

**Design Review & Historic Preservation Board**  
**Agenda**  
**October 28, 2021**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **4044A East Avenue**  
The Applicant is requesting design review for the construction of approximately an 830 SF addition off two sides of the existing carriage house.
- **26 Merryhill Lane**  
The Applicant is requesting design review for the construction of approximately a 672 SF garage addition off the existing garage.
- **80 N. Country Club Drive**  
The Applicant is requesting design review for the construction of a garage addition off the existing garage.
- **18 Butternut Drive**  
The Applicant is requesting design review for the construction of a covered entryway off the front of the house.
- **103 Knickerbocker Road**  
The Applicant is requesting design review for the construction of approximately a 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18 meeting.
- **8 Chatham Woods**  
The Applicant is requesting design review for the construction of approximately a 938 SF addition off the back of the house to include a sunroom and mudroom.
- **115 Ellingwood Drive**  
The Applicant is requesting design review for the construction of a new detached garage with the roof being extended for a covered seating area.

**Design Review and Historic Preservation Board**  
**Minutes**  
**October 14, 2021**

**PRESENT**

Dirk Schneider, Chairman; Kathleen Cristman, Bonnie Salem, John Mitchell, Dave Wigg

**ALSO PRESENT**

Bill Zink, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Paul Whitbeck, Leticia Fornataro, Robert Koegel, Town Attorney; Allen Reitz, Building Inspector

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem reported that the historical marker should be delivered soon. She met recently with Town Historians Audrey Johnson and Vicki Masters Profit to discuss placement of the marker. They are recommending a location on the corner of Park Road and East Street for the marker and discussed the relocation of the current sign to a location further back from the fence line. Bill Zink will check with Public Works to see if the recommended location of the marker is acceptable to the Town.

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

• **3001 Monroe Avenue**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the expansion of an outdoor patio. This property is zoned MATZ – Monroe Avenue Transitional Zone and is designated historic.

The Board made the decision not to open this hearing due to lack of supporting evidence for the application.

**RESIDENTIAL APPLICATION FOR REVIEW**

• **8 High Street**

The Applicant is requesting design review for the construction of approximately a 760 SF addition with first floor den, study, mudroom with the second floor addition including master bedroom, bathroom and a new deck.

The applicant, Stefan Preble, was present.

A portion of this parcel is in the Village of Pittsford.

After review of the renderings, John Mitchell moved to accept the application as submitted.

Kathleen Cristman seconded.

All Ayes.

• **4044A East Avenue**

The Applicant is requesting design review for the construction of approximately an addition off the back of the house to add a bathroom as well as the construction of screened in porch with covered walkway.

The homeowner and contractor, Justin Hamilton, was present.

Mr. Hamilton displayed a sample of the crown molding to be utilized to match existing on the home which will disguise the gutters on the home. The roofing materials were discussed. The formal gardens will be retained.

John Mitchell moved to accept the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **2 Old Kings Lane**

The Applicant is requesting design review for the construction of approximately a 340 SF addition off the east side of the existing house.

The architect, David Waldarek, and homeowner, Igor Pastirk, were present.

The Board reviewed the submitted materials. The Board indicated they appreciated the choice of windows to match the existing.

David Wigg moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **23 Butternut Drive**

The Applicant is requesting design review for the construction of approximately a 484 SF addition off the back of the existing house, 340 sq. ft. garage and gable over the front entrance.

The architect, Paul Morabito, was present.

An extra gable will be added on the front elevation. Mr. Morabito discussed the cedar composite shakes that will be placed in both gables. All garage doors will be replaced.

Bonnie Salem moved to approve the application for a detached garage, a front gable addition and an addition.

David Wigg seconded.

All Ayes.

- **39 Northfield Gate**

The Applicant is requesting design review for the construction of an approximately 256 SF three season room addition off the back of the house.

Joe Hancock was present to represent the homeowner, Gary Steinberg.

Mr. Hancock submitted some new drawings to the Board. The addition will sit on the footprint of an existing patio. The siding will match the existing on the home. The gable will be sided also.

Dave Wigg moved to accept the application with the drawings submitted on 10/14/21.

Kathleen Cristman seconded.

All Ayes.

- **43 Coventry Ridge**

The Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 4330 square feet of livable area and is located in the Coventry Ridge Subdivision.

Steve Maynard, representing Coventry Ridge Building Corporation, was present.

The materials will be stone and horizontal siding. The standing seam metal roof above the bay window will be black.

The Board discussed the stone return at the left side elevation – they would like to see a full return of the stone.

Dirk Schneider moved to accept the application as submitted with the recommendation of the extension of the stone at the water table on the left elevation be extended to the next surface.

Bonnie Salem seconded.

All Ayes.

- **3 Escena Rise**

The Applicant is requesting design review for the construction of approximately a 40 SF addition for a first floor closet and changing the existing covered porch into an approximately 203 SF addition off the back of the house.

No representative was present to discuss the application with the Board.

This home was a model home and the new homeowner is submitting changes to the original design. The open porch will be remodeled to an addition.

John Mitchell moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW**

- **920 Linden Avenue**

The Applicant is requesting design review for the construction of a commercial building. The building will be approximately 21,160 square feet and will be used as an indoor recreation center.

Carmine Torchia was present to discuss the application with the Board. The area will be used for two tenant spaces, potentially three in the future.

Mr. Torchia discussed the finishes proposed. The brick will be standard size. The canopies will be aluminum. Two options for brick presented due to the shortages of availabilities of materials. Red brick and tan brick options were presented. The Board prefers the tan option. Mr. Torchia indicated that the tan brick will be used unless it is unavailable.

Signage will be a separate approval.

Dirk Schneider moved to approve the application as submitted with either option of brick as noted and labeled on the drawings.

John Mitchell seconded.



All Ayes.

- **145 Kilbourn Road**

The Applicant is requesting design review for the construction of approximately an 1870 SF service building on the East Course of Oak Hill Country Club.

Carmine Torchia represented Oak Hill Country Club for this application.

Kathleen Cristman disclosed that her spouse is a member of Oak Hill Country Club but it would not influence her vote.

The service building will be used as rest rooms, snack bar and house irrigation control. The exterior will match the historic detailing of the clubhouse.

The Board noted that the porches on the north elevation appear to be out of proportion to one another.

Overall, they felt the building was a nice addition to the golf course.

The Board asked details on the out buildings proposed to be demolished. They requested pictures of these buildings for their review.

Dirk Schneider moved to approve the application as submitted in the drawings on 10/14/21 with the recommendation of a review of the gables over the porches.

Kathleen Cristman seconded.

All Ayes.

#### **REVIEW OF MINUTES OF SEPTEMBER 23, 2021 MEETING**

Dirk Schneider moved to accept the minutes of September 23, 2021 with one correction.

Kathleen Cristman seconded.

All Ayes.

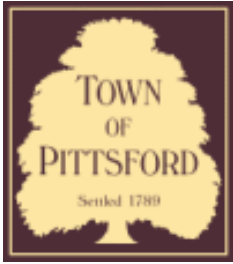
#### **ADJOURNMENT**

Chairman Dirk Schneider moved to close the meeting at 7:45 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #  
B21-000206**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4044-A East Avenue ROCHESTER, NY 14618

**Tax ID Number:** 151.10-1-6.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Justin Hamilton

**Applicant:** Justin Hamilton

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

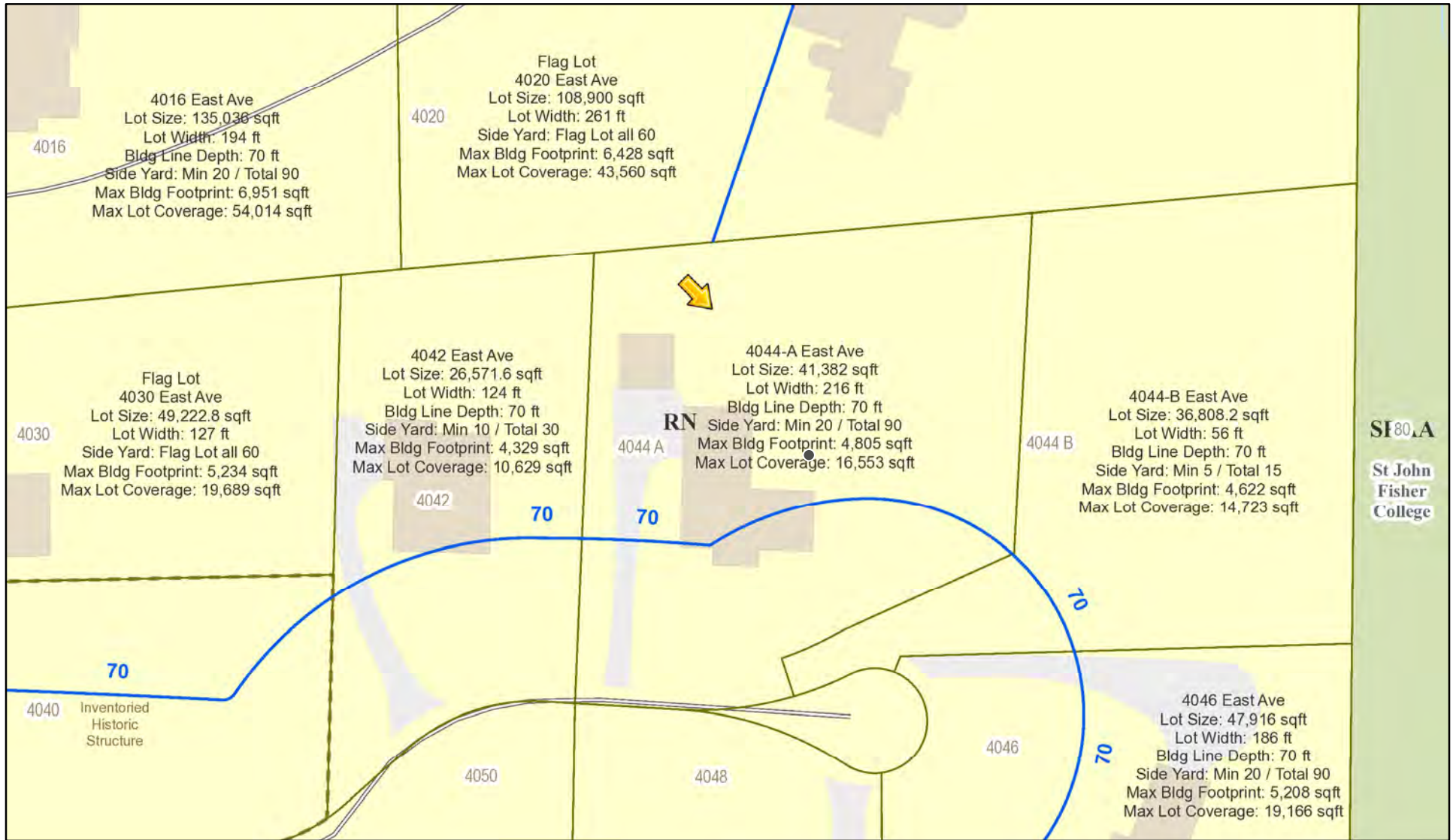
**Project Description:** Applicant is requesting design review for the construction of approximately a 830 sf addition off two sides of the existing carriage house.

**Meeting Date:** October 28, 2021

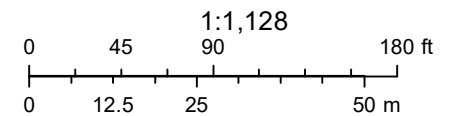




# RN Residential Neighborhood Zoning



Printed October 6, 2021



Town of Pittsford GIS

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HAMILTON|STERN  
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.  
3850 MONROE AVENUE  
PITTSFORD, NY 14534

PHONE: (585)-586-8101  
FAX: (585)-586-8101

HAMILTON RESIDENCE  
4044A EAST AVE  
ROCHESTER, NY 14601

PARTNERING FIRM:  
ARCHITECT OR CONTACT:  
PHONE:  
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.  
PROJECT CONTACT:  
PHONE:  
EMAIL:

DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK:	00/00/2016	TEXT

DATE: 10/5/21  
DRAWN BY: PTL

SHEET TITLE:

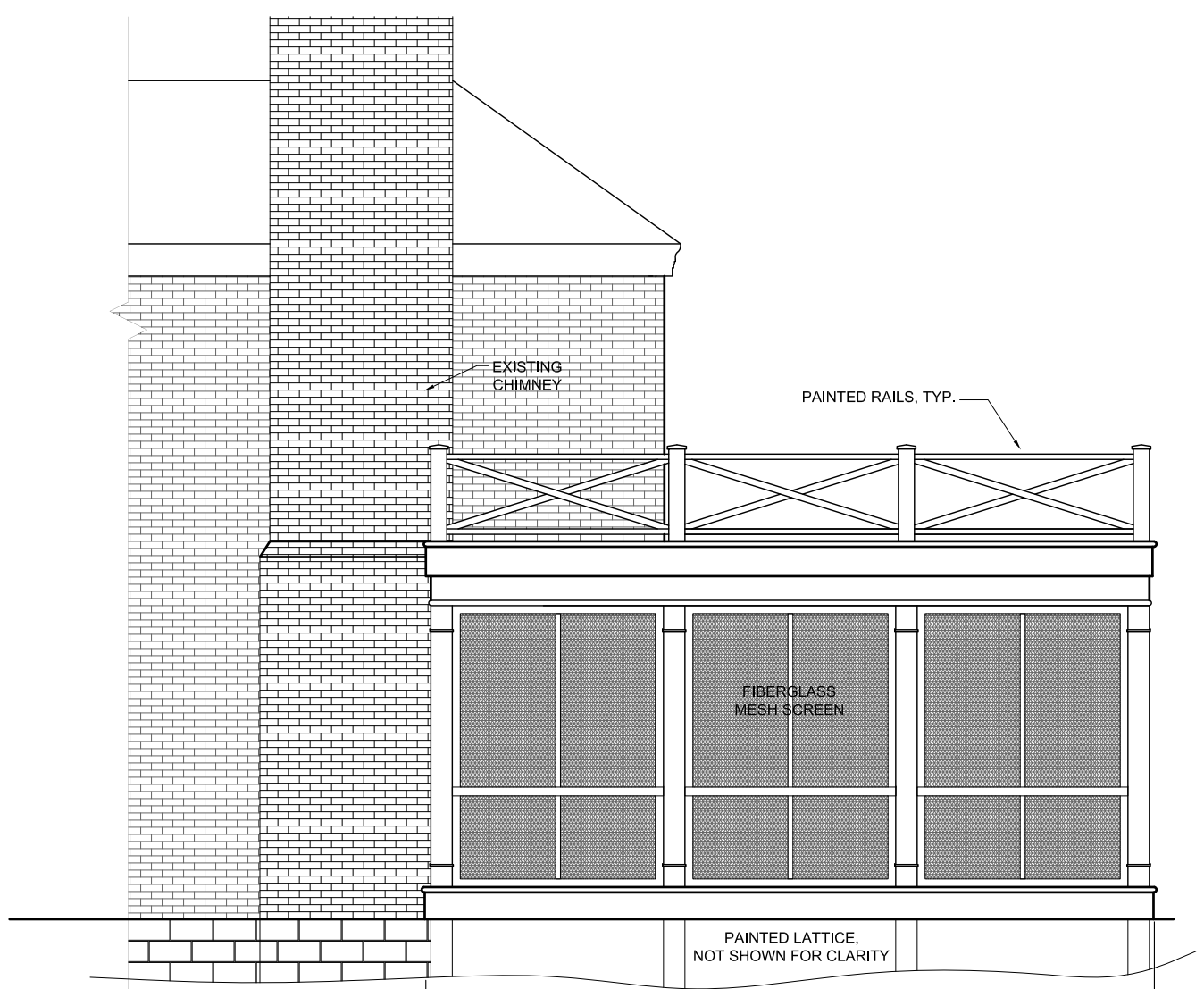
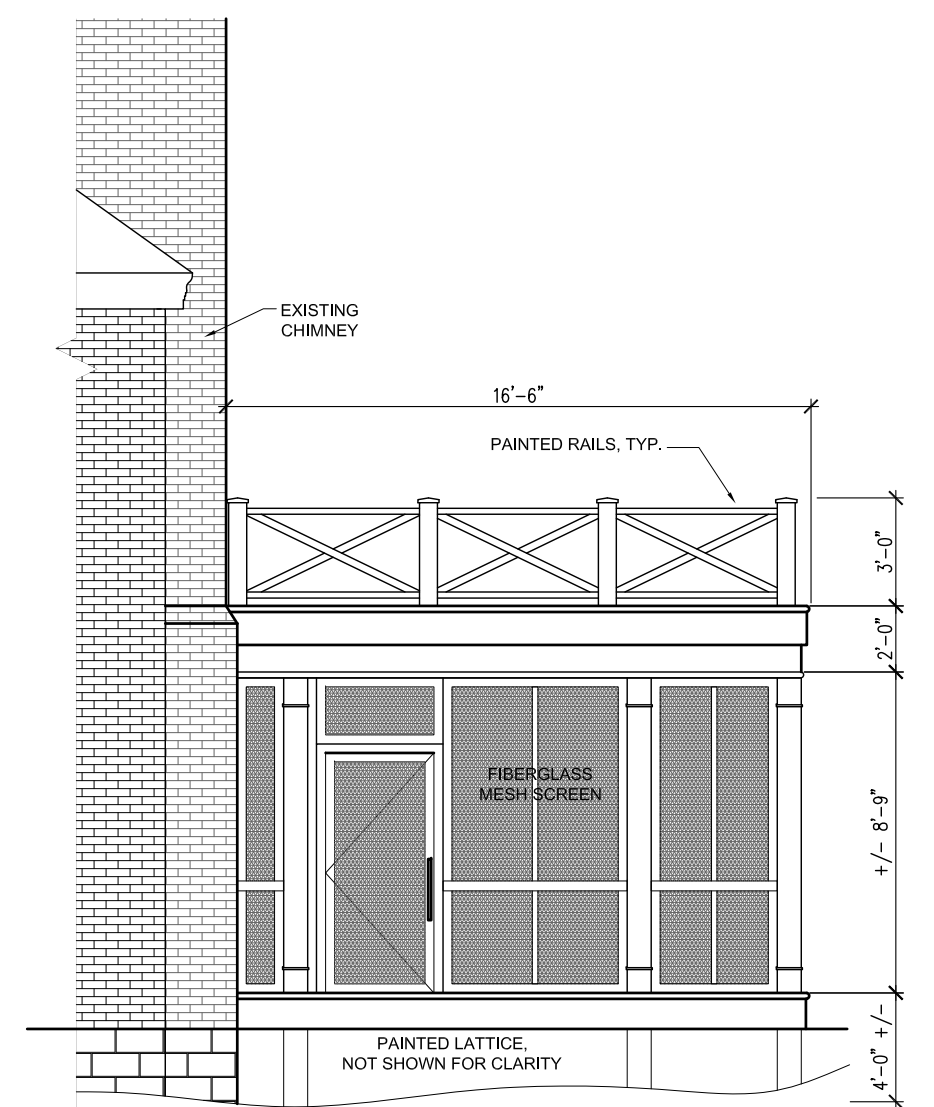
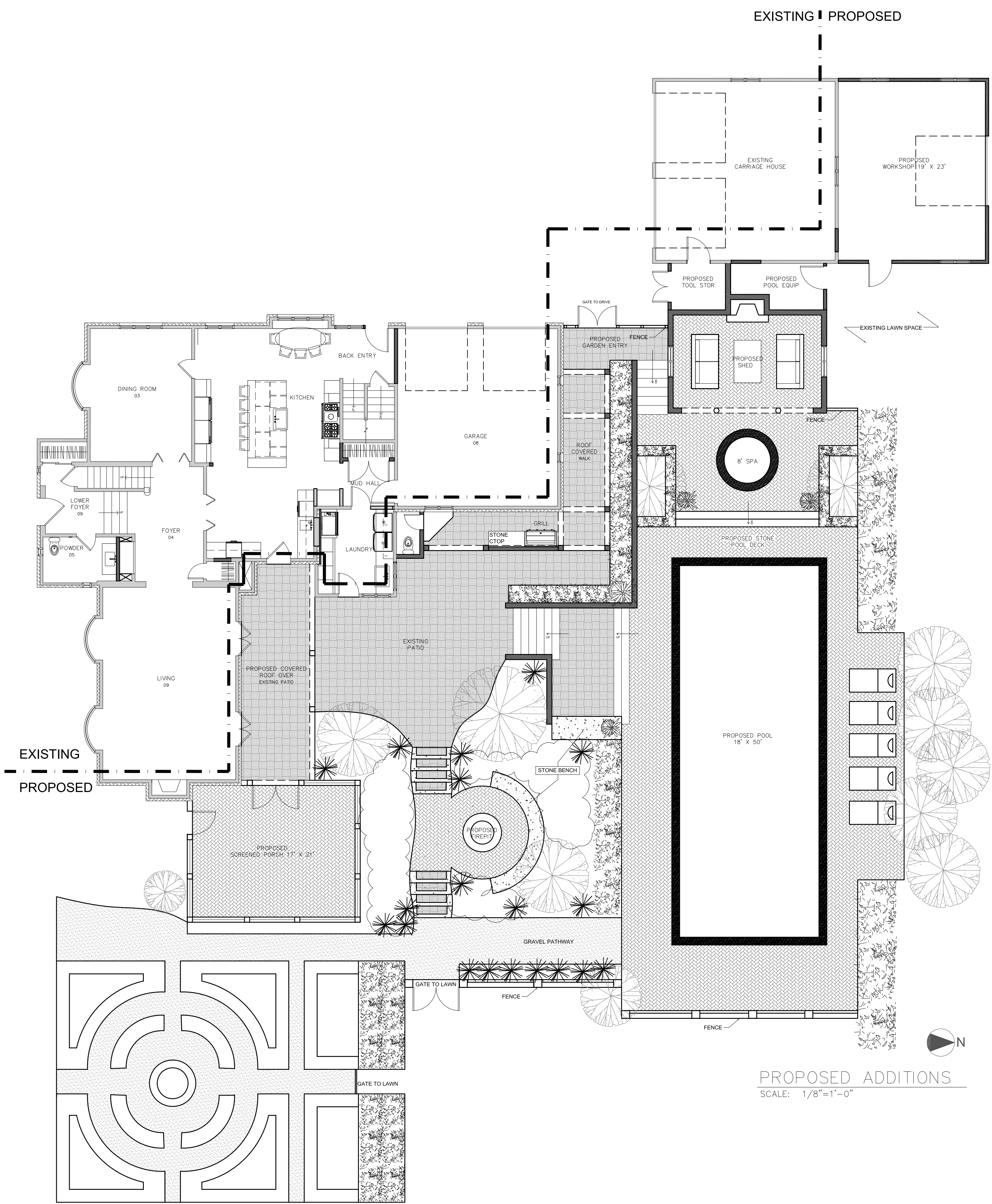
ISOMETRIC  
GARDEN VIEW

SHEET NUMBER

ID-1







**HAMILTON | STERN**  
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.  
3850 MONROE AVENUE  
PITTSFORD, NY 14534

PHONE: (585)-586-8101  
FAX: (585)-586-8101

**HAMILTON RESIDENCE**  
4044A EAST AVE  
ROCHESTER, NY 14601

PARTNERING FIRM:  
ARCHITECT OR CONTACT:  
PHONE:  
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.  
PROJECT CONTACT:  
PHONE:  
EMAIL:

MARK	DATE	DESCRIPTION
△	00/00/2016	TEXT

DATE: 10/5/21  
DRAWN BY: PTL

SHEET TITLE:  
**2021 ADDITIONS  
SITE PLAN**

SHEET NUMBER  
**ID-3**





HAMILTON STERN  
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.  
3850 MONROE AVENUE  
PITTSFORD, NY 14534

PHONE: (585)-586-8101  
FAX: (585)-586-8101

HAMILTON RESIDENCE  
4044A EAST AVE  
ROCHESTER, NY 14601

PARTNERING FIRM:  
ARCHITECT OR CONTACT:  
PHONE:  
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.  
PROJECT CONTACT:  
PHONE:  
EMAIL:

DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK:	00/00/2016	TEXT

DATE: 10/5/21  
DRAWN BY: PTL

SHEET TITLE:  
**GARAGE  
CONCEPT  
FRONT / POOL SIDE**

SHEET NUMBER

ID-6



POTENTIAL PHASE II. SCOPE NOT WITHIN THIS APPLICATION. SHOWN FOR DESIGN INTENT ONLY. APPLICATION FOR ZONING APPROVAL TO BE MADE AT A LATER DATE.





HAMILTON|STERN  
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.  
3850 MONROE AVENUE  
PITTSFORD, NY 14534

PHONE: (585)-586-8101  
FAX: (585)-586-8101

HAMILTON RESIDENCE  
4044A EAST AVE  
ROCHESTER, NY 14601

PARTNERING FIRM:  
ARCHITECT OR CONTACT:  
PHONE:  
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.  
PROJECT CONTACT:  
PHONE:  
EMAIL:

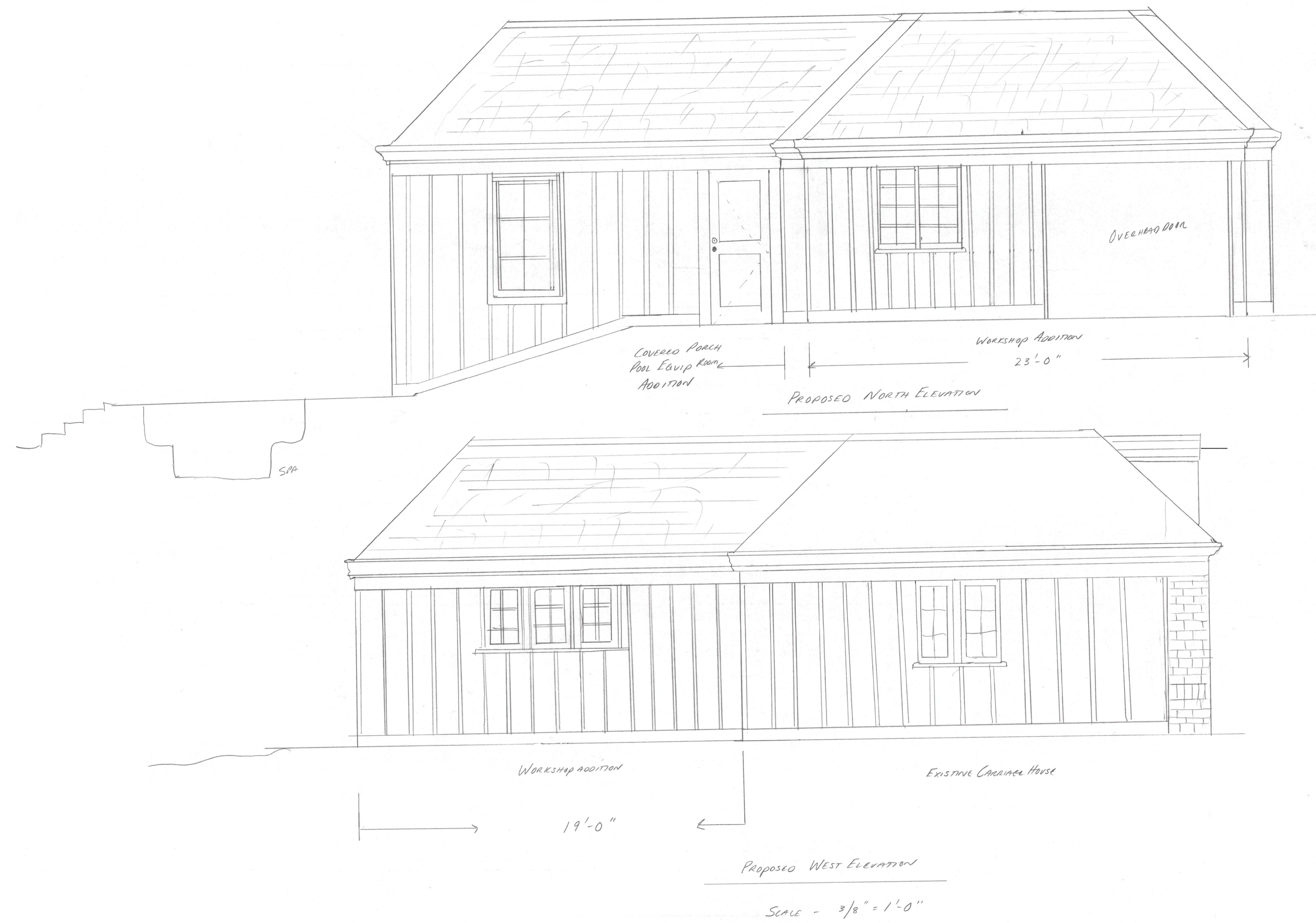
DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK: $\Delta$	00/00/2016	TEXT

DATE: 10/5/21  
DRAWN BY: PTL

SHEET TITLE:  
**GARAGE  
CONCEPT  
NORTH AND WEST**

SHEET NUMBER

ID-7







EXISTING NORTH ELEVATION





EXISTING SOUTH ELEVATION  
FROM ROAD





EXISTING SOUTH ELEVATION





*EXISTING EAST ELEVATION*





EXISTING CORNICE / GUTTER  
DETAIL





EXISTING NORTH EAST  
ELEVATION

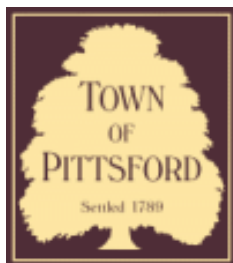












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000213**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 26 Merryhill Lane PITTSFORD, NY 14534

**Tax ID Number:** 163.16-2-28

**Zoning District:** RN Residential Neighborhood

**Owner:** Danny Danielle

**Applicant:** Danny Danielle

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of approximately an 672 SF garage addition off the existing garage.

