

**Design Review & Historic Preservation Board
Agenda
June 10, 2021**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

- **14 Laureldale Drive**
The Applicant is returning to request design review for the addition of a porch. The porch will be approximately 232 square feet and will be located on the front of the home. The project will also include changing the garage doors to one door and the addition of a new window.

RESIDENTIAL APPLICATION FOR REVIEW

- **7 Settlers Green**
The Applicant is requesting design review for the addition. The addition will be approximately 156 square feet and will be located to the rear of the home.
- **10 Split Rock Road**
The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 320 square feet and will be located to the rear of the home.
- **111 Overbrook Road**
The Applicant is requesting design review for two additions. There will be an addition to the front of the home to expand the dining room and kitchen. There will also be an addition to the rear of the home for an owners suite, mudroom and laundry room. The Applicant has received a variance from the Zoning Board for the side setback.
- **145 Long Meadow Circle**
The Applicant is requesting design review for the construction of a shed. The shed will be approximately 352 square feet. The applicant was approved by the Zoning Board for an oversized accessory structure, over allowed height and forward of the rear wall of the home.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

- **48 Nature View**
The Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 1440 square feet on the first floor and approximately 1354 square feet on the second floor. This home will be located in the Country Pointe Subdivision.
- **37 Coventry Ridge**
The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2810 square feet of living space. The home will be located in the Coventry Ridge Subdivision.

COMMERCIAL APPLICATION FOR REVIEW

- **3280 Monroe Avenue**
The Applicant is returning to request design review for the exterior alteration and renovation to the existing McDonald's Restaurant. The project consists of alterations to the facade, the roof and the color of the building.

CERTIFICATE OF APPROPRIATENESS

- **117 East Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (AG) Agricultural and is designated historic.

- **18 Golf Avenue**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the construction of an oversized accessory structure on the property of a designated historic home.

- **810 Allens Creek Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

OTHER – REVIEW OF 5/27/2021 MINUTES

How to view the meeting:

1. Zoom

In your web browser go to:

<https://townofpittsford.zoom.us/j/86090937170?pwd=RjBybDdOUeNlY2c3enVOaU5mWWF3UT09>

You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **860 9093 7170**.
- No password is necessary.

(929) 205-6099	(312) 626-6799
(253) 215-8782	(301) 715-8592
(346) 248-7799	(669) 900-6833

We are pleased to offer Zoom Automated Transcription captions for our Town Board and volunteer board meetings held via Zoom. Because this service automatically creates machine-generated transcriptions, users should be aware that wording inaccuracies may occur.

Design Review and Historic Preservation Board
Minutes
May 27, 2021

PRESENT

John Mitchell, Acting Chairman; Paul Whitbeck, John Mitchell, Kathleen Cristman, Bonnie Salem, Leticia Fornataro

ALSO PRESENT

Kevin Beckford, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Dirk Schneider, Dave Wigg

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, May 27 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

John Mitchell, Acting Chairman opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

An update on the installation of the historic district banners is that the Town has rented a lift truck in order to install them. An event to plan a commemoration of the banner installation will be discussed at the next meeting.

Bonnie Salem discussed another avenue for obtaining a historical marker for the East Street Burying Ground. The Catskill Casting company produces markers in the style of the familiar New York State markers with the same logo and colors. Kevin Beckford indicated that he would approach the Town Board for funding for this marker. Bonnie Salem made a motion to pass a resolution that this funding be requested for a marker. All Board members present voted aye.

RESIDENTIAL APPLICATION FOR REVIEW

- **153 Mendon Center Road**

The Applicant is requesting design review for the construction of a two story addition and porch. The approximately 360 square foot two-story addition will replace the current two story area that was damaged by a motor vehicle. The approximately 480 square foot proposed porch will be built over an existing deck and wrap around the side of the home. The applicant did receive approval from the Zoning Board for setback relief.

The homeowner, Brian Lilly was present.

He is looking to improve the aesthetic of the home with a second story addition and wrap around porch. The footprint of the home will remain the same.

Leticia Fornataro moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **3 Chattingham Court**

The Applicant is requesting design review for the addition of a dormer. The dormer will be located to the rear of the home and will allow for increased square footage in the bathroom and bedroom.

The homeowner, Brian Kwarta, was present.

The new roof will be a flatter style roof.

The Board cautioned that although this is not a design problem, this style of roof could present water damage issues.

Paul Whitbeck moved to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **17 Callingham Road**

The Applicant is requesting design review for a proposed bedroom, bathroom and laundry addition. The addition will be approximately 340 square feet and will be located on the west side of the home.

The homeowner, Bobbi Pearson and designer, Bob Stenger were present.

The Board expressed concerns about the lack of fenestration on the side elevation. Small high transom windows were recommended to break up the expanse.

John Mitchell moved to accept the application as submitted with the condition of the addition of two small windows to develop interest on the west elevation.

Paul Whitbeck seconded.

All Ayes.

- **4000 East Avenue**

The Applicant is requesting design review for the renovation and additions to an existing home. There will be an addition onto the living room and four new dormers. The exterior renovations include new windows, doors, roof and adding stone and timber to the exterior of the home.

Alex Wiedemer, the project manager for New Design Works was present.

Leticia Fornataro moved to approve the application as submitted.

John Mitchell seconded.

All Ayes.

- **14 Laureldale Drive**

The Applicant is requesting design review for the addition of a porch. The porch will be approximately 232 square feet and will be located on the front of the home. The project will also include changing the garage doors to one door and the removal of decorative posts.

Brian and Marianne Hahn, the homeowners, were present.

The Board expressed concerns about this submission. Comments included that the arts and crafts styling of the porch and the bay window did not fit the colonial style of the home, the shutters are being removed and materials had not yet been decided.

This application was held open to allow the applicant to provide more detailing on materials and thought on the design.

- **4 Baynard Court**

The Applicant is requesting design review for the addition of a covered patio. The roof structure will be approximately 340 square feet and will be located to the rear of the home.

The agent for the homeowners, Mike Volpe was present.

A deck will be removed and replaced with a covered patio area in the same footprint. The timbers will be stained or painted and the trim board will match the soffit of the existing home.

Bonnie Salem moved to accept the application as submitted.

Kathleen Cristman seconded.

All ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3400 Monroe Avenue**

The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 43.75 square feet and will identify the "Elmwood Agency Corp." business. The sign will be 6" deep aluminum extrusion cabinet painted black and will be internally LED light.

Chuck Sciortino of Premium Mortgage Company was present.

The sign will be approximately 1 ft. larger than the current RMS sign but will meet Town Code. Letters are LED Vinyl graphic that will be lit internally. This sign is required by code to be on a timer.

Kathleen Cristman moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

CERTIFICATE OF APPROPRIATENESS

- **117 East Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (AG) Agricultural and is designated historic.

This public hearing remains open. The homeowner chose to withdraw from the meeting this evening.

OTHER – REVIEW OF 5/13/2021 MINUTES

John Mitchell moved to accept the minutes of May 13, 2021 as written.

Bonnie Salem seconded.

All Ayes.

ADJOURNMENT

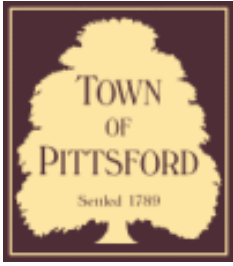
John Mitchell moved to close the meeting at 8:00 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000101

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 14 Laureldale Drive PITTSFORD, NY 14534

Tax ID Number: 178.12-2-7

Zoning District: RN Residential Neighborhood

Owner: Brian Hahn

Applicant: Steven LaFrance (Architect)

Application Type:

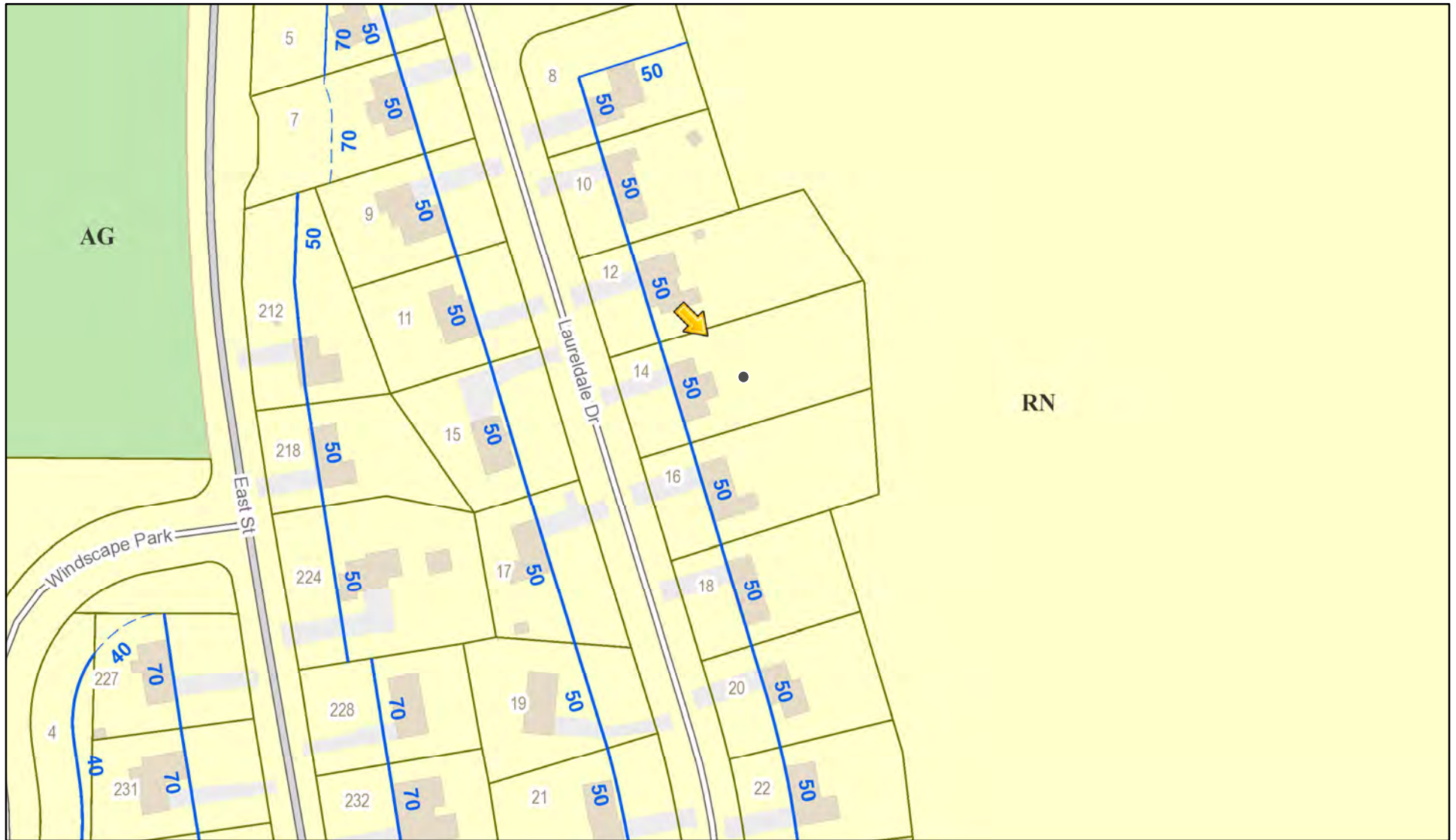
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request design review for the addition of a porch. The porch will be approximately 232 square feet and will be located on the front of the home. The project will also include changing the garage doors to one door and the addition of a new window.

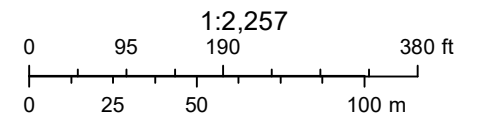
Meeting Date: June 10, 2021



RN Residential Neighborhood Zoning



Printed May 20, 2021



Town of Pittsford GIS

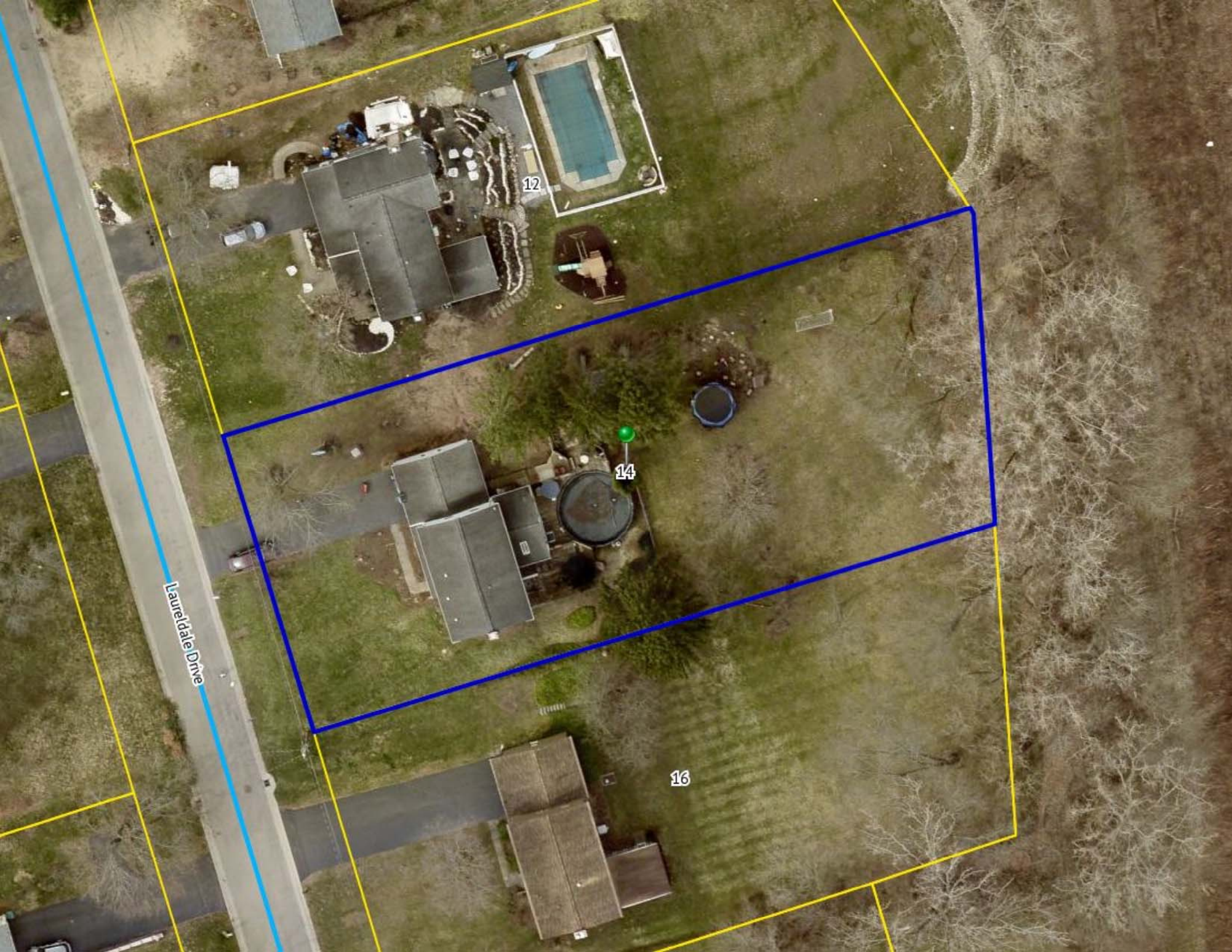
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

Laurelbbble Drive

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14

16



LAURELDALE DRI

N 07°-37'-05" W 100.00

51.5

47.0

CHAIN LINK FENCE

6.8

B/T DRIVE

20.5

3.0

37.4

19.7

FRAME 2 STORY

20.0

15.0

12.0

21.2

WOOD DECK

POOL

24.0

16.8

LOT 28

S 07°-37'-05" E 100.00

S 82°-22'-55" W 160.00

LOT 27

MAP OF A SURVEY
 OF LANDS SITUATE AT
 14 LAURELDALE DRIVE
 BEING LOT 28 LAUREL HILL SUBDIVISION
 TOWN OF PITTSFORD
 MONROE COUNTY, NEW YORK



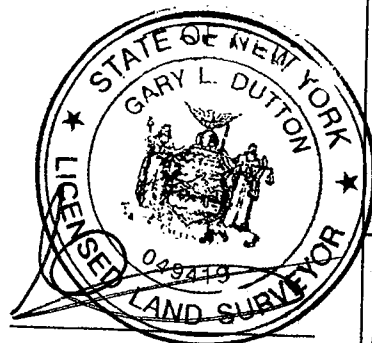
REFERENCE
 LIBER 159 OF MAPS, PAGE 74
 LIBER 6826 OF DEEDS, PAGE 45

GARY L. DUTTON
 LAND SURVEYORS
 6115 ROUTE 15A
 SPRINGWATER, NEW YORK 14560
 585-367-3304 FACSIMILE 367-3172

SCALE: 1"=30" DATE: MAY 14, 2020

I certify to the parties listed hereunder that
 this map was made MAY 14, 2020
 from notes of an instrument survey.

Ukrainian Federal Credit Union,
 ISAOA
 Underberg & Kessler, LLP
 Maryana & Brian Hahn
 Oliver Korts, LLP
 First American Title Insurance

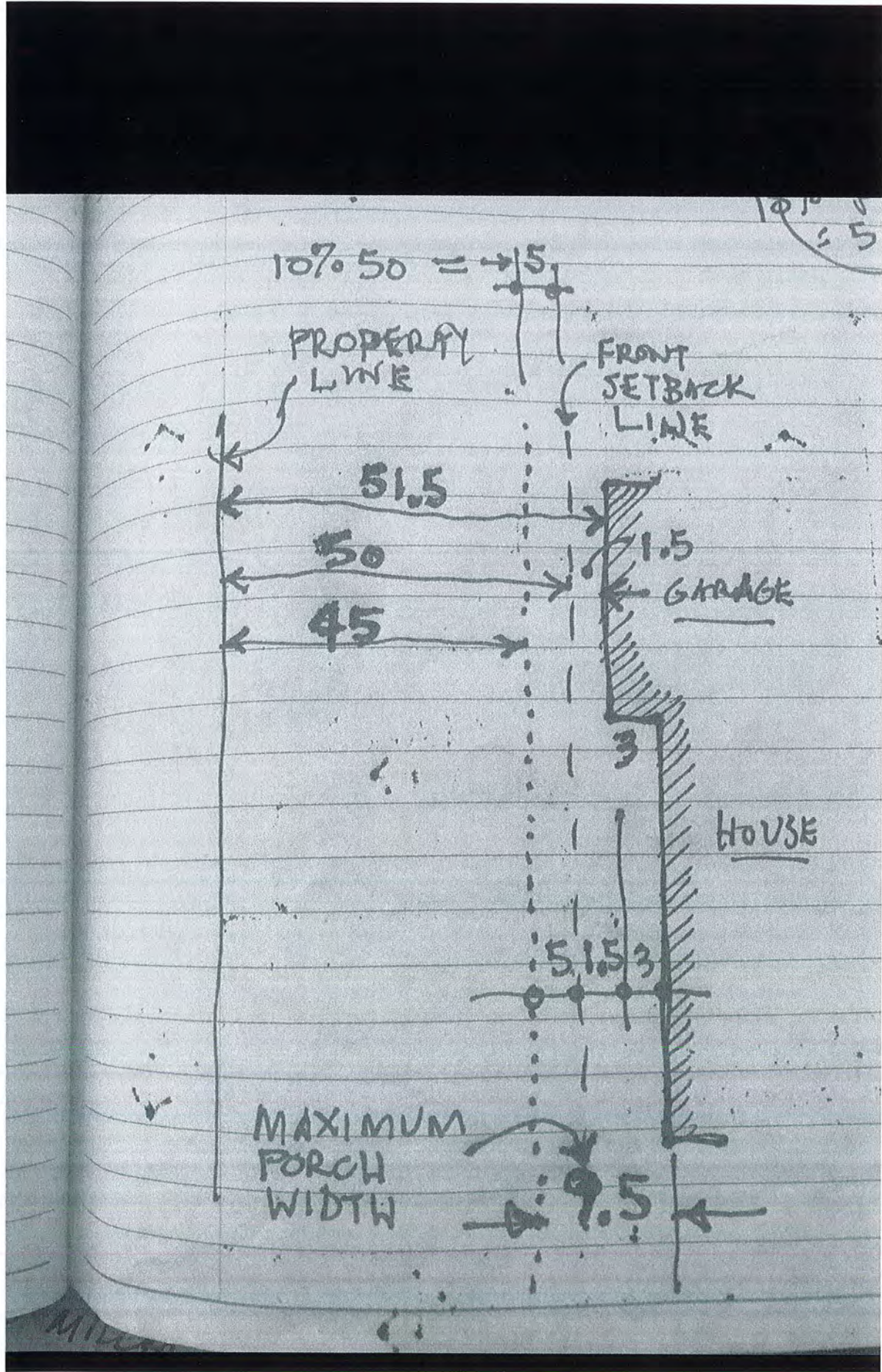


"Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be valid true copies"

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law"

JOB No. 2020-146
 FIELD BOOK _____
 DISK No. 6323

HAHN





FRONT ELEVATION

1/4" = 1'-0"

ADDITION TO
HAHN RESIDENCE

14 LAURELDALE DRIVE
PITTSFORD, NY 14534

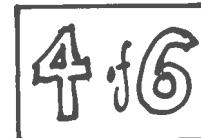


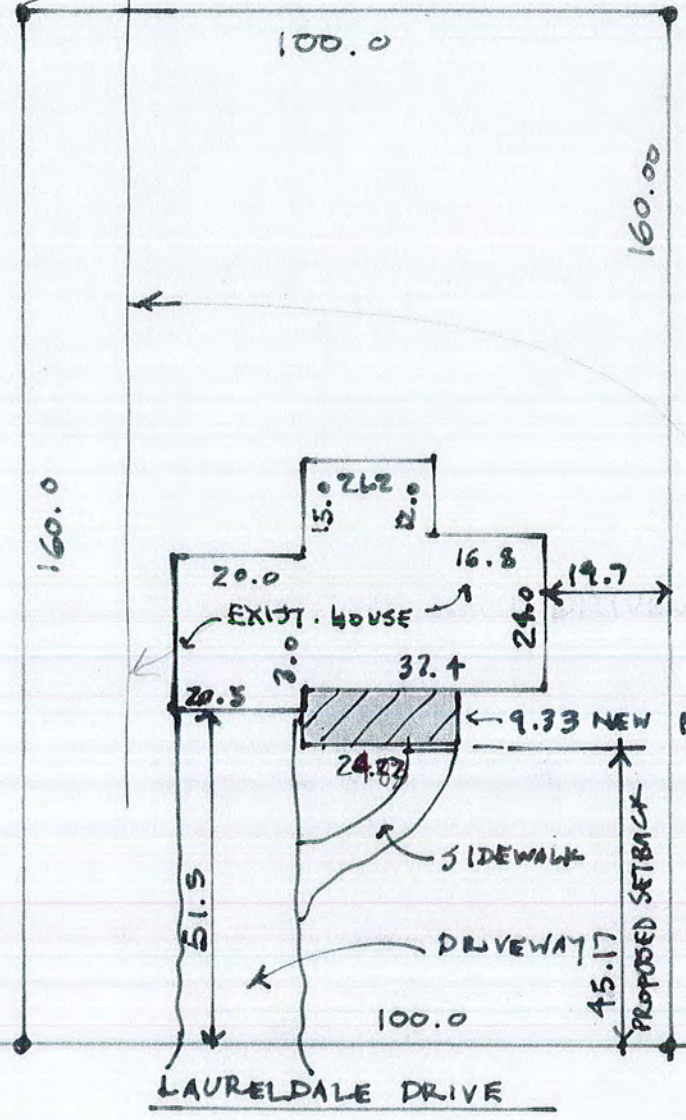
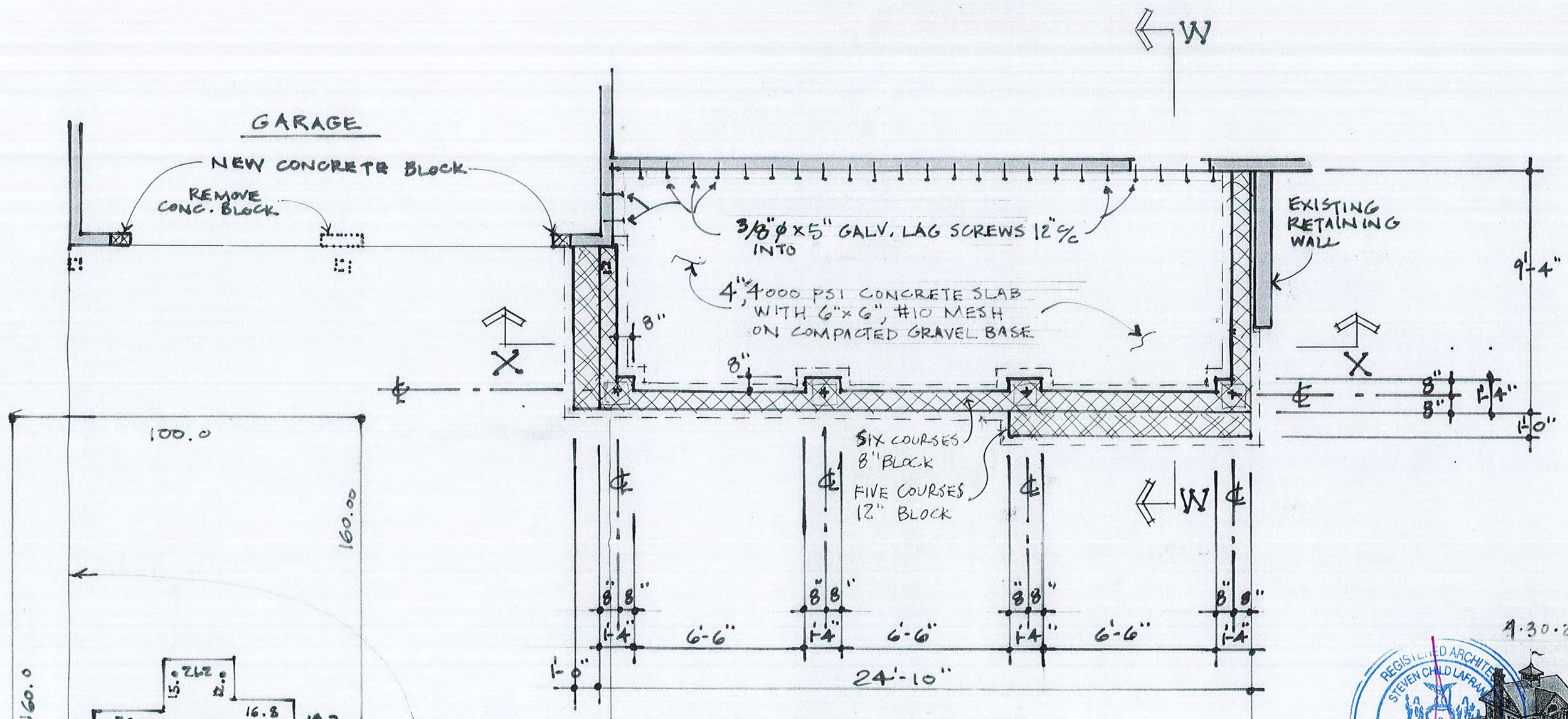
LaFranceArchitects.com
Design Counseling at Your Home
Steven LaFrance - Architect

We design and build:

- Cottages - Camps - Studios - Homes
- Whole House Remodels - Facelifts
- Family Rooms - Sunrooms
- Bedroom Suites - Kitchens - Baths
- Garages - Workshops - Poolhouses
- Examples at LaFranceArchitects.com

585 - 739 - 5039





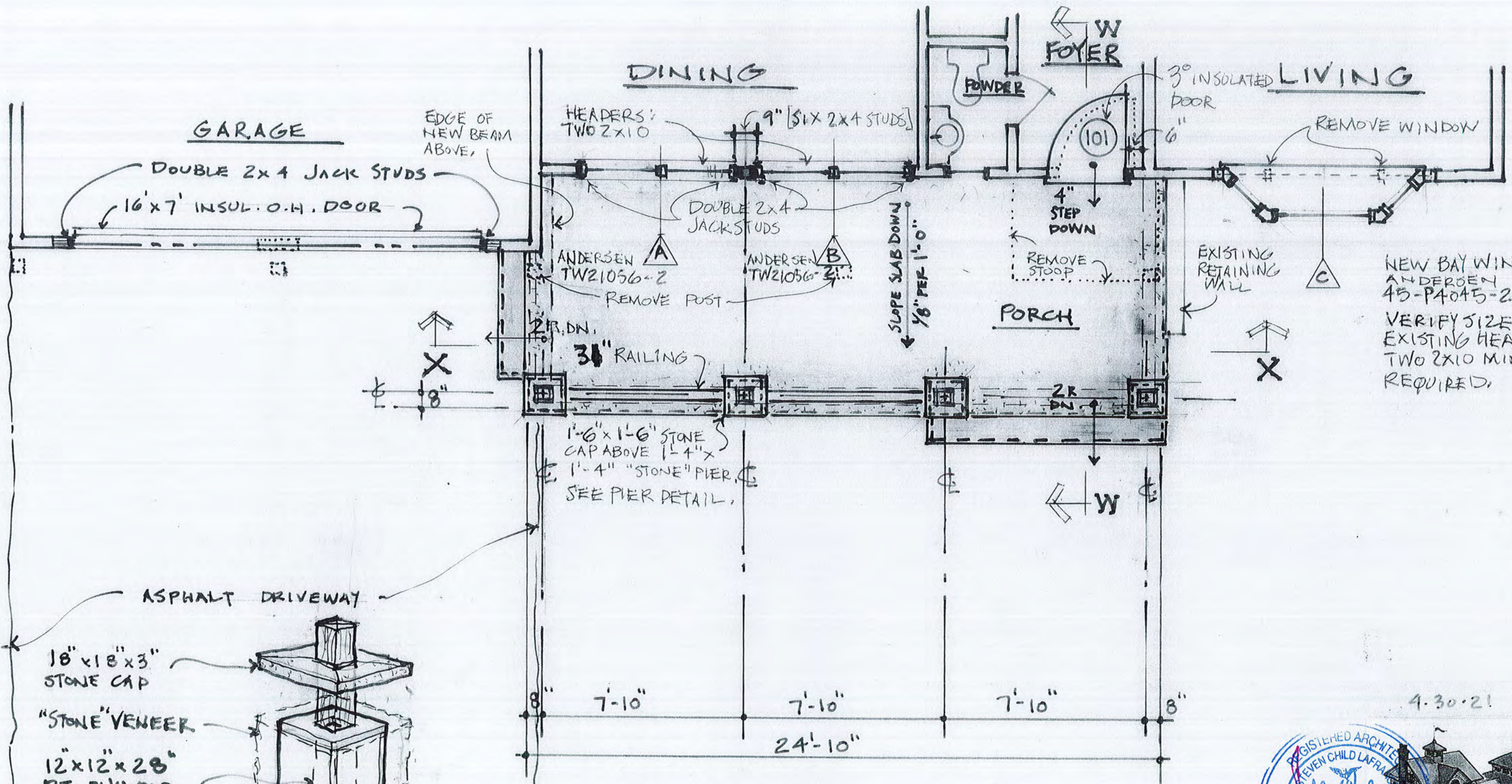
FOUNDATION PLAN
 1/4" = 1'-0"

ADDITION TO
HAHN RESIDENCE
 17 LAURELDALE DRIVE
 PITTSFORD, NY 14534



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 Examples at LaFranceArchitects.com
 585 - 739 - 5039

116



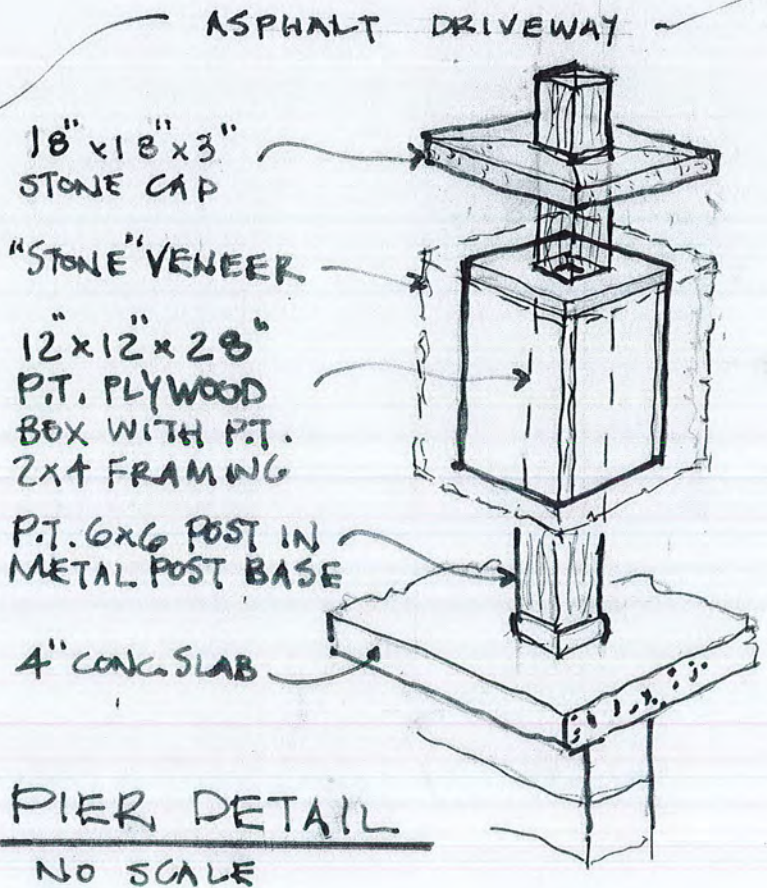
NEW BAY WINDOW
ANDERSEN
45-PA045-20,
VERIFY SIZE OF
EXISTING HEADER,
TWO 2X10 MIN.
REQUIRED.

FLOOR PLAN

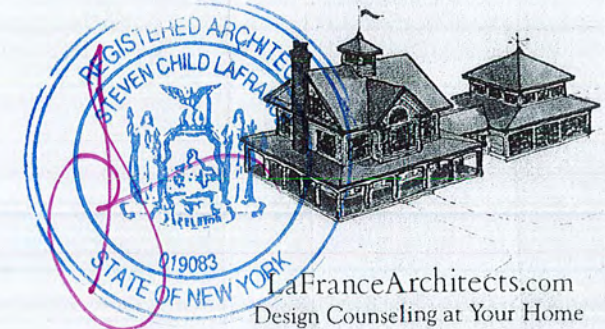
1/4" = 1'-0"

**ADDITION TO
HAHN RESIDENCE**

14 LAURELDALE DRIVE
PITTSFORD, NY 14534



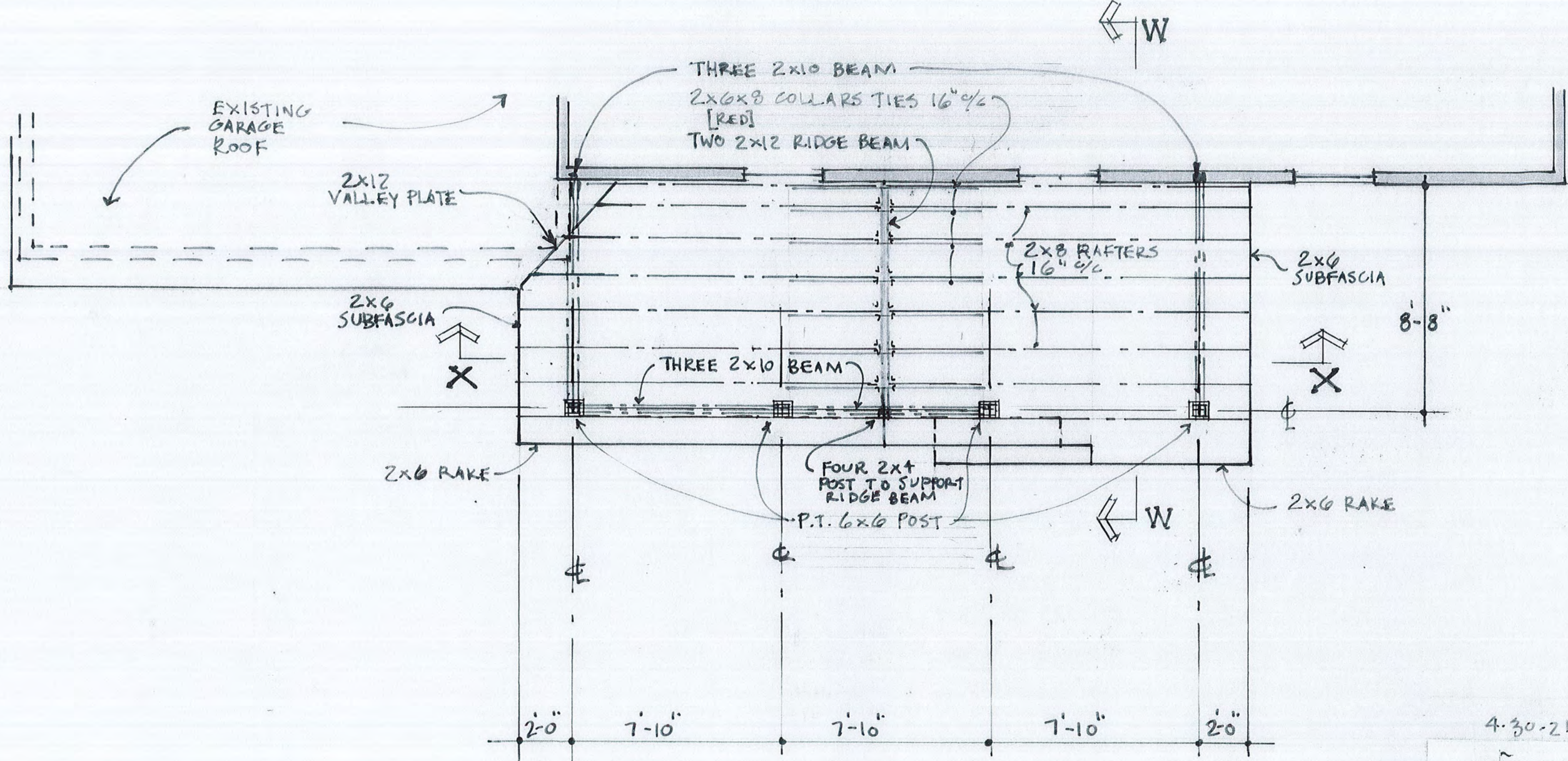
4.30.21



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Cottages - Camps - Studios - Homes
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Family Rooms - Sunrooms
Bedroom Suites - Kitchens - Baths
Garages - Workshops - Poolhouses
Examples at LaFranceArchitects.com

216

585 - 739 - 5039



ROOF FRAMING PLAN

1/4" = 1'-0"

**ADDITION TO
HAHN RESIDENCE**

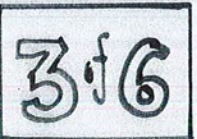
14 LAURELDALE DRIVE
PITTSFORD, NY 14534

4-30-21



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585 - 739 - 5039

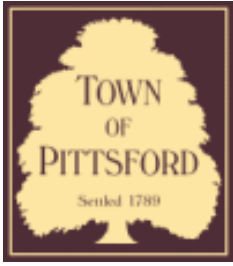


15









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000114

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 7 Settlers Green PITTSFORD, NY 14534

Tax ID Number: 163.04-5-28

Zoning District: RN Residential Neighborhood

Owner: Michalski, Francis & Geraldine

Applicant: Michalski, Francis & Geraldine

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition. The addition will be approximately 156 square feet and will be located to the rear of the home.

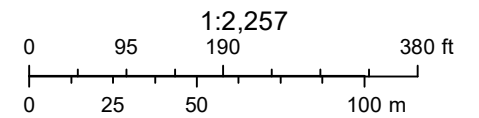
Meeting Date: June 10, 2021



RN Residential Neighborhood Zoning



Printed June 3, 2021



Town of Pittsford GIS

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Settlers Green



3

7



9

5

UNAUTHORIZED ALTERATION TO A SURVEY MAP BY AN UNLICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209, SURVEY MAP ACT, NEW YORK STATE EDUCATION LAW.

"ONLY COPIES OF THIS SURVEY MAP WITH AN ORIGINAL OF THIS SURVEY MAP EMBOSSED OR INK STAMPED TO BE TRUE VALID COPIES."
 "THE CERTIFICATION OF THIS SURVEY IS LIMITED TO THE PRESENT SURVEY WAS PREPARED AND THE TITLE INSURED AND IS NOT TRANSFERABLE."

N/F HAILONG HOU & L. 11810, PG. 66

LIMITS OF DRAINAGE CONVEYANCE TO THE TOWN OF PITTSFORD PER L. 9539, PG. 66

LIMITS OF EASEMENT GRANTED TO AS SHOWN PER MAP REF. "A" AS SHOWN PER MAP REF. "B"

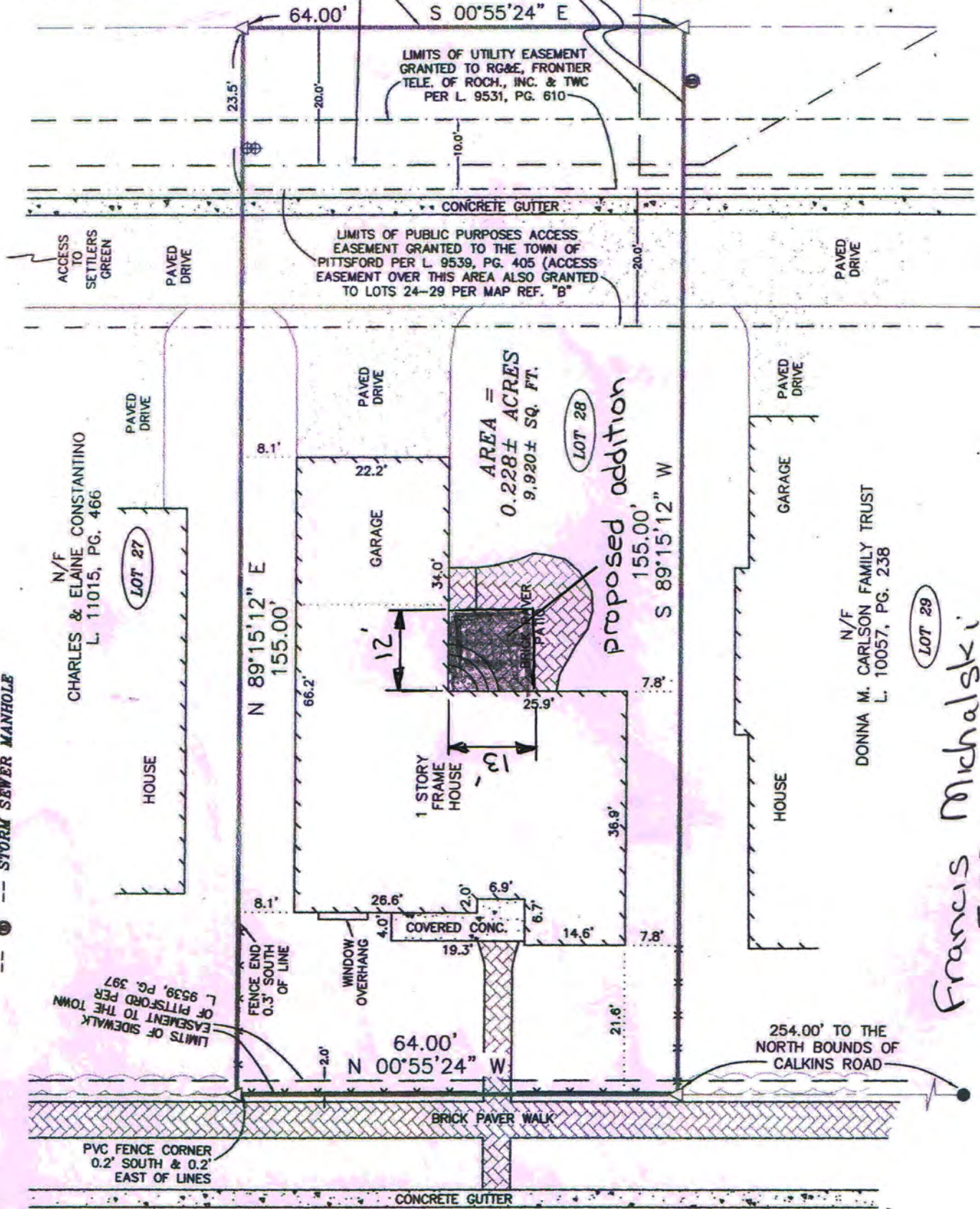
EDWARD & L. 11810

SURV LANDS TO BE FRANCIS A. MICHAL

TAX LOT SITUATE AT BEING L. 10057, PG. 238
 TOWN OF PITTSFORD
 COUNTY OF WASHINGTON
 STATE OF NEW YORK

PLAT #18-M-72

- CORNER NO MARKER
- FOUND IRON PIN
- PVC PICKET FENCE
- BURIED UTILITY PEDESTAL
- STORM SEWER MANHOLE

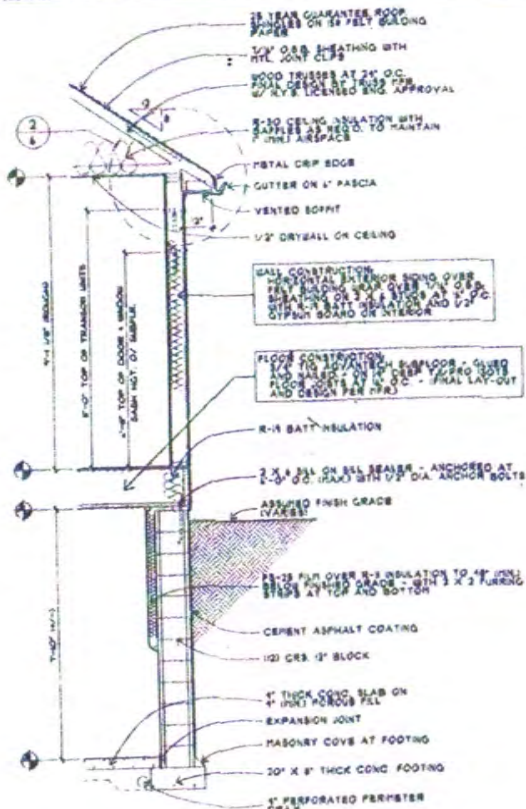


PS. PG. 66

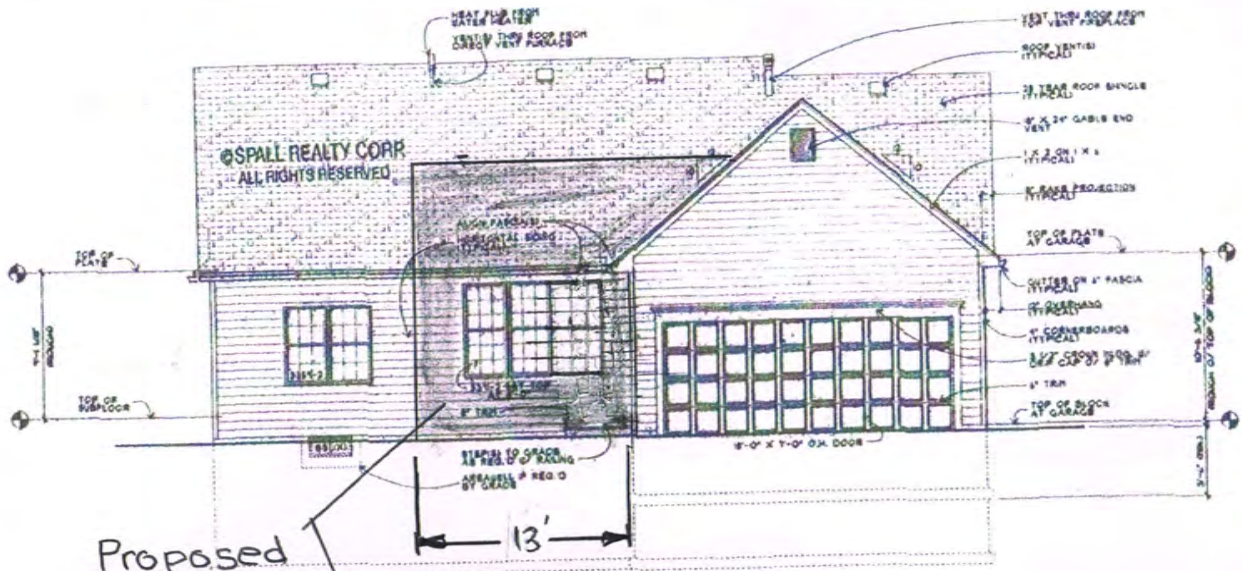
#7 SETTLERS GREEN

Francis Michalski



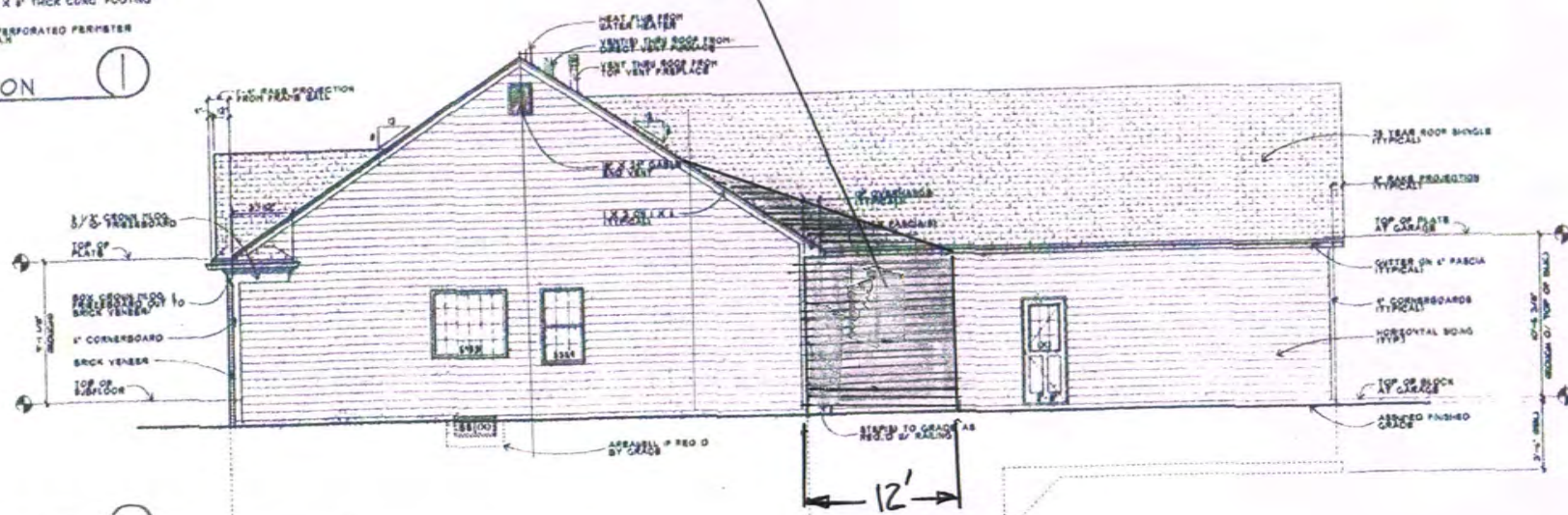


TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Proposed addition



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

7 Settlers Green
Francis Michalski
585-683-2661

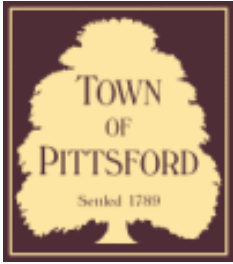
OX1 WINDOWS WITH THE SYMBOL ARE NOT LOW-E HOUSEHOLD INSULATING GLASS. WINDOW NUMBERS ON ELEVATIONS ARE FOR PELLA PRO-LINE SERIES UNITS.







11



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000112

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 10 Split Rock Road PITTSFORD, NY 14534

Tax ID Number: 164.09-2-50

Zoning District: RN Residential Neighborhood

Owner: Manning, Matthew T

Applicant: Larry Lazarro

Application Type:

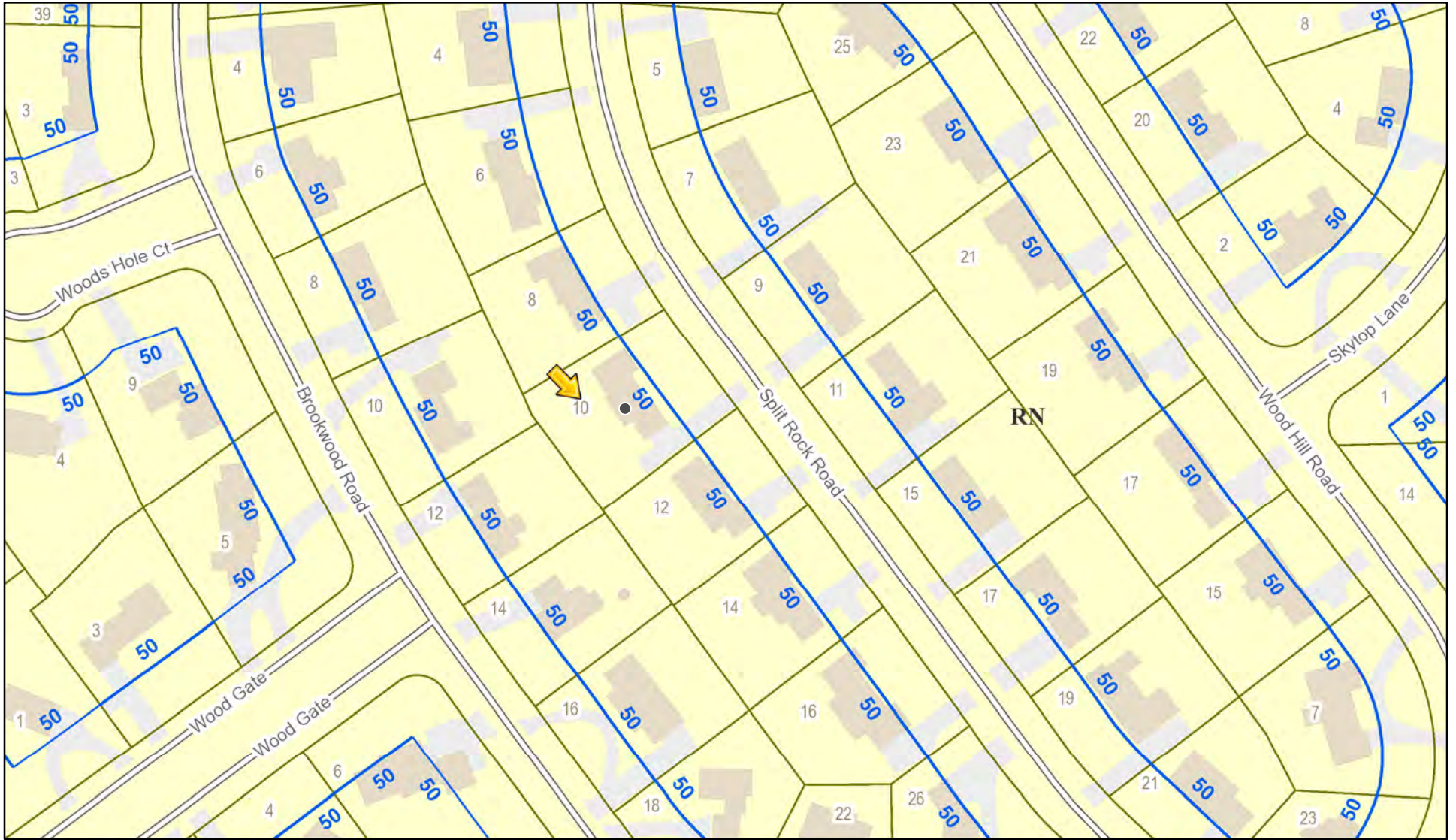
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
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§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 320 square feet and will be located to the rear of the home.

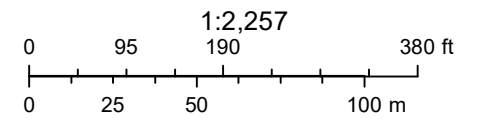
Meeting Date: June 10, 2021



RN Residential Neighborhood Zoning



Printed June 3, 2021



Town of Pittsford GIS

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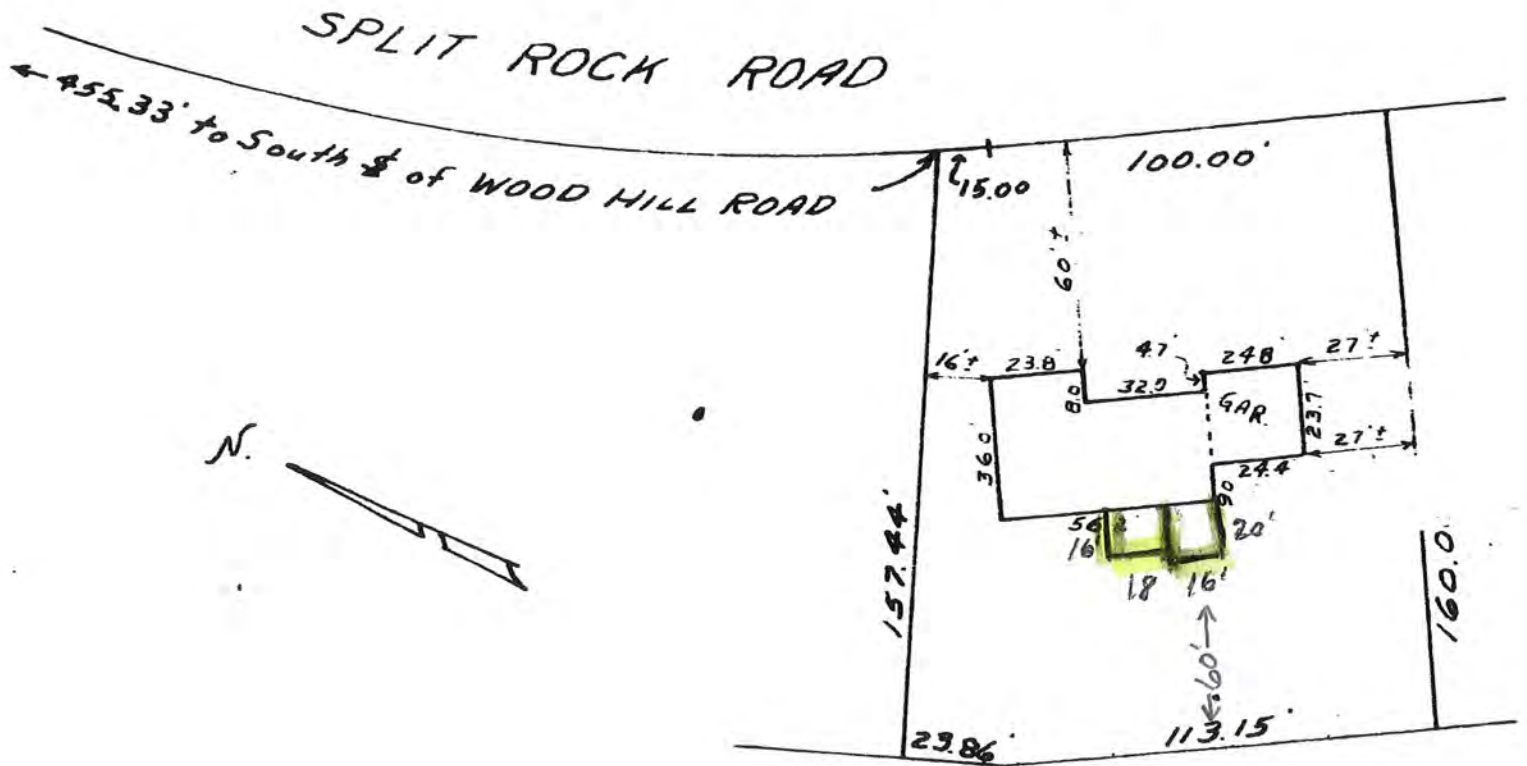
12

TAPE LOCATION MAP

NAME TOBEY ESTATES Sec. 2 JOB NO. 60-10
 STREET SPLIT ROCK ROAD VILLAGE PITTSFORD, N.Y.
 CITY PITTSFORD, N.Y.
 TOWN
 LOT NO. 208 LIBER 172 OF MAPS: PAGE 31
 SHOWING Two STORY framed DWELLING: GARAGE, YES NO ATTACHED YES
 DISTANCE AS SHOWN FROM NORTHERLY PROPERTY LINE ACTUALLY MEASURED
 MONUMENTS USED: YES NO

ALL BUILDINGS ON PREMISES AND ANY APPARENT ENCROACHMENT BY OR ON PREMISES ARE SHOWN.

MAIN FRONT WALL IS (~~IS NOT~~) ON APPARENT UNIFORM SET-BACK LINE.



REMARKS: THIS INFORMATION IS FOR RYAN HOMES, INC.

THIS IS NOT AN INSTRUMENT SURVEY AND INFORMATION SHOWN SHOULD NOT BE USED FOR BUILDING PURPOSES OR EXACT LOCATION OF PROPERTY LINES.

