

**Design Review & Historic Preservation Board**  
**Agenda**  
**September 23, 2021**

**RESIDENTIAL APPLICATION FOR REVIEW - RETURNING**

- **21 Warder Drive**  
Applicant is requesting design review for the construction of approximately an 1,700 SF addition with first floor laundry, great room, full bathroom and sun room with the second floor addition including bedroom, bathroom and enclosed porch.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW**

- **5 Sandy Lane**  
Applicant is requesting design review for the construction of approximately an 150 SF sunroom off the back of the existing house.
  
- **23 Butternut Drive**  
Applicant is requesting design review for the construction of approximately an 484 SF addition off the back of the existing house.
  
- **220 Overbrook Road**  
Applicant is requesting design review for the addition to an existing home. The addition will be approximately 272 square feet and will be located to the rear of the property.
  
- **72 Coventry Ridge**  
Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 2800 square feet of livable area and is located in the Coventry Ridge Subdivision.
  
- **73 Coventry Ridge**  
Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3310 square feet of livable area and is located in the Coventry Ridge Subdivision.
  
- **15 Evesham Place**  
Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 3875 square feet of living space in the Malvern Hills Subdivision.
  
- **40 Nature View**  
Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 2940 square feet of livable area and is located in the Country Pointe Subdivision.

**COMMERCIAL APPLICATION FOR REVIEW - SIGNS**

- **3240-3246 Monroe Ave.**  
Applicant has requested design review for the addition of a business identification signs. The building sign will be approximately 54.1 square feet centered over the entrance. The sign meets the zoning for this area and will identify the business "Spectrum".

**Design Review and Historic Preservation Board**  
**Minutes**  
**September 9, 2021**

**PRESENT**

Dirk Schneider, Chairman; Bonnie Salem, John Mitchell, Dave Wigg, Vice-Chair Kathleen Cristman, Paul Whitbeck

**ALSO PRESENT**

Robert Koegel, Town Attorney; Bill Zink, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Leticia Fornataro, Allen Reitz, Building Inspector

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

The Board discussed the subdivision of a property at 2590 Clover Street which is designated historic which is being addressed by the Planning Board. The Board concluded that the language is to how this property was designated allows for this subdivision to occur.

It was noted that there was an article in the Messenger Post regarding the Banners in the Historic District.

Kevin Beckford sent a message that the Town Board is supportive of putting a list of Historic homes on the Town website and staff will be assigned to carry out this task in time for the Historic Preservation month of May 2022.

**CERTIFICATE OF APPROPRIATENESS**

• **810 Allens Creek Road**

The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

This public hearing has remained open.

The property owner, Kim Bailey, was present.

Ms. Bailey described the changes requested by the Board in regards to the notations of materials and specifications on the submitted plans. She indicated the fence would be wooden painted white. The columns will be tapered and square in different locations. The shutters will be a green accent and original shutters will be retained on the home. The windows will be replacement with a 7/8 colonial profile divided lites. The front door and original hardware will be retained and another original door will be repurposed on the carriage house. Sconces will be added to the carriage house and the doors will be wooden painted white. The carriage house will be brick with the same trim and shutters as the house. A soft light will be placed in the cupola.

Bonnie Salem discussed that the replacement windows are not in keeping with the spirit of historic preservation for this home. She would have preferred to see the original windows retained but other Board members expressed that they are pleased that the aluminum screens will be removed.

Dirk Schneider moved to close the Public Hearing.

All Ayes.

A resolution was moved by Board member Dirk Schneider, seconded by Board member John Mitchell, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Nay
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Absent
David Wigg	Aye
Dirk Schneider	Aye

Based upon the above Findings of Fact, the Board concluded that the work proposed by the applicant is compatible with the historic character of the structure and, as such is appropriate.

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- a. New wooden fence to be painted white.
- b. All new shutters are to match existing in kind.
- c. Change all "match existing" to "in kind".
- d. Soft light at the cupola in the carriage.
- e. New railing system on second floor of the addition will be of AZEK composite material and the decking will be mahogany.
- f. All work is to be completed by September 8, 2023.

- **117 East Street**

The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (RN) Residential Neighborhood and is designated historic.

This public hearing remains open.

Eric Schoenhardt was present to discuss the updated plans with the Board. He reviewed the enclosure of the roof over the patio and discussed the materials of the posts and screens. The stoop will remain. Windows will remain but some small shutters will be removed to accommodate the porch addition.

There was no public comment.

Dirk Schneider moved to close the Public Hearing.

John Mitchell seconded.

All Ayes.

A resolution was moved by Board member Bonnie Salem, seconded by Board member Paul Whitbeck, and was voted upon by members of the Board as follows:

Dirk Schneider	Aye
Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Aye
Leticia Fornataro	Absent
David Wigg	Aye
John Mitchell	Aye

Based upon the above Findings of Fact, the Board concluded that the work proposed by the applicant is appropriate and therefore grants a Certificate of Appropriateness.

The granting of the Certificate of Appropriateness was made subject to the following specific conditions:

- a. Shutters that are removed will be preserved for future replacement if needed.
- b. The proposed addition will have a bead board ceiling.
- c. The proposed addition will have one exterior door on the south side as shown in drawing A-1 by Greywood Design.
- d. The gable end of the porch shall match the gable end of the rear addition as shown in the May 19 document page 1.
- e. The screens will have framing with a center divider.
- f. All work is to be completed by December 31, 2022.

## **RESIDENTIAL APPLICATION FOR REVIEW**

- **21 Warder Drive**

The Applicant is requesting design review for the construction of approximately a 1,700 SF addition with first floor laundry, great room, full bathroom and sunroom with the second floor addition including bedroom, bathroom and enclosed porch.

The homeowner, Monir Hossain, was present.

A plan for a previous approval is being amended to include a second floor addition.

The Board asked for a drawing of the north elevation and a roof plan (bird's eye view) in order to be able to come to a decision.

This hearing remains open.

- **25 Creekside Lane**

The Applicant is requesting design review for the construction of approximately a 255 SF garden room addition off the back of the existing house.

The architect, Randall Peacock, was present.

Mr. Peacock described the proposed 15' x 15' four-season room. A change in revised plans submitted on 9/3/21 was made in the plans to include a fireplace in drawing A-2. The cedar siding and trim on the addition will match the existing house. The floor will be insulated. Anderson windows will be installed.

Kathleen Cristman moved to accept the application as submitted.

David Wigg seconded.

All Ayes.

- **38 Coventry Ridge**

The Applicant is requesting design review for the construction of approximately a 256 SF screened in porch addition off the back of the existing house.

The contractor, Dan Kummerow, was present.

A screened porch on an existing patio is proposed. The posts will be trimmed. The baseboard panels will be installed and the aluminum trim will match that on the original on the home. Clear panels or screens will be installed in the eaves.

Dirk Schneider moved to approve the application as submitted with the conditions that the pillars and framing are white to match and the porch roof and shingles match the existing.

John Mitchell seconded.

All Ayes.

- **104 Maywood Avenue**

The Applicant is requesting design review for the construction of approximately a 368 SF addition off the back of the existing house.

The designer, Jim Kruger, was present to discuss the application with the Board. The addition will have a crawl space foundation. The windows and siding will match the existing on the house. The addition will have a vaulted ceiling and fireplace and will not go above the second story windows. A gas fireplace will be installed.

David Wigg moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **146 Caversham Woods**

The Applicant is requesting design review for the construction of approximately a 224 SF addition off the back of the existing house.

Tom Taliento of Tri State Construction was present to discuss the application with the Board.

An addition to be used as a first floor bedroom is being created. All windows on the home will be replaced. The new rear elevation windows will be the same height as the existing. A metal roof on the addition will be the same color as the asphalt shingles on the existing home.

Bonnie Salem moved to approve the application with the condition that the head sill height match the existing windows on the rear elevation.

Kathleen Cristman seconded.

All Ayes.

## **REVIEW OF MINUTES OF JULY 22, 2021 MEETING**

Bonnie Salem moved to accept the minutes of August 26, 2021 with a correction.

All Ayes.

## **ADJOURNMENT**

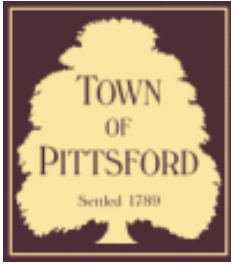
Chairman Dirk Schneider moved to close the meeting at 8:45 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000177**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 21 warder ,  
**Tax ID Number:** 178.06-3-37  
**Zoning District:** RN Residential Neighborhood  
**Owner:** Hossain, Monir  
**Applicant:** 3D Contracting. Dean Leeson

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of approximately an 1,700 SF addition with first floor laundry, great room, full bathroom and sun room with the second floor addition including bedroom, bathroom and enclosed porch.

**Meeting Date:** September 23, 2021

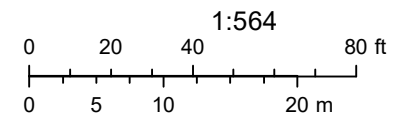




# RN Residential Neighborhood Zoning



Printed August 31, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Warder Dr

# INSTRUMENT SURVEY

ROBERT B. RESAVAGE  
Professional Land Surveyor  
174 Troutbeck Lane  
Rochester, New York 14626  
585-453-9862

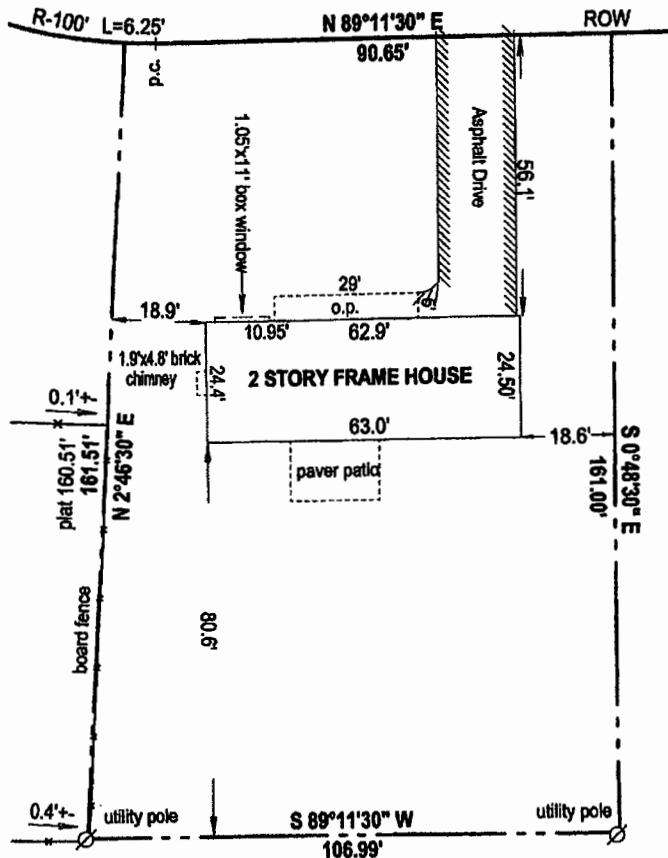


**REFERENCES:**

1. LIBER 170 OF MAPS, PAGES 27 AND 28
2. STEWART TITLE INSURANCE COMPANY ABSTRACT OF TITLE NO. 193238, DATED APRIL 26, 2019
3. LIBER 3703 OF DEEDS, PAGE 124, PERPETUAL EASEMENT AND ROAD DEDICATION
4. LIBER 3746 OF DEEDS, PAGE 376, EASEMENT
5. LIBER 3746 OF DEEDS, PAGE 378, EASEMENT
6. LIBER 9206 OF DEEDS, PAGE 126

## WARDER DRIVE

(60' WIDE))



**CERTIFICATION TO:**

1. MONIR HOSSAIN AND SHAZEDA CHOWDHURY
2. STEWART TITLE INSURANCE COMPANY
3. ROBERT P. FREDRICK, ESQ.
4. KENYON AND KENYON

I, Robert B. Resavage hereby certify that this map was prepared from references listed hereon and notes of an instrument survey completed on

MAY 16, 2019

This parcel is subject to any easements or encumbrances of record.

*Robert B. Resavage*  
Robert B. Resavage, NYSL No. 050055

**SCALE**

1" = 30'

**DATE**

MAY 21, 2019

"If the surveyor's signature is not colored red, the plan is a copy that should be assumed to contain unauthorized alterations. The certification on this plan shall not apply to any copies."

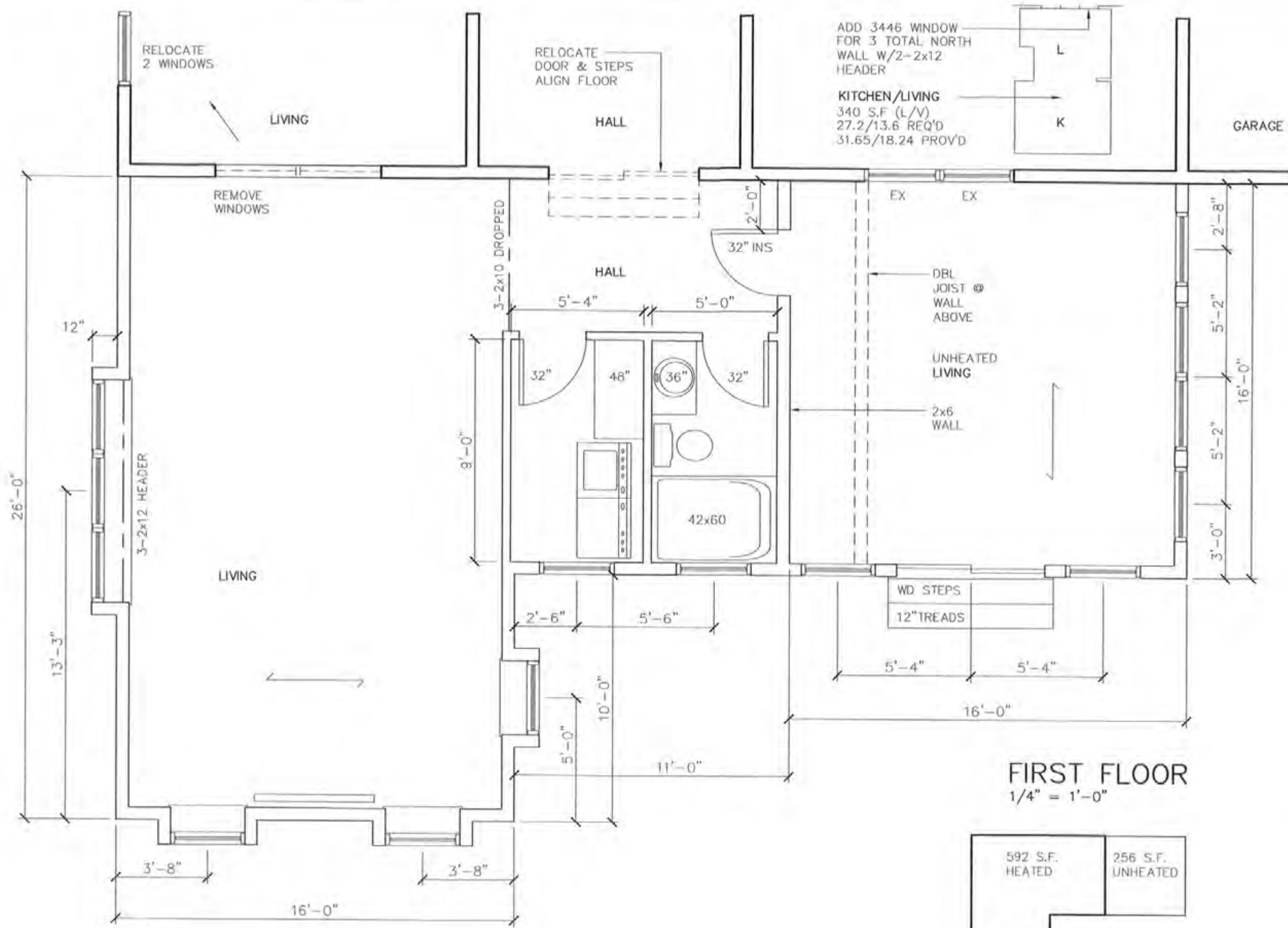
**21 WARDER DRIVE**

**LOT 203 BOCKER FARM SUBDIVISION, SECTION 4**

**TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK**

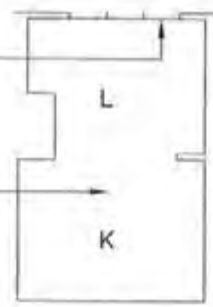
Copyright © 2019 Robert B. Resavage, PLS. All Rights Reserved

"Certifications indicated hereon signify that this survey was prepared in accordance with the Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person for whom the survey is prepared and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners and do not extend to underground improvements or encroachments. Only copies from the original of this survey marked with an original of the land surveyor's inked or embossed seal shall be considered to be valid true copies. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."

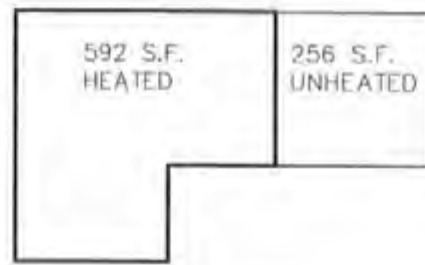


ADD 3446 WINDOW  
FOR 3 TOTAL NORTH  
WALL W/2-2x12  
HEADER

KITCHEN/LIVING  
340 S.F (L/V)  
27.2/13.6 REQ'D  
31.65/18.24 PROV'D



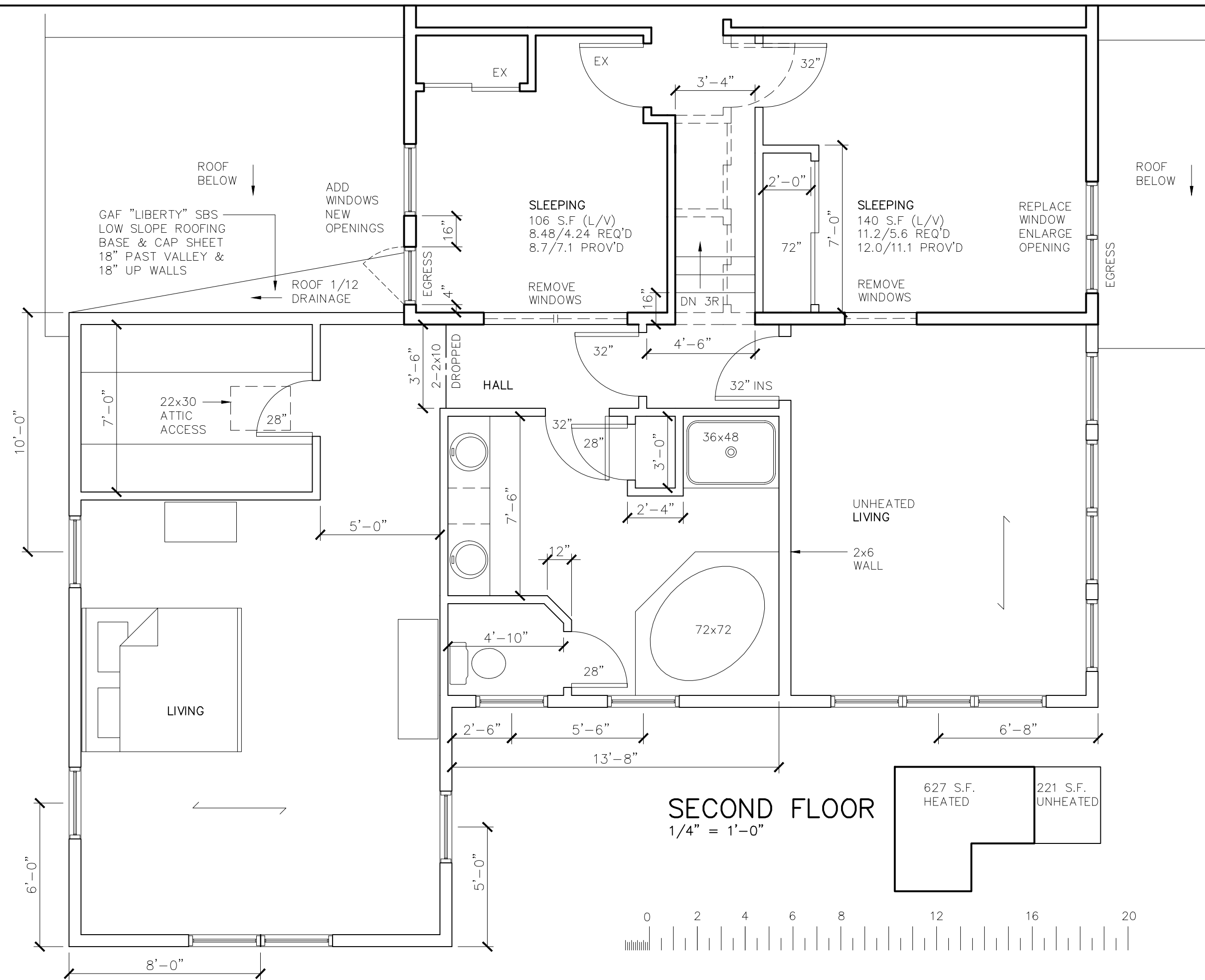
**FIRST FLOOR**  
1/4" = 1'-0"



**HOUSE PLANS**  
FOR  
**21 WARDER DRIVE**  
PITTSFORD, NEW YORK

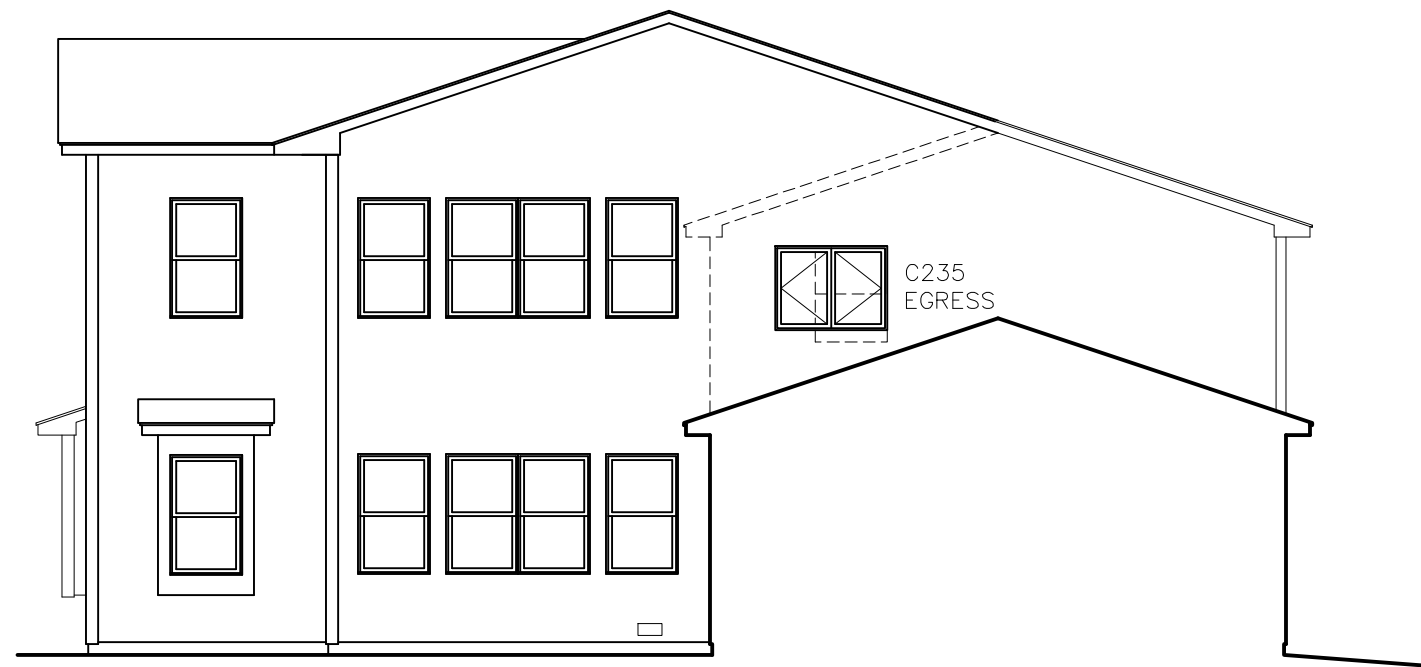
LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

DATE	DWG NO.
8/27/21	A-1



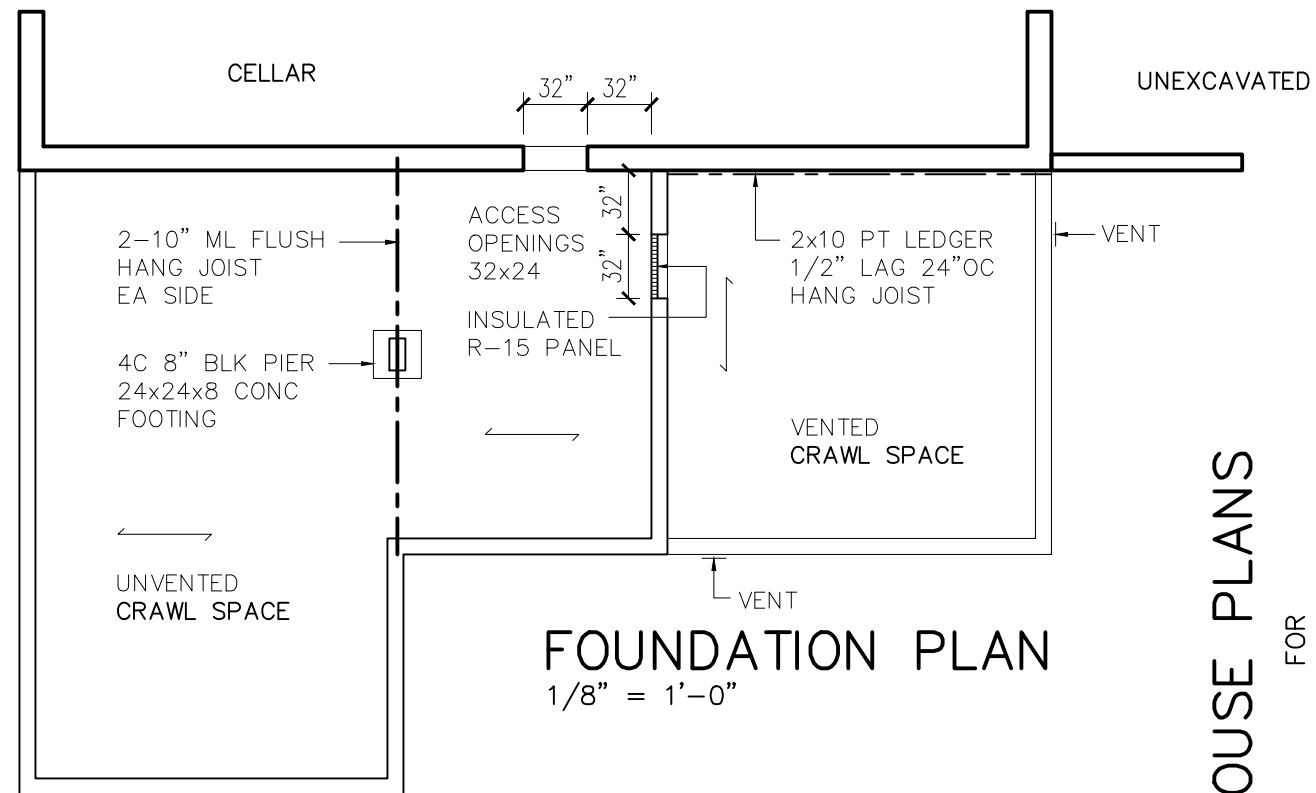
HOUSE PLANS  
FOR  
**21 WARDER DRIVE**  
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC 284 THORNTON ROAD ROCHESTER NY 14617 585-406-4757	
DATE 8/27/21	DW'G NO. <b>A-2</b>

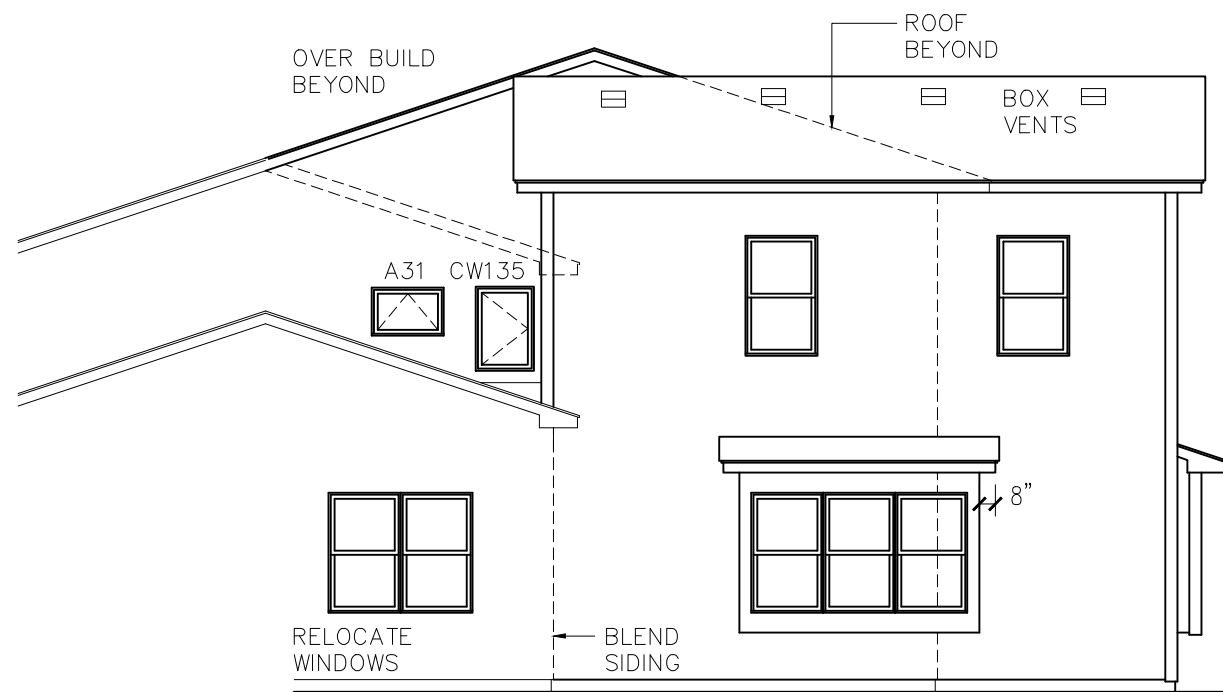


**EAST ELEVATION**  
1/8" = 1'-0"

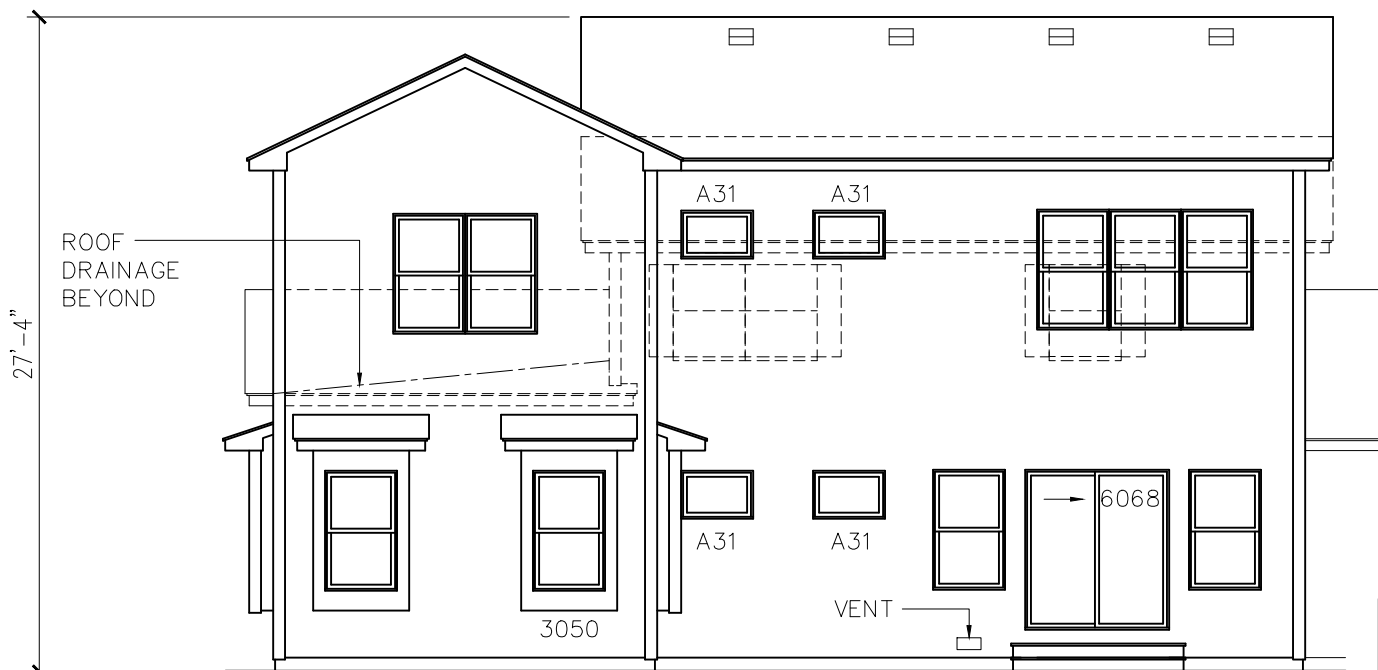
ANDERSEN MODELS SHOWN  
ALL WINDOWS 3050  
UNLESS NOTED



**FOUNDATION PLAN**  
1/8" = 1'-0"



**WEST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"

**HOUSE PLANS**  
FOR  
**21 WARDER DRIVE**  
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC  
 284 THORNTON ROAD  
 ROCHESTER NY 14617  
 585-406-4757

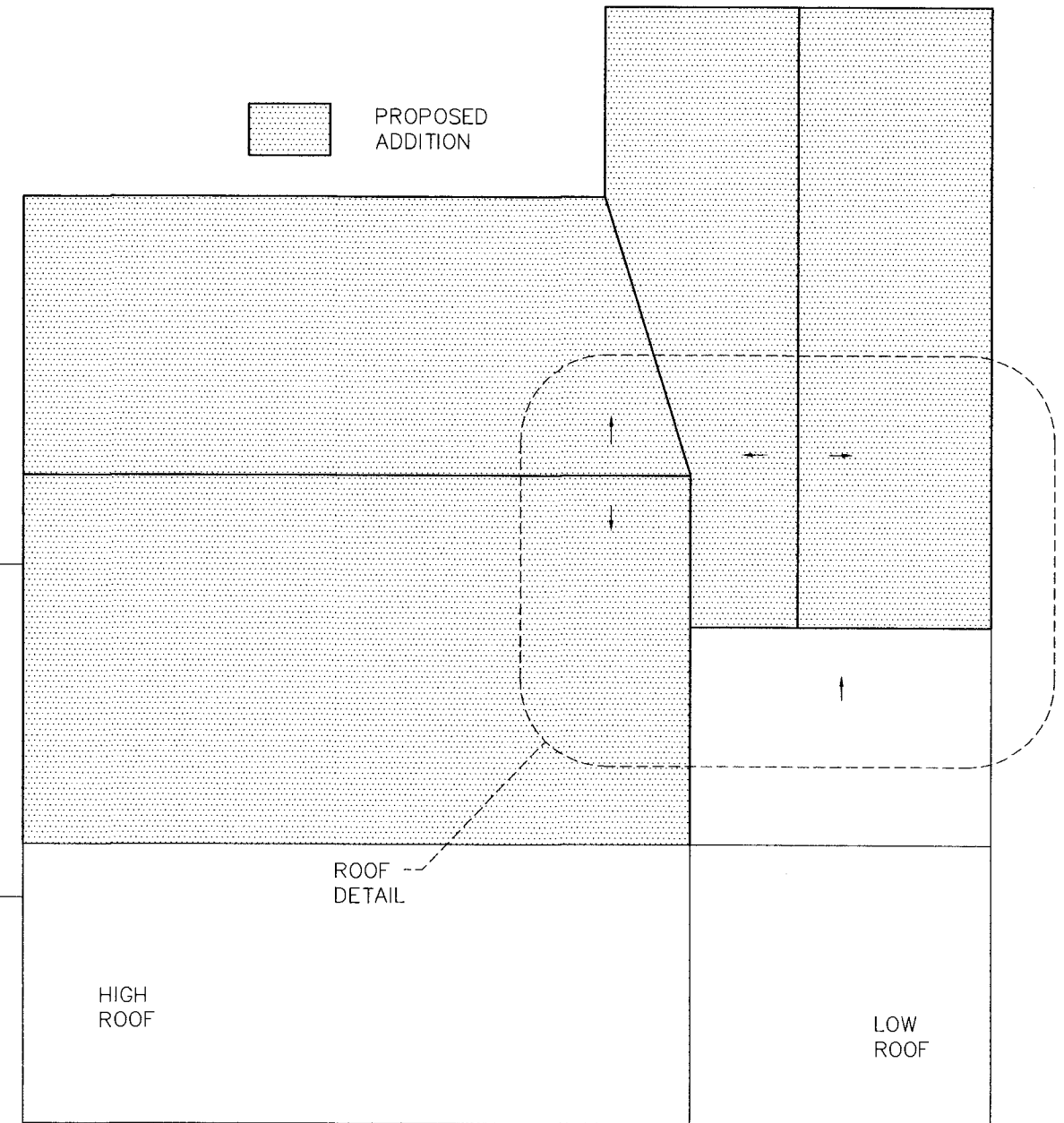
DATE	DW'G NO.
8/27/21	A-3



**NORTH ELEVATION**

1/8" = 1'-0"

PROPOSED  
ADDITION



LOW  
ROOF

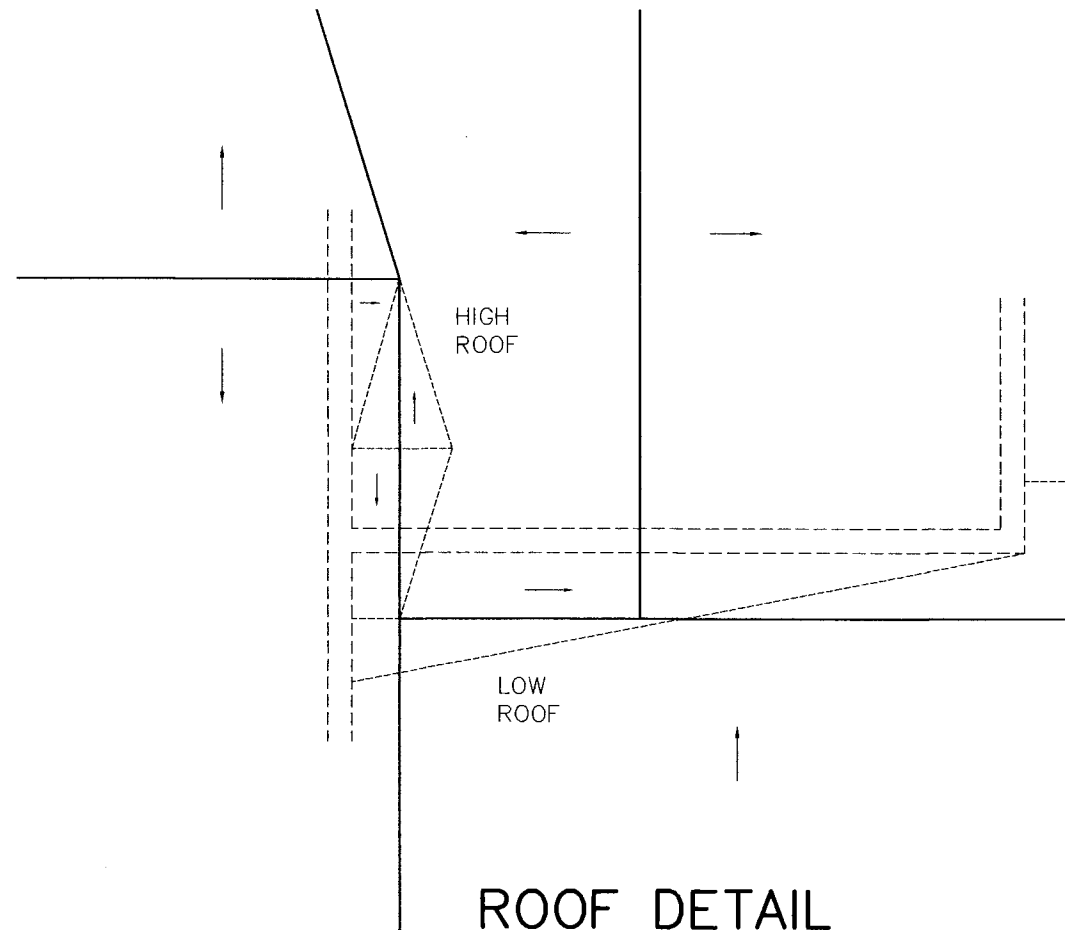
ROOF  
DETAIL

HIGH  
ROOF

LOW  
ROOF

**ROOF PLAN**

1/8" = 1'-0"



HIGH  
ROOF

LOW  
ROOF

**ROOF DETAIL**

1/4" = 1'-0"

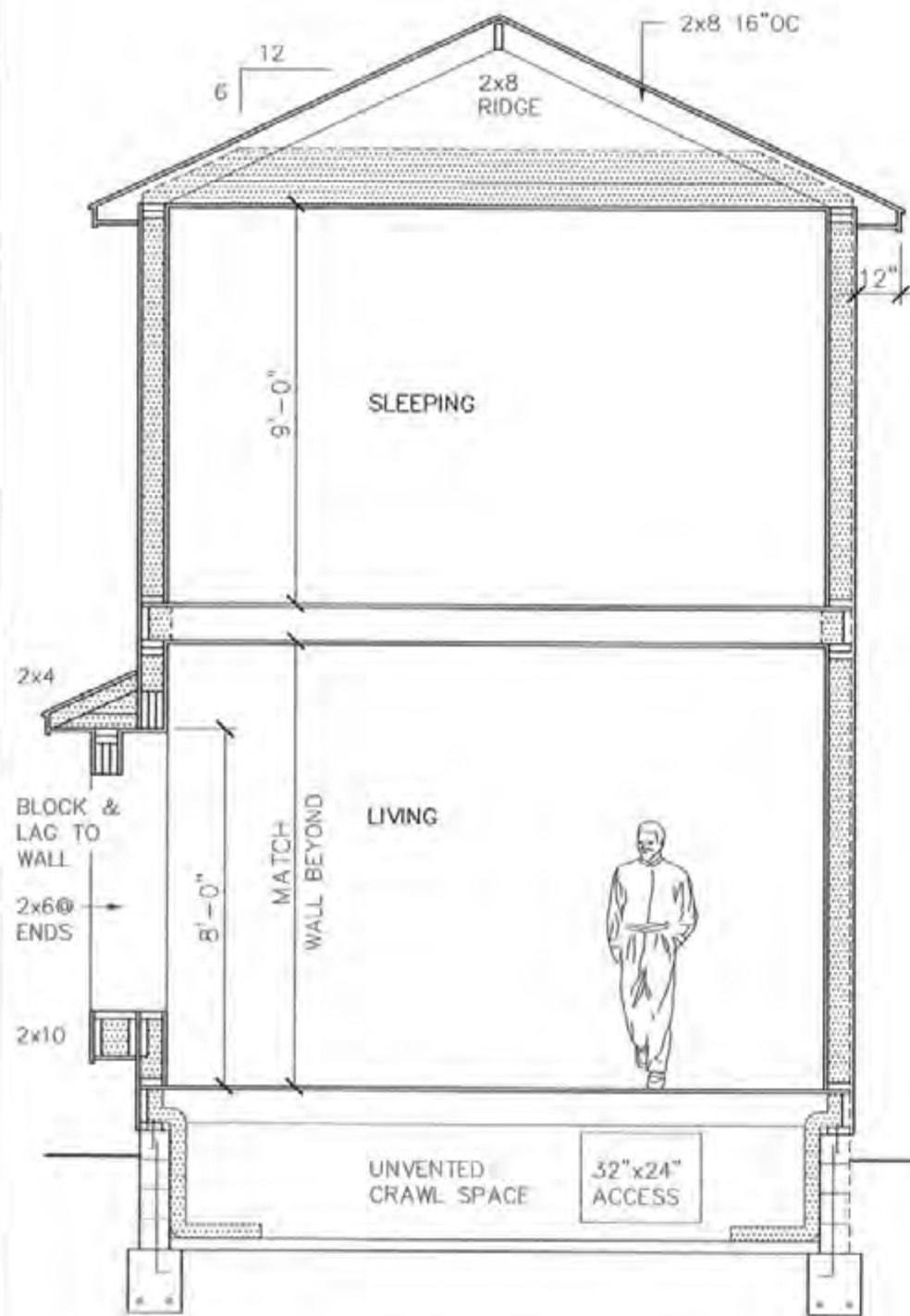


**HOUSE PLANS**  
FOR  
**21 WARDER DRIVE**  
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

DATE  
9/10/21

DW'G NO.  
**SKA-1**



**BUILDING SECTION**  
1/4" = 1'-0"

ALIGN

ASPHALT SHINGLE ON  
15# FELT PAPER ON  
2 COURSE ICE & WATER @ EAVES  
BOX VENTS

1/2" CDX PLYWD SHEATHING ON  
2x RAFTER 16"OC  
R-38 KRAFT BATT INS  
W/ BAFFLE @ EAVES

ALUM FASCIA ON WOOD BLOCKING  
VINYL SOFFIT CONTINUOUS VENTED  
ALUM GUTTER AND DOWNSPOUTS

2x10 FLOOR JOIST 16"OC  
3/4" T&G PLYWOOD SUBFLOOR

3-2x8 HEADERS UNLESS NOTED

1/2" DRYWALL

VINYL SIDING AND ACCESSORIES  
OVER AIR BARRIER

2x6 WOOD STUD 16"OC  
1/2" EXT PLYWD SHEATHING  
R-19 KRAFT BATT INS  
2x4 16"OC INTERIOR WALLS

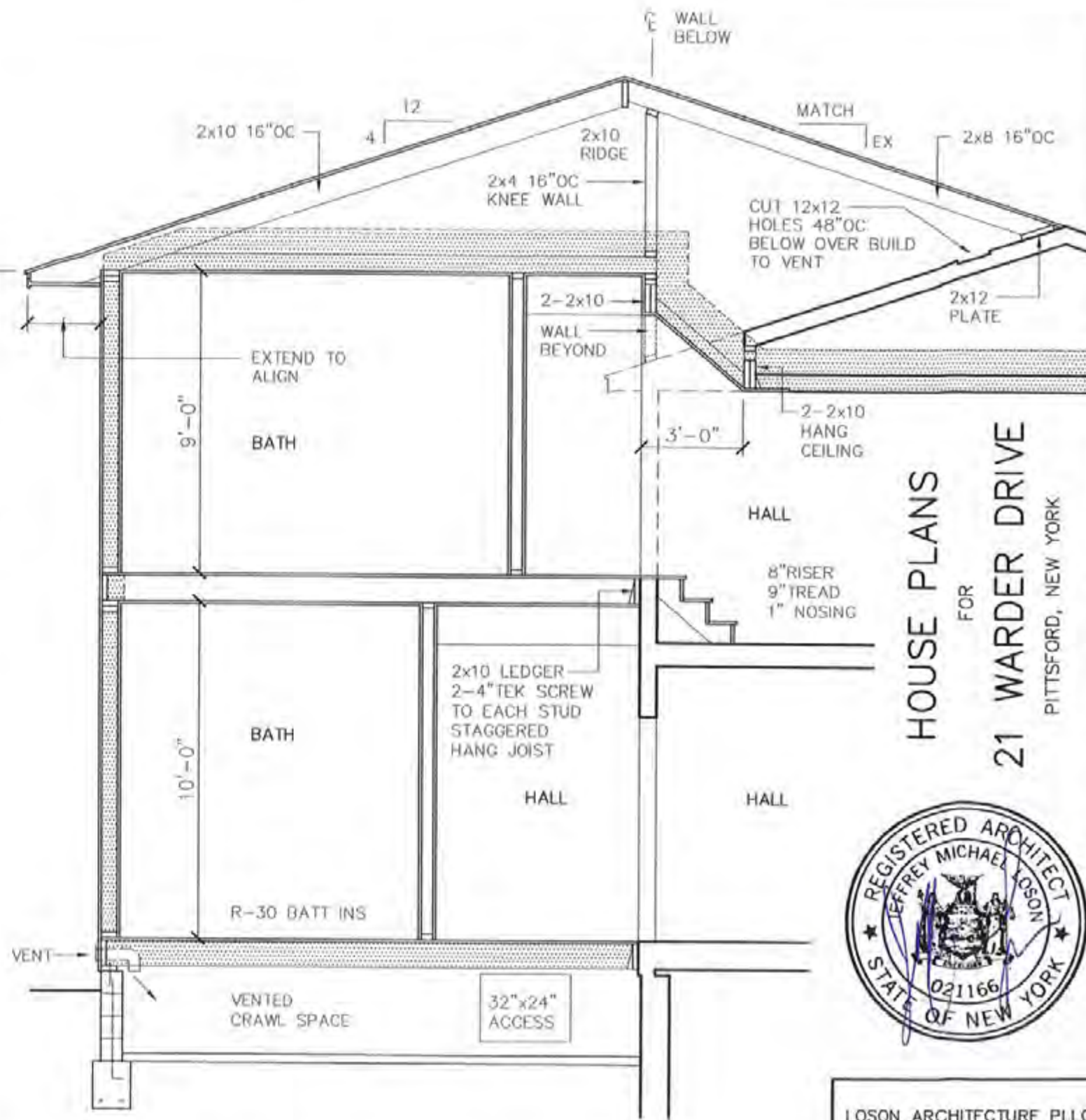
2x10 FLOOR JOIST 12"OC  
3/4" T&G PLYWOOD SUBFLOOR

2x6 PT SILL PLATE & SILL  
ANCHOR TO BLOCK 6'-0" OC

4 COURSE BLOCK ON  
14" CONC TRENCH FOOTING W/  
#4 DOWEL 6'-0"OC &  
2-#4 BARS CONTINUOUS

3" CONC MUD SLAB ON  
10 MIL POLY

R-15 VINYL WRAPED BLANKET INS  
ON WALL & 24" ONTO FLOOR



**BUILDING SECTION**  
1/4" = 1'-0"

HOUSE PLANS  
FOR  
21 WARDER DRIVE  
PITTSFORD, NEW YORK



LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

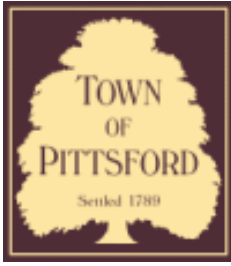
DATE	DW'G NO.
8/27/21	A-4











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000181**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 5 Sandy Lane PITTSFORD, NY 14534

**Tax ID Number:** 163.02-2-51

**Zoning District:** RN Residential Neighborhood

**Owner:** Stolberg, Meyer

**Applicant:** Stolberg, Meyer

#### Application Type:

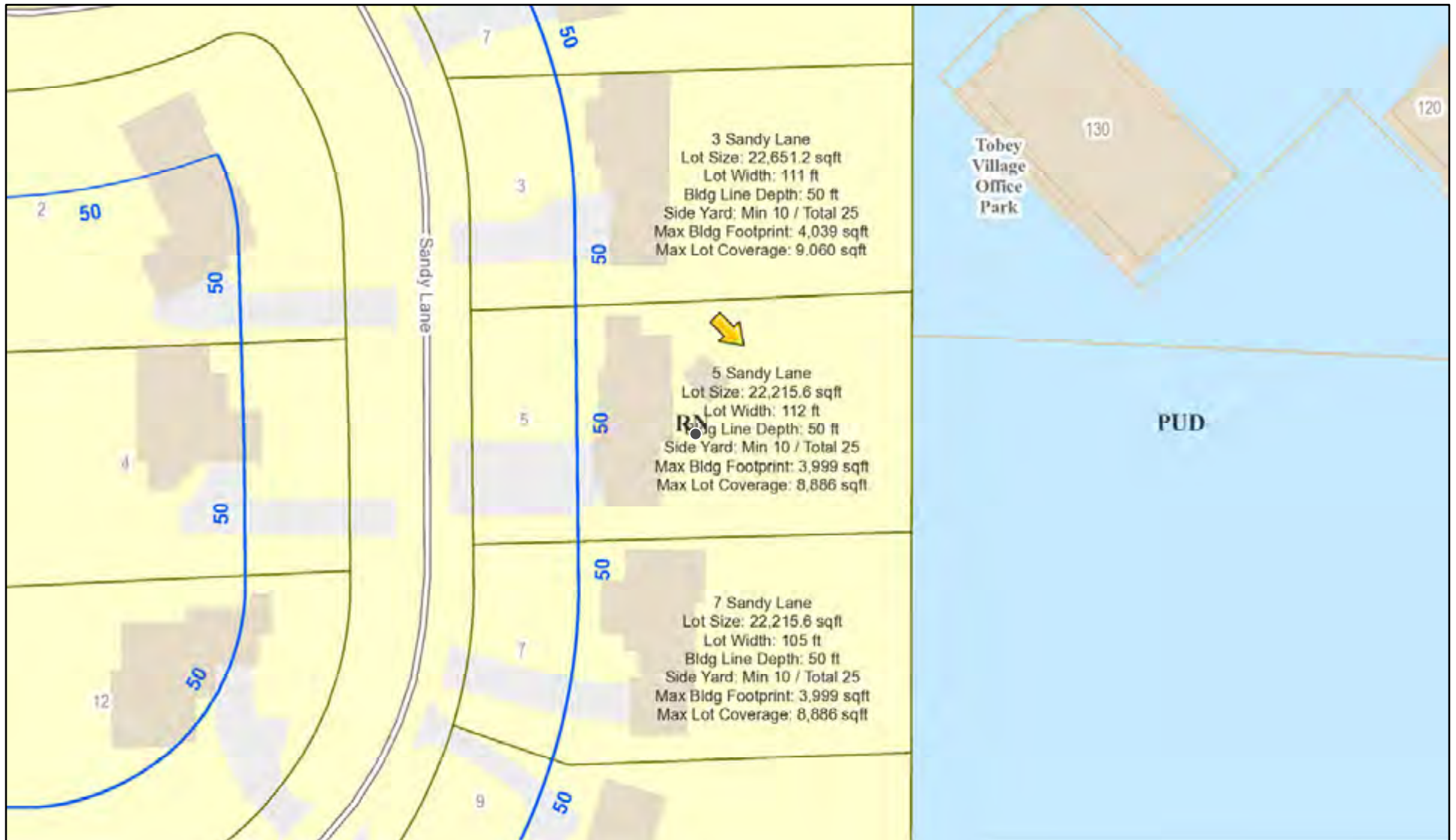
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of approximately an 150 SF sunroom off the back of the existing house.

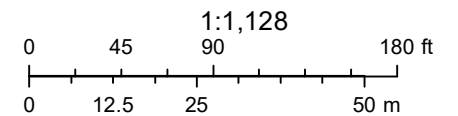
**Meeting Date:** September 23, 2021



# RN Residential Neighborhood Zoning



Printed September 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Sandy Ln

Sandy Ln

Sandy Ln



# SANDY LANE

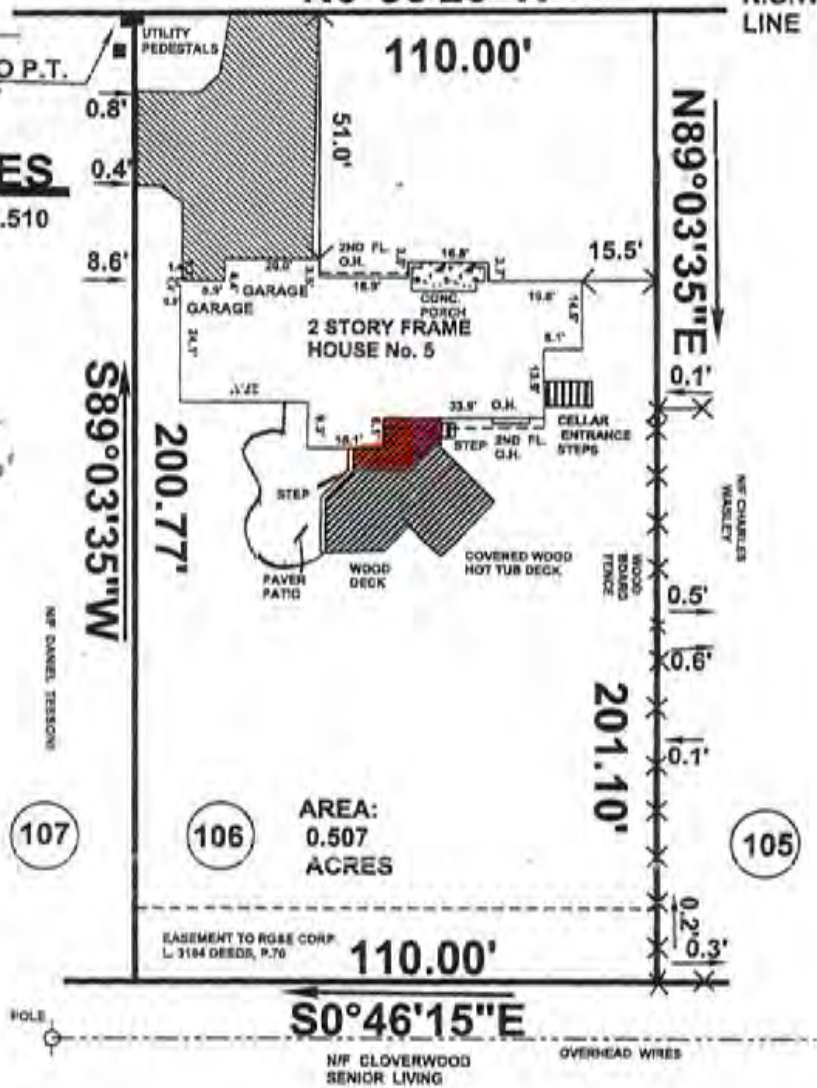
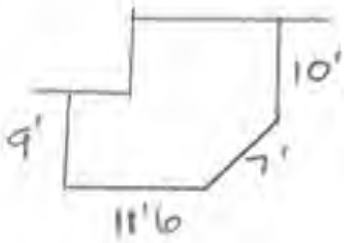
$N0^{\circ}56'25''W$  60' R.O.W.

R.O.W. LINE

25.31' TO P.T. LOT 107

## REFERENCES

1. L. 10479 DEEDS, P. 510
2. L. 225 MAPS, P. 17 AND P. 18



AREA: 0.507 ACRES

EASEMENT TO ROSE CORP. L. 3144 DEEDS, P. 70

$S0^{\circ}46'15''E$

N/F CLOVERWOOD SENIOR LIVING

OVERHEAD WIRES

\*GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.\*

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

\*UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON JANUARY 9, 2012 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON JANUARY 6, 2012 USING THE REFERENCE MATERIALS LISTED.

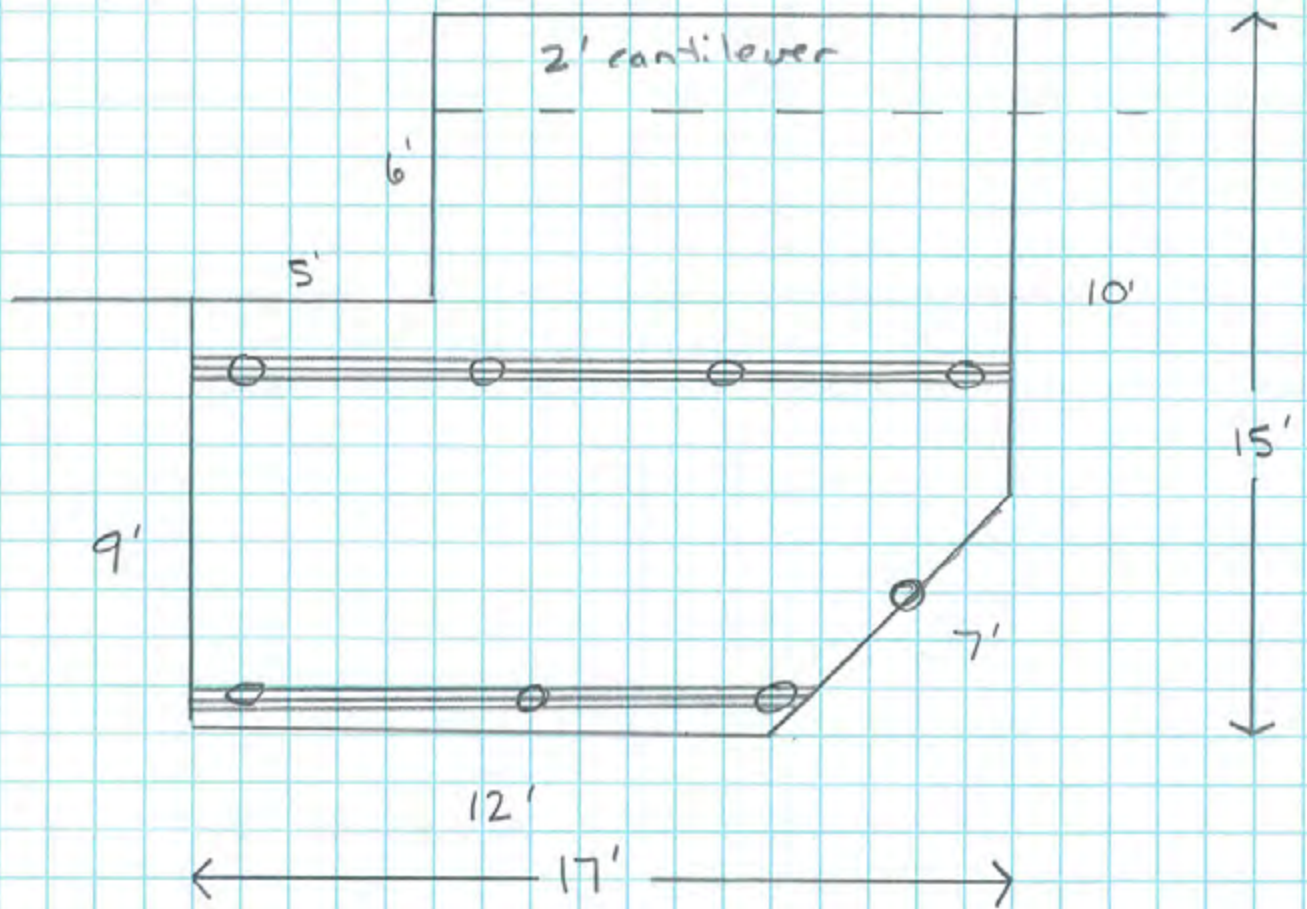
## CERTIFIED TO:

1. MEYER STOLBERG
2. MICHELE STOLBERG
3. RICHARD REITKOPP, ESQ.
4. THE TITLE INSURANCE COMPANY INSURING THE PROPERTY



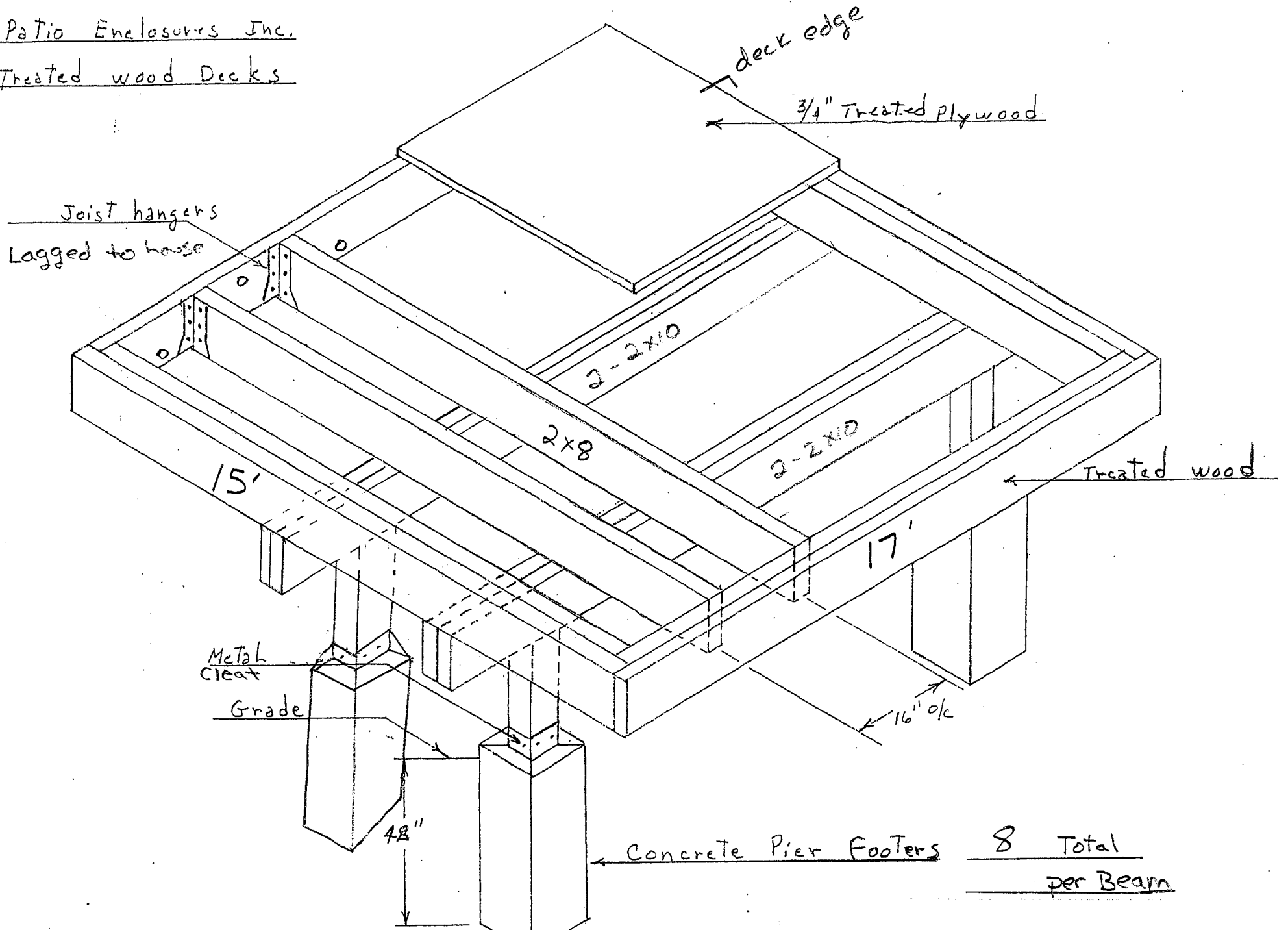
BRUCE E. BRICE





- Tear out and haul away the existing decks
- New treated deck per attached, Footer location shown above (8 total)
- Tempered glass windows and doors on all walls
- 3" Foam core/Aluminum skin roof, shed style, mounted off the house cantilever
- Gutter to grade
- Brass floor outlets, ceiling fan, flood lights

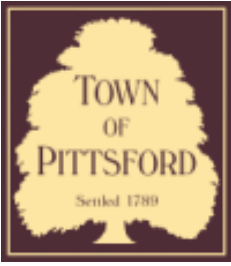
Construction View of  
Patio Enclosures Inc.  
Treated wood Decks











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000191**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 23 Butternut Drive PITTSFORD, NY 14534

**Tax ID Number:** 165.09-1-26

**Zoning District:** RN Residential Neighborhood

**Owner:** Davis, Joanne A

**Applicant:** Davis, Joanne A

#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                    | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

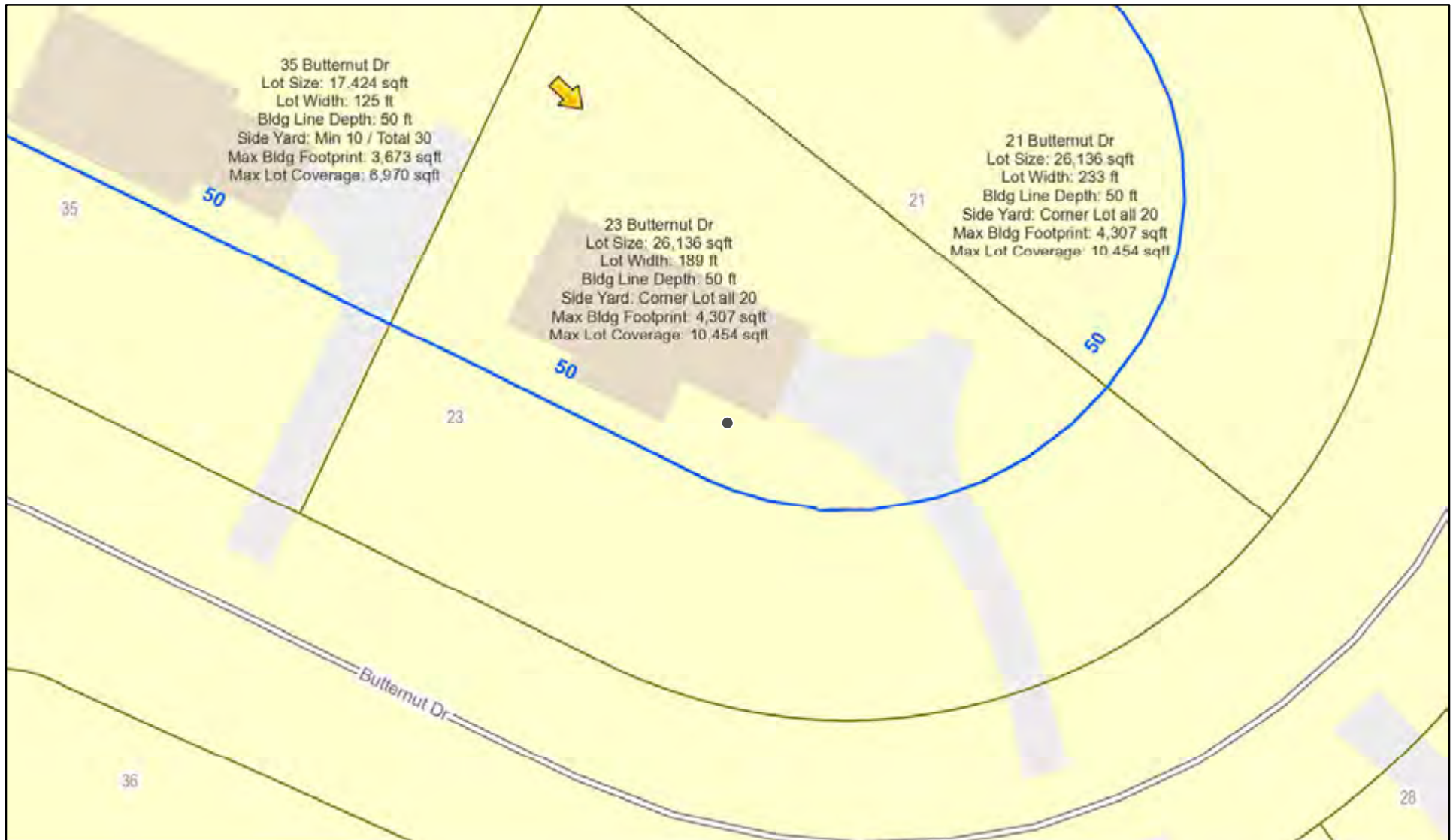
**Project Description:** Applicant is requesting design review for the construction of approximately an 484 SF addition off the back of the existing house.