**Meeting Date:** October 28, 2021



WATERGATE  
280-4000 PC 82377  
Call Holly  
1-224-6000















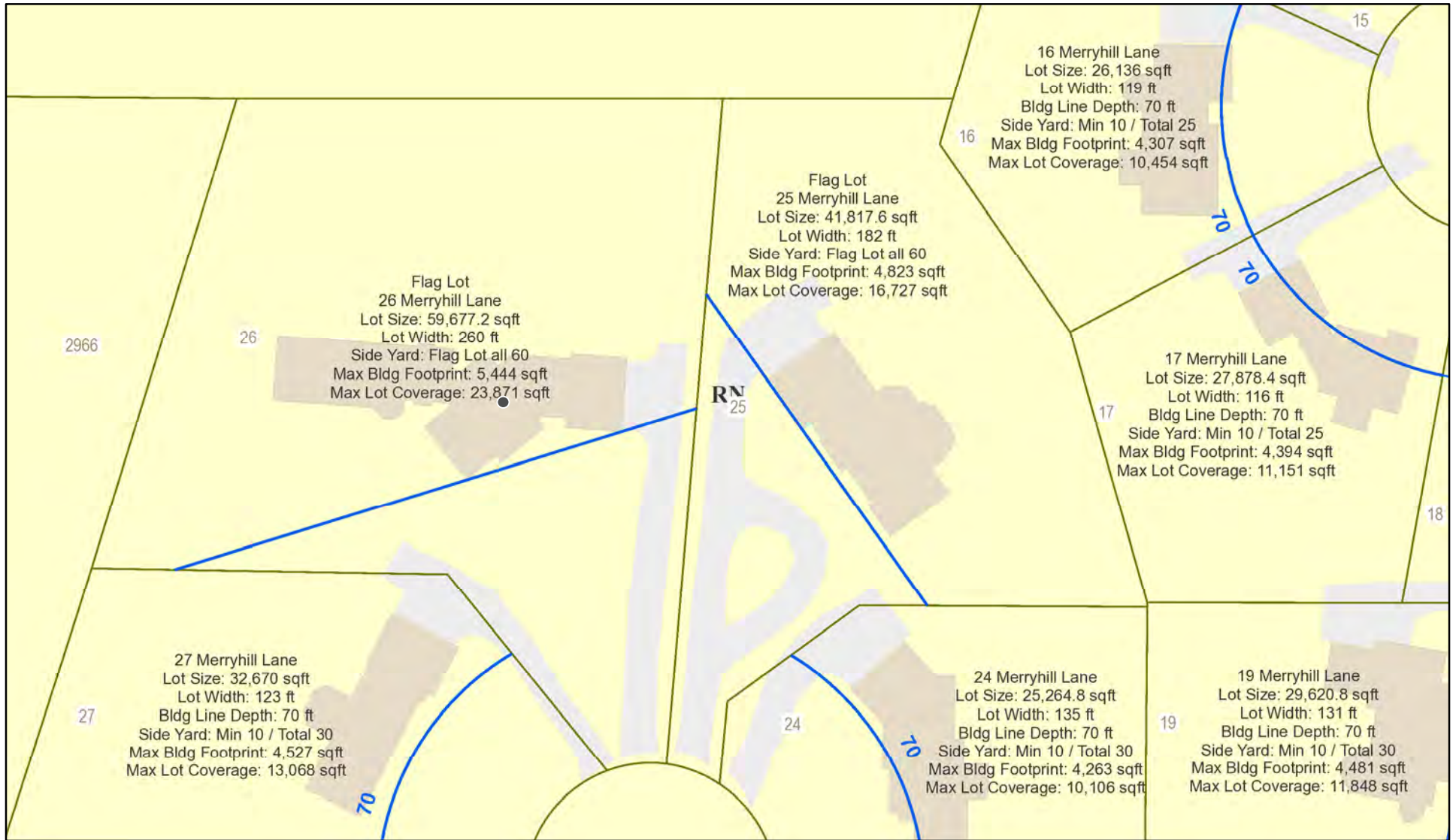




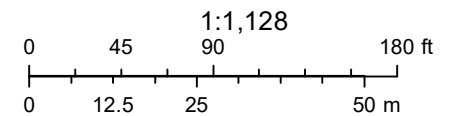




# RN Residential Neighborhood Zoning



Printed October 20, 2021



Town of Pittsford GIS

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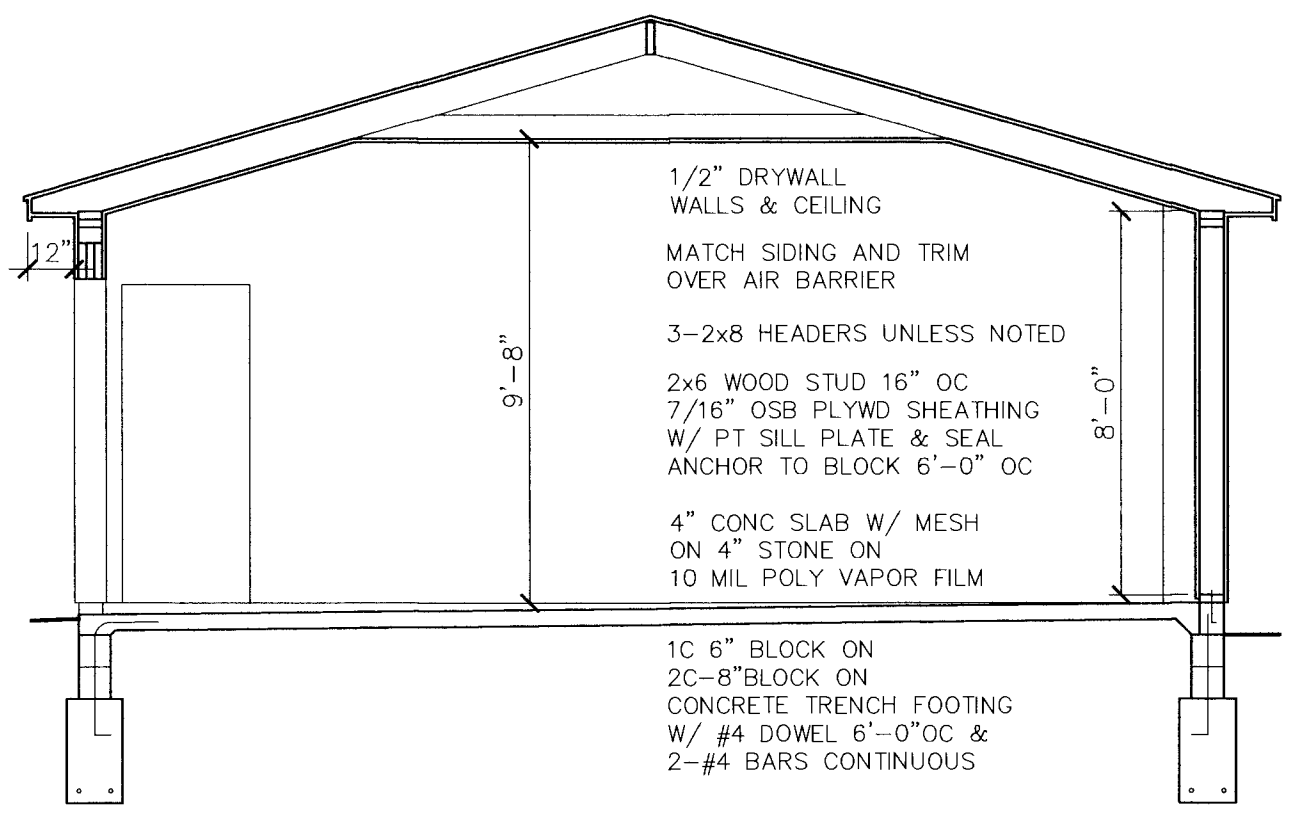




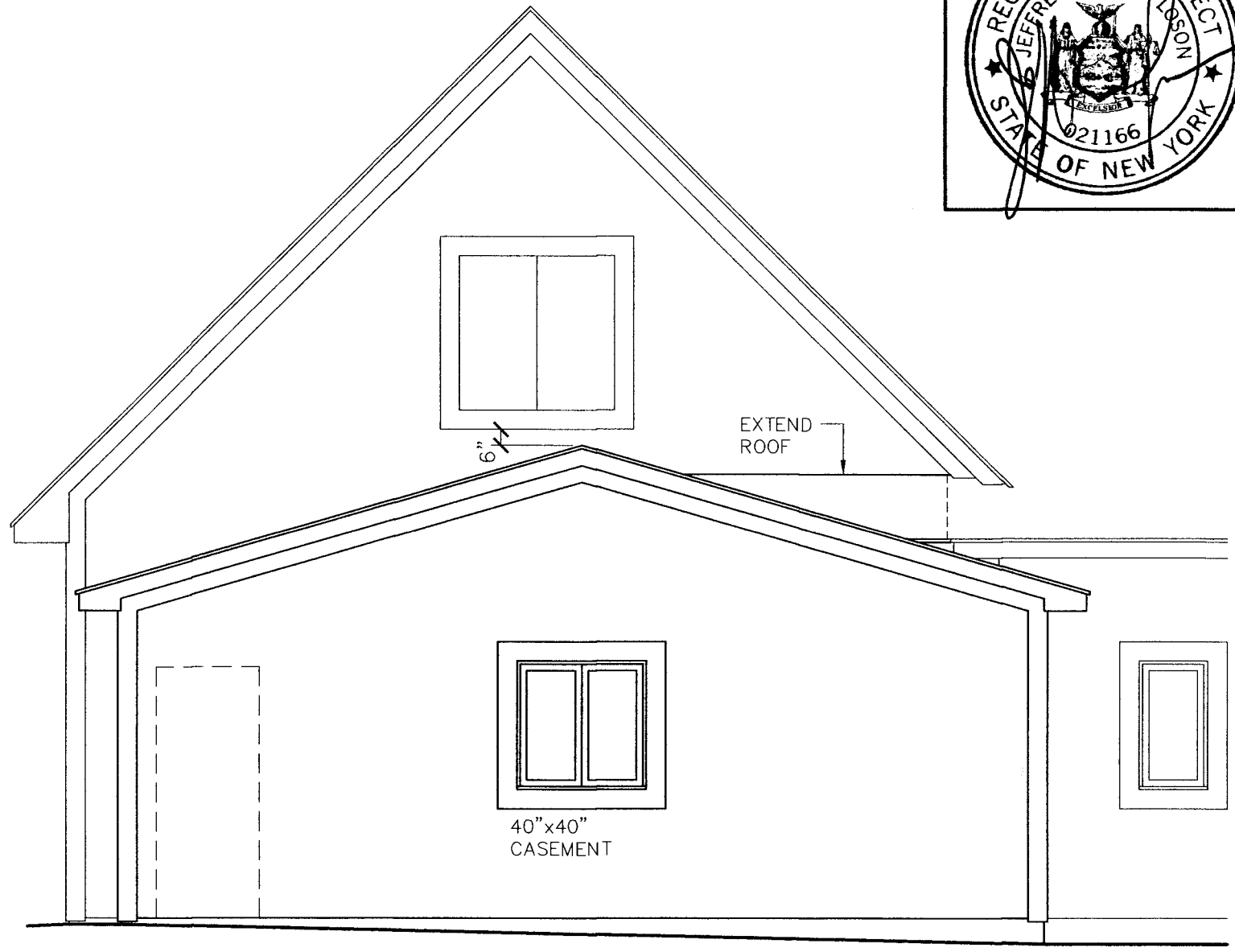
ASPHALT SHINGLES ON  
 15# FELT PAPER &  
 2 COURSE ICE & WATER @ EAVES

7/16" OSB PLYWD SHEATHING ON  
 2x8 RAFTER 16"OC  
 2x6 CEILING 16"OC

MATCH FASCIA ON WOOD BLOCKING  
 MATCH SOFFIT CONTINUOUS VENT  
 ALUM GUTTER AND DOWNSPOUTS



**BUILDING SECTION**  
 1/4" = 1'-0"

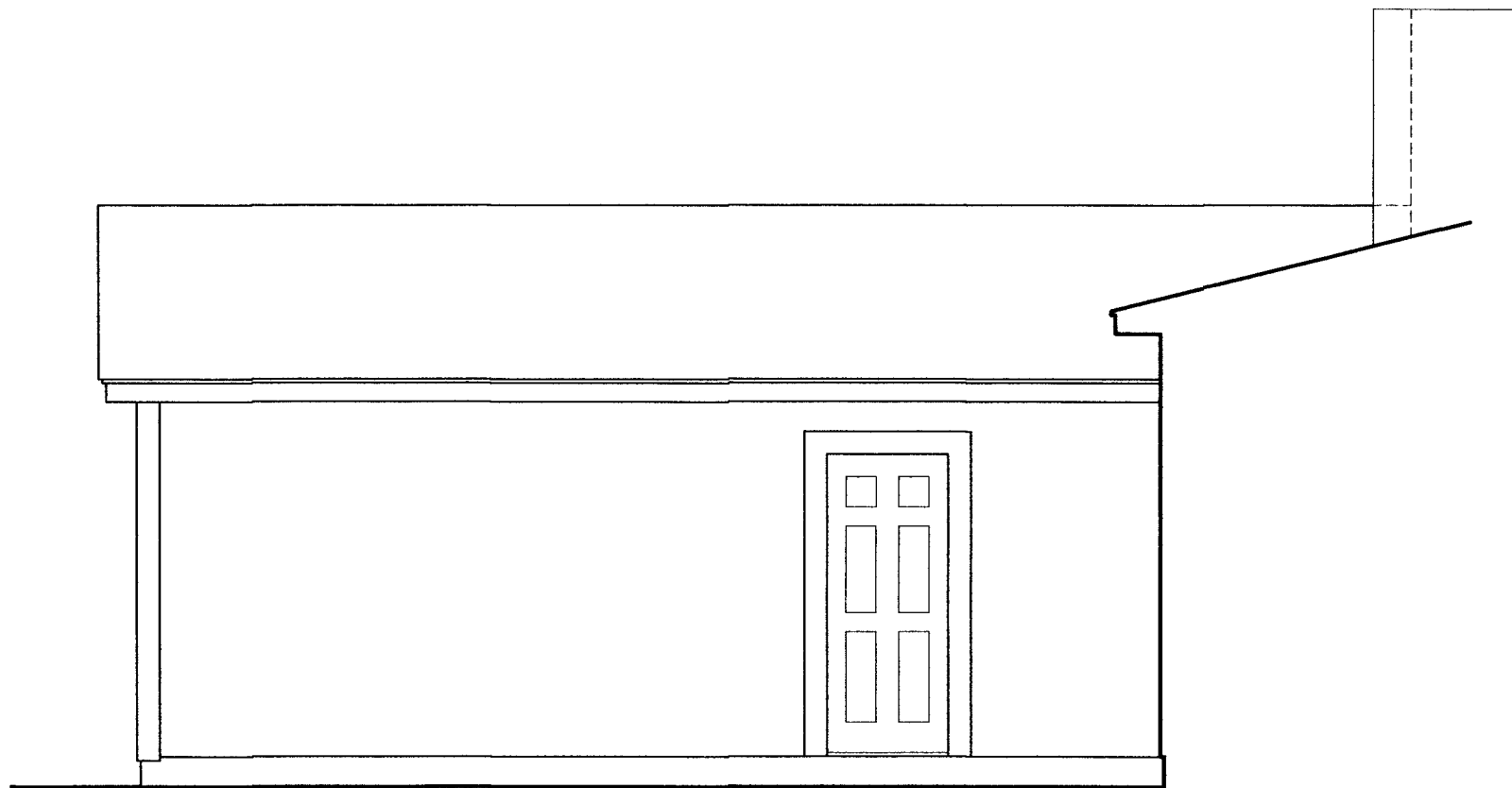
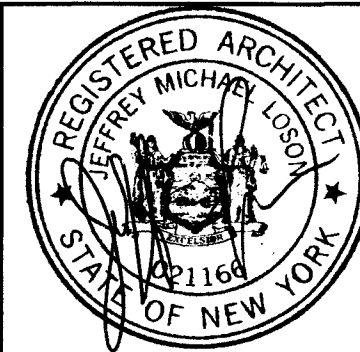


**NORTH ELEVATION**  
 1/4" = 1'-0"

**GARAGE PLANS**  
 FOR  
**26 MERRYHILL LANE**  
 PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC  
 284 THORNTON ROAD  
 ROCHESTER NY 14617  
 585-406-4757

DATE	DW'G NO.
10/11/21	A-2



WEST ELEVATION  
1/4" = 1'-0"



EAST ELEVATION  
1/4" = 1'-0"

GARAGE PLANS  
FOR  
26 MERRYHILL LANE  
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

DATE	DW'G NO.
10/11/21	A-3





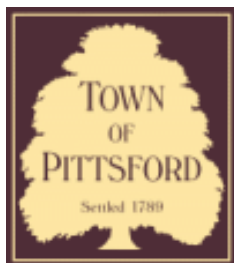












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000219**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 80 North Country Club Drive ROCHESTER, NY 14618

**Tax ID Number:** 151.05-1-11

**Zoning District:** RN Residential Neighborhood

**Owner:** Clifford, Daniel K

**Applicant:** Clifford, Daniel K

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

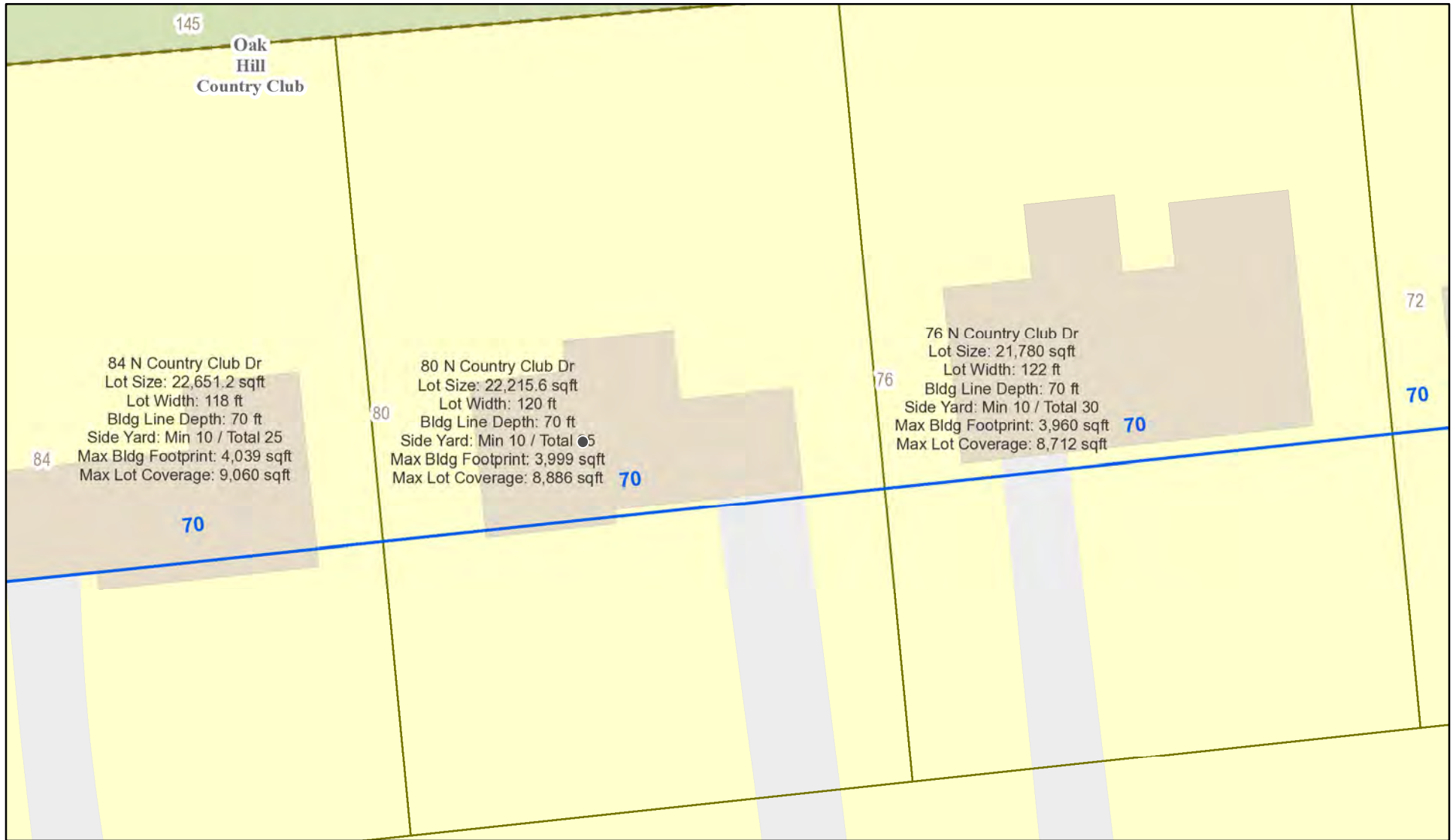
**Project Description:** Applicant is requesting design review for the construction of a garage addition off the existing garage.

**Meeting Date:** October 28, 2021

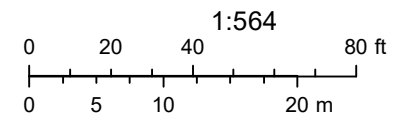




# RN Residential Neighborhood Zoning



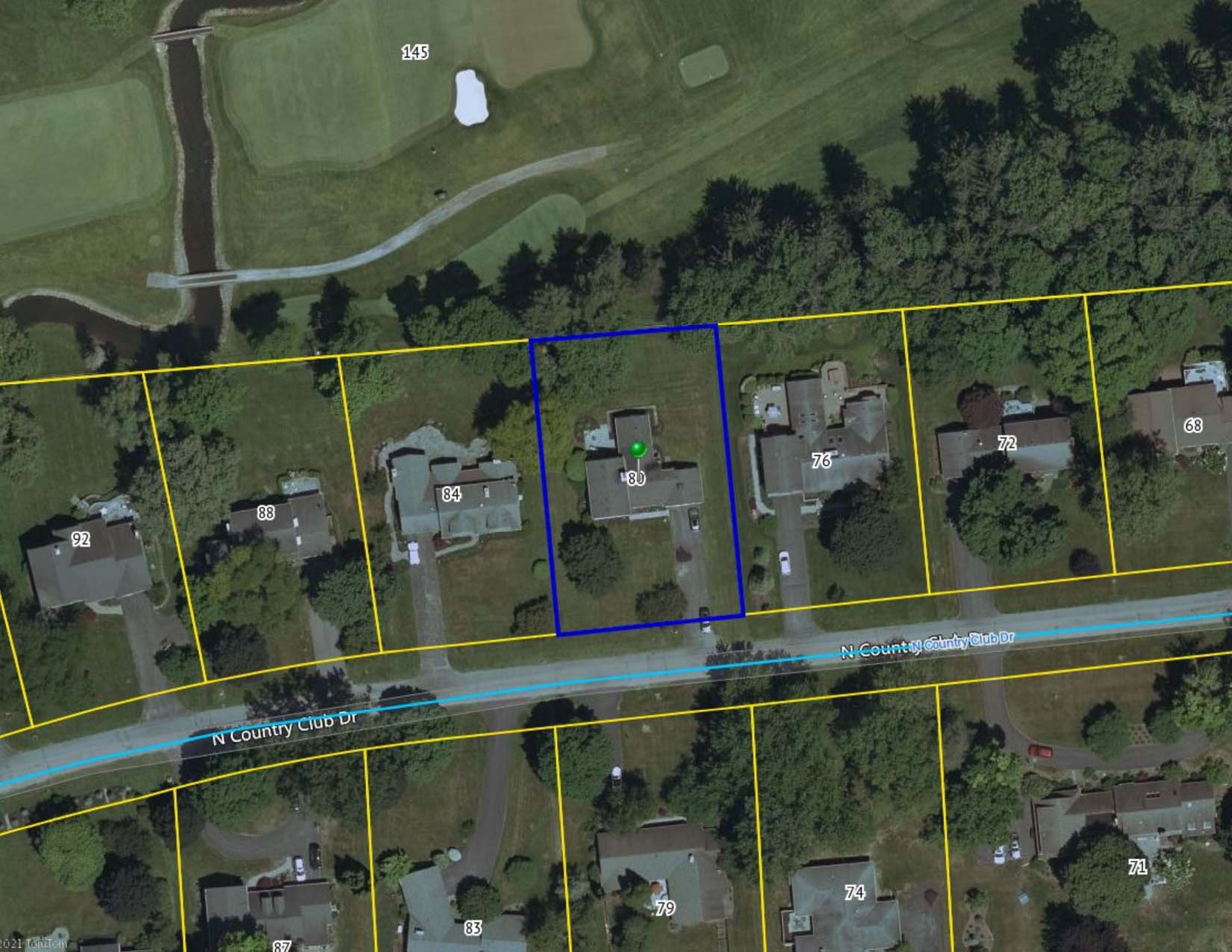
Printed October 5, 2021



Town of Pittsford GIS

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145

92

88

84

80

76

72

68

N Country Club Dr

N Country Club Dr

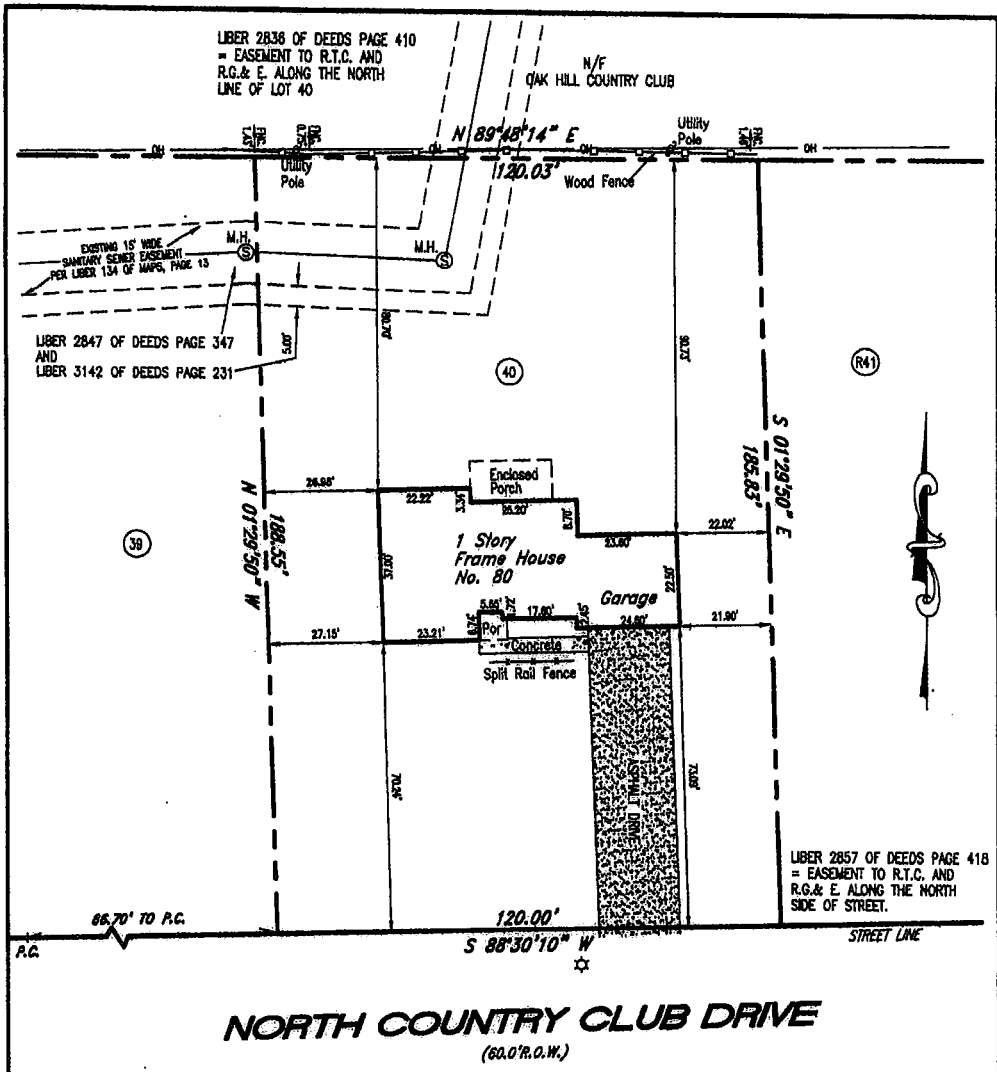
87

83

79

74

71



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I hereby certify to the parties listed hereunder that this map was made using the reference material listed hereon and the notes of an instrument survey performed in accordance with the current standards of the New York State Association of Professional Land Surveyors completed on April 28, 2005

Morgan Stanley Dean Witter Credit Corp., its successors and/or assigns  
Mary Catherine Merkle  
Daniel K. Clifford  
Lamb Law Offices  
Harris Beach, PLLC  
The Title Insurance Company Insuring The Mortgage

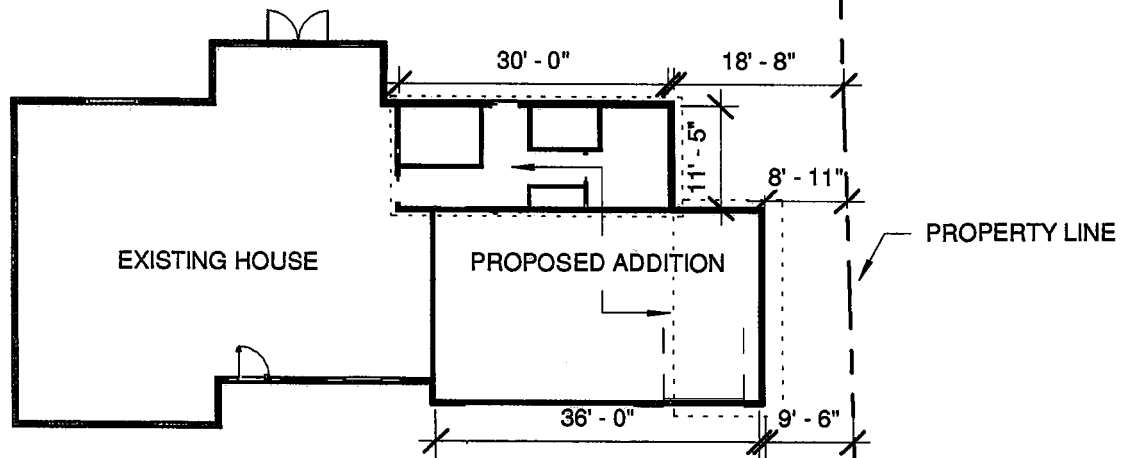
*[Signature]*  
Alfred J. LaRue, N.Y.S.P.L.S. # 048558

**Note:** Ties are not taken to foundation unless specified  
Field work to obtain ties was performed at a 1:10000 or better precision  
This is not a true valid copy without the land surveyors inked signature and embossed seal.