LOZIER ENGINEERS, INC.
 10 GIBBS STREET
 ROCHESTER, NEW YORK 14604

DATED SEPT. 12, 1967

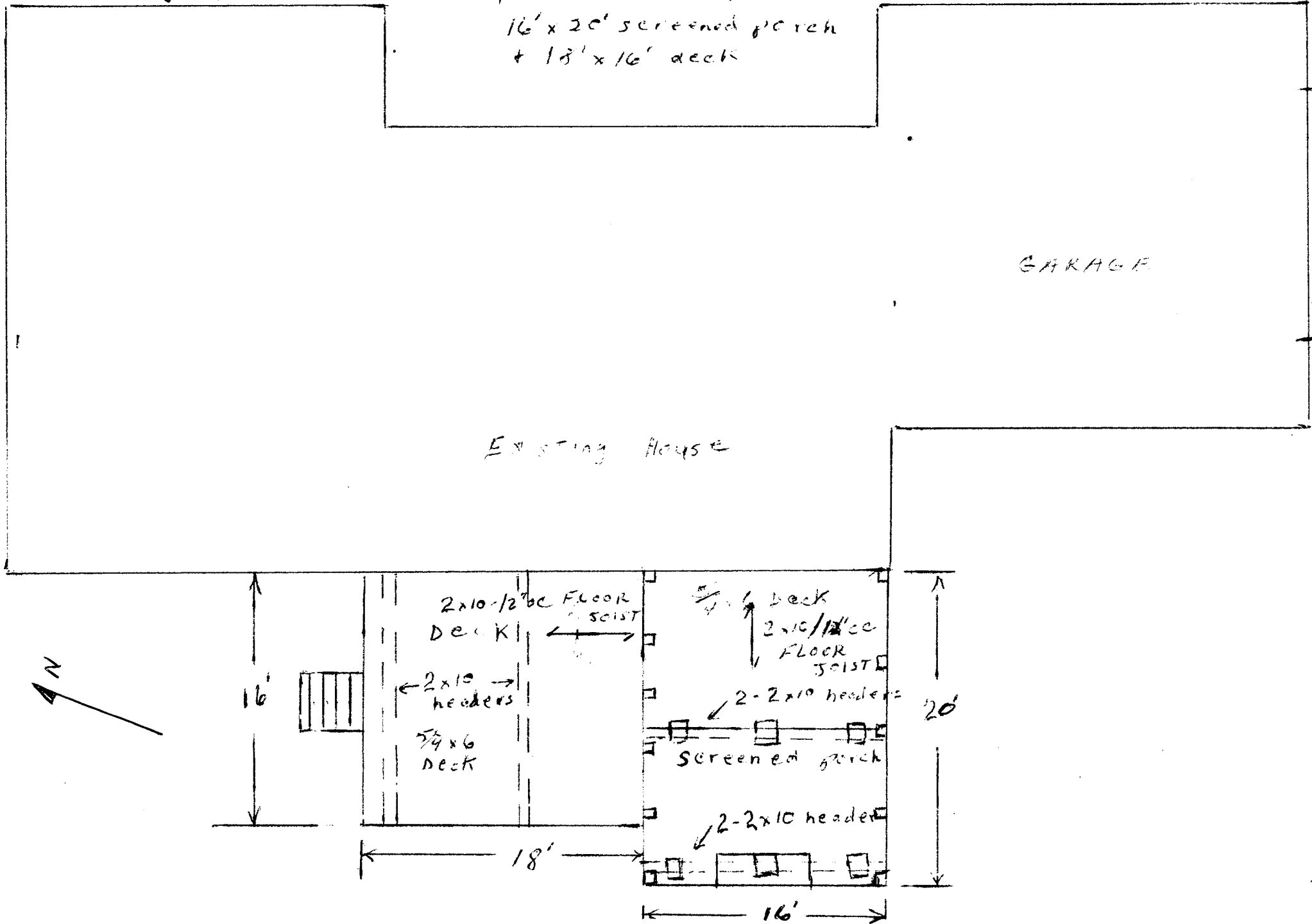
SIGNED: N.Y. STATE LICENSE NO. 28726 L.S.

Robert D. P. I.

10 SPIT ROCK RD
Pittsford N.Y. 14534
Scale: $\frac{1}{8}" = 1'-0"$

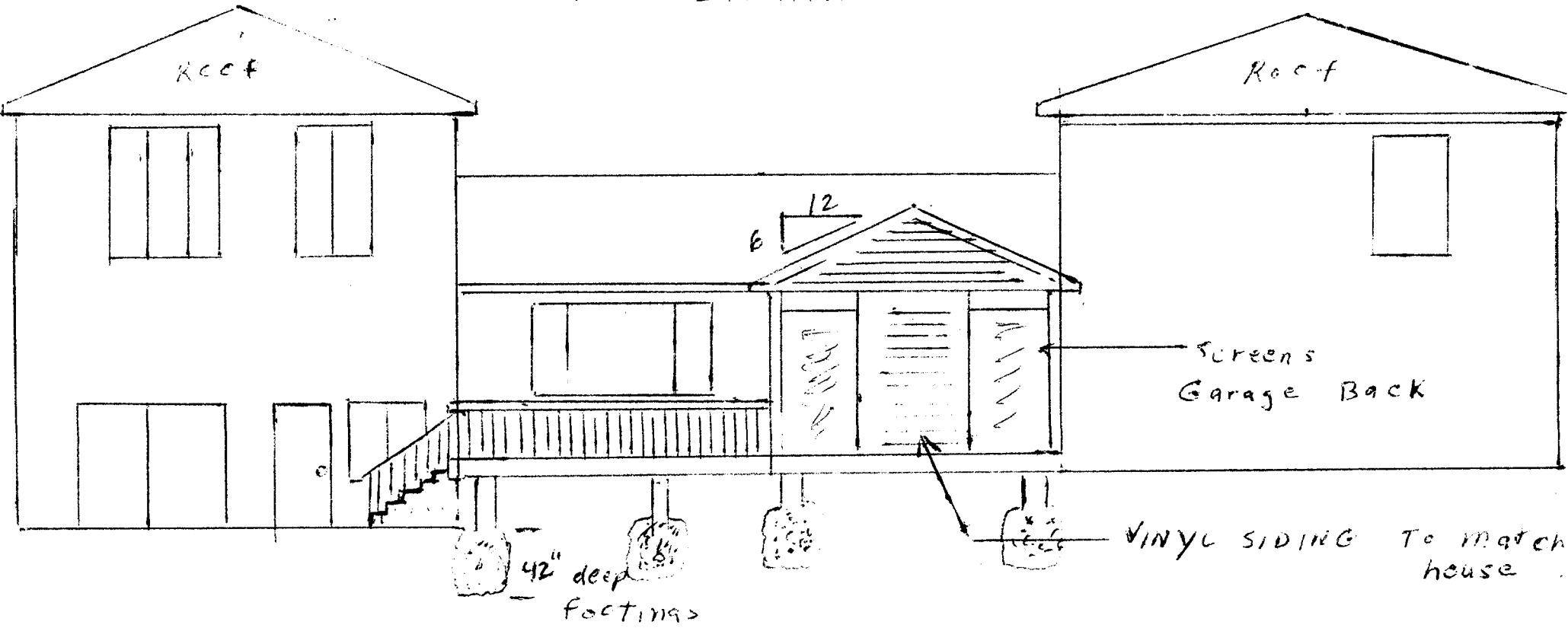
FRONT of House
FLOOR PLAN for
16' x 20' screened porch
+ 18' x 16' deck

Fig 1



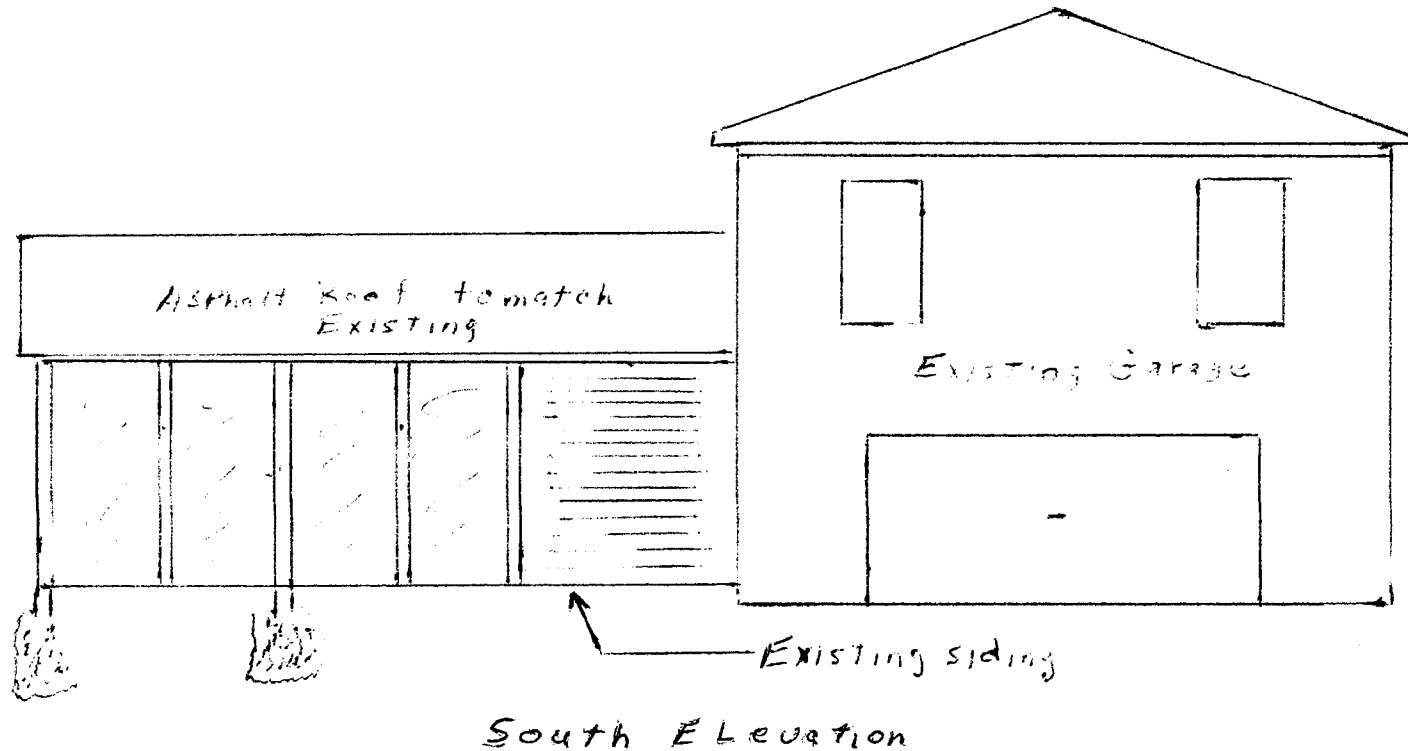
MAT + Keary MANNING
10 split Rock Rd
Pittsford N.Y. 14534
scale 1/8" = 1'-0"

WEST ELEVATION



MATT & KEARY MANING
10 Split Rock Rd
Pittsford, N.Y. 14534
Scale: $\frac{1}{8}'' = 1'-0''$

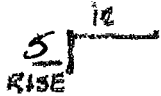
#3



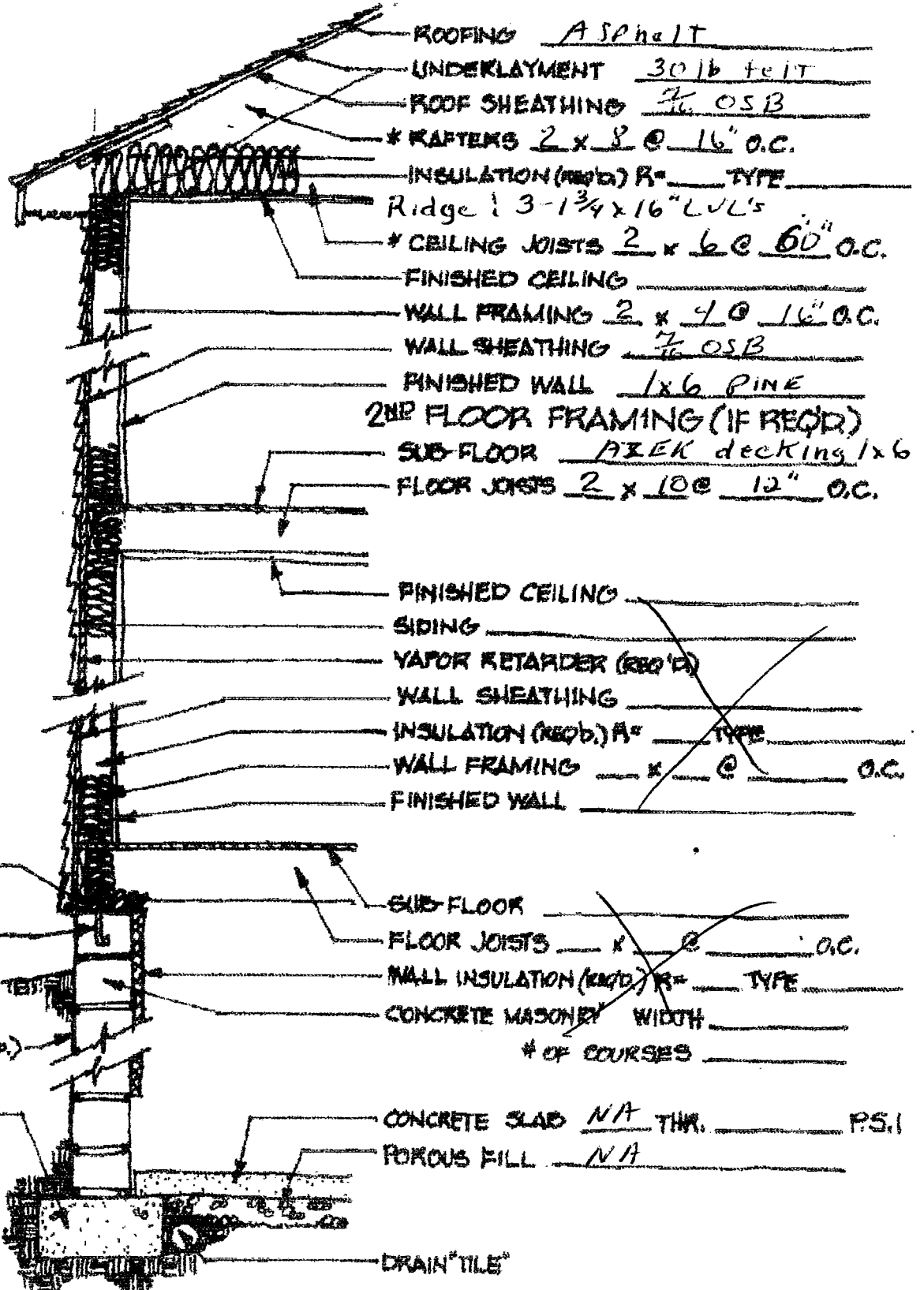
MATT + Keary MANNING
 10 Split Rock Rd
 Pittsford, N.Y. 14534

PS# 4

PROJECT MANNING
 SUBJECT TYPICAL WALL SECTION
 CALC. BY _____ DATE _____ SHEET _____ OF _____
 CHECKED BY _____ DATE _____ PROJECT NO. _____



* ALTERNATE
 WOOD TRUSSES
 @ _____ O.C.
 (MANUFACTURERS
 DATA REQUIRED)



SILL PLATE ON
 SILL SEALER

ANCHOR BOLTS

DAMP PROOFING (REQ'D)

FOOTING

DEPTH 42"
 WIDTH 15"

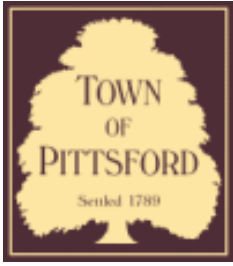
ROOFING Asphalt
 UNDERLAYMENT 30 lb felt
 ROOF SHEATHING 7/8 OSB
 * RAFTERS 2 x 8 @ 16" O.C.
 INSULATION (REQ'D) R= _____ TYPE _____
 Ridge: 3-1 3/4 x 16" LVL's
 * CEILING JOISTS 2 x 6 @ 60" O.C.
 FINISHED CEILING _____
 WALL FRAMING 2 x 4 @ 16" O.C.
 WALL SHEATHING 7/8 OSB
 FINISHED WALL 1x6 PINE
 2ND FLOOR FRAMING (IF REQ'D)
 SUB-FLOOR AZEK decking 1x6
 FLOOR JOISTS 2 x 10 @ 12" O.C.
 FINISHED CEILING _____
 SIDING _____
 VAPOR RETARDER (REQ'D) _____
 WALL SHEATHING _____
 INSULATION (REQ'D) R= _____ TYPE _____
 WALL FRAMING _____ x @ _____ O.C.
 FINISHED WALL _____
 SUB-FLOOR _____
 FLOOR JOISTS _____ x @ _____ O.C.
 WALL INSULATION (REQ'D) R= _____ TYPE _____
 CONCRETE MASONRY WIDTH _____
 # OF COURSES _____
 CONCRETE SLAB NA THK. P.S.I.
 POROUS FILL NA
 DRAIN "TILE"





ROOFING
KEEP OFF





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000113

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 111 Overbrook Road ROCHESTER, NY 14618

Tax ID Number: 138.18-1-36

Zoning District: RN Residential Neighborhood

Owner: Rubino, Claudia

Applicant: Greater Living Architecture

Application Type:

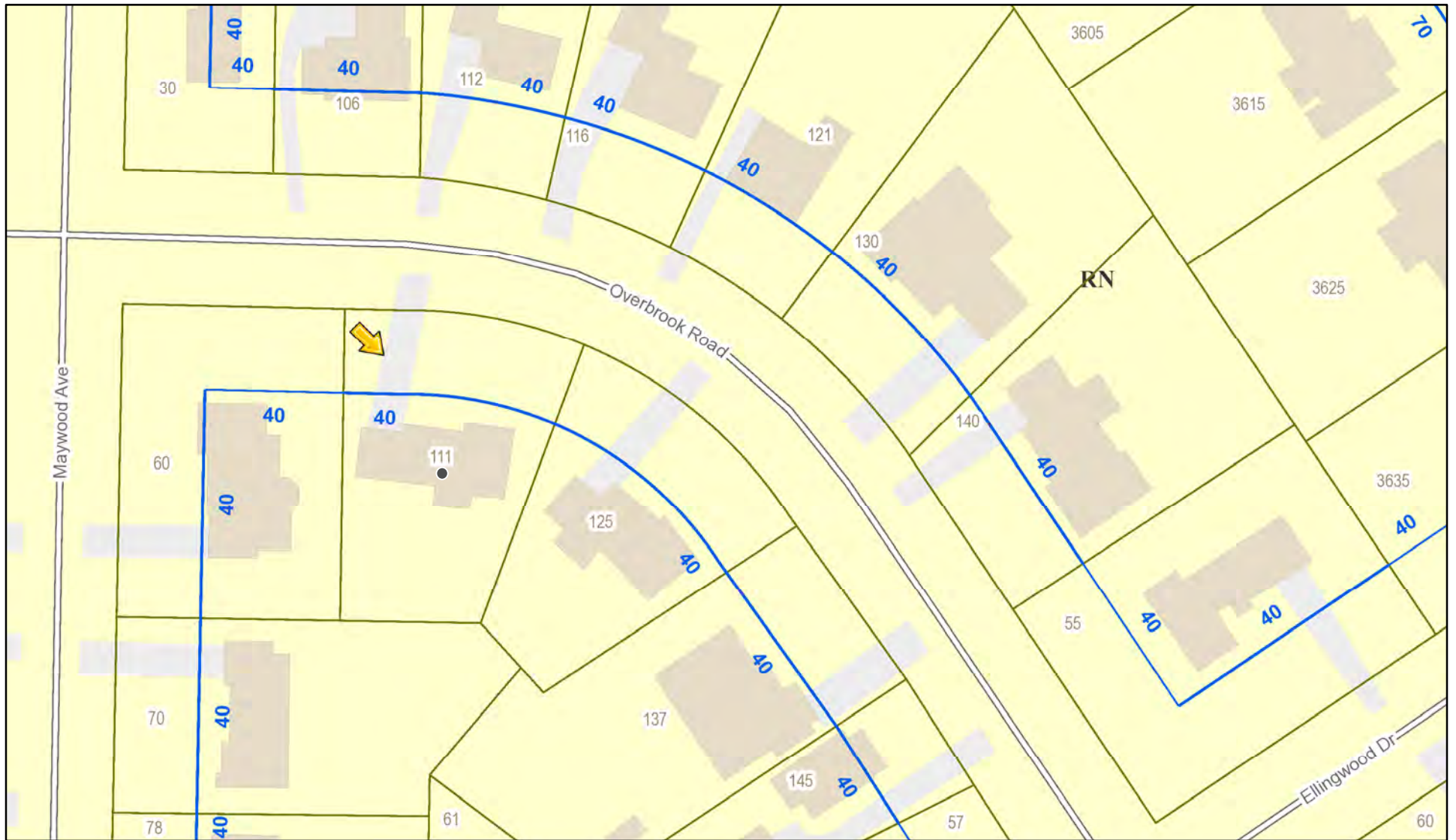
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for two additions. There will be an addition to the front of the home to expand the dining room and kitchen. There will also be an addition to the rear of the home for an owners suite, mudroom and laundry room. The applicant has received a variance from the Zoning Board for the side setback.

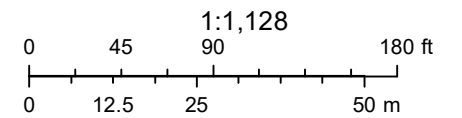
Meeting Date: June 10, 2021



RN Residential Neighborhood Zoning

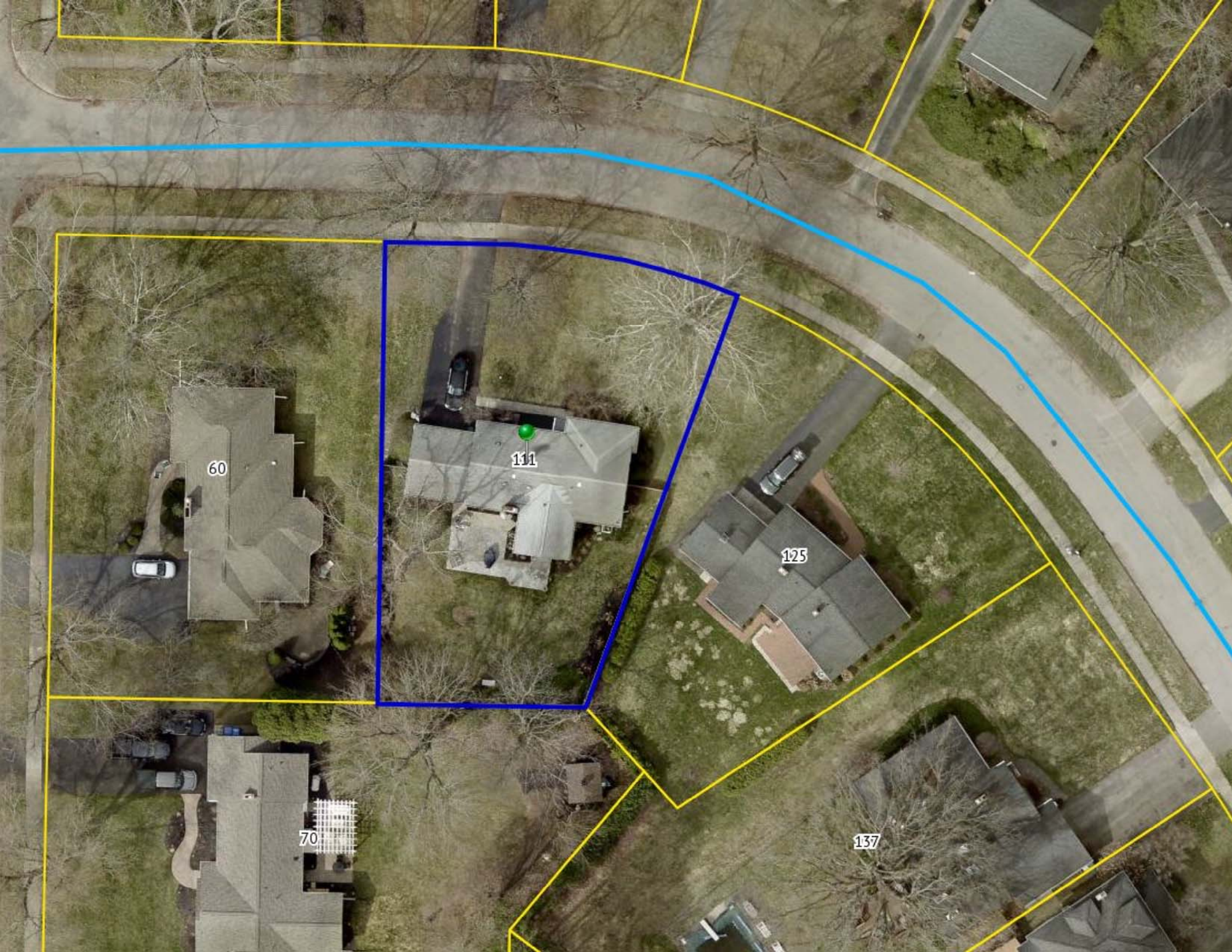


Printed June 3, 2021



Town of Pittsford GIS

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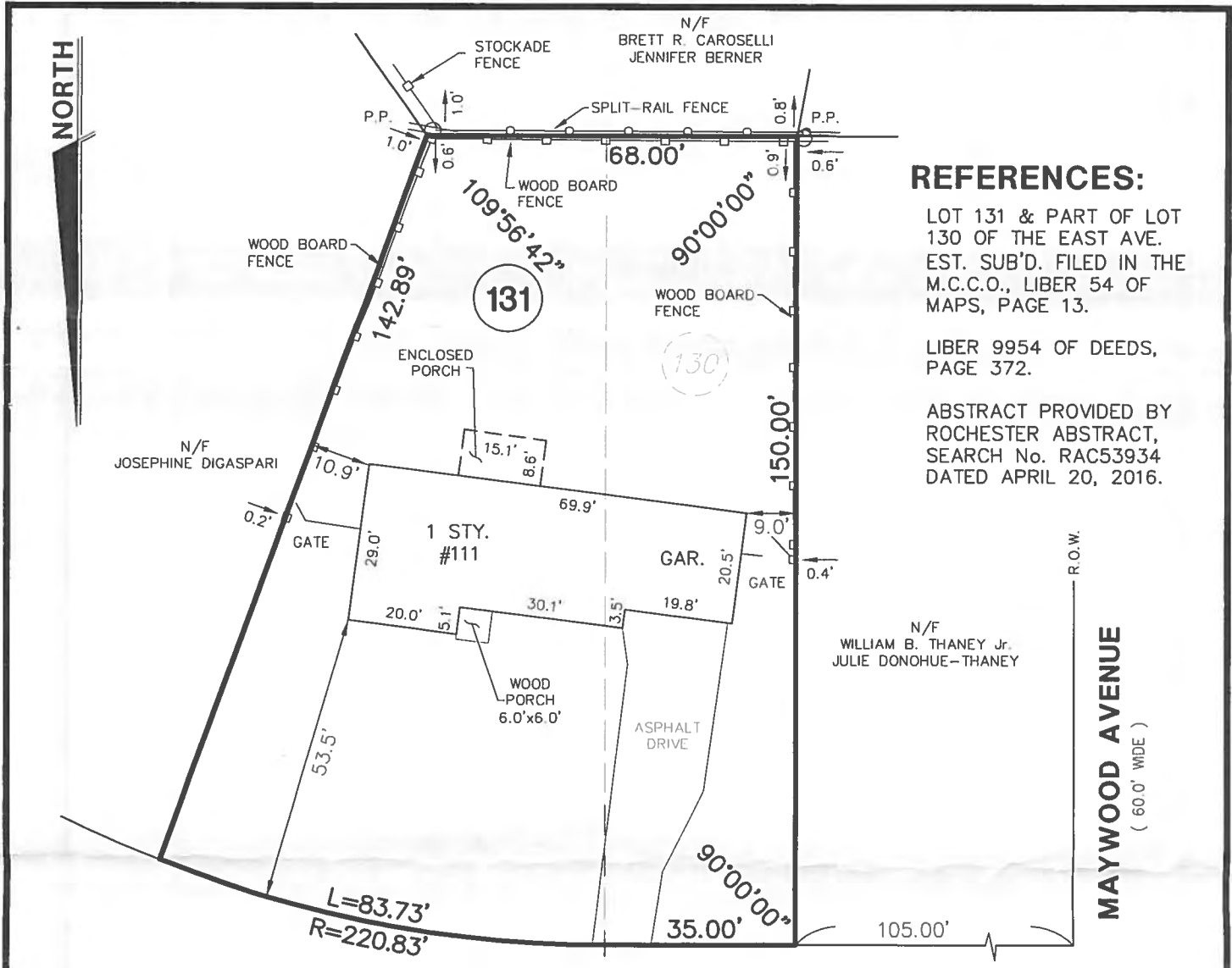
60

111

125

70

137



REFERENCES:

LOT 131 & PART OF LOT 130 OF THE EAST AVE. EST. SUB'D. FILED IN THE M.C.C.O., LIBER 54 OF MAPS, PAGE 13.

LIBER 9954 OF DEEDS, PAGE 372.

ABSTRACT PROVIDED BY ROCHESTER ABSTRACT, SEARCH No. RAC53934 DATED APRIL 20, 2016.

OVERBROOK (60.0' WIDE) ROAD

**MAP OF AN INSTRUMENT SURVEY OF:
#111 OVERBROOK ROAD**

SITUATE IN:
TOWN OF PITTSFORD MONROE COUNTY NEW YORK

DATE: APRIL 26, 2018 SCALE: 1" = 30'

ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF ARTICLE 145, SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

WE, PARRONE ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON APRIL 25, 2018.

David S. Staerr
DAVID S. STAERR, P.L.S. LIC. NO. 049962
PARRONE ENGINEERING



THE PIANO WORKS
349 WEST COMMERCIAL STREET
SUITE 3200
EAST ROCHESTER, NY 14445
T 585.586.0200 F 585.586.6752







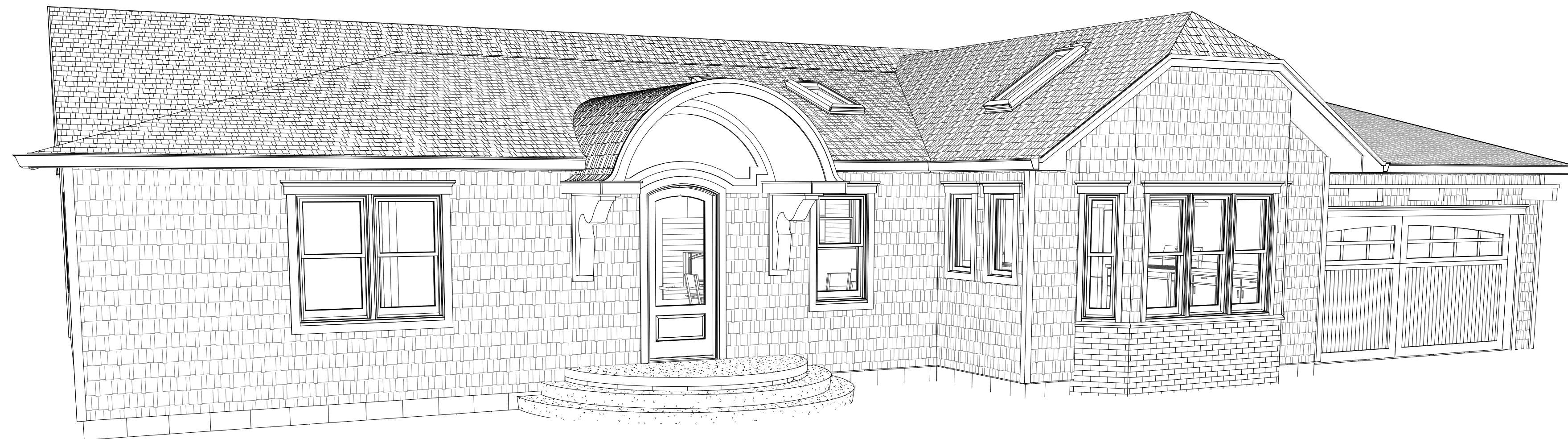






RUBINO RESIDENCE

111 OVERBROOK ROAD ROCHESTER, N.Y. 14618



CLIENT:
CLAUDIA RUBINO

DATE:
5-14-21

ARCHITECT:

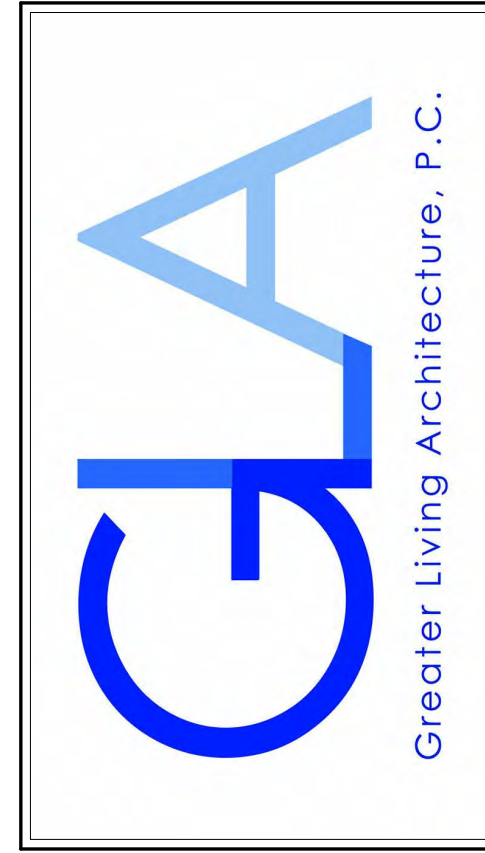


Greater Living Architecture, P.C.
3033 BRIGHTON HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623

DRAWING LIST

- A1 PROPOSED FLOOR PLAN
- A2 PROPOSED EXTERIOR ELEVATIONS
- A51 ARCHITECTURAL SITE PLAN

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3033 BRIGHTON-HENRIETTA
 TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greaterviving.com

CONSULTANT:

CLIENT/LOCATION:
 CLAUDIA RUBINO
 111 OVERBROOK ROAD
 ROCHESTER, N.Y. 14618

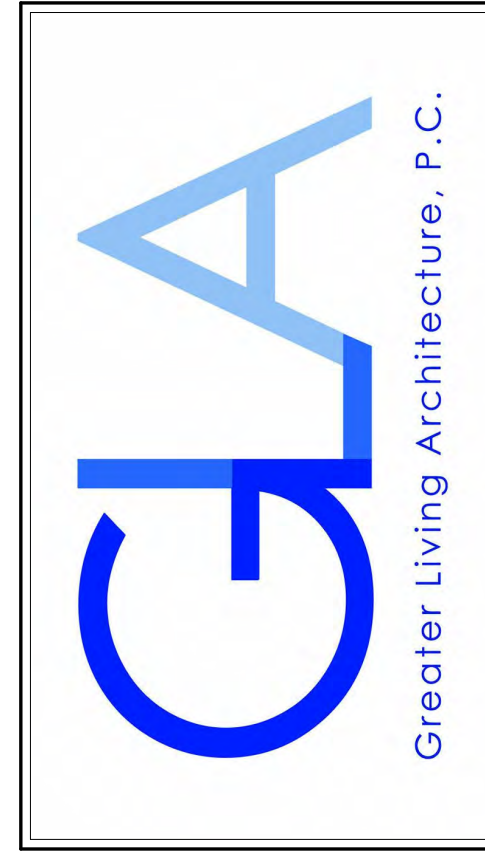
REVISIONS:

DATE	BY	DESCRIPTION

COVER PAGE

DRAWN: KJT	DATE: 5/14/21
PROJECT: 21105	SHEET: CO

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 www.greaterliving.com

CONSULTANT:

CLIENT/LOCATION:
 CLAUDIA RUBINO
 111 OVERBROOK ROAD
 ROCHESTER, N.Y. 14618

REVISIONS:

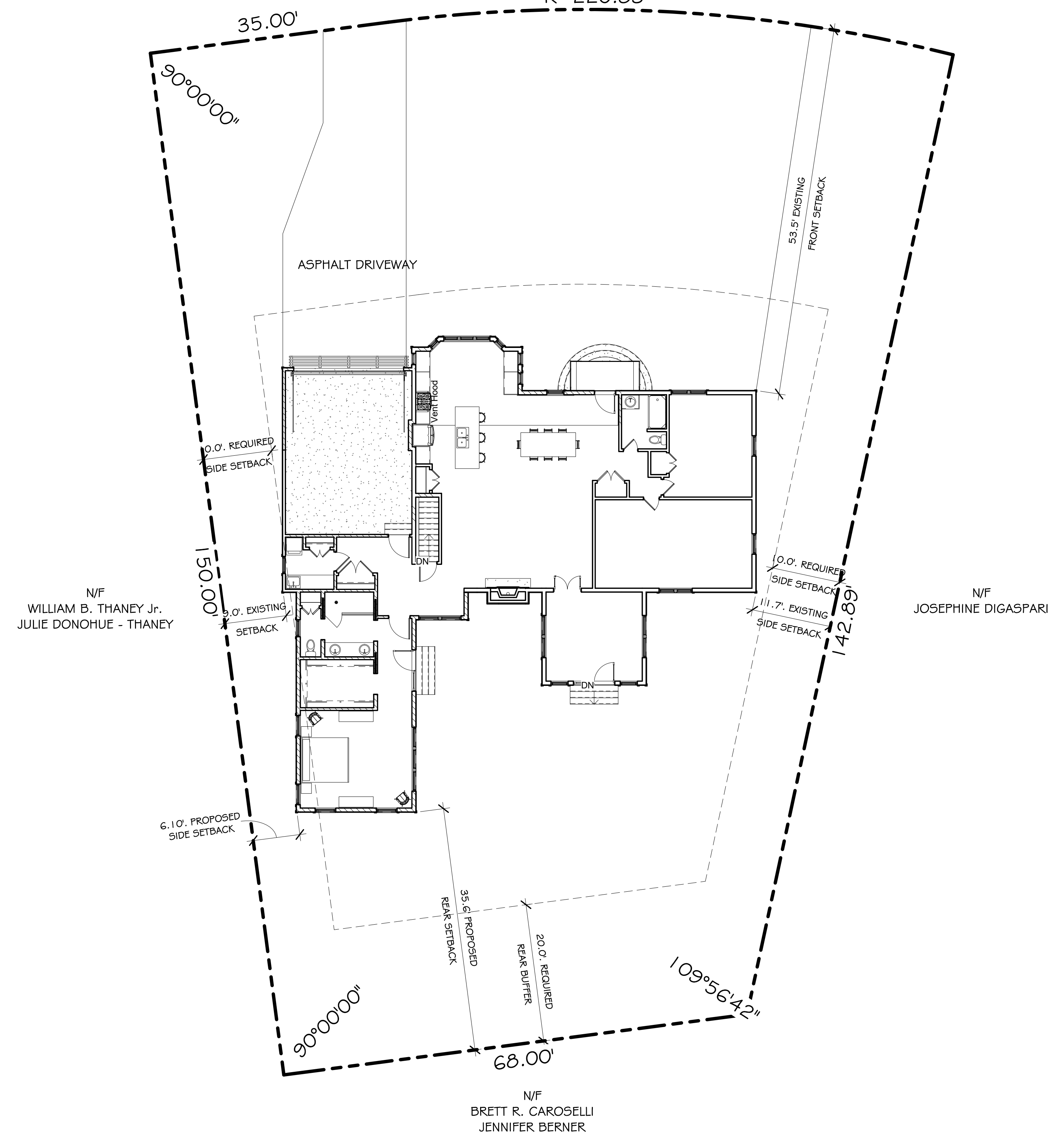
DATE	BY	DESCRIPTION

ARCHITECTURAL SITE PLAN

DRAWN: KJT	DATE: 5/14/21
PROJECT: 21105	SHEET: AS1

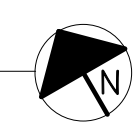
OVERBROOK ROAD
 (60.0' WIDE R.O.W.)

L=83.73'
 R=220.83'

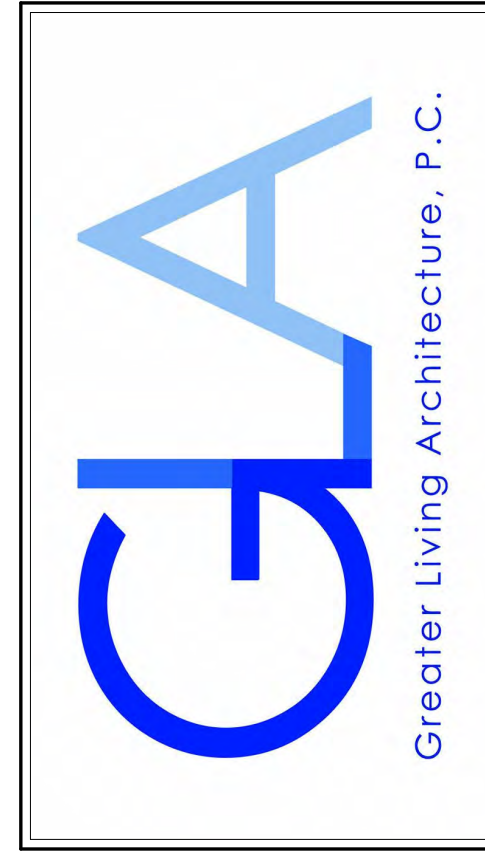


GENERAL NOTE:
 ARCHITECTURAL SITE PLAN PRODUCED FROM INFORMATION GIVEN ON A INSTRUMENT SURVEY DATED APRIL 26, 2018 FOR TAX # 138.18-36. GREATER LIVING ARCHITECTURE IS NOT LIABLE FOR INACCURACIES FROM THE INSTRUMENT SURVEY.

ARCHITECTURAL SITE PLAN
 1" = 10'-0"



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CONSULTANT:

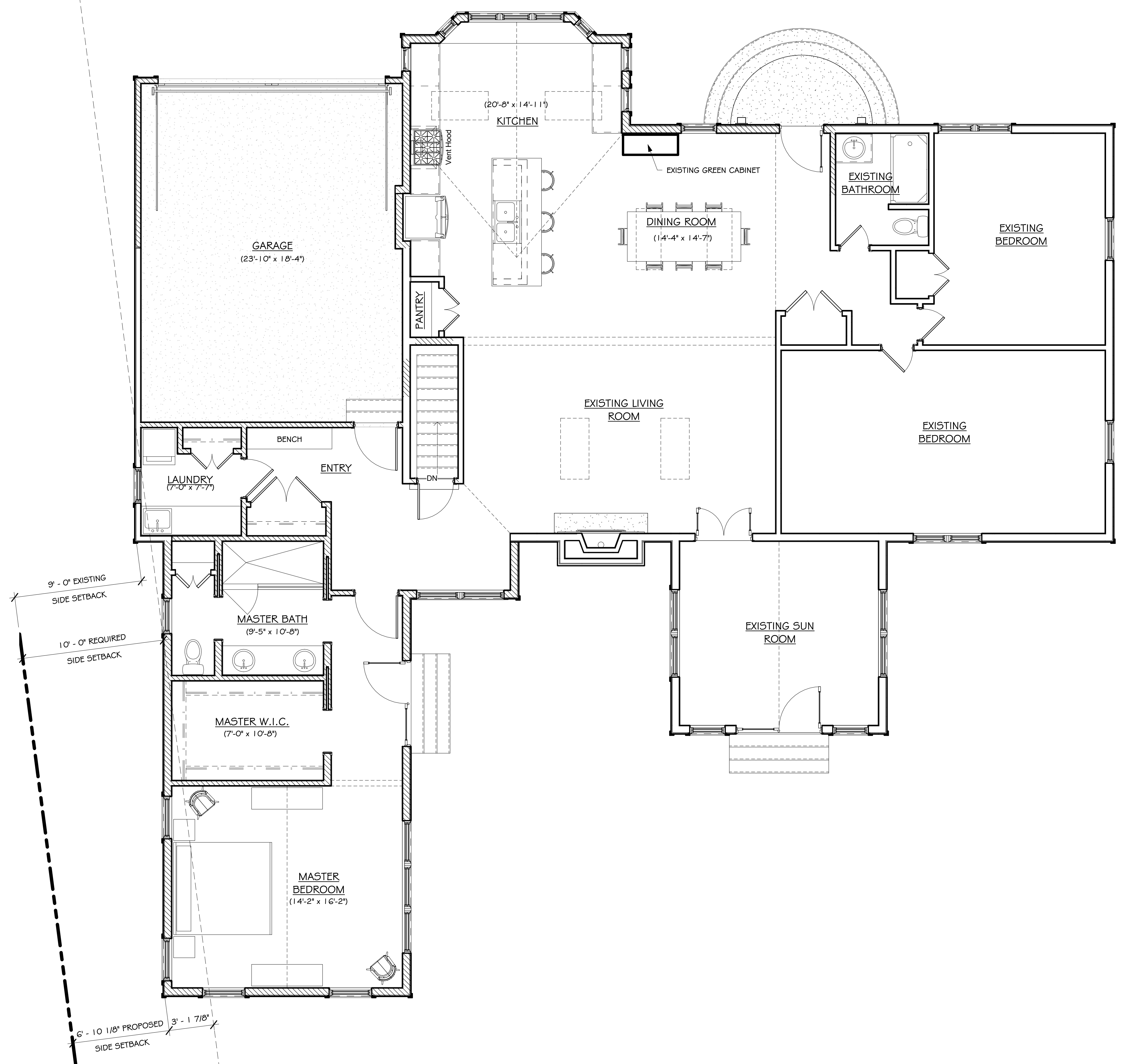
CLIENT/LOCATION:
 CLAUDIA RUBINO
 111 OVERBROOK ROAD
 ROCHESTER, N.Y. 14618

REVISIONS:

DATE	BY	DESCRIPTION

FLOOR PLAN

DRAWN: KJT	DATE: 5/14/21
PROJECT: 21105	SHEET: A1



FIRST FLOOR PLAN
 1/4" = 1'-0"

- GENERAL NOTES:**
- 1) ALL NEW PLUMBING FIXTURES TO BE CONNECTED TO EXISTING SUPPLY & WASTE LINES.
 - 2) VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
 - 3) CONTRACTOR TO SUPPLY SOLID BLOCKING IN WALLS FOR ATTACHMENT OF ALL TOILET ROOM ACCESSORIES, DOOR STOPS, SHELVING & OTHER SURFACE MOUNTED DEVICES.
 - 4) WALL FRAMING:
 INTERIOR WALLS: 2x4 STUDS @ 16" O.C.
 (PROVIDE 2x6 WALL BEHIND ALL NEW TOILET LOCATIONS)
 (PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS & KITCHEN LOCATIONS.)
 - 5) SEAL ALL NEW EXTERIOR WALL PENETRATIONS.



1 NORTH ELEVATION
1/4" = 1'-0"

FIRST FLOOR PLAN 



2 SOUTH ELEVATION
1/4" = 1'-0"

FIRST FLOOR PLAN 



3 WEST ELEVATION
1/4" = 1'-0"

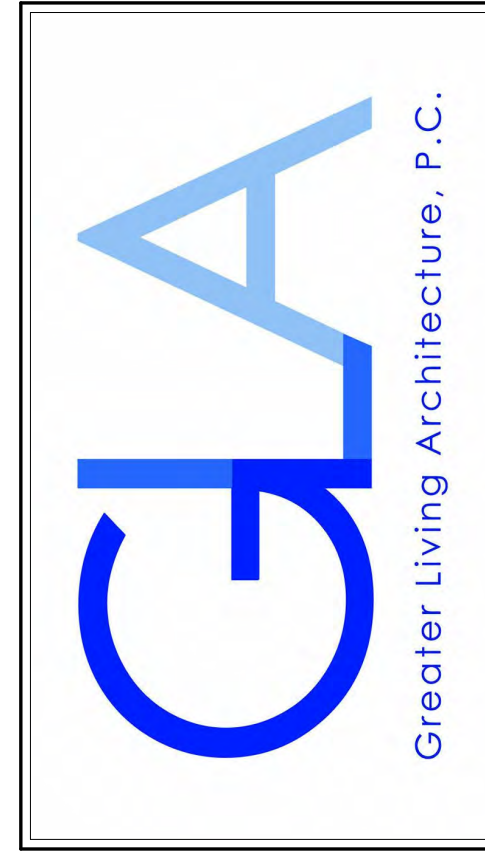
FIRST FLOOR PLAN 



4 EAST ELEVATION
1/4" = 1'-0"

FIRST FLOOR PLAN 

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 FAX: (585) 292-1262
 www.greaterviving.com

CONSULTANT:

CLIENT/LOCATION:
 CLAUDIA RUBINO
 111 OVERBROOK ROAD
 ROCHESTER, N.Y. 14618

REVISIONS:

DATE	BY	DESCRIPTION

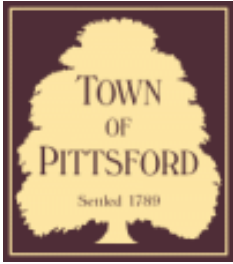
EXTERIOR ELEVATIONS

DRAWN: KJT	DATE: 5/14/21
PROJECT: 21105	SHEET: A2









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA21-000035

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 145 Long Meadow Circle PITTSFORD, NY 14534

Tax ID Number: 150.20-2-12.1

Zoning District: RN Residential Neighborhood

Owner: Fliss, Michael C

Applicant: Fliss, Michael C

Application Type:

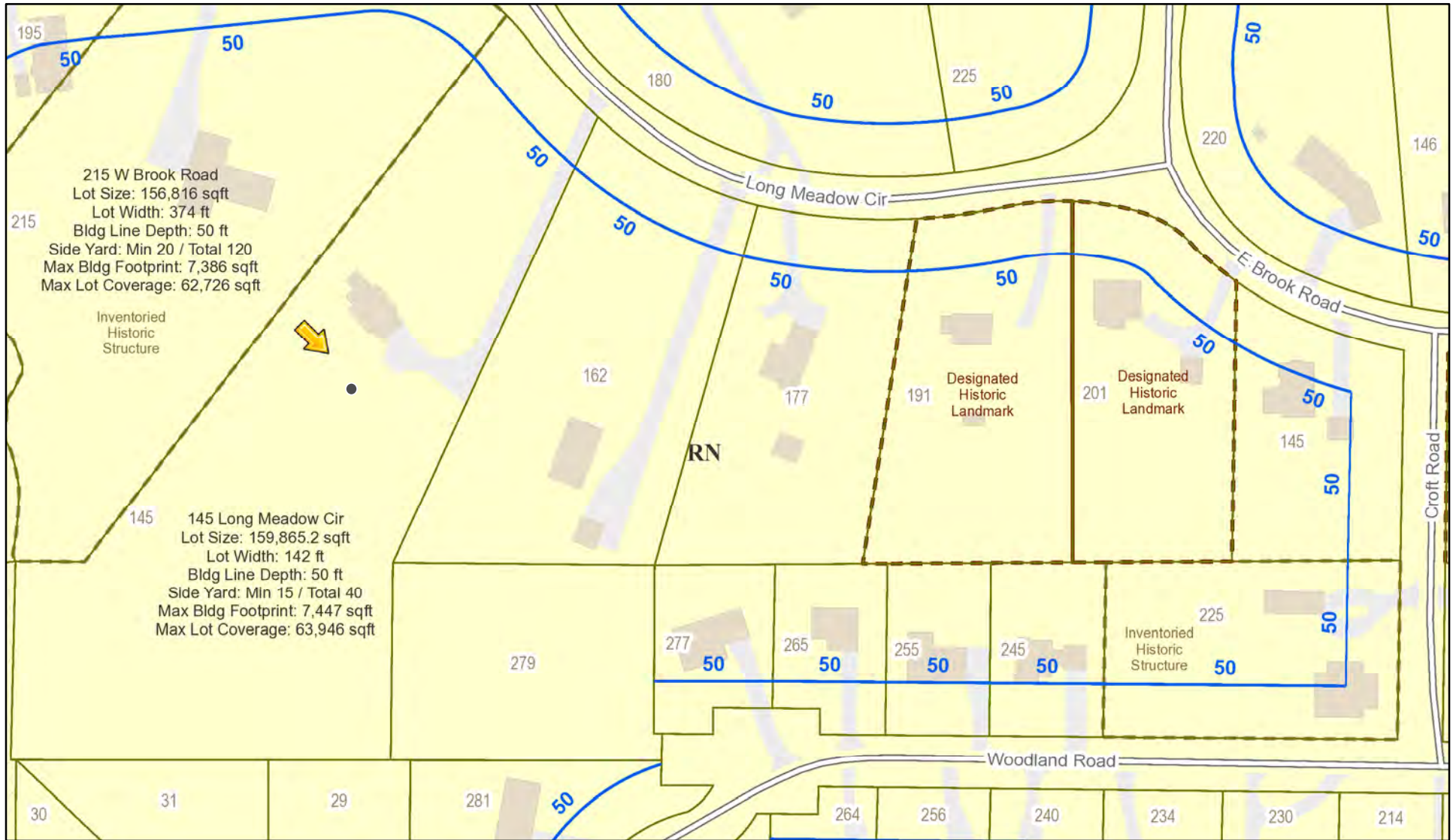
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a shed. The shed will be approximately 352 square feet. The applicant was approved by the Zoning Board for an oversized accessory structure, over allowed height and forward of the rear wall of the home.

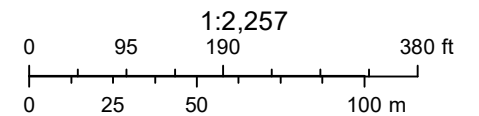
Meeting Date: June 10, 2021



RN Residential Neighborhood Zoning



Printed June 3, 2021



Town of Pittsford GIS

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195

215

193

145

162

279

277

INSTRUMENT LOCATION MAP

SHOWING THE LANDS OF N/F

MICHAEL C. & DANIELLE M. FLISS

(LIBER 22 OF MAPS, PAGE 19 AND 11713 OF DEEDS, PAGE 210)

BEING

145 LONG MEADOW CIRCLE

~SITUATE IN:~

TOWN LOT 61, TOWNSHIP 12, RANGE 5,
MILL SEAT TRACT OF THE PHELPS AND GORHAM PURCHASE,
TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

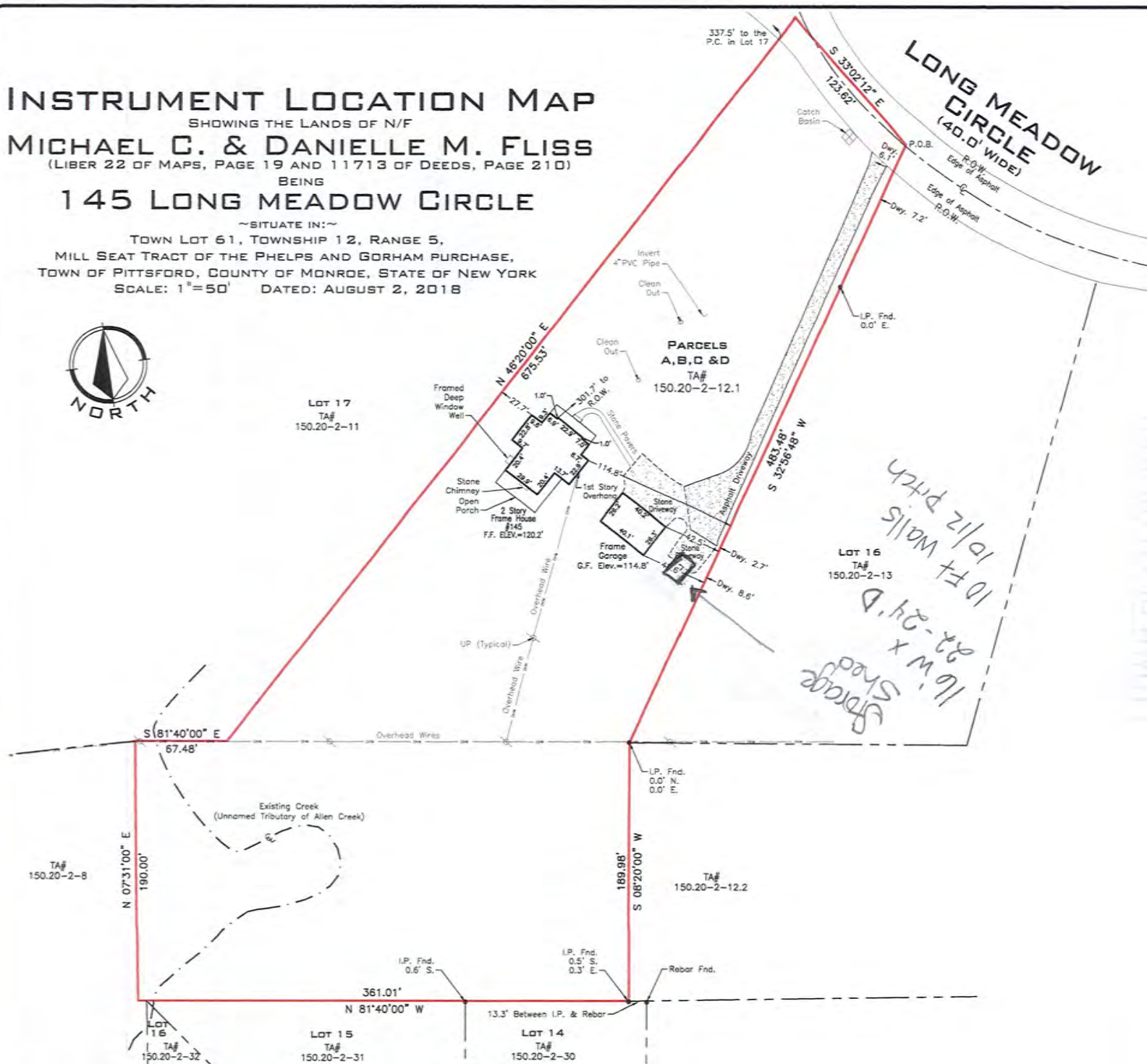
SCALE: 1"=50' DATED: AUGUST 2, 2018



LOT 17
TA#
150.20-2-11

PARCELS
A, B, C & D
TA#
150.20-2-12.1

LOT 16
TA#
150.20-2-13



Handwritten notes:
10 ft walls
10 1/2 ft walls
16' x 24' D
Storage shed

CERTIFIED TO:
MICHAEL C. & DANIELLE M. FLISS

REFERENCES:
TAX ACCOUNT NUMBER: 150.20-2-12.1
NO ABSTRACT OF TITLE PROVIDED.
LIBER 22 OF MAPS, PAGE 19
LIBER 11713 OF DEEDS, PAGE 210
RELEASE OF RESTRICTIONS
LIBER 2411 OF DEEDS, PAGE 146
MODIFICATION OF RESTRICTIONS
LIBER 2504 OF DEEDS, PAGE 48
LIBER 2816 OF DEEDS, PAGE 169

NOTE:
FLOOD PLAINS AND WETLANDS, IF ANY, ARE
NOT REFLECTED ON THIS MAP.

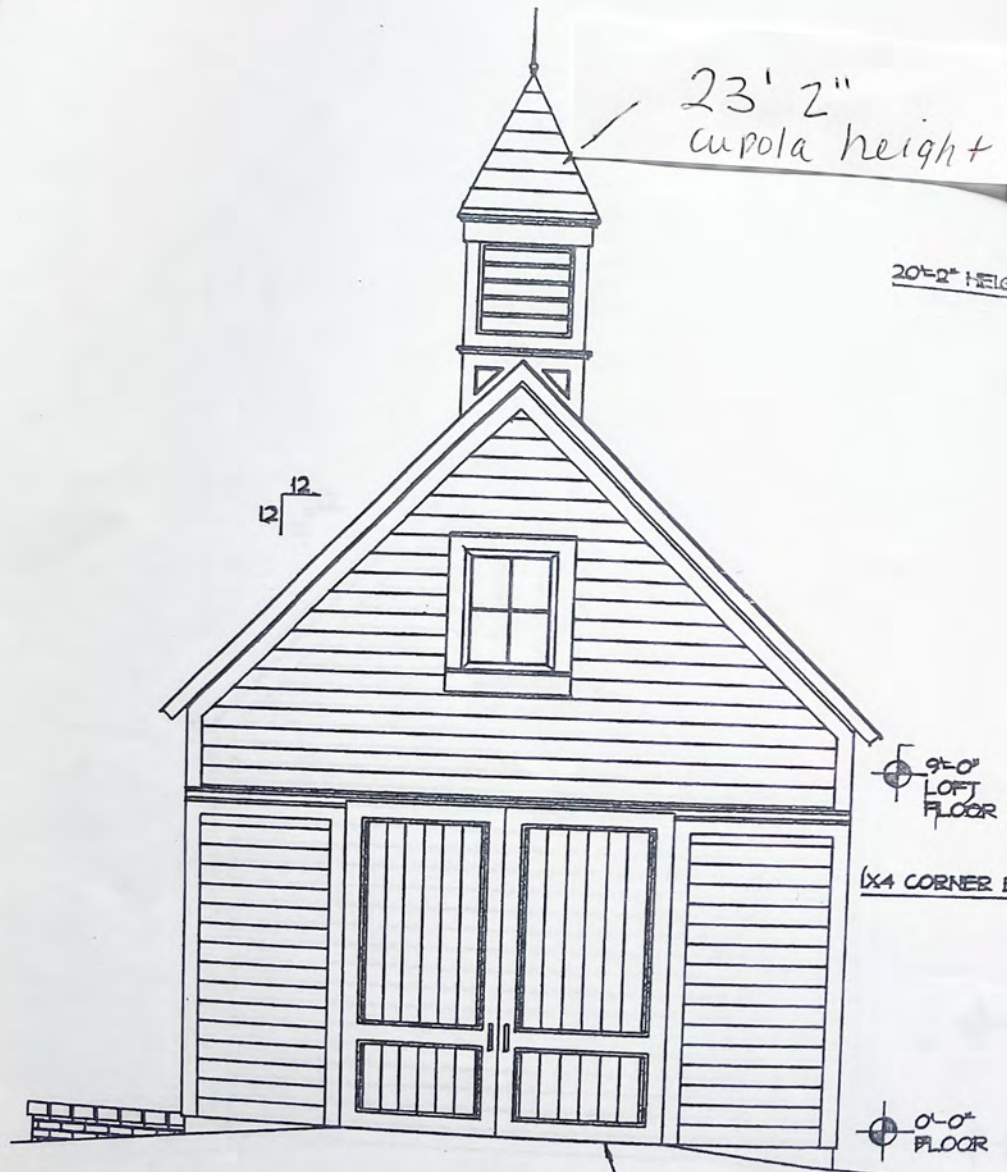


LAND4TECH
SURVEYING & PLANNING P.L.L.C.
710 LAITTA ROAD - ROCHESTER, NY - 14612
PHONE (585) 442-9902 - FAX (585) 225-4819

PROJECT NUMBER: 16130

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING
A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION
7-209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.