**Meeting Date:** September 23, 2021

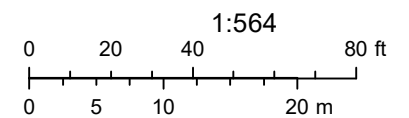


Butternut Dr

# RN Residential Neighborhood Zoning



Printed September 17, 2021



Town of Pittsford GIS

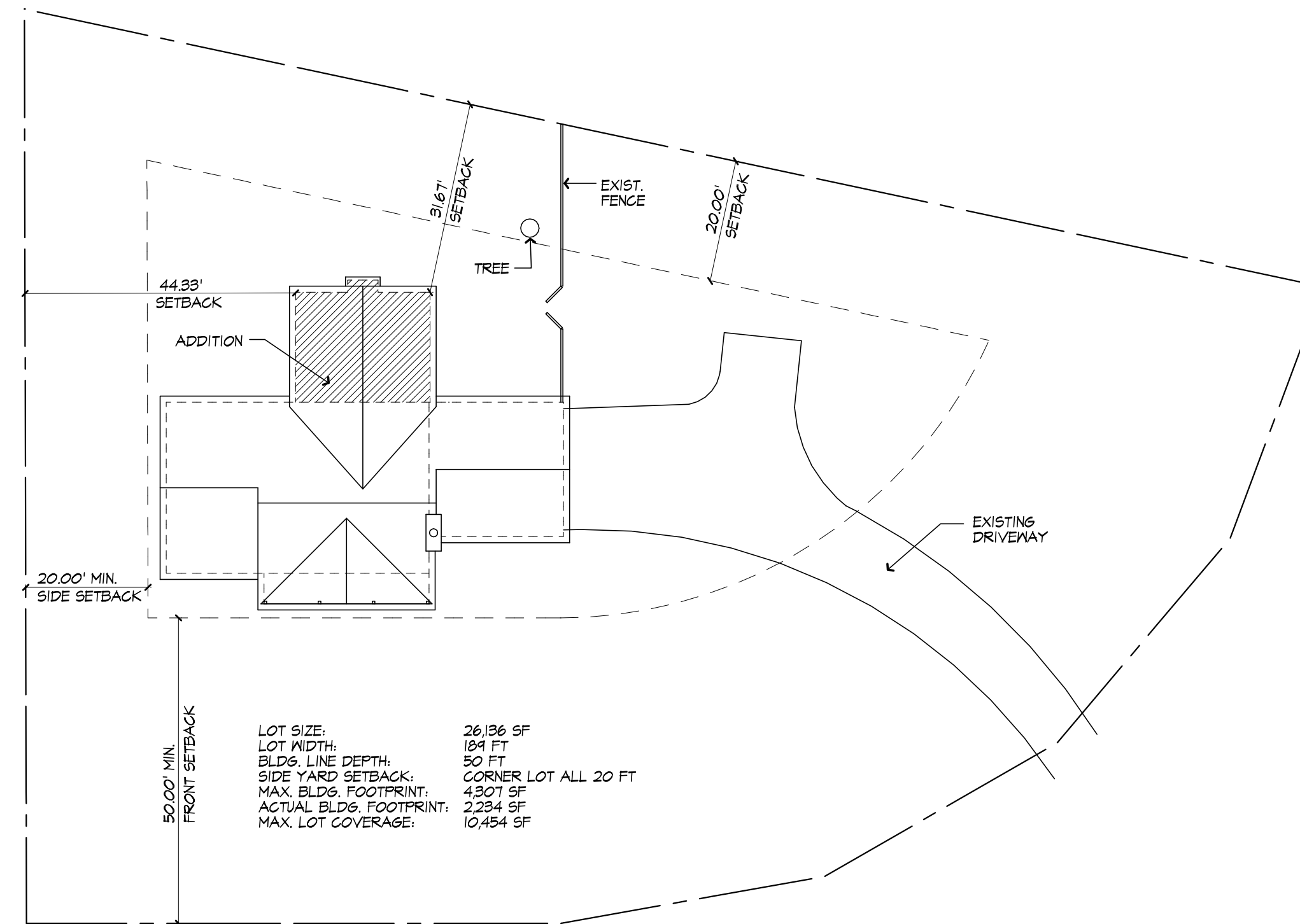
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





# GENERAL NOTES:

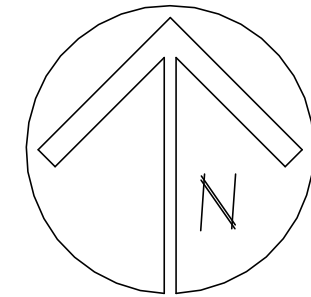
- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES: STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
2500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-36. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 709.2 OF THE RESIDENTIAL CODE OF NEW YORK (2015).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015).
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015).
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



## PLOT PLAN

SCALE: 1"=20'-0"

\* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS



**JOANNE DAVIS**

**ADDITION**

**23 BUTTERNUT DR., PITTSFORD, NY**

# DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
	REAR/RIGHT SIDE ELEVATIONS
3	BASEMENT/FOUNDATION PLAN
4	1ST FLOOR PLAN
5	ROOF PLAN, BUILDING SECTIONS, DETAILS, AND WALL SECTION

## ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	32	30
2. CEILING R-FACTOR	49	49
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30
6. SLAB R-VALUE & DEPTH	R-10 @ 24" DEEP	R-10 @ 24" DEEP

## 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1102.4.1.
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5.
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1.
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4.
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5).
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3.
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1.
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.6.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

## BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1942
- ROOF TIE DOWN REQUIREMENTS R602.1.1



MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
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PROJECT:  
ADDITION  
23 BUTTERNUT DR  
PITTSFORD, NY

CLIENT:  
JOANNE DAVIS

DRAWING:  
TITLE PAGE

DRAWN:  
PM/JTL

CHECKED:  
V

DATE: SEPTEMBER 2021

SCALE: 1/4"=1'-0"

JOB NO.: 19M3844

SHEET:

1

OF 5 SHEETS

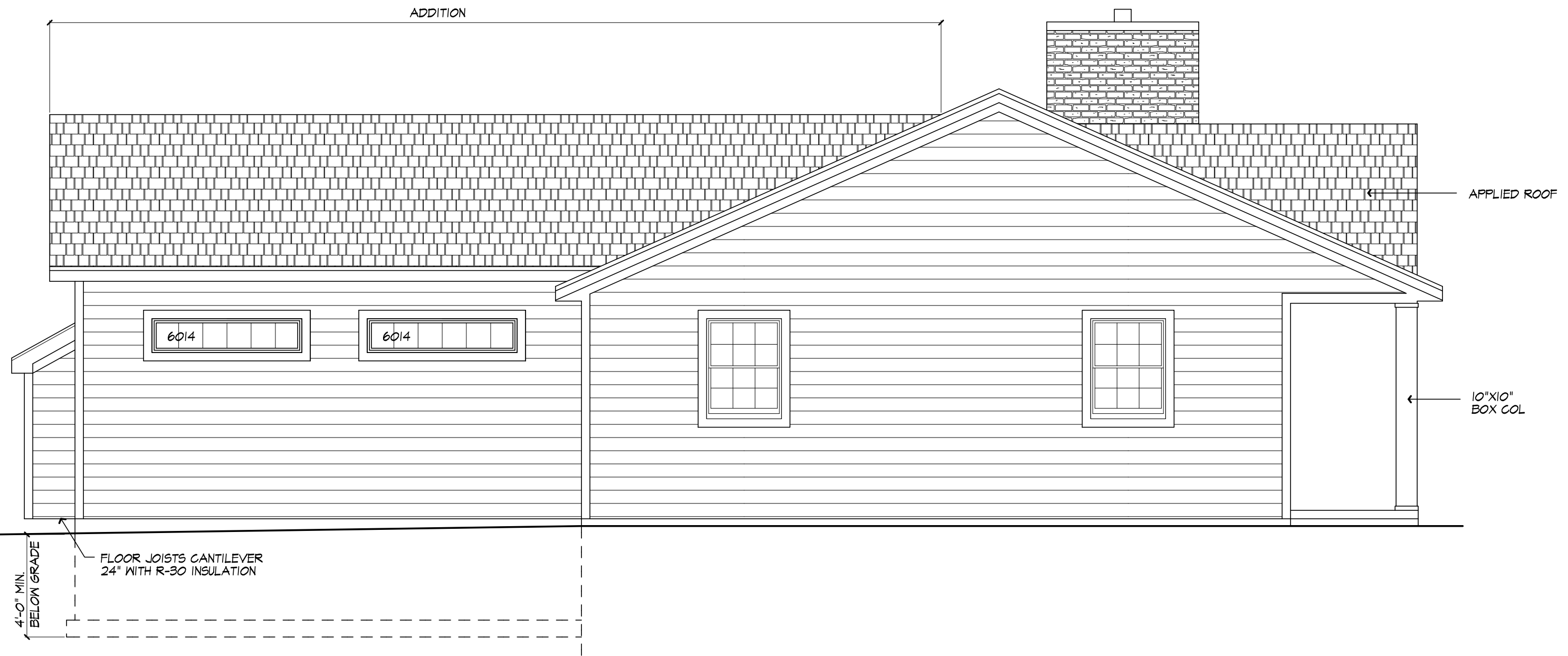


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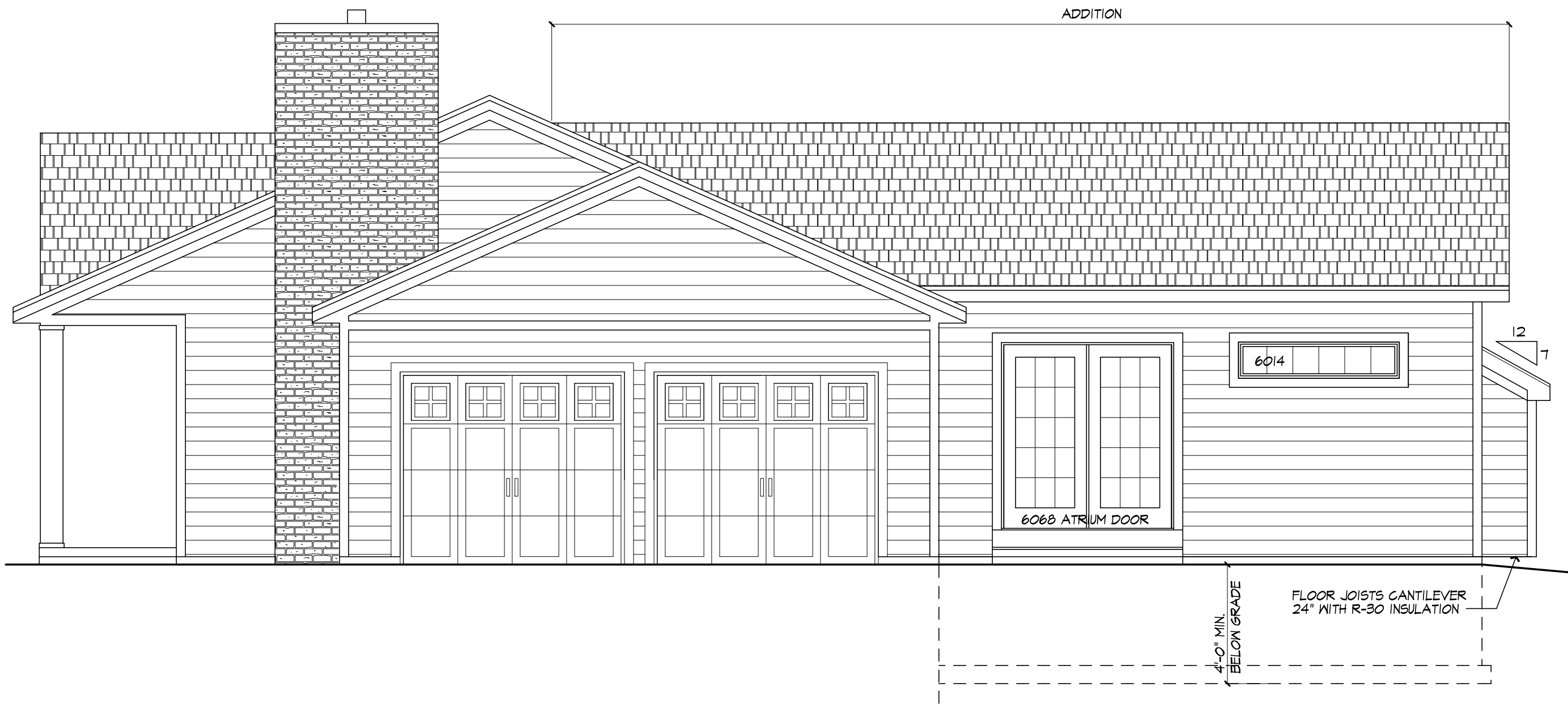


**FRONT ELEVATION**  
 PROPOSED

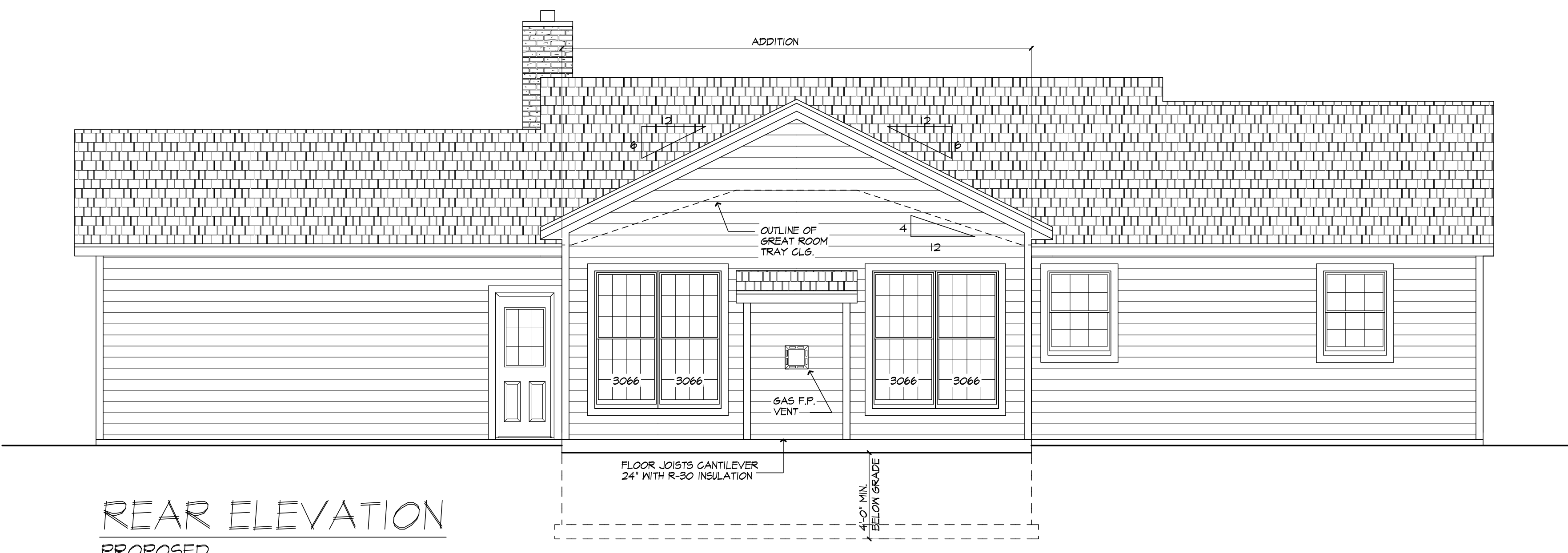
ALL EXTERIOR FINISHES TO MATCH EXISTING



**LEFT SIDE ELEVATION**  
 PROPOSED



**RIGHT SIDE ELEVATION**  
 PROPOSED



**REAR ELEVATION**  
 PROPOSED

**PROJECT:**  
 ADDITION  
 28 BUTTERNUT DR  
 PITTSFORD, NY

**CLIENT:**  
 JOANNE DAVIS

**DRAWING:**  
 ELEVATIONS - PROPOSED

**DRAWN:** PM/JTL  
**CHECKED:** V

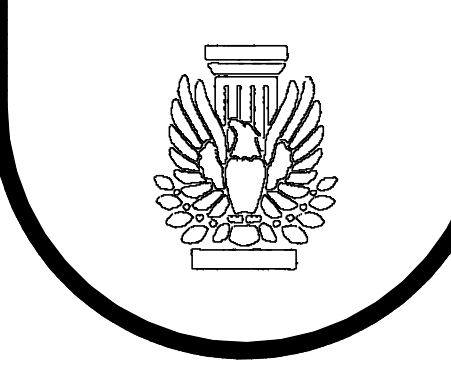
**DATE:** SEPTEMBER 2021

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 19M3844

**SHEET:**

**2**  
 OF 5 SHEETS



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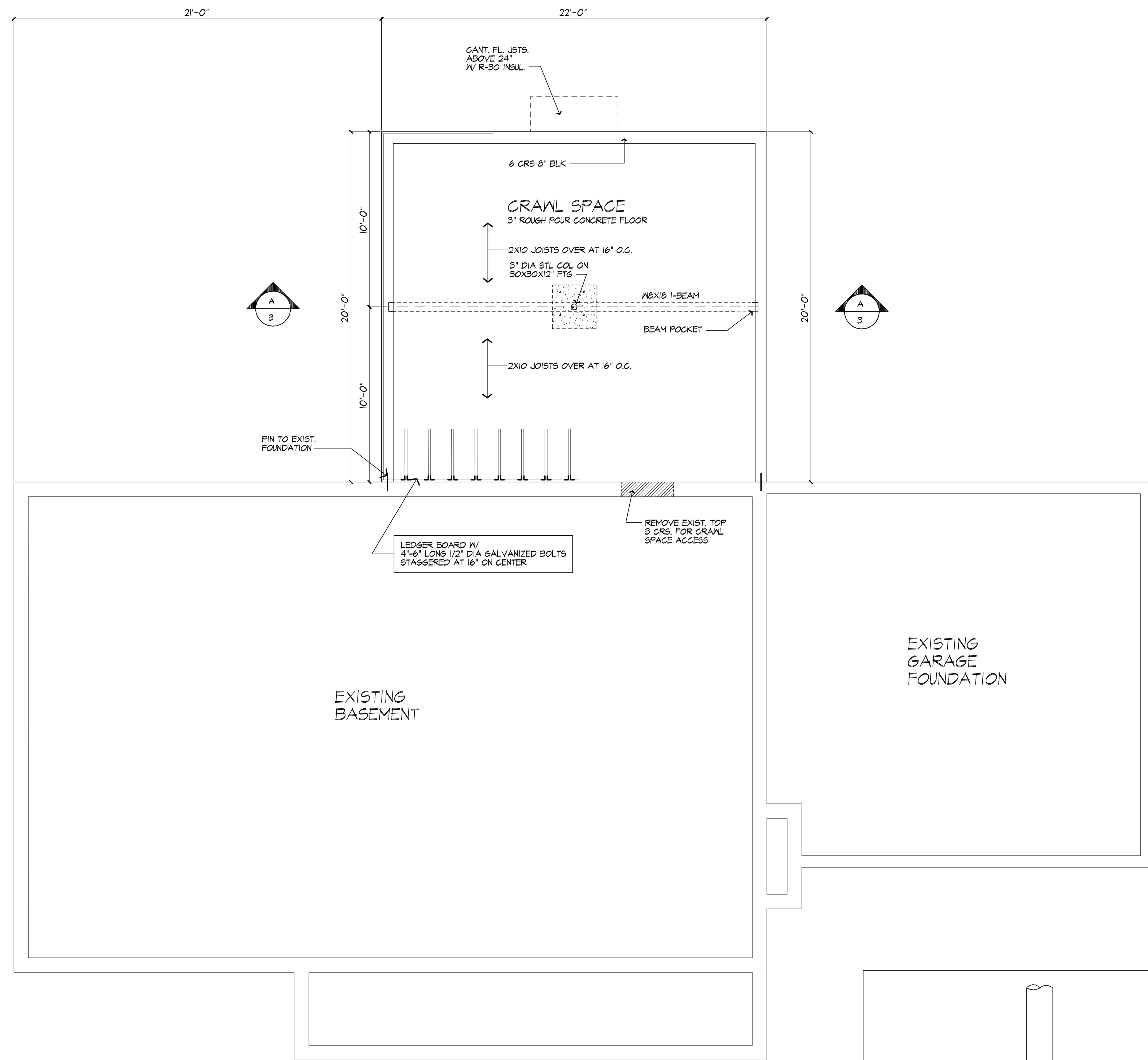
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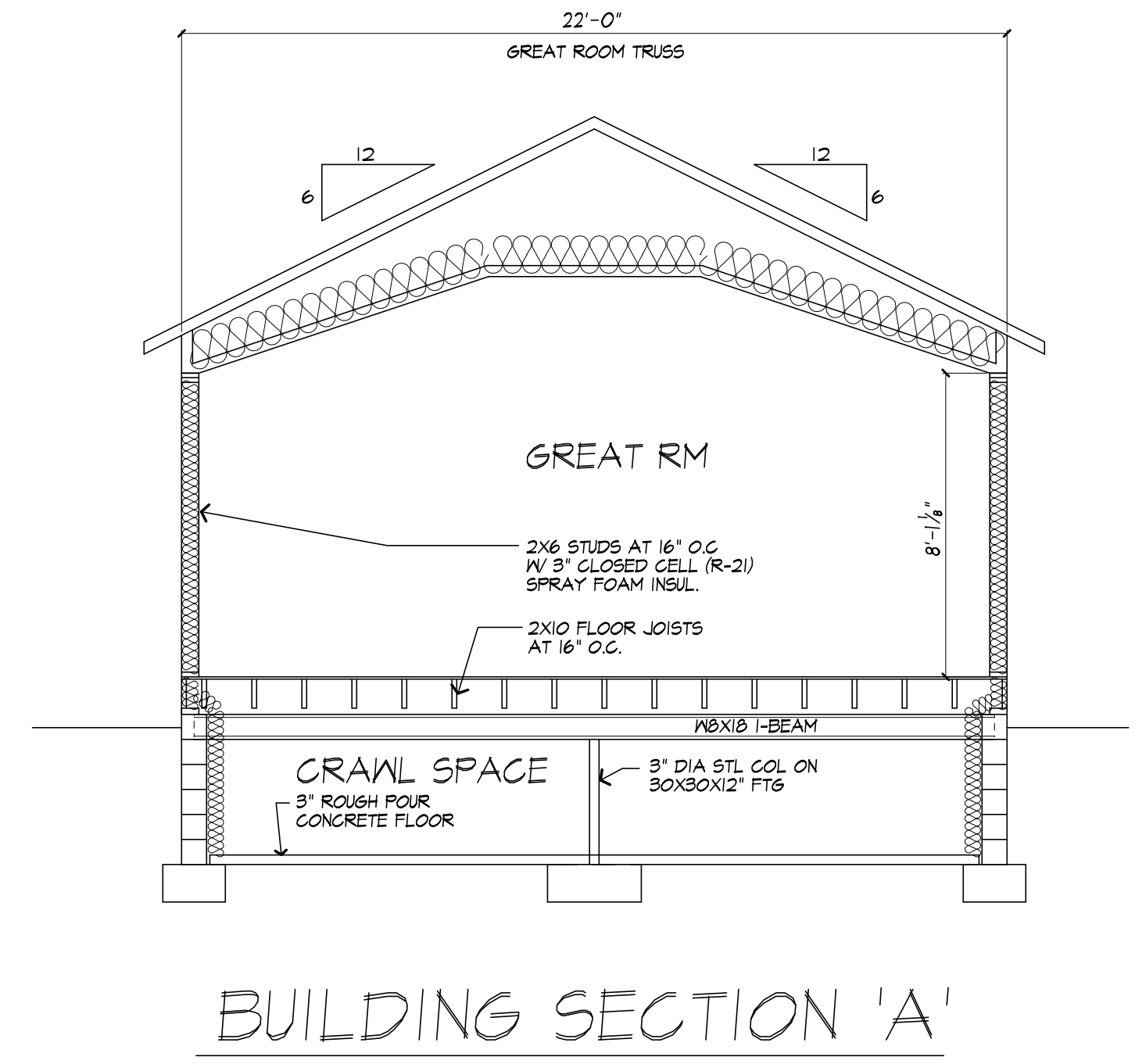
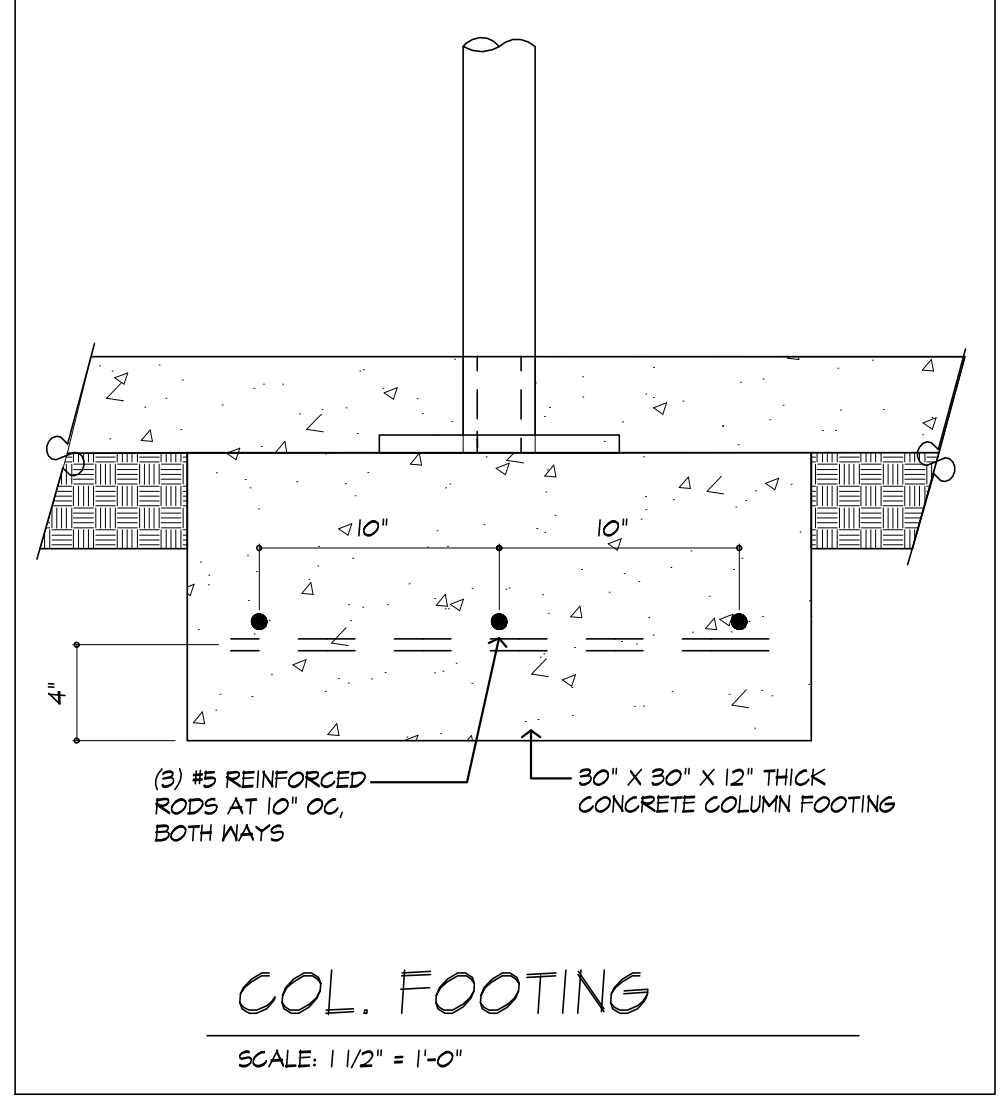
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**FOUNDATION PLAN - PROPOSED**

- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 3000 P.S.F.  
SIZE: 8" BLK. - 20" WIDE X 12" THK.
  - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS: GARAGE: 3500 P.S.I.
  - MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
  - SOIL CLASSSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
  - FOR SI: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.



**PROJECT:**  
ADDITION  
28 BUTTERNUT DR  
PITTSFORD, NY

**CLIENT:**  
JOANNE DAVIS

**DRAWING:**  
FOUNDATION PLAN AND  
BUILDING SECTION

**DRAWN:** PM/JTL  
**CHECKED:** V

**DATE:** SEPTEMBER 2021

**SCALE:** 1/4" = 1'-0"

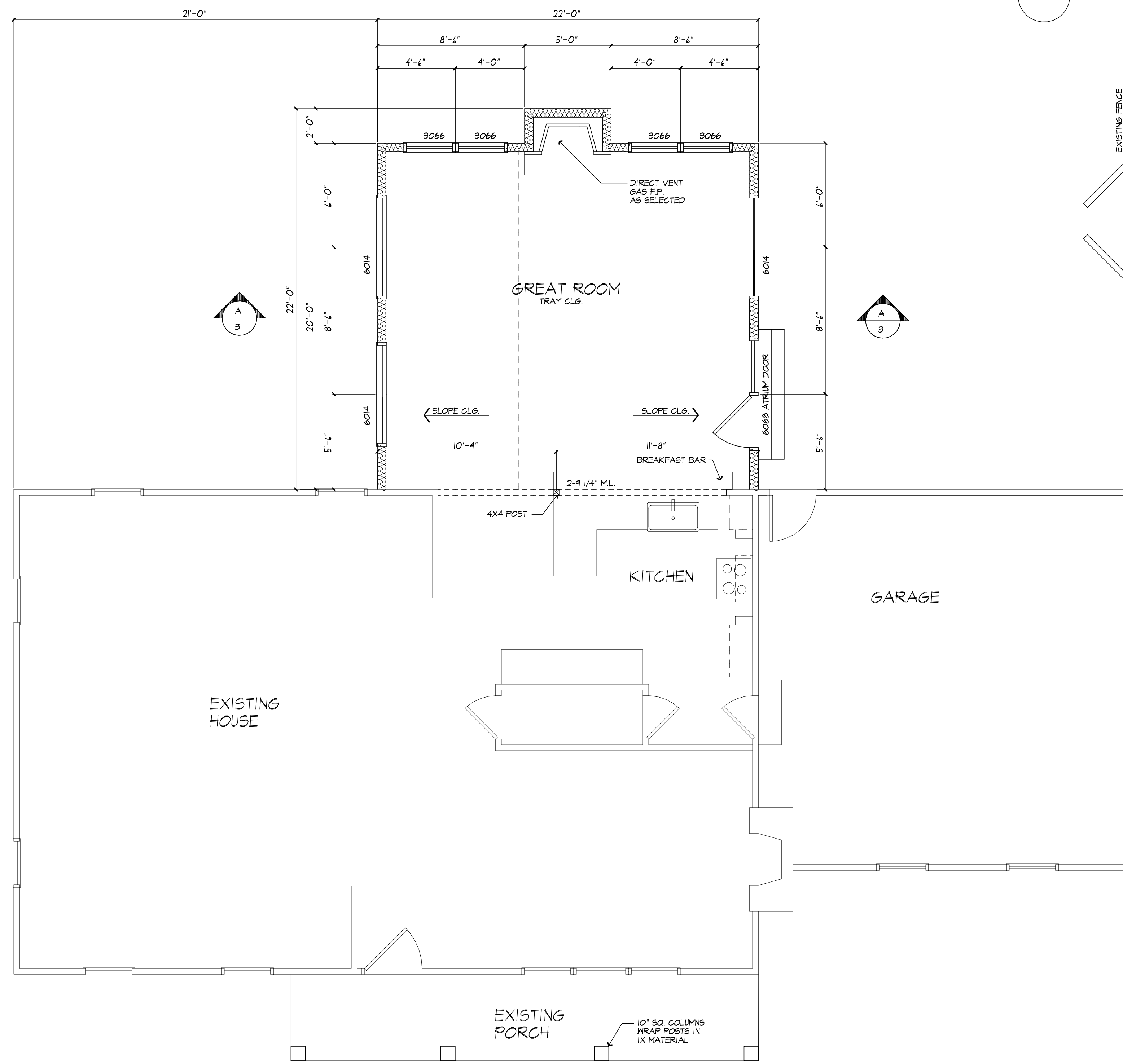
**JOB NO.:** 14M3844

**SHEET:**

**3**

OF **5** SHEETS





### HEADER SCHEDULE

UNLESS OTHERWISE NOTED

OPENINGS	2x6 WALL	2x4 WALL
UP TO 4'-0"	(3) 2x8	(2) 2x8
5'-0"	(3) 2x8	(2) 2x8
6'-0"	(3) 2x10	(2) 2x10
7'-0"	(3) 2x10	(2) 2x12
8'-0"	(3) 2x12	(2) 2x12

PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2x6 WALL  
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2x4 WALL  
 GLUE AND NAIL ALL HEADERS

### WALL LEGEND

2x6 STUDS AT 16" OC  
 IV INSULATION  
 2x6 STUDS AT 16" OC (INTERIOR WALL)  
 2x4 STUDS @ 16" O.C.

(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW  
 USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

### EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M 1504.2

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

#### TABLE M 1504.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT						SMOOTH WALL DUCT									
	50	80	100	125	150	200	250	300	50	80	100	125	150	200	250	300
FAN AIRFLOW RATINGS CFM @ 0.25 INCH PG A	MAXIMUM LENGTH G.P.E (FEET)															
DIAMETER D (INCHES)																
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	56	4	X	X	X	X	X	X	X	104	31	10	X	X	X	X
5	NL	81	42	16	2	X	X	X	NL	152	41	51	28	4	X	X
6	NL	NL	58	41	55	18	1	X	NL	NL	168	12	53	25	4	
7	NL	NL	NL	NL	161	78	40	R	NL	NL	NL	NL	NL	148	88	54
8 AND ABOVE	NL	NL	NL	NL	NL	184	111	64	NL	NL	NL	NL	NL	NL	168	133

FOR 8": 1 FOOT = 304.8 MM  
 A FAN AREA SHALL BE IN ACCORDANCE WITH ANSI/ASHRAE 200-ANSI/ASHRAE 5  
 B: FOR NON-CIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER  
 C: THE HOLE MARKS THAT EXCEED ARE NOT USED; FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DESIGNATED FOR EACH FLEX DUCT INSTALLED IN THE EXISTING  
 D: X = NO LIMIT ON DUCT LENGTH OF THIS SIZE  
 E: X = NO ALLOWED; ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

**MORABITO ARCHITECTS**  
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---

**PROJECT:**  
 ADDITION  
 28 BUTTERNUT DR  
 PITTSFORD, NY

**CLIENT:**  
 JOANNE DAVIS

**DRAWING:**  
 PROPOSED FLOOR PLAN NOTES  
 PARTIAL EXISTING FLOOR PLAN

**DRAWN:** FM/JTL  
**CHECKED:** v

**DATE:** SEPTEMBER 2021

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 19M3844

**SHEET:** 4  
 OF 5 SHEETS

## PROPOSED FLOOR PLAN

AREA: 440 SQ FT (PROPOSED ADDITION)

**WINDOW FALL PROTECTION**  
 R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

**R312.2.1 WINDOW SILLS.**  
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWINGS:

- OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
- OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

**R312.2.2 WINDOW OPENING CONTROL DEVICES.** WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R312.2.1.

**WINDOW GLAZING**  
 R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

**R308.4.1 GLAZING IN DOORS.**  
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTIONS:

- GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS.
- DECORATIVE GLAZING.

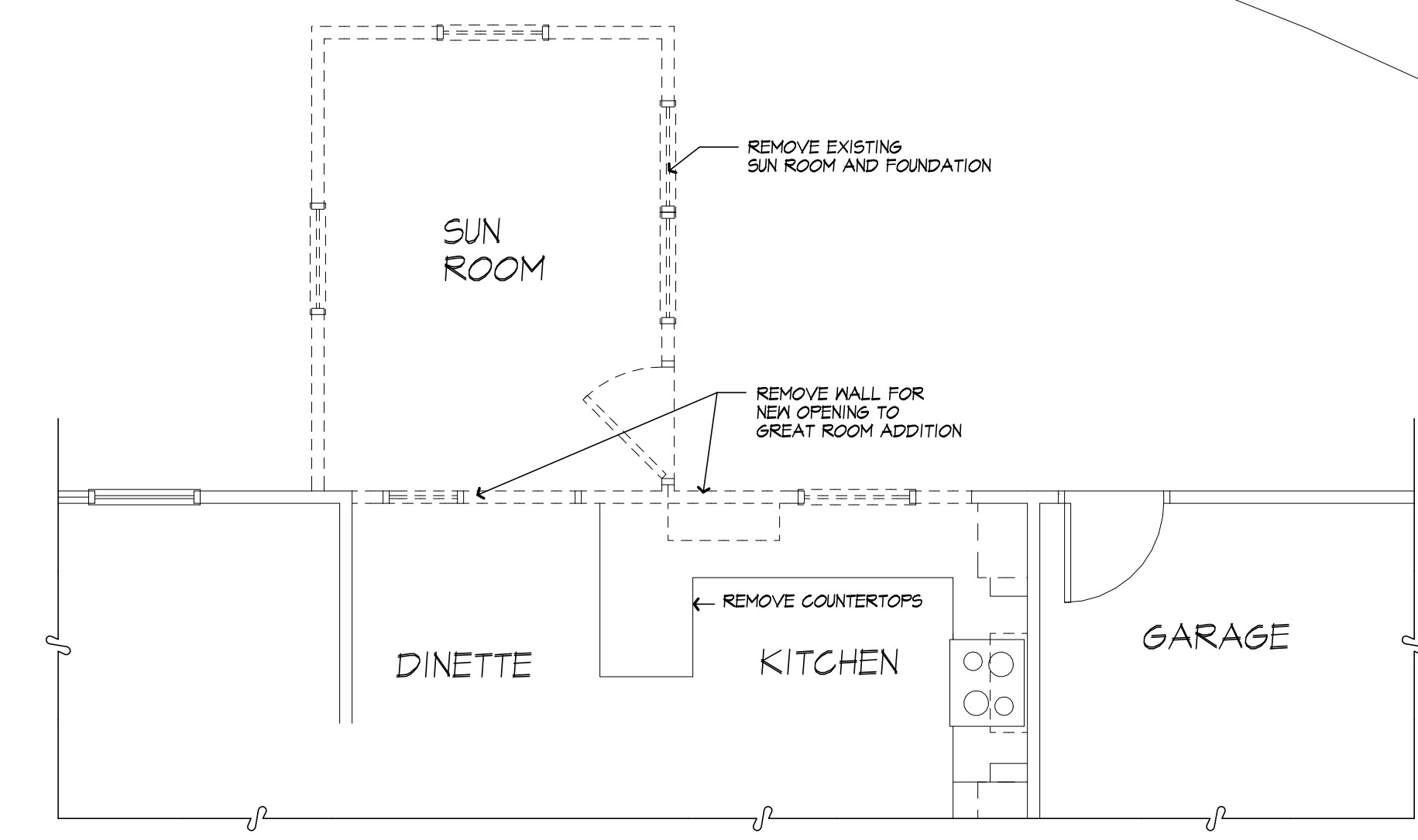
**R308.4.1.1 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING.**  
 GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 56" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTIONS:

- WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE.
- GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE.

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**  
 R314/R315

**R314.3 LOCATION.** SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

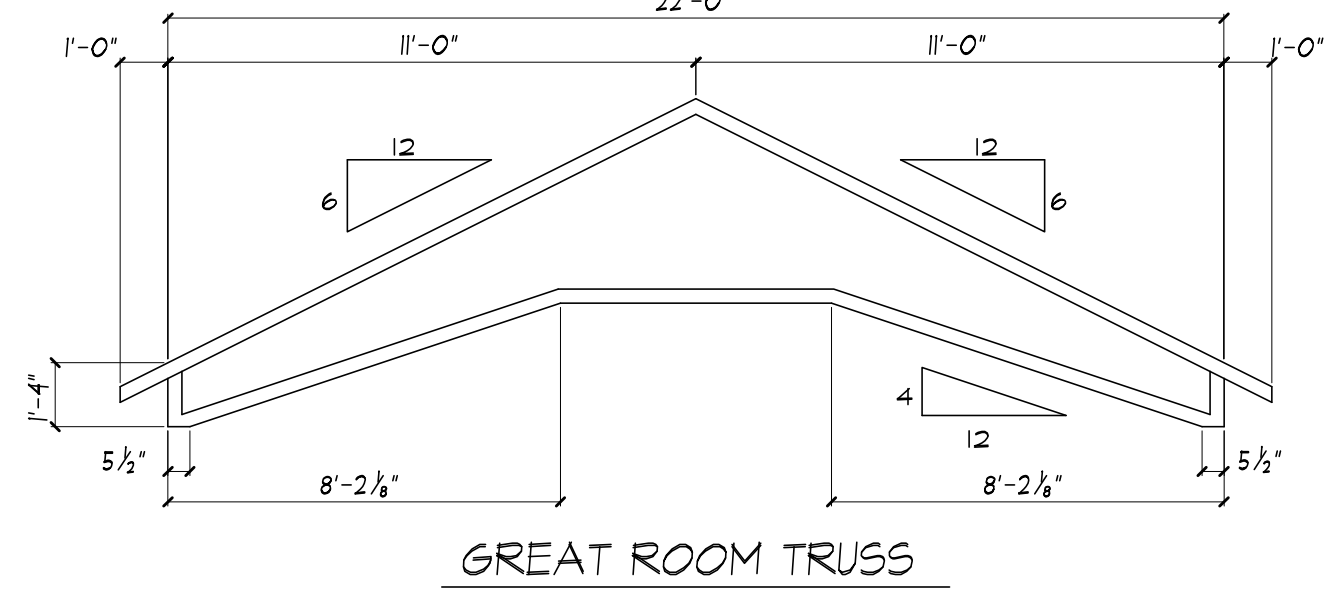
**R315 REQUIRED LOCATIONS.** CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



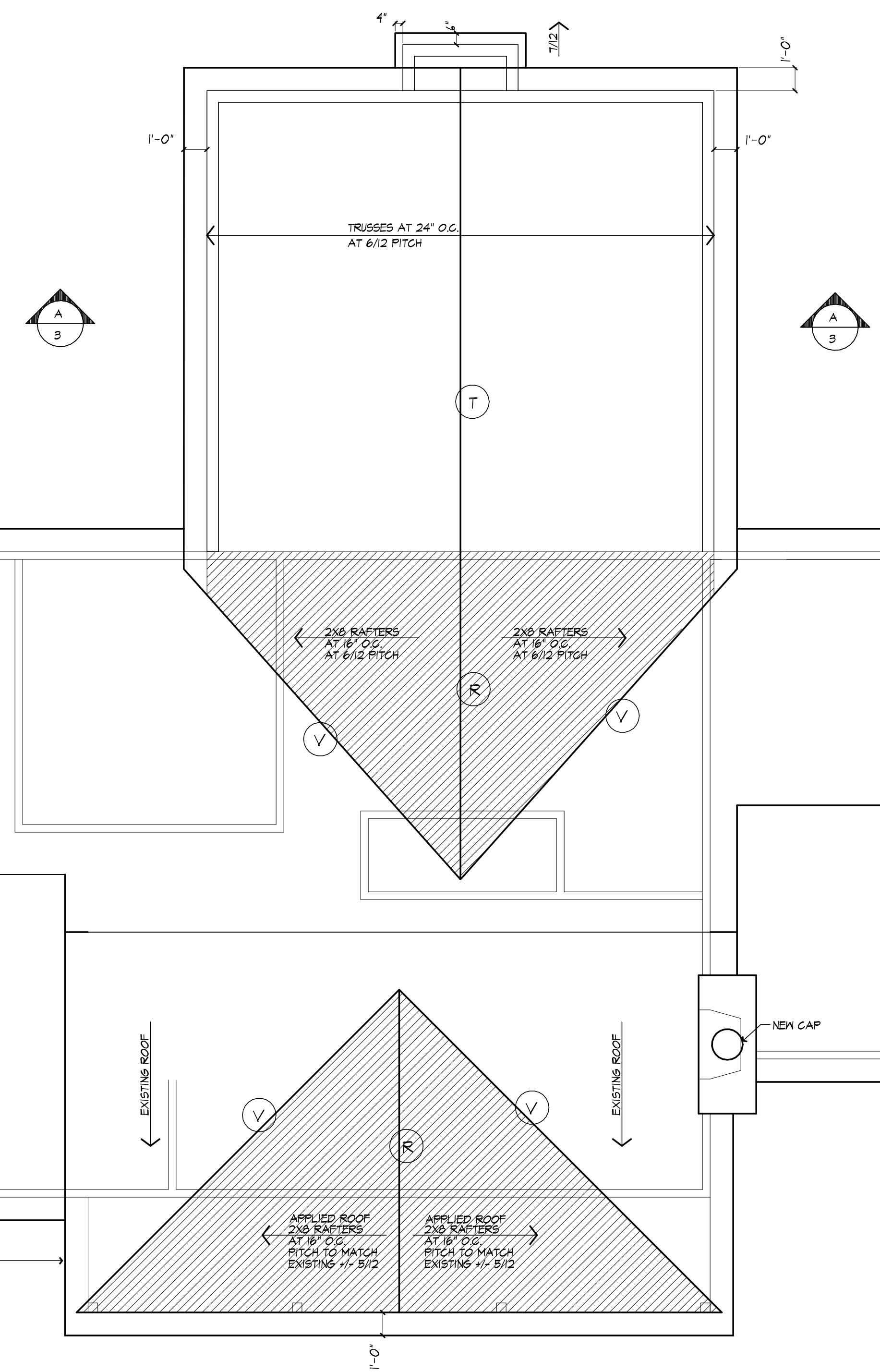
PARTIAL EXISTING FLOOR PLAN

**TYPICAL NOTES**

- 1) DOOR MANUFACTURER: MONDER WINDOWS
- 2) WINDOW MANUFACTURER: MONDER WINDOWS
- 3) GAS FIREPLACE(S): HEAT-N-SLO SULLINE  
"BO N6 (SL-TSOTR)"
  - TIGHT FITTING NON COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE.
- 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- 5) CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS; RIGID POLYISOCYANURATE FOAM-FOIL BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS; KRAFT BATTIS
- 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
- 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2018 ENERGY CONSERVATION CODE.
- 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-3. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



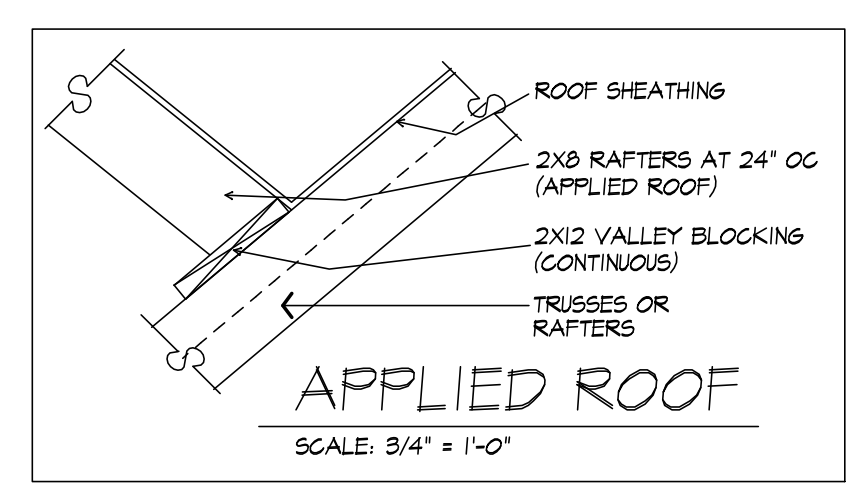
**GREAT ROOM TRUSS**



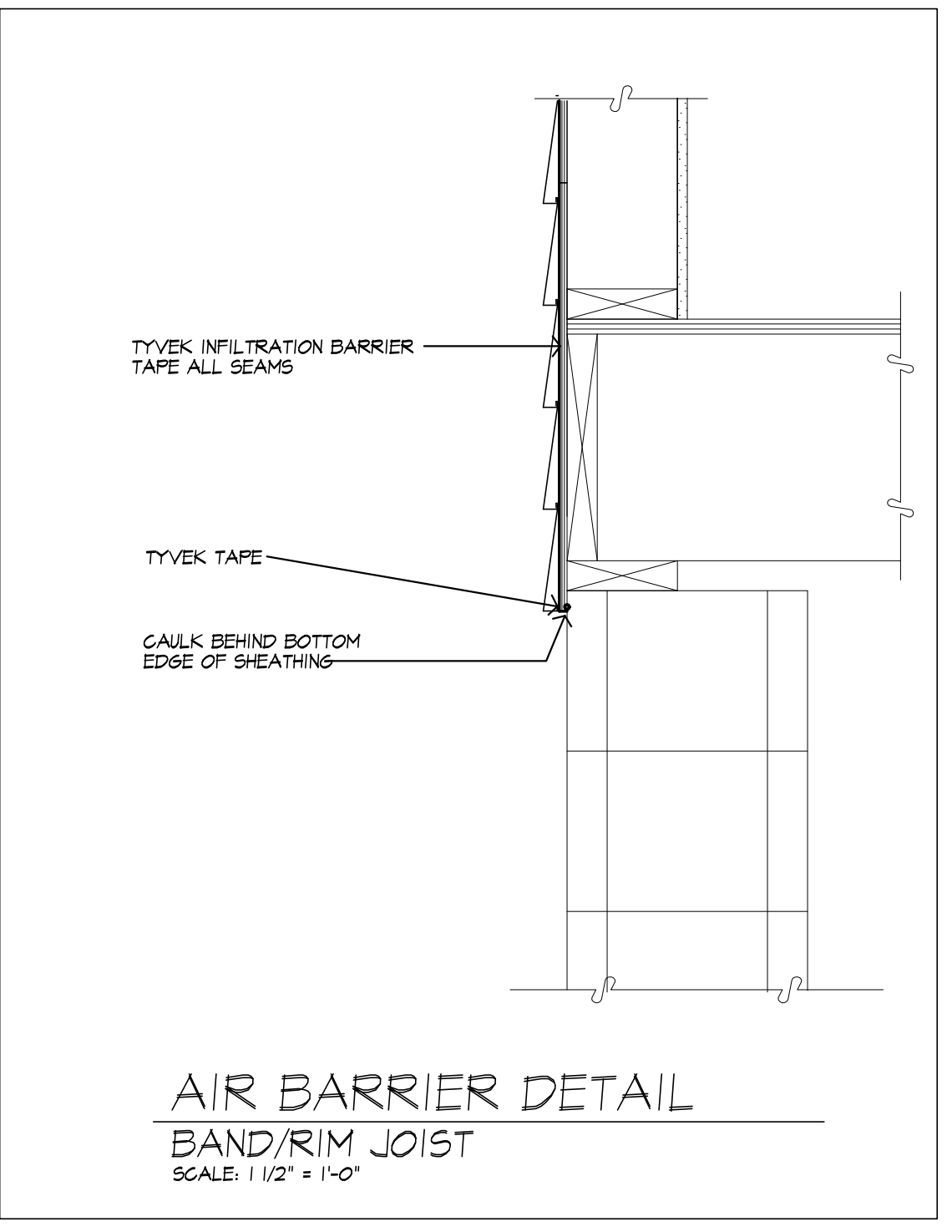
**ROOF PLAN**

ROOF LEGEND	
* /12	2x6 RAFTERS AT 16" O.C. W/ PITCH NOTED
(R)	2X12 RIDGE BOARD
(VR)	2X12 VALLEY RAFTER
(T)	TRUSS RIDGE

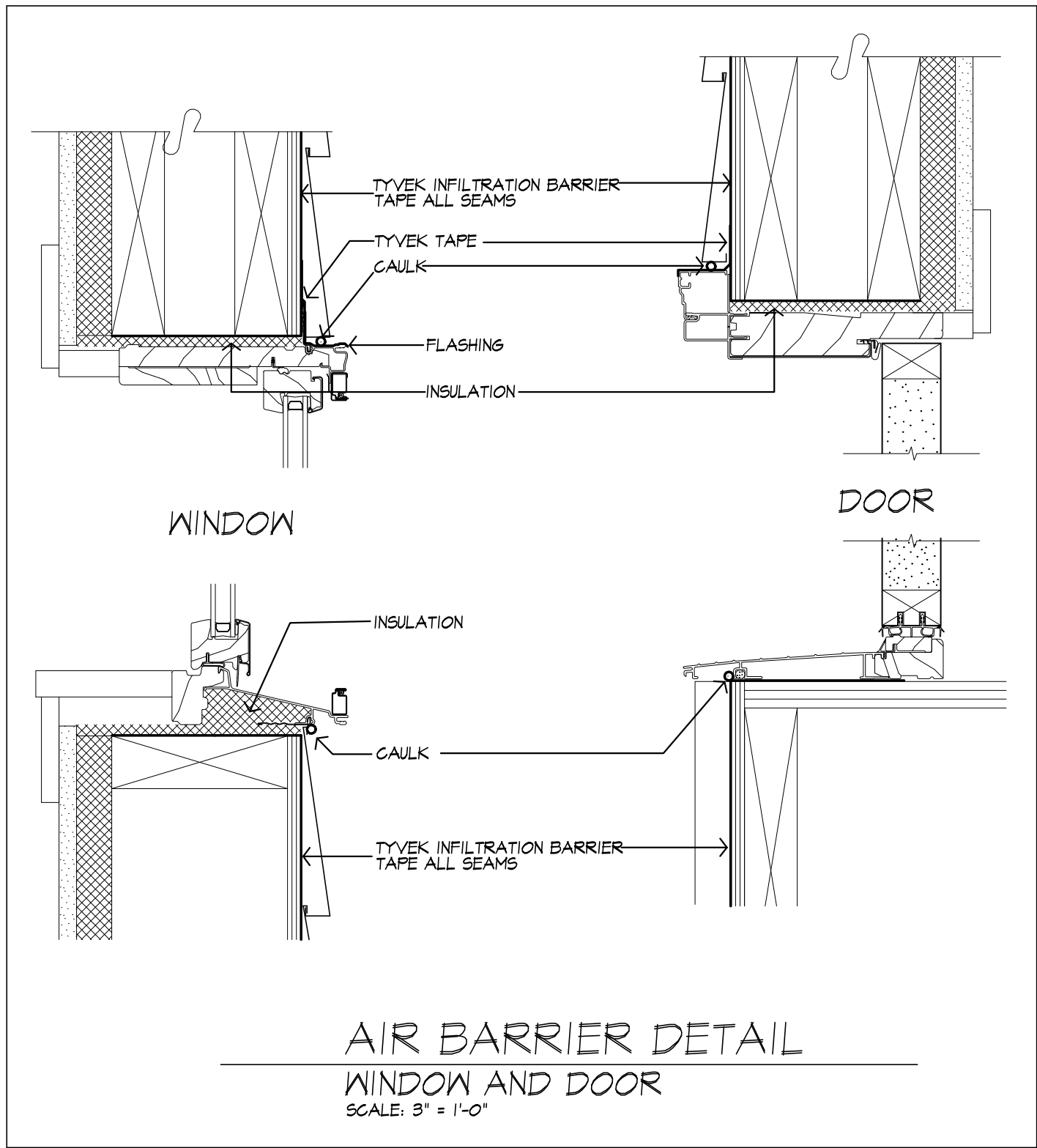
\*NOTE:  
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.7.1 (RESIDENTIAL CODE OF NEW YORK)



**APPLIED ROOF**



**AIR BARRIER DETAIL  
BAND/RIM JOIST**  
SCALE: 1 1/2" = 1'-0"



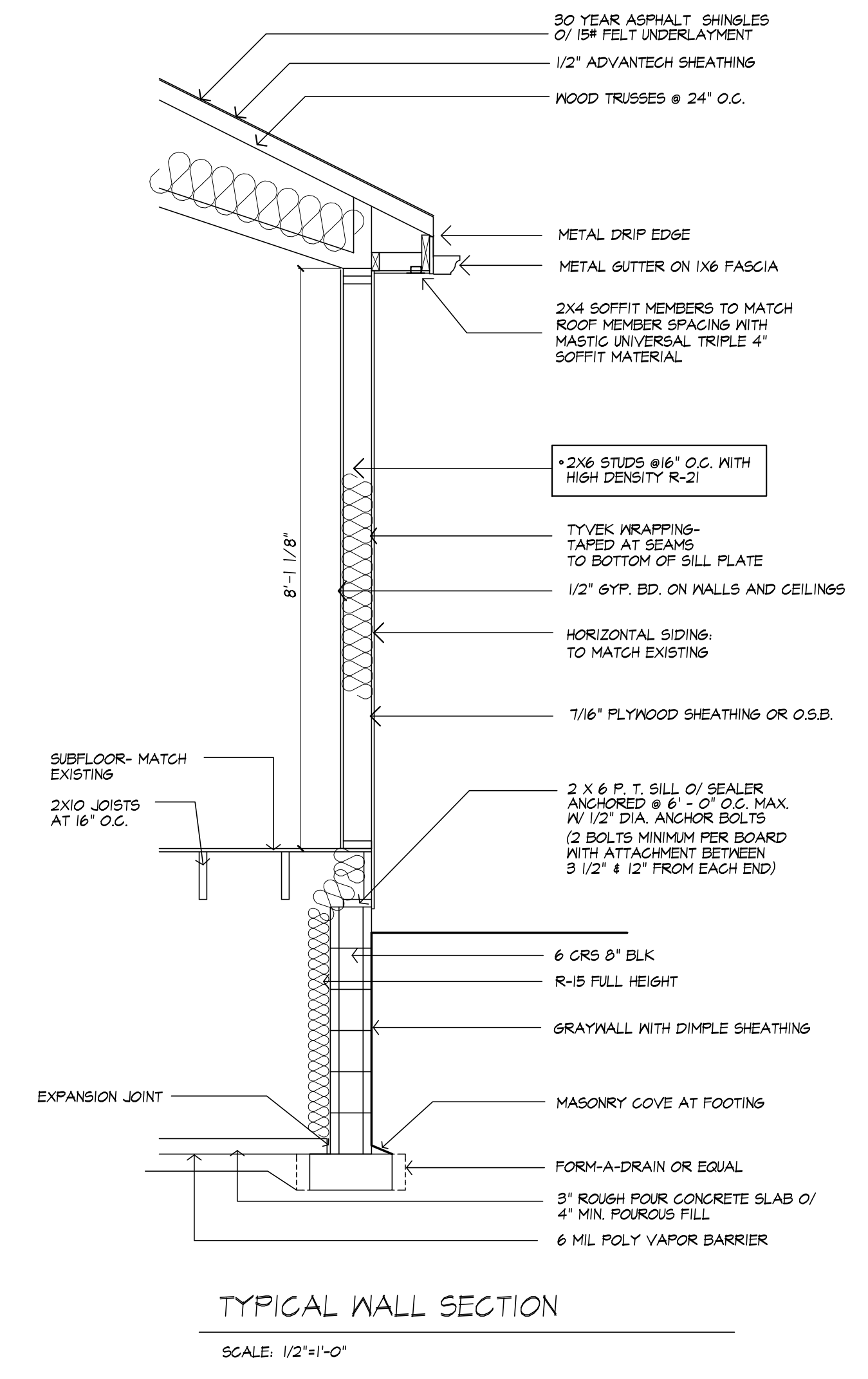
**AIR BARRIER DETAIL  
WINDOW AND DOOR**  
SCALE: 3" = 1'-0"

**LIGHTING FIXTURE CONTROL NARRATIVE**


AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

**LIGHTING FIXTURE SCHEDULE**

OUTDOOR EGRESS DOORS (EACH)	MINIMUM (1) 60 WATT FIXTURE
BASEMENT	MINIMUM (3) 60 WATT FIXTURES
STAIRWAYS	MINIMUM (1) 60 WATT FIXTURE
HALLWAYS	MINIMUM (1) 120 WATT FIXTURE
GARAGE ENTRY	MINIMUM (1) 120 WATT FIXTURE
LAUNDRY ROOM	MINIMUM (1) 120 WATT FIXTURE
WALK-IN CLOSETS	MINIMUM (1) 60 WATT FIXTURE
POWDER ROOM	MINIMUM (1) 120 WATT FIXTURE
BATHROOM (EACH)	MINIMUM (1) 120 WATT FIXTURE
DINETTE	MINIMUM (1) 120 WATT FIXTURE
KITCHEN	MINIMUM (1) 120 WATT FIXTURE
DINING ROOM	MINIMUM (1) 120 WATT FIXTURE
ALL OTHER FIRST FLOOR ROOMS (EACH)	MINIMUM (1) 120 WATT FIXTURE
ALL OTHER SECOND FLOOR ROOMS (EACH)	MINIMUM (1) 120 WATT FIXTURE
ATTIC SPACE	MINIMUM (1) 60 WATT FIXTURE
GARAGE	MINIMUM (2) 60 WATT FIXTURES



**TYPICAL WALL SECTION**  
SCALE: 1/2" = 1'-0"



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**PROJECT:**  
ADDITION  
28 BUTTERNUT DR  
PITTSFORD, NY

**CLIENT:**  
JOANNE DAVIS

**DRAWING:**  
PROPOSED ROOF PLAN, WALL SECTION, DETAILS AND NOTES

<b>DRAWN:</b> PM/JTL	<b>CHECKED:</b> V
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**DATE:** SEPTEMBER 2021

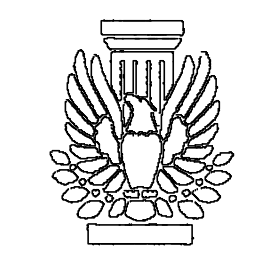
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 14M3844

**SHEET:**

**5**

OF 5 SHEETS













# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000193**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 220 Overbrook Road ROCHESTER, NY 14618

**Tax ID Number:** 138.18-2-7

**Zoning District:** RN Residential Neighborhood

**Owner:** Mooney, Elizabeth J

**Applicant:** Terry Masci Construction Inc.

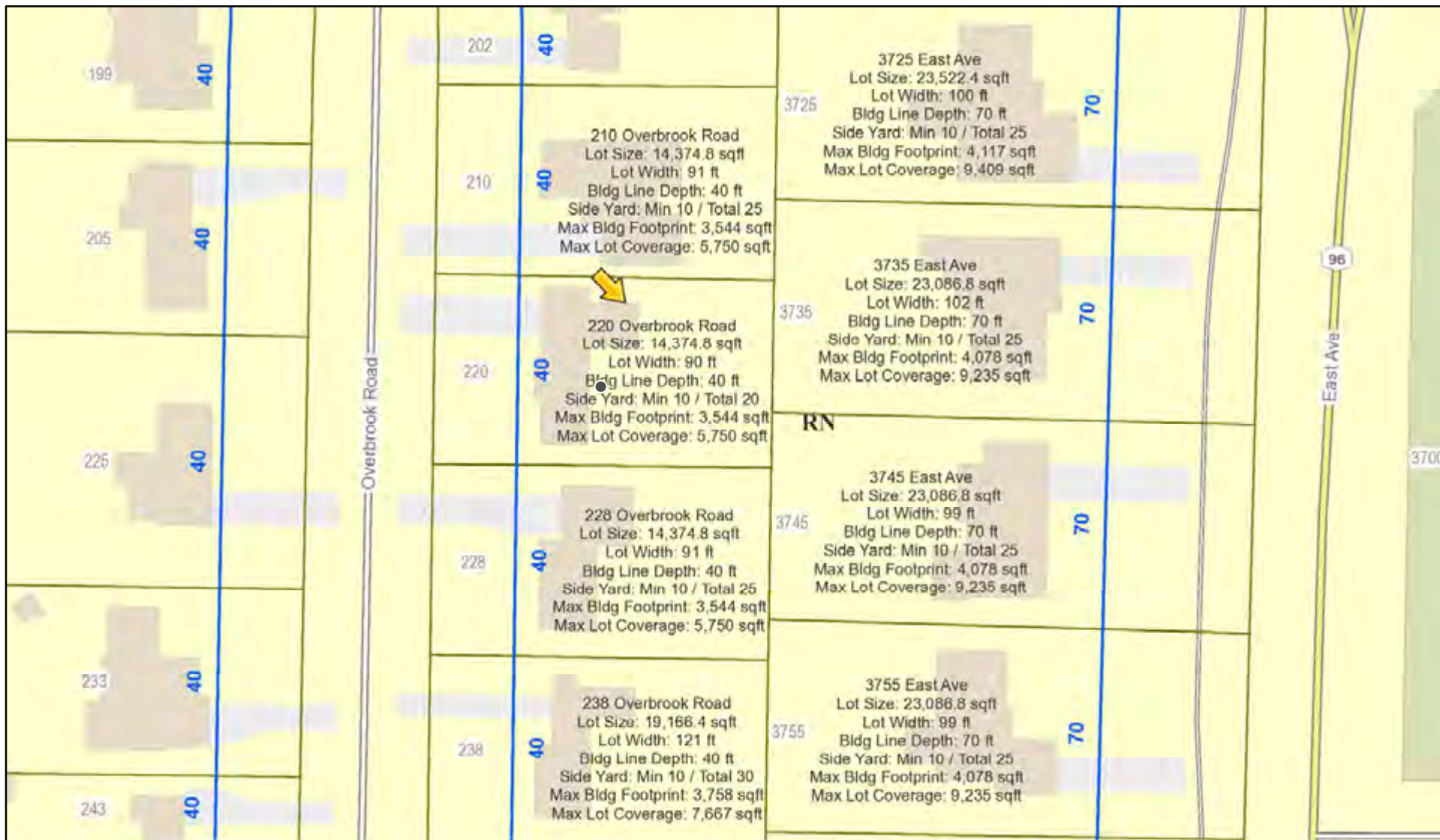
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

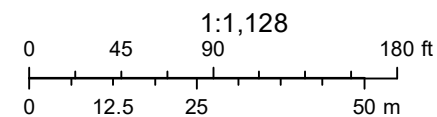
**Project Description:** Applicant is requesting design review for the addition to an existing home. The addition will be approximately 272 square feet and will be located to the rear of the property.

**Meeting Date:** September 23, 2021

# RN Residential Neighborhood Zoning

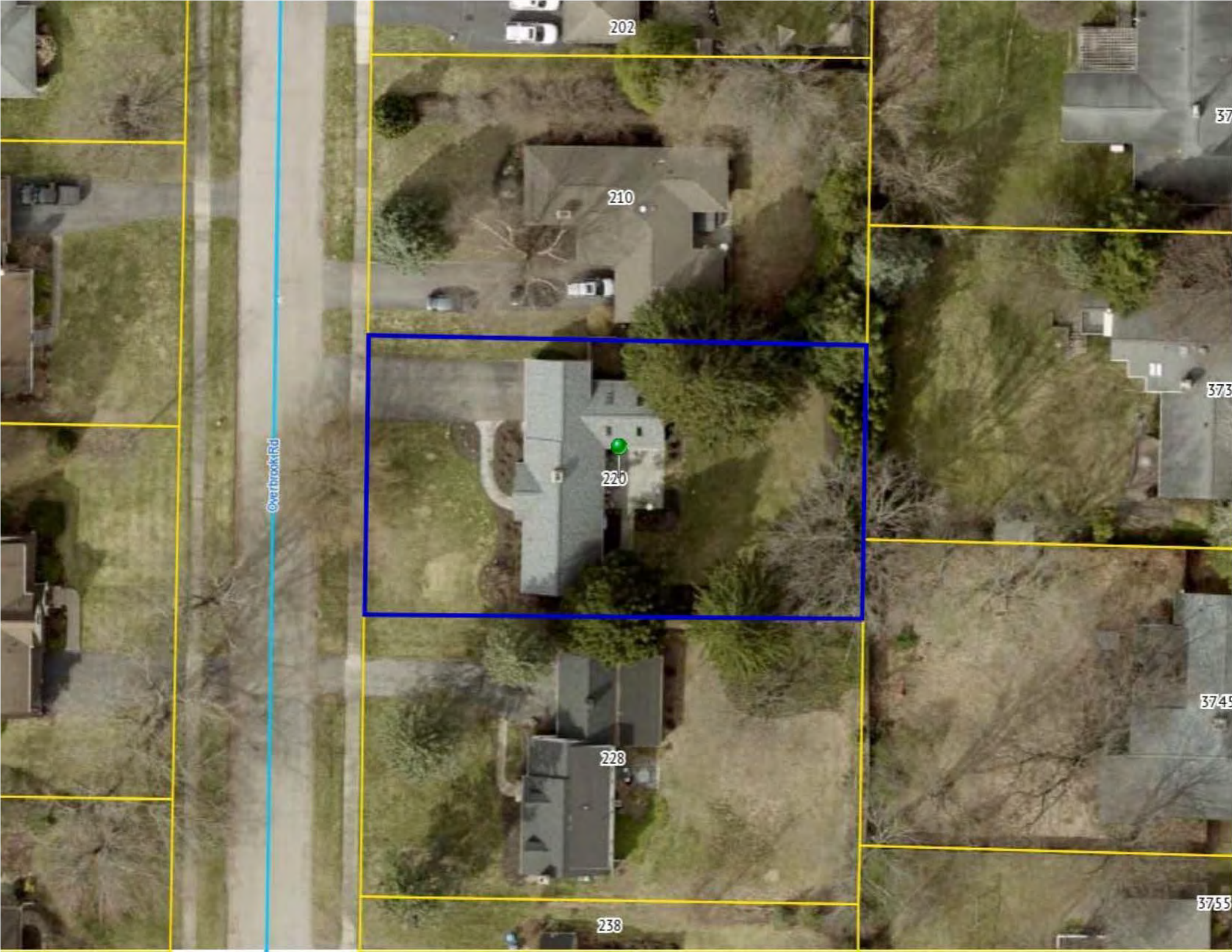


Printed September 17, 2021



Town of Pittsford GIS

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Overbrook Rd

202

210

220

228

238

37

373

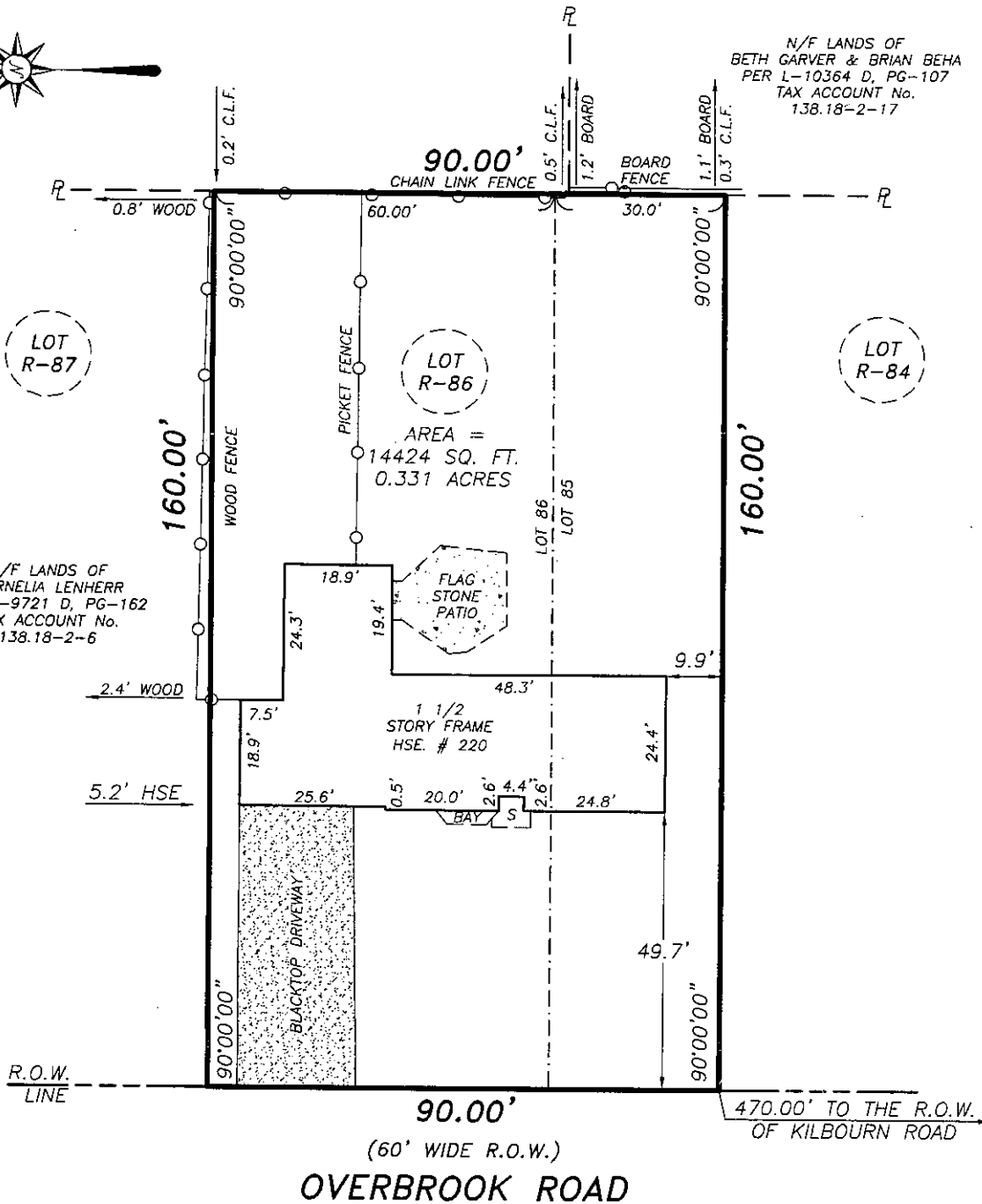
374

3755



N/F LANDS OF  
BETH GARVER & BRIAN BEHA  
PER L-10364 D, PG-107  
TAX ACCOUNT No.  
138.18-2-17

N/F LANDS OF  
CORNELIA LENHERR  
PER L-9721 D, PG-162  
TAX ACCOUNT No.  
138.18-2-6



90.00'  
(60' WIDE R.O.W.)

**OVERBROOK ROAD**

**CERTIFICATION:**

I, DAVID A. STAUB, HEREBY CERTIFY TO:

- ELIZABETH J. MOONEY
- LACY KATZEN LLP
- THE TITLE INSURANCE COMPANY  
INSURING THE PREMISES

THAT THIS MAP WAS MADE JULY 14, 2015  
FROM NOTES OF AN INSTRUMENT SURVEY  
COMPLETED 7/13/2015  
AND REFERENCES LISTED HEREON.

**REFERENCES:**

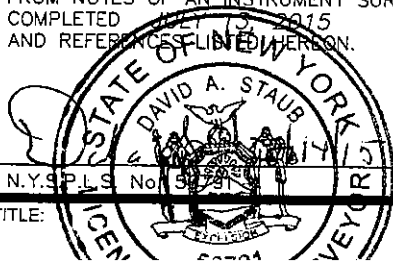
- 1.) LIBER 54 OF MAPS, PAGE 13.
- 2.) LIBER 110 OF MAPS, PAGE 48.
- 3.) LIBER 11012 OF DEEDS, PAGE 569.
- 4.) ABSTRACT OF TITLE NOT PROVIDED.

NOTE: ORIGINAL TRIPLE POINT SURVEY DATED JUNE 14, 2011.  
NOTE: PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS &  
COVENANTS OF RECORD NOT REFERENCED IN ABSTRACT OF TITLE.

N.Y.S.P.L.S. No. 5291 DATE

TITLE:

**INSTRUMENT SURVEY MAP**













**NOTES**

(GENERAL NOTES TO BE APPLIED AS NEEDED TO THIS REMODELING PROJECT)

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER. (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS: (THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
  - A) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
    - FOOTINGS: 2500 PSI
    - BASEMENT SLABS: 3000 PSI (IV FIBER REINF. ADDITIVE, OPTIONAL)
    - GARAGE & PORCH SLABS: 3500 PSI (AIR-ENTRAINED)
    - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)
  - POURED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION OR AIR ENTRAINED CONC. MUST BE USED. (TABLE R402.2, NOTE 2.)
  - B) STRUCTURAL STEEL TO BE ASTM - A36
  - C) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (HEM FIR #2 OR BETTER)
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT, DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R1001-R1066 AS APPLICABLE.
- (11) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.1.5 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R314.)
- (13) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R309.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R309.4. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS (SEE SECTION R309.4 FOR ADDITIONAL HAZARDOUS LOCATIONS).
- (14) DESIGN CRITERIA:
  - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
  - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
  - C) GROUND SNOW LOAD = 40 PSF (FIG R501.2(6))
  - D) WIND SPEED = 40 MPH, EXPOSURE B
  - E) SEISMIC DESIGN CATEGORY - A OR B - R501.2(2)
  - F) WEATHERING - SEVERE
  - G) FROST LINE DEPTH = 42"
  - H) TERMITES DAMAGE - CONTACT LOCAL JURISDICTION
  - I) DECAY DAMAGE - NONE TO SLIGHT
  - J) WINTER DESIGN TEMPERATURE - (I) DEGREE
  - K) ICE BARRIER IS REQUIRED
  - L) ROOF TIE-DOWN REQUIREMENTS - R802.11 (BASED UPON SPECIFIC ROOF DESIGN)
  - M) ENERGY COMPLIANCE DETAILS AND PATH - N101.13
- (15) FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL
- (16) DRAWING ALTERATION: THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 148 - SECTION 7204 AND APPLIES TO THESE DRAWINGS. IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
  - (17) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M107 OF THE CODE.
  - (18) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER II OF THE CODE.
  - (19) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

**ENERGY CONSERVATION, CHAPTER II, ENERGY EFFICIENCY**

- 1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N104
- 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N102.4.5
- 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N103.1.1
- 4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N103.2.
- 5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-8. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION N103.5
- 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N102.2.4
- 7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURER'S INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N102.4.1 THROUGH N102.4.6.
- 8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. CONDUCT TEST ACCORDING TO ASTM E1827 OR ASTM E1827 OR NET/LG 390 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH N102.4.1.2
- 9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

**ADDITION**  
200 OVERBROOK ROAD, BRIGHTON, NEW YORK

**TERRY MASCI CONSTRUCTION INC.**

**ENERGY CODE COMPLIANCE PATH:**

THIS PROJECT IS DESIGNED TO COMPLY WITH THE "PRESCRIPTIVE" ENERGY CODE COMPLIANCE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS, NECESSARY AND IN A MANNER TO COMPLY WITH THE "PRESCRIPTIVE" REQUIREMENTS SECTION N102 OF THE 2020 ENERGY CODE.

CLIMATE ZONE 5A	MINIMUM R - MAXIMUM U VALUES FROM TABLE N102.1.2
CEILING	MAX U VALUE = 0.30 MIN R VALUE = 49
WALLS	MAX U VALUE = 0.25 MIN R VALUE = 41
FLOOR	MAX U VALUE = 0.20 MIN R VALUE = 30
BASEMENT WALLS	MAX U VALUE = 0.20 MIN R VALUE = 15 (CONTINUOUS)

CLIMATE ZONE 5A	EQUIVALENT U-FACTORS FROM TABLE N102.1.4
CEILING	U-FACTOR = 0.26 OR MIN R VALUE = 38
WALLS	U-FACTOR = 0.26 OR MIN R VALUE = 38
FLOOR	U-FACTOR = 0.26 OR MIN R VALUE = 38

N102.2 | CEILING WITH ATTIC SPACES. WHERE SECTION N102.1.2 WOULD REQUIRE R-49 INSULATION IN THE CEILING, INSTALLING R-39 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-39 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N102.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION N102.1.5.



