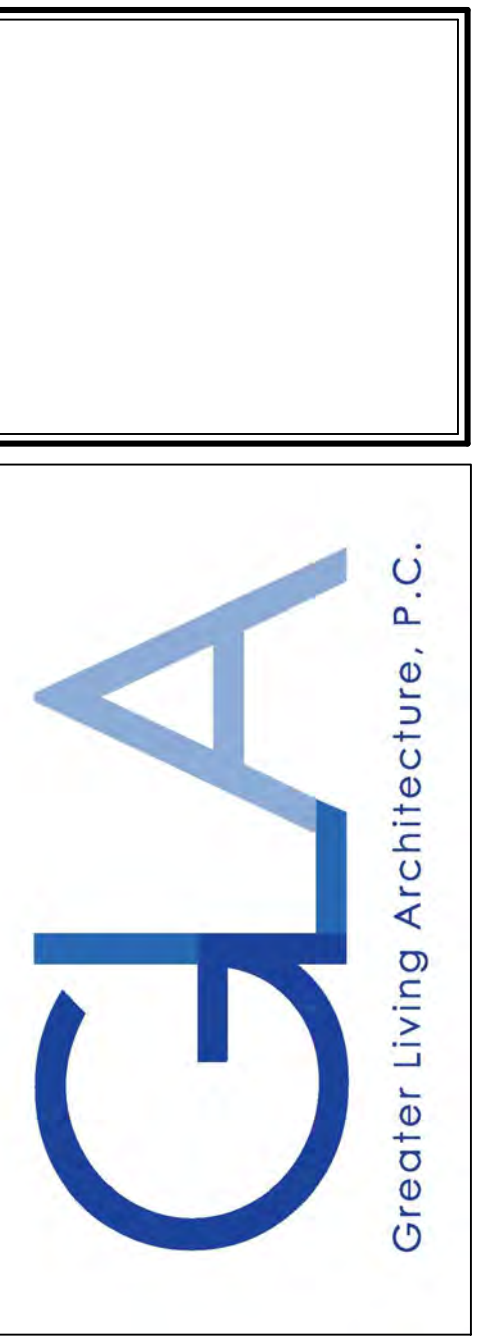


22
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
SCALE: 1/2" = 1'-0"



23
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
SCALE: 1/2" = 1'-0"

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PITTSFORD, NY

BUILDER:
KETMAR DEVELOPMENT

DETAILS
GLA PLAN 3664

drawn: CDK	checked: AMM
scale: AS NOTED	date: 7 / 21
PROJECT: 15440	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d \geq 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d \geq 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d \geq 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
- b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9).
- d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
- e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
- f. INTERPOLATION IS NOT PERMITTED.
- g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
- h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
- i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
- l. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
- k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 1b.
- l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
- m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
- n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
- o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

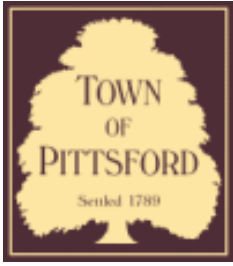
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
- b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GM	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CL





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C21-000035

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 145 Kilbourn Road ROCHESTER, NY 14610

Tax ID Number: 138.17-1-13.111

Zoning District: SRAA Suburban Residential / C Commercial

Owner: Oak Hill Country Club Inc.

Applicant: Oak Hill Country Club Inc.

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of two guest cottages. The cottages will be approximately 3645 square feet and will front Chapin Way near the Knollwood neighborhood.

Meeting Date: July 22, 2021

Oak Hill Cottages

Pittsford Design Review Board Submission 7/14/21

Project Description

Oak Hill CC intends to build two guest cottages for use by members and their guests.

The buildings will front on Chapin Way near the Knollwood neighborhood (see attached site plan).

Example Photos

The buildings' exterior will match materials and finishes associated with the existing West Course Member Service Building (see the following photos).





The Building materials will include:

- Hardiboard panel cladding (painted)
- Cedar trim (painted)
- Brick veneer masonry
- Fiberglass reinforced asphalt roofing shingles
- Cultured stone (chimney only)
- Kolbe 'Forgent Series' casement windows and exterior doors with divided lites

JD Durfee, Architect

Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618
585.750.9611 | jdurfee@durfeearchitect.com



Torchia Structural Engineering & Design P.C.

625 Panorama Trail Phone: 585-385-7630
Suite #2210 Fax: 585-385-6386
Rochester, NY 14625 Web: www.tse123.com

Project:

The Cottages at Oak Hill

145 Kilbourn Road
Rochester, NY 14618



Location Plan

NOT TO SCALE



REScheck Software Version 4.7.1 Compliance Certificate

Project The Cottages at Oak Hill

Energy Code: 2015 IECC
Location: Rochester, New York
Construction Type: Single-family
Project Type: New Construction
Conditioned Floor Area: 3,645 ft²
Glazing Area: 12%
Climate Zone: 5 (6734 HDD)
Permit Date:
Permit Number:

Construction Site:
145 Kilbourn Road
Rochester, NY 14618

Owner/Agent:

Designer/Contractor:
Torchia Structural Engineering &
Design, PC
625 Panorama Trail
Suite 2210
Rochester, NY 14625
585.385.7630
ct@tse123.com

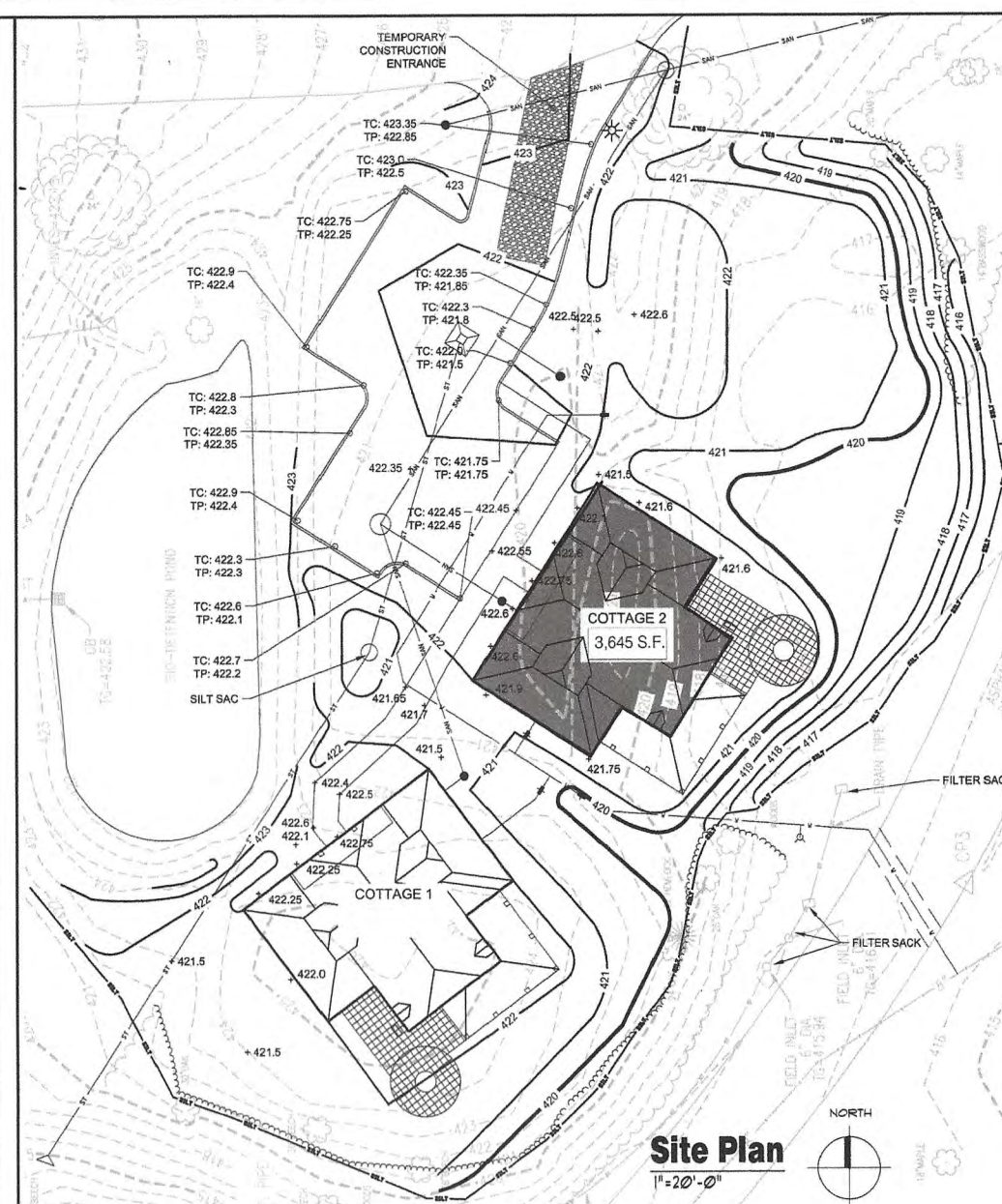
Compliance: Passes using UA trade-off
Compliance: 4.2% Better Than Code Maximum UA: 502 Your UA: 481
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Walls - First Floor: Wood Frame, 16" o.c.	2,085	21.0	0.0	0.057	100
Windows - First Floor: Vinyl/Fiberglass Frame: Double Pane with Low-E	215			0.270	58
Doors - Partial Glass: Solid	76			0.270	21
Doors - Glass: Glass	48			0.300	14
Walls - Second Floor: Wood Frame, 16" o.c.	1,690	21.0	0.0	0.057	85
Windows - Second Floor: Vinyl/Fiberglass Frame: Double Pane with Low-E	195			0.270	53
Floor: All-Wood Joist/Truss: Over Outside Air	148	30.0	0.0	0.033	5
Ceiling: Flat Ceiling or Scissor Truss	1,548	49.0	0.0	0.026	40
Basement Walls: Masonry Block with Empty Cells	1,845	0.0	11.0	0.057	105
Wall height: 7.4'					
Depth below grade: 6.6'					
Insulation depth: 7.4'					