23' 2"
cupola height

20'-2" HEIGHT OF RIDGE

12' 12'

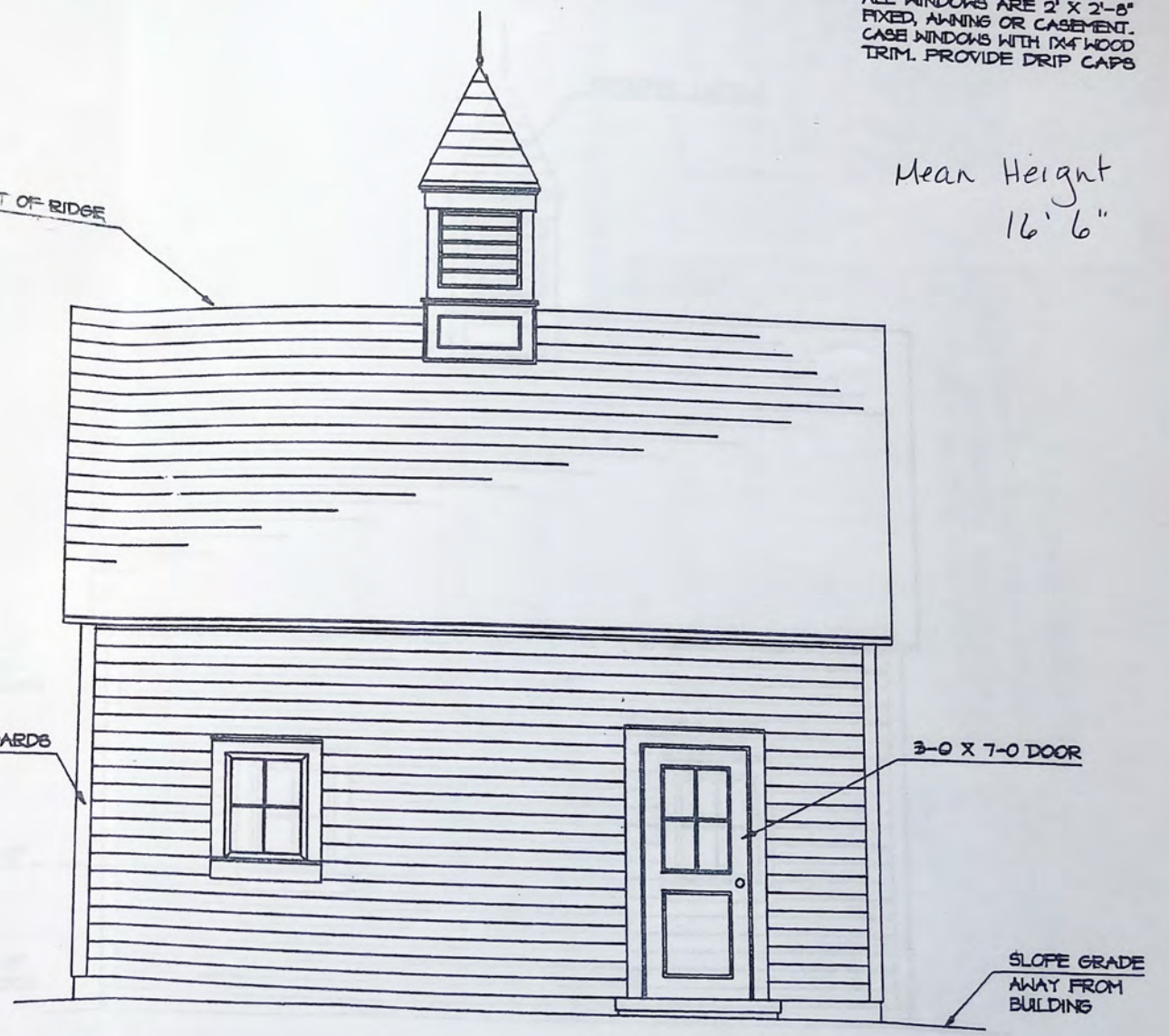
9'-0"
LOFT FLOOR

1x4 CORNER BOARDS

0'-0"
FLOOR

FRONT ELEVATION

TWO 4-2 X 8-3 ON
ROLLING TRACK



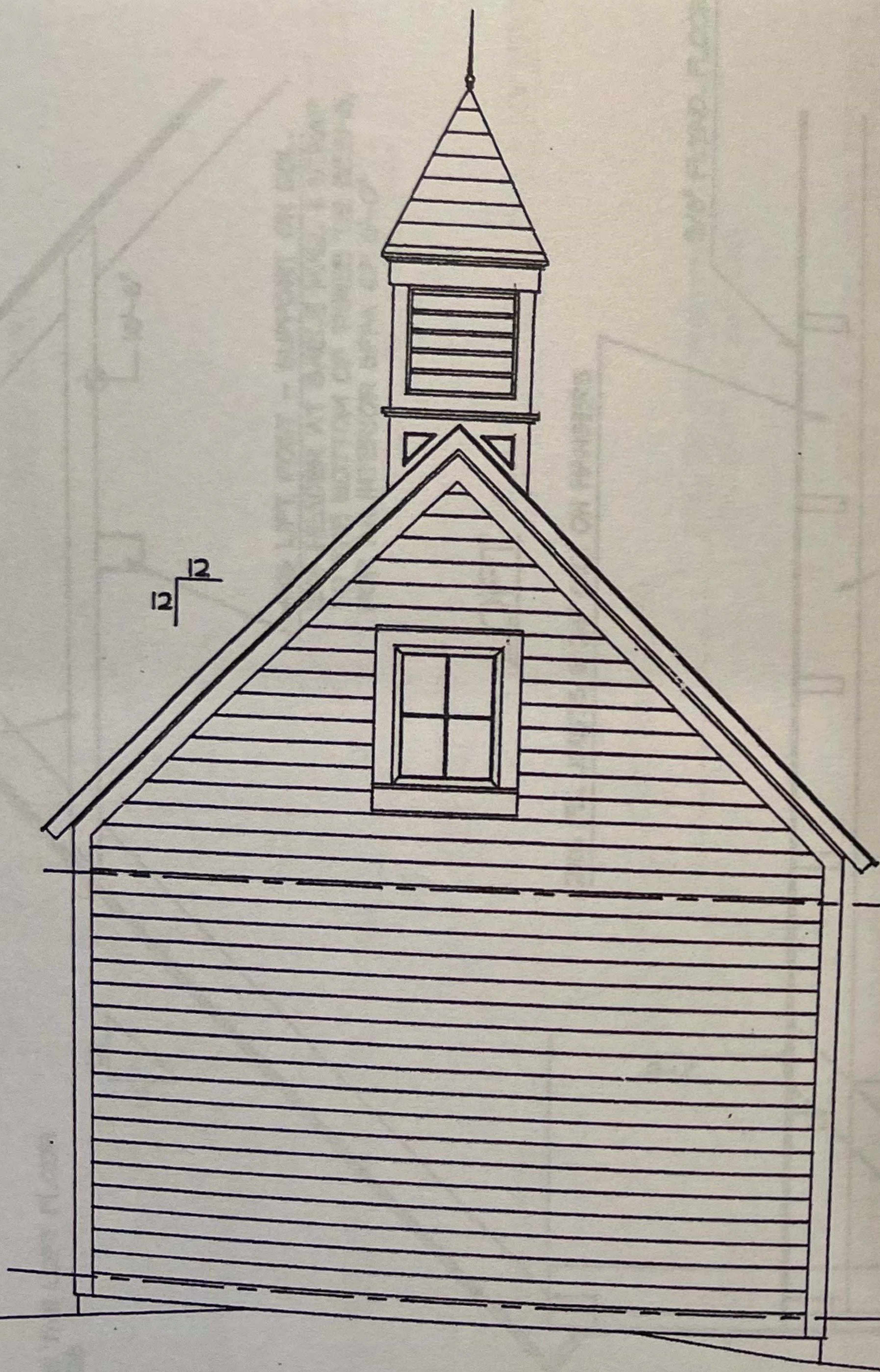
ALL WINDOWS ARE 2' X 2'-8"
FIXED, AWNING OR CASEMENT.
CASE WINDOWS WITH 1x4 WOOD
TRIM. PROVIDE DRIP CAPS

Mean Height
16' 6"

3'-0" X 7'-0" DOOR

SLOPE GRADE
AWAY FROM
BUILDING

SIDE ELEVATION



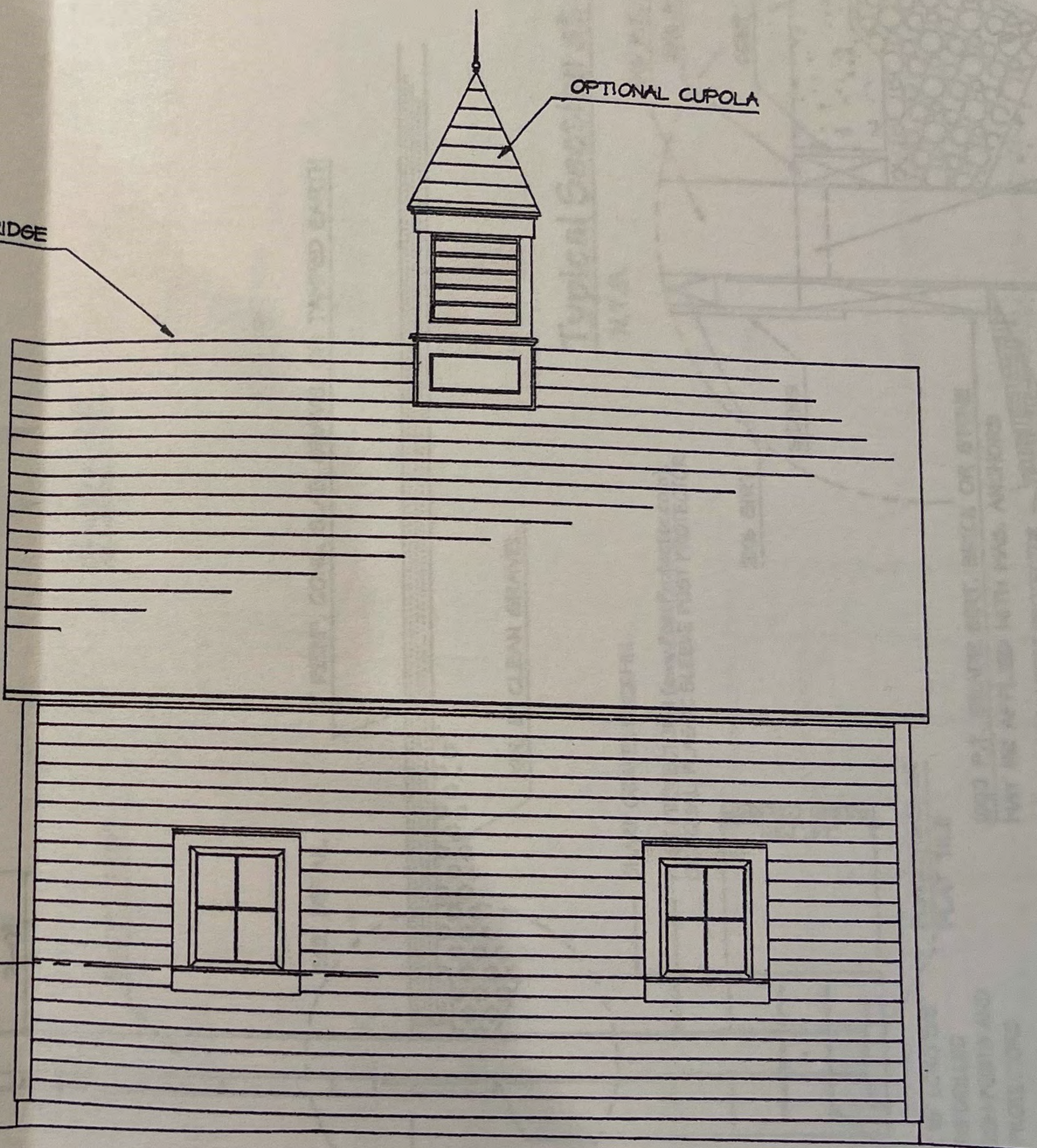
REAR ELEVATION

20'-2" HEIGHT OF RIDGE

9'-0"
LOFT
FLOOR

3'-0"

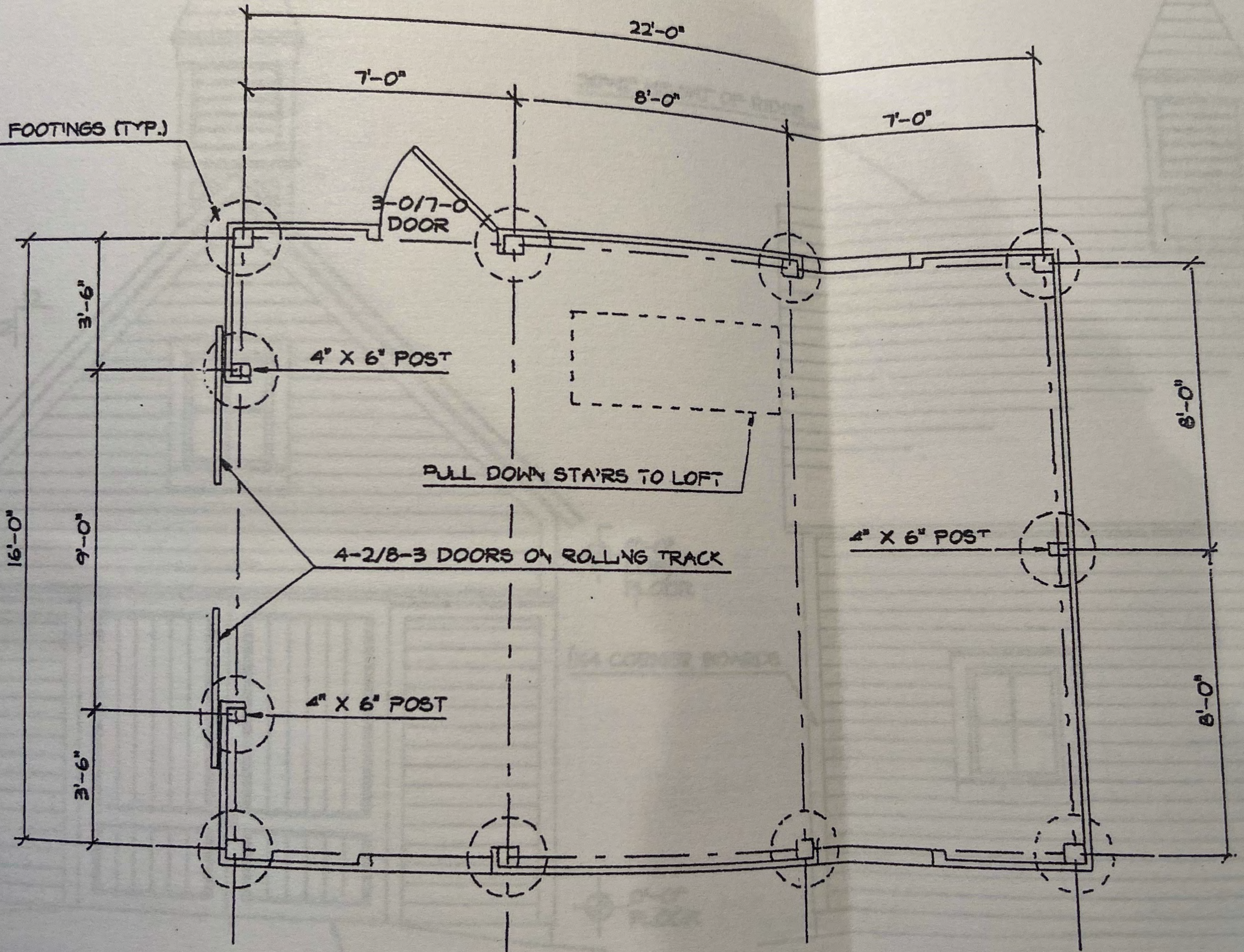
0'-0"
FLOOR



OPTIONAL CUPOLA

SIDE ELEVATION

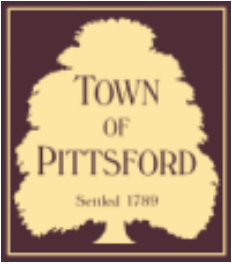
24" DIAMETER FOOTINGS (TYP.)











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000111

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 48 Nature View PITTSFORD, NY 14534

Tax ID Number: 192.01-3-36

Zoning District: RN Residential Neighborhood

Owner: Ashfaque, Anam

Applicant: Gerber Homes & Additions LLC

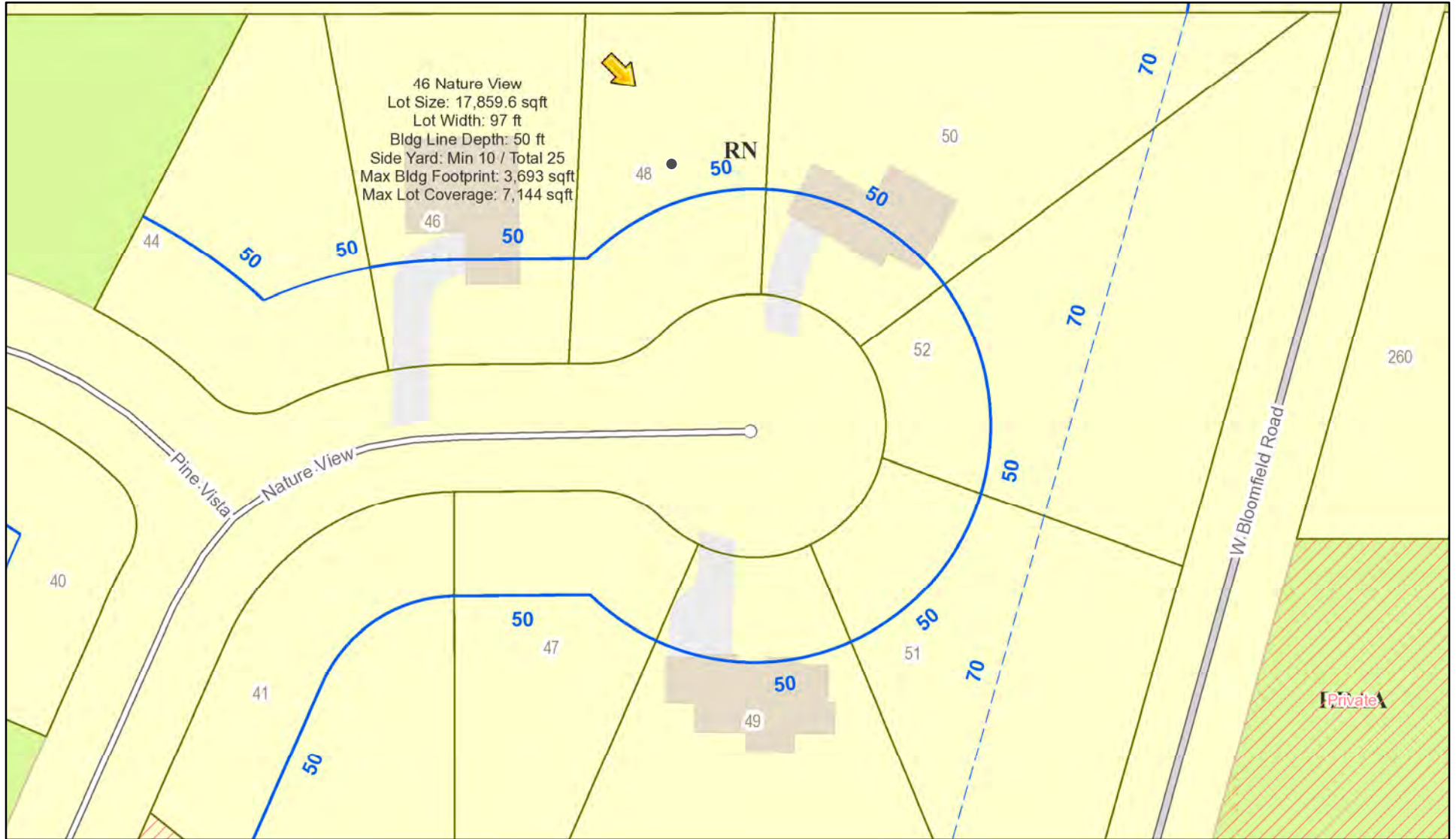
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

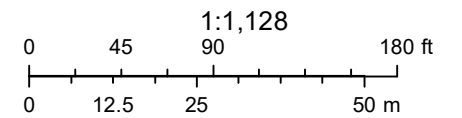
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 1440 square feet on the first floor and approximately 1354 square feet on the second floor. This home will be located in the Country Pointe Subdivision.

Meeting Date: June 10, 2021

RN Residential Neighborhood Zoning

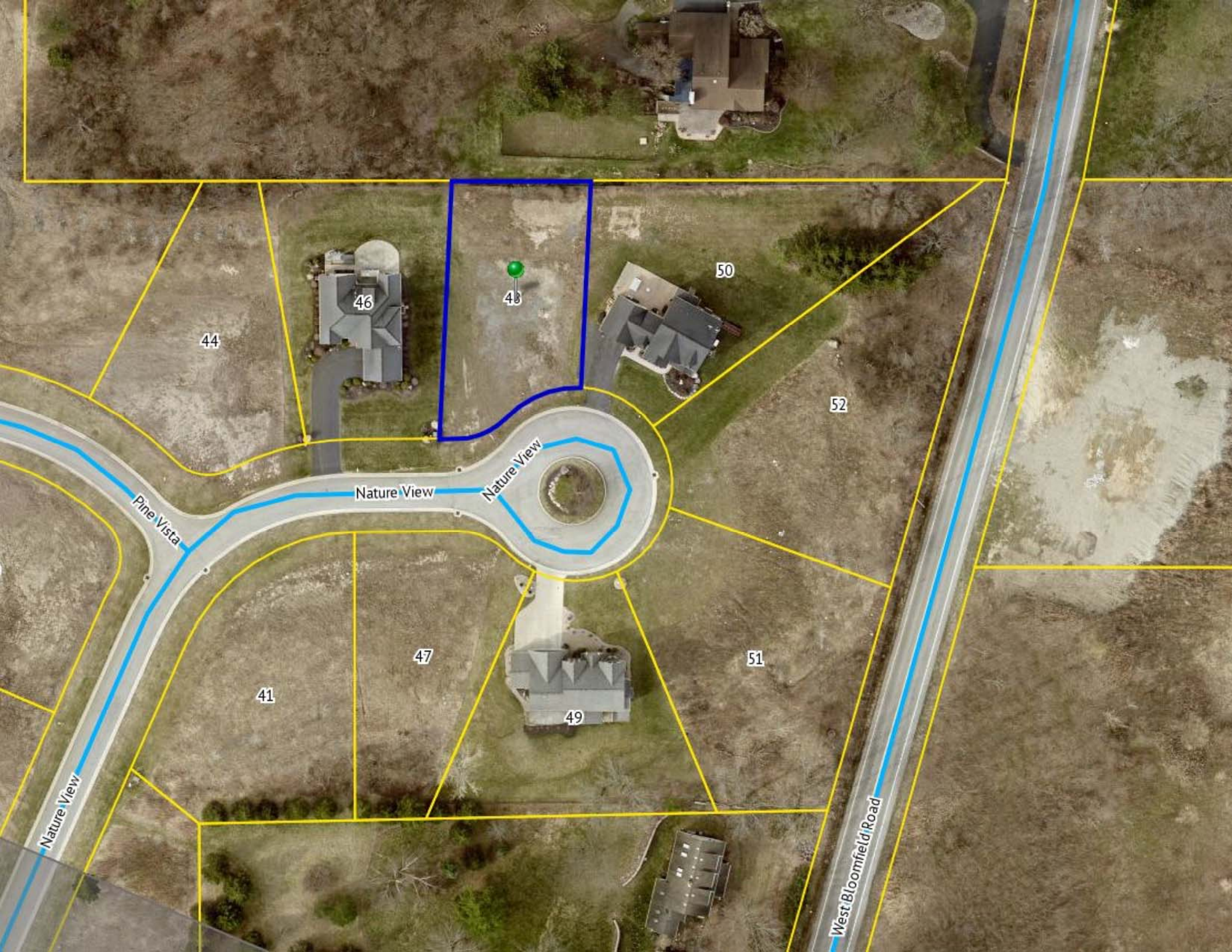


Printed June 3, 2021



Town of Pittsford GIS

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46

48

50

44

52

Pine Vista

Nature View

Nature View

47

51

41

49

Nature View

West Bloomfield Road

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 STAMPED SURVEYOR'S SEAL.

LEGEND:
 ✖ PIN
 ○ UTILITY POLE
 ⊙ MAN HOLE
 ☒ CATCH BASIN

REFERENCES:

TAX ACCOUNT No. 192.01-3-36

CERTIFICATE:

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 MATERIAL SHOWN HEREON.

1) GERBER HOMES AND ADDITIONS, LLC

SIGNED: MICHAEL S. GREENE L.S. No. 50837

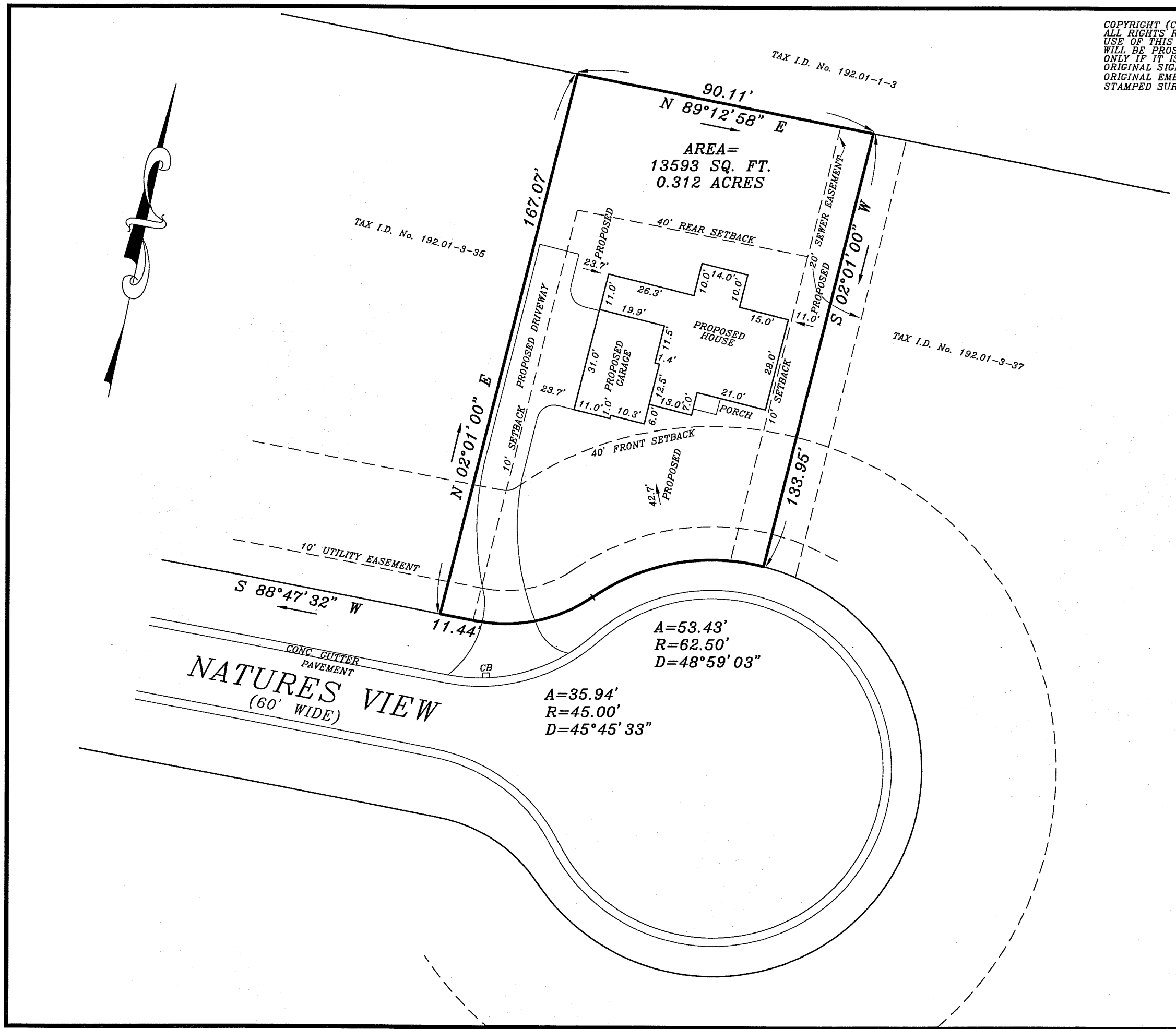
ASHAFQUE RESIDENCE

PLAN OF LAND
 TO BE DEVELOPED BY
 GERBER HOMES AND ADDITIONS, LLC

DRAWN BY
 MC
 CHECKED
 JG
 SCALE
 1"=40'

48 NATURES VIEW
 BEING LOT 36 "COUNTRY POINTE SUBD." SECT. 2
 IN
 TOWN OF PITTSFORD
 MONROE COUNTY NEW YORK
 MAY 25, 2021 JOB No. NATUREVIEW

GREENE LAND SURVEYING, PLLC 315-331-3999



TAX I.D. No. 192.01-3-35

TAX I.D. No. 192.01-1-3

TAX I.D. No. 192.01-3-37

NATURES VIEW
 (60' WIDE)
 CONC. GUTTER
 PAVEMENT

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 STAMPED SURVEYOR'S SEAL.

- LEGEND:**
- ⊙ PIN
 - UTILITY POLE
 - ⊕ MAN HOLE
 - ⊠ CATCH BASIN

TAX I.D. No. 192.01-1-3

AREA =
 13593 SQ. FT.
 0.312 ACRES

TAX I.D. No. 192.01-3-35

TAX I.D. No. 192.01-3-37

REFERENCES:

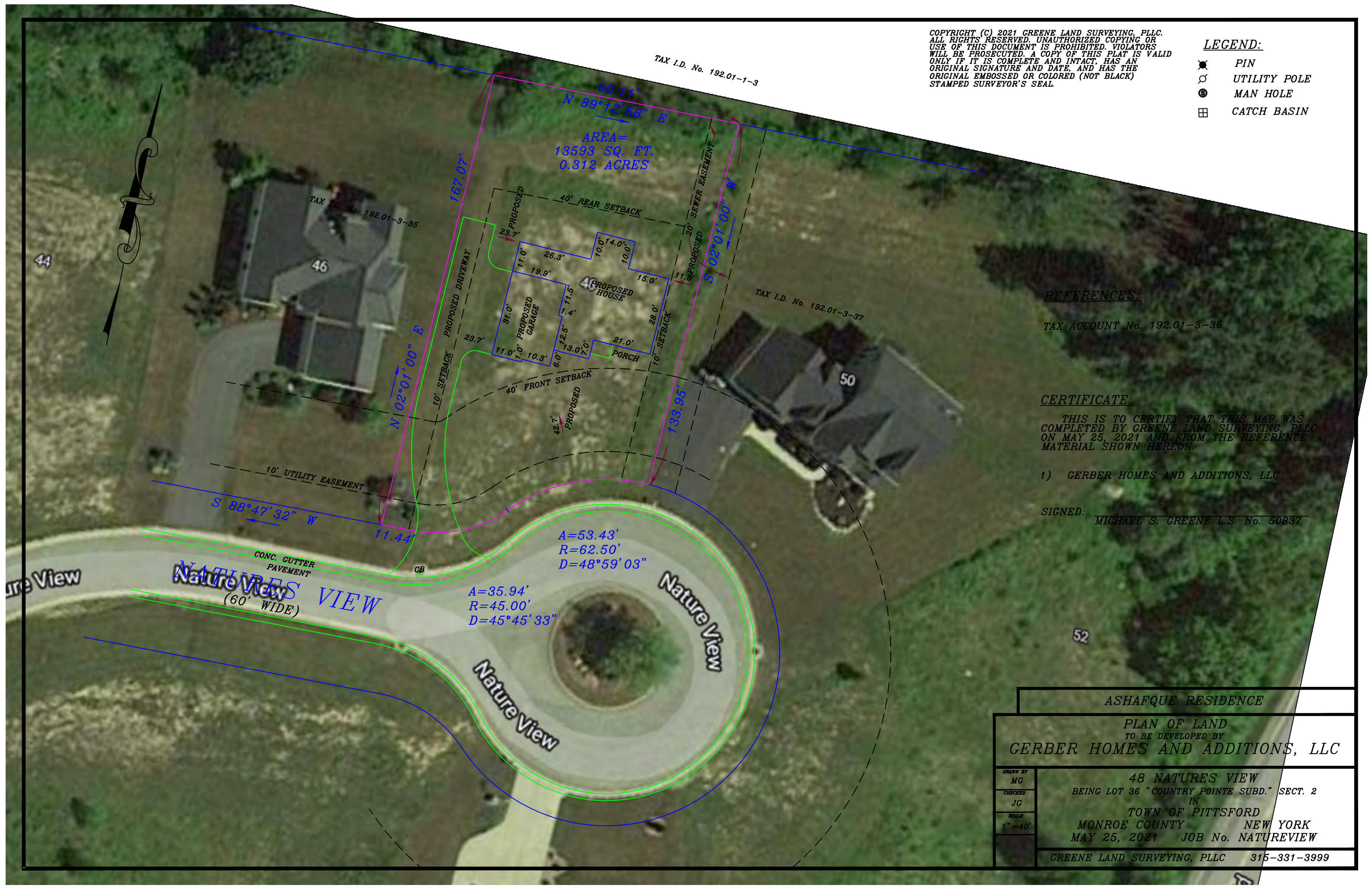
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Natures View

NATURES VIEW
 (60' WIDE)

Nature View

Nature View

ASHAFQUE RESIDENCE

PLAN OF LAND
 TO BE DEVELOPED BY
 GERBER HOMES AND ADDITIONS, LLC

DRAWN BY MC	48 NATURES VIEW BEING LOT 36 "COUNTRY POINTE SUBD." SECT. 2 IN TOWN OF PITTSFORD MONROE COUNTY NEW YORK MAY 25, 2021 JOB No. NATUREVIEW
CHECKED JG	
SCALE 1" = 40'	
GREENE LAND SURVEYING, PLLC 315-331-3999	



ASHFAQUE RESIDENCE

LOT 48 NATURES VIEW
PITTSFORD, NY
GERBER HOMES

PLAN 2794 / PROJECT 5936 O

SHEET INDEX

- C-1 COVER SHEET
- 1/5 ELEVATIONS
- 2/5 FOUNDATION PLAN
- 3/5 FIRST FLOOR PLAN
- 4/5 SECOND FLOOR PLAN
- 5/5 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOW AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/CC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOW AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRIFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m. (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MFG. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH A CA-MANUAL 5 BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL 1 OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G243.1.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SLOID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOW AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOW & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQD. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

ASHFAQUE RESIDENCE
LOT 48 NATURE'S VIEW SUBD.
PITTSFORD, NY

BUILDER:

GERBER HOMES

COVER PAGE

GLA PLAN 2794

drawn: JJS	checked: CDK
scale: AS NOTED	date: 5/21
PROJECT: 5963 O	sheet: C 1

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E = 10 ⁶ - 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD 40 P.S.F.

2ND FLOOR LIVING AREA LIVE LOAD 30 P.S.F.

1ST & 2ND FLOOR DEAD LOAD 15 P.S.F.

GROUND SNOW LOAD 40 P.S.F.

ROOF DEAD LOAD 10 P.S.F.

ALLOWABLE SOIL BEARING 2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE

WIND SPEED 115 MPH, EXPOSURE B

SEISMIC DESIGN CATEGORY B

WEATHERING SEVERE

FROST LINE DEPTH 42 INCHES

TERMITE DAMAGE SLIGHT TO MODERATE

DECAY DAMAGE NONE TO SLIGHT

WINTER DESIGN TEMPERATURE 1 DEGREE

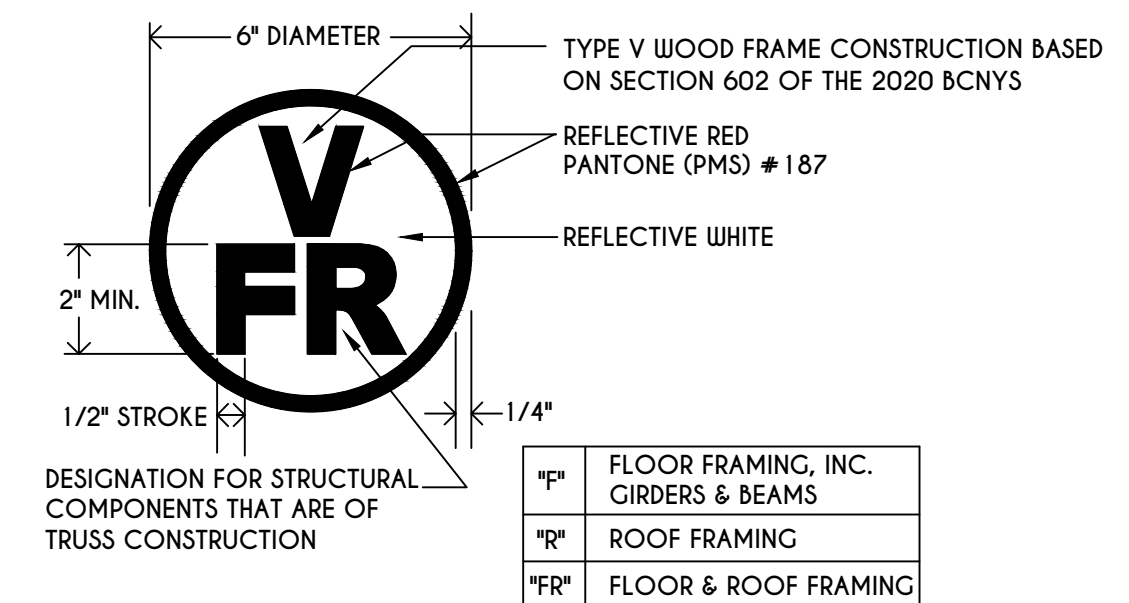
ICE SHEILD UNDERLAYMENT REQUIRED 24" INSIDE OF EXTERIOR WALL LINE

FLOOD HAZARD FIRM - 2008

ROOF TIE DOWN REQUIREMENTS R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



"V"	FLOOR FRAMING, INC. GIRDS & BEAMS
"FR"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.00047 19 m³/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}

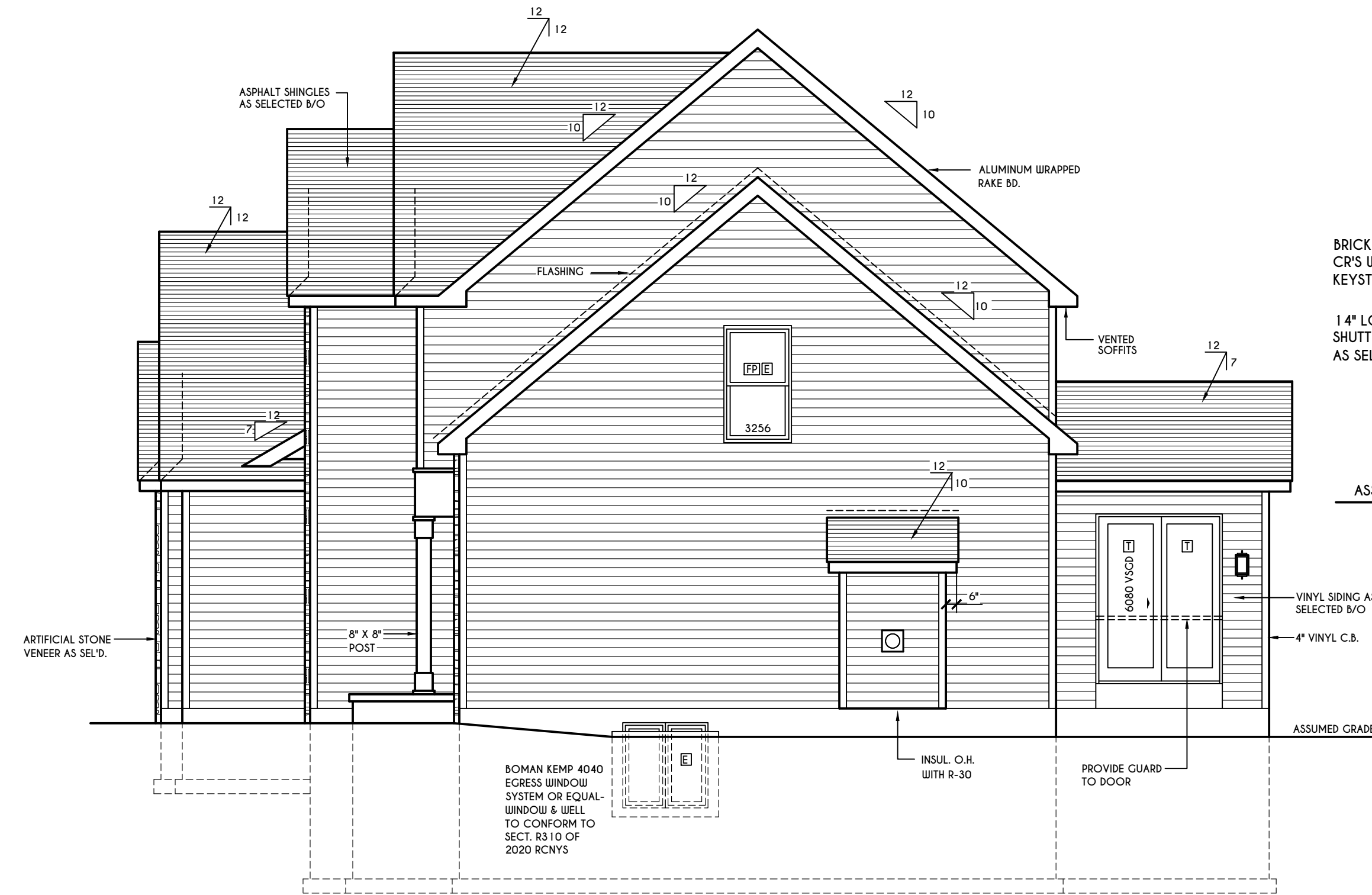
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR ^a	4	3	2	1.5	1.3

^a For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
^b Extrapolation beyond the table is prohibited.

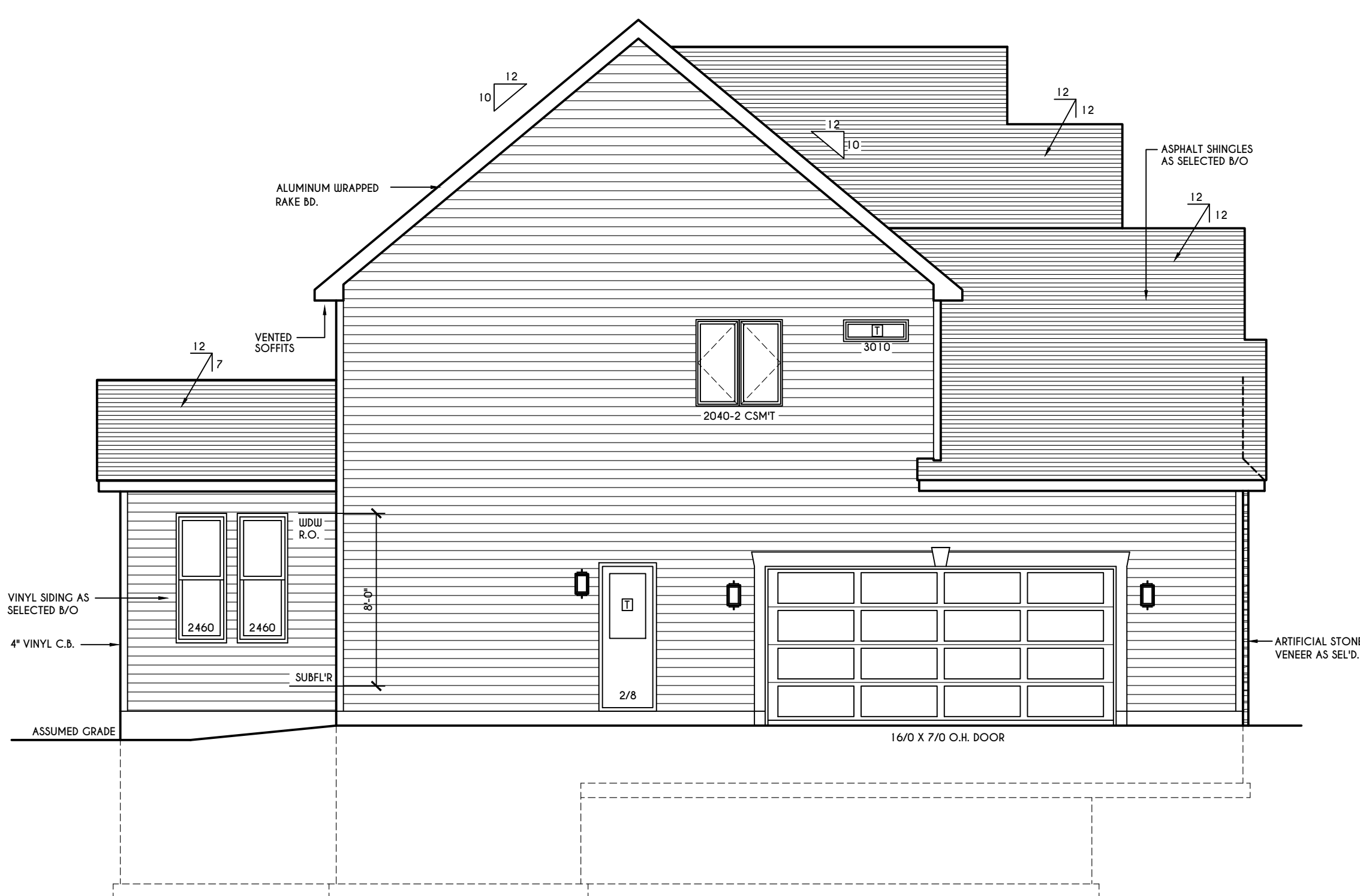
TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

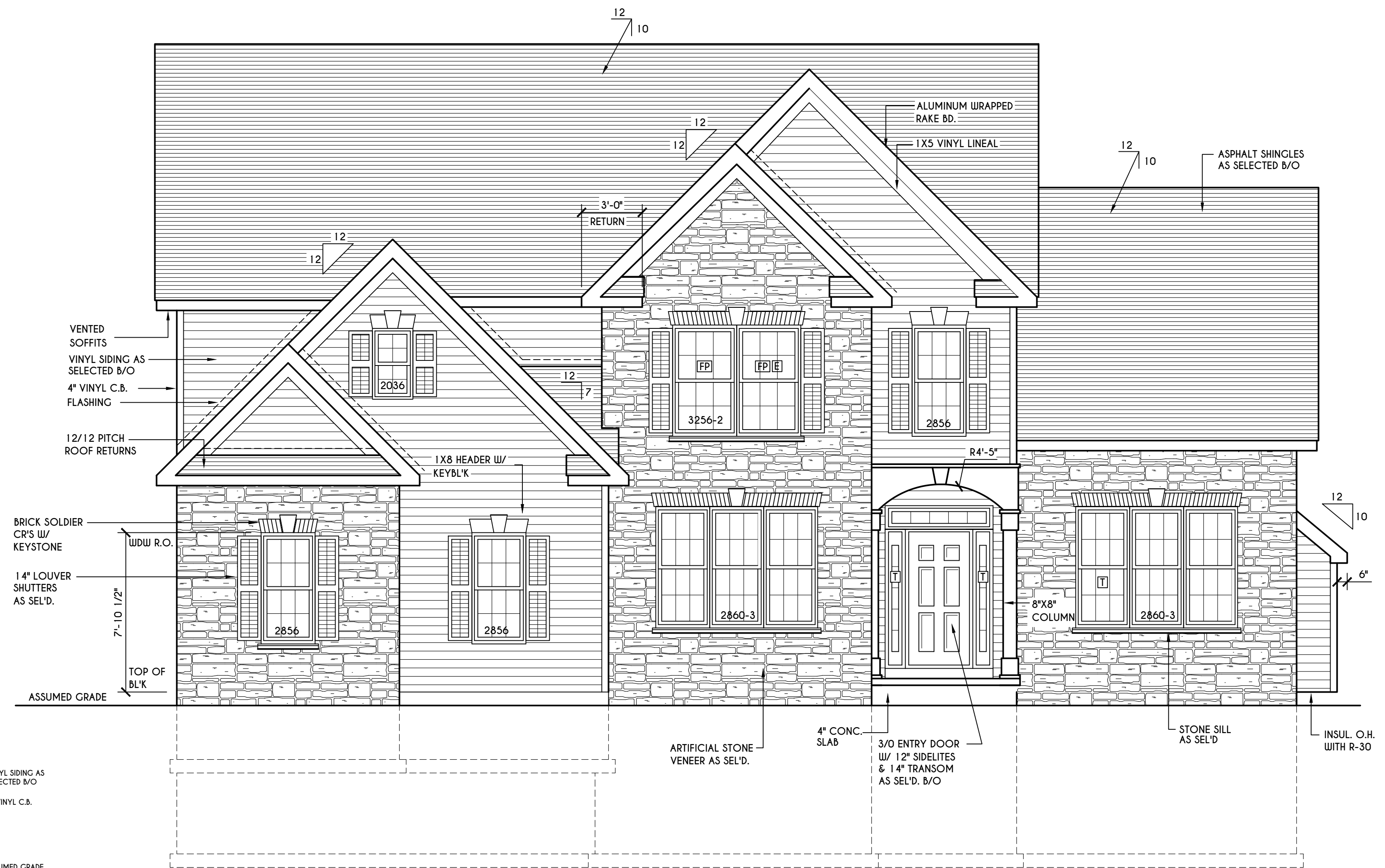
FOR SI: 1 CUBIC FT. PER MINUTE = 0.00047 19 m³/s.



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1440 SQ.FT.
SECOND FLOOR LIVING AREA = 1354 SQ.FT.
TOTAL LIVING AREA = 2794 SQ.FT.
TOTAL CONDITIONED VOLUME = 36,550 CU.FT.



REAR ELEVATION
SCALE: 3/16" = 1'-0"

WINDOWS: U-FACTOR 0.28
SHGC 0.54

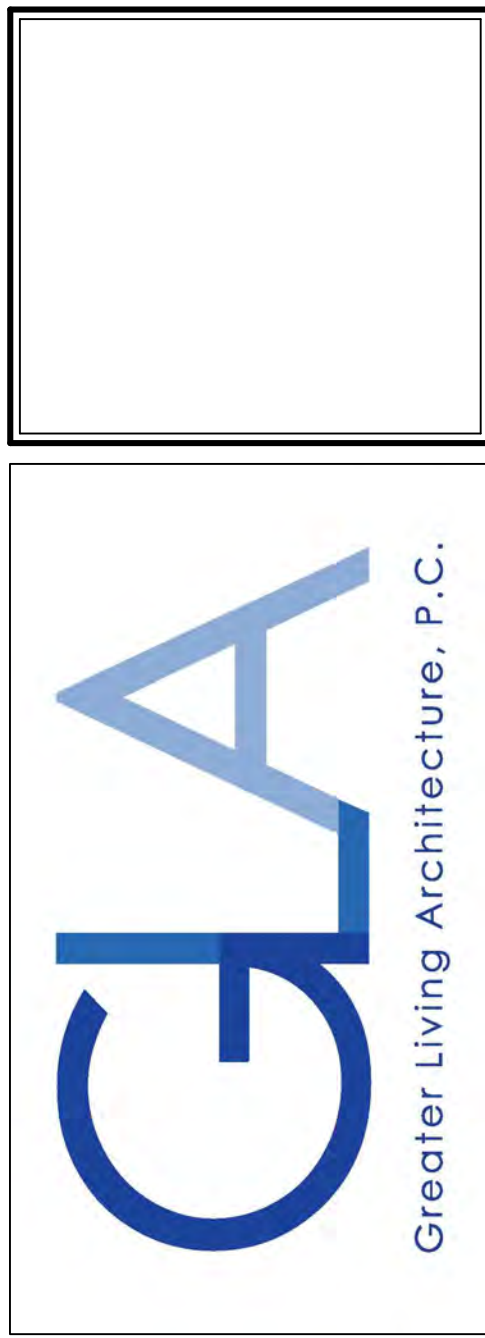
DOORS: SELECTION BY OWNER
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf & SWING DOORS NO MORE THAN 0.5 cfm/sf AS PER SECT. R402.4.3 OF 2020 ECCCNY'S

WINDOW / DOOR LEGEND:
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:
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LOT 48 NATURE'S VIEW SUBD.
PITTSFORD, NY

BUILDER:
GERBER HOMES

ELEVATIONS
GLA PLAN 2794

drawn: JJS	checked: CDK
scale: AS NOTED	date: 5/21
PROJECT: 5963 O	sheet: 1/5

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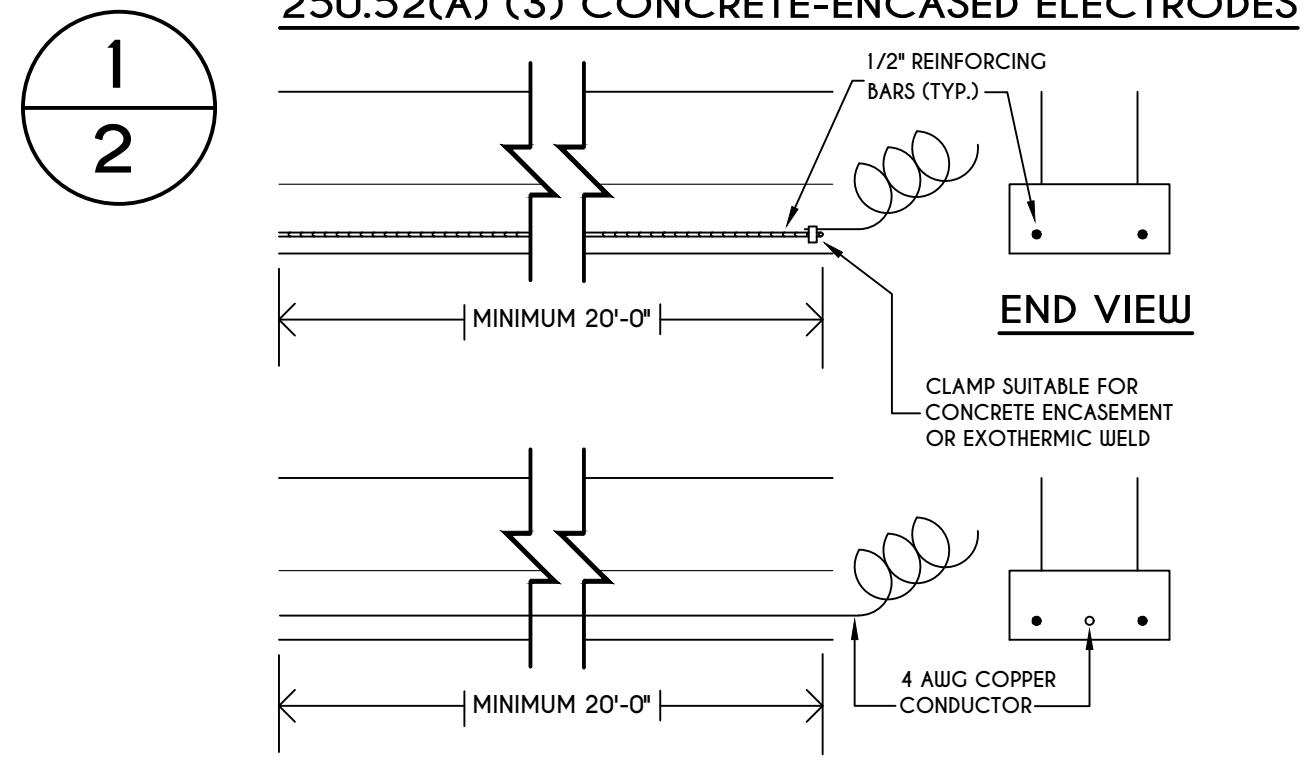
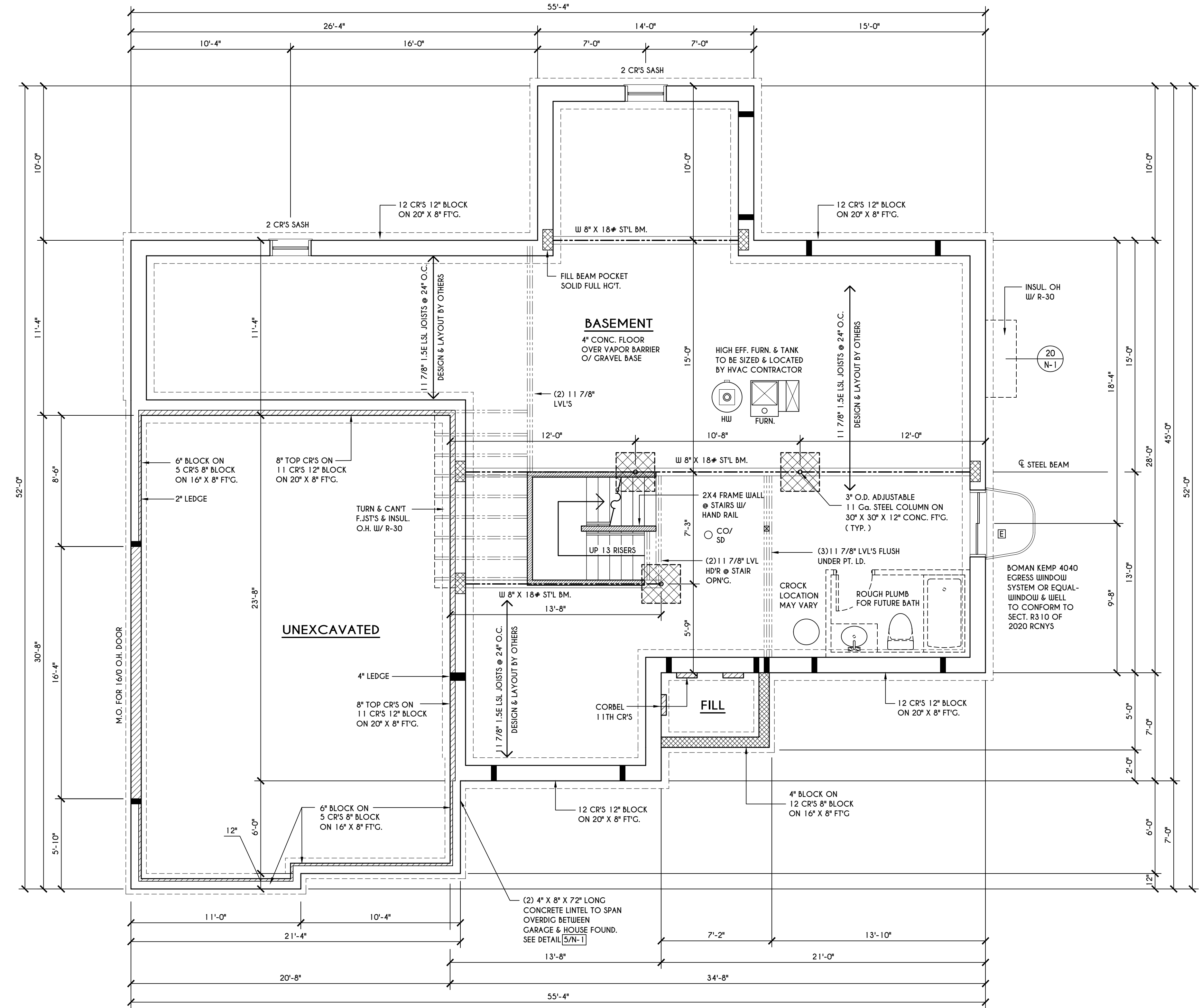
CLIENT/LOCATION:
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 LOT 48 NATUER'S VIEW SUBD.
 PITTSFORD, NY

BUILDER:
 GERBER HOMES

FOUNDATION PLAN

GLA PLAN 2794

drawn: JJS	checked: CDK
scale: AS NOTED	date: 5/21
PROJECT: 5963 O	sheet: 2 5



FRAMING LEGEND:

	- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16\"/>
	- 2X6 STUDS @ 24\"/>
	- 2\"/>

BASEMENT & FOUNDATION PLAN

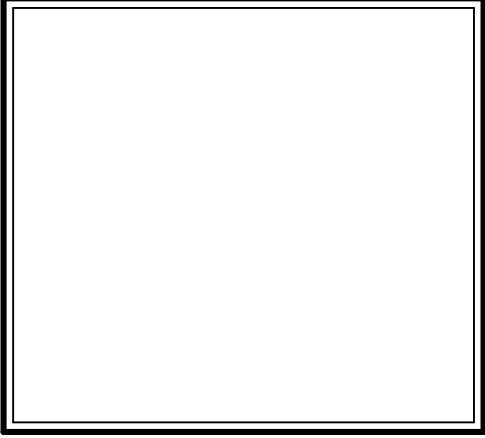
SCALE: 1/4" = 1'-0"
NOTES:
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 1/2

