

**Design Review & Historic Preservation Board
Agenda
August 12, 2021**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **28 Coddington Grove**
The Applicant is requesting design review for the addition of a porch. The porch will be approximately 290 square feet and will be located to the rear of the home.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **15 Evesham Place**
The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 3875 square feet of living space in the Malvern Hills Subdivision.
- **77 Coventry Ridge**
The Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3585 square feet of livable area and is located in the Coventry Ridge Subdivision.
- **18 Black Wood Circle**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1616 square feet and will be located in the Wilshire Hills Subdivision.

COMMERCIAL APPLICATION FOR REVIEW - SIGNS

- **3030-3070 Monroe Avenue**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 15.92 square feet and will identify the "Burd Physical Therapy" business.
- **959 Panorama Trail**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 16 square feet and will identify the "Cerion Nanomaterials" business.
- **3000 Monroe Avenue**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 92 square feet and will identify the "Envision Eye & Aesthetics" business.

CERTIFICATE OF APPROPRIATENESS – RETURNING

- **810 Allens Creek**
The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

INFORMAL REVIEW

- **181 Sylvania Road**
The Applicant is requesting an informal review to subdivide the property at 181 Sylvania Road. The home located at this address is designated historic as well as the property surrounding the home. The property located to the west would be subdivided to allow for a buildable lot.
- **920 Linden Avenue**
The Applicant is requesting an informal design review for the construction of a commercial building. The building will be approximately 21,160 square feet and will be used as an indoor recreation center.

Design Review and Historic Preservation Board
Minutes
July 22, 2021

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, Bonnie Salem, Leticia Fornataro, John Mitchell

ALSO PRESENT

Allen Reitz, Building Inspector; Bill Zink, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Robert Koegel, Dave Wigg, Kathleen Cristman

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The Board complimented Town staff for the article in the Town E-News regarding the historic banners.

The historical marker for the East Street Burying Ground will soon be ordered with an installation date potentially in late October.

It was discussed that a list of the Town designated properties should be placed on the Town website.

Discussion of another reception for inventoried home owners will be tabled until later in the year due to the current pandemic.

RESIDENTIAL APPLICATION FOR REVIEW

• **305 West Bloomfield Road**

The Applicant is returning for design review for the construction of approximately a 2150 sq. ft. addition to add a great room, 2 bedrooms, rear entry and covered porch.

The architect for the project, Paul Morobito, was present.

Mr. Morobito is returning to the Board with revised plans for a previous submission.

The Board reacted positively on the revised plan which included a door on the front elevation and the wrapped porch. They made comment that the steps lead up to a window and are not centered on the front door. Skirting to match the color of railings will be added under the porch.

Bonnie Salem moved to accept the application as submitted with the recommendation that the entry steps on the front elevation be moved to center on the door.

Leticia Fornataro seconded.

All Ayes.

• **55 North Country Club Drive**

The Applicant is returning for design review for the addition of an approximately 336 sq. ft. single car garage with storage as well as an approximately 120 sq. ft. kitchen addition off the back of the house.

The contractor, Aaron Wolfe, was present.

Mr. Wolfe is returning with a revised submission.

The existing roofline will be kept in this revision.

John Mitchell moved to accept the application as discussed on 7/22/21.

Dirk Schneider seconded.

All Ayes.

- **24 Harleston Lane**

The Applicant is requesting design review for the construction of approximately a 262 sq. ft. addition to the existing garage.

The homeowner, Tom Quinzi, was present. Mr. Quinzi is proposing to add a third bay to a two car garage. The addition will have a window in the back. The vertical siding will match the existing vertical siding on the house.

The garage addition will be set back two feet from the original garage.

Leticia Fornataro moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **8 Sugarbush Lane**

The Applicant is requesting design review for the construction of approximately a 220 sq. ft. addition of a three season room off of the existing kitchen.

The homeowner, Josh Fernandez, and contractor, Kevin Jackson, were present.

This applicant received a setback variance from the Zoning Board of Appeals on July 19, 2021.

The Board had several questions about detailing on the new addition. Sliding glass doors and steps will be added on the front and rear elevations. The side elevations will feature double hung windows like that on the home. The window trim will match the house. Lattice skirting will cover the 18" exposure below. Lighting sconces will be added on the front and back elevations.

Dirk Schneider moved to accept the application as submitted with the following conditions:

1. The siding will match the original on the home.
2. The windows on the side elevation will be double hung, trim to match existing.
3. The sliding glass doors on the front and rear elevation will be 6' with color to match trim.
4. Gutters on the new addition will match existing.
5. Code compliant stairs will be installed on the front and rear elevation on the site of the sliding glass doors.
6. Wall sconce lighting will be installed on each side of the sliding glass doors on the front and rear elevations.

Bonnie Salem seconded.

All Ayes.

- **19 Creekside Lane**

The Applicant is requesting design review for the construction of approximately a 716 sq. ft. addition to expand the garage and add a second story space above for a master suite of the existing house.

The architect, Paul Morobito, was present.

The garage addition will be set back 4 foot from the house. The siding and trim will match the front door.

Leticia Fornataro moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **38 Amber Hill Drive**

The Applicant is requesting design review for the construction of approximately a 266 sq. ft. roof structure over the existing patio off the back of the house.

The contractor, Mahlon Esh, was present.

The Board made note that the new square columns do not match the round existing of the rear porch area and the shingled materials in the new gable do not match the vertical siding of the home.

The colors will match the original materials.

Paul Whitbeck moved to approve the application as submitted.

John Mitchell seconded.

All Ayes.

- **12 Ravenna Crescent**

The Applicant is requesting design review for the construction of approximately a 310 sq. ft. porch roof and deck including an outdoor fireplace to the rear of the house.

Paul Zachmann of Boardwalk Design was present to represent the homeowner.

Mr. Zachmann noted that there is a slight change in the plans regarding the steps. The planters will be eliminated and 16 ½" platform steps will replace the originally planned stone steps. The same roofing, fascia and trim will be utilized to match. The skirting will be vertical trex decking.

Paul Whitbeck moved to approve the application as submitted.

John Mitchell seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **11 Evesham Place**

The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5180 sq. ft. and located in the Malvern Hills Subdivision.

Marie Kenton of Ketmar Building Corporation was present.

Ms. Kenton highlighted some details of the new construction including a standing seam shed roof on the front elevation and timber columns on the front porch.

Bonnie Salem moved to approve the application as submitted.

Paul Whitbeck seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **145 Kilbourn Road**

The Applicant is requesting design review for the construction of two guest cottages. The cottages will be approximately 3645 sq. ft. and will front Chapin Way near the Knollwood neighborhood.

Carmen Torchia and Teresa Winship were present to represent Oak Hill Country Club.

Mr. Torchia described the materials to be used on the guest cottages – asphalt shingles, Hardi textured panels and trim, brick veneer, cultured stone driveways and faux wood trim. The columns will be painted to match the trim. The cottages will be identical but are placed well within the Oak Hill property and on a curved road with landscaping.

The Board recommended steel windows.

Leticia Fornataro moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

CERTIFICATE OF APPROPRIATENESS – RETURNING

- **810 Allens Creek Road**

The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

This public hearing remains open.

The applicant Kim Bailey was present.

This application received Zoning Board approval for an oversized and over height accessory structure application on July 19, 2021.

Ms. Bailey described the gutter systems, proposed to be white, will match the trim however she is also considering copper gutters and downspouts which would match the existing home.

The Board noted that they have not received plans for the addition including details on the materials that will be used. Ms. Bailey indicated they are replicating details on the main house on the addition. The Board indicated once again that they would like to see plans. Ms. Bailey also indicated that she plans on replacing all windows on the home. The Board indicated they needed to see specifications on the proposed windows. Allen Reitz indicated he has sent the applicant an e-mail that included the material guidelines for historically designated homes.

In lieu of receiving more details plans on the addition, the proposed materials and the replacement windows proposed for all elevations, the Board chose to leave this hearing open.

DISCUSSION

A discussion was held regarding the historically designated home at 181 Sylvania Road. The owner has requested to meet with the Board regarding the designation. Bonnie Salem requested that this should be a public meeting. It is requested that the Town Attorney attend this meeting in order to answer any legal questions which may arise.

OTHER

Bonnie Salem indicated she will not be at the next meeting on August 12 and Dirk Schneider said he may have a conflict also.

REVIEW OF MINUTES OF JULY 8, 2021 MEETING

Bonnie Salem moved to accept the minutes of July 8, 2021 with a date change.

All Ayes.

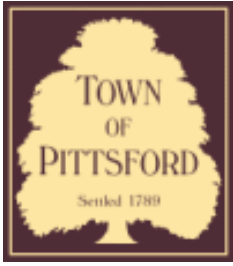
ADJOURNMENT

Chairman Dirk Schneider moved to close the meeting at 7:55 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000157

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 28 Coddington Grove PITTSFORD, NY 14534

Tax ID Number: 177.08-1-66

Zoning District: RN Residential Neighborhood

Owner: McDonagh, Sean

Applicant: McDonagh, Sean

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a porch. The porch will be approximately 290 square feet and will be located to the rear of the home.

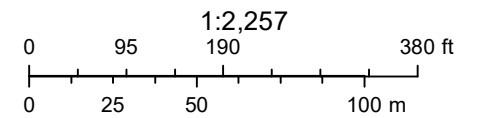
Meeting Date: August 12, 2021



RN Residential Neighborhood Zoning

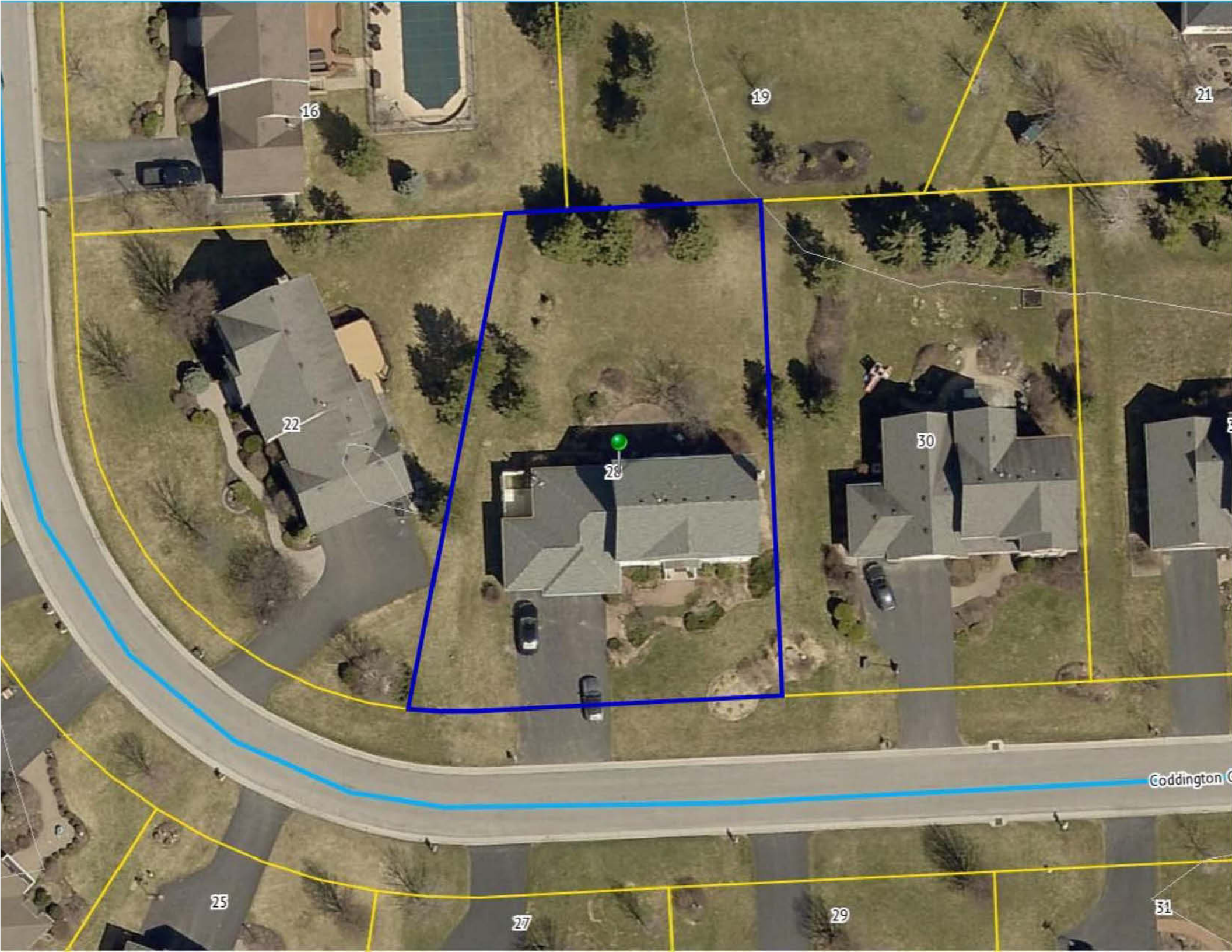


Printed March 31, 2021



Town of Pittsford GIS

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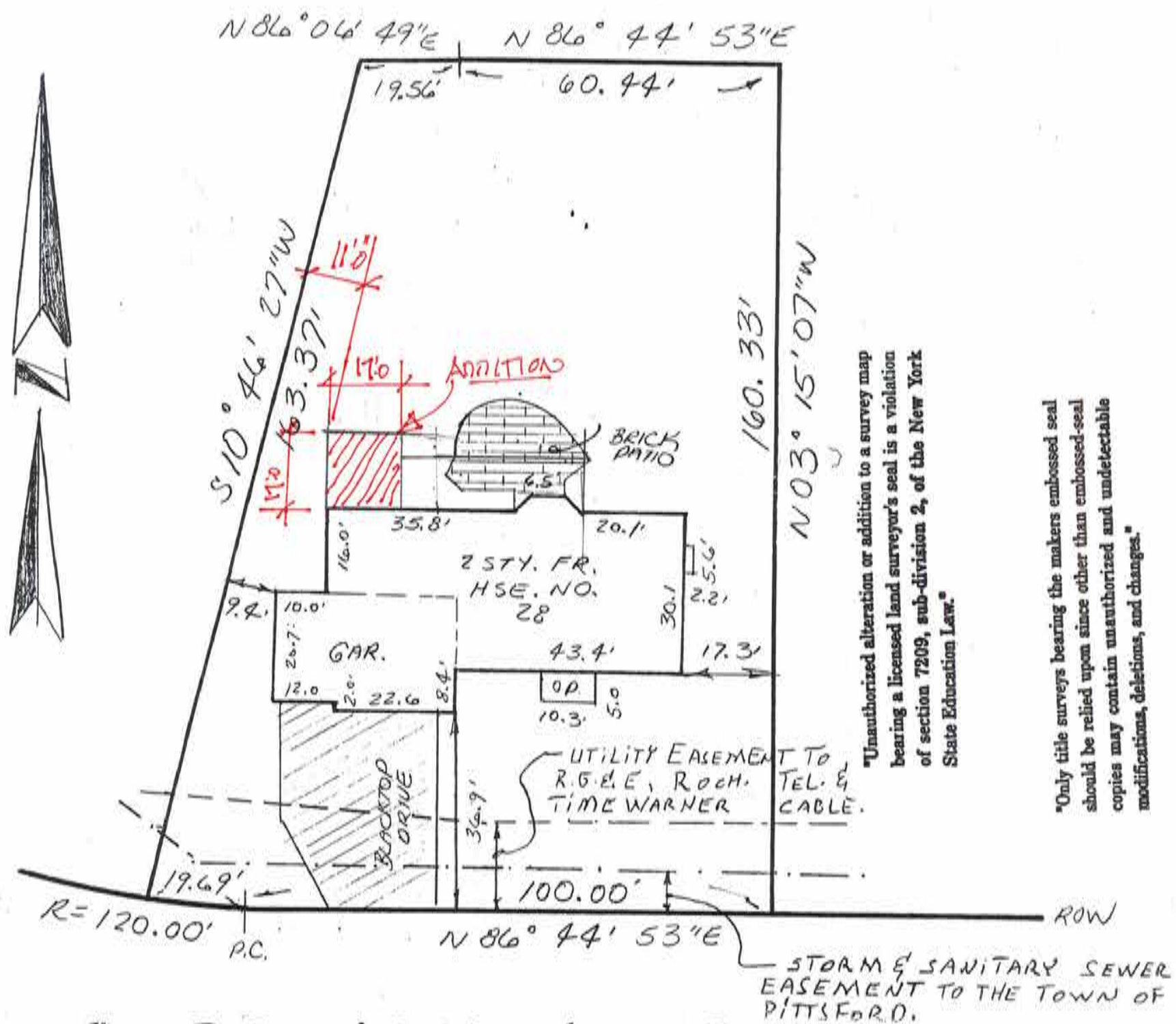
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Coddington C

28 CODDINGTON GROVE



CODDINGTON GROVE

60' R.O.W.

- REFERENCES
- 1. L. 289 MAPS, P. 13
 - 2. L. 8864 DEEDS, P. 301

I HEREBY CERTIFY TO THE PARTIES LISTED HEREOF THAT THIS MAP WAS MADE ON NOV. 23, 1998 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON NOV. 20, 1998.

James M. Leoni

JAMES M. LEONI N.Y.S.R.L.S. 49225
 SUITE 390 A-1 COUNTRY CLUB ROAD
 EAST ROCHESTER, N.Y. 14445

- CERTIFIED TO:
1. NORTHWEST MORTGAGE INC., ITS SUCCESSORS AND/OR ASSIGNS
 2. THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE
 3. DAVID W. AND JOANN M. HUFFMAN
 4. DIANE MENDICK, ESQ.
 - 5.

INSTRUMENT SURVEY
28 CODDINGTON GROVE
LOT 438 CODDINGTON GROVE SEC. G
 SITUATE IN
TOWN OF PITTSFORD
MONROE CO. NEW YORK

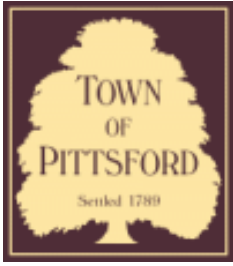
SCALE: 1" = ~~30'~~ 25'

NOV. 23, 1998









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000155

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 15 Evesham Place PITTSFORD, NY 14534

Tax ID Number: 178.03-2-48

Zoning District: RN Residential Neighborhood

Owner: Ketmar Development Corp

Applicant: Ketmar Development Corp

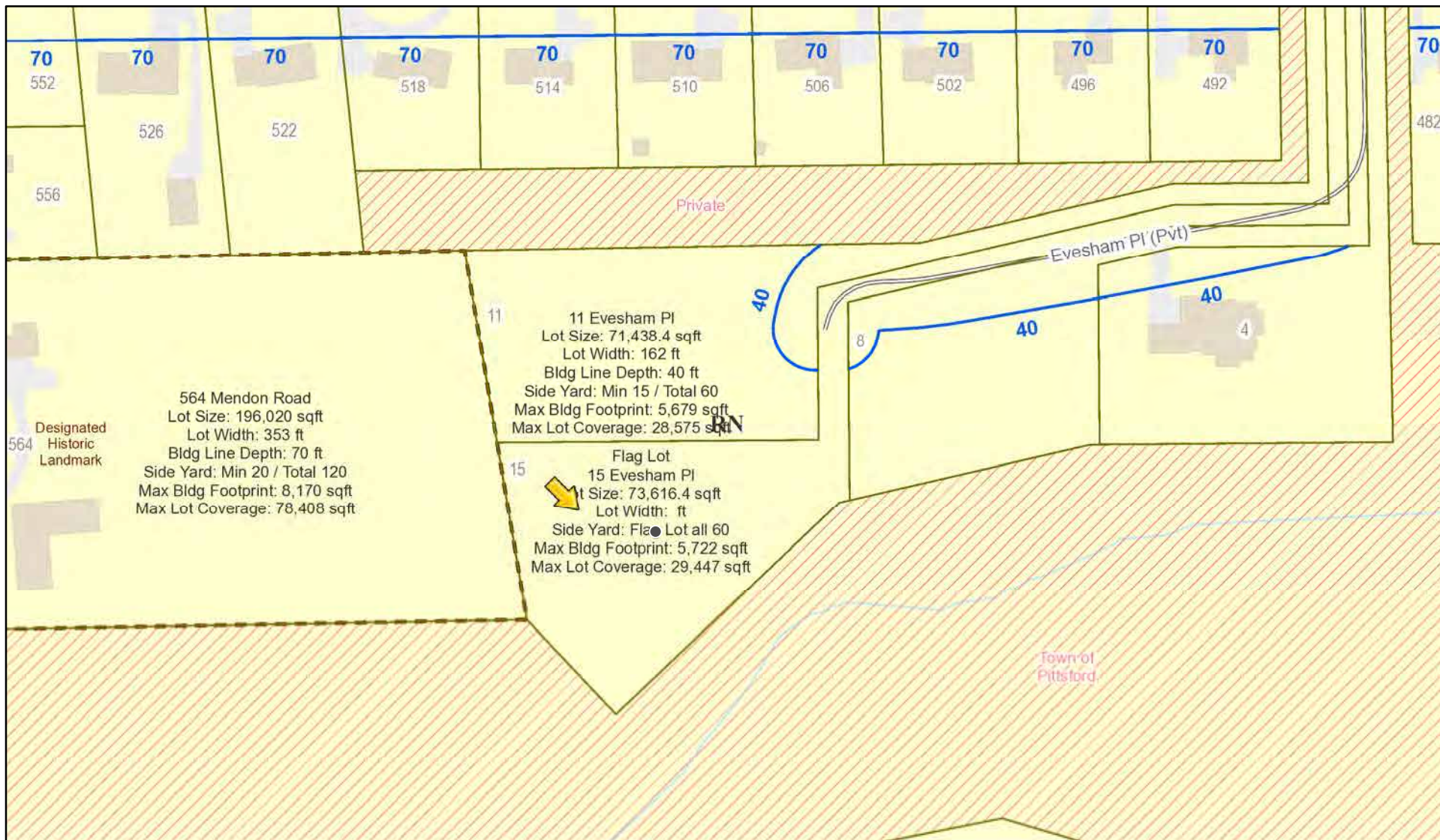
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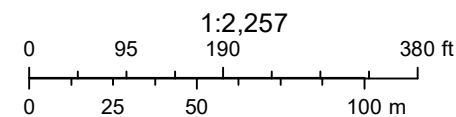
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 3875 square feet of living space in the Malvern Hills Subdivision.

Meeting Date: August 12, 2021

RN Residential Neighborhood Zoning



Printed August 5, 2021



Town of Pittsford GIS

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GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
3500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-26. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDINGS (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGINS/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR NOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 9/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

STEWART - BISCHOF RESIDENCE

LOT 211 EVESHAM PLACE

KETMAR DEVELOPMENT CORP

DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS 1
3	ELEVATIONS 2
4	BASEMENT AND FOUNDATION PLAN
5	FIRST FLOOR PLAN
6	SECOND FLOOR PLAN
7	ROOF PLAN
8	BUILDING SECTIONS
9	TYPICAL NOTES

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	.49	.49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.6.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R802.1.1.1



MORABITO ARCHITECTS

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JULY 21, 2021

PROJECT:
STEWART - BISCHOF RESIDENCE
LOT 211 EVESHAM PLACE
TOWN OF PITTSFORD NY

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
TITLE PAGE

DRAWN:
FJM/AJM/MGM

CHECKED:
FJM

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

1

OF 9 SHEETS





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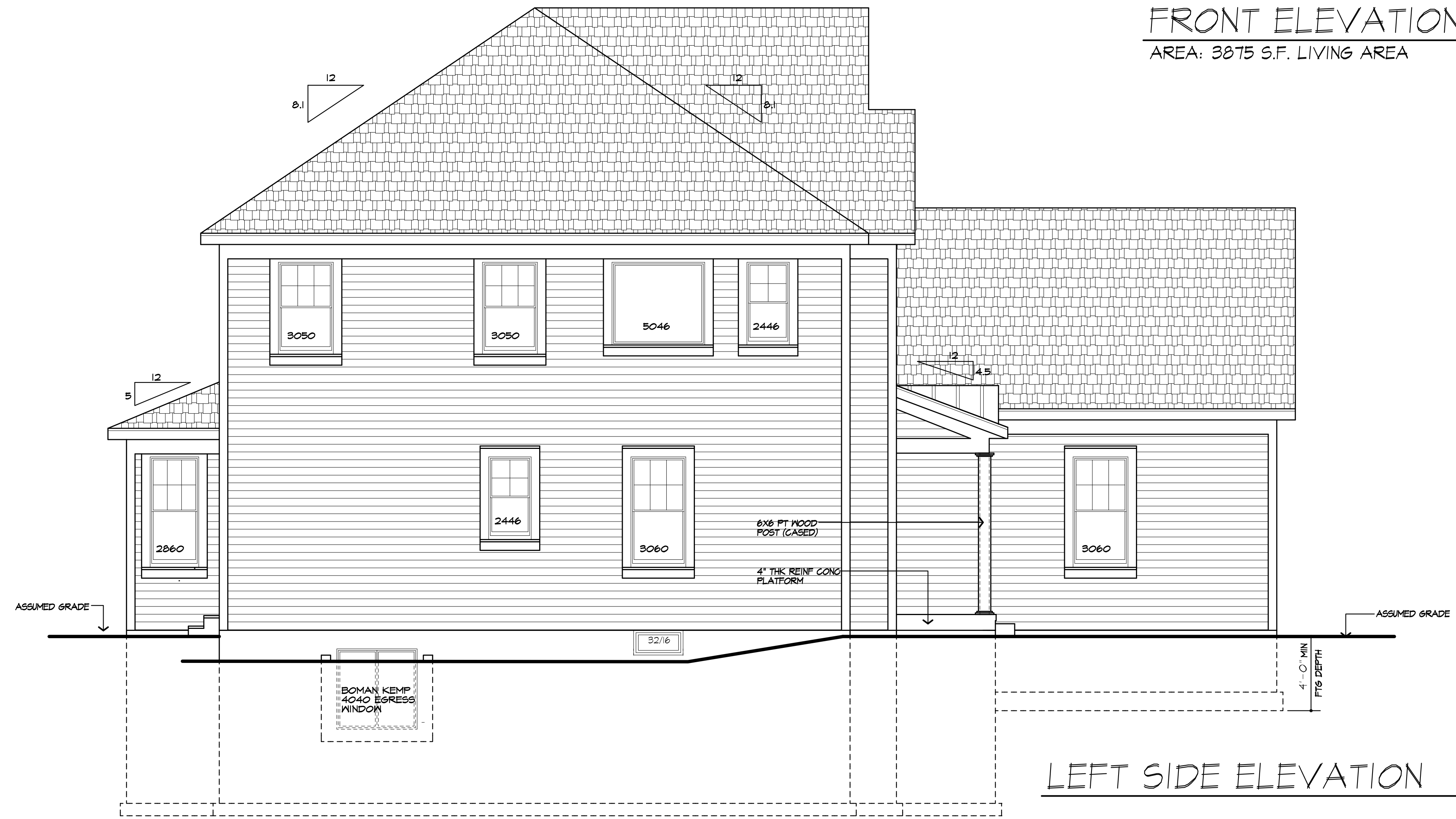
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FRONT ELEVATION
AREA: 3875 S.F. LIVING AREA



LEFT SIDE ELEVATION

UNLESS OTHERWISE NOTED

ROOFING:	25 YR GUARANTEE ASPHALT SHINGLES
ROOF VENTING:	CONTINUOUS RIDGE VENT
FASCIAS:	8"
FRIZEEBDS:	10"
CORNERBDS:	6"
CASINGS:	6"
SIDING:	HORIZ, AS SELECTED
OVERHANGS:	1'-0"
RAKE OVERHANGS:	1'-0"
MIN FTG. DEPTH:	4'-0"
CLG HT.:	
1ST FLOOR:	9'-1 1/8"
2ND FLOOR:	9'-1 1/8"
WINDOW UNIT HT.:	
1ST FLOOR:	8'-0"
2ND FLOOR:	8'-0"
WINDOW MFR.:	ANDERSEN 100 OR EQUAL (PROVIDE SAFETY GLAZING PER R308.4)

JULY 21, 2021

PROJECT:
STEWART - BISCHOF RESIDENCE
LOT 211 EVESHAM PLACE
TOWN OF PITTSFORD NY

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
FRONT / LEFT SIDE ELEVATIONS