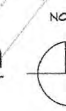
Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.7.1 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date



Site Plan

1" = 20'-0"



GENERAL NOTES:

- THESE DRAWINGS COMPLY WITH THE LATEST NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE STARTING CONSTRUCTION CONTACT ARCHITECT/ENGINEER IF ERRORS OR OMISSIONS ARE FOUND.
- CONTRACTOR SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.
- CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- WINDOWS EQUAL TO "KOLBE" FORGENT SERIES. WINDOWS AS SPECIFIED MEET NEW YORK STATE EGRESS CODE. CONTRACTOR IS RESPONSIBLE FOR ALL CHANGES.
- ALL VENTS TO HAVE INSECT SCREENS.
- ALL BATT INSULATION TO BE AS SPECIFIED ON DRAWINGS. USE APPROVED POLYETHYLENE VAPOR-RETARDER ON WARM-IN-WINTER SIDE OF WALLS. LAP SEAMS AND SEAL.
- FINISHES AS SELECTED OTHERS.
- HARD WIRED COMBINATION SMOKE ALARM / CARBON MONOXIDE DETECTOR SYSTEM SHALL BE INSTALLED AS SHOWN ON DRAWINGS.
- CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE OF NEW YORK STATE, LATEST EDITION.
- PLUMBING WORK INCLUDING WATER, SEWER & VENT PIPING TO BE INSTALLED IN COMPLIANCE WITH THE PLUMBING CODE OF NEW YORK STATE.
- ELECTRIC WORK INCLUDING UNDERGROUND SERVICE SHALL BE INSTALLED IN COMPLIANCE WITH NEC.
- DESIGN OF SITE WORK, HVAC, PLUMBING AND ELECTRICAL WORK, INTERIOR DESIGN ARE BY OTHERS.
- ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS. (ICE AND WATER SHIELD UNDER ENTIRE ROOF WHERE SLOPE IS LESS THAN 4 IN 12). ALL CLOSED (WOVEN) VALLEYS.

Drawing Index:

TITLE SHEET	A-1 BUILDING SECTION / INTERIOR ELEVATIONS / DETAILS
A-1 FIRST FLOOR PLAN	A-2 TOILET ROOM PLANS, INTERIOR ELEVATIONS AND DETAILS
A-2 SECOND FLOOR PLAN	A-3 SCHEDULES
A-3 REFLECTED CEILING PLANS	A-10 MATERIAL AND PRODUCT SPECIFICATIONS
A-4 EXTERIOR ELEVATIONS	S-1 BASEMENT / FOUNDATION PLAN / FIRST FLOOR FRAMING PLAN
A-5 EXTERIOR ELEVATION / WALL SECTION	S-2 LOW ROOF FRAMING / SECOND FLOOR FRAMING PLAN
A-6 EXTERIOR ELEVATION / WALL SECTION	S-3 ROOF PLAN / UPPER ROOF FRAMING PLAN

Project Number:

2002-0501 (JD)
21-04-05JD (TSE)

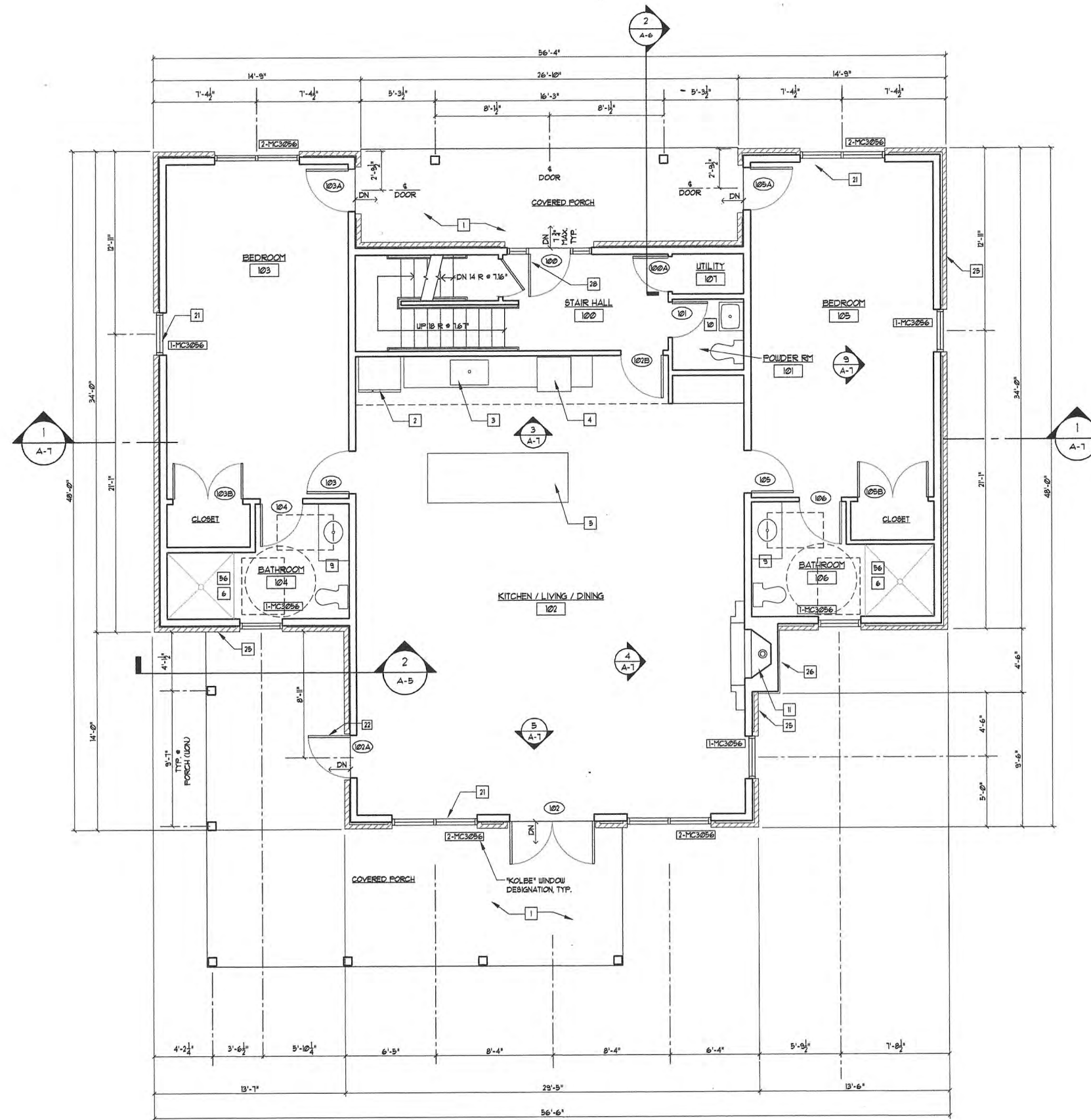
Issue:

FOR PRICING: 6.17.21

NOT FOR CONSTRUCTION

KEYNOTES

- 1 STAFFED CONCRETE PORCH SLAB
- 2 REFRIGERATOR
- 3 KITCHEN SINK
- 4 RANGE W/ RANGE HOOD
- 5 ISLAND COUNTER
- 6 SHOWER
- 7 GAS FIREPLACE INSERT
- 8 (1) COURSE OF 8" CONCRETE BLOCK (SHOWN DASHED)
- 9 BATH VANITY (TYP. OF 4)
- 10 POWDER ROOM VANITY
- 11 GAS FIREPLACE INSERT
- 12 ROOF BELOW
- 13 3" DIA. STEEL COLUMN AND CONCRETE FOOTING
- 14 STEEL BEAM
- 15 12" CMU FOUNDATION WALL AND FOOTING
- 16 5'-6" WIDE x 18" DEEP TV ACCENT WALL
- 17 LINE OF WOOD FRAME STRUCTURE
- 18 4" FINISHED CONCRETE SLAB
- 19 FIBERGLASS REINFORCED ASPHALT SHINGLE ROOFING
- 20 RIDGE VENT (TYP.)
- 21 CASEMENT WINDOW ("KOLBE" FORGENT SERIES, TYP.)
- 22 FRENCH DOOR(S)
- 23 "HARDIE" TRIM
- 24 "HARDIE" PANEL
- 25 VENEER BRICK (TYP. AT EXTERIOR OF FIRST FLOOR)
- 26 CULTURED STONE VENEER CHIMNEY CHASE
- 27 GRASS BAR
- 28 ENTRY DOOR W/ SIDE LIGHTS
- 29 CONTINUOUS CONCRETE FOOTING
- 30 APPROXIMATE FINISHED GRADE
- 31 2 x 12's @ 16" O.C. MAX.
- 32 18" DEEP PARALLEL CHORD WOOD TRUSSES @ 16" O.C. MAX. (DESIGN BY MANUFACTURER)
- 33 PRE-ENGINEERED WOOD TRUSSES @ 24" O.C.
- 34 CONTROL JOINT
- 35 BEARING PLATE
- 36 OUTLINE OF WALL/FLOOR ABOVE
- 37 FLOOR JOISTS / PARALLEL CHORD TRUSSES
- 38 2 x 6 FLOOR JOISTS @ 16" O.C. MAX.
- 39 2 x 10's @ 16" O.C. MAX.
- 40 2x12 HIP RAFTER
- 41 BROKE BACK BEAM OR GIRDER TRUSS, TYP.
- 42 WOOD TRUSSES TYPE 1 @ 24" O.C., DESIGN BY MFR
- 43 WOOD TRUSSES TYPE 2 @ 24" O.C., DESIGN BY MFR
- 44 GIRDER TRUSS TYPE A'
- 45 GIRDER TRUSS TYPE B'
- 46 2x10 HIP RAFTERS
- 47 2x6 COLLAR TIES @ 16" O.C.
- 48 2x10 RIDGE, TYP.
- 49 (2) 18" MICROLAM TRIMMER OR HEADER
- 50 GIRDER TRUSS TYPE "C"
- 51 (3) 2x10 P.T. BEAM
- 52 (3) 2x12 P.T. BEAM
- 53 (3) 2x6 STUD COLUMN
- 54 WOOD TRUSSES TYPE 3' @ 24" O.C., DESIGN BY MFR
- 55 WOOD TRUSSES TYPE 4' @ 24" O.C., DESIGN BY MFR
- 56 NOTCH 2x12 FLOOR JOISTS TO ACCOMMODATE SHOWER RECESS IN FLOOR. DOUBLE JOISTS AT NOTCHED LOCATIONS.
- 57 2 x 8 RAFTERS @ 16" O.C. MAX.
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- 59 SIMPSON LRU282 FACE MOUNT HANGER
- 60 WOOD TRUSSES TYPE 5' @ 24" O.C., DESIGN BY MFR
- 61 (3) 1-3/4"x1 1/4" LVL
- 62 SHINGLE CAP
- 63 COPPER BASE FLASHING
- 64 6" MIN. COPPER COUNTER FLASHING (BUILDING PAPER LAPS COUNTER FLASHING)
- 65 "COR-A-VENT" ROOF-2-WALL VENT. FOLLOW MFR DETAILS FOR SPECIFIC INSTALLATION REQUIREMENTS.



1 FIRST FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION

JJDurfee, Architect
Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618
585.750.9611 | jdurfee@durfeearchitect.com

TSE Torchia Structural Engineering & Design P.C.
625 Panorama Trail
Suite #2210
Rochester, NY 14625
Phone: 585-395-7850
Fax: 585-395-4388
www.tse123.com

PROJECT TITLE:
COTTAGES AT OAK HILL

DRAWING TITLE:
FIRST FLOOR PLAN AND NOTES

NOTICE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING ARE IN VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 145 SECTION 705. NO REVISIONS ARE PERMITTED UNLESS AUTHORIZED BY THE ARCHITECT OF RECORD.

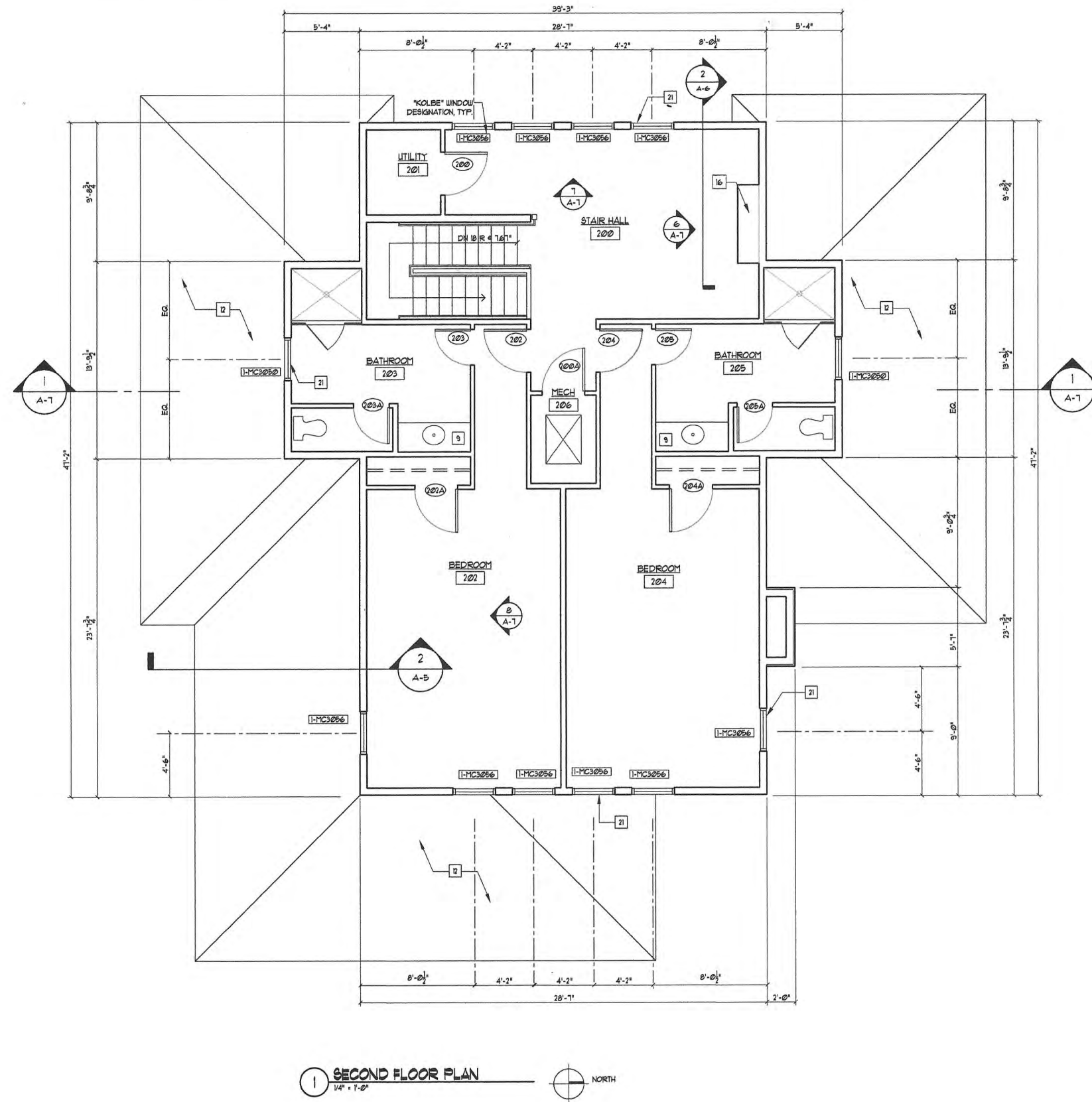
REVISIONS:

PROJECT NO: 2002-0501/21-04-05.0
SCALE: AS NOTED
DRAWN BY: TW/NA
CHECKED BY: CT
DATE: 6/17/21
DRAWING #

A-1

KEYNOTES

- 1 STAMPED CONCRETE PORCH SLAB
- 2 REFRIGERATOR
- 3 KITCHEN SINK
- 4 RANGE W/ RANGE HOOD
- 5 ISLAND COUNTER
- 6 SHOWER
- 7 GAS FIREPLACE INSERT
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JJDurfee, Architect
 Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618
 585.750.9611 | jdurfee@durfeearchitect.com

TSE Torchia Structural Engineering & Design P.C.
 655 Panorama Trail
 Suite #2210
 Rochester, NY 14625
 Phone: 585-385-7690
 Fax: 585-385-6396
 www.TSE173.com