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SUITE #560  
FAIRPORT, NY 14450-2002  
PH. (585) 223-6420  
www.carinidesigns.com

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Revise:  
Project:  
Client:  
Job Location:  
Drawing Title:  
Drawn:  
Date:  
Job No:  
Sheet:

**RESIDENTIAL ADDITION MOONEY RESIDENCE**

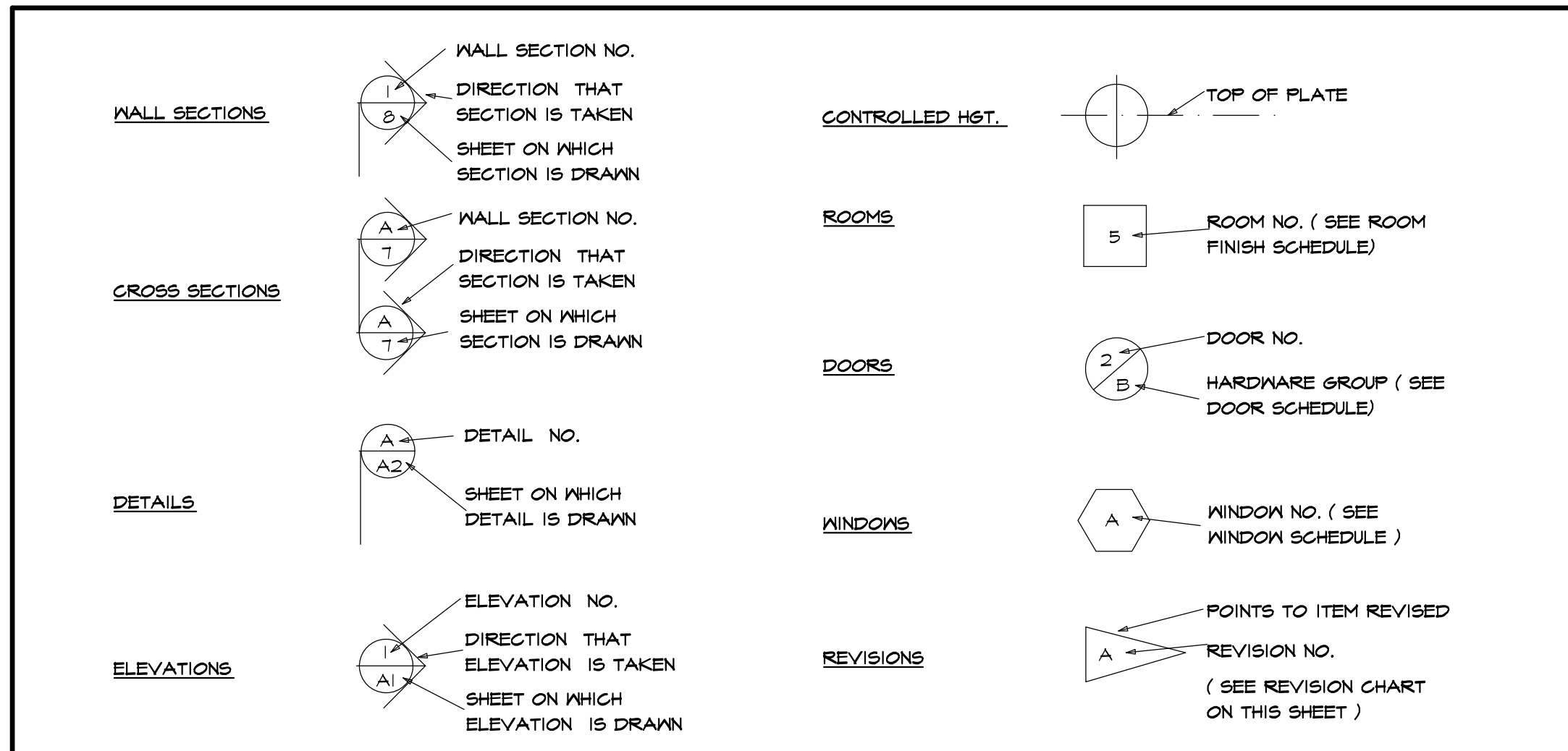
TERRY MASCI CONSTRUCTION INC.

220 OVERBROOK ROAD  
BRIGHTON, NEW YORK

COVER SHEET & NOTES

Checked By: TJM/SMK  
Date: AUGUST, 2021  
Job No: 38469  
Sheet: 1 of 4

**SYMBOLS**



**ABBREVIATIONS**

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNS	-OPENING
#	-AND	FTS	-FOOTING	O/A	-OVERALL
BM	-BENCH MARK	FDN	-FOUNDATION	O/HD	-OVERHEAD DOOR
BLK	-BLOCK	GYP	-GYPSUM	O/ HANG	-OVERHANGS
BD	-BOARD	HND/CP	-HANDICAP	OV	-OVER
BLDG	-BUILDING	HGT	-HEIGHT	OFT	-OPTIONAL
BTR	-BETTER	HN	-HOT WATER	P.D.R	-POWDER ROOM
CLS	-CEILING	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CL	-CENTERLINE	IN (')	-INCH	PSI	-POUNDS PER SQ. IN.
COL	-COLUMN	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
CONC	-CONCRETE	INFO	-INFORMATION	PLYWD	-PLYWOOD
CONT	-CONTINUOUS	ID	-INSIDE DIAMETER	REQ'D	-REQUIRED
COMM	-COMMERCIAL	INSUL	-INSULATION	RM	-ROOM
CRS	-COURSES	INT	-INTERIOR	RES	-RESIDENTIAL
DL	-DEAD LOAD	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	R'S	-RISERS
DIA	-DIAMETER	IRG	-INTERNATIONAL RESIDENTIAL CODE	RD & SH	-ROD & SHELF
DBL	-DOUBLE	JT	-JOINT	S	-SOUTH
DN	-DOWN	JSTS	-JOISTS	SKYLT	-SKYLIGHT
DWG	-DRAWING	LT	-LIGHT	SH	-SHELF
DIM	-DIMENSION	LL	-LIVE LOAD	SHS	-SHELVES
ELEC	-ELECTRIC	MFR	-MANUFACTURER	STOR	-STORAGE
EXP	-EXPANSION	MAX	-MAXIMUM	STL	-STEEL
EXT	-EXTERIOR	MEGH	-MECHANICAL	SUSP	-SUSPENDED
FT (')	-FEET	MTL	-METAL	SYN	-SYNTHETIC
FIN	-FINISH	MIN	-MINIMUM	TS	-TREADS
FLR	-FLOOR	MISC	-MISCELLANEOUS	T&G	-TONGUE & GROOVE
1ST	-FIRST	N	-NORTH	IV	-WITH
FLUOR	-FLUORESCENT	NTS	-NOT TO SCALE	IWO	-WITHOUT
			-NUMBER		

**TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	Rim joists shall be insulated.
Rim joists	Rim joists shall include the air barrier.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor barrier with overlapping joints taped.	
Shafts, penetrations	Drift shafts, utility penetrations, and fire shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities	Air sealing shall be provided between the garage and conditioned spaces.	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated. Batts installed on shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Plumbing and wiring	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Shower/tub on exterior wall	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
Electrical/phone box on exterior wall	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
HVAC register boots	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	
Concealed sprinklers		

a. In addition, inspection of 103 walls shall be in accordance with the provisions of ICC 408.

**GENERAL NOTES**

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE
  - CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION
  - CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNING OF EXISTING STRUCTURE AS REQUIRED
  - CONTRACTOR SHALL CO-ORDINATE THE INSTALLATION OF NEW AND / OR USE OF RELOCATED DOORS, AND WINDOWS WITH HOMEOWNER
  - CONTRACTOR SHALL (WHERE POSSIBLE) MATCH FLATE HEIGHTS, SUBFLOORS AND WINDOW ROUGH OPENING HEIGHTS TO MAINTAIN CONTINUITY
  - WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS
  - MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
  - INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION
  - CONTRACTOR NOTE: IF EXISTING CONDITIONS DIFFER FROM PLANS CONTRACTOR IS TO CONTACT CARINI ENGINEERING DESIGNS, P.C.
- | MINIMUM R - MAXIMUM U VALUES | MAX U VALUE = 0.30 |
|------------------------------|--------------------|
| FENESTRATION                 |                    |
- ASSUMED U VALUE OF EXISTING SLIDING DOOR IF OWNER CAN'T PROVIDE DOCUMENTATION SEE ATTACHED RES CHECK COMPLIANCE CERTIFICATE
- | FENESTRATION | ASSUMED U VALUE = 0.33 |
|--------------|------------------------|
|              |                        |

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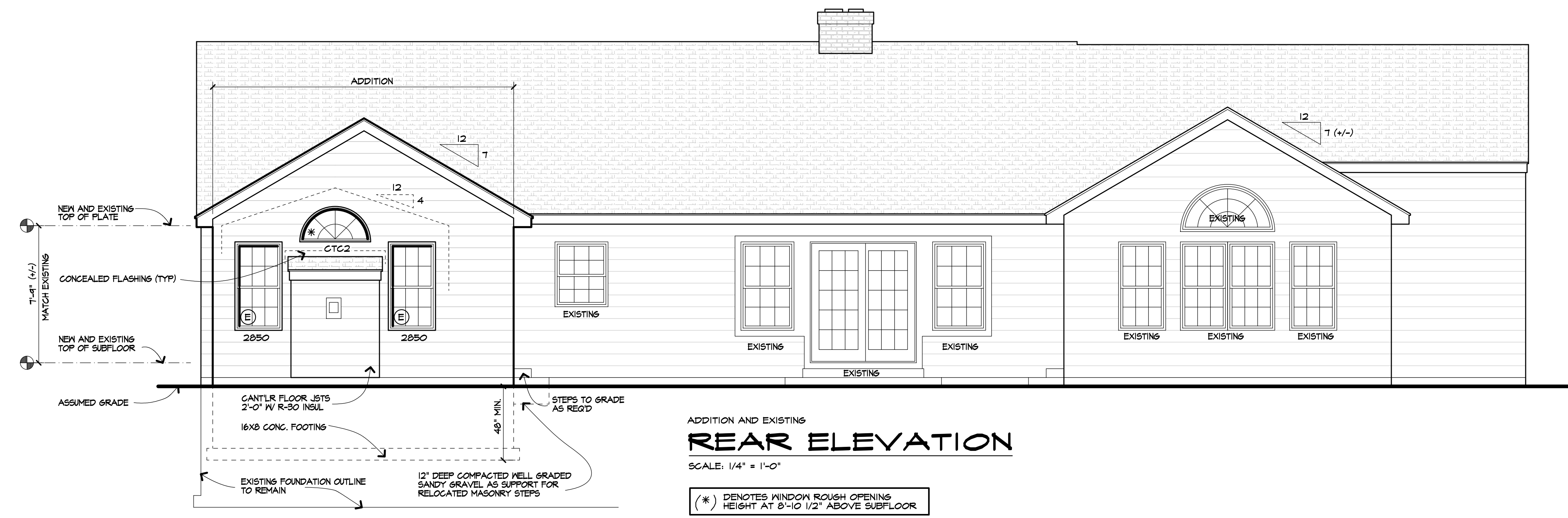
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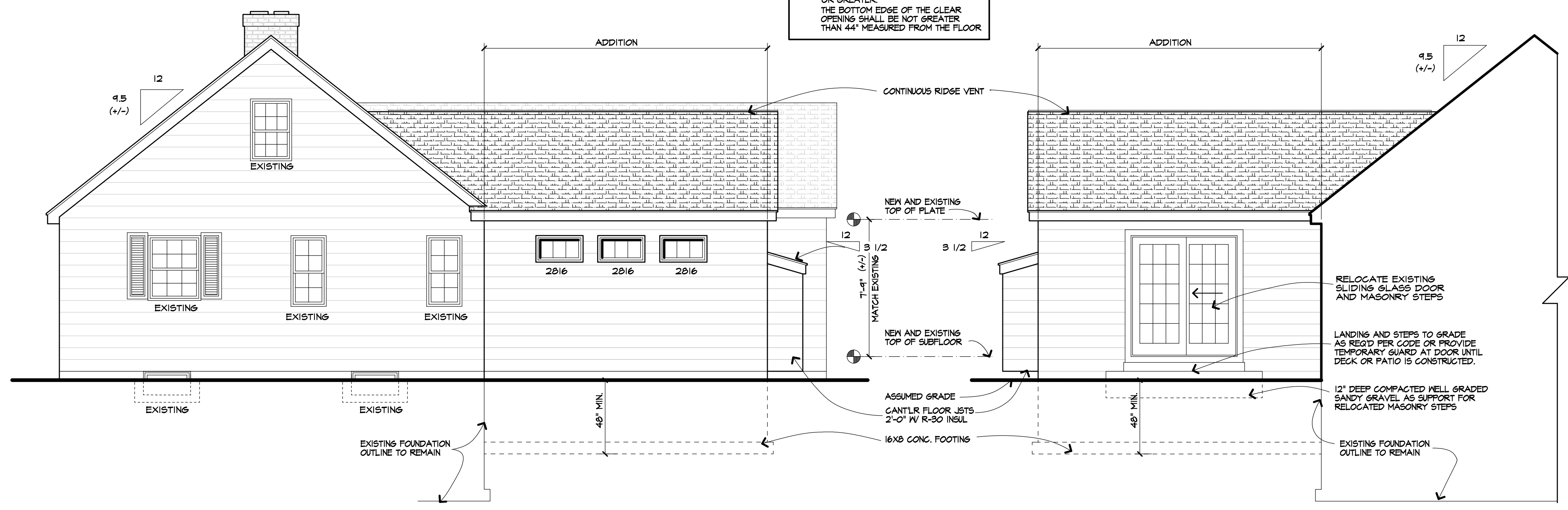
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ADDITION AND EXISTING  
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

(\*) DENOTES WINDOW ROUGH OPENING HEIGHT AT 8'-10 1/2" ABOVE SUBFLOOR

WINDOW SUPPLIER TO VERIFY WINDOW WILL MEET THE FOLLOWING CRITERIA:  
CLEAR OPENING WIDTH SHALL BE 20" OR GREATER, CLEAR OPENING HEIGHT SHALL BE 24" OR GREATER, AND NET CLEAR OPENING SHALL BE 51 SQ. FT OR GREATER.  
THE BOTTOM EDGE OF THE CLEAR OPENING SHALL BE NOT GREATER THAN 44" MEASURED FROM THE FLOOR



ADDITION AND EXISTING  
**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

ADDITION AND PARTIAL EXISTING  
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

① TEMPERED GLASS REQUIRED PER R308 OF N.Y.S. BUILDING CODE

(\*) DENOTES WINDOW ROUGH OPENING HEIGHT AT 1'-6" ABOVE SUBFLOOR

**UNLESS OTHERWISE NOTED**

ROOFING:	ASPHALT / FIBERGLASS SHINGLES AS SELTD
ROOF VENTING:	ONE SQ.FT NET PER 300 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R806.2 OF THE CODE.)
FACIA:	ALUM WRAP 2X6
FRIEZEBOARDS:	MATCH EXISTING
CORNERBOARDS:	↓
CASINGS:	↓
SIDING:	VINYL AS SELTD SIMILAR TO EXISTING
EAVE O/HANGS:	1'-0" (+/-) MATCH EXISTING
RAKE O/HANGS:	6" (+/-) MATCH EXISTING
FOOTING DEPTH:	4'-0" BELOW GRADE
PLATE HEIGHT:	FIRST FLOOR: 7'-9" (+/-) MATCH EXISTING
WINDOW R.O. HEIGHT:	FIRST FLOOR: 6'-10 1/2"
WINDOW MFR:	* ANDERSEN 200 TH " LOW E

Revisions:

Project:  
RESIDENTIAL ADDITION  
MOONEY RESIDENCE

Client:  
TERRY MASCI CONSTRUCTION INC.

Job Location:  
220 OVERBROOK ROAD  
BRIGHTON, NEW YORK

Drawing Title:  
ELEVATIONS

Drawn:  
TJM/SMK

Checked By:  
SLC

Date:  
AUGUST, 2021

Job No.:  
38469

Sheet:  
2 of 4

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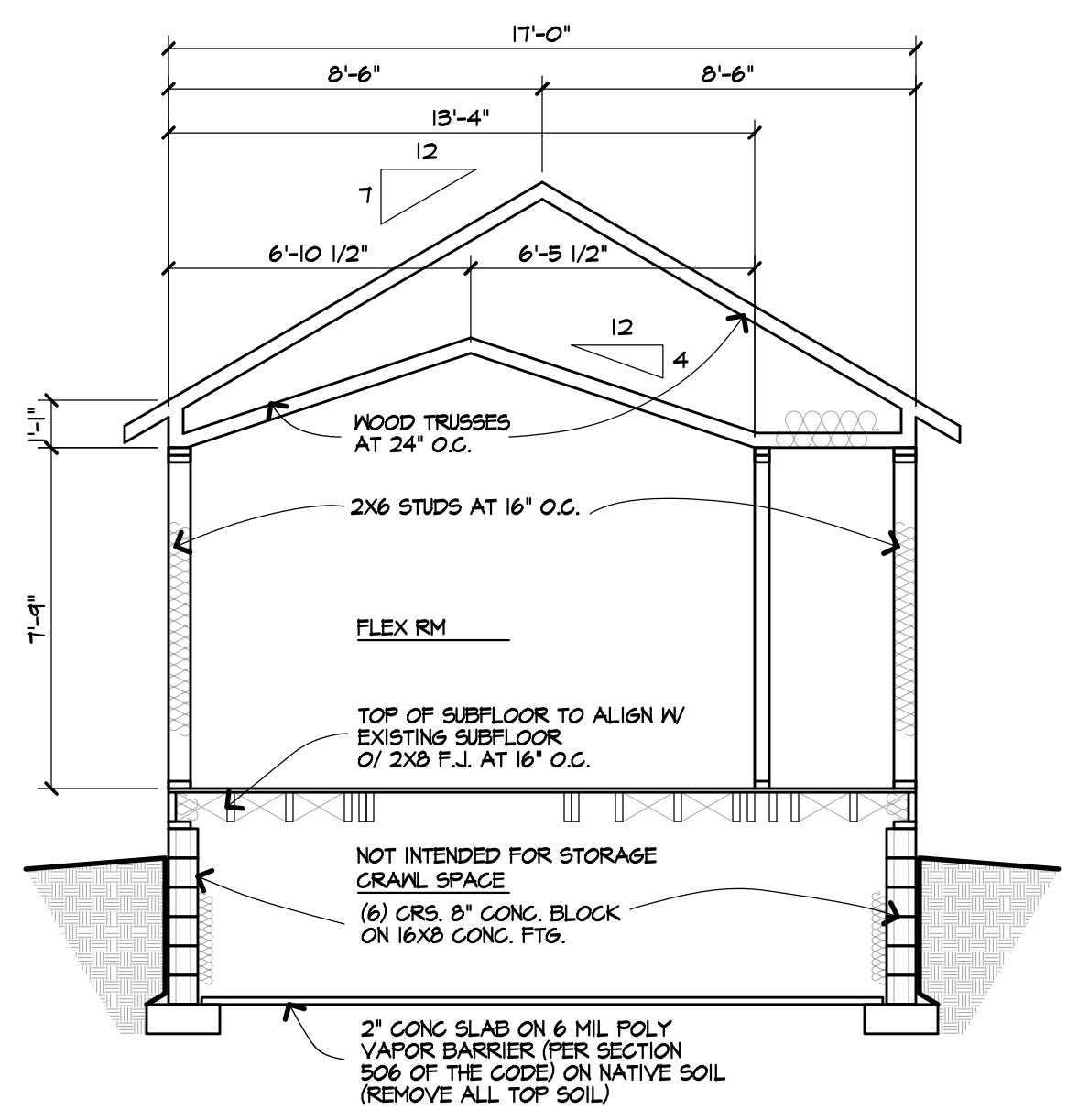
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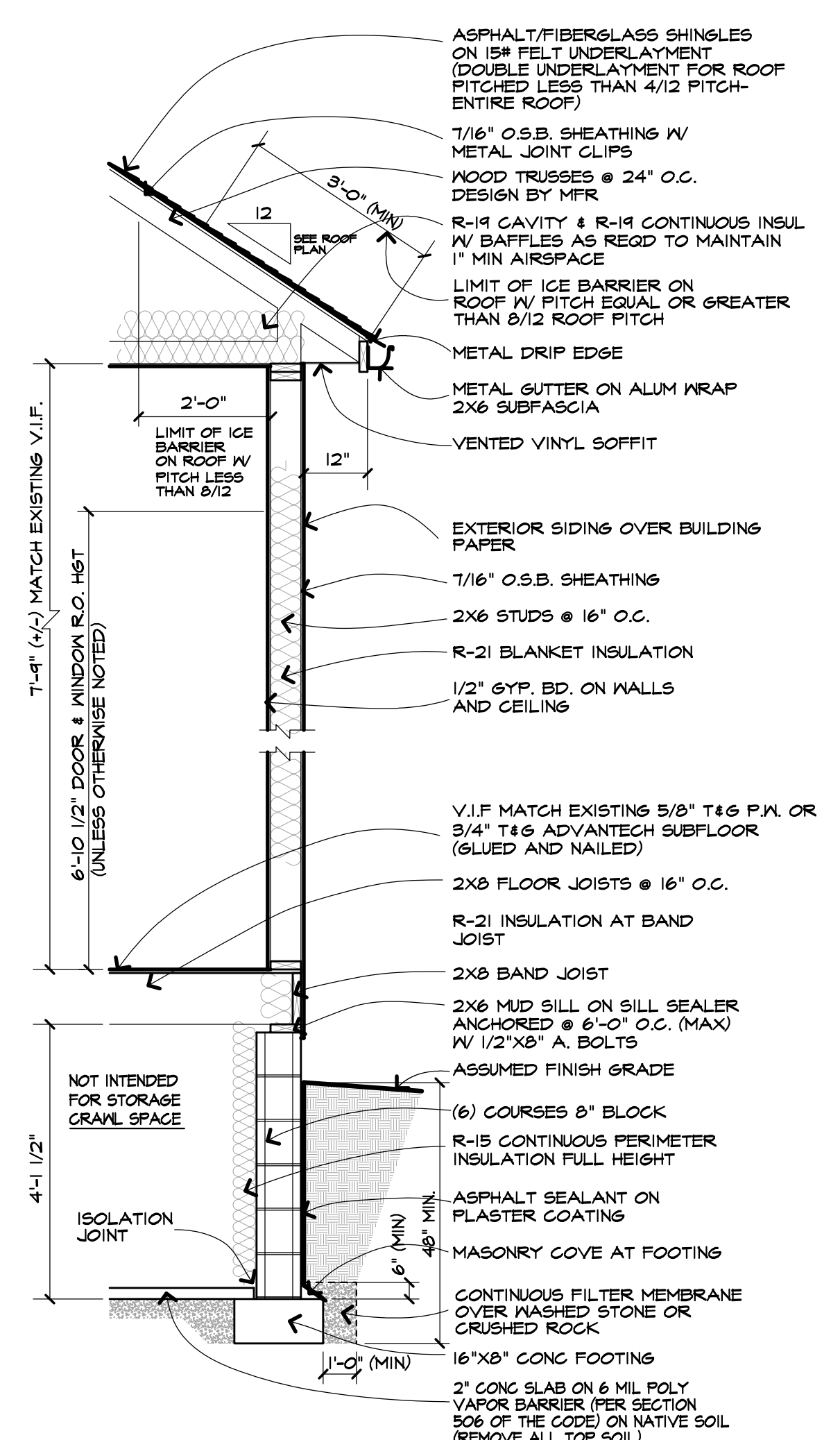
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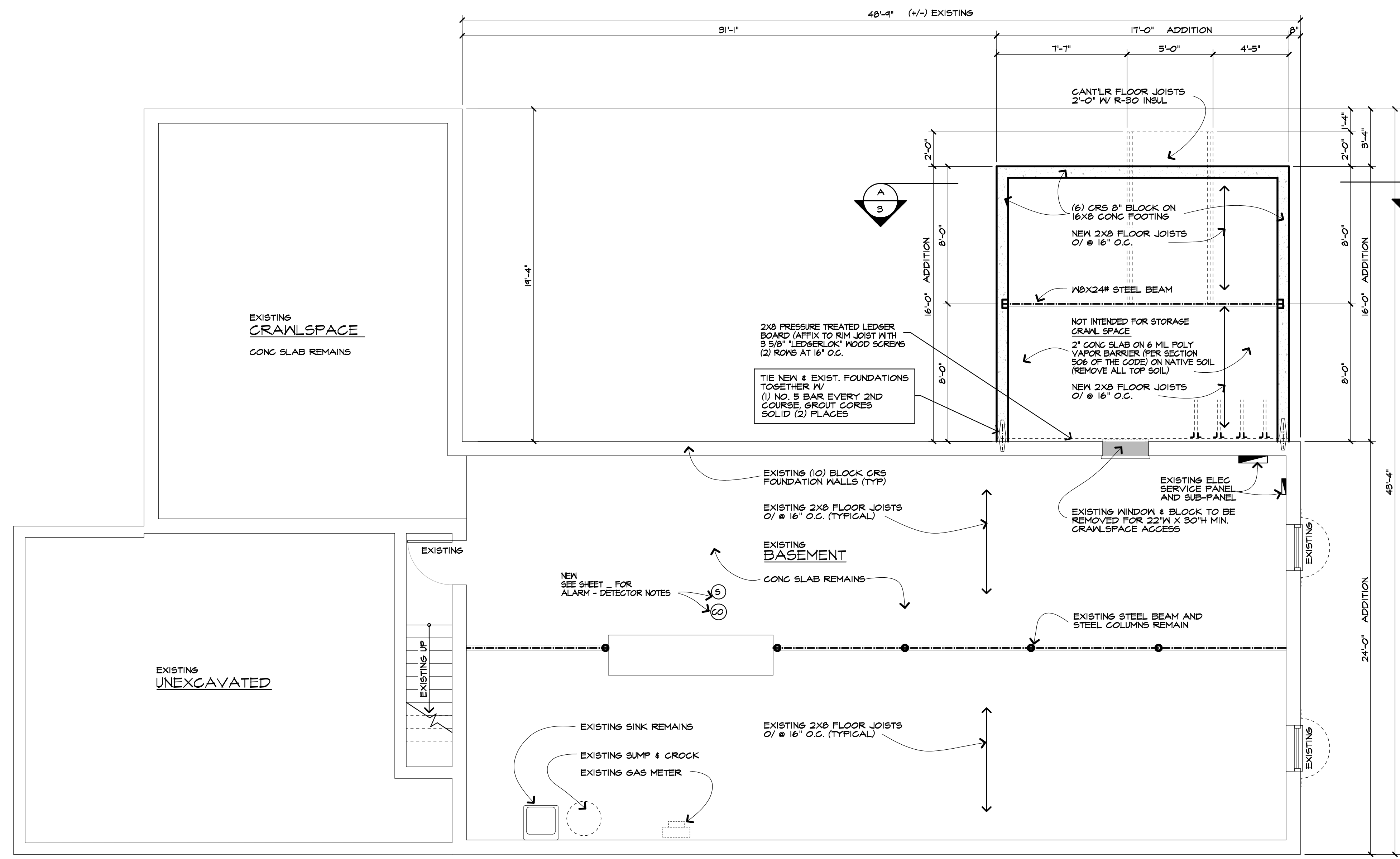


**BUILDING SECTION "A"**  
SCALE: 1/4" = 1'-0"



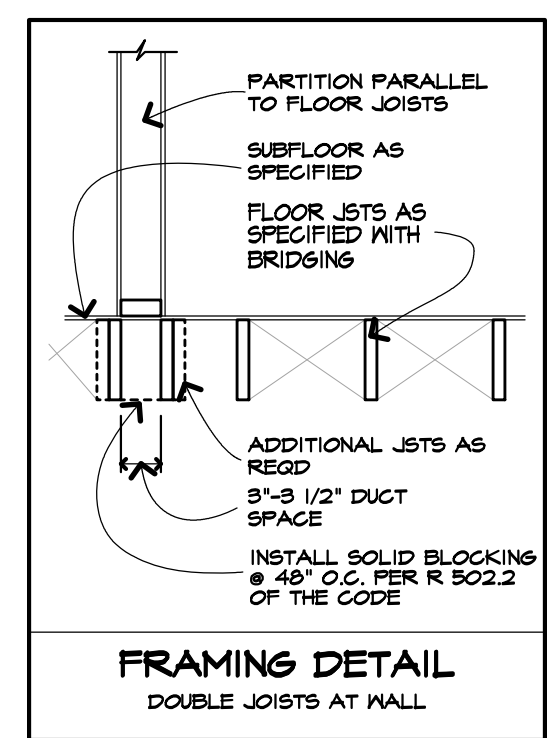
**TYPICAL WALL SECTION**  
SCALE: 1/2" = 1'-0"

\*SIMPSON H2.5A AT EVERY TRUSS / TOP PLATE CONNECTION



**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
EXISTING (10) BLOCK COURSE BASEMENT TO REMAIN



**FRAMING DETAIL**  
DOUBLE JOISTS AT WALL

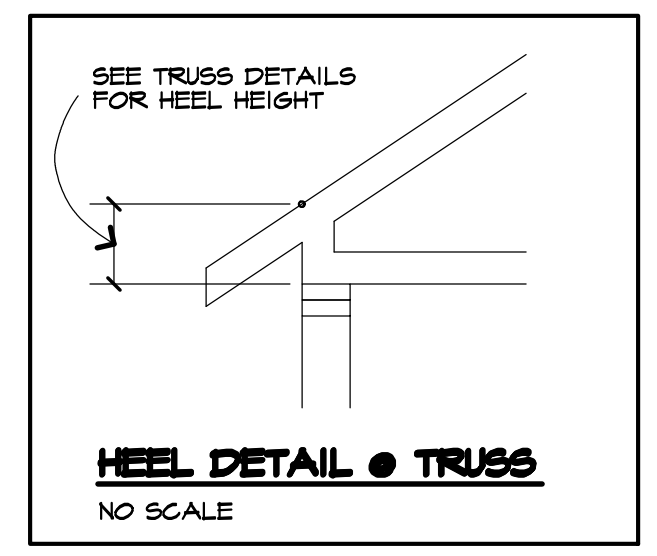
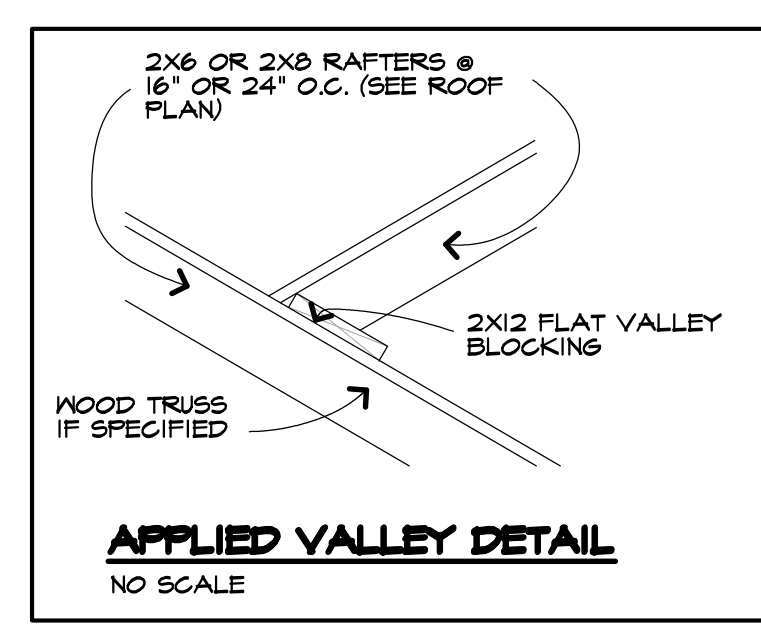
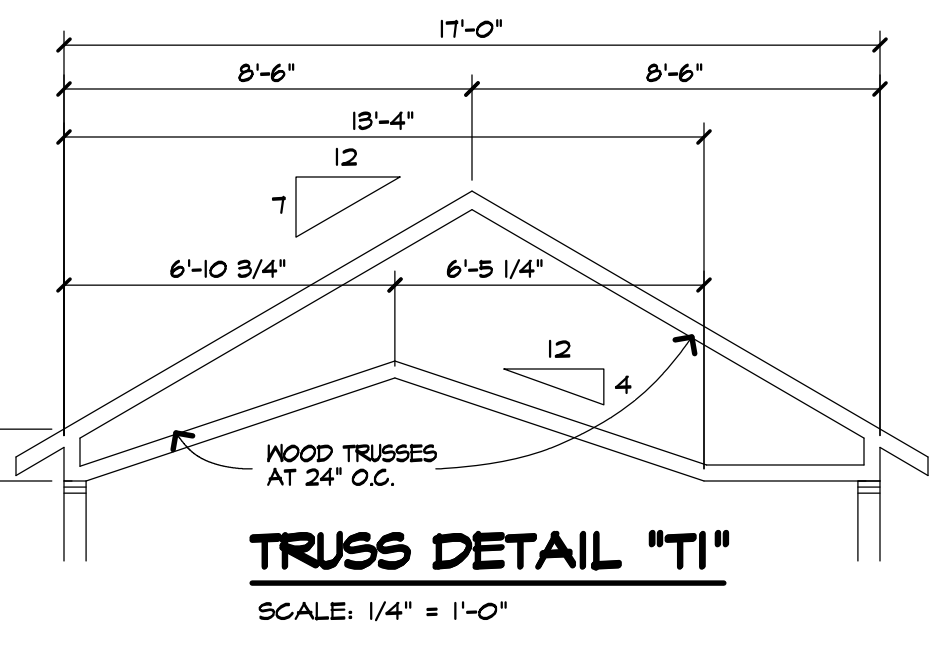
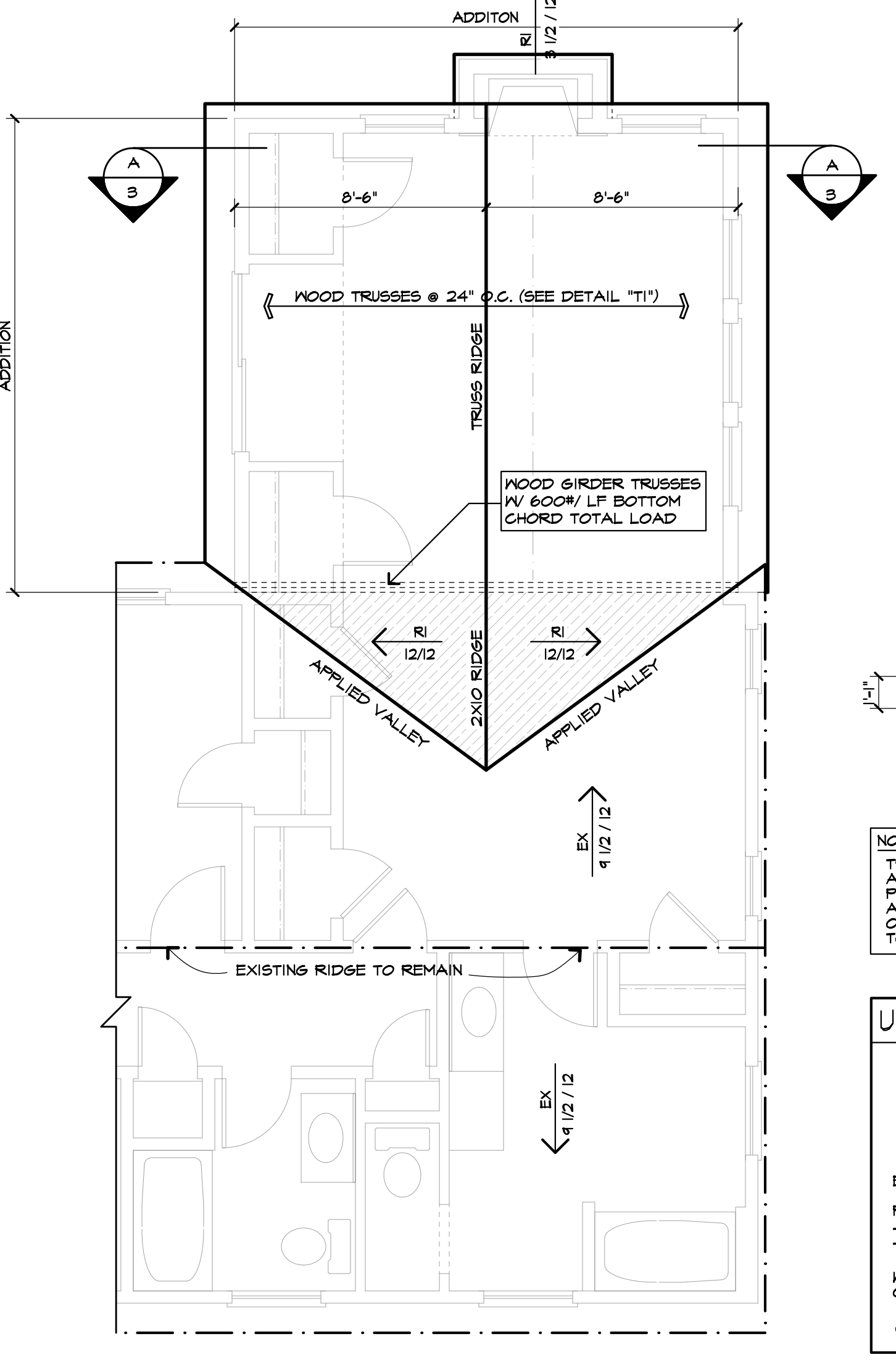
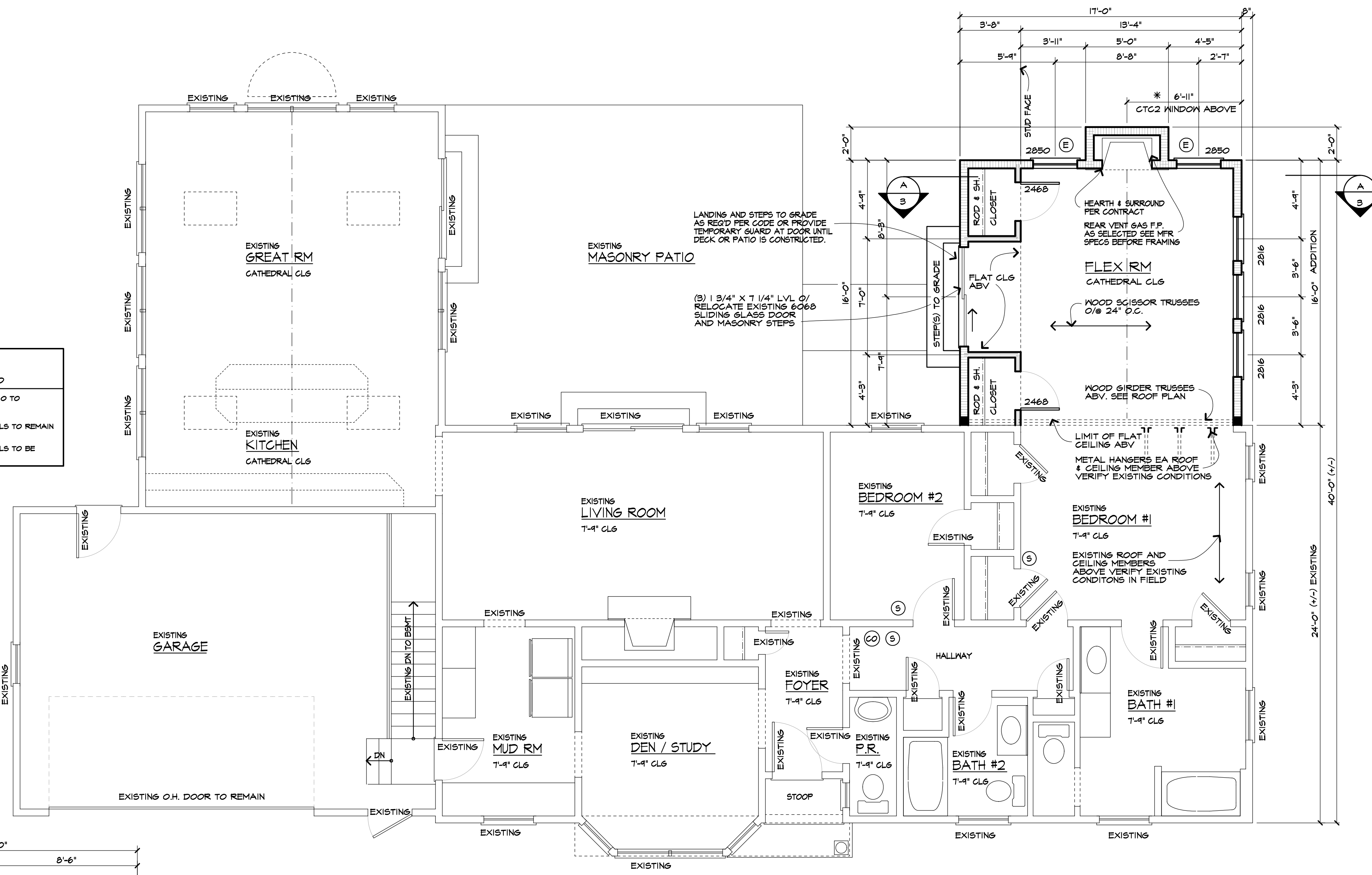
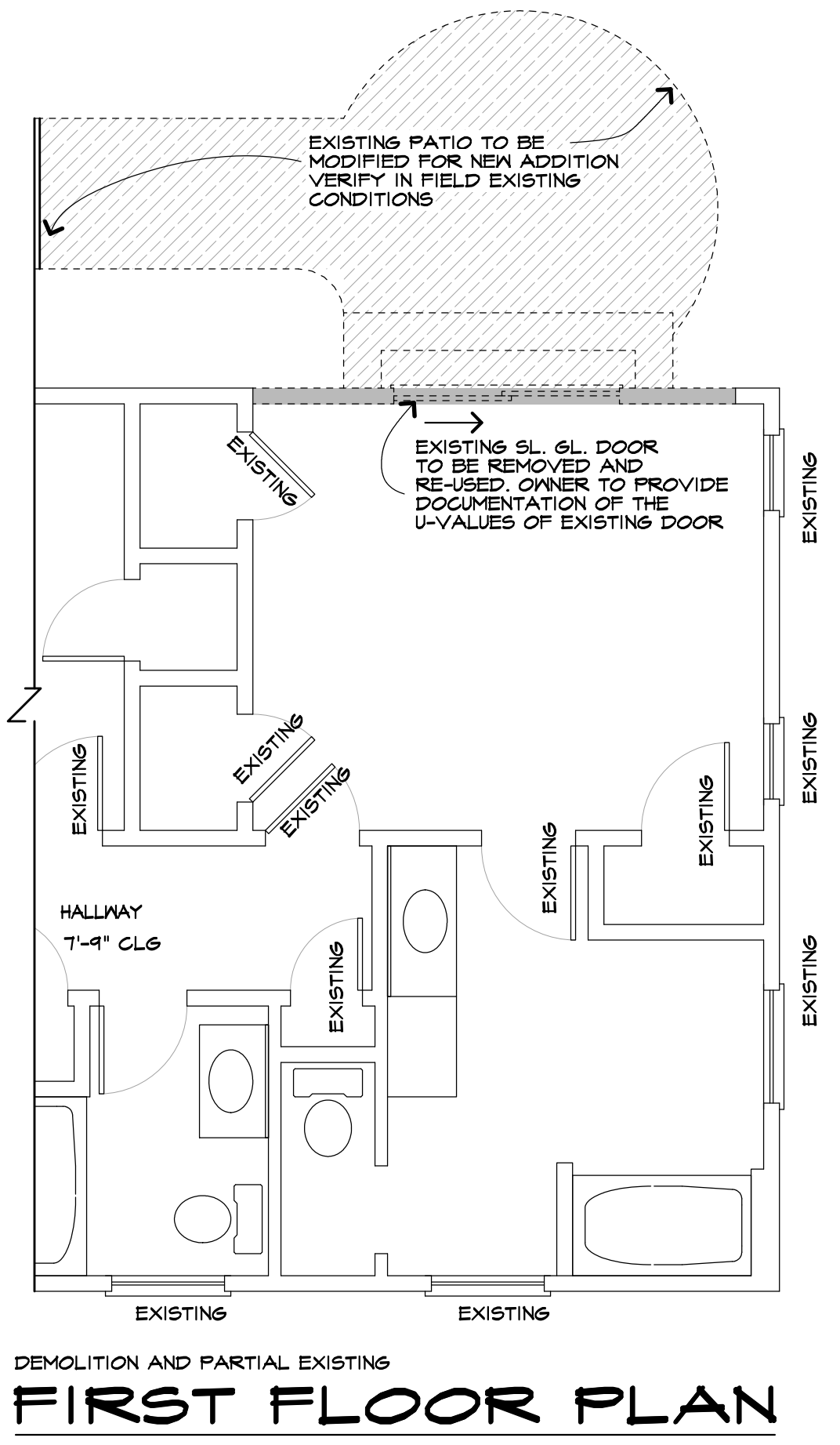
**WALL LEGEND**  
UNLESS OTHERWISE NOTED

	-NEW CMU AS SPECIFIED
	-EXISTING WALLS TO REMAIN
	-EXISTING WALLS TO BE REMOVED

- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER
  - CONTRACTOR SHALL INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
  - INSTALL MID-SPAN CROSS BRIDGING AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGING AT 1/3 POINTS FOR SPANS OVER 14'-0"
  - L.V. AND T.J. PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MANUF'S SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)
- HEATING AND COOLING EQUIPMENT EFFICIENCY RATING SHALL BE IN ACCORDANCE WITH R403.1 OF THE ENERGY CODE
- R302 IS FIRE PROTECTION OF FLOORS
  - PROVIDE 1/2-INCH (12.7MM) GYPSUM WALLBOARD MEMBRANE 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATION OR OPENING FOR DUCTS, VENTS, ELECTRICAL, OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED
- EXCEPTION:  
2. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FOR THE INSTALLATION OF FUEL-FIRED OR ELECTRIC-POWERED HEATING APPLIANCES.

Revision:	
Project:	RESIDENTIAL ADDITION MOONEY RESIDENCE
Client:	TERRY MASCI CONSTRUCTION INC.
Job Location:	220 OVERBROOK ROAD BRIGHTON, NEW YORK
Drawing Title:	BASEMENT PLAN TYPICAL SECTION
Drawn:	TJM/SMK
Checked By:	SLC
Date:	AUGUST, 2021
Job No.:	38469
Sheet:	3 of 4

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**NOTICE:**  
TRUSS SUPPLIER SHALL VERIFY ALL TRUSS DIMENSIONS WITH FLOOR PLAN, ROOF PLAN AND TRUSS DETAILS AND SHALL REPORT ANY ERRORS OR OMISSIONS TO THE ENGINEER PRIOR TO MANUFACTURE.

**UNLESS NOTED OTHERWISE**

- RI - 2X6 RAFTERS AT 24" O.C. WITH PITCH NOTED
- EX - EXISTING ROOF STRUCTURE WITH PITCH NOTED (ASSUMED)

EAVE OVERHANGS SHALL BE 1'-0" (+/-) MATCH EXISTING  
RAKE OVERHANGS SHALL BE 0'-6" (+/-) MATCH EXISTING TRUSS LAYOUT, DESIGN AND ENGINEERING TO BE PROVIDED BY TRUSS MFR.

WOOD TRUSSES SHALL CONFORM TO R802.10 OF THE CODE  
INSTALL ICE BARRIER ON ROOF TO COMPLY WITH SECTION 1507.1.2 OF THE CODE

"SIMPSON" H25A AT EVERY TRUSS / TOP PLATE CONNECTION

**ADDITION AND EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
ADDITION AREA = 272 SQ. FEET

WINDOW SUPPLIER TO VERIFY WINDOW WILL MEET THE FOLLOWING CRITERIA:  
CLEAR OPENING WIDTH SHALL BE 20" OR GREATER, CLEAR OPENING HEIGHT SHALL BE 24" OR GREATER, AND NET CLEAR OPENING SHALL BE 3.7 SQ. FT OR GREATER.  
THE BOTTOM EDGE OF THE CLEAR OPENING SHALL BE NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

CONTRACTOR SHALL INSTALL SMOKE, HEAT & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 415 OF THE FIRE CODE.

- (S) : SMOKE DETECTOR
- (CO) : CARBON MONOXIDE DETECTOR
- (H) : HEAT DETECTOR (NEW GARAGE CONSTRUCTION ONLY)

R314.2 HEAT DETECTOR SHALL BE LOCATED CENTRALLY IN THE ATTACHED GARAGE, NEW CONSTRUCTION ONLY.

R314.3 SMOKE DETECTOR LOCATION: SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION: INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

R315.3 CARBON MONOXIDE ALARM LOCATIONS: OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

R315.4 315.6.4 COMBINATION ALARMS: COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

(\*) DENOTES WINDOW ROUGH OPENING HEIGHT AT 8'-10 1/2" ABOVE SUBFLOOR.

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

**NOTE:**  
PROVIDE (2) 1/2" PLYND GUSSETS - 2X6 WALL  
PROVIDE (1) 1/2" PLYND GUSSET-2X4 WALL

**WALL LEGEND**

- 2X4 STUDS AT 16" O.C.
- 2X6 STUDS AT 16" O.C.
- EXISTING WALLS TO REMAIN
- EXISTING WALLS & WINDOWS AND DOORS TO BE REMOVED
- INFILL OPENING TO MATCH EXISTING ADJACENT ASSEMBLY
- LUMBER IN DIRECT CONTACT WITH MASONRY SHALL BE PRESQ. TREATED
- PROVIDE (3) STUDS SOLD WHERE SHOWN IN SOLID BLK TO BELOW

UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE T-4" (+/-) ABOVE TOP OF SUBFLOOR. V.I.F. MATCH EXISTING.

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER

CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYC CODES

ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DURAPLY (OR EQUAL) FINISH

AT OUTSIDE, FULL DEPTH RM JOIST, AND SOLID BLOCKING AT SUPPORT WALL.

INSTALL MID-SPAN CROSS BRIDGING AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGING AT 1/3 POINTS FOR SPANS OVER 14'-0"

INSTALL HANDRAIL & GUARDS AT STAIR PER SECTIONS R311.7.2-R311.12.2 AND R-312 OF THE CODE

LVL AND TJI PRODUCTS, ACCESSORIES AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)

8 1/4" MAX STEP AT EGRESS DOOR(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER EXCEPTION SECTION R311.3.1 OF THE CODE & 7 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE CODE

PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY

IF OWNER CANT PROVIDE DOCUMENTATION OF EXISTING DOOR U VALUE SEE GENERAL NOTES SHEET I

**Project:** RESIDENTIAL ADDITION MOONEY RESIDENCE

**Client:** TERRY MASCI CONSTRUCTION INC.

**Job Location:** 220 OVERBROOK ROAD BRIGHTON, NEW YORK.

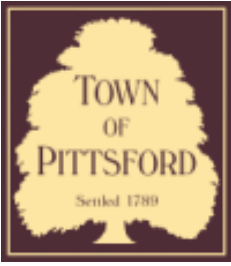
**Drawing Title:** DEMOLITION PLAN FIRST FLOOR PLAN ROOF FRAMING PLAN

**Drawn:** TJM/SMK  
**Checked By:** SLC

**Date:** AUGUST, 2021

**Job No.:** 38469

**Sheet:** 4 of 4



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000190**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 72 Coventry Ridge ,

**Tax ID Number:**

**Zoning District:**

**Owner:** Clover St. Development Corp.

**Applicant:** Clover St. Development Corp.

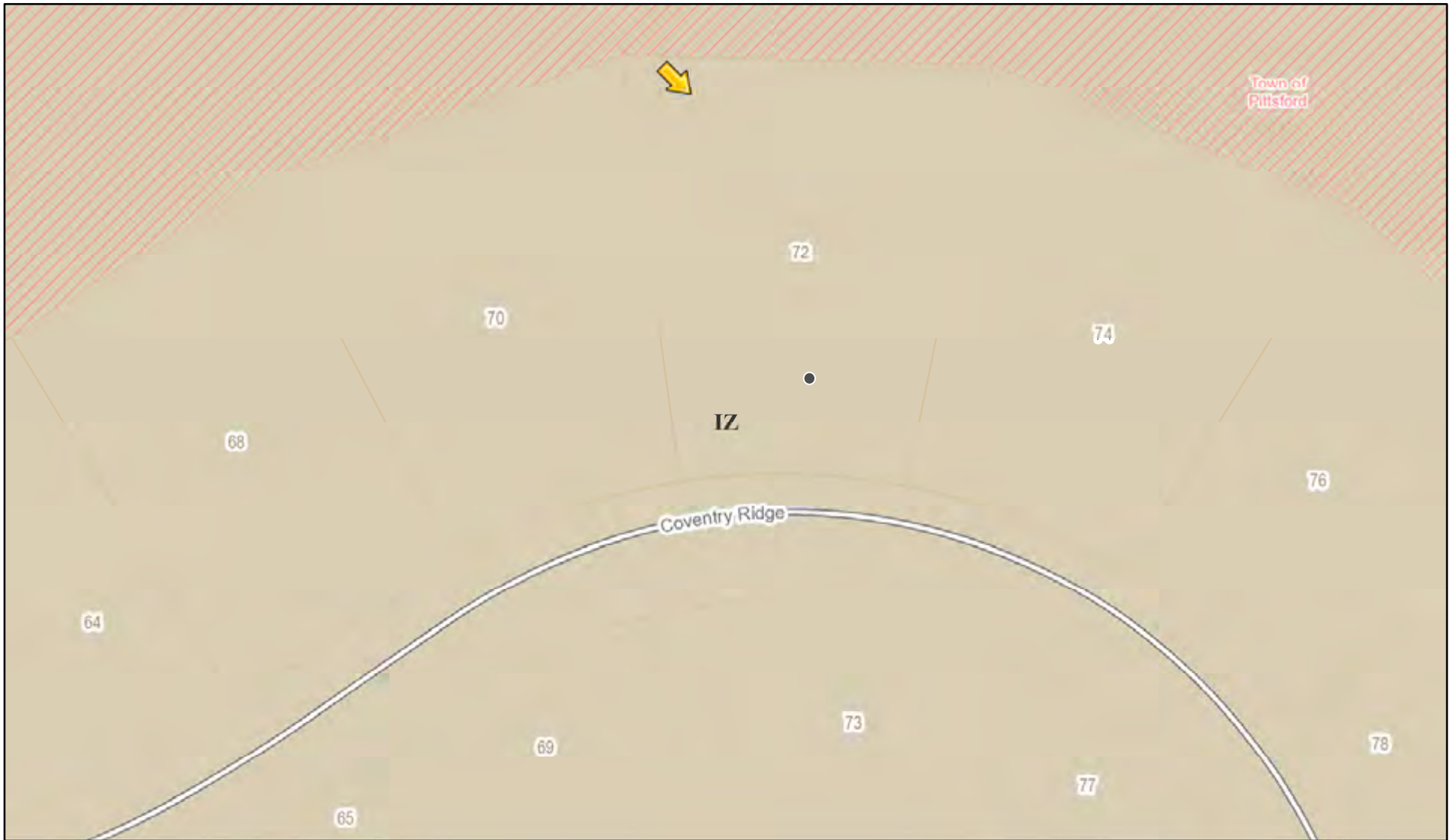
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

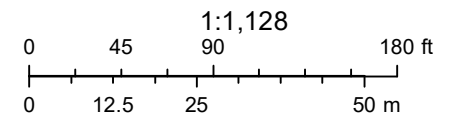
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 2800 square feet of livable area and is located in the Coventry Ridge Subdivision.

**Meeting Date:** September 23, 2021

# RN Residential Neighborhood Zoning



Printed September 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Coventry Rdg





# LOT 55 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 2800 / PROJECT 15420 C

## SHEET INDEX

- C- 1 COVER SHEET
- 1/6 FRONT & LEFT ELEVATIONS
- 2/6 RIGHT & REAR ELEVATIONS
- 3/6 BASEMENT & FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS

## GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS ) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNYS ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE  $\frac{1}{30}$  OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GAUGE ), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

## ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH  $w.g.$  (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE THROUGH CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R403 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R403 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS ) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH  $w.g.$  (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH  $w.g.$  (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

## SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

## FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE PUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

## FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G243.1.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

## FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORTCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN QUITCHES. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

## STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R31.1.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

## GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

## STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy = 33 KSI

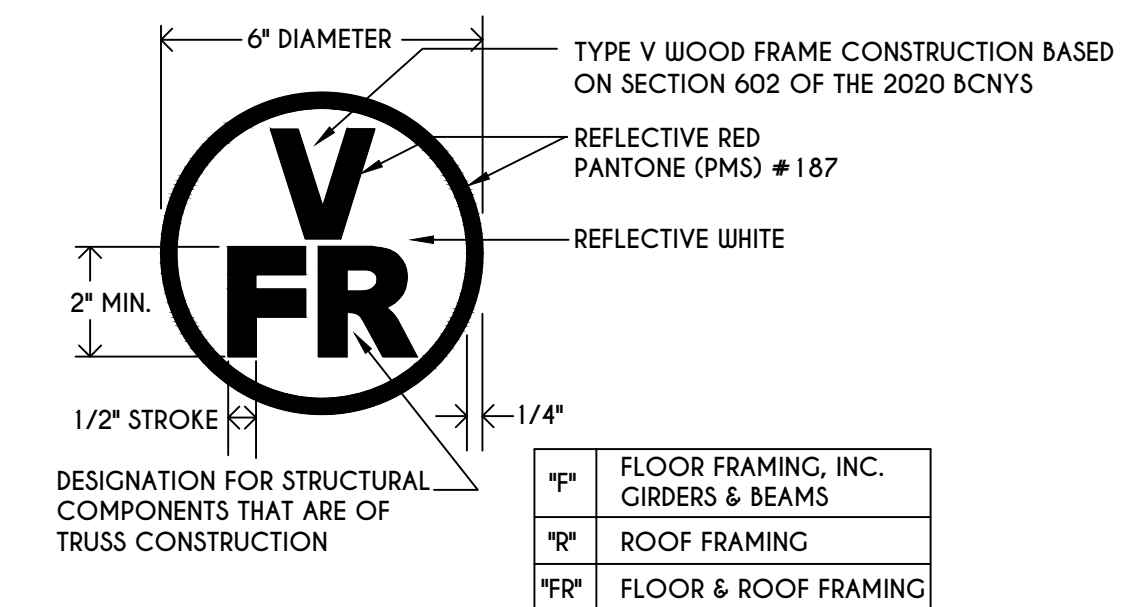
## DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

## TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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DATE	BY	DESCRIPTION

## CLIENT/LOCATION:

LOT 55  
COVENTRY RIDGE  
PITTSFORD, NY

## BUILDER:

COVENTRY RIDGE  
BUILDING CORP.

## COVER PAGE

GLA PLAN 2800

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 PITTSFORD, NY

**BUILDER:**  
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 BUILDING CORP.

**ELEVATIONS**

GLA PLAN 2800

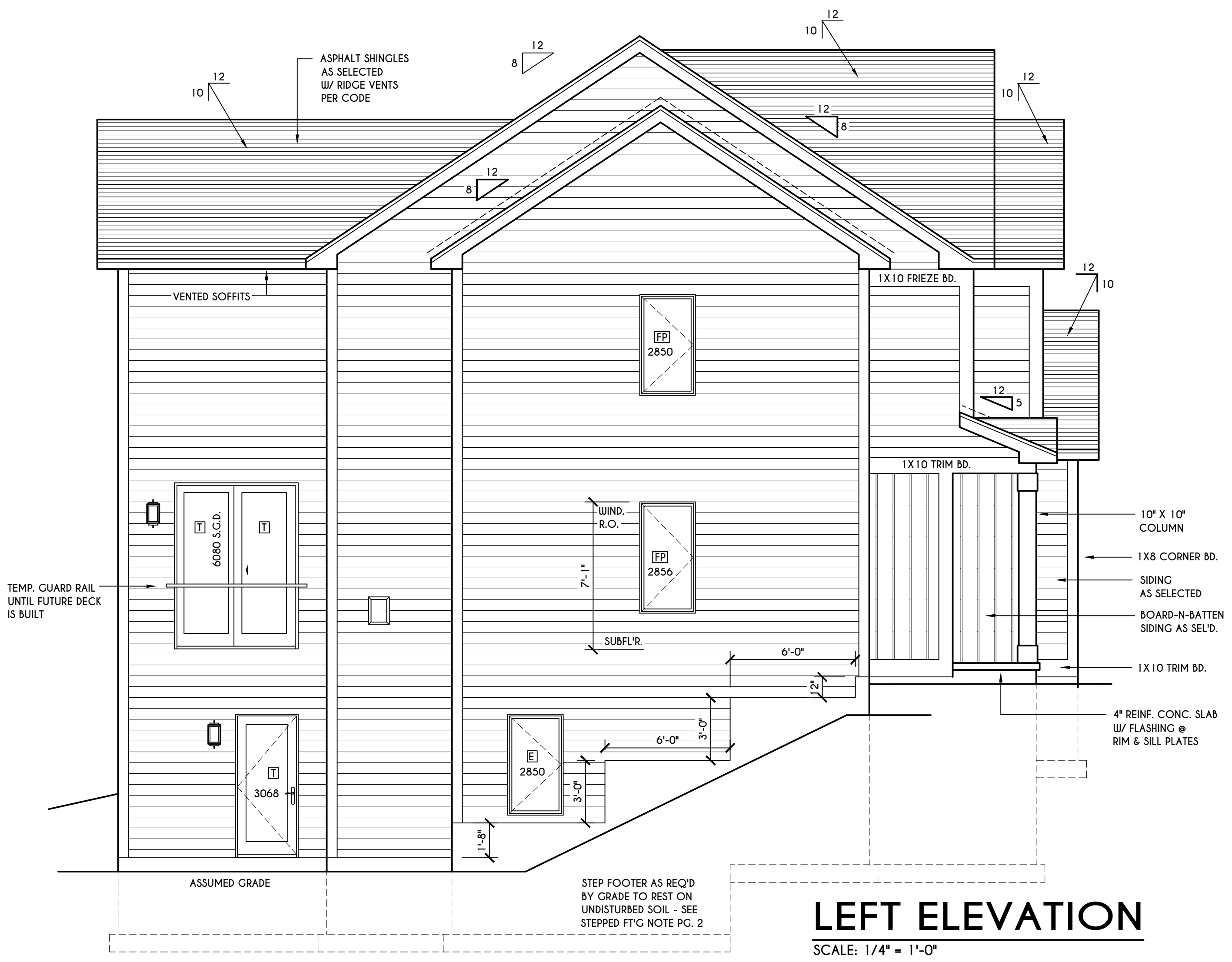
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PROJECT: 15420 C	sheet: 1 / 6



**HOUSE FOOTPRINT**  
 SCALE: 1" = 50'-0"

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 1396 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1404 SQ.FT.  
 TOTAL LIVING AREA = 2800 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 37,198 CU.FT.



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

**TABLE M1505.4.3 (1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR <sup>a</sup>				
	25%	33%	50%	66%	75%
100%	4	3	2	1.5	1.3
75%	3	2	1.5	1.3	1.0

<sup>a</sup> For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
<sup>b</sup> Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4**  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** WIND 210C DH SOLAR GAIN W/ ARGON  
 U-FACTOR ..... 0.29  
 SHGC ..... 0.56

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL BAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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LOT 55  
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 PITTSFORD, NY

**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

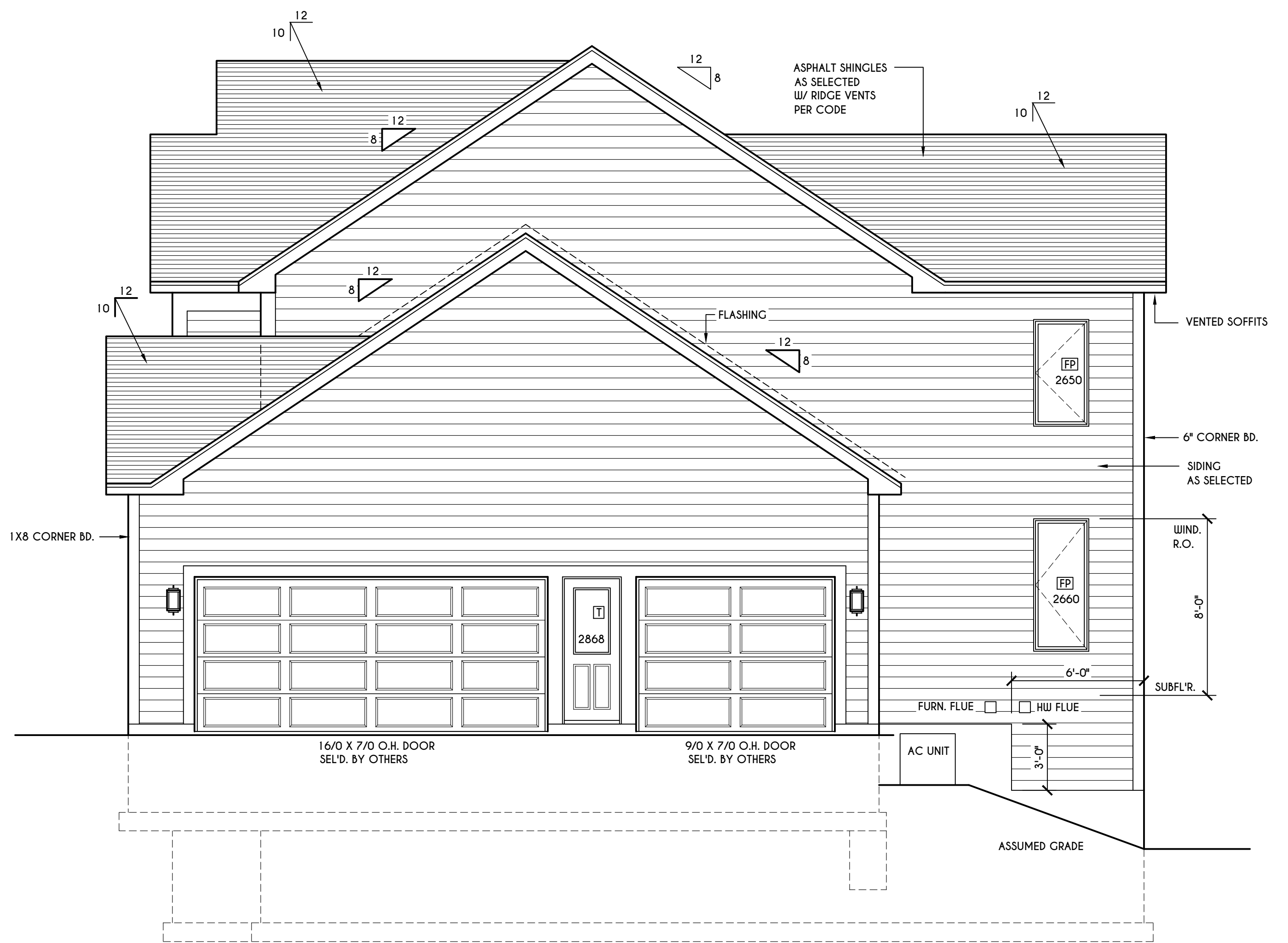
**ELEVATIONS**

GLA PLAN 2800

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scale: AS NOTED	date: 9 / 21
PROJECT: 15420 C	sheet: 2 / 6



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

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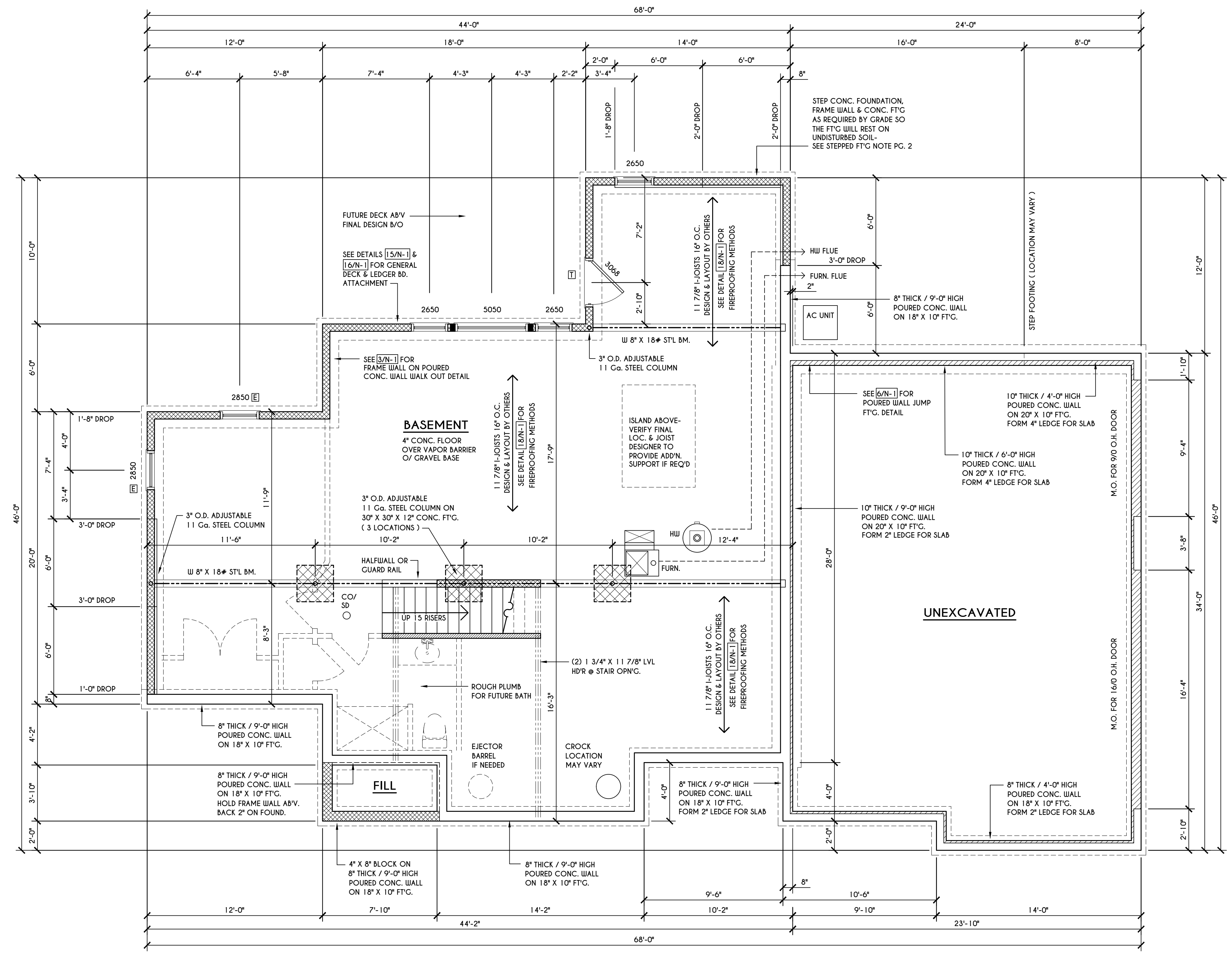
**CLIENT/LOCATION:**  
 LOT 55  
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 PITTSFORD, NY

**BUILDER:**  
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 BUILDING CORP.

**FOUNDATION PLAN**

GLA PLAN 2800

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**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
**NOTES:** CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED  
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE D/L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19N-1

**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS  
 SEE DETAIL [18N-1] FOR FIREPROOFING METHODS

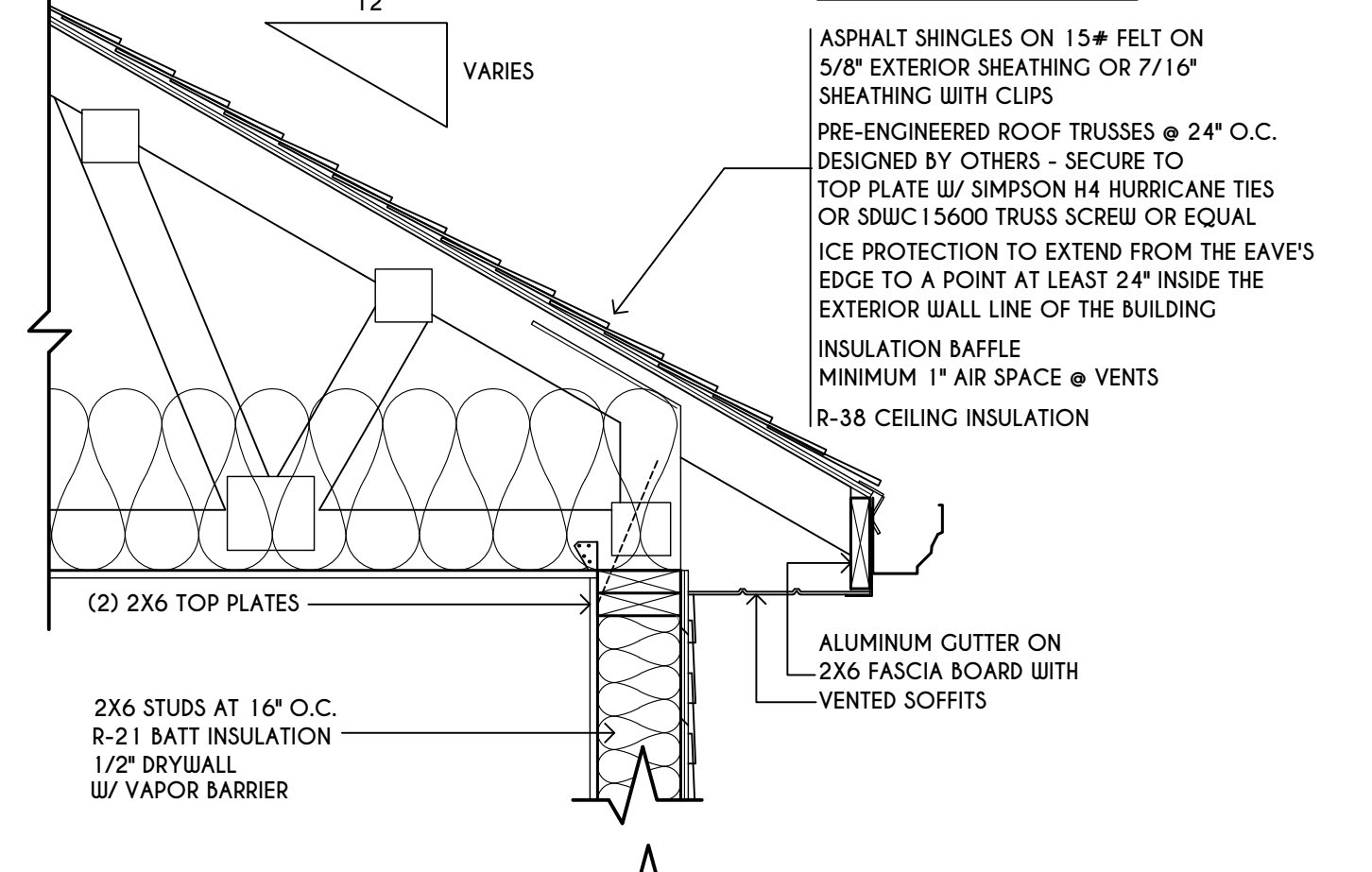
**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

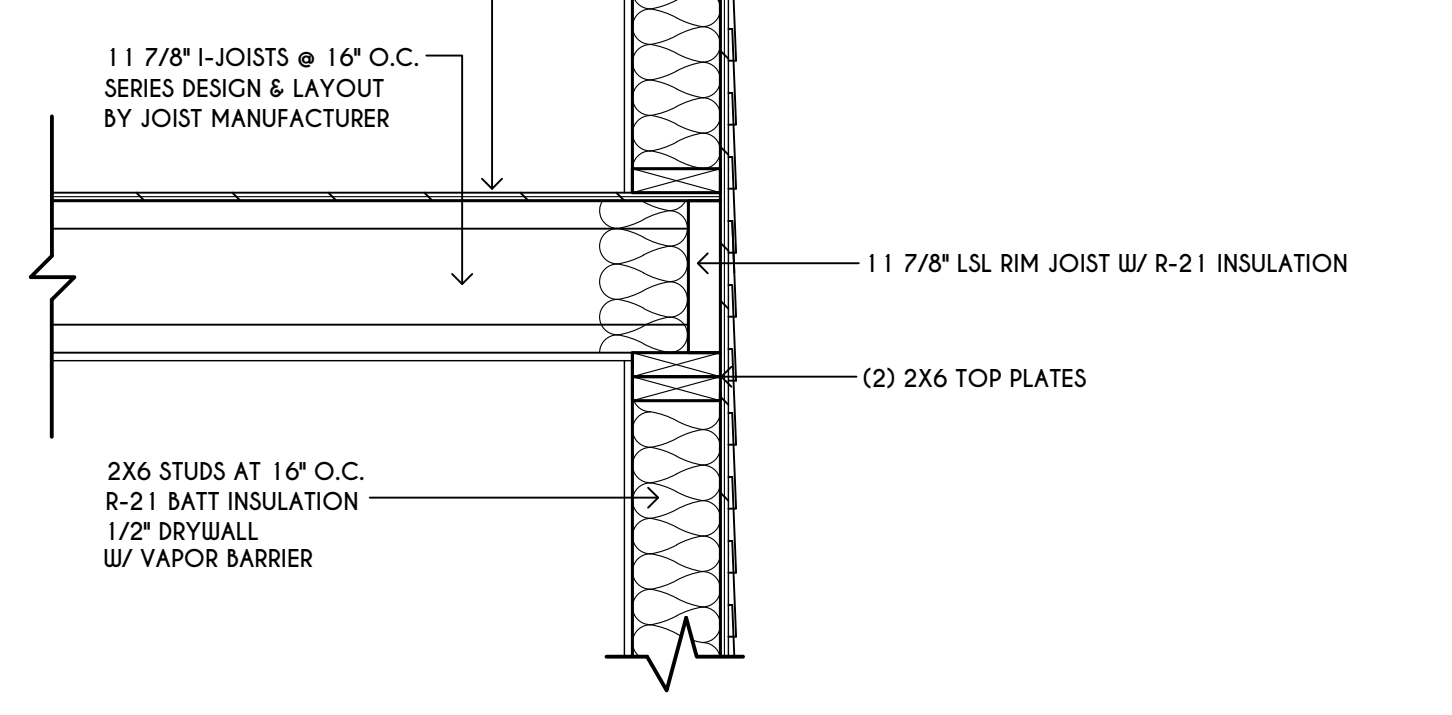
**WINDOW / DOOR LEGEND:**

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- = CLEAR OPENING AREA OF 5.7 SQ.FT.
- = CLEAR OPENING WIDTH OF 20"
- = CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