2005-14

<p><b>McMahon LaRue Associates, P.C. Engineers/Surveyors</b></p> <p>1800 Hudson Avenue Suite 2 Rochester, NY 14617 Phone: (585) 436-1080 Fax: (585) 436-1082</p>	<b>INSTRUMENT SURVEY</b>	
	Address 80 North Country Club Drive Town Pittsford	
	Lot No. 40	Subdivision Country Club Estates Section 3
	Reference Data Liber 134 of Maps Page 13 Liber 3054 of Deeds Page 329	
	Client Judith Sinclair Esq.	
	Abstract By Public Abstract Corp. #79676, dated 4/20/2005	
	By CW Date 5/03/05 Scale 1"= 30' No. 151.05-01-11	





1 SITE PLAN - NEW - GARAGE  
1" = 20'-0"



www.tiverbuilt.com

**CLIENT: CLIFFORD**  
80 North Country Club Dr.  
Rochester, NY 14618

MODELED BY:  
TIVERBUILT

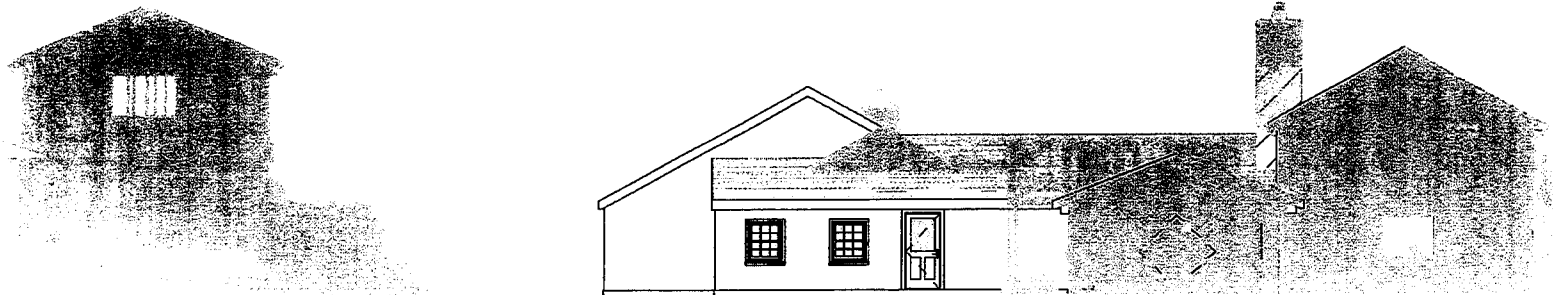
**NOT FOR CONSTRUCTION**

**A2**  
**SKETCH**





1 FRONT ELEVATION - Point Cloud  
1/16" = 1'-0"



2 BACK ELEVATION - Point Cloud  
1/16" = 1'-0"

*THE BLUE INDICATES POINT CLOUD DATA GENERATED BY A 360 LASER SCAN PERFORMED BY TIVERBUILT LLC.*



www.tiverbuilt.com

**CLIENT: CLIFFORD**

80 North Country Club Dr.  
Rochester, NY 14618

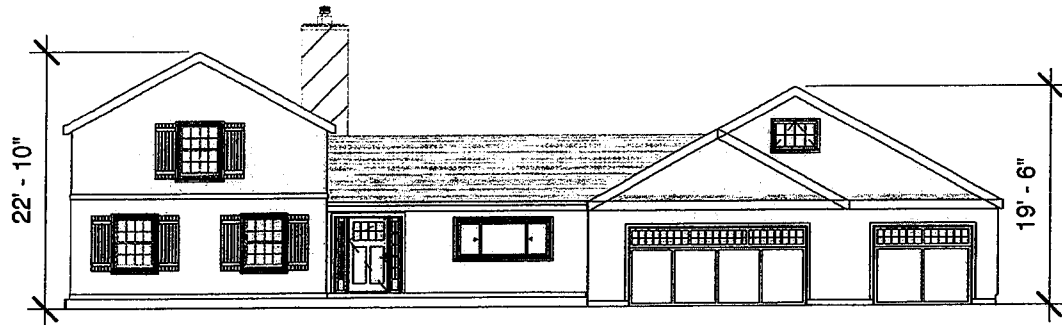
MODELED BY:  
TIVERBUILT

**NOT FOR CONSTRUCTION**

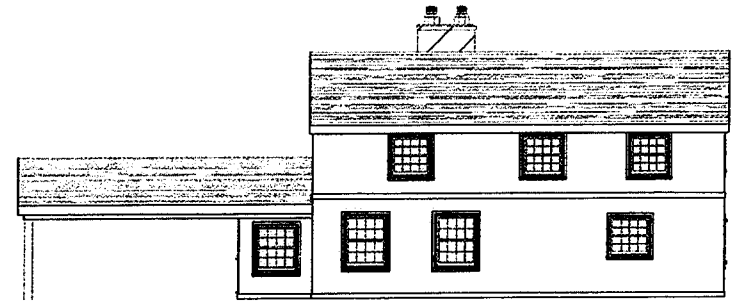
**A3**

**ELEVATIONS - POINT CLOUD**

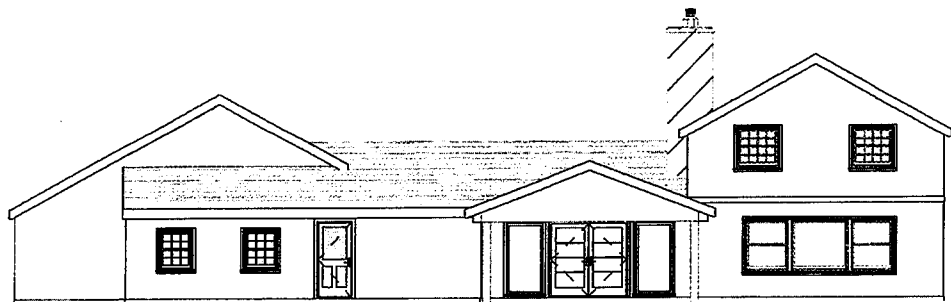




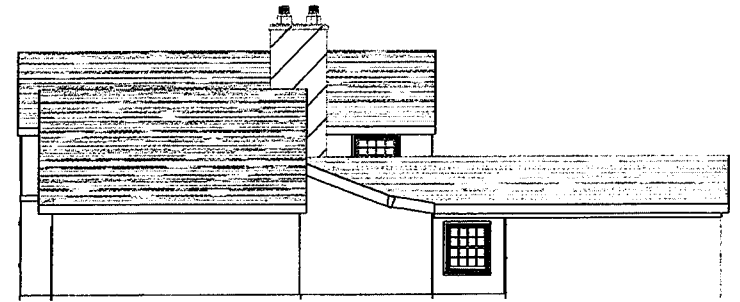
1 FRONT ELEVATION  
1/16" = 1'-0"



3 LEFT ELEVATION  
1/16" = 1'-0"



2 BACK ELEVATION  
1/16" = 1'-0"



4 RIGHT ELEVATION  
1/16" = 1'-0"



www.tiverbuilt.com

**CLIENT: CLIFFORD**

80 North Country Club Dr.  
Rochester, NY 14618

MODELED BY:  
Author

**NOT FOR CONSTRUCTION**

**A1**  
**ELEVATIONS**





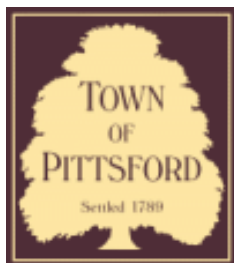












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000218**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 18 Butternut Drive PITTSFORD, NY 14534

**Tax ID Number:** 165.09-1-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Fleischer, George

**Applicant:** Fleischer, George

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for the construction of a covered entryway off the front of the house.

**Meeting Date:** October 28, 2021

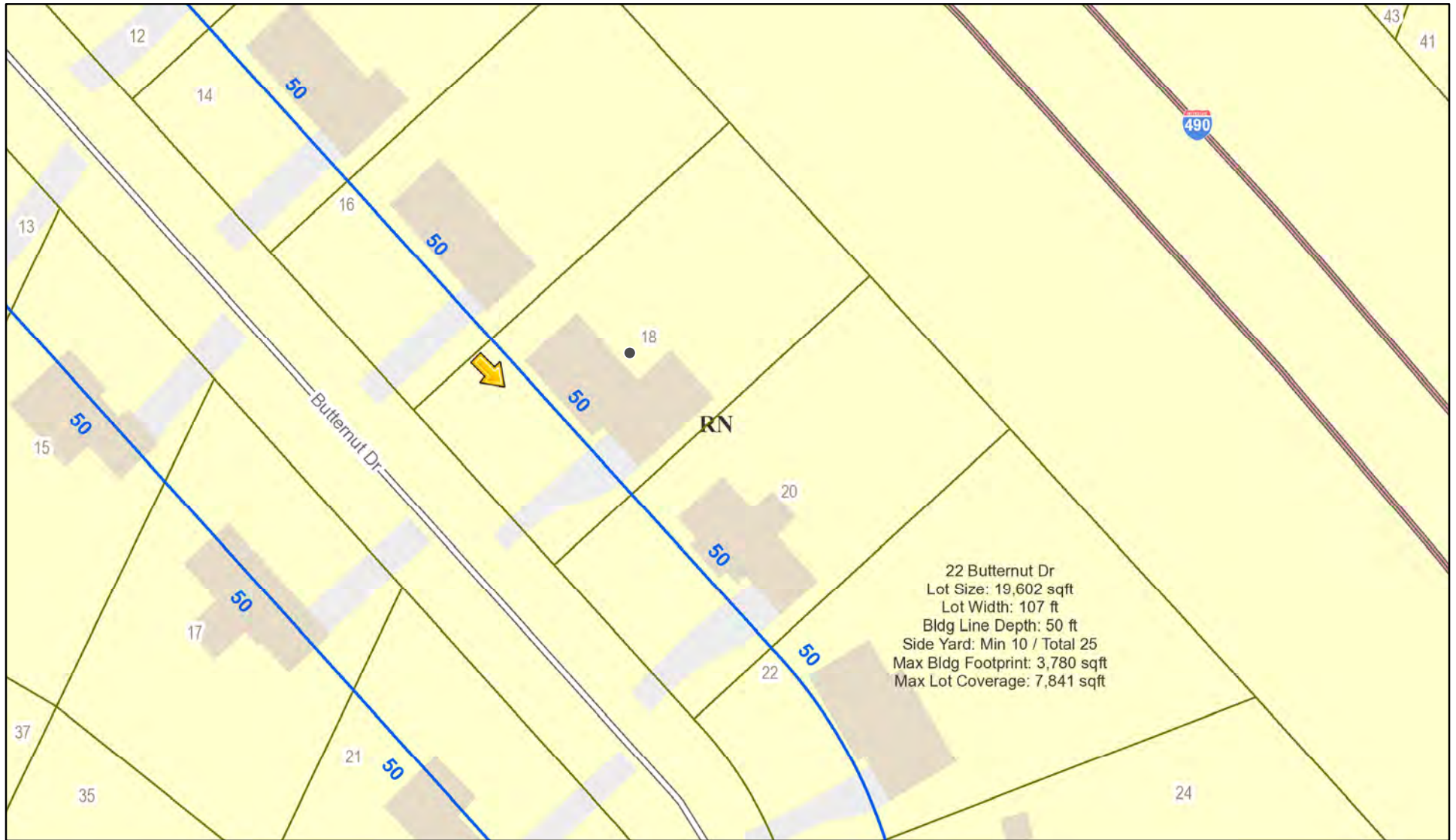


EXISTING

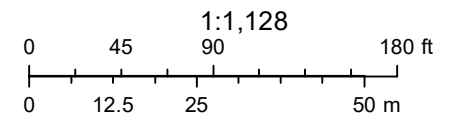




# RN Residential Neighborhood Zoning



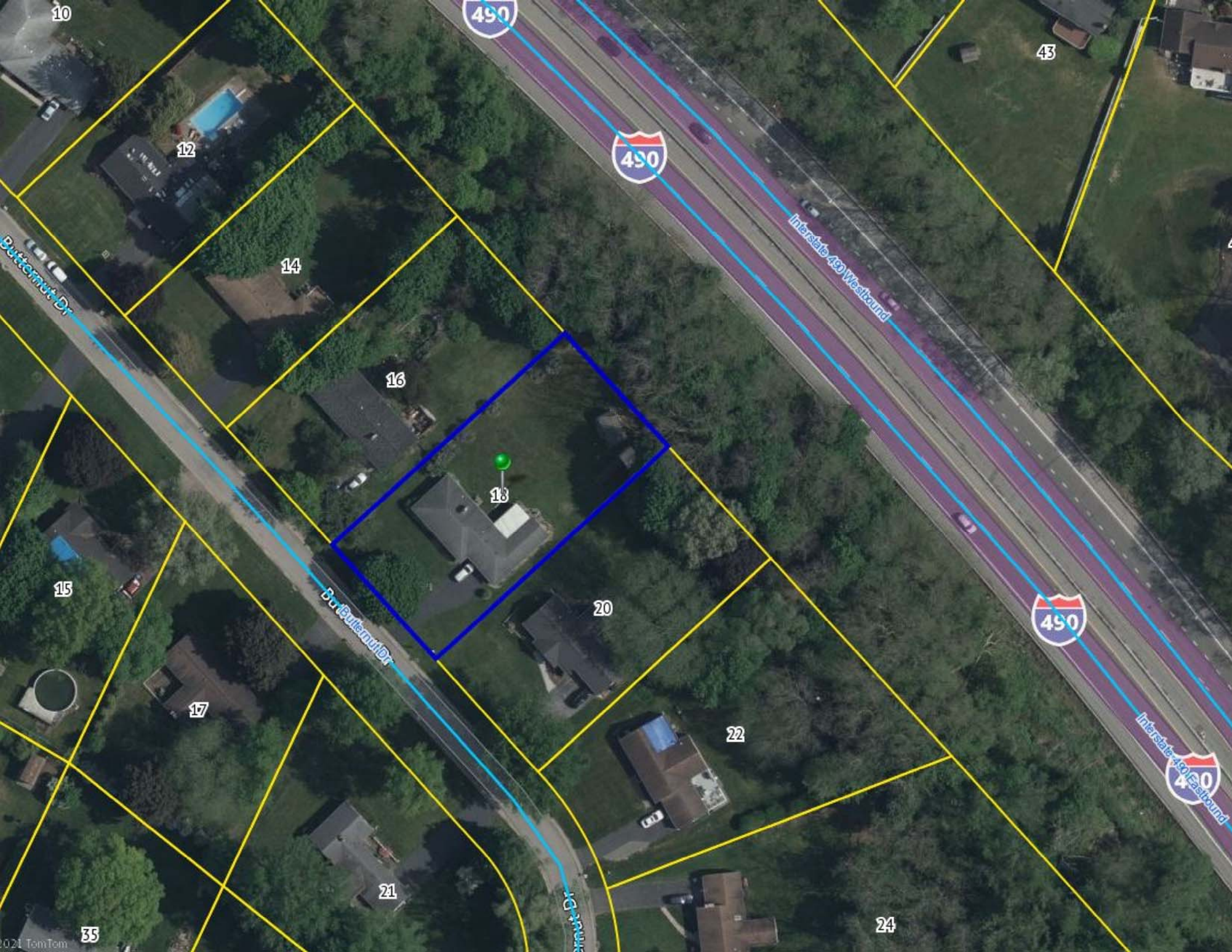
Printed October 6, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





490

490

43

12

14

16

18

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22

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490

10

15

17

21

24

33



EASTERN THRUWAY CONNECTION

INTERSTATE 490

**LEGEND:**

- = IRON PIN FOUND
- = EASEMENT LINE
- = SUBJECT PROPERTY LINE
- = ADJOINERS PROPERTY LINE
- || = CHAIN LINK FENCE
- = WOODEN PICKET FENCE
- ⊗ = UTILITY POLE



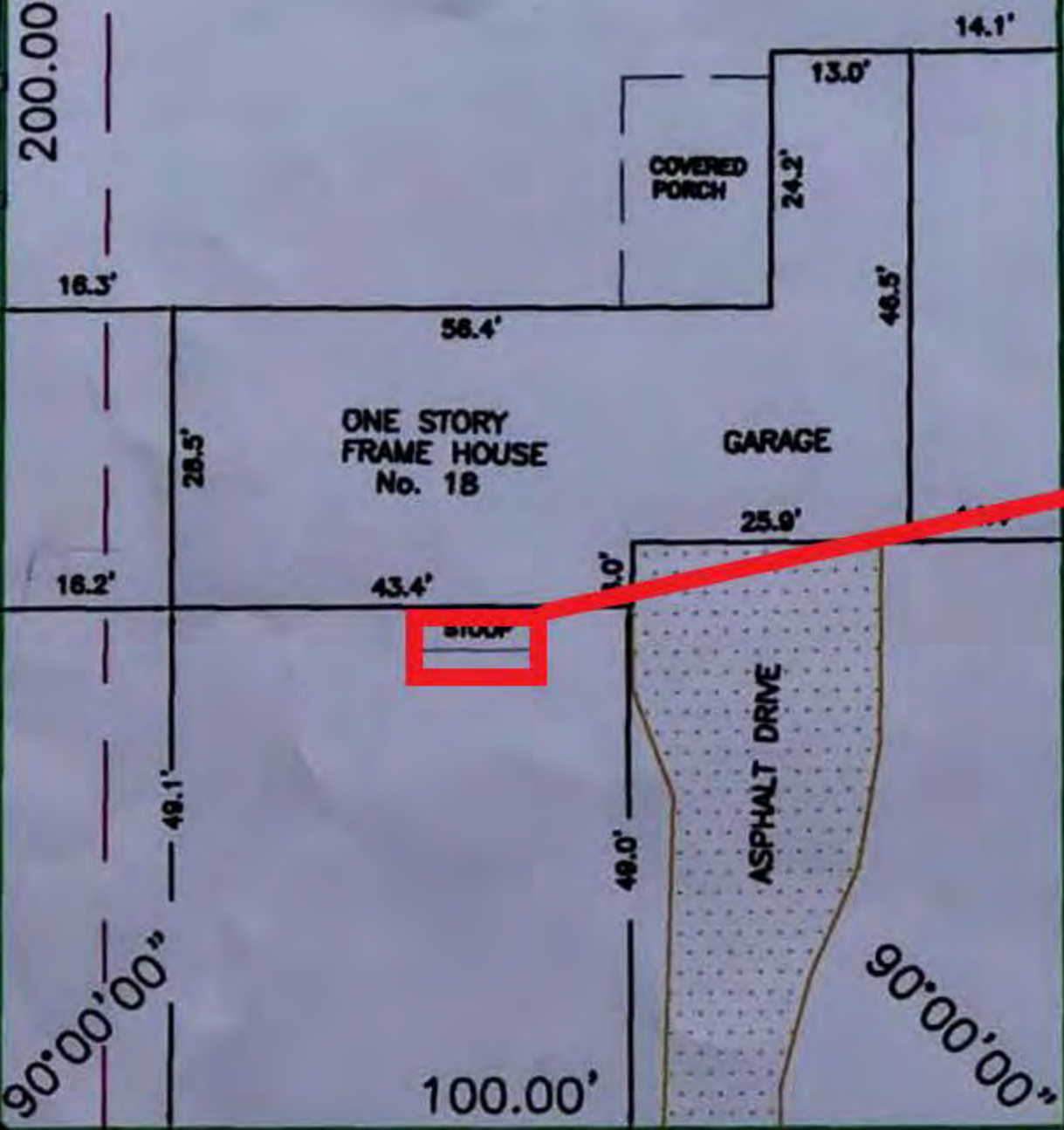
SEE REFERENCE No. 4



LOT 30

LOT 31

LOT 32



10'x12' Roofed Structure

**BUTTERNUT DRIVE**  
( 60.00' WIDE )

**REFERENCES:**

1. CROSSROADS ABSTRACT SEARCH NO. 406209 LAST DATED OCTOBER 9, 2013.
2. LIBER 3065 OF DEEDS, PAGE 478.
3. MAP OF THE DISTANT HILLS SUBDIVISION, LIBER 131 OF MAPS, PAGE 80.
4. SUBJECT TO A 20' WIDE EASEMENT TO THE TOWN OF PITTSFORD PER LIBER 3019 OF DEEDS, PAGE 347.
5. SUBJECT TO AN EASEMENT TO R.G. & E. PER LIBER 3014 OF DEEDS, PAGE 284.  
( GAS MAINS THROUGH, ALONG AND ACROSS THE STREETS )
6. SUBJECT TO AN EASEMENT TO R.G. & E. AND R.T.C. PER LIBER 3014 OF DEEDS, PAGE 282.  
( ALONG THE REAR BOUNDARIES ALSO THROUGH, ALONG AND ACROSS THE STREETS )

**MAP OF AN INSTRUMENT SURVEY OF**  
**No. 18 BUTTERNUT DRIVE**

BEING

**LOT No. 31 of the DISTANT HILLS SUBDIVISION**

SITUATE IN THE  
TOWN OF PITTSFORD

COUNTY OF MONROE  
SCALE 1 INCH = 30 FEET

GROVER & BATES ASSOCIATES

STATE OF NEW YORK  
DATE: NOVEMBER 26, 2013

R=187.29  
POINT OF CURVATURE



ACTUAL HEIGHT OF ROOF WILL BE SHORTER.  
METAL ROOFING WILL NOT BE USED, UNLESS  
CORRECT MATCH SHINGLES ARE NOT AVAILABLE.  
COLUMNS WILL BE ON FOOTINGS, NOT STOOP.





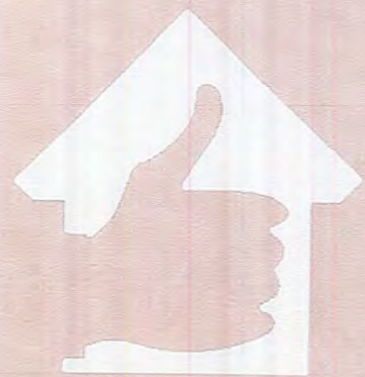
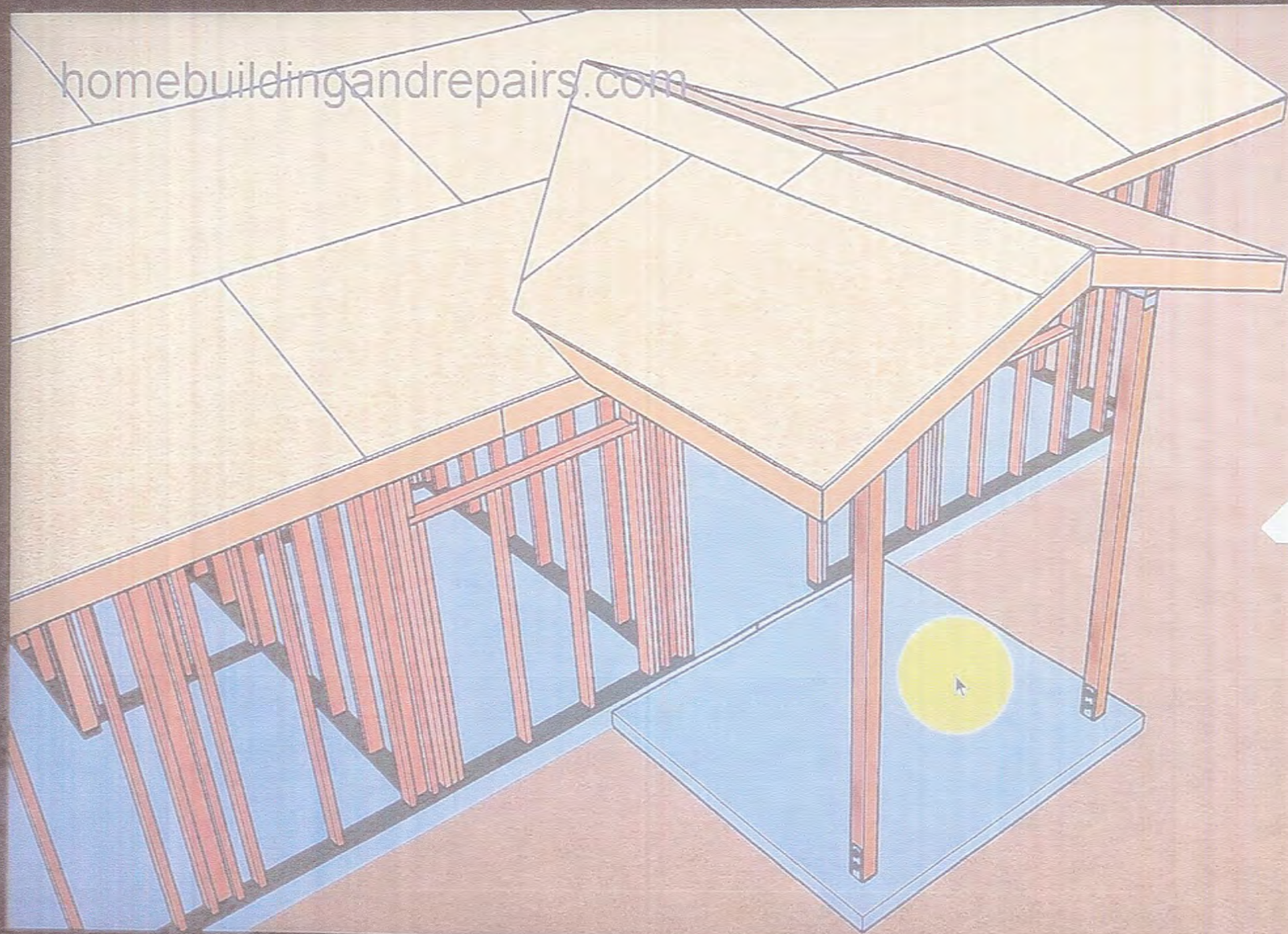
APPROX. PLAN