WINDOW / DOOR LEGEND:

	- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FL'R JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS
 SEE DETAIL 118/N-1 FOR FIREPROOFING METHODS

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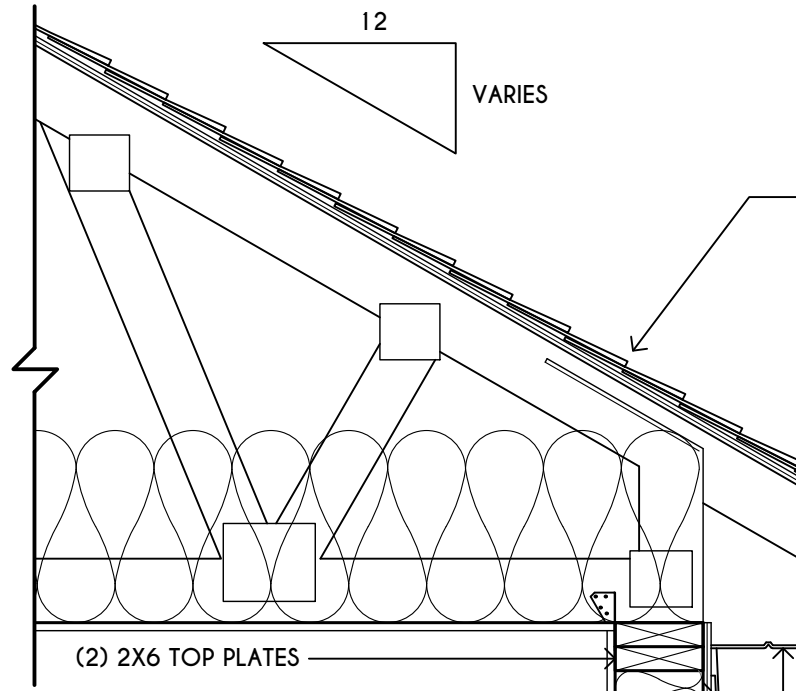
BUILDER:
 GERBER HOMES

FIRST FLOOR PLAN
 GLA PLAN 2794

drawn: JJS	checked: CDK
scale: AS NOTED	date: 5/21
PROJECT: 5963 O	sheet: 3 5

CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDUIC 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS ICE PROTECTION TO EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC
 R-49 CEILING INSULATION



SECOND FLOOR

(2) 2X6 TOP PLATES
 2X6 STUDS AT 24" O.C.
 R-19 BATT INSULATION
 1/2" DRYWALL
 W/ VAPOR BARRIER
 7/8" STRUCTUREWOOD SUBFLOOR GLUED AND NAILED

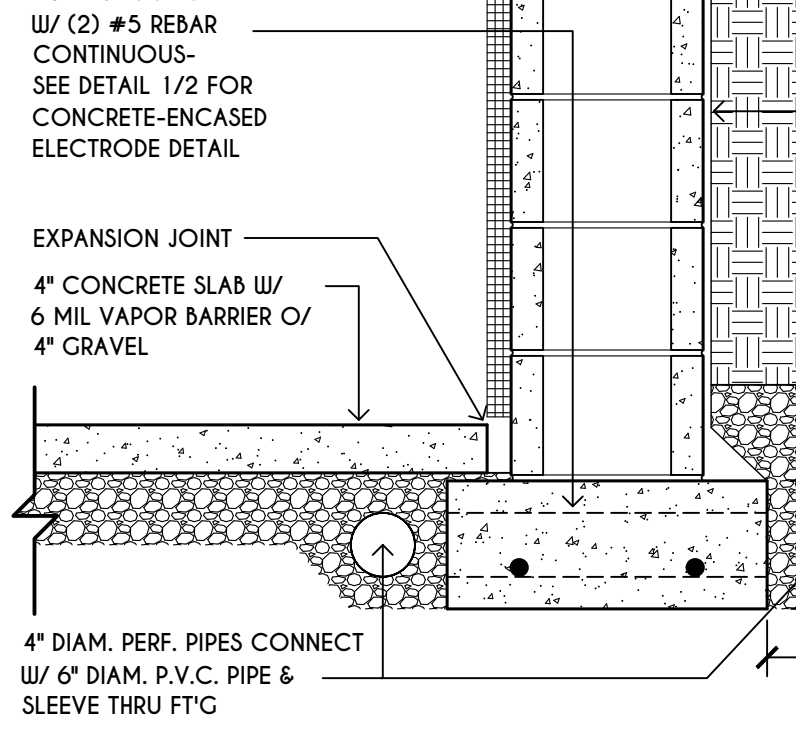
FIRST FLOOR

11 7/8" I-JOISTS @ 24" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER
 11 7/8" LSL RIM JOIST W/ R-19 INSULATION
 2X6 STUDS AT 24" O.C.
 R-19 BATT INSULATION
 1/2" DRYWALL
 W/ VAPOR BARRIER

BASEMENT / FOUNDATION

7/8" STRUCTUREWOOD SUBFLOOR GLUED AND NAILED
 1.5E LSL JOISTS @ 24" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER
 3/8" EXT. PLYWD. OR 7/16" O.S.B. W/ HOUSE WRAP SIDING AS SELECTED ATTACHED AS PER 2020 RCNYS

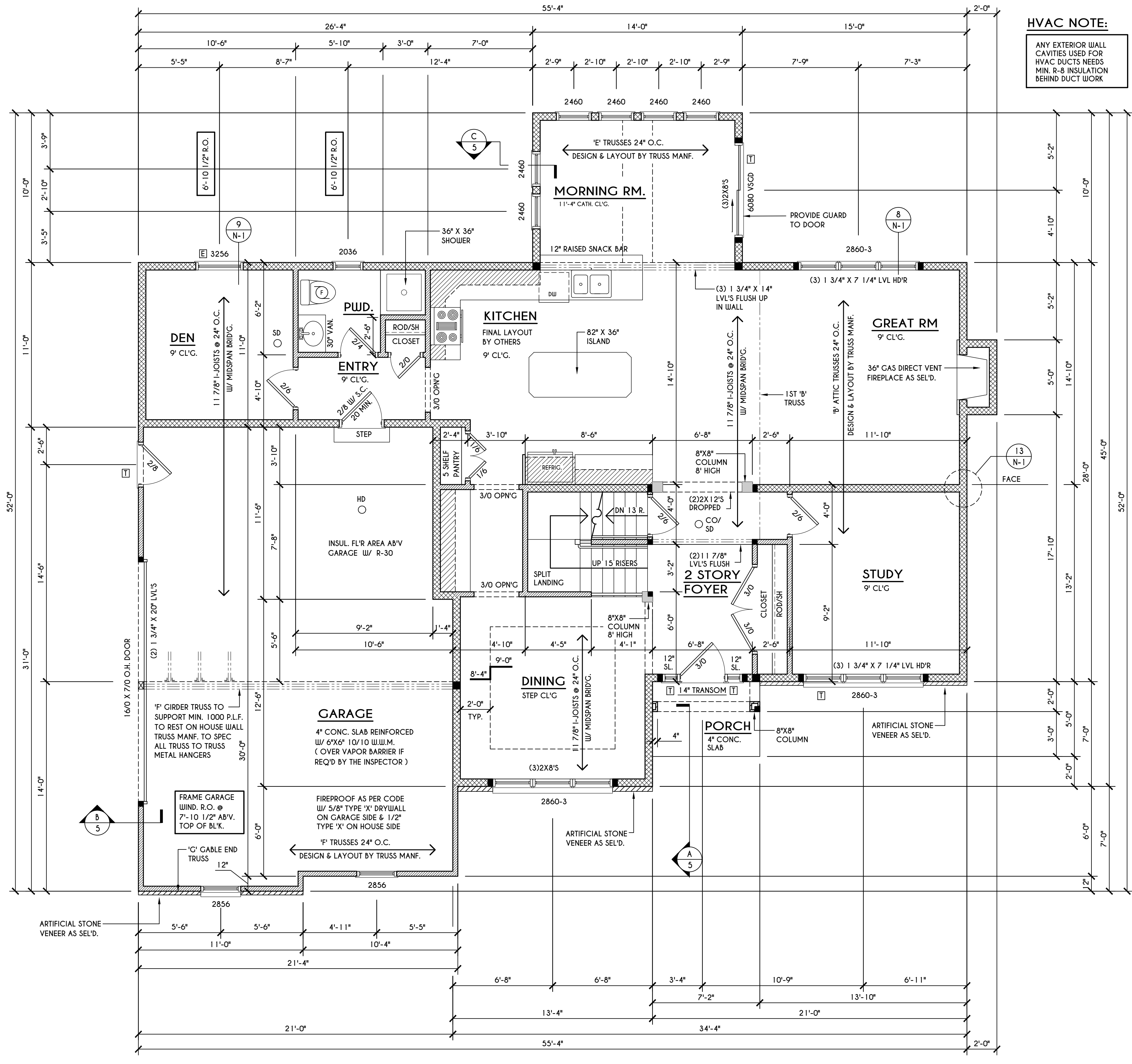
12" CONC. BLOCK SHALL BE CONSTRUCTED AND REINFORCED TO COMPLY WITH 2020 RCNYS (SEE PG. N-2 FOR CHARTS)



20" X 8" CONCRETE W/ (2) #5 REBAR CONTINUOUS-SEE DETAIL 1/2 FOR CONCRETE-ENCASED ELECTRODE DETAIL

EXPANSION JOINT
 4" CONCRETE SLAB W/ 6 MIL VAPOR BARRIER O/ 4" GRAVEL

2020 RCNYS SECT. R405.1, EXCEPTION
 A DRAINAGE SYSTEM IS NOT REQ'D. WHEN THE FOUNDATION IS INSTALLED ON A WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1. (SEE PG. N-2)



HVAC NOTE:
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- - - DROPPED HEADER
- ==== FLUSH HEADER
- ==== 2X4 STUDS @ 16" O.C.
- ==== 2X4 GARAGE STUDS @ 24" O.C.
- ==== 2X6 STUDS @ 24" O.C.

FIRST FLOOR PLAN

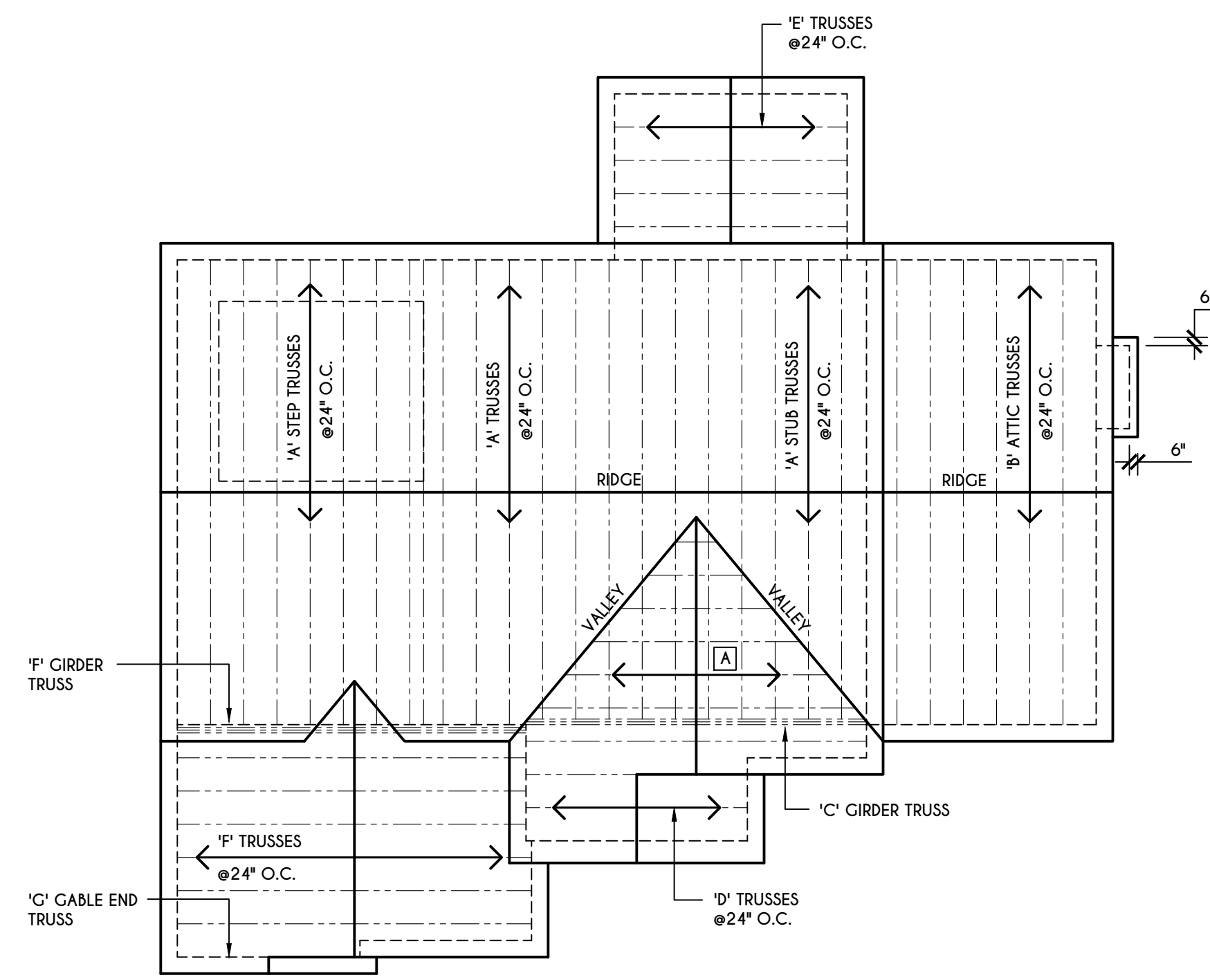
SCALE: 1/4" = 1'-0" 1440 SQ. FT.

NOTES:
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HCTS TO BE 8'-0" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- ☐ MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- ☐ SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- ☐ SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FLOOR JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD



ROOF PLAN

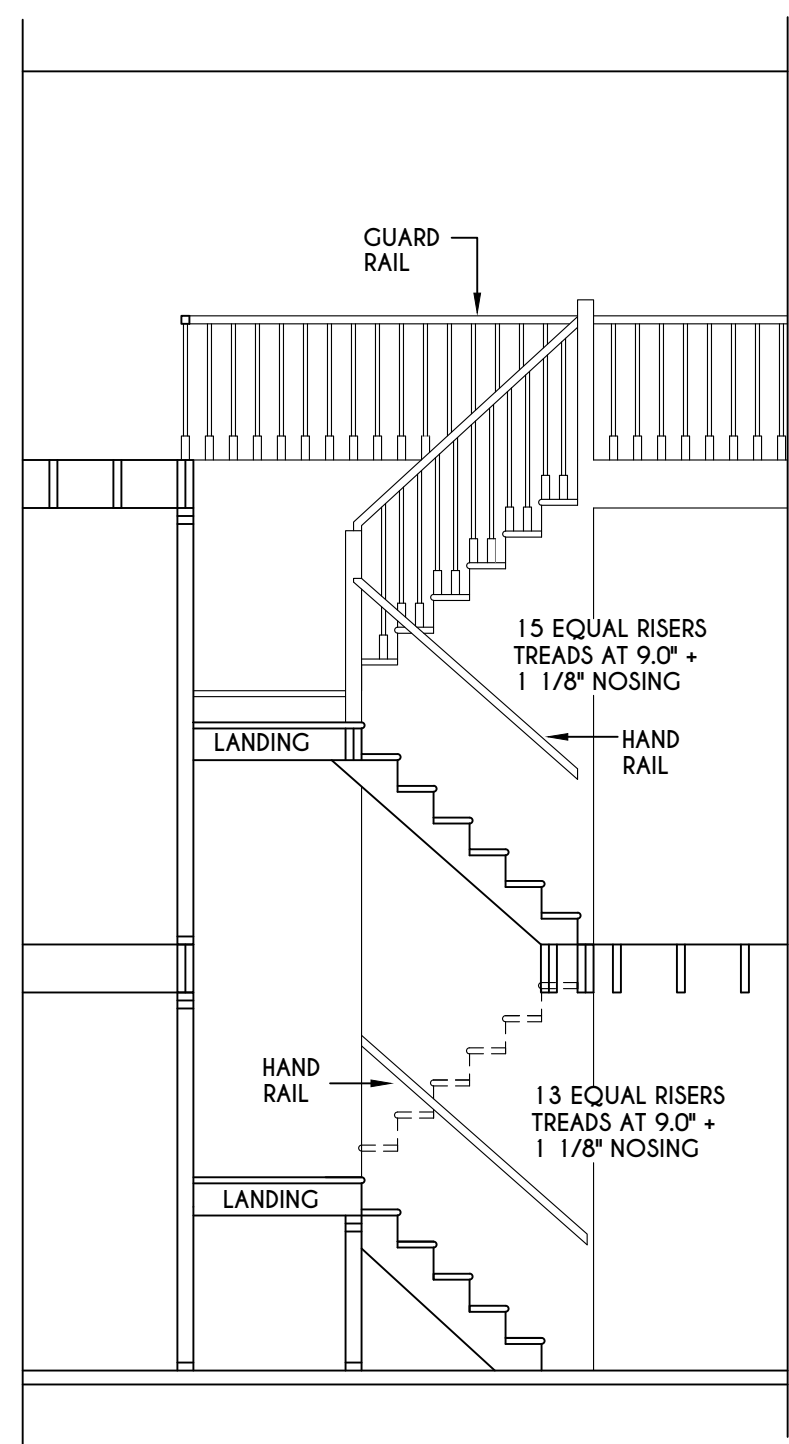
SCALE: 1/8" = 1'-0"

A - 2X8 LAYOVER RAFTERS 24" O.C.

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

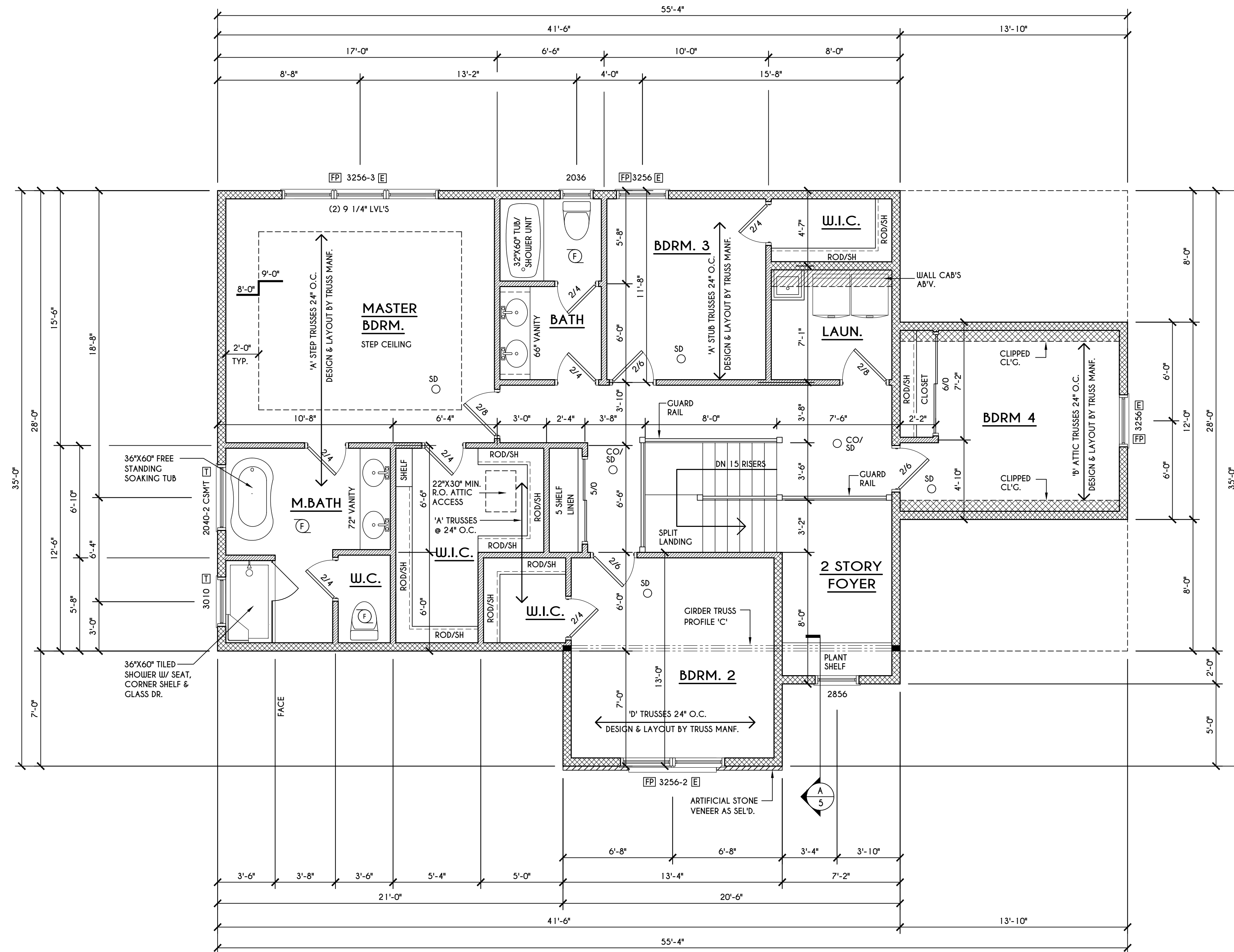
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



STAIR SECTION

SCALE: 1/4" = 1'-0"



FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 24" O.C.

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

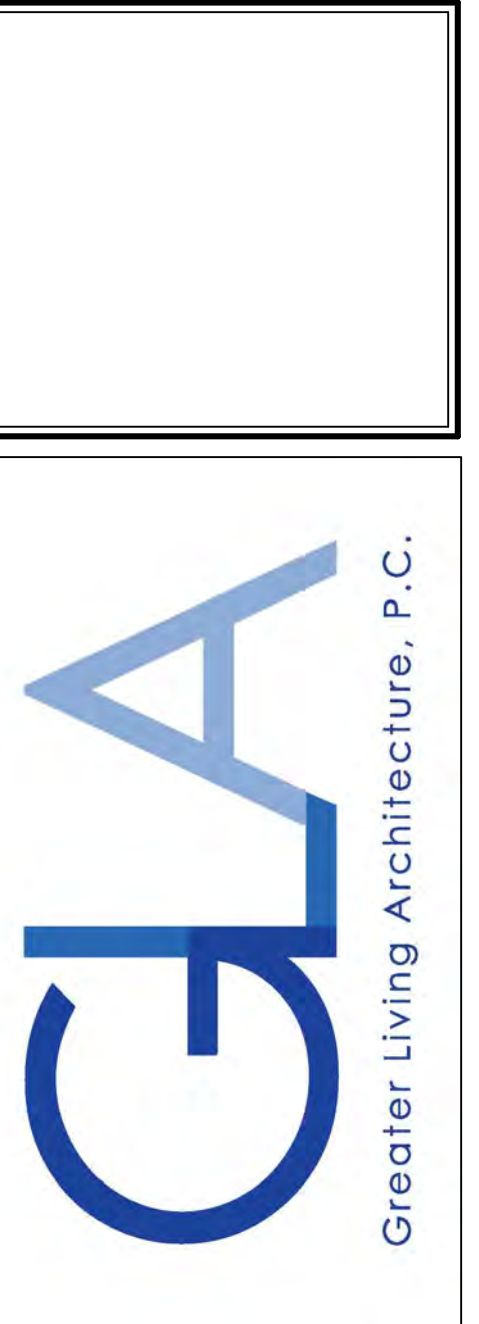
1354 SQ.FT.

NOTES: SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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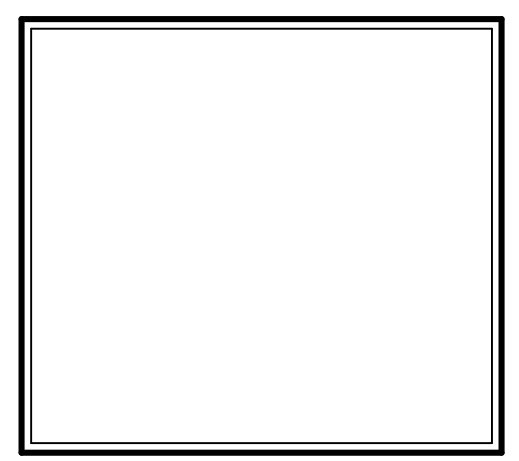
BUILDER:
 GERBER HOMES

SECOND FLOOR PLAN

GLA PLAN 2794

drawn: JJS	checked: CDK
scale: AS NOTED	date: 5/21
PROJECT: 5963 O	sheet: 4 5

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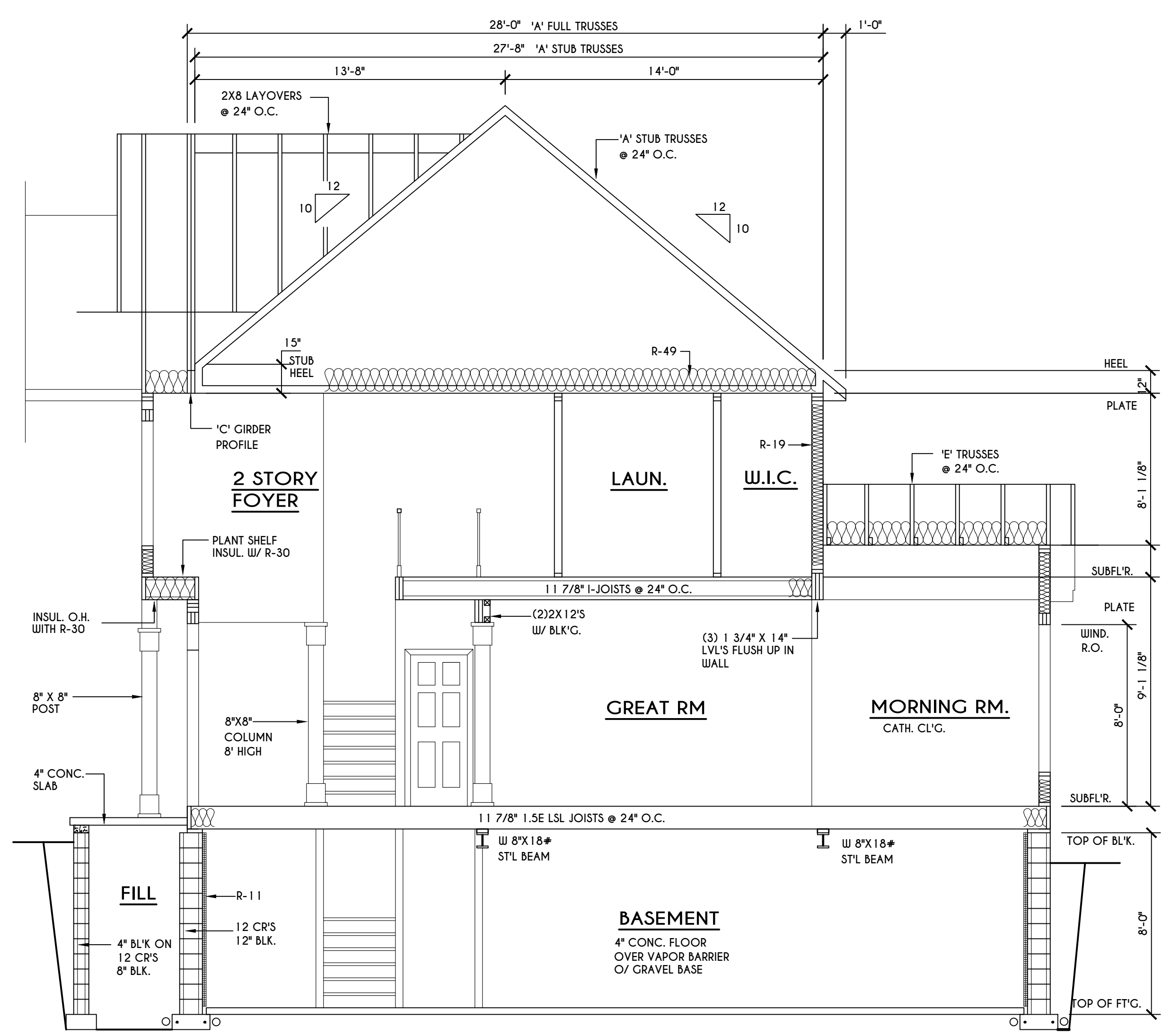
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BUILDER:
 GERBER HOMES

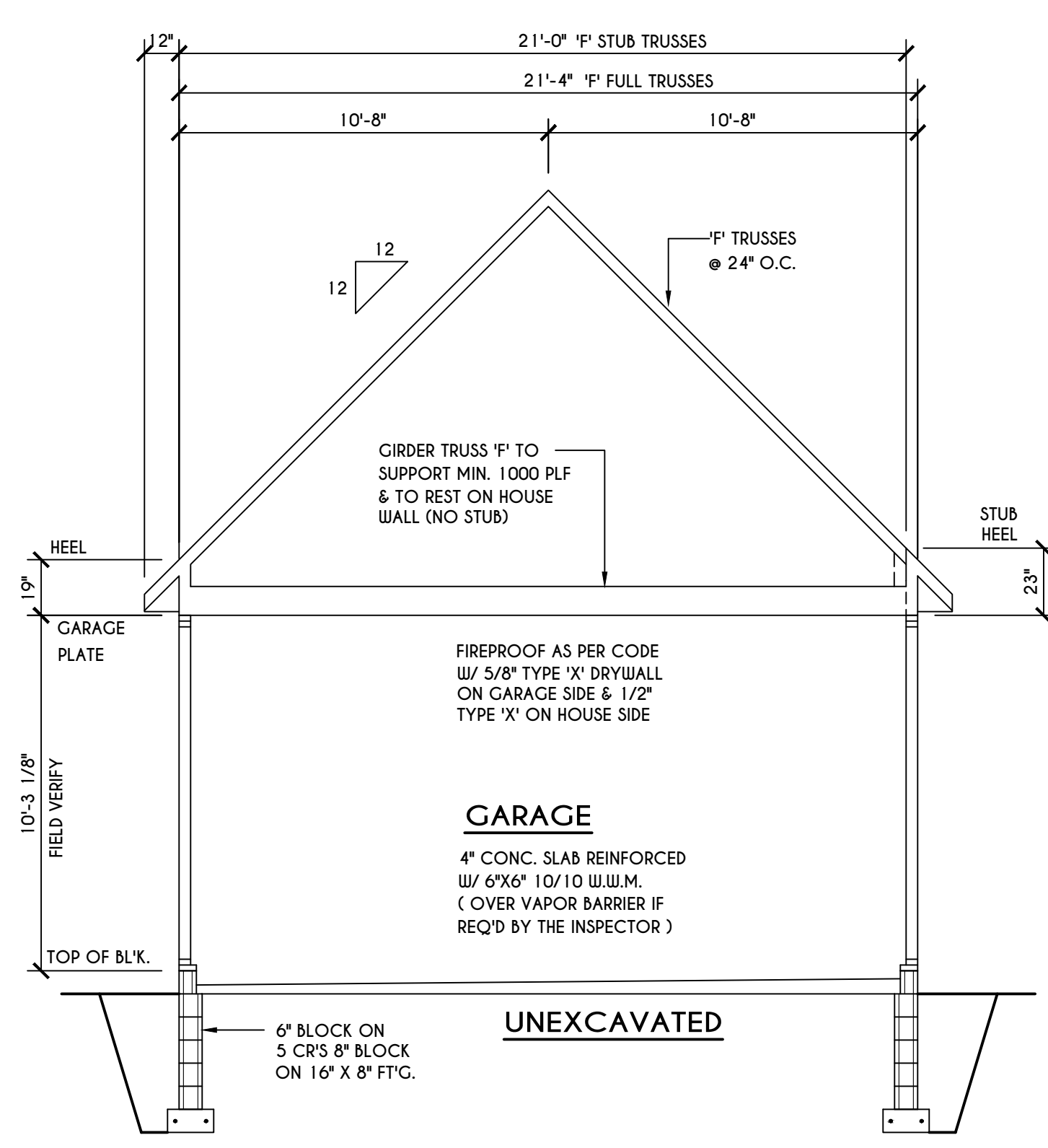
SECTIONS

GLA PLAN 2794

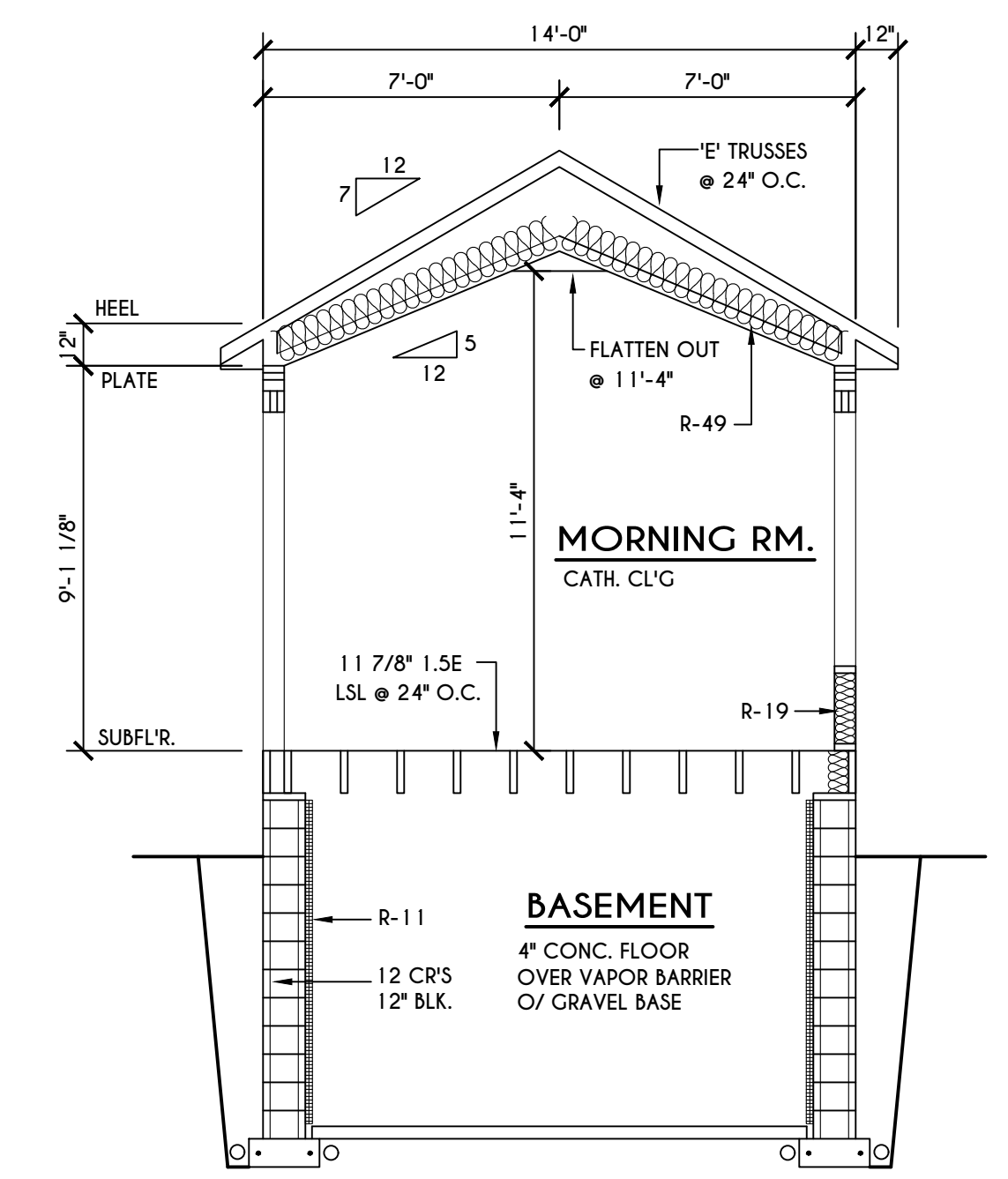
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scale: AS NOTED	date: 5/21
PROJECT:	sheet: 5
5963 O	5



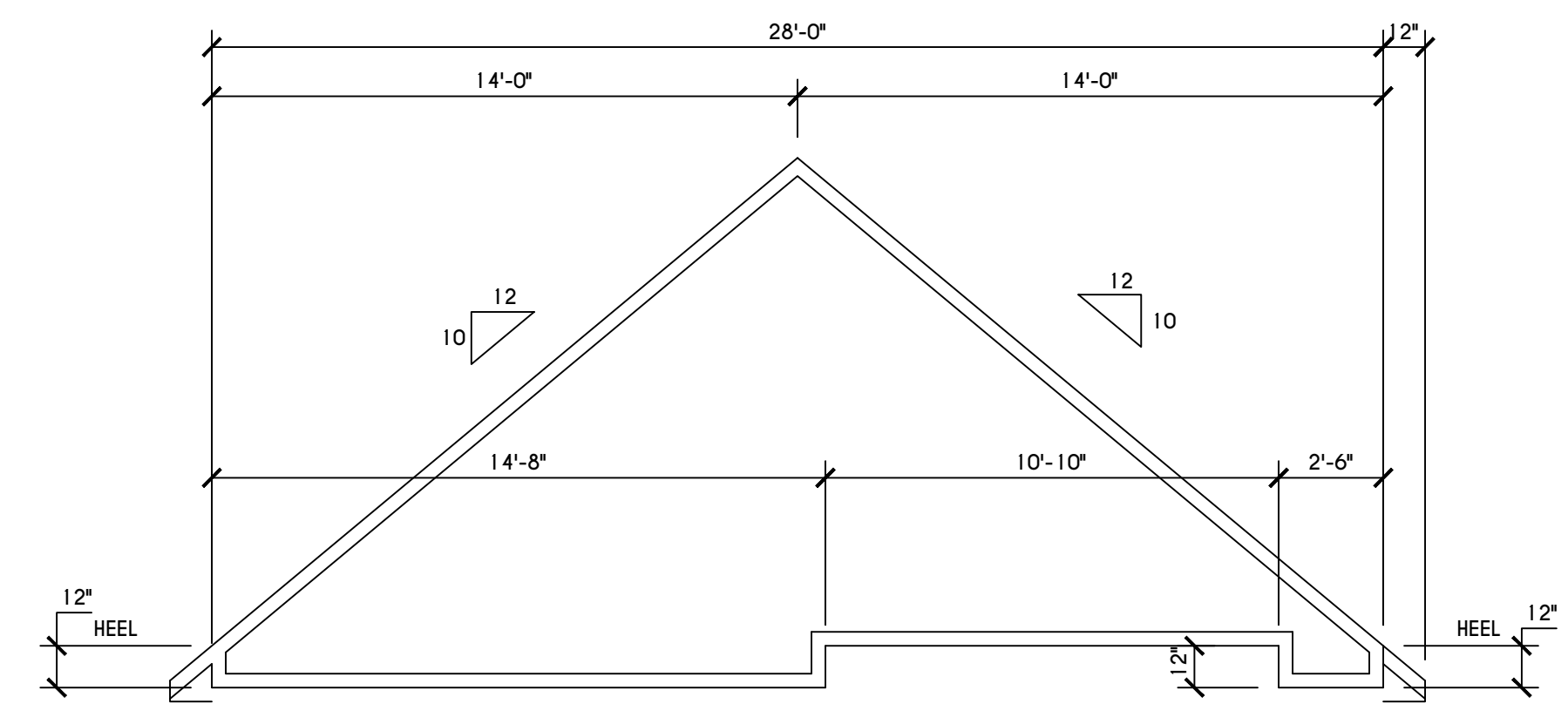
A BUILDING SECTION
 5 SCALE: 1/4" = 1'-0"



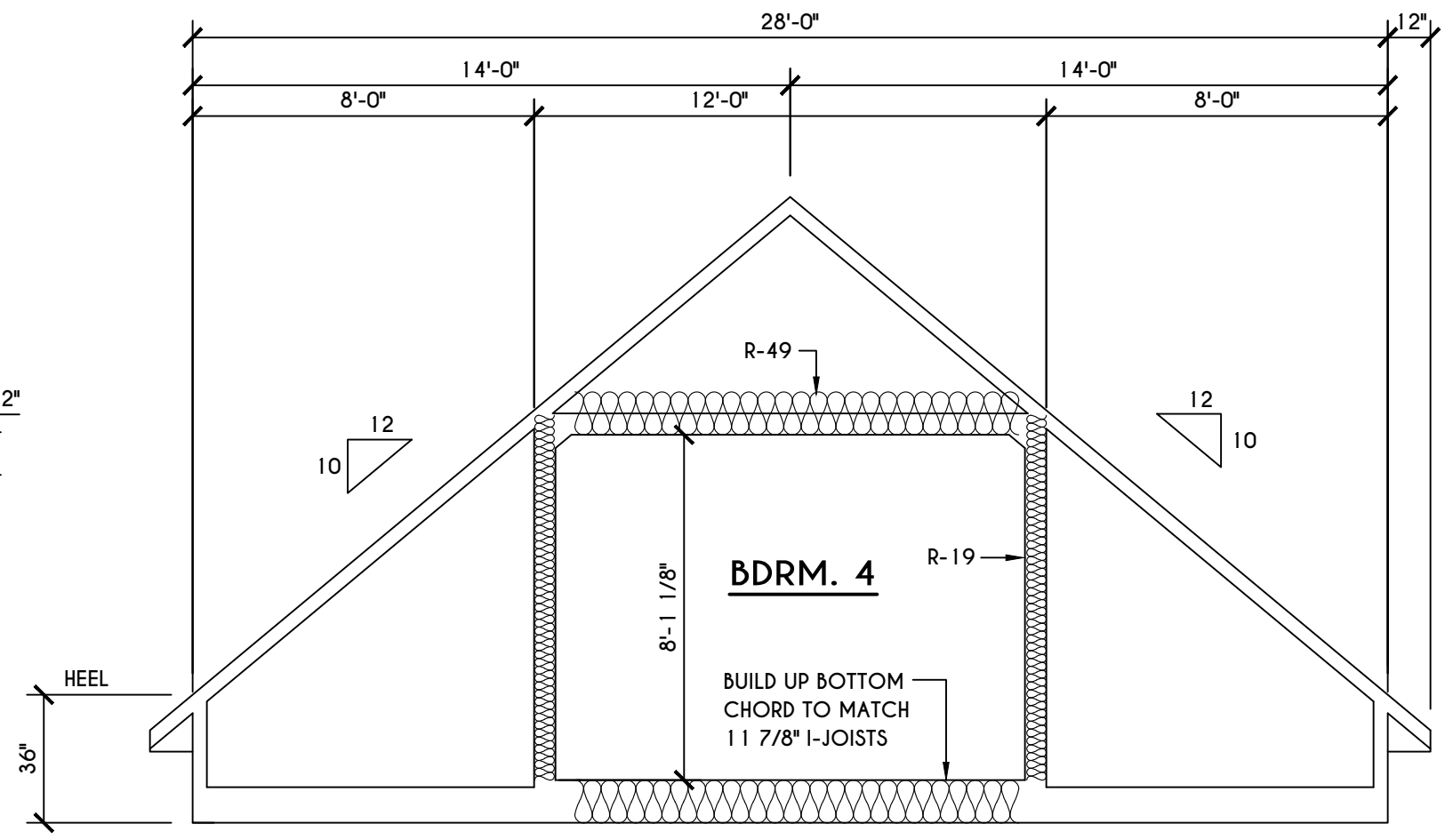
B BUILDING SECTION
 5 SCALE: 1/4" = 1'-0"



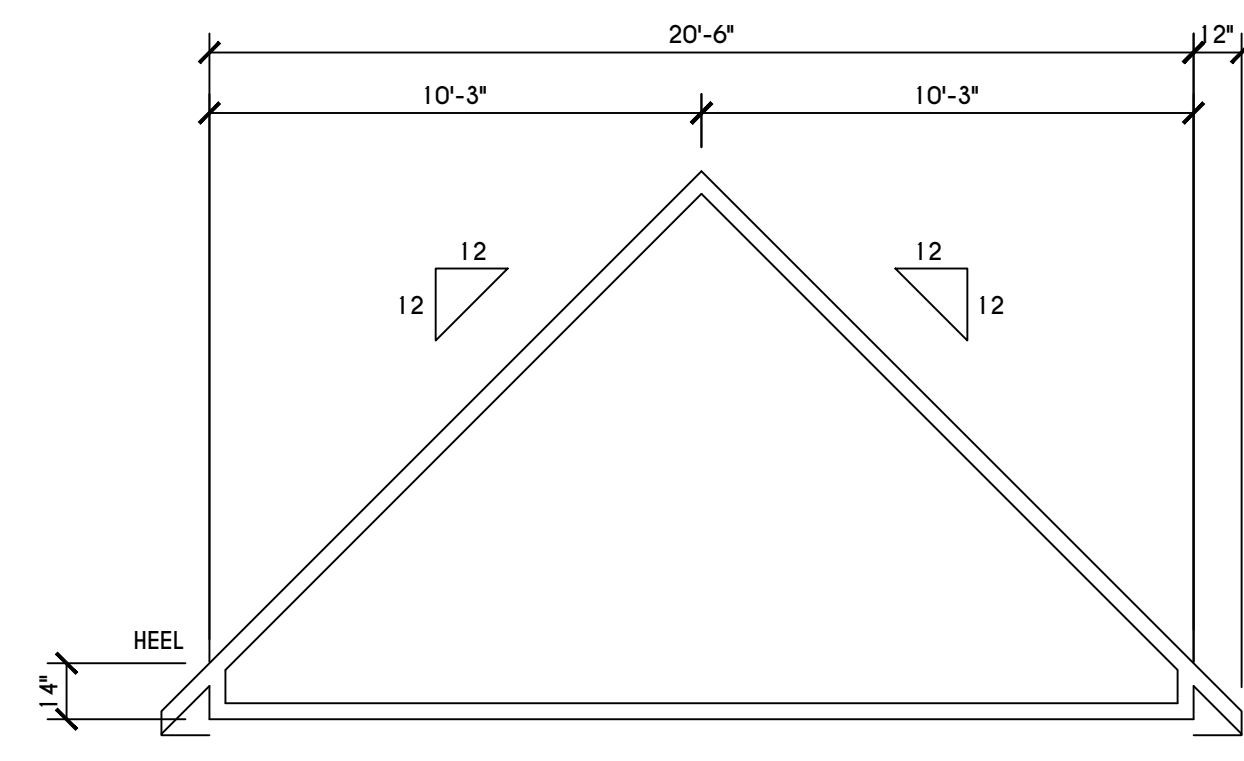
C BUILDING SECTION
 5 SCALE: 1/4" = 1'-0"



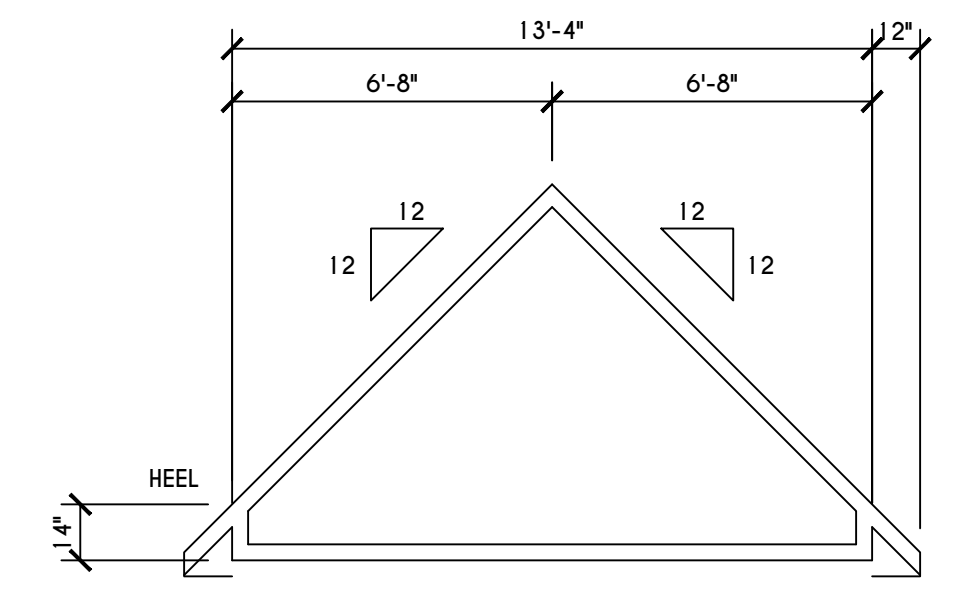
'A' STEP TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



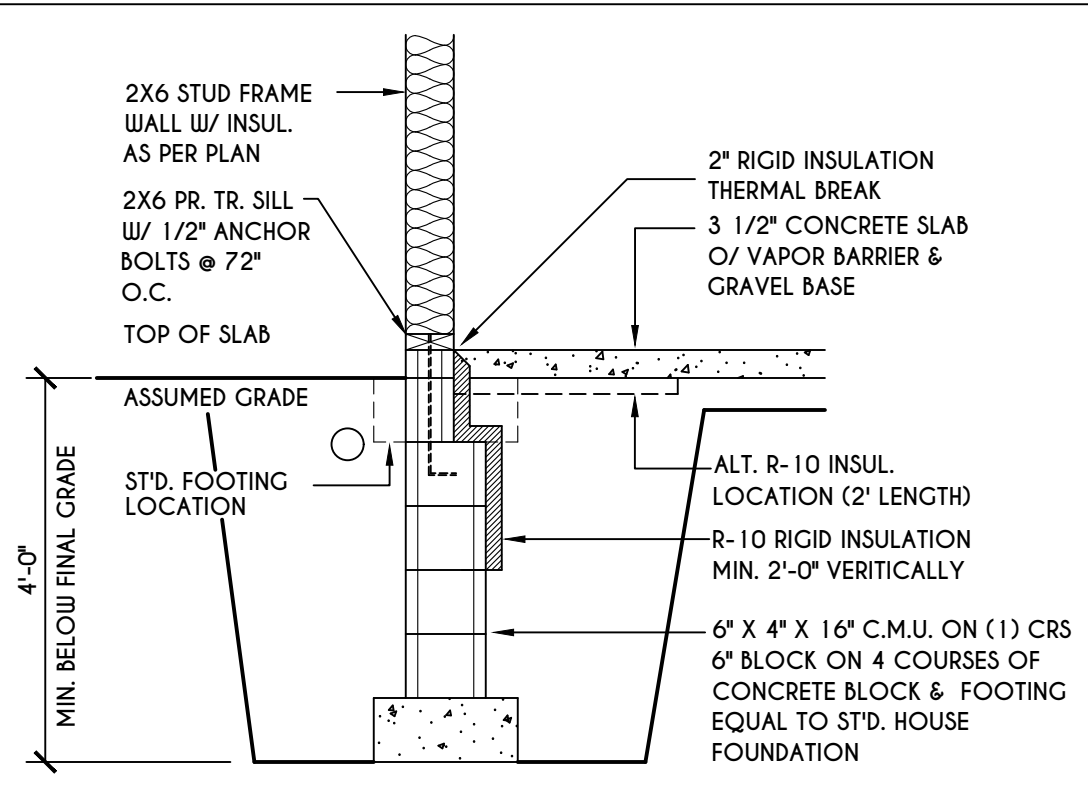
'B' ATTIC TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



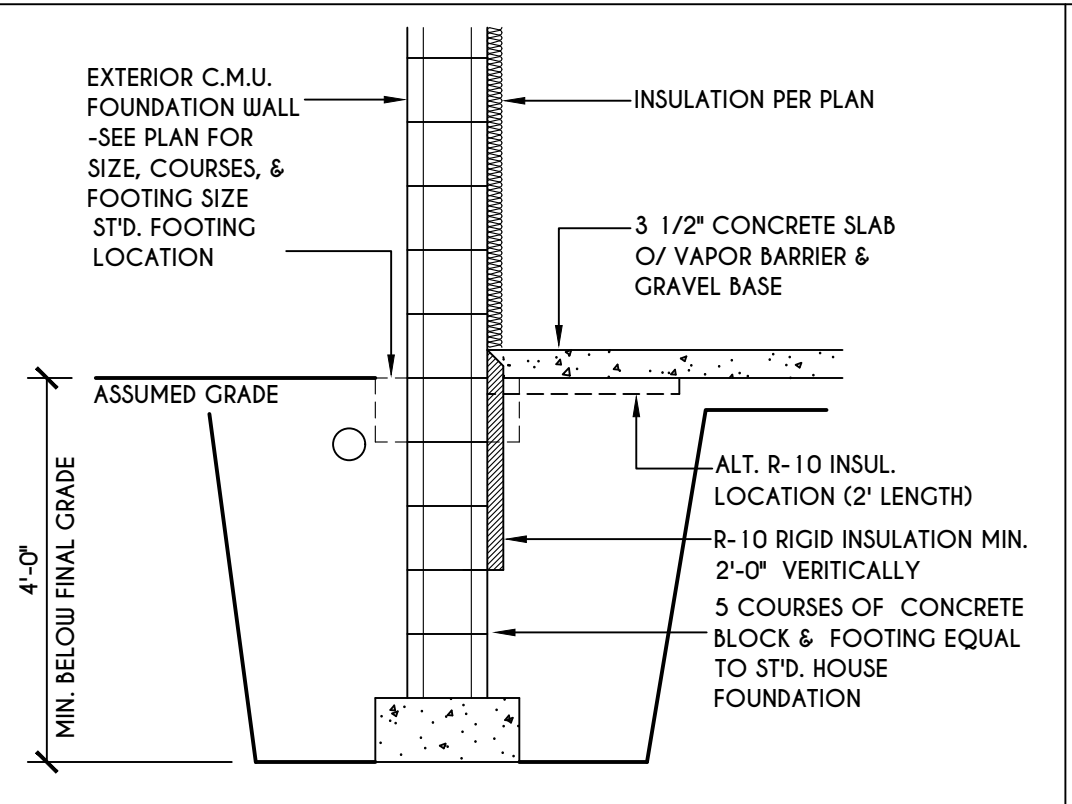
'C' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



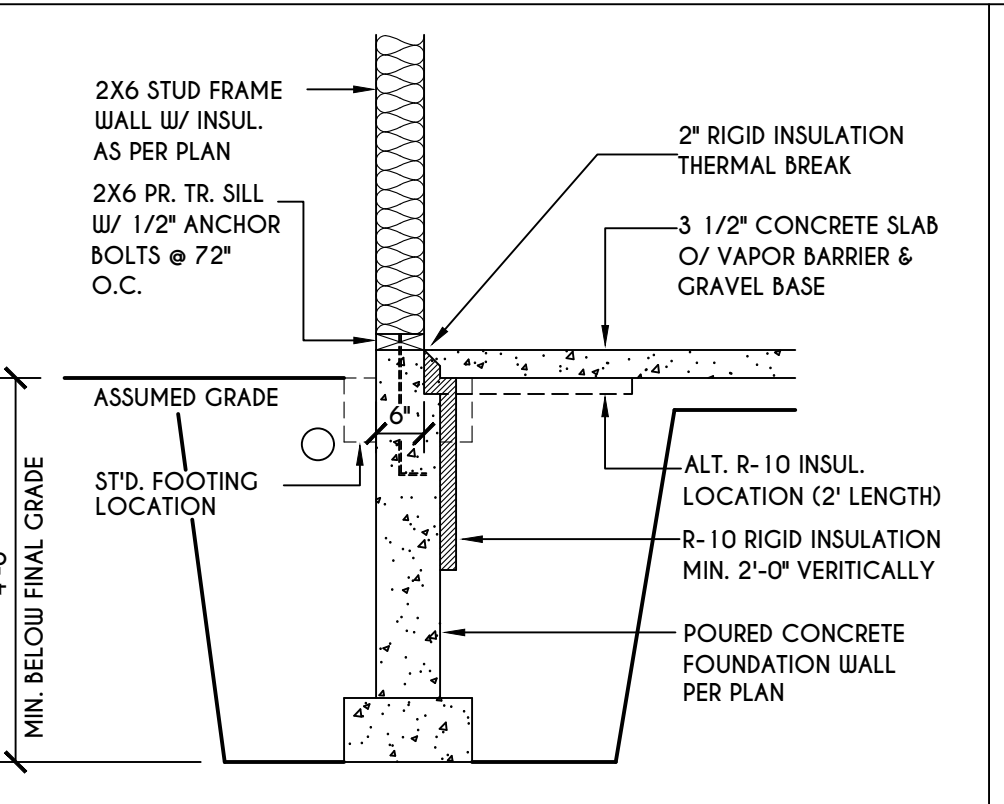
'D' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



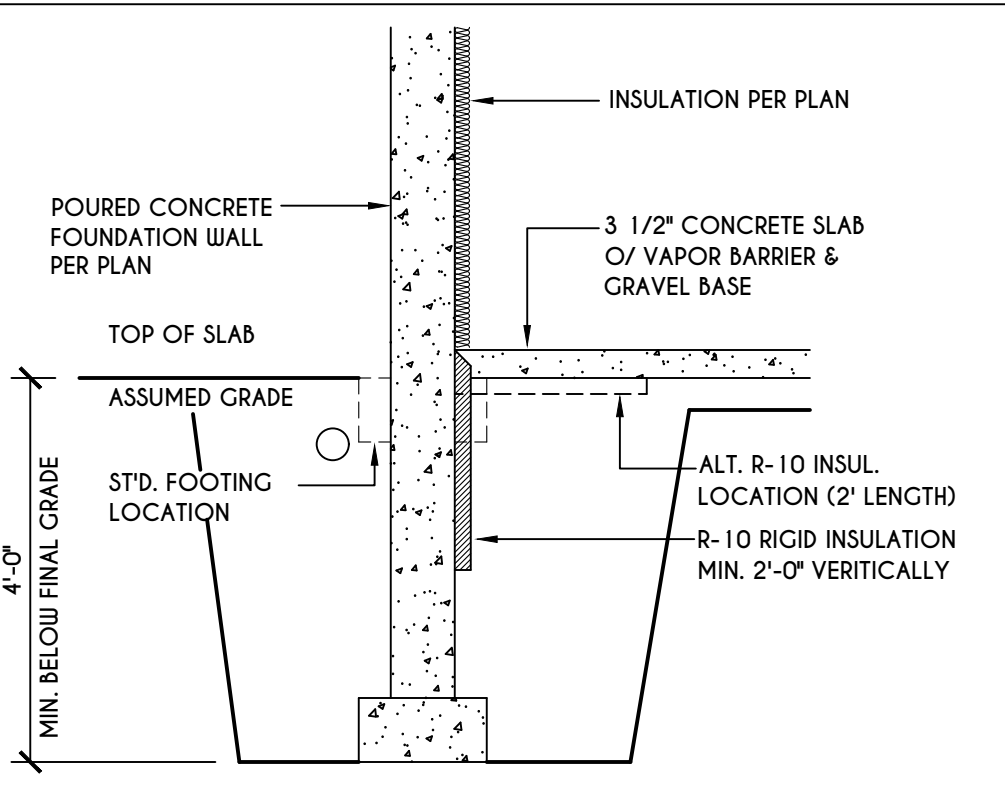
1
N-1
2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



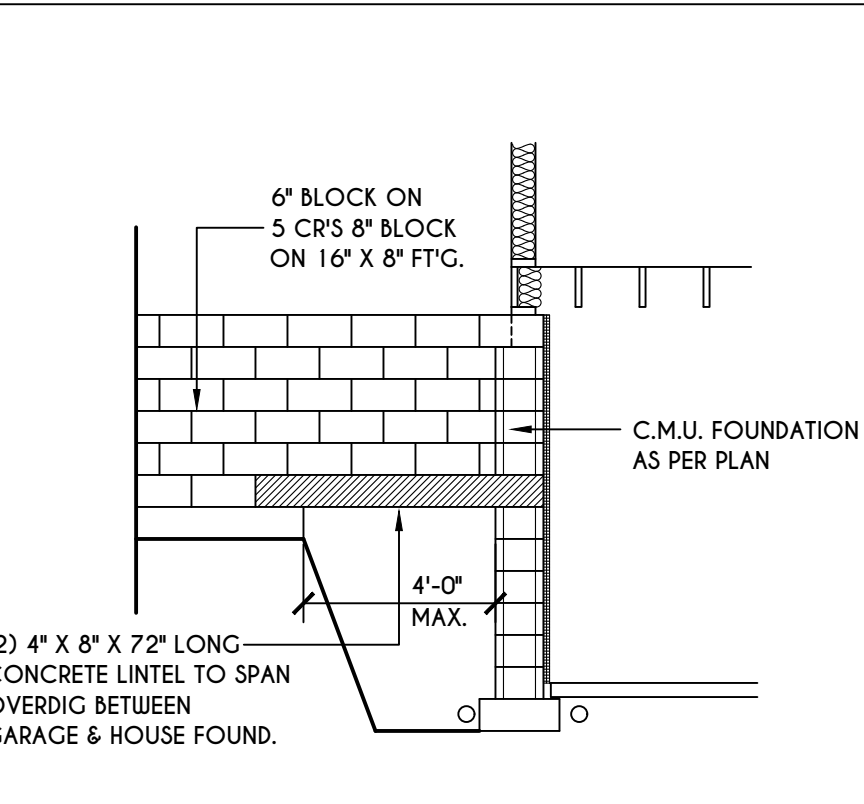
2
N-1
C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