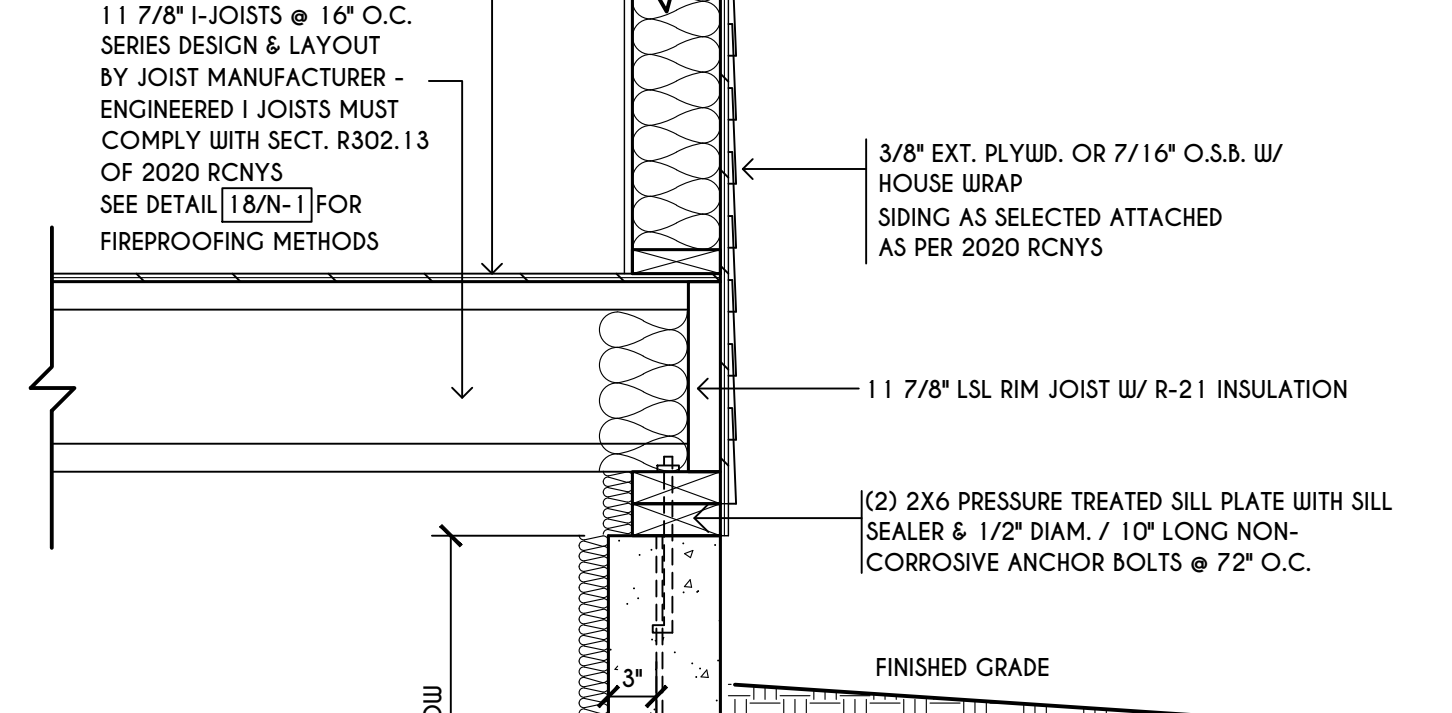
**TRUSS EAVE CONSTRUCTION**



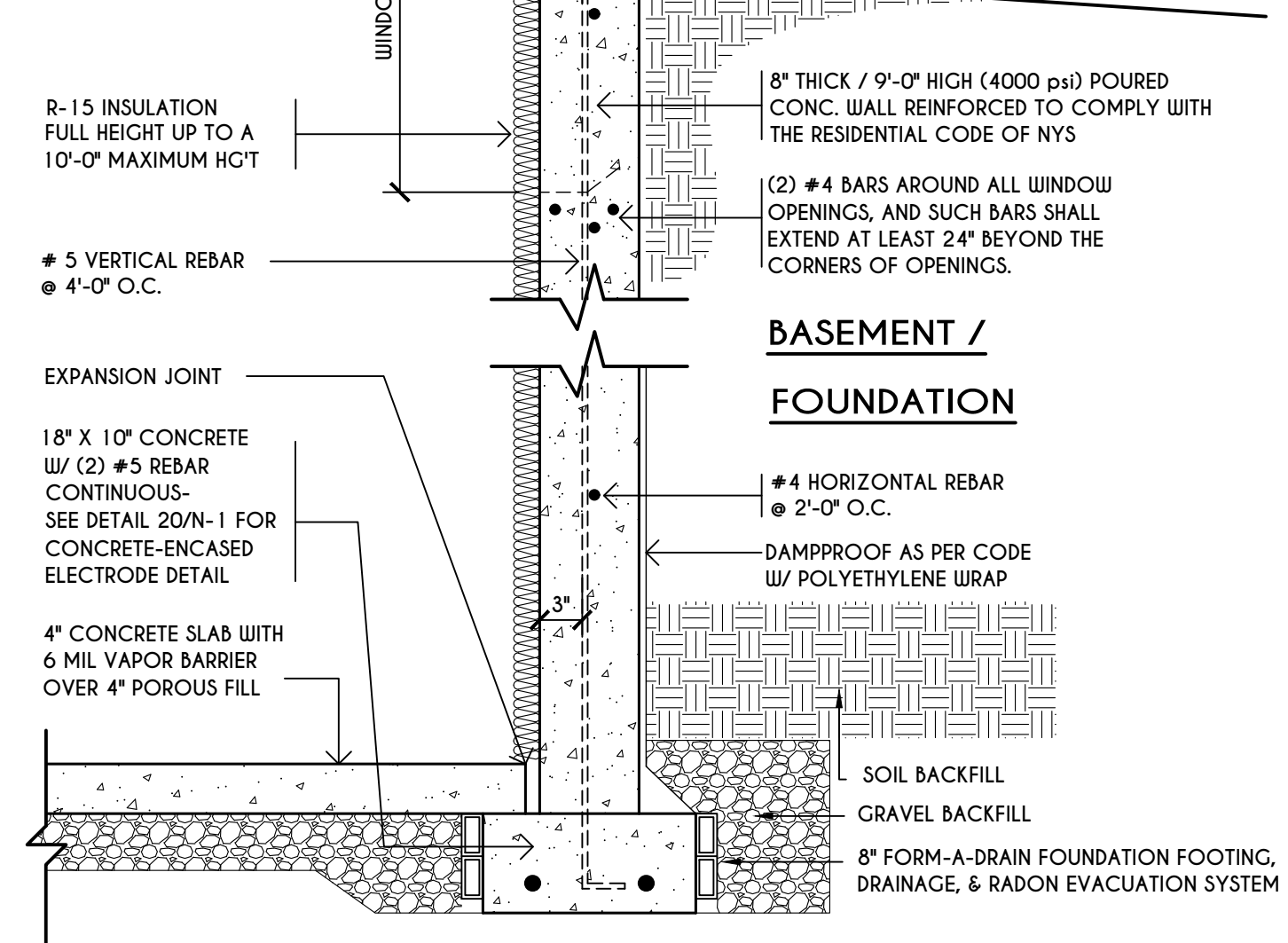
**SECOND FLOOR**



**FIRST FLOOR**



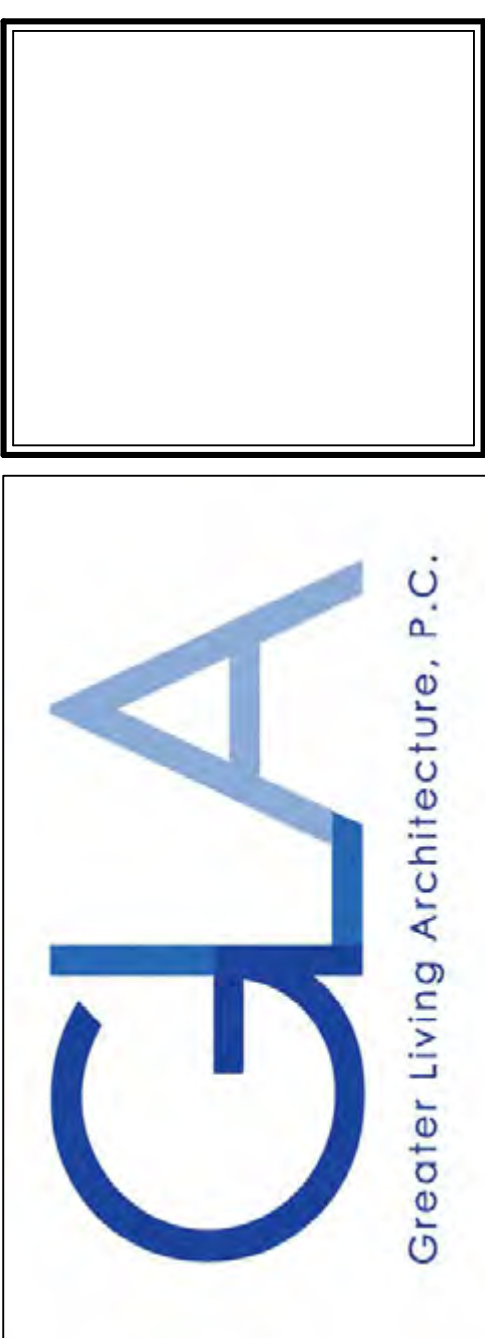
**BASEMENT / FOUNDATION**



**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"

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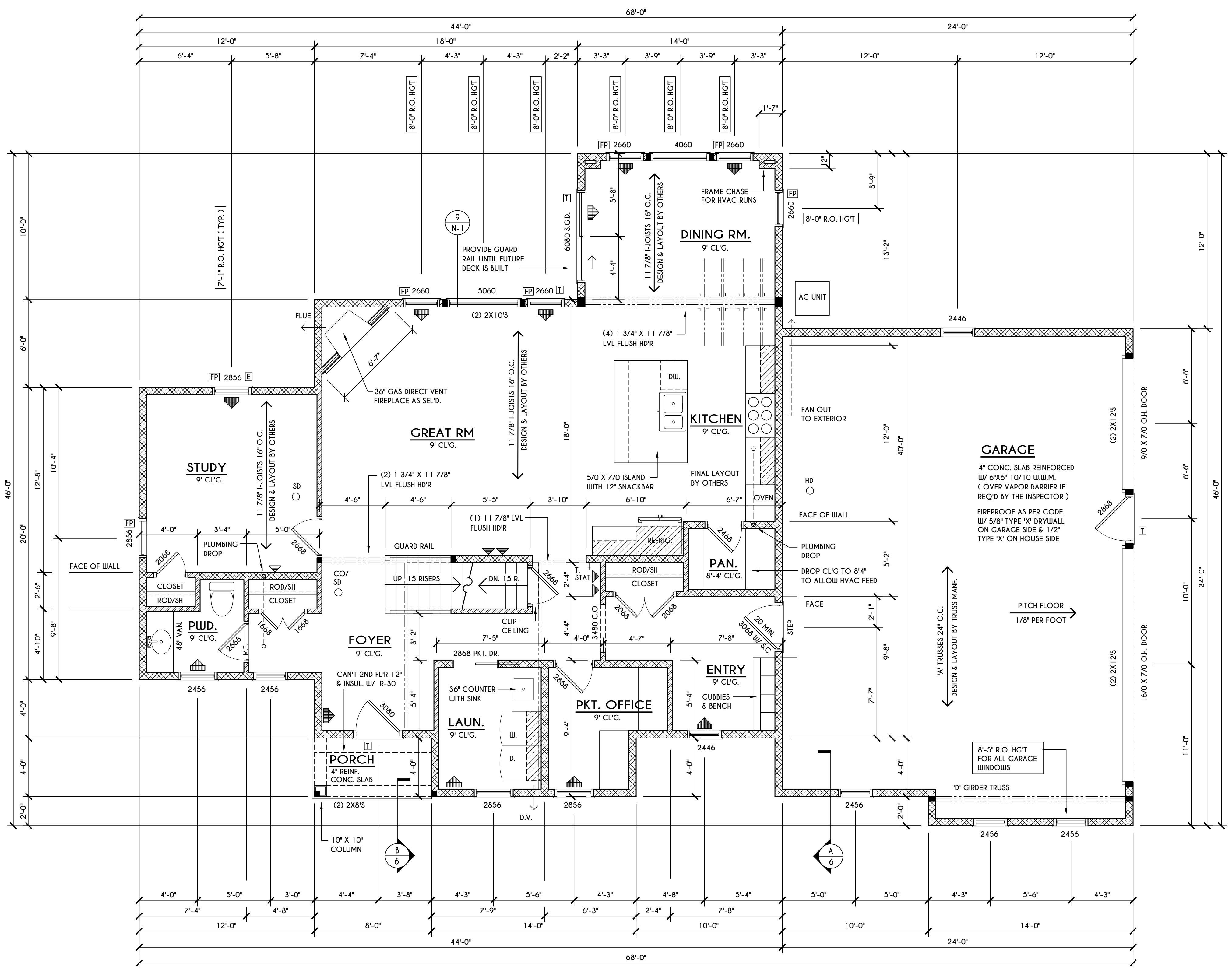
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 2800

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**FIRST FLOOR PLAN**

1396 SQ. FT.

SCALE: 1/4" = 1'-0"

**ENGINEERED FLOOR JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**FRAMING LEGEND:**

	PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2x4 STUDS @ 16" O.C.
	2x6 STUDS @ 16" O.C.

**NOTES:**

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 7'-1" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7' - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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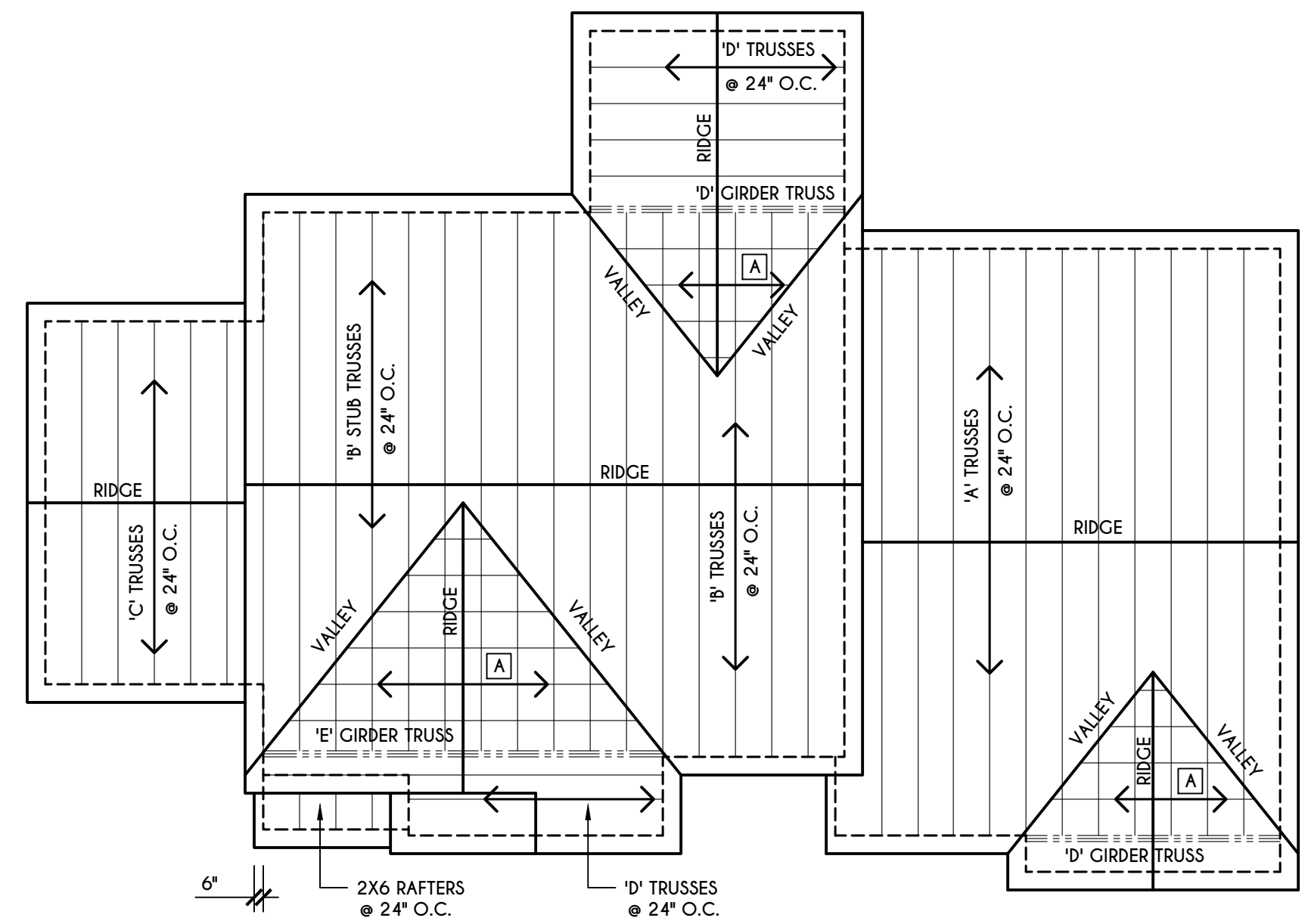
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 LOT 55  
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 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 2800

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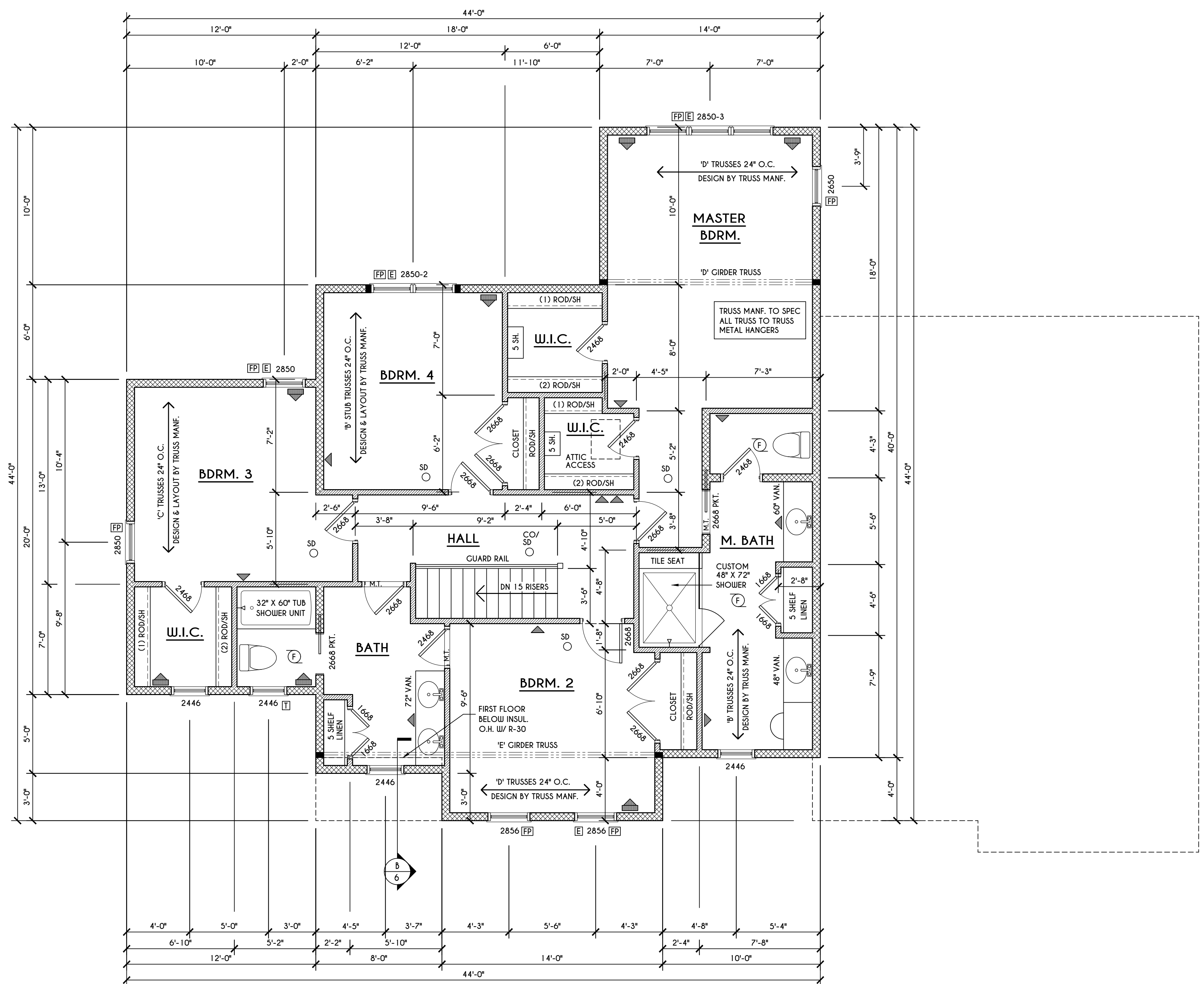


**ROOF PLAN**

SCALE: 1/8" = 1'-0"

A - 2X8 LAYOVER RAFTERS 24" O.C.

- ALL BAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
- ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
- THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



**SECOND FLOOR PLAN**

1404 SQ.FT.

SCALE: 1/4" = 1'-0"

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**NOTES:** SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
- PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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**REVISIONS:**

DATE	BY	DESCRIPTION

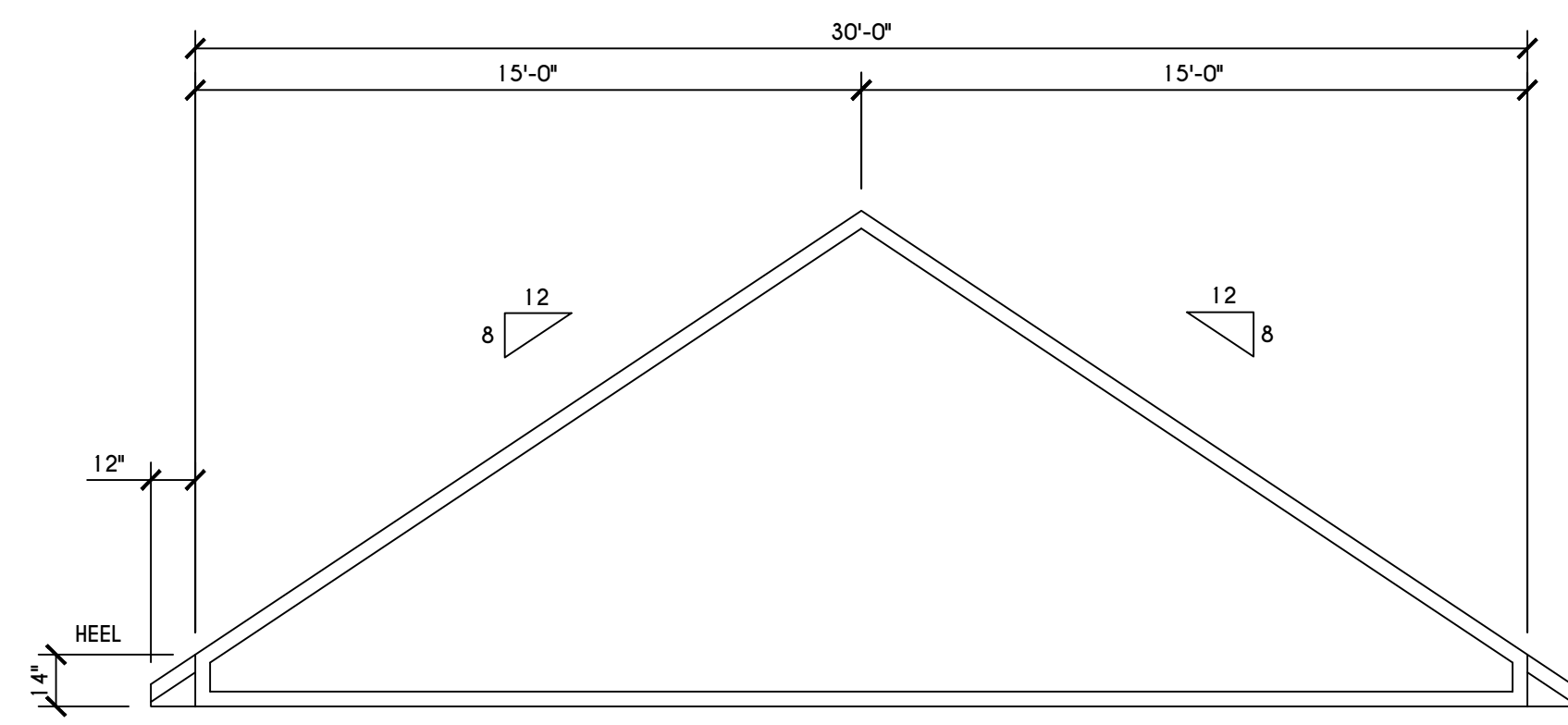
**CLIENT/LOCATION:**  
 LOT 55  
 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

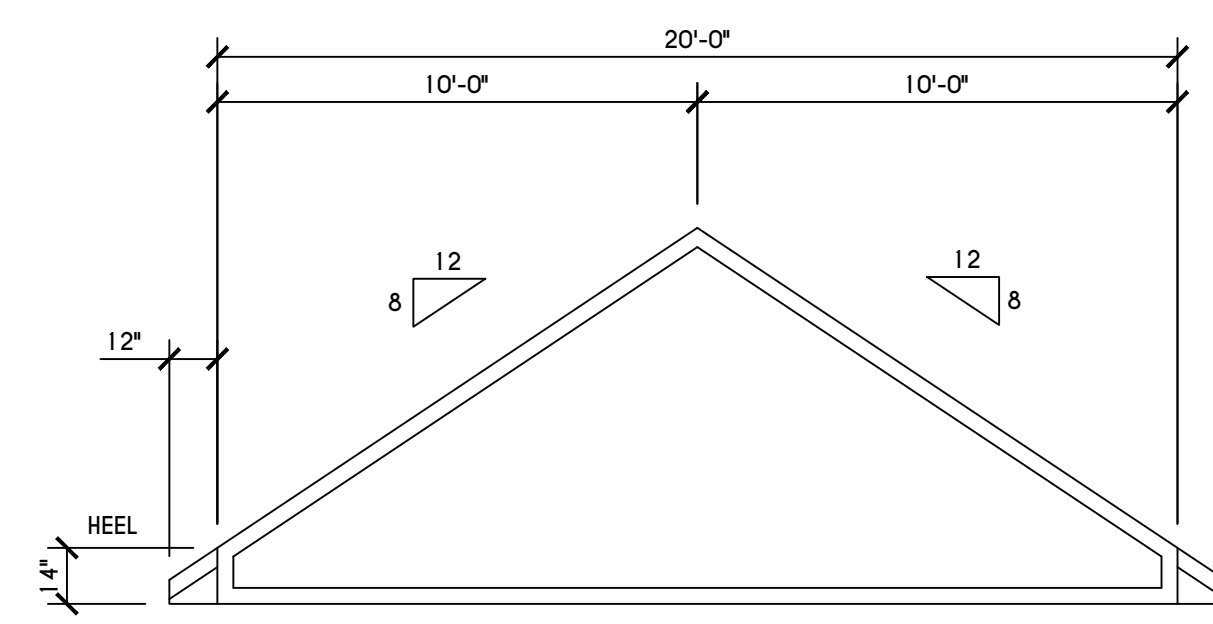
**SECTIONS**

GLA PLAN 2800

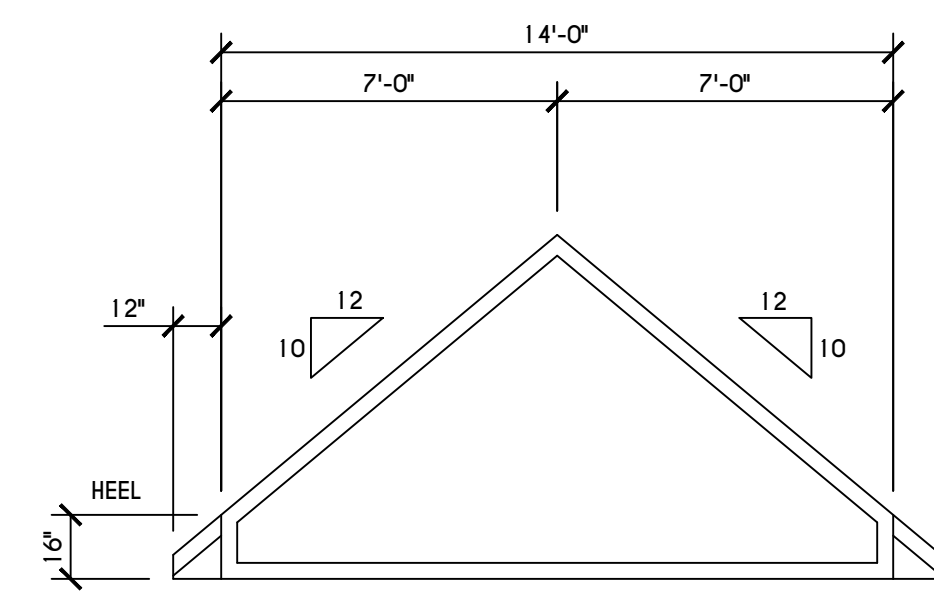
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scale: AS NOTED	date: 9 / 21
PROJECT: 15420 C	sheet: 6 / 6



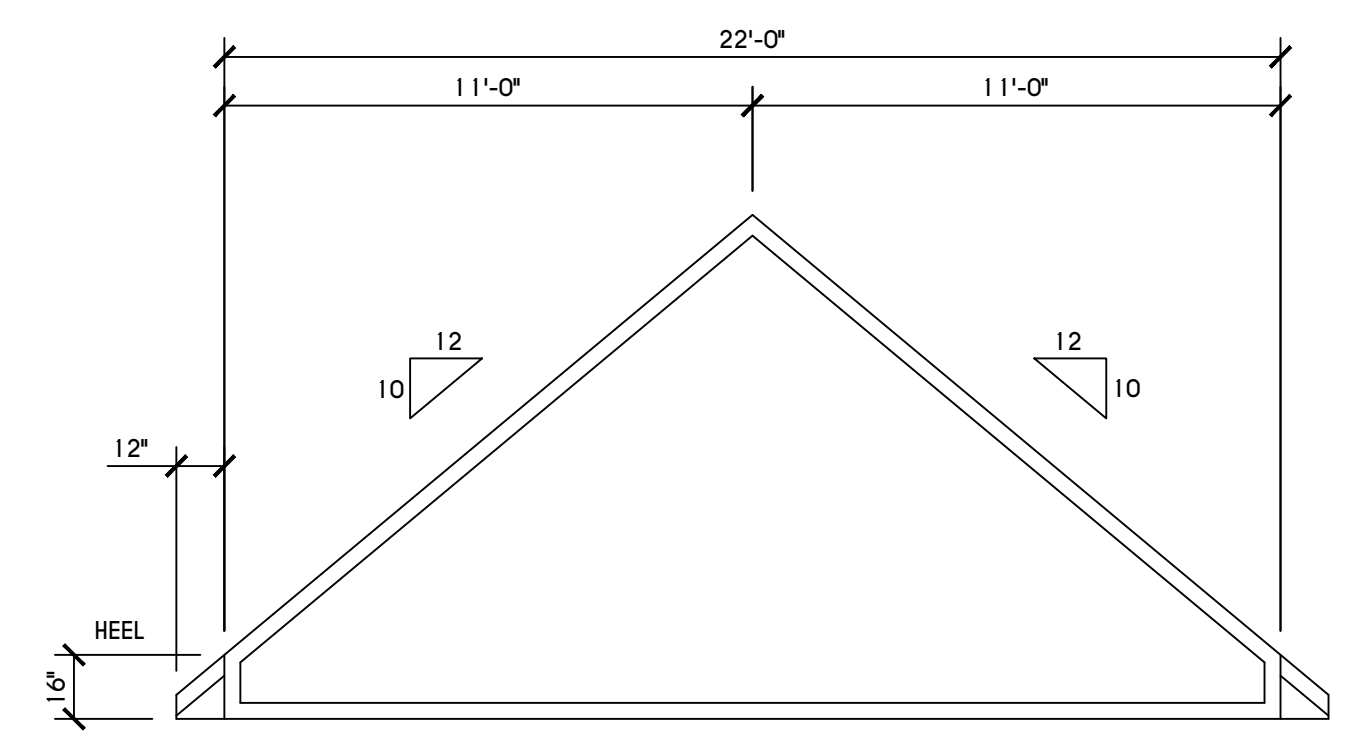
**'B' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"



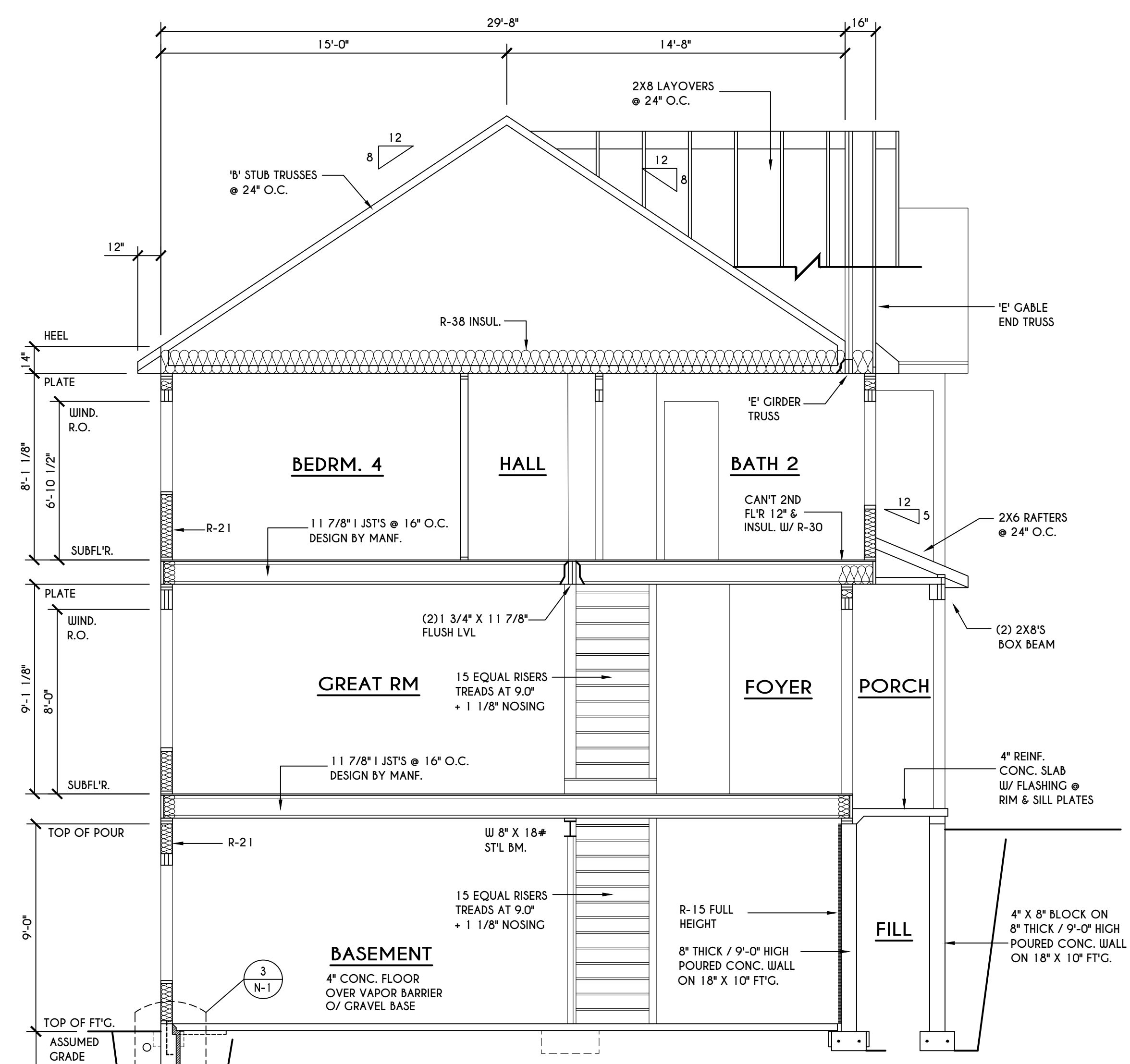
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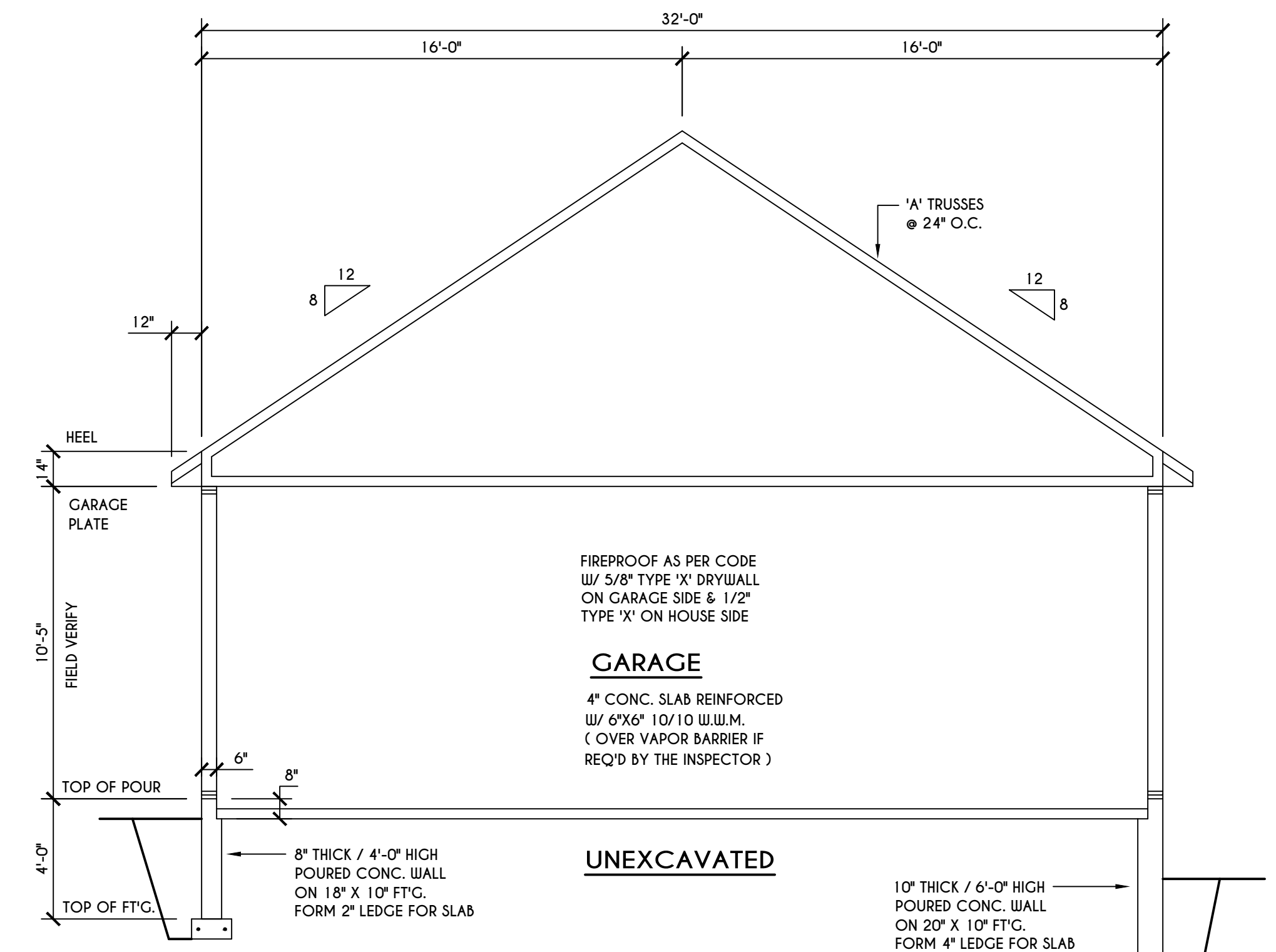
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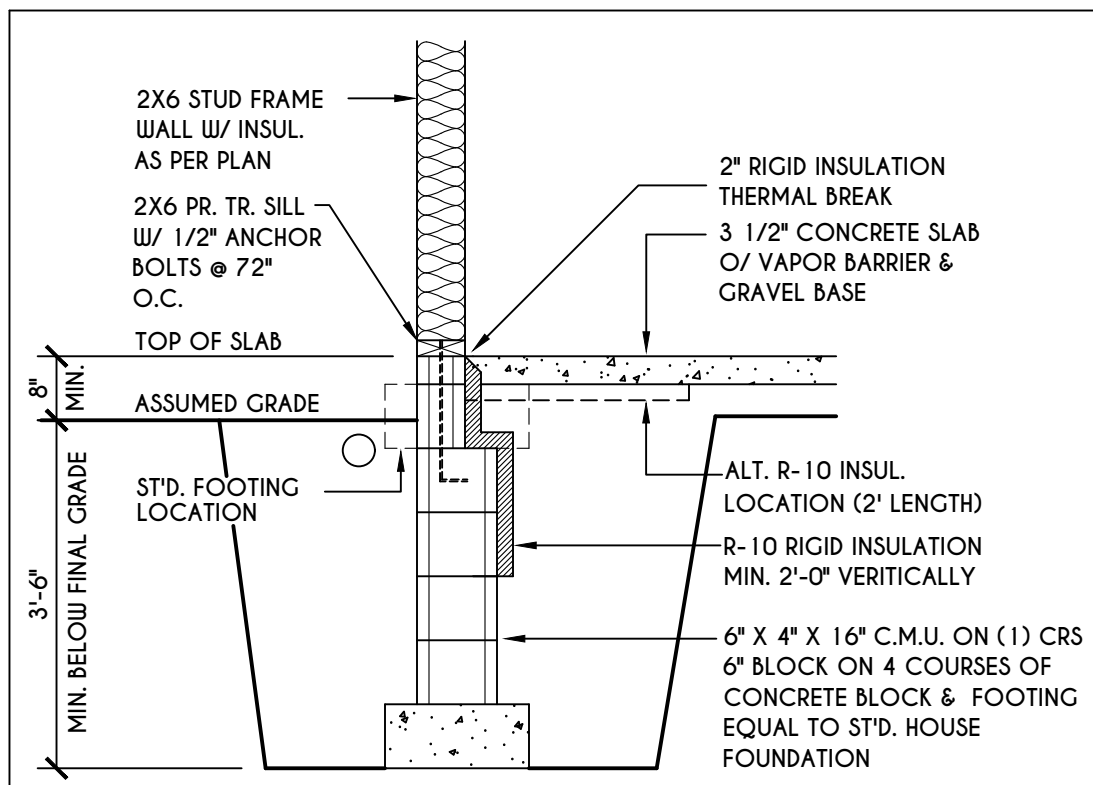
**'E' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"



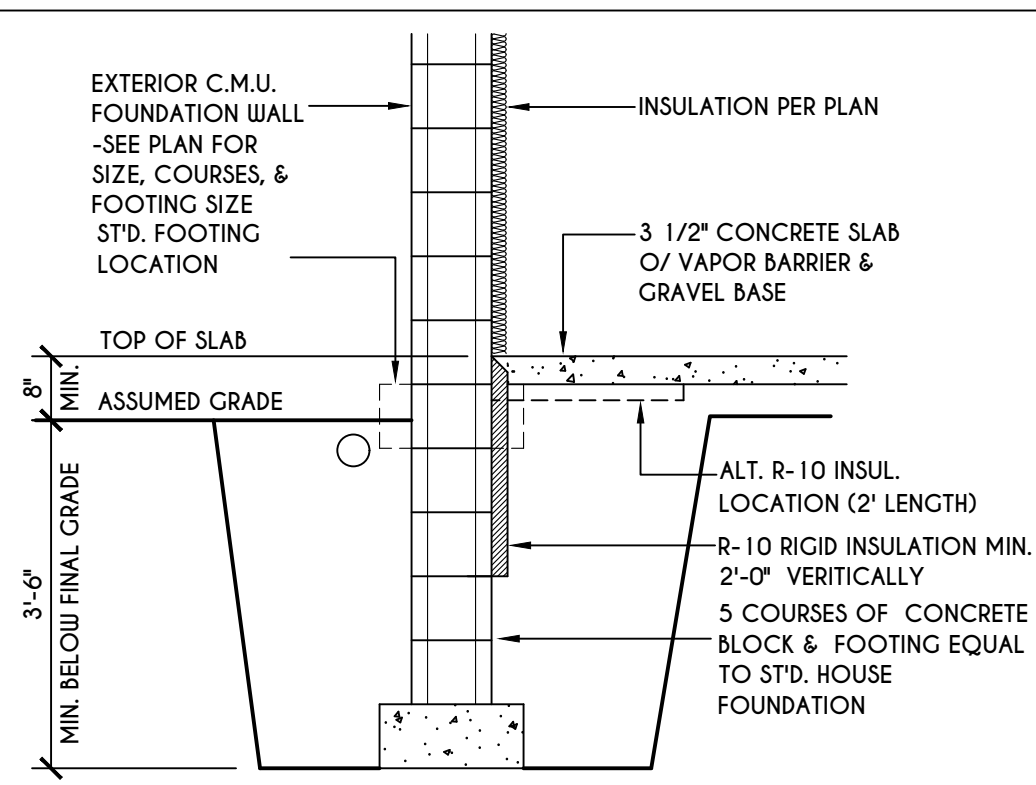
**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



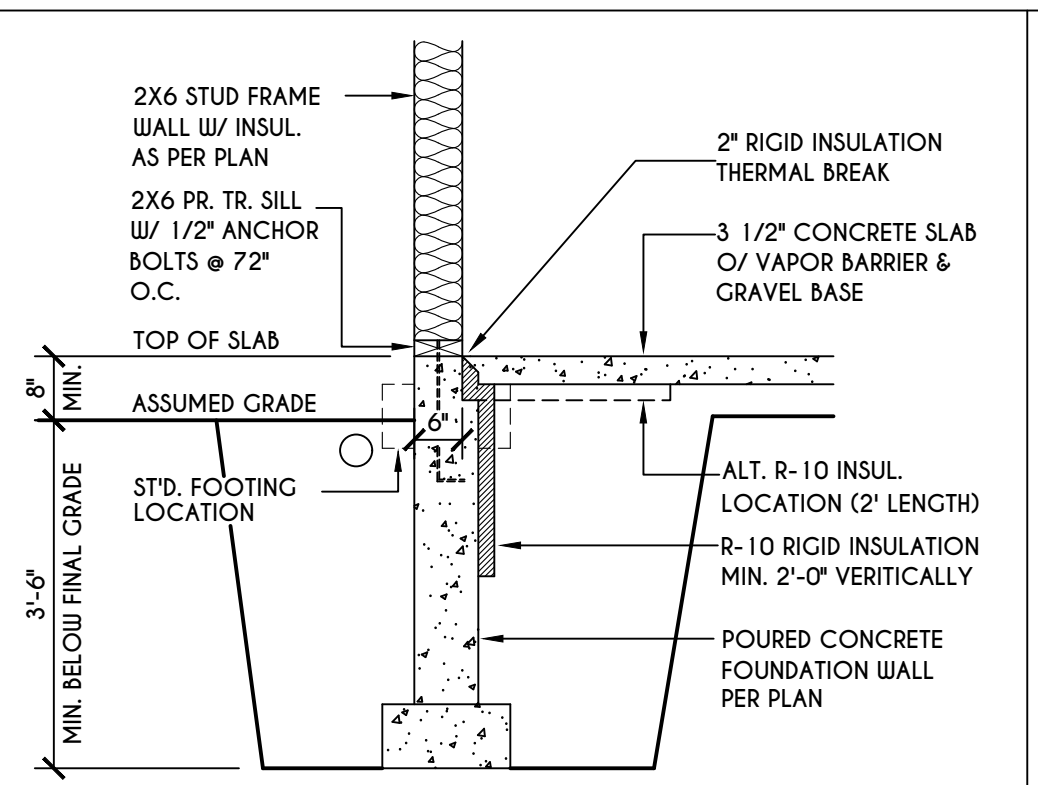
**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



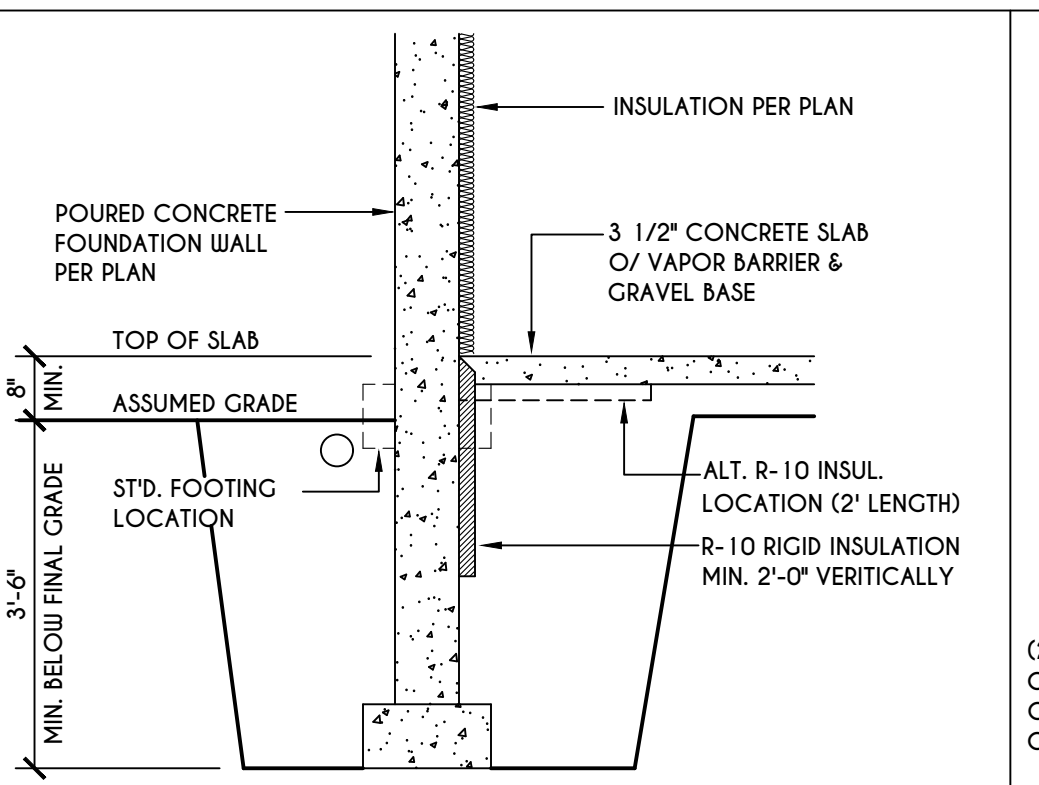
**1**  
**N-1**  
2X6 FRAME WALL ON C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



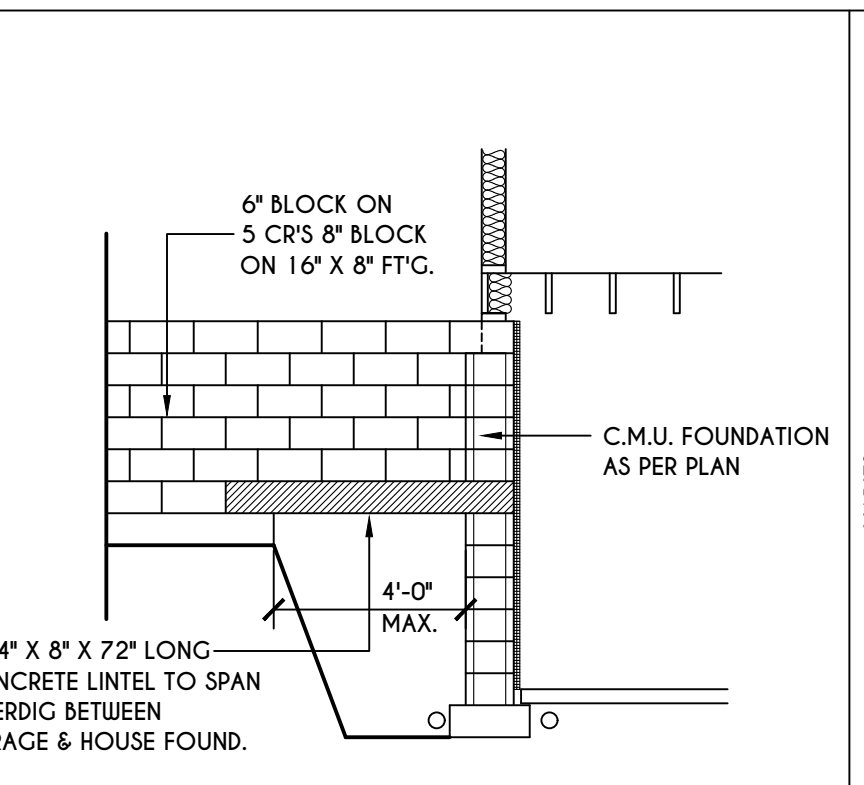
**2**  
**N-1**  
C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



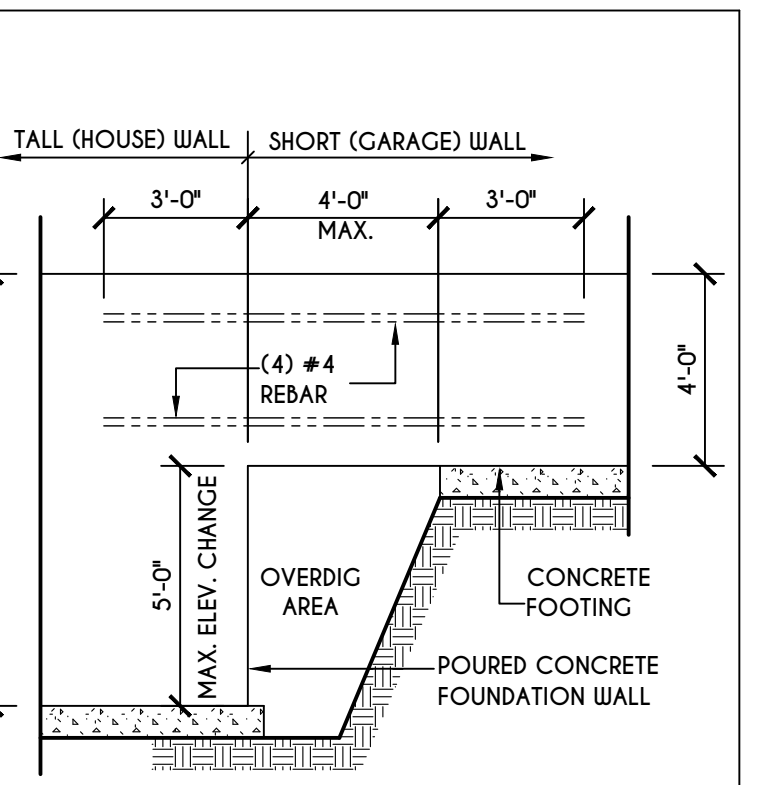
**3**  
**N-1**  
2X6 FRAME WALL ON POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



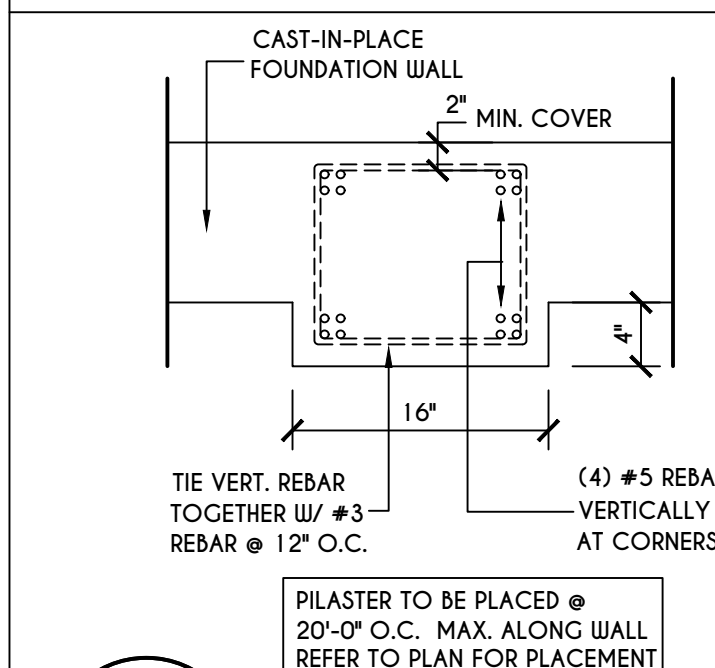
**4**  
**N-1**  
POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



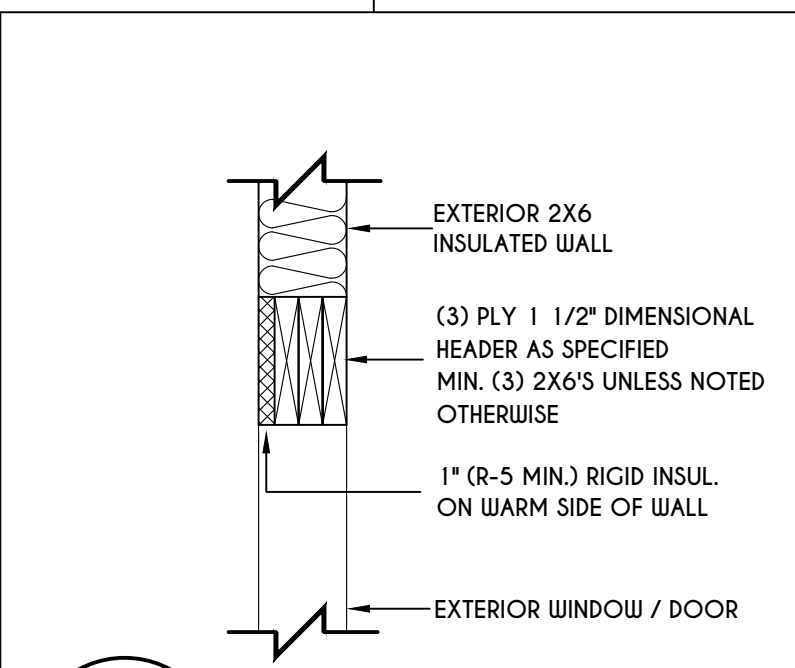
**5**  
**N-1**  
C.M.U. JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



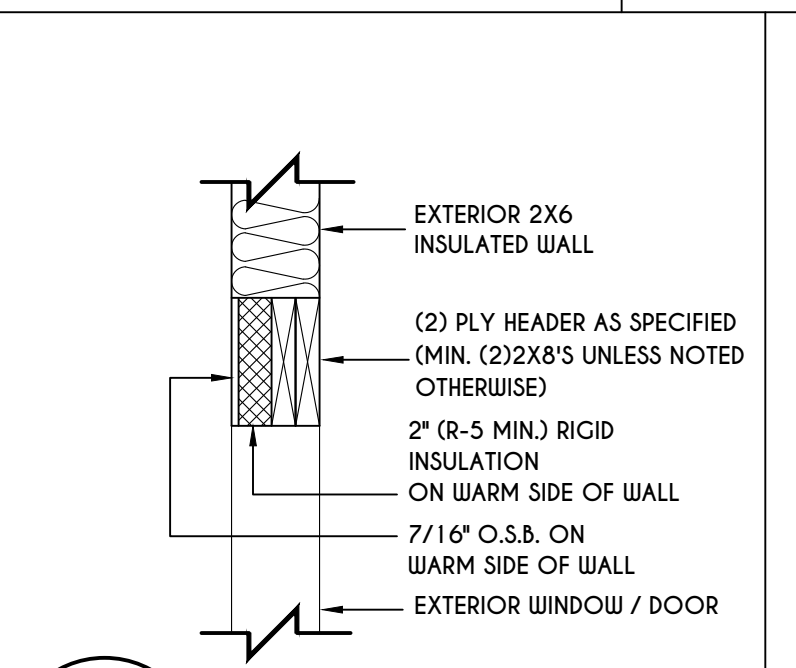
**6**  
**N-1**  
POURED WALL JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



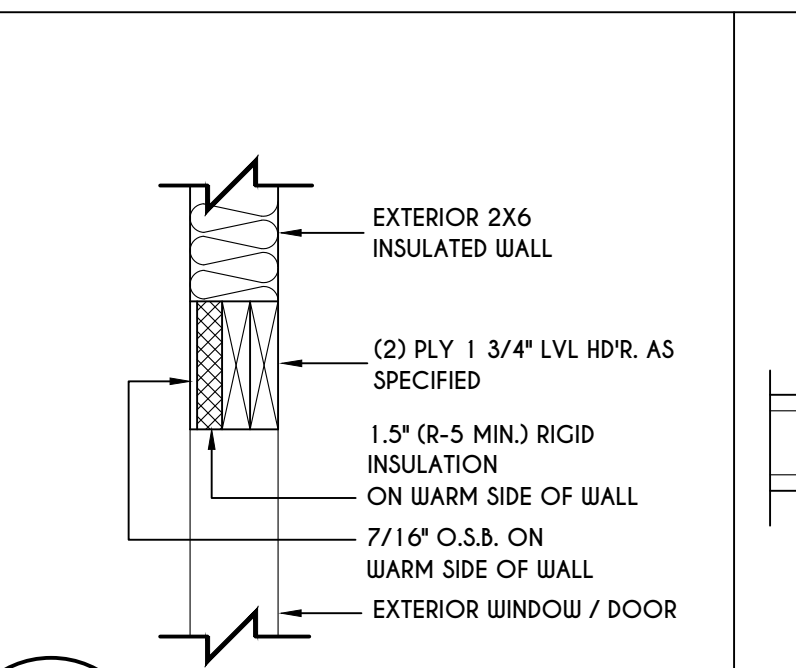
**7**  
**N-1**  
POURED WALL PILASTER DETAIL  
SCALE: 1" = 1'-0"



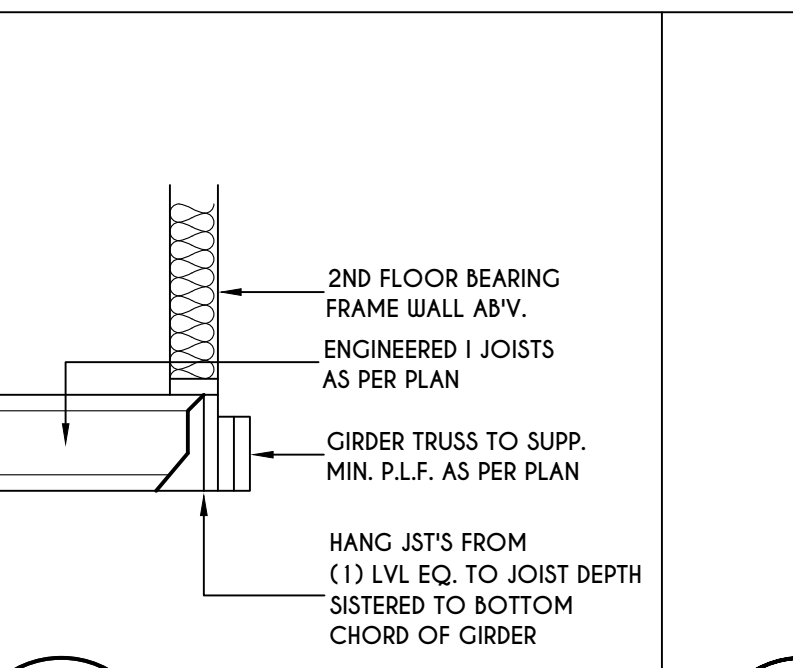
**8**  
**N-1**  
EXTERIOR INSULATED 3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



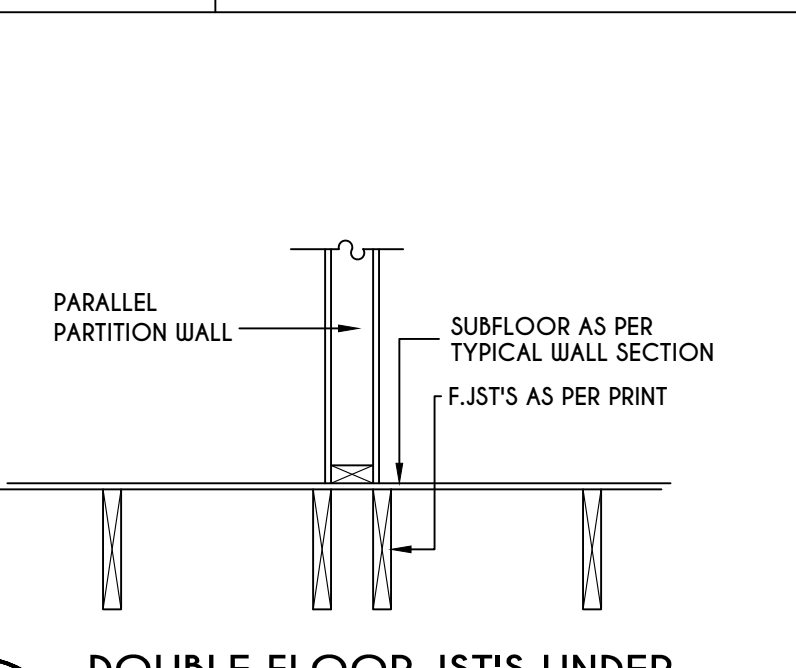
**9**  
**N-1**  
EXTERIOR INSULATED 2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



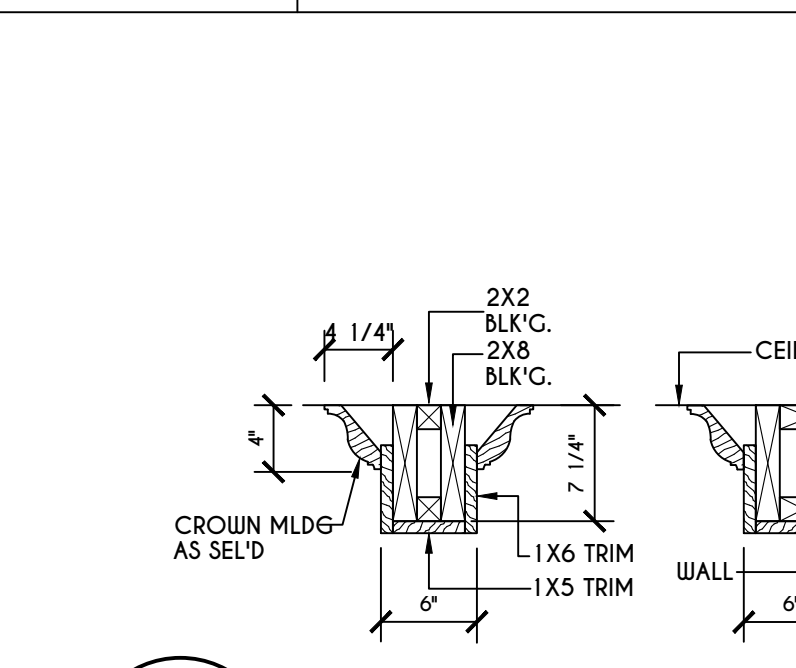
**10**  
**N-1**  
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



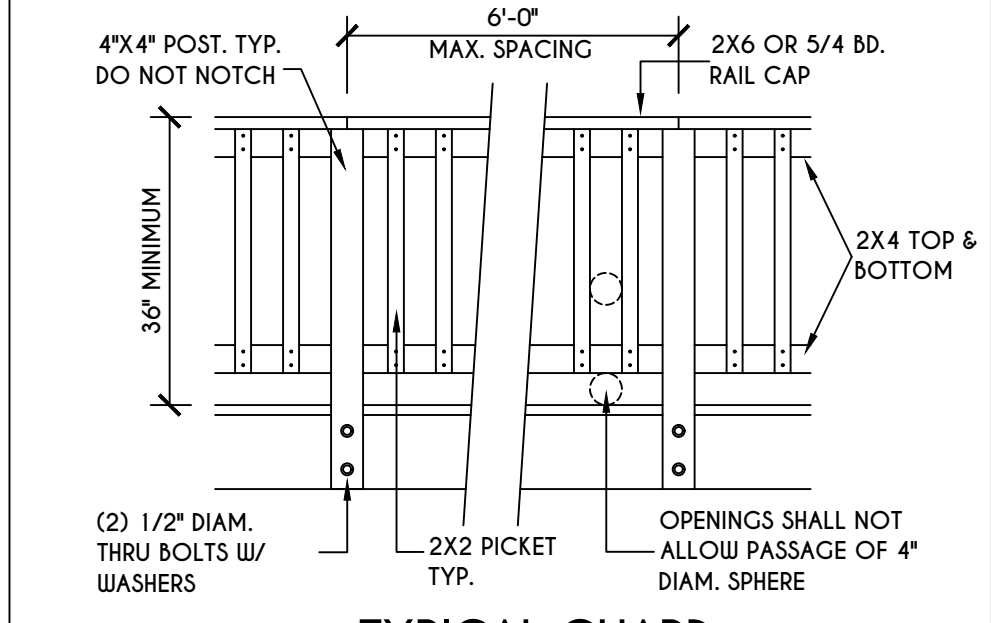
**11**  
**N-1**  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



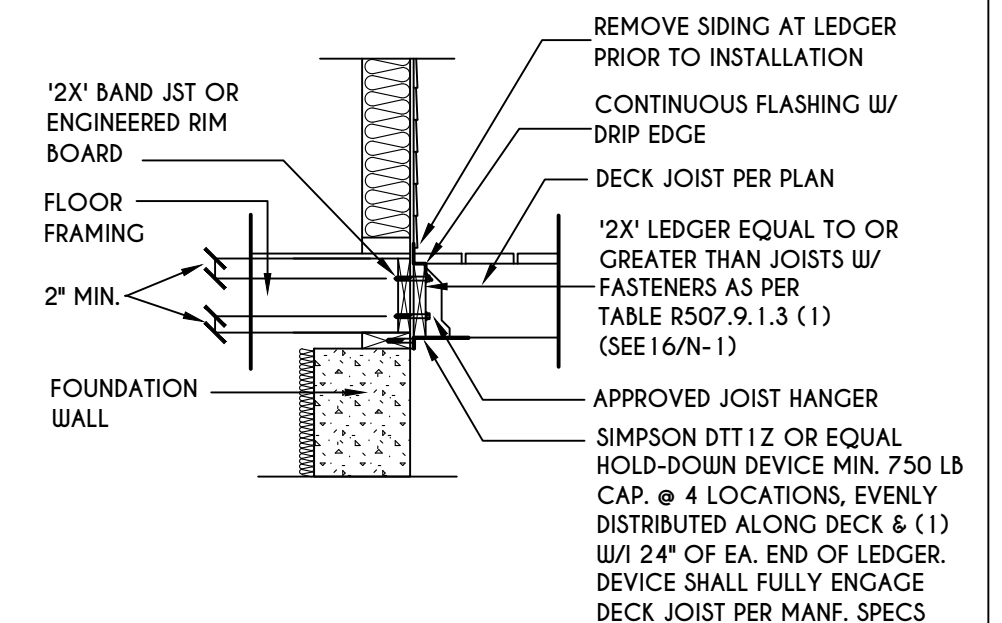
**12**  
**N-1**  
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL  
N.T.S.



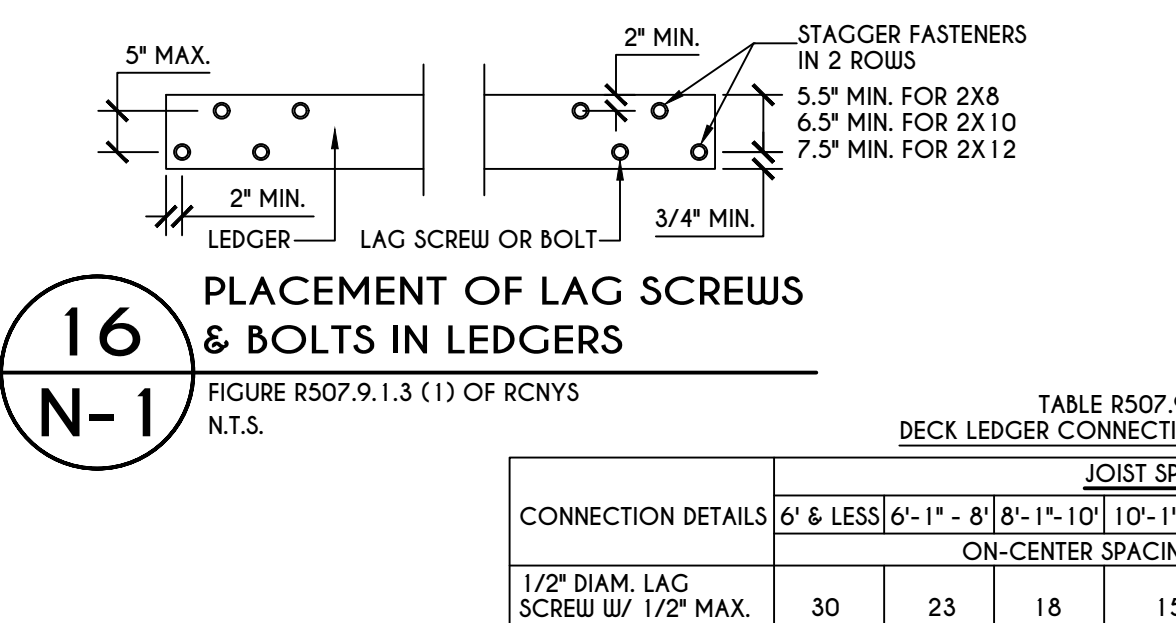
**13**  
**N-1**  
COFFERED BEAM DETAIL  
N.T.S.