ACTUAL HEIGHT OF STRUCTURE  
WILL BLEND MORE TO EXISTING ROOF LINE



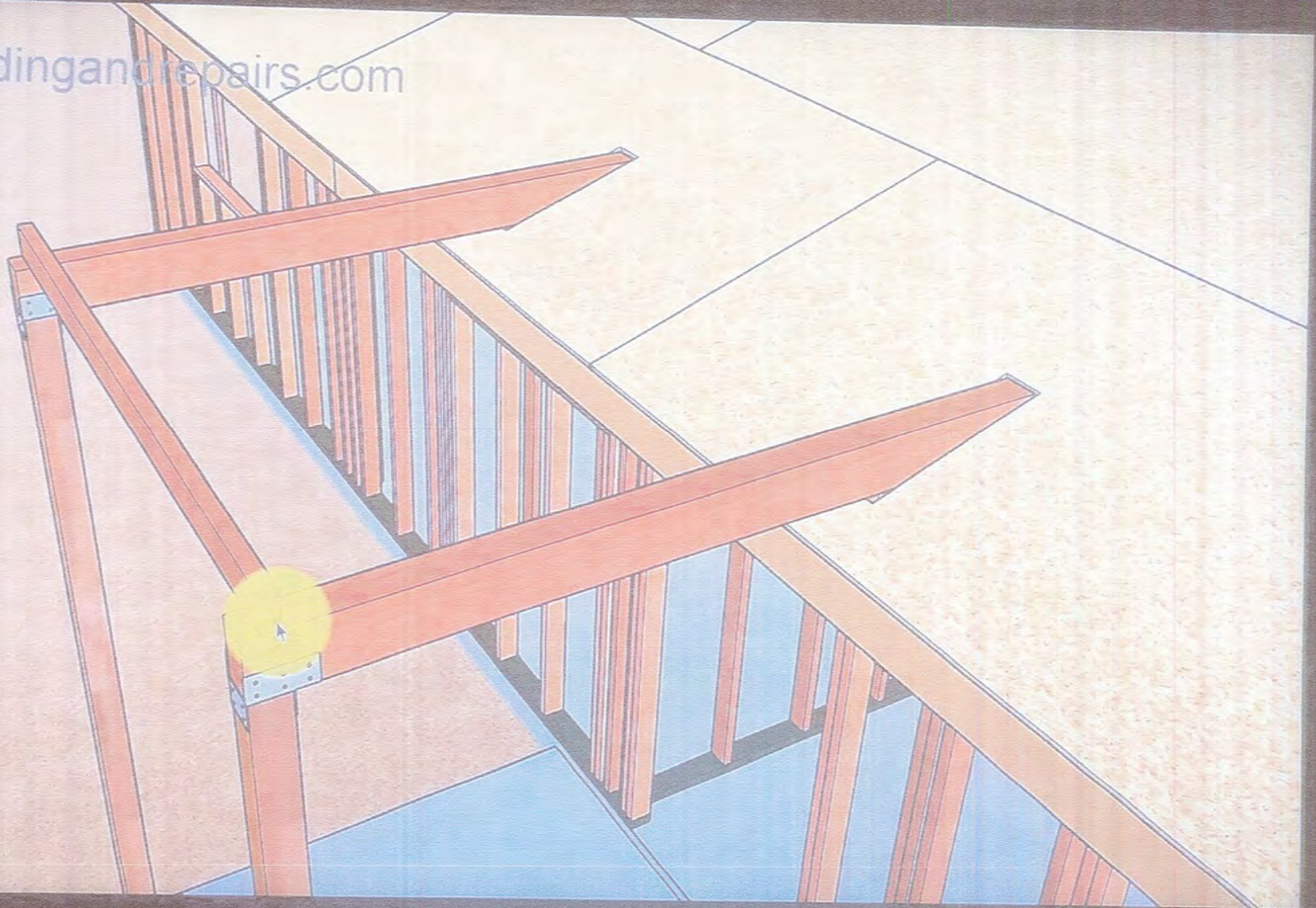


homebuildingandrepairs.com



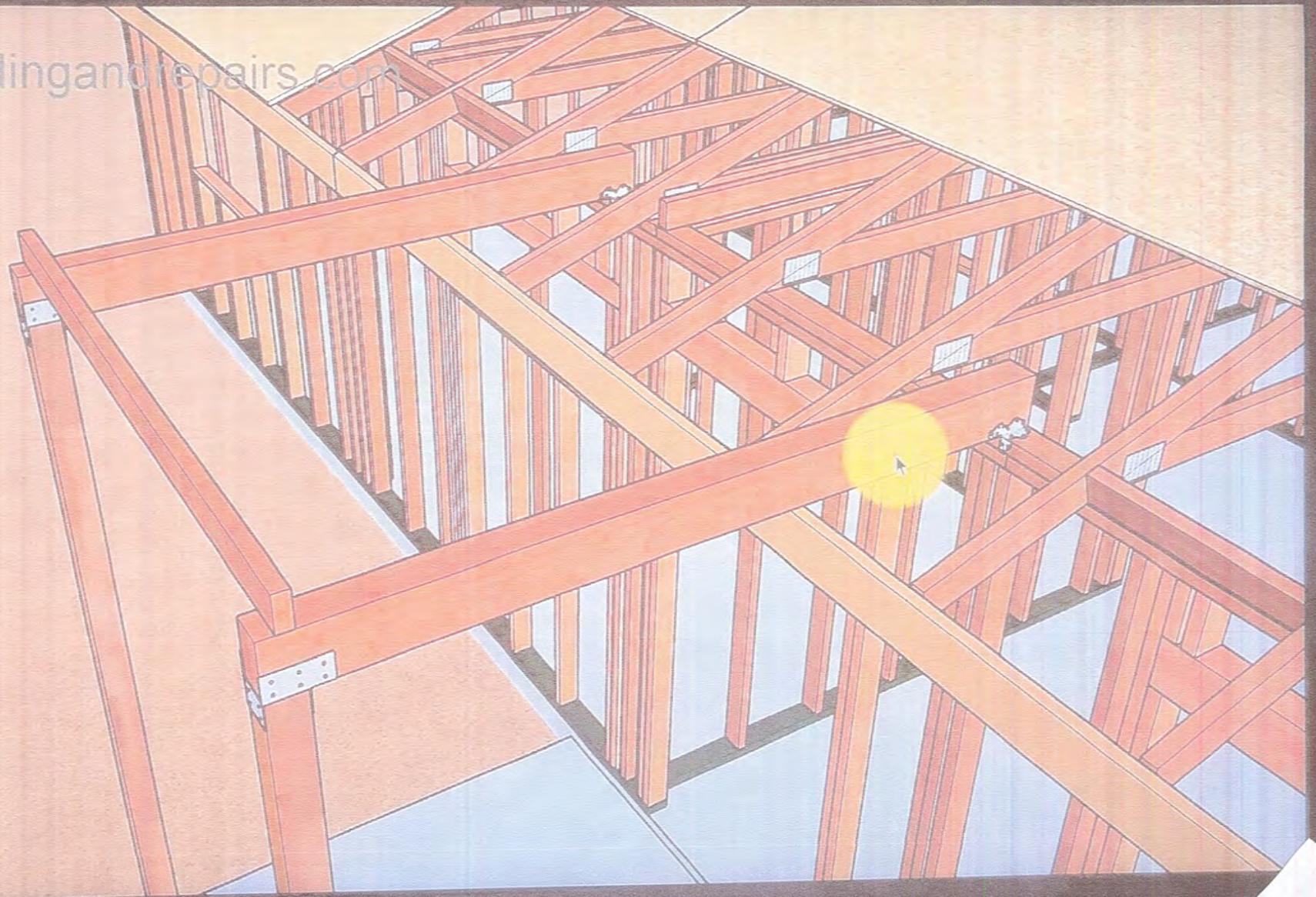


homebuildingandrepairs.com





homebuildingandrepairs.com



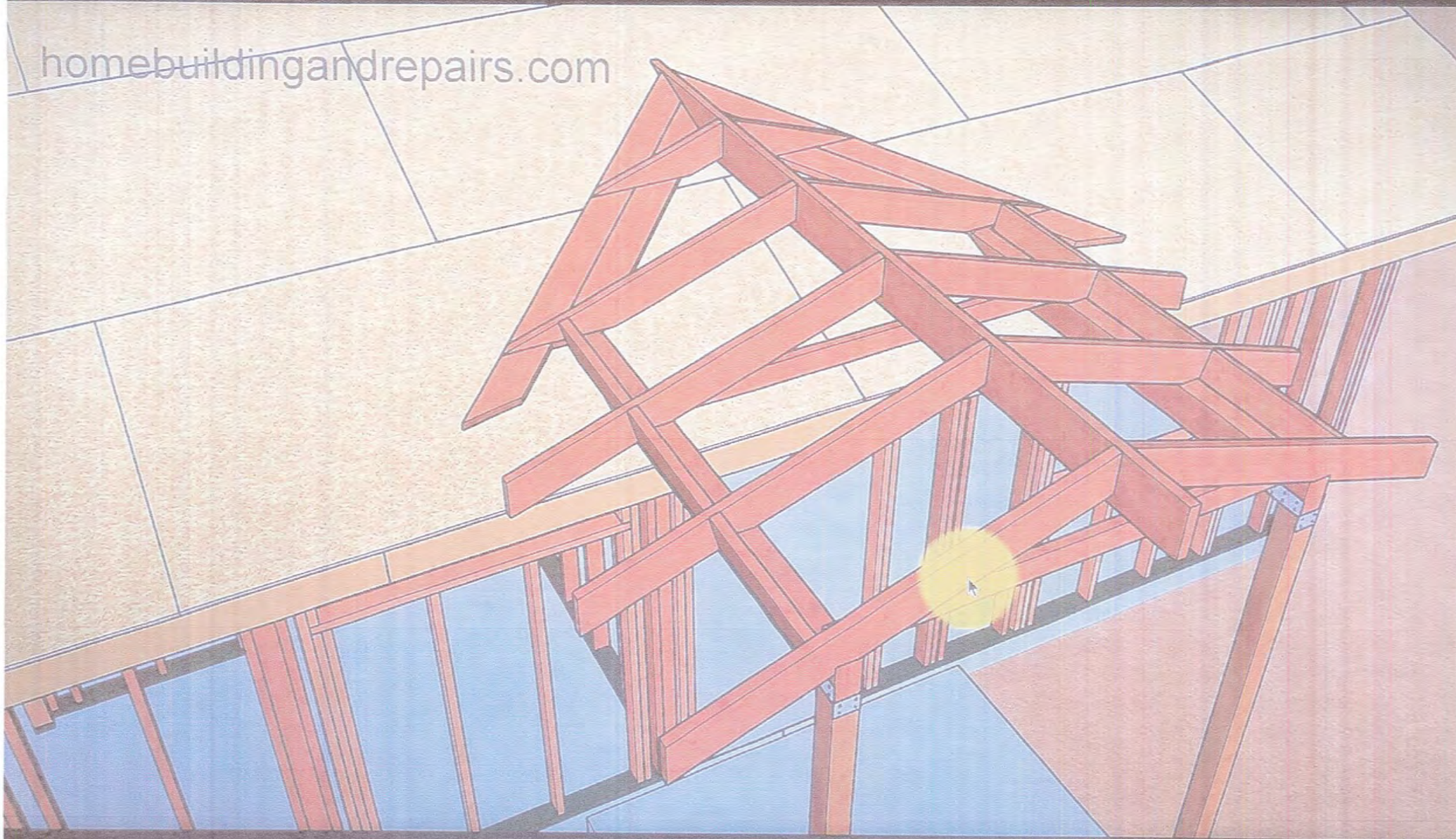


homebuildingandrepairs.com

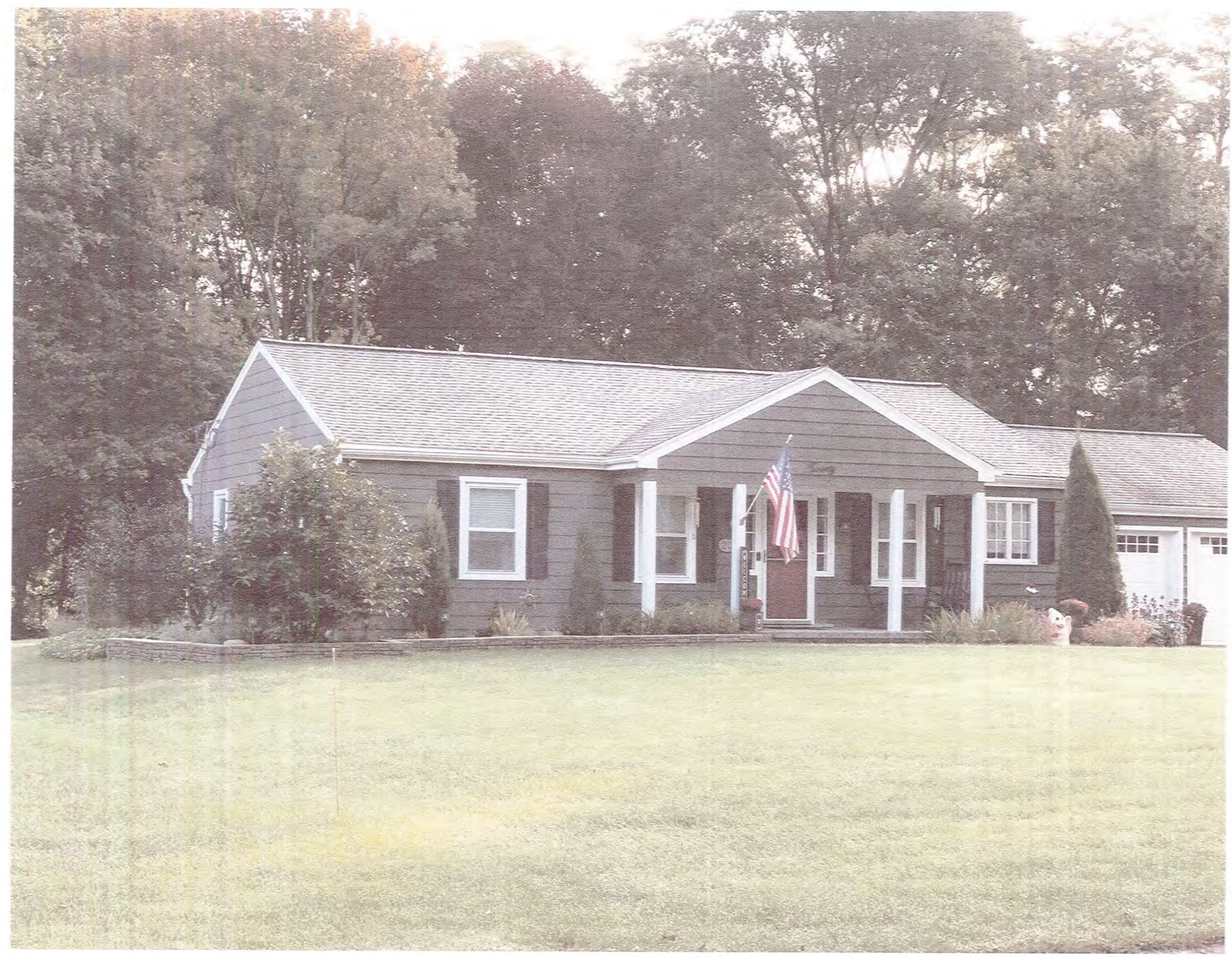




homebuildingandrepairs.com











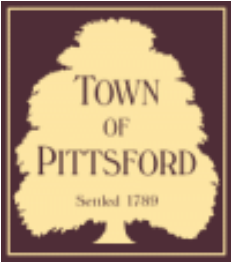












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000217**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 103 Knickerbocker Road PITTSFORD, NY 14534

**Tax ID Number:** 164.19-1-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Henderson, Blake A

**Applicant:** Henderson, Blake A

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of approximately an 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18 meeting.

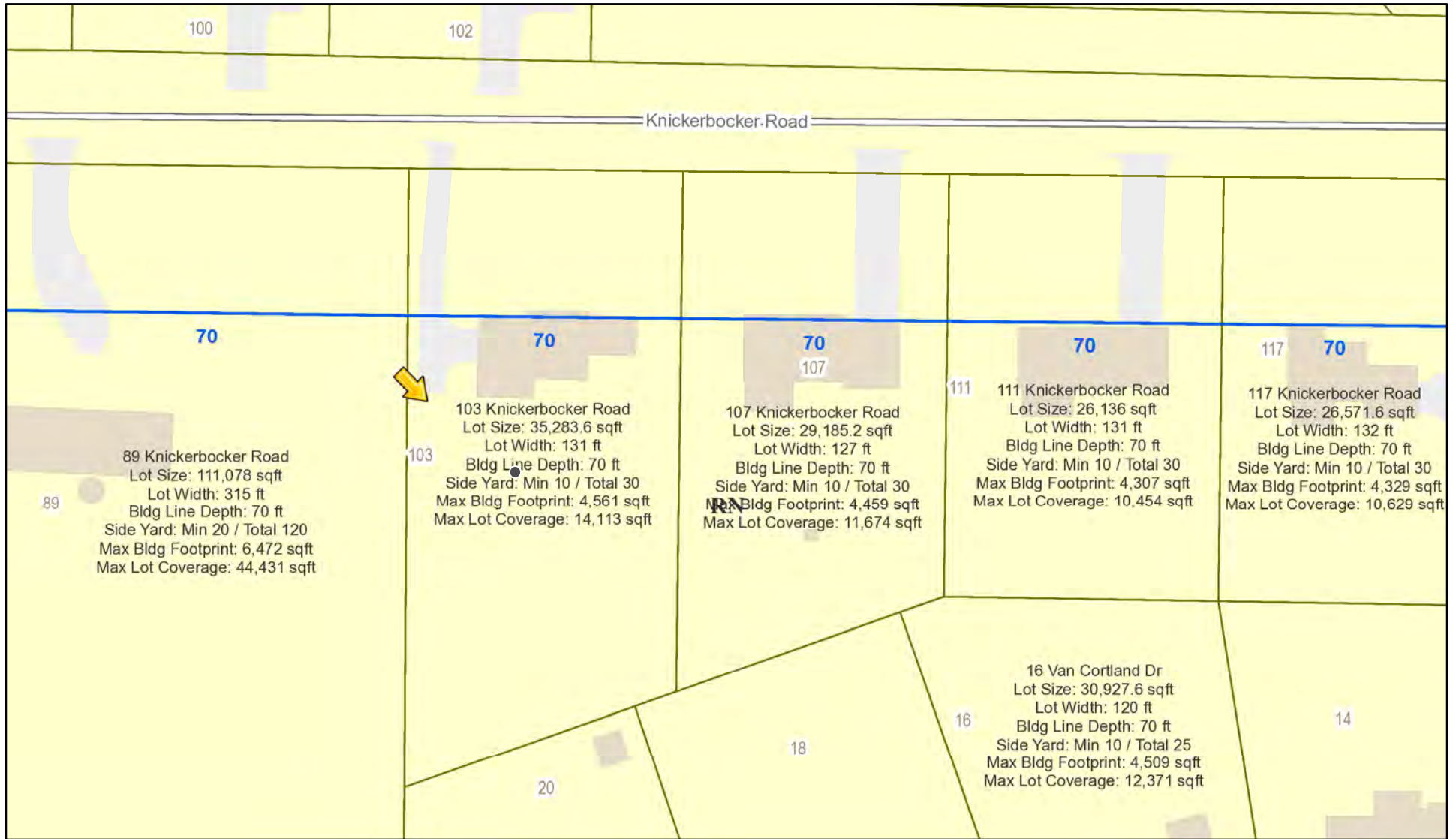
**Meeting Date:** October 28, 2021



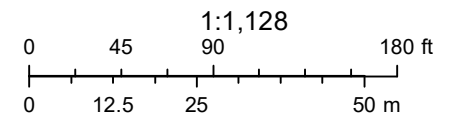




# RN Residential Neighborhood Zoning



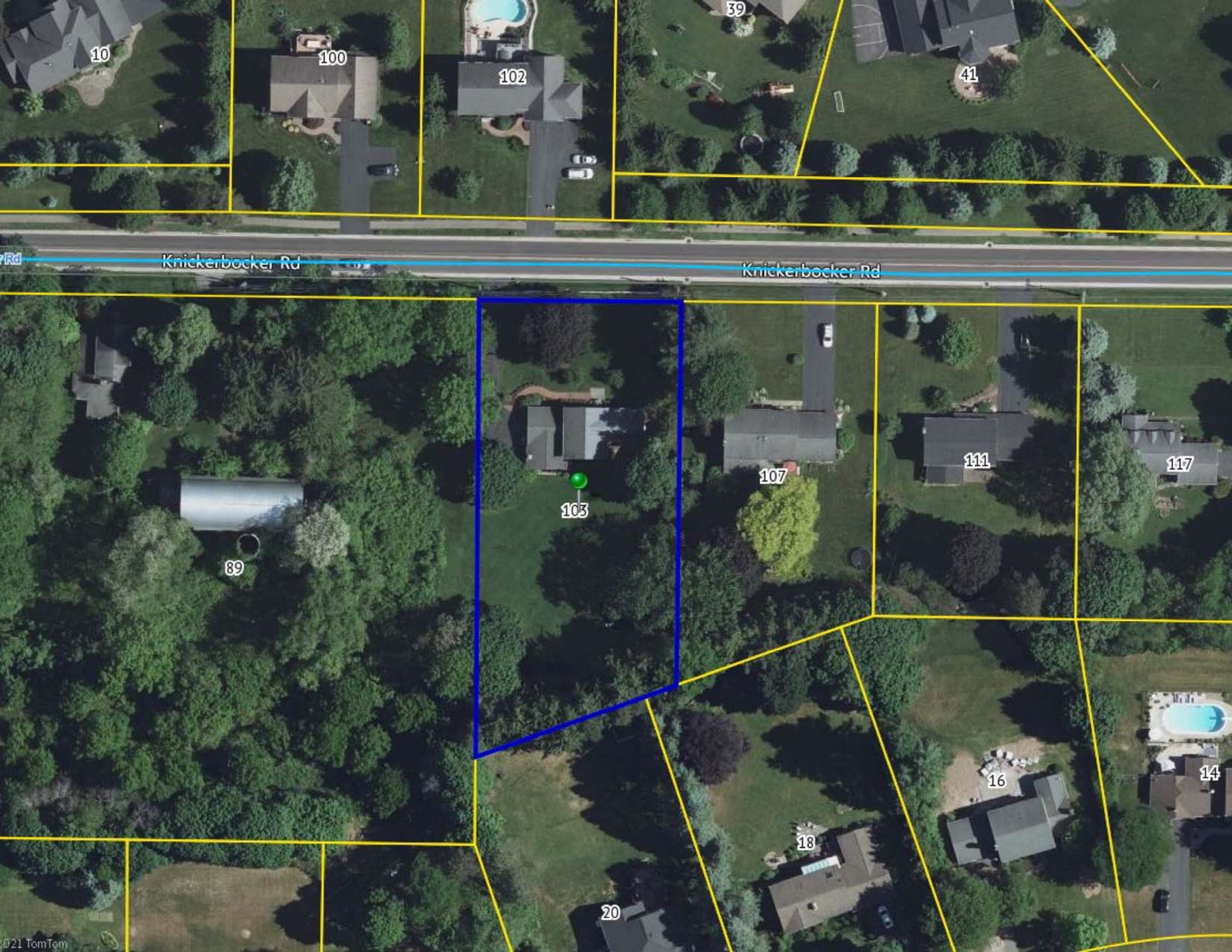
Printed October 6, 2021



Town of Pittsford GIS

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10

100

102

39

41

Knickerbocker Rd

Knickerbocker Rd

89

103

107

111

117

16

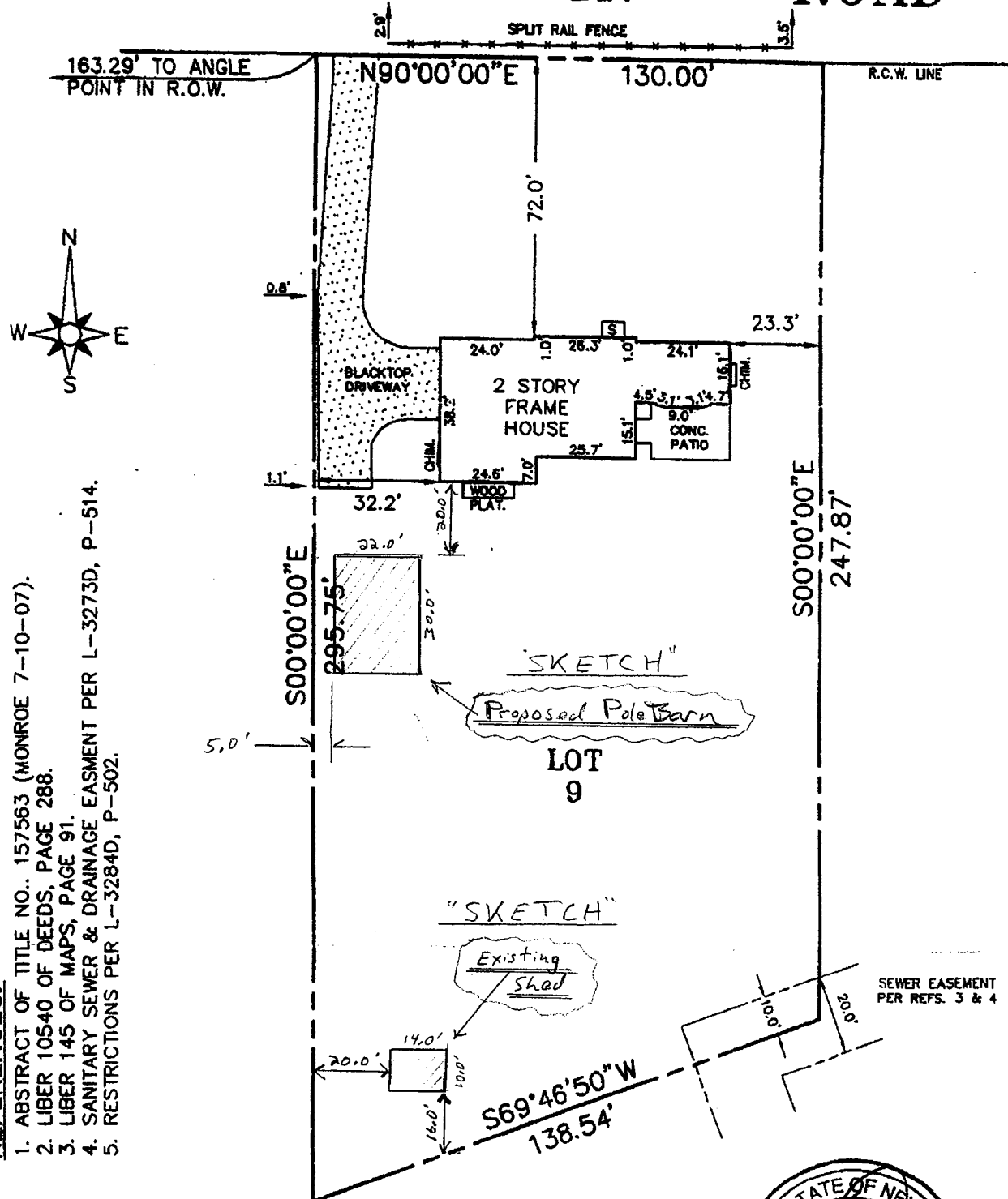
18

20

14



# KNICKERBOCKER (49.5' R.O.W.) ROAD



- REFERENCES:**
1. ABSTRACT OF TITLE NO. 157563 (MONROE 7-10-07).
  2. LIBER 10540 OF DEEDS, PAGE 288.
  3. LIBER 145 OF MAPS, PAGE 91.
  4. SANITARY SEWER & DRAINAGE EASEMENT PER L-3273D, P-514.
  5. RESTRICTIONS PER L-3284D, P-502.

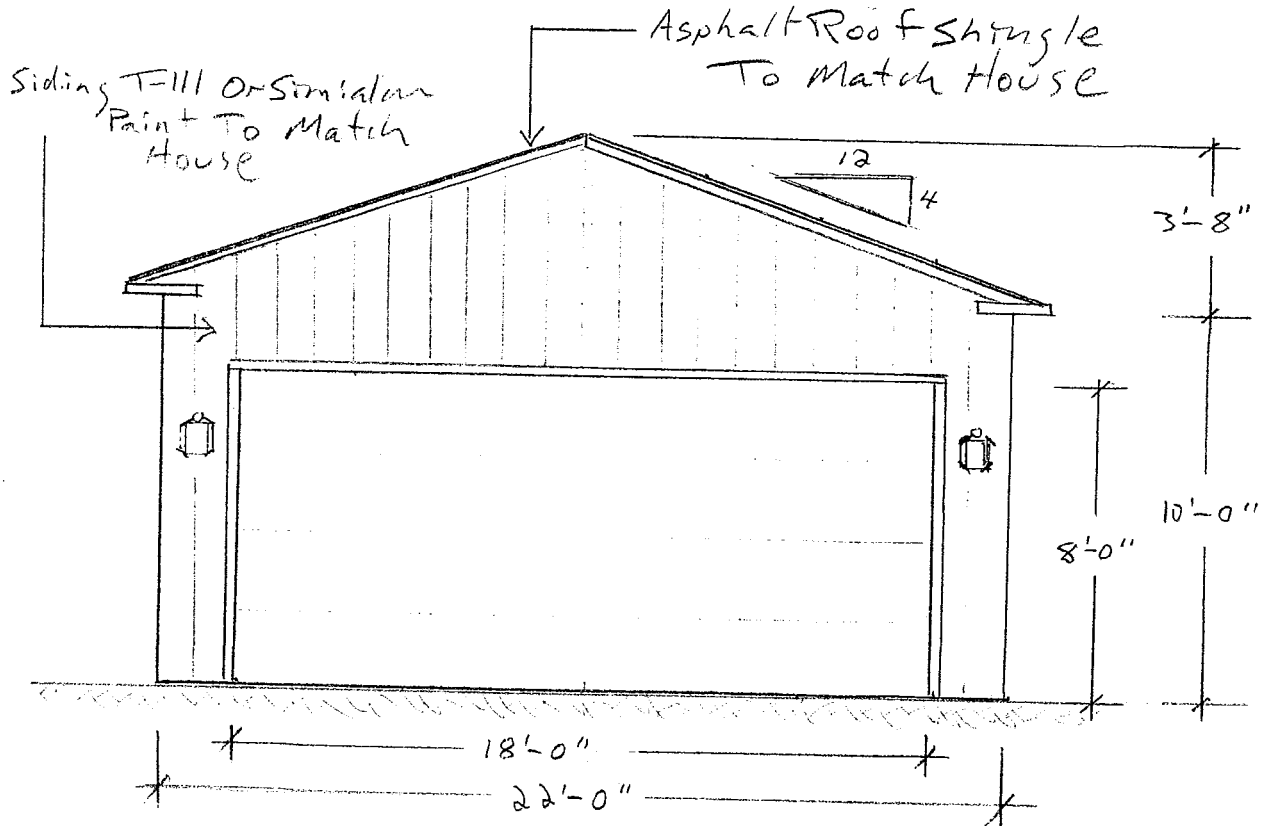
**CERTIFICATION:**  
 I hereby certify to:  
 BLAKE A. HENDERSON;  
 LAUREN A. HENDERSON;





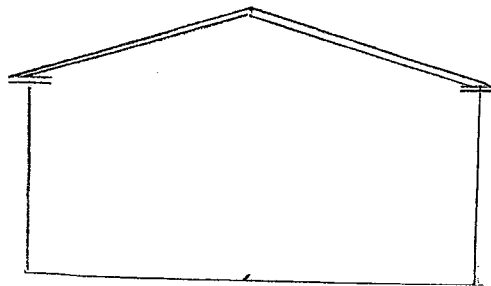
Blake Henderson  
585-749-2058  
bah997@yahoo.com

22 x 30 Pole Barn  
103 Knickerbocker Rd.  
Pittsford, NY 14534



FRONT ELEVATION

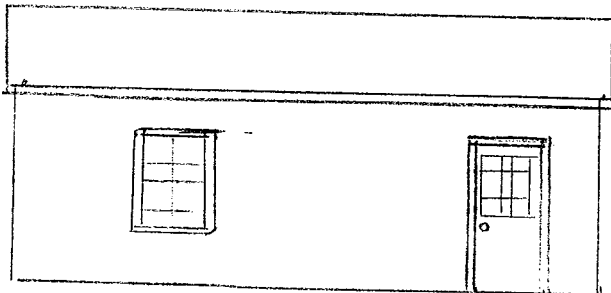
Scale: 1" = 5'



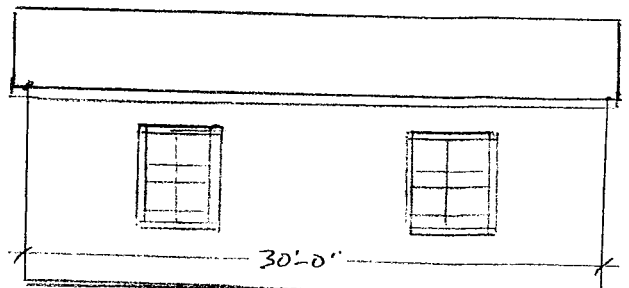
REAR

ELEVATION

Scale: 1" = 10'



LEFT ELE.