3
N-1
2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"

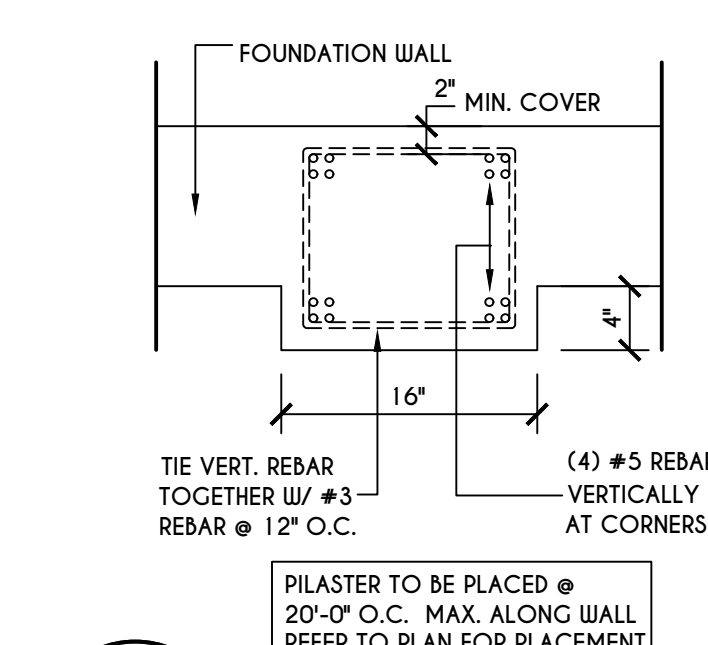


4
N-1
POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"

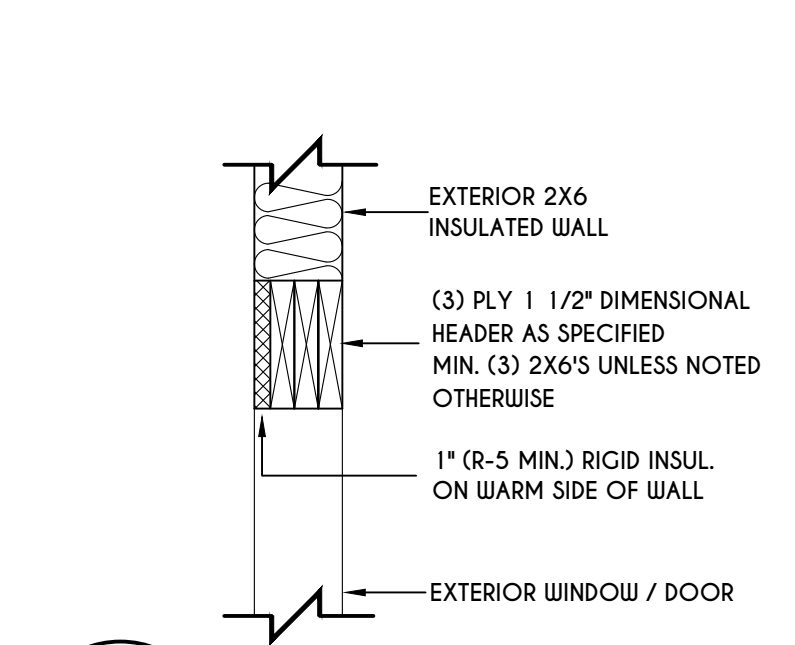


5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"

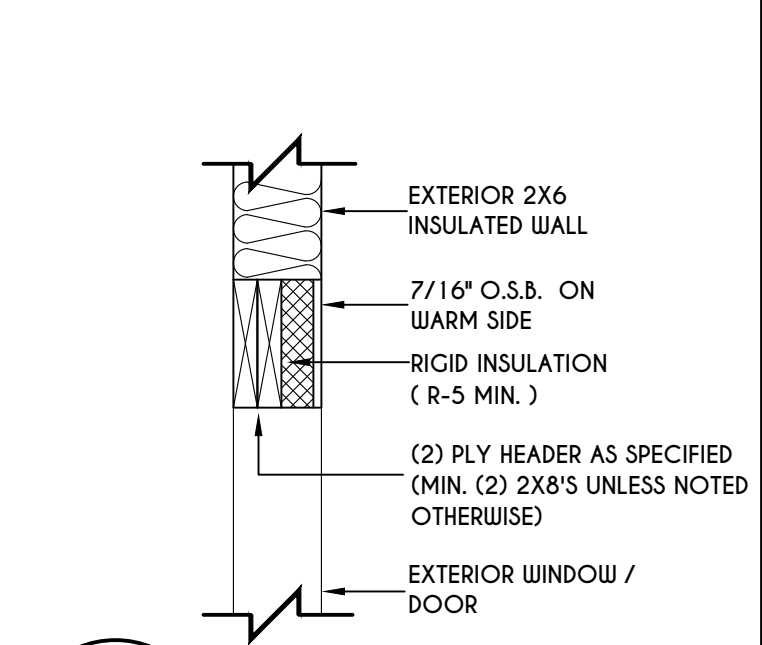
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N-1
INTERSECTING WALL DETAIL
SCALE: 1/2" = 1'-0"



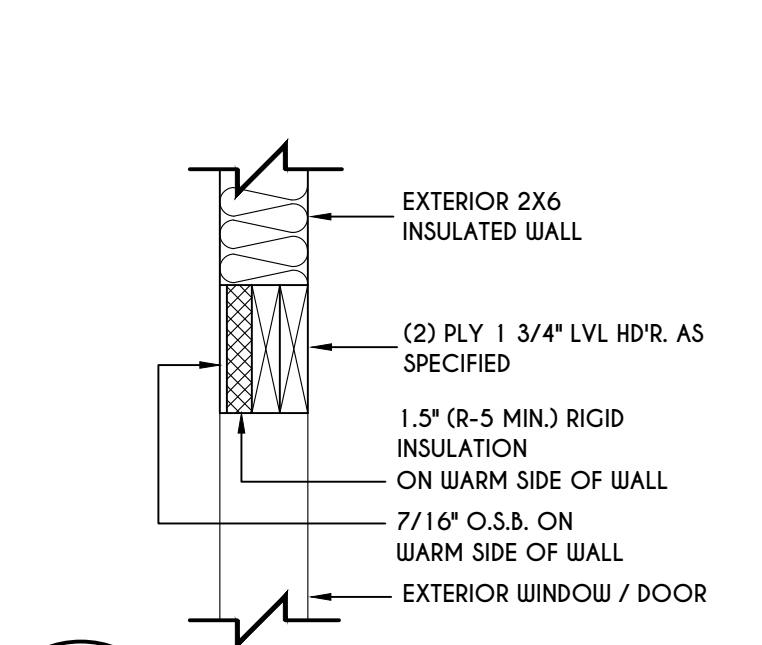
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



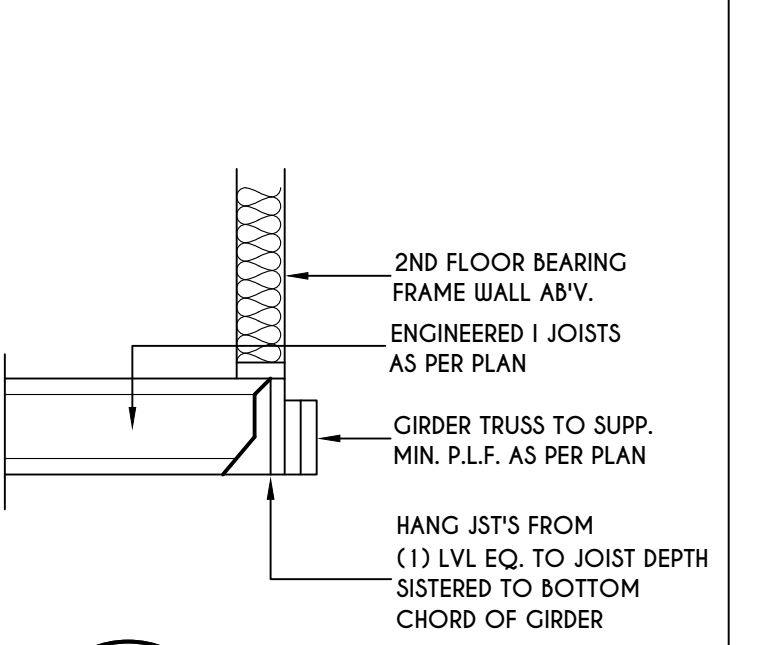
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



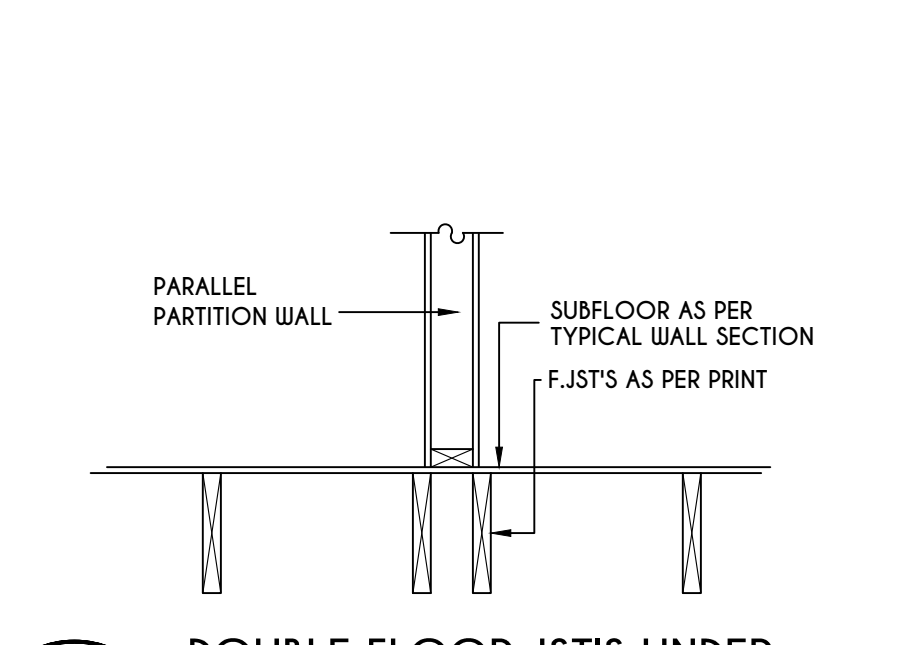
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N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



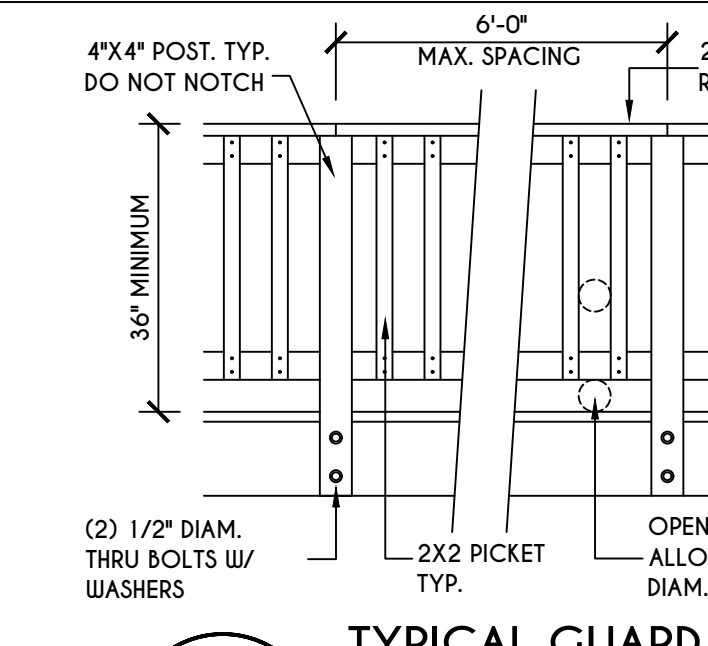
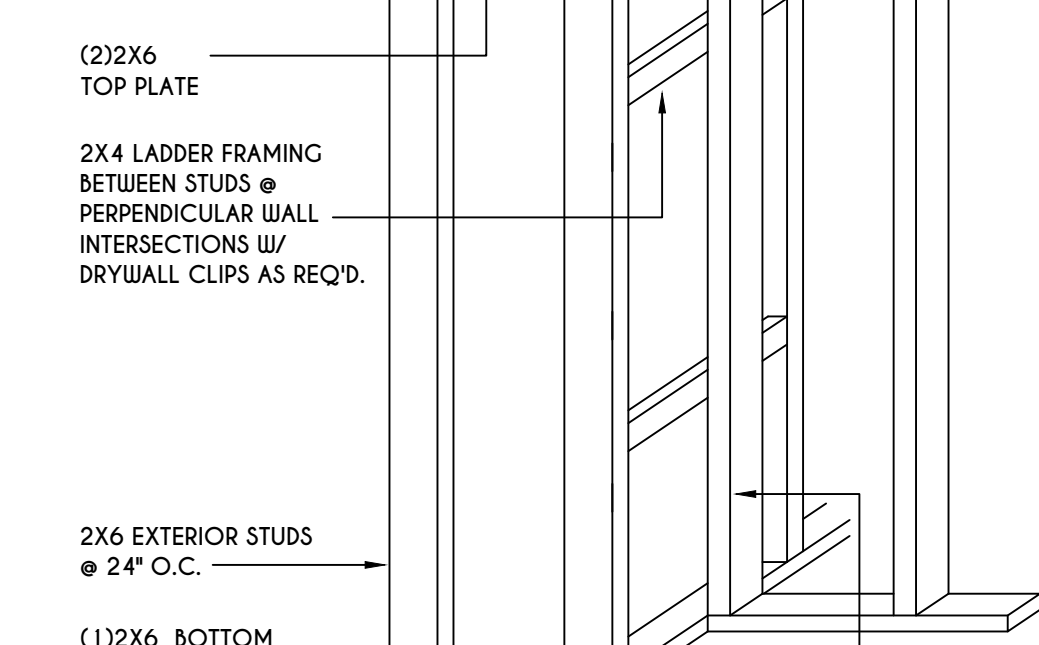
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N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



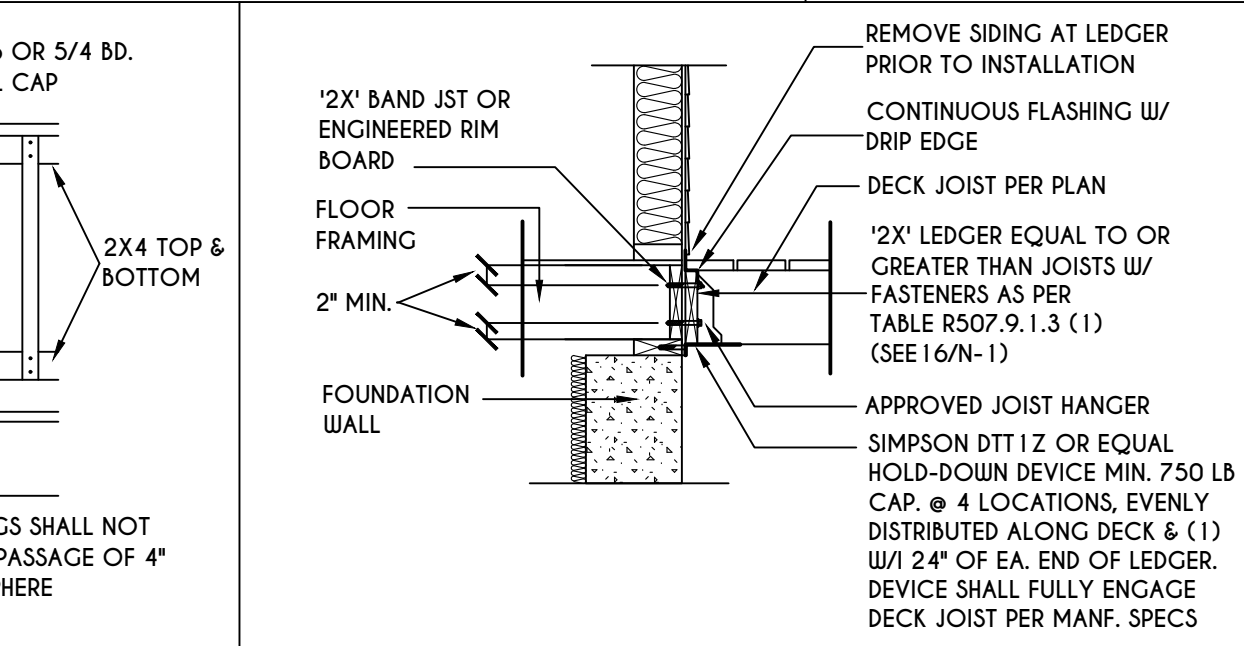
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



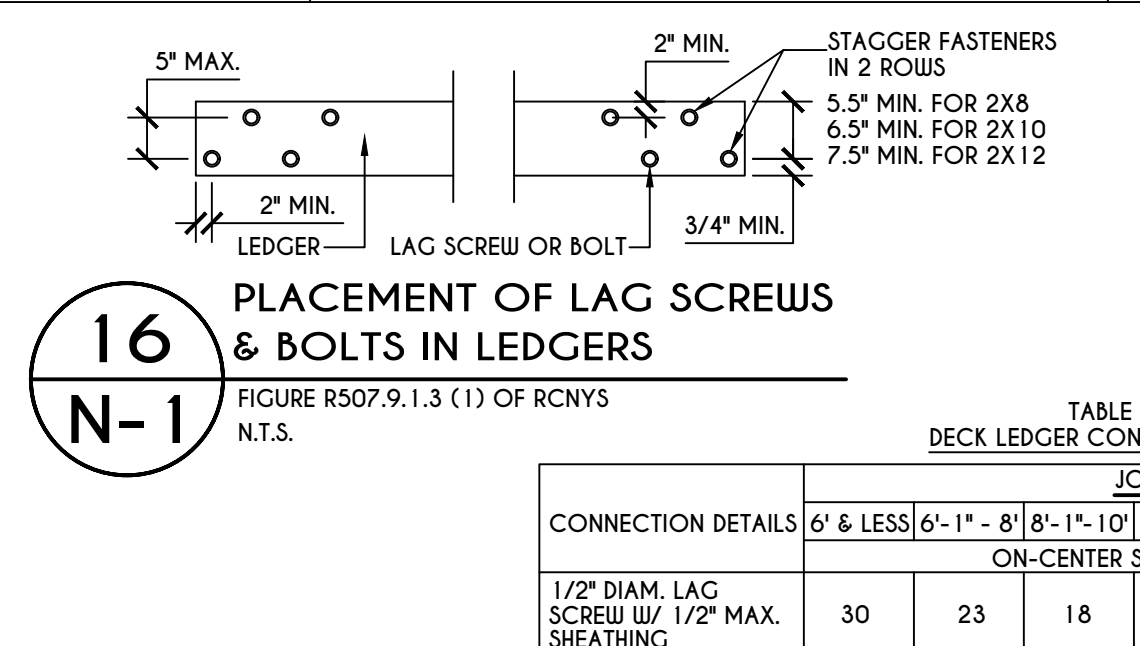
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



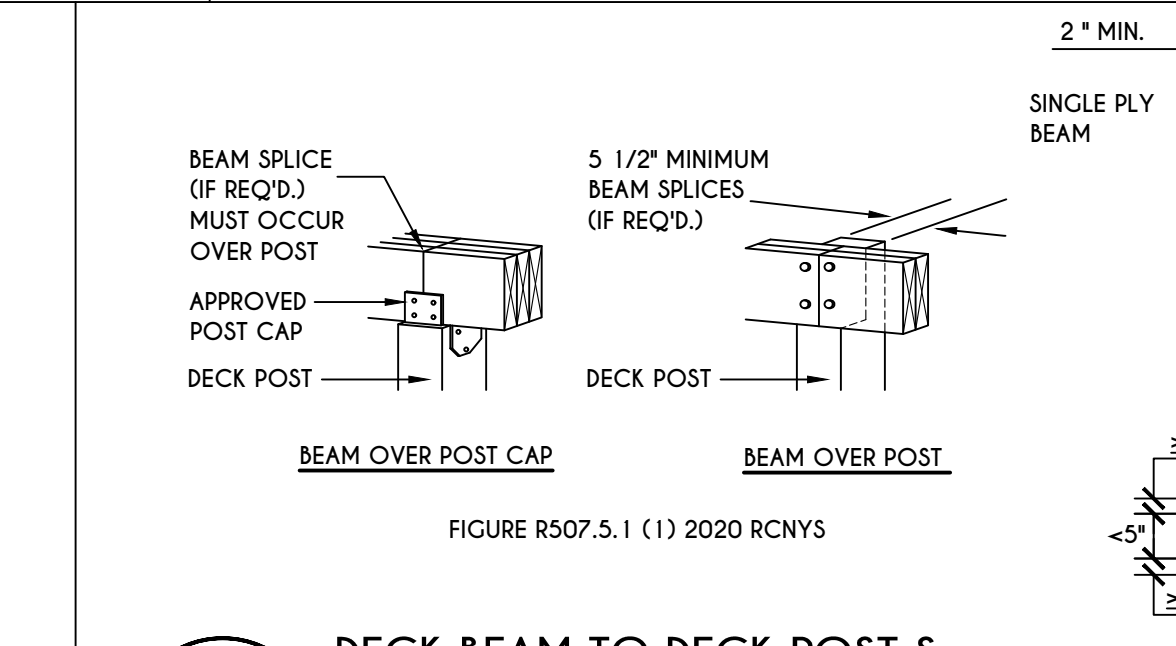
15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS N.T.S.

TABLE R507.9.1.3 (1) DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

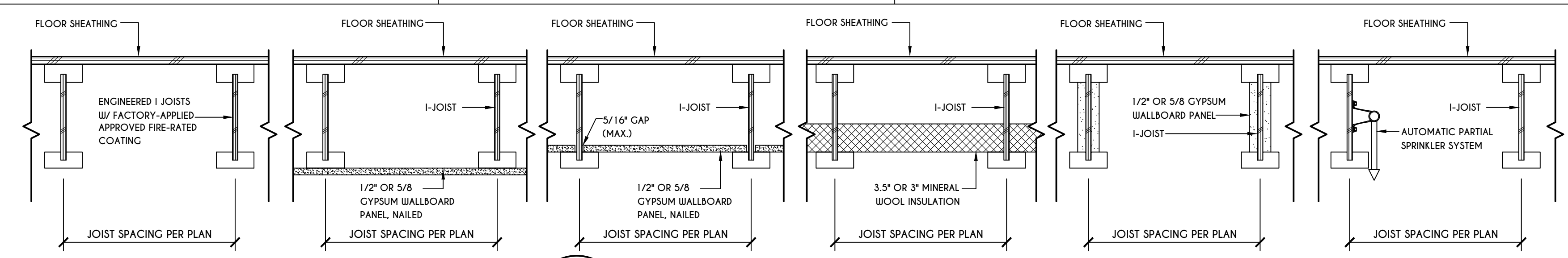


17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

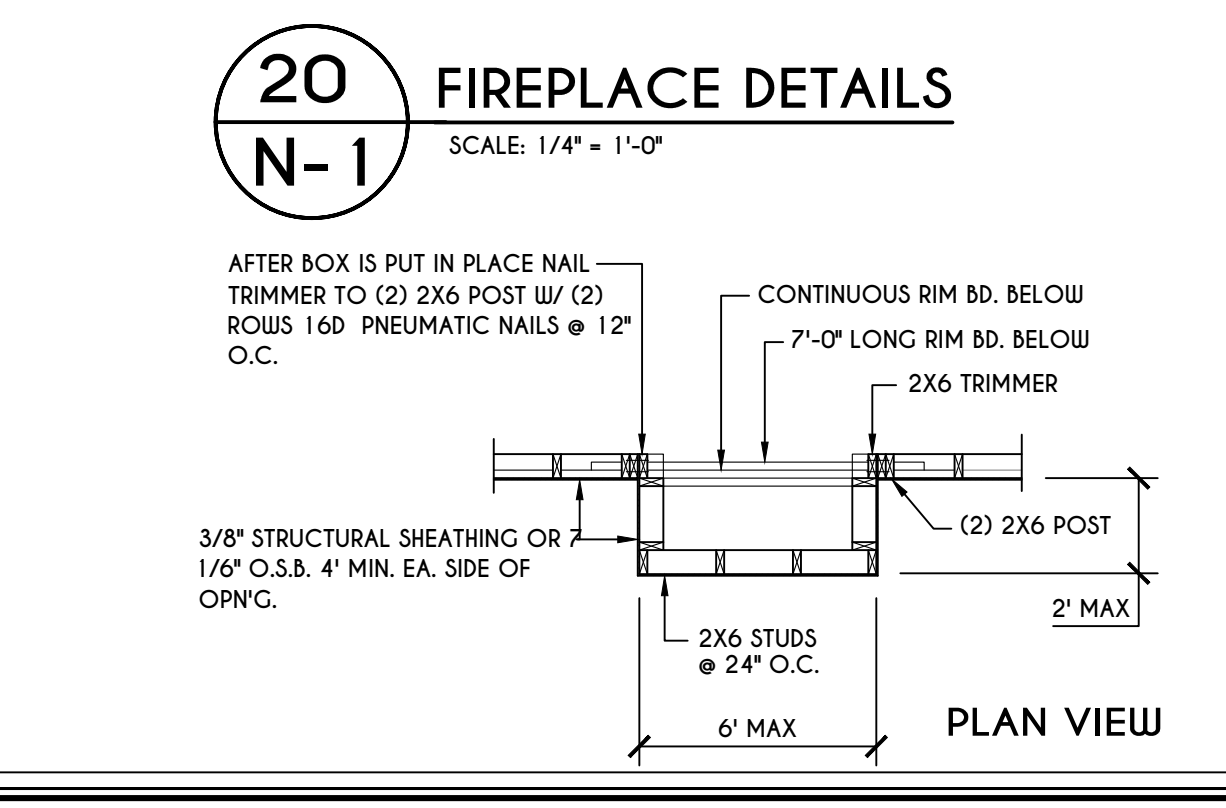
TABLE R507.4 DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a, b, c} (feet-inches)
4 X 4	6-9 ^c
4 X 6	8'
6 X 6	14'
8 X 8	14'

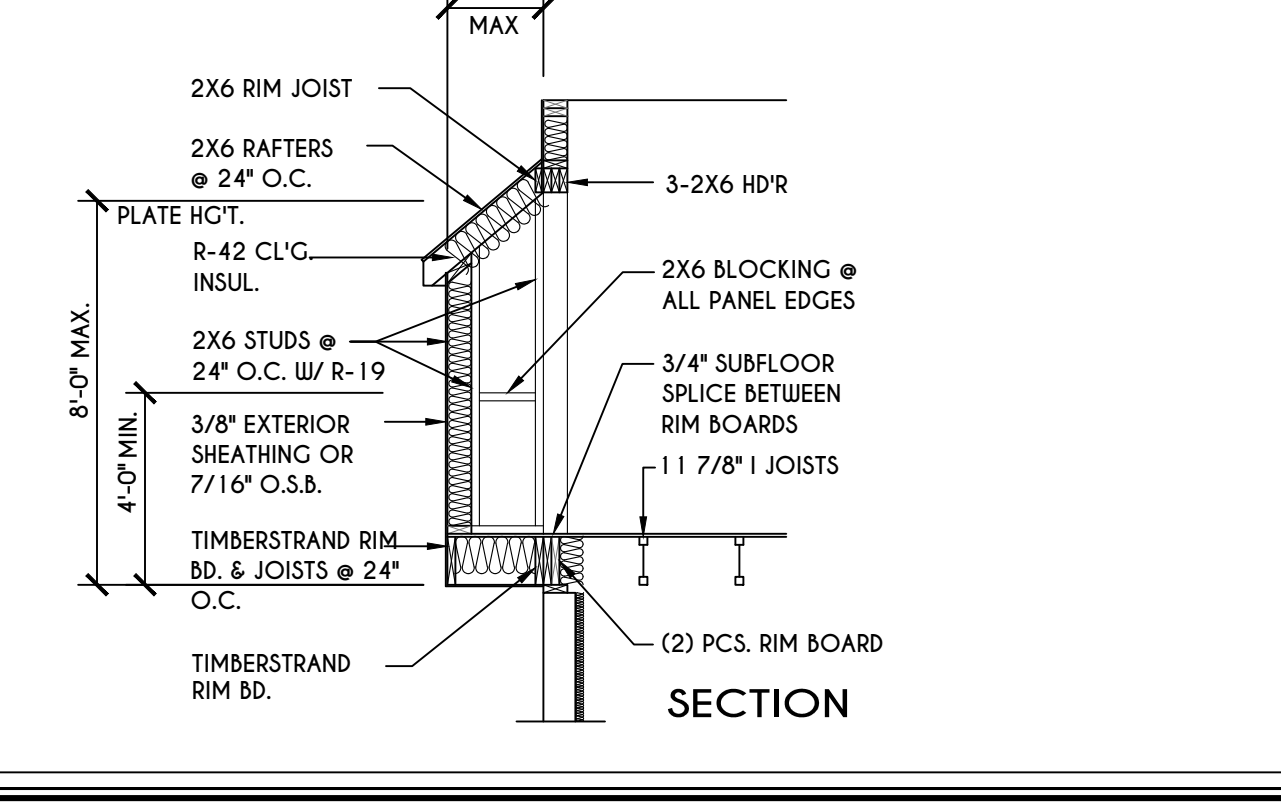
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



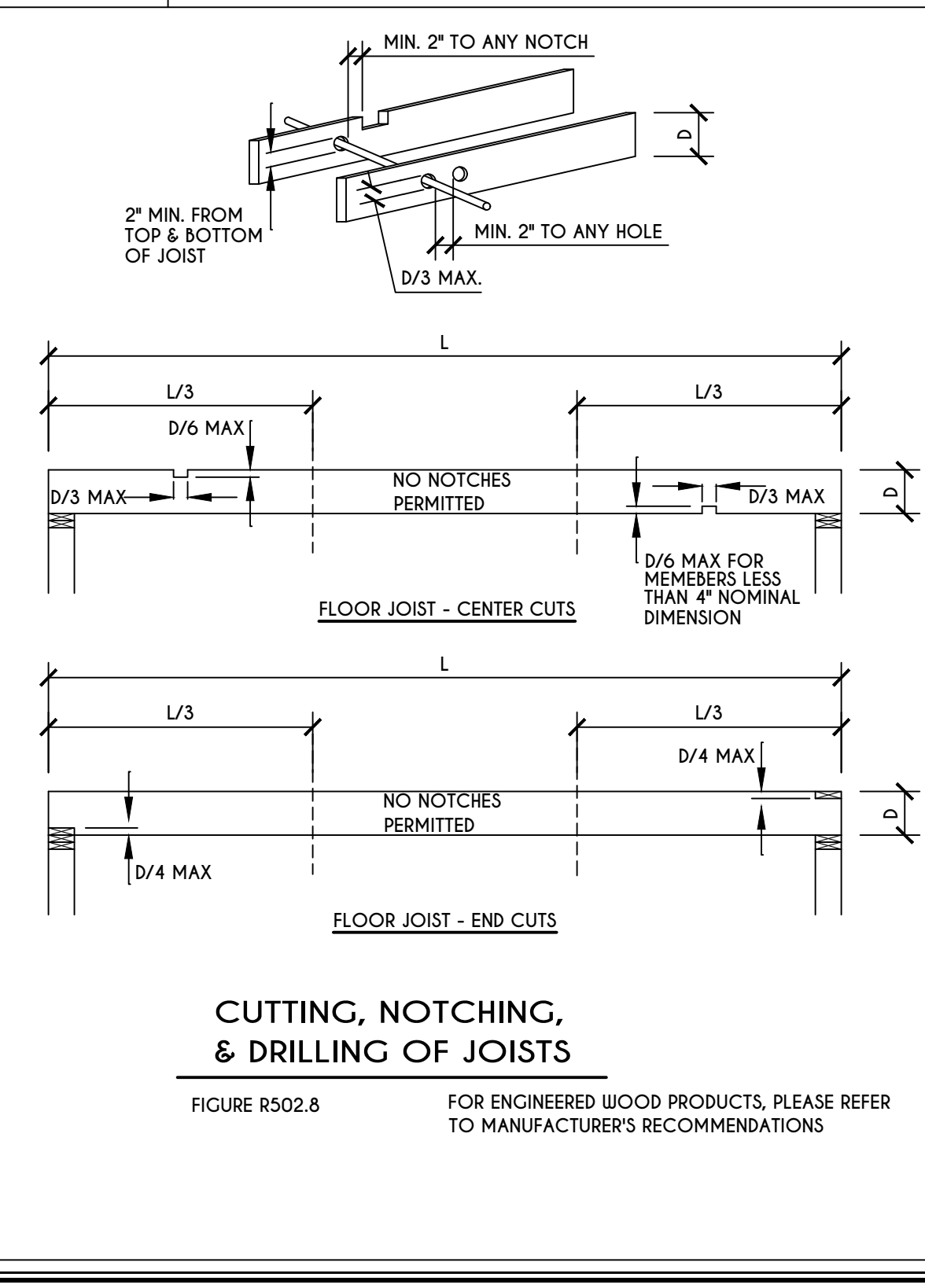
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



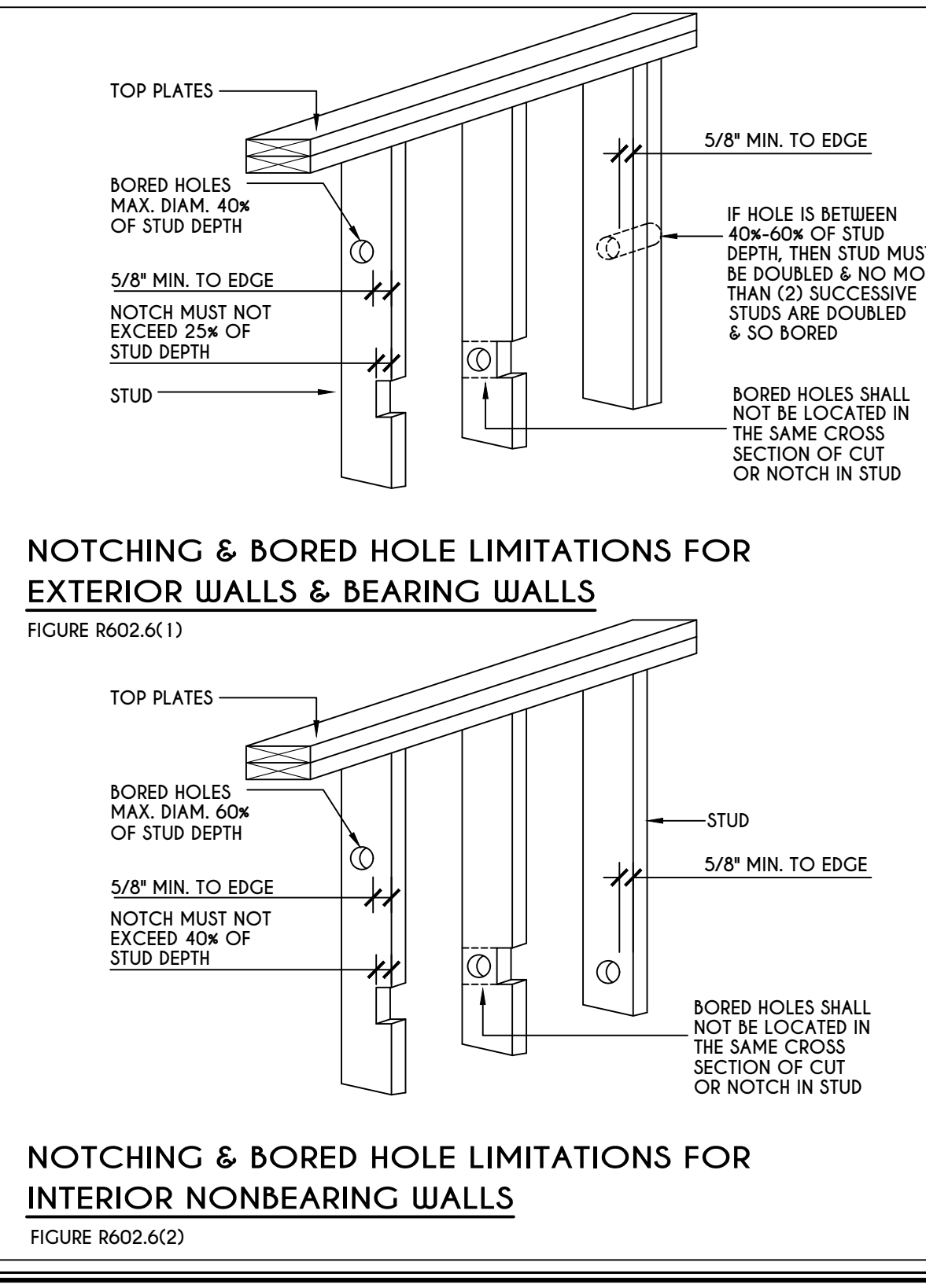
20
N-1
FIREPLACE DETAILS
SCALE: 1/4" = 1'-0"



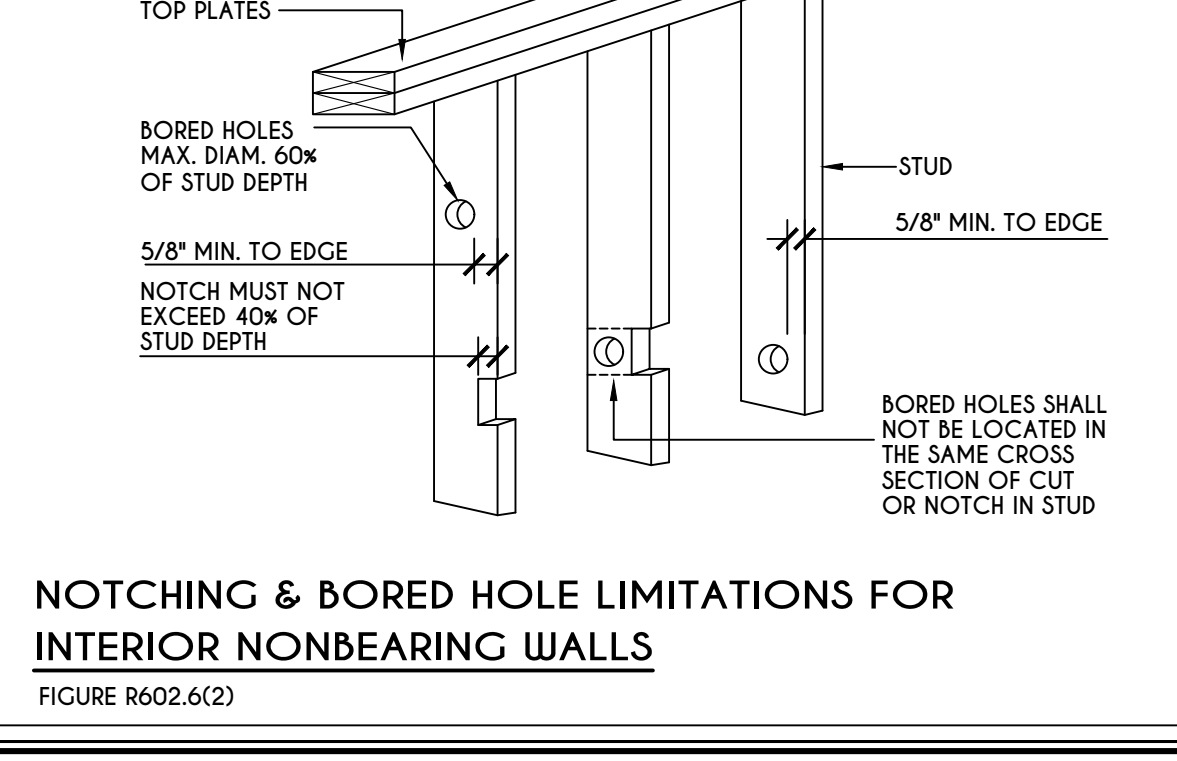
TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1 N.T.S.



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

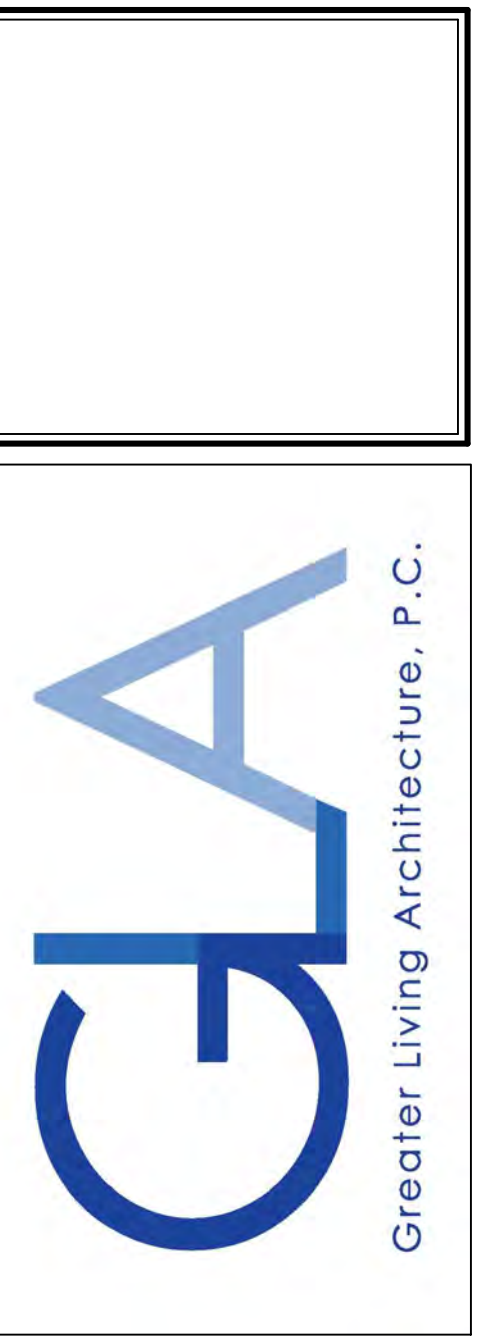


NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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PITTSFORD, NY

BUILDER:
GERBER HOMES

DETAILS
GLA PLAN 2794

drawn: JUS	checked: CDK
scale: AS NOTED	date: 5/21
PROJECT: 5963 O	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, CP, SU, AND SP SOILS 30	GM, CS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, CP, SU, AND SP SOILS 30	GM, CS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
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f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, CP, SU, AND SP SOILS 30	GM, CS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, CP, SU, AND SP SOILS			GM, CS, SM-SC AND ML SOILS			SC, MH, ML-CL AND INORGANIC CL SOILS			SC, MH, ML-CL AND INORGANIC CL SOILS		
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9).
d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
e. ALLOWABLE DEFLECTION CRITERION IS 1/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
f. INTERPOLATION IS NOT PERMITTED.
g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
i. CONCRETE COVERS FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
j. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR n.
l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

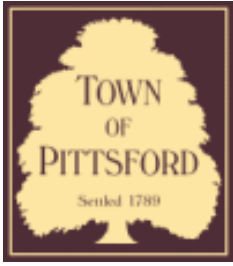
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	THE JUNCTION OF THE FOUNDATION AND SLAB SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSTALLED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WALLS	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED. DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED. BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
WINDOWS, SKYLIGHTS AND DOORS	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC BATED.
RIM JOISTS	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
CRAIL SPACE WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
SHAFTS, PENETRATIONS	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
NARROW CAVITIES	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
GARAGE SEPARATION	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
RECESSED LIGHTING	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
PLUMBING AND WIRING	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED TO THE DRYWALL.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND THE BUILDING T	




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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000110

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 37 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.03-5-40

Zoning District: IZ Incentive Zoning

Owner: Clover Street Development

Applicant: Clover Street Development

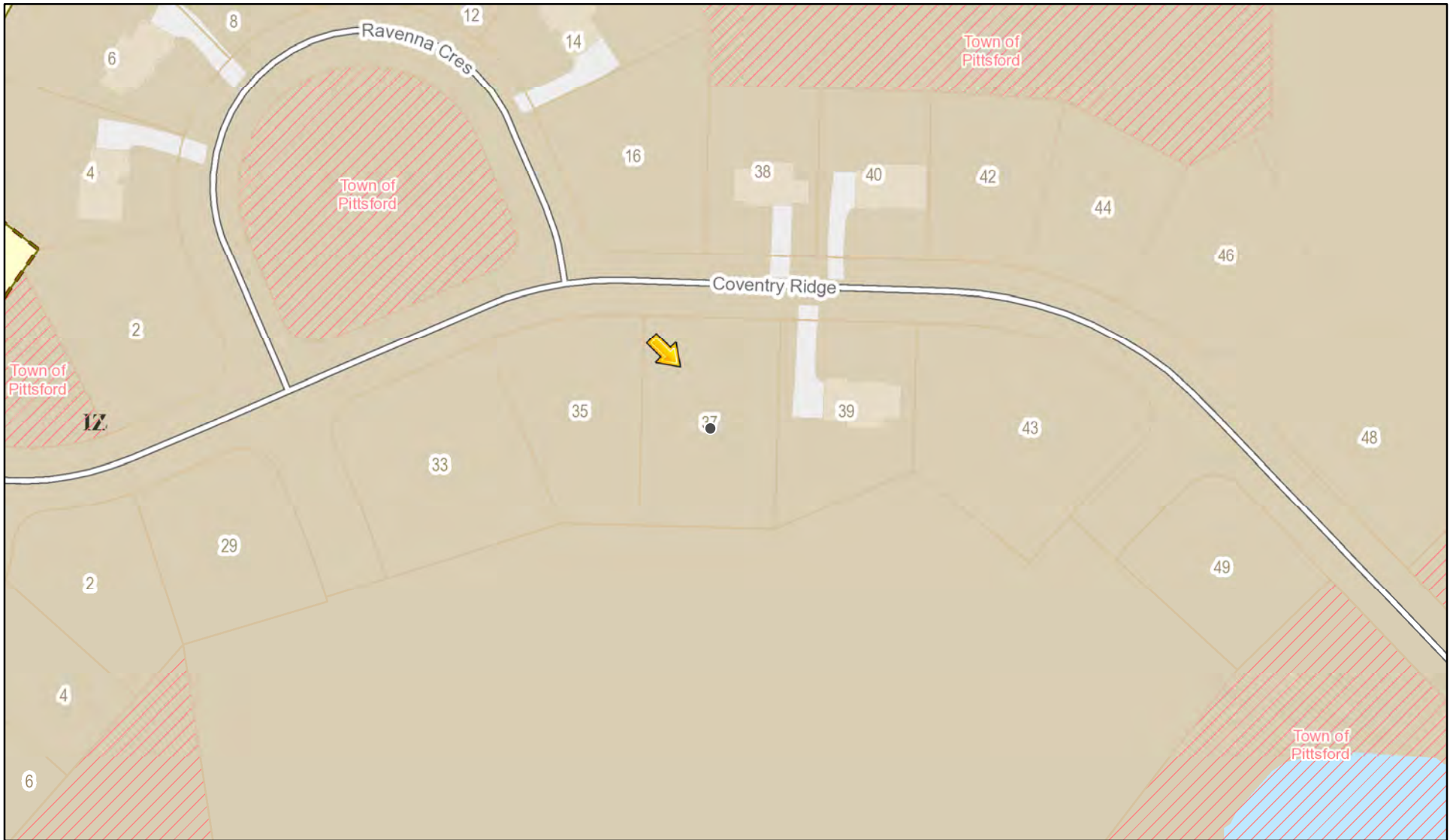
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

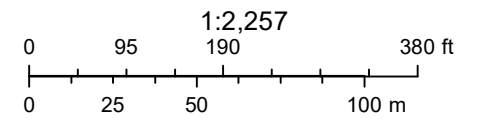
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2810 square feet of living space. The home will be located in the Coventry Ridge Subdivision.

Meeting Date: June 10, 2021

RN Residential Neighborhood Zoning

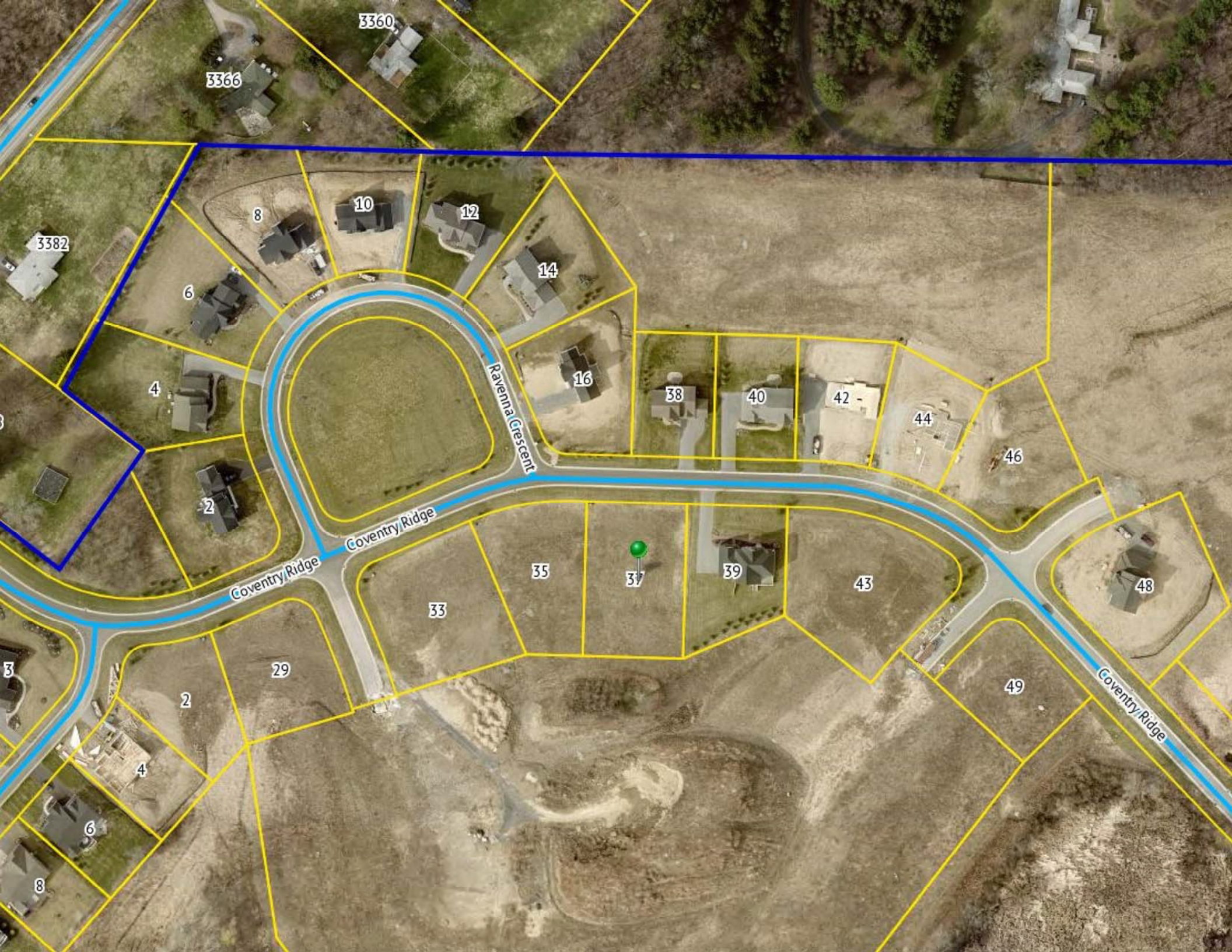


Printed June 3, 2021



Town of Pittsford GIS

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3360

3366

3382

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6

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38

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4

2

Coventry Ridge

Coventry Ridge

Ravenna Crescent

35

37

39

43

48

33

29

2

49

4

6

8

Coventry Ridge



EBALAROZA RESIDENCE

LOT 111 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 2810 / PROJECT 15420 B

SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & LEFT ELEVATIONS
- 2/6 RIGHT & REAR ELEVATIONS
- 3/6 BASEMENT & FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY S).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALES). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE PUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORTCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN QUITCHES. FLASHINGS SHALL BE PROVIDED AS REQD. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

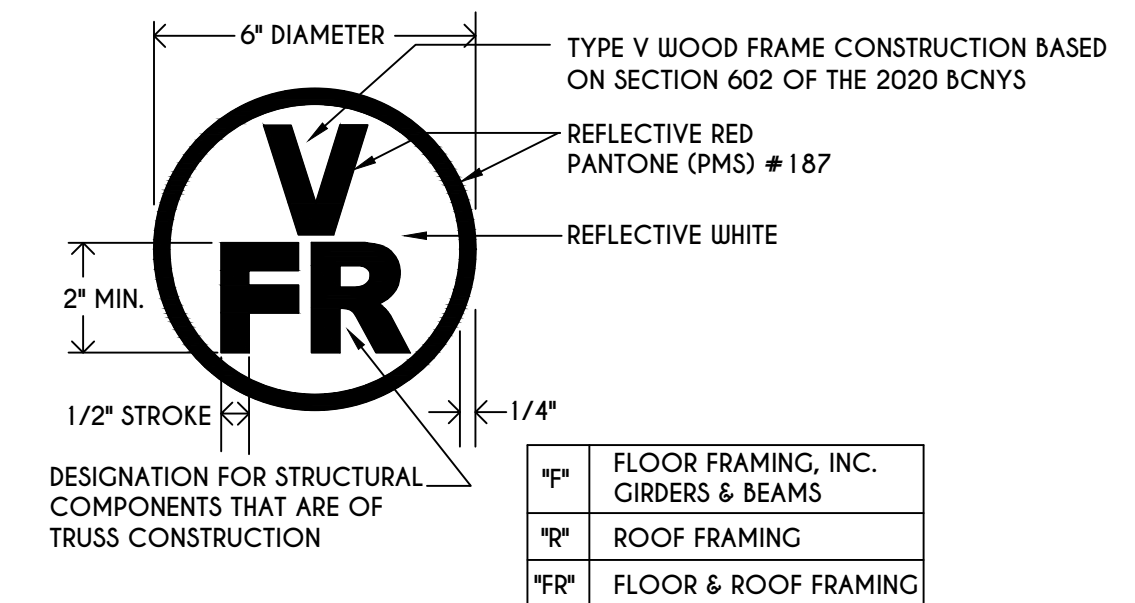
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

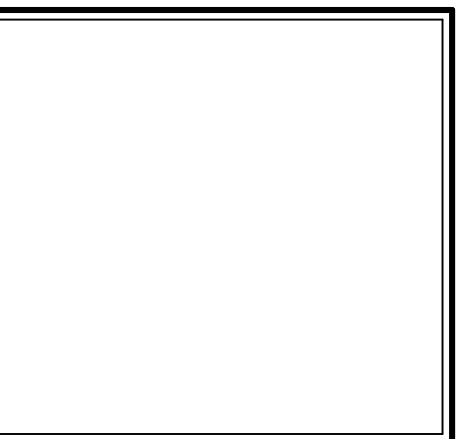


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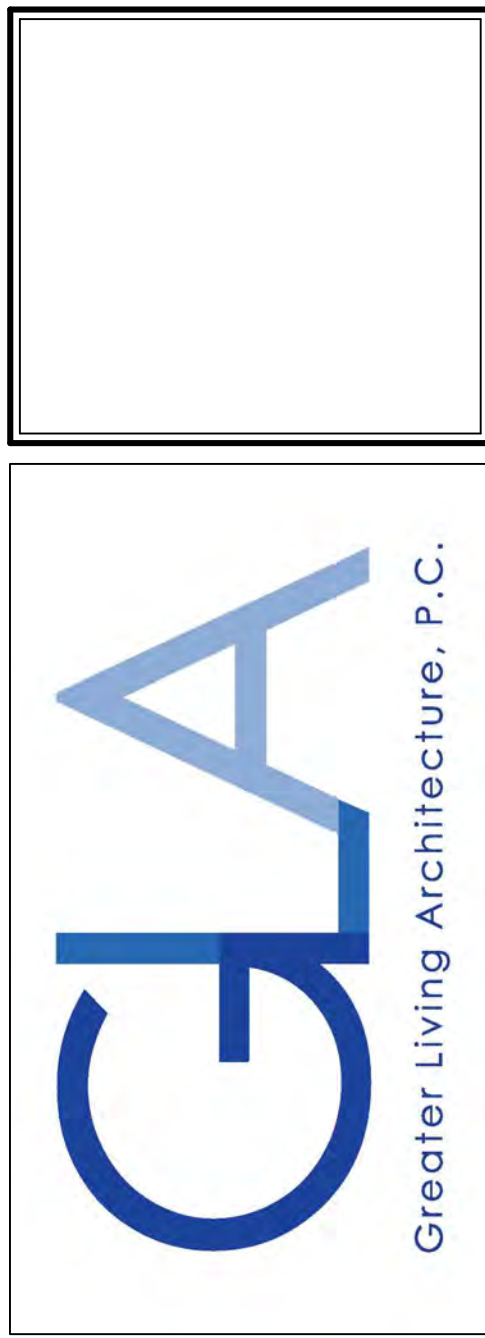
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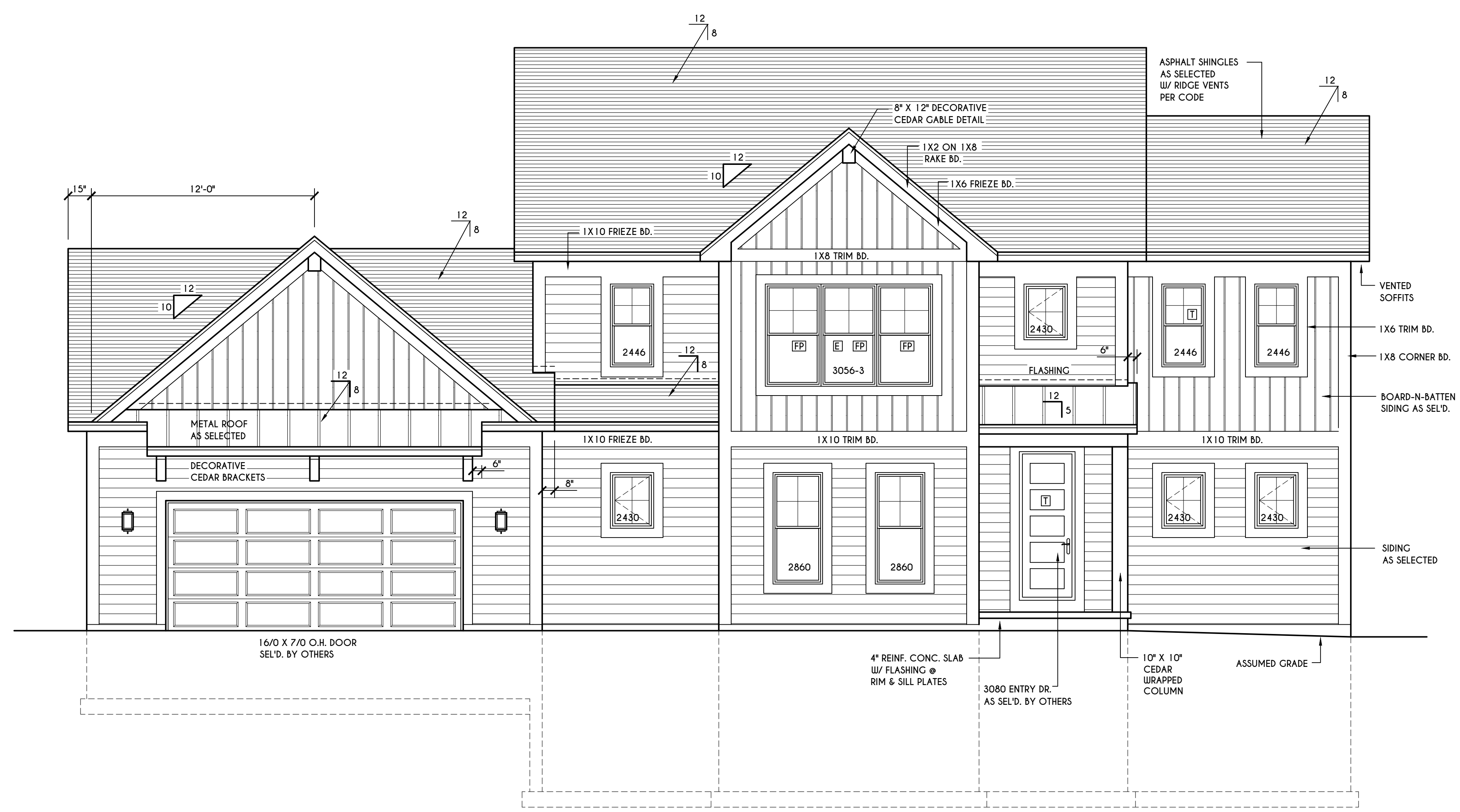
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ELEVATIONS

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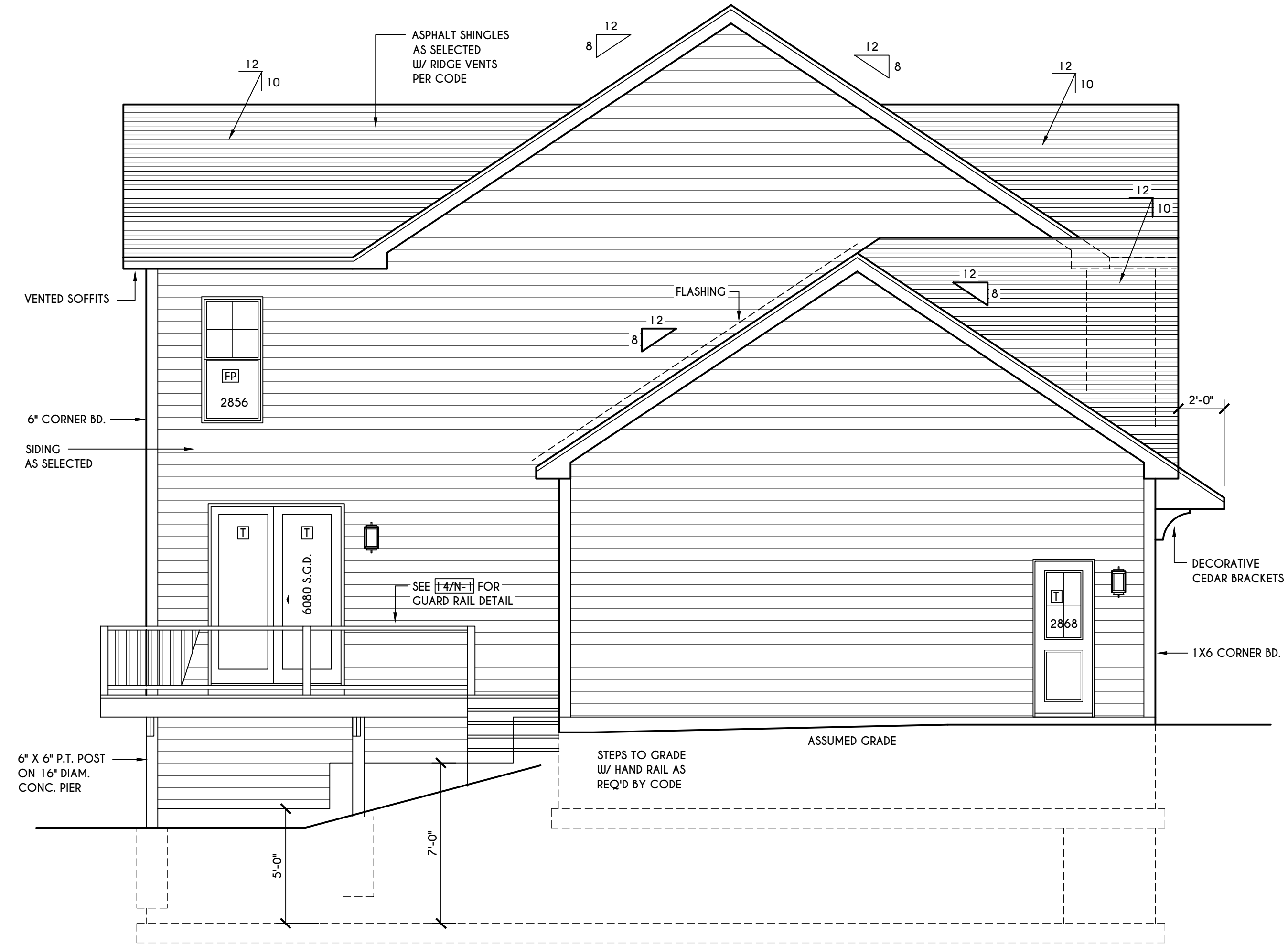
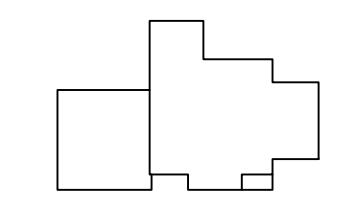
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 1396 SQ.FT.
 SECOND FLOOR LIVING AREA = 1414 SQ.FT.
 TOTAL LIVING AREA = 2810 SQ.FT.
 TOTAL CONDITIONED VOLUME = 38,224 CU.FT.