PROJECT TITLE:
COTTAGES AT OAK HILL

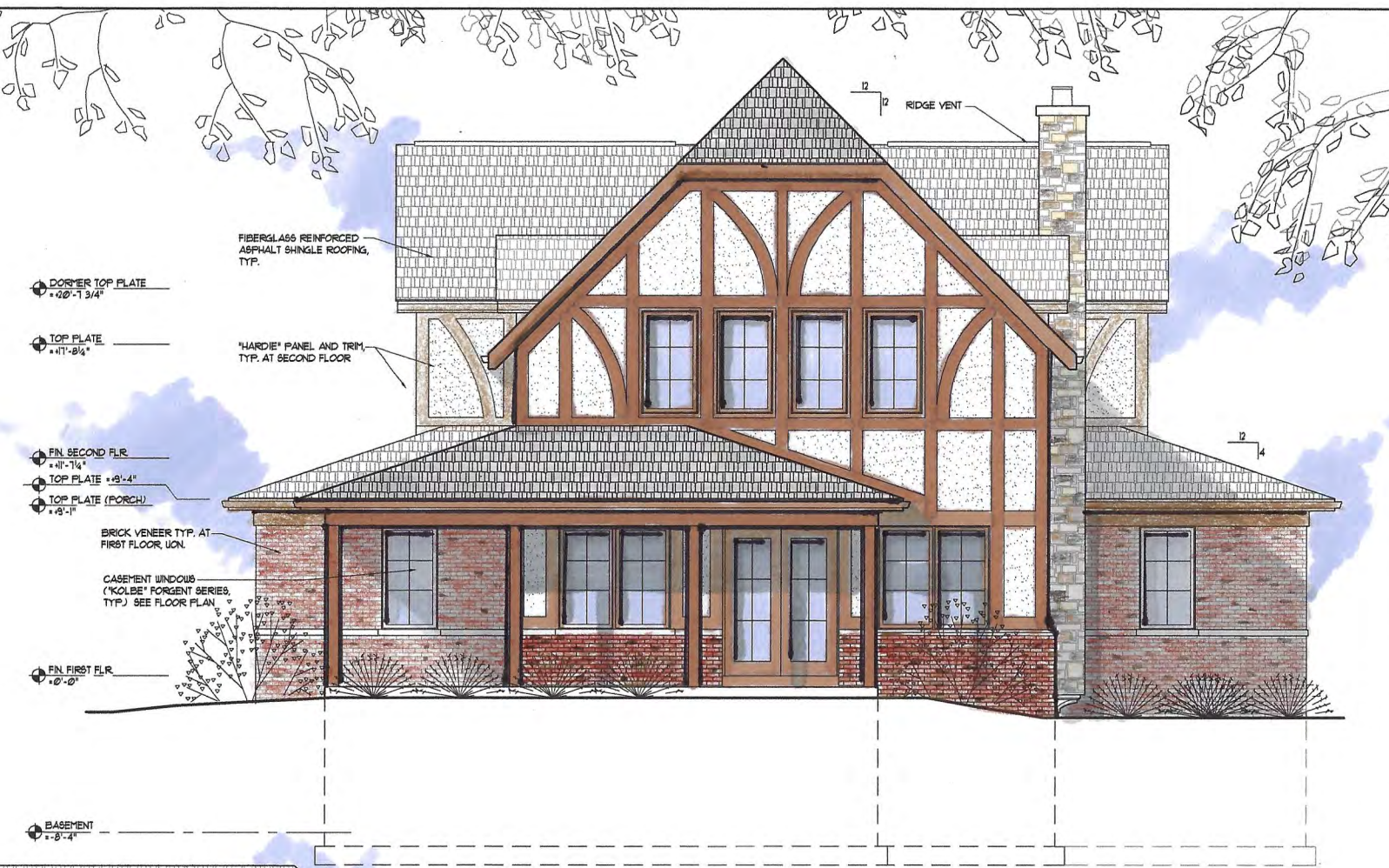
DRAWING TITLE:
SECOND FLOOR PLAN AND NOTES

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REVISIONS:	

PROJECT NO:	2002-0601 / 21-04-05JJD
SCALE:	AS NOTED
DRAWN BY:	TWNA
CHECKED BY:	CT
DATE:	6/17/21
DRAWING #	A-2

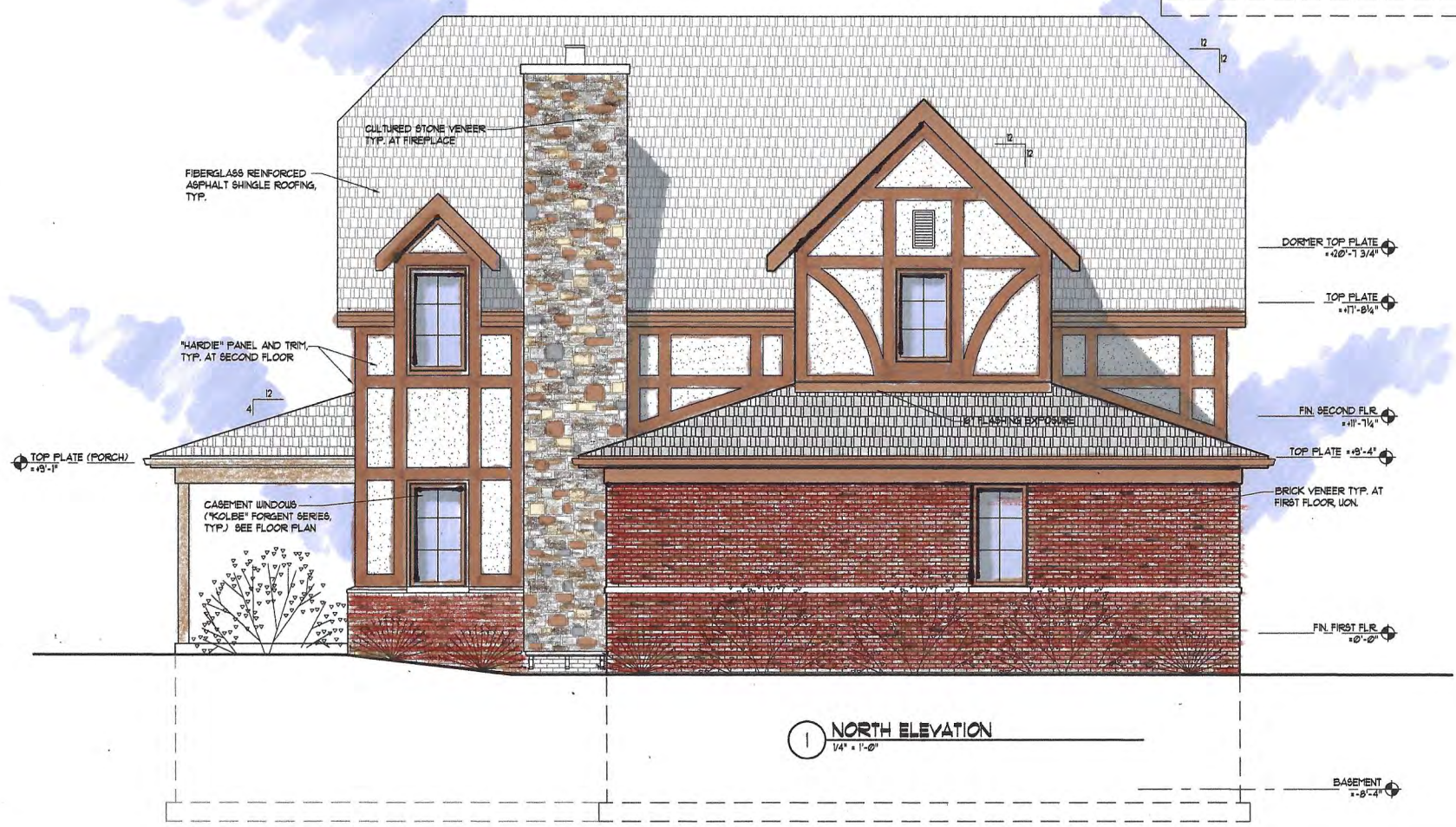
NOT FOR CONSTRUCTION



DORMER TOP FLATE
 +0'-1 3/4"
 TOP FLATE
 +1'-8 1/4"
 FIN. SECOND FLR.
 +1'-11 1/4"
 TOP FLATE +1'-4"
 TOP FLATE (PORCH)
 +0'-1"
 BRICK VENEER TYP. AT
 FIRST FLOOR, UON.
 CASEMENT WINDOWS
 ("KOLBE" FORGENT SERIES,
 TYP.) SEE FLOOR PLAN.
 FIN. FIRST FLR.
 +0'-0"
 BASEMENT
 +1'-8 1/4"