RIGHT ELE.





Property line to neighboring structure = 112'

Proposed pole barn garage to neighboring structure = 117'



Existing side load garage image

New structure will be very simialar

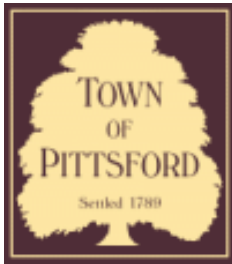












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000216**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 8 Chatham Woods PITTSFORD, NY 14534

**Tax ID Number:** 163.16-3-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Glazer, Holly C

**Applicant:** Glazer, Holly C

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of approximately a 938 SF addition off the back of the house to include a sunroom and mudroom.

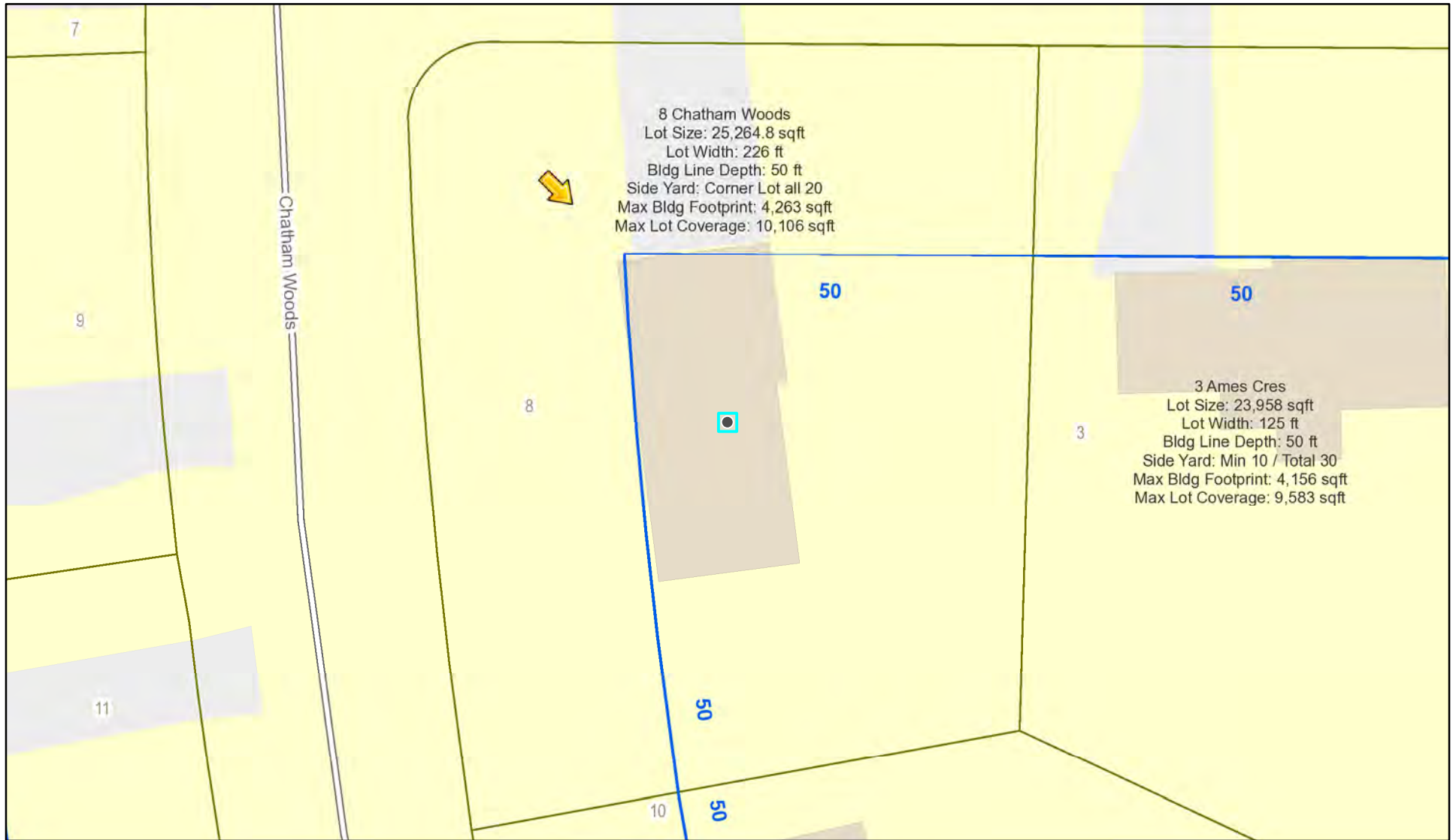
**Meeting Date:** October 28, 2021



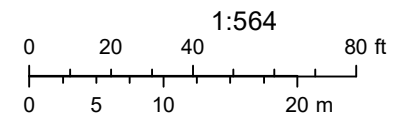




# RN Residential Neighborhood Zoning



Printed October 21, 2021



Town of Pittsford GIS

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**PROJECT DESCRIPTION:**  
 THIS PROJECT CONSISTS OF TWO REAR ADDITIONS TO AN EXISTING SINGLE FAMILY RESIDENCE. THESE ONE-STORY ADDITIONS WILL HOUSE EXPANDED MUDROOM, RELOCATED BATHROOM AND NEW SUN ROOM. A NEW WOODEN DECK WILL PROVIDED OUTDOOR DINING SPACE AND HOT TUB ACCESS.

**SHEET INDEX**  
 A0.0 GENERAL INFORMATION  
 A1.0 EXISTING CONDITIONS  
 A2.0 NEW PLAN  
 A2.1 BASEMENT & ROOF PLAN  
 A3.0 NEW ELEVATIONS  
 A3.1 NEW ELEVATION & SCHEDULES  
 A4.0 SECTIONS & WALL DETAILS  
 A4.1 DETAIL  
 E1.0 ELECTRICAL PLANS

**GENERAL NOTES:**

- Code references included in this document refer to the 2020 Residential Code of New York State.
- Existing spaces, rooms, exits and building systems that were not altered as part of this project were not reviewed.
- All electrical work shall comply with Appendix J of the 2020 Residential Code of New York State. Provide building department with final electrical inspection approval.
- All plumbing shall be installed by a licensed plumber or the homeowner. Work shall comply with Appendix J of the 2020 Residential Code of New York State.
- Addition is to be heated with electric under-floor heat mat. If that changes, Owner to provide a statement from the heating contractor indicating that the existing furnace has the capacity to heat the addition.

**STRUCTURAL NOTES:**

**I. GENERAL NOTES**

- The building code used is the NYS/ICC, latest edition.
- The Contractor shall verify all dimensions and conditions in the field prior to commencing work. The Engineer shall be notified of any discrepancies which may exist.
- The Contractor shall investigate the presence of any hazard (i.e. lead paint, mold, environmental, insect, animal, etc.) prior to commencing any work. Any hazards shall be reported to the Owner and the Engineer immediately.
- All footings are to be placed on suitable, undisturbed, native soil. The soil bearing pressure should be confirmed/verified at the footings by an accepted testing method. The soil bearing pressure should be verified by a geotechnical engineer and be reported to the structural engineer of record.
- Contractor shall coordinate the structural drawing with the architectural, mechanical, electrical and plumbing drawings prior to fabrication and installation of any structural components. Any discrepancies shall be reported to the structural engineer immediately.

**PROJECT INFORMATION**  
 OWNER(S): Glazer  
 MAILING ADDRESS: 8 Chatham Woods, Pittsford, NY14543  
 TOWN: Pittsford  
 COUNTY: Monroe  
 TAX ID: 163.16-3-5

**ENERGY CONSERVATION CODE REQUIREMENTS:**  
 Climate Zone: 5  
 Fenestration U-Factor: 0.34  
 Ceiling Insulation: R-49  
 Wood Framed Wall Insulation: R-20, or R-13 + R5  
 Floor Insulation: R-30  
 Concrete Slab Insulation: R-10, depth 2'

- Flashing is required in the following locations: at wall and roof intersections and projecting wood trim, top of all exterior windows and door openings; chimneys; under and at ends of masonry, wood or metal copings and sills; and where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction. Flashings shall be provided as required to comply with all of Section R703.4 of the 2020 Residential Code of New York State.
- Where roof slope is from 2 in 12 to 4 in 12, TWO layers of underlayment shall be applied in accordance with Section R905.1.1 of the 2020 Residential Code.
- Where existing windows and/or doors are removed, the infill construction shall be fully insulated with insulation having a minimum R value of R-3 per inch.
- To provide compliance with the 2020 Code, the installed insulation values shall meet or exceed the values shown in the REScheck provided for this project.
- The addition envelope air tightness and insulation installation shall be demonstrated to comply with Section R502 of the 2020 Energy Conservation Code.
- Duct insulation and duct tightness (if applicable) shall be demonstrated to comply with Section R403.3 of the 2020 Energy Conservation Code.
- All equipment and appliances shall be installed in accordance with the manufacturer's installation instructions and the requirements of the 2020 Residential Code of NYS.

**II. FOUNDATION WORK**  
**A. GENERAL**  
 1. Soil pressure to be field verified. Contact Geotechnical Engineer prior to commencing work to confirm/verify the soil bearing at the footings using an accepted testing method.

**B. DESIGN CAPACITIES**  
 1. Assumed net allowable soil bearing pressure is 1500 psf per NYS Code maximum allowable. This pressure shall be field verified by a NYS licensed geotechnical engineer.

**C. FILL AND BACKFILL**  
 1. Compact each fill layer not less than 95% of maximum density of Modified Proctor per ASTM D 1557.

**CONSULTANTS**  
**ARCHITECT:**  
 Christopher Costanza, A.I.A., LEED AP  
 Amanda Everson Costanza, A.I.A., LEED AP  
 9x30 Design, Architecture, PLLC.  
 (585) 242-0501 office  
 (585) 719-7878 (Chris cell)  
 chris@9x30.com  
 amanda@9x30.com

**AREA CALCS:**  
 24,884 SF SITE  
**MAX LFA ALLOWED:**  
 2,316 + (64X13) = 3,148 S.F.  
**LIVABLE FLOOR AREA:**  
 (E) LFA: 2,574  
 (N) LFA: 3,051  
**BUILDING COVERAGE:**  
 3,051 SF HOUSE  
 728 SF GARAGE  
 5,692 SF LOT  
 3,592 SF BLDG. COVERAGE

- All work shall comply with local Codes, New York State Codes, Amendments, Rules, Regulations, Ordinances, Laws, Orders, Approvals, etc. that are required by Governing Authorities. In the event of conflict, the most stringent requirements shall apply.
- Contractor shall examine and verify conditions of the job site. Any discrepancy between drawings and existing conditions should be recorded in writing and reported to the Architect for resolution prior to commencement of work.
- All dimensions are face of finish dimensions unless otherwise noted. Notify Architect of any discrepancies or conflict between architectural drawings and schedules prior to subsequent work. Additionally, notify Architect of any discrepancies or conflict between architectural drawings and consultant drawings, specifications or schedules prior to subsequent work.
- Any changes to framing and engineered connections shall be approved by the Architect prior to subsequent work.
- The coordination and documentation of any Special Inspections required by governing authorities is the responsibility of the Contractor. The Contractor must request special inspections by qualified professionals at the appropriate time during the construction process, and document their execution. The Architect will NOT write any Letters of Special Inspection Compliance at the conclusion of the job, without this prior written documentation. In the event that required Special Inspection areas of the Work are "covered" without such documented inspection, the contractor shall provide all labor and materials required to access, inspect and repair such work at his or her own expense.

**III. CONCRETE**  
**A. MATERIAL PROPERTIES**  
 1. All cast-in-place concrete and grout--minimum strength in 28 days to be 4000 psi.  
 2. Bar reinforcing ASTM A615, Grade 60, Welded wire fabric ASTM A185

**B. INSTALLATION**  
 1. Unless otherwise shown, all reinforcing shall be detailed in accordance with ACI 318.  
 2. Unless otherwise noted, reinforcing shall have the following minimum concrete covers: 3" cover where unformed and against earth, 2" where formed and against earth, and 1" where formed and not against earth. See ACI Code.  
 1. Unless otherwise shown, reinforcing splices shall be minimum 48 bar diameters.  
 2. Provide 3/4" chamfer at all exposed concrete corners and edges.  
 3. Engineer to inspect and approve installed example of typical wall reinforcement types before concrete placement.  
 4. Provide corner bars at all intersections and corners, e.g.: band beams, footings, etc.

**ZONING CODE**  
 ZONING: RN  
 FRONT SETBACK: NO MORE THAN 10% COVERAGE OF FRONT YARD BUILDING LINE.  
 SIDE SETBACK: 15% LOT WIDTH  
 REAR SETBACK: 40'  
 HEIGHT LIMIT: 30'  
 BLDG. COVERAGE: 3,800 +9% OF AREA OVER 20,000 (4,240 SF)

**ABBREVIATIONS:**

(N) = NEW	EA. = EACH
(E) = EXISTING	T.O.B. = TOP OF BEAM
(R) = REPLACE EXISTING	REQ'D = REQUIRED
PL = PROPERTY LINE	MANUF = MANUFACTURER
TYP. = TYPICAL	CONN. = CONNECTOR
S.S.D. = SEE STRUCTURAL DRAWINGS	DIA = DIAMETER
V.I.F. = VERIFY IN FIELD	FTG = FOOTING
V.W.O. = VERIFY WITH OWNER	MIN = MINIMUM
T.B.D = TO BE DETERMINED	MAX = MAXIMUM
CMU = CONCRETE MASONRY UNIT	PL = PLATE
SH = SILL HEIGHT	THK = THICK
HH = HEAD HEIGHT	VERT = VERTICAL
CH = CEILING HEIGHT	G.W.B. = GYPSUM WALL BOARD
WH = WALL HEIGHT	F.O.S. = FACE OF STUD
EXT. = EXTERIOR	F.O.F. = FACE OF FINISH
TBD = TO BE DETERMINED	RS = ROUGH SAWN
H.F. = HEM FIR	RWL = RAIN WATER LEADER
ICF = INSULATED CONCRETE FORMS	PTGR = PAINT GRADE
U.O.N. = UNLESS OTHERWISE NOTED	O.C. = ON CENTER
STL = STEEL	F.F. = FINISHED FLOOR
COL = COLUMN	A.F.F. = ABOVE FINISHED FLOOR
CONC. = CONCRETE	FG = FINISHED GRADE
W/ = WITH	HT = HEAVY TIMBER
W/O = WITHOUT	CANT. = CANTILEVERED
W/I = WITHIN	STD = STANDARD

- All Change Orders shall be written and shall be approved by Architect and Owner prior to execution of work.
- All building materials are to be stored appropriately and protected from damage.
- Owner is responsible for the accuracy of information provided to the Architect by any previous architect(s), engineers, surveyors, designers or other consultants.
- Contractor must schedule a walkthrough with Architect after rough electrical and rough plumbing but prior to insulating. Additionally, Contractor must schedule a walkthrough with Architect at substantial completion.
- Contractor shall provide and maintain a job phone on site for the duration of the construction process. Contractor must maintain a copy of the latest version of the plans, specifications, schedules, details and revisions at the job site at all times.
- Material choices, fixtures, adhesives, and finishes not specified on drawings, specifications, or schedules shall be pre-approved by Owner and/or Architect prior to purchase and installation.
- Contractor to maintain quality and cleanliness of vegetation and grounds throughout construction. Contractor to clean up job site at the end of every working day, isolate construction area from other interior living space, and minimize dust as best as possible.

**IV. WOOD**  
 1. Minimum fiber stress in bending (Fb) for all wood to be 850 psi (single member uses). Compression Parallel to Grain (Fc) to be 1300 psi unless otherwise noted, E=1300000 psi, Minimum shear stress (Fv) = 150 psi unless otherwise noted, LVL Specifications Fb = 2600 psi, E = 1,900,000 psi; LSL Specifications Fb = 2325 psi, E=1.55 x 10 psi.  
 2. Continuously glue and connect all headers with 2 rows of 16d common nails at 12" O.C. max., U.O.N.  
 3. See Roof Framing Plan for all interior and exterior header types.  
 4. Provide solid blocking under all header supports down to masonry wall or steel beam.  
 5. Triple studs under each end of headers, unless otherwise noted.  
 6. Wood in contact with masonry, concrete, or earth or within 1'-0" of grade & exposed shall be pressure treated.  
 7. Framing anchors, joist hangers, etc, shall be galvanized steel (16 ga. min.). Install in strict accordance with Mfrs. Instructions.  
 8. All exterior walls to be 2x6 studs @ 16" O.C. unless otherwise noted, blocking shall be provided @ 4' O.C. or at plywood panel edges.  
 9. All interior walls to be 2x4 studs @ 16" O.C. unless otherwise noted.  
 10. Wall sheathing: 1/2" CDX Plywood  
 11. Roof sheathing: 5/8" T&G Exterior Grade Plywood, w/ 10d nails @ 12" O.C. (min.) into all supports.

**V. STRUCTURAL STEEL**  
**A. MATERIAL PROPERTIES**  
 1. Steel tubes . . . . . ASTM A500, Gr. B  
 "W" shapes . . . . . ASTM A992 Grade 50  
 Plates, Bars, Angles . . . . . ASTM A36  
 Pipes, Bars, Angles . . . . . ASTM A53, Type E (Fy=35ksi)  
 2. Bolts . . . . . ASTM A325N  
 3. Welding . . . . . E70XX-AWS D1.1  
 4. Anchor Bolts shall be ASTM A-36

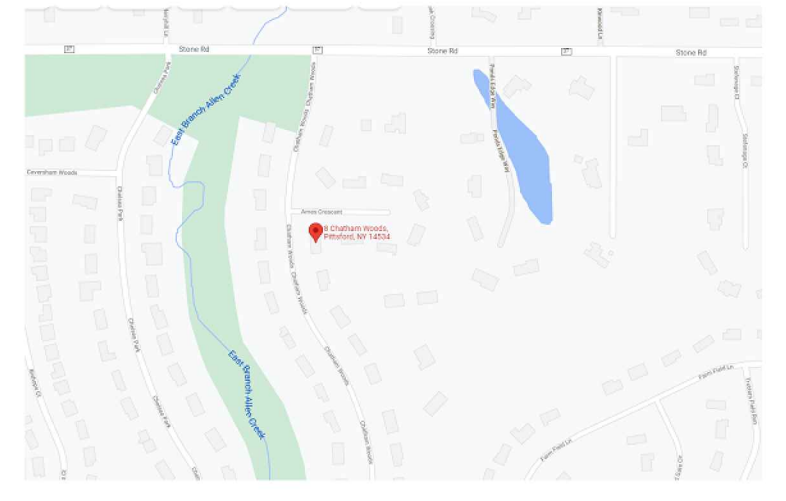
**VI. INSTALLATION**  
 1. Welding by certified welder only.  
 2. Top of steel and bottom of steel elevations are from the top of the top plate to the bottom of the base plate.  
 3. All structural steel shall be primed and painted with a high quality epoxy paint (TNEMEC or equal).  
 4. All structural steel fabrication, erection, and connections to conform with current edition of AISC handbook. Field measure all steel prior to fabrication.

**VII. MISCELLANEOUS**  
 1. Provide shop drawings for structural steel, roof trusses, masonry, concrete mix design and reinforcing for approval before fabrication.  
 2. All shop drawings shall be stamped by a licensed professional engineer in the State of New York.  
 3. Paint all exposed steel below grade (0'-0") with asphaltic damp proofing except bearing surfaces.  
 4. Field measure all steel prior to fabrication.

**LEGEND:**

█ (N) WALL

**VICINITY MAP**  
 N.T.S.

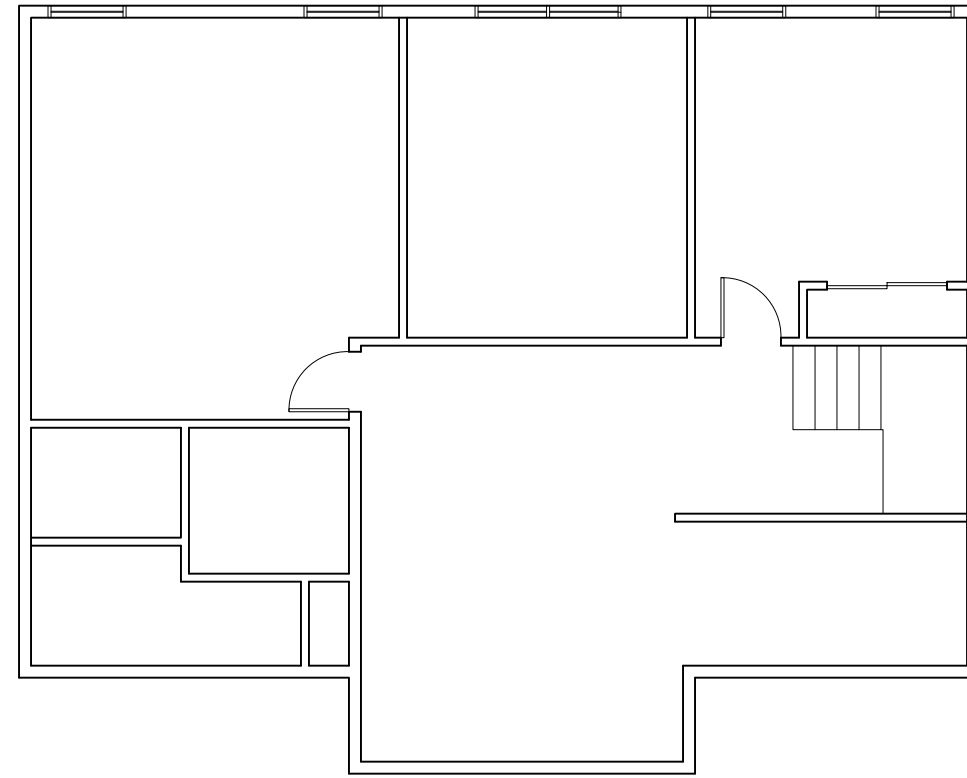


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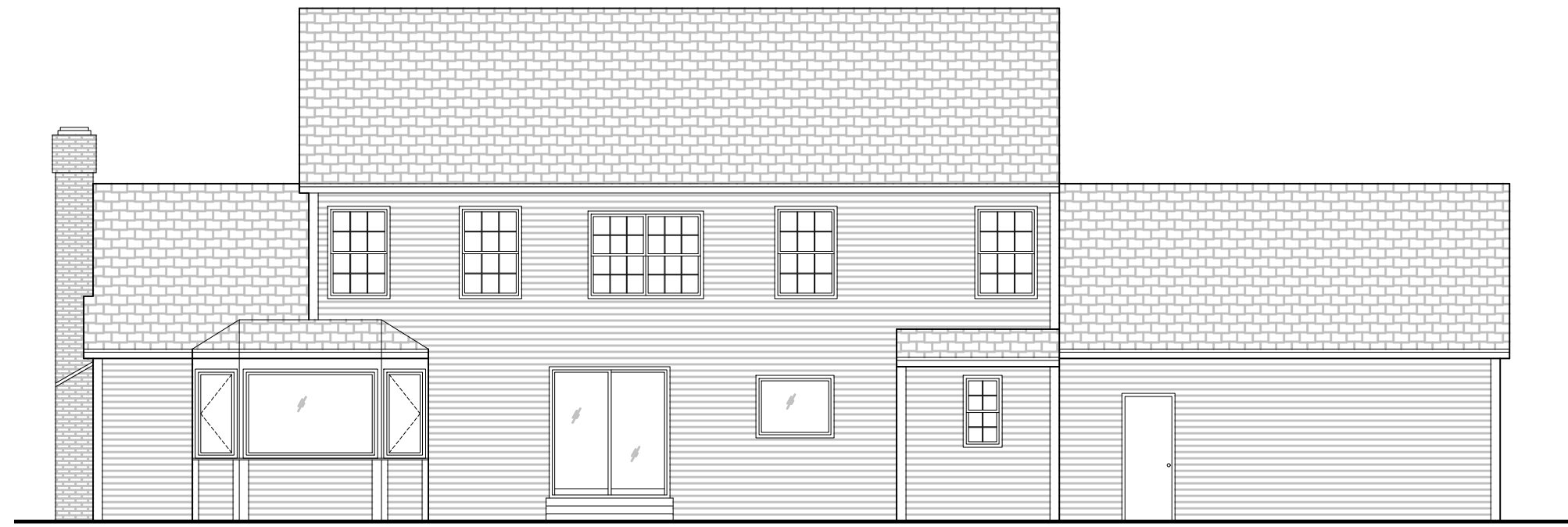
<b>GENERAL INFORMATION</b>			
PROJECT NAME:			
<b>8 CHATHAM WOODS</b>			
<b>PITTSFORD, NY</b>			
<b>A0.0</b>			







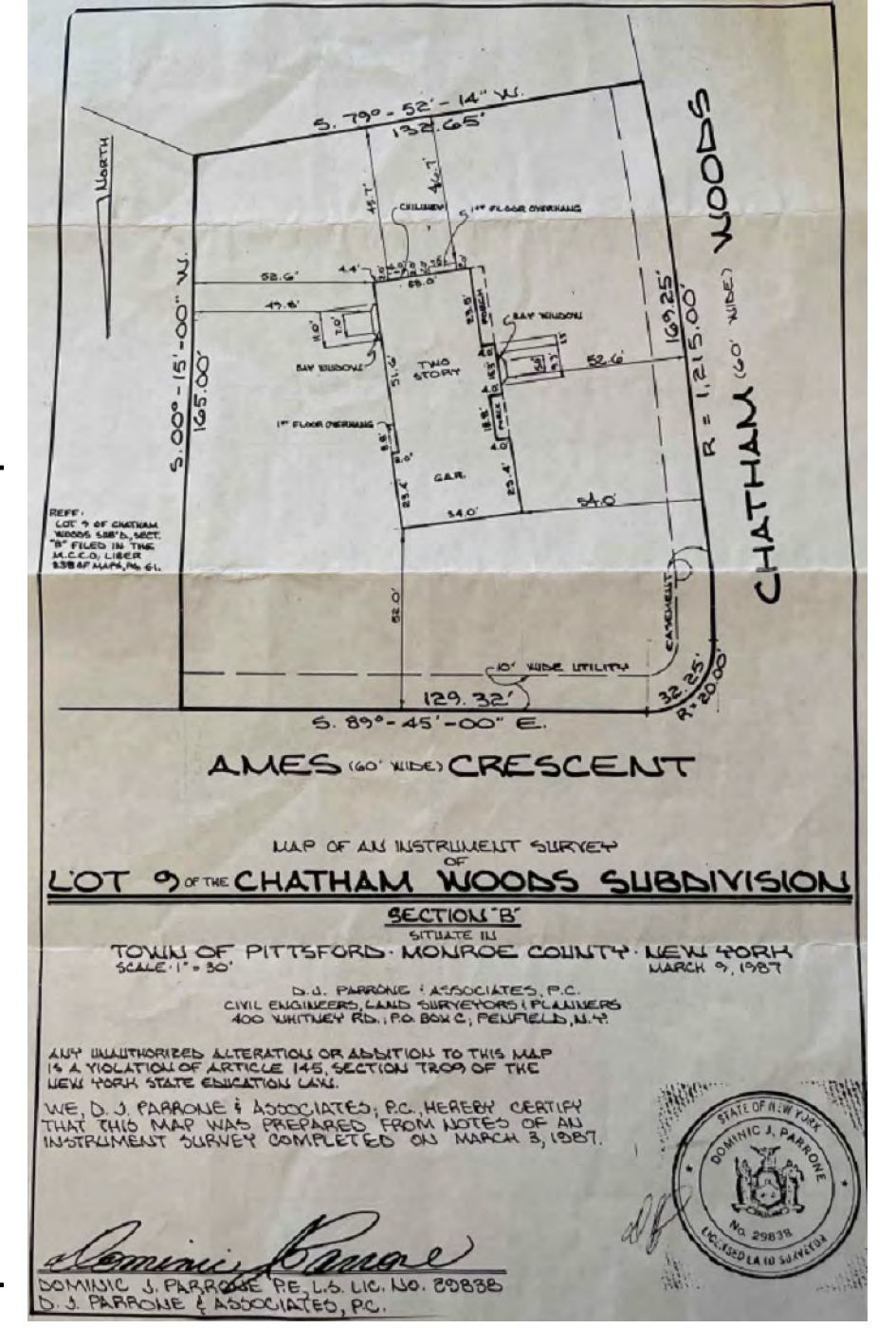
2 EXISTING SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