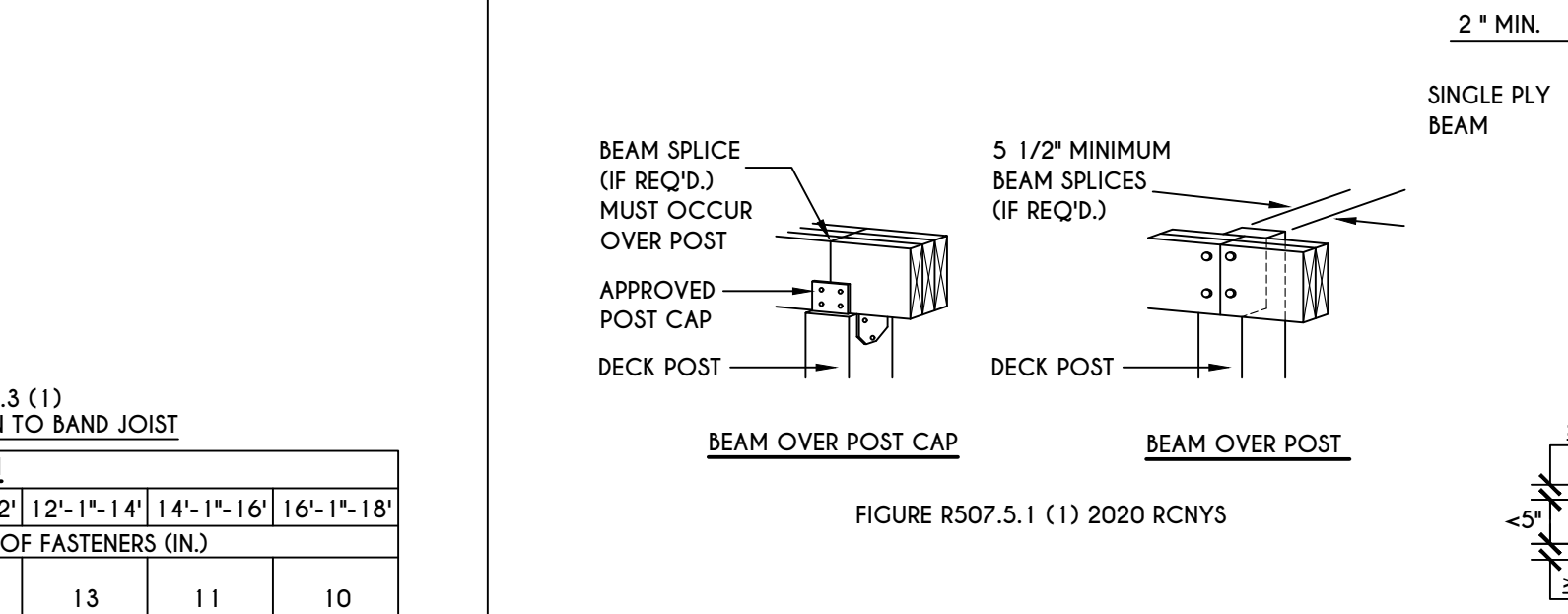
**14**  
**N-1**  
TYPICAL GUARD RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



**15**  
**N-1**  
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



**16**  
**N-1**  
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS  
SCALE: 1/2" = 1'-0"

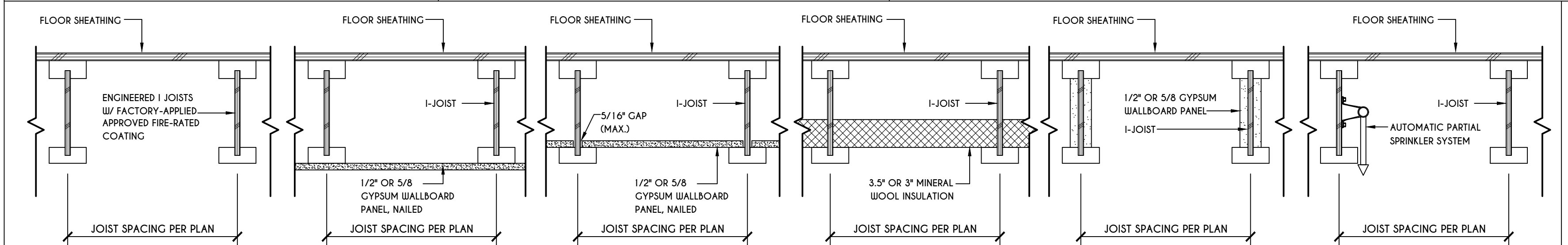


**17**  
**N-1**  
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION  
N.T.S.

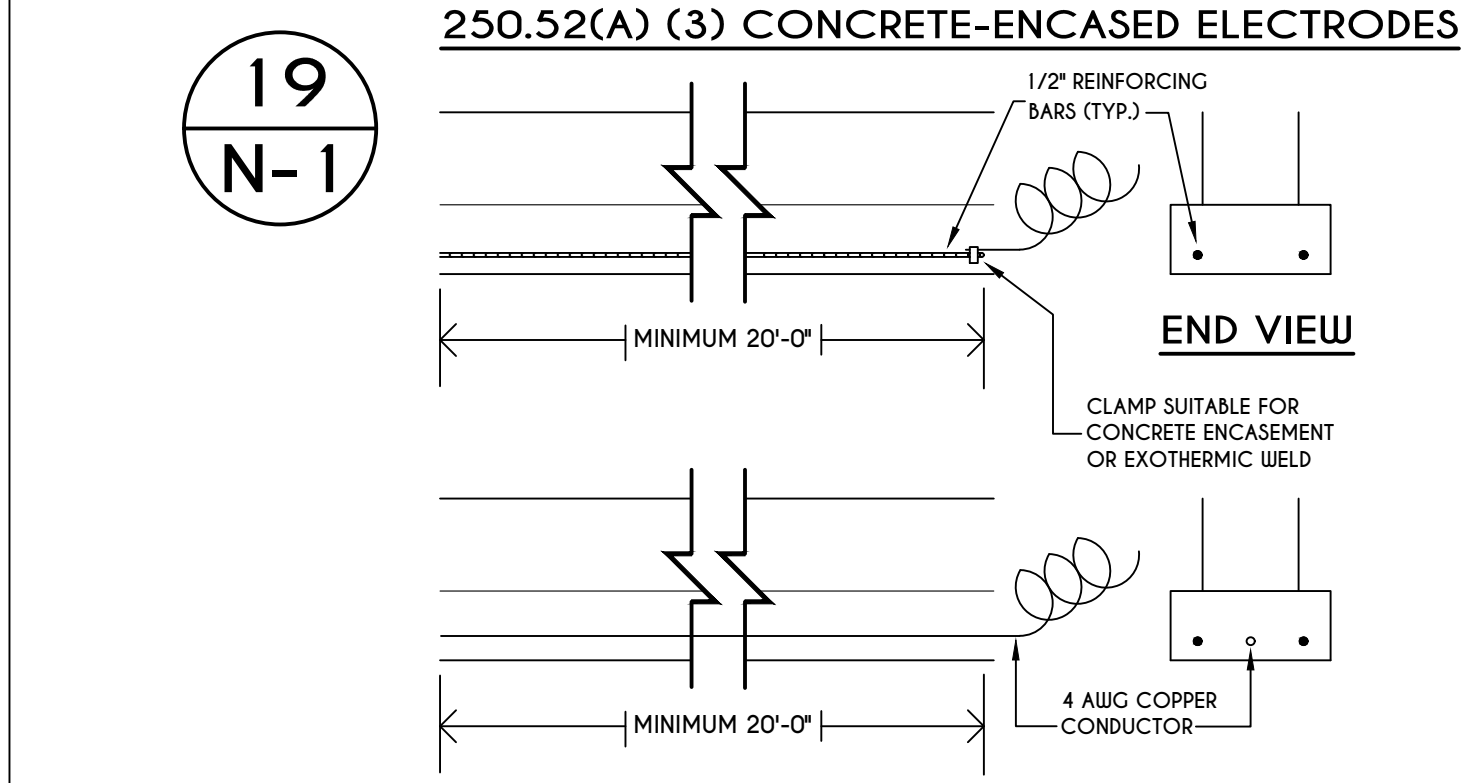
TABLE R507.4 DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT <sup>a,b</sup> (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

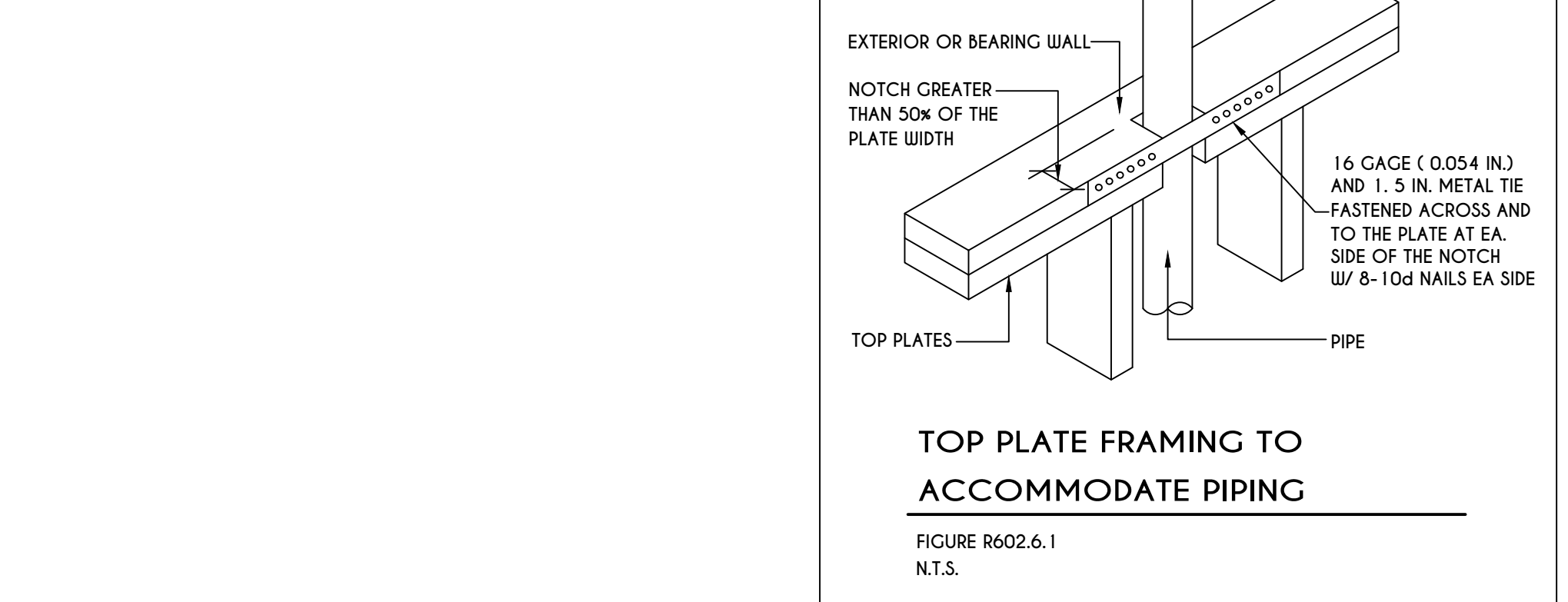
a. MEASURED TO UNDERSIDE OF BEAM  
b. BASED ON 40 psf LIVE LOAD  
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



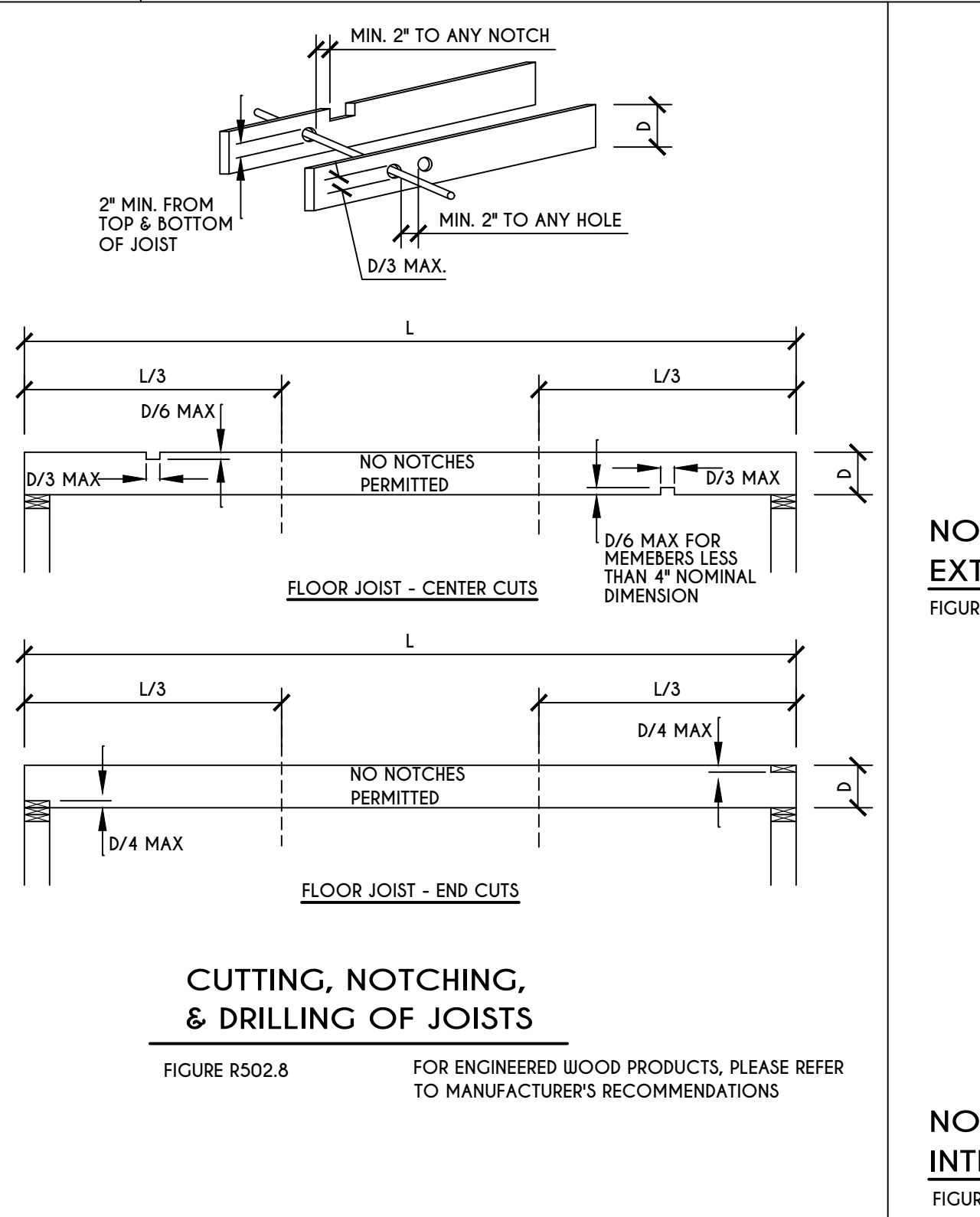
**18**  
**N-1**  
I-JOIST FLOOR SYSTEMS  
FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER AIA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



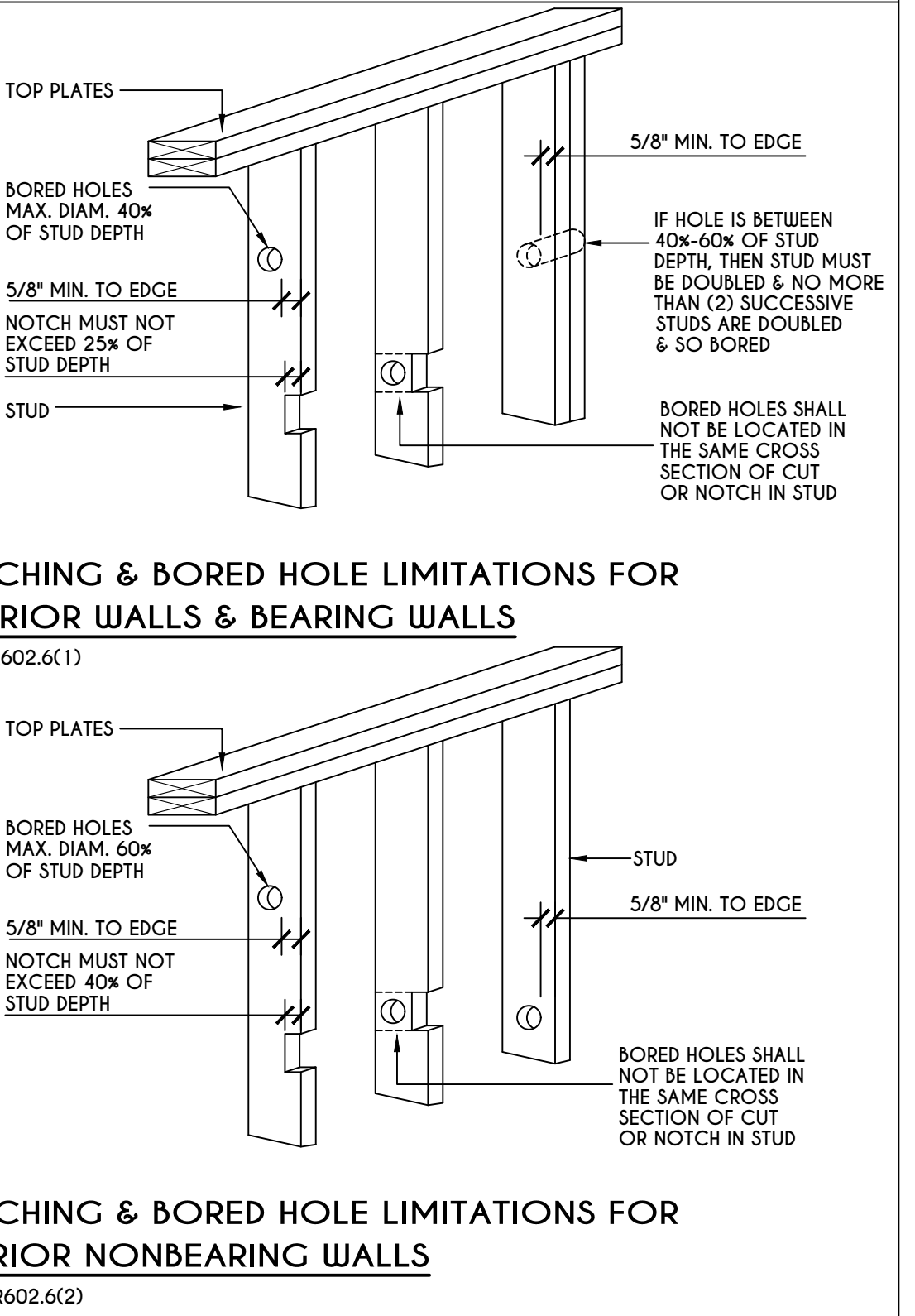
**19**  
**N-1**  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
SCALE: 1/2" = 1'-0"



**20**  
**N-1**  
TOP PLATE FRAMING TO ACCOMMODATE PIPING  
SCALE: 1/2" = 1'-0"



**21**  
**N-1**  
CUTTING, NOTCHING, & DRILLING OF JOISTS  
SCALE: 1/2" = 1'-0"



**22**  
**N-1**  
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS  
SCALE: 1/2" = 1'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
  
LOT 55  
COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

**DETAILS**  
GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 9 / 21
PROJECT: 15420 C	sheet: N 1



**TABLE R404.1.1(2)**

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d \geq 5$  INCHES <sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>g</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R404.1.1(3)**

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d \geq 6.75$  INCHES <sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>g</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R404.1.1(4)**

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d \geq 6.75$  INCHES <sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>g</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R404.1.2(8)**

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS <sup>b, c, d, e, f, h, k, n, o</sup>

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES <sup>a</sup> AND DESIGN LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
4	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
- b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
- e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
- f. INTERPOLATION IS NOT PERMITTED.
- g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
- h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
- i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
- l. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
- k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH,  $f_c$  OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 8.
- l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE,  $f_c$  IS 4,000 PSI.
- m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE,  $f_c$  IS 3,500 PSI.
- n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
- o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R 402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.  THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.  BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.  THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.  THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.  THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED.  KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPERED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING		
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOC WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

**R401.4 SOIL TESTS.**

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

**R401.4.1 GEOTECHNICAL EVALUATION.**

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

**TABLE R401.4.1**

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, CM & CC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 <sup>b</sup>

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
- b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

**UNIFIED SOIL CLASSIFICATION SYSTEM**

UNIFIED SOIL
--------------



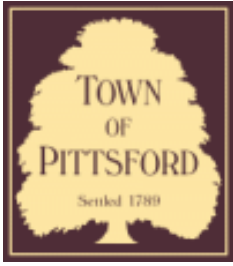
SOLD  
CALLERA



07/25/2016



07/25/2016



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000179**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 73 Coventry Ridge ,

**Tax ID Number:**

**Zoning District:** IZ Incentive Zoning

**Owner:** Clover St. Development Corp.

**Applicant:** Clover St. Development Corp.

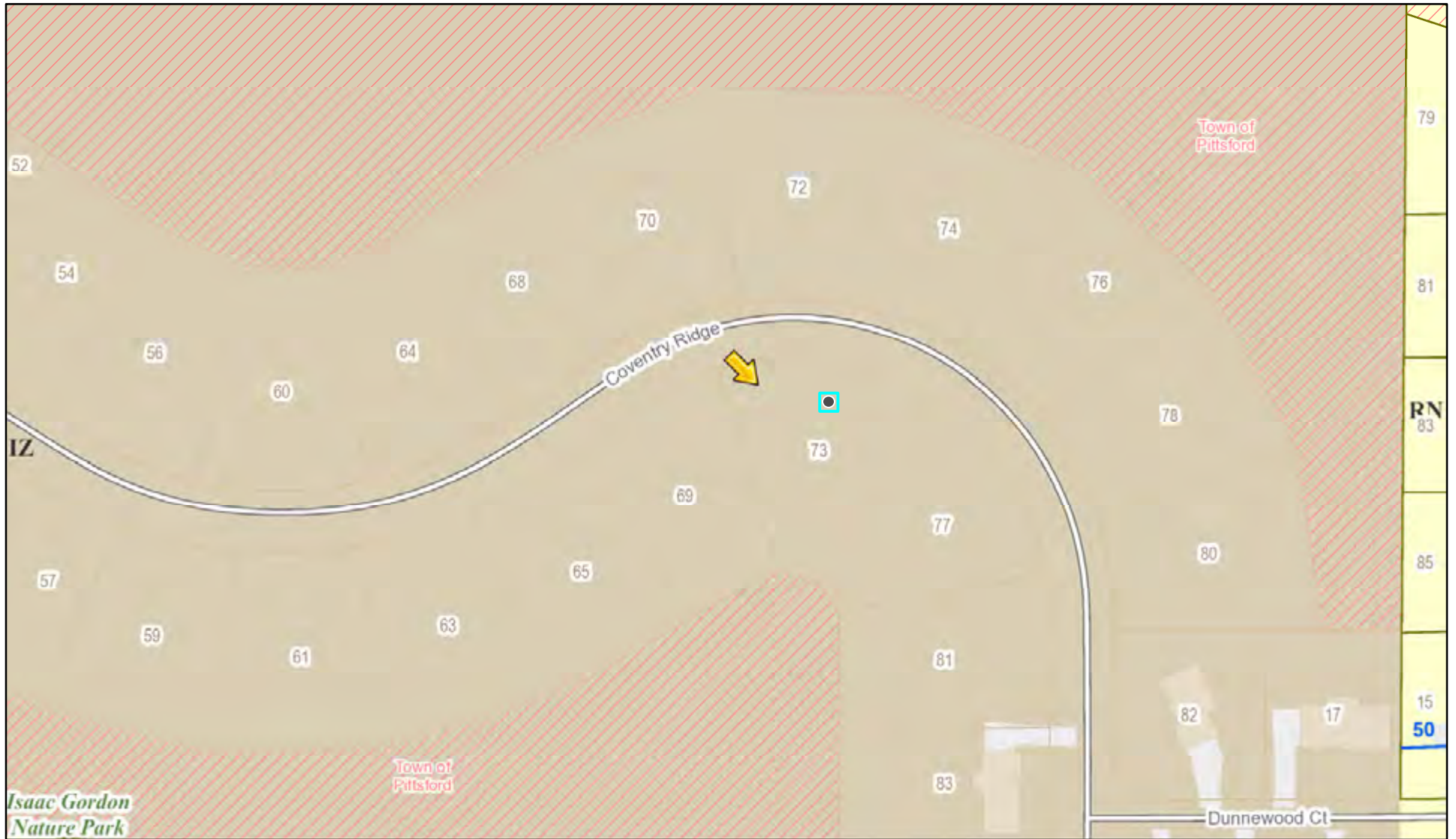
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

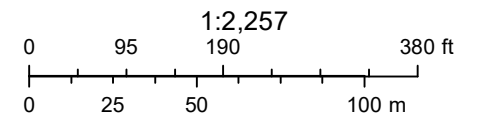
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3310 square feet of livable area and is located in the Coventry Ridge Subdivision.

**Meeting Date:** September 23, 2021

# RN Residential Neighborhood Zoning

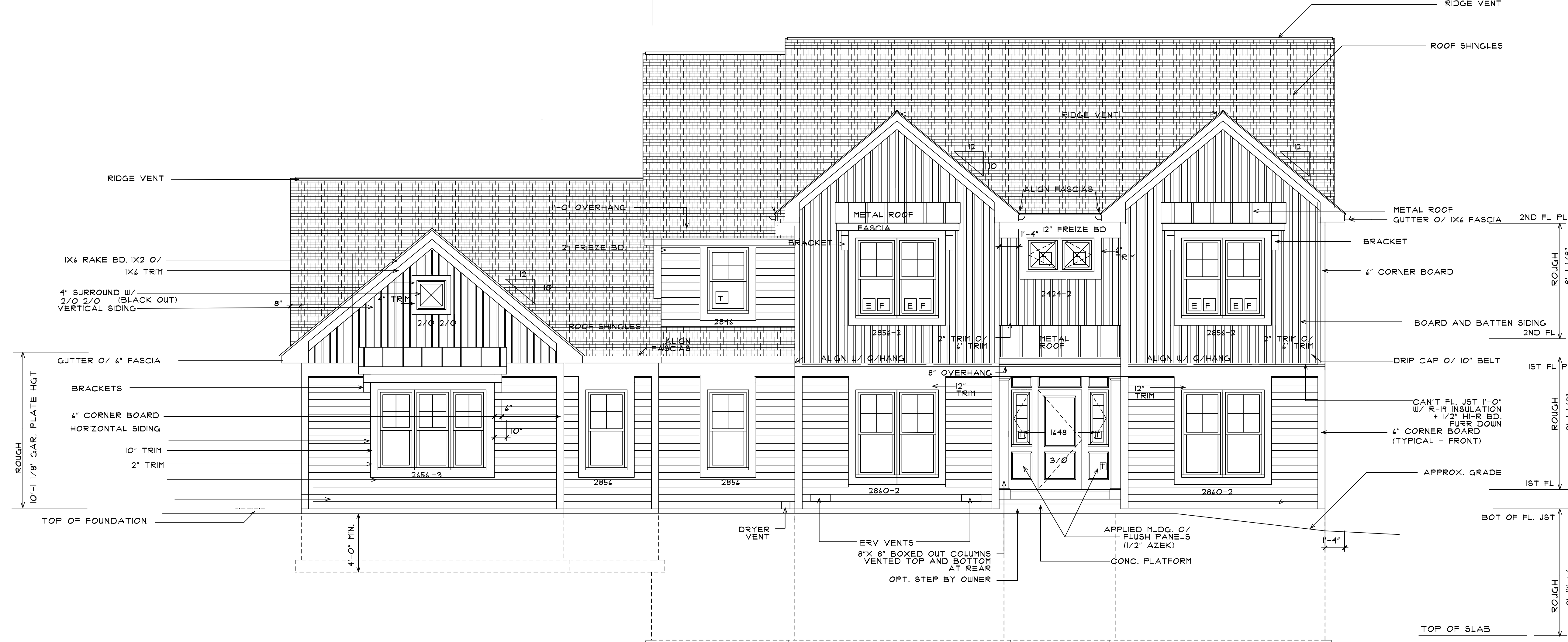


Printed September 1, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



# FRONT ELEVATION

SCALE : 1/4" = 1'-0"

- T TEMPERED GLASS
- E EGRESS
- F FALL PREVENTION DEVICE

ENERGY NOTES	
ROOF	R-38
WALLS	R-21
FLOOR CANTILEVER	R-30
WINDOWS	.30
DOORS	.30
BASEMENT	R-11

WINDOW NUMBERS ARE FOR VMD WINDOWS  
 U-FACTOR 0.30 SHGC 0.21  
 GARAGE IS UN HEATED  
 ATTIC ACCESS IS TO BE INSULATED TO R-38 AND WEATHERSTRIPPED.  
 50% OF THE LIGHTING FIXTURES SHALL BE HI-EFFICIENCY  
 THERMOSTAT SHALL BE PROGRAMMABLE

**UNLESS OTHERWISE NOTED**

30 YEAR ROOF SHINGLES  
 1'-4" OVERHANG FROM FRAME WALL  
 8" RAKE PROJECTION FROM FRAME WALL  
 4" FASCIA W/ GUTTER  
 4'-0" MIN. FOOTING DEPTH BELOW FINISHED GRADE  
 8/12 ROOF PITCH  
 CONT. RIDGE VENTS  
 CONCEALED FLASHING WHERE REQ'D.  
 HORIZONTAL SIDING  
 4" CORNERBOARDS ON FRONT  
 4" CORNERBOARDS ON SIDES AND REAR

HOLD CORNERBOARDS UP 1 1/2" AND TACK ONLY TO ALLOW ROOFER TO FLASH BEHIND WHERE REQ'D.

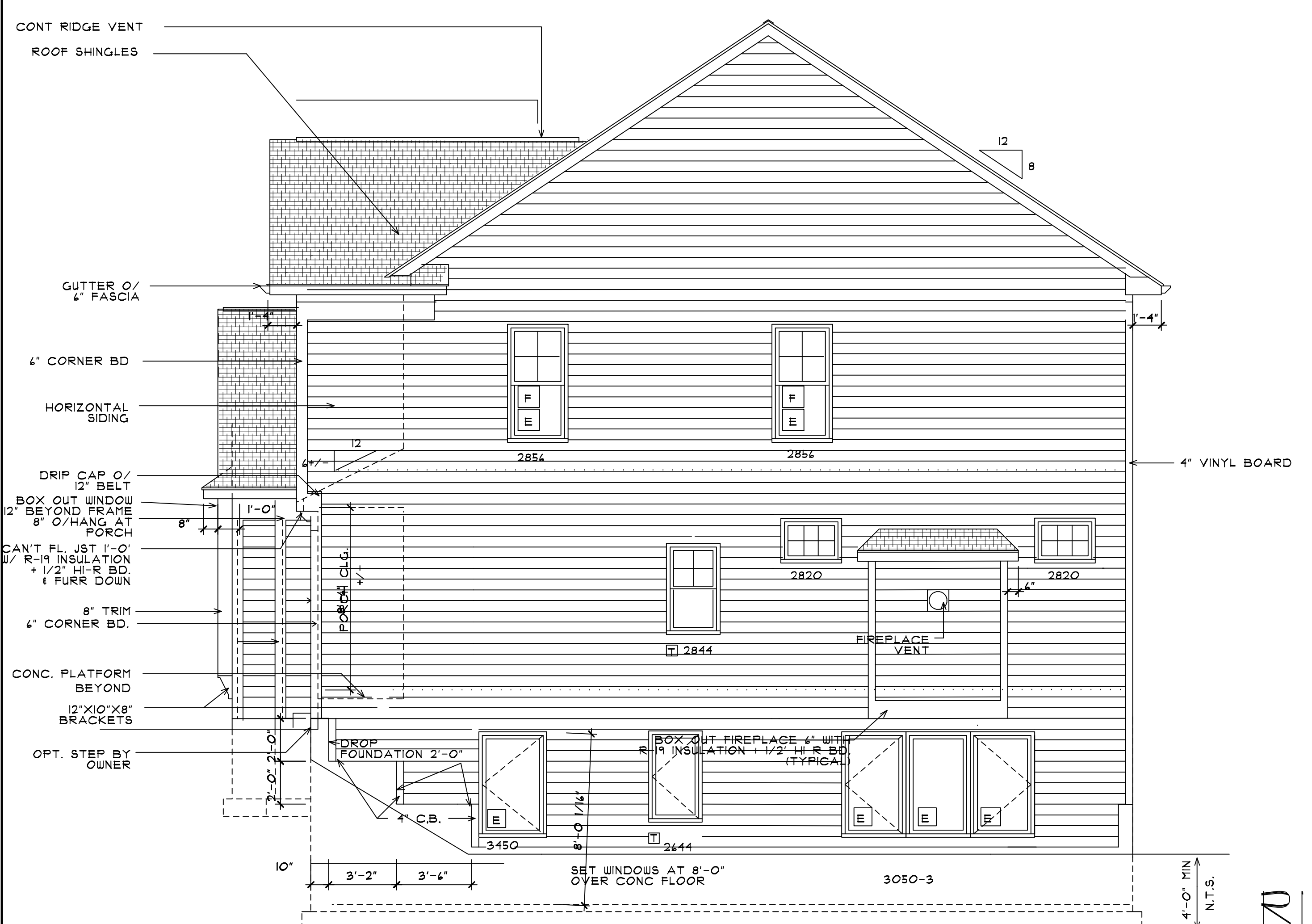
T TEMPERED GLASS AT THESE UNITS  
 (X) WINDOWS WITH THIS SYMBOL ARE NOT LOW-E INSULSHIELD INSULATED GLASS

REFER TO SHEET #8 FOR GENERAL NOTES, AND SPECIFICATIONS

VOLUMN CALCULATIONS	
BASEMENT	15255 C.F.
FIRST	15255 C.F.
SECOND	12920 C.F.
TOTAL	43430 C.F.

FIRST FLOOR:	1495 SQ. FT.
SECOND FLOOR:	1415 SQ. FT.
TOTAL S.F.	3310 SQ. FT.



# RIGHT ELEVATION

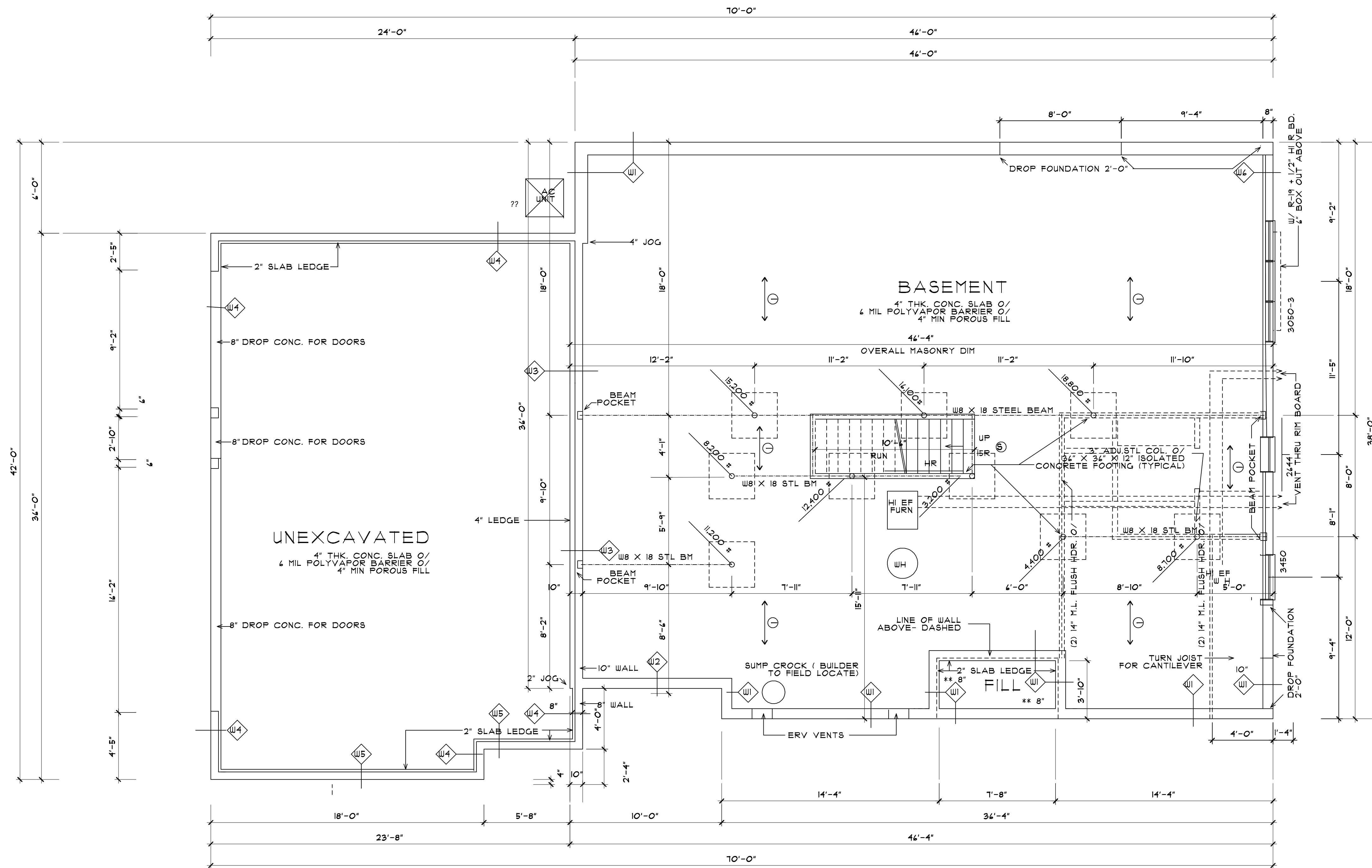
THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT.  
 UNAUTHORIZED ALTERATIONS TO THESE PLANS IS A VIOLATION OF PROFESSIONAL ETHICS AND THE ARCHITECTURE ACT.  
 CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE STARTING CONSTRUCTION AND BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND SHALL BE RESPONSIBLE FOR CONNECTIONS WITH THE WORK.

ARCHITECTURAL INNOVATIONS, P.C.  
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ISSUE DATES

NO.	REVISION	DATE	BY

PROJECT: LOT 80 CONVENTRY RIDGE  
 DRAWING TITLE: EXTERIOR ELEVATIONS  
 SHEET NO. 1 OF 8  
 PROJECT LOCATION: 624 PITTSFORD-VICTOR ROAD, PITTSFORD, NEW YORK 14534  
 CLIENT: SPALL HOMES CORPORATION  
 E-MAIL: AIFC@AOL.COM  
 DRAWN BY: JHS  
 PROJECT NO.: 21-020



WALL LEGEND	
9'-0" HIGH X 8" WIDE POURED CONC. WALL NOTE: ** 8" AT FRONT WALL (SEE DETAIL 1/5)	W1
9'-0" HIGH X 8" WIDE POURED CONC. WALL W/ 8" HIGH X 4" WIDE BRICK LEDGE TO EXTERIOR (SEE DETAIL W2/5)	W2
9'-0" HIGH X 10" WIDE POURED CONC. WALL WITH A 4" LEDGE (SEE DETAIL W3/5)	W3
3'-0" HIGH X 10" WIDE POURED CONC. WALL WITH A 4" LEDGE (SEE DETAIL W4/5)	W4
3'-0" HIGH X 8" WIDE POURED CONC. WALL WITH A 2" LEDGE (SEE DETAIL W4/5)	W4*
3'-0" HIGH X 12" WIDE POURED CONC. WALL W/ 8" HIGH X 4" WIDE BRICK LEDGE TO EXTERIOR + 2" LEDGE IN GARAGE (SEE DETAIL W5/5)	W5
3'-0" HIGH (MIN.) X 8" WIDE POURED CONC. WALL (SEE DETAIL W6/5) - HGT. VARIES	W6
3'-0" HIGH X 10" WIDE POURED CONC. WALL W/ 8" HIGH X 4" WIDE LEDGE TO INTERIOR	W7
3'-0" HIGH X 8" WIDE POURED CONC. WALL W/ 2" WIDE LEDGE TO INTERIOR	W8

**UNLESS OTHERWISE NOTED**

SOLID BLOCKING DN. TO FOUNDATION ■

TEMPERED GLASS AT THESE UNITS □

SMOKE DETECTOR ⊙

1/8" FIREPROOF DEEP AJS 24 FMJ FLOOR JOISTS O/ AT 16" O.C. (FINAL LAY-OUT AND DESIGN BY MANFU. AND ENGINEER)

(8"W POURED CONC. WALLS) W/ 18"W X 10"D CONC. FTG. W/ KEY

BEARING CAPACITY OF SOIL IS ASSUMED AT TWO TONS PER SQUARE FOOT

REINF. BLK. WALLS AS REQ'D BY GRADE AND NEW YORK STATE RESIDENTIAL CODE (SEE CHARTS ON THIS SHT. OR SHT. #8)

WINDOW NUMBERS ON FLOOR PLAN ARE - LOW E

REFER TO SHEET #8 FOR GENERAL NOTES, AND SPECIFICATIONS

## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

REFERENCE: ACI 530-02/A

TABLE 5.4.3.1 - FOUNDATION WALL CONSTRUCTION

MAXIMUM DEPTH OF UNBALANCED BACKFILL, FT. (M)	NOMINAL WALL THICKNESS, IN. (MM)	WALL CONSTRUCTION
(1.52) 5 (1.83) 4 (2.13) 7	(203) 8 (254) 10 (305) 12	HOLLOW UNIT MASONRY
(1.52) 5 (2.13) 7	(203) 8 (305) 12	SOLID UNIT MASONRY
(2.13) 7 (2.44) 8	(203) 8 (254) 10	FULLY GROUTED MASONRY

TABLE R404.11(3)  
REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

VERTICAL REINFORCEMENT SIZE AND SPACING FOR 12-INCH NOMINAL WALL THICKNESS	SOIL CLASSES		MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MAXIMUM WALL HEIGHT (FEET)
	GM, GC, SM, SM-SC AND ML SOILS	GW, GP, AND SP SOILS		
#4 AT 12" O.C. #4 AT 12" O.C. #4 AT 48" O.C. #5 AT 54" O.C.	#4 AT 12" O.C. #4 AT 12" O.C. #4 AT 44" O.C. #4 AT 12" O.C.	#4 AT 12" O.C. #4 AT 12" O.C. #4 AT 48" O.C.	4 5 7	7
#4 AT 12" O.C. #4 AT 32" O.C. #5 AT 40" O.C.	#4 AT 12" O.C. #4 AT 54" O.C. #4 AT 44" O.C. #4 AT 32" O.C.	#4 AT 12" O.C. #4 AT 12" O.C. #4 AT 48" O.C.	5 6 7 8	8
#4 AT 12" O.C. #4 AT 44" O.C. #4 AT 48" O.C. #4 AT 40" O.C.	#4 AT 12" O.C. #4 AT 54" O.C. #4 AT 44" O.C. #4 AT 12" O.C.	#4 AT 12" O.C. #4 AT 12" O.C. #4 AT 48" O.C. #5 AT 54" O.C.	5 6 7 8 9	9

REFERENCE: RESIDENTIAL CODE OF NEW YORK STATE, PAGE 44

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PROJECT: LOT 80 CONVENTRY RIDGE  
DRAWING TITLE: FOUNDATION PLAN  
PROJECT LOCATION:  
CLIENT: SPALL HOMES CORPORATION

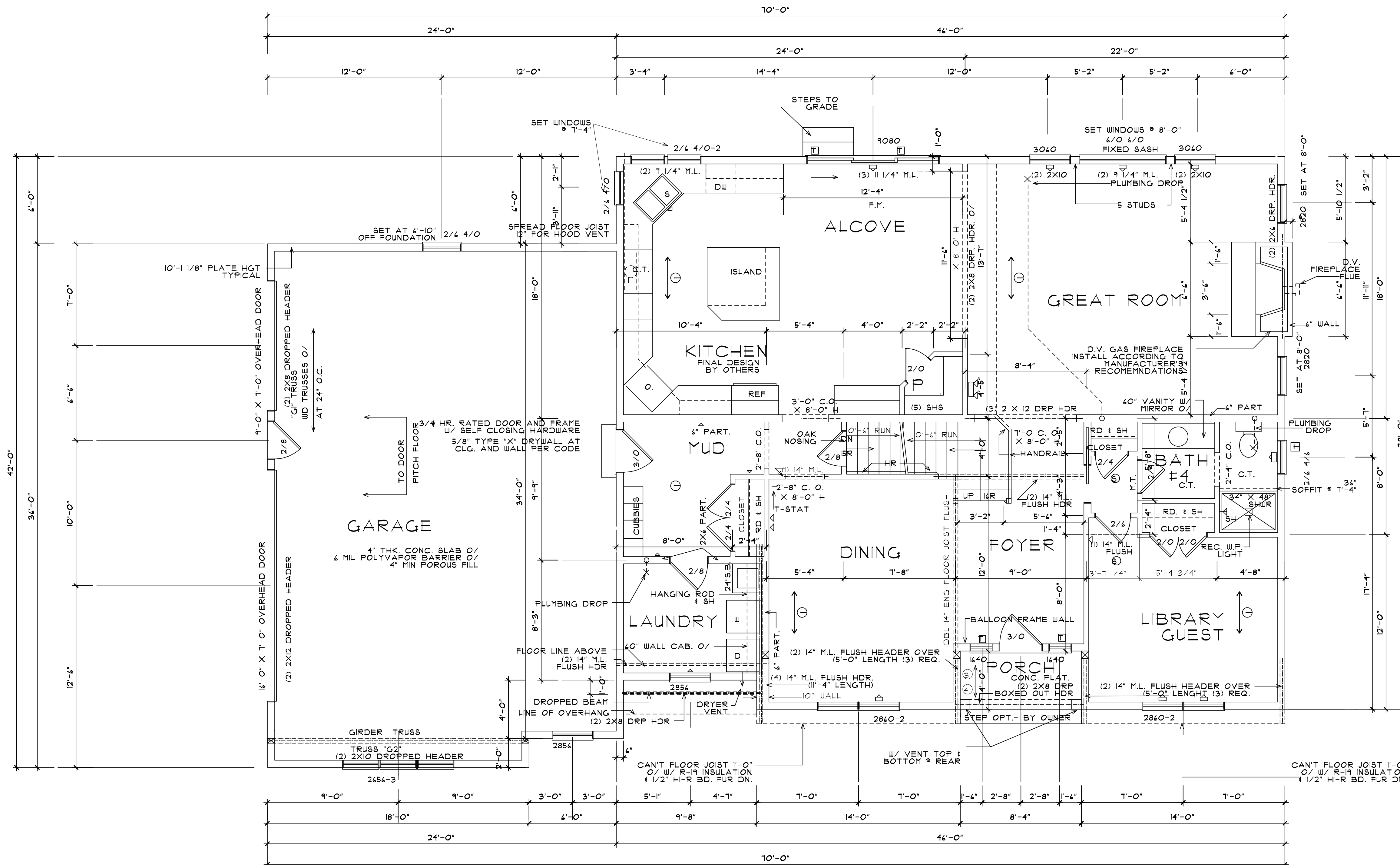
SHEET NO. 2 OF 8

DRAWN BY: JHS  
PROJECT NO.: 21-020

REVISIONS: NO., REVISION, DATE, BY

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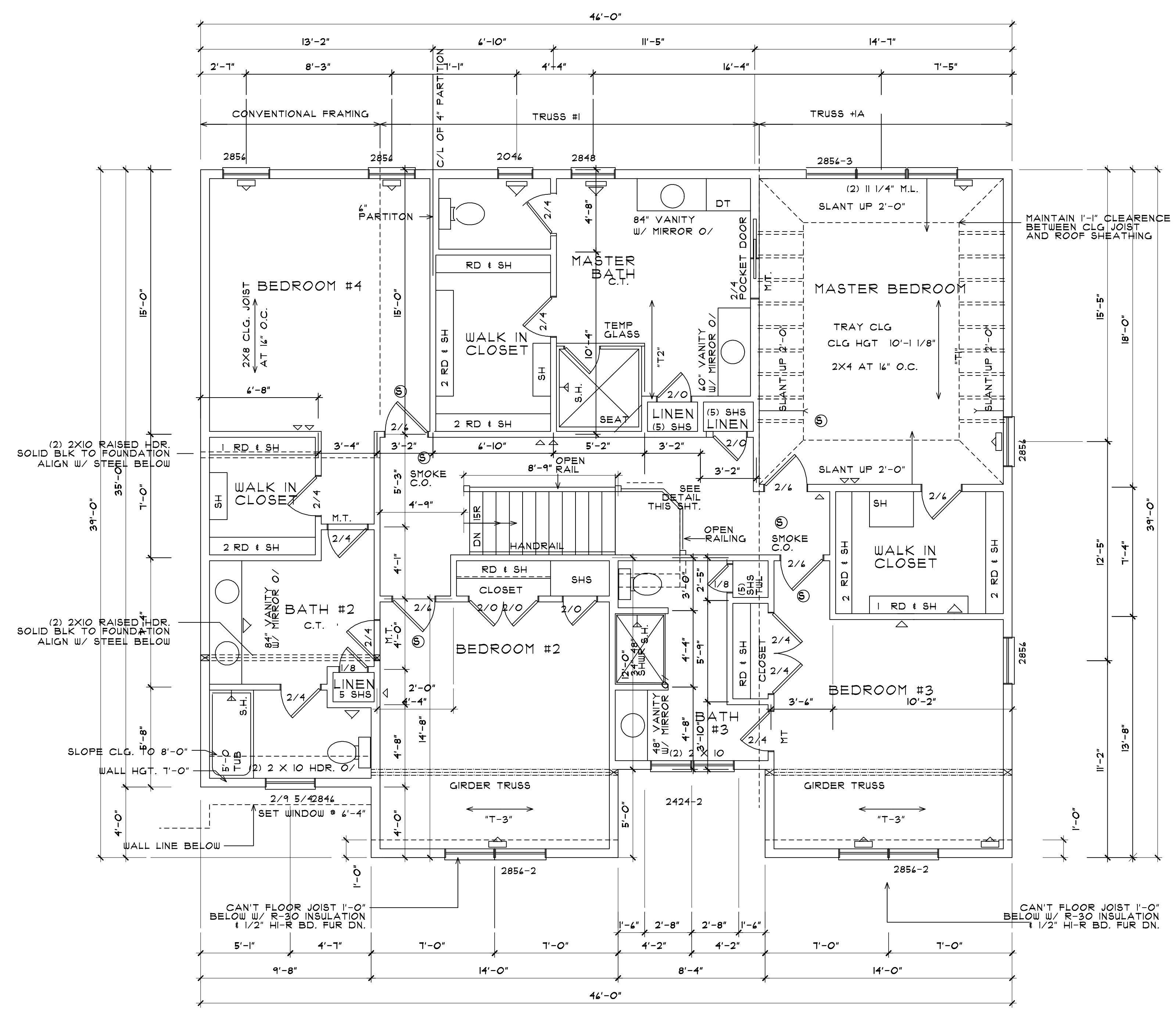
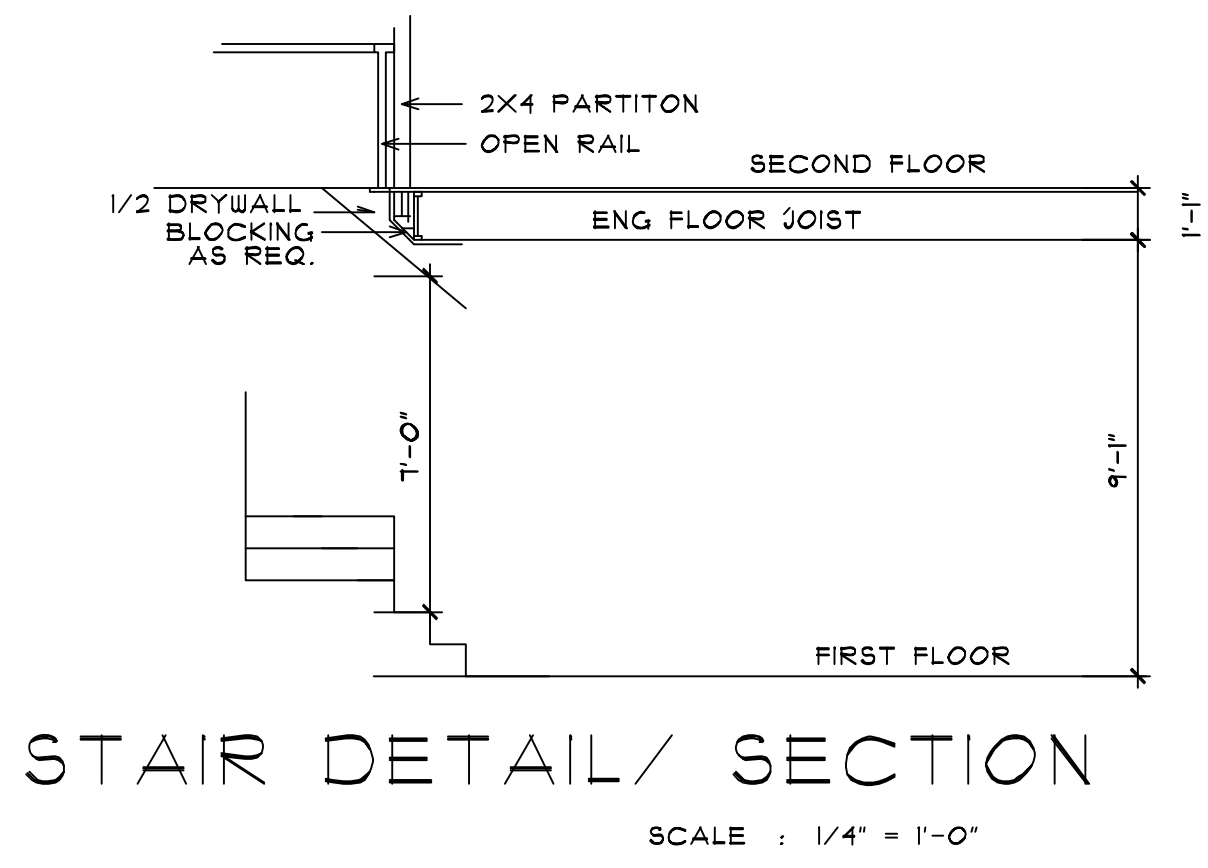


# FIRST FLOOR PLAN

AREA: 1695 SQ. FT. SCALE: 1/4" = 1'-0"

UNLESS OTHERWISE NOTED	
2 X 4 STUDS AT 16" O.C.	=====
2 X 4 STUDS AT 16" O.C. CHANGE IN PLATE HGT.	=====
SOLID BLOCKING DN. TO FOUNDATION	☒
TEMPERED GLASS AT THESE UNITS	☐
SMOKE DETECTOR	⊙
SINGLE STUD RETURN	SSR
WOOD TRUSSES AT 24" O.C. - FINAL DESIGN BY TRUSS MFR. W/ N.Y.S. LICENSED ENG. APPROVAL (SEE DIAGRAM "T5" A/1)	←"T5"→
WOOD TRUSSES AT 24" O.C. - FINAL DESIGN BY TRUSS MFR. W/ N.Y.S. LICENSED ENG. APPROVAL (SEE DIAGRAM "T4" A/1)	←"T4"→
11 1/8" DEEP AJS 24FMJ FLOOR JOISTS O/ AT 16" O.C. (FINAL LAY-OUT AND DESIGN BY MANUFACTURE AND ENGINEER)	←"J"→
2 X 4 CLG. JSTS. AT 16" O.C.	←"4"→
2 X 8 RAFTERS AT 16" O.C.	←"8"→
ALL ANGLED WALLS ARE TO BE 45 DEGREES	
UNLESS OTHERWISE NOTED ON PLAN FIRST FLOOR PLATE HGT. SHALL BE 9'-1 1/8" ABV. SUBFLOOR	
WINDOW NUMBERS ON ELEVATIONS ARE - LOW E FOR PELLA PROLINE SERIES UNITS REFER TO SHEET #8 FOR GENERAL NOTES, AND SPECIFICATIONS	

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SHEET NO. 3 OF 8		DRAWN BY: JHS	
PROJECT NO. 21-020			



**SECOND FLOOR PLAN**

AREA: 1415 SQ. FT. NOT INCLUDING OPEN FOYER  
SCALE: 1/4" = 1'-0"

**UNLESS OTHERWISE NOTED**

2 X 4 STUDS AT 16" O.C.	=====
2 X 4 STUDS AT 16" O.C.	=====
SOLID BLOCKING DN. TO FOUNDATION	☒
TEMPERED GLASS AT THESE UNITS	☐
SMOKE DETECTOR	Ⓢ
SINGLE STUD RETURN	SSR
2X4 CLG. JST @ 16' O.C.	②
2X8 CLG. JST @ 16' O.C.	④
2X10 CLG. JST @ 16' O.C.	⑤
2X10 CLG. RAFTERS @ 16' O.C.	⑥
2X8 CLG. RAFTERS @ 16' O.C.	①
ALL ANGLED WALLS ARE TO BE 45 DEGREES	
UNLESS OTHERWISE NOTED ON PLAN SECOND FLOOR PLATE HGT. SHALL BE 8'-1 1/8" ABV. SUBFLOOR	
WINDOW NUMBERS ON FLOOR PLANS ARE FOR PELLA PROLINE SERIES UNITS W/ LOW E	
REFER TO SHEET #8 FOR GENERAL NOTES, AND SPECIFICATIONS	

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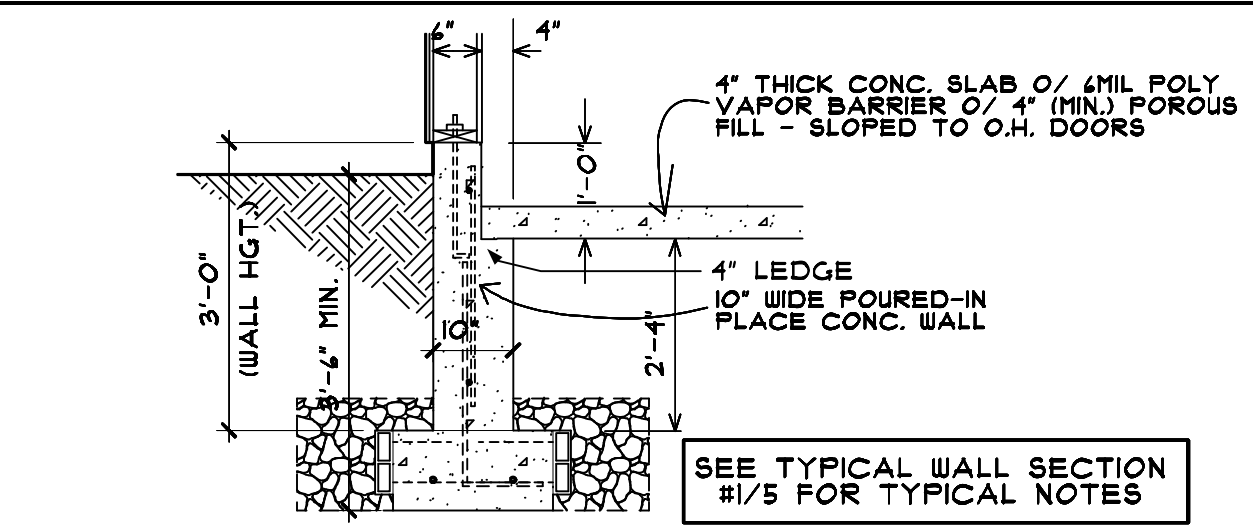
**ISSUE DATES**

NO.	DATE

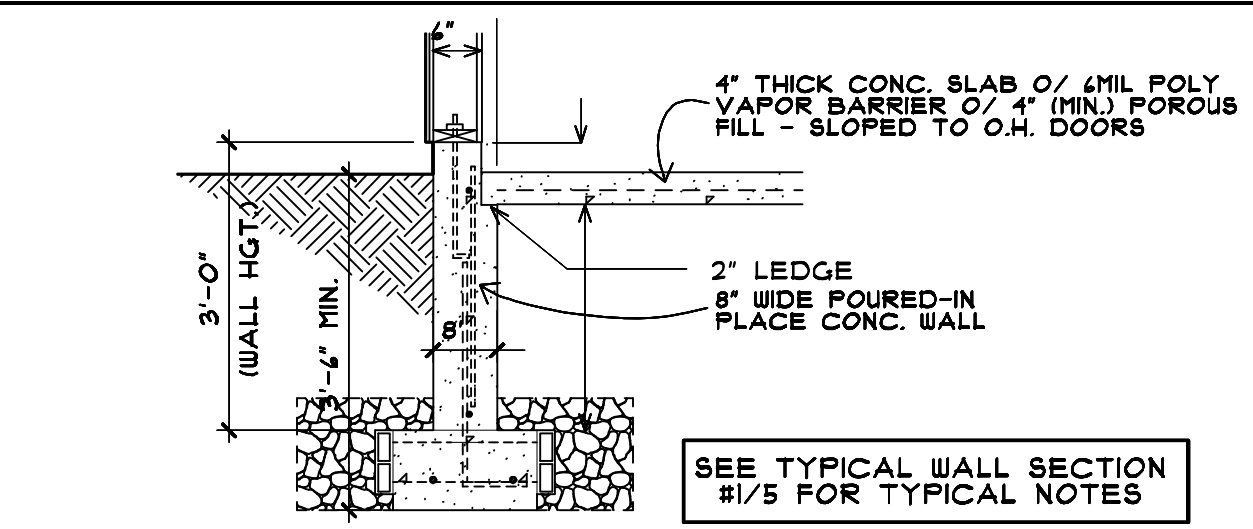
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**PROJECT** LOT 80 CONVENTRY RIDGE  
**DRAWING TITLE** SECOND FLOOR PLAN  
**PROJECT LOCATION** SPALL HOMES CORPORATION  
**CLIENT** SPALL HOMES CORPORATION

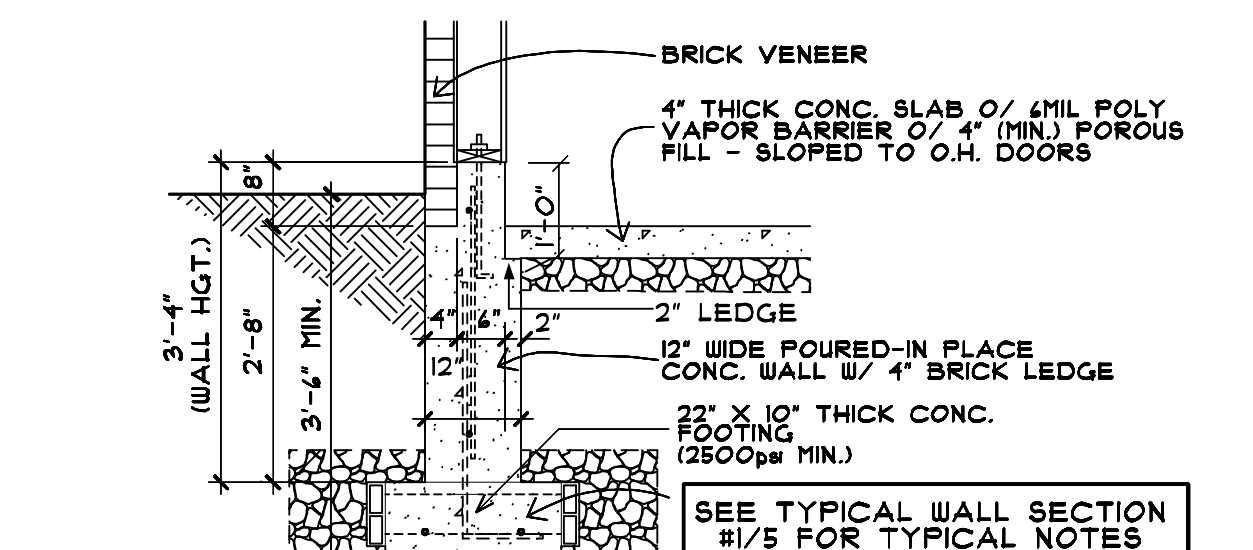
**SHEET NO.** 4 OF 8  
**DRAWN BY** JHS  
**PROJECT NO.** 21-020



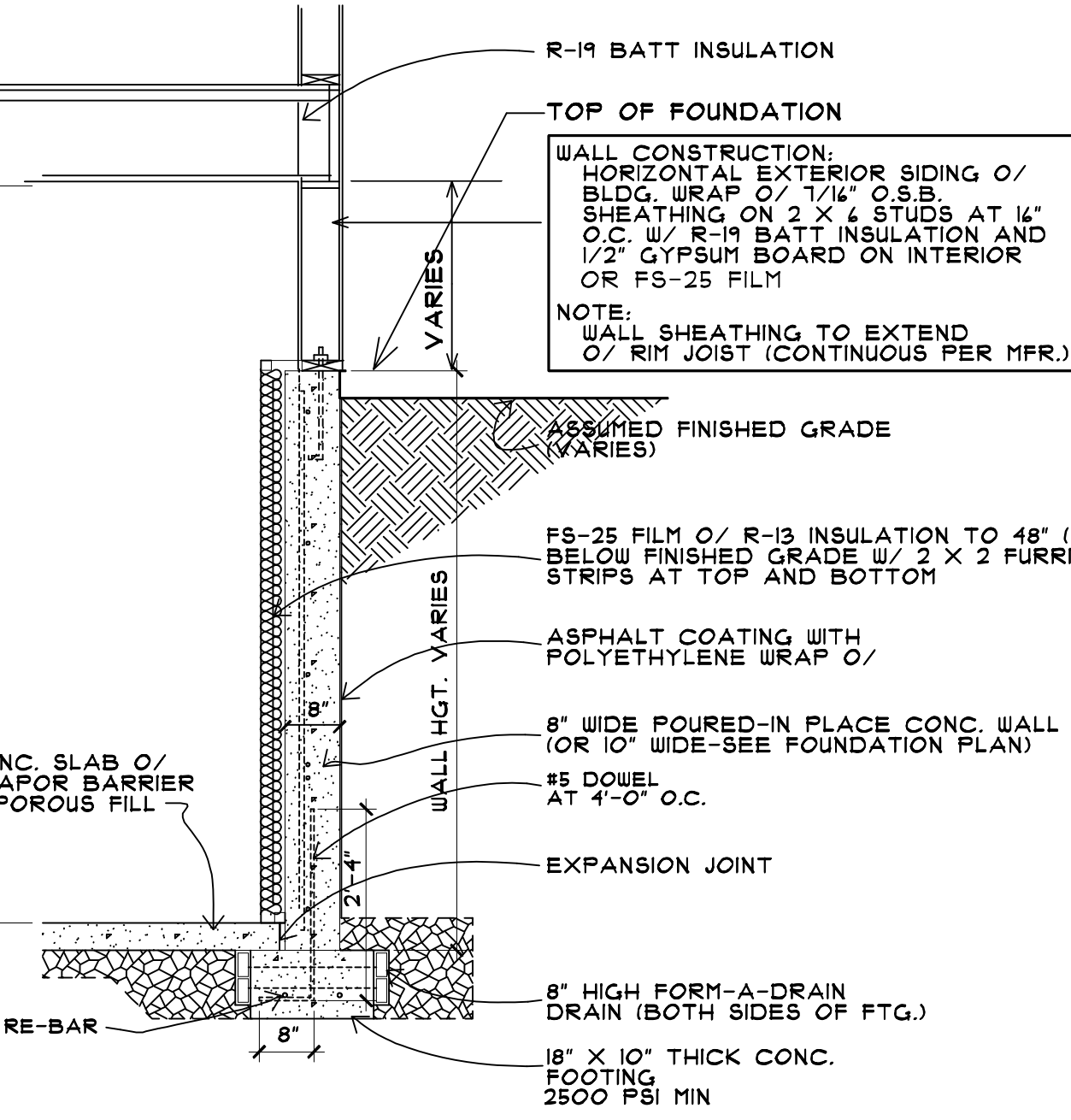
**WALL DETAIL "W1"**  
SCALE: 1/2" = 1'-0"



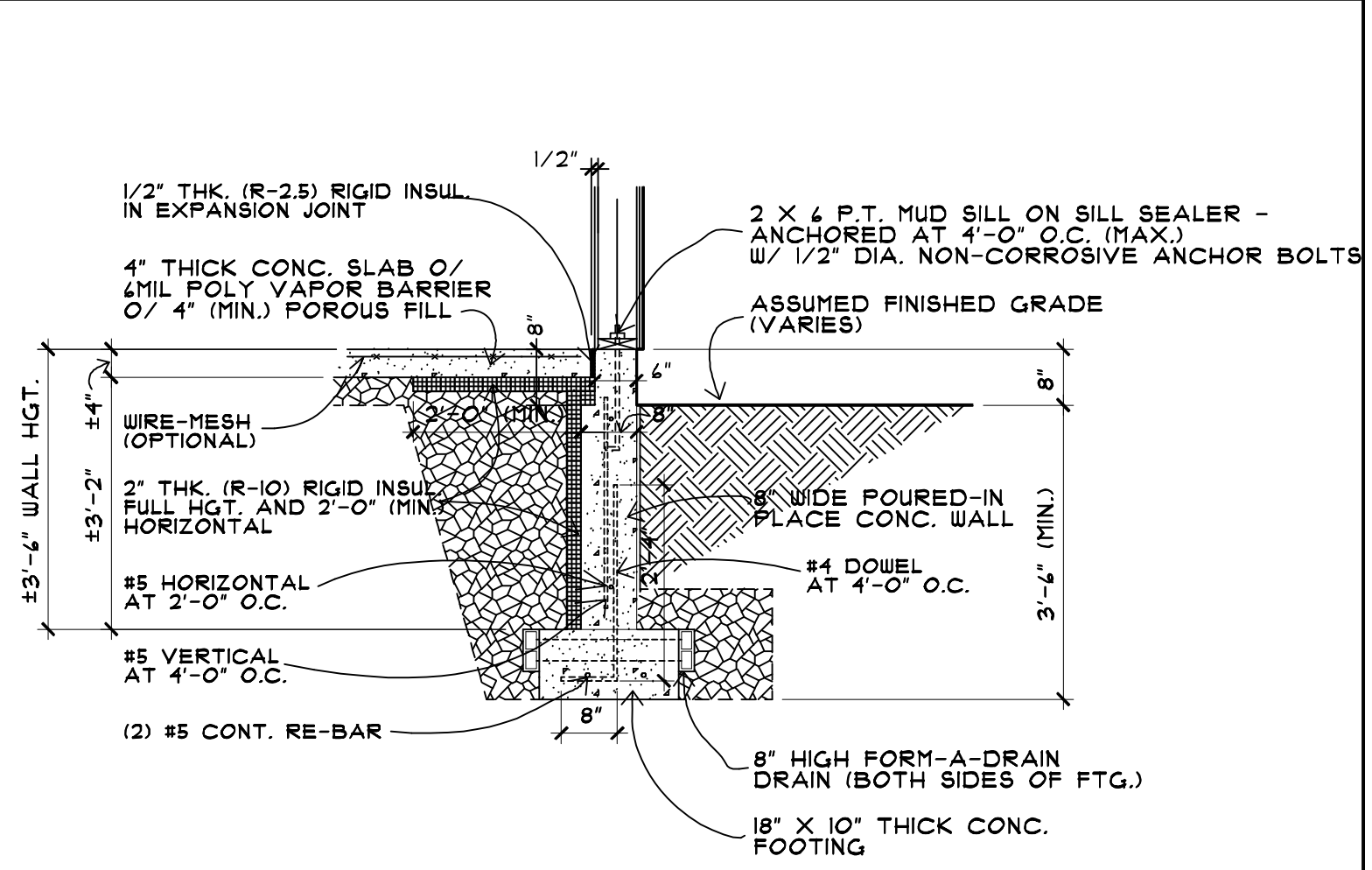
**WALL DETAIL "W4"**  
SCALE: 1/2" = 1'-0"



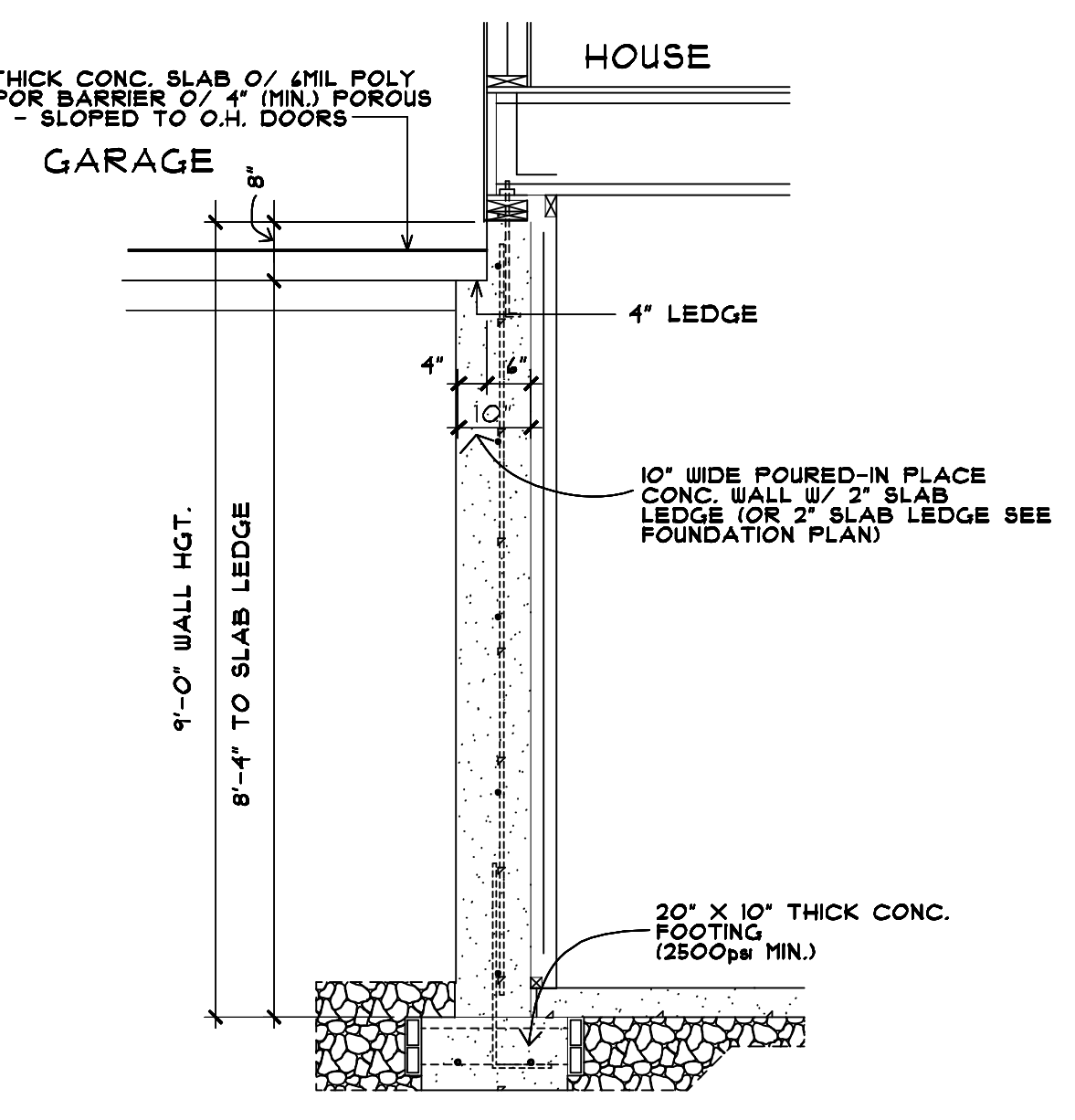
**WALL DETAIL "W5"**  
SCALE: 1/2" = 1'-0"