FIBERGLASS REINFORCED
 ASPHALT SHINGLE ROOFING,
 TYP.
 "HARDIE" PANEL AND TRIM,
 TYP. AT SECOND FLOOR

1 EAST ELEVATION
 1/4" = 1'-0"



DORMER TOP FLATE
 +0'-1 3/4"
 TOP FLATE
 +1'-8 1/4"
 FIN. SECOND FLR.
 +1'-11 1/4"
 TOP FLATE +1'-4"
 BRICK VENEER TYP. AT
 FIRST FLOOR, UON.
 FIN. FIRST FLR.
 +0'-0"
 BASEMENT
 +1'-8 1/4"

CULTURED STONE VENEER
 TYP. AT FIREPLACE
 FIBERGLASS REINFORCED
 ASPHALT SHINGLE ROOFING,
 TYP.
 "HARDIE" PANEL AND TRIM,
 TYP. AT SECOND FLOOR
 TOP FLATE (PORCH)
 +0'-1"
 CASEMENT WINDOWS
 ("KOLBE" FORGENT SERIES,
 TYP.) SEE FLOOR PLAN

1 NORTH ELEVATION
 1/4" = 1'-0"

TYPICAL SAFETY GLASS REQUIREMENTS

- PROVIDE SAFETY GLASS AS INDICATED ON THE DRAWINGS AND AS LISTED BELOW, WHICHEVER IS MOST STRINGENT. (THERE MAY BE OVERLAP).
- GLAZING IN FIXED OR OPERABLE PANELS OF SUNINGS, SLIDING AND BI-FOLD DOORS.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60-INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
 - WHERE THE GLAZING IS WITHIN 24-INCHES (610 MM) OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
 - WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24-INCHES (610 MM) OF THE HINGE SIDE OF AN IN-SUNING DOOR.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36-INCHES ABOVE THE FLOOR, AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
 - GLAZING IN GUARDS AND RAILING, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE THE WALKING SURFACE.
 - GLAZING WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36-INCHES ABOVE THE PLANE OF ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS AND RAMPS.
 - GLAZING ADJACENT TO LANDINGS AT BOTTOM OF STAIRWAY WHERE GLAZING IS LESS THAN 36-INCHES ABOVE LANDINGS AND WITHIN 60-INCHES HORIZONTAL ARC LESS THAN 90 DEGREES FROM BOTTOM TREAD NOGINS.
 - GLAZING IN LET AREAS WHERE THE BOTTOM OF EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY WALKING SURFACE.

NOT FOR CONSTRUCTION

JJDurfee, Architect
 Jim Durfee | 26 Kibbourn Road, Rochester, New York 14618
 585.750.9611 | jdurfee@durfeearchitect.com

TSE Torchia
 Structural
 Engineering
 & Design P.C.
 625 Panorama Trail
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 Rochester, NY 14826
 Phone: 585-265-7690
 Fax: 585-355-0285
 www.TSE123.com

PROJECT TITLE:
**COTTAGES AT
 OAK HILL**

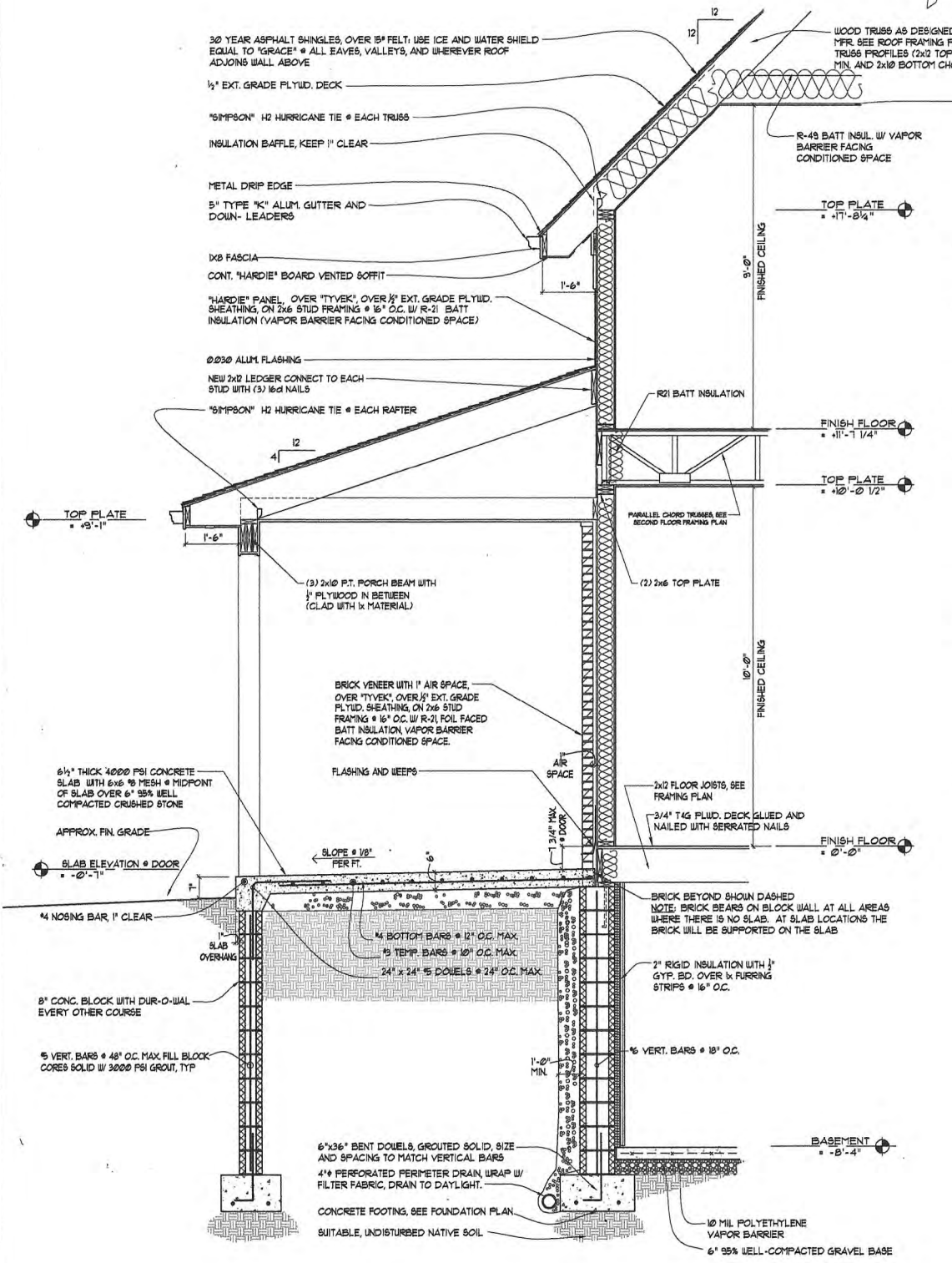
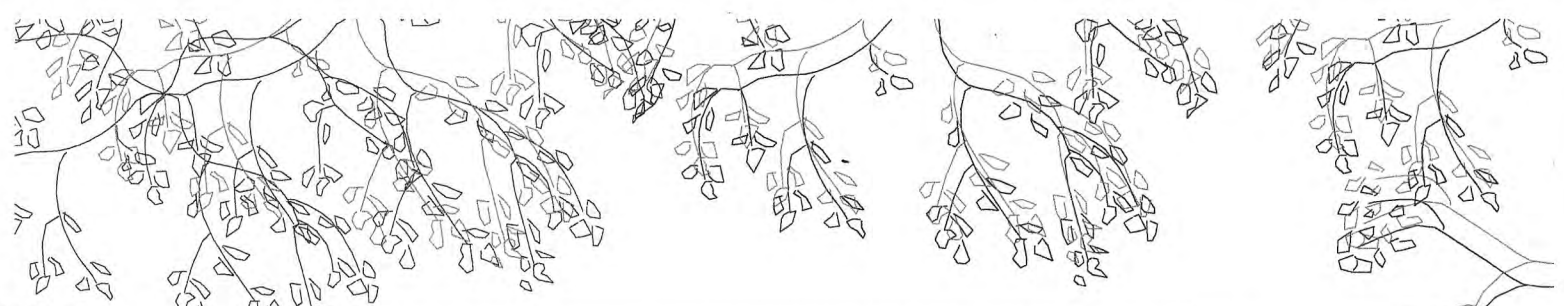
DRAWING TITLE:
**NORTH AND EAST
 ELEVATIONS**

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REVISIONS:

PROJECT NO: 2002-0501 / 21-04-05JD
 SCALE: AS NOTED
 DRAWN BY: TWNA
 CHECKED BY: CT
 DATE: 6/17/21
 DRAWING #

A-4



2 WALL SECTION
1/2" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

NOT FOR CONSTRUCTION

JJDurfee, Architect
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TSE Torchia Structural Engineering & Design P.C.
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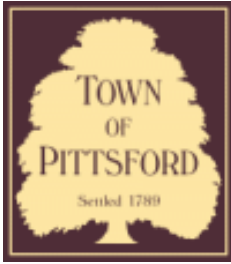
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SOUTH ELEVATION AND WALL SECTION

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REVISIONS:

PROJECT NO.: 2009-0501 / 21-04-05JD
SCALE: AS NOTED
DRAWN BY: TW/NA
CHECKED BY: CT
DATE: 6/17/21
DRAWING #

A-5



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000003

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 810 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 138.13-1-40

Zoning District: RN Residential Neighborhood

Owner: Stahl Property Associates

Applicant: Stahl Property Associates

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

Meeting Date: July 22, 2021



DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: Stahl Property Associates

Name(s) of Property Owner(s): Kimberley S. Bailey

Name of Applicant: Kimberley S. Bailey

Telephone Numbers: (585) 415-9882
(Owner) (Applicant)

Email Address: kimbailey99@gmail.cim

PLEASE CHECK ONE

- REQUEST FOR APPROVAL** (Please provide a brief description of the project.)
- REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

We are requesting approval from the Historic Preservation Board for a project located at 810 Allens Creek Road based on our plans and input from 2 previous informal meetings. We are proposing an addition of a porte cochere at the side entry, a detached garage, and addition to the rear of home located at existing garage, and landscape and driveway changes. Attached is a site plan, survey, 3D perspective sketch, along with local and otherwise photos and documents regarding Georgian and Colonial Revival homes in the era with similar modifications we are requesting.