DRAWN: F.J.M/A/MGM
CHECKED: P.J.M

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

2

OF 9 SHEETS





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REAR ELEVATION

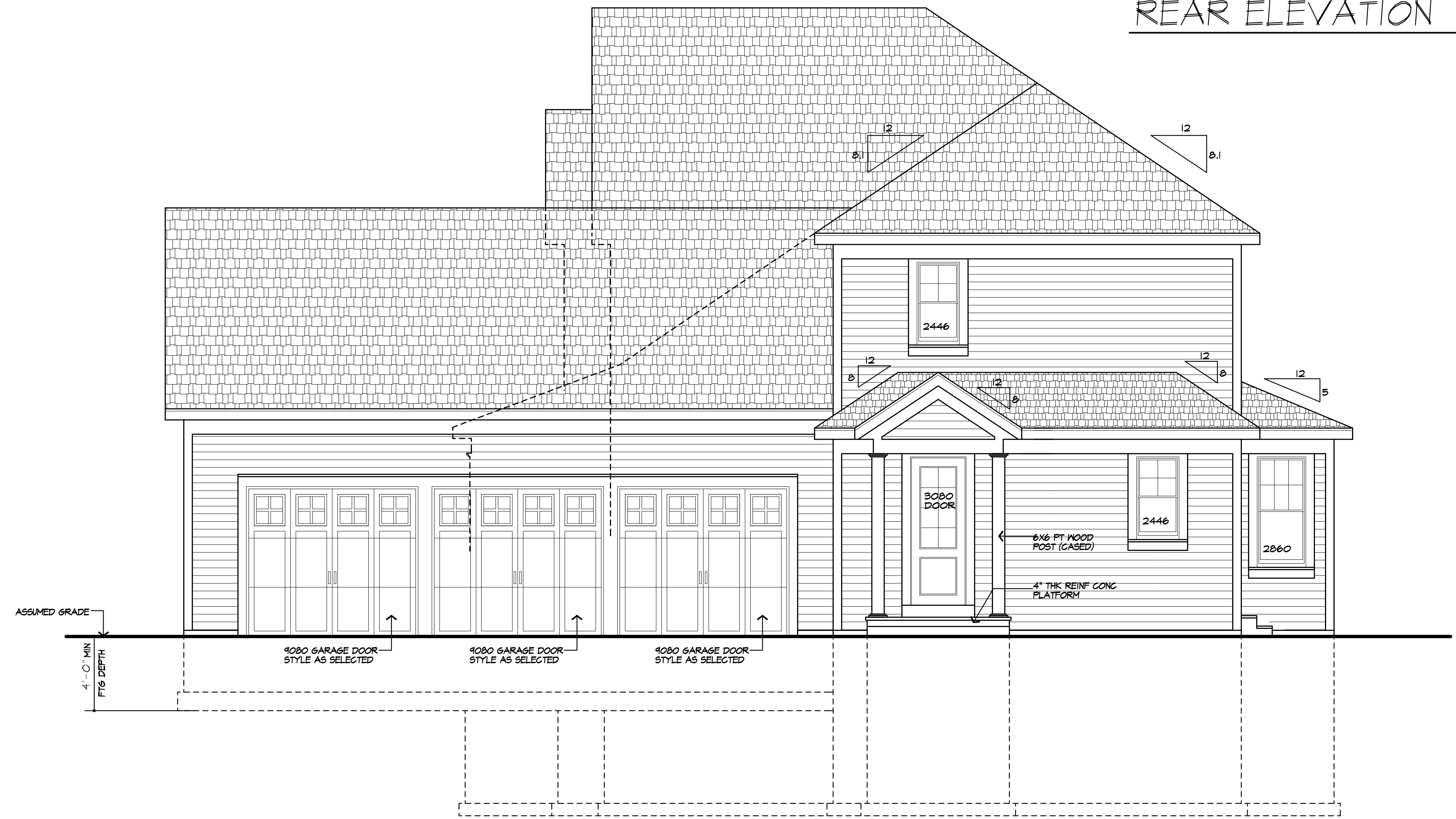
UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES
ROOF VENTING: CONTINUOUS RIDGE VENT
FASCIAS: 8"
FRIEZEBDS: 10"
CORNERBDS: 6"
CASINGS: 6"
SIDINGS: HORIZ, AS SELECTED
OVERHANGS: 1'-0"
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MIN FTG. DEPTH: 4'-0"

CLG HT:
1ST FLOOR: 9'-1 1/8"
2ND FLOOR: 9'-1 1/8"

WINDOW UNIT HT:
1ST FLOOR: 8'-0"
2ND FLOOR: 8'-0"

WINDOW MFR: ANDERSEN 100 OR EQUAL
(PROVIDE SAFETY GLAZING PER R.308.4)



RIGHT SIDE ELEVATION

JULY 21, 2021

PROJECT:
STEWART - BISCHOF RESIDENCE
LOT 211 Evesham Place
TOWN OF PITTSFORD NY

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN: F.J.M/A/M
CHECKED: F.J.M

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

3

OF 9 SHEETS



TABLE R404.1.1(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 0.75 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		SM, GP, SM AND SP SOILS 30	SM, SC, SM, SM-SC AND ML SOILS 45	SC, ML-CL AND INORGANIC OL SOILS 60
6'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.

FOR 5/8" I INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.

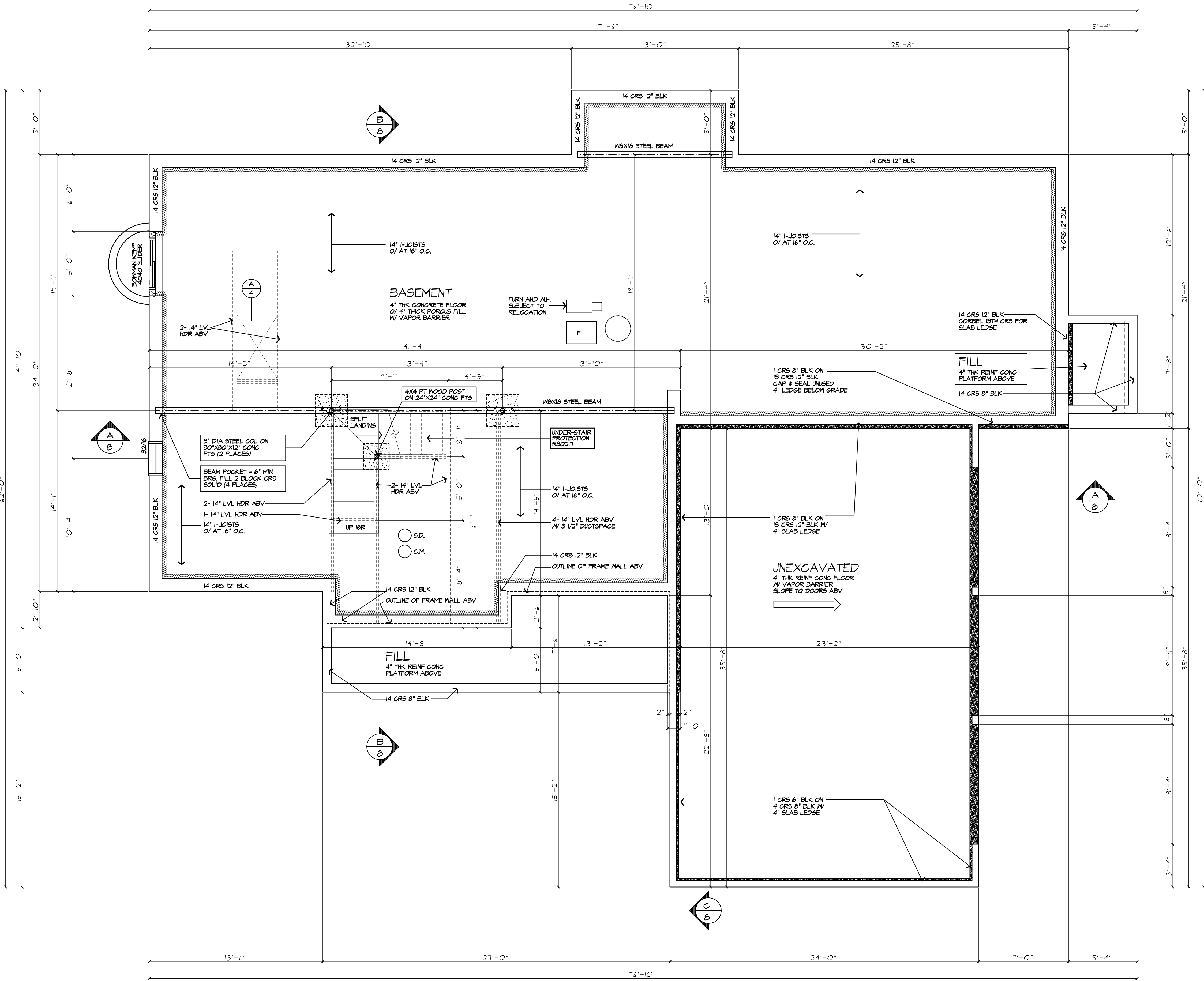
A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.

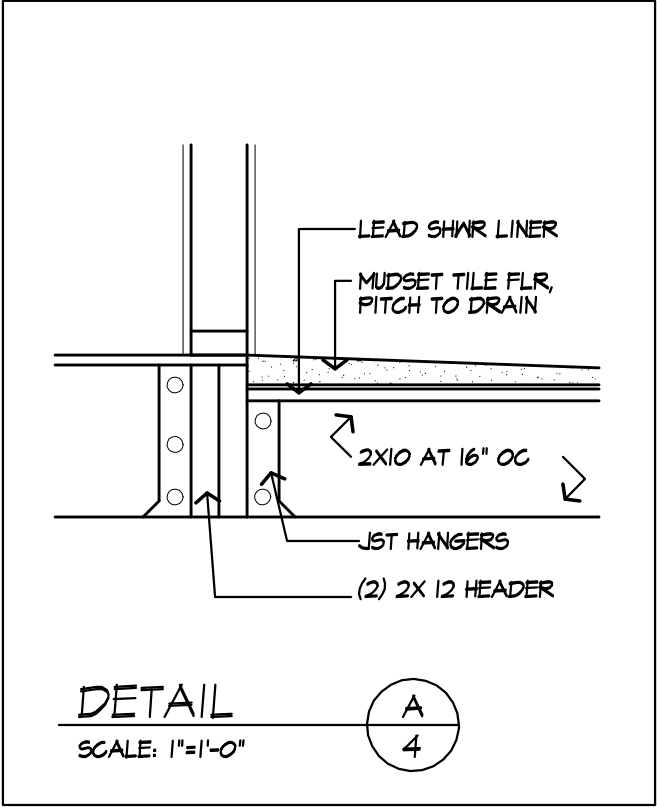
C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 0.75 INCHES.

D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.

E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.



- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
SIZES: 8" BLK - 16" WIDE X 8" THK.
2" BLK - 20" WIDE X 8" THK.
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
 - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.
FLOOR SLABS: 2500 P.S.I.
PORCH: 3500 P.S.I.
GARAGE: 3500 P.S.I.
 - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
 - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
 - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
 - REINFORCE BLOCK WALL PER SECTION R404 NYS RC 2020



STEPPED FOOTING NOTE:

R403.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE).

FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P3104, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A GRAMM SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
 - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER STORY.
 - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.1.1 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
- WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

BASEMENT & FOUNDATION PLAN

14 CRS 12" BLOCK
* FLR 1ST SERIES & LAYOUT TO BE PROVIDED BY MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION

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JULY 21, 2021

PROJECT:
STEINART - BISCHOF RESIDENCE
LOT 2111 EYESHAM PLACE
TOWN OF PITTSFORD NY

CLIENT:
KETHMAR DEVELOPMENT CORP

DRAWING:
BASEMENT / FOUNDATION PLAN

DRAWN: FJMAIA/MGM
CHECKED: FJM

DATE: JULY 2021
SCALE: 1/4"=1'-0"
JOB NO.: 21M4050
SHEET:

4
OF 9 SHEETS

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1504.2
 EXCEPTION: DUCT LENGTHS SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1504.2 - DUCT LENGTH		FLEX DUCT										SMOOTH WALL DUCT											
FAN AIRFLOW RATING CFM @ 0.25 INCH WG	DIAMETER (INCHES)	30	40	50	60	70	80	90	100	120	150	200	30	40	50	60	70	80	90	100	120	150	200
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
4	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	
5	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	
6	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	
7	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	
8 AND ABOVE	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	

FOR SL. 1 FOOT = 3/4" MIN
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/ASHRAE 20-1999/90-1999
 B. FOR VENTILATING DUCTS, CALCULATE THE NUMBER OF FEET FOR THE CROSS SECTIONAL AREA DIVIDED BY THE FAN FLOW RATE
 C. THE TABLE ASSUMES THAT EXHAUSTS ARE NOT USED. FEET OF ALLOWABLE DUCT LENGTH SHALL BE REDUCED FOR EACH FLOOR LEVEL IN THE DUCT RUN
 D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE
 E. X = NOT ALLOWED, ANY LENGTH OF THIS SIZE WITH ASSUMED TERMS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

WINDOW FALL PROTECTION
 R312.2
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES, WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE WINDOW, SHALL ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING
 R308
 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION
 EXCEPTIONS:
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
 2. DECATIVE GLAZING

R308.4.2 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING
 GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL AREA LESS THAN 180" DEGREES FROM THE BOTTOM TREAD NOZING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION
 EXCEPTIONS:
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
 R314/R315

R314.3 LOCATION, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
 UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 WALL
 6LUE AND NAIL ALL HEADERS

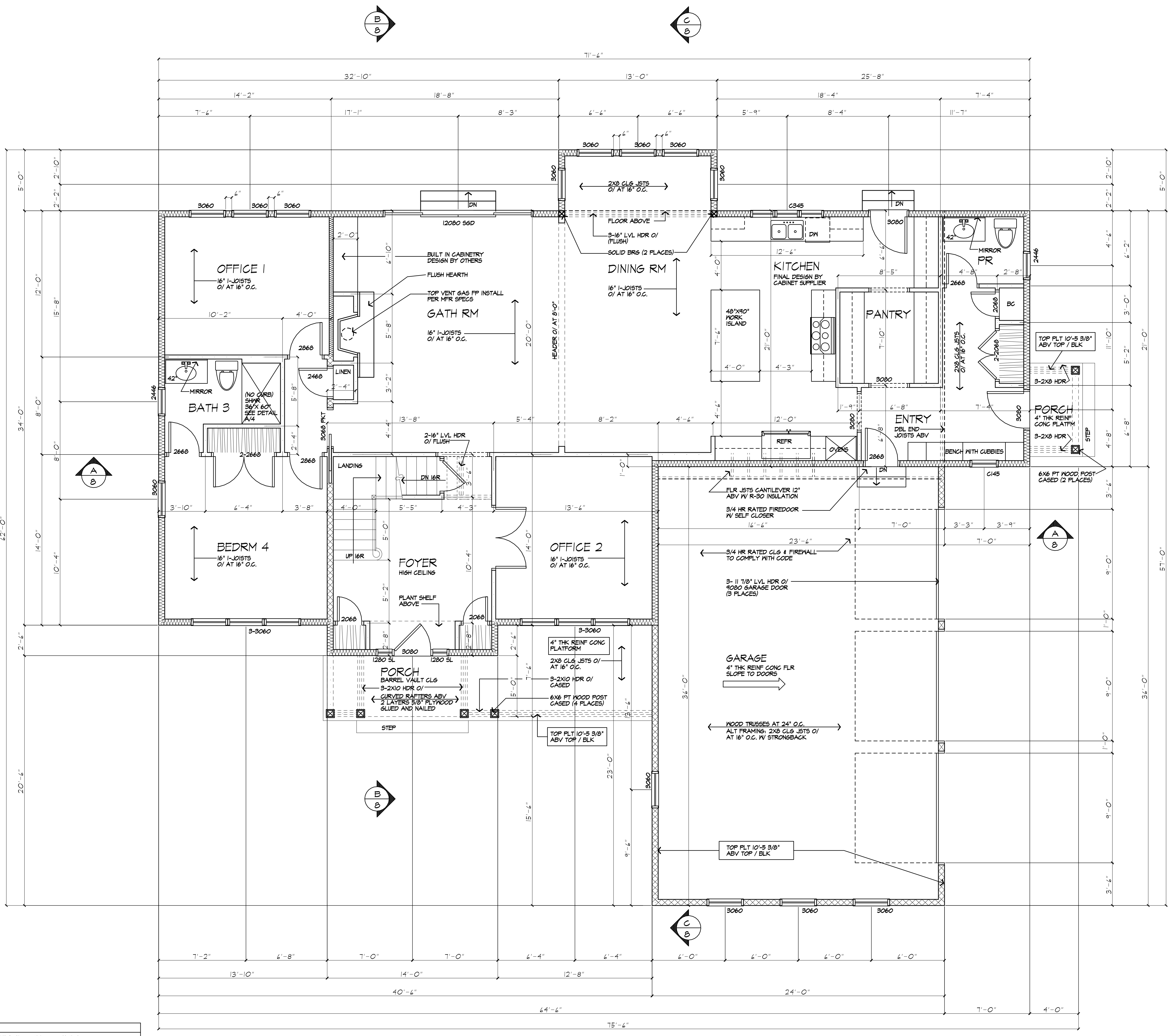
WALL LEGEND

	2X6 STUDS AT 16" O.C. W/ INSULATION		(3) STUDS 6LUE AND NAIL BELOW
	2X6 STUDS AT 16" O.C. (INTERIOR WALL)		
	2X4 STUDS @ 16" O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

GAS F.P. NOTE:
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK

PLUMBING NOTE:
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



FIRST FLOOR PLAN
 AREA: 2134 S.F.
 * FLR JST SERIES & LAYOUT TO BE PROVIDED BY MANUFACTURER, SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION

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JULY 21, 2021

PROJECT:
 STEWART - BISCHOF RESIDENCE
 LOT 211 EVESHAM PLACE
 TOWN OF PITTSFORD NY

CLIENT:
 KETHMAR DEVELOPMENT CORP

DRAWING:
 FIRST FLOOR PLAN

DRAWN: P.J.M/A/MGM
CHECKED: P.J.M

DATE: JULY 2021
SCALE: 1/4"=1'-0"
JOB NO.: 21M4050
SHEET:

5
 OF 9 SHEETS

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1506.2 DUCT LENGTH
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M 1506.2
 EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1506.2 - DUCT LENGTH		FLEX DUCT		SMOOTH WALL DUCT	
FAN AIRFLOW RATING CFM @ 0.25 INCH WG ^A	DUCT DIAMETER ^B (INCHES)	MAXIMUM LENGTH (FEET)	FLEX DUCT	SMOOTH WALL DUCT	SMOOTH WALL DUCT
50	3	50	X	X	X
100	4	100	X	X	X
150	5	150	X	X	X
200	6	200	X	X	X
250	7	250	X	X	X
300	8	300	X	X	X
350	9	350	X	X	X
400	10	400	X	X	X
450	11	450	X	X	X
500	12	500	X	X	X
550	13	550	X	X	X
600	14	600	X	X	X
650	15	650	X	X	X
700	16	700	X	X	X
750	17	750	X	X	X
800	18	800	X	X	X
850	19	850	X	X	X
900	20	900	X	X	X
950	21	950	X	X	X
1000	22	1000	X	X	X
1050	23	1050	X	X	X
1100	24	1100	X	X	X
1150	25	1150	X	X	X
1200	26	1200	X	X	X
1250	27	1250	X	X	X
1300	28	1300	X	X	X
1350	29	1350	X	X	X
1400	30	1400	X	X	X
1450	31	1450	X	X	X
1500	32	1500	X	X	X
1550	33	1550	X	X	X
1600	34	1600	X	X	X
1650	35	1650	X	X	X
1700	36	1700	X	X	X
1750	37	1750	X	X	X
1800	38	1800	X	X	X
1850	39	1850	X	X	X
1900	40	1900	X	X	X
1950	41	1950	X	X	X
2000	42	2000	X	X	X
2050	43	2050	X	X	X
2100	44	2100	X	X	X
2150	45	2150	X	X	X
2200	46	2200	X	X	X
2250	47	2250	X	X	X
2300	48	2300	X	X	X
2350	49	2350	X	X	X
2400	50	2400	X	X	X
2450	51	2450	X	X	X
2500	52	2500	X	X	X
2550	53	2550	X	X	X
2600	54	2600	X	X	X
2650	55	2650	X	X	X
2700	56	2700	X	X	X
2750	57	2750	X	X	X
2800	58	2800	X	X	X
2850	59	2850	X	X	X
2900	60	2900	X	X	X
2950	61	2950	X	X	X
3000	62	3000	X	X	X

FOR 5/1 FOOT x 30.48 MM
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/HVAC 200-AN-0000000000
 B. FOR VERTICAL AIR FLOW THROUGH THE CEILING, THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER OF THE TABLE ASSUMES THAT BLOCKS ARE NOT USED. FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH BLOCK INSTALLED IN THE DUCT.
 C. THE TABLE ASSUMES THAT BLOCKS ARE NOT USED. FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH BLOCK INSTALLED IN THE DUCT.
 D. N = NO LIMIT ON DUCT LENGTH OF THIS SIZE
 E. X = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

WINDOW FALL PROTECTION
 R312.2
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES
 WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE WINDOW, SHALL ALLOW THE WINDOW TO FULLY OPEN. SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R312.2.1.

WINDOW GLAZING
 R308
 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
 2. DECORATIVE GLAZING

R308.4.2 GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS
 GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
 R314/R315

R314.3 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 1. IN EACH SLEEPING ROOM
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, 9' ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS.
 A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM.
 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
 UNLESS OTHERWISE NOTED

OPENING	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

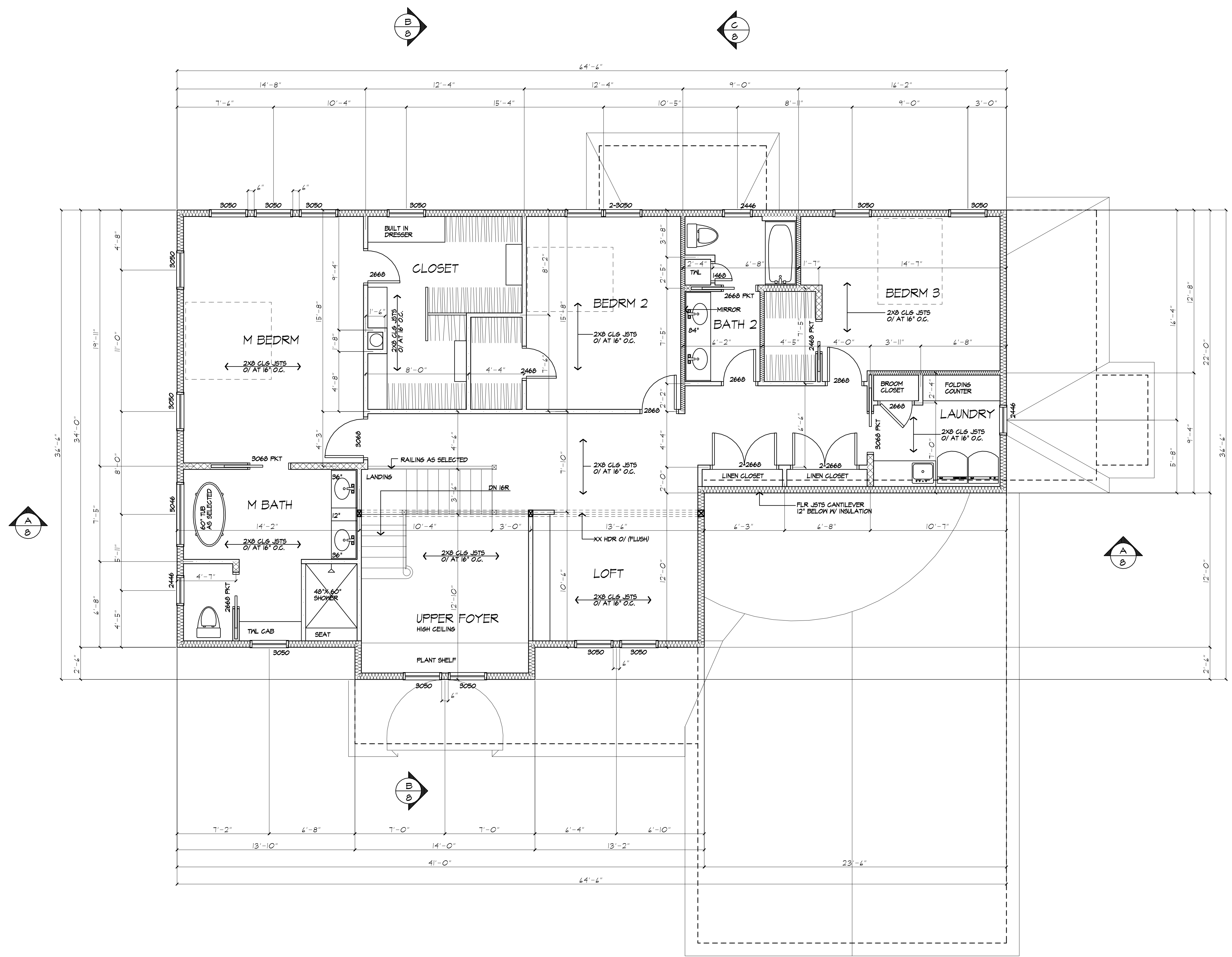
PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 MALL
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 MALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16' O.C. W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16' O.C. (INTERIOR WALL)		
	2X4 STUDS @ 16' O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

PLUMBING NOTE:
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



SECOND FLOOR PLAN
 AREA: 1741 S.F.

PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R807.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER

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JULY 21, 2021

PROJECT:
 STEWART - BISCHOF RESIDENCE
 LOT 211/ Evesham Place
 TOWN OF PITTSFORD NY

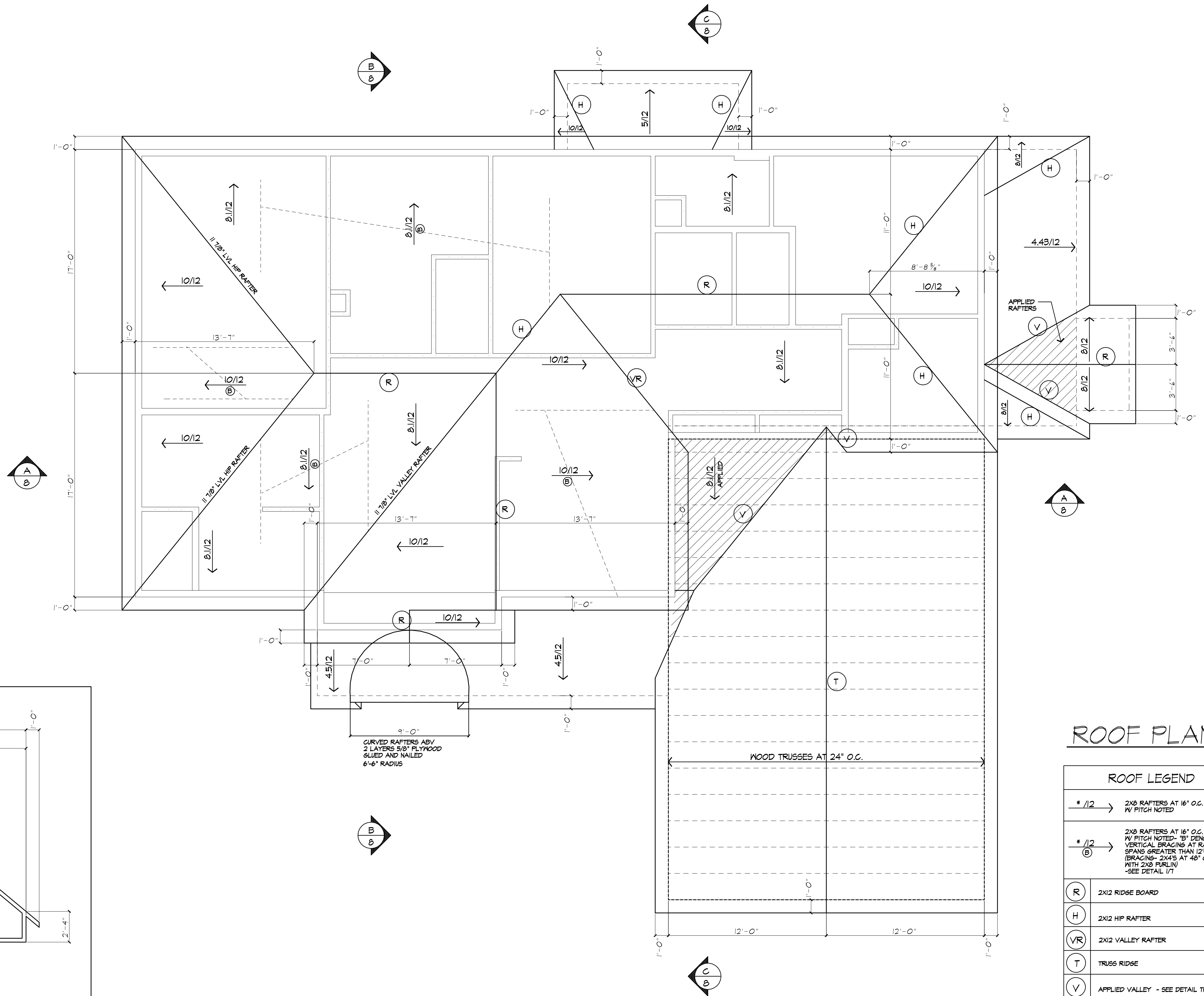
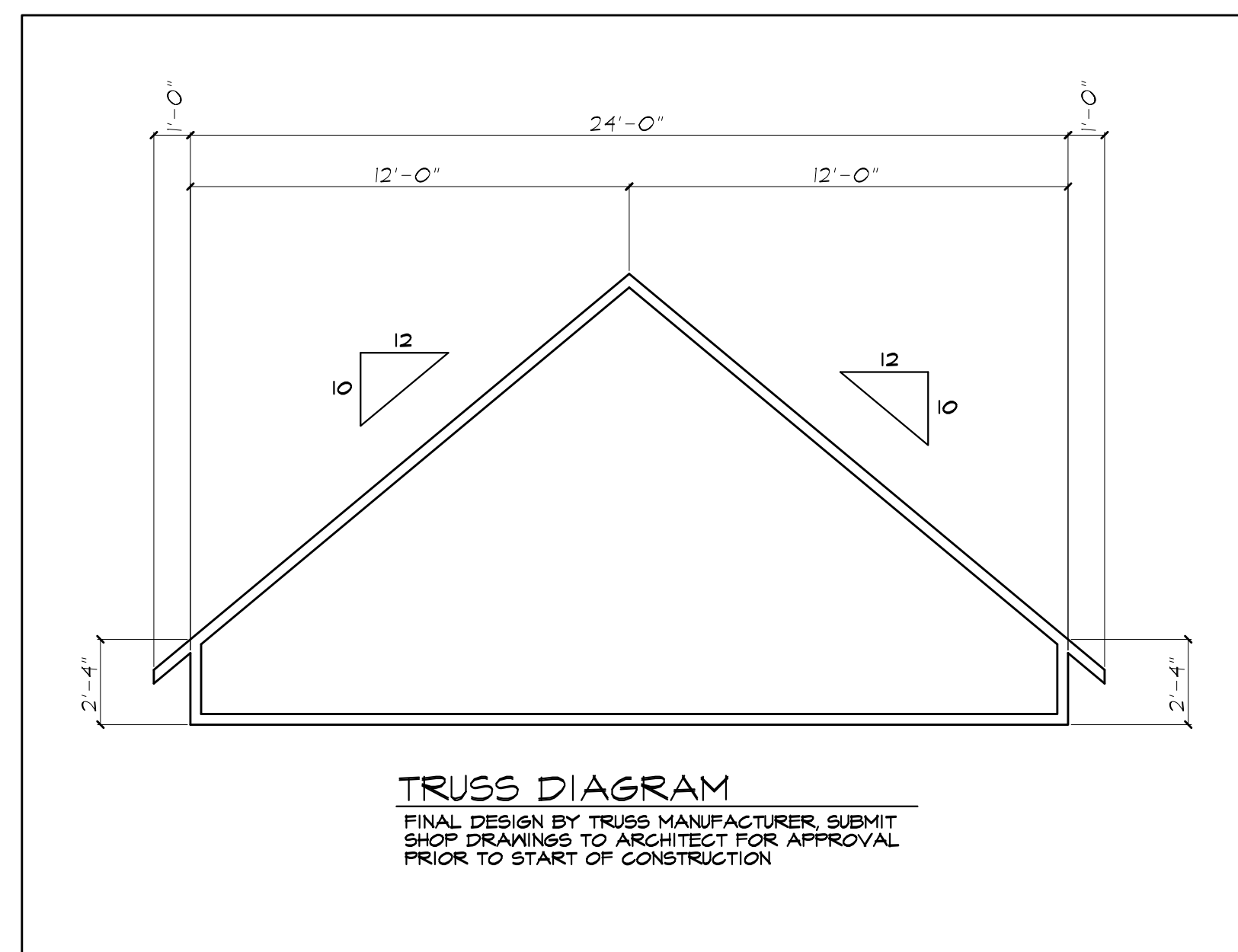
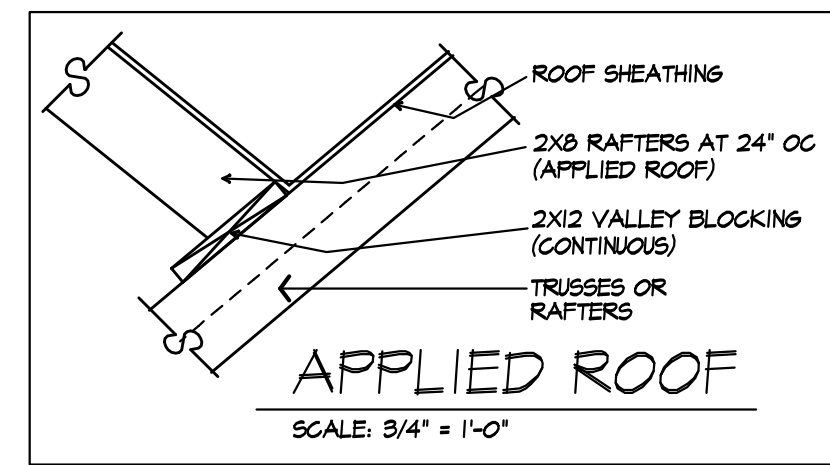
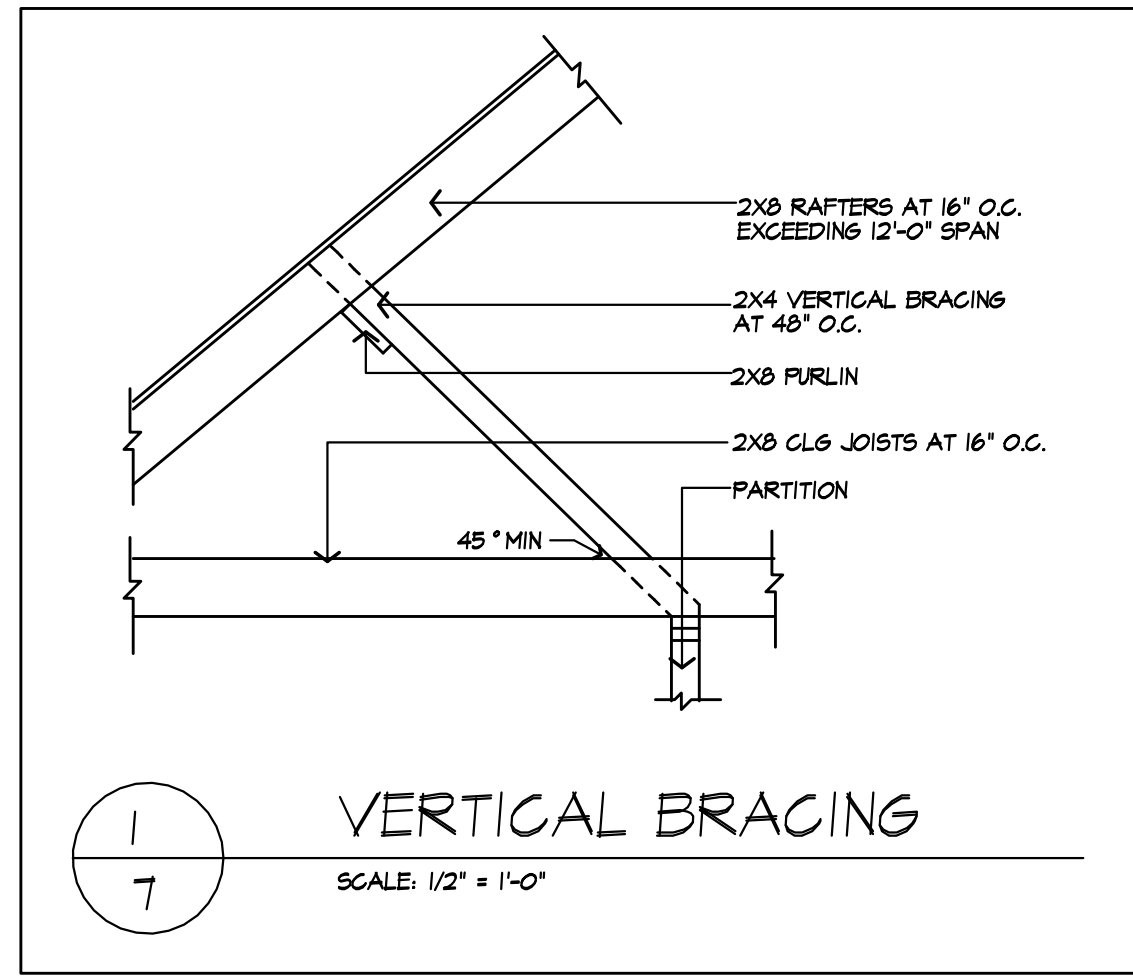
CLIENT:
 KETHMAR DEVELOPMENT CORP

DRAWING:
 2ND FLOOR PLAN

DRAWN: F.J.M./A.M.G.M
CHECKED: F.J.M.

DATE: JULY 2021
SCALE: 1/4"=1'-0"
JOB NO.: 21M4050
SHEET:

6
 OF 9 SHEETS



ROOF PLAN

ROOF LEGEND

* /12	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED
* /12 @	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED. "B" DENOTES VERTICAL BRACING AT RAFTER SPANS GREATER THAN 12'-0" BRACING- 2x4'S AT 48' O.C. WITH 2x8 PURLIN -SEE DETAIL 1/7
R	2X12 RIDGE BOARD
H	2X12 HIP RAFTER
VR	2X12 VALLEY RAFTER
T	TRUSS RIDGE
V	APPLIED VALLEY - SEE DETAIL THIS SHEET

*NOTE:
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER RISOT.1.2 2020 RESIDENTIAL CODE OF NEW YORK STATE



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JULY 21, 2021

PROJECT:
STEWART - BISCHOF RESIDENCE
LOT 211 EYESHAM PLACE
TOWN OF PITTSFORD NY

CLIENT:
KETHMAR DEVELOPMENT CORP

DRAWING:
ROOF PLAN

DRAWN: P.J.M/A/MGM
CHECKED: P.J.M

DATE: JULY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

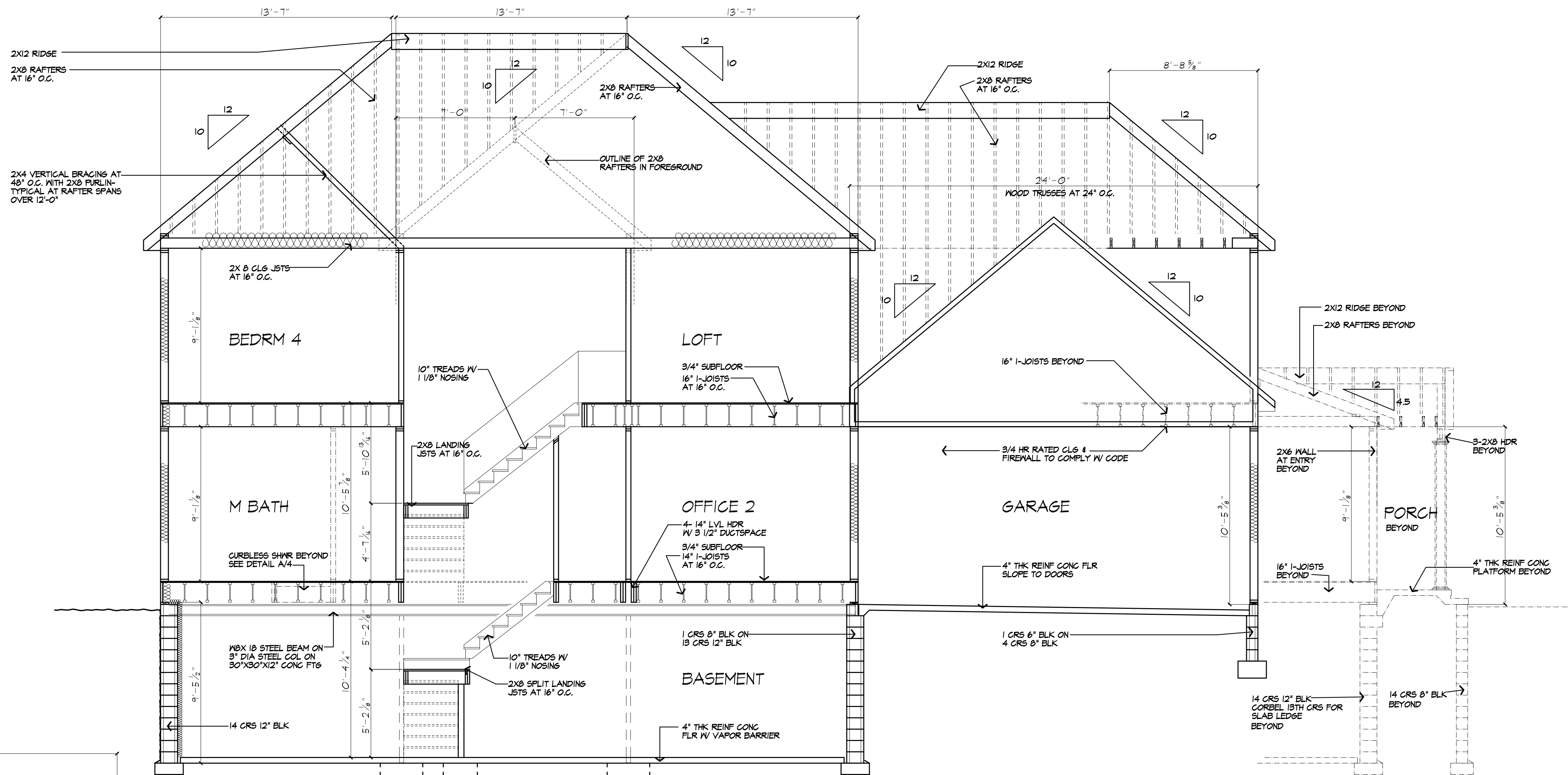
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7
OF 9 SHEETS

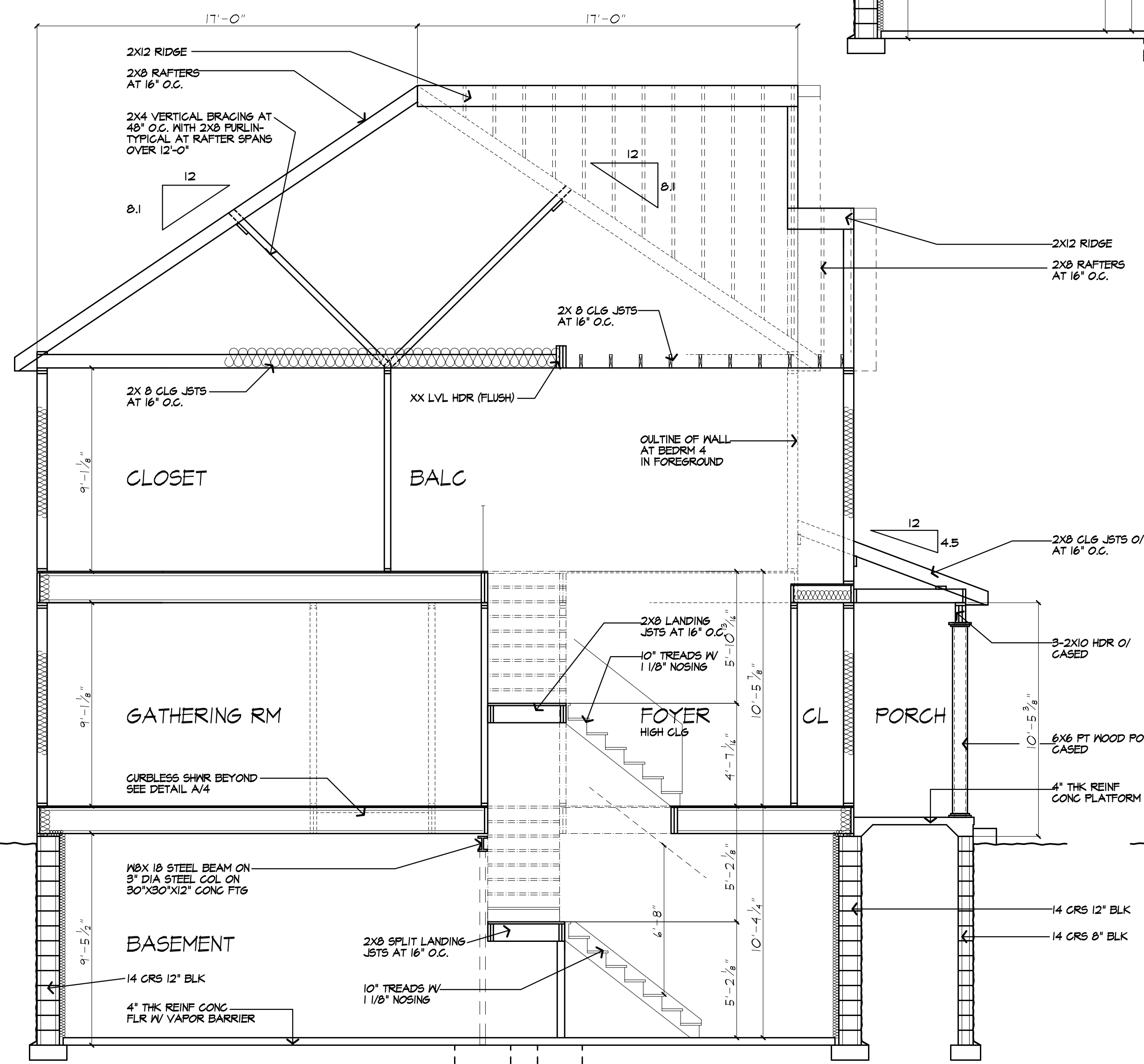


*NOTE:
 PROVIDE ICE PROTECTION UNDERLAYMENT
 ON PERIMETER OF ROOF TO 24" INSIDE
 INTERIOR WALLS PER R905.2.11
 (2015 IRC)

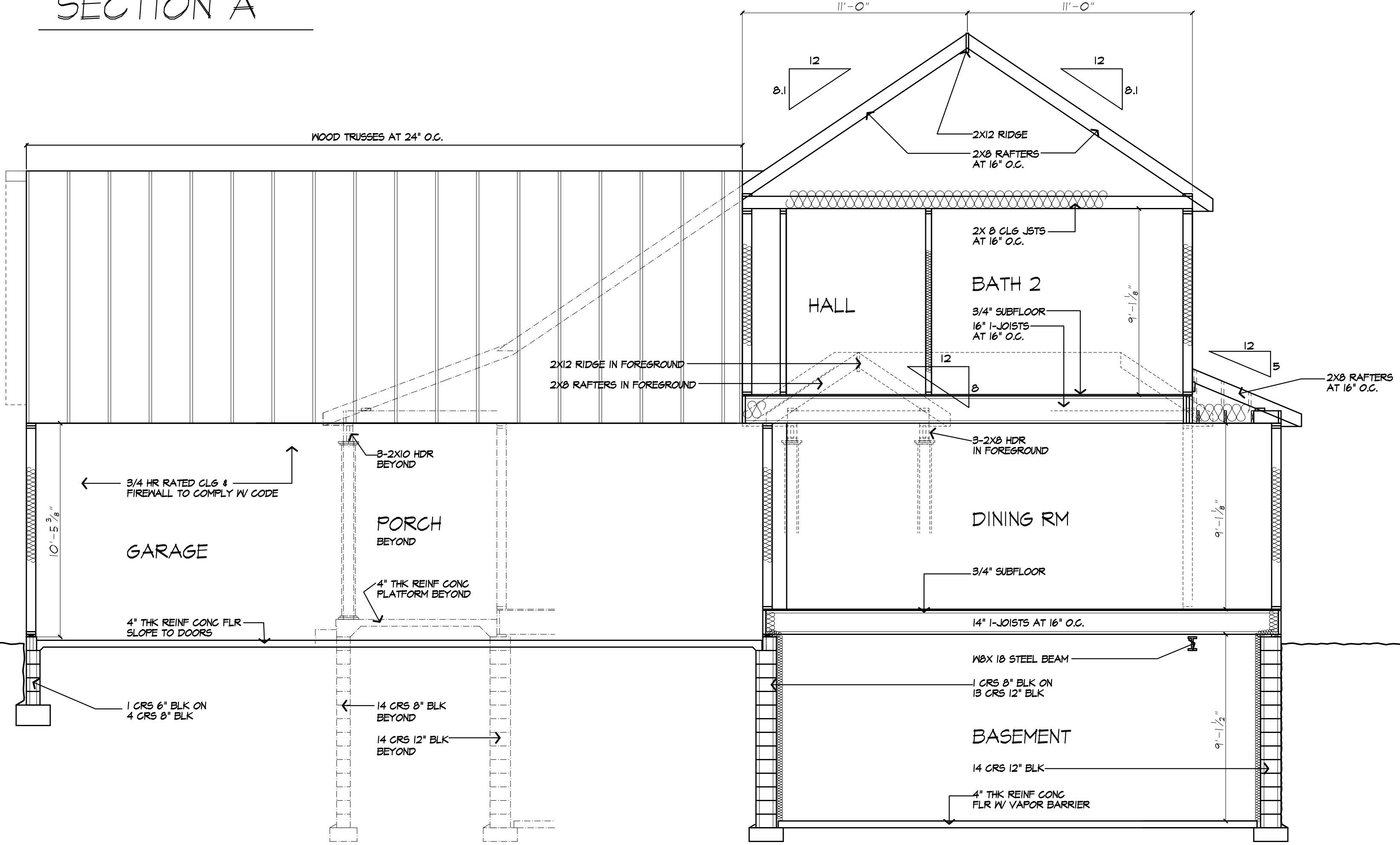
LINE LEGEND	
---	BEYOND
---	IN FOREGROUND




SECTION A



SECTION B



SECTION C



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JULY 21, 2021

PROJECT:
 STEWART - BISCHOF RESIDENCE
 LOT 211 EVESHAM PLACE
 TOWN OF PITTSFORD NY

CLIENT:
 KETMAR DEVELOPMENT CORP

DRAWING:
 BUILDING SECTIONS

DRAWN: FJMAIA/MGM	CHECKED: FJM
-----------------------------	------------------------

DATE: JULY 2021


SCALE: 1/4"=1'-0"

JOB NO.: 21M4050

SHEET:

8

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PROJECT:
STEWART - BISCHOF RESIDENCE
LOT 211 EVESHAM PLACE
TOWN OF PITTSFORD NY

CLIENT:
KETHMAR DEVELOPMENT CORP

DRAWING:
WALL SECTIONS

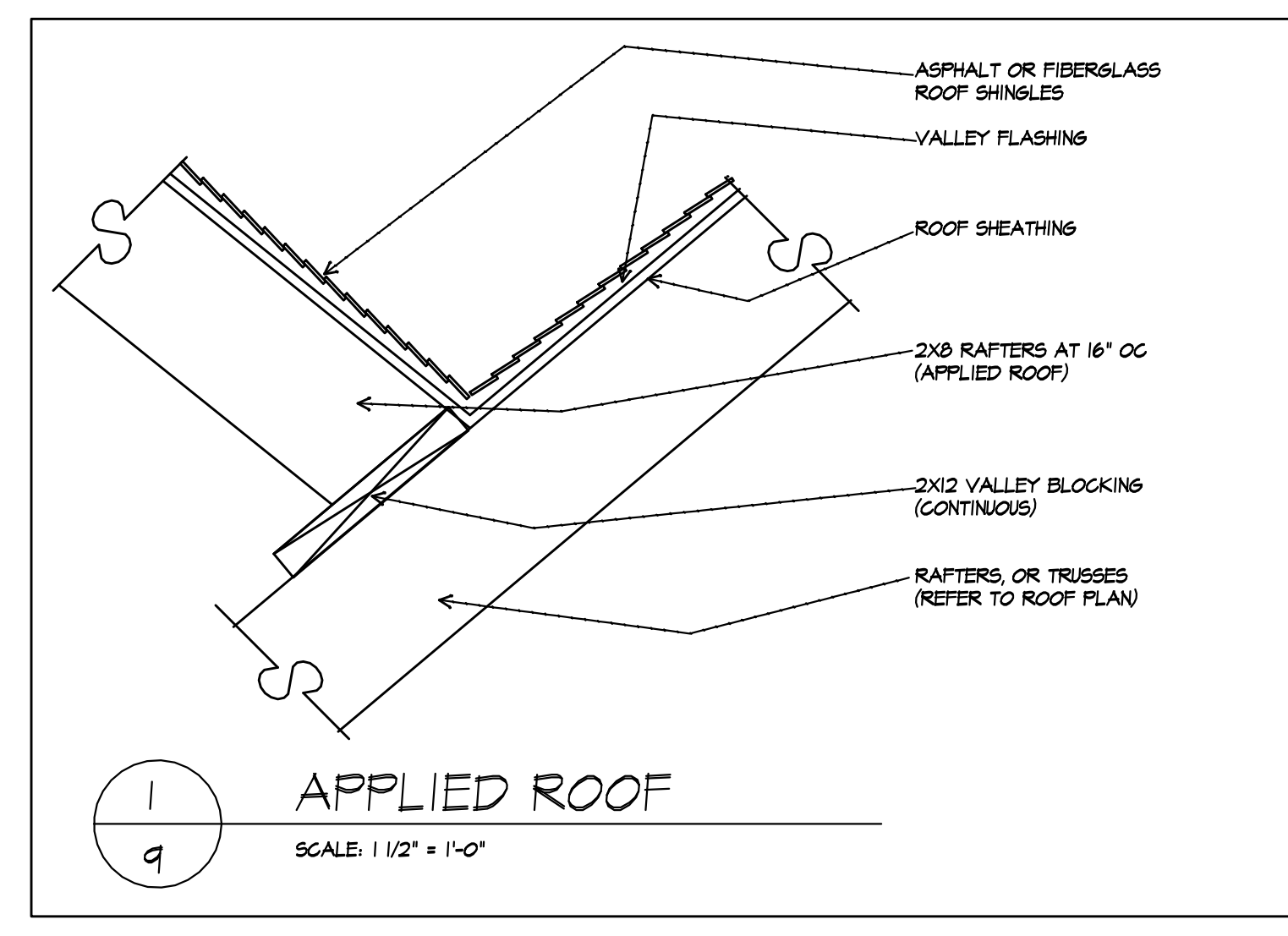
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CHECKED: P.M