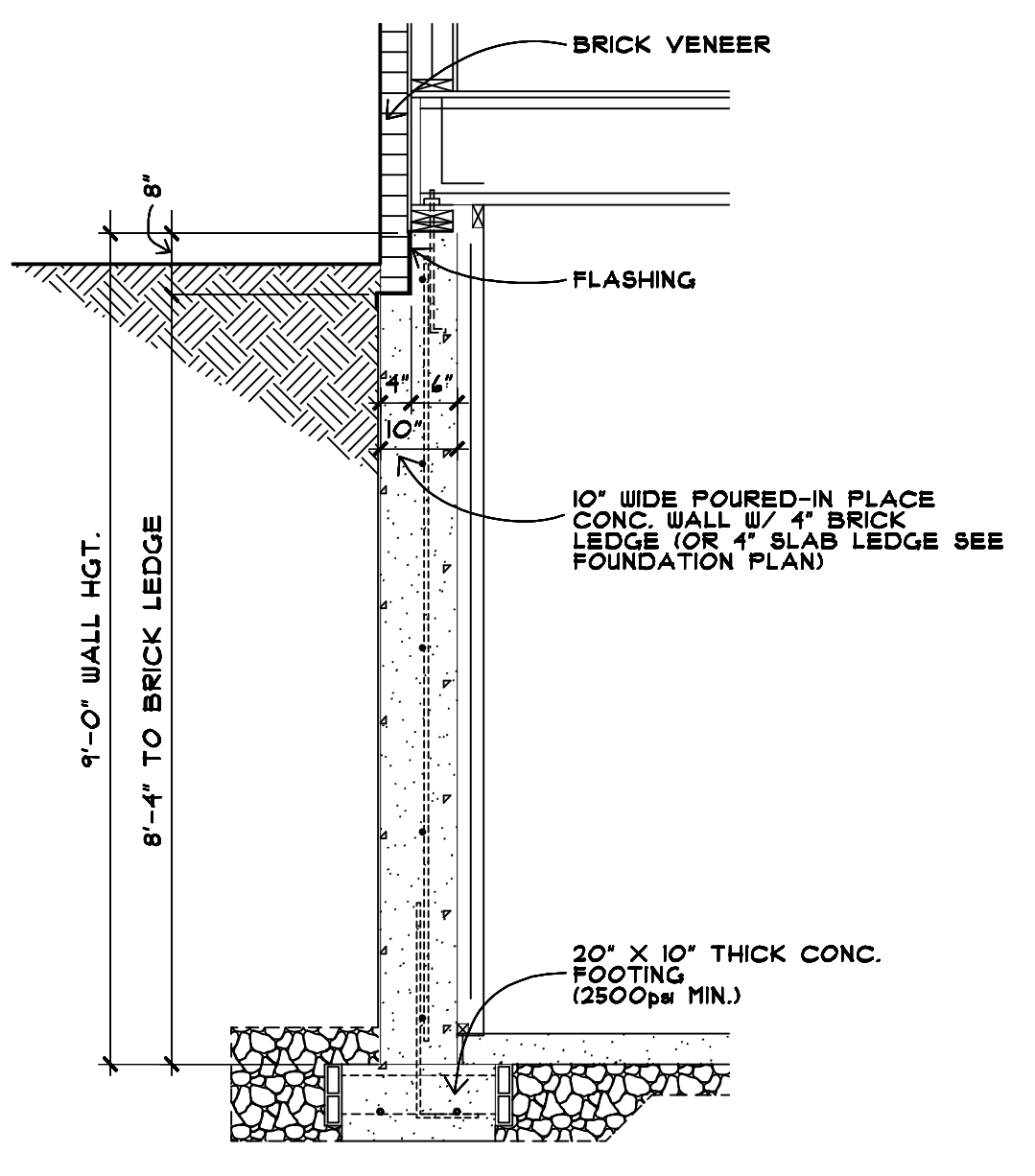
**WALL DETAIL "W6"**  
SCALE: 1/2" = 1'-0"



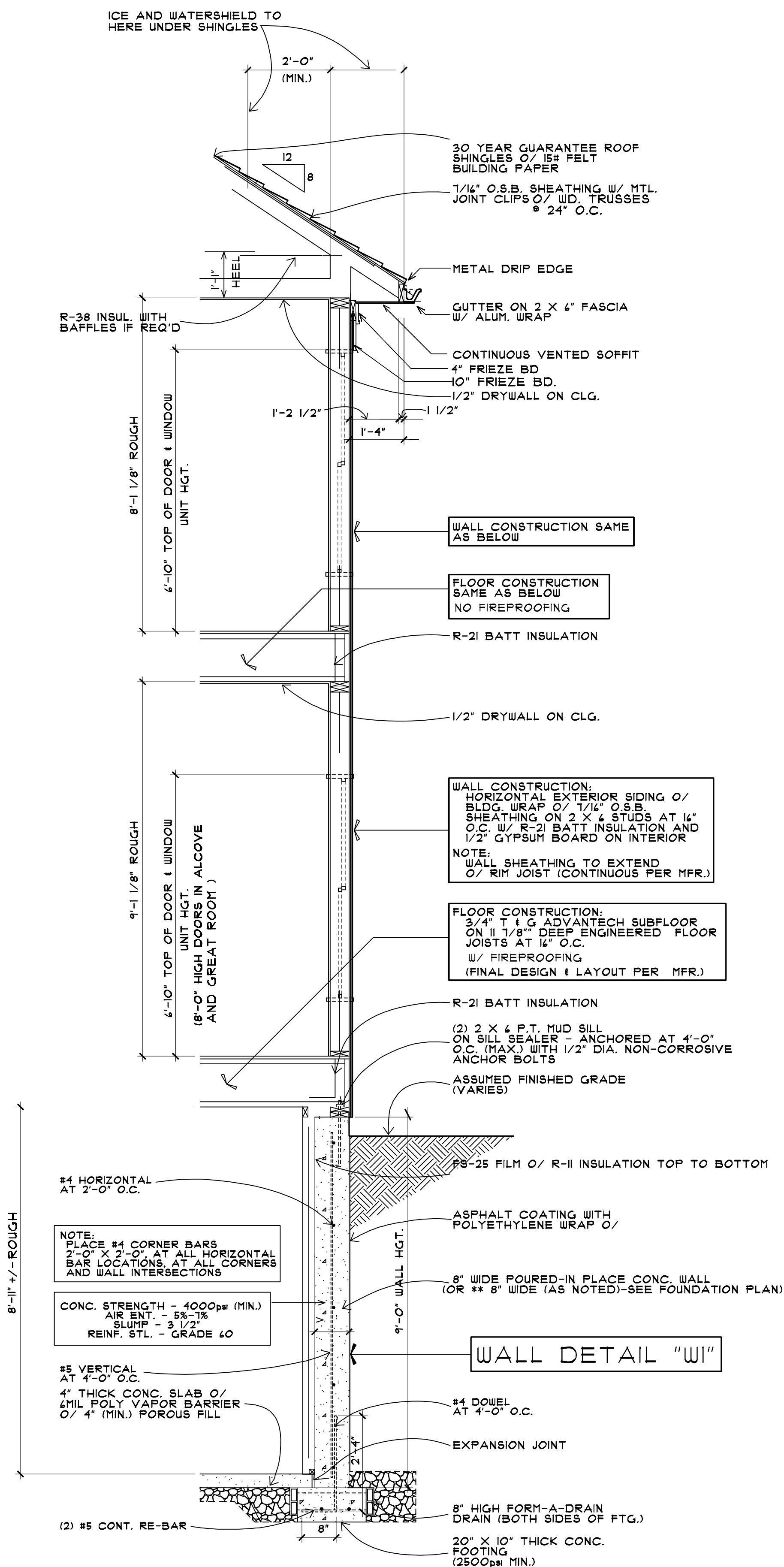
**WALL DETAIL "W8"**  
(AT WALK-OUT)  
SCALE: 1/2" = 1'-0"



**WALL DETAIL "W3"**  
SCALE: 1/2" = 1'-0"



**WALL DETAIL "W2"**  
SCALE: 1/2" = 1'-0"



**TYPICAL WALL SECTION (1)**  
SCALE: 1/2" = 1'-0"

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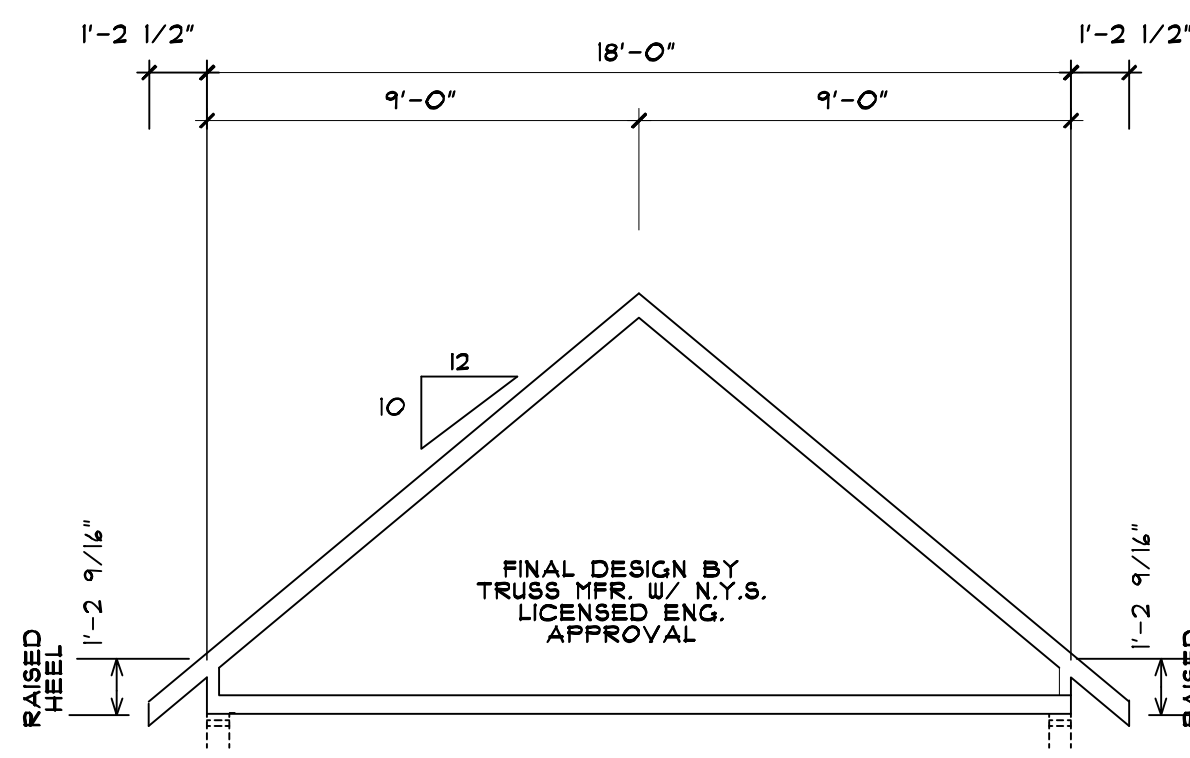
NO.	REVISION	DATE	BY

PROJECT: LOT 80 CONVENTRY RIDGE  
DRAWING TITLE: SECTIONS AND DETAILS  
PROJECT LOCATION:        
CLIENT: SPALL HOMES CORPORATION

SHEET NO. **5** OF **8**

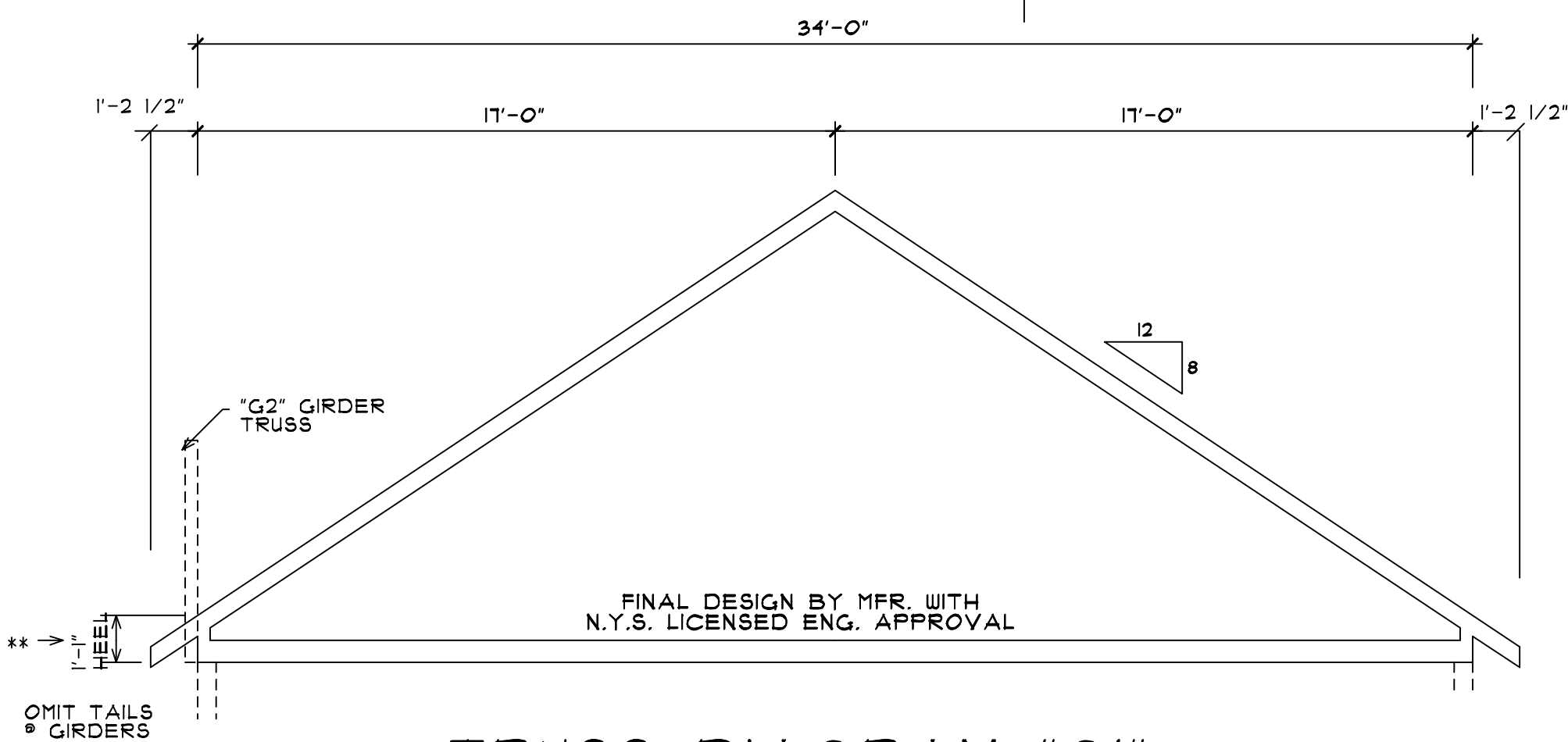
DRAWN BY: JHS  
PROJECT NO.: 21-020

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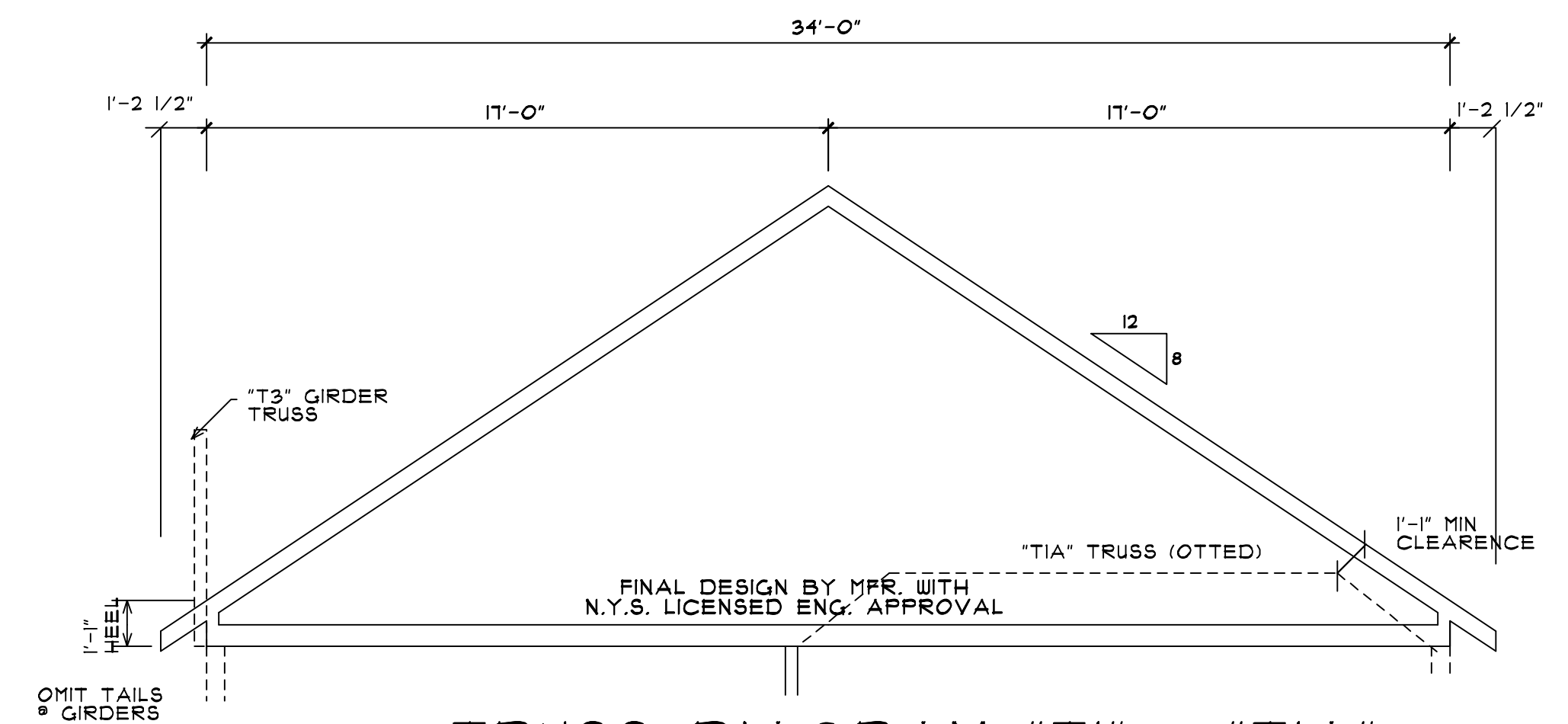
**TRUSS DIAGRAM "G2"**

SCALE: 1/4" = 1'-0"



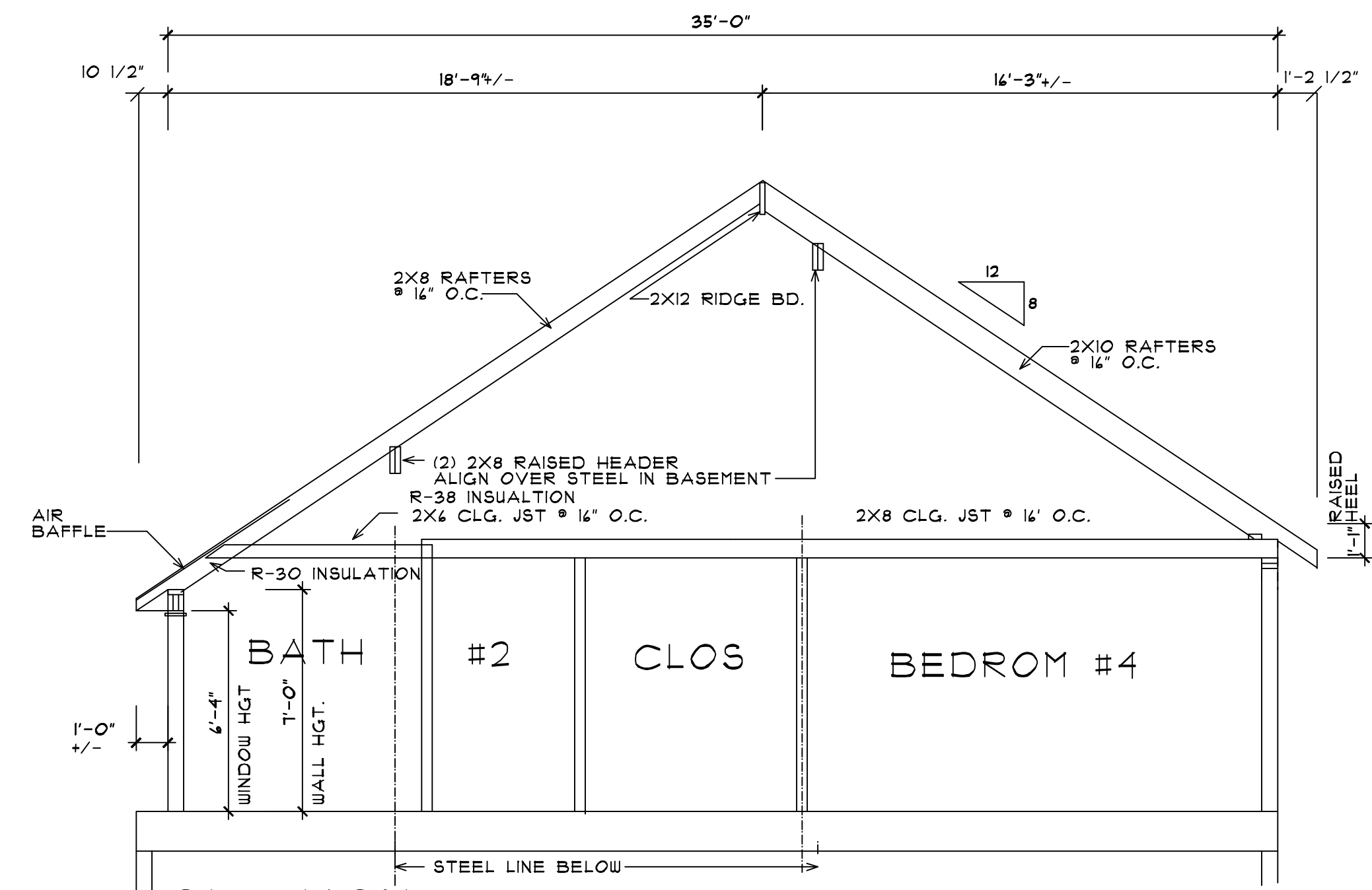
**TRUSS DIAGRAM "G1"**

SCALE: 1/4" = 1'-0"



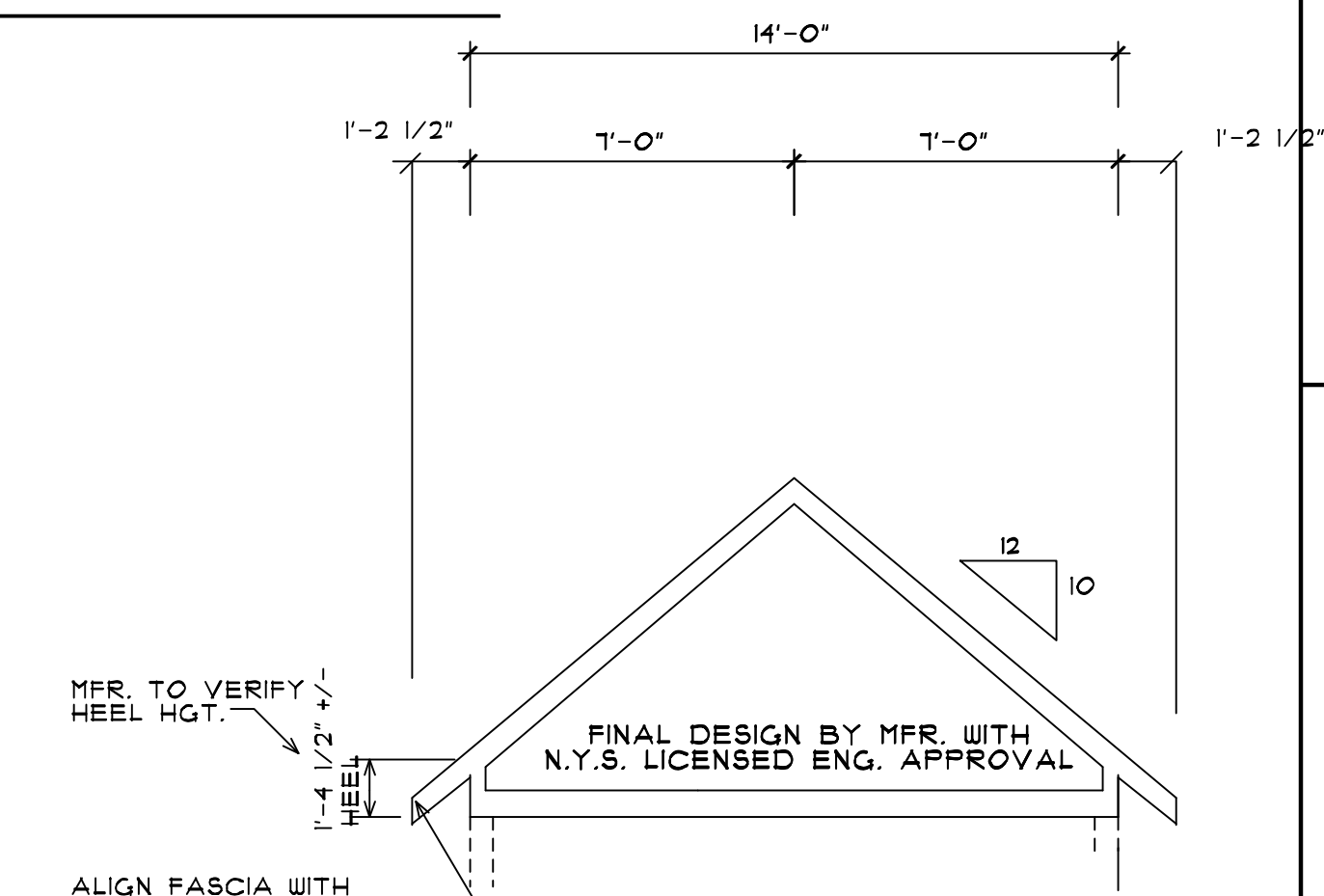
**TRUSS DIAGRAM "T1" + "TIA"**

SCALE: 1/4" = 1'-0"



**SECTION**

SCALE: 1/4" = 1'-0"



**TRUSS DIAGRAM "T3"**

SCALE: 1/4" = 1'-0"

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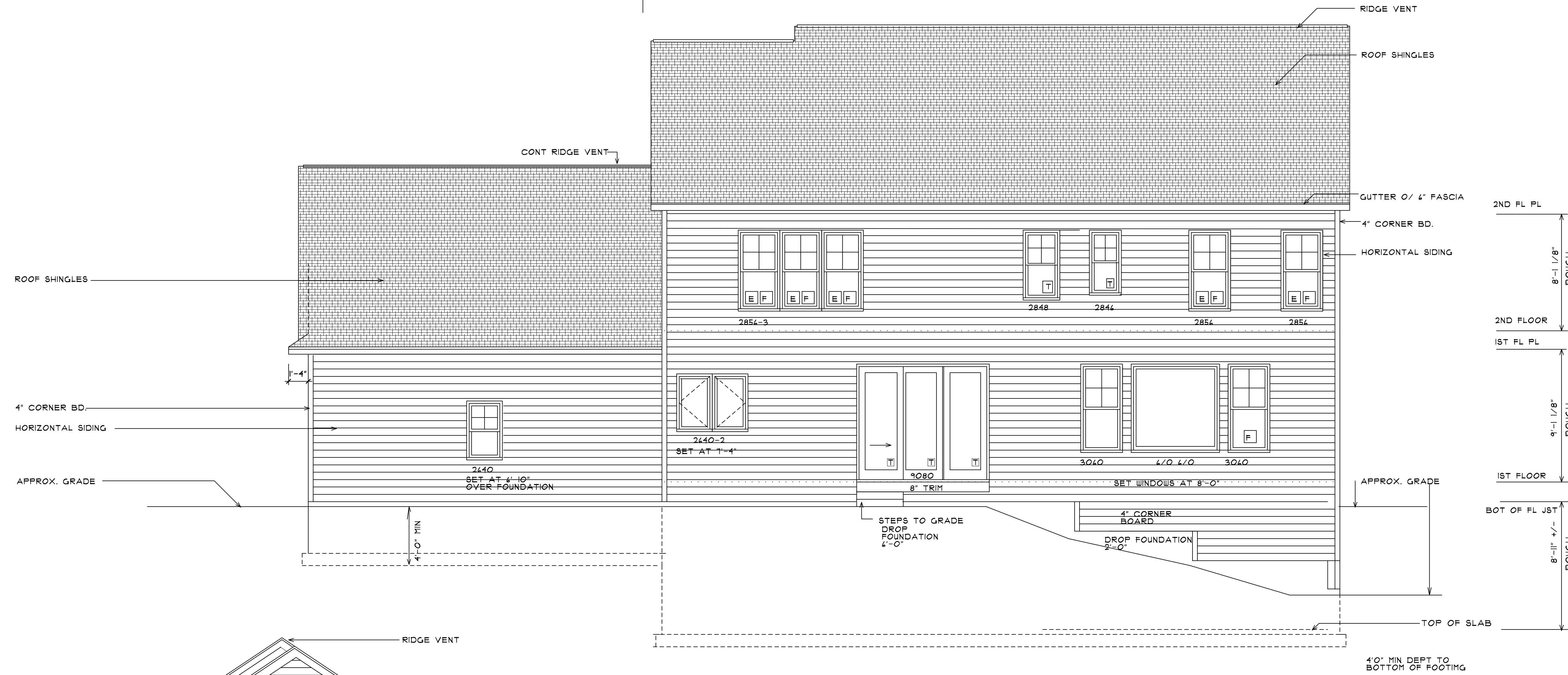
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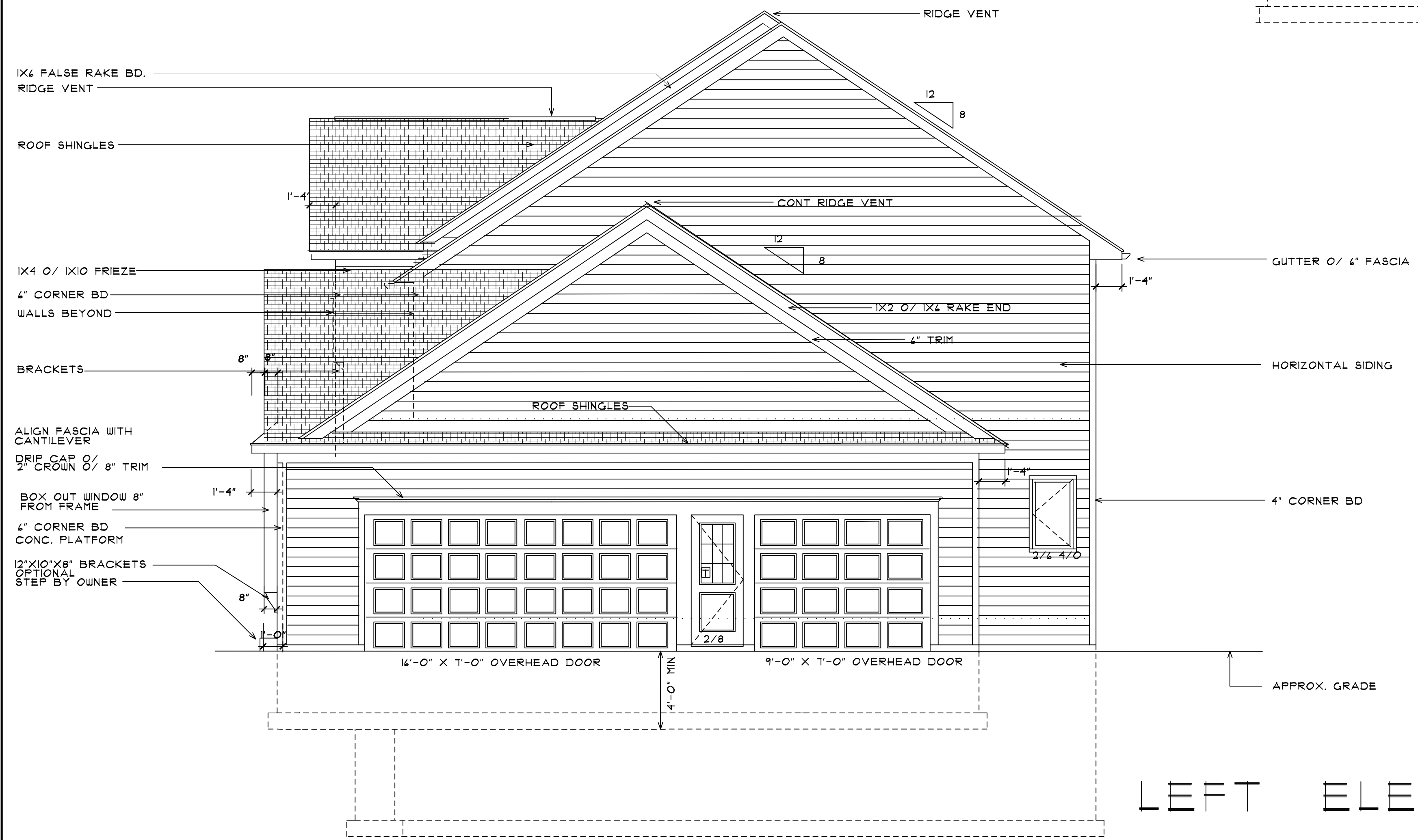
PROJECT	LOT 80 CONVENTY RIDGR
DRAWING TITLE	BUILDING SECTIONS
PROJECT LOCATION	
CLIENT	SPALL HOMES CORPORATION

SHEET NO.	6 OF 8
DRAWN BY	JHS
PROJECT NO.	21-020



# REAR ELEVATION

SCALE : 1/4" = 1'-0"



# LEFT ELEVATION

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PROJECT	LOT 80 CONVENTRY RIDGE
DRAWING TITLE	EXTERIOR ELEVATIONS
PROJECT LOCATION	
CLIENT	SPALL HOMES CORPORATION
SHEET NO.	1 OF 8
DRAWN BY	JHS
PROJECT NO.	21-020

### GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE UNIFORM BUILDING AND FIRE PREVENTION CODE, AND ANY APPLICABLE STATE, COUNTY, OR LOCAL REGULATIONS
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE DRAWINGS)
- FINAL LOCATION OF HOUSE AND VERIFICATION OF LOT AND PLACEMENT TO BE THE SOLE RESPONSIBILITY OF THE BUILDER AND SITE ENGINEER. LAYOUT IS APPROXIMATE AND BASED ON INFORMATION PROVIDED TO US BY BUILDER. ARCHITECTURAL INNOVATIONS, P.C. DOES NOT ASSUME ANY RESPONSIBILITY FOR FINAL PLACEMENT OF BUILDING

### FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL, AND STEPPED AS REQ'D. TO MAINTAIN THE MINIMUM FOOTING DEPTH BELOW FINISHED GRADE
- SOIL BEARING PRESSURE IS ASSUMED TO BE TWO (2) TONS PER SQUARE FOOT
- ANY FILL UNDER GRADE SUPPORTED SLABS SHALL BE A MINIMUM OF 4" COMPACTED GRANULAR MATERIAL
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25'-0" (MAXIMUM) INTERVALS EACH WAY
- PROVIDE A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FOOT OF CRAWLSPACE AREA
- BEAM POCKETS IN CONCRETE BLOCK WALLS TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3". FILL ALL BLOCK CORES BELOW SOLID WITH CONCRETE AND (2) #5 RE-ROD VERTICAL - (FULL HEIGHT)
- DAMP PROOF BASEMENT WALLS BEFORE BACKFILLING - PROVIDING 4" DIAMETER PERFORATED PERIMETER DRAIN TILE BELOW THE TOP OF FOOTING - SEE TYPICAL WALL/BUILDING SECTION

### STRUCTURAL NOTES

- FLOOR & CEILING JOISTS TO BE #2 GRADE HEM FIR 415 PSI OR BETTER FOR REPETITIVE MEMBERS. HEADERS & BEAMS TO BE #2 GRADE HEM FIR 850 PSI OR BETTER
- SINGLE FLOOR JOISTS EACH SIDE OF ALL PARALLEL PARTITIONS. SPREAD 3" (BASEMENT & FIRST FLOOR). FOR HEAT RUNS, SPREAD 5 1/2" FOR HEAT FLUES
- DOUBLE FLOOR JOISTS EACH SIDE OF ALL BEARING PARTITIONS. SPREAD 3" (BASEMENT), FOR HEAT RUNS, SPREAD 5 1/2" FOR HEAT FLUES
- FIRST FLOOR - (2) 2 X 4 HDR. OVER OPENINGS UP TO 4'-0" WIDE - FLOOR LOADS ONLY (NO ROOF & STACKED UNDER WINDOWS ABV.) - UNLESS OTHERWISE NOTED
- FIRST FLOOR - (3) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF & FLOOR LOADS) - UNLESS OTHERWISE NOTED
- SECOND FLOOR - (2) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF LOADS) - UNLESS OTHERWISE NOTED
- DENSIELD TO 5'-0" OVER TUBS AND AROUND ENTIRE SHOWER STALL
- PROVIDE SOLID BLOCKING UNDER ALL HEADERS AND MICRO-LAMS TO FOUNDATION EQUAL TO WIDTH OF HDR. AND 3" (MIN.) DEPTH

### MAXIMUM ALLOWABLE SPANS

#### RAFTER SIZING (HORIZONTAL SPAN)

MAXIMUM CLEAR SPANS AT 16" O.C. : L/180 (50# LIVE LOAD, 10# DEAD LOAD - NO DRYWALL)

2 X 4 = 9'-1"      2 X 10 = 14'-10"  
2 X 8 = 12'-2"      2 X 12 = 17'-3"

#### CEILING JOIST SIZING

MAXIMUM CLEAR SPANS AT 16" O.C. : L/340 (20# LIVE LOAD, 10# DEAD LOAD)

2 X 4 = 11'-5"      2 X 10 = 19'-3"  
2 X 8 = 15'-1"      2 X 12 = 22'-8"

#### FLOOR JOIST SIZING (FIRST FLOOR ONLY)

MAXIMUM CLEAR SPANS AT 16" O.C. : L/340 (40# LIVE LOAD, 15# DEAD LOAD)

2 X 4 = 9'-1"      2 X 10 = 14'-6"  
2 X 8 = 11'-10"      2 X 12 = 16'-9"

#### FLOOR JOIST SIZING (SECOND FLOOR ONLY)

MAXIMUM CLEAR SPANS AT 16" O.C. : L/340 (30# LIVE LOAD, 10# DEAD LOAD)

2 X 4 = 10'-0"      2 X 10 = 14'-10"  
2 X 8 = 13'-2"      2 X 12 = 19'-8"

NOTE: PROPRIETARY PRODUCTS MAY BE SUBSTITUTED WITH GENERIC PRODUCTS AS LONG AS THEY ARE OF EQUAL OR BETTER QUALITY AND SPECIFICATIONS

REFERENCE: ACI 530-02/A  
TABLE 5.4.3.1 - FOUNDATION WALL CONSTRUCTION

WALL CONSTRUCTION	NOMINAL WALL THICKNESS, IN. (MM)	MAXIMUM DEPTH OF UNBALANCED BACKFILL, FT. (M)
HOLLOW UNIT MASONRY	8 (203)	5 (1.52)
	10 (254)	4 (1.23)
	12 (305)	1 (2.13)
SOLID UNIT MASONRY	8 (203)	5 (1.52)
	10 (254)	1 (2.13)
	12 (305)	1 (2.13)
FULLY GROUTED MASONRY	8 (203)	7 (2.13)
	10 (254)	8 (2.44)

TABLE R301.2(1)  
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA ZONE 5

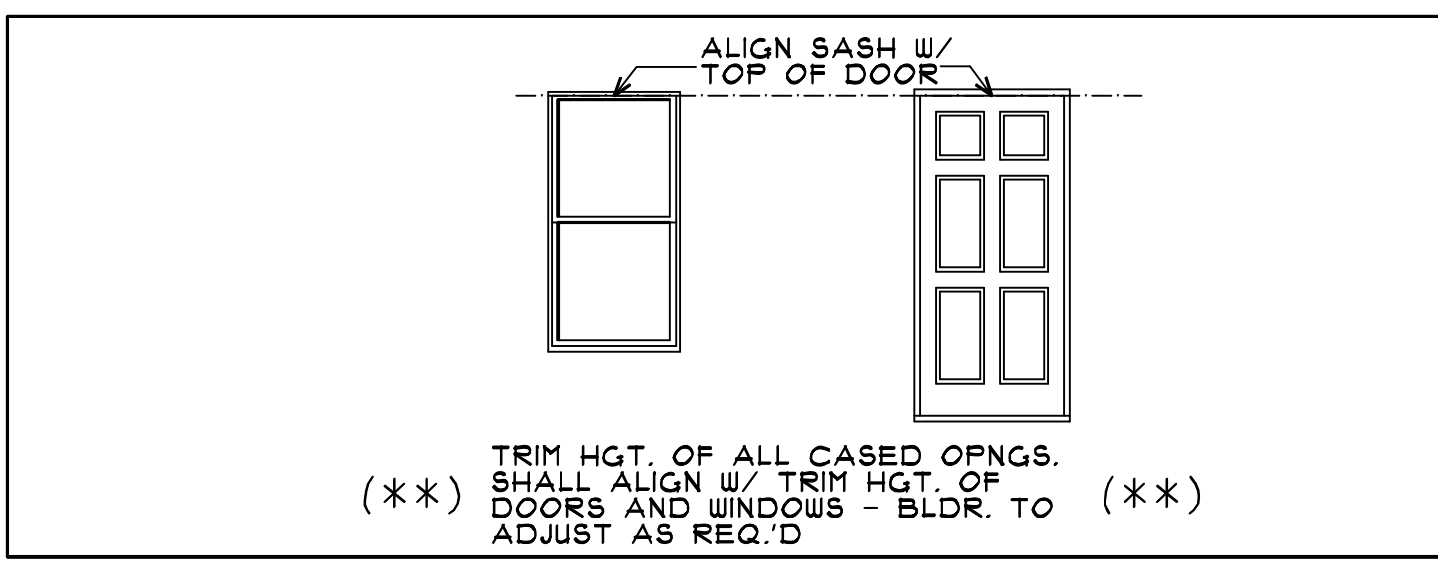
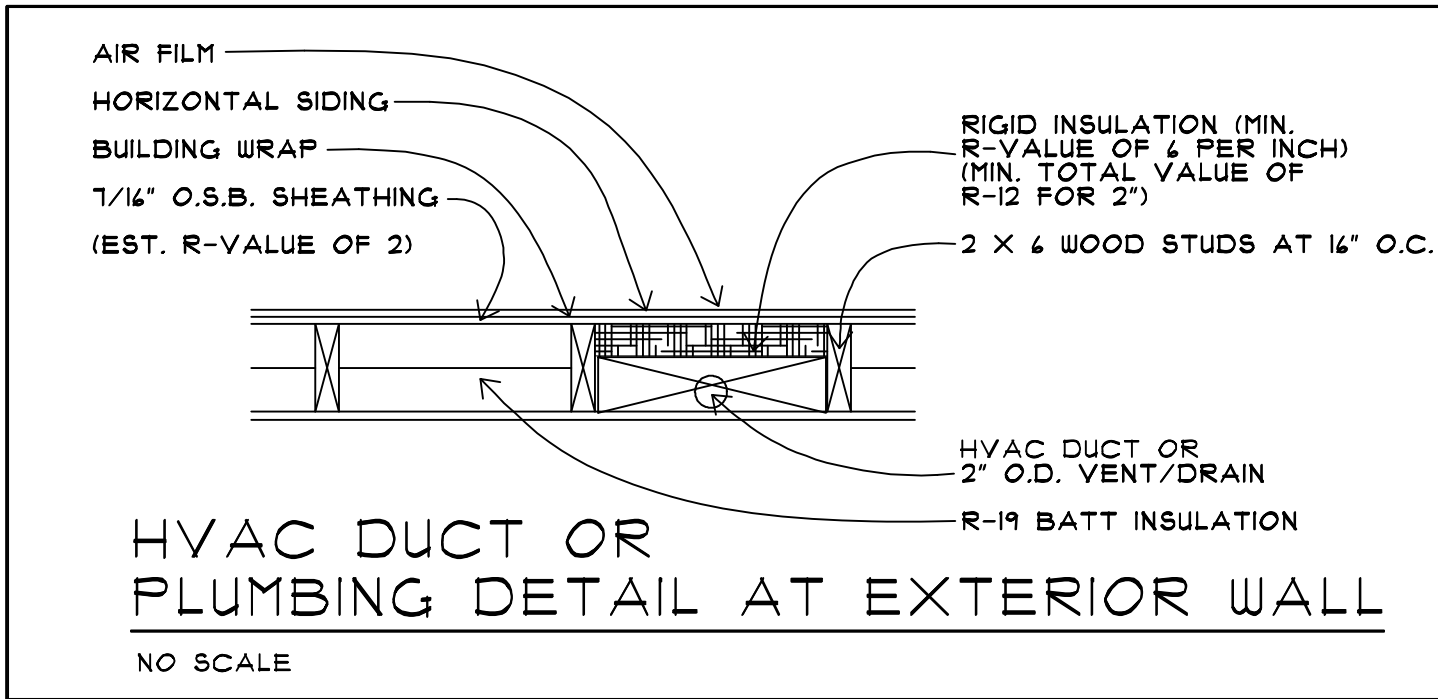
GROUND LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN	ICE SHIELD UNDERLATHMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST DEPTH	TERRITE	DECAY			
50 p/sf	90 b	A	SEVERE	42"	NONE/SLIGHT	NONE/SLIGHT	1	YES	1992

### ELECTRICAL KEY

S	SINGLE POLE SWITCH		OUTLET
S <sub>3</sub>	3 WAY SWITCH		1/2 SWITCHED OUTLET
S <sub>4</sub>	4 WAY SWITCH		PHONE JACK
S <sub>D</sub>	DIMMER SWITCH		TELEVISION JACK
	DBL. BULB FLOOD LIGHT		PUSH BUTTON FOR CHIME
	MOTION DETECTOR		DOOR CHIME
	THERMOSTAT		KEY PAD FOR SECURITY SYSTEM
	FLOURESCENT LIGHT		GLASS BREAK
	EXHAUST FAN / LIGHT		WINDOW CONTACTS
	EXHAUST FAN		DOOR CONTACTS
	SURFACE INCANDESCENT		SMOKE DETECTOR
	RECESSED INCANDESCENT		SPECIAL PURPOSE
	220 OUTLET		HANGING FIXTURE
	WATERPROOF OUTLET		SIREN
	MICROWAVE HOOD OUTLET		

### SYMBOLS

	2 X 4 STUD WALL @ 16" O.C.		CEILING FAN
	2 X 6 STUD WALL @ 16" O.C.		EXHAUST FAN
	BRICK VENEER		BUILDING SECTION
	SHOWER HEAD		ELEVATION DETAIL
	SMOKE DETECTOR		BUILDING DETAIL
	FLOOR SUPPLY REGISTER		RECESSED WATERPROOF LIGHT
	RETURN WALL VENT		SOLID BLOCKING DOWN TO FOUNDATION
	WALL SUPPLY REGISTER		
	THERMOSTAT		
	HOSE BIB		
	TEMPERED GLASS		



REFERENCE: RESIDENTIAL CODE OF NEW YORK STATE, PAGE 44  
TABLE R404.1.1(3)  
REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	SOIL CLASSES <sup>d</sup>			
		GW, GP AND SP SOILS	GM, GC, SM, SH-SC AND ML SOILS	SC, MH, ML-CL AND INORGANIC CL SOILS	
1	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
8	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
9	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	

### MAXIMUM HEADER SPANS IN EXTERIOR WALLS UNDER GABLE ENDS WITH NO FLOOR OR ATTIC LOAD

HEADER SIZE	MAXIMUM CLEAR SPAN
(2) 2 X 4	UP TO 5'-0"
(2) 2 X 6	5'-0" - 9'-0"

### MAXIMUM STUD LENGTHES

	STUD SIZE	LENGTH
SUPPORTING ROOF ONLY	2 X 4 AT 16" O.C.	UP TO 12'-0"
	2 X 6 AT 16" O.C.	12'-0" - 18'-0"
	2 X 6 AT 12" O.C.	18'-0" - 20'-0"
SUPPORTING ONE FLOOR AND ROOF	2 X 4 AT 16" O.C.	UP TO 10'-0"
	2 X 6 AT 16" O.C.	10'-0" - 18'-0"
	2 X 6 AT 12" O.C.	18'-0" - 20'-0"
SUPPORTING TWO FLOORS AND ROOF	2 X 4 AT 16" O.C.	UP TO 14'-0"
	2 X 6 AT 16" O.C.	14'-0" - 18'-0"
	DBL. 2 X 6 AT 16" O.C.	18'-0" - 20'-0"

### MAXIMUM HEADER SPANS FOR INTERIOR BEARING WALLS BASED ON BUILDING WIDTH OF 34'-0"

	HEADER SIZE	MAXIMUM CLEAR SPAN	NUMBER OF JACK STUDS AT EACH END
ONE FLOOR ONLY	(2) 2 X 4	2'-5"	1
	(2) 2 X 6	3'-6"	1
	(2) 2 X 8	4'-5"	2
	(3) 2 X 8 OR (2) 2 X 10	5'-5"	2
	(3) 2 X 10 OR (2) 2 X 12	6'-3"	2
	(3) 2 X 12	7'-10"	2
TWO FLOORS	(2) 2 X 4	1'-1"	1
	(2) 2 X 6	2'-5"	2
	(2) 2 X 8	3'-2"	2
	(3) 2 X 8 OR (2) 2 X 10	3'-10"	3
	(3) 2 X 10 OR (2) 2 X 12	4'-5"	3
	(3) 2 X 12	5'-1"	3

### MAXIMUM HEADER SPANS FOR EXTERIOR BEARING WALLS BASED ON BUILDING WIDTH OF 34'-0"

	HEADER SIZE	SPAN	NUMBER OF JACK STUDS AT EACH END
ROOF AND CEILING	(2) 2 X 4	2'-6"	1
	(2) 2 X 6	3'-8"	2
	(2) 2 X 8	4'-1"	2
	(3) 2 X 8 OR (2) 2 X 10	5'-1"	2
	(3) 2 X 10 OR (2) 2 X 12	6'-6"	2
	(3) 2 X 12	8'-2"	2
ROOF, CEILING, AND FLOOR WITH CENTER BEARING WALLS	(2) 2 X 4	2'-2"	1
	(2) 2 X 6	3'-3"	2
	(2) 2 X 8	4'-1"	2
	(3) 2 X 8 OR (2) 2 X 10	5'-0"	2
	(2) 2 X 12	5'-9"	3
	(3) 2 X 10	6'-3"	2
ROOF, CEILING, AND ONE GEAR FLOOR SPAN	(2) 2 X 4	2'-0"	1
	(2) 2 X 6	3'-0"	2
	(2) 2 X 8	3'-9"	2
	(2) 2 X 10	4'-1"	3
	(2) 2 X 12	5'-4"	3
	(3) 2 X 8	4'-8"	2
ROOF, CEILING, AND FLOOR WITH CENTER BEARING WALLS	(2) 2 X 4	1'-11"	1
	(2) 2 X 6	2'-10"	2
	(2) 2 X 8	3'-8"	2
	(2) 2 X 10	4'-5"	3
	(2) 2 X 12	5'-2"	3
	(3) 2 X 8	4'-1"	2
ROOF, CEILING, AND FLOOR WITH CENTER BEARING WALLS	(3) 2 X 10	5'-1"	2
	(3) 2 X 12	6'-5"	3
	(3) 2 X 12	6'-5"	3

### ABBREVIATIONS

†	AND	MC	MEDICINE CABINET
ø	AT	MAT'L	MATERIAL
AC	AIR CONDITIONING	M.L.	MICRO-LAM
ADD'N	ADDITION	MO	MASONRY OPENING
AP	ACCESS PANEL	MT	MARBLE THRESHOLD
APPROX	APPROXIMATE	MFR	MANUFACTURER
AVG	AVERAGE	MAX	MAXIMUM
BS	BASEMENT SASH	MECH	MECHANICAL
BW	BEARING WALL	MTL	METAL
BM	BEAM	MIN	MINIMUM
BKSH	BOOK SHELF	MISC	MISCELLANEOUS
BLK	BLOCK	NIC	NOT IN CONTRACT
BC	BROOM CLOSET	NO / #	NUMBER
BD	BOARD	NTS	NOT TO SCALE
BLDG	BUILDING	O/	OVER
BLDR	BUILDER	O	OVENS
BLK	BLOCK	OC	ON CENTER
BSMT	BASEMENT	OPT	OPTIONAL
CANT'LR	CANTILEVER	O/A	OVERALL
C	CARPET	OH, DR	OVERHEAD DOOR
CAB	CABINET	O.D.	OUTSIDE DIAMETER
CB	CORNER BOARD	OPNG	OPENING
CJ	CEILING JOIST	PLT	PLATE
C.O.	CASED OPENING	PAN	PANTRY
CT	CERAMIC TILE	P.D.R.	POWDER ROOM
CKT	COOKTOP	PED	PEDESTAL
€	CENTERLINE	PLAT	PLATFORM
CLG	CEILING	PLMB	PLUMBING
CLOS	CLOSET	PSF	POUNDS PER SQUARE FOOT
CNTR	COUNTER	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PT. LD.	POINT LOAD
CONC	CONCRETE	PLYWD	PLYWOOD
CONSTR	CONSTRUCTION	R	RISER
CONT	CONTINUOUS	RAD	RADIUS
CONTR	CONTRACTOR	REIN	REINFORCED
CRS	COURSES	REF	REFRIGERATOR
D	DRYER	R & SH	ROD AND SHELF
D.V.	DIRECT VENT	REV	REVISED OR REVISION
DW	DISHWASHER	REQ'D.	REQUIRED
DIA	DIAMETER	RFTR	RAFTER
DH	DOUBLE HUNG	RM	ROOM
DBL	DOUBLE	SB	SINK BASE
DET	DETAIL	SEL'D	SELECTED
DN	DOWN	SHS	SHELVES
DR	DOOR	S.H.	SHOWER HEAD
DWG	DRAWING	SL	SIDELIGHT
DIM	DIMENSION	SSR	SINGLE STUD RETURN
ELEC	ELECTRIC	SKY'LT	SKYLIGHT
EQ	EQUAL	SH	SHELF
EST	ESTIMATE	SHT	SHEET
EXC	EXCAVATE	STD	STANDARD
EXIST	EXISTING	STOR	STORAGE
EXT	EXTERIOR	STL	STEEL
F.F.W.	FROM FRAME WALL	SUB	SUBSTITUTE
FD	FLOOR DRAIN	TBD	TO BE DETERMINED
FF	FINISH FLOOR	TECH	TECHNICAL
FL	FLUSH	THK	THICK
FLR JST	FLOOR JOIST	TME	TO MATCH EXISTING
FT (')	FEET	TYP	TYPICAL
FLR	FLOOR	TC	TOWEL CLOSET
FLUOR	FLUORESCENT	TIG	TONGUE AND GROOVE
FP	FIREPLACE	U/	UNDER
FTG	FOOTING	U.C.	UTILITY CLOSET
GALV	GALVANIZED	UNEX	UNEXCAVATED
HDR	HEADER	VAN	VANITY
HR	HANDRAIL	VIF	VERIFY IN FIELD
HGT	HEIGHT	VERT	VERTICAL
HW	HARDWOOD	VEST	VESTIBULE
HND'CP	HANDICAP	W	WASHER
IB	IRONING BOARD	WC	WATER CLOSET
I.D.	INSIDE DIAMETER	WD	WOOD
IN (")	INCH	WH	WATER HEATER
INSUL	INSULATION	W/	WITH
INT	INTERIOR	WIC	WALK IN CLOSET
JSTS	JOISTS	WGT	WEIGHT
L.C.	LINEN CLOSET	W/O	WITHOUT
L.T.	LAUNDRY TRAY	WL	WALL
LCH	LAUNDRY CHUTE	WWM	WELDED WIRE MESH

### HEADER NOTE

ALL MANUFACTURED HEADERS TO BE TJI 19E FOR MICROLAM HEADERS AS PER MANUFACTURER

MINIMUM DESIGN LOADS			
LOADS	LIVE	DEAD	TOTAL
FIRST FLOOR	40	20	60
SECOND FLOOR	40	15	55
ROOF	50	10	60
ATTIC (LIGHT STORAGE)	20	10	30
WOOD DECK	40	15	55

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 ARCHITECTURAL INNOVATIONS, P.C. 02/2020  
 ALL RIGHTS RESERVED

PROJECT	DRAWING TITLE	SPECIFICATIONS AND NOTES	SHEET NO.
LOT 80 CONVENTRY RIDGE			00 OF 00
PROJECT LOCATION			
CIENT			

ARCHITECTURAL INNOVATIONS, P.C.  
 624 PITTSFORD-VICTOR ROAD  
 PITTSFORD, NEW YORK 14534  
 585-385-5540 E-MAIL AIFC@AOL.COM

PROJECT NO. 21-020  
 DRAWN BY JHS  
 PROJECT NO. 21-020



07/25/2016



07/25/2016







## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000155**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 15 Evesham Place PITTSFORD, NY 14534

**Tax ID Number:** 178.03-2-48

**Zoning District:** RN Residential Neighborhood

**Owner:** Ketmar Development Corp

**Applicant:** Ketmar Development Corp

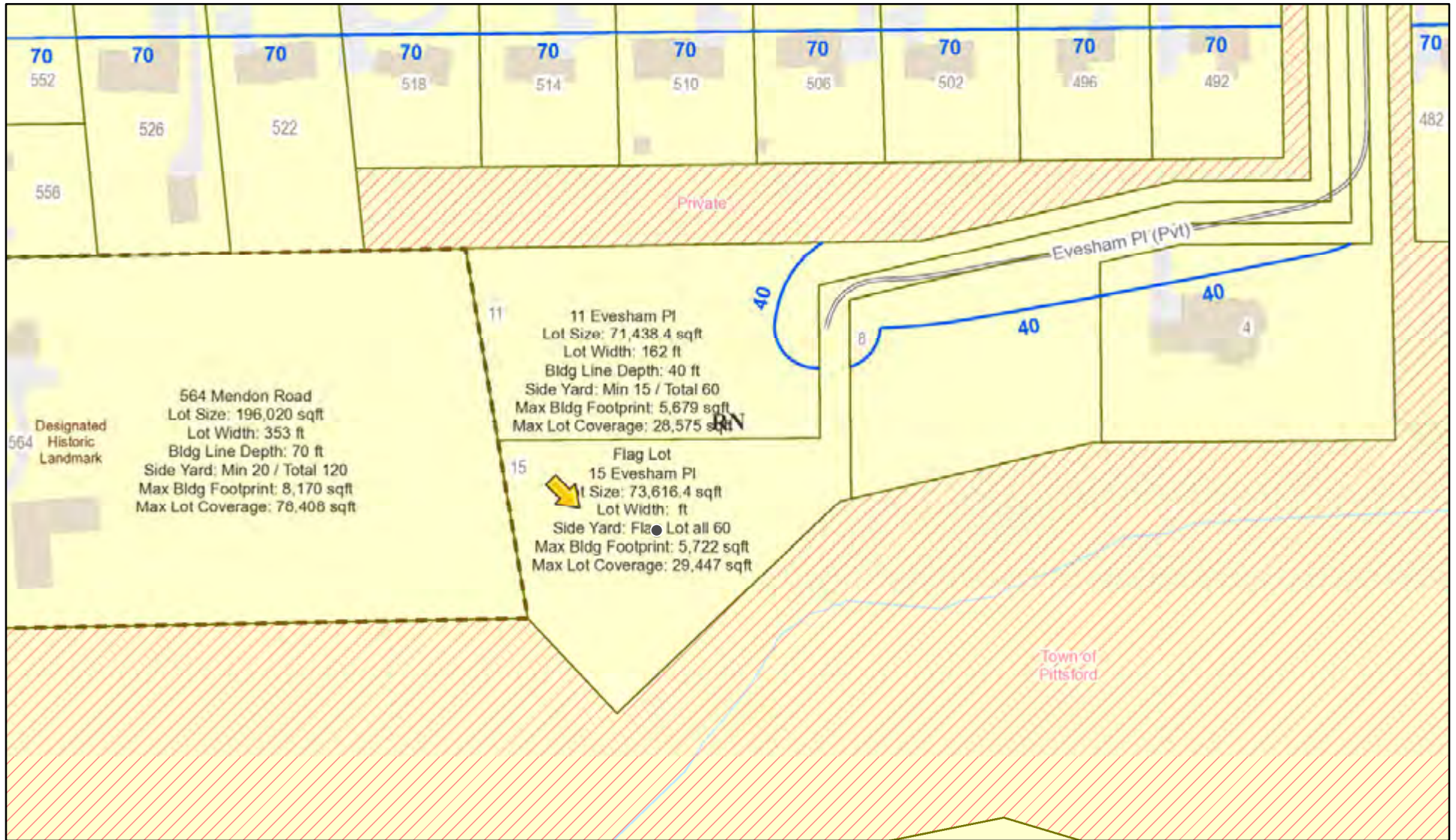
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

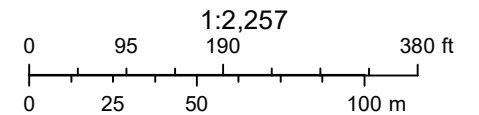
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 3875 square feet of living space in the Malvern Hills Subdivision.

**Meeting Date:** September 23, 2021

# RN Residential Neighborhood Zoning



Printed August 5, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
3500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-26. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDINGS (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGINS/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR NOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)  
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 9/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

## STEWART - BISCHOF RESIDENCE

### LOT 211 EVESHAM PLACE

## KETMAR DEVELOPMENT CORP

# DRAWING INDEX

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3	ELEVATIONS 2
4	BASEMENT AND FOUNDATION PLAN
5	FIRST FLOOR PLAN
6	SECOND FLOOR PLAN
7	ROOF PLAN
8	BUILDING SECTIONS
9	TYPICAL NOTES

### ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS  
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	.49	.49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT

### 2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.12. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.6.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R802.1.1.1



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JULY 21, 2021

PROJECT:  
STEWART - BISCHOF RESIDENCE  
LOT 211 EVESHAM PLACE  
TOWN OF PITTSFORD NY

CLIENT:  
KETMAR DEVELOPMENT CORP

DRAWING:  
TITLE PAGE

DRAWN:  
FJM/AJM/MGM

CHECKED:  
FJM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

1

OF 9 SHEETS





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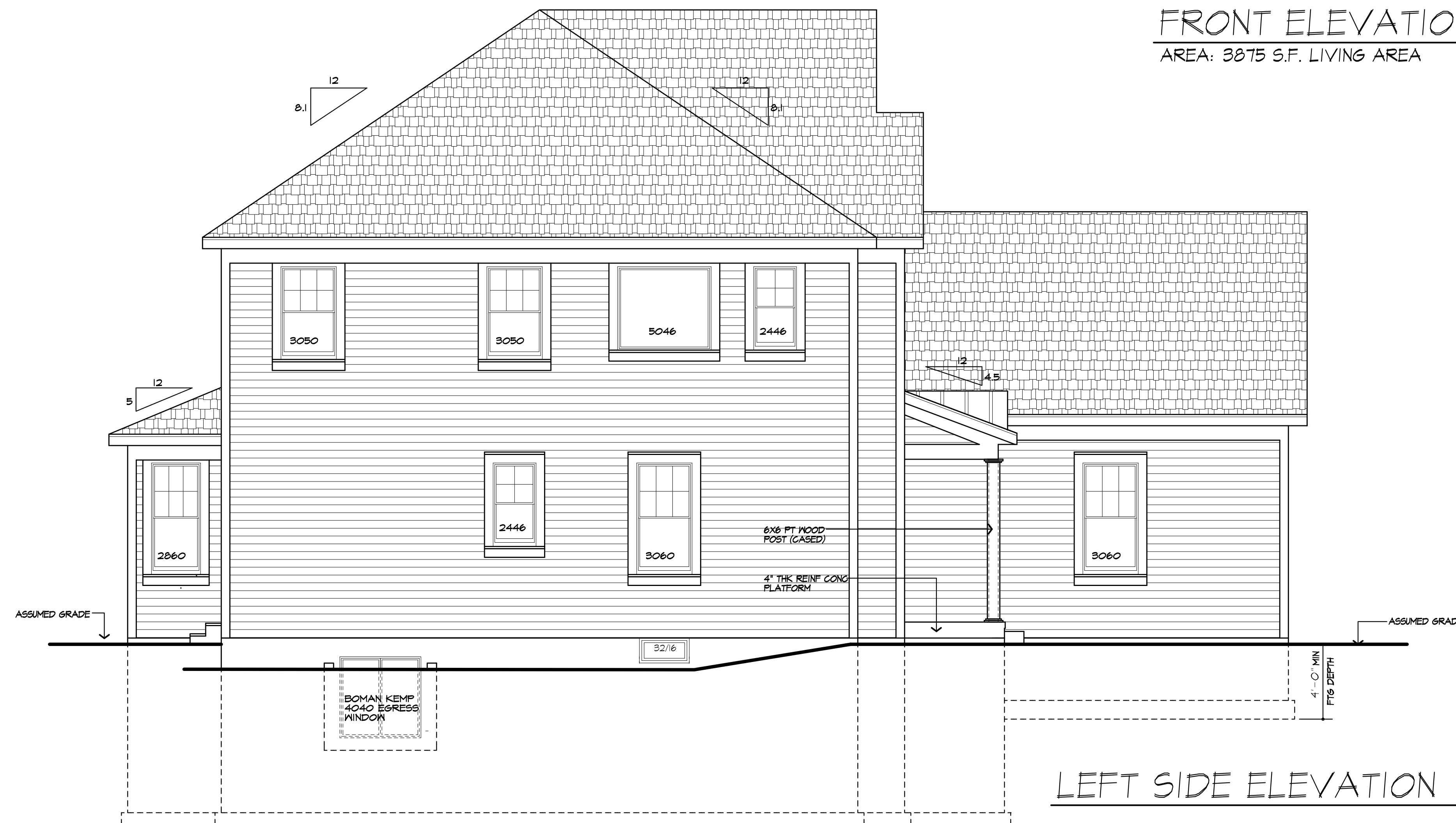
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**FRONT ELEVATION**  
AREA: 3875 S.F. LIVING AREA



**LEFT SIDE ELEVATION**

**UNLESS OTHERWISE NOTED**

- ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES
- ROOF VENTING: CONTINUOUS RIDGE VENT
- FASCIAS: 8"
- FRIZEEBDS: 10"
- CORNERBDS: 6"
- CASINGS: 6"
- SIDING: HORIZ, AS SELECTED
- OVERHANGS: 1'-0"
- RAKE OVERHANGS: 1'-0"
- MIN FTG. DEPTH: 4'-0"
- CLG HT:
- 1ST FLOOR: 9'-1 1/8"
- 2ND FLOOR: 9'-1 1/8"
- WINDOW UNIT HT:
- 1ST FLOOR: 8'-0"
- 2ND FLOOR: 8'-0"
- WINDOW MFR: ANDERSEN 100 OR EQUAL (PROVIDE SAFETY GLAZING PER R308.4)

JULY 21, 2021

**PROJECT:**  
STEWART - BISCHOF RESIDENCE  
LOT 211 Evesham Place  
Town of Pittsford NY

**CLIENT:**  
KETMAR DEVELOPMENT CORP

**DRAWING:**  
FRONT / LEFT SIDE ELEVATIONS

**DRAWN:** F.J.M/A/MGM  
**CHECKED:** P.J.M

**DATE:** JULY 2021

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 21M4050

**SHEET:**

**2**

OF 9 SHEETS





**MORABITO ARCHITECTS**

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REAR ELEVATION

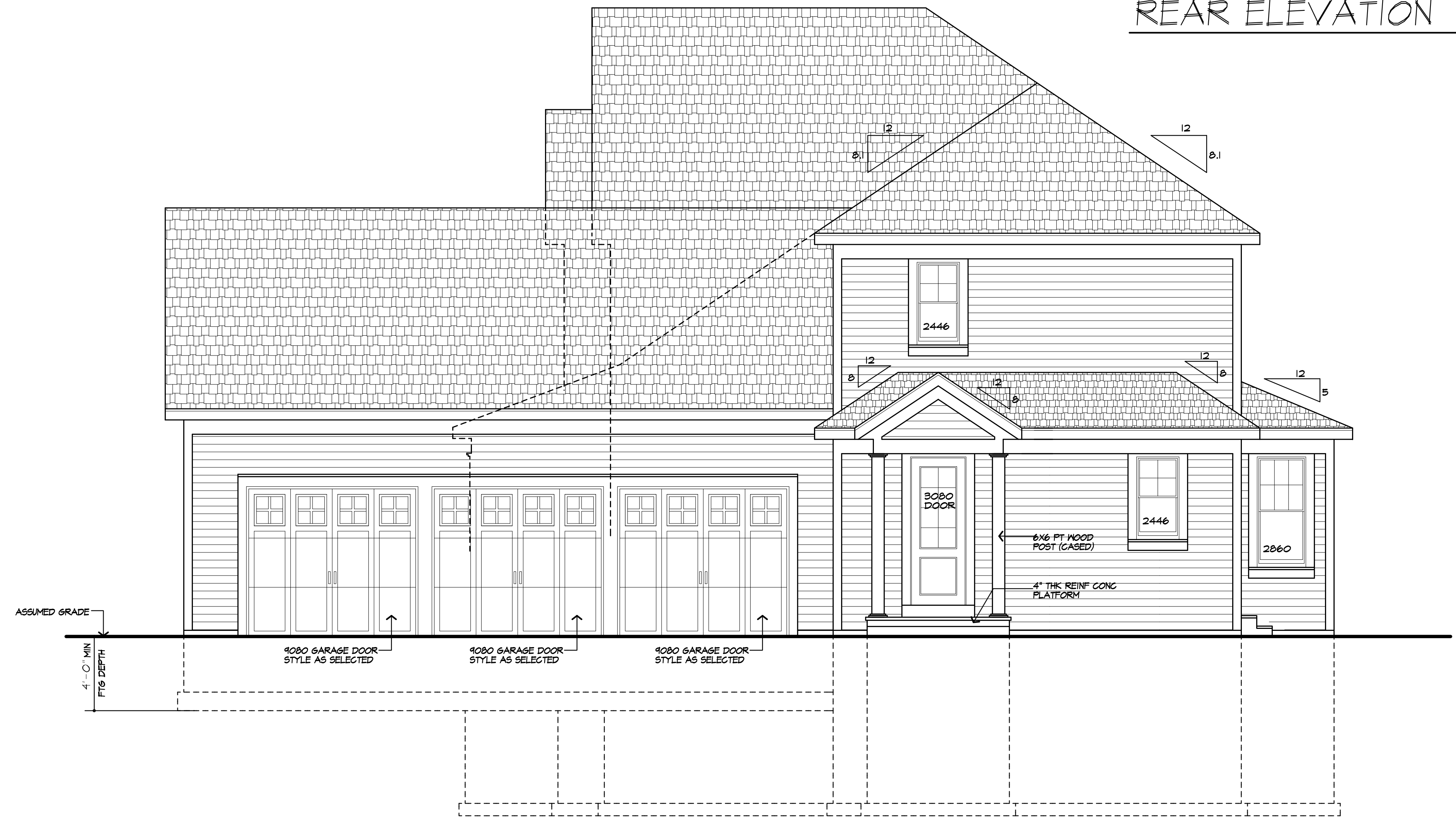
UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES  
ROOF VENTING: CONTINUOUS RIDGE VENT  
FASCIAS: 8"  
FRIEZEBDS: 10"  
CORNERBDS: 6"  
CASINGS: 6"  
SIDING: HORIZ, AS SELECTED  
OVERHANGS: 1'-0"  
RAKE OVERHANGS: 1'-0"  
MIN FTG. DEPTH: 4'-0"

CLG HT:  
1ST FLOOR: 9'-1 1/8"  
2ND FLOOR: 9'-1 1/8"

WINDOW UNIT HT:  
1ST FLOOR: 8'-0"  
2ND FLOOR: 8'-0"

WINDOW MFR: ANDERSEN 100 OR EQUAL  
(PROVIDE SAFETY GLAZING PER R.308.4)



RIGHT SIDE ELEVATION

JULY 21, 2021

PROJECT:  
STEMART - BISCHOF RESIDENCE  
LOT 211 Evesham Place  
TOWN OF PITTSFORD NY

CLIENT:  
KETMAR DEVELOPMENT CORP

DRAWING:  
REAR / RIGHT SIDE ELEVATIONS

DRAWN: P.JM/AJM/MGM  
CHECKED: P.JM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

3

OF 9 SHEETS



TABLE R404.1.1(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 0.75 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		SM, GP, SM AND SP SOILS 30	SM, SC, SM, SM-SC AND ML SOILS 45	SC, ML-CL AND INORGANIC OL SOILS 60
6'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.

FOR 5/8" I INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.81 KPA/MM.

A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.

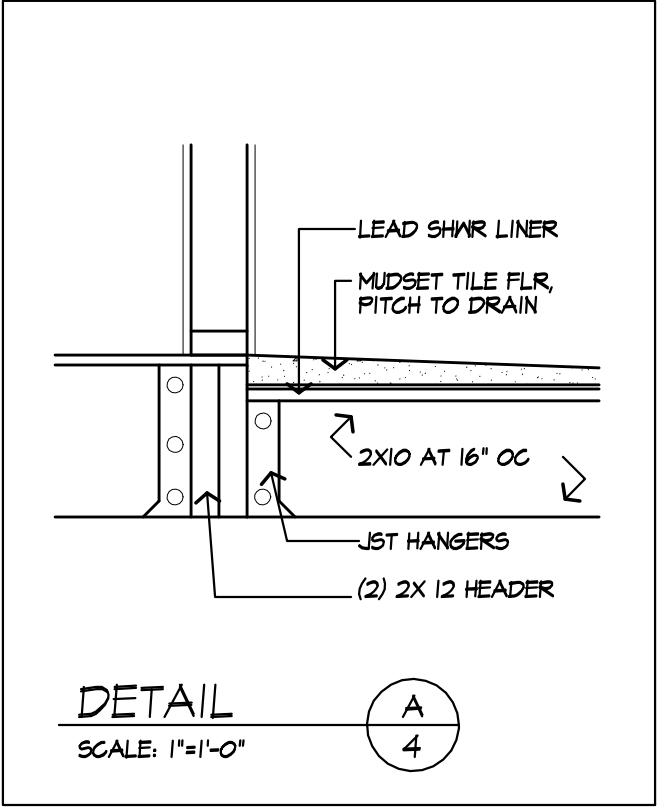
C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 0.75 INCHES.

D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.

E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

NOTES :

- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.  
SIZES: 8" BLK - 16" WIDE X 8" THK.  
2" BLK - 20" WIDE X 8" THK.  
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
- MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:  
FOOTINGS: 2500 P.S.I.  
FLOOR SLABS: 2500 P.S.I.  
PORCH: 3500 P.S.I.  
GARAGE: 3500 P.S.I.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
- PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
- ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
- REINFORCE BLOCK WALL PER SECTION R404 NYS RC 2020



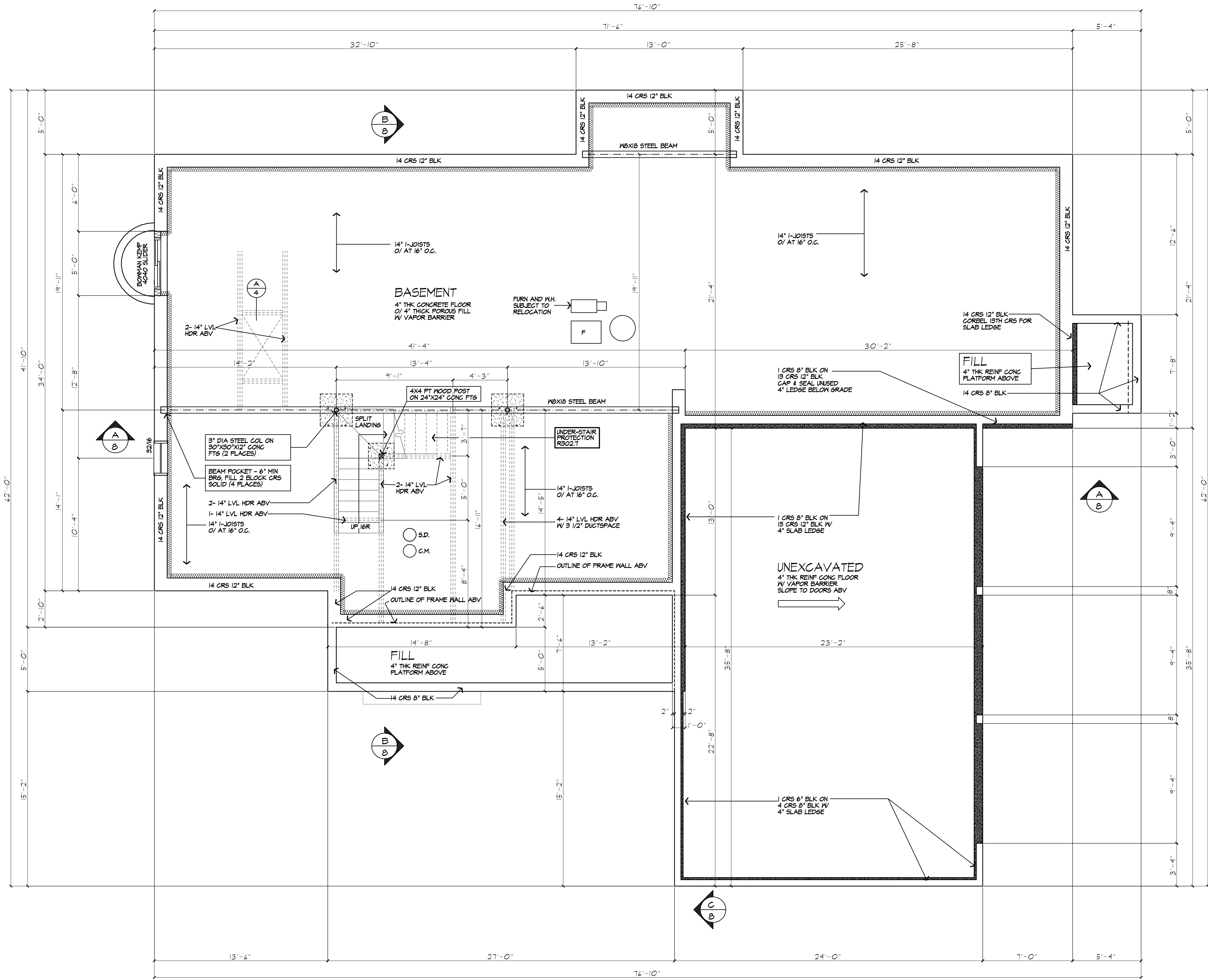
STEPPED FOOTING NOTE:

R403.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE).

FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

- EXCEPTIONS:
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P3104, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
  - FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A GRAMM SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
  - PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
    - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER STORY.
    - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.1.1 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
  - WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.



BASEMENT & FOUNDATION PLAN

14 CRS 12" BLOCK

\* FLR 1ST SERIES & LAYOUT TO BE PROVIDED BY MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION



**MORABITO ARCHITECTS**

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JULY 21, 2021

PROJECT:  
STEINART - BISCHOF RESIDENCE  
LOT 2111 EYESHAM PLACE  
TOWN OF PITTSFORD NY

CLIENT:  
KETHMAR DEVELOPMENT CORP

DRAWING:  
BASEMENT / FOUNDATION PLAN

DRAWN:  
FJMAIA/MGM

CHECKED:  
PJM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

4

OF 9 SHEETS





**EXHAUST DUCTS AND EXHAUST OPENINGS**

M 1504.2 DUCT LENGTH  
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1504.2  
 EXCEPTION: DUCT LENGTHS SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT												
	FAN AIRFLOW RATING CFM @ 0.25 INCH WG		30		40		50		60		70		80		90		100		120		150		200
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
5	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
6	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
7	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
8 AND ABOVE	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL

FOR SL. 1 FOOT = 3/4" MIN  
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/INFA 20-100-01-01  
 B. FOR VENTILATING DUCTS, CALCULATE THE NUMBER OF FEET FOR THE CROSS SECTIONAL AREA DIVIDED BY THE FLOW RATE  
 C. THE TABLE ASSUMES THAT EXHAUSTS ARE NOT USED. FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH ELBOW INSTALLED IN THE DUCT  
 D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE  
 E. X = NOT ALLOWED, ANY LENGTH OF THIS SIZE WITH ASSUMED TERMS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

**WINDOW FALL PROTECTION**  
 R312.2  
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS  
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES, WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE WINDOW, SHALL ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

**WINDOW GLAZING**  
 R308  
 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS  
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION  
 EXCEPTIONS:  
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS  
 2. DECATIVATIVE GLAZING

R308.4.2 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING  
 GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL AREA LESS THAN 180" DEGREES FROM THE BOTTOM TREAD NOZING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION  
 EXCEPTIONS:  
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE  
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**  
 R314/R315

R314.3 LOCATION, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**HEADER SCHEDULE**  
 UNLESS OTHERWISE NOTED

OPENINGS	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 MALL  
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 MALL  
 6LUE AND NAIL ALL HEADERS

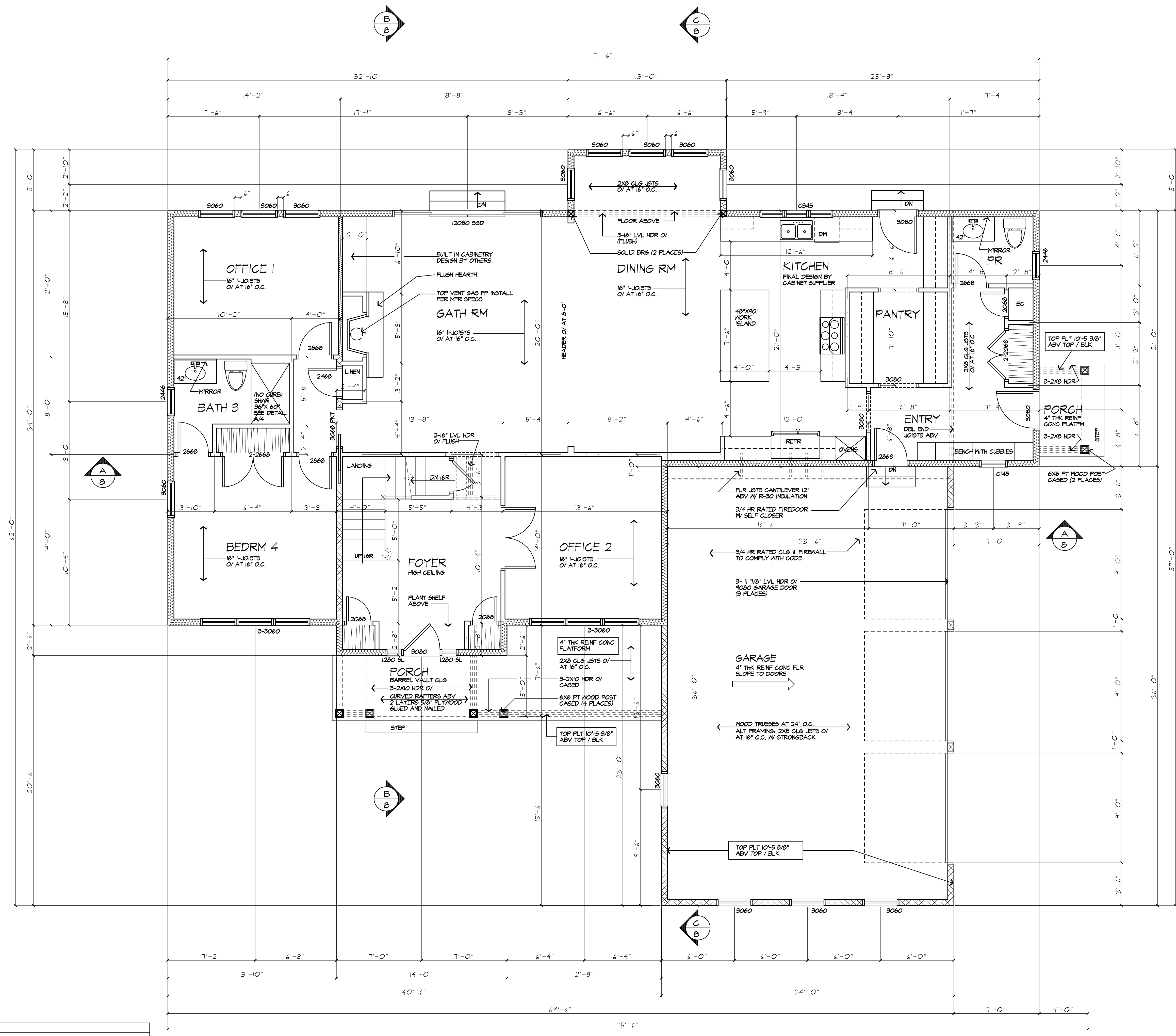
**WALL LEGEND**

	2X6 STUDS AT 16' O.C. W/ INSULATION		(3) STUDS BLUE AND NAIL BELOW
	2X6 STUDS AT 16' O.C. (INTERIOR WALL)		2X4 STUDS @ 16' O.C.

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

**GAS F.P. NOTE:**  
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK

**PLUMBING NOTE:**  
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



**FIRST FLOOR PLAN**  
 AREA: 2134 S.F.  
 \* FLR JST SERIES & LAYOUT TO BE PROVIDED BY MANUFACTURER, SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION

**MORABITO ARCHITECTS**  
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JULY 21, 2021

**PROJECT:**  
 STEWART - BISCHOF RESIDENCE  
 LOT 211 EVESHAM PLACE  
 TOWN OF PITTSFORD NY

**CLIENT:**  
 KETHMAR DEVELOPMENT CORP

**DRAWING:**  
 FIRST FLOOR PLAN

**DRAWN:** P.J.M/A/MGM  
**CHECKED:** P.J.M

**DATE:** JULY 2021  
**SCALE:** 1/4"=1'-0"  
**JOB NO.:** 21M4050  
**SHEET:** 5 OF 9 SHEETS

**EXHAUST DUCTS AND EXHAUST OPENINGS**

M 1506.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M 1506.2

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1506.2 - DUCT LENGTH		FLEX DUCT		SMOOTH WALL DUCT										
FAN AIRFLOW RATING CFM @ 0.25 INCH WG <sup>A</sup>	50	80	100	125	150	200	250	300	300	300	300	300	300	300
DIA. (INCHES)	MAXIMUM LENGTH (FEET)													
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	56	4	X	X	X	X	X	X	X	14	31	10	X	X
5	NL	81	42	16	2	X	X	X	NL	152	61	31	20	4
6	NL	NL	139	61	18	11	X	NL	NL	168	133	51	25	4
7	NL	NL	NL	181	79	40	H	NL	NL	NL	149	59	34	5
8 AND ABOVE	NL	NL	NL	NL	194	111	64	NL	NL	NL	NL	149	59	54

FOR 5/1 FOOT x 3048 MM  
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/ASHRAE 200-2004/2004A  
 B. FOR VERTICAL AIR FLOW, THE NUMBER AND POSITION OF THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER  
 C. THE TABLE ASSUMES THAT EXHAUST ARE NOT USED FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE REDUCED FOR EACH ELBOW INSTALLED IN THE DUCT  
 D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE  
 E. X = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

**WINDOW FALL PROTECTION**  
R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

**R312.2.1 WINDOW SILLS**  
IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

**R312.2.2 WINDOW OPENING CONTROL DEVICES, WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R312.2.1.**

**WINDOW GLAZING**  
R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

**R308.4.1 GLAZING IN DOORS**  
GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
EXCEPTIONS:  
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS  
 2. DECORATIVE GLAZING

**R308.4.2 GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS**  
GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
EXCEPTIONS:  
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE  
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**  
R314/R315

**R314.3 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:**  
 1. IN EACH SLEEPING ROOM  
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, 9' ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS.  
 A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.  
 WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

**R315.3 REQUIRED LOCATIONS, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:**  
 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 15 FEET OF THE SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM.  
 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENING	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

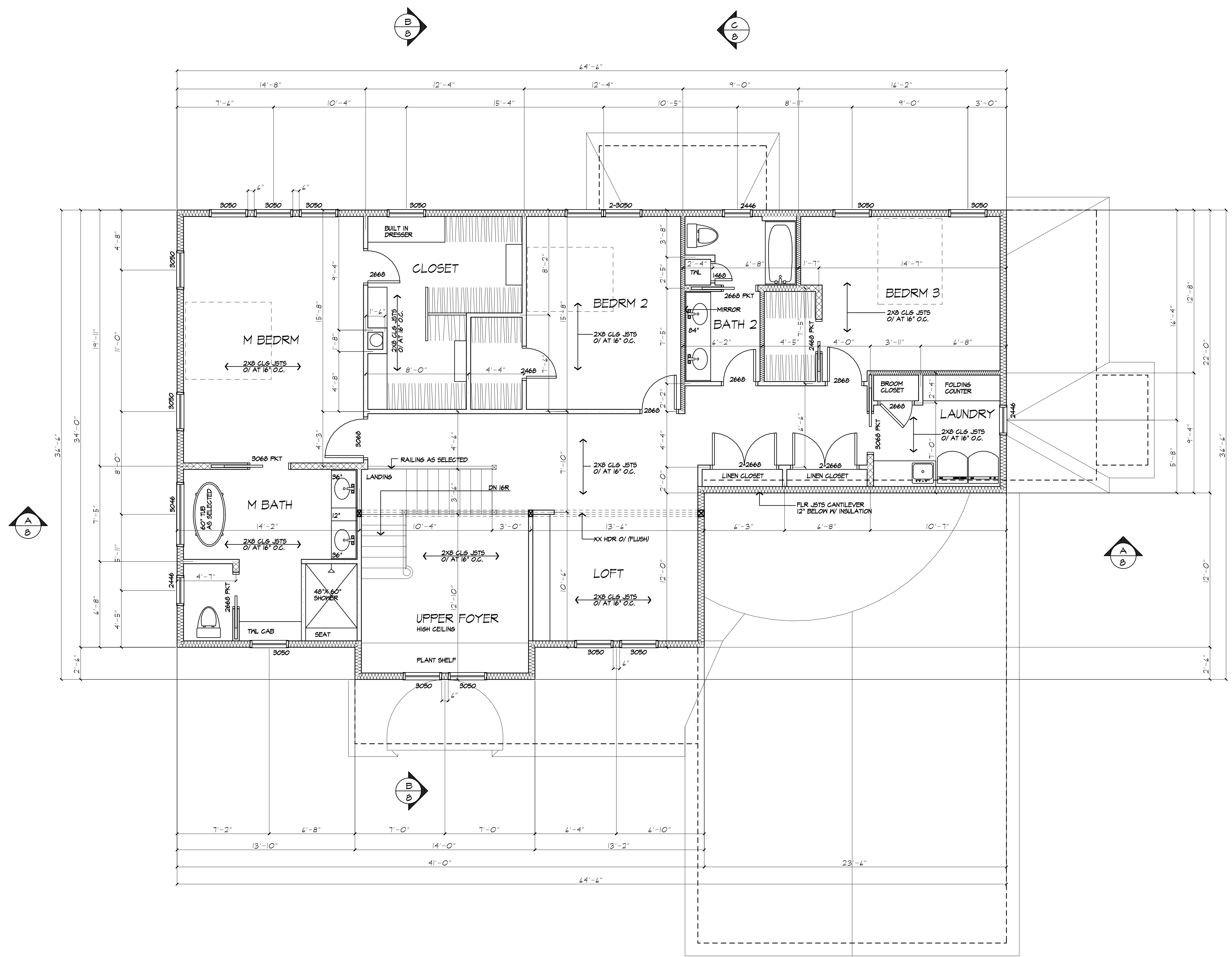
PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 MALL  
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 MALL  
 GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

	2X6 STUDS AT 16' O.C. W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16' O.C. (INTERIOR WALL)		
	2X4 STUDS @ 16' O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

**PLUMBING NOTE:**  
THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



**SECOND FLOOR PLAN**  
AREA: 1741 S.F.

PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R807.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER



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JULY 21, 2021

**PROJECT:**  
STEWART - BISCHOF RESIDENCE  
LOT 211/ Evesham Place  
TOWN OF PITTSFORD NY

**CLIENT:**  
KETHMAR DEVELOPMENT CORP

**DRAWING:**  
2ND FLOOR PLAN

**DRAWN:** FJM/AJM/MGM  
**CHECKED:** FJM

**DATE:** JULY 2021

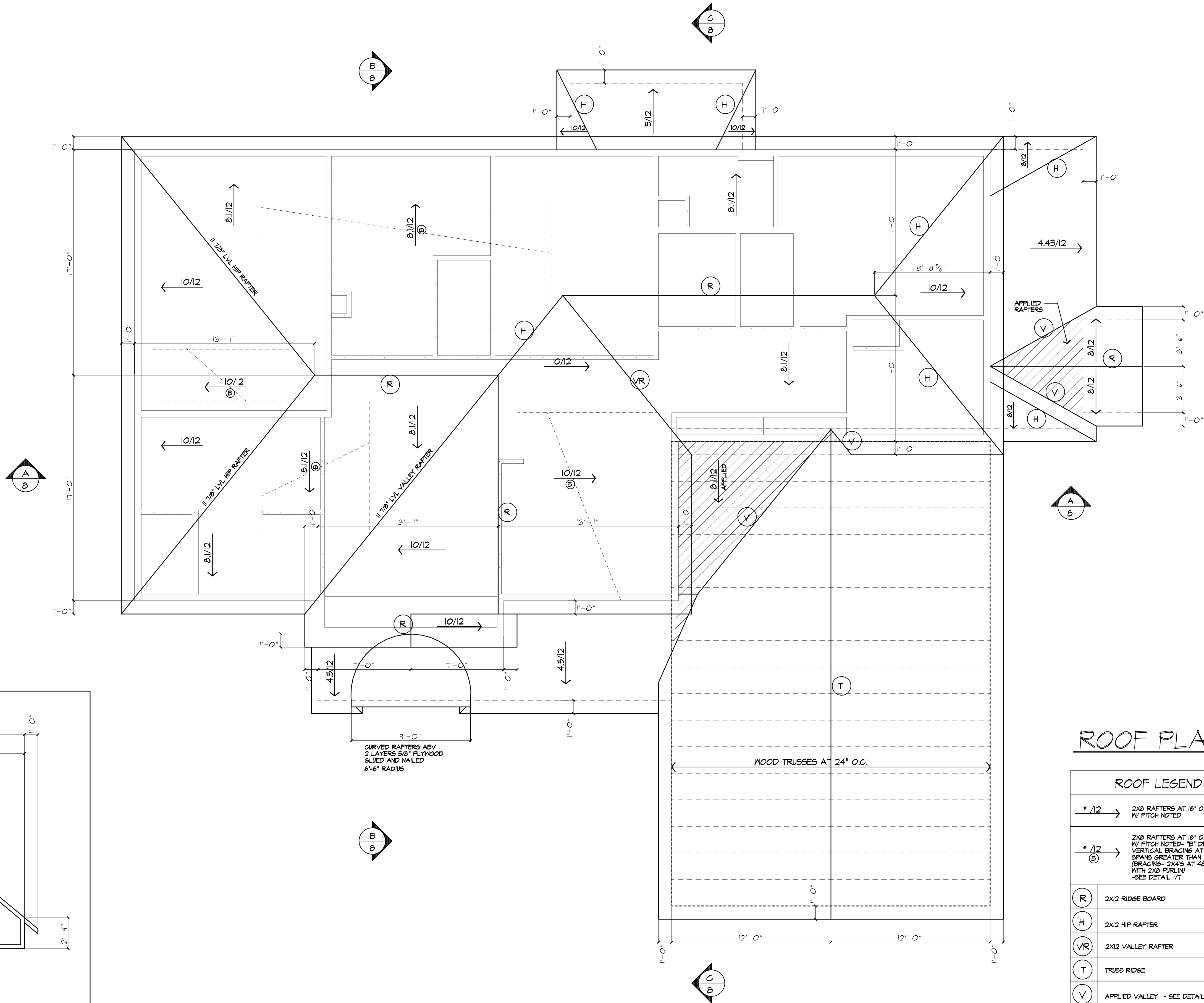
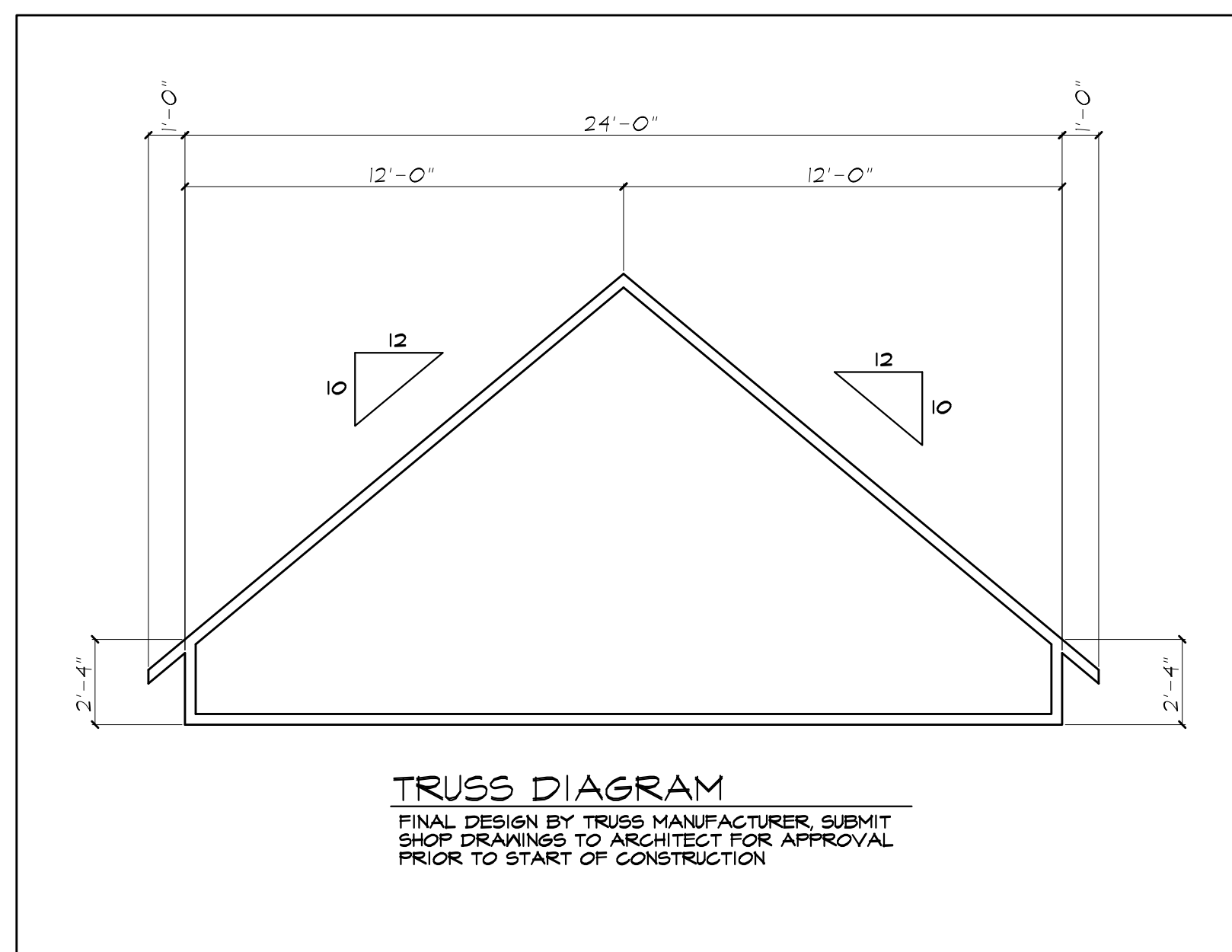
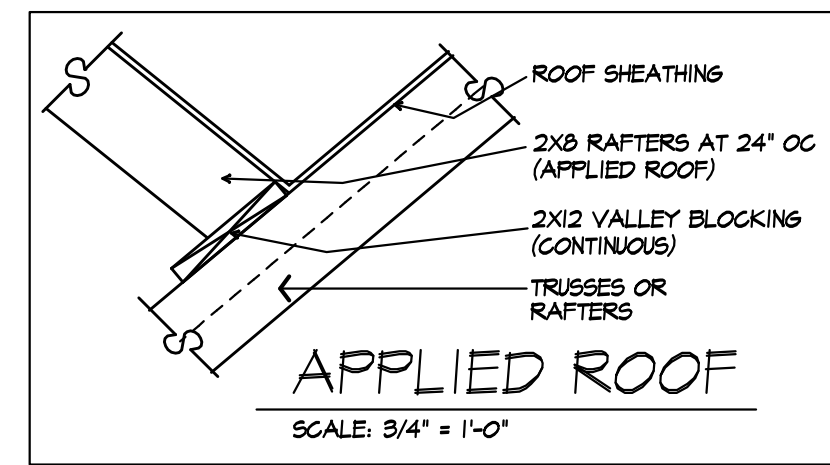
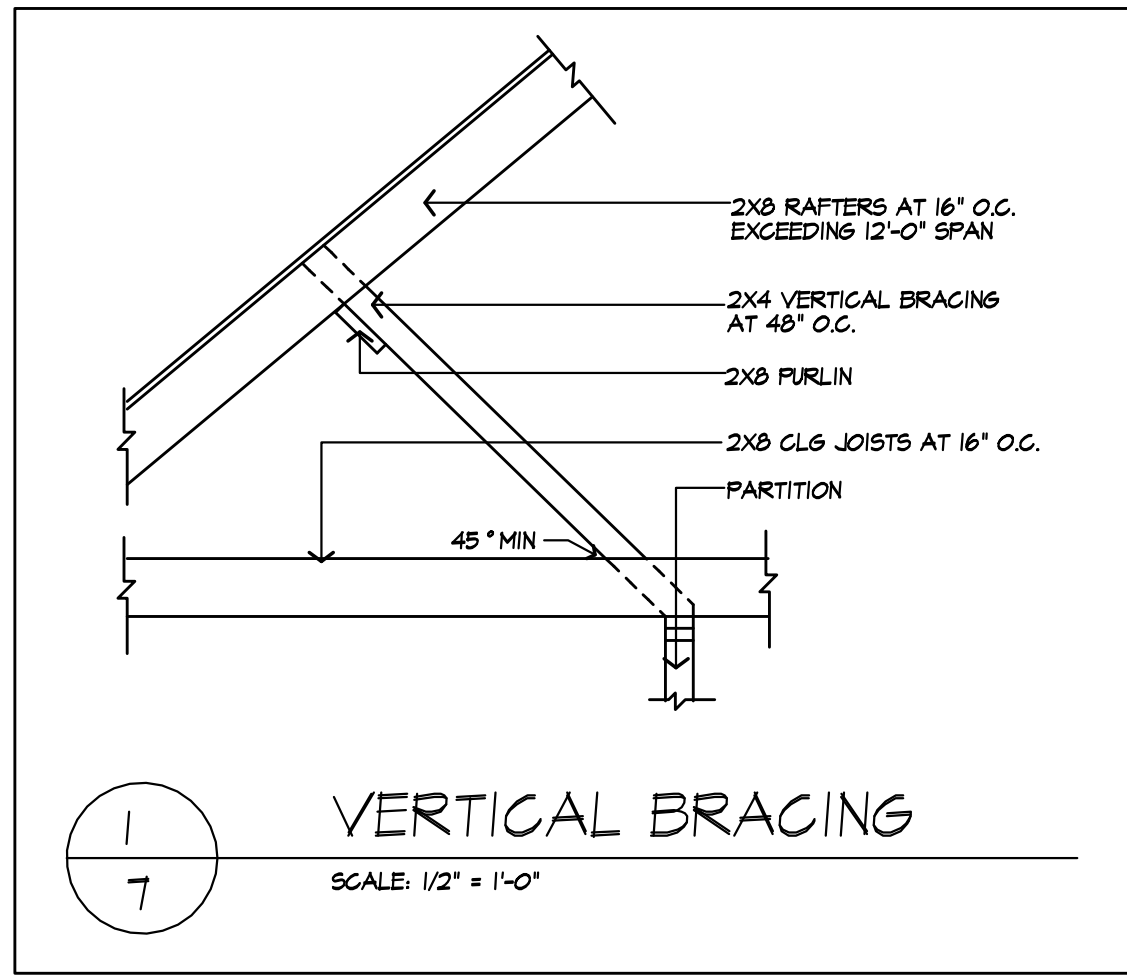
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**JOB NO.:** 21M4050

**SHEET:**

**6**  
OF 9 SHEETS






**ROOF PLAN**

ROOF LEGEND	
* /12	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED
* /12 @	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED. 'B' DENOTES VERTICAL BRACING AT RAFTER SPANS GREATER THAN 12'-0" BRACING: 2x4'S AT 48' O.C. WITH 2x8 PURLIN - SEE DETAIL 1/7
R	2X12 RIDGE BOARD
H	2X12 HIP RAFTER
VR	2X12 VALLEY RAFTER
T	TRUSS RIDGE
V	APPLIED VALLEY - SEE DETAIL THIS SHEET

\*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER RISOT.1.2 2020 RESIDENTIAL CODE OF NEW YORK STATE



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**JULY 21, 2021**

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**PROJECT:**  
STEWART - BISCHOF RESIDENCE  
LOT 211 Evesham Place  
TOWN OF PITTSFORD NY

---

**CLIENT:**  
KETHMAR DEVELOPMENT CORP

---

**DRAWING:**  
ROOF PLAN

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<b>DRAWN:</b> P.J.M/A/MGM	<b>CHECKED:</b> P.J.M
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**DATE:** JULY 2021

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**SCALE:** 1/4"=1'-0"

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**JOB NO.:** 21M4050

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**SHEET:**

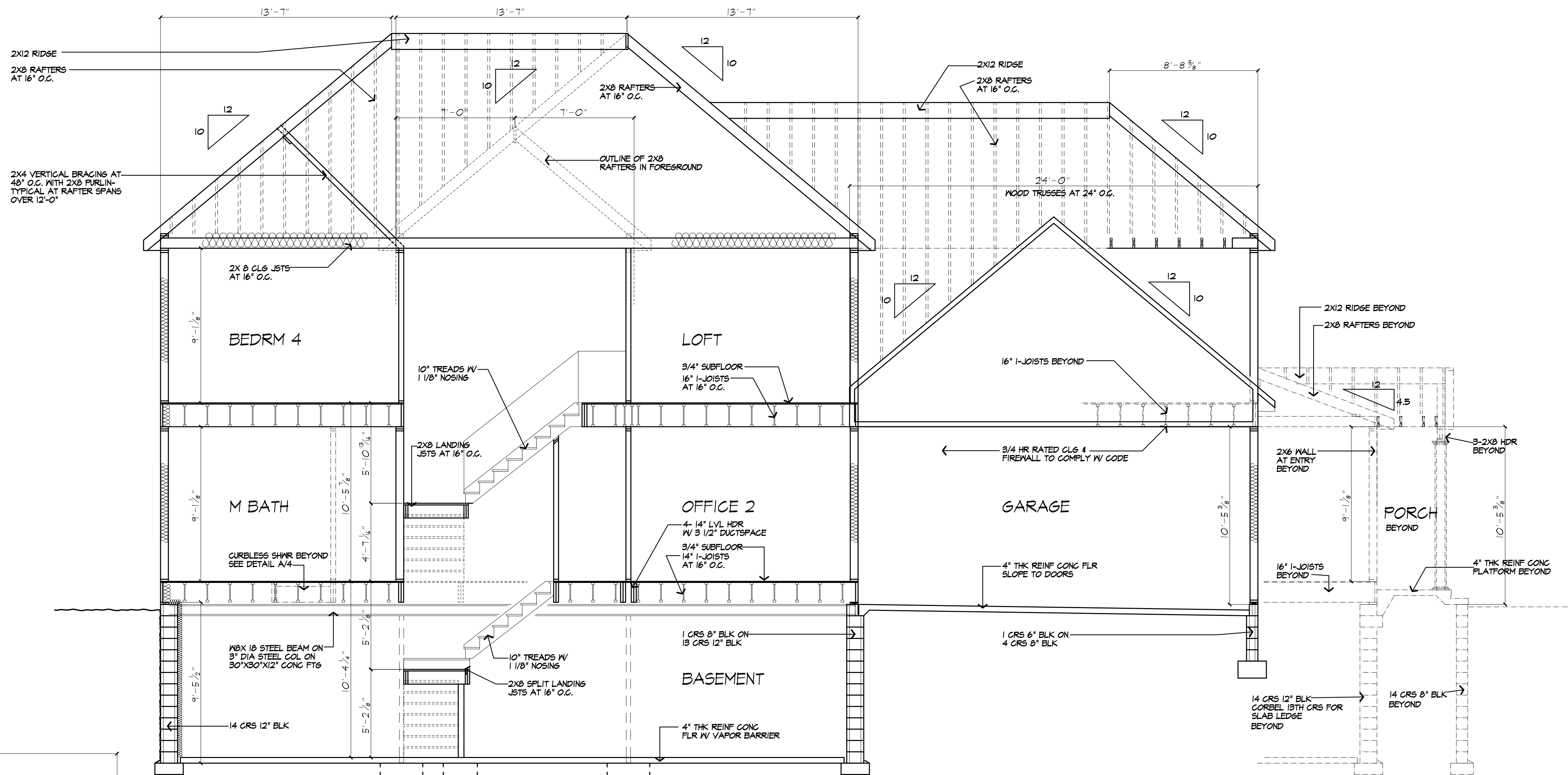
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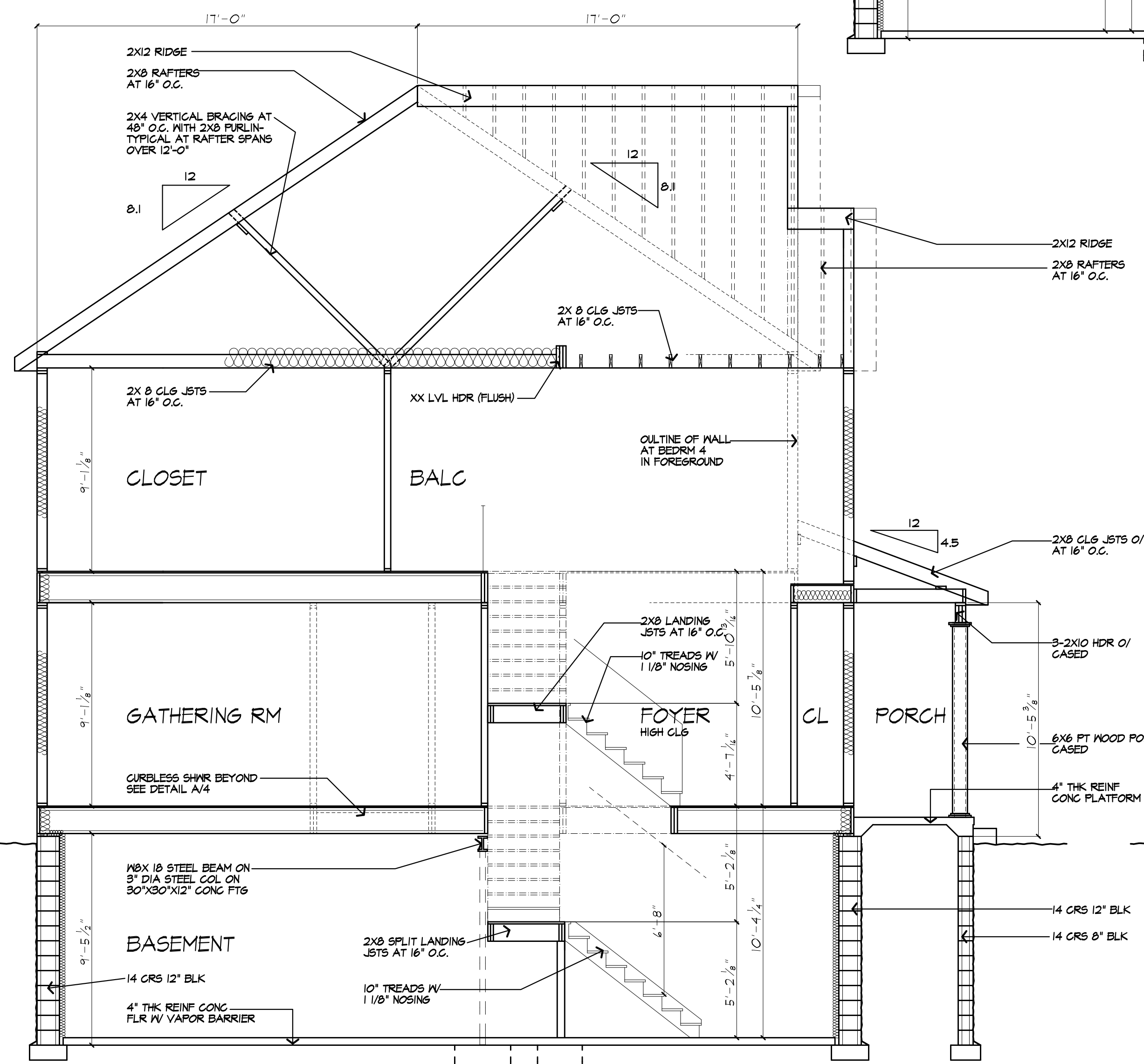


\*NOTE:  
 PROVIDE ICE PROTECTION UNDERLAYMENT  
 ON PERIMETER OF ROOF TO 24" INSIDE  
 INTERIOR WALLS PER R905.2.11  
 (2015 IRC)

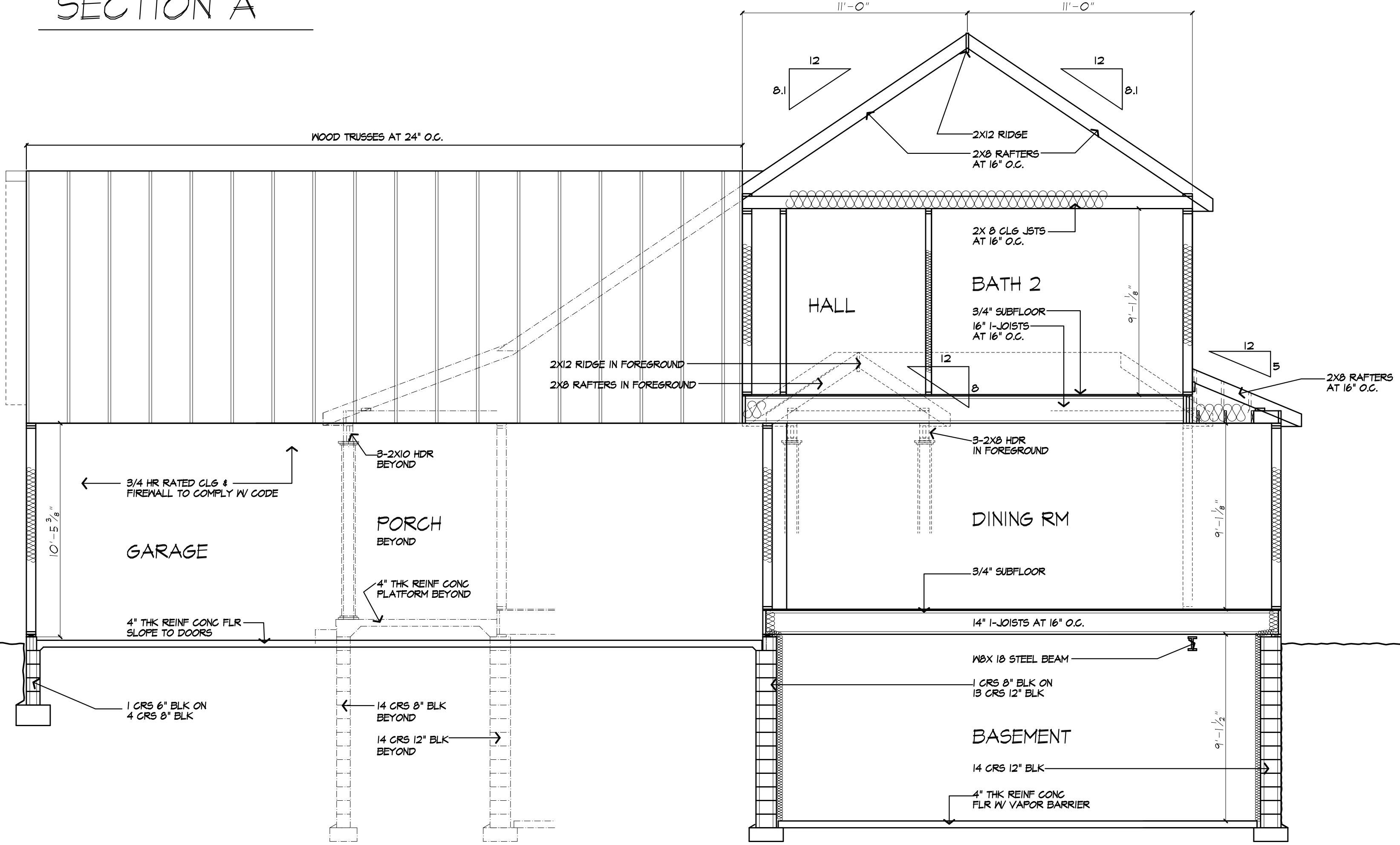
LINE LEGEND	
---	BEYOND
---	IN FOREGROUND




SECTION A



SECTION B



SECTION C



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JULY 21, 2021

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**PROJECT:**  
 STEWART - BISCHOF RESIDENCE  
 LOT 211 Evesham Place  
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**CLIENT:**  
 KETMAR DEVELOPMENT CORP

---

**DRAWING:**  
 BUILDING SECTIONS

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<b>DRAWN:</b> PJM/AMA/MGM	<b>CHECKED:</b> PJM
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**DATE:** JULY 2021

**SCALE:** 1/4"=1'-0"


**JOB NO.:** 21M4050

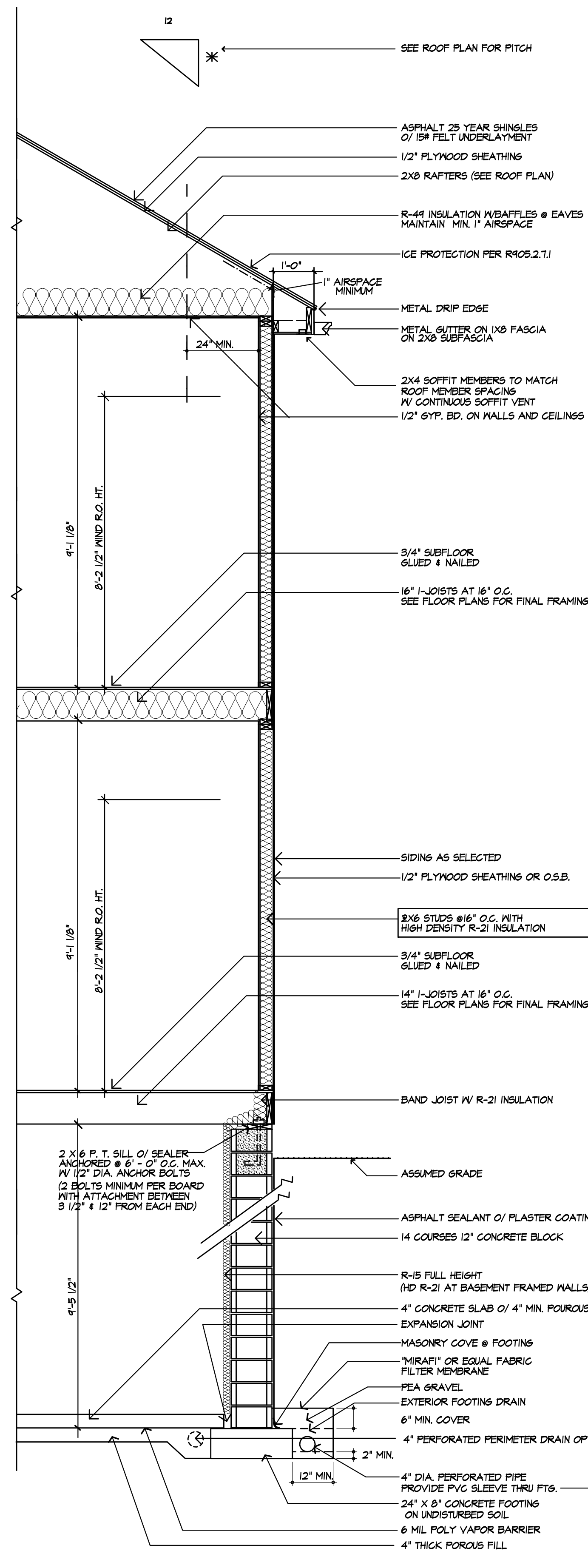
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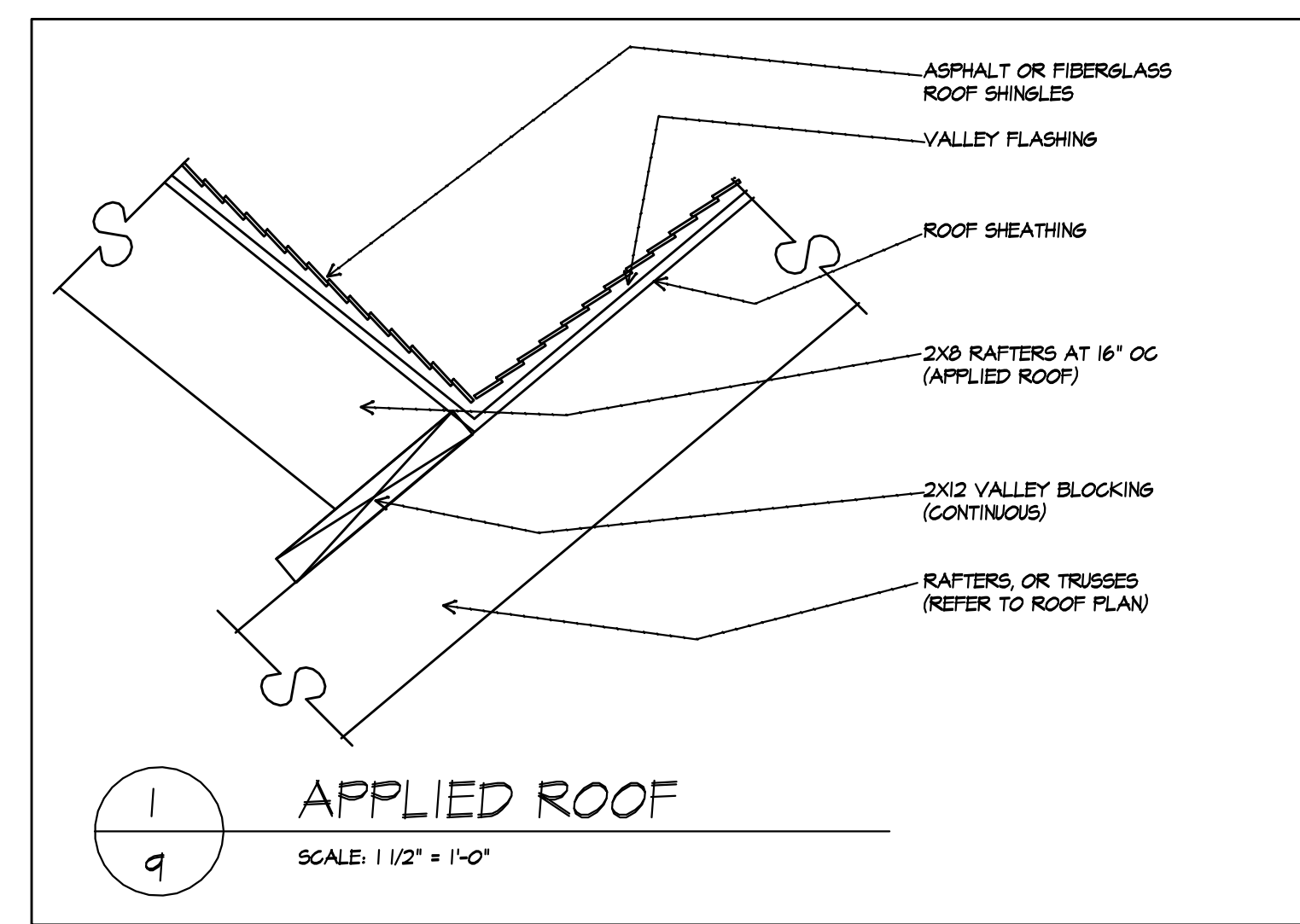
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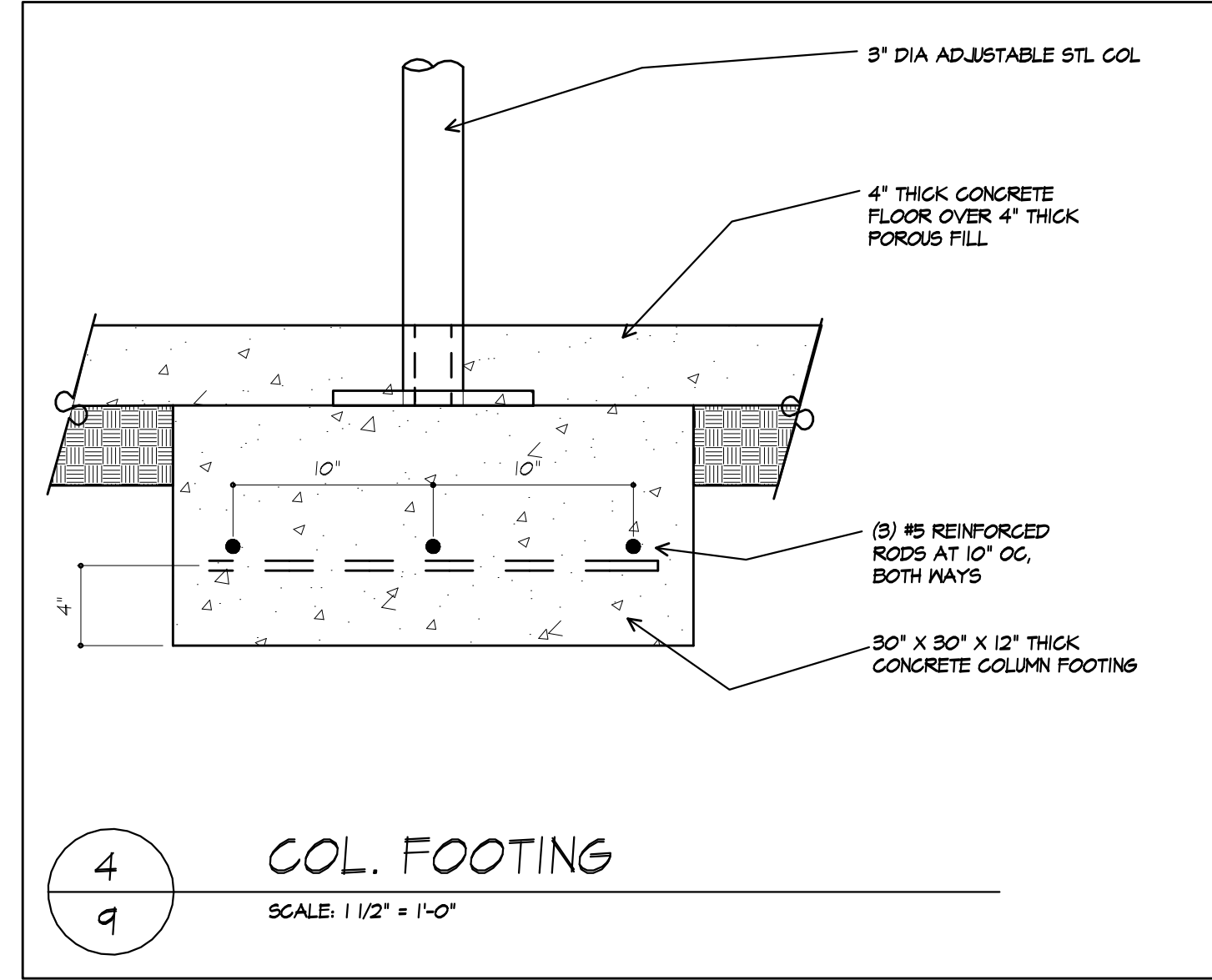




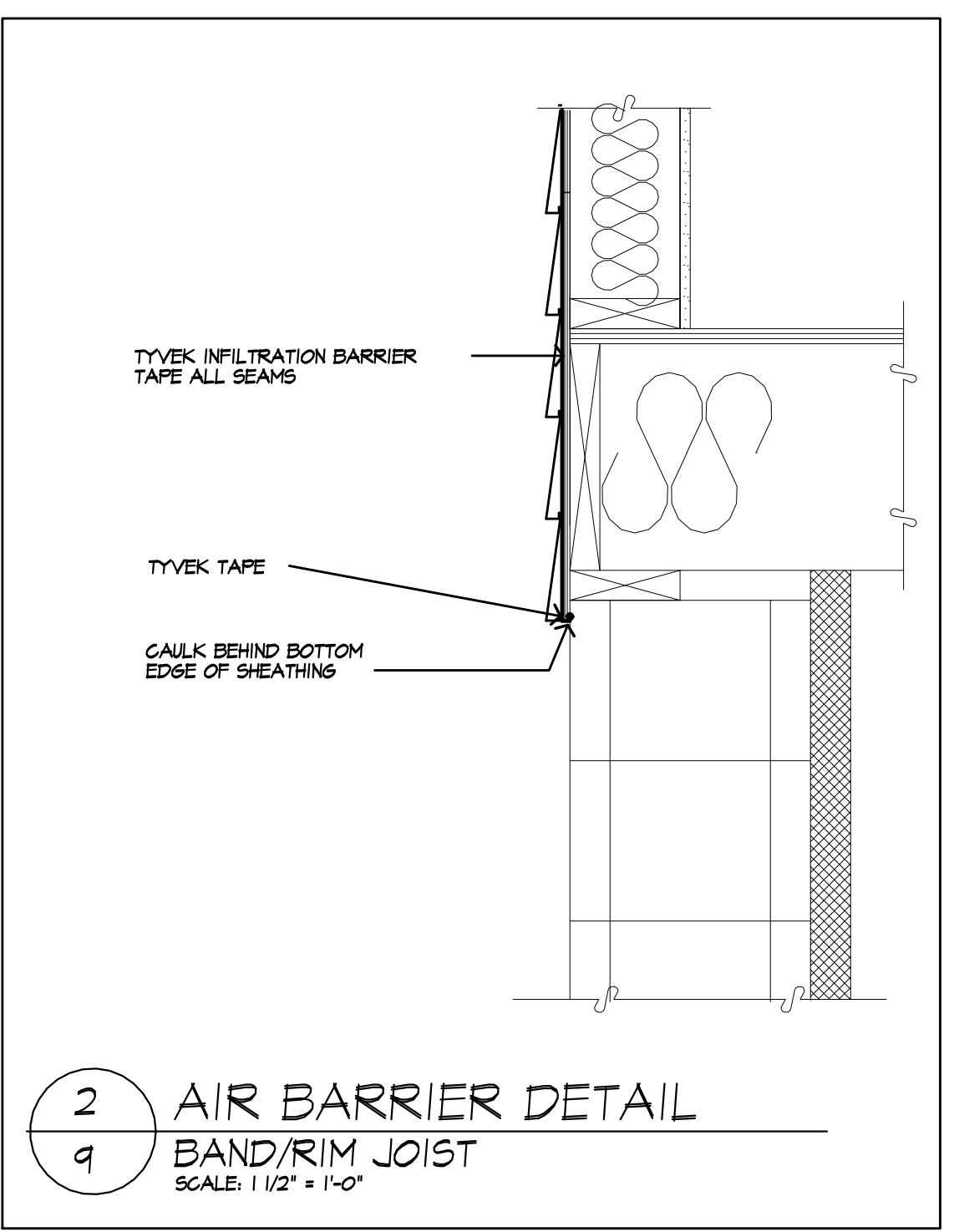
**TYPICAL WALL SECTION**  
SCALE: 1/2"=1'-0"



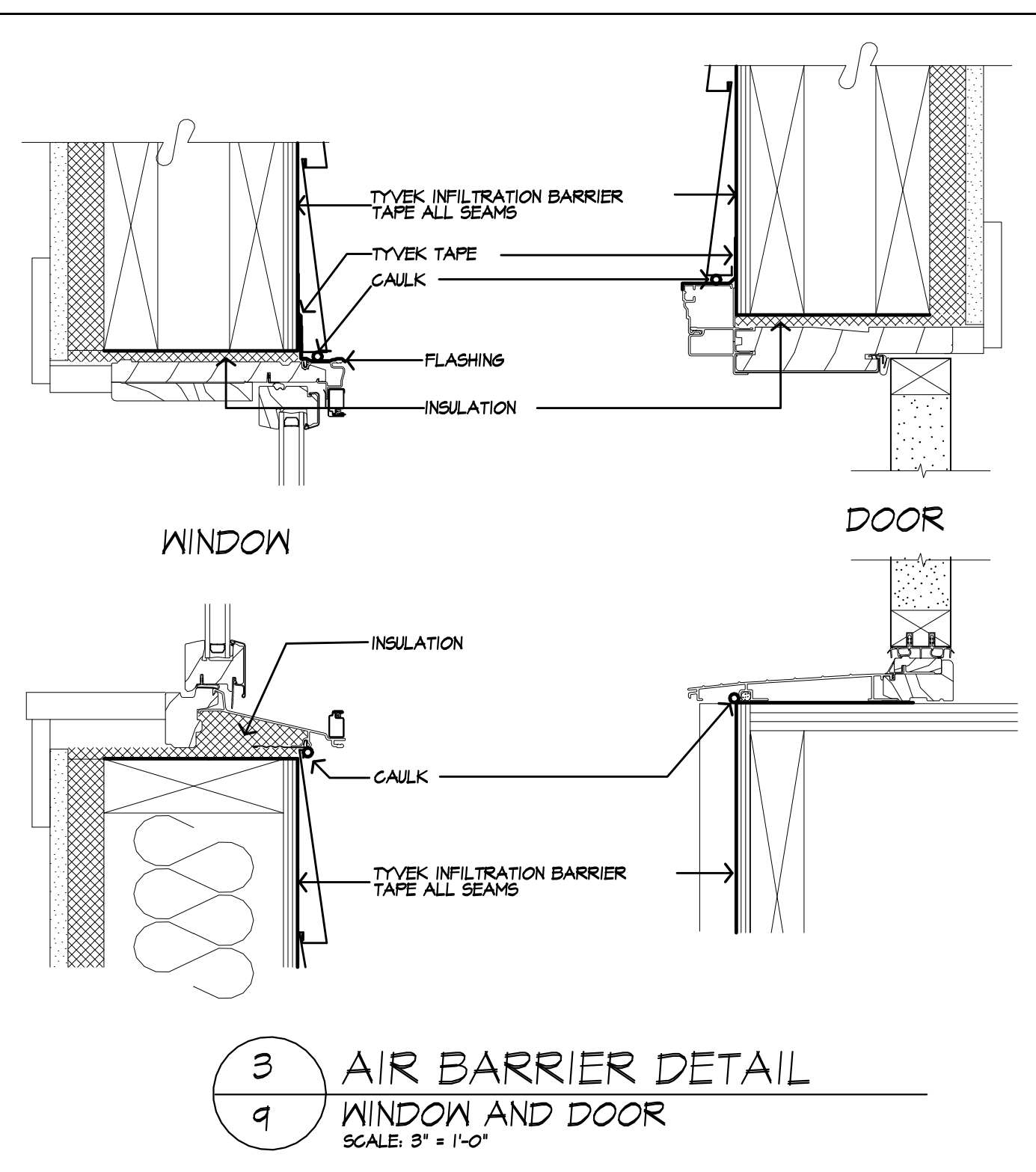
**1 APPLIED ROOF**  
SCALE: 1/2" = 1'-0"



**4 COL. FOOTING**  
SCALE: 1/2" = 1'-0"



**2 AIR BARRIER DETAIL BAND/RIM JOIST**  
SCALE: 1/2" = 1'-0"



**3 AIR BARRIER DETAIL WINDOW AND DOOR**  
SCALE: 3" = 1'-0"

- TYPICAL NOTES**
- DOOR MANUFACTURER: PELLA ENCOMPASS SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM PELLA ENTRY DOORS: 0.30 CFM OR LESS
  - WINDOW AIR INFILTRATION PELLA 250 SERIES PELLA ENCOMPASS DOUBLE HUNG 0.30 CFM CASEMENT, AWNING, FIXED 0.05 CFM
  - GAS FIREPLACES: HEAT-N-SLO SULLINE 750 MS (SL-750TR)
    - TIGHT FITTING NON COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
  - JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
  - CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM-POLE BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILING AND 2X6 FRAMED WALLS: KRAFT BATTS
  - MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
  - BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
  - DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
  - THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 405.2.2 OF THE 2018 ENERGY CONSERVATION CODE.
  - ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-3. ALL OTHER DUCTS COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
  - THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

**EXHAUST DUCTS AND EXHAUST OPENINGS**

M ISO4.2 DUCT LENGTH  
THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE MISO4.2  
EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

**TABLE MISO4.2 - DUCT LENGTH**

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	50	80	100	125	150	200	250	300	350	400	50	80	100	125	150	200	250	300	350	400
FAN AIRFLOW RATINGS CFM @ 0.25 INCH WC <sup>A</sup>																				
DIAMETER <sup>B</sup> (INCHES)	MAXIMUM LENGTH OF PIPE (FEET)																			
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	56	4	X	X	X	X	X	X	14	8	10	X	X	X	X	X	X	X	X	X
5	NL	8	42	16	2	X	X	X	NL	82	4	5	20	4	X	X	X	X	X	X
6	NL	NL	50	4	55	18	1	X	NL	NL	NL	160	12	55	25	4				
7	NL	NL	NL	NL	161	15	40		NL	NL	NL	NL	145	60	54					
8 AND ABOVE	NL	NL	NL	NL	NL	159	11	61	NL	NL	NL	NL	NL	NL	190	100				

FOR 3" 1 FOOT x 3048 MM  
A. FOR AIRFLOW SHALL BE IN ACCORDANCE WITH AMUNEA 20-ANSI/ASHRAE 55  
B. FOR NON-CIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE GROSS SECTIONAL AREA DIVIDED BY THE PERIMETER  
C. THE TABLE ASSUMES THAT EXHAUST ARE NOT SEED, FIFTEEN FEET MAXIMUM DUCT LENGTH SHALL BE DEDUCTED FOR EACH ELBOW INSTALLED IN THE DUCT RUN  
D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE  
E. X = NOT ALLOWED, ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

**LIGHTING FIXTURE SCHEDULE**

OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE  
BASEMENT MINIMUM (3) 60 WATT FIXTURES  
STAIRWAYS MINIMUM (1) 60 WATT FIXTURE  
HALLWAYS MINIMUM (1) 120 WATT FIXTURE  
GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE  
LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE  
WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE  
POWDER ROOM MINIMUM (1) 120 WATT FIXTURE  
BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE  
DINETTE MINIMUM (1) 120 WATT FIXTURE  
KITCHEN MINIMUM (1) 120 WATT FIXTURE  
DINING ROOM MINIMUM (1) 120 WATT FIXTURE  
ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE  
GARAGE MINIMUM (2) 60 WATT FIXTURES

**LIGHTING FIXTURE CONTROL NARRATIVE**

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INVOLVES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

**TABLE NIO2.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA**

COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FROSTED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS WITH BUILDING ENVELOPE AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL AIR PERMEABLE INSULATION IS INSIDE OF AIR BARRIER
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMS AND FRAMING IS SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION
CRAWL-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLEE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, G RATED, AND SEALED TO DRYWALL EXCEPT FIXTURES IN CONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING, OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER WHERE ONE OR MORE DETACHED GARAGES WITH ELECTRICAL POWER ARE INSTALLED
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER

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DATE: JULY 2021

PROJECT: STEWART - BISCHOF RESIDENCE LOT 211 EVESHAM PLACE TOWN OF PITTSFORD NY

CLIENT: KETMAR DEVELOPMENT CORP

DRAWING: WALL SECTIONS

DRAWN: F.J.M/A/MGM  
CHECKED: F.J.M

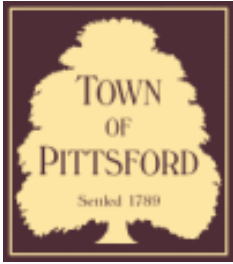
DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET: 9 OF 9 SHEETS





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B21-000192**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 40 Nature View PITTSFORD, NY 14534

**Tax ID Number:** 192.01-3-33

**Zoning District:** RN Residential Neighborhood

**Owner:** Masi Enterprises Inc.

**Applicant:** Masi Enterprises Inc.

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

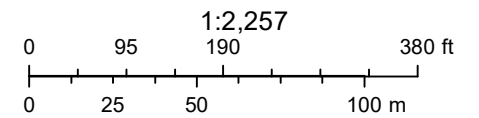
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 2940 square feet of livable area and is located in the Country Pointe Subdivision.

**Meeting Date:** September 23, 2021

# RN Residential Neighborhood Zoning



Printed September 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Pine Wis

Nature Vw





# THE GORHAM

## LOT 33 COUNTRY POINTE PITTSFORD, NY MASCOT, INC.

### PLAN 2939 / PROJECT 5963 G

#### SHEET INDEX

- C-1 COVER SHEET
- 1/5 ELEVATIONS
- 2/5 FOUNDATION PLAN
- 3/5 FIRST FLOOR PLAN
- 4/5 SECOND FLOOR & ROOF PLAN
- 5/5 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

#### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CONSERVATION CODES - STATE AND/OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/60 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

#### ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY). A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 cfm (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING WALL OR CEILING COVERING.

R402.5 MAXIMUM PENETRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM PENETRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL PENETRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM PENETRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE, IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

#### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC. REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

#### FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.

CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL. CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

#### FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

#### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X6 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENERS, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN CUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIA. STANDARD PIPE OR APPROVED EQUIVALENT.

#### STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

#### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

#### STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>-9</sup> = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

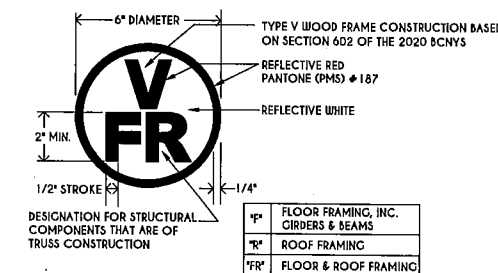
#### DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

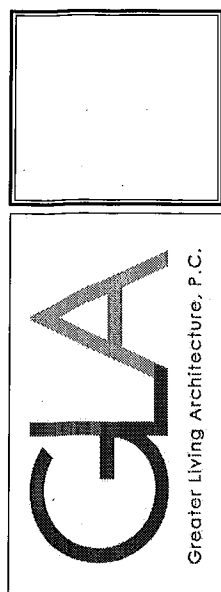
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

#### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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LOT 33 COUNTRY POINTE  
PITTSFORD, NY

**BUILDER:**  
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COVER PAGE	
GLA PLAN 2939	
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TABLE M1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7 > 7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	105
3,001-4,500	60	75	90	120
4,501-6,000	75	90	105	135
6,001-7,500	90	105	120	150
> 7,500	105	120	135	165

FOR SL: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/min

TABLE M1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

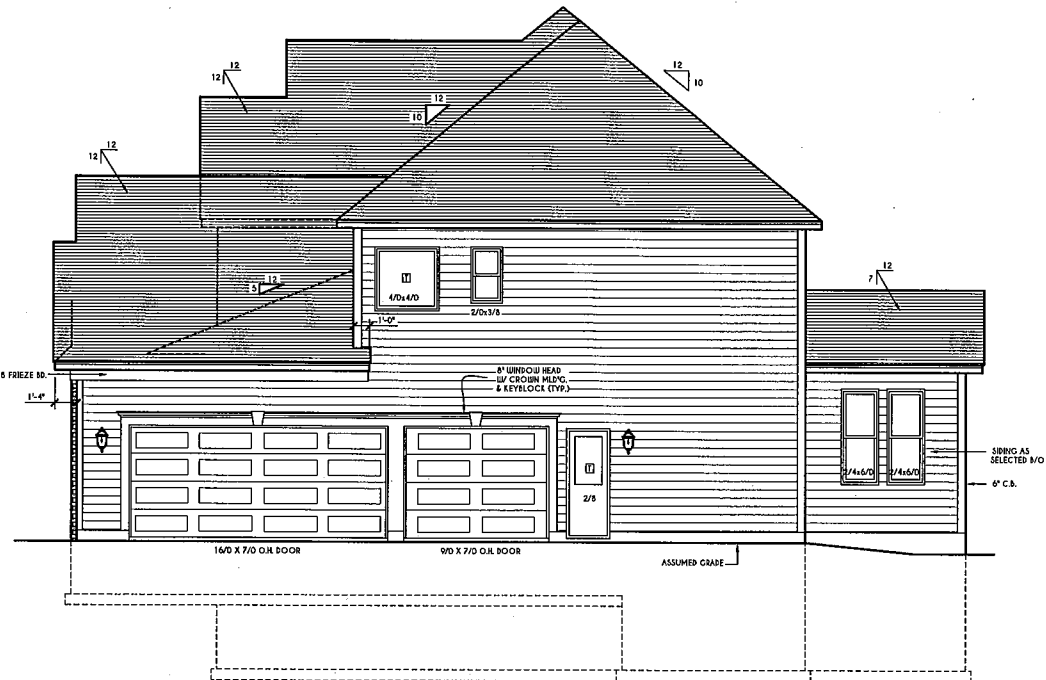
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

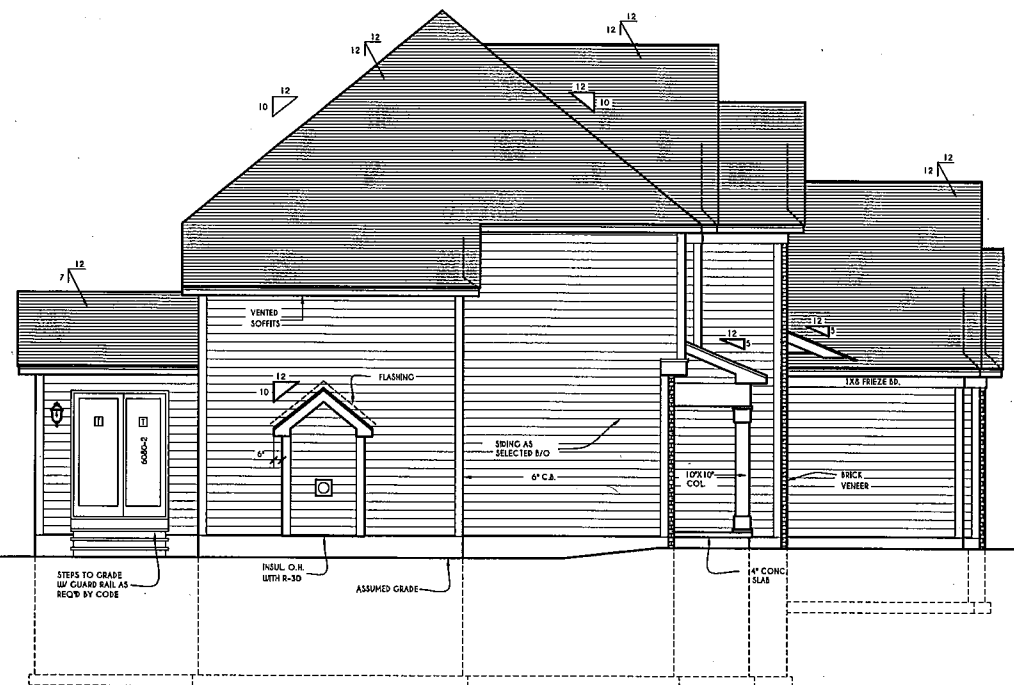
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SL: 1 CUMIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/min



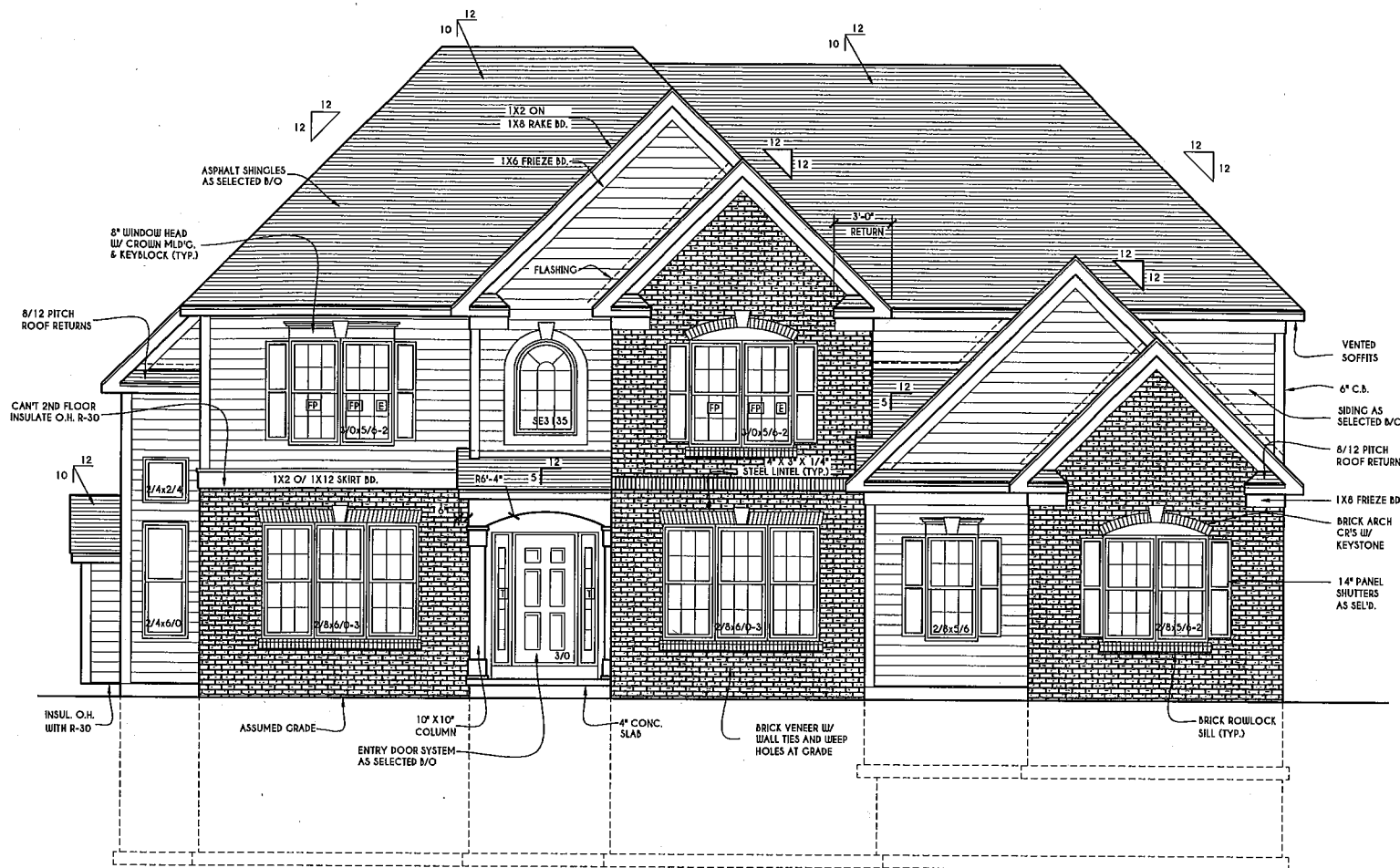
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

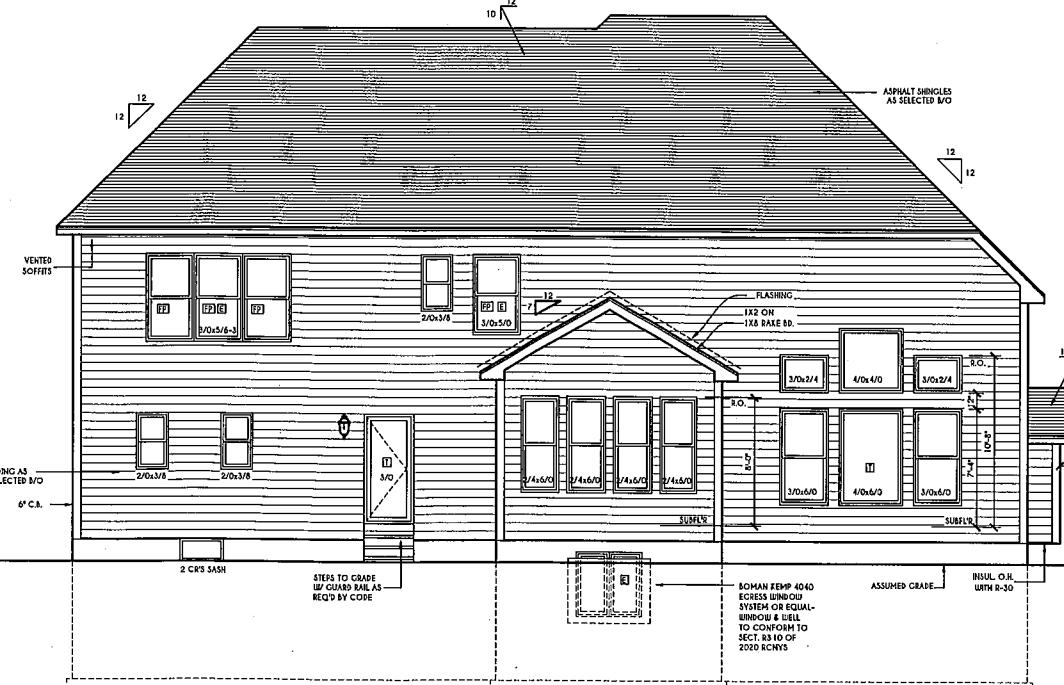
SCALE: 3/16" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1540 SQ.FT.  
SECOND FLOOR LIVING AREA = 1399 SQ.FT.  
TOTAL LIVING AREA = 2939 SQ.FT.  
TOTAL CONDITIONED VOLUME = 42,888 CU.FT.