APPLICANT MUST PROVIDE:

- Building Permit Application
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.

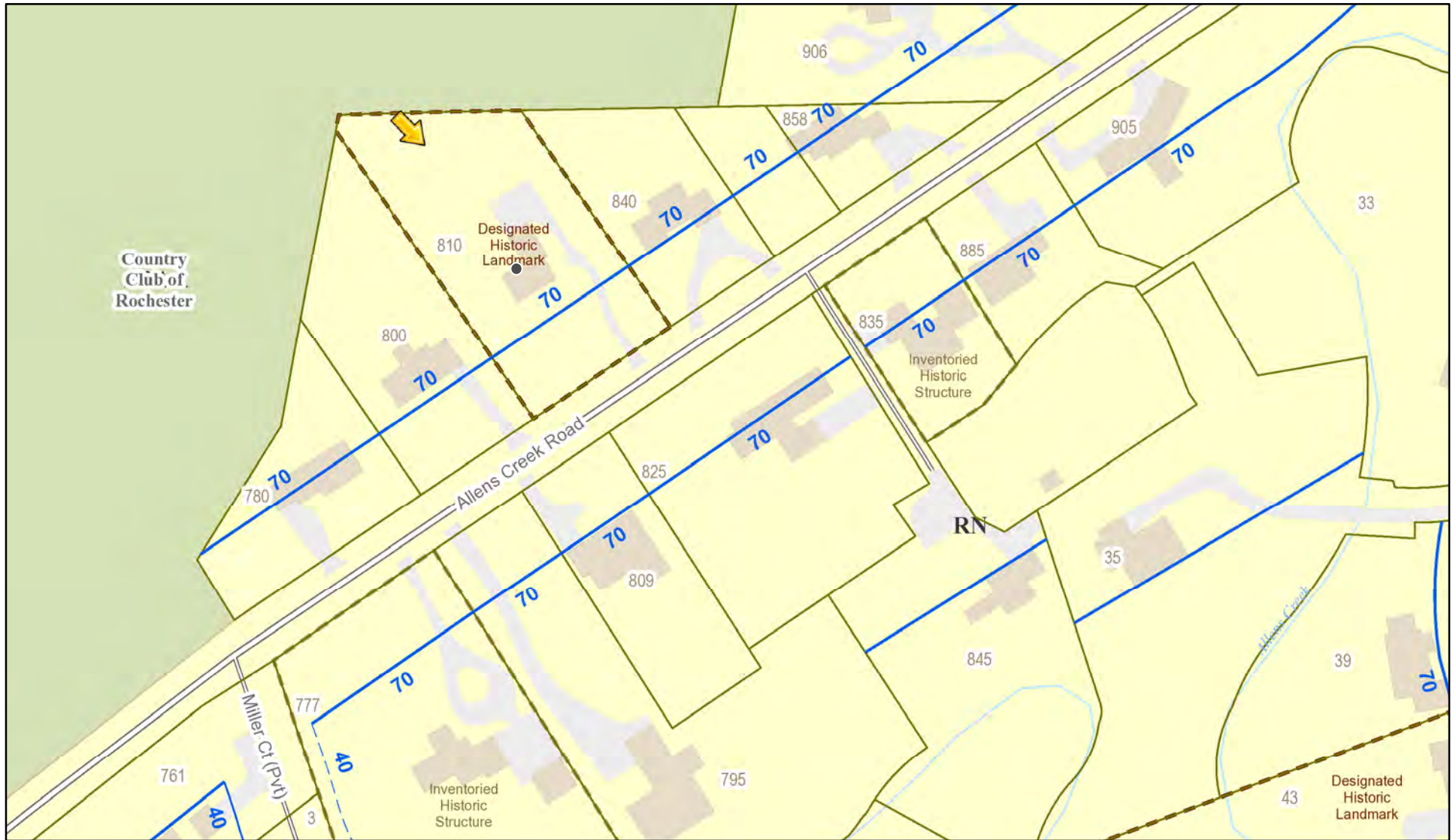
RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

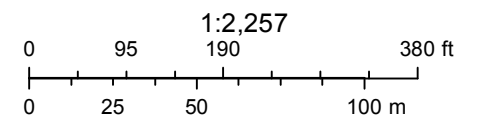
For Official Use Only

Received By _____ Received Date _____ Meeting Date _____

RN Residential Neighborhood Zoning



Printed April 15, 2021



Town of Pittsford GIS

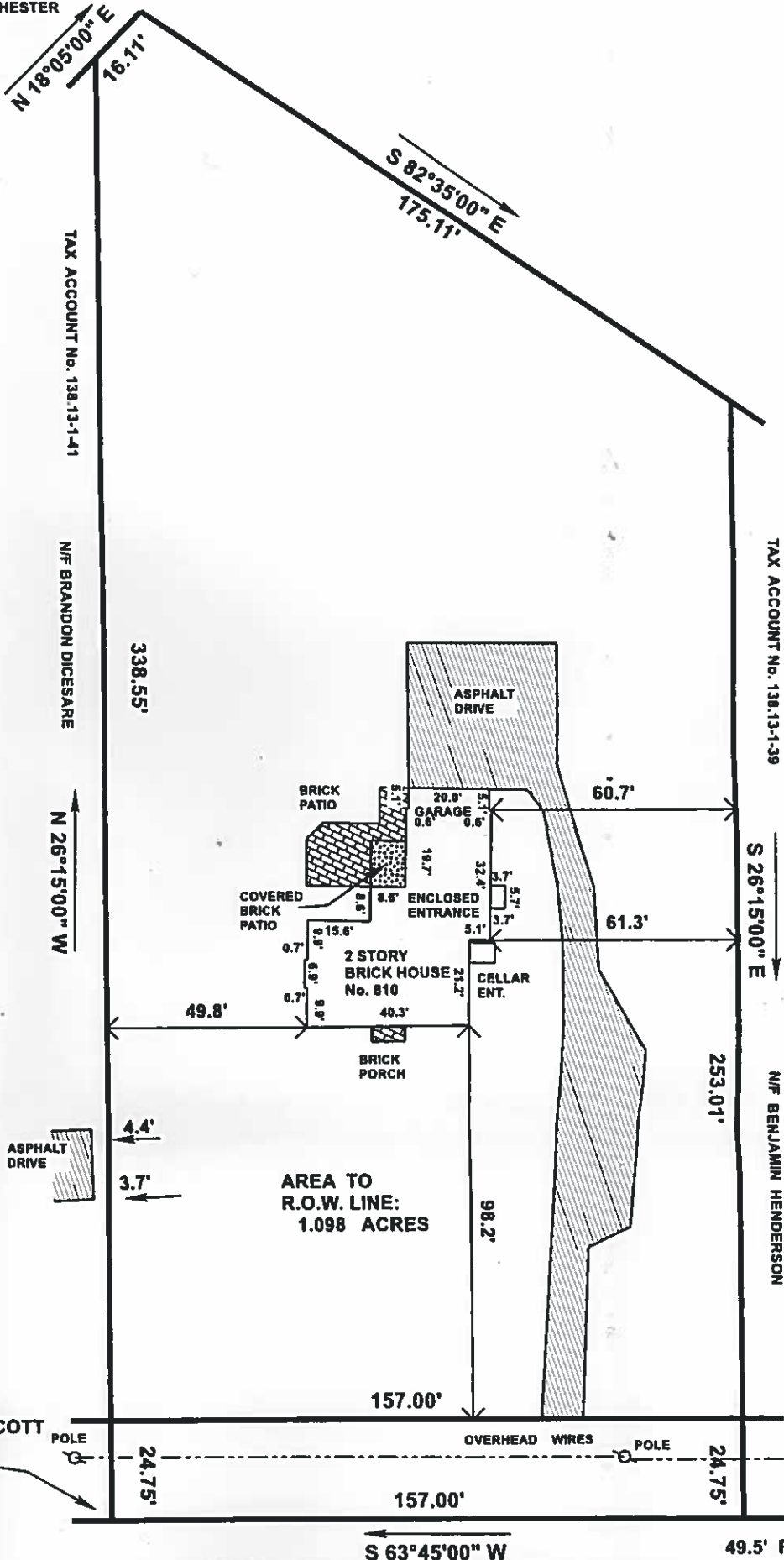
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TAX ACCOUNT No. 137.16-2-1
N/F COUNTRY CLUB OF ROCHESTER