DATE: JULY 2021

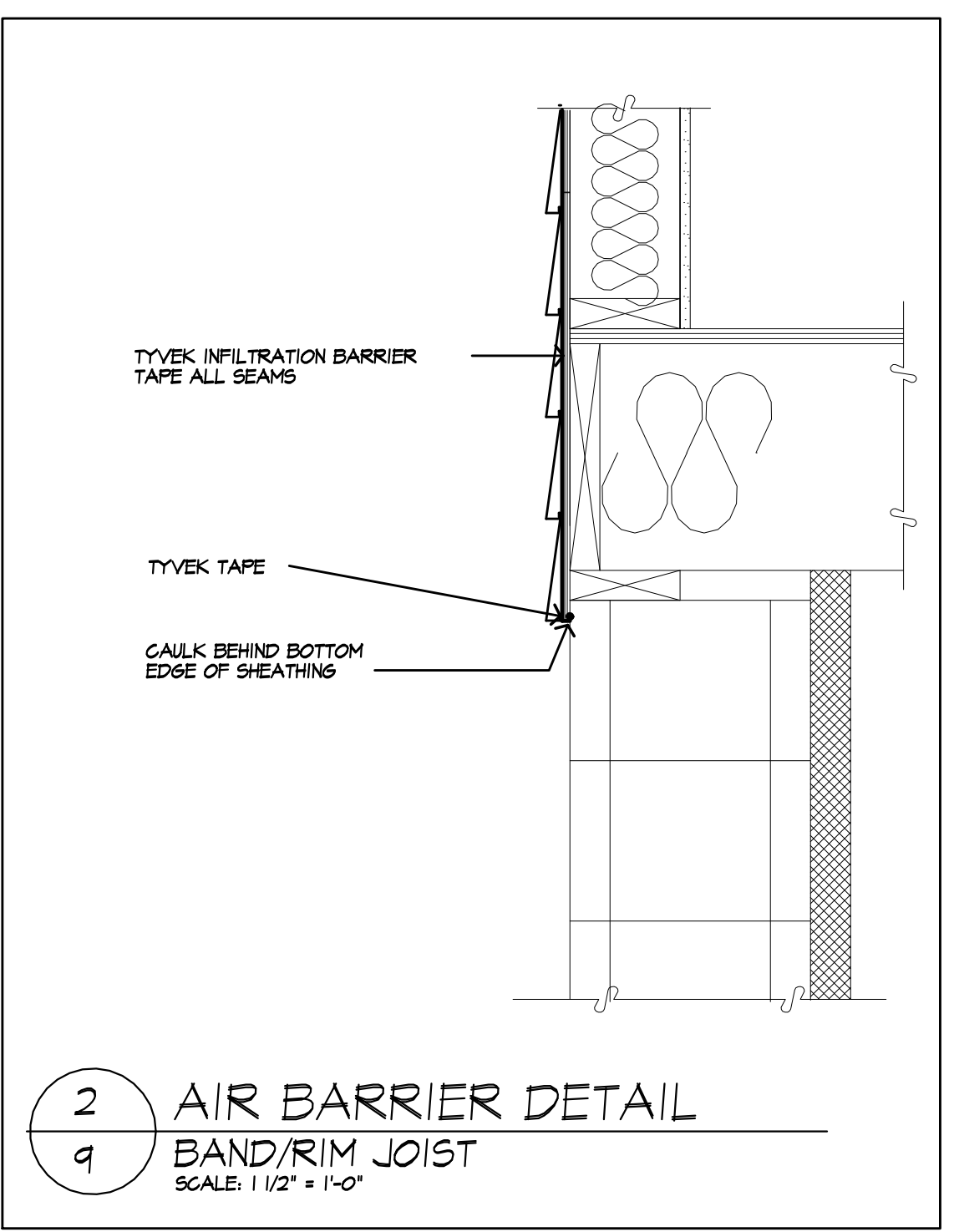
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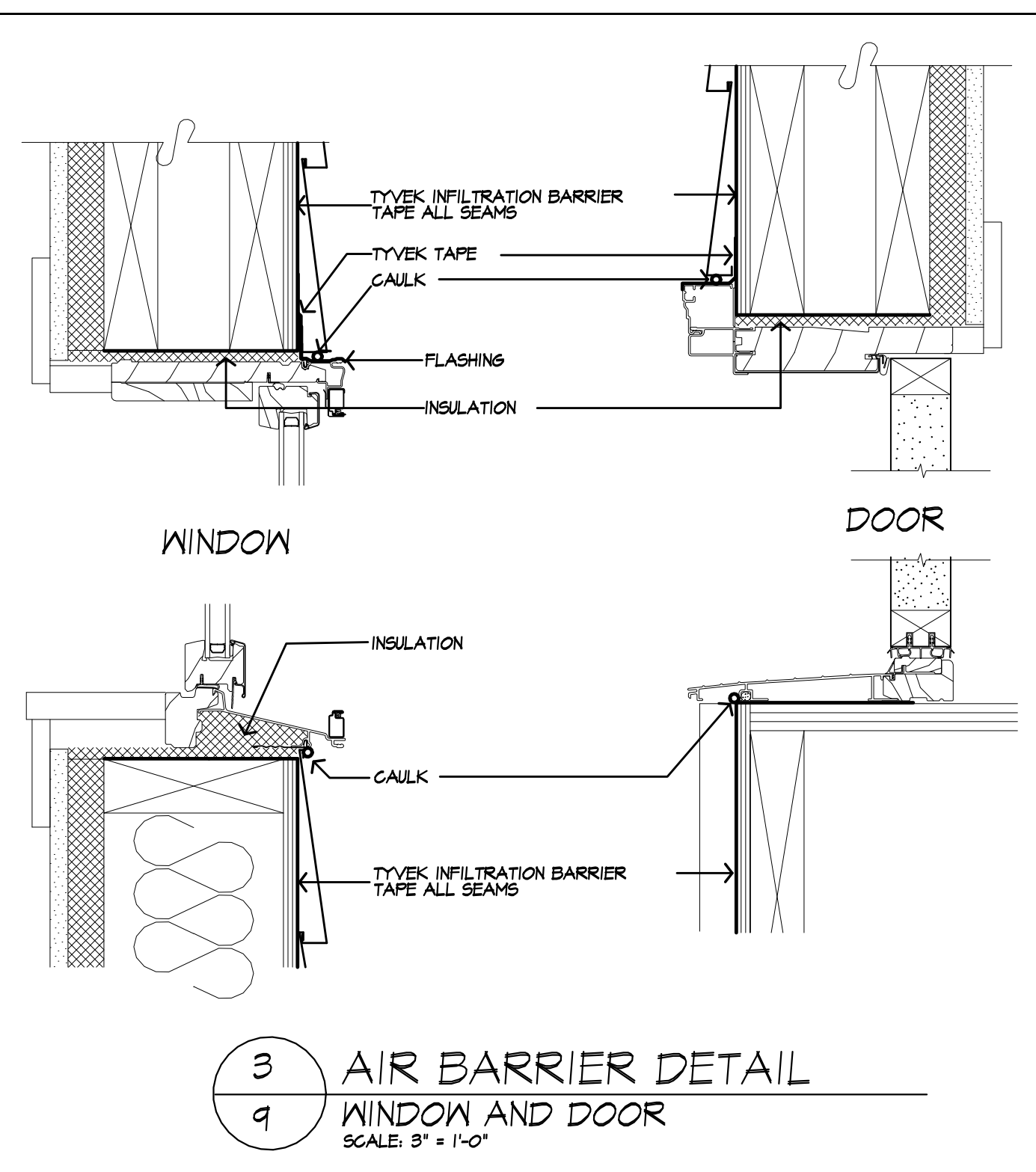
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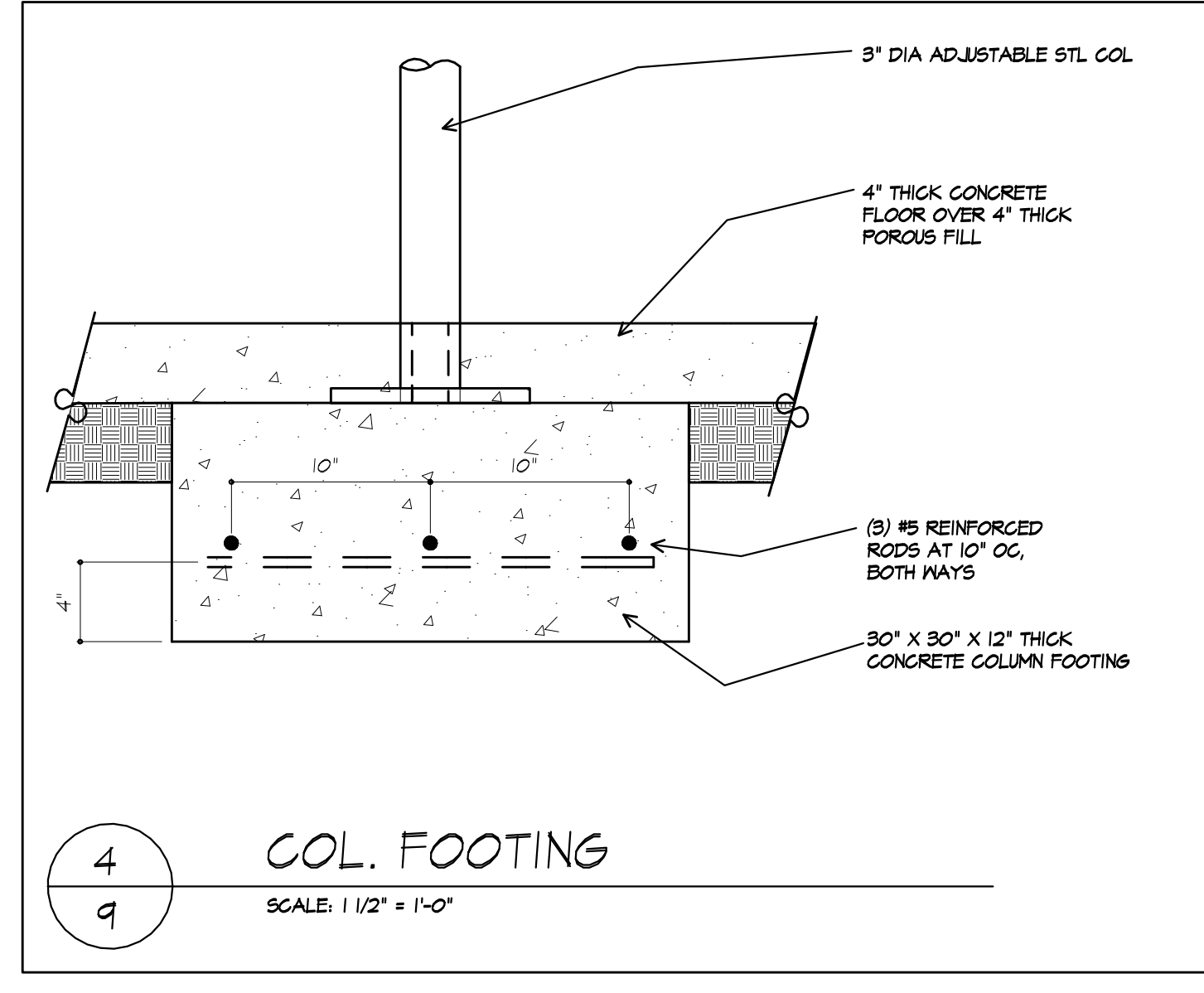
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9
APPLIED ROOF
SCALE: 1/2" = 1'-0"



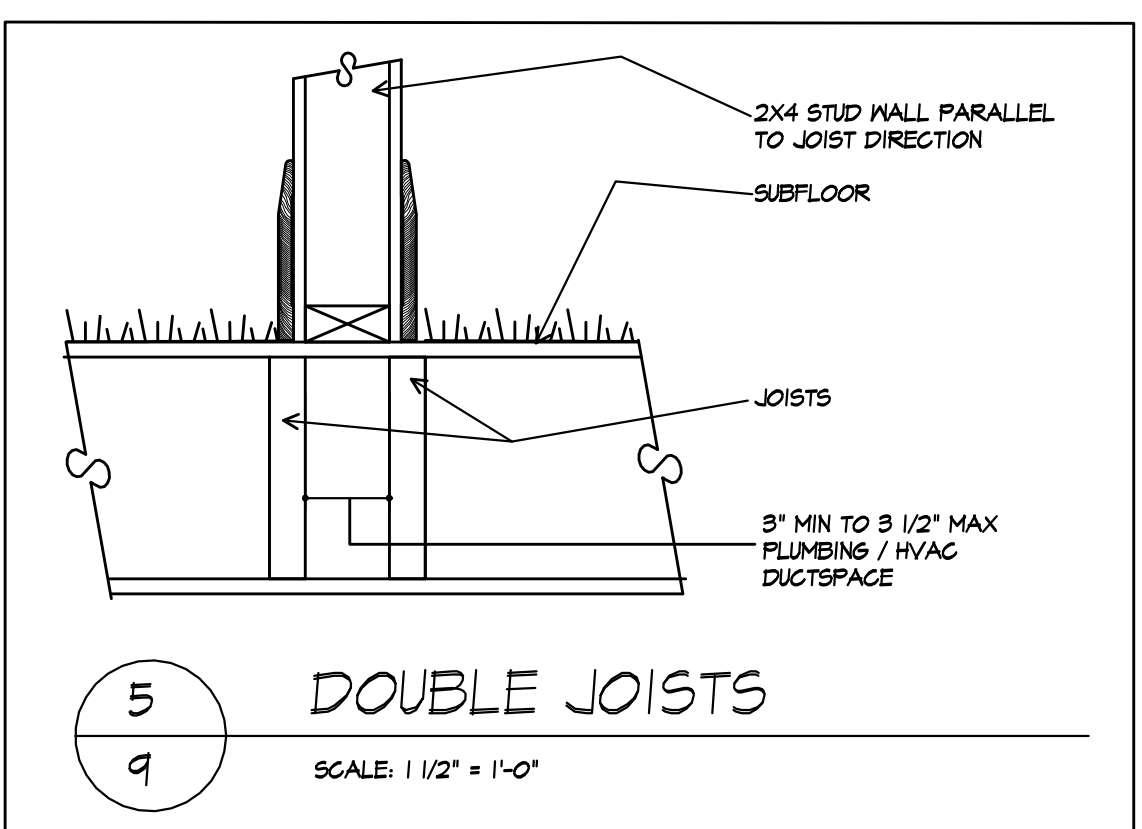
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9
**AIR BARRIER DETAIL
BAND/RIM JOIST**
SCALE: 1/2" = 1'-0"



3
9
**AIR BARRIER DETAIL
WINDOW AND DOOR**
SCALE: 3" = 1'-0"



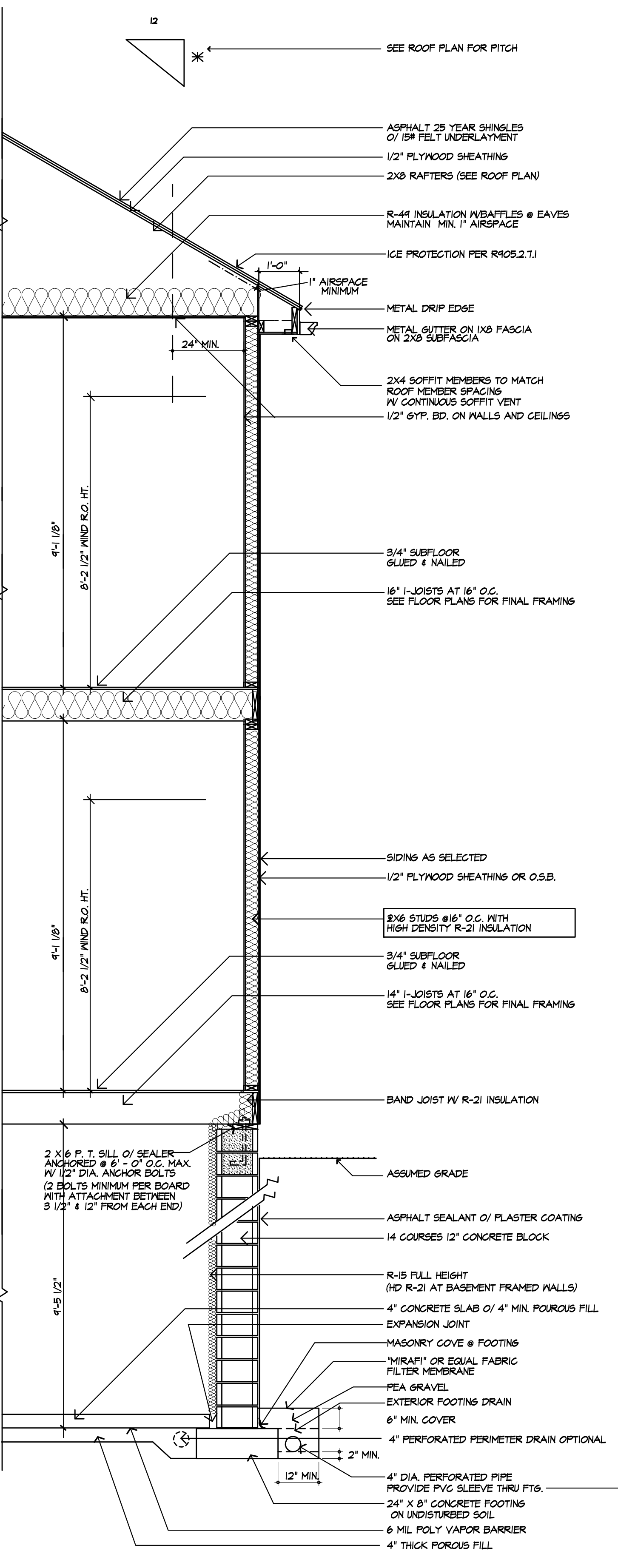
4
9
COL. FOOTING
SCALE: 1/2" = 1'-0"



5
9
DOUBLE JOISTS
SCALE: 1/2" = 1'-0"

TABLE N102.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FROSTED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS WITH BUILDING ENVELOPE AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL AIR PERMEABLE INSULATION IS INSIDE OF AIR BARRIER
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMS AND FRAMING IS SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION
CRAWL-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLEE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, G RATED, AND SEALED TO DRYWALL EXCEPT FIXTURES IN CONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING, OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER WHERE ONE OR MORE DETACHED GARAGES WITH ELECTRICAL POWER WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INVOLVES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS, IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING, SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH, AT LEAST ONE POINT OF CONTROL, SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER



TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"

TYPICAL NOTES

- DOOR MANUFACTURER: PELLA ENCOMPASS
SLIDING 0.10 CFM
IN-SWING HINGED 0.15 CFM
PELLA ENTRY DOORS: 0.30 CFM OR LESS
- WINDOW AIR INFILTRATION
PELLA 250 SERIES PELLA ENCOMPASS
DOUBLE HUNG 0.30 CFM
CASEMENT, AWNING, FIXED 0.05 CFM
- GAS FIREPLACES(S): HEAT-N-SLO SULLINE
750 MS (SL-750TR)
- TIGHT FITTING NON COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
- JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- CLASS 1 VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM-POLE BOARD
CLASS II VAPOR RETARDER ON INTERIOR OF CEILING AND 2X6 FRAMED WALLS: KRAFT BATTS
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
- BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 405.2.2 OF THE 2018 ENERGY CONSERVATION CODE.
- ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-3. ALL OTHER DUCTS COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH
THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M504.2
EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M504.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	50	80	100	125	150	200	250	300	350	400	50	80	100	125	150	200	250	300	350	400
FAN AIRFLOW RATINGS CFM @ 0.25 INCH WC ^A																				
DIAMETER ^B (INCHES)	MAXIMUM LENGTH OF PIPE (FEET)																			
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	56	4	X	X	X	X	X	X	14	8	10	X	X	X	X	X	X	X	X	X
5	NL	8	42	16	2	X	X	X	NL	82	4	5	20	4	X	X	X	X	X	X
6	NL	NL	50	4	55	18	1	X	NL	NL	NL	160	12	35	25	4				
7	NL	NL	NL	NL	161	75	40		NL	NL	NL	NL	145	60	54					
8 AND ABOVE	NL	NL	NL	NL	159	11	61	NL	NL	NL	NL	NL	NL	NL	190	100				

FOR 3" 1 FOOT = 304.8 MM
A. FOR AIRFLOW SHALL BE IN ACCORDANCE WITH AMUNEA 20-ANSI/ASHRAE 55
B. FOR NON-CIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE GROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
C. THE TABLE ASSUMES THAT EXHAUST ARE NOT SEED, FIFTEEN FEET MAXIMUM DUCT LENGTH SHALL BE DEDUCTED FOR EACH ELBOW INSTALLED IN THE DUCT RUN
D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE
E. X = NOT ALLOWED, ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

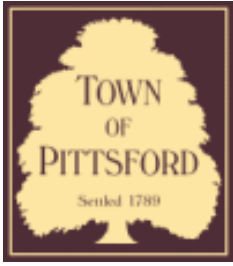
LIGHTING FIXTURE SCHEDULE

- OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE
- BASEMENT MINIMUM (3) 60 WATT FIXTURES
- HALLWAYS MINIMUM (1) 60 WATT FIXTURE
- STAIRWAYS MINIMUM (1) 120 WATT FIXTURE
- GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE
- LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE
- WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE
- POWDER ROOM MINIMUM (1) 120 WATT FIXTURE
- BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE
- DINETTE MINIMUM (1) 120 WATT FIXTURE
- KITCHEN MINIMUM (3) 120 WATT FIXTURES
- DINING ROOM MINIMUM (1) 120 WATT FIXTURE
- ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
- ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE
- GARAGE MINIMUM (2) 60 WATT FIXTURES

LIGHTING FIXTURE CONTROL NARRATIVE

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER, WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INVOLVES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS, IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING, SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH, AT LEAST ONE POINT OF CONTROL, SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000159

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 77 Coventry Ridge

Tax ID Number:

Zoning District: IZ- Incentive Zoning

Owner: Clover St. Development Corp.

Applicant: Clover St. Development Corp.

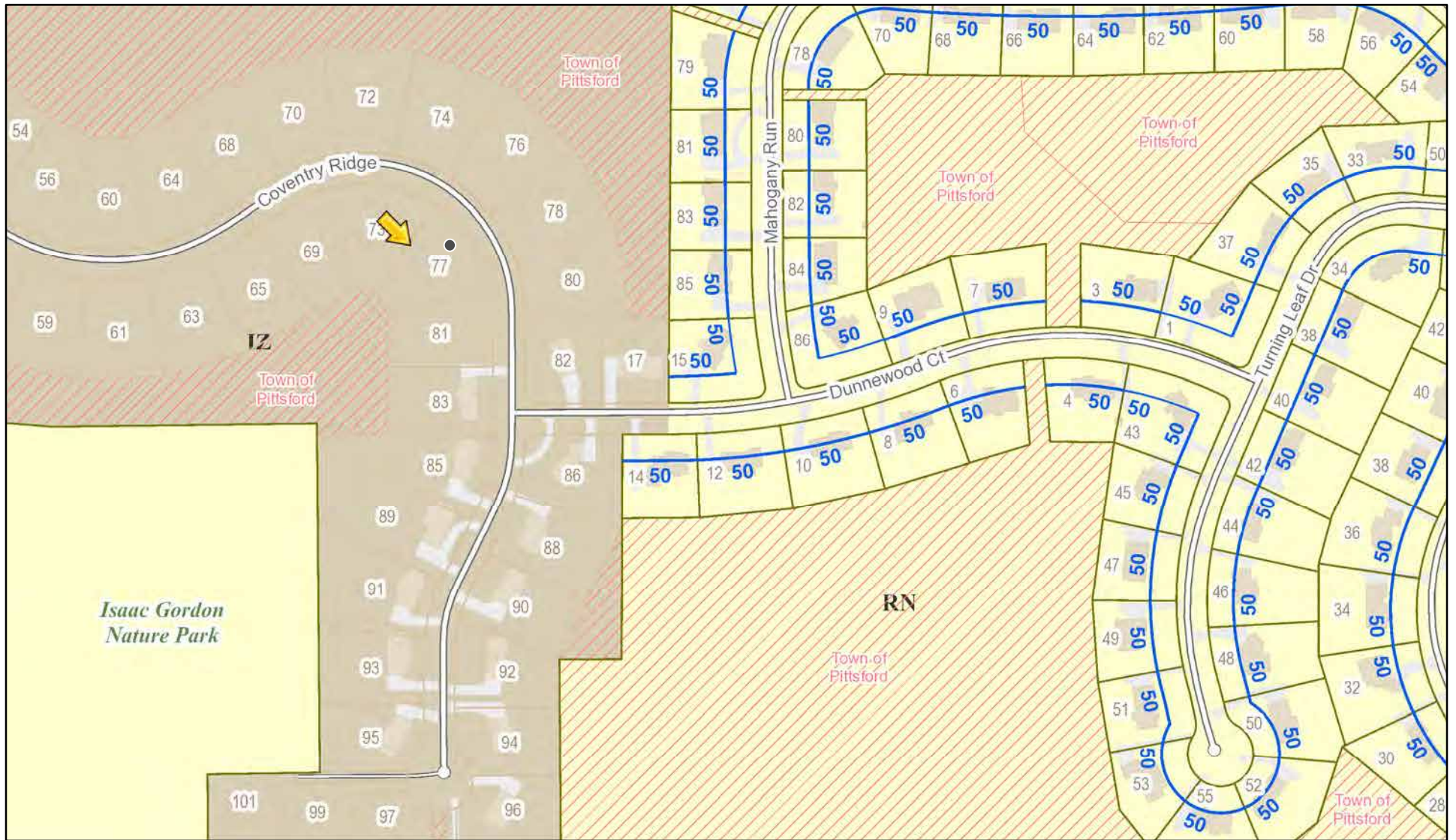
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

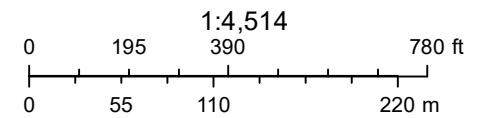
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3585 square feet of livable area and is located in the Coventry Ridge Subdivision.

Meeting Date: August 12, 2021

RN Residential Neighborhood Zoning

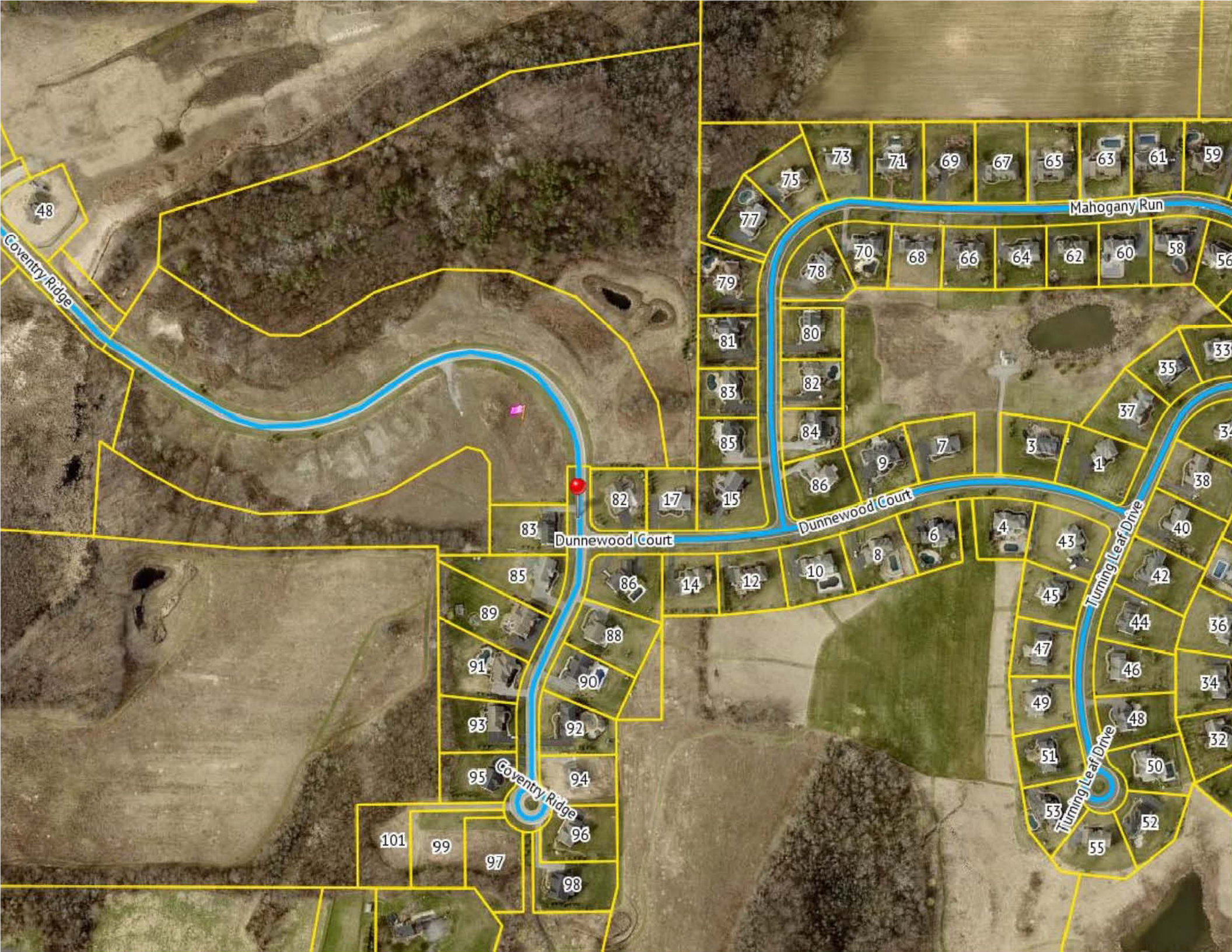


Printed August 5, 2021



Town of Pittsford GIS

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GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

SPEC HOME

LOT 79 COVENTRY RIDGE

PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP.