HOUSE FOOTPRINT
 SCALE: 1" = 50'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M 1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M 1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	EXHAUST RATES					
	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

WINDOWS: VWD 210C DH SOLAR GAIN W/ ARGON
 U-FACTOR 0.29
 SHGC 0.56

DOORS: SELECTION BY QUINER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SLIDING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2020 ECCCNY

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 cfm, WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)

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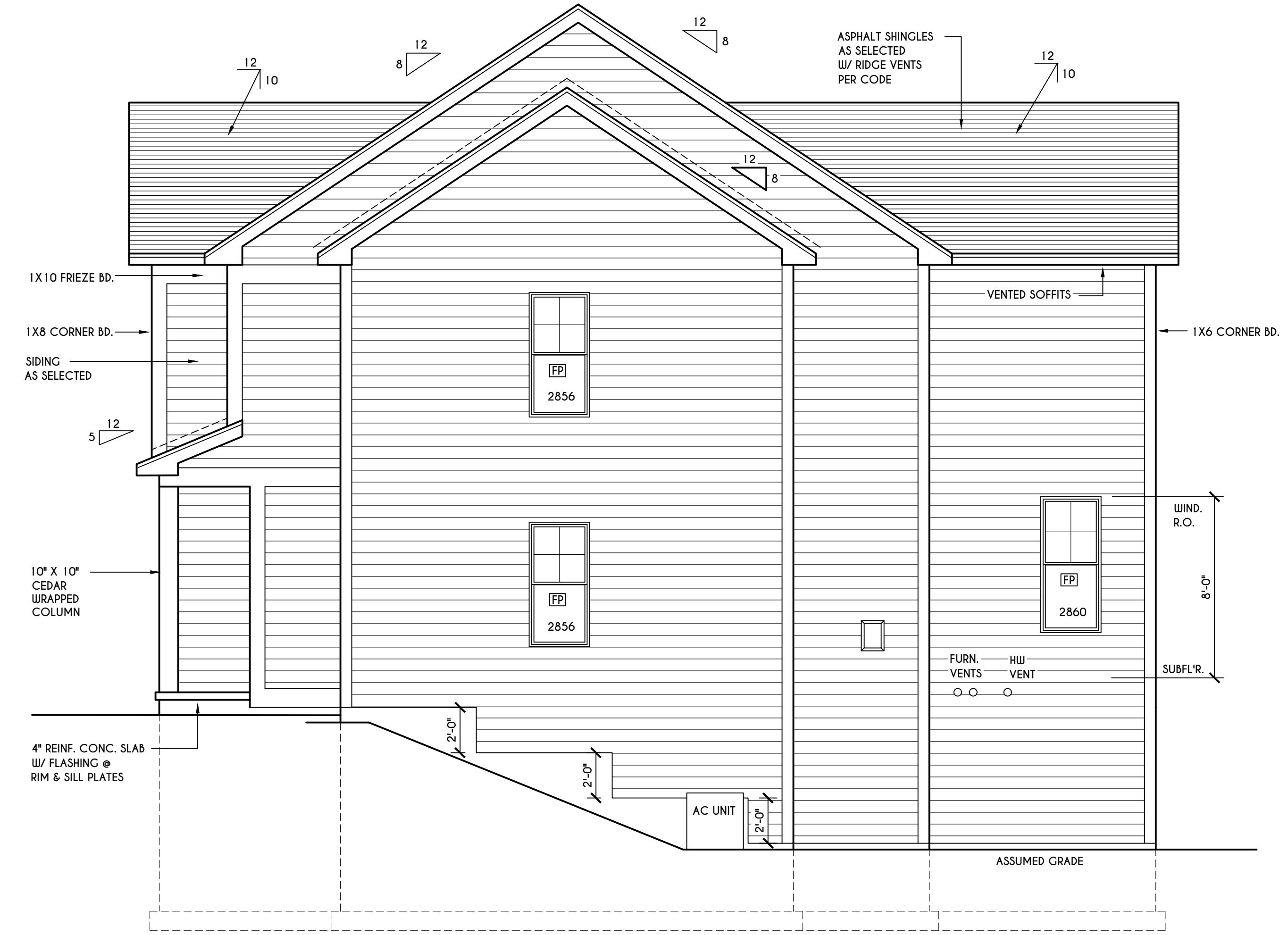
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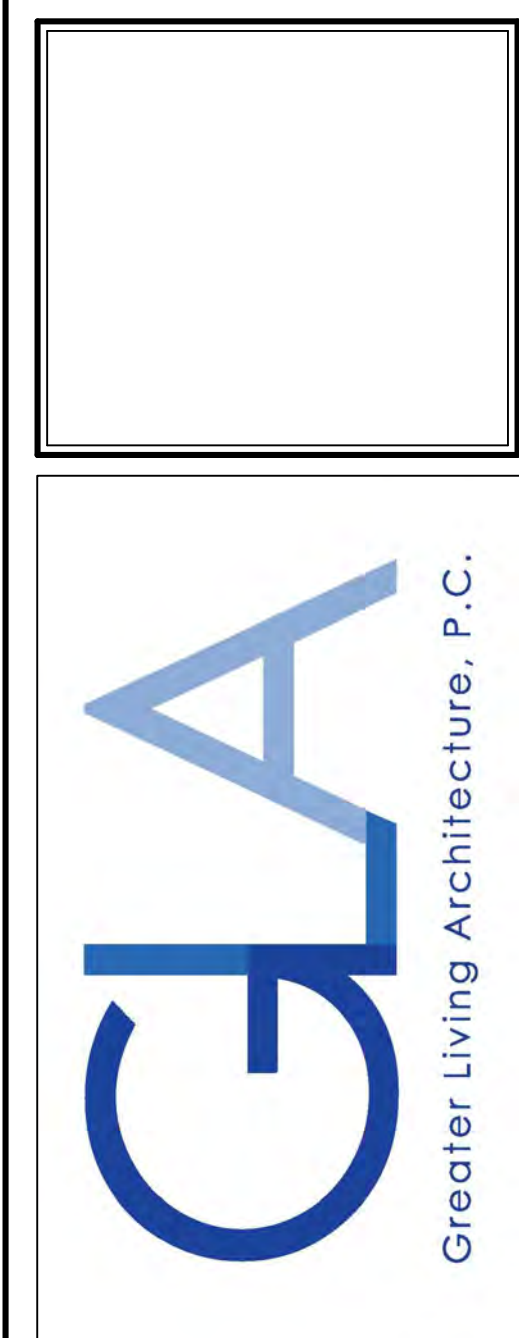


REAR ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

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 ROCHESTER, NY 14623
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 FAX: (585) 292-1262
 www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 111
 COVENTRY RIDGE
 PITTSFORD, NY

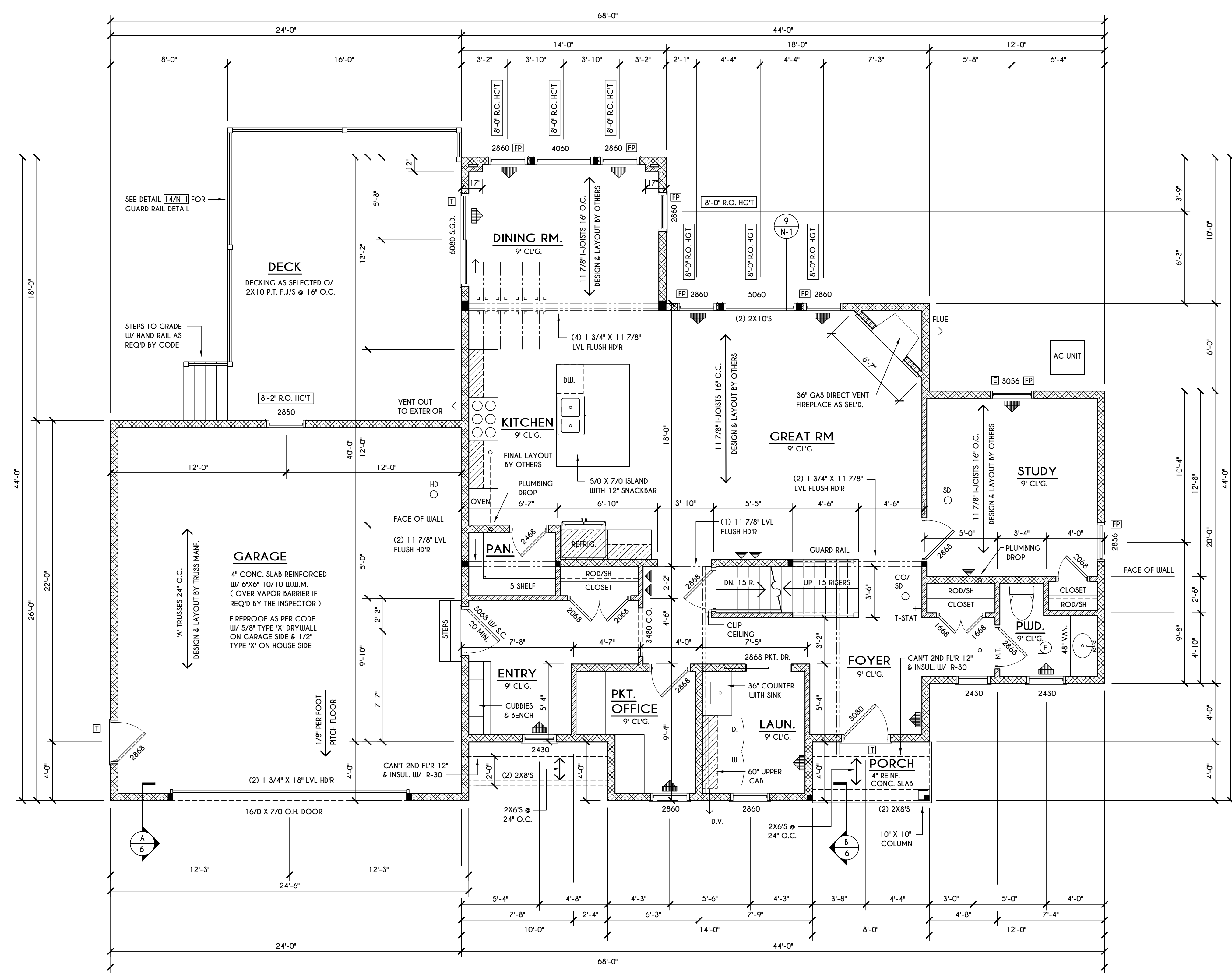
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 5 / 21
PROJECT: 15420 B	sheet: 4 6



FIRST FLOOR PLAN
 1396 SQ. FT.
 SCALE: 1/4" = 1'-0"

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

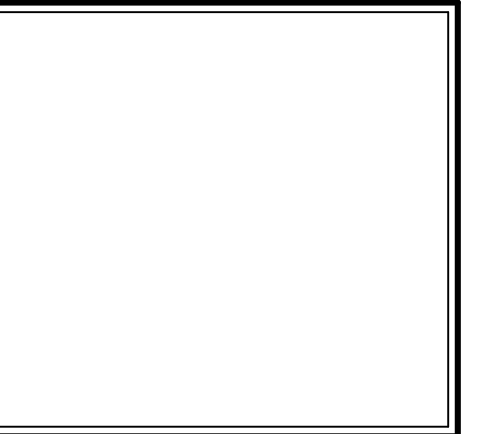
NOTES:

FIRST FLOOR PLATE HOT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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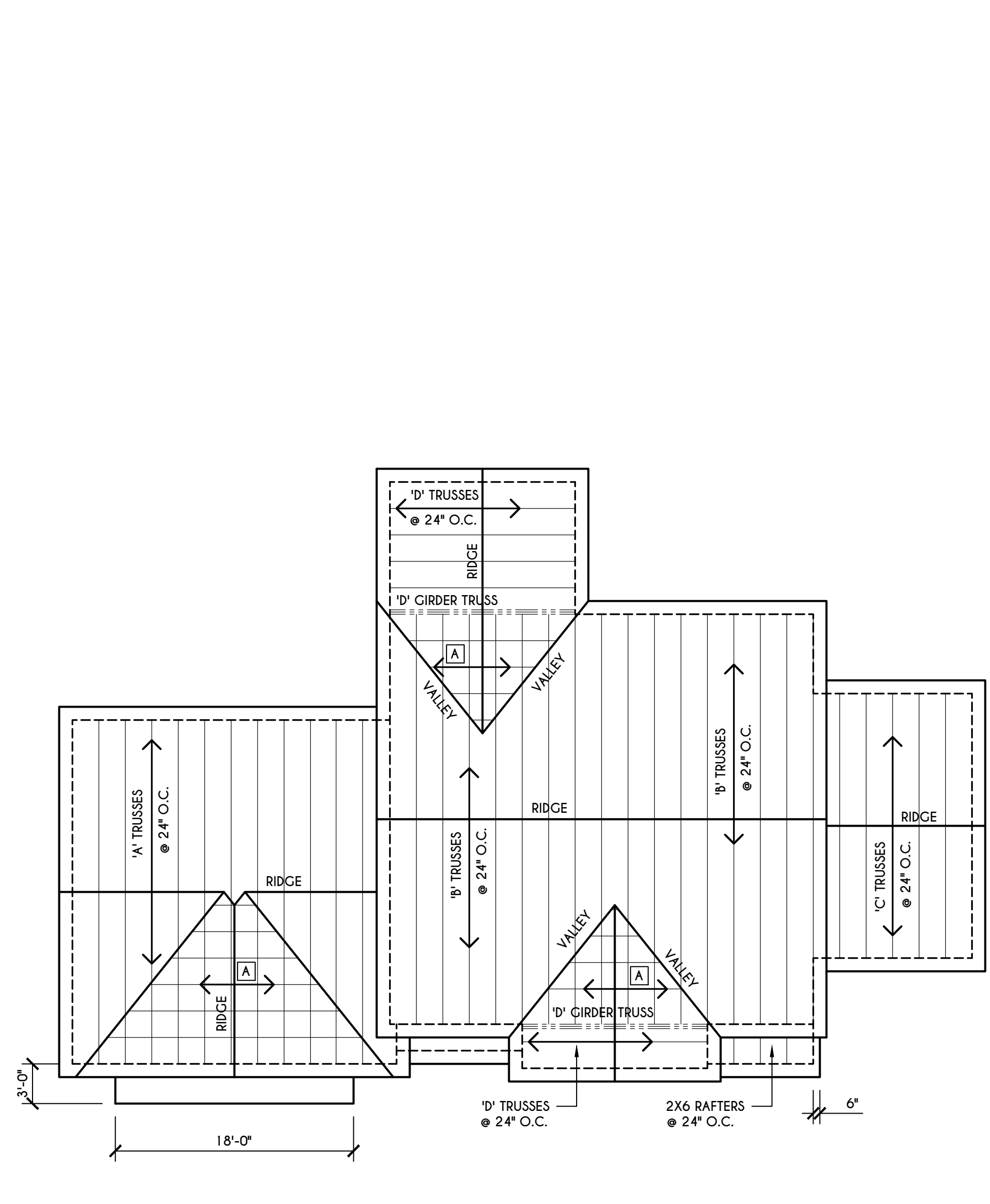
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 5 / 21
PROJECT: 15420 B	sheet: 5 6



ROOF PLAN

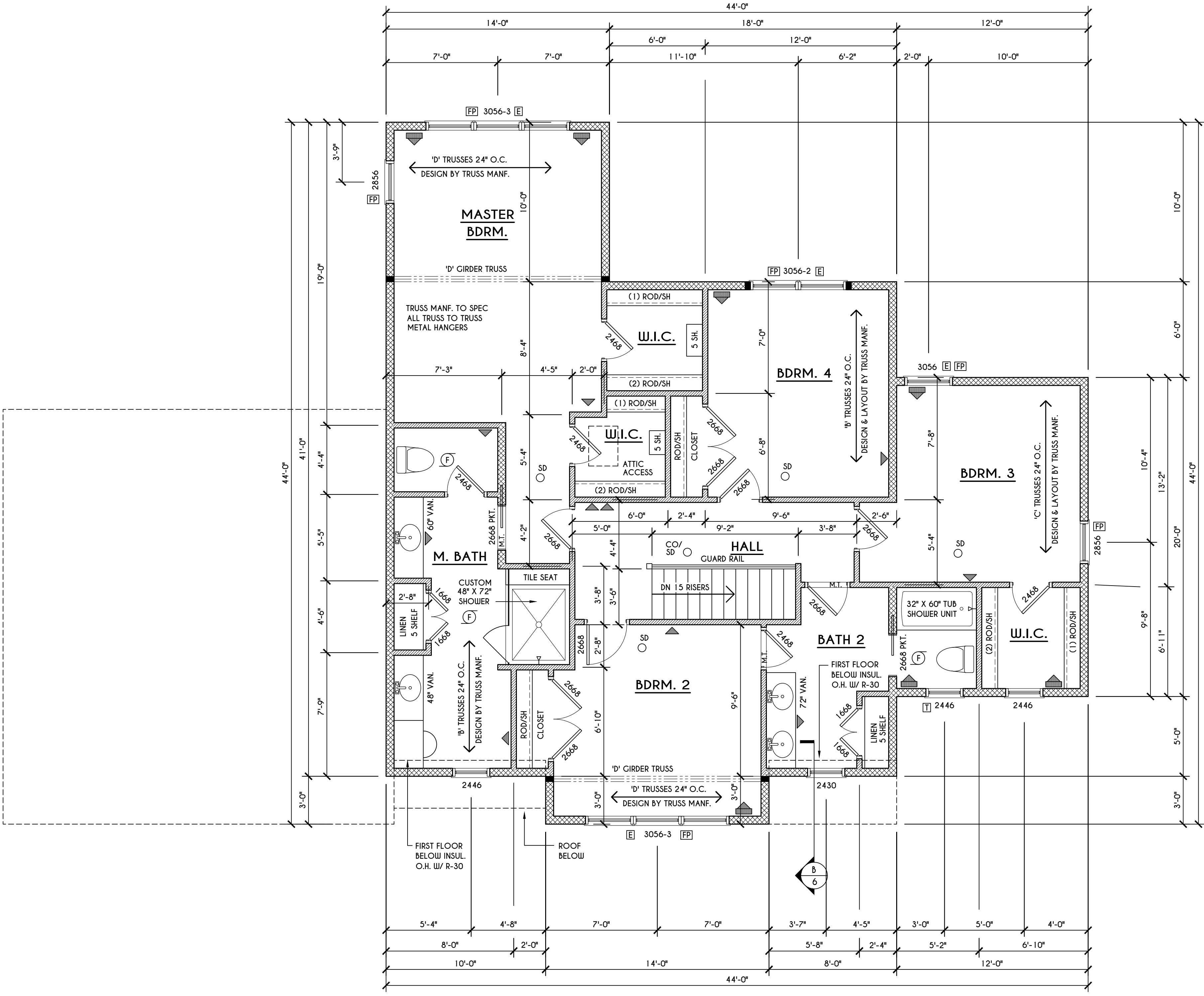
SCALE: 1/8" = 1'-0"

A - 2X8 LAYOVER RAFTERS 24" O.C.

ALL BAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



SECOND FLOOR PLAN

1414 SQ.FT.

SCALE: 1/4" = 1'-0"

NOTES: SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 1 = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

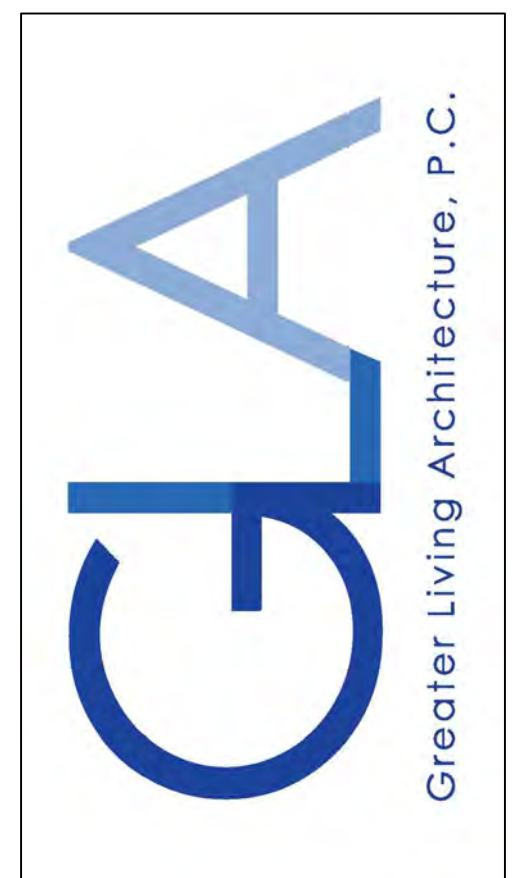
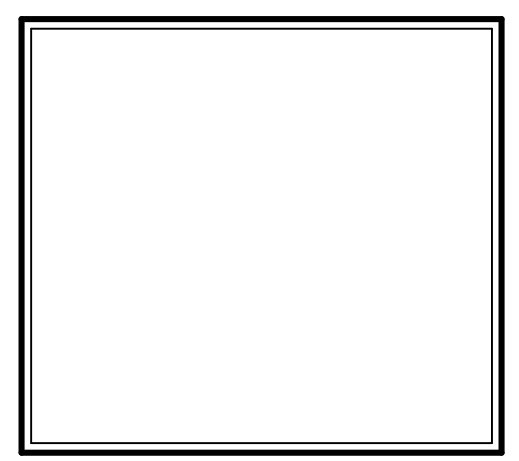
FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
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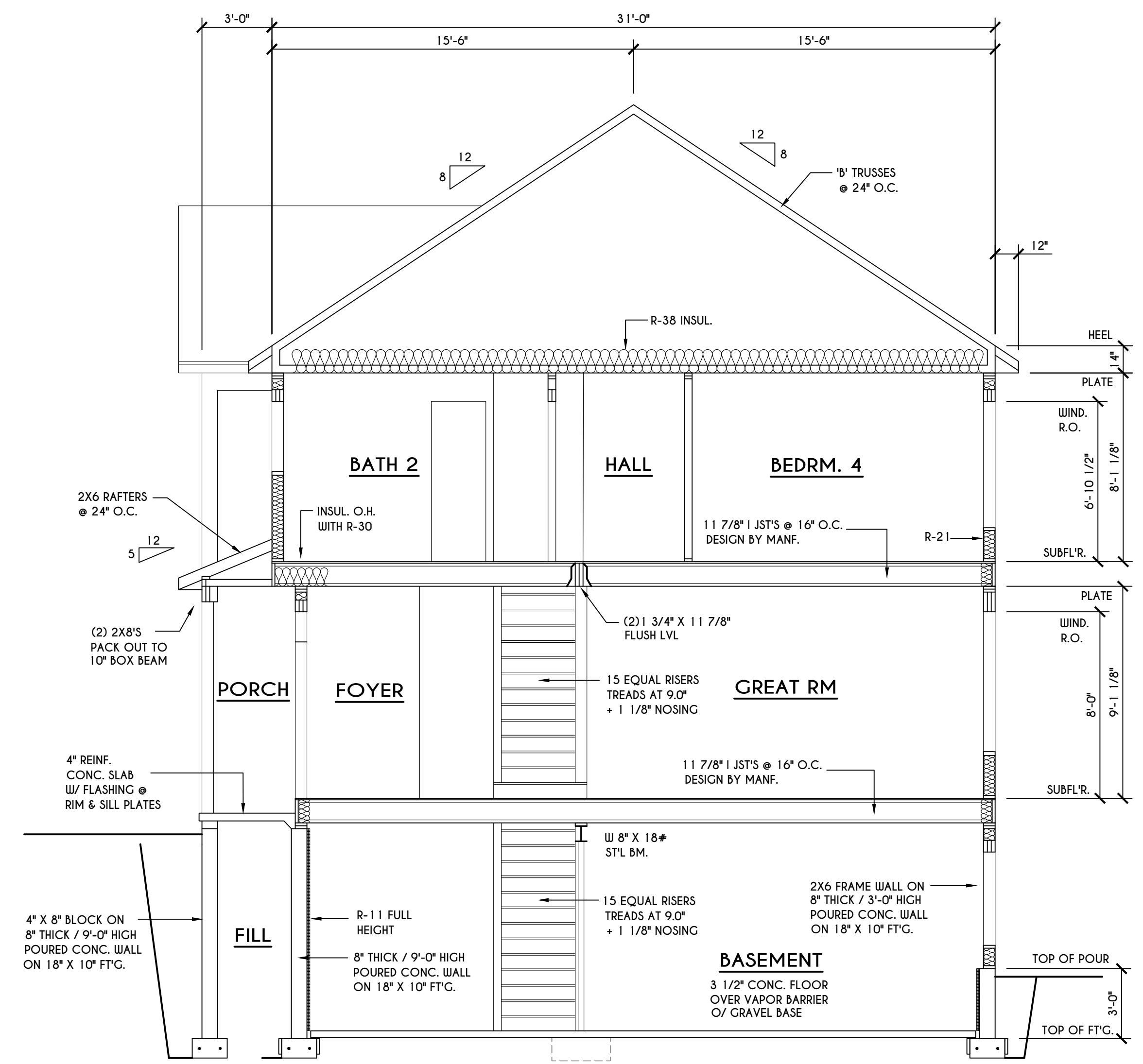
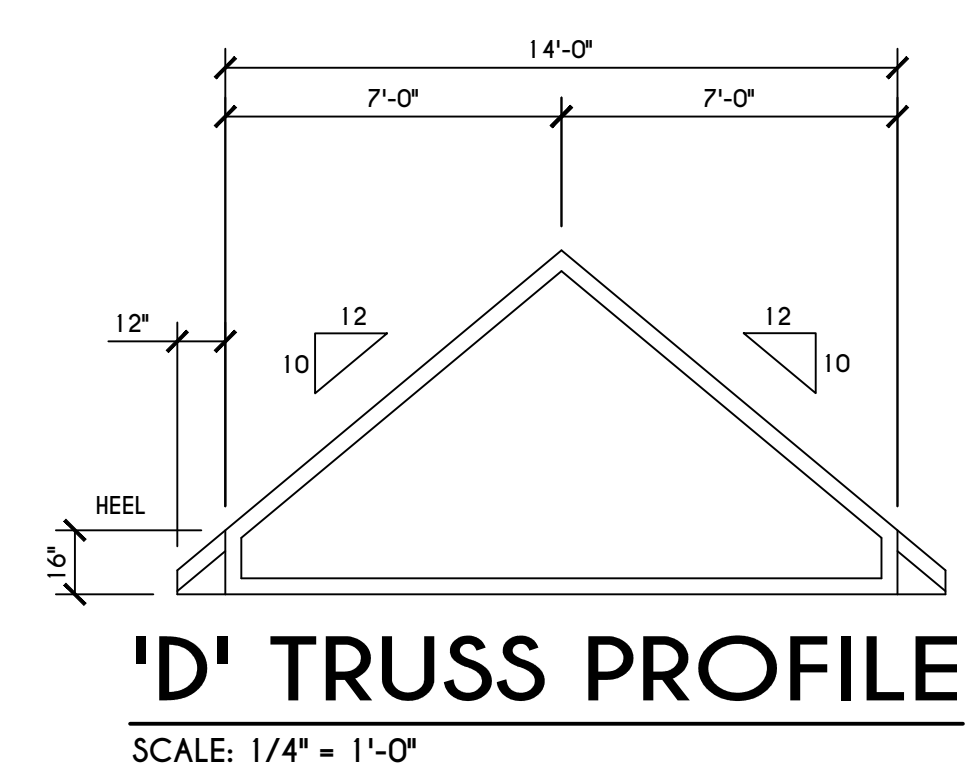
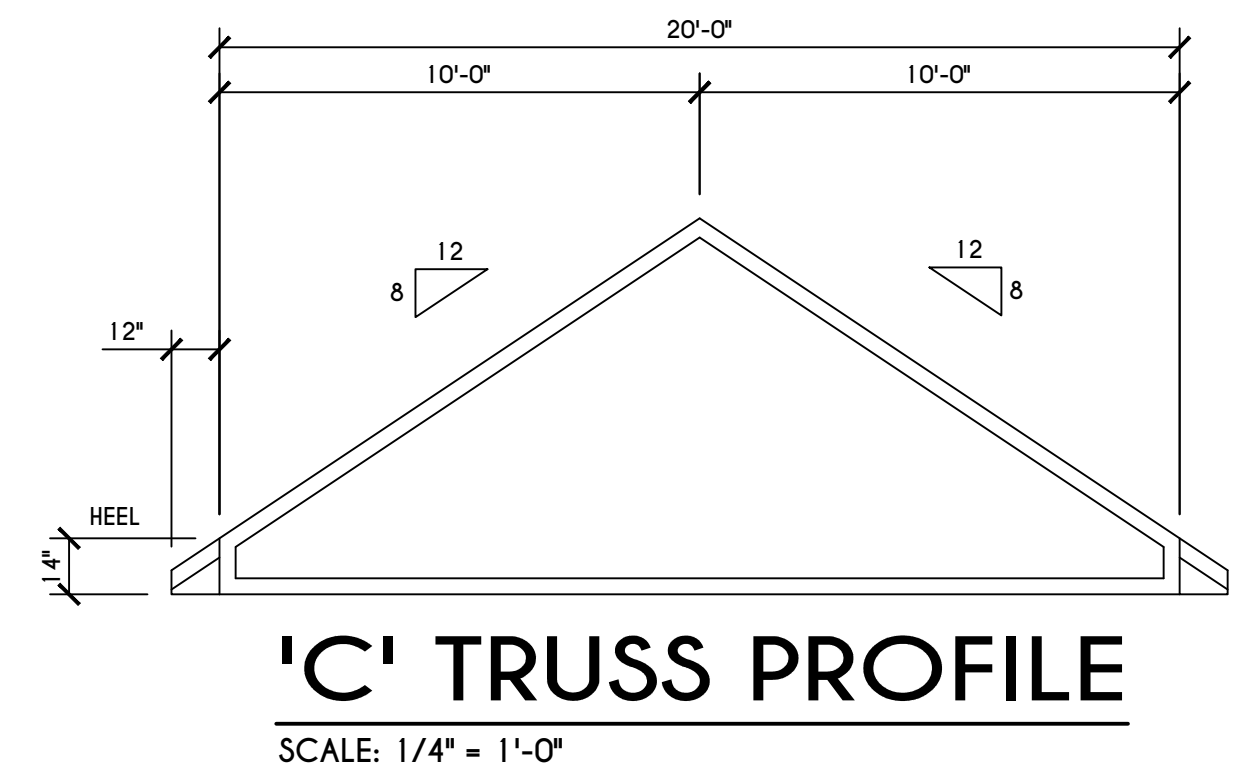
CLIENT/LOCATION:
 LOT 111
 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

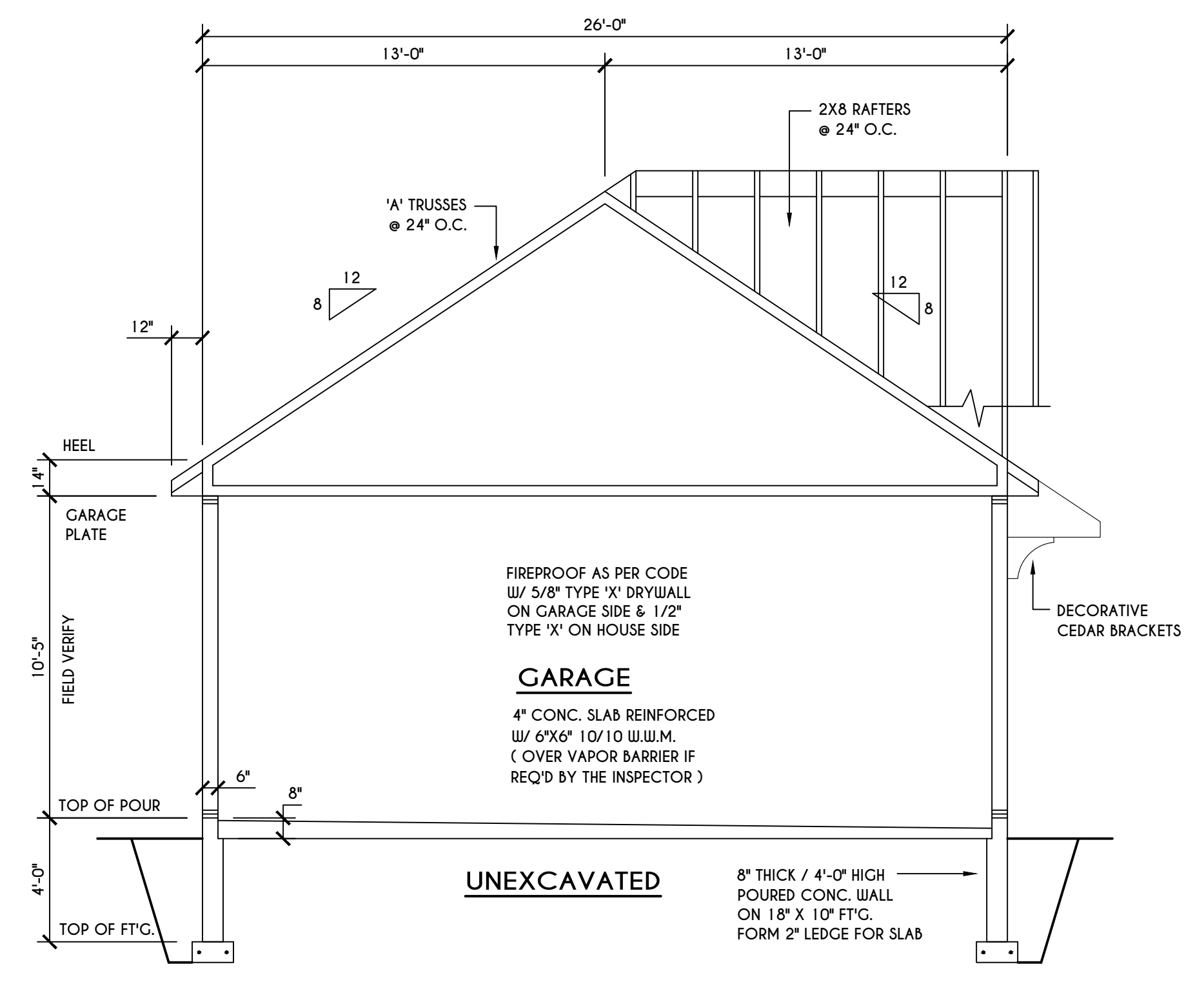
SECTIONS

GLA PLAN 2810

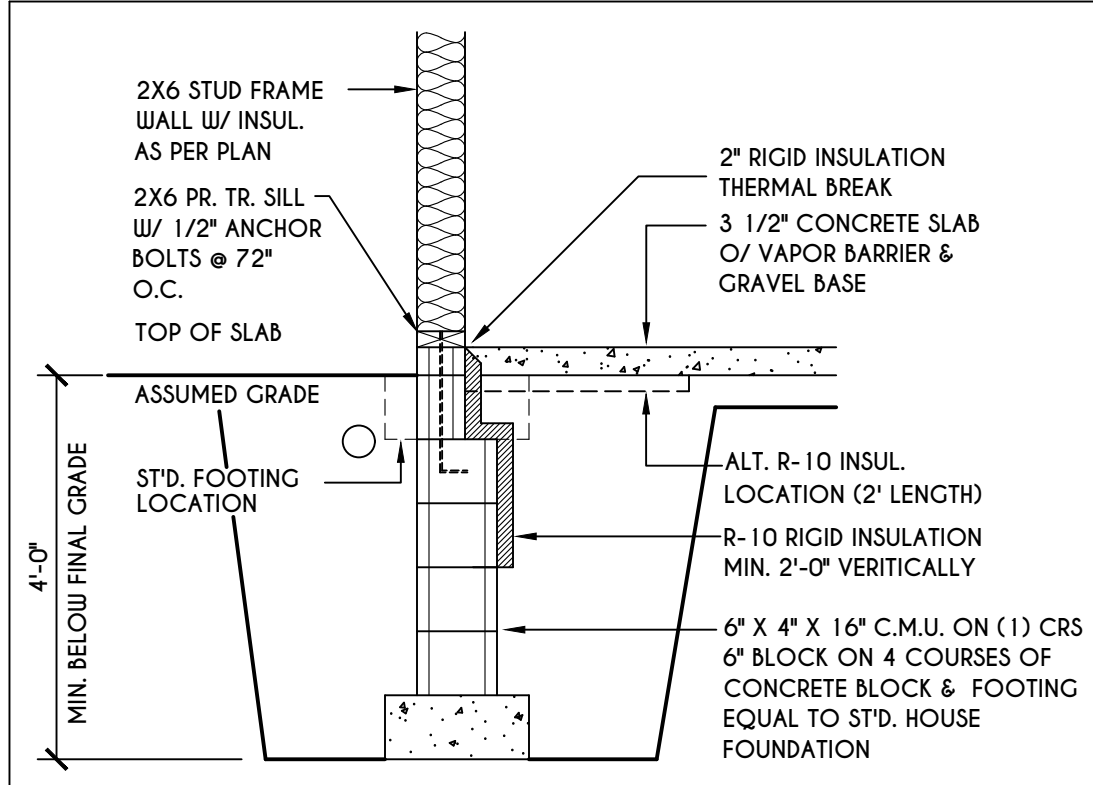
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scale: AS NOTED	date: 5 / 21
PROJECT: 15420 B	sheet: 6 / 6



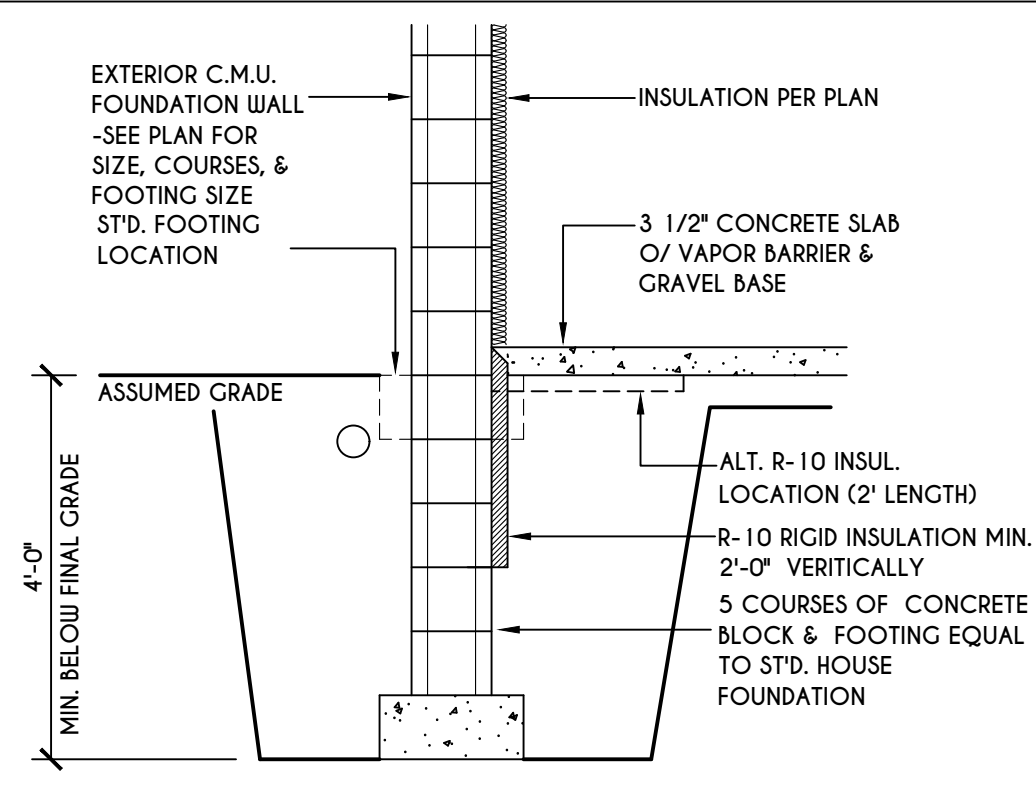
B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



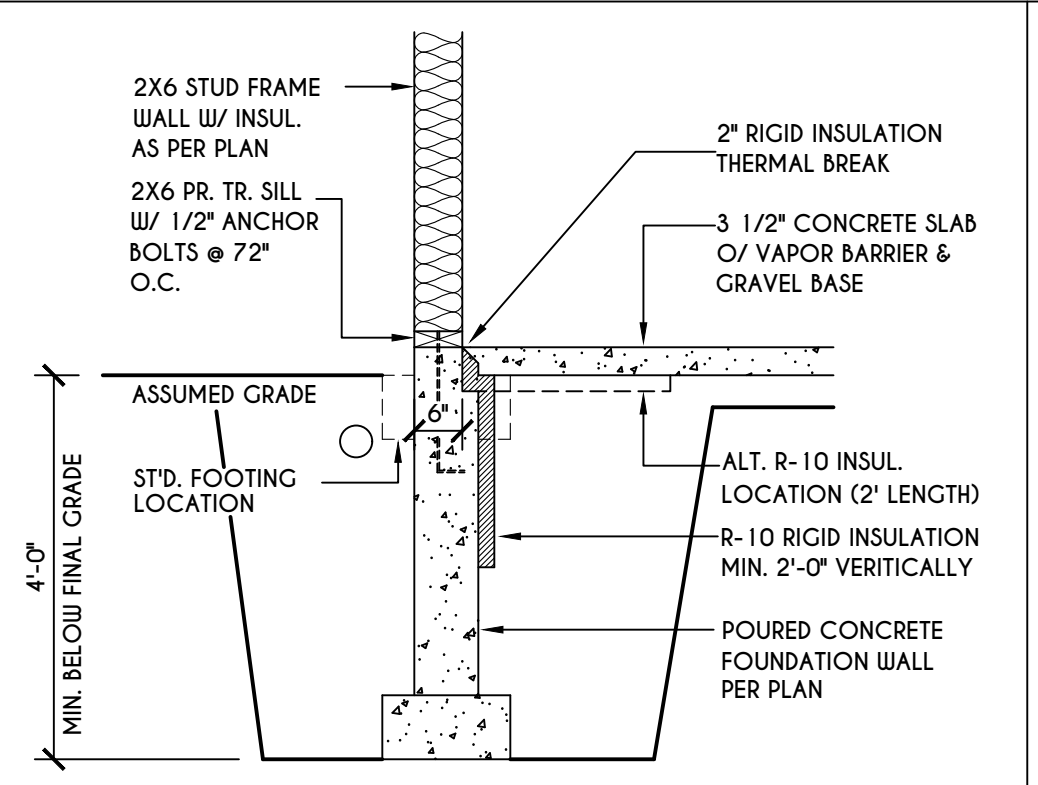
A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



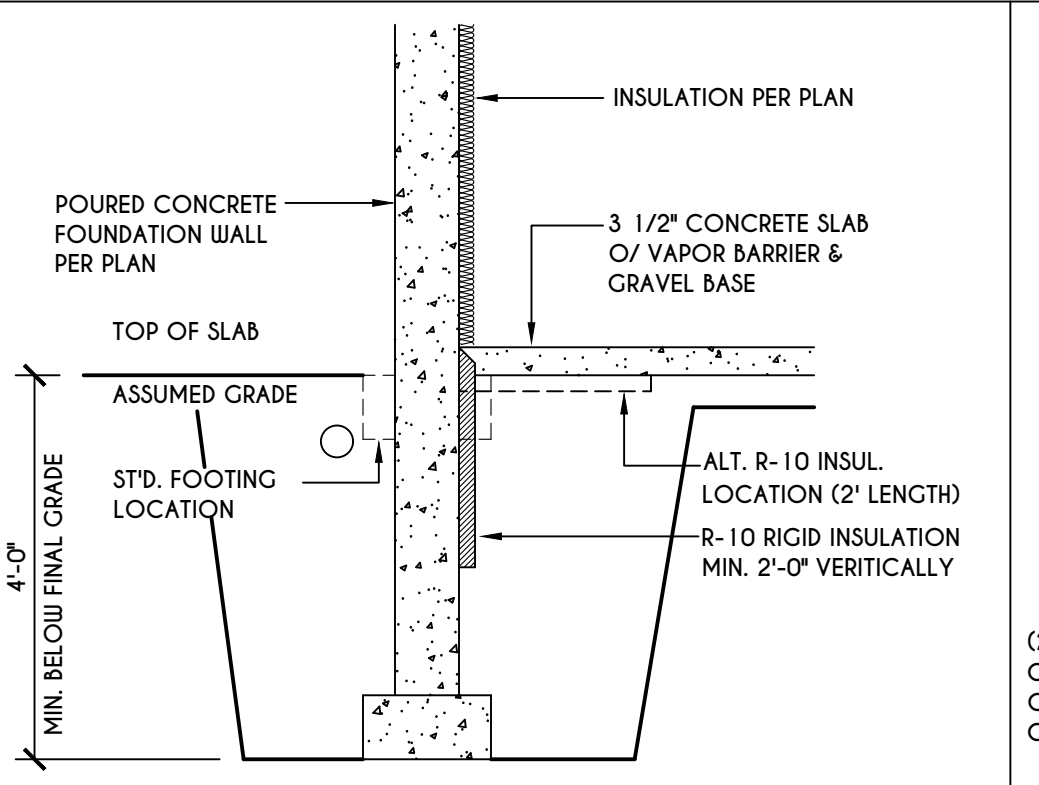
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



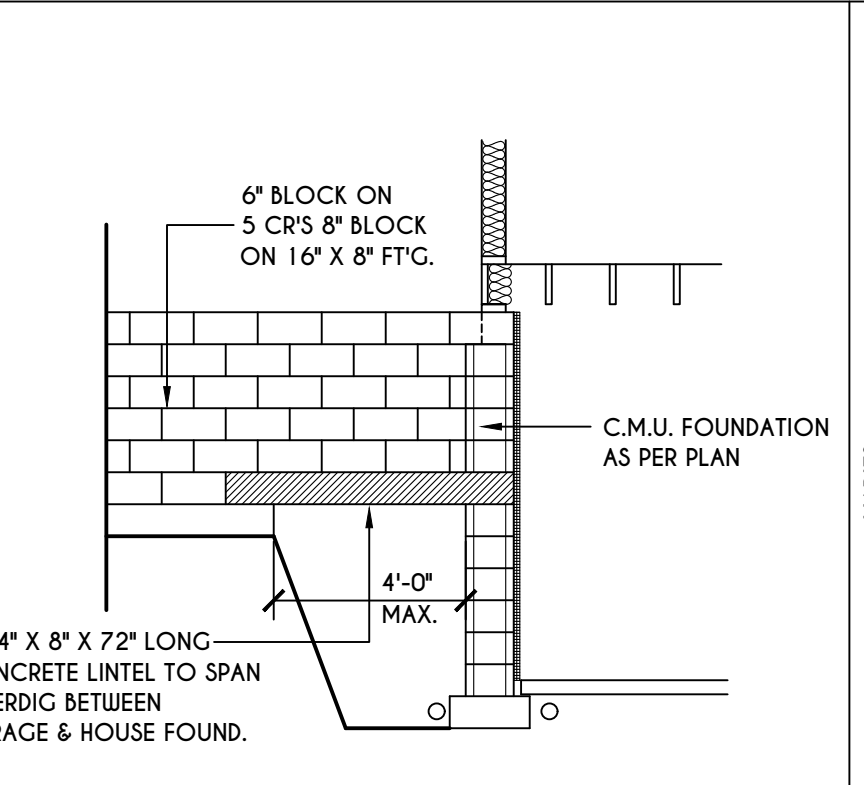
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



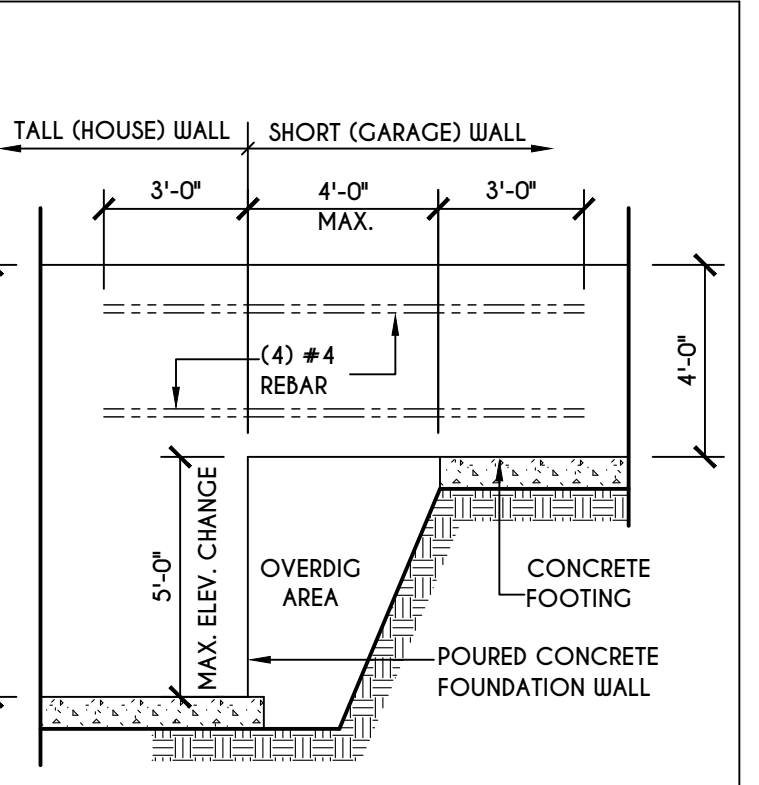
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



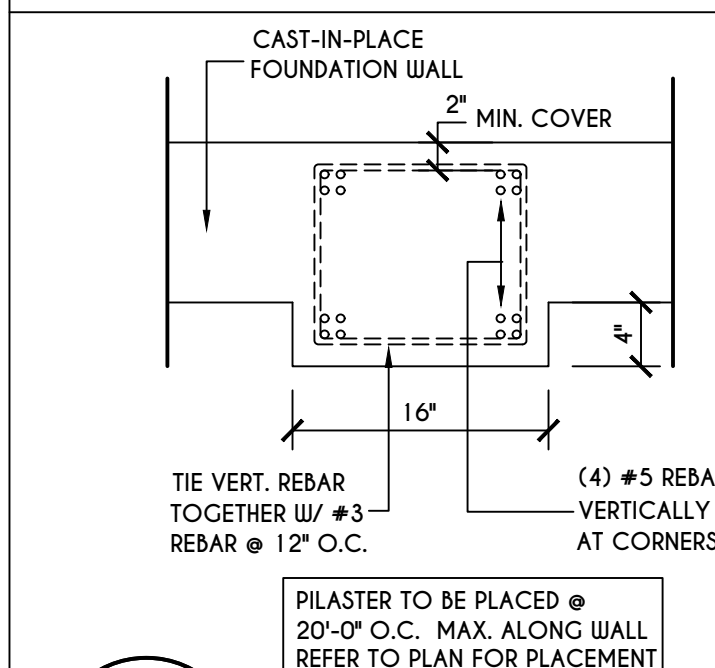
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



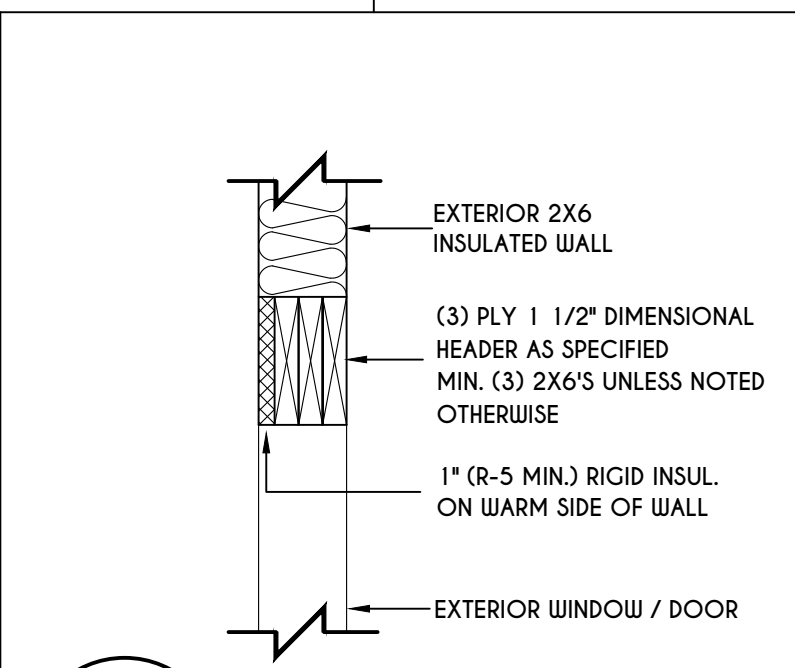
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



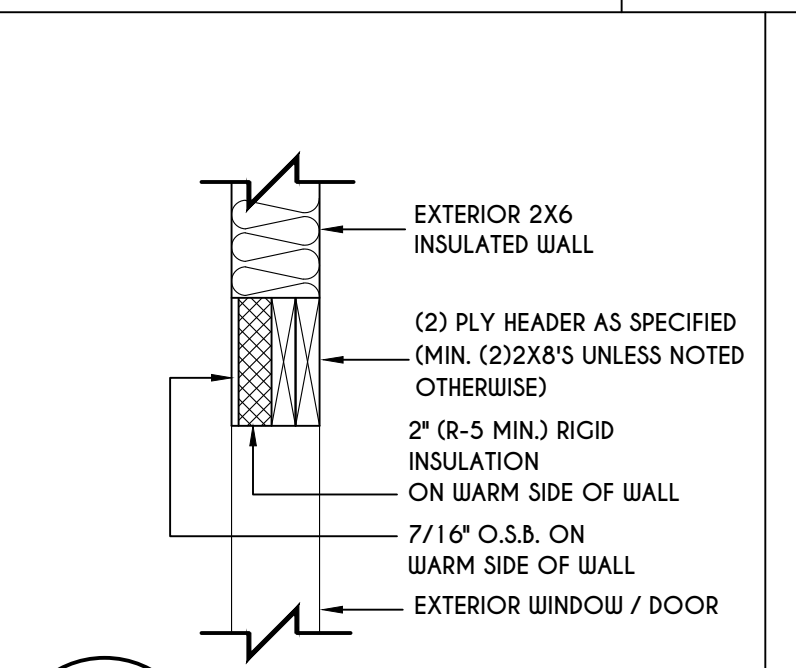
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



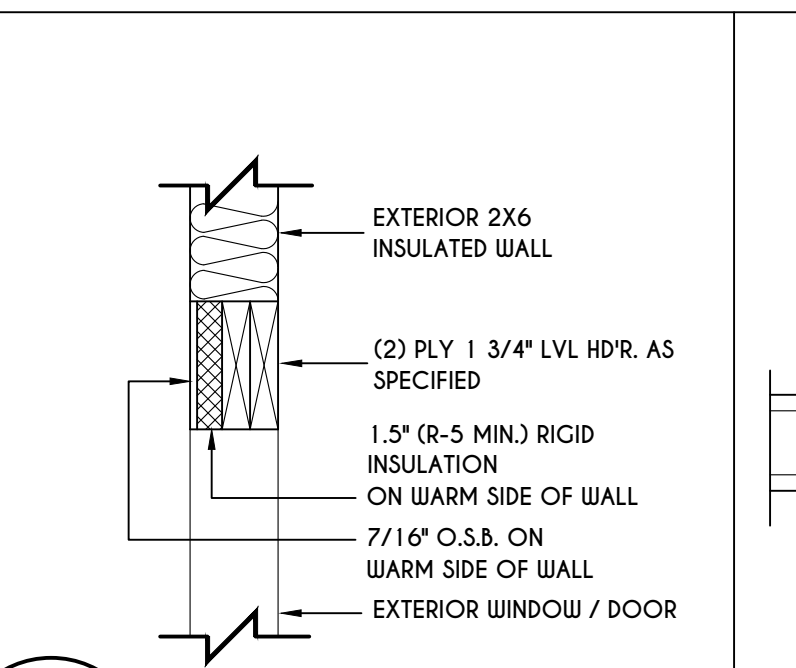
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



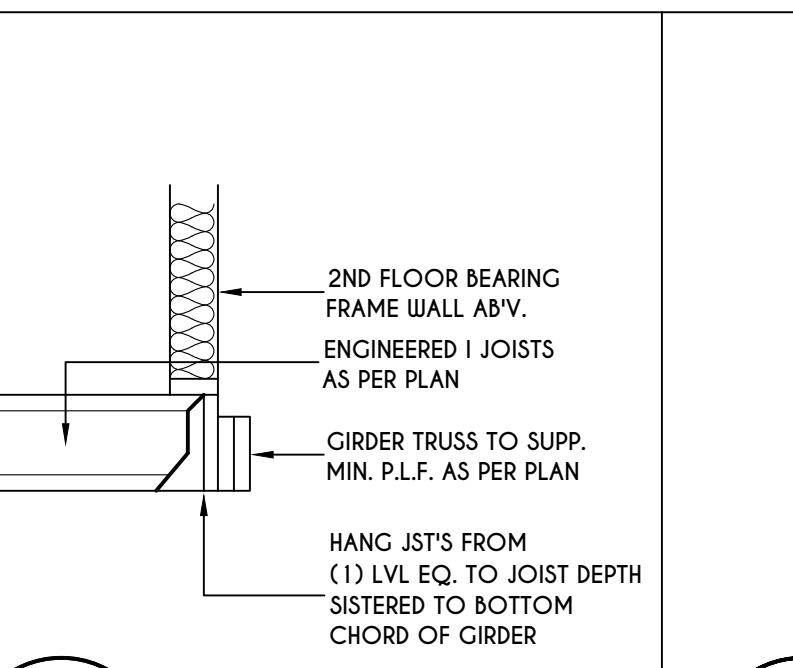
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



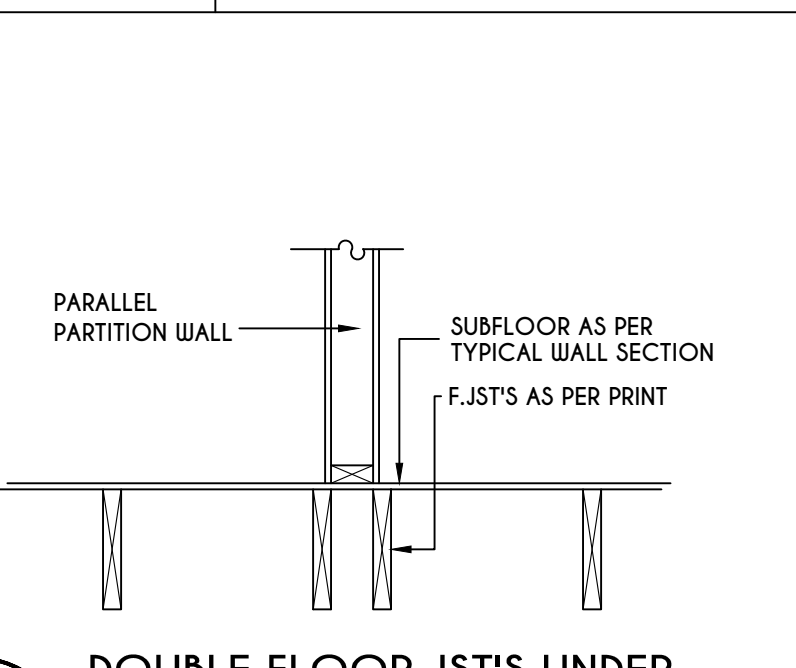
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



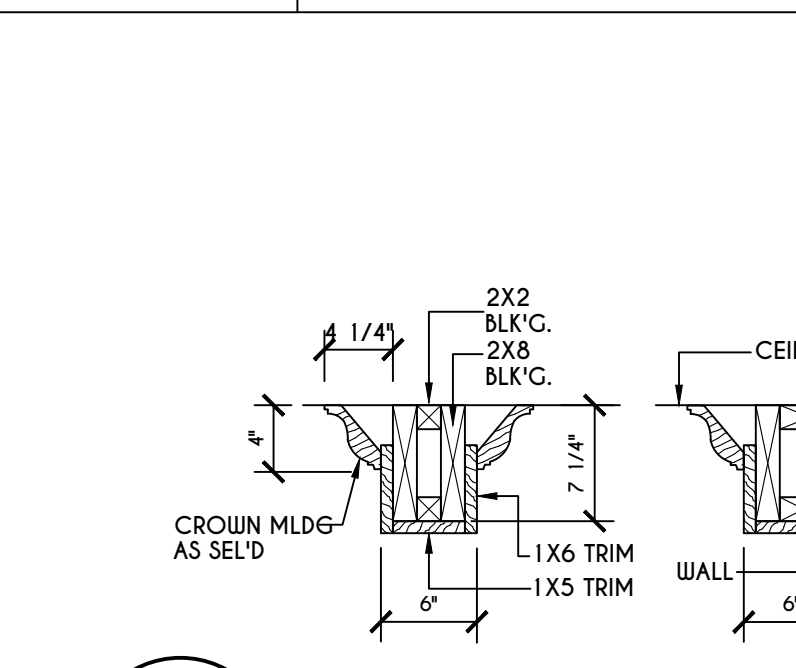
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



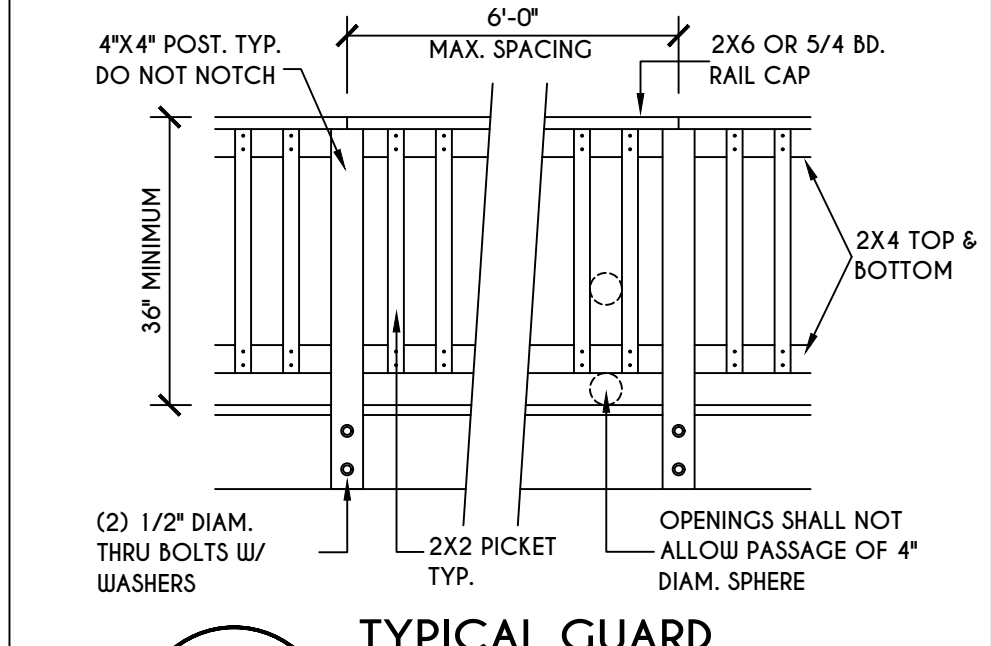
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



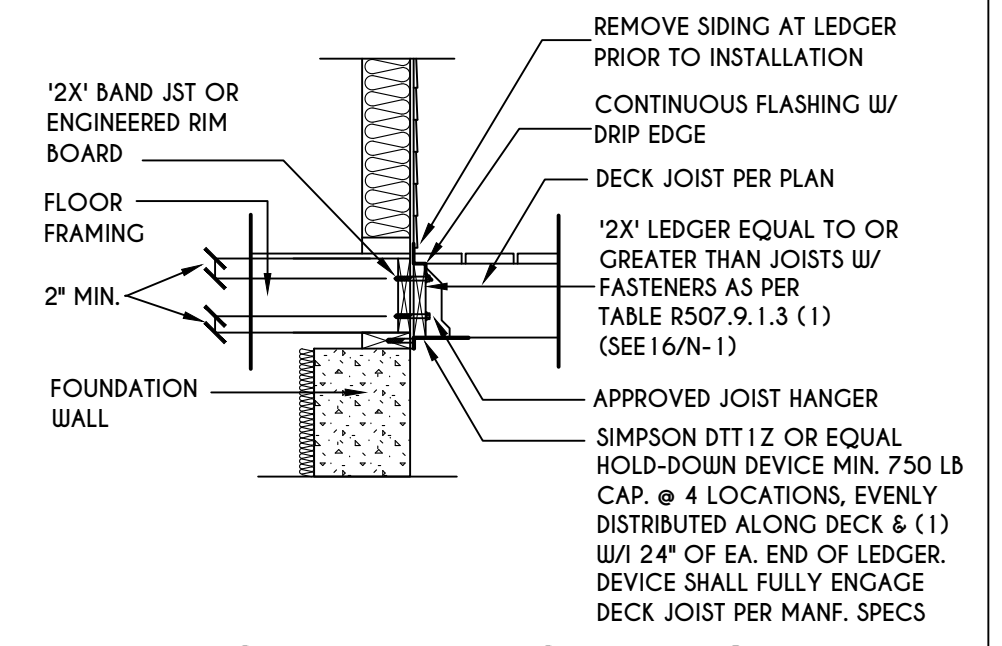
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



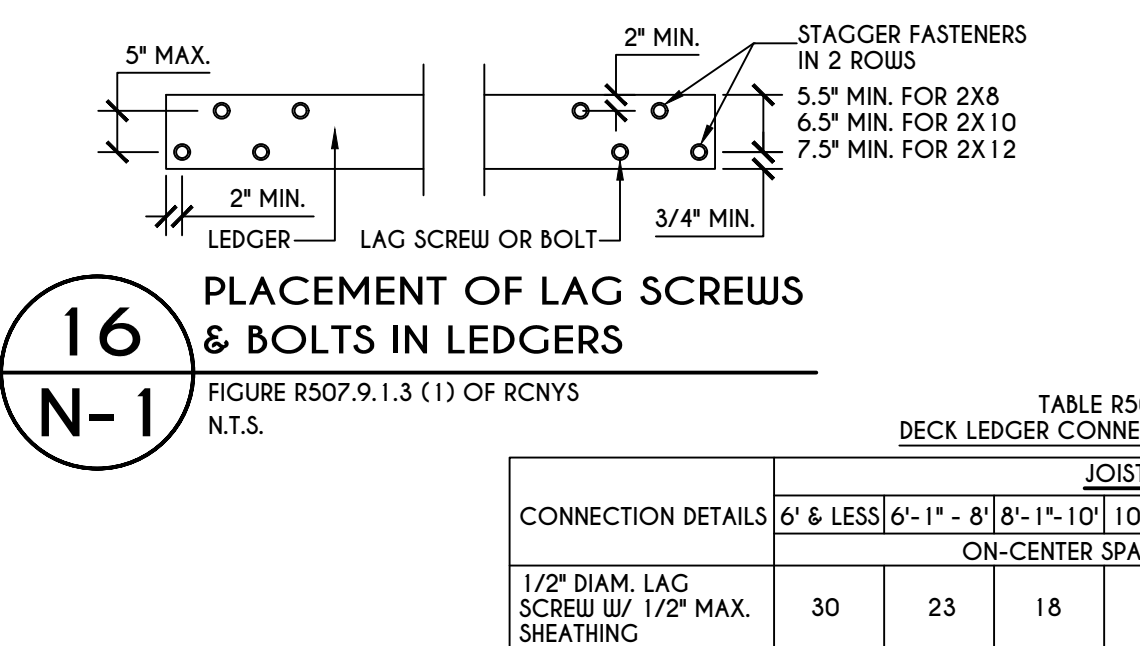
13
N-1
COFFERED BEAM DETAIL
N.T.S.