REFERENCES

1. TAX ACCOUNT No. 138.13-1-40
2. L. 7785 DEEDS, P.91
3. L. 39 MAPS, P.9
4. L. 93 MAPS, P.22
5. FIRST AMERICAN TITLE INSURANCE COMPANY No. 459676, DATED MARCH 2, 2021



354.95' TO BOUNDARY LINE N/F J. STINSON SCOTT AND COUNTRY CLUB OF ROCHESTER

ALLENS CREEK ROAD

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE, COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MARCH 18, 2021 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MARCH 17, 2021 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries



BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263
4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

CERTIFIED TO:

1. STAHL PROPERTY ASSOCIATES IV, LLC
2. WOODS OVIATT GILMAN LLP
3. STEWART TITLE INSURANCE COMPANY

INSTRUMENT SURVEY MAP

**810 ALLENS CREEK ROAD
PART LOT 69, TOWNSHIP 12, RANGE 5
TOWN OF PITTSFORD**

MONROE COUNTY

NEW YORK

SCALE: 1"=40'

**BRUCE E. FRIES
PROFESSIONAL LAND SURVEYOR**

MARCH 18, 2021

PHONE: 800-772-3734

4150 RIDGE CHAPEL ROAD ■ MARION, NEW YORK 14505

FAX: 800-772-7419

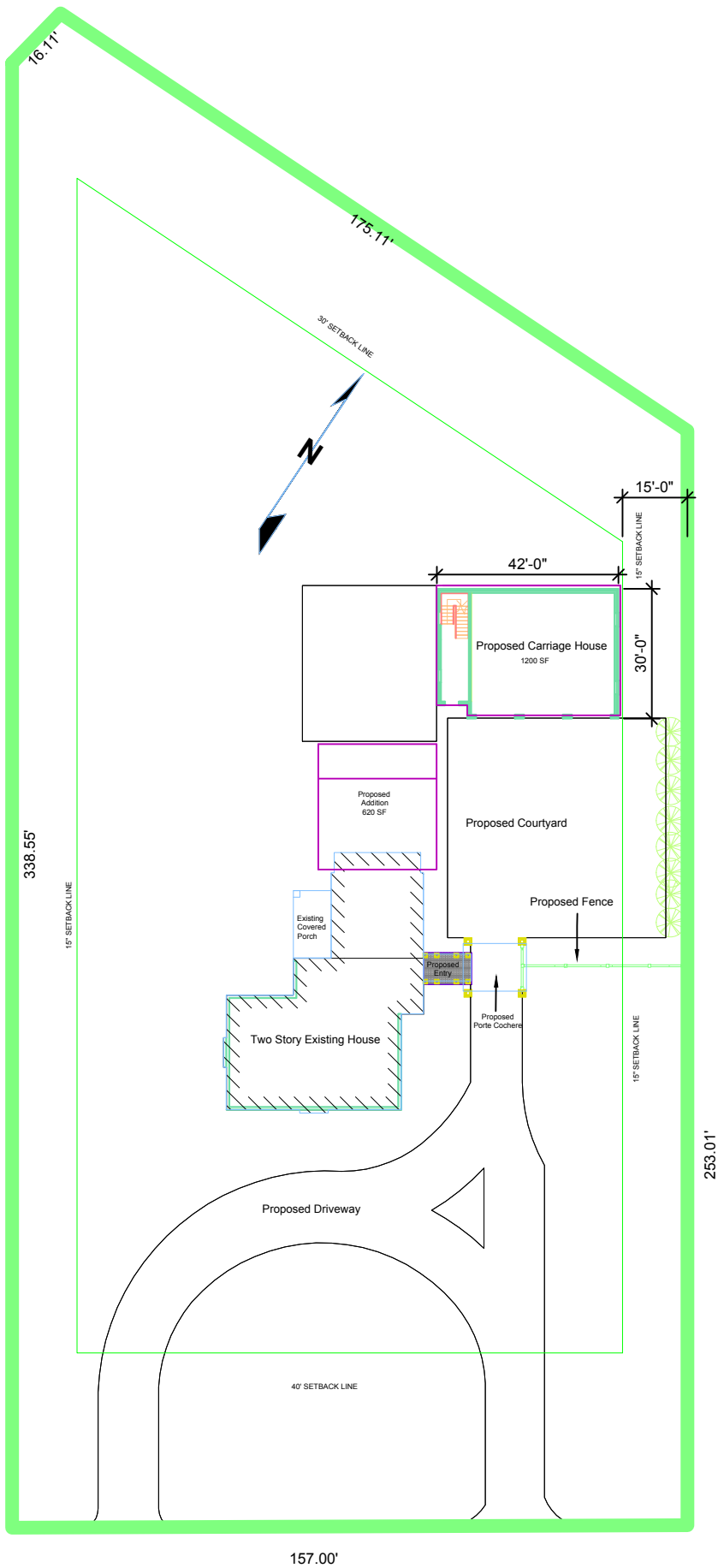












ALLENS CREEK ROAD





New rear addition to main house

Standing Seam Copper

Garage Beyond

Line at house

8 Pitch

7.82

3 Pitch

2.83

TO Hip
13' - 0"

TO Ridge
11' - 6"

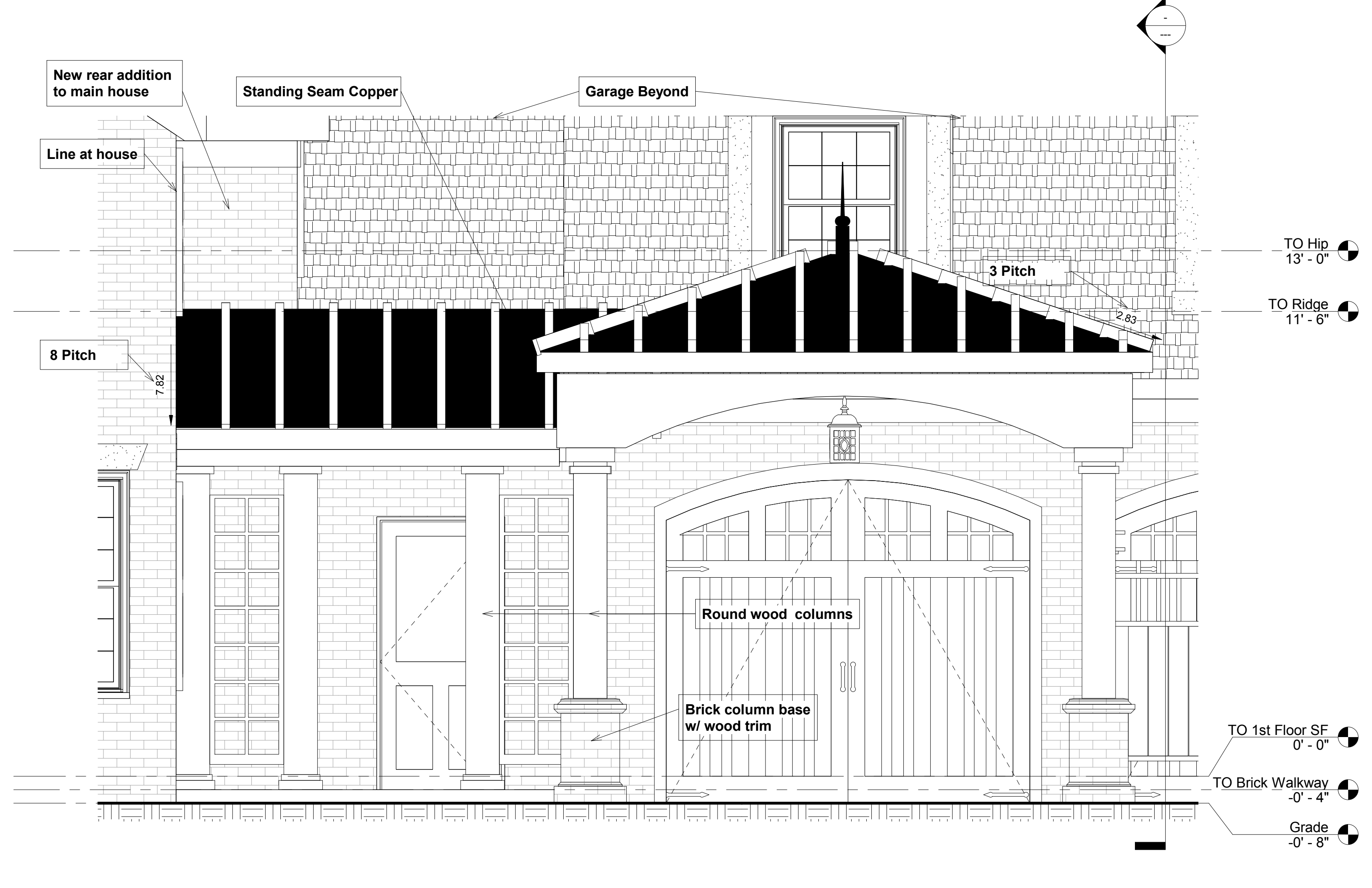
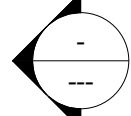
Round wood columns