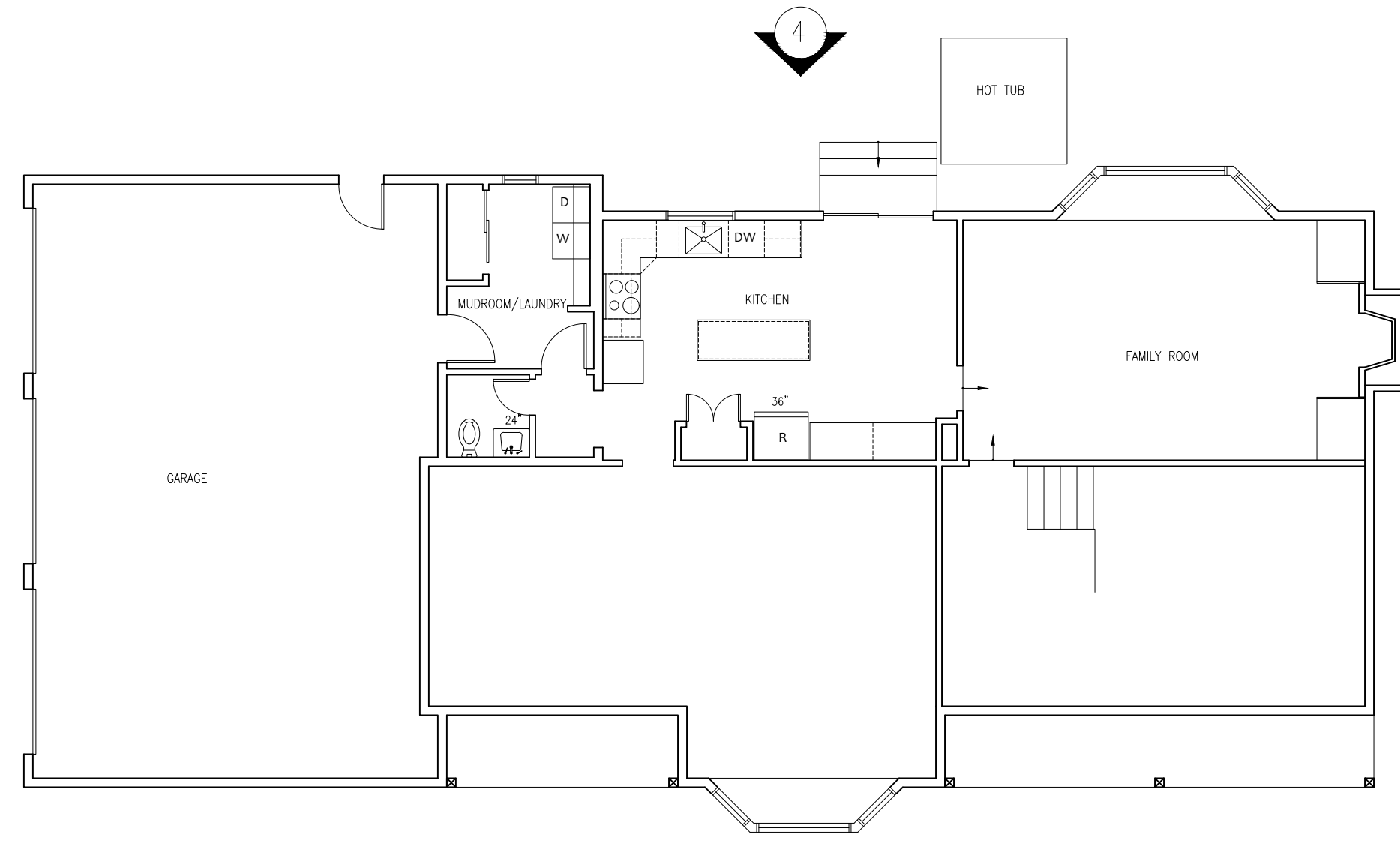
4 EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



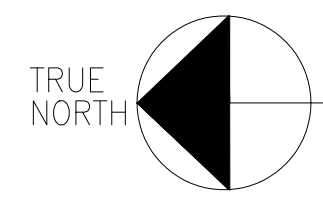
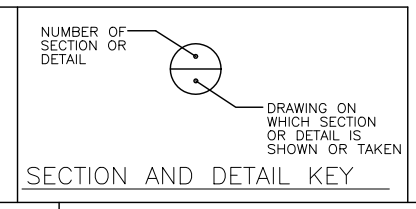
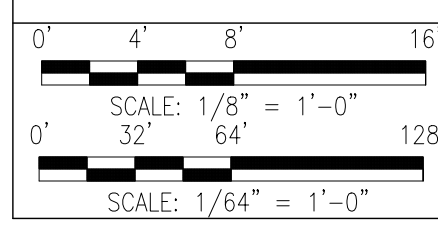
6 EXISTING SITE SURVEY  
SCALE: 1/64" = 1'-0"



1 EXISTING PARTIAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



5 EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



DRAWING NORTH

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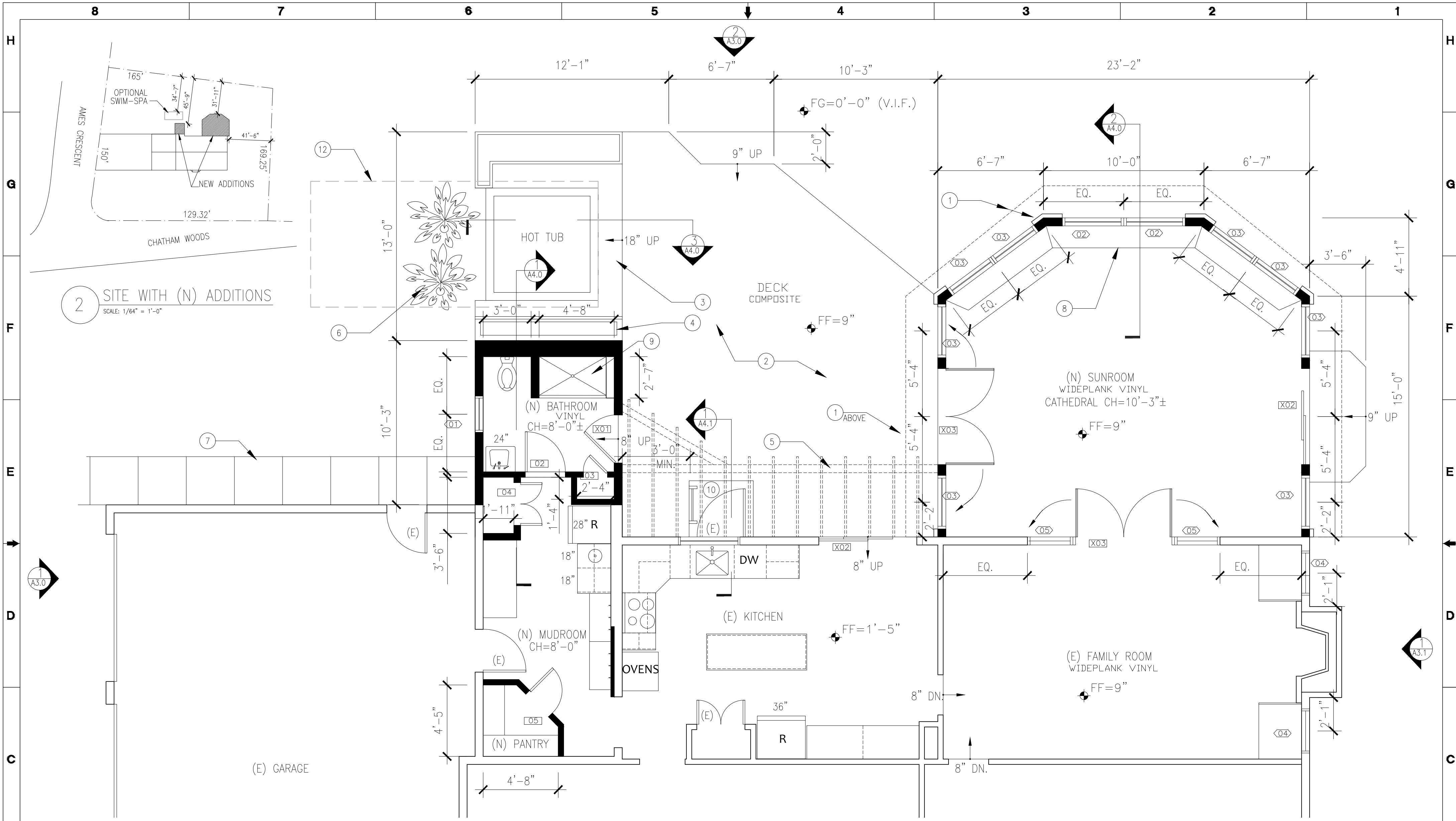
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**EXISTING CONDITIONS**

PROJECT NAME:  
**8 CHATHAM WOODS**  
PITTSFORD, NY

**A1.0**



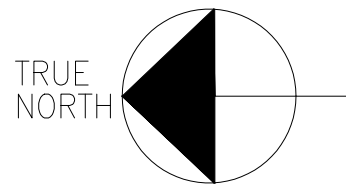
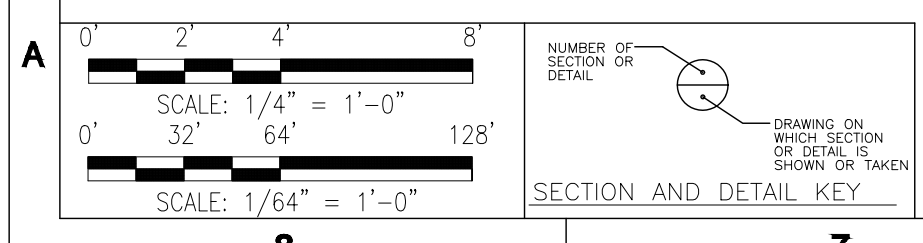


**2 SITE WITH (N) ADDITIONS**  
SCALE: 1/64" = 1'-0"

**1 PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**KEY NOTES:**

1. 24" ROOF OVERHANG ON SUNROOM W/ PILASTERS ON CORNERS. PILASTER CORNERS TO MATCH EXISTING TRIM COLOR AND STYLE OF (E) HOUSE.
2. DECK LEVEL TO BE AT 8"± BELOW EXISTING KITCHEN FINISHED FLOOR. SINGLE 9"± (9 1/2" MAX.) STEP TO GRADE AND DETERMINED BY GC ON SITE. DECK TO BE TIMBERTECH WEATHERED TEAK (WARM) OR COASTLINE (COOL) FINISH, V.W.O..
3. HOT TUB W/ 18" WIDE BLUESTONE CAP OVER 6" CORE ICF WALL W/ ACCESS OPENING FOR HOT TUB MECH. ON NORTH SIDE. SEAT HEIGHT UP TO MAX HEIGHT OF 18" ABOVE DECK.
4. PLANTER W/ CLIMBING VINES BEHIND HOT TUB ALONG HOUSE.
5. TRELLIS TO BE IN LINE W/ NEW ROOF FROM SUNROOM, 8'-0"± ABOVE DECK.
6. LANDSCAPE SHALL BE COMPATIBLE W/ HOT TUB MAINT. ACCESS PANEL (HYDRANGEA, ORNAMENTAL GRASSES, ETC).
7. NEW CONCRETE WALKWAY. V.E. ALT. 30"x30"x2" BLUESTONE SLATES OVER 2" SAND BASE OVER UNDISTURBED SOIL.
8. BUILT-IN SEATING IN (N) SUNROOM.
9. (N) 32"x56" TILED DOG WASH SHOWER, VWO BASE HEIGHT. USE KERDI SHOWER PAN AND KOHLER AWAKEN HAND SHOWER W/ SLIDE.
10. ALUMINUM AND POLYCARBONATE WINDOW WELL COVER APPROX. 4'-0" X 3'-6", FLUSH WITH DECK. LADDER TO BE VERIFIED BY G.C. IN FIELD.
11. CEILING HEIGHT TO BE 8'-0"± AFF IN BATHROOM. GC TO MATCH CEILING HEIGHT FROM EXISTING MUDROOM.
12. OUTLINE OF OPTIONAL SWIM-SPA.



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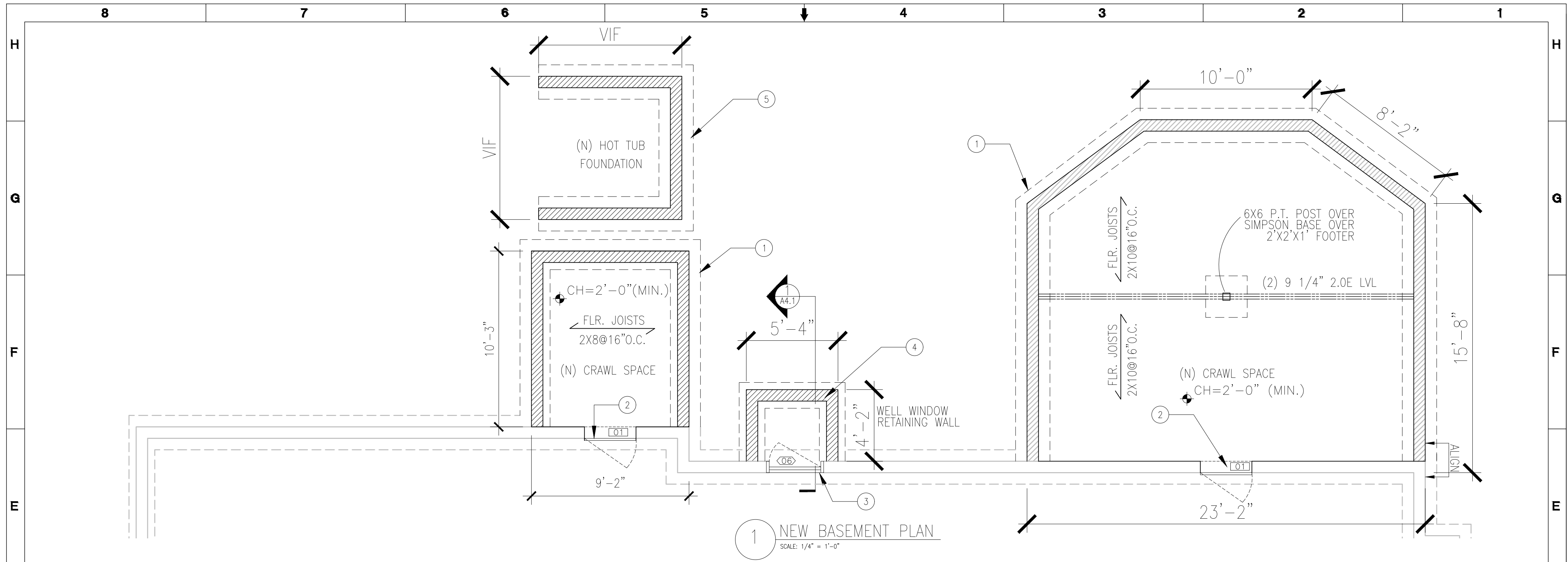
**NEW FLOOR PLAN**

PROJECT NAME:

**8 CHATHAM WOODS**  
PITTSFORD, NY

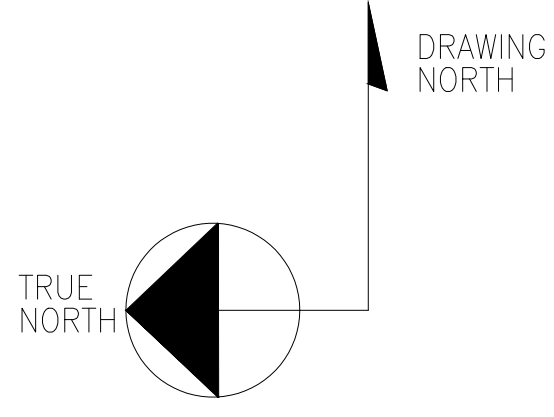
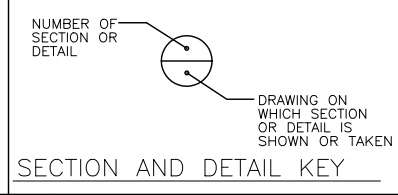
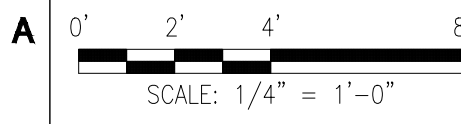
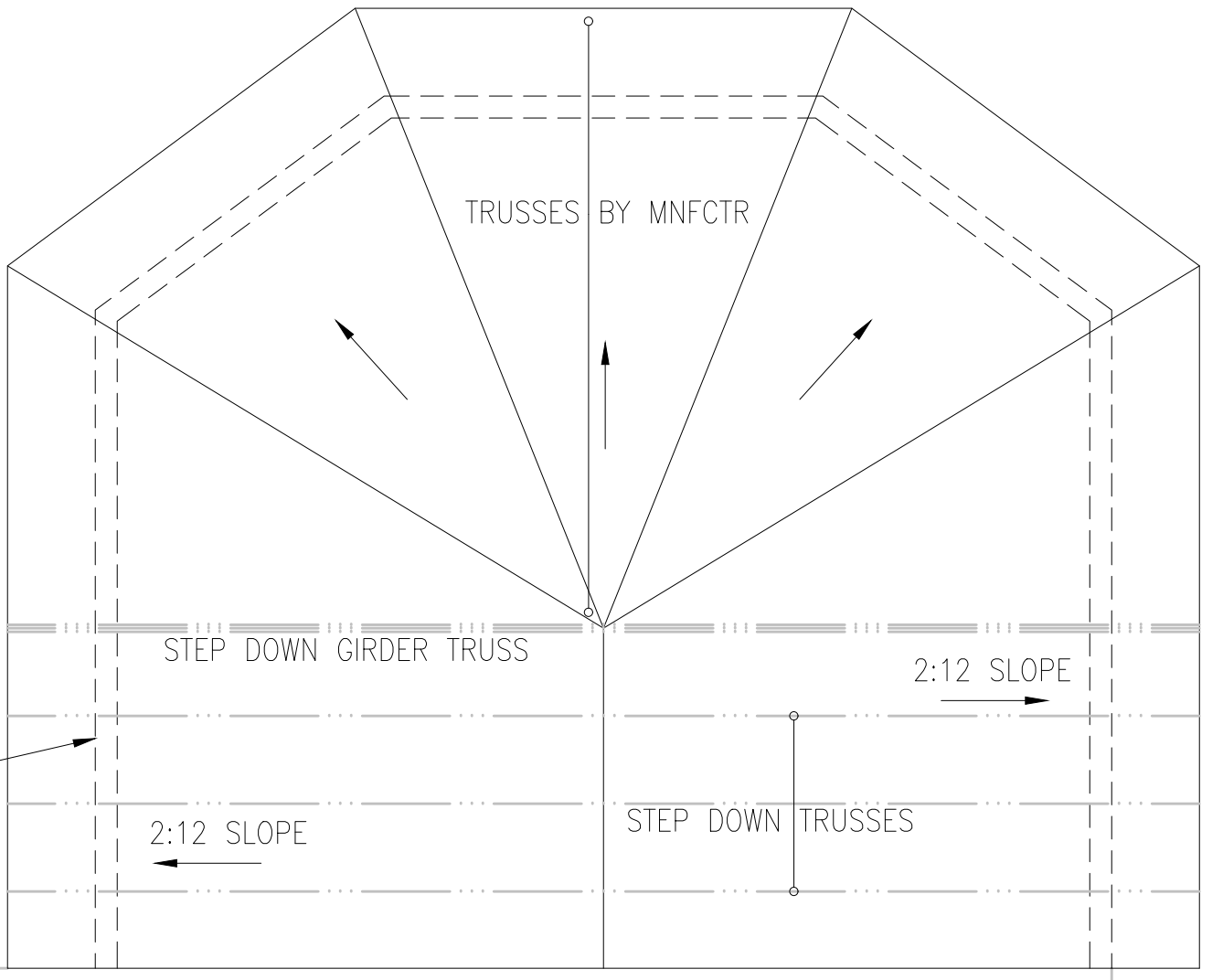
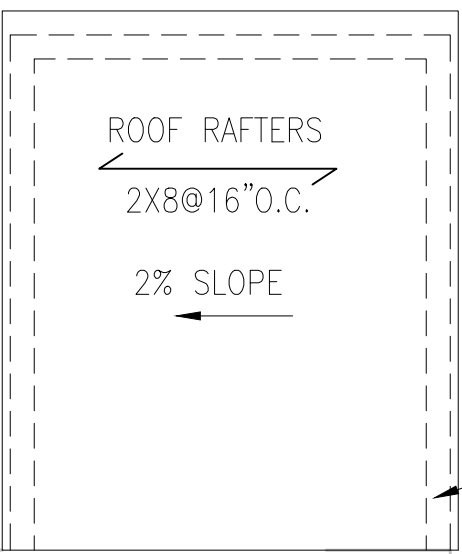
**A2.0**





**KEY NOTES:**

- 24" (W) X 12" (D) FOUNDATION FOOTER W/ 8" CMU BLOCK FULLY GROUTED, TYP.
- ACCESS DOOR TO (N) CRAWL SPACE MIN. 36"X24" ACCESS FROM BASEMENT.
- IT IS INTENDED THAT CONTRACTOR WILL MAKE USE OF EXISTING MASONRY HEADER FOR EGRESS WINDOW.
- WINDOW WELL TO BE 8" CMU W/ 18" (W) X 12" (D) FOOTER 48" BELOW WELL GRADE. WELL BASE PEA GRAVEL OVER DRAINAGE GRAVEL. WINDOW WELL SHOWN IS MASONRY WELL THAT COULD BE SKIM-COATED OR FACED IN VENEER STONE. CONTRACTOR MAY USE PREFABRICATED WELL, VWO.
- FOUNDATION WALL TO SURROUND 3 SIDES OF THE HOT TUB. NORTH SIDE REMAINS OPEN FOR MAINT. ACCESS.



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**BASEMENT & ROOF PLAN**  
PROJECT NAME:  
**8 CHATHAM WOODS**  
PITTSFORD, NY  
**A2.1**







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KEY NOTES:

- 1. ASPHALT SHINGLE ROOF TO MATCH (E).



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DOOR #	DOOR (DBL. LETTER INDICATES PAIR)						FIRE RATING PER HR. WALL	QUANTITY	HINGE	HDWR GROUP	FINISH	SECURITY LEVEL	REMARKS
	TYPE	THICK	WIDTH	HEIGHT	MATL	GLASS							
X01	ENTRY	-	2'-8"	6'-8"	-	1/3 DIVIDED LT.	-	1	LH	-	1		
X02	SLIDING FRENCH DR.	-	6'-0"	6'-8"	-	FULL DIVIDED LT.	-	2	SLIDING	-	1	ONE (N), ONE (E). DOOR TO BE FITTED TO EXISTING OPENING. GC TO V.I.F.	
X03	DBL. FRENCH INSWING	-	6'-0"	6'-8"	-	FULL DIVIDED LT.	-	2	DBL.	-	1		
01	ACCESS DOOR	-	3'-0"	2'-0"	-	-	-	2	LHR	-	-	ADDITION OF DOOR LATCH TO BE ADDED TO ACCESS DOORS.	
02	MUDROOM	-	2'-6"	6'-8"	-	-	-	1	LHR	-	-		
03	CLOSET	-	1'-6"	6'-8"	-	-	-	1	RHR	-	-		
04	CLOSET	-	2'-8"	6'-8"	-	-	-	1	DBL	-	-		
05	CLOSET	-	2'-0"	6'-8"	-	-	-	1	RHR	-	-		

1. SECURITY LEVEL 1 = EXTERIOR DOOR, SINGLE CYLINDER DEADBOLT

WINDOW SCHEDULE

WINDOW #	TYPE	R.O. SIZE		ROUGH OPENING AFF	MATERIAL	FINISH	FIRE RATING	GLAZING NOTES	QUANTITY	REMARKS
		WIDTH	HEIGHT							
01	CASEMENT	2'-0"	2'-6"	3'-0"	TO MATCH (E)	PAINT			1	
02	DBL HUNG	3'-6"	5'-0"	1'-9"	TO MATCH (E)	PAINT			2	
03	DBL HUNG	3'-0"	5'-0"	1'-9"	TO MATCH (E)	PAINT			8	
05	DIVIDED SIDELITE	2'-6"	6'-6"	2"	TO MATCH (E)	PAINT			2	
06	CASEMENT	3'-6"	3'-0"	3'-8"	TO MATCH (E)	PAINT			1	



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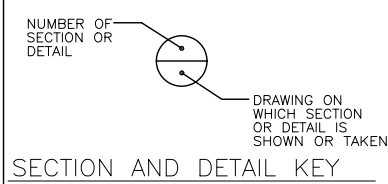
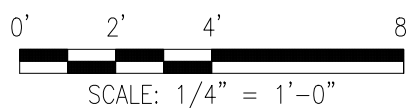
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NEW ELEVATION & SCHEDULES

PROJECT NAME:

8 CHATHAM WOODS  
PITTSFORD, NY

A3.1



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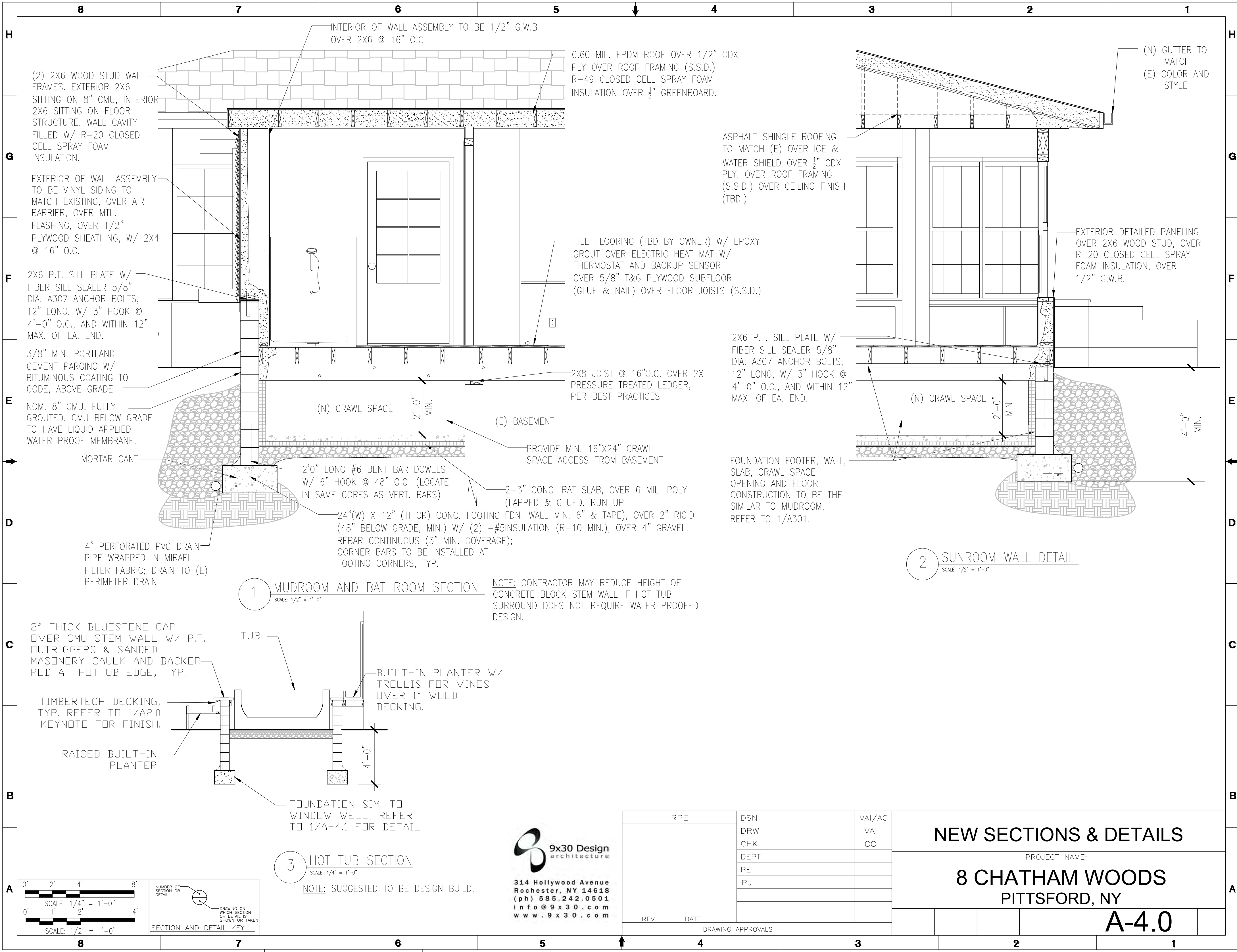
3

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(2) 2X6 WOOD STUD WALL FRAMES. EXTERIOR 2X6 SITTING ON 8" CMU, INTERIOR 2X6 SITTING ON FLOOR STRUCTURE. WALL CAVITY FILLED W/ R-20 CLOSED CELL SPRAY FOAM INSULATION.

EXTERIOR OF WALL ASSEMBLY TO BE VINYL SIDING TO MATCH EXISTING, OVER AIR BARRIER, OVER MTL. FLASHING, OVER 1/2" PLYWOOD SHEATHING, W/ 2X4 @ 16" O.C.

2X6 P.T. SILL PLATE W/ FIBER SILL SEALER 5/8" DIA. A307 ANCHOR BOLTS, 12" LONG, W/ 3" HOOK @ 4'-0" O.C., AND WITHIN 12" MAX. OF EA. END.

3/8" MIN. PORTLAND CEMENT PARGING W/ BITUMINOUS COATING TO CODE, ABOVE GRADE

NOM. 8" CMU, FULLY GROUTED. CMU BELOW GRADE TO HAVE LIQUID APPLIED WATER PROOF MEMBRANE.

MORTAR CANT  
4" PERFORATED PVC DRAIN PIPE WRAPPED IN MIRAFI FILTER FABRIC; DRAIN TO (E) PERIMETER DRAIN

INTERIOR OF WALL ASSEMBLY TO BE 1/2" G.W.B OVER 2X6 @ 16" O.C.

0.60 MIL. EPDM ROOF OVER 1/2" CDX PLY OVER ROOF FRAMING (S.S.D.) R-49 CLOSED CELL SPRAY FOAM INSULATION OVER 1/2" GREENBOARD.

ASPHALT SHINGLE ROOFING TO MATCH (E) OVER ICE & WATER SHIELD OVER 1/2" CDX PLY, OVER ROOF FRAMING (S.S.D.) OVER CEILING FINISH (TBD.)

TILE FLOORING (TBD BY OWNER) W/ EPOXY GROUT OVER ELECTRIC HEAT MAT W/ THERMOSTAT AND BACKUP SENSOR OVER 5/8" T&G PLYWOOD SUBFLOOR (GLUE & NAIL) OVER FLOOR JOISTS (S.S.D.)