PLAN 3585 / PROJECT 15360 E

SHEET INDEX

- C-1 COVER SHEET
- 1/6 ELEVATIONS
- 2/6 ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORTCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQD. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Ec = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

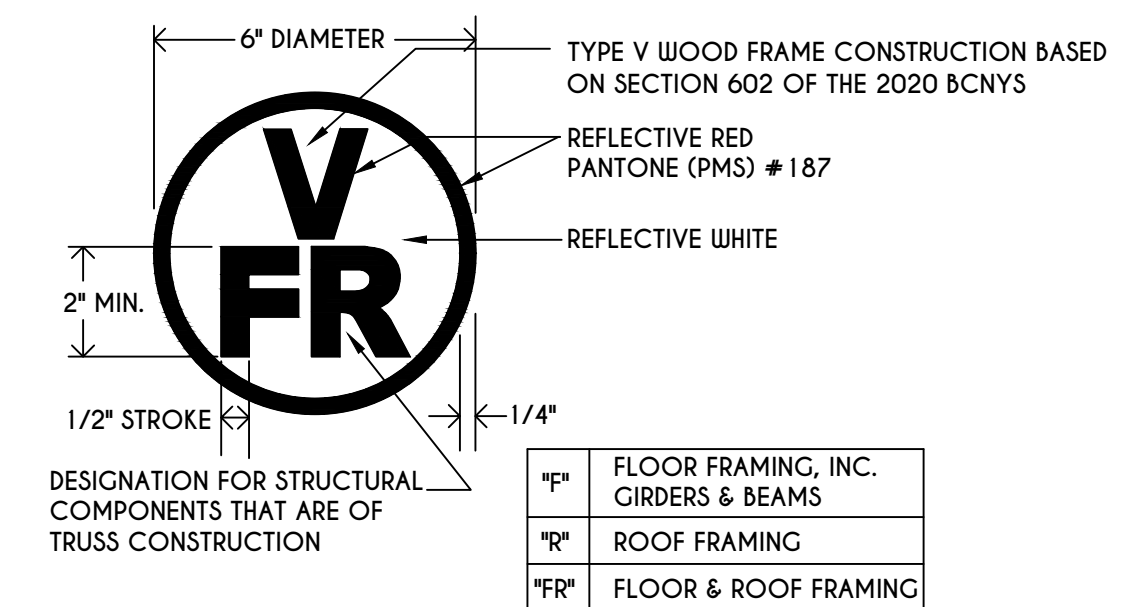
DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

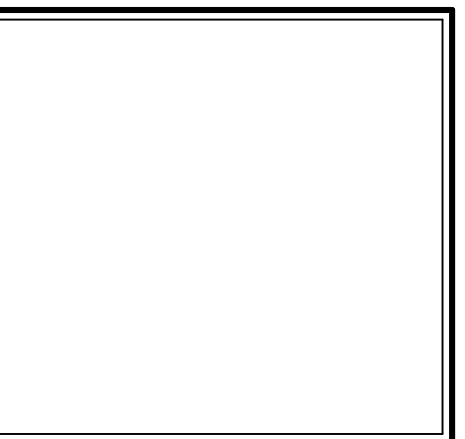


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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
LOT 79 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

GLA PLAN 3585

drawn: CDK	checked: AMM
scale: AS NOTED	date: 8 / 21
PROJECT: 15360E	sheet: C 1

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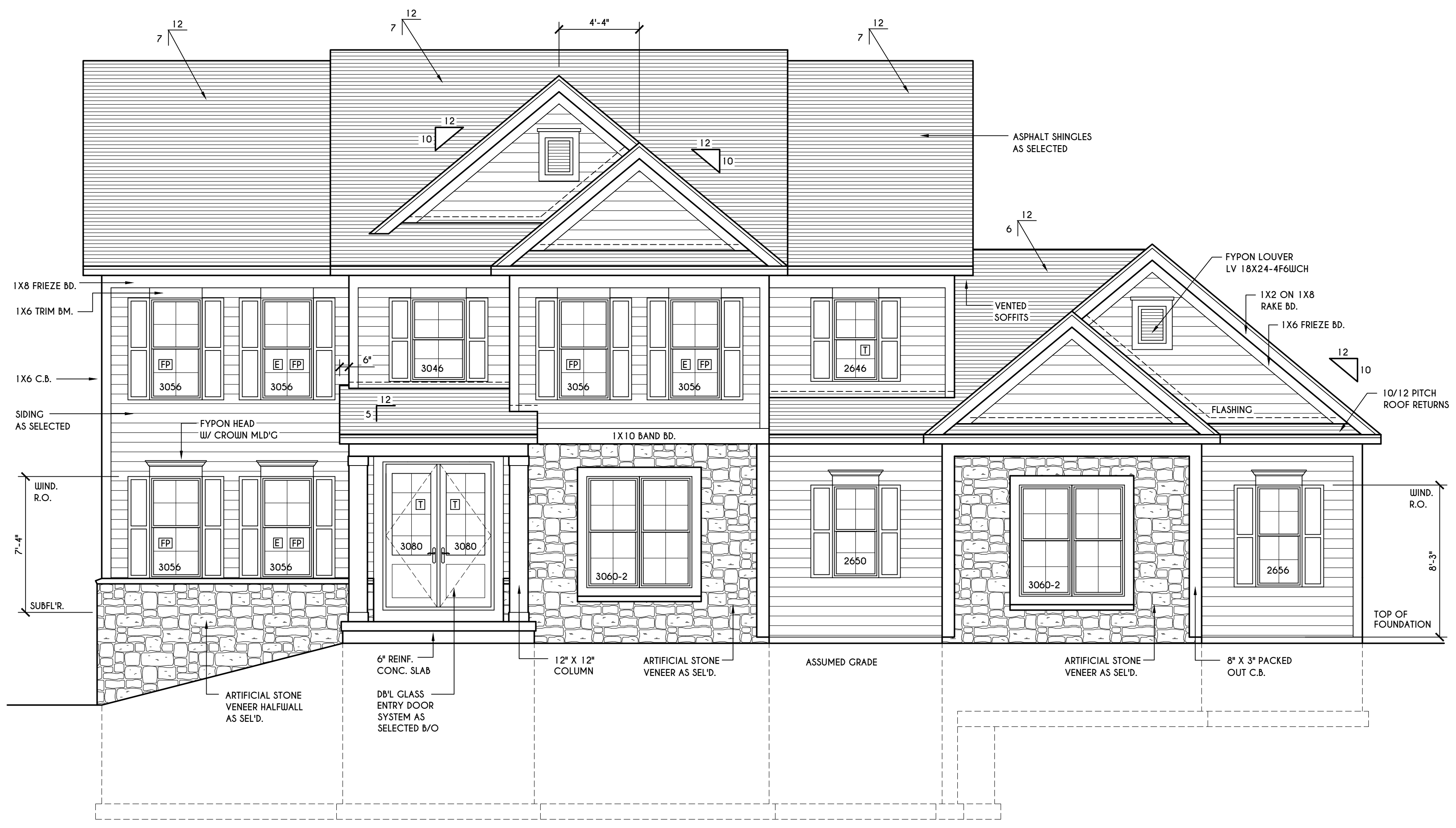
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 3585

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PROJECT: 15360E	sheet: 1 / 6



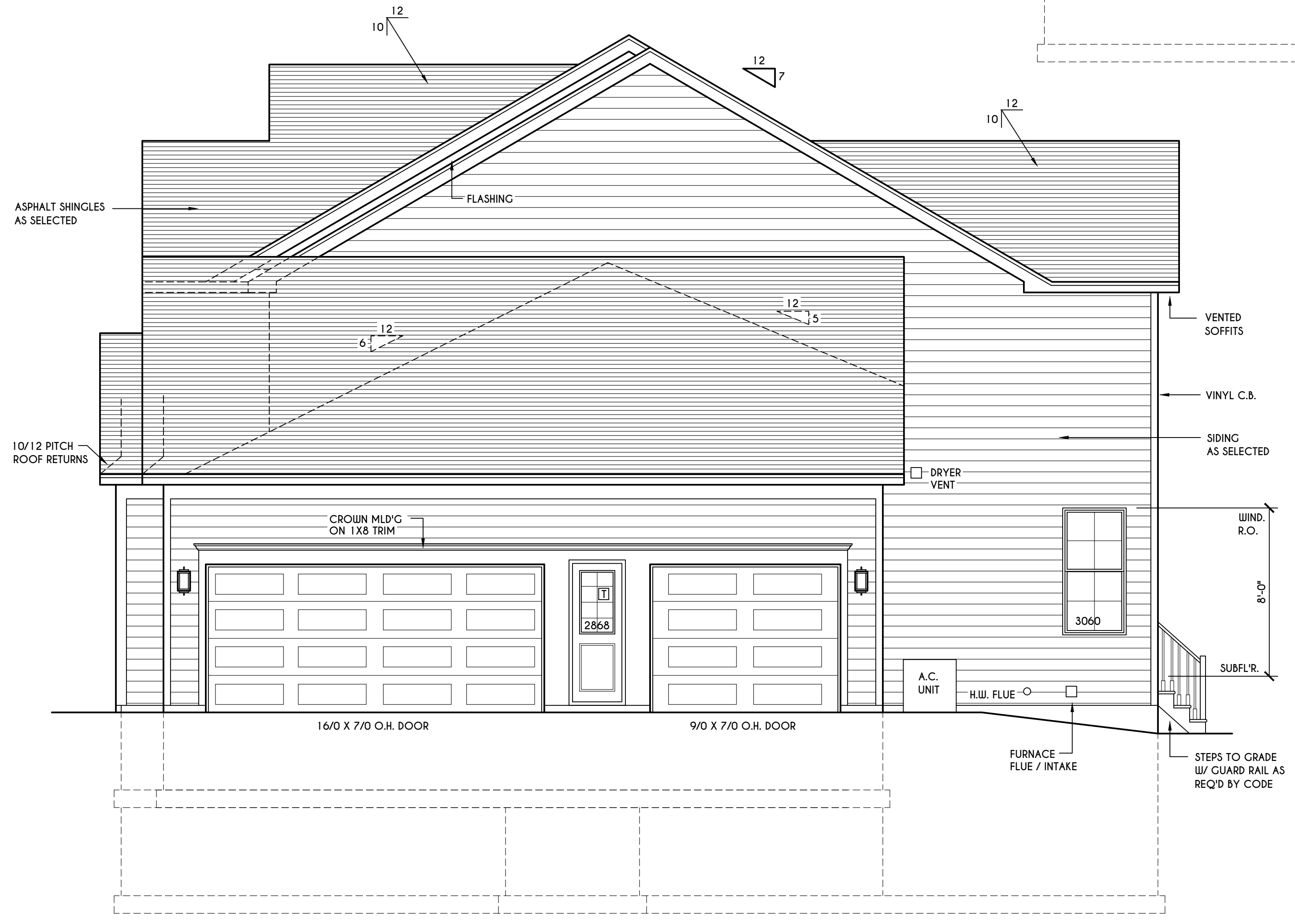
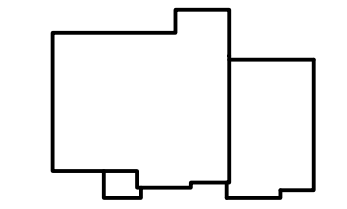
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1843 SQ.FT.
 SECOND FLOOR LIVING AREA = 1742 SQ.FT.
 TOTAL LIVING AREA = 3585 SQ.FT.
 TOTAL CONDITIONED VOLUME = 50,668 CU.FT.

HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: VIVID LOW E GLASS W/ ARGON
 U-FACTOR 0.29
 SHGC 0.31

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SLIDING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 cubic foot=0.0929 m³, 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	AIRFLOW IN CFM				
	25%	33%	50%	66%	75%
FACTOR c	4	3	2	1.5	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

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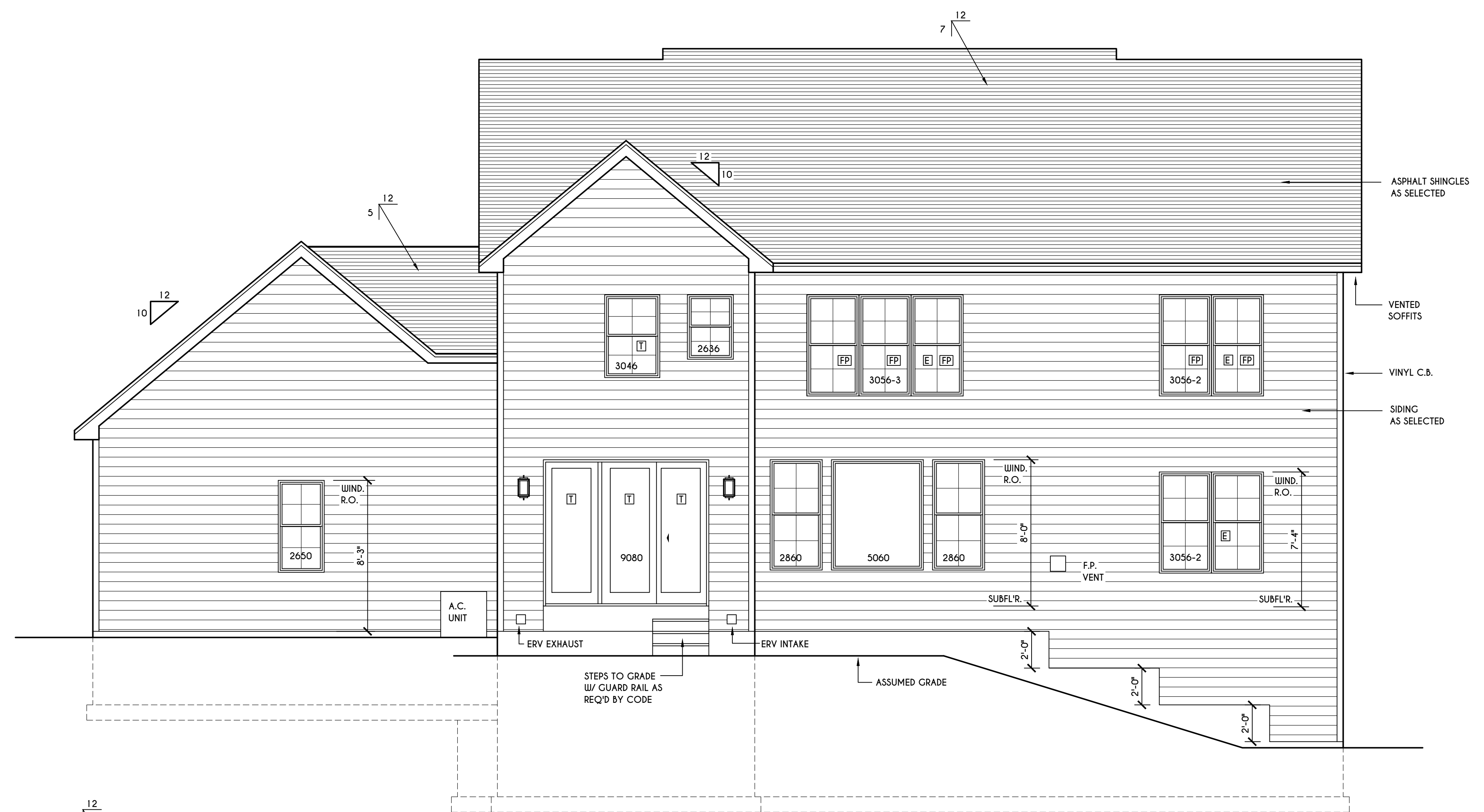
CLIENT/LOCATION:
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 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 3585

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REAR ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

WINDOWS: VIVID LOW E GLASS W/ ARGON
 U-FACTOR 0.29
 SHGC 0.31

DOORS: SELECTION BY OWNER

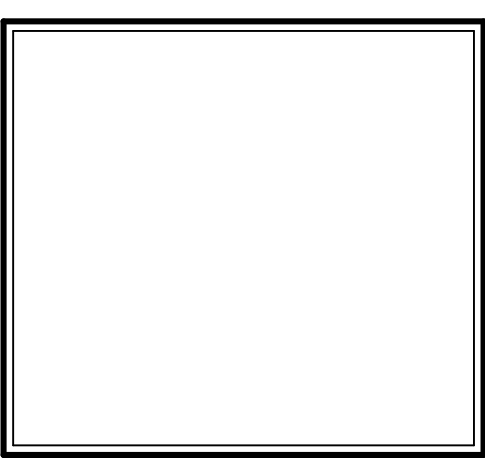
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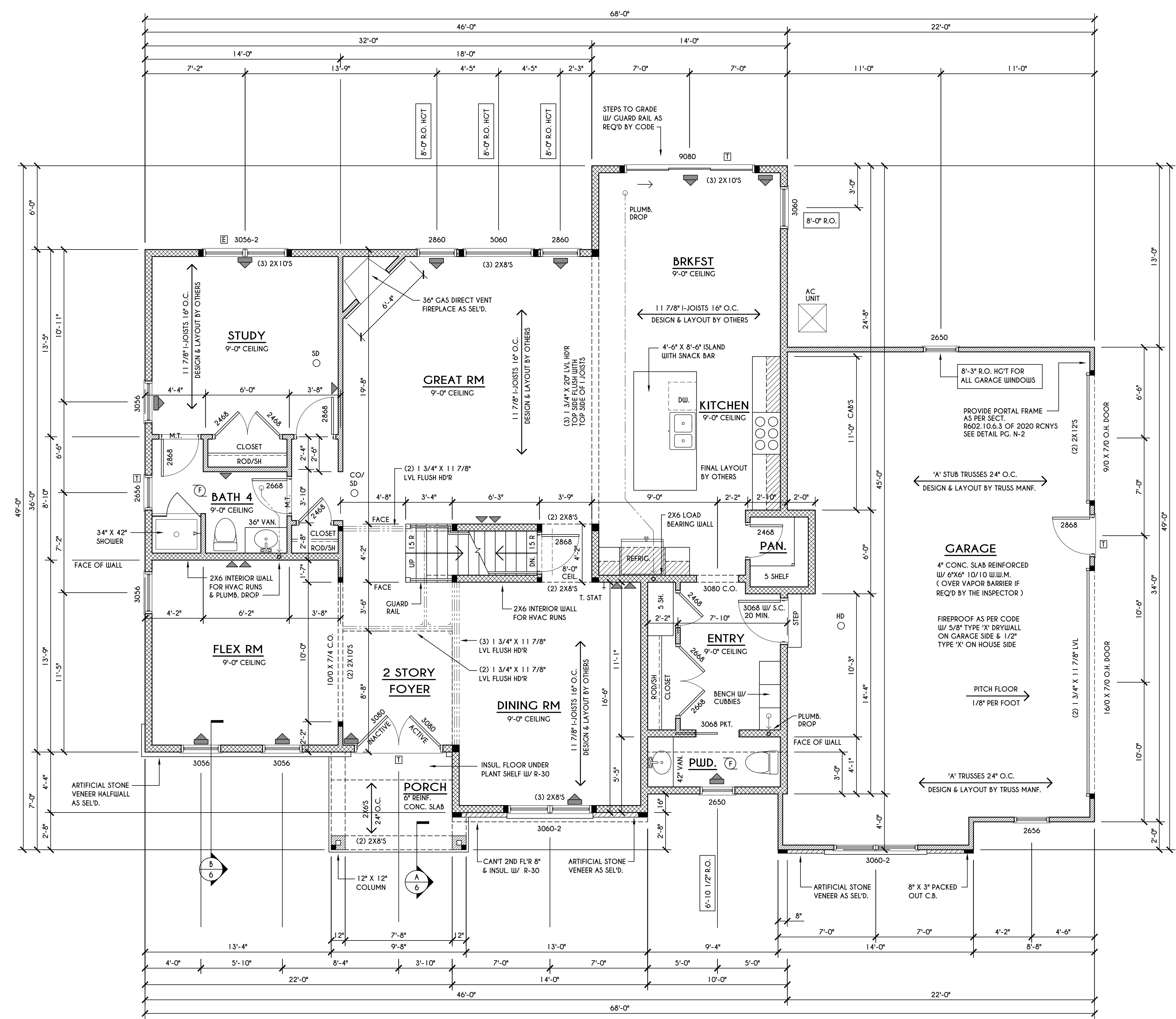
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 PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN
 GLA PLAN 3585

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PROJECT: 15360E	sheet: 4 / 6



FIRST FLOOR PLAN 1843 SQ. FT.
 SCALE: 1/4" = 1'-0"

- FRAMING LEGEND:**
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
 - DROPPED HEADER
 - FLUSH HEADER
 - 2X4 STUDS @ 16" O.C.
 - 2X6 STUDS @ 16" O.C.

GENERAL FIRST FLOOR PLAN NOTES:

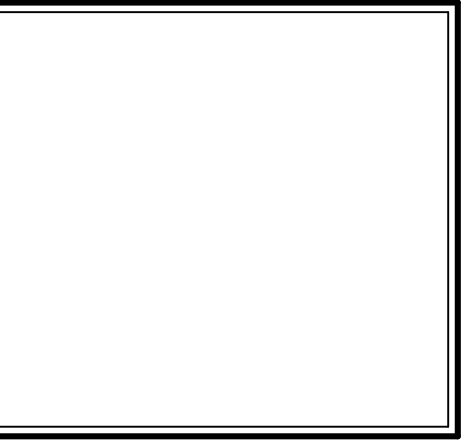
FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 7'-4" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (S3) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

- WINDOW / DOOR LEGEND:**
- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
 - = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 - = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

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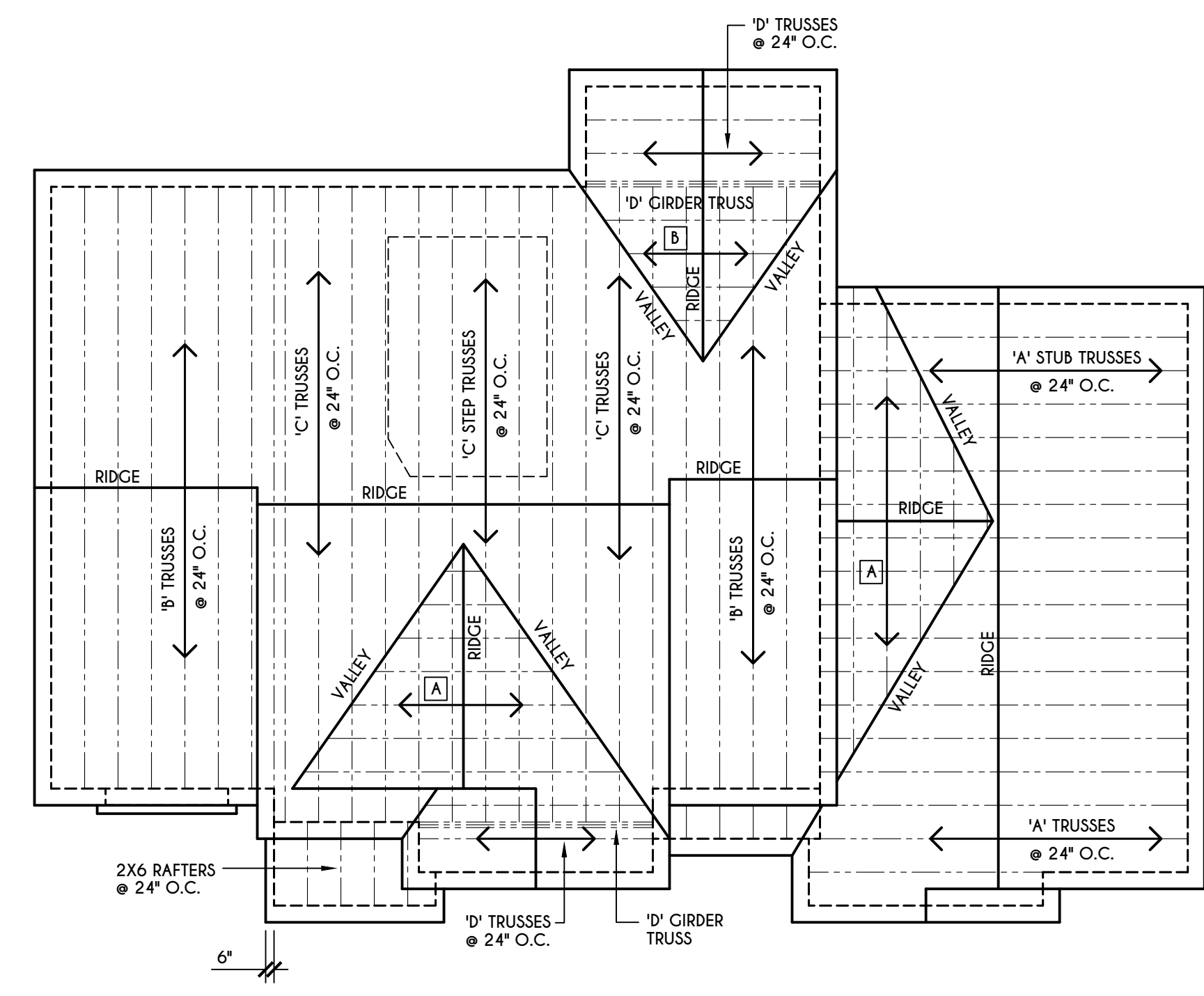
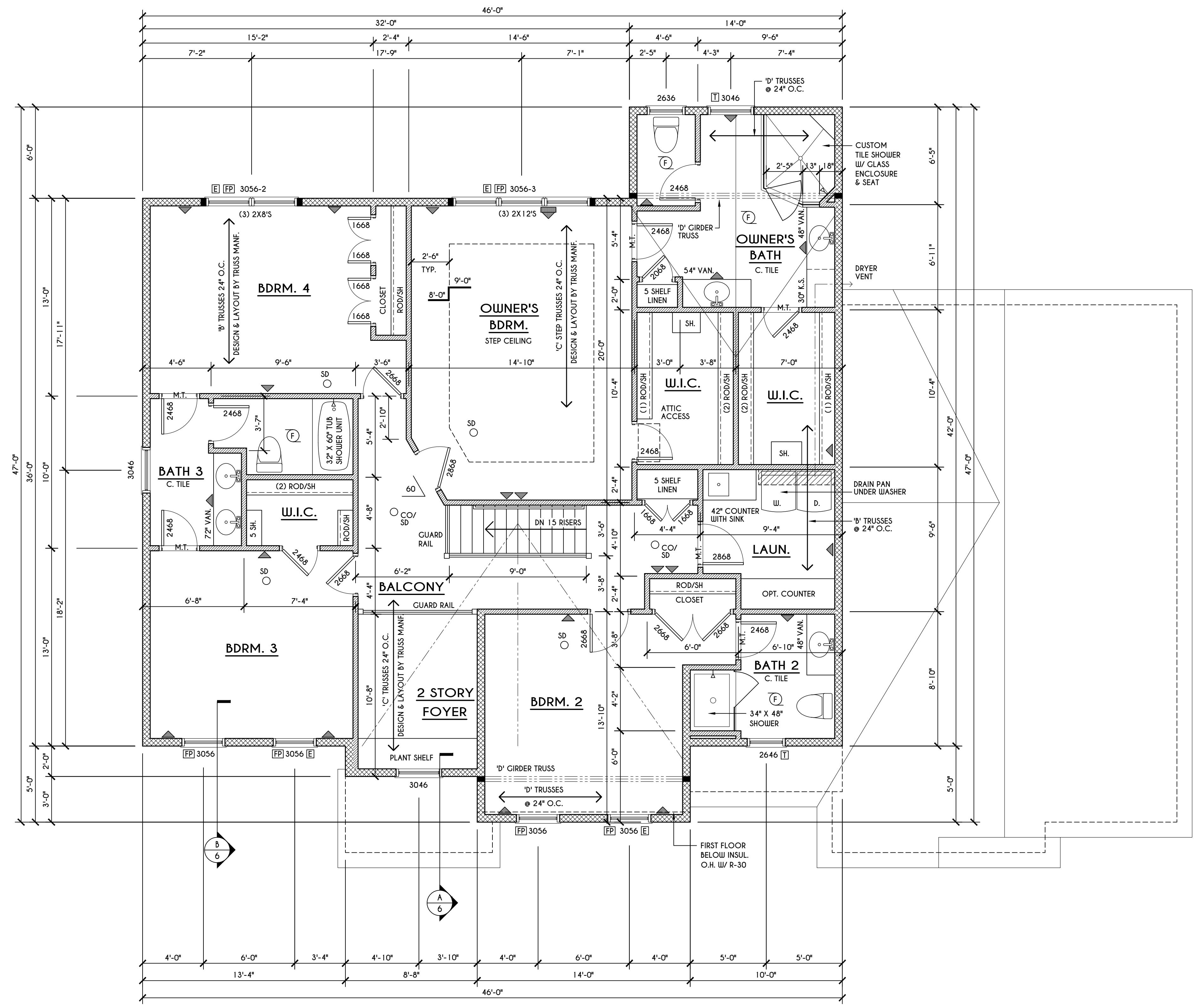
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3585

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scale: AS NOTED	date: 8 / 21
PROJECT: 15360E	sheet: 5 6



ROOF PLAN

SCALE: 1/8" = 1'-0"

- [A] - 2X8 LAYOVER RAFTERS 24" O.C.
- [B] - 2X6 LAYOVER RAFTERS 24" O.C.

GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

1742 SQ.FT.

FRAMING LEGEND:

- [Symbol] - PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- [Symbol] - DROPPED HEADER
- [Symbol] - FLUSH HEADER
- [Symbol] - 2X4 STUDS @ 16" O.C.
- [Symbol] - 2X6 STUDS @ 16" O.C.

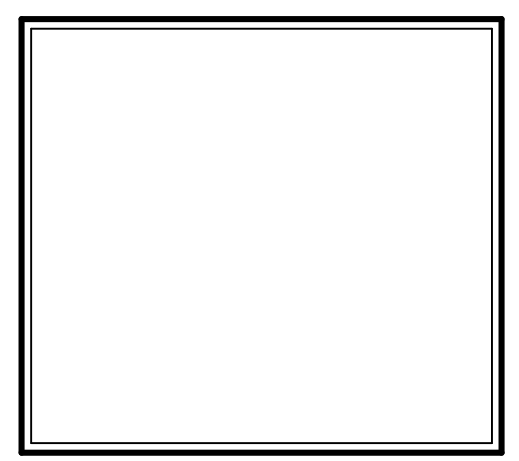
GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
 LOT 79 COVENTRY RIDGE
 PITTSFORD, NY

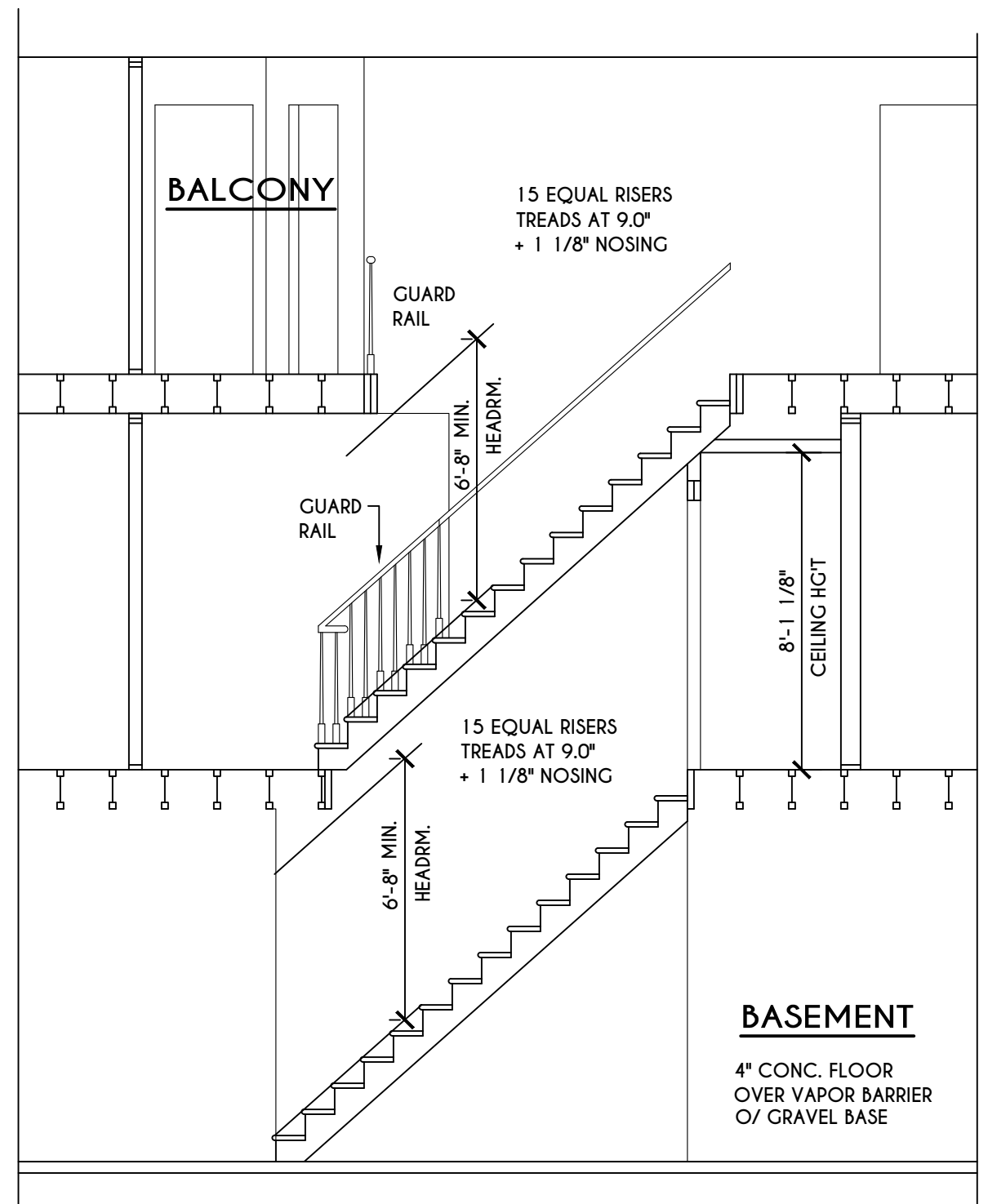
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

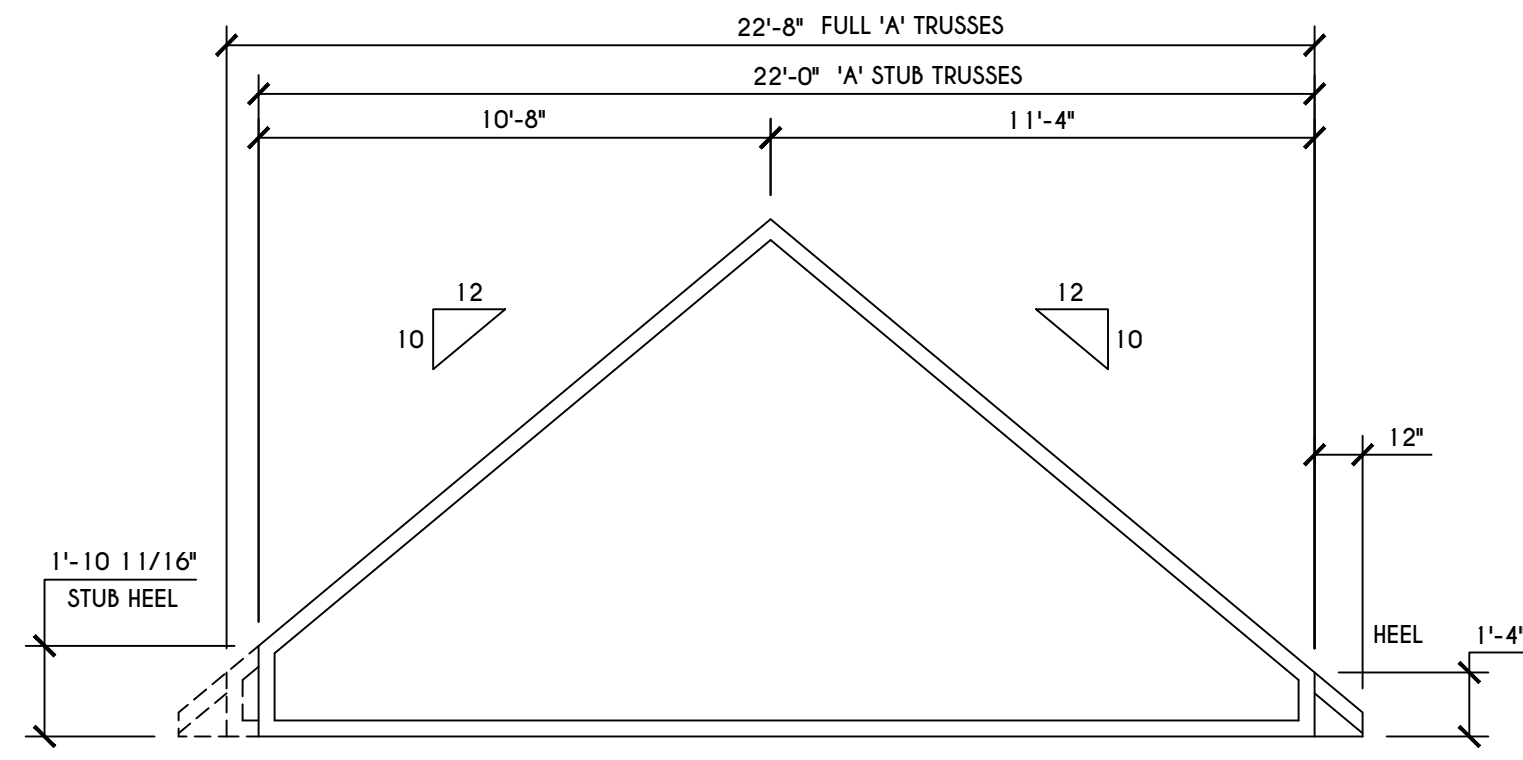
SECTIONS

GLA PLAN 3585

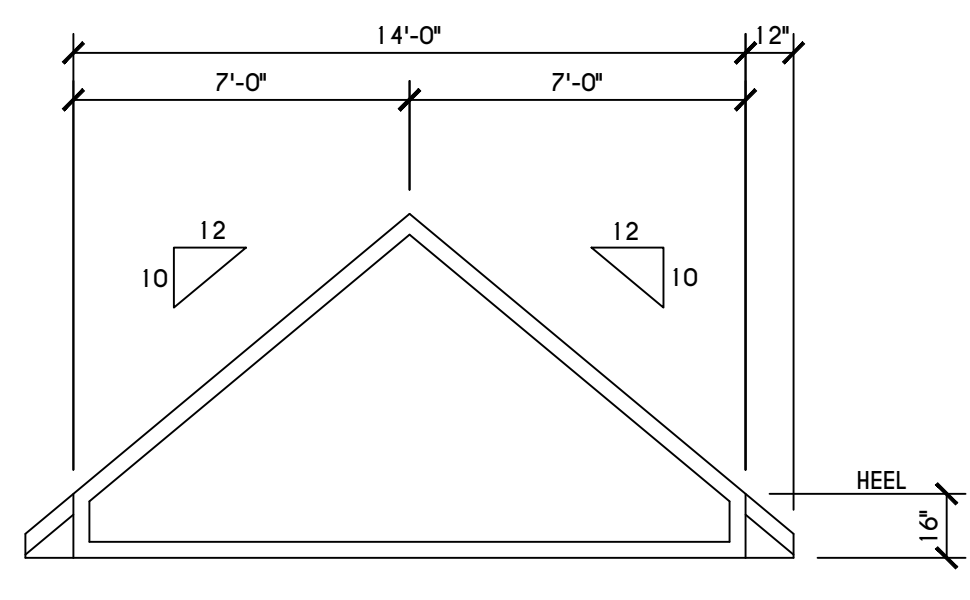
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scale: AS NOTED	date: 8 / 21
PROJECT: 15360E	sheet: 6 / 6



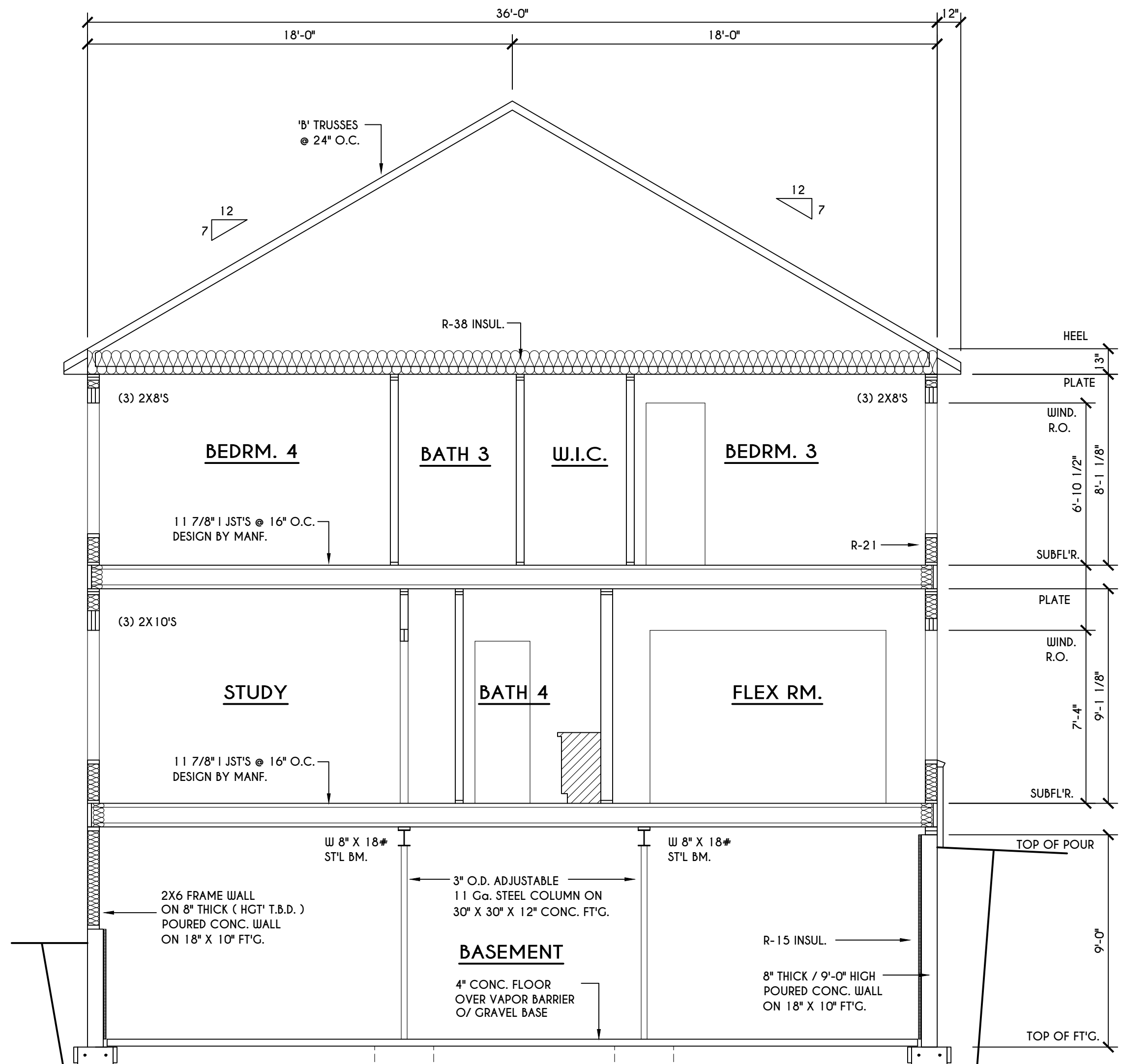
STAIR SECTION
 SCALE: 1/4" = 1'-0"



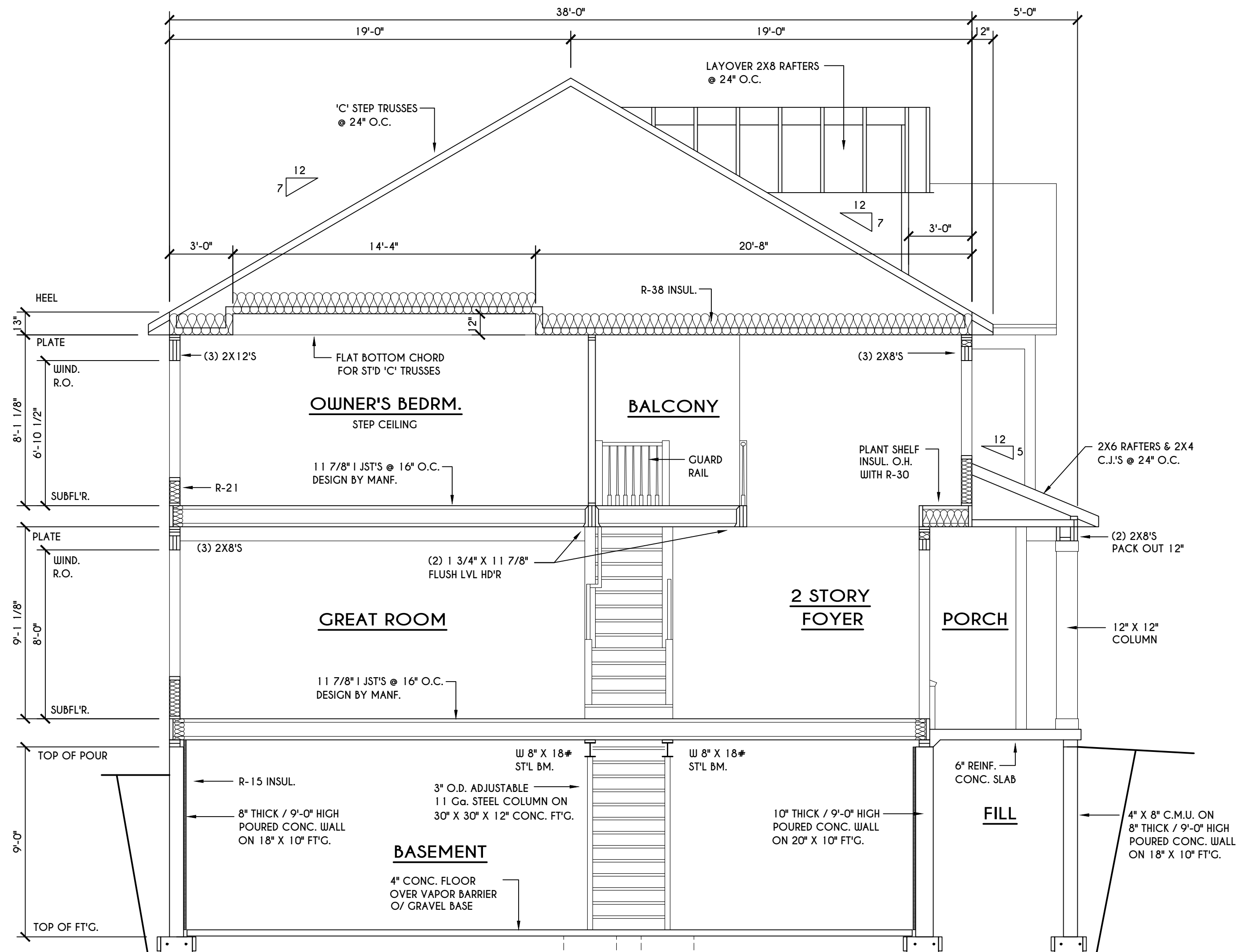
'A' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



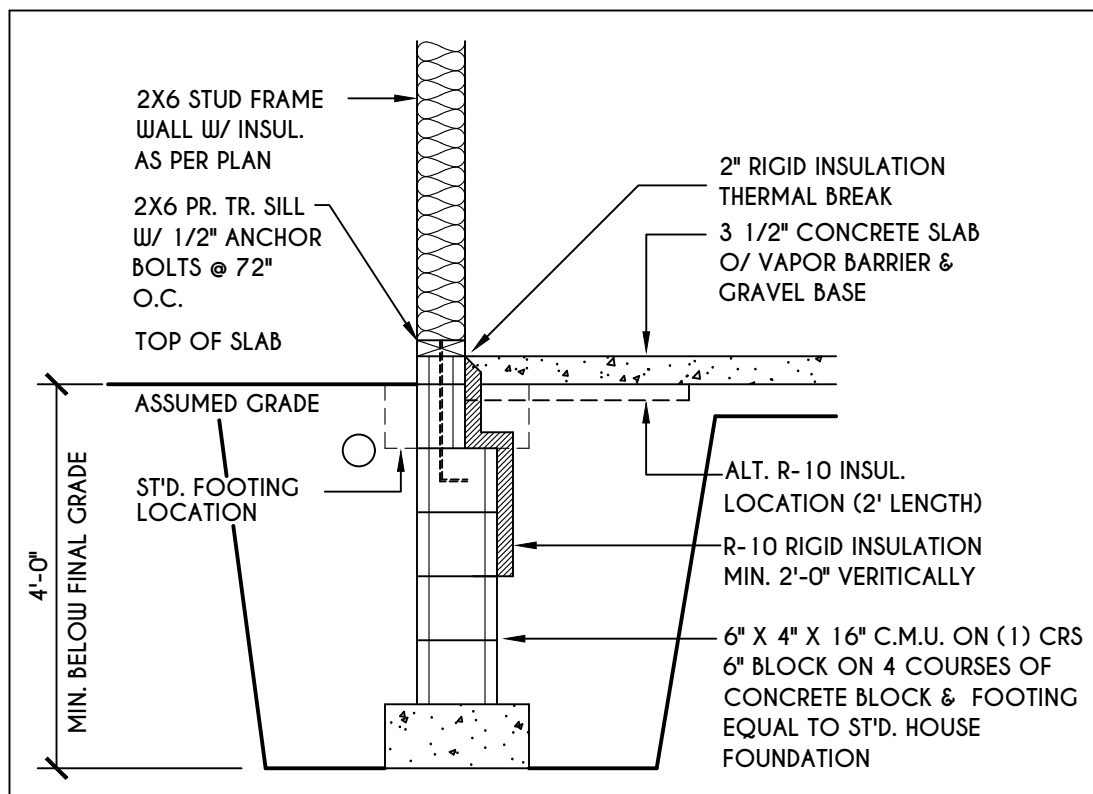
'D' TRUSS PROFILE
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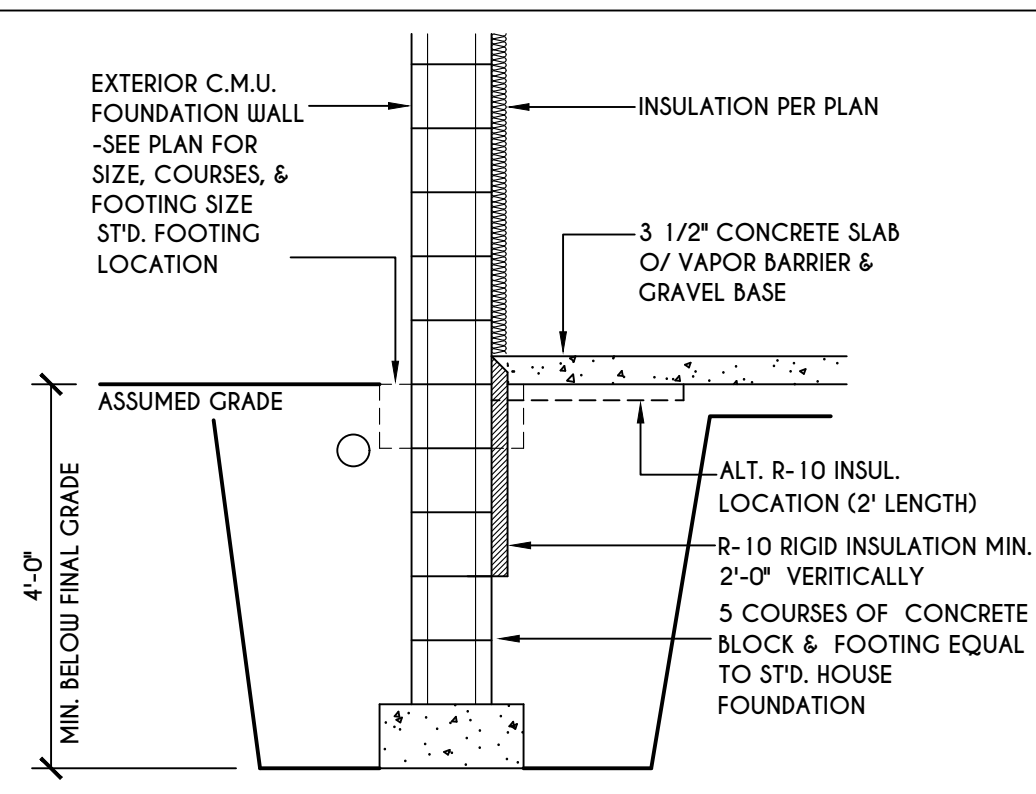
B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



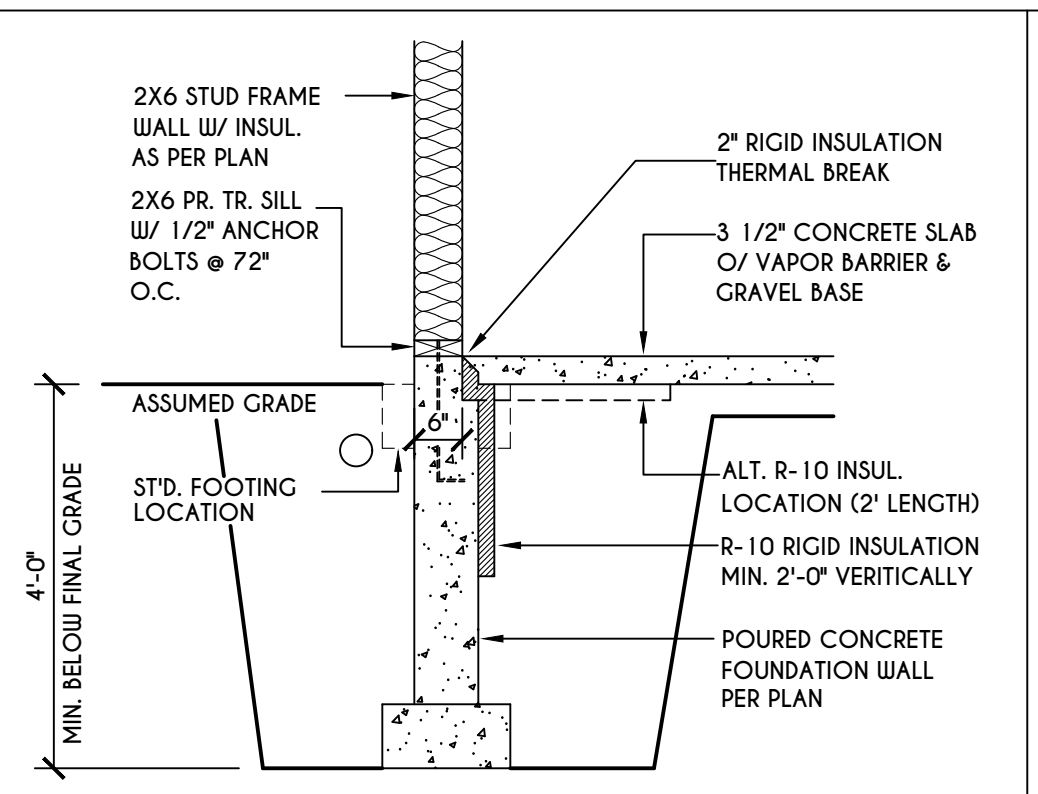
A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



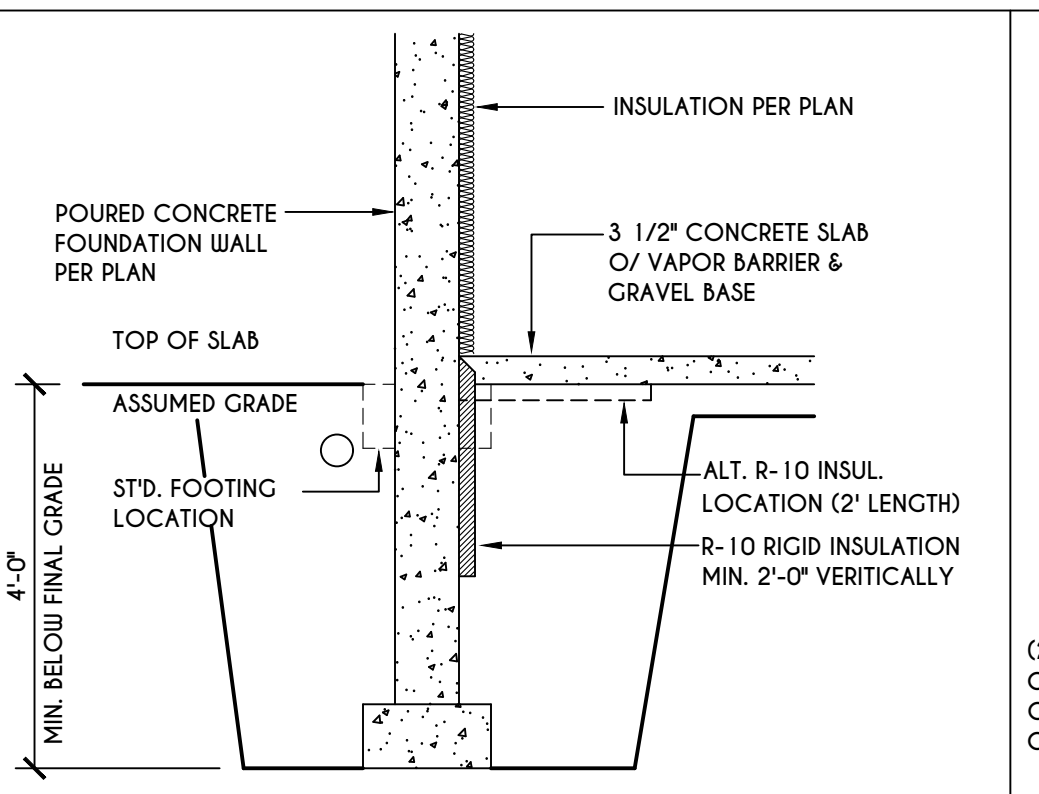
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