REAR ELEVATION

SCALE: 3/16" = 1'-0"

WINDOWS: SILVERLINE 3000 SERIES  
U-FACTOR ..... 0.29  
SHGC ..... 0.26

DOORS: SELECTION BY OWNER  
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SLIDING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCCNY

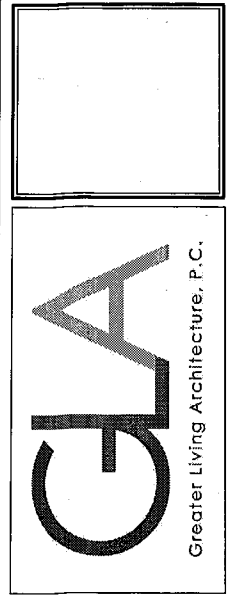
- WINDOW / DOOR LEGEND:
- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
  - [F] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
  - [G] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:  
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:  
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF 0MIN 75 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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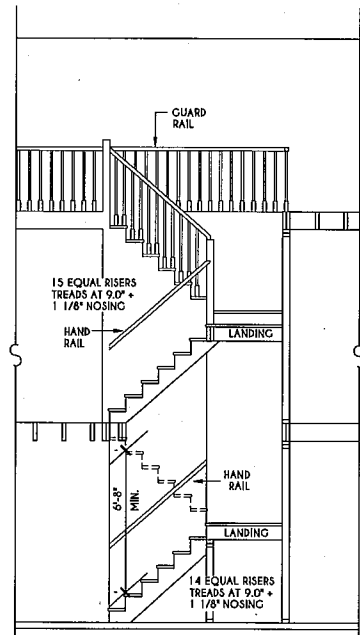
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BUILDER:  
MASCOT INC.

ELEVATIONS  
GLA PLAN 2939

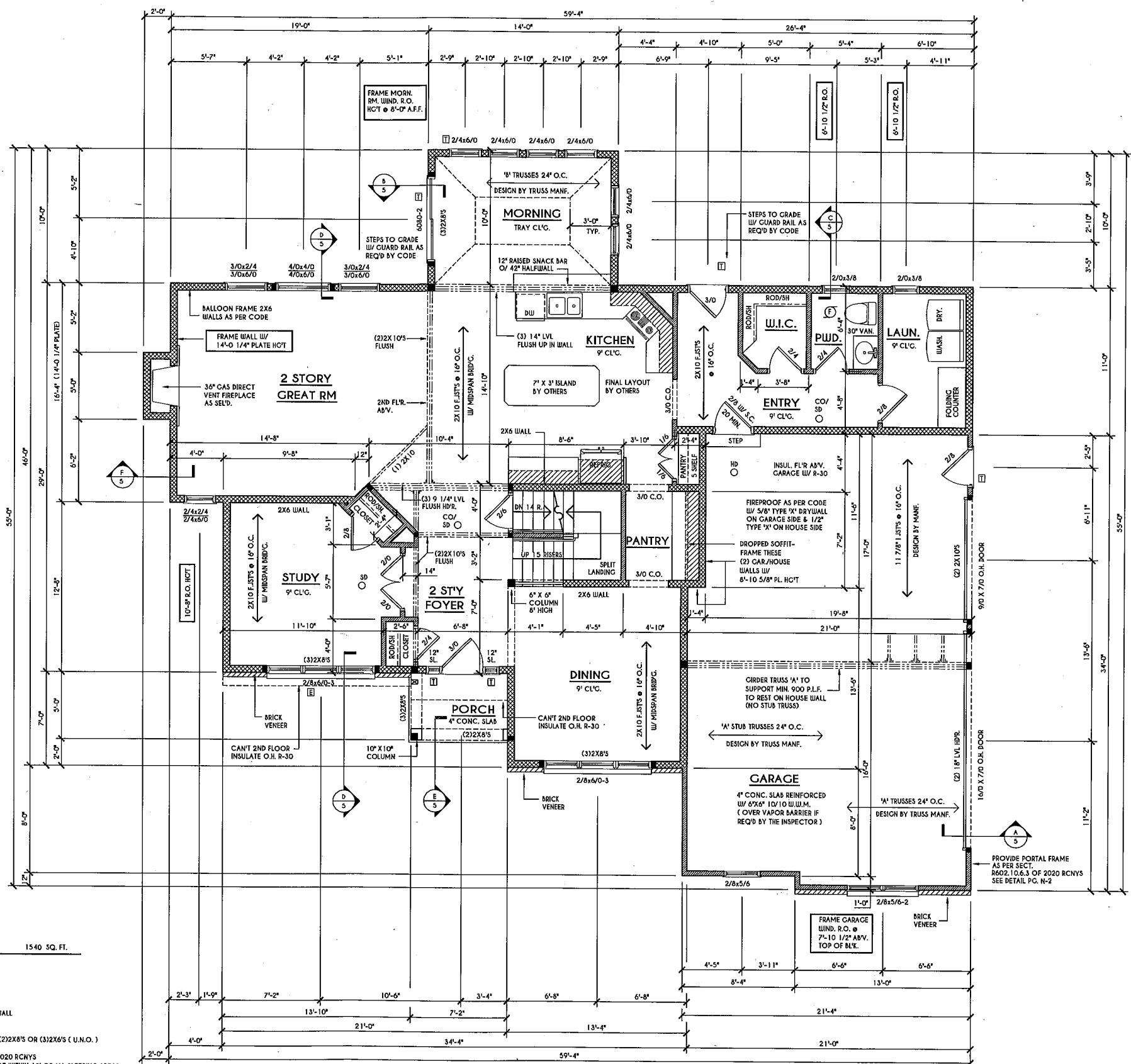
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scale: AS NOTED	date: 8 / 21
PROJECT: 5963G RIGHT	sheet: 1 / 5





**STAIR SECTION**

SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1540 SQ. FT.

**GENERAL FIRST FLOOR PLAN NOTES:**

FIRST FLOOR PLATE HOT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HCTS TO BE 7'-4" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

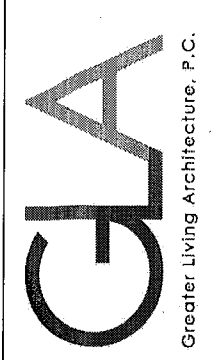
**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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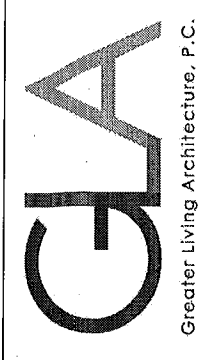
**CLIENT/LOCATION:**  
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**BUILDER:**  
 MASCOT INC.

**FIRST FLOOR PLAN**  
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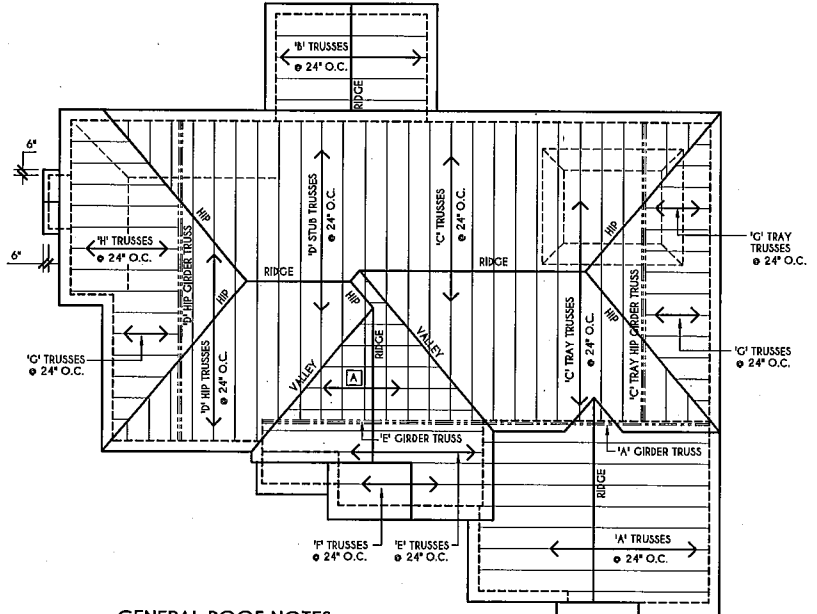
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**SECOND FLOOR PLAN**

GLA PLAN 2939

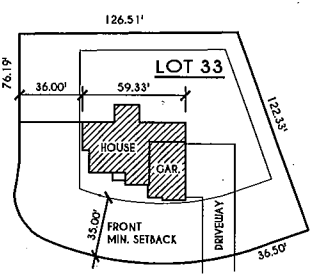
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PROJECT: 5963G RIGHT	sheet: 4 / 5



**GENERAL ROOF NOTES:**  
 ALL DAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

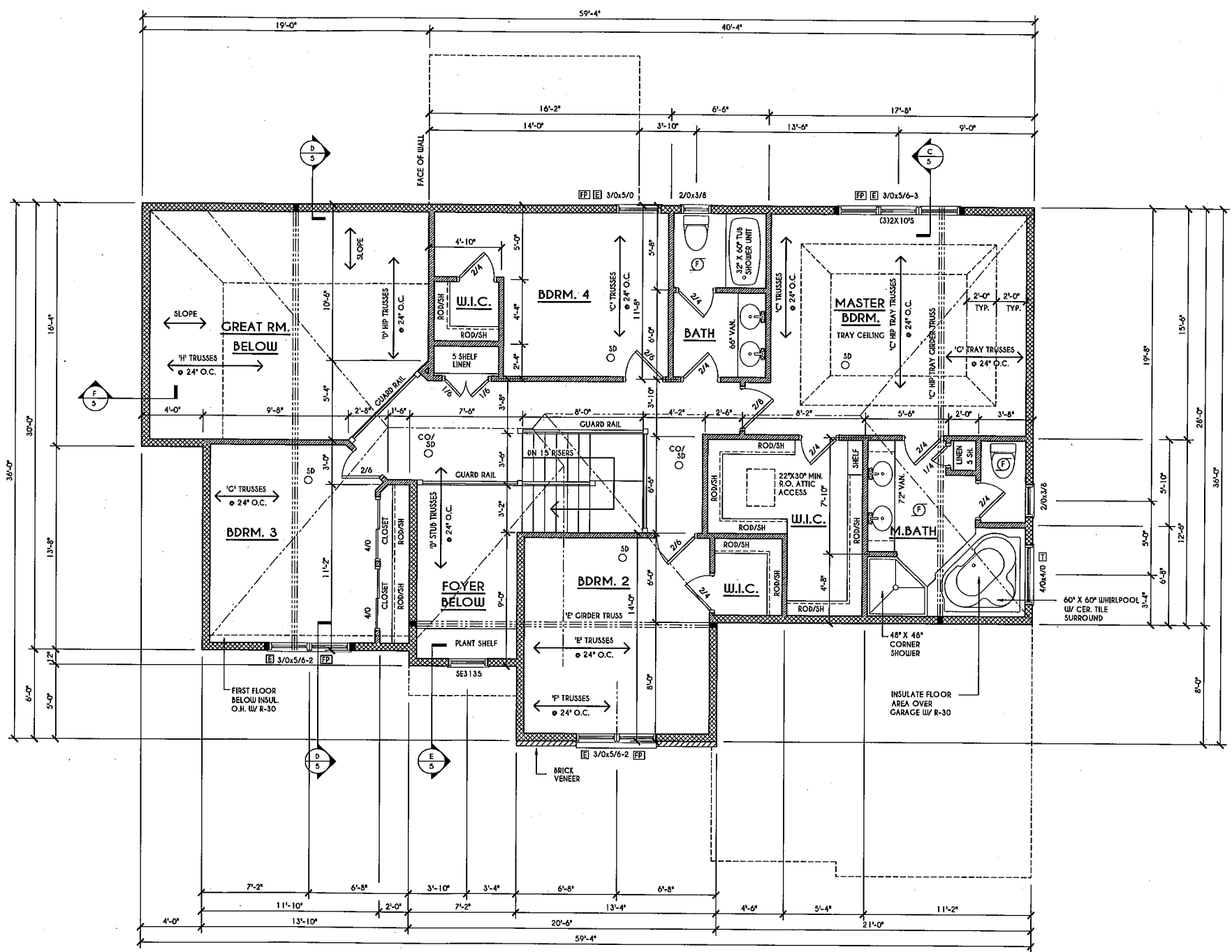
**ROOF PLAN**

SCALE: 1/8" = 1'-0"  
 [A] - 2X6 LAYOVER RAFTERS 24" O.C.



**PLOT PLAN**

SCALE: 1" = 50'  
 LOT 33 COUNTRY POINTE



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" 1399 SQ.FT.

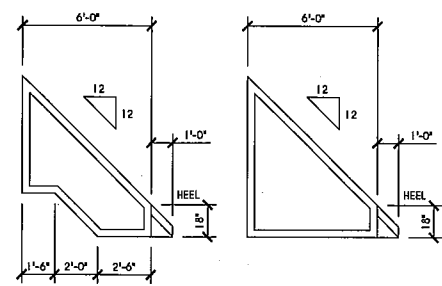
**FRAMING LEGEND:**

	PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

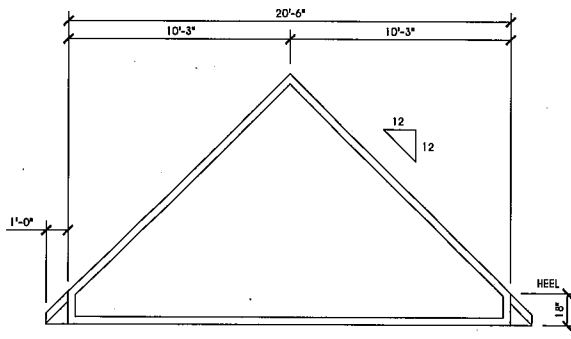
**GENERAL SECOND FLOOR PLAN NOTES:**  
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. UNLS.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2'2X8'S OR (3'2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 9.15.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

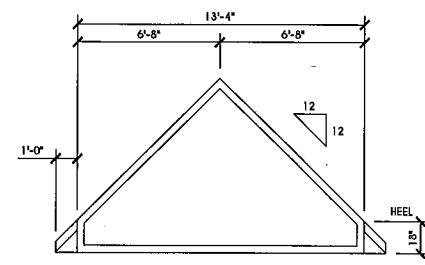
[E]	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
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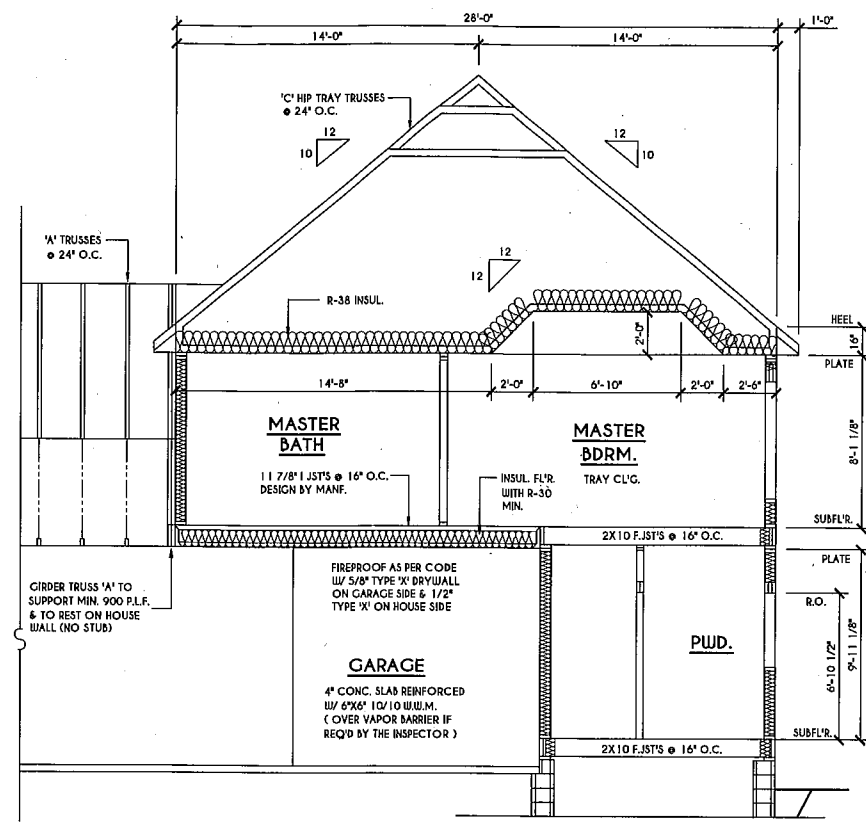
**G TRUSS PROFILES**  
SCALE: 1/4" = 1'-0"



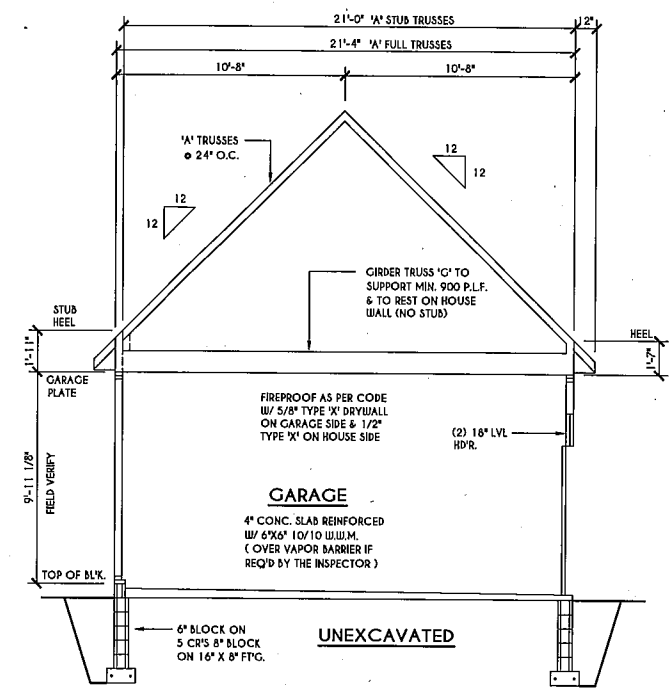
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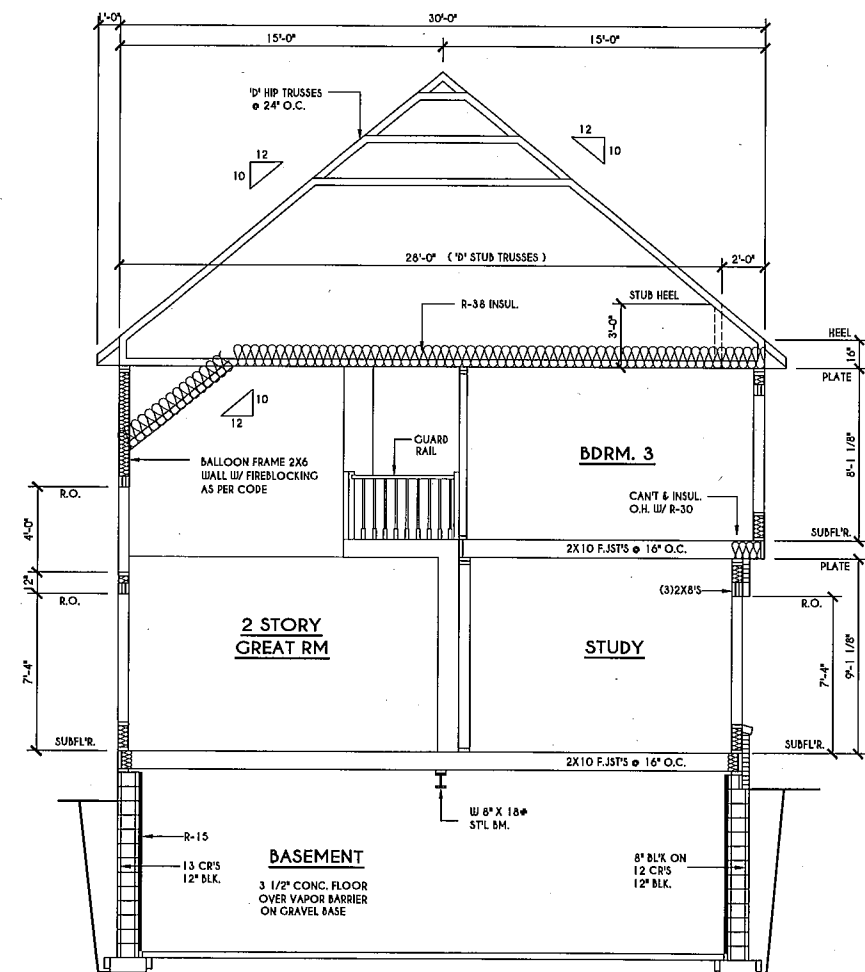
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SCALE: 1/4" = 1'-0"



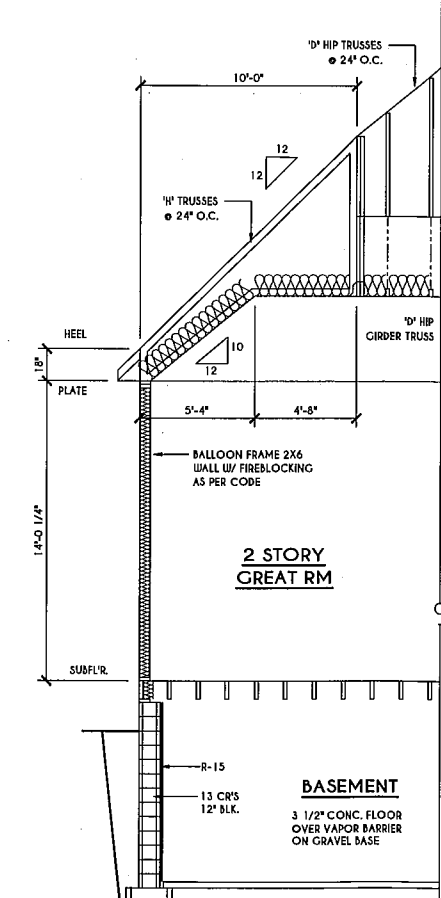
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SCALE: 1/4" = 1'-0"



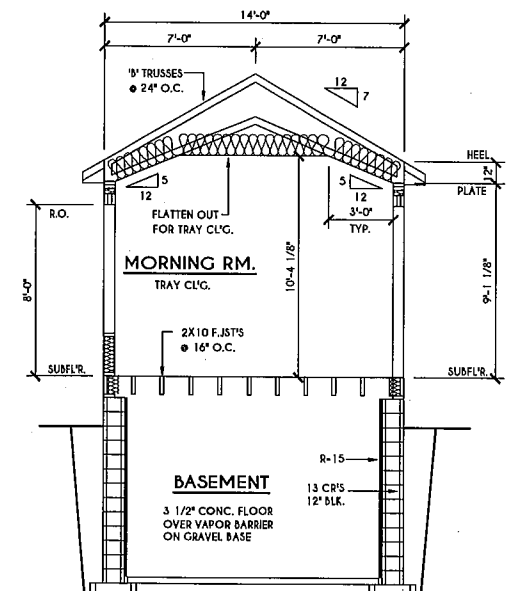
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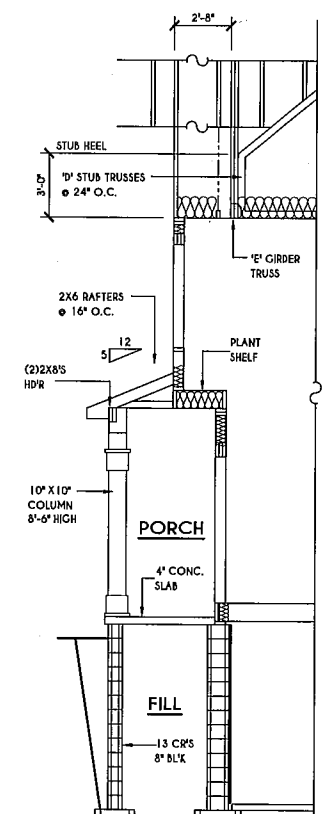
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**F BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

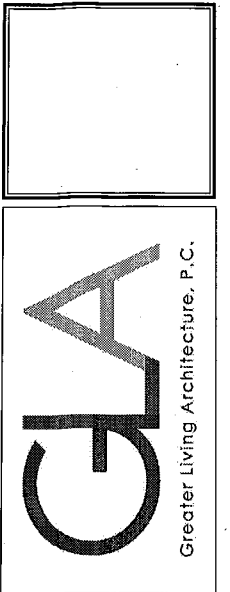


**B BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**E BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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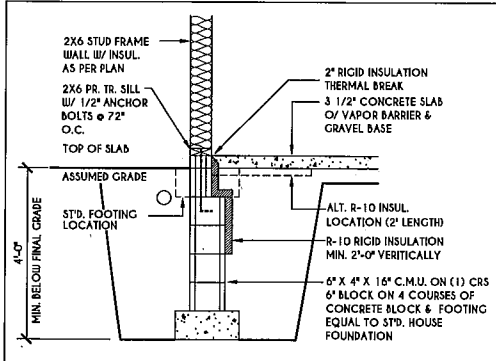
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PITTSFORD, NY

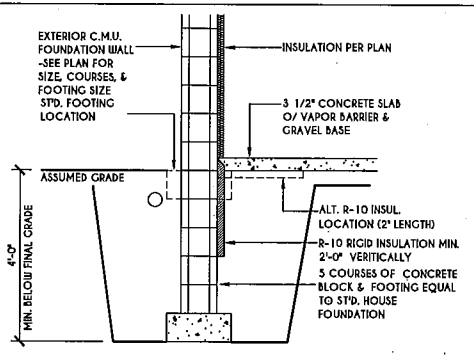
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MASCOT INC.

**SECTIONS**  
GLA PLAN 2939

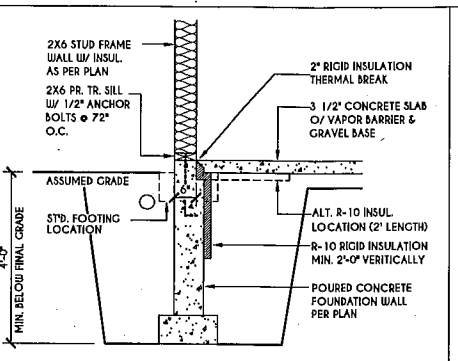
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scale: AS NOTED	date: 8 / 21
PROJECT: 5963G RIGHT	sheet: 5



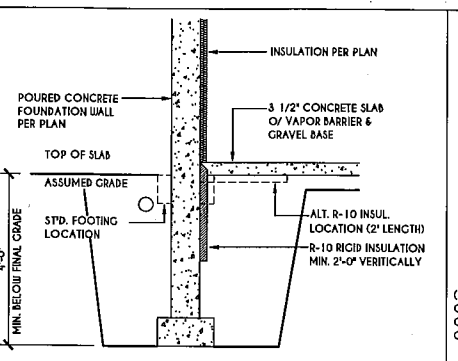
**1**  
N-1  
2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



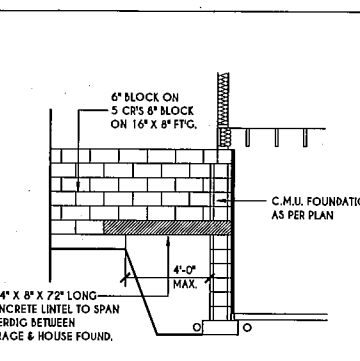
**2**  
N-1  
C.M.U. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



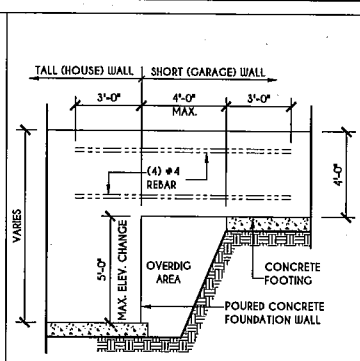
**3**  
N-1  
2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



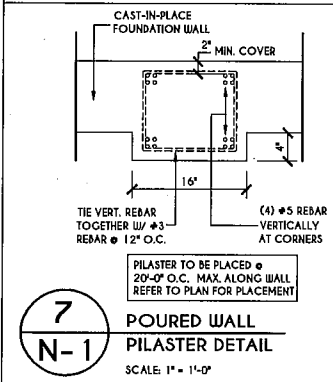
**4**  
N-1  
POURED CONC. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



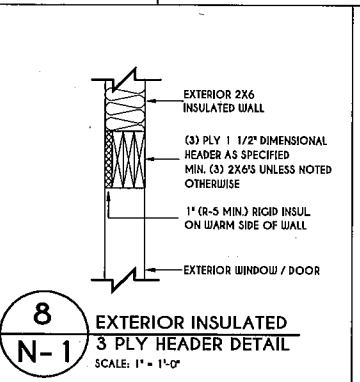
**5**  
N-1  
C.M.U. JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



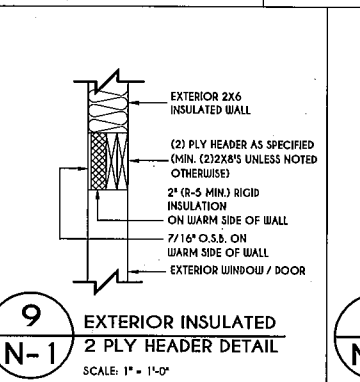
**6**  
N-1  
POURED WALL JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



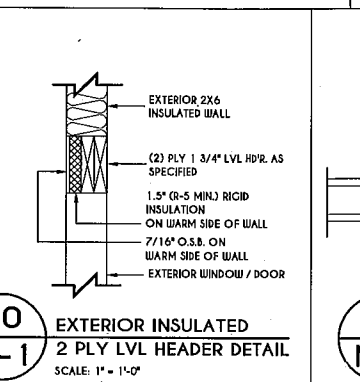
**7**  
N-1  
POURED WALL PILASTER DETAIL  
SCALE: 1" = 1'-0"



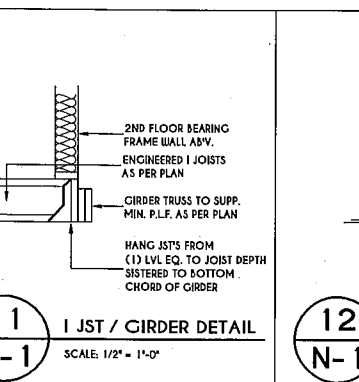
**8**  
N-1  
EXTERIOR INSULATED 3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



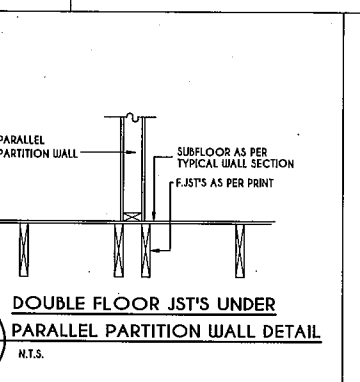
**9**  
N-1  
EXTERIOR INSULATED 2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



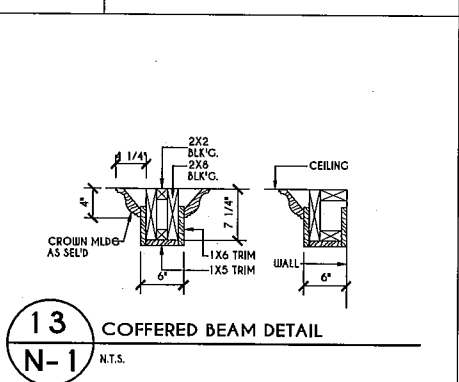
**10**  
N-1  
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



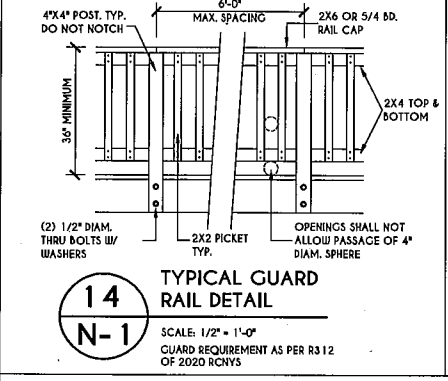
**11**  
N-1  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



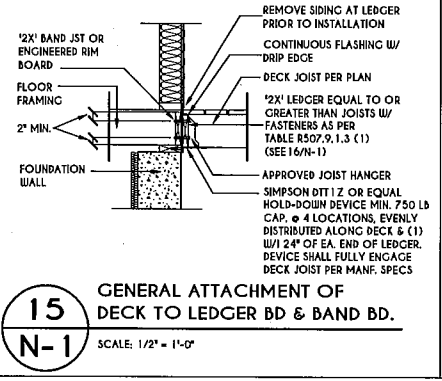
**12**  
N-1  
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL  
N.T.S.



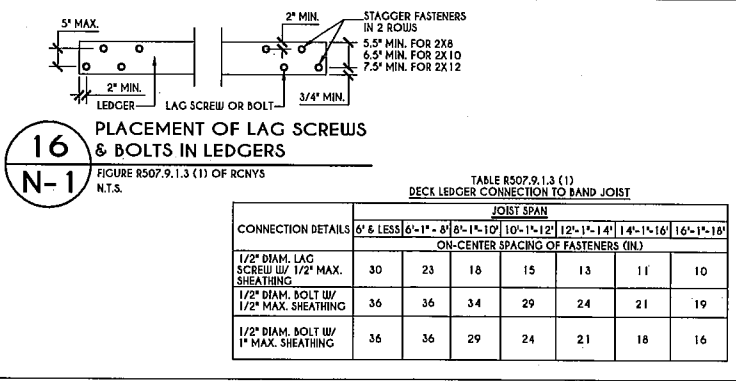
**13**  
N-1  
COFFERED BEAM DETAIL  
N.T.S.



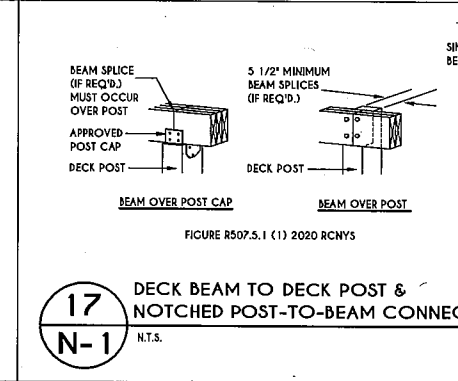
**14**  
N-1  
TYPICAL GUARD RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENT AS PER R12 OF 2020 RCNYS



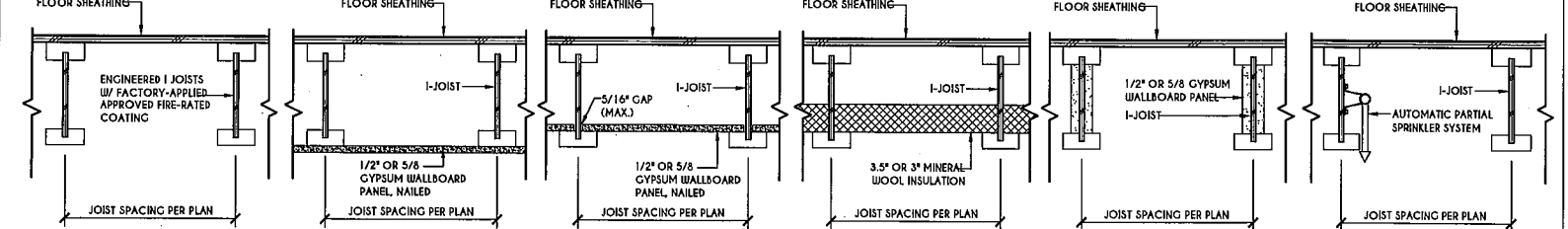
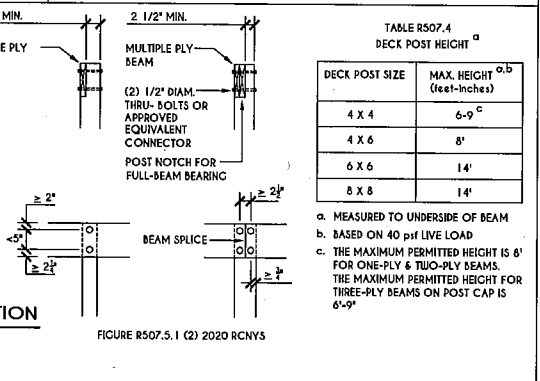
**15**  
N-1  
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



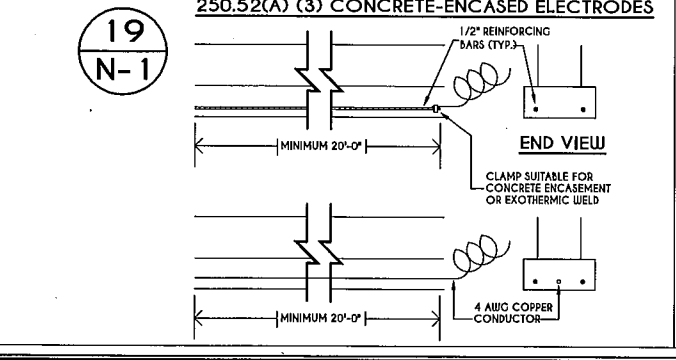
**16**  
N-1  
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS  
SCALE: 1/2" = 1'-0"



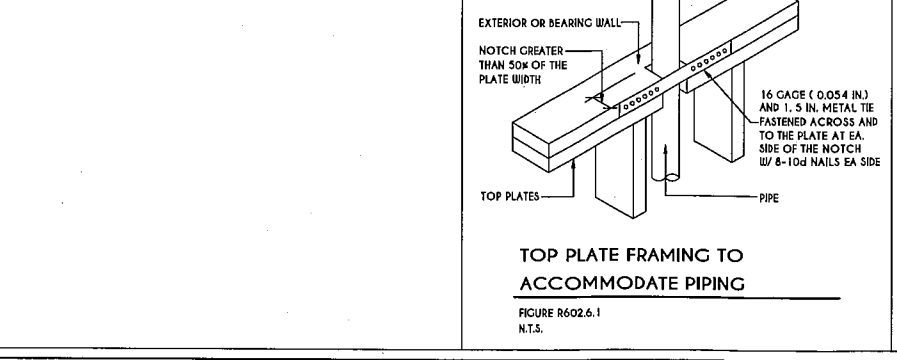
**17**  
N-1  
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION  
SCALE: 1/2" = 1'-0"



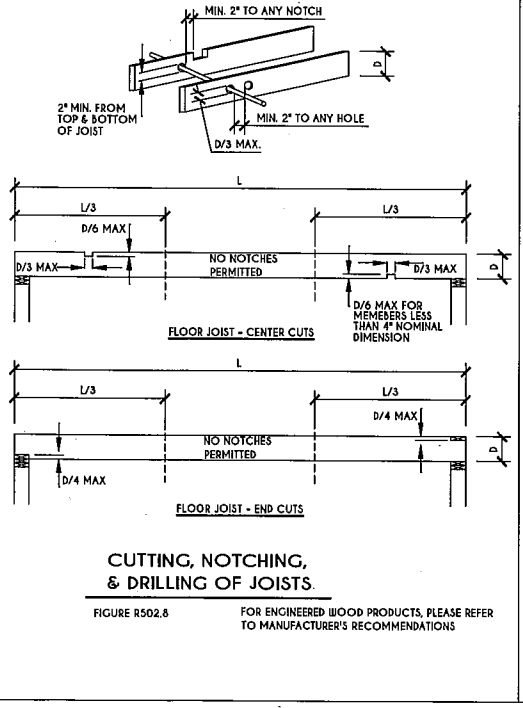
**18**  
N-1  
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.1.3 OF RCNYS



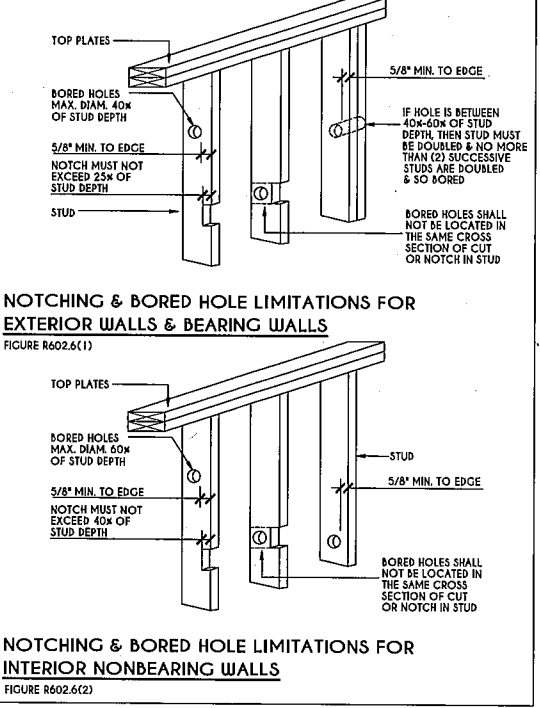
**19**  
N-1  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
SCALE: 1/2" = 1'-0"



**20**  
N.T.S.  
TOP PLATE FRAMING TO ACCOMMODATE PIPING  
SCALE: 1/2" = 1'-0"

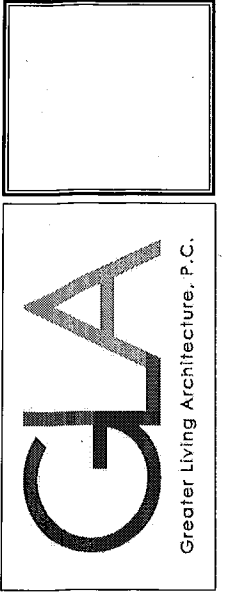


**21**  
N.T.S.  
CUTTING, NOTCHING, & DRILLING OF JOISTS  
SCALE: 1/2" = 1'-0"



**22**  
N.T.S.  
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS  
SCALE: 1/2" = 1'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

LOT 33 COUNTRY POINT  
PITTSFORD, NY

**BUILDER:**  
MASCOT INC.

**DETAILS**  
GLA PLAN 2939

drawn: CDK	checked: CSB
scale: AS NOTED	date: 8 / 21
PROJECT: 5963C RIGHT	sheet: N 1



TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING BARS  $d = 5$  INCHES  $a, c, f$

MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)  $b, d, e$

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL $e$	SOIL CLASSES AND LATERAL SOIL LOADS $d$ (psf PER FOOT BELOW GRADE)			
		GM, CL, SM, AND SP SOILS $30$	GM, CL, SM-SC AND ML SOILS $45$	SC, MH, ML-CL AND INORGANIC CL SOILS $60$	SC, MH, ML-CL AND INORGANIC CL SOILS $60$
0'-8"	4" (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6"-8"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
7'-4"	4" (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
8'-0"	4" (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
8'-8"	4" (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
9'-4"	4" (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
10'-0"	4" (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING BARS  $d = 6.75$  INCHES  $a, c, f$

MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)  $b, d, e$

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL $e$	SOIL CLASSES AND LATERAL SOIL LOADS $d$ (psf PER FOOT BELOW GRADE)			
		GM, CL, SM, AND SP SOILS $30$	GM, CL, SM-SC AND ML SOILS $45$	SC, MH, ML-CL AND INORGANIC CL SOILS $60$	SC, MH, ML-CL AND INORGANIC CL SOILS $60$
0'-8"	4" (OR LESS)	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	5"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	6"-8"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
7'-4"	4" (OR LESS)	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	5"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	6"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
8'-0"	4" (OR LESS)	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	5"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	6"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
8'-8"	4" (OR LESS)	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	5"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	6"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
9'-4"	4" (OR LESS)	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	5"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	6"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
10'-0"	4" (OR LESS)	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	5"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.
	6"	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.	#4 @ 50" O.C.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING BARS  $d = 8.75$  INCHES  $a, c, f$

MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)  $b, d, e$

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL $e$	SOIL CLASSES AND LATERAL SOIL LOADS $d$ (psf PER FOOT BELOW GRADE)			
		GM, CL, SM, AND SP SOILS $30$	GM, CL, SM-SC AND ML SOILS $45$	SC, MH, ML-CL AND INORGANIC CL SOILS $60$	SC, MH, ML-CL AND INORGANIC CL SOILS $60$
0'-8"	4" (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6"-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
7'-4"	4" (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
8'-0"	4" (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
8'-8"	4" (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
9'-4"	4" (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
10'-0"	4" (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS  $b, c, d, e, f, h, i, j, k, o$

MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	SOIL CLASSES AND DESIGN LATERAL SOIL LOADS (psf PER FOOT OF DEPTH)			
		GM, CL, SM, AND SP	GM, CL, SM-SC AND ML	SC, MH, ML-CL AND INORGANIC CL	SC, MH, ML-CL AND INORGANIC CL
5	4	NR	NR	NR	NR
	5	NR	NR	NR	NR
	6	NR	NR	NR	NR
6	4	NR	NR	NR	NR
	5	NR	NR	NR	NR
	6	NR	NR	NR	NR
7	4	NR	NR	NR	NR
	5	NR	NR	NR	NR
	6	NR	NR	NR	NR
8	4	NR	NR	NR	NR
	5	NR	NR	NR	NR
	6	NR	NR	NR	NR
9	4	NR	NR	NR	NR
	5	NR	NR	NR	NR
	6	NR	NR	NR	NR
10	4	NR	NR	NR	NR
	5	NR	NR	NR	NR
	6	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE Laid IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, UNLESS AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE Laid IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, UNLESS AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE Laid IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, UNLESS AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM REFER TO TABLE R403.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.

c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND 7 OR BARS OF A DIFFERENT SIZE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 4-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNDEVELOPED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 1/4 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH: IS OR NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 2.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE IS 3,500 PSI.

n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED BY THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREASLS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALLS OPEN UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER. CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALLS OPEN UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SLAB SHALL BE SEALED. THE JUNCTION OF THE ROOF SLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SIGHTINGS AND DOORS	THE SPACE BETWEEN UNDOOR / DOOR JAMB AND FRAMING, AND SIGHTINGS AND FRAMING SHALL BE SEALED.	RM JOINTS SHALL BE SEALED.
RM JOINTS	RM JOINTS SHALL INCLUDE THE AIR BARRIER.	RM JOINTS SHALL BE SEALED.
FLOORS (INCLUDING ABOVE GARAGE AIR CHAMBERS/FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FINISHING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF MAIN FLOOR FINISHING, OR FLOOR FINISHING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SURFACE OF WEATHERSIDE OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FINISHING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FINISHING MEMBERS.
CRACK SPACE WALLS	EXPOSED BARRIERS IN UNFINISHED CRACK SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION NEARLY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		BATS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION NEARLY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATIONS SHALL BE CUT NEARLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION NEARLY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEYOND JOINTS AND SEAMS.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOT	HVAC REGISTER BOOT THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	IFRN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-700.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1  
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

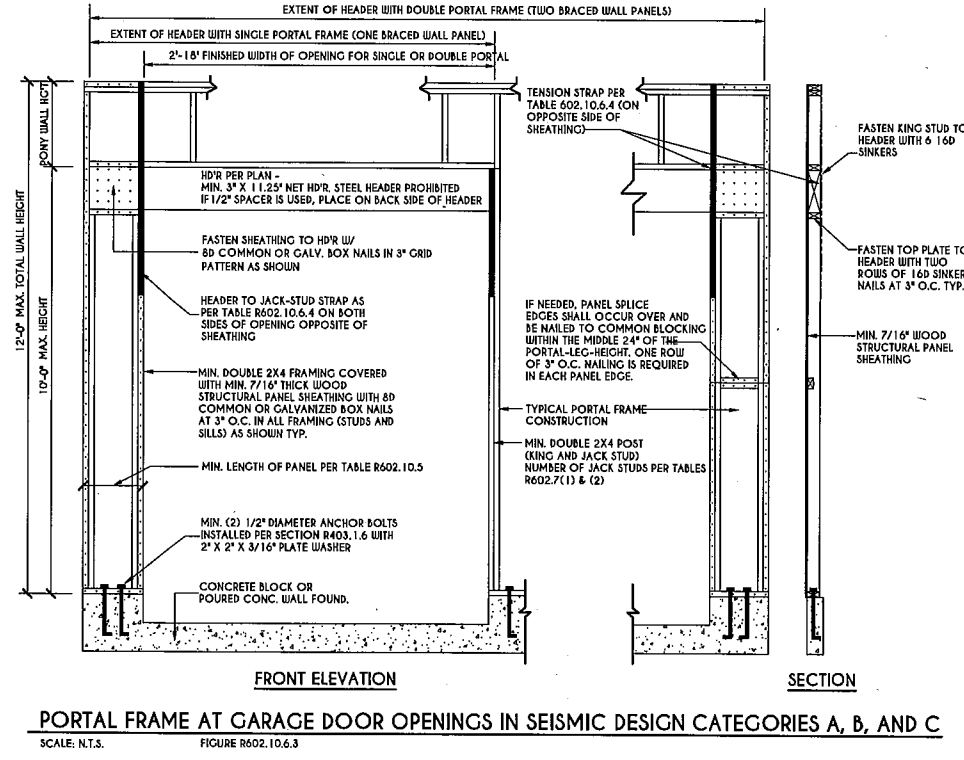
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SM, SP, SM-SC, CL, CL & CC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH & CH)	1,500

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

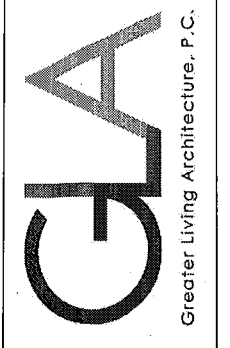
UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GM	WELL-GRADED GRANULAR GRAVEL, SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRANULAR GRAVEL, SAND, LITTLE OR NO FINES
SM	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HEAVILY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C  
SCALE: N.T.S. FIGURE R602.10.6.3

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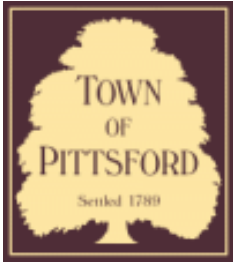






  
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## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S21-000012**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3240-3246 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-10.1

**Zoning District:** C Commercial

**Owner:** Buffalo-Pitt Sq Assoc LLC

**Applicant:** Art Part Signs Inc.

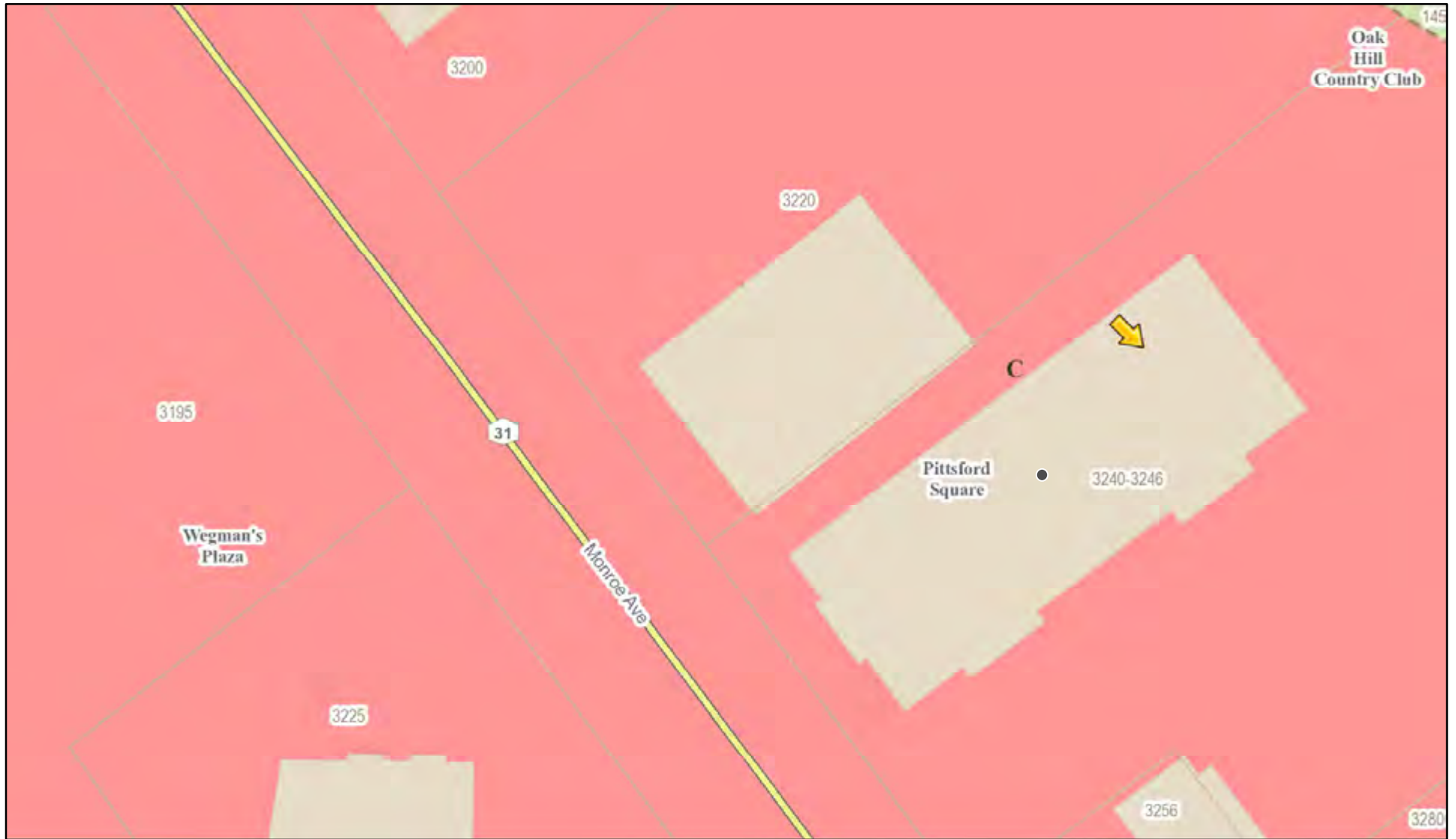
#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

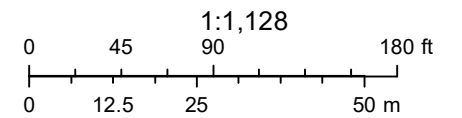
**Project Description:** Applicant has requested design review for the addition of a business identification signs. The building sign will be approximately 54.1 square feet centered over the entrance. The sign meets the zoning for this area and will identify the business "Spectrum".

**Meeting Date:** September 23, 2021

# RN Residential Neighborhood Zoning



Printed September 2, 2021



Town of Pittsford GIS

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Monroe & Pittsford  
Weginans Bldg

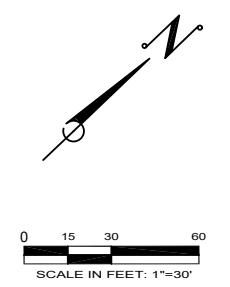
31

Monroe Ave

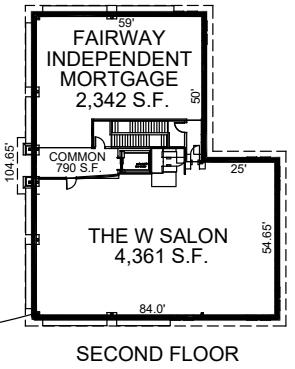
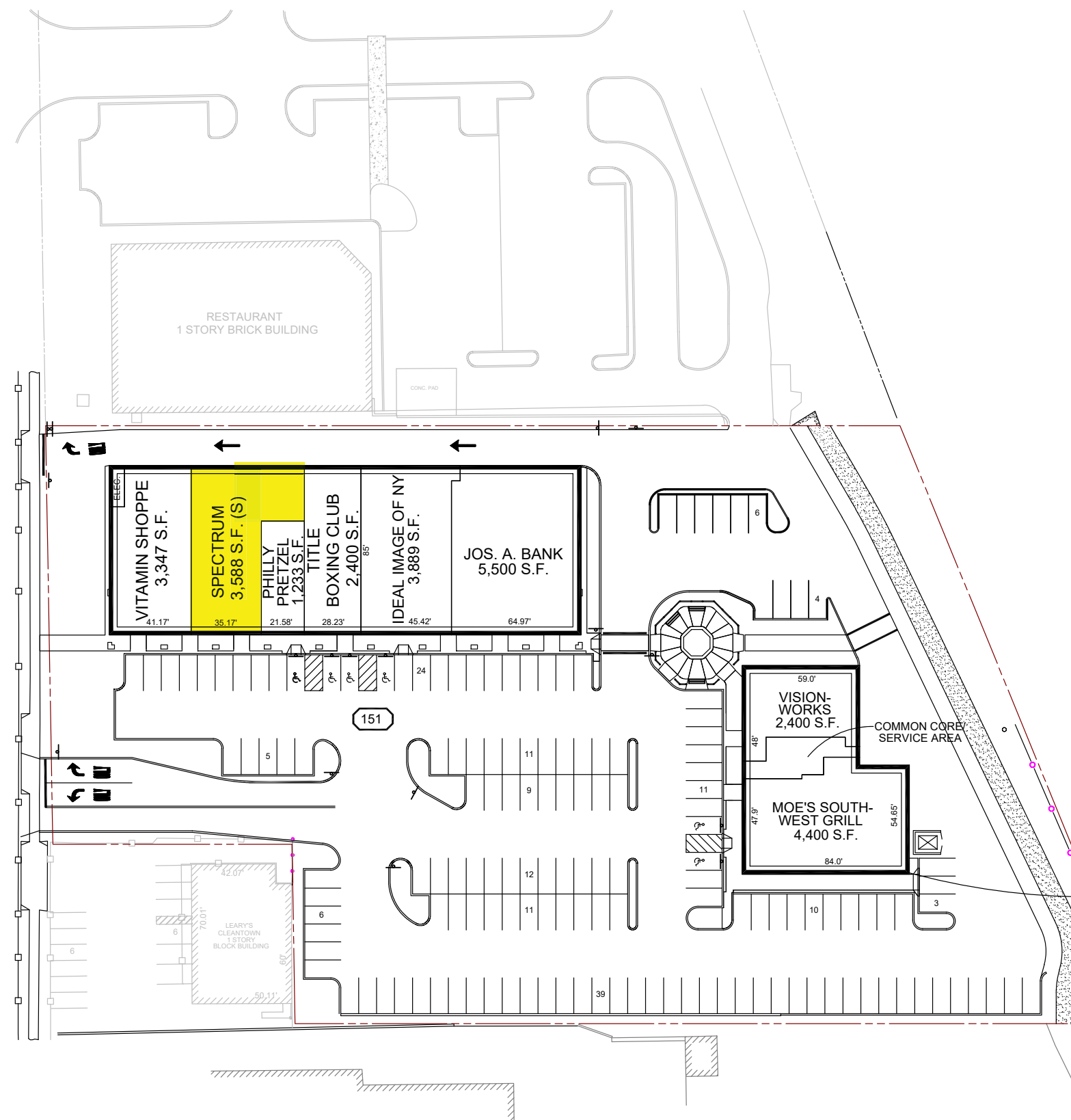
31

Monroe Ave

Monroe Ave



MONROE AVENUE (RT. 31)



# PITTSFORD SQUARE

3240 & 3246 MONROE AVENUE  
PITTSFORD, NEW YORK 14618

PROPERTY ID#: 2086

05-27-21

THE SOLE PURPOSE OF THIS DRAWING IS TO ILLUSTRATE THE APPROXIMATE DIMENSIONS AND LAYOUT OF THE DEMISED PREMISES. NO OTHER WARRANTY OR REPRESENTATION, EXPRESSED OR IMPLIED, IS MADE WITH RESPECT TO THE ILLUSTRATION.



LEASING PLAN		
DRAWN BY: XXX	CHECKED BY: XXX	SCALE: 1"=30'

NTS IN THESE FILES ARE NOT TO BE USED FOR ANY OTHER PROJECTS. WORK AREAS ARE DRAWING LAYOUT. LAYOUT. PLOTTED BY: TOM YOUNG



# Stratus™

stratusunlimited.com

888.503.1569

## LOCATION NUMBER:

3432

## SITE ADDRESS:

3240 Monroe Ave STE 500  
Rochester, NY 14618-4627

### SIGN CODE:

1 ½ square feet per linear ft.  
Allowed 1 sign per main entry facade  
Permitting process time - 2 weeks

### LANDLORD:

Tenant shall submit detailed drawings showing all proposed signs to owner for approval. Sign length not to exceed 2/3's the length of the storefront, Letter height 36" with Max Depth of 5". A minimum of .063 gauge aluminum recommended. No pop rivets; smooth satin finish with 1" retainers. Each letter to be mounted to a raceway (provided by tenant). Raceway must be painted Sherwin Williams 2092-30 "Boston Brick" to color match the canopy sign band. Disconnect switch is to be located on the end of the raceway. Signs are to be installed centered vertically on the sign band and centered horizontally over the storefront. All wall penetrations are to be sealed with an exterior grade silicone to provide a waterproof installation. Sign requires U. L. labels displayed.

### PROPOSED SIGNAGE:

CLS FaceLit/HaloLit - signs require UL labels to be displayed  
Temporary Construction Vinyl

### ADDITIONAL INFO:

Electrical to be within 6' of sign for connection and Signs Require U.L. Labels to be displayed

# Spectrum▶

Infinite possibilities, ideal solutions.

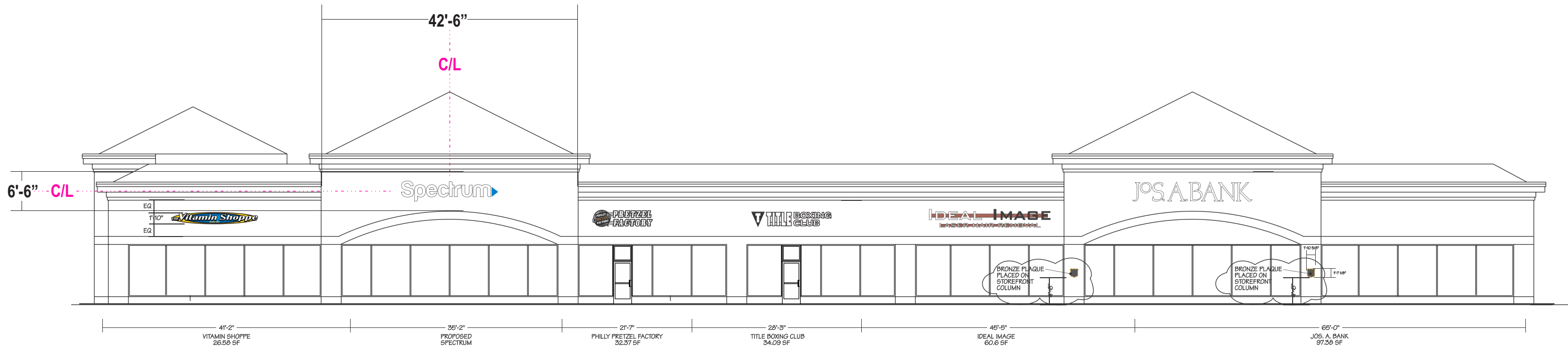
A

# STOREFRONT (SOUTH) ELEVATION

32" / FHL-WHITE/SPECTRUM

EXISTING CONDITIONS

Scale: 1/16"=1'-0"



stratusunlimited.com  
8959 Tyler Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT:  
**Spectrum**

ADDRESS:  
3240 MONROE AVE STE 500  
ROCHESTER, NY 14618-4627

PAGE NO.:  
**2**

ORDER NUMBER:  
4623557

SITE NUMBER:  
3432

ELECTRONIC FILE NAME:  
G:\ACCOUNTS\IC\CHARTER COMMUNICATIONS\2021\NY

PROJECT NUMBER:  
82830

PROJECT MANAGER:  
ANGELA WELLS

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	344620	07/21/21 MD					
Rev 1	345463	07/26/21 MD	Revised proposed signage				
Rev 2	350451	09/04/21 MD					
Rev 3	351601	09/13/21 MD	Revised size per SF requirement				

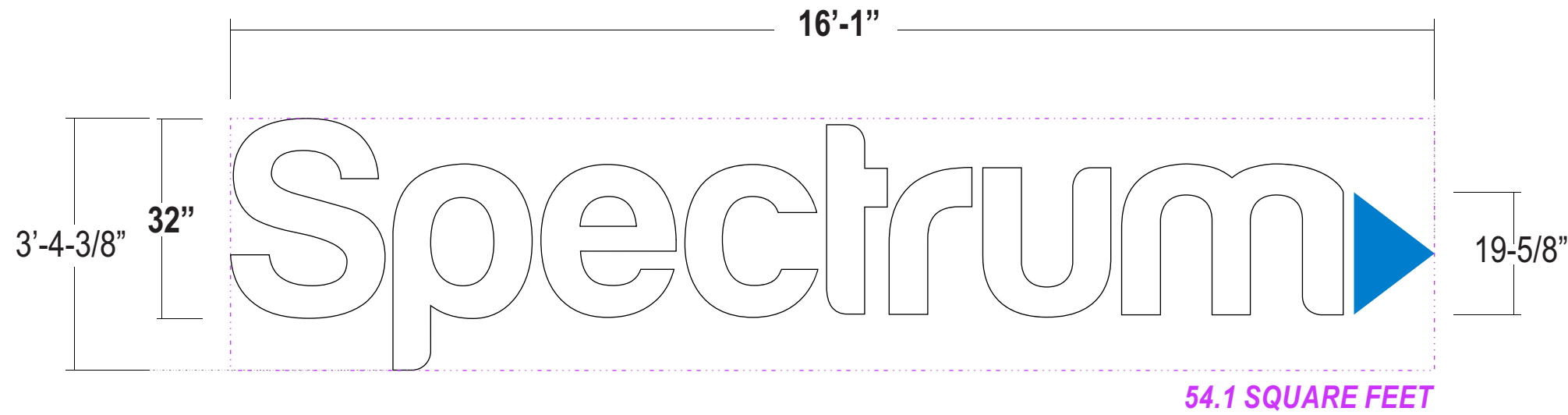
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A

# FACE LIT, HALO LIT CHANNEL LETTERS

## 32" / FHL-WHITE/SPECTRUM

Scale: 1/2"=1'-0"



SIMULATED NIGHT TIME VIEW



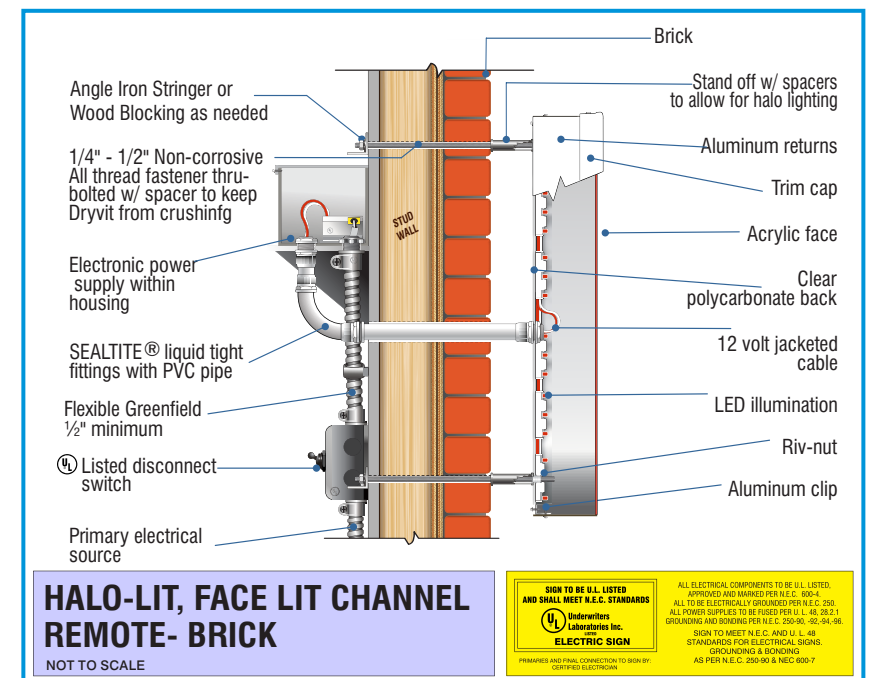
- SPECTRUM FACES:** 3/16" #2406 White acrylic
- PLAY BUTTON FACE:** 3/16" #2406 White acrylic with surface applied trans. Process Blue vinyl overlay
- TRIM CAP:** All trimcap to be 1" White jewelite
- RETURNS:** 3" deep .040 aluminum returns- All returns pre-finished White
- BACKS:** Clear Hyzod polycarbonate - .125 gauge
- ILLUMINATION:** White LED's (7100K) to halo light copy  
Blue LED's to halo light arrow  
**REMOTE POWER SUPPLIES**
- WALL MATERIAL:** Brick
- INSTALL:** Thru bolted using all thread into blocking as required  
12" standard length of threaded rod will be supplied unless otherwise noted  
1/4" - 3/8" threaded rod into blocking or Stratus approved equivalent - with 1-1/2" stand off from wall surface to allow for halo lighting using fasteners to suit wall;  
Spacers to be provided painted to match sign band
- QUANTITY:** (1) ONE required for STOREFRONT elevation

54.1 SQUARE FEET

### COLOR PALETTE

- PLAY BUTTON:**  
3M 3630-337 Process Blue  
Pantone 3005 Lt. Blue
- COPY:**  
White Acrylic
- SPACERS TO MATCH WALL:**  
SW 2092-2 Boston Brick

ALL PAINT FINISHES TO BE SATIN UNLESS OTHERWISE SPECIFIED!



**HALO-LIT, FACE LIT CHANNEL  
REMOTE- BRICK**

NOT TO SCALE

**SHOW TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS**  
 Underwriters Laboratories Inc. **ELECTRIC SIGN**  
FOR THE FINAL CONNECTION TO SIGN BY CERTIFIED ELECTRICIAN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 800-4  
 ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250  
 ALL POWER SUPPLIES TO BE TESTED PER U.L. 68-32-1  
 GROUNDING AND BONDING PER N.E.C. 250-96, 42-94-96  
 SIGN TO MEET N.E.C. AND U.L. 48  
 STANDARDS FOR ELECTRICAL SIGNS, SPECIFICATIONS & BONDING  
 AS PER N.E.C. 200-40 & NEC 600-7



**CLIENT:**  
Spectrum

**ADDRESS:**  
3240 MONROE AVE STE 500  
ROCHESTER, NY 14618-4627

**PAGE NO.:**  
3

**ORDER NUMBER:**  
4623557

**SITE NUMBER:**  
3432

**ELECTRONIC FILE NAME:**  
G:\ACCOUNTS\IC\CHARTER COMMUNICATIONS\2021\NY

**PROJECT NUMBER:**  
82830

**PROJECT MANAGER:**  
ANGELA WELLS

Rev #	Req #	Date/Artist	Description
Original	344620	07/21/21 MD	
Rev 1	345463	07/26/21 MD	Revised proposed signage
Rev 2	350451	09/04/21 MD	
Rev 3	351601	09/13/21 MD	Revised size per SF requirement

Rev #	Req #	Date/Artist	Description

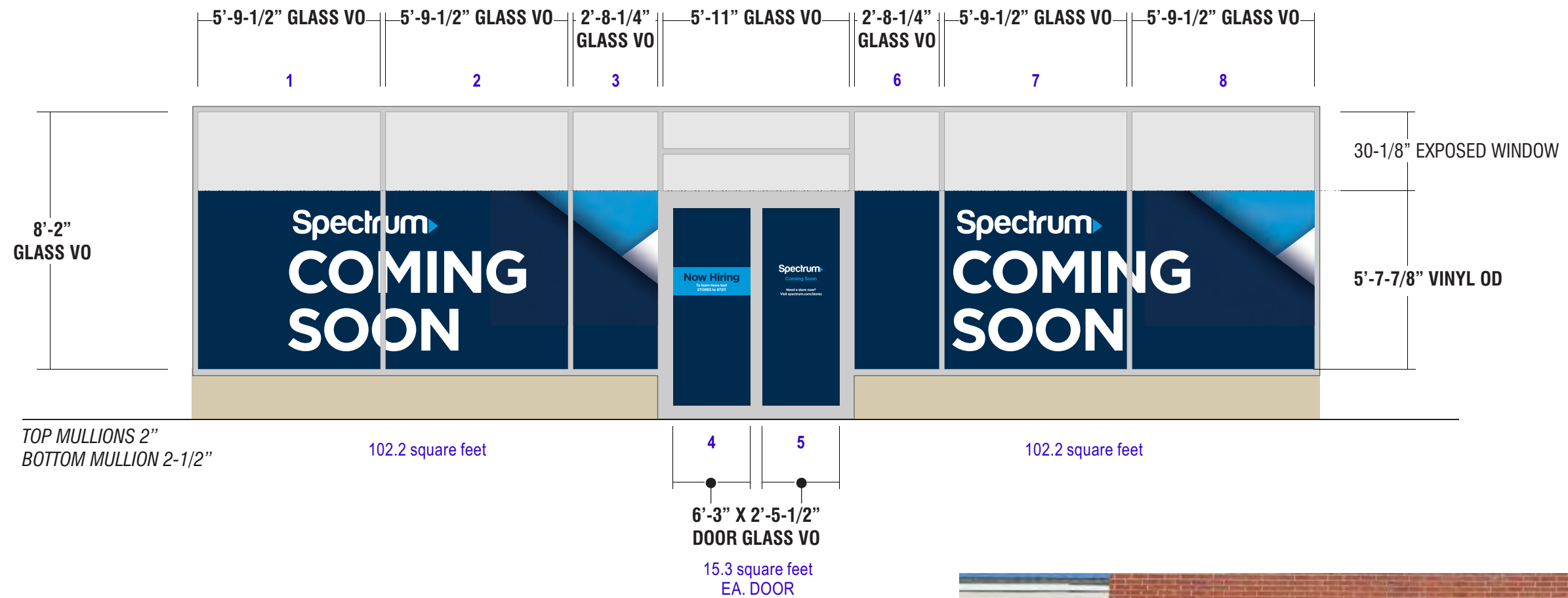
**B**

# TEMPORARY CONSTRUCTION VINYL

# STOREFRONT

Scale: 1/4"=1'-0"

BAY A



## EXISTING CONDITIONS



### PRODUCT DETAIL:

Full color digitally printed graphics on opaque vinyl backer

*First Surface applied vinyl graphics to outside of glass*  
*Artwork to be oversized by 1" on all sides to ensure proper fit*

**stratus**<sup>TM</sup>

stratusunlimited.com

8959 Tyler Boulevard  
Mentor, Ohio 44060

888.503.1569

CLIENT:  
**Spectrum**

ADDRESS:  
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**4**

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PROJECT NUMBER:  
82830

PROJECT MANAGER:  
ANGELA WELLS

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	344620	07/21/21 MD					
Rev 1	345463	07/26/21 MD	Revised graphics				
Rev 2	350451	09/04/21 MD	Revised graphics to match provided file per mythic				
Rev 3	351601	09/13/21 MD					

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# NEIGHBORING SIGNAGE

Scale: NTS

For Reference Only




**stratus**<sup>TM</sup>  
stratusunlimited.com  
8959 Tyler Boulevard  
Mentor, Ohio 44060  
888.503.1569

CLIENT:  
**Spectrum**

ADDRESS:  
3240 MONROE AVE STE 500  
ROCHESTER, NY 14618-4627

PAGE NO.:  
**5**

ORDER NUMBER:  
4623557

SITE NUMBER:  
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PROJECT NUMBER:  
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Rev 3	351601	09/13/21 MD					

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