2X8 JOIST @ 16" O.C. OVER 2X PRESSURE TREATED LEDGER, PER BEST PRACTICES

PROVIDE MIN. 16"X24" CRAWL SPACE ACCESS FROM BASEMENT

2'-0" LONG #6 BENT BAR DOWELS W/ 6" HOOK @ 48" O.C. (LOCATE IN SAME CORES AS VERT. BARS)

2-3" CONC. RAT SLAB, OVER 6 MIL. POLY (LAPPED & GLUED, RUN UP (48" BELOW GRADE, MIN.) W/ (2) #5 INSULATION (R-10 MIN.), OVER 4" GRAVEL. REBAR CONTINUOUS (3" MIN. COVERAGE); CORNER BARS TO BE INSTALLED AT FOOTING CORNERS, TYP.

1 MUDROOM AND BATHROOM SECTION  
SCALE: 1/2" = 1'-0"

NOTE: CONTRACTOR MAY REDUCE HEIGHT OF CONCRETE BLOCK STEM WALL IF HOT TUB SURROUND DOES NOT REQUIRE WATER PROOFED DESIGN.

2" THICK BLUESTONE CAP OVER CMU STEM WALL W/ P.T. OUTRIGGERS & SANDED MASONRY CAULK AND BACKER ROD AT HOTTUB EDGE, TYP.

TIMBERTECH DECKING, TYP. REFER TO 1/A2.0 KEYNOTE FOR FINISH.

RAISED BUILT-IN PLANTER

BUILT-IN PLANTER W/ TRELLIS FOR VINES OVER 1" WOOD DECKING.

FOUNDATION SIM. TO WINDOW WELL, REFER TO 1/A-4.1 FOR DETAIL.

3 HOT TUB SECTION  
SCALE: 1/4" = 1'-0"

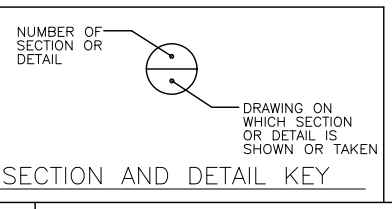
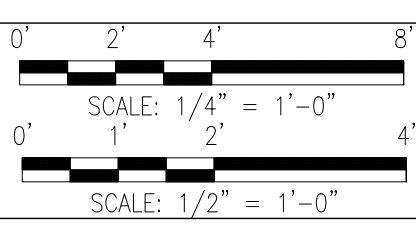
NOTE: SUGGESTED TO BE DESIGN BUILD.

2 SUNROOM WALL DETAIL  
SCALE: 1/2" = 1'-0"

(N) GUTTER TO MATCH  
(E) COLOR AND STYLE

EXTERIOR DETAILED PANELING OVER 2X6 WOOD STUD, OVER R-20 CLOSED CELL SPRAY FOAM INSULATION, OVER 1/2" G.W.B.

FOUNDATION FOOTER, WALL, SLAB, CRAWL SPACE OPENING AND FLOOR CONSTRUCTION TO BE THE SIMILAR TO MUDROOM, REFER TO 1/A301.



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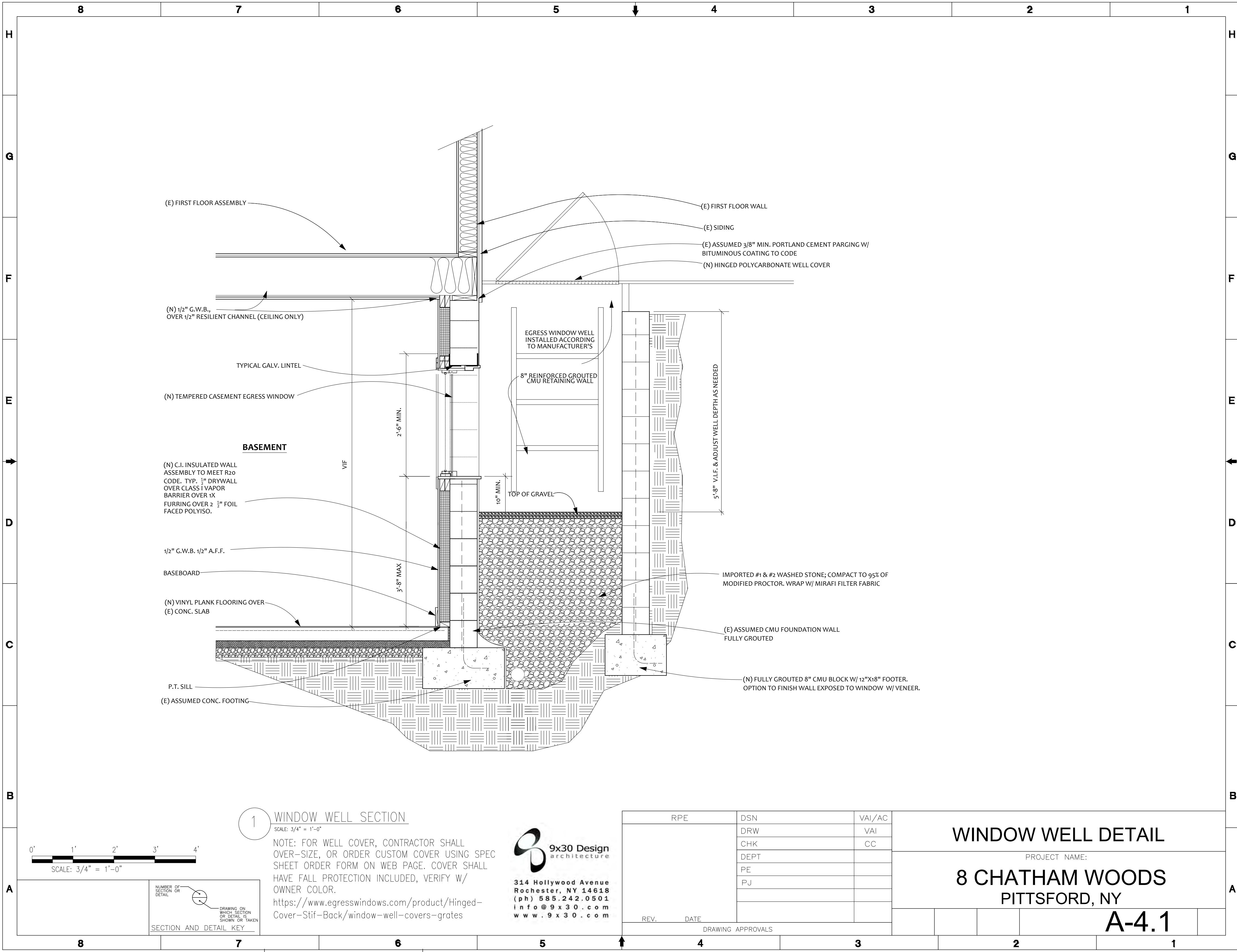
**NEW SECTIONS & DETAILS**

PROJECT NAME:

**8 CHATHAM WOODS  
PITTSFORD, NY**

**A-4.0**





1 WINDOW WELL SECTION  
SCALE: 3/4" = 1'-0"

NOTE: FOR WELL COVER, CONTRACTOR SHALL OVER-SIZE, OR ORDER CUSTOM COVER USING SPEC SHEET ORDER FORM ON WEB PAGE. COVER SHALL HAVE FALL PROTECTION INCLUDED, VERIFY W/ OWNER COLOR.  
<https://www.egresswindows.com/product/Hinged-Cover-Stif-Back/window-well-covers-grates>

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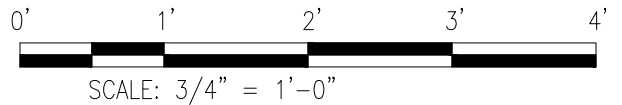
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DRAWING APPROVALS

WINDOW WELL DETAIL

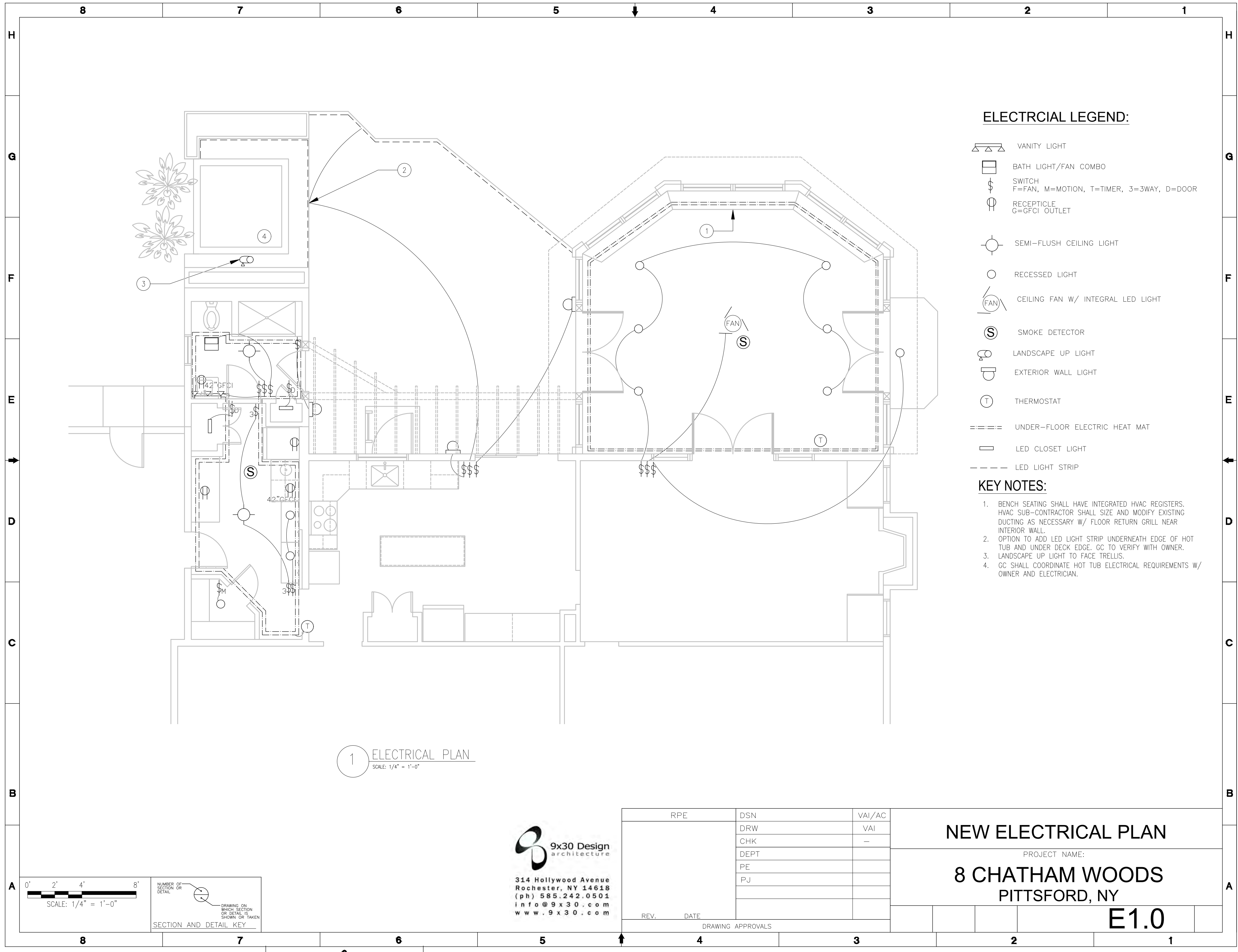
PROJECT NAME:  
**8 CHATHAM WOODS**  
PITTSFORD, NY

**A-4.1**

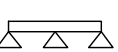



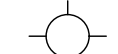






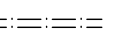
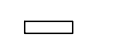
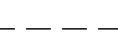


NUMBER OF SECTION OR DETAIL	DRAWING ON WHICH SECTION OR DETAIL IS SHOWN OR TAKEN
SECTION AND DETAIL KEY	





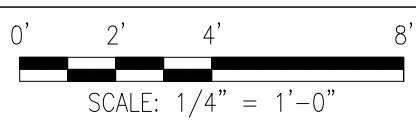
**ELECTRICAL LEGEND:**

-  VANITY LIGHT
-  BATH LIGHT/FAN COMBO
-  SWITCH  
F=FAN, M=MOTION, T=TIMER, 3=3WAY, D=DOOR
-  RECEPTACLE  
G=GFCI OUTLET
-  SEMI-FLUSH CEILING LIGHT
-  RECESSED LIGHT
-  CEILING FAN W/ INTEGRAL LED LIGHT
-  SMOKE DETECTOR
-  LANDSCAPE UP LIGHT
-  EXTERIOR WALL LIGHT
-  THERMOSTAT
-  UNDER-FLOOR ELECTRIC HEAT MAT
-  LED CLOSET LIGHT
-  LED LIGHT STRIP

**KEY NOTES:**

1. BENCH SEATING SHALL HAVE INTEGRATED HVAC REGISTERS. HVAC SUB-CONTRACTOR SHALL SIZE AND MODIFY EXISTING DUCTING AS NECESSARY W/ FLOOR RETURN GRILL NEAR INTERIOR WALL.
2. OPTION TO ADD LED LIGHT STRIP UNDERNEATH EDGE OF HOT TUB AND UNDER DECK EDGE. GC TO VERIFY WITH OWNER.
3. LANDSCAPE UP LIGHT TO FACE TRELIS.
4. GC SHALL COORDINATE HOT TUB ELECTRICAL REQUIREMENTS W/ OWNER AND ELECTRICIAN.

1 ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



NUMBER OF SECTION OR DETAIL	DRAWING ON WHICH SECTION OR DETAIL IS SHOWN OR TAKEN

SECTION AND DETAIL KEY

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**NEW ELECTRICAL PLAN**

PROJECT NAME:

**8 CHATHAM WOODS  
PITTSFORD, NY**

**E1.0**





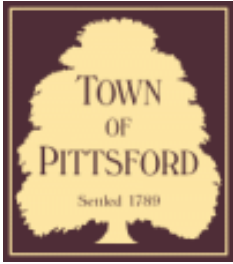












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**RA21-000228**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 115 Ellingwood Drive ROCHESTER, NY 14618

**Tax ID Number:** 138.18-1-54

**Zoning District:** RN Residential Neighborhood

**Owner:** Howe, Eric S

**Applicant:** Howe, Eric S

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a new detached garage with the roof being extended for a covered seating area.

**Meeting Date:** October 28, 2021



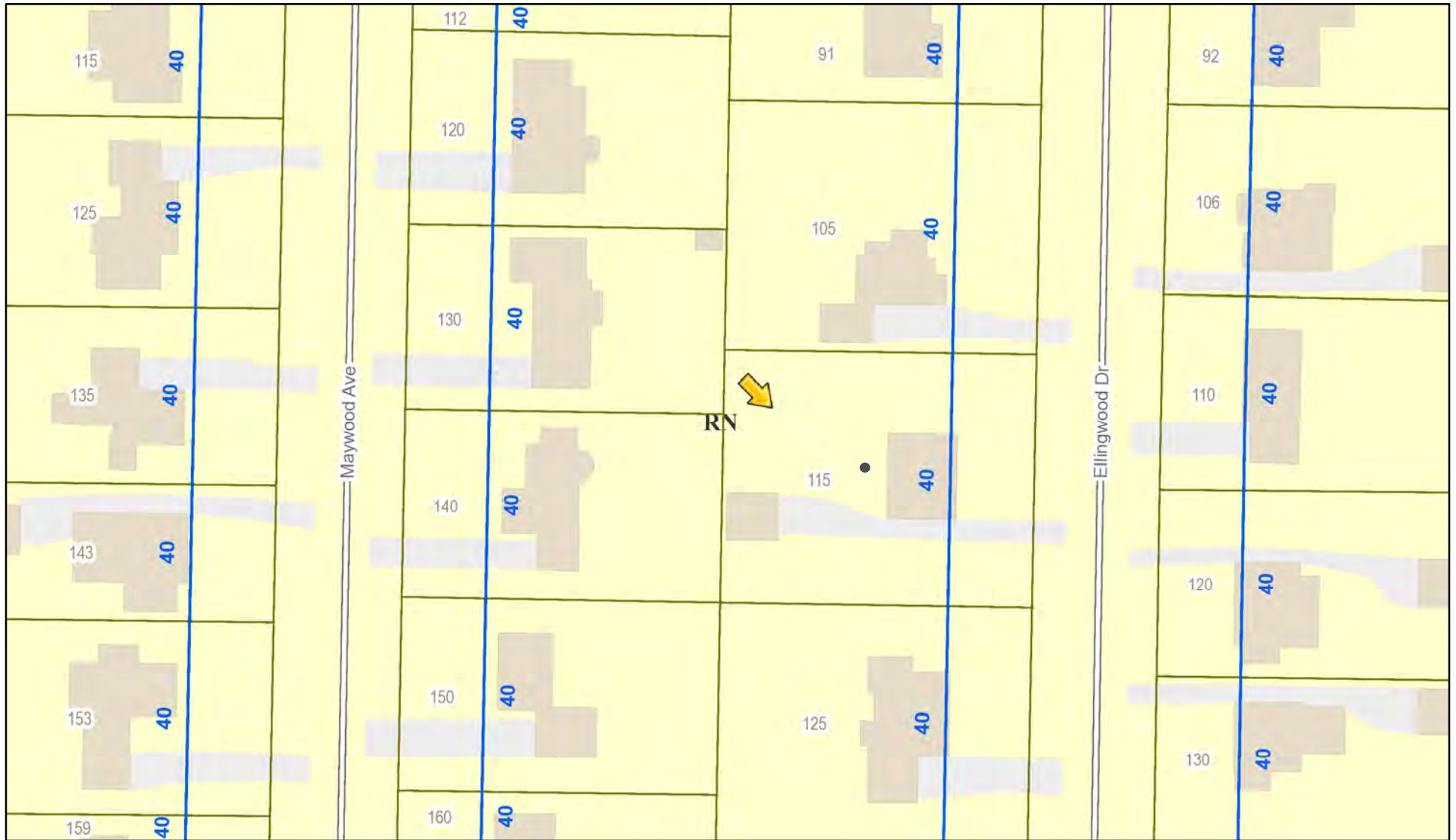




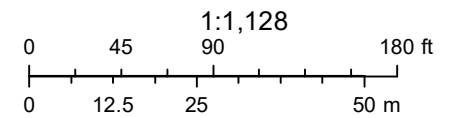




# RN Residential Neighborhood Zoning



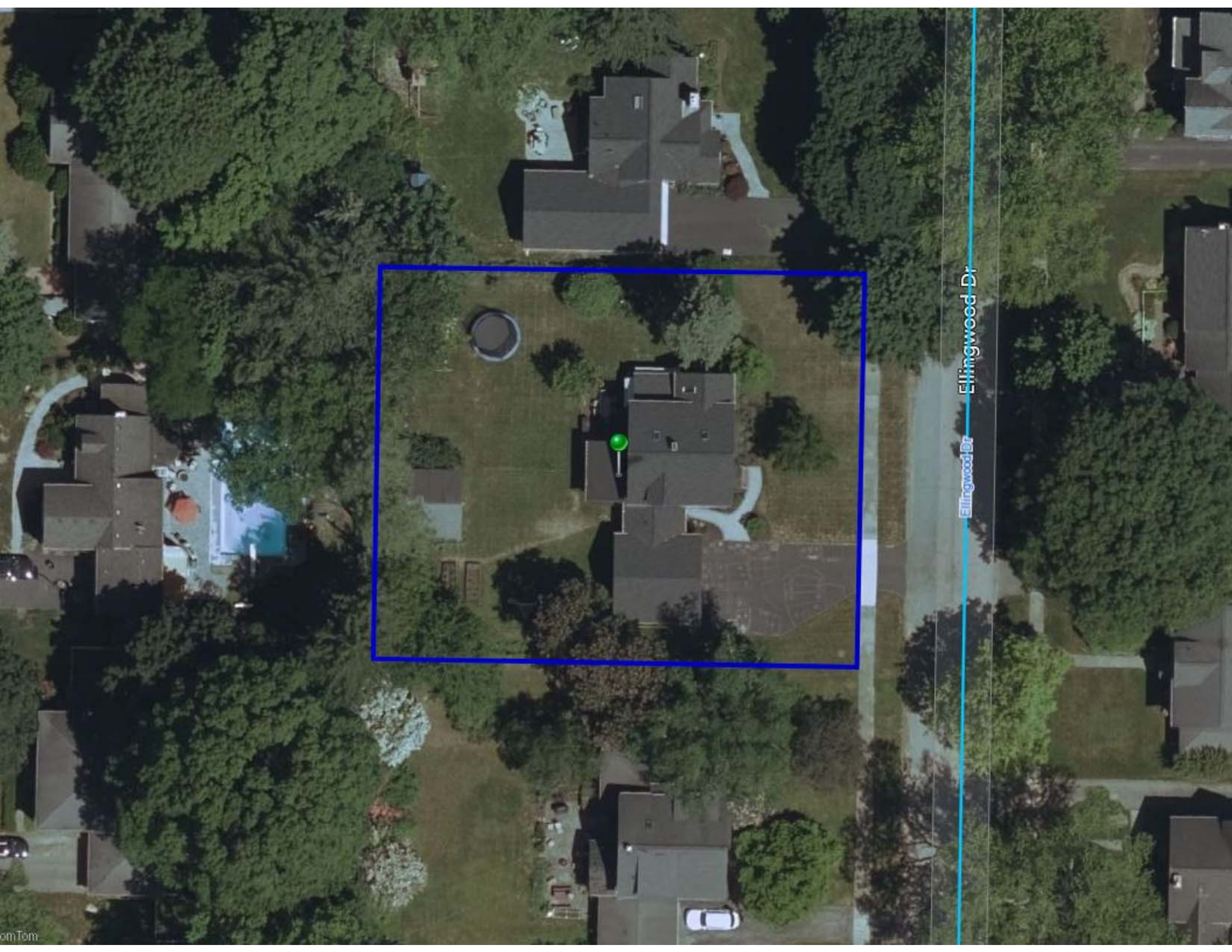
Printed October 21, 2021



Town of Pittsford GIS

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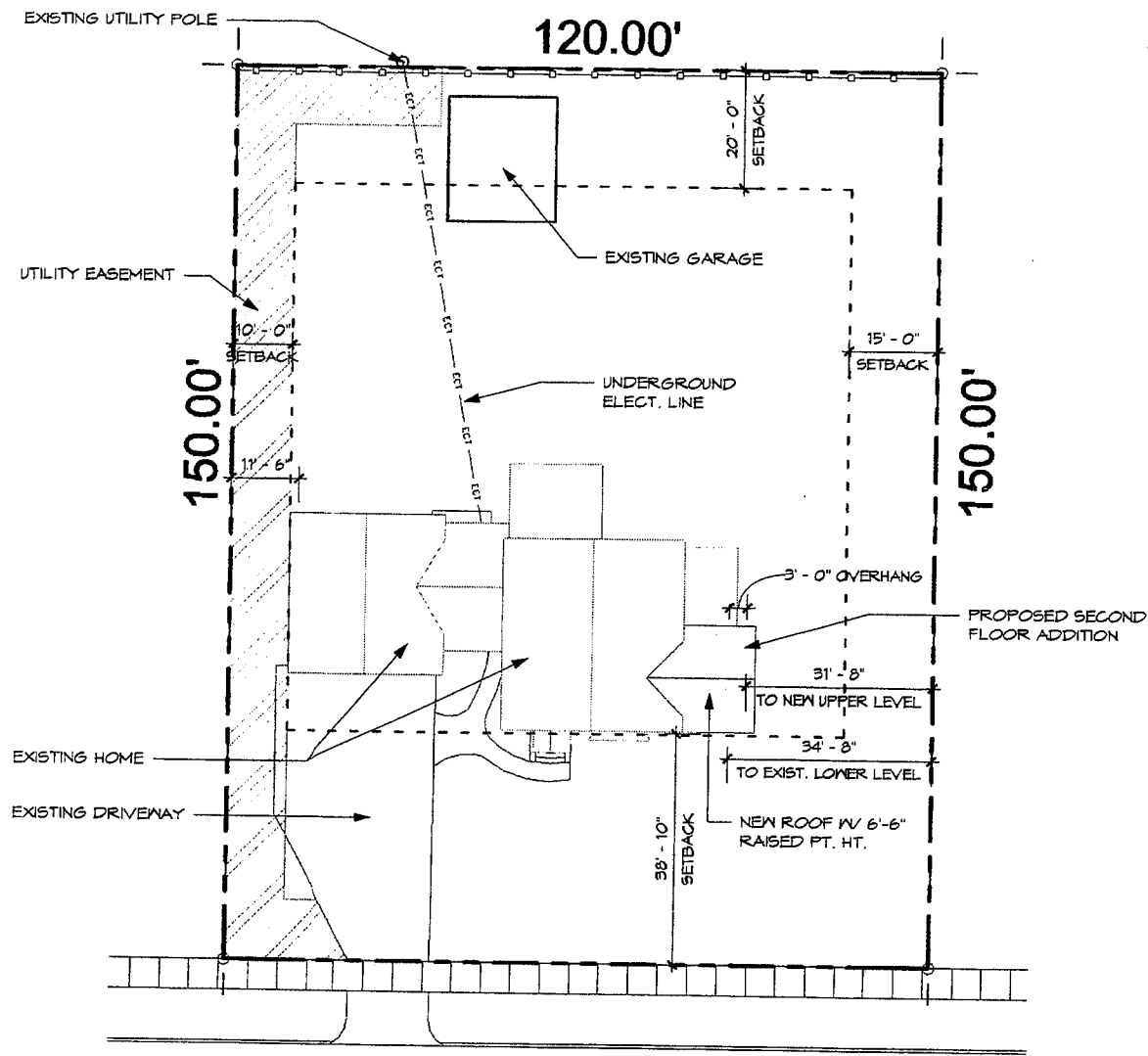


Ellingwood Dr



DESIGN WORKS  
ARCHITECTURE

6 NORTH MAIN STREET, SUITE 104, FAIRPORT, NY 14450  
Phone: 585.377.0001  
www.newdesignworks.com



ELLINGWOOD DRIVE

Howe Addition  
11/30/20

Conceptual Site Plan

Scale: 1" = 20'-0"

115 Ellingwood Dr., Pittsford, NY

Karen & Eric



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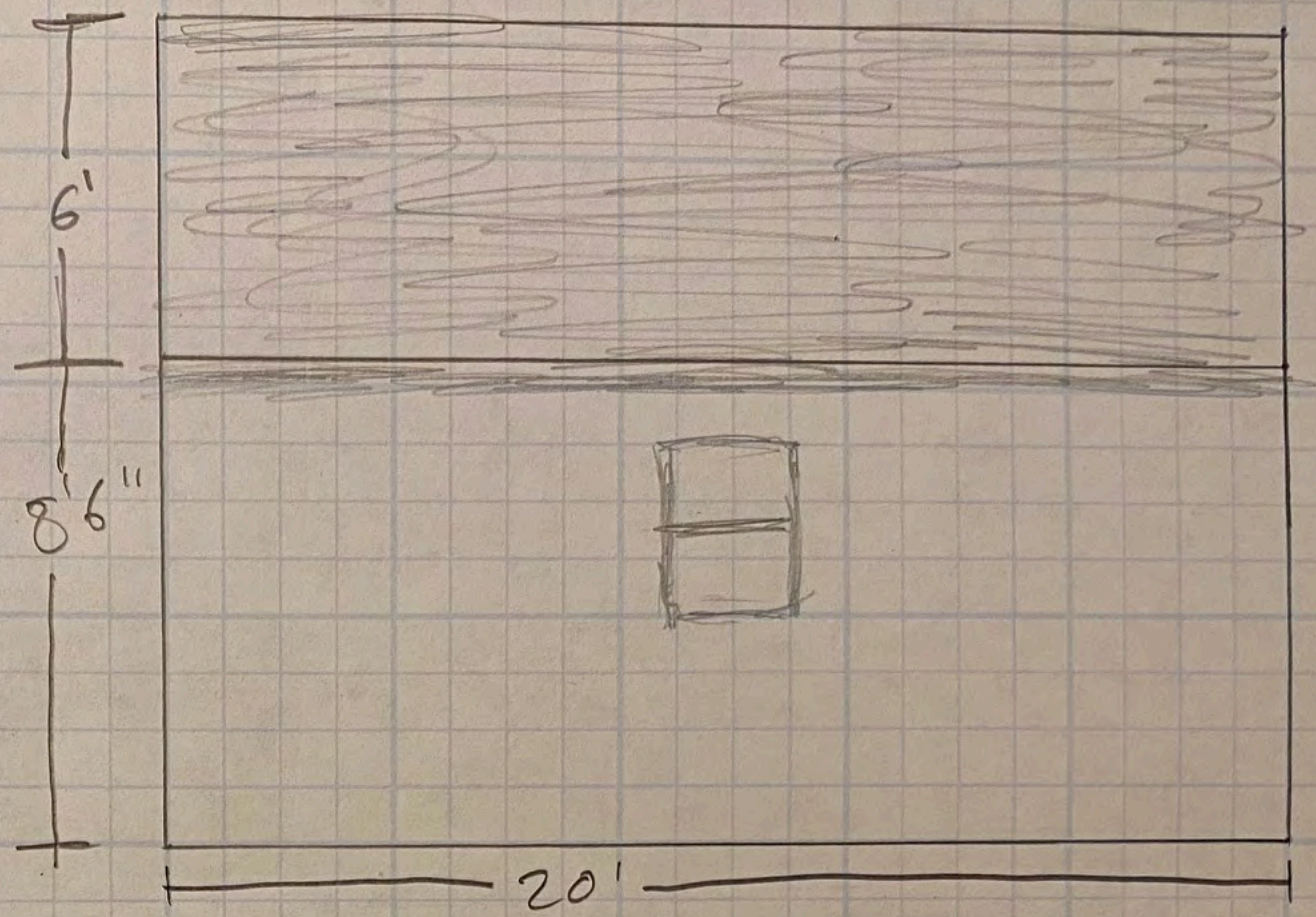