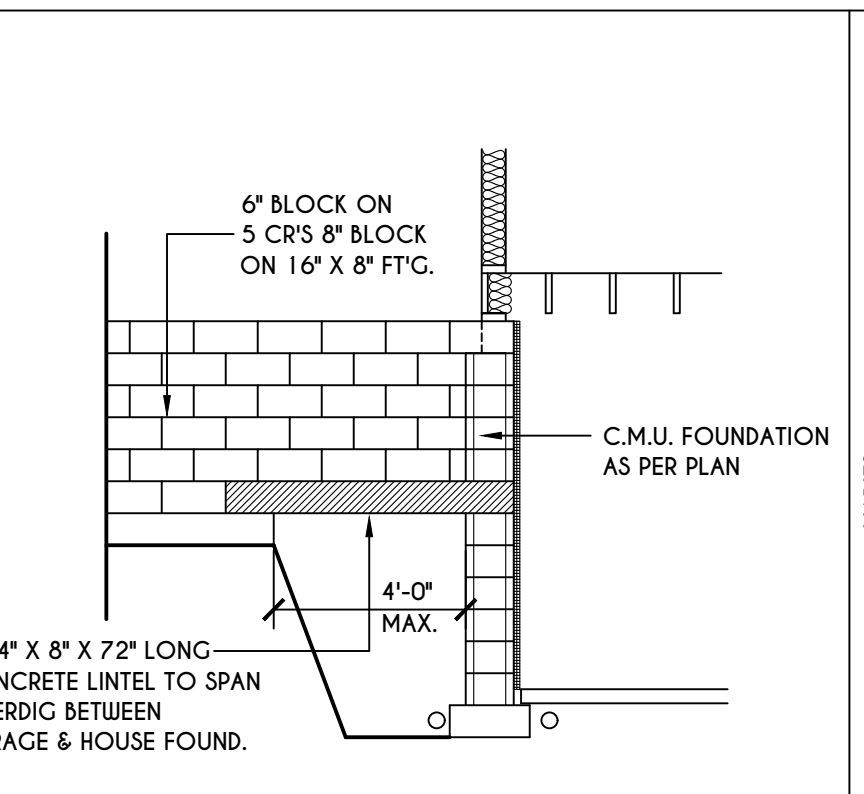
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



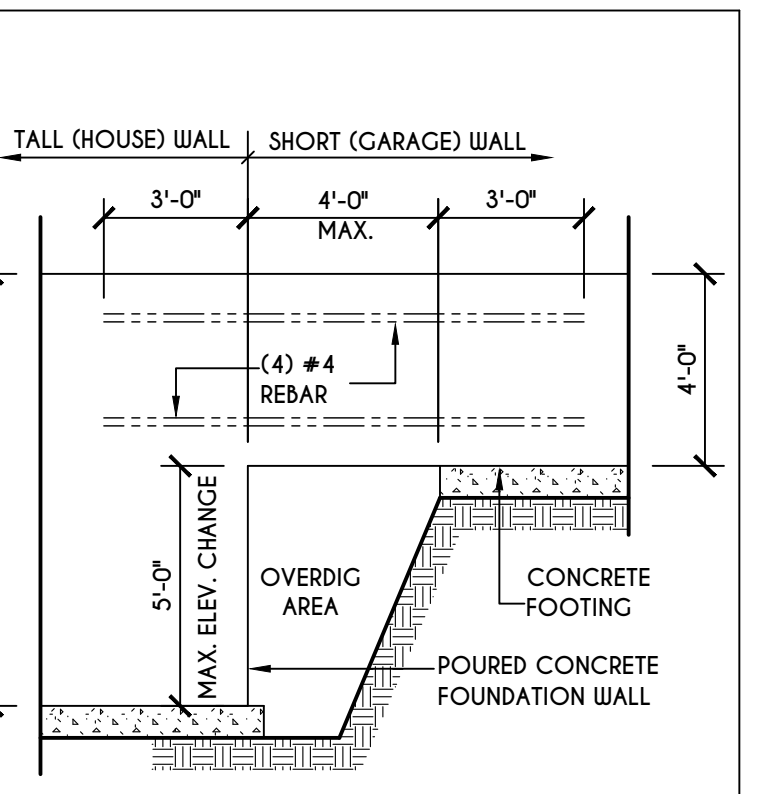
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



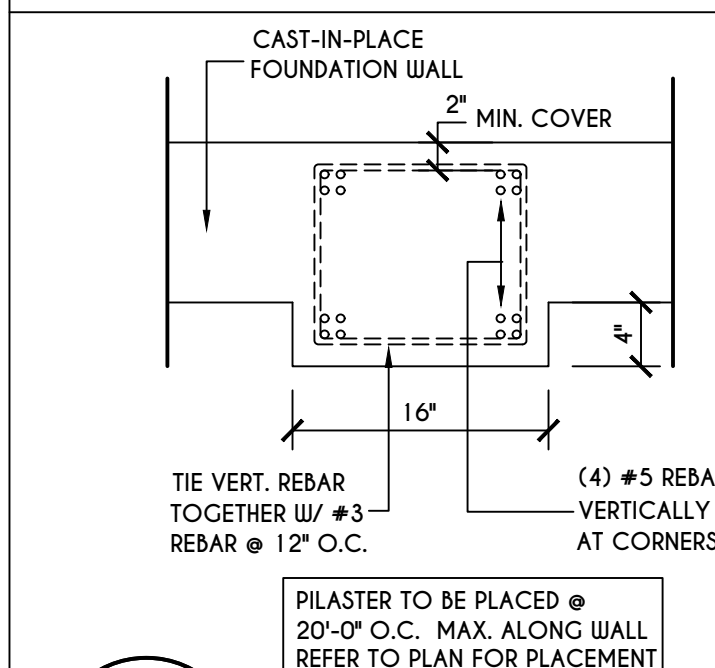
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



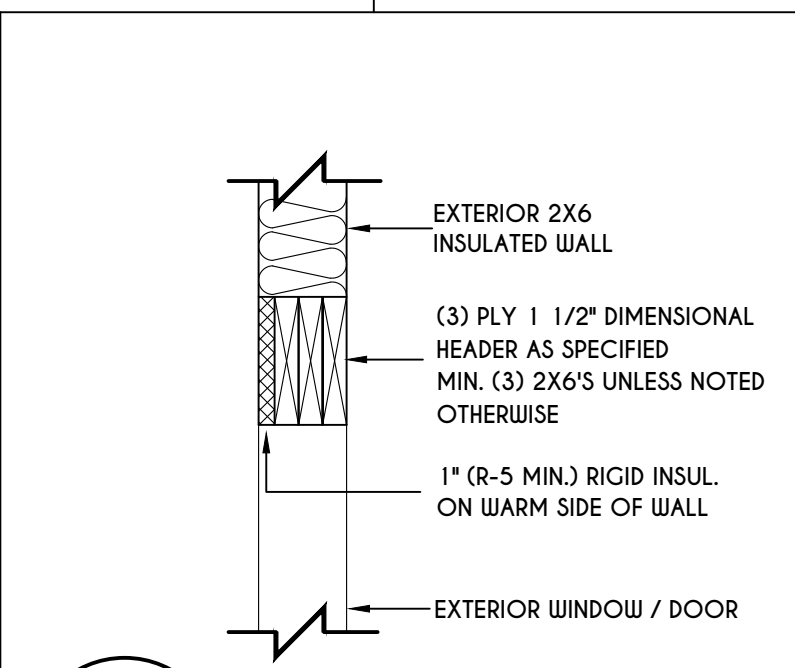
5
N-1
C.M.U. JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



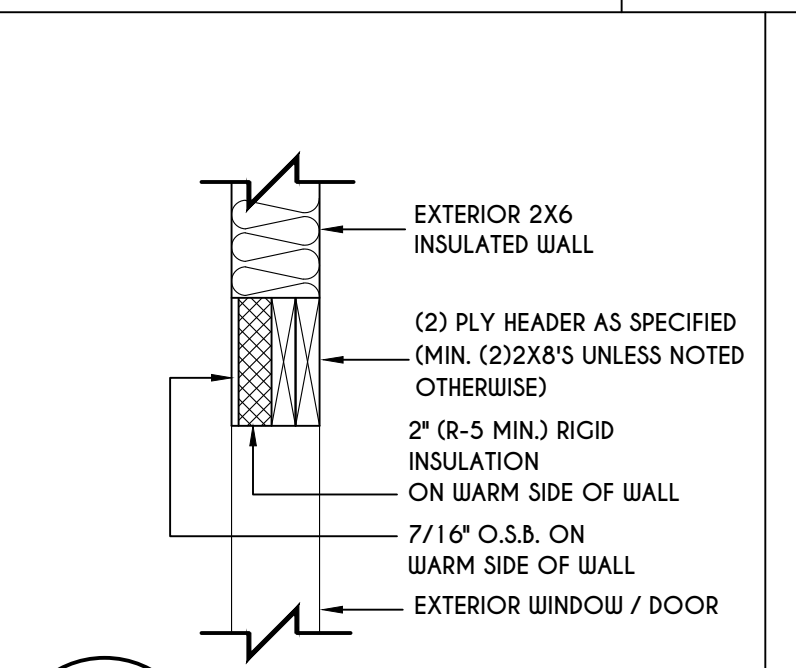
6
N-1
POURED WALL JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



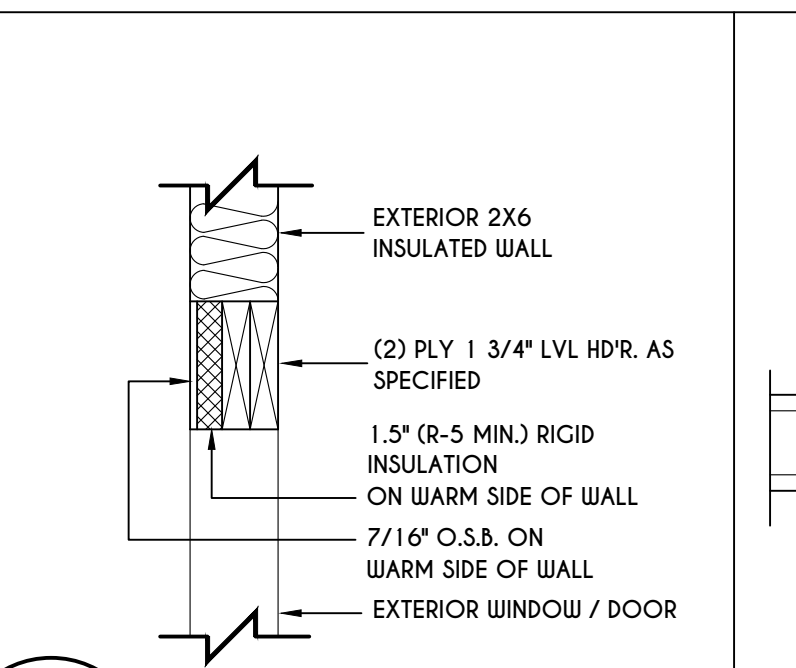
7
N-1
POURED WALL
PILASTER DETAIL
SCALE: 1" = 1'-0"



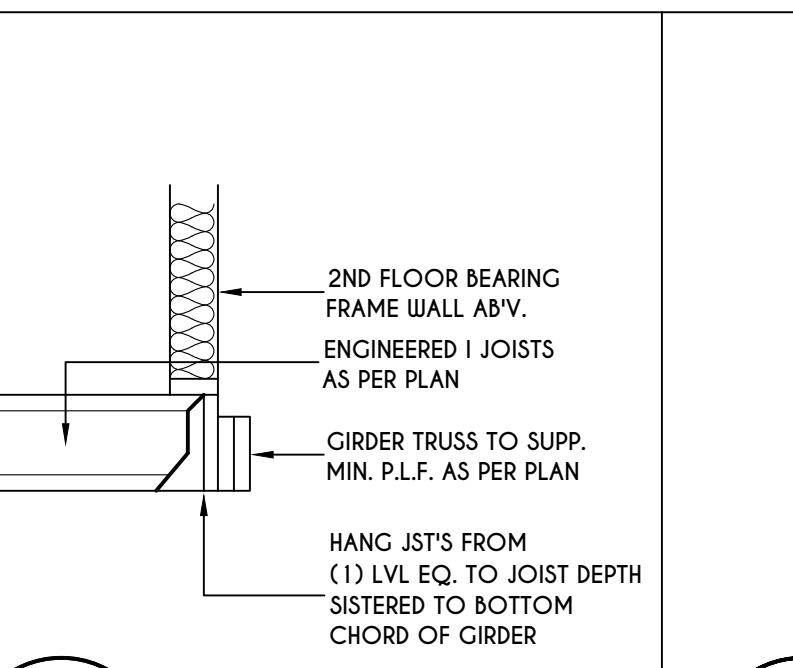
8
N-1
EXTERIOR INSULATED
3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



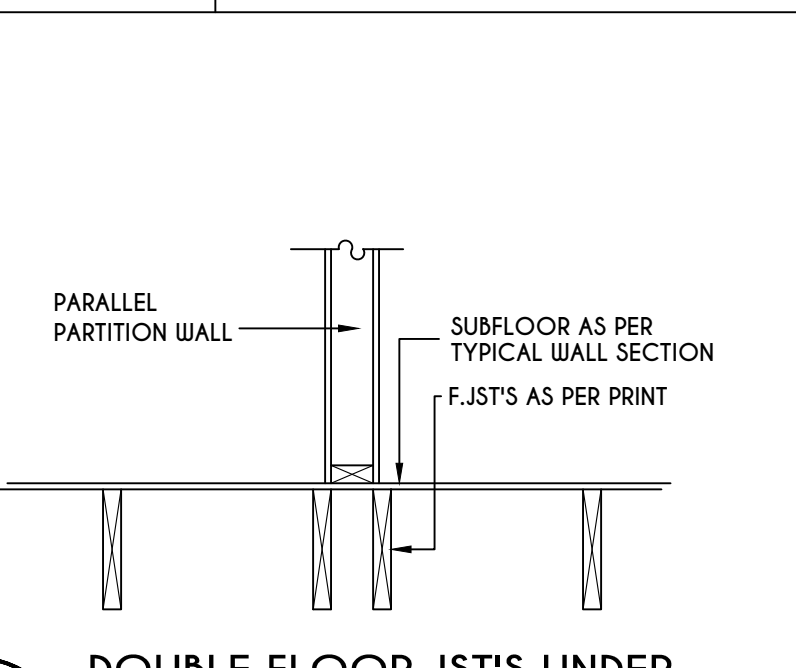
9
N-1
EXTERIOR INSULATED
2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



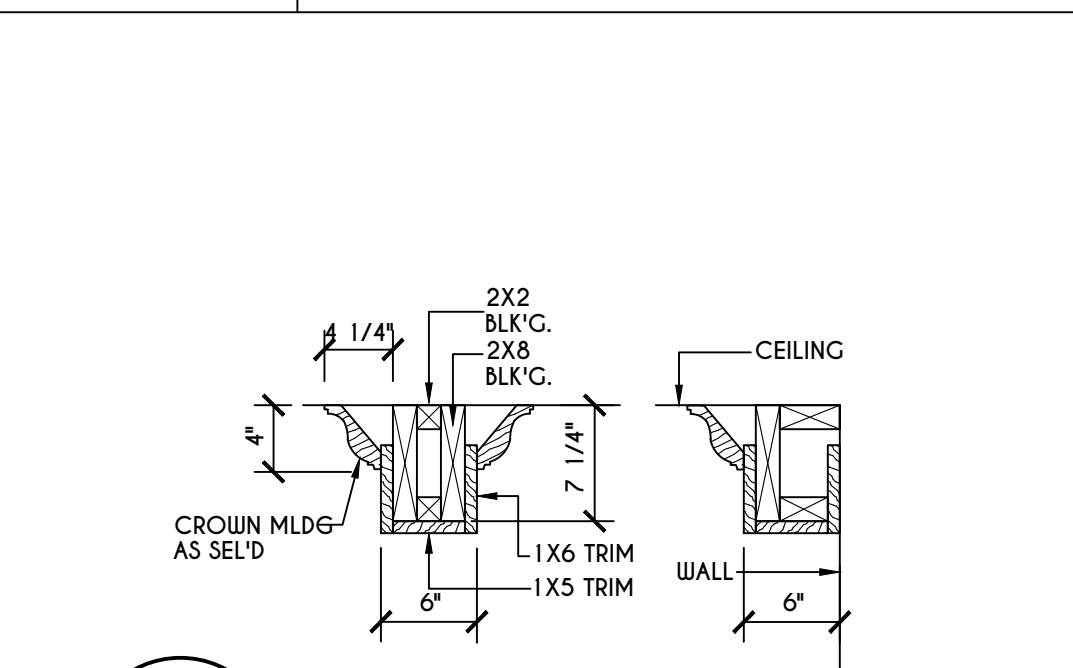
10
N-1
EXTERIOR INSULATED
2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



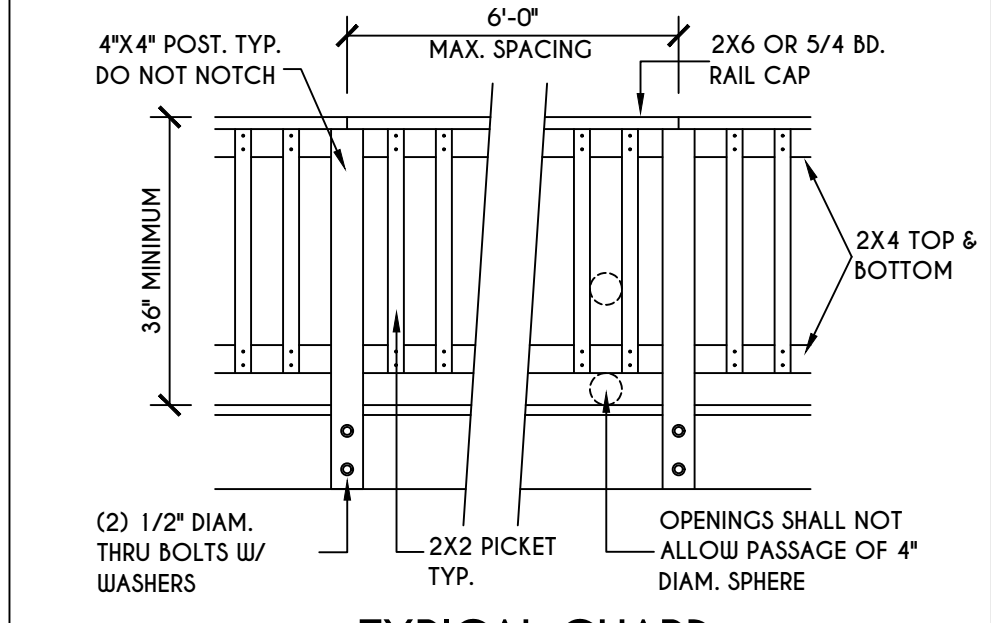
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



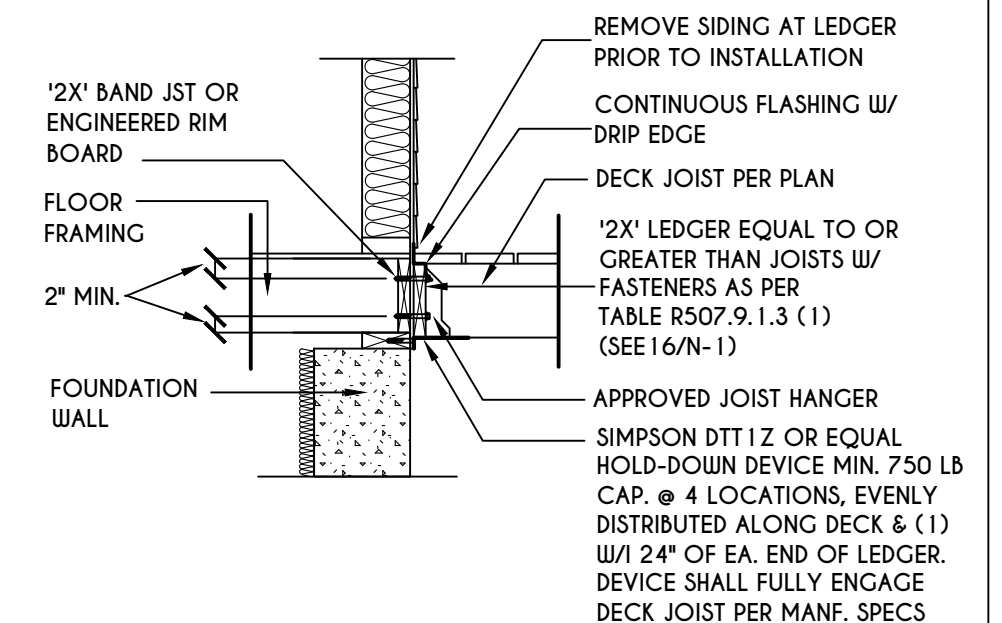
12
N-1
DOUBLE FLOOR JST'S UNDER
PARALLEL PARTITION WALL DETAIL
N.T.S.



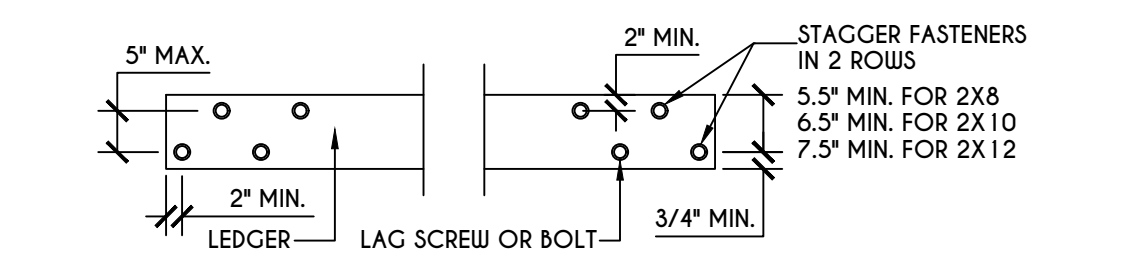
13
N-1
COFFERED BEAM DETAIL
N.T.S.



14
N-1
TYPICAL GUARD
RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



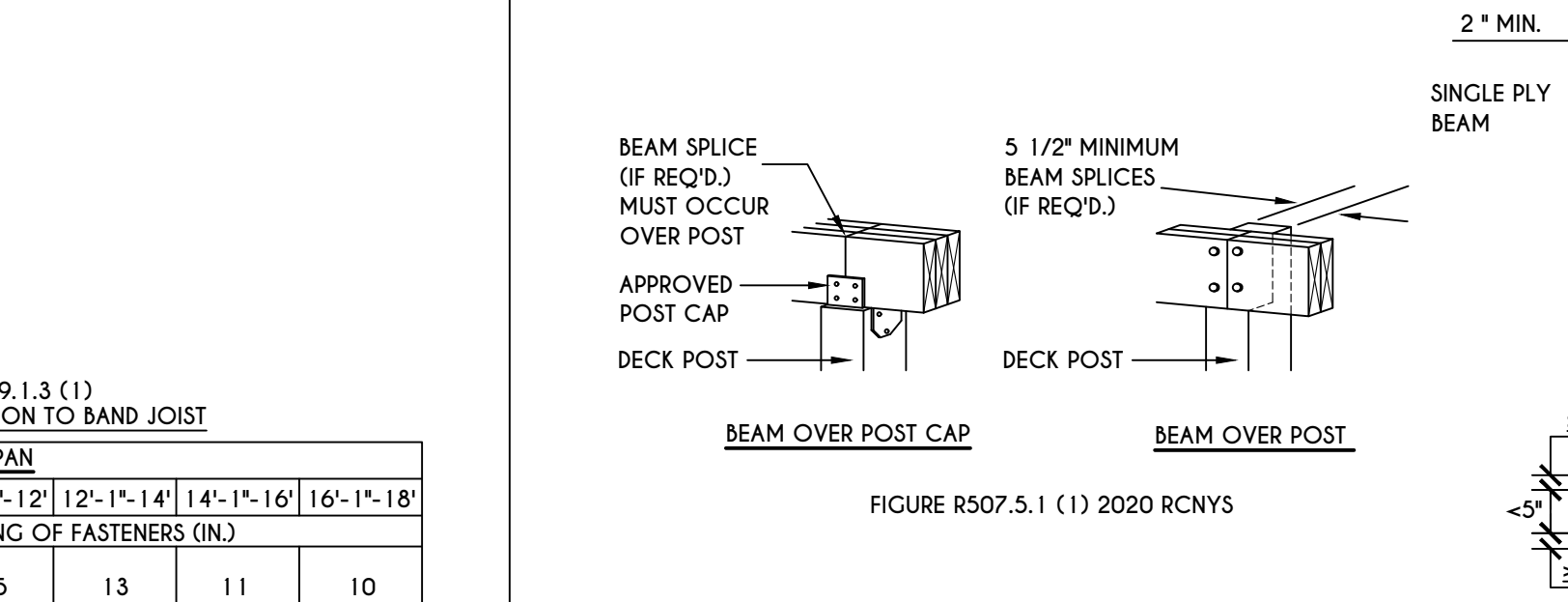
15
N-1
GENERAL ATTACHMENT OF
DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16
N-1
PLACEMENT OF LAG SCREWS
& BOLTS IN LEDGERS
SCALE: 1" = 1'-0"

TABLE R507.9.1.3 (1) OF RCNYS
N.T.S.