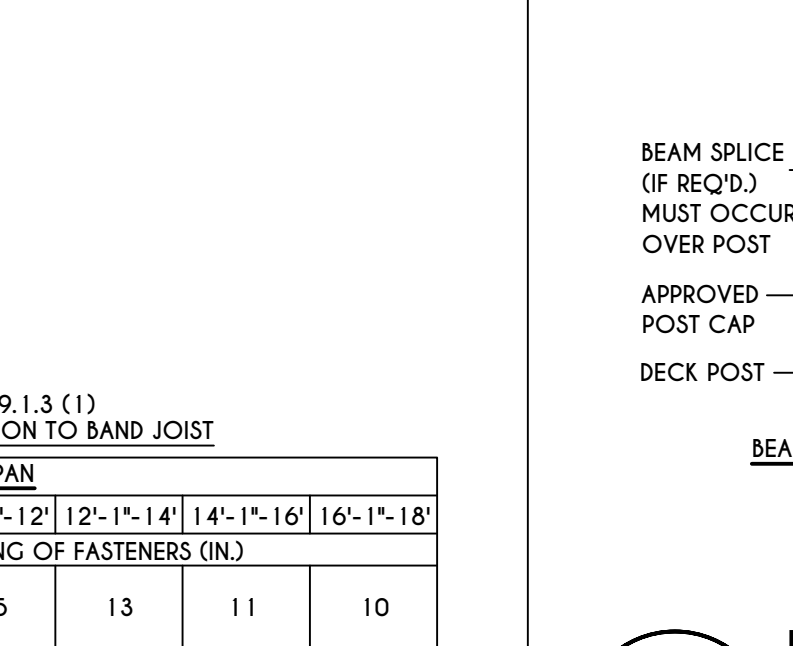
14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"



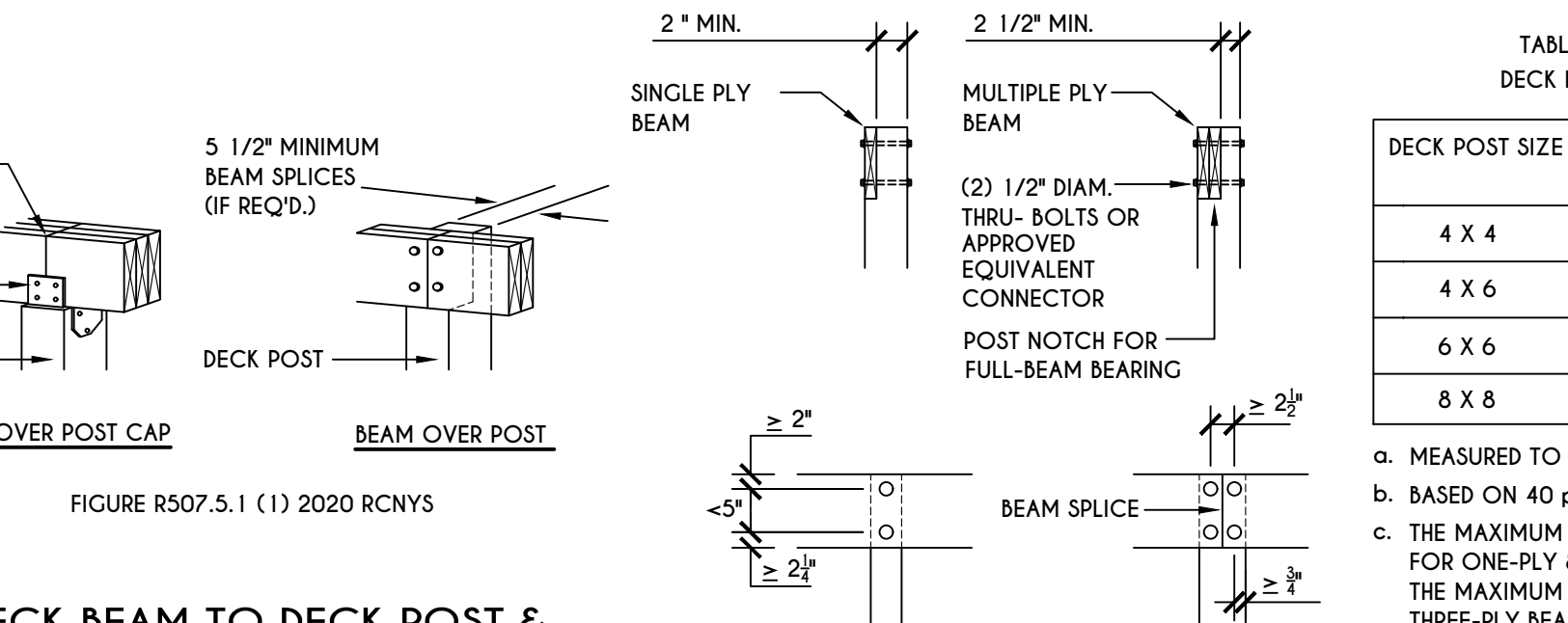
15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
SCALE: 1/2" = 1'-0"



17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

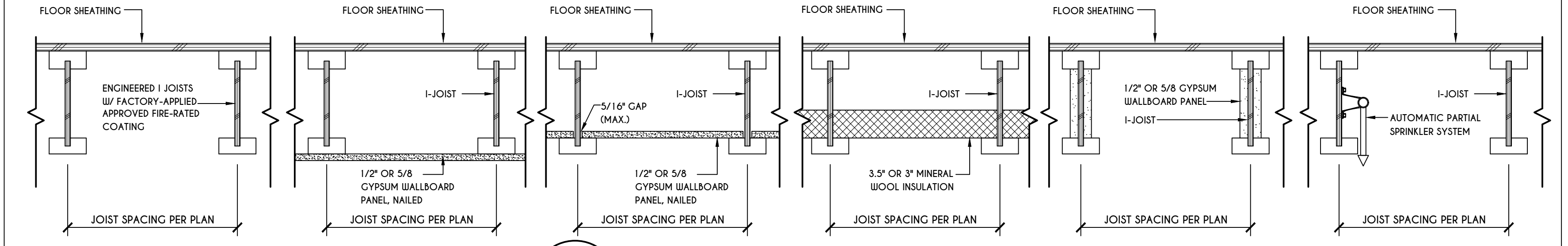


17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

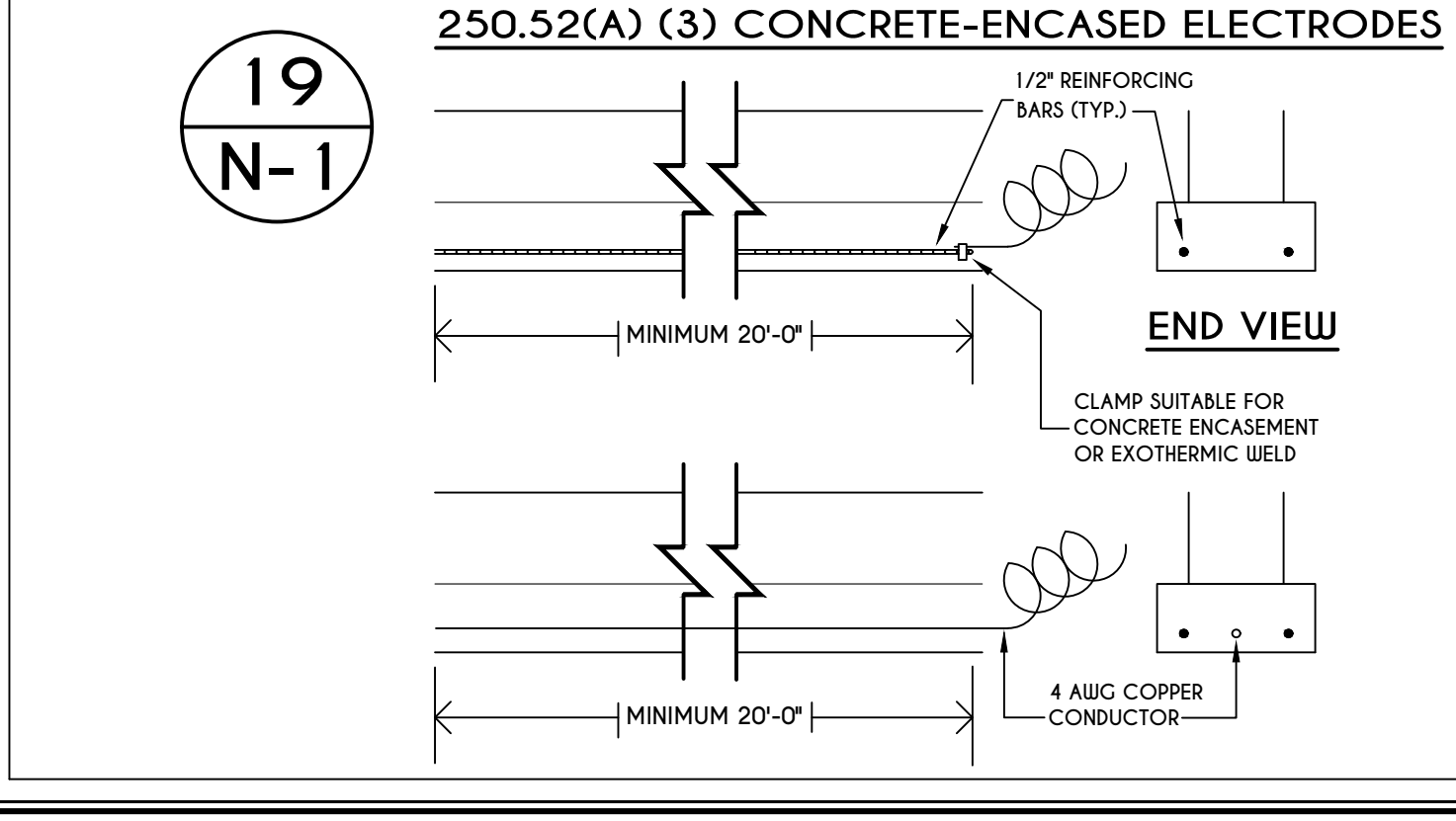
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

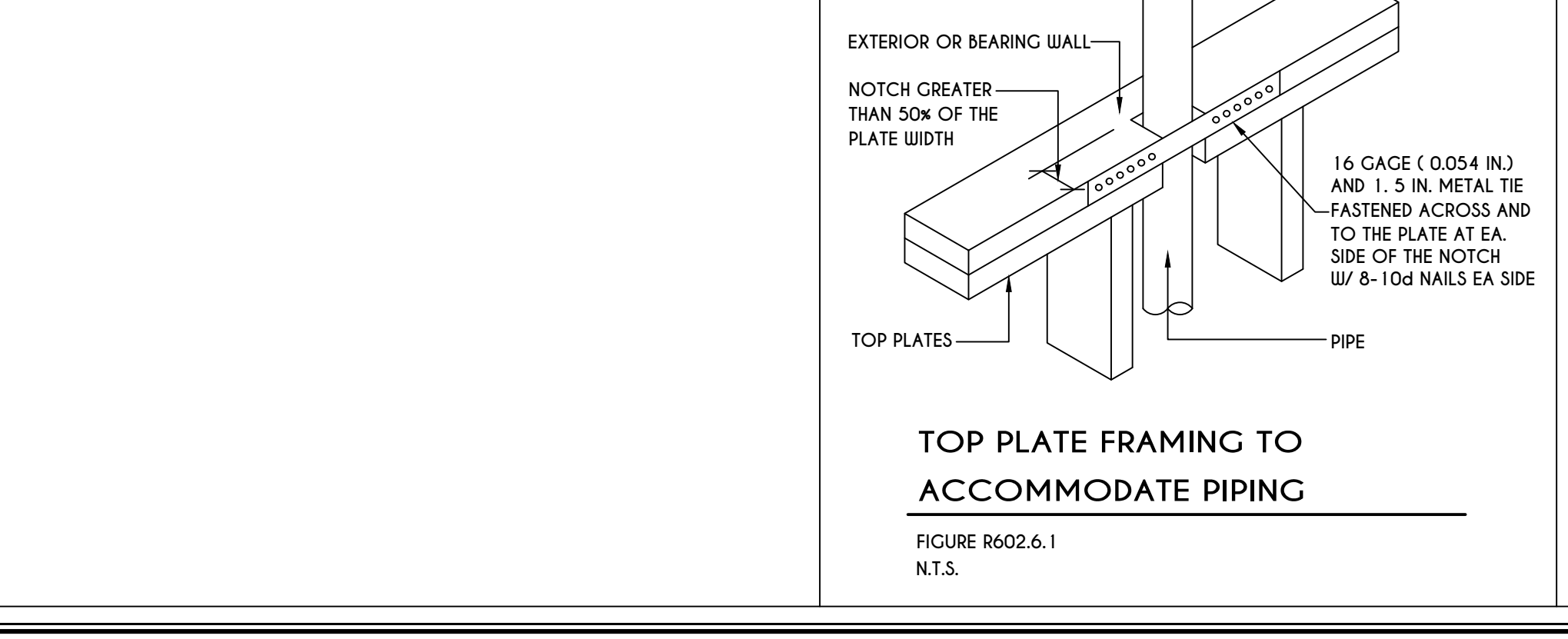
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



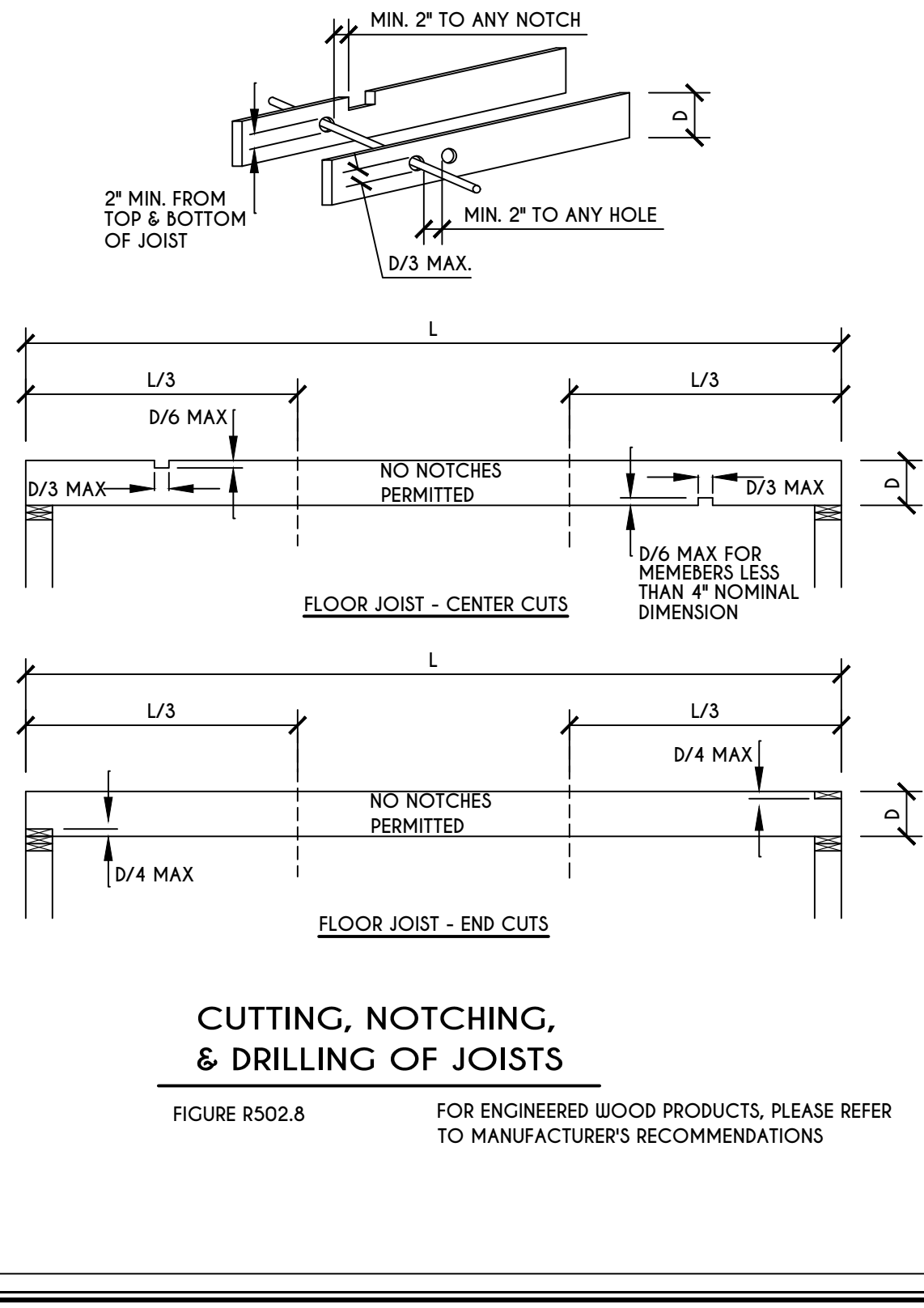
18
N-1
I-JOIST FLOOR SYSTEMS
FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



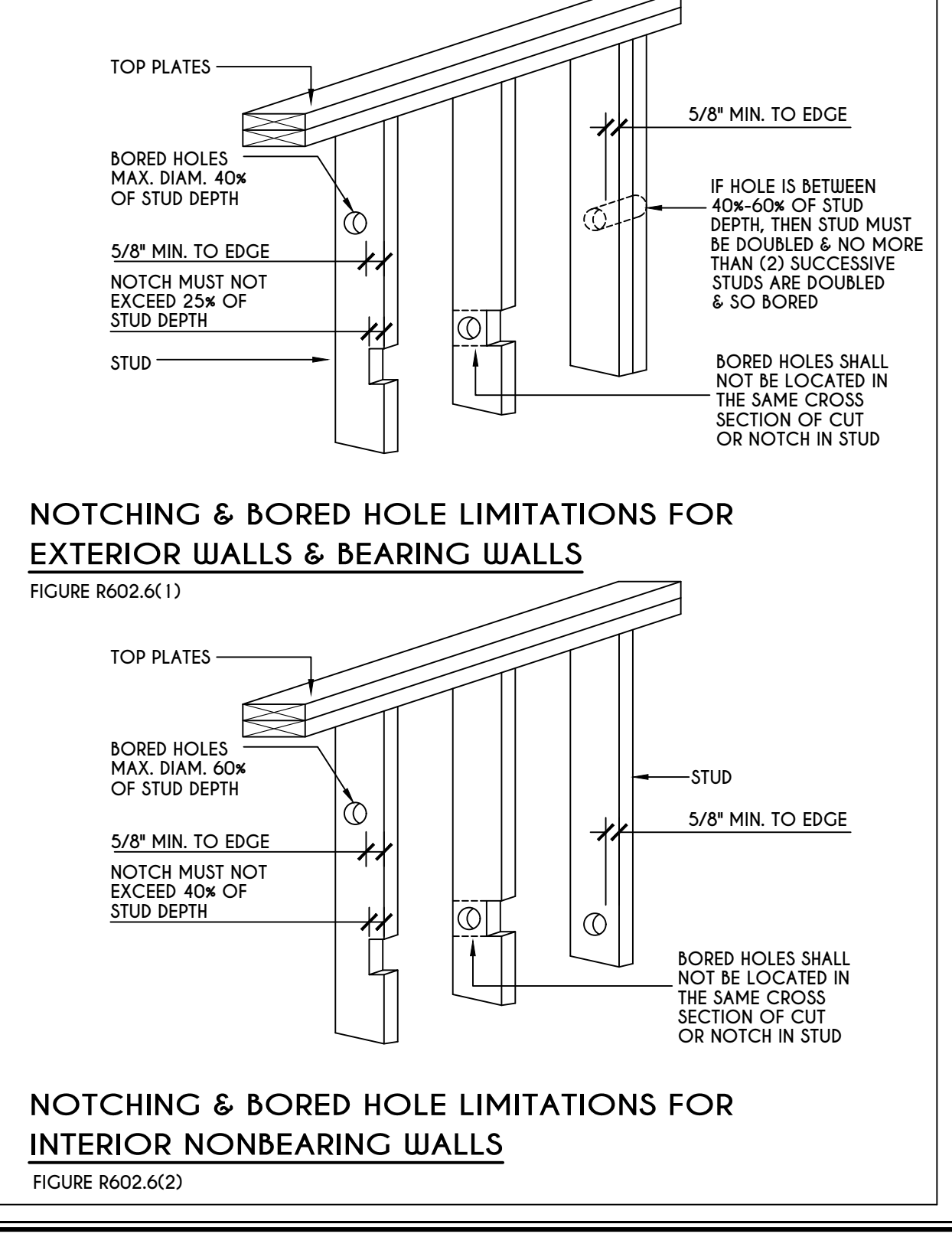
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
SCALE: 1/2" = 1'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



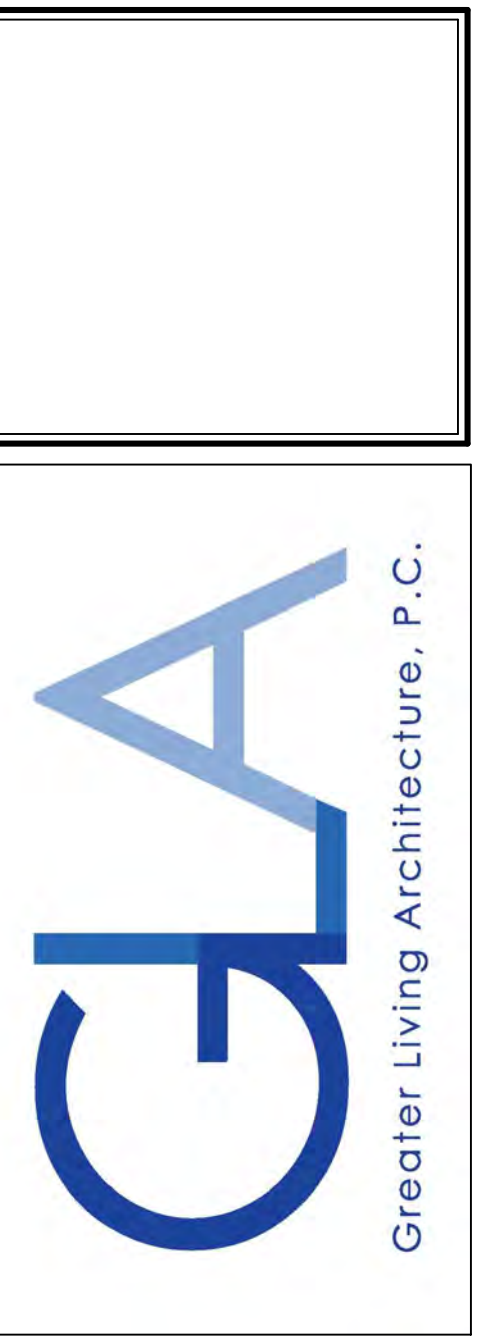
CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)

NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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BUILDER:

COVENTRY RIDGE
BUILDING CORP.

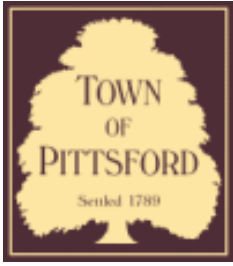
DETAILS
GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 5 / 21
PROJECT: 15420 B	sheet: N 1









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C21-000009

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3280 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-12

Zoning District: C Commercial

Owner: Mc Donald's Corp

Applicant: Mc Donald's Corp

Application Type:

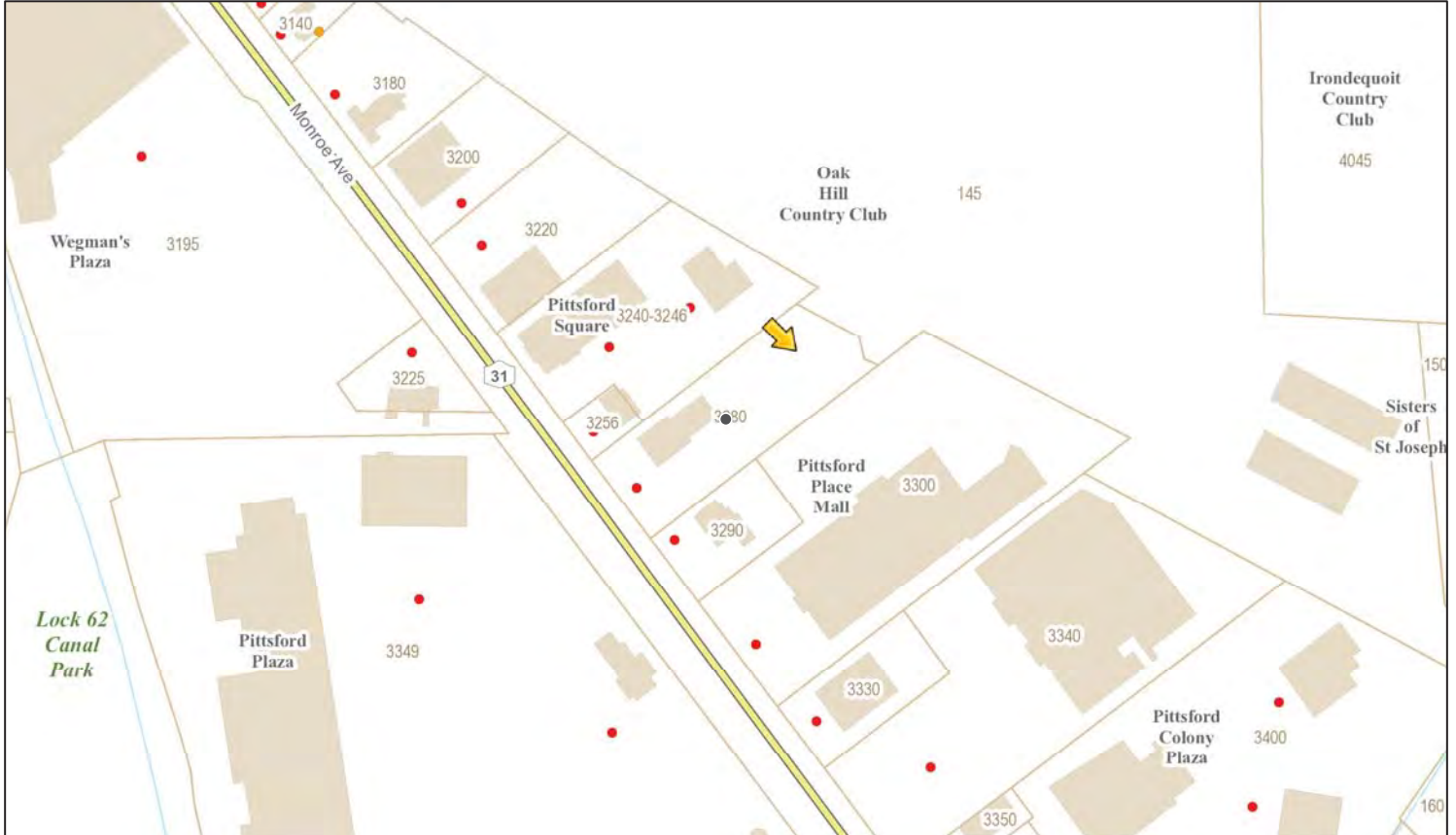
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: The applicant is returning to request Design Review for the exterior alteration and renovation to the existing McDonald's Restaurant. The project consists of alterations to the facade, the roof and the color of the building.

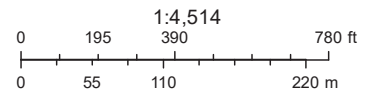
Meeting Date: June 10, 2021



Property Pictures



3/18/2021, 4:38:18 PM



Town of Pittsford GIS

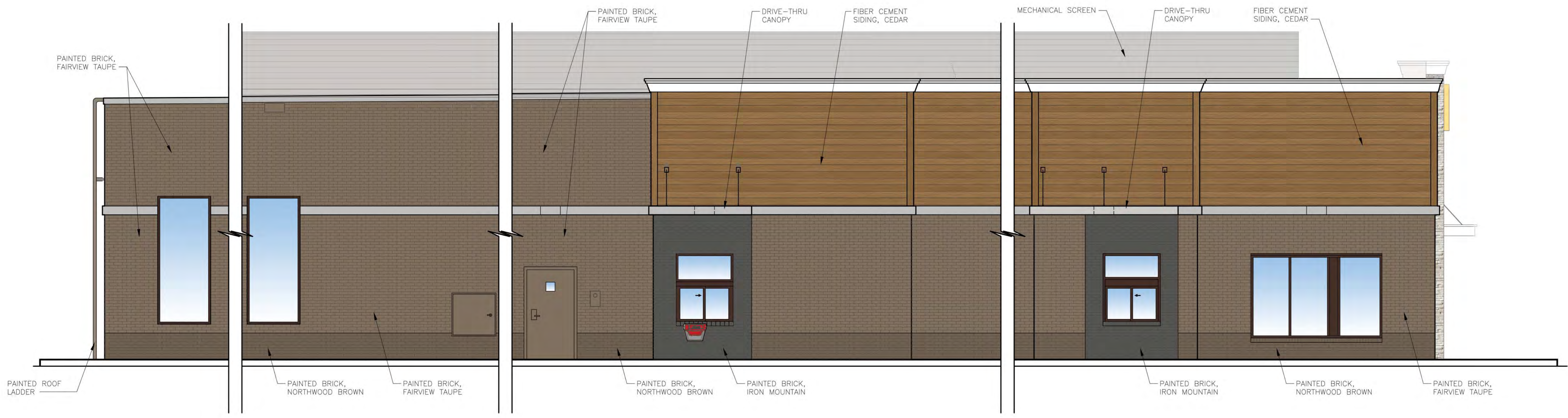
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



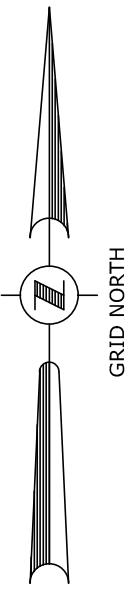


3280 MONROE AVENUE,
ROCHESTER, NEW YORK

TYLININTERNATIONAL
engineers | planners | scientists



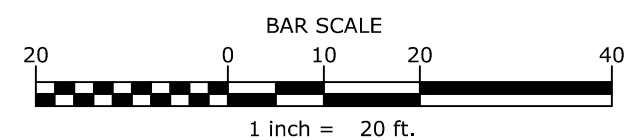
SHEET NO. 031-0759.00.0		TITLE NATIONAL NUMBER 06168		DRAWN BY SUT		PREPARED FOR: © 2012 McDonald's USA, LLC		PREPARED BY: TYLI INTERNATIONAL		SUBMISSION DATE: 04/13/2021	
A2.0		MAJOR REMODEL PROGRAM		STD ISSUE DATE JANUARY 2020		McDonald's USA, LLC		255 EAST AVENUE ROCHESTER, NY 14604 (585) 512-2000		PROJECT NO: 437218.00	
ELEVATIONS		DESCRIPTION CMU LOAD BEARING WALLS STEEL ROOF FRAMING		REVIEWED BY TYLI		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared as specific to this project and are not to be used for any other project. These drawings are not suitable for reference or example on another project without the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.		TYLI		REV DATE DESCRIPTION	
031-0759		SITE ADDRESS 3280 MONROE AVE		DATE ISSUED 04/13/2021		ROCHESTER, NY					



BM - Mag Nail Set in Pavement
Elevation = 426.09'

LEGEND


- MBUS □ US MAILBOX
- GP ○ GATE POST
- FP ○ FLAG POLE
- BOL ○ BOLLARD
- ○ SIGN
- CO ○ CLEANOUT
- CWP ○ CROSS WALK POLE
- TSP ○ TRAFFIC SIGNAL POLE
- TSMH ○ TRAFFIC SIGNAL MANHOLE
- GMTR □ GAS METER
- ○ UTILITY POLE
- ○ UTILITY POLE W/ LIGHT
- EMTR □ ELECTRIC METER
- ○ GUY WIRE
- LP ○ LIGHT POLE
- ER ○ ELECTRIC RISER
- DMH ○ DRAINAGE MANHOLE
- CB □ SQUARE CATCH BASIN
- IPF ○ IRON PIPE FOUND
- DECIDUOUS TREE
- ○ CHAINLINK FENCE
- ○ OVERHEAD WIRES
- ○ GAS LINE
- ○ WATER LINE
- ○ ELECTRIC LINE
- ○ TELEPHONE LINE
- ○ STORM SEWER LINE
- ○ SANITARY SEWER LINE

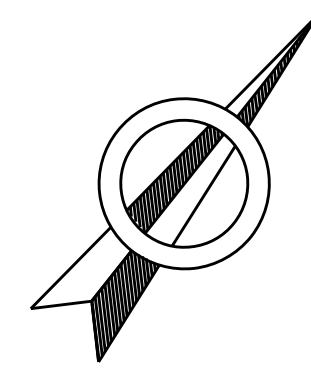


- MAP NOTES**
- 1.) NORTH ORIENTATION IS BASED ON GRID NORTH FROM RTK GPS OBSERVATIONS.
 - 2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
 - 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
 - 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY), THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY, THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
 - 5.) FIELD WORK PERFORMED ON JANUARY 27, 2020.
 - 6.) PROPERTY LINES SHOWN HEREON ARE SCALED FOR PREVIOUS MAPPING PROVIDED BY CLIENT AND ARE SUBJECT TO RESULTS OF AN ACTUAL BOUNDARY SURVEY PERFORMED IN THE FIELD.

CAD DWG. FILE NAME: I:\Survey\Projects\199724\SURVEY\MCDs-Pittsford.dwg

"ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY."

	DAVID M. SLISKI P.L.S. NO. 50105	DATE	REVISIONS RECORD/DESCRIPTION			DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW. © 2020 C.T. MALE ASSOCIATES	TOPOGRAPHIC SURVEY MAP OF McDONALD'S RESTAURANT 3280 MONROE AVENUE	
										APPROVED:	TOWN OF PITTSFORD
									DRAFTED : JAD	C.T. MALE ASSOCIATES <small>Engineering, Surveying, Architecture, Landscape Architecture, & Geology, D.P.C.</small> <small>200 GATEWAY PARK DRIVE, BLDG. C, P.O. BOX 3246 PITTSFORD, NY 14850-5646 315.458.6498 * FAX 315.458.4427</small>	
									CHECKED : DMS		
									PROJ. NO : 19.9724		
									SCALE : 1" = 20 FT.	SHEET 2 OF 13	DWG. NO: 20-0145
									DATE : JAN. 30, 2020		

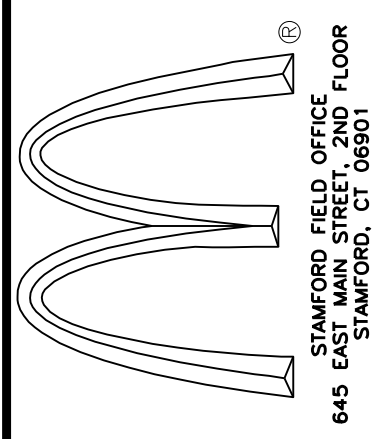


DEMOLITION NOTES

1. ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE HAS BEEN FURNISHED WITH NOTICE OF POSSESSION AND APPROVAL TO PROCEED BY THE OWNER.
2. THE CONTRACTOR SHALL COORDINATE THE SCHEDULE WITH OWNER AND PERFORM THE DEMOLITION WORK UNDER THE DIRECTION OF THE OWNER.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FEATURES THAT ARE INTENDED TO REMAIN WHETHER SHOWN ON THE PLANS OR NOT.
4. EXISTING TOPO AND UTILITY LOCATIONS ARE BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS WHETHER SHOWN ON THESE PLANS OR NOT.
5. PRIOR TO INITIATING DEMOLITION WORK THE CONTRACTOR SHALL DEVELOP A RECORD OF THE EXISTING STRUCTURE AND SURROUNDING PROPERTIES. THE RECORD SHALL INCLUDE CONDITIONS OF EXISTING STREETS AND ADJACENT PROPERTY PAVEMENTS. COPIES OF THE RECORD SHALL BE MADE AVAILABLE UPON REQUEST.
6. ALL DEBRIS FROM DEMOLITION SHALL BE HAULED OFF-SITE AND DISPOSED OF BY LEGAL MEANS.

LEGEND

- EXISTING ASPHALT AREA TO BE REMOVED
- EXISTING CONCRETE AREA TO BE REMOVED
- EXISTING FEATURE TO BE REMOVED
- LIMIT OF PAVEMENT REMOVAL
- T.B.R.** TO BE REMOVED
- T.R.** TO REMAIN



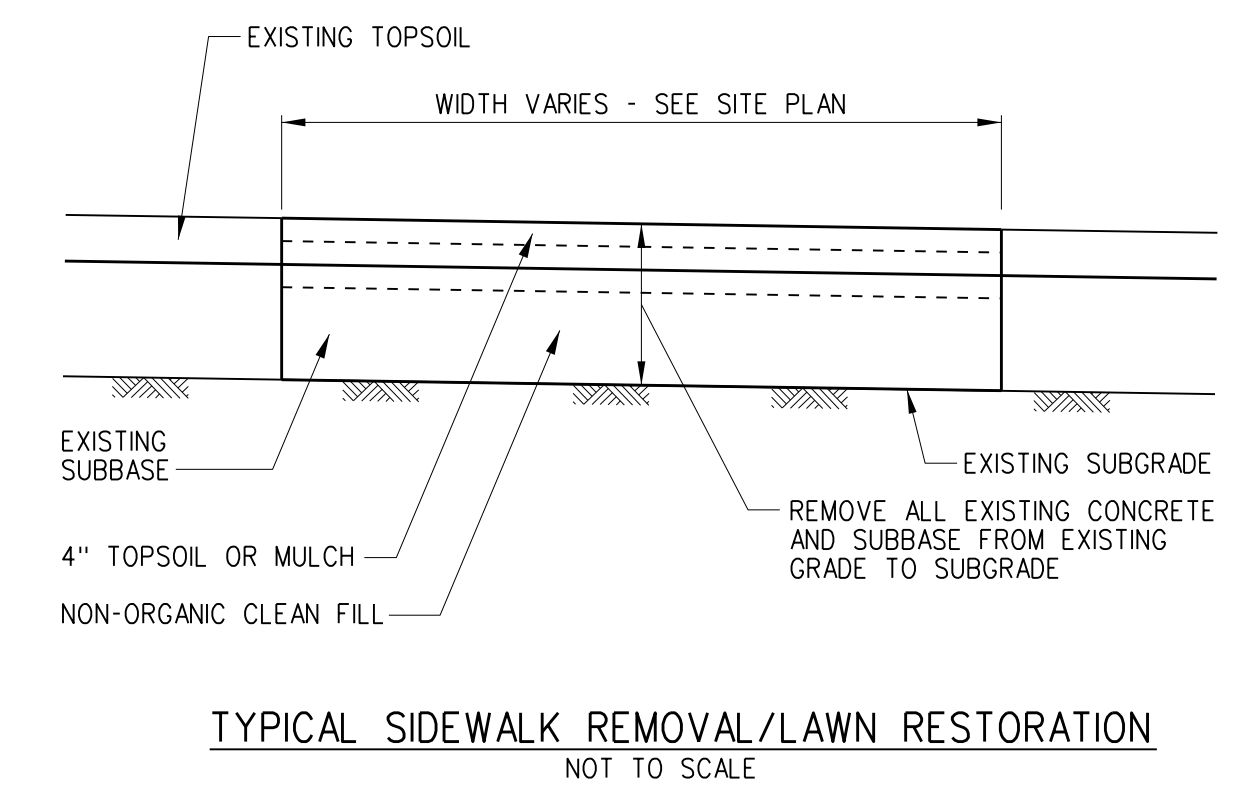
NO.	DATE	REVISIONS PER DRC 04/09/21 COMMENTS	DESCRIPTION
1	05/08/21		

DATE

TYLIN INTERNATIONAL
 255 East Avenue
 Rochester, New York 14604
 585-512-2000 | 585-691-3449 f

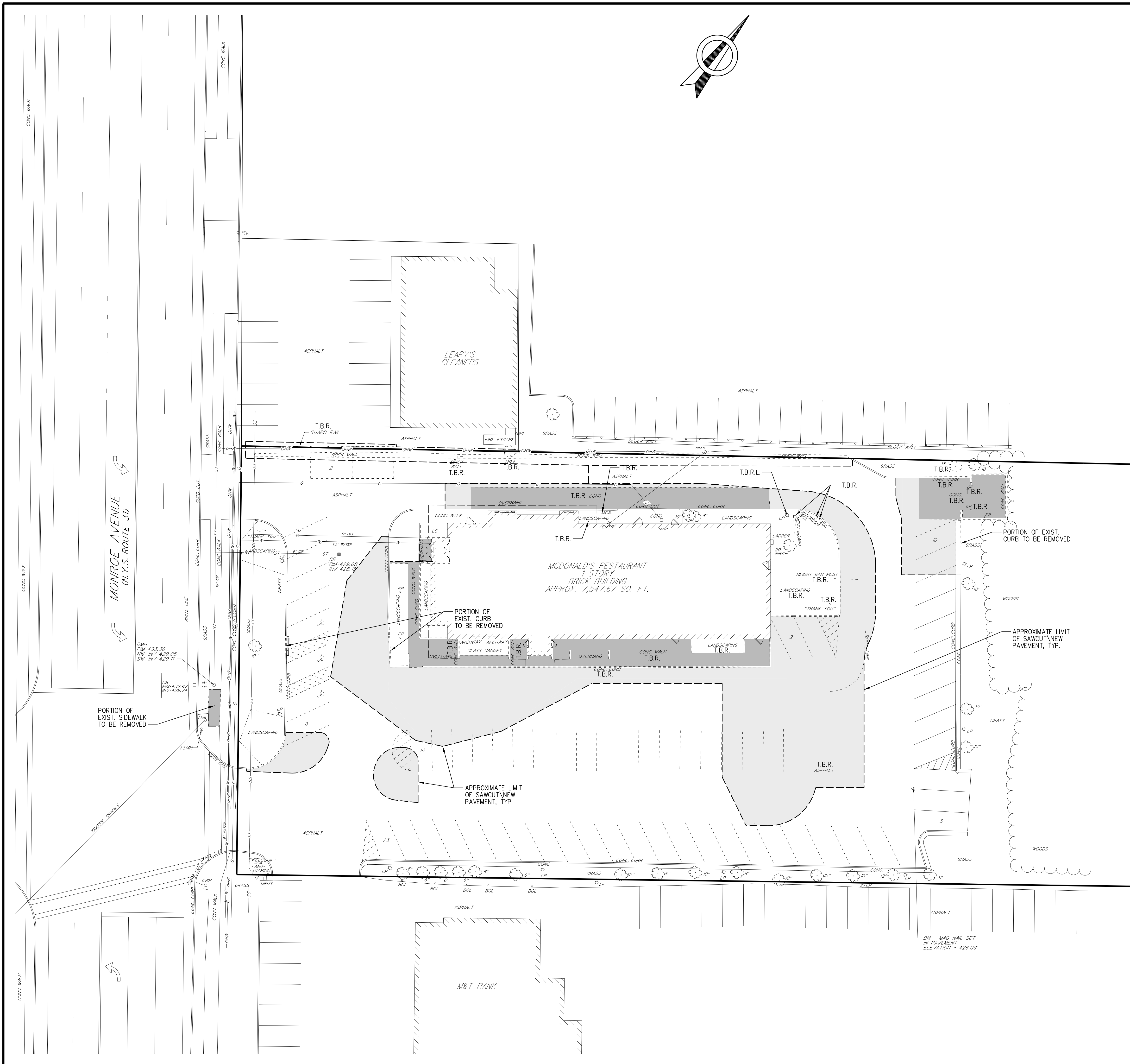
MCDONALD'S RESTAURANT
 3289 MCDONALD AVENUE, TOWN OF PITTSFORD, MCDONALD COUNTY, NEW YORK
MCDONALD'S USA, LLC
 STATE SITE CODE: 031-0789 (NSN: #0818)
 DEMOLITION PLAN

PROJECT NO. 43.7218.00	PROJ. MGR. RLB
DATE 03/03/21	DRWN. BY XDM
SCALE 1"=20'	CHKD. BY RLB
DRAWING NO. C-0	
SHEET NO. 3 of 16	



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- Wait The Required Time
- Confirm Utility Marks
- Respect the Marks
- Dig With Care

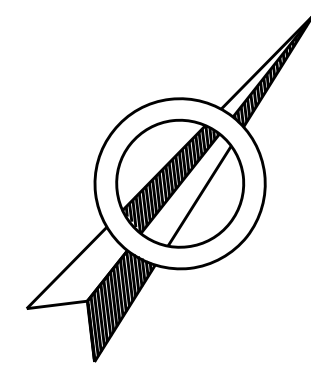


MONROE AVENUE
 (N.Y.S. ROUTE 31)

MCDONALD'S RESTAURANT
 1 STORY
 BRICK BUILDING
 APPROX. 7,547.67 SQ. FT.

M&T BANK

BM - MAG NAIL SET
 IN PAVEMENT
 ELEVATION = 426.09'



SIGN FOUNDATION NOTES	
S3	GATEWAY SIGN - TOP OF CONCRETE FOUNDATION SHALL BE 3" ABOVE FINISHED GRADE
S4	PRE-BROWSE BOARD - TOP OF CONCRETE FOUNDATION SHALL BE 3" ABOVE FINISHED GRADE
S5	SPRINGBOARD CANOPY - TOP OF CONCRETE FOUNDATION SHALL BE 3" ABOVE FINISHED GRADE
S6	MENU BOARD - TOP OF CONCRETE FOUNDATION SHALL BE 3" ABOVE FINISHED GRADE

SUMMARY OF PARKING
 APPROXIMATE EXISTING: 66 SPACES
 PROPOSED: 52 SPACES
 NET CHANGE: -14 SPACES

SITE DATA			
TAX ACCOUNT NUMBERS: 150.12-1-12			
CURRENT SITE AREA: 2.225 ACRES (96,940.69 SQ. FT.)			
CURRENT ZONING: C (COMMERCIAL)			
ZONING REQUIREMENTS		REQUIRED	PROPOSED
MAX. LOT SIZE		30,000 SQ. FT.	---
MAX. BUILDING HEIGHT		40 FT.	---
BUILDING SETBACKS			
FRONT		30 FT.	---
SIDE		20 FT.	---
REAR		30 FT.	---

BUSINESS SIGN DATA TABLE						
SIGN ID	SIGN QUANTITY	SIGN TYPE	SIGN MODEL	NO. OF SIDES	SIGN AREA PER SIDE (SQ. FT.)	TOTAL AREA (SQ. FT.)
S2A	1	DIRECTIONAL W/O ARCH "WELCOME"	INT. ILLUMINATED	2	5.8 SQUARED	11.6
S2B	1	DIRECTIONAL W/O ARCH "THANK YOU"	INT. ILLUMINATED	2	5.8 SQUARED	11.6
S2C	1	DIRECTIONAL W/O ARCH "DRIVE-THRU"	INT. ILLUMINATED	1	5.8 SQUARED	5.8
S3	1	POLE "DOUBLE WELCOME POINT GATEWAY"	NON-ILLUMINATED CHARCOAL/YELLOW	1	6.6 SQUARED	6.6
S4	2	PRE-BROWSE BOARD	DIGITAL	1	16.4 SQUARED	32.8
S5	2	SPRINGBOARD CANOPY WITH COD	INT. ILLUMINATED CHARCOAL/YELLOW	1	3.6 SQUARED	7.2
S6	2	MENU BOARD	DIGITAL	1	29.5 SQUARED	59.0
S7	2	PULL FORWARD SIGN "RESERVED DRIVE-THRU"	NON-ILLUMINATED	1	4.6 SQUARED	9.2
S8	2	CURB SIDE "MOBILE ORDER PICK UP"	NON-ILLUMINATED	1	4.6 SQUARED	9.2
S9	2	WALL "BUILDING ARCH"	42" NEXT GEN INT. ILLUMINATED	1	14.0 SQUARED	28.0
S10	1	WALL WORDMARK "McDONALD'S"	24" NEXT GEN INT. ILLUMINATED	1	32.9 SQUARED	32.9
					TOTAL BLDG. SIGNAGE	60.9

LEGEND	
[Pattern]	NEW CONCRETE PAVEMENT
[Pattern]	NEW ASPHALT PAVEMENT
[Pattern]	SEAL AND RESTRIPE PAVEMENT AREA
[Dashed Line]	LIMIT OF SEAL AND RESTRIPE PAVEMENT AREA
[Dotted Line]	LIMIT OF NEW PAVEMENT

GENERAL NOTES

- ALL LIGHTING WILL BE DARK SKY COMPLIANT AND MINIMIZE VISIBLE GLARE FROM LIGHT SOURCES. BUILDING MOUNTED LIGHTING MUST BE CUT OFF FIXTURES THAT MINIMIZE VISIBLE GLARE.
- TOWN OF PITTSFORD CODE ENFORCEMENT OFFICER CAN REQUIRE SHIELDING OF LIGHT FIXTURES WHERE THE GLARE OF THE LIGHT SOURCE IS VISIBLE FROM PRIVATE PROPERTY OR PUBLIC WAYS.
- CONTRACTOR TO INSTALL A LOCK BOX COMPLIANT WITH THE TOWN OF PITTSFORD'S LOCK BOX PROGRAM FOR EMERGENCY SERVICE PERSONNEL.
- CONSTRUCTION VEHICLES ARE NOT TO BE PARKED OR STAGED IN PROXIMITY TO THE BUILDING. EMERGENCY ACCESS SHALL BE MAINTAINED AT ALL TIMES.