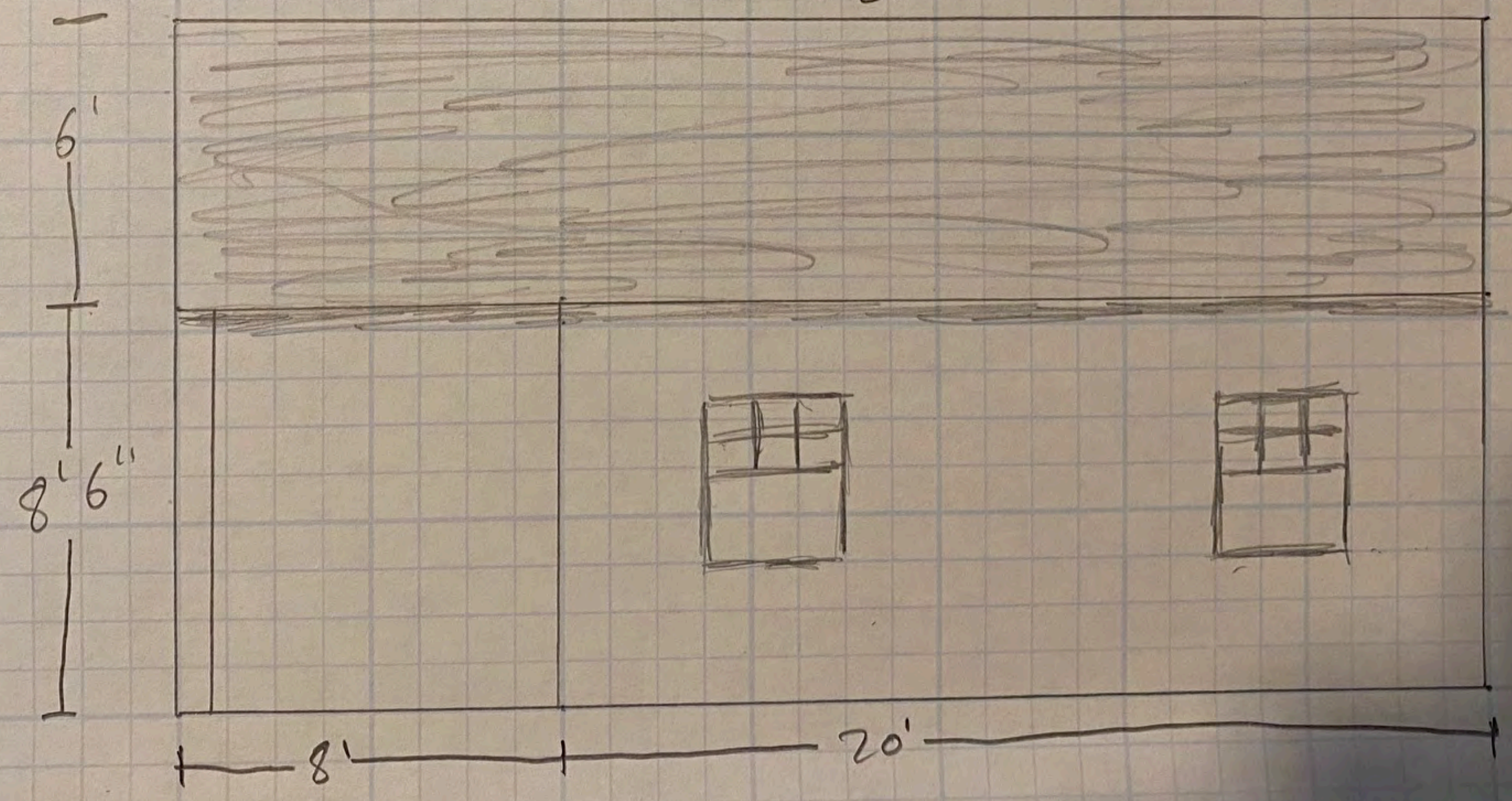


NORTH

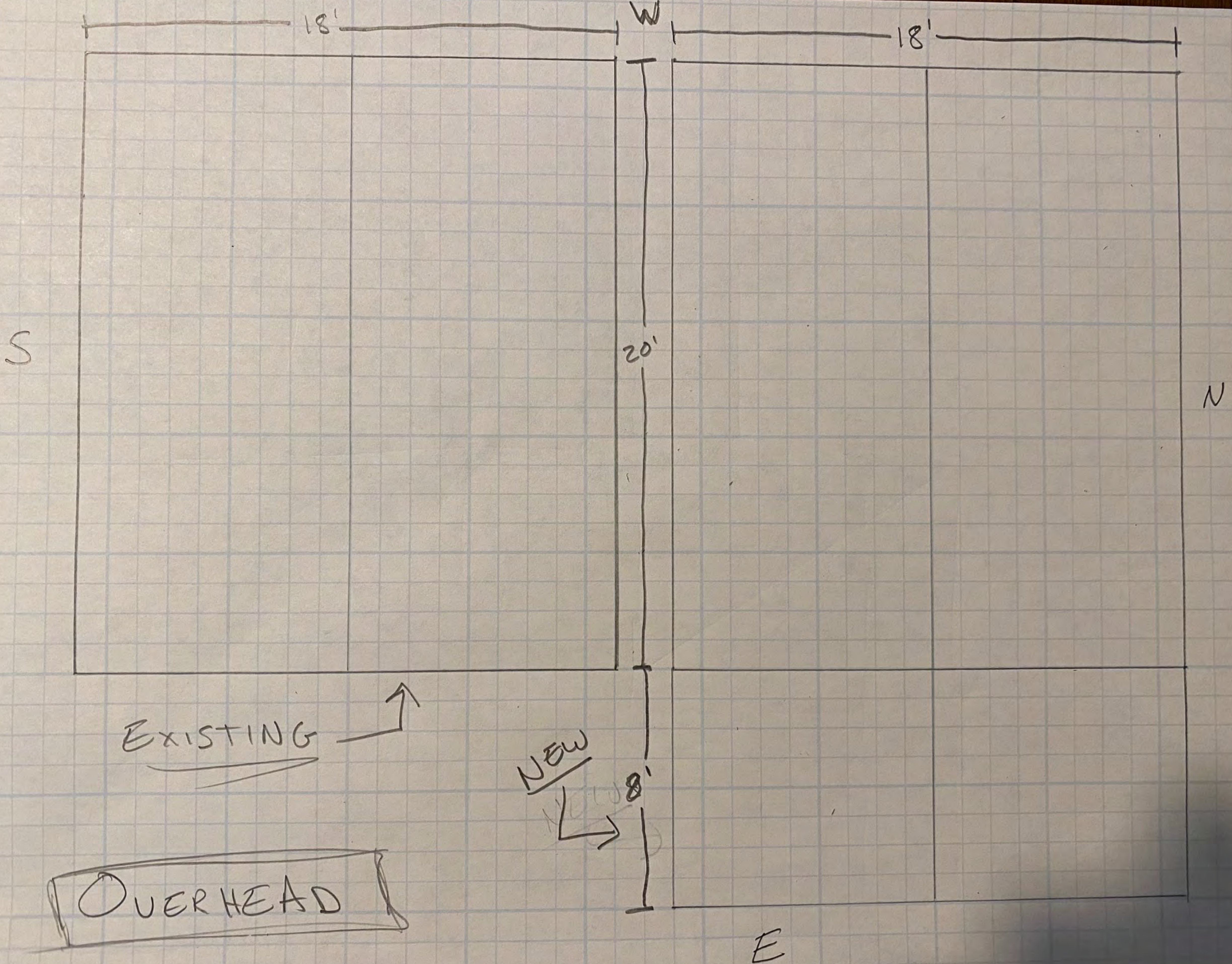
EXISTING



NEW







S

N

18'

18'

20'

8'

W

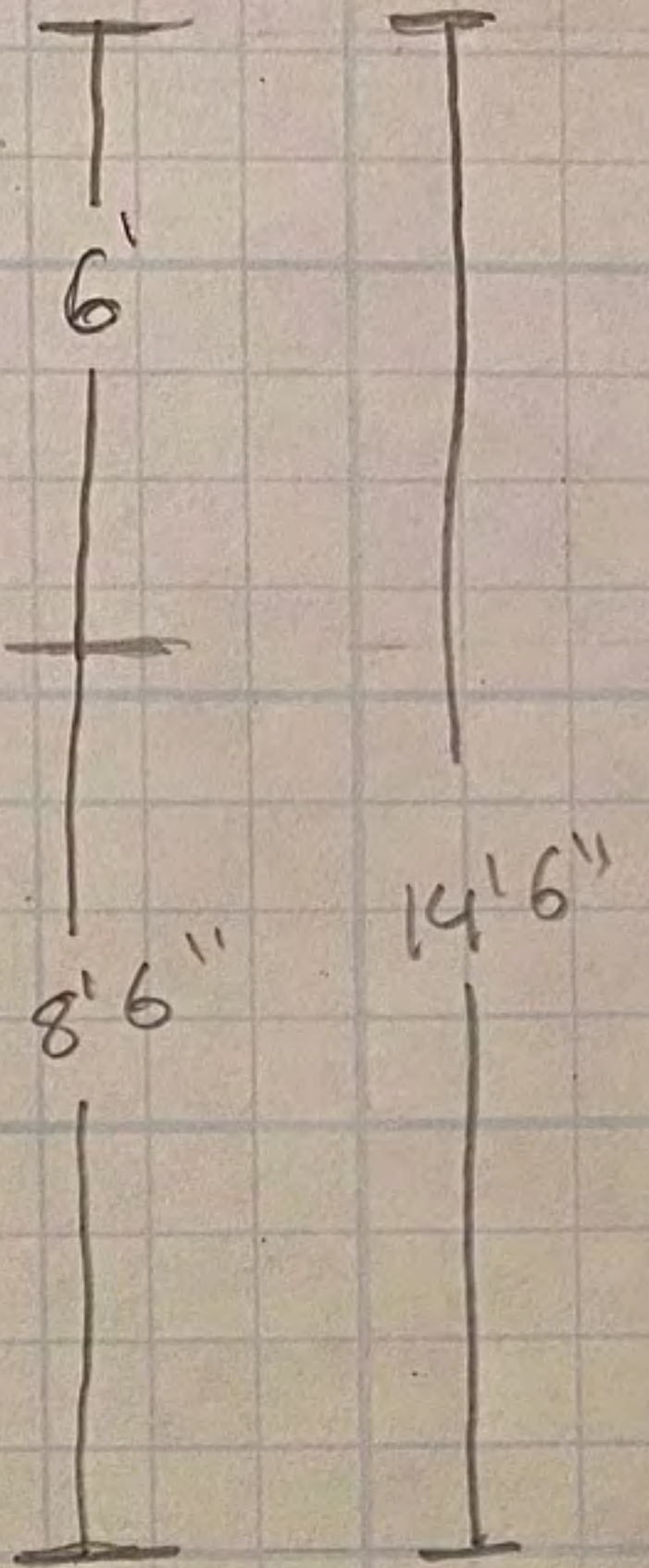
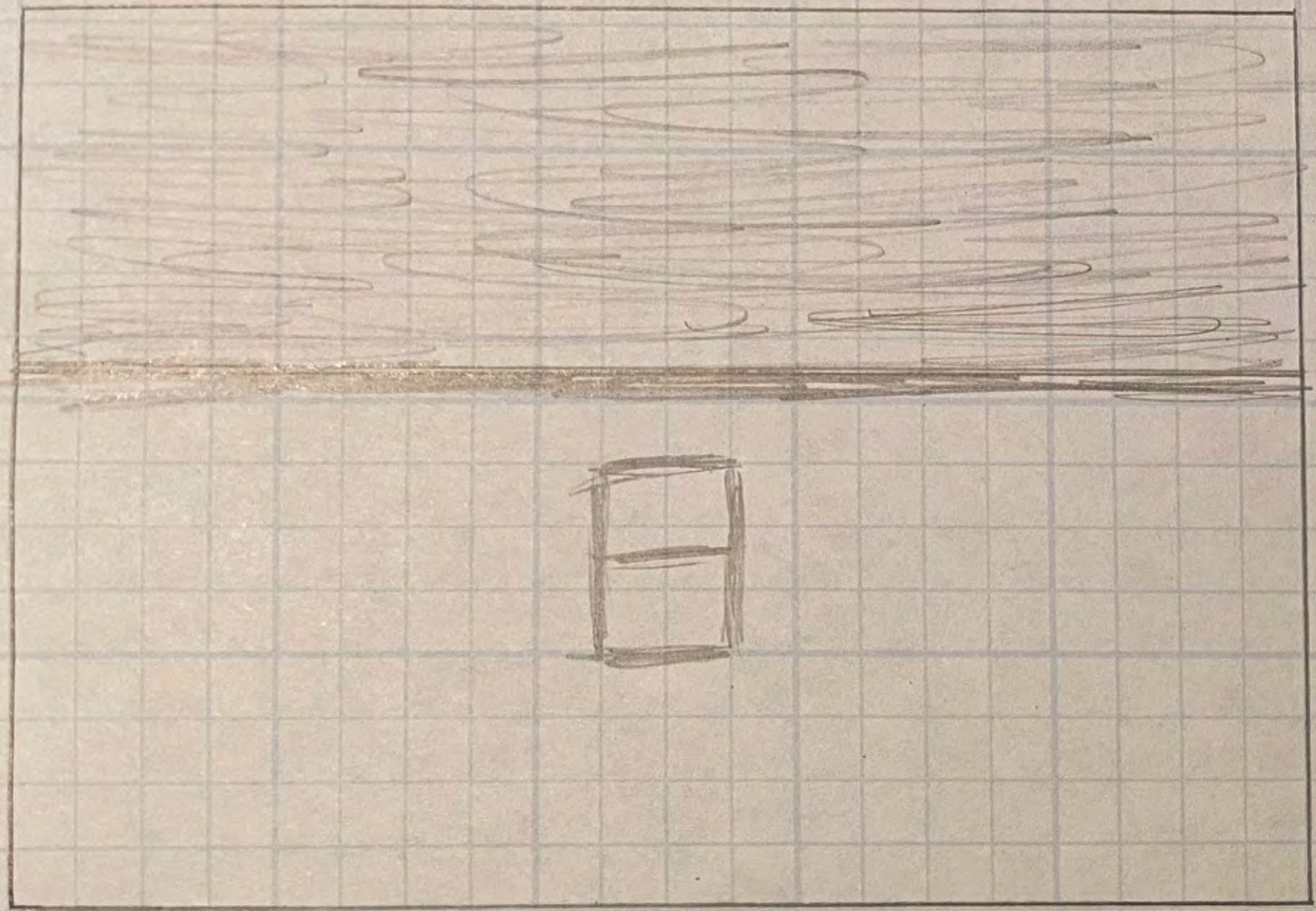
E

EXISTING

NEW

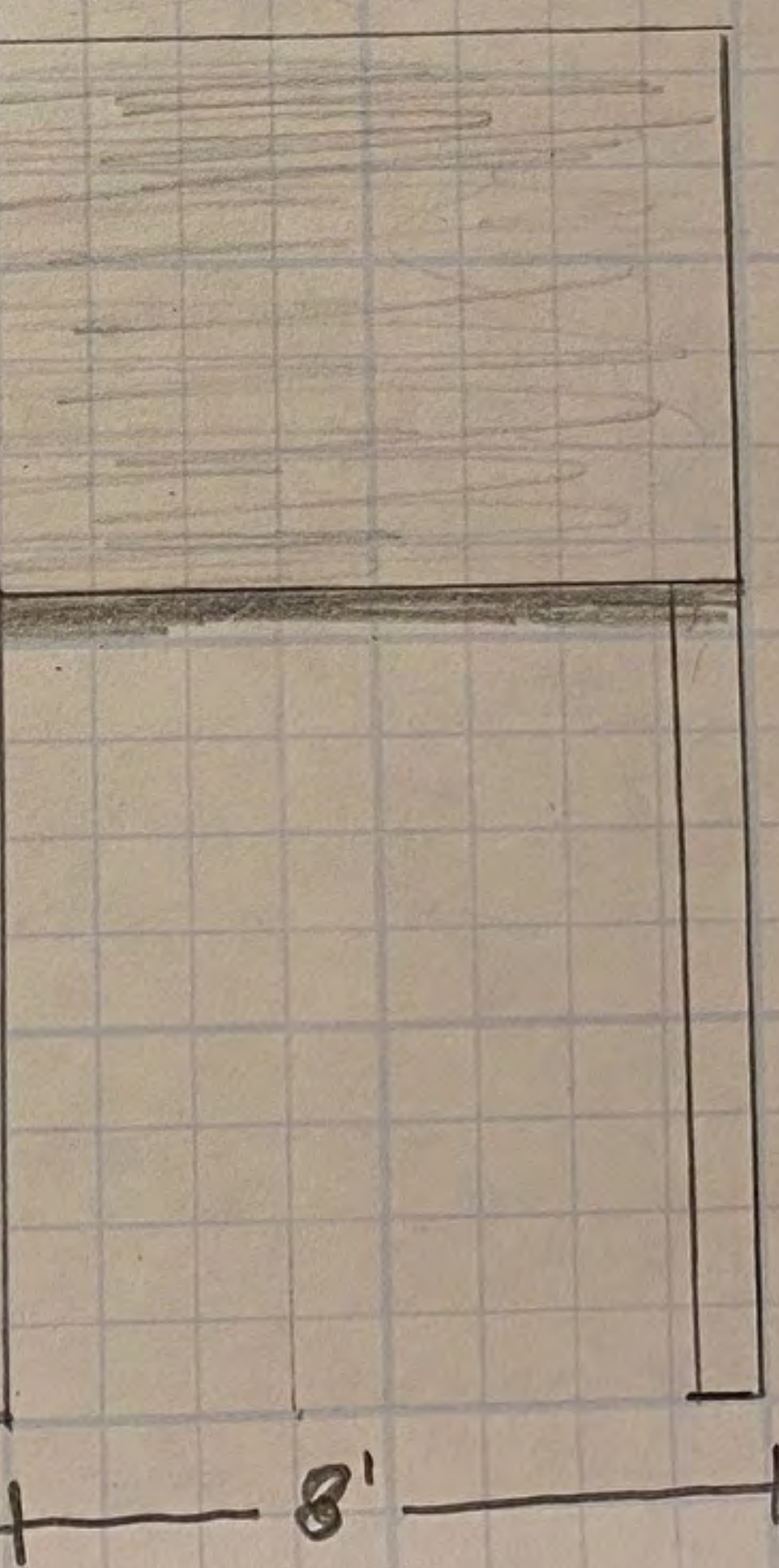
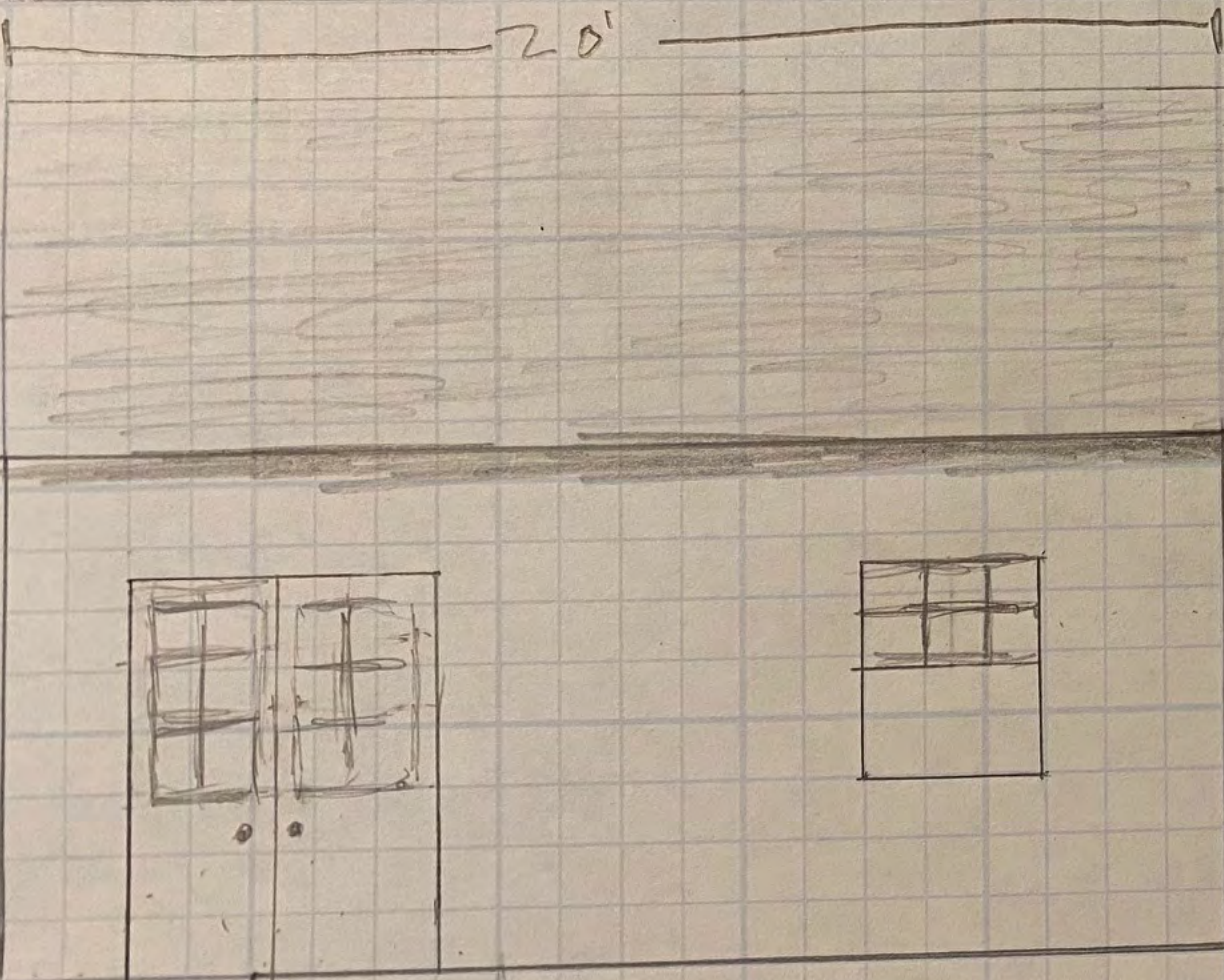
OVERHEAD





EXISTING

SOUTH  
FRONT



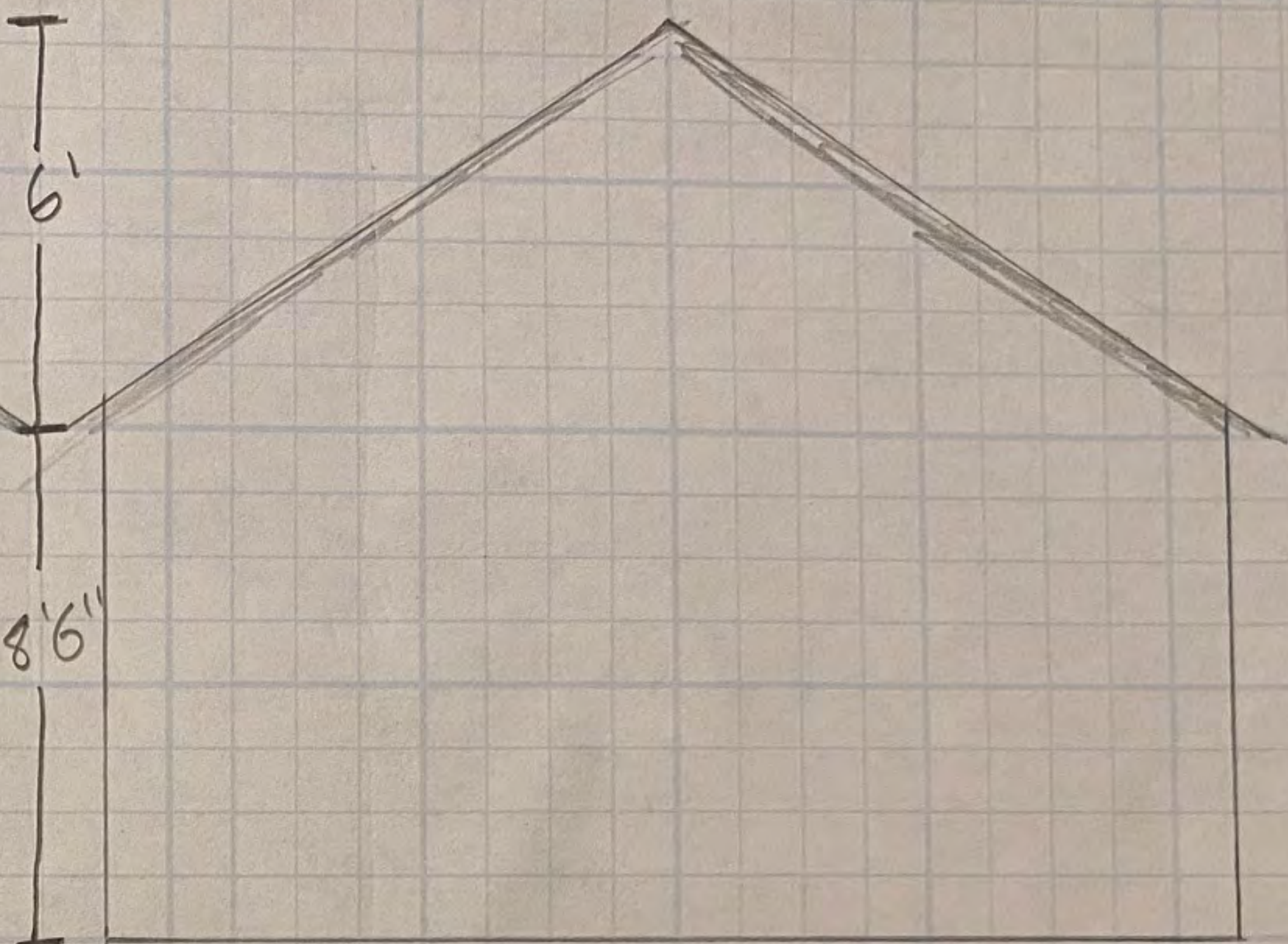
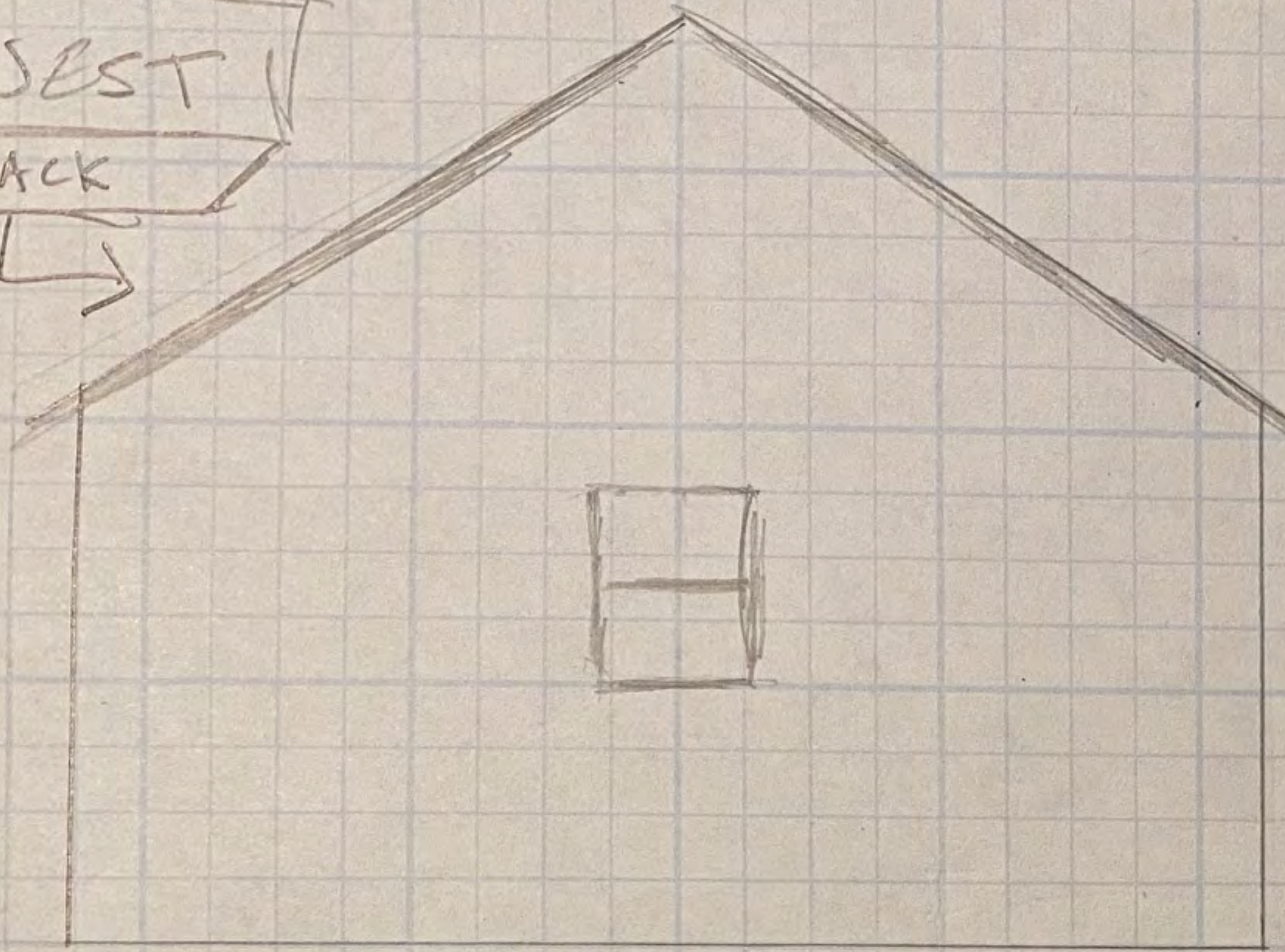
NEW

20'

8'



WEST  
BACK



EXISTING

EAST  
FRONT