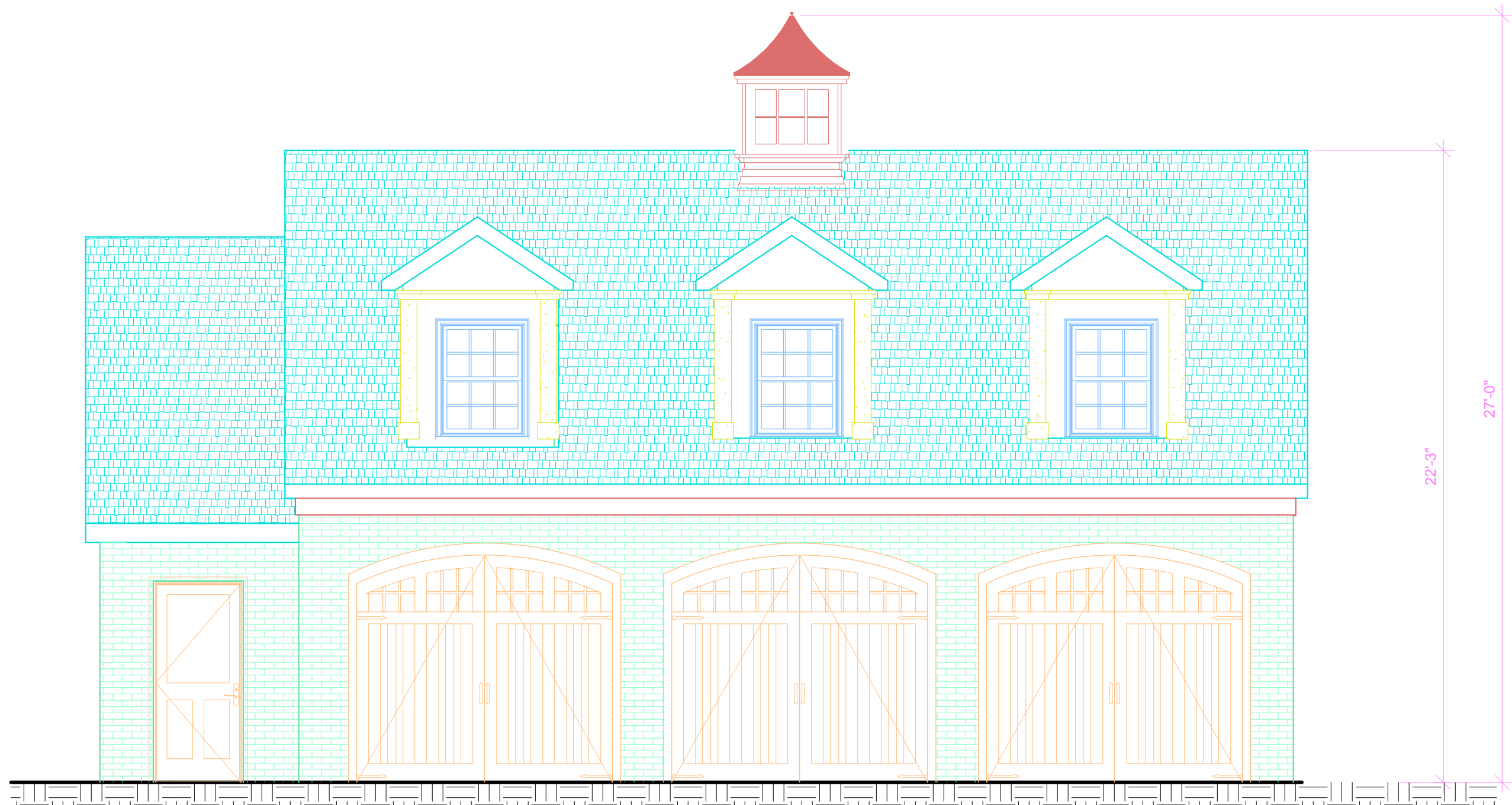
Brick column base
w/ wood trim

TO 1st Floor SF
0' - 0"

TO Brick Walkway
-0' - 4"

Grade
-0' - 8"



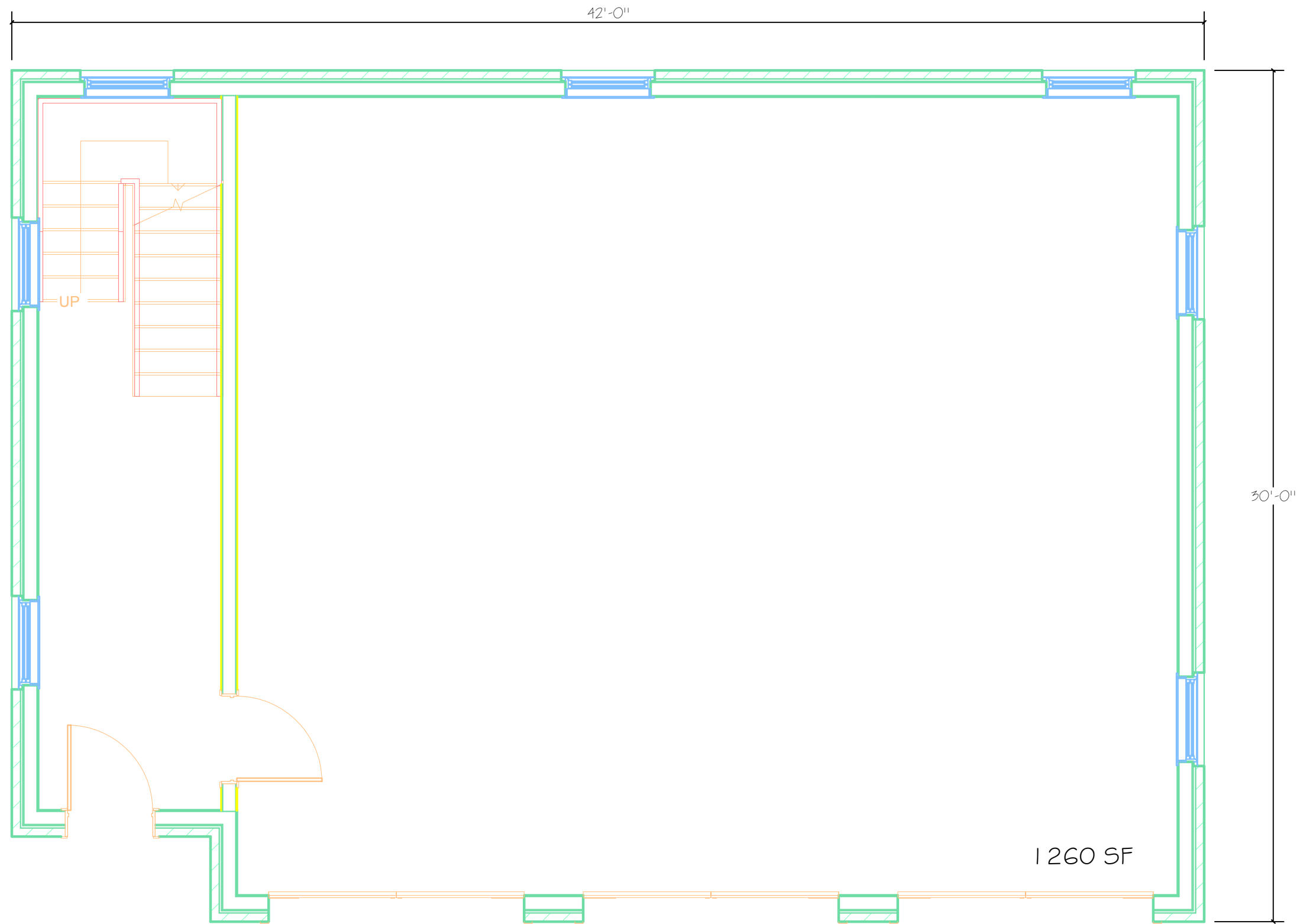


810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

GARAGE SOUTH ELEVATION

1/4" = 1'





810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

GARAGE 1ST FLOOR PLAN

1/4" = 1'