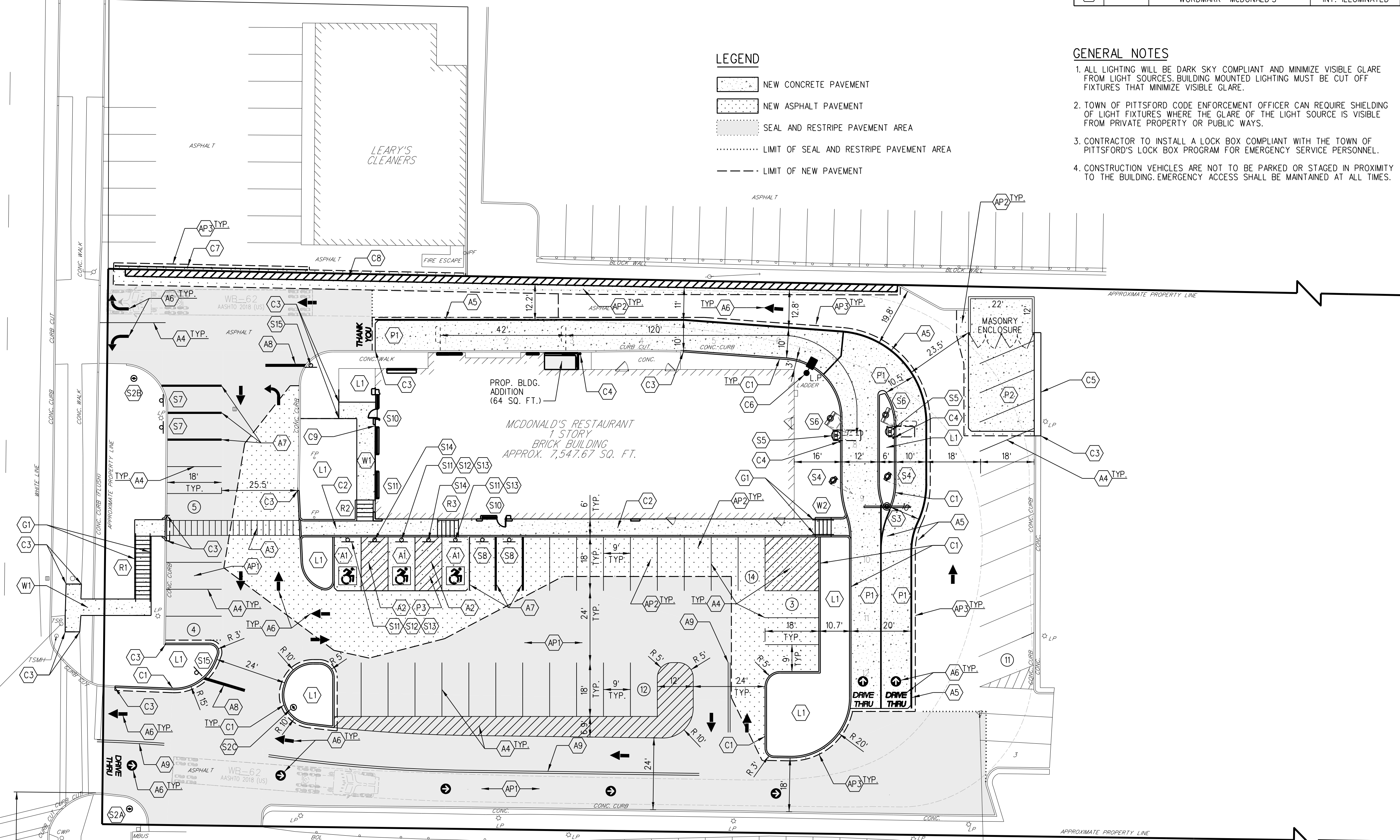
ADA/STRIPING LEGEND	
A1	ACCESSIBLE SPACE @ MAX. 2.0% RUNNING SLOPE AND MAX. 2.0% CROSS SLOPE WITH SIGN AND SYMBOL PER ADA REQUIREMENTS
A2	ACCESSIBLE AISLE WITH 4" PAINTED "ADA BLUE" STRIPE @ 45°, 2' O.C. @ MAX. 2.0% RUNNING SLOPE AND MAX. 2.0% CROSS SLOPE
A3	5' WIDE PEDESTRIAN CROSSING WITH 6" STRIPING PARALLEL TO TRAFFIC FLOW. STRIPING SHALL BE BLUE FOR CROSSWALK CONNECTING TO ACCESSIBLE PARKING, OTHERWISE SHALL BE WHITE.
A4	4" WHITE PARKING STRIPE OR STRIPED AREA - 4" WHITE STRIPES @ 45°, 2' O.C.
A5	6" YELLOW PAINTED DRIVE-THRU LANE STRIPE
A6	PAVEMENT SYMBOL AND/OR LETTERS
A7	8" PMS 123 YELLOW STRIPE
A8	STOP BAR - 18" WHITE REFLECTIVE TRAFFIC STRIP
A9	4" DOUBLE YELLOW STRIPE

ASPHALT PAVING/CONCRETE PADS	
AP1	SEAL AND RESTRIPE PAVEMENT AREA
AP2	NEW ASPHALT PAVEMENT AREA
AP3	LIMIT OF NEW PAVEMENT
P1	6" THICK, REINFORCED CONC. DRIVE-THRU PAD
P2	22' W 45' L x 6" THICK REINFORCED CONCRETE DUMPSTER ENCLOSURE PAD
P3	6" THICK, REINFORCED CONCRETE ADA PARKING PAD
L1	LAWN/LANDSCAPE AREA

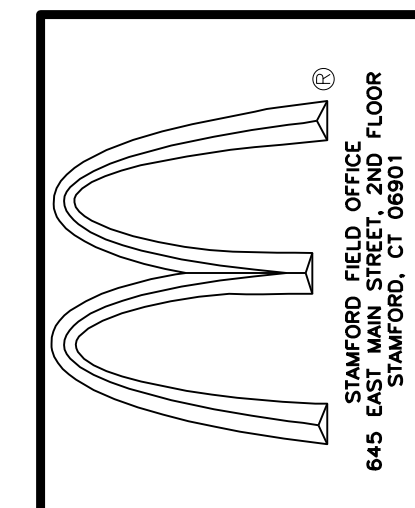
CURBING/BOLLARDS/RAIL/WALL/LOCK BOX	
C1	6"x18" CONCRETE CURB
C2	INTEGRAL CONCRETE CURB/SIDEWALK
C3	END NEW/MATCH EXIST.
C4	6" CONCRETE BOLLARD W/YELLOW COVER
C5	10"x24" CONCRETE CURB
C6	RELOCATED LIGHT POLE WITH NEW BASE
C7	STEEL GUARD RAIL
C8	REDROCK RETAINING WALL, APPROX. 24" MAX. HEIGHT
C9	EMERGENCY LOCK BOX

GUIDANCE SIGNS	
S11	"RESERVED PARKING" ACCESSIBLE SIGN
S12	"VAN ACCESSIBLE" SIGN
S13	"VIOLATION" SIGNAGE
S14	"NO PARKING ANYTIME" SIGN, MIN. 32" CLEAR WIDTH REQUIRED BETWEEN BOLLARD/SIGNAGE BELOW 80" ABOVE FINISH GRADE AND THE SIDE OF THE ACCESS AISLE.
S15	STOP SIGN

SIDEWALKS/RAMPS	
W1	4" THICK CONCRETE SIDEWALK - 5' WIDE UNLESS OTHERWISE NOTED
W2	STEPS PER ADA STANDARDS
R*	ACCESSIBLE SIDEWALK RAMP
G1	HANDRAILS PER ADA STANDARDS



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REVISIONS			
NO.	DATE	REVISIONS PER DRC (4/29/21) COMMENTS	DESCRIPTION
1	05/06/21		

DATE	
1	05/06/21

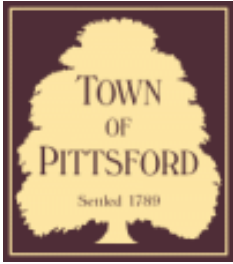
TYLINT INTERNATIONAL
 255 East Avenue
 Rochester, New York 14604
 565-512-2000 | 565-691-3449 f

McDONALD'S RESTAURANT
 3289 MONROE AVENUE, TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

McDONALD'S USA, LLC
 STATE SITE CODE: 031.0789 (NSM, NR18)

SITE PLAN

PROJECT NO.	43.7218.00	PROJ. MGR.	RLB
DATE	03/03/21	DRWN. BY:	XDM
SCALE	1"=20'	CHKD. BY:	RLB
DRAWING NO.			C-1
SHEET NO.			4 OF 16



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000004

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 117 East Street PITTSFORD, NY 14534

Tax ID Number: 178.02-1-2.1

Zoning District: AG Agricultural

Owner: Gleason, Michael P

Applicant: Gleason, Michael P

Application Type:

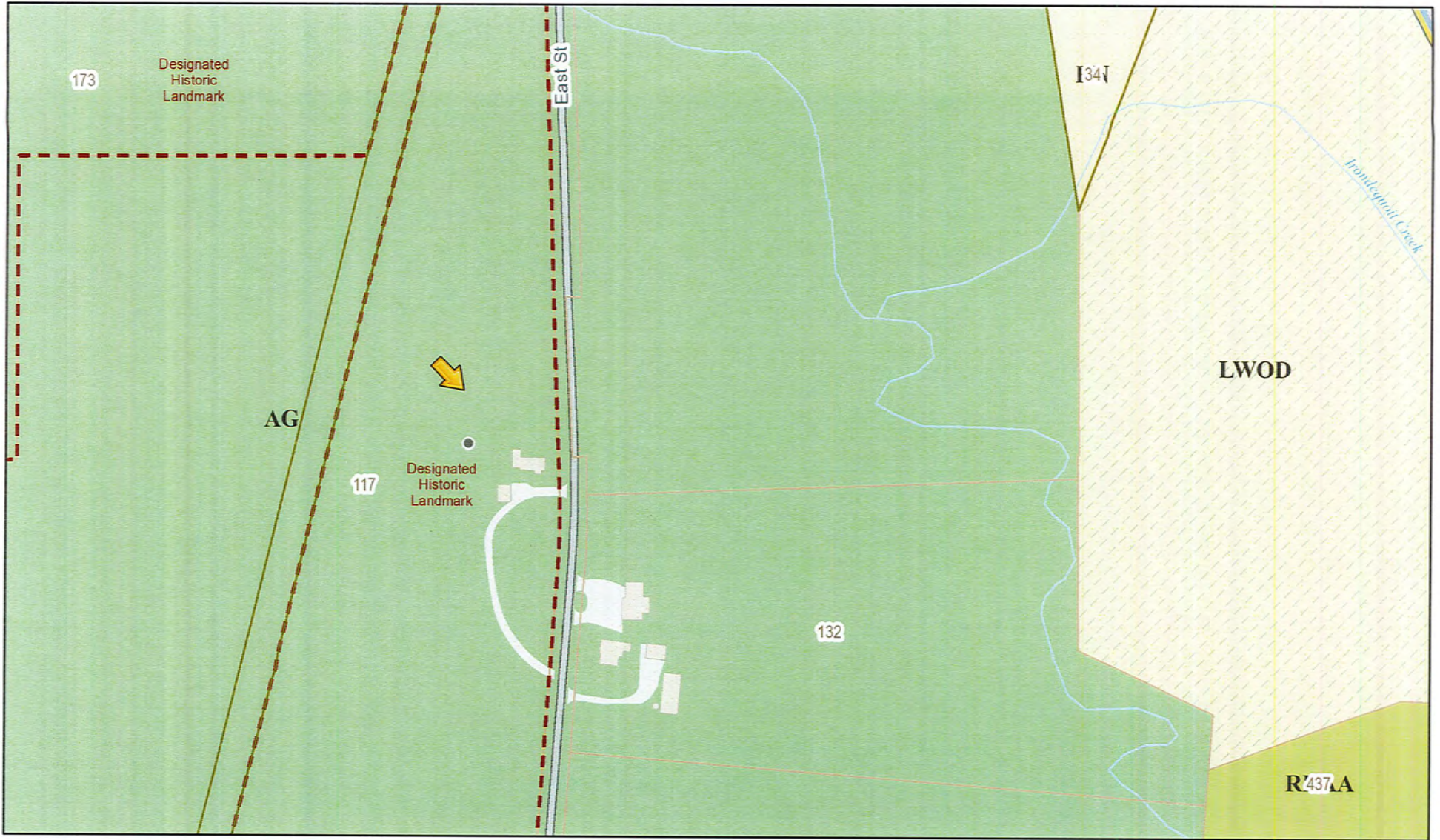
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (RN) Residential Neighborhood and is designated historic.

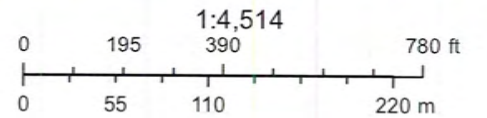
Meeting Date: June 10, 2021



RN Residential Neighborhood Zoning



Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

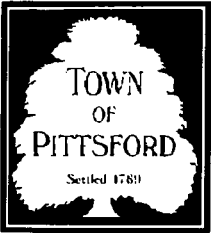


117

450 ft

450 ft

East Street



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 117 East St

2. Tax Account Number: _____

3. Applicant's Name: Michael & Kathryn Gleason

Address: 117 East St Phone: _____
Street

Pittsford NY 14534 E-mail: Kathrynglea@gmail.com
City State Zip Code

4. Applicant's Interest in Property:

Owner: Lessee: Holding Purchase Offer:

Other (explain): _____

5. Owner (if other than above): _____

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: Kathryn Gleason

Address: Same Phone: 586 9482
Street

_____ E-mail: Kathrynglea@gmail.com
City State Zip Code

7. Project Design Professional (if Available): _____

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

8. Project Contractor (if Available): John Rick
 Address: 79 Ridgecrest Dr Phone: 739-8399
Street
Rochester, NY 14617 E-mail: JRICK@ROCHESTER, RR.COM
City State Zip Code

9. Present use of Property: Residential home

10. Zoning District of Property: A9

11. Is the property located in a Town Designated Historic District?
 Yes No

12. Is the property listed on the National Registry of Historic Places?
 Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?
 Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

We would like to build a screened in porch over the existing patio on the south side of the house. It is to be built out of wood with the support columns to match existing. Roof to match existing roof. Painted white to match house.
~~Roof pitch will be higher than attached photo to match existing roof line~~

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

Possibly 3 bushes will be removed and re-planted 7-2 ft forward (toward the street) if needed.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

- Parcel map
- Photographs
- Other materials
- Architectural elevations
- Architectural plans

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Kathy Gleason
Signature of applicant

4/7/2020
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____



Schoenhardt, LLC
Eric Schoenhardt
403 East Linden Ave
East Rochester, NY 14445
eric@schoenhardtconstruction.com
585-314-8037

May 19, 2021

CLARIFICATIONS

Patio Enclosure

Kathy and Mike Gleason

117 East Street

The Gleason's asked for some help in putting together some scale drawings of the patio enclosure they are proposing. This document is to clarify some of the particulars of that design. Should the project be approved, a licensed architect would be retained to provide stamped drawings for the project.

I have attached the drawings so far and some photo's of the existing house where we will be building the enclosure.

There exists on the house now an entry stoop this stoop would not be demolished but would be enclosed under the new shelter the eave of that roof is the height we would align our new shelter roof with. This height is consistent with the roof to the right in the photo. The roof eave line would be approximately 12" lower than the roof eave to the left.

The window to the left and right of the stoop would now be under the new roof. The shutters would be removed from the single window to the right of the stoop. The double window to the left does not have shutters

- The roof as I would plan on it now would be conventionally framed.
- The house has 3 in 1 roof shingles in grey on it and our new roof would be the same.
- All fascia would be configured to match the existing including rake and fascia details. Soffits would be closed. The gable end would be board and batten to match the details of the siding to the addition on the left. All would be painted white like the rest of the house.



- The +/- 8x8 columns would be wood wrapped PT 6x6's. They would have a +/-5" 5/4 base mold and top detailing to match the existing column on the porch to the right of the new enclosure



- The screen doors (2) will be framed to be within 4x4 frames painted white. One will face forward as shown the second will open to the back-yard (not shown)
- The screens would all be framed in 1x and painted white with black screens.
- The owner's initial sketches included a railing system behind the screens. As the patio is at grade these are not necessary for safety and the owner is considering whether they might be desirable in terms of protecting the screens from pet or child damage.
- The ceiling inside has not be settled on yet as to whether it would be open or exterior drywall finished and painted at 9' above the existing paver bricks
- The existing paver bricks to remain





SCHOENHARDT

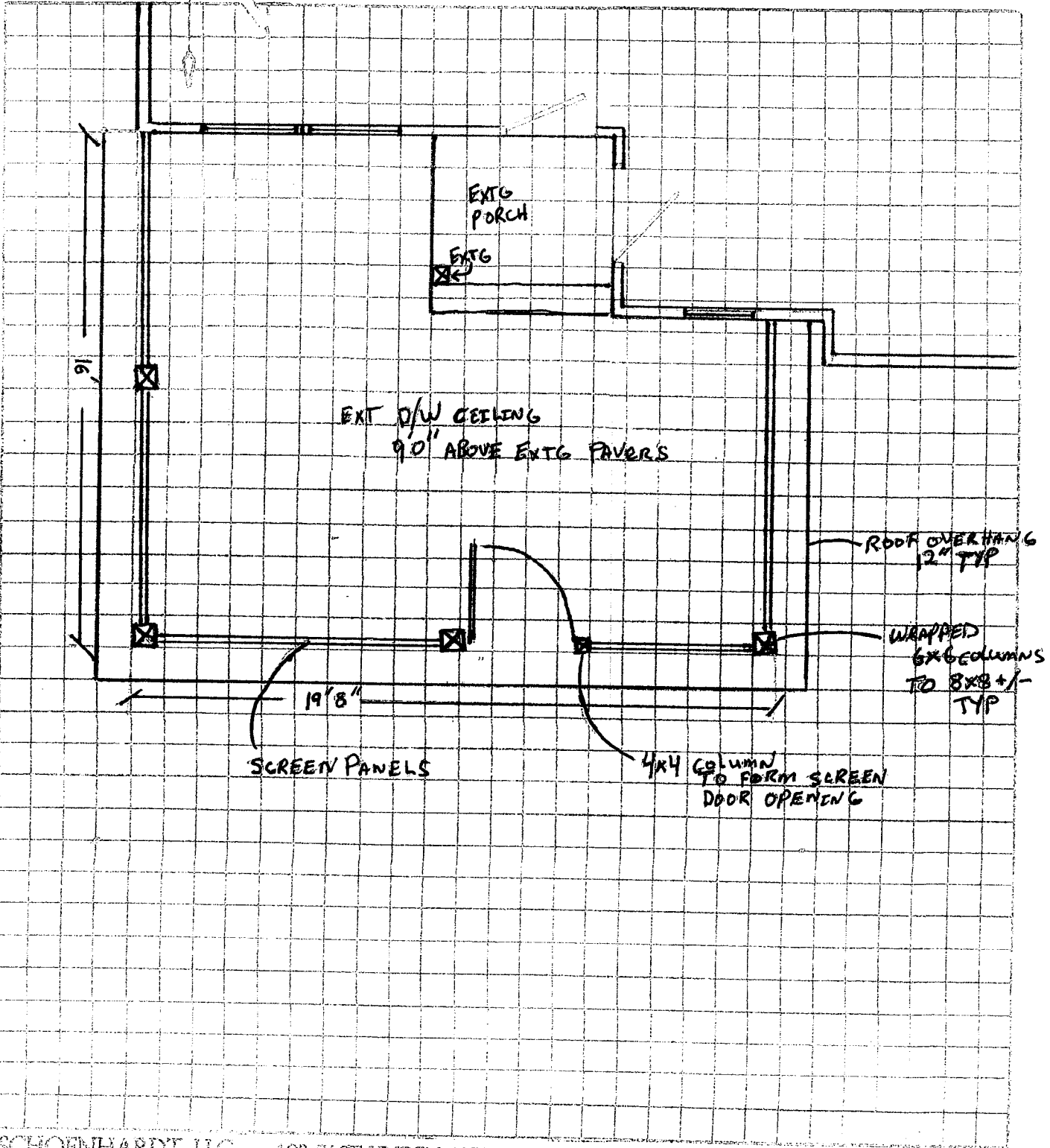
CONSTRUCTION & BUILDING SERVICES

WE MAKE VISION HAPPEN

Project Capitol Building

Estimator SES

Date 1/15/14



SCHOENHARDT

CONSTRUCTION & BUILDING SERVICES

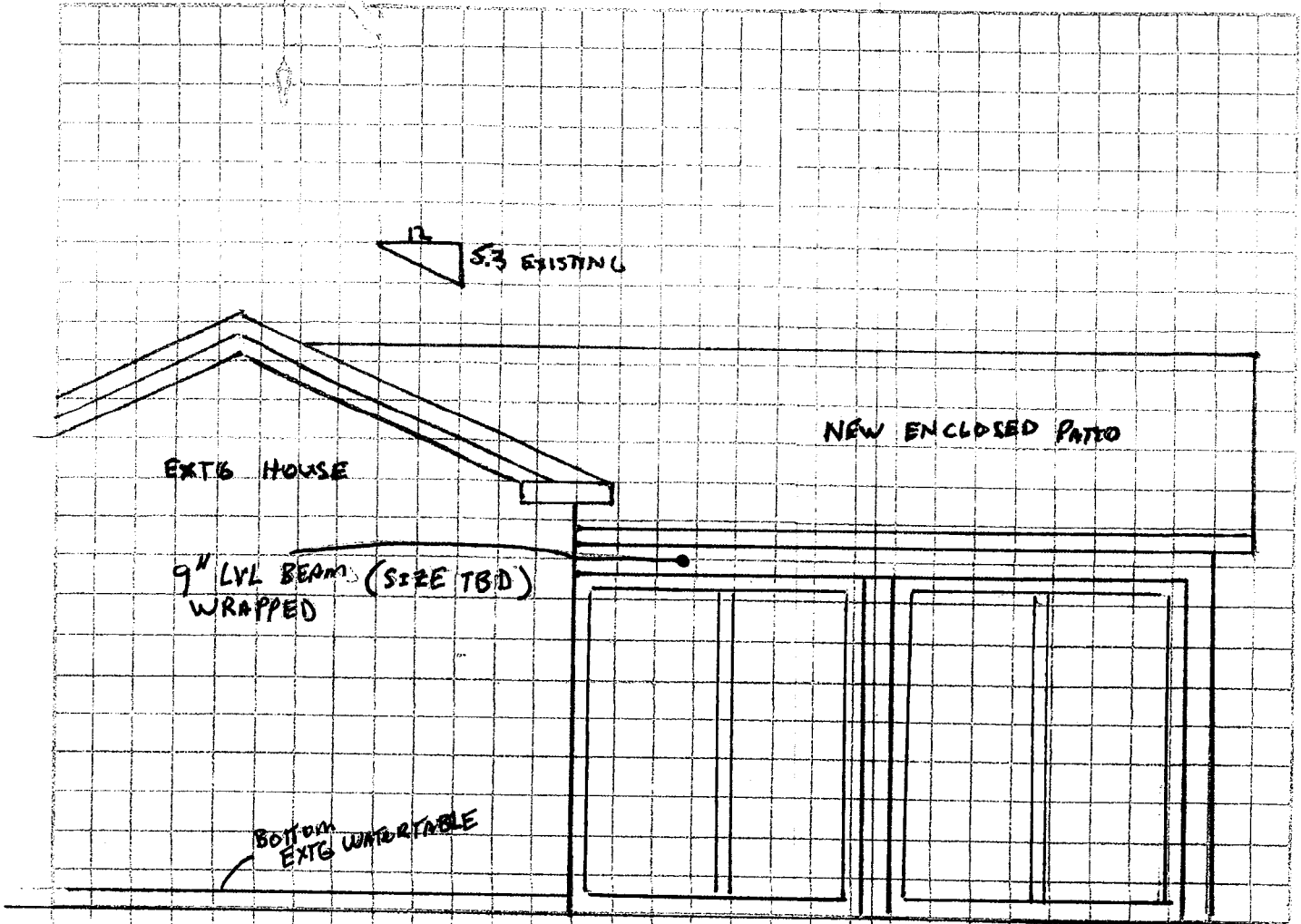
WE MAKE VISION HAPPEN

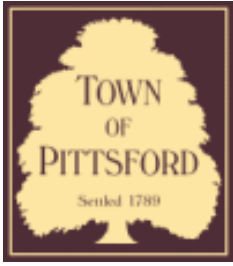
Project 3270 Franklin Ave

117 East 21st

Estimator AB

Date 11/21





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000005

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Golf Avenue PITTSFORD, NY 14534

Tax ID Number: 151.15-2-45.2

Zoning District: RN Residential Neighborhood

Owner: Flannery, John B III

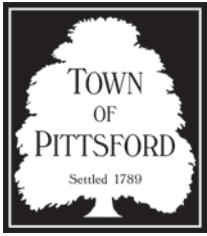
Applicant: Flannery, John B III

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the construction of an oversized accessory structure on the property of a designated historic home.

Meeting Date: June 10, 2021



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # CA21-00005

1. Property Address: 18 Golf Avenue

2. Tax Account Number: 15.15-2-45.2

3. Applicant's Name: John and Kristine Flannery

Address: 18 Golf Avenue Phone: _____
Street
Pittsford, NY 14534 E-mail: _____
City State Zip Code

4. Applicant's Interest in Property:
Owner: Lessee: Holding Purchase Offer:
Other (explain): _____

5. Owner (if other than above): _____
Address: _____ Phone: _____
Street
_____ E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: Owner
Address: _____ Phone: _____
Street
_____ E-mail: _____
City State Zip Code

7. Project Design Professional (if Available): _____
Address: _____ Phone: _____
Street
_____ E-mail: _____
City State Zip Code

8. Project Contractor (if Available): Polisseni Constuction Co. Inc.
Address: 471 Barks Rd. Phone: _____
Street
Caledonia, NY 14423 E-mail: _____
City State Zip Code

9. Present use of Property: Resident

10. Zoning District of Property: Residential Neighborhood

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Addition of a 1440 square foot Barn.

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application *(if available)*:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Parcel map | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans |
| <input type="checkbox"/> Other materials | |

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Signature of applicant

04/29/2021

Date

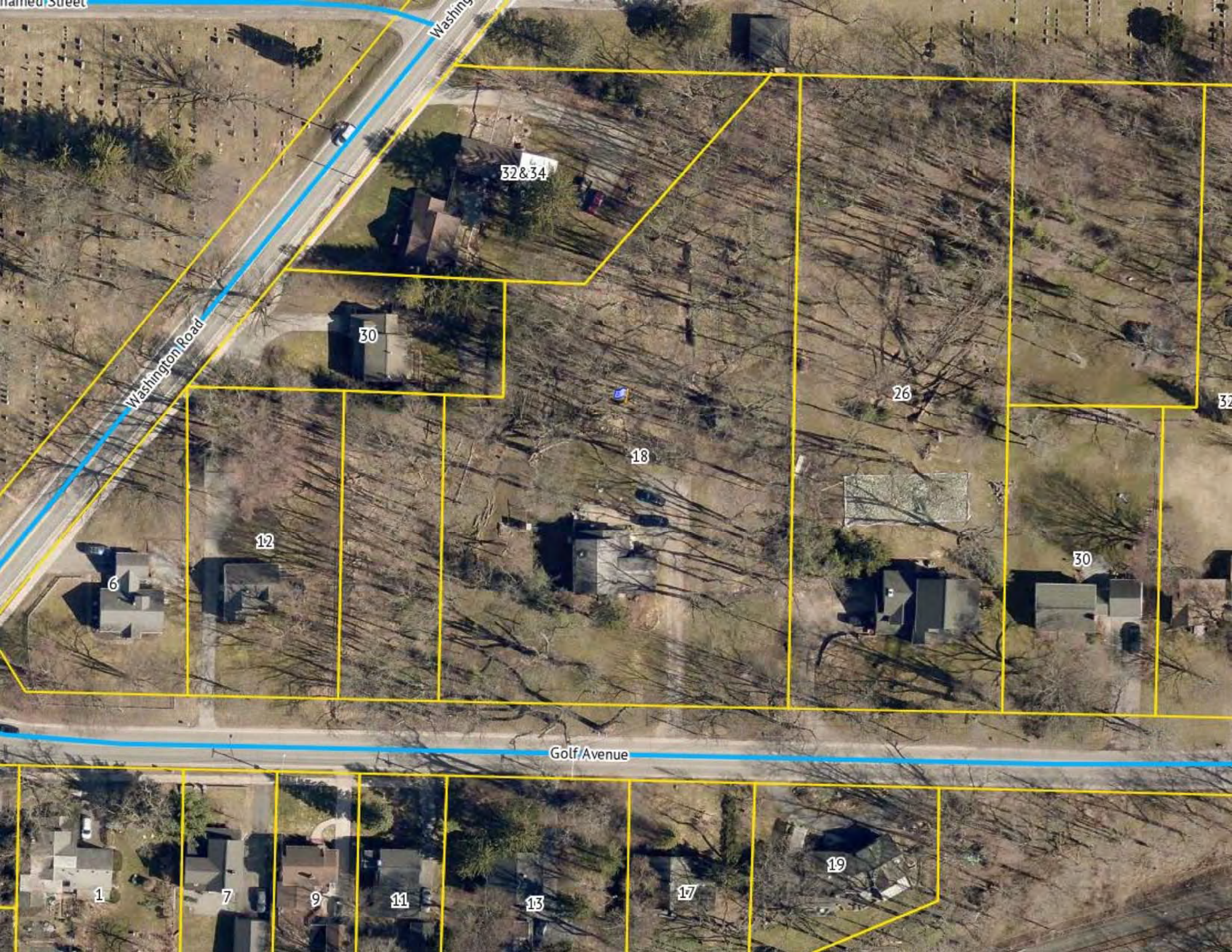
Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____

named Street



Washing

32&34

30

26

18

12

6

30

Golf Avenue

19

1

7

9

11

13

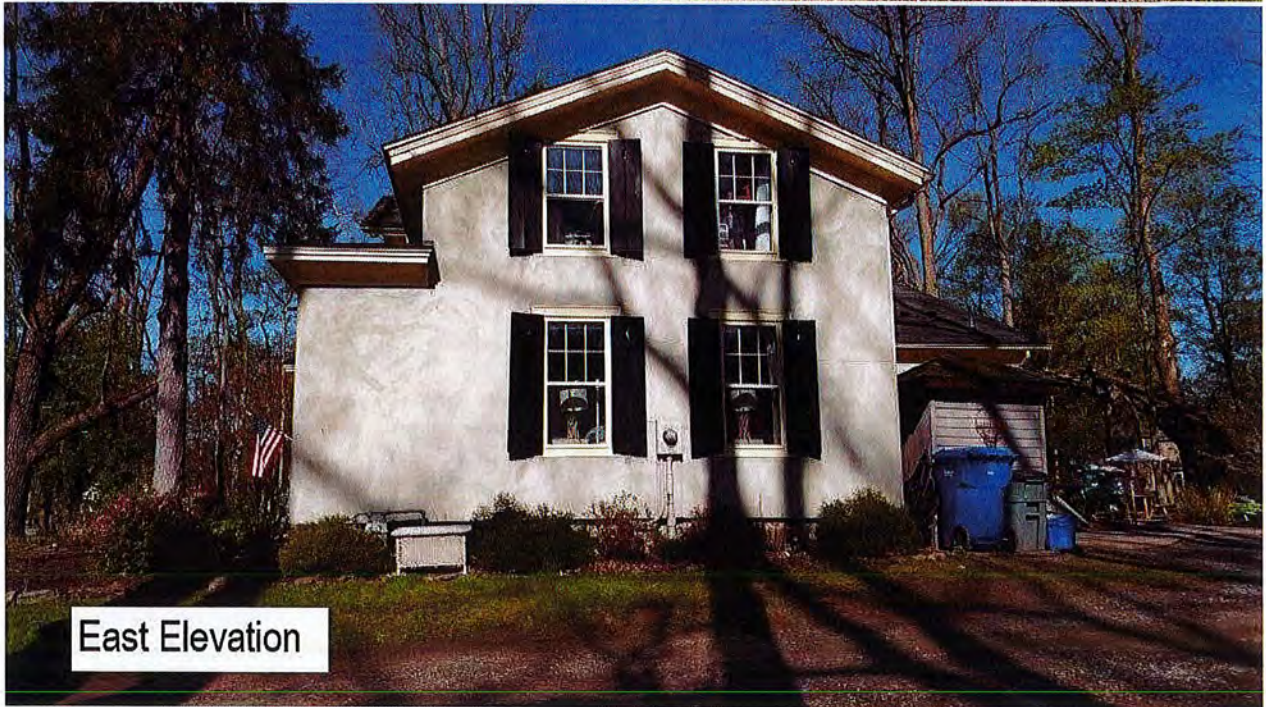
17



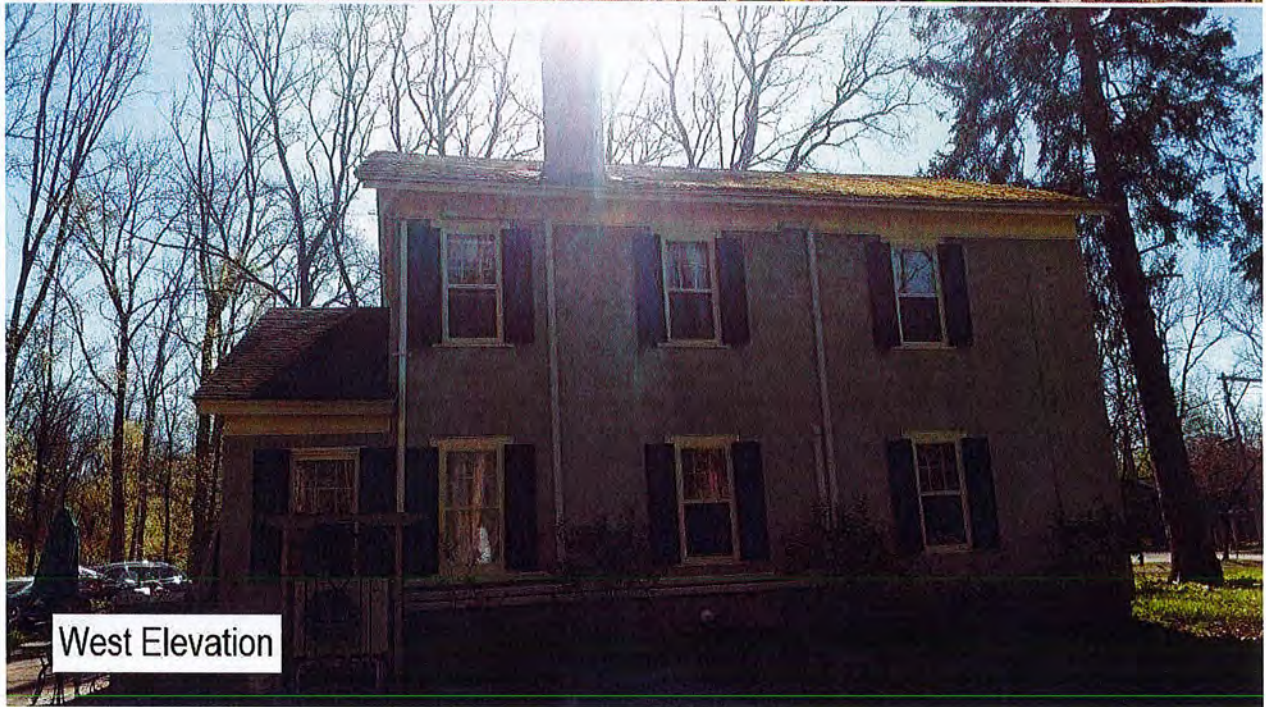
South Elevation - at end of driveway



South Elevation



East Elevation





||-||-||- = CHAIN LINK FENCE
 -x-x-x-x- = SPLIT RAIL FENCE

N/F
 ANNETTE EDWARDS
 L. 9250, P. 643

N/F
 JOHN & MARTHA A.
 DENISON
 L. 8600, P. 579

(PARCEL EXCEPTED FROM
 CONSERVATION EASEMENT
 PER L. 10457, P. 520)

271.58' TO THE EASTERLY CORNER
 OF THE LANDS ACQUIRED BY THE COUNTY
 OF MONROE PER L.1985, P.67
 AT THE N.E. CORNER OF GOLF AVENUE
 AND WASHINGTON ROAD

GOLF AVENUE
 (49.50' WIDE)

REFERENCES:

1. CROSSROADS ABSTRACT SEARCH NO. 66934, LAST DATED JULY 17, 2008.
2. LIBER 9304 OF DEEDS, PAGE 112.
3. MAP OF A SURVEY DATED MAY 1, 2000, PREPARED BY DONALD R. THOMAS, L.S., ATTACHED TO THE ABOVE REFERENCED ABSTRACT.
4. SUBJECT TO A CONSERVATION EASEMENT PER LIBER 9062 OF DEEDS, PAGE 665 AND AMENDED BY LIBER 10457 OF DEEDS, PAGE 520. (THIS EASEMENT COVERS THE ENTIRE PARCEL WITH THE EXCEPTION AS SHOWN ON THIS MAP)
5. SUBJECT TO THE TERMS AND CONDITIONS AND RESTRICTIONS AS SET FORTH BY THE PITTSFORD HISTORIC PRESERVATION COMMITTEE PER LIBER 8990 OF DEEDS, PAGE 671.

MAP OF AN INSTRUMENT SURVEY OF
No. 18 GOLF AVENUE
 BEING
LANDS OF NANCY A. HOOKER

SITUATE IN
 PART OF T09WN LOT 26, TOWNSHIP 12, RANGE 5 OF THE
 PHELPS & GORHAM PURCHASE
 TOWN OF PITTSFORD

COUNTY OF MONROE
 SCALE 1 INCH = 50 FEET

GROVER & BATES ASSOCIATES
 406 WEST SPRUCE STREET
 EAST ROCHESTER, NEW YORK
 585-381-0021

STATE OF NEW YORK
 DATE: AUGUST 5, 2008

CERTIFICATIONS LISTED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE G.V.L.S.A. AND THE MONROE COUNTY BAR ASSOCIATION.

WE, GROVER & BATES ASSOCIATES DO HEREBY CERTIFY TO THE FOLLOWING:

1. JOHN B. FLANNERY, III and KRISTINE FLANNERY;
 2. DUTCHER & ZATKOWSKY;
 3. HSBC MORTGAGE CORPORATION (USA), ITS SUCCESSORS AND/OR ASSIGNS;
 4. PHETERSON, STERN, CALABRESE, NELLANS LLP; and
 5. THE TITLE INSURANCE COMPANY INSURING THIS MORTGAGE;
- THAT THIS MAP WAS MADE FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON JULY 31, 2008.





GENERAL NOTES:
TIMBER SPECIFICATIONS- RAFTERS, PLATE
BEAMS HEM/FIR #2
Fb = 750 PSI
HORIZ SHEAR = 80 PSI
FC = 550 PSI
COMPRESSION PARALLEL TO GRAIN = 550 PSI
MODULUS OF ELASTICITY = 900,000 PSI
GROUND SNOW LOAD = 50 PSF
CONCRETE Fc = 3000 PSI

TRANSMITTAL:
6/1/21
TO JIM FOR REVIEW & CUSTOMER APPROVAL



**198 EAST STREET
MORRIS, CT 06763**

PROJECT

John & Kristine Flannery
18 Golf Ave
Pittsford, NY

NOTES:
THIS DRAWING OR THE
UNDERLYING DESIGN CANNOT
BE COPIED OR USED TO BUILD
AN IDENTICAL OR
SUBSTANTIALLY
SIMILAR STRUCTURE,
REGARDLESS
OF CONSTRUCTION METHOD,
WITHOUT HARVEST MOON
TIMBER
FRAME'S WRITTEN
PERMISSION.
COPYRIGHT 2019

REVISIONS:

DRAWN BY
PGP

SCALE
1/4"=1'-0"
or as noted
in plans

ISSUE
6/1/21

COVER

1



GENERAL NOTES:
TIMBER SPECIFICATIONS- RAFTERS, PLATE
BEAMS HEM/FIR #2
Fb = 750 PSI
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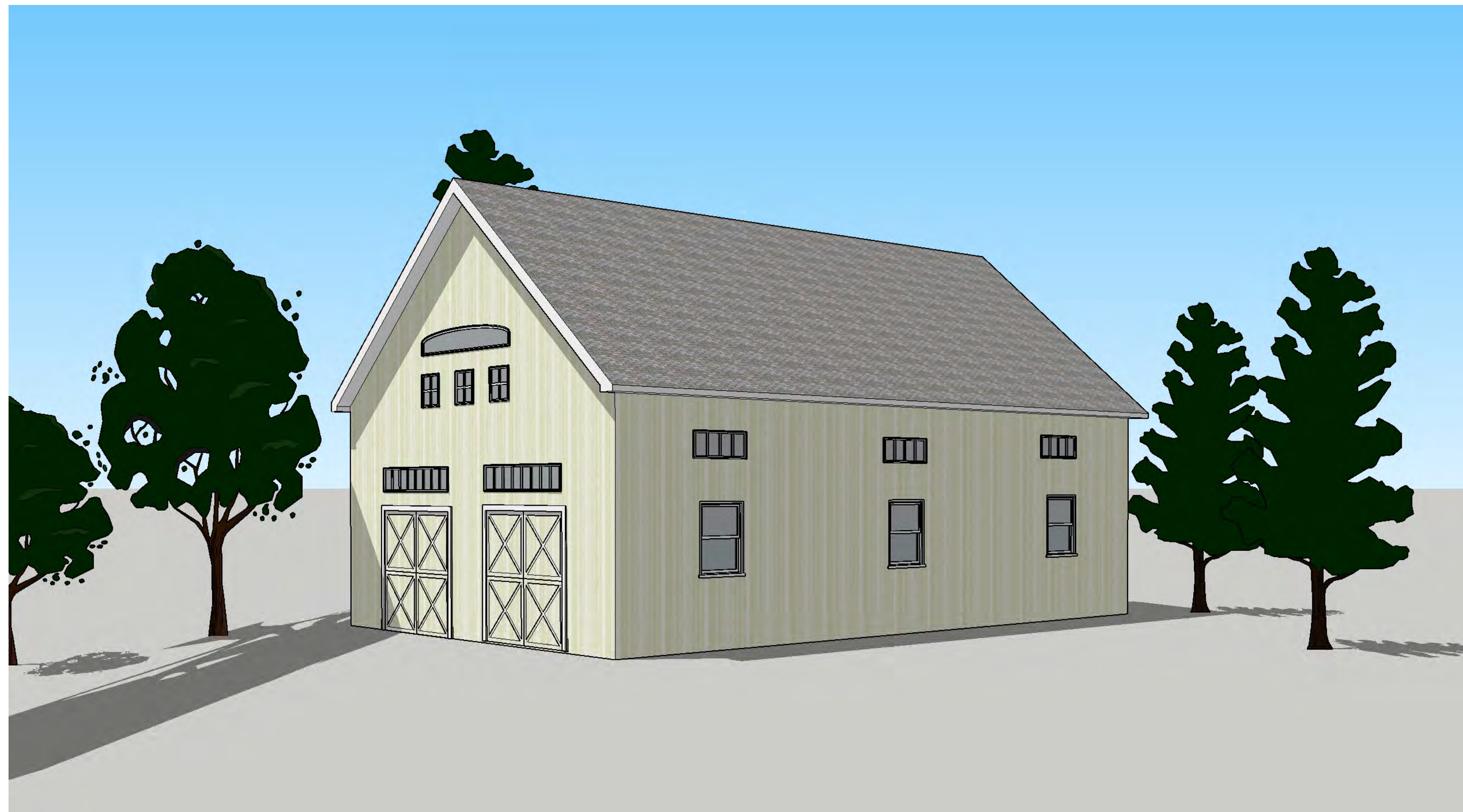
DRAWN BY
PGP

SCALE
1/4"=1'-0"
or as noted
in plans

ISSUE
6/1/21

COVER

1





Harvest Moon
TIMBER FRAME

198 EAST STREET
MORRIS, CT 06763

PROJECT
John & Kristine Flannery
18 Golf Ave
Pittsford, NY

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REVISIONS:

DESCRIPTION
Sheet Description
DRAWN BY
PGP

SCALE
1/4"=1'-0"
or as noted
in plans

ISSUE
6/1/21

ELEVATIONS







198 East Street
Morris, CT 06763
1-800-262-0004

Preliminary Quotation

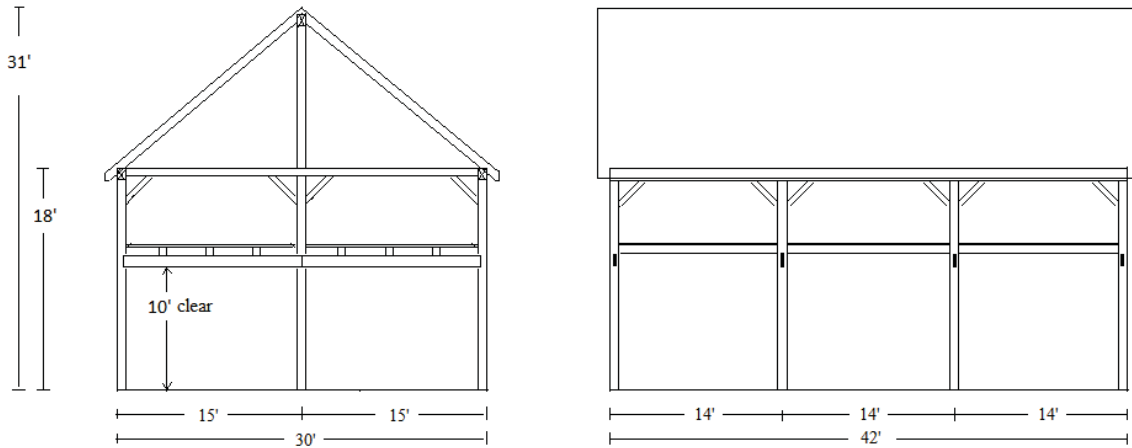
Date of quote: 04/01/2021

Customer: John Flannery

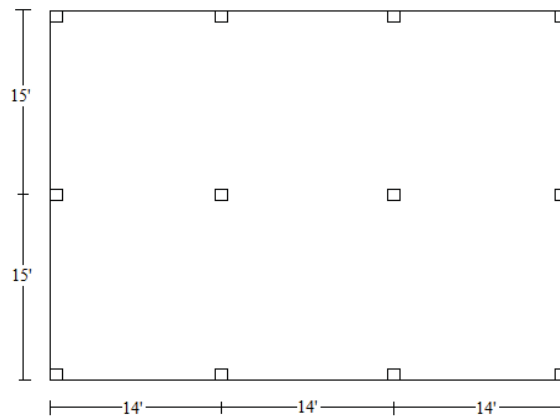
Building Site: 18 Golf Ave, Pittsford, NY

Barn Size & Style: 30' x 42' Colonial Grange

10/12 roof pitch
12" overhangs



Post Layout (both levels)





198 East Street
Morris, CT 06763
1-800-262-0004

Layout:

- 30' x 42' footprint
- 30' x 42' loft with stair access / timber stair kit included
- 18'-0" plate height / 10'-0" clear height below loft
- 12" roof overhangs / Gable & Eave / 10:12 roof pitch
- 2x10 conventional rafters @ 16" o.c. for insulation (insulation not included) with timber rafters visible from the interior at the post locations
- 2x6 conventional wall studs between or outbound of the posts, by others (not included in this quote)

Frame:

- Rough sawn / full dimension hemlock timbers (smooth material available if desired)
- Mortise & tenon joinery with hardwood pegging & timber lags
- Pre-cut & labeled parts

Sheathing: *quoted as options below*

- Siding / 1x8 shiplap pine boards, applied vertically
- Loft Flooring / 2x8 tongue & groove yellow pine boards with v-groove edging
- Finished Ceiling / 1x8 tongue & groove pine boards with v-groove edging

Roofing Material:

- TBD, by others (not included in this quote)

Dormers, Cupolas, Doors & Other Options:

- TBD (available but not yet included in this quote)

Blue Prints:

- Architectural elevation drawings
- Engineered and wet stamped structural drawings / Licensed in the state of NY / *quoted as option below*
- Foundation plan with connection details / *engineered foundation quoted as option below*
- Labeled assembly drawings

Delivery:

- Included to: Pittsford, NY
- 8-10 weeks lead time from approval of engineered drawings

Barn Raising & Construction Services:

- By others, not included in this quote (itinerant timber frame supervisor available separately)



198 East Street
Morris, CT 06763
1-800-262-0004

Pricing:

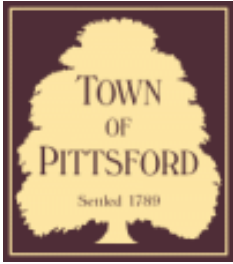
- \$49,760 / Timber frame kit including delivery

Options:

- \$8,410 / Siding
- \$6,100 / Loft flooring
- \$5,420 / Finished ceiling
- \$795 / Engineered foundation drawing
- \$2,025 / Engineered structural drawing

Estimate valid for 30 days from date of issue.

*Note: Building sites located in seismic category C or D will have engineering costs quoted separately.
If there are drafting and engineering requirements to meet commercial or residential code that the customer would like Harvest Moon to execute, those costs will be additional. (Plumbing, electrical, HVAC, floor plans and RESCheck or COMCheck not included.)*



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000003

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 810 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 138.13-1-40

Zoning District: RN Residential Neighborhood

Owner: Stahl Property Associates

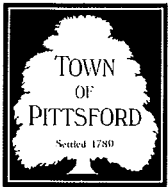
Applicant: Stahl Property Associates

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

Meeting Date: June 10, 2021



DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: Stahl Property Associates

Name(s) of Property Owner(s): Kimberley S. Bailey

Name of Applicant: Kimberley S. Bailey

Telephone Numbers: (585) 415-9882
(Owner) (Applicant)

Email Address: kimbailey99@gmail.cim

PLEASE CHECK ONE

- REQUEST FOR APPROVAL** (Please provide a brief description of the project.)
- REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

We are requesting approval from the Historic Preservation Board for a project located at 810 Allens Creek Road based on our plans and input from 2 previous informal meetings. We are proposing the addition of 3 dormers, a porte cochere at side entry, a detached garage, and addition to the rear of home located at existing garage, and landscape and driveway changes. Attached is a site plan, survey, 3D perspective sketch, along with local and otherwise photos and documents regarding Georgian and Colonial Revival homes in the era with similar modifications we are requesting.

APPLICANT MUST PROVIDE:

- Building Permit Application
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.

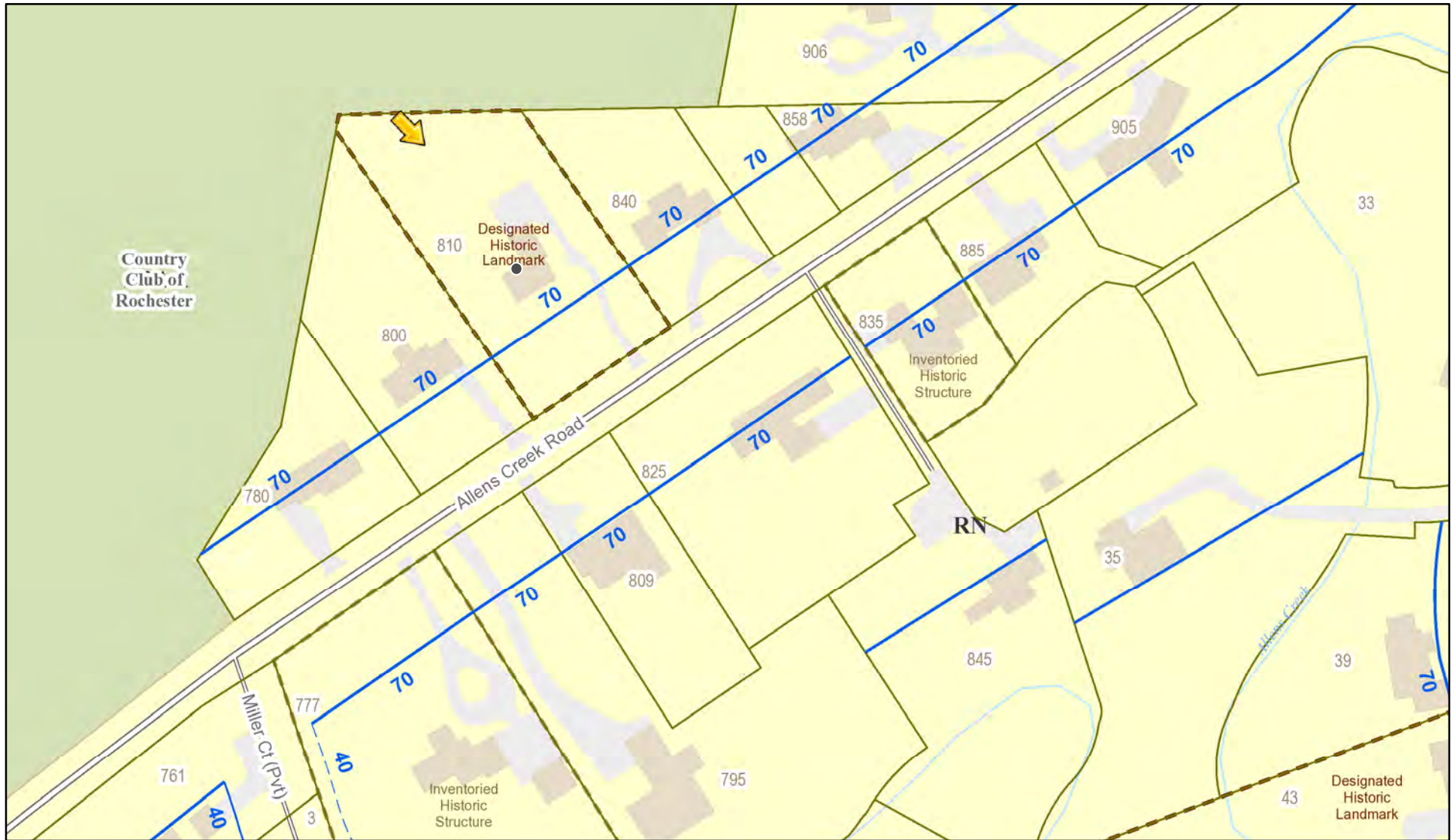
RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

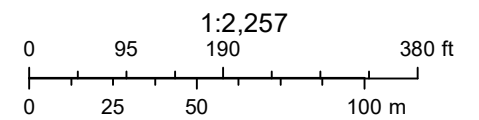
For Official Use Only

Received By _____ Received Date _____ Meeting Date _____

RN Residential Neighborhood Zoning



Printed April 15, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





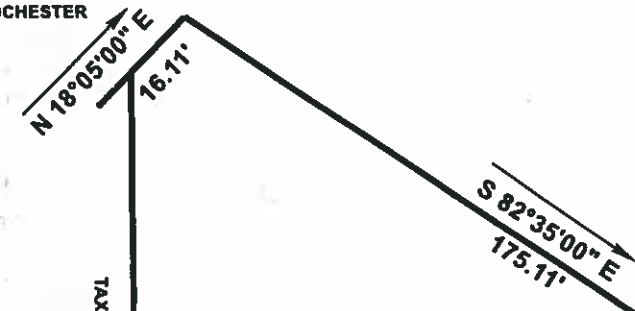








TAX ACCOUNT No. 137.16-2-1
N/F COUNTRY CLUB OF ROCHESTER



REFERENCES

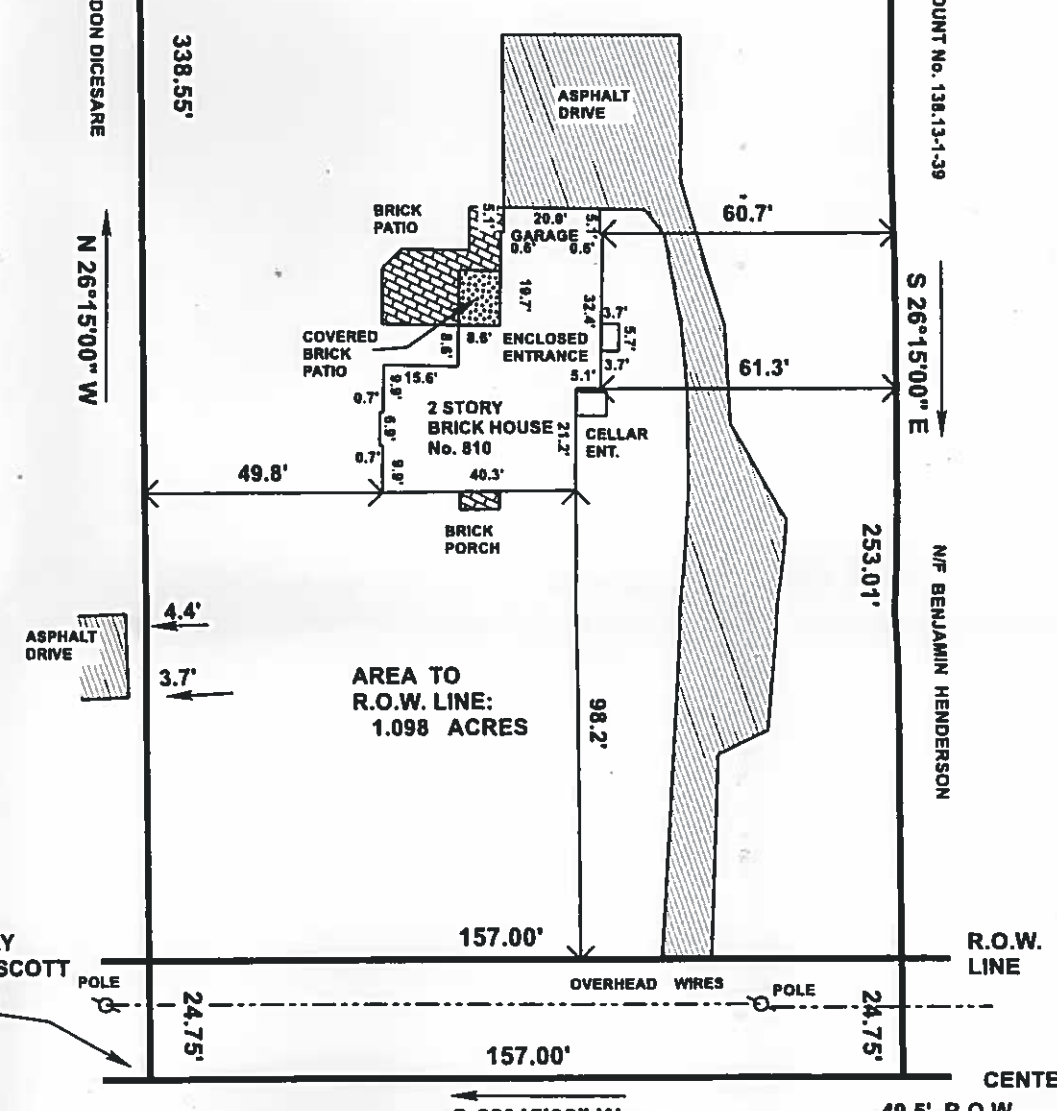
1. TAX ACCOUNT No. 138.13-1-40
2. L. 7785 DEEDS, P.91
3. L. 39 MAPS, P.9
4. L. 93 MAPS, P.22
5. FIRST AMERICAN TITLE INSURANCE COMPANY No. 459676, DATED MARCH 2, 2021

TAX ACCOUNT No. 138.13-1-41
N/F BRANDON DICESARE

N 26°15'00\"/>

TAX ACCOUNT No. 138.13-1-39

S 26°15'00\"/>



354.95' TO BOUNDARY LINE N/F J. STINSON SCOTT AND COUNTRY CLUB OF ROCHESTER

ALLENS CREEK ROAD

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE, COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

CERTIFIED TO:

1. STAHL PROPERTY ASSOCIATES IV, LLC
2. WOODS OVIATT GILMAN LLP
3. STEWART TITLE INSURANCE COMPANY

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MARCH 18, 2021 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MARCH 17, 2021 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries



BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263
4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

INSTRUMENT SURVEY MAP

810 ALLENS CREEK ROAD

PART LOT 69, TOWNSHIP 12, RANGE 5

TOWN OF PITTSFORD

MONROE COUNTY

NEW YORK

SCALE: 1"=40'

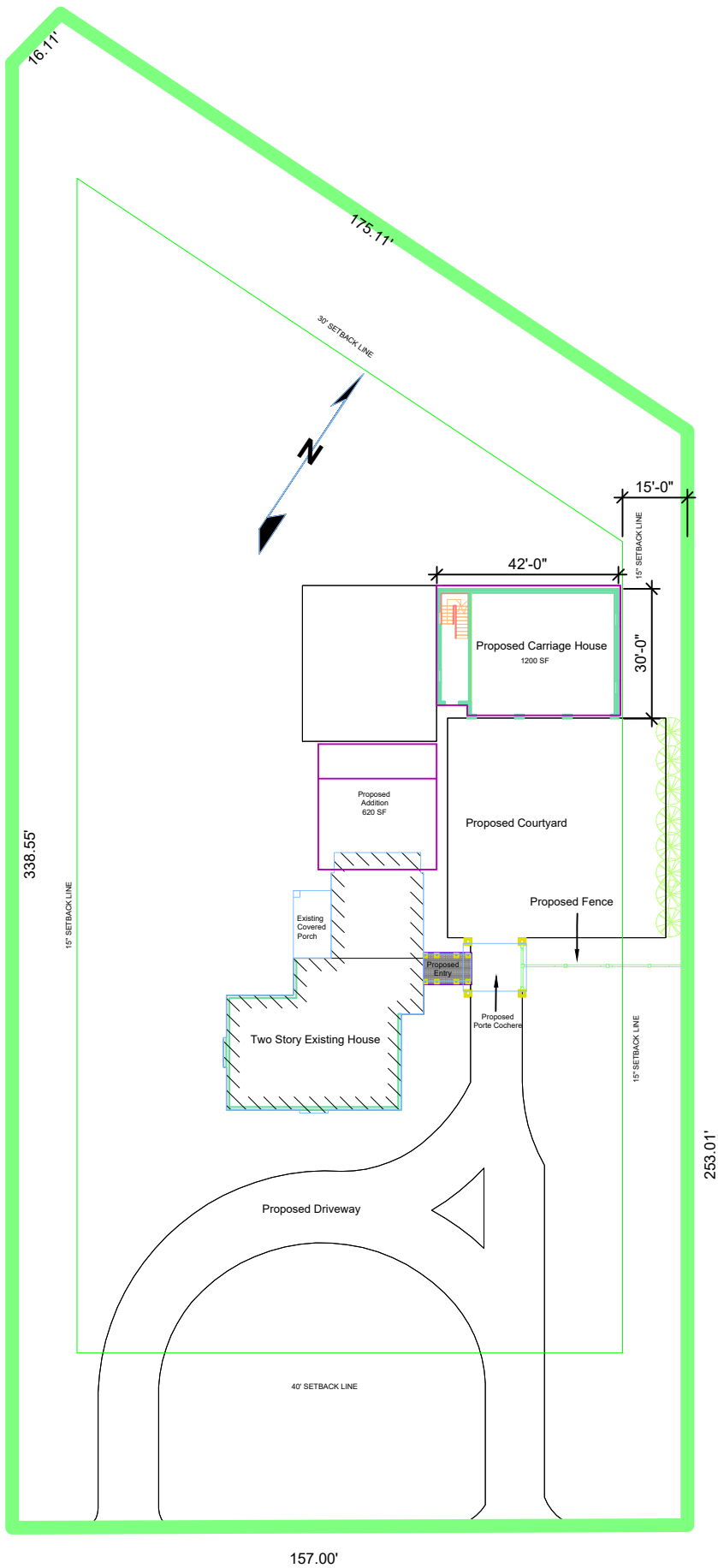
BRUCE E. FRIES
PROFESSIONAL LAND SURVEYOR

MARCH 18, 2021

PHONE: 800-772-3734

4150 RIDGE CHAPEL ROAD ■ MARION, NEW YORK 14505

FAX: 800-772-7419



ALLENS CREEK ROAD





DORMERS ADD ARCHITECTURAL INTEREST & PERSONALITY TO EXTERIOR HOME DESIGN

February 28th, 2014 BY TMS Architects

Dormers are great features that add architectural interest and personality to your home's exterior. One **definition of a dormer** is a simple protrusion that juts out from a sloped roof and has a roof of its own. Dormers often are seen above windows on classic style homes and add beauty and dimension on the outside, while offering additional headroom and space on the inside.

The **most common types of dormers** include gable dormers, hipped dormers and shed dormers. Gable dormers are what most people think of when they think of this architectural feature. Gable dormers are associated with American Colonial, Federal, Georgian, Queen Anne and English Tudor style homes. Hipped dormers are associated with Shingle, Prairie and French Eclectic style homes. And shed dormers suit English Tudor, Arts and Crafts, Bungalow and Dutch Colonial style homes.