CONNECTION DETAILS	JOIST SPAN									
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'			
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10			
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19			
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16			

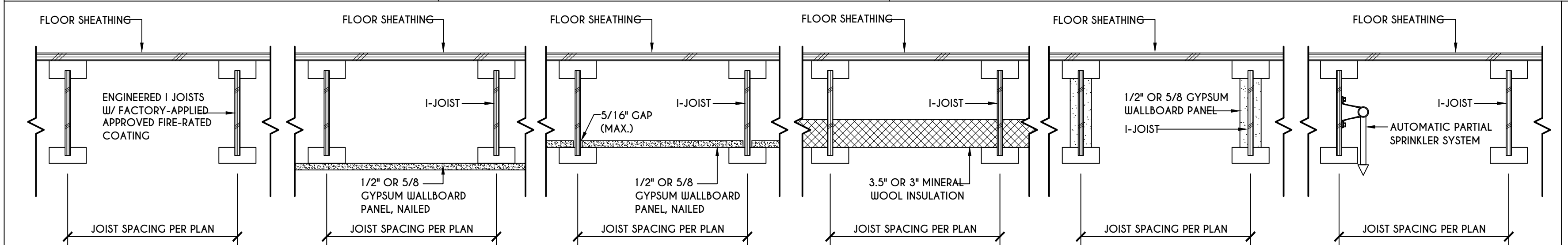


17
N-1
DECK BEAM TO DECK POST &
NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

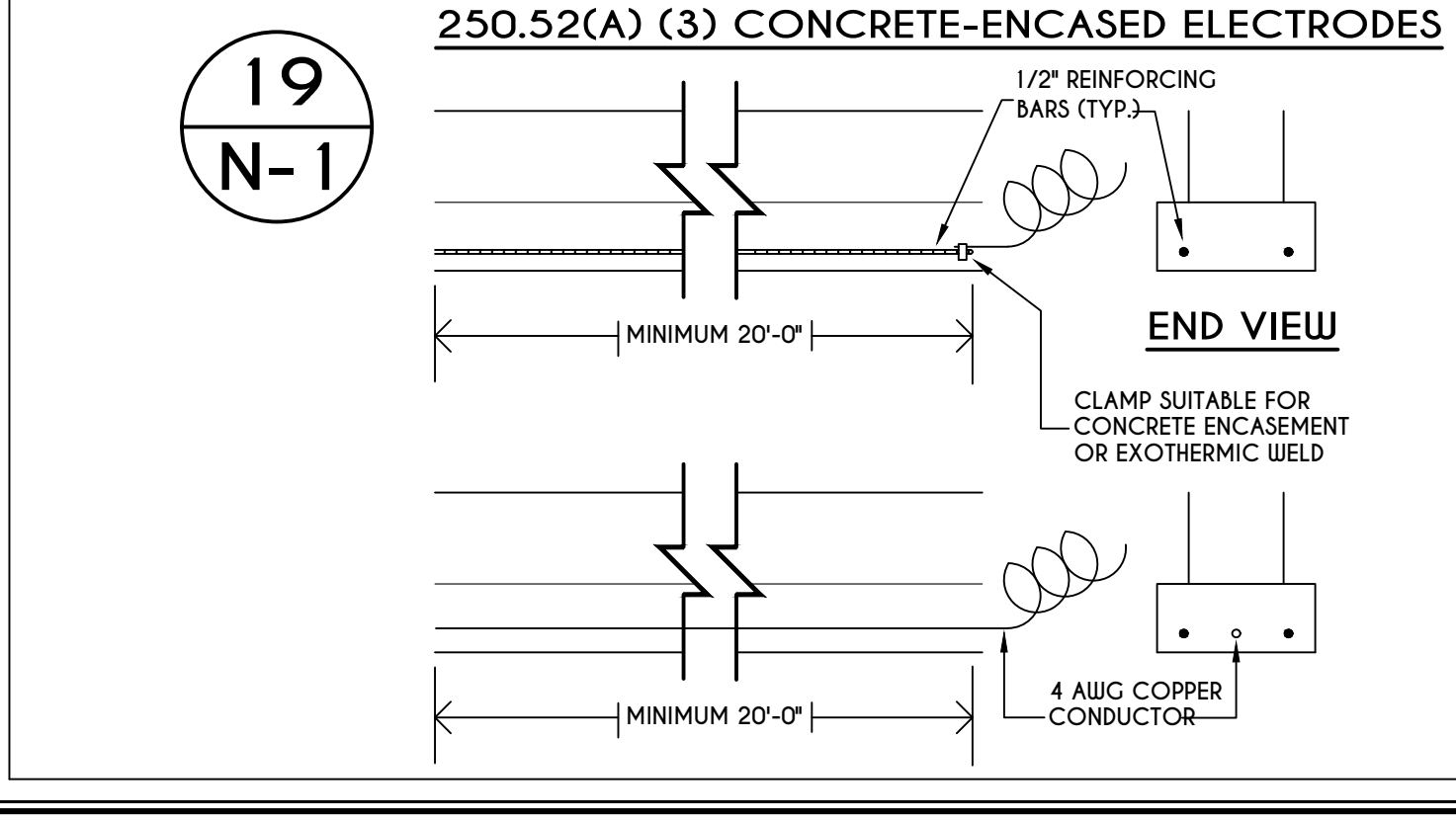
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

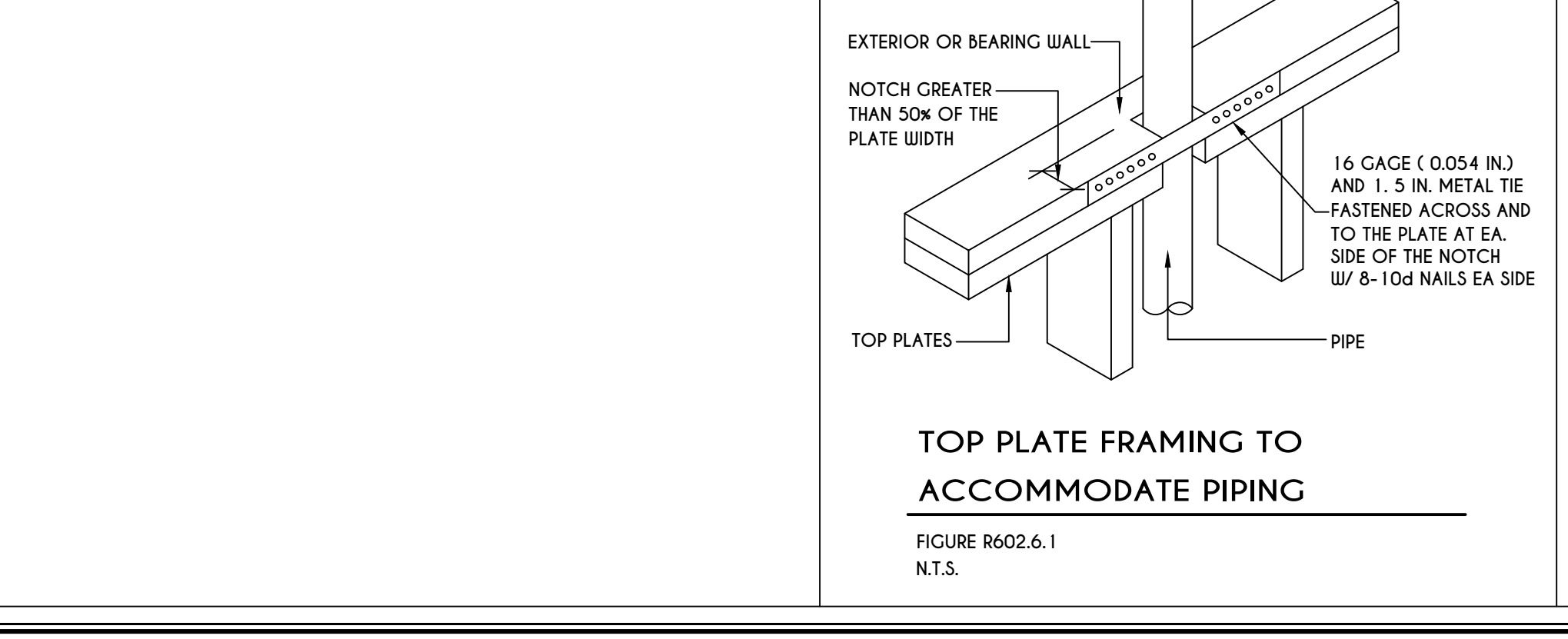
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



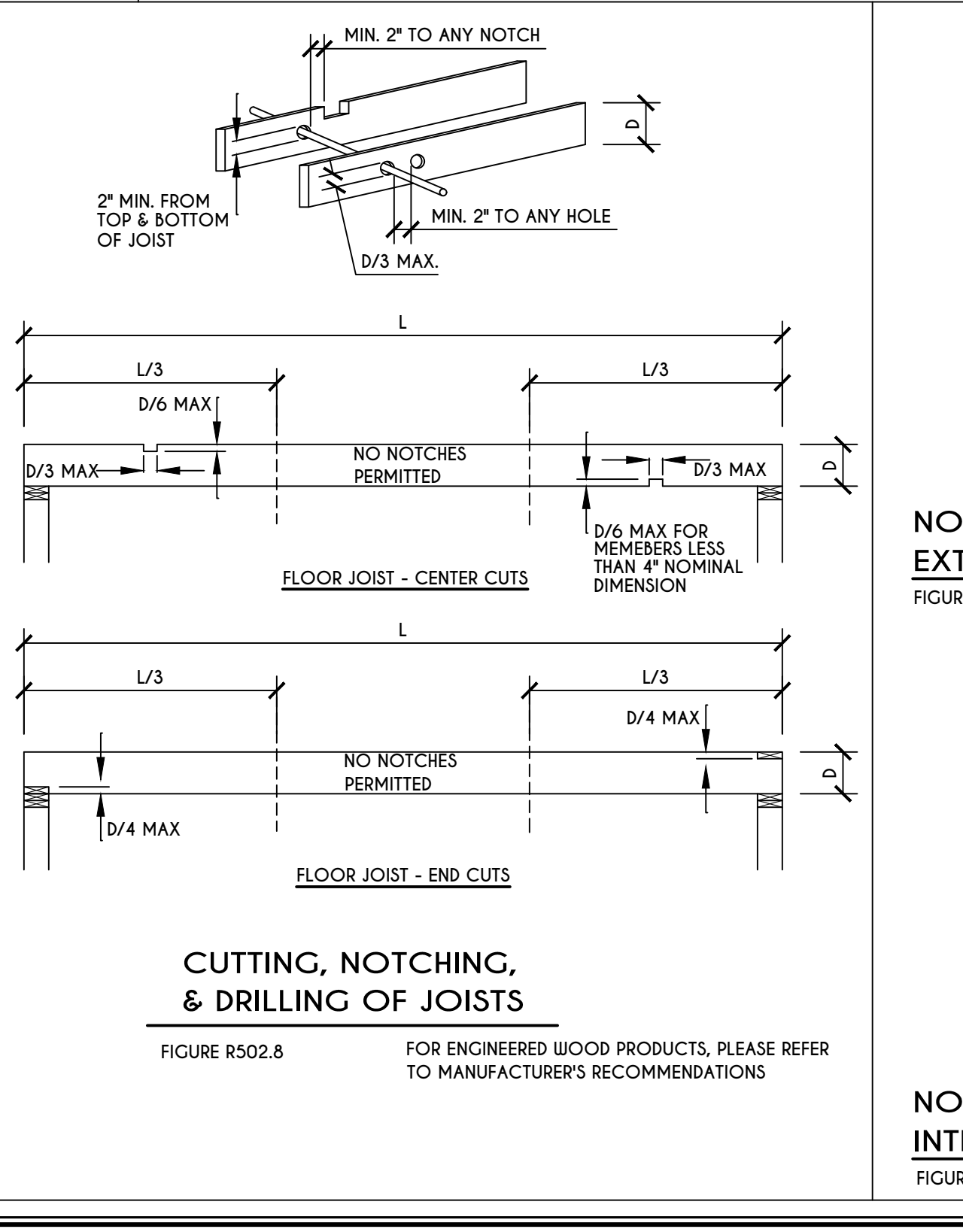
18
N-1
I-JOIST FLOOR SYSTEMS
FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



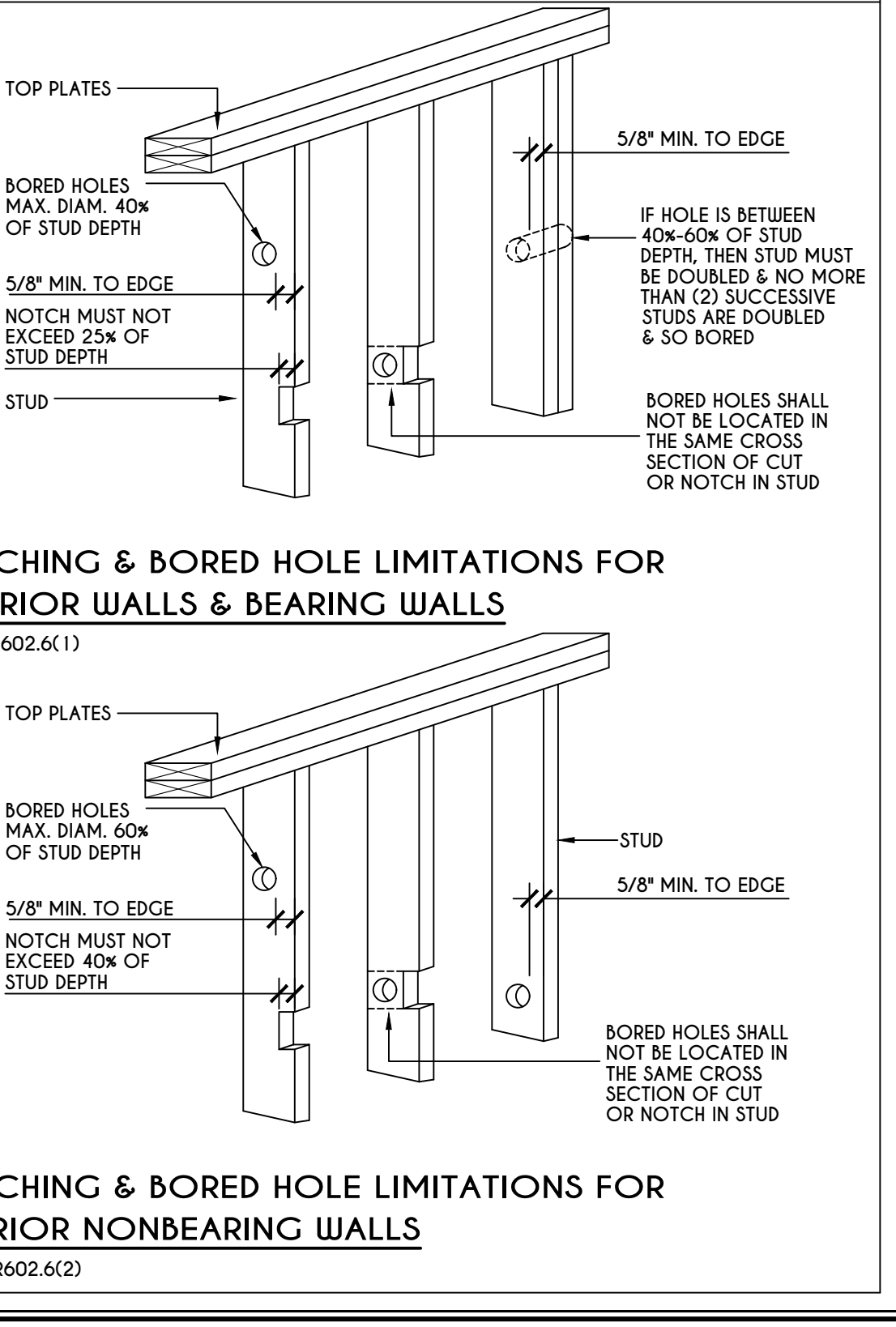
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
SCALE: 1/2" = 1'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



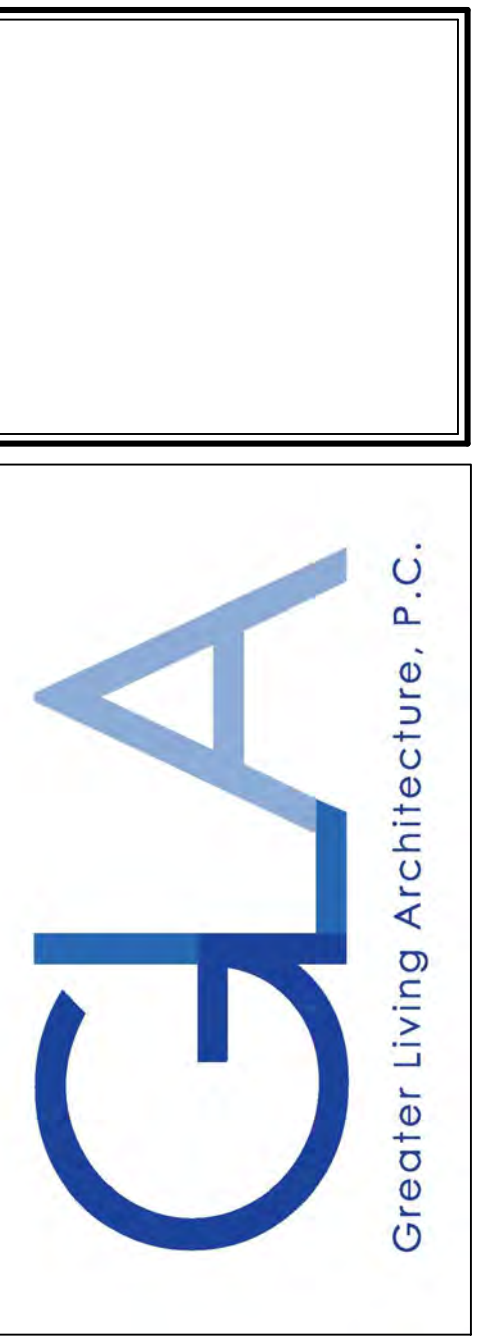
CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)

NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

DETAILS
GLA PLAN 3585

drawn: CDK	checked: AMM
scale: AS NOTED	date: 8 / 21
PROJECT: 15360E	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
 g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
 g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 8.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
 g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
 b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
 e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
 f. INTERPOLATION IS NOT PERMITTED.
 g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
 h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
 i. CONCRETE COVERS FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVERS FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 3 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
 j. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
 k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 1a.
 l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
 m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
 n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE FILLED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

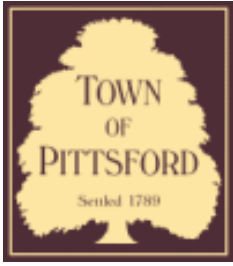
- a. WHERE



CASTLE
Real Estate







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000158

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Black Wood Circle PITTSFORD, NY 14534

Tax ID Number: 178.03-5-34

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Pride Mark Homes

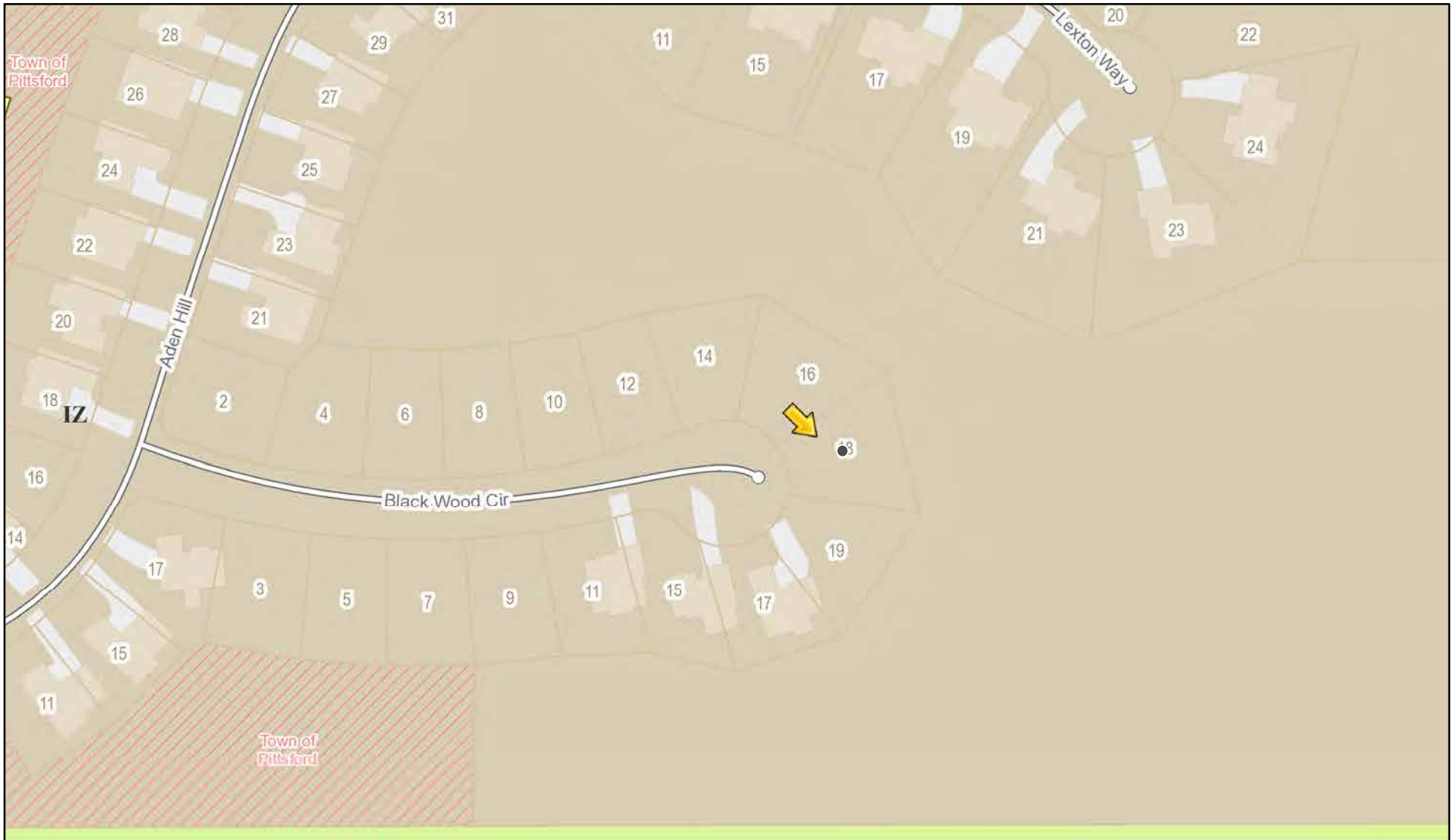
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

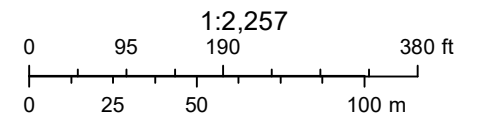
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1616 square feet and will be located in the Whilshire Hills Subdivison.

Meeting Date: August 12, 2021

RN Residential Neighborhood Zoning



Printed August 5, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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Mendon Center Road

Aden Hill

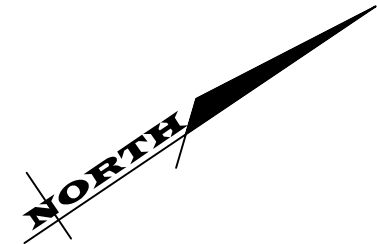
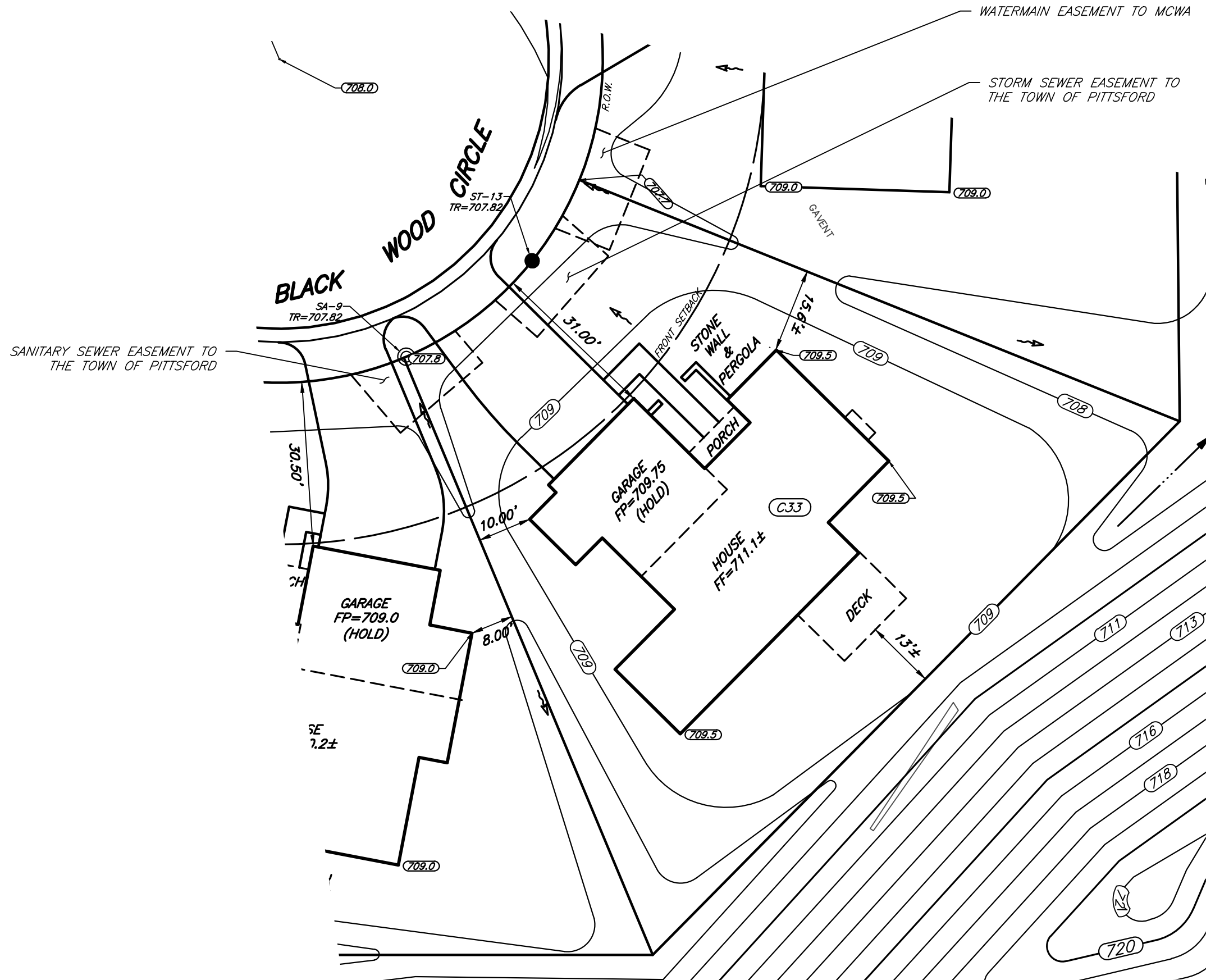
Lexton Way

Escena Rise

Lexton Way

Lexton Way

File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C33.dwg, Plot Date: 7/26/2021, By: RTIEDE



TITLE:

PLOT PLAN - LOT C33

WILSHIRE HILL - SECTION 3

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



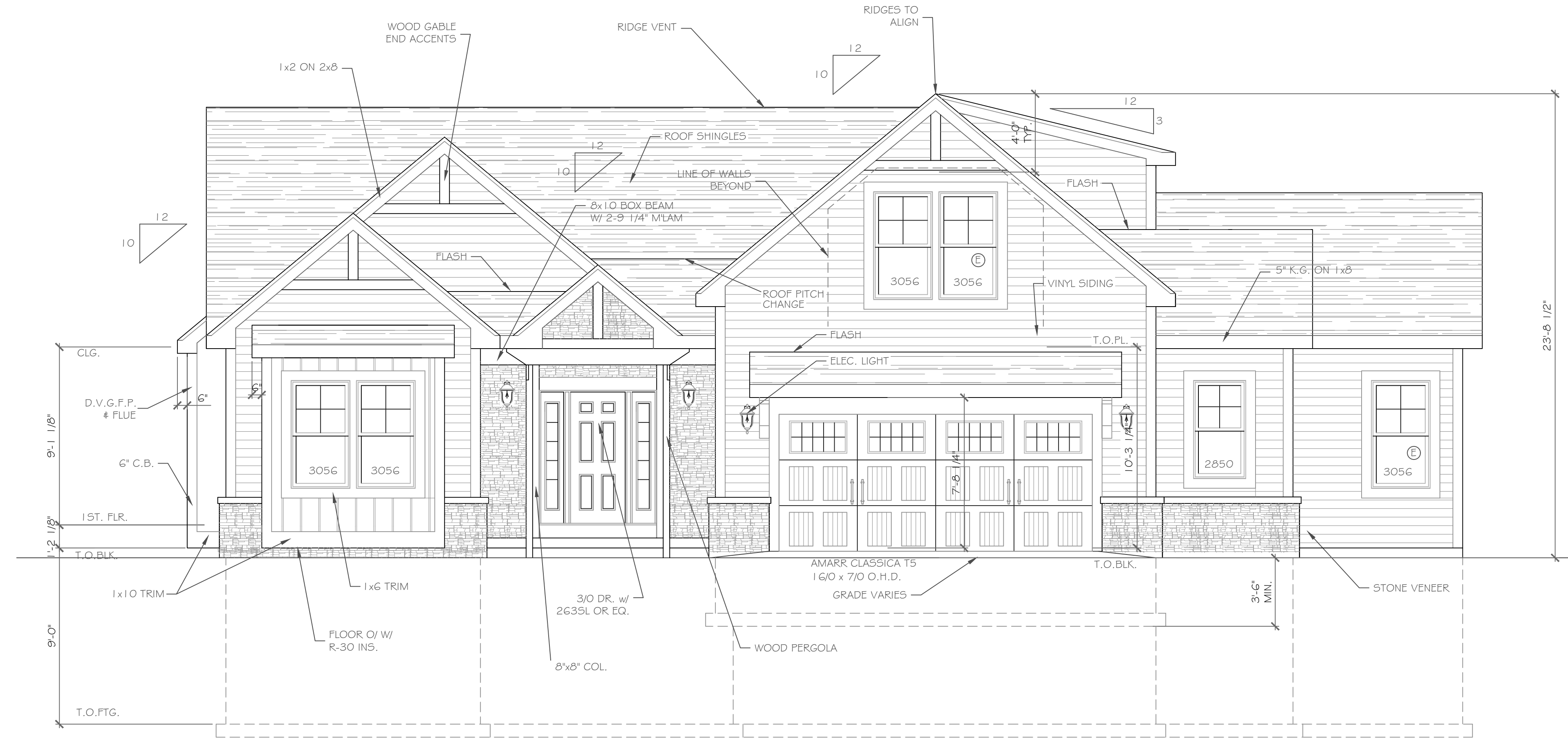
JOB NO: 0423-17
 SCALE: 1" = 20'
 DRAWN: RJT
 DESIGNED: RJT
 DATE: 7/26/21

SETBACK	REQUIRED	PROVIDED
FRONT	30'	31.00'
SIDE	7.5'	10.00'
REAR	10'	13' ±

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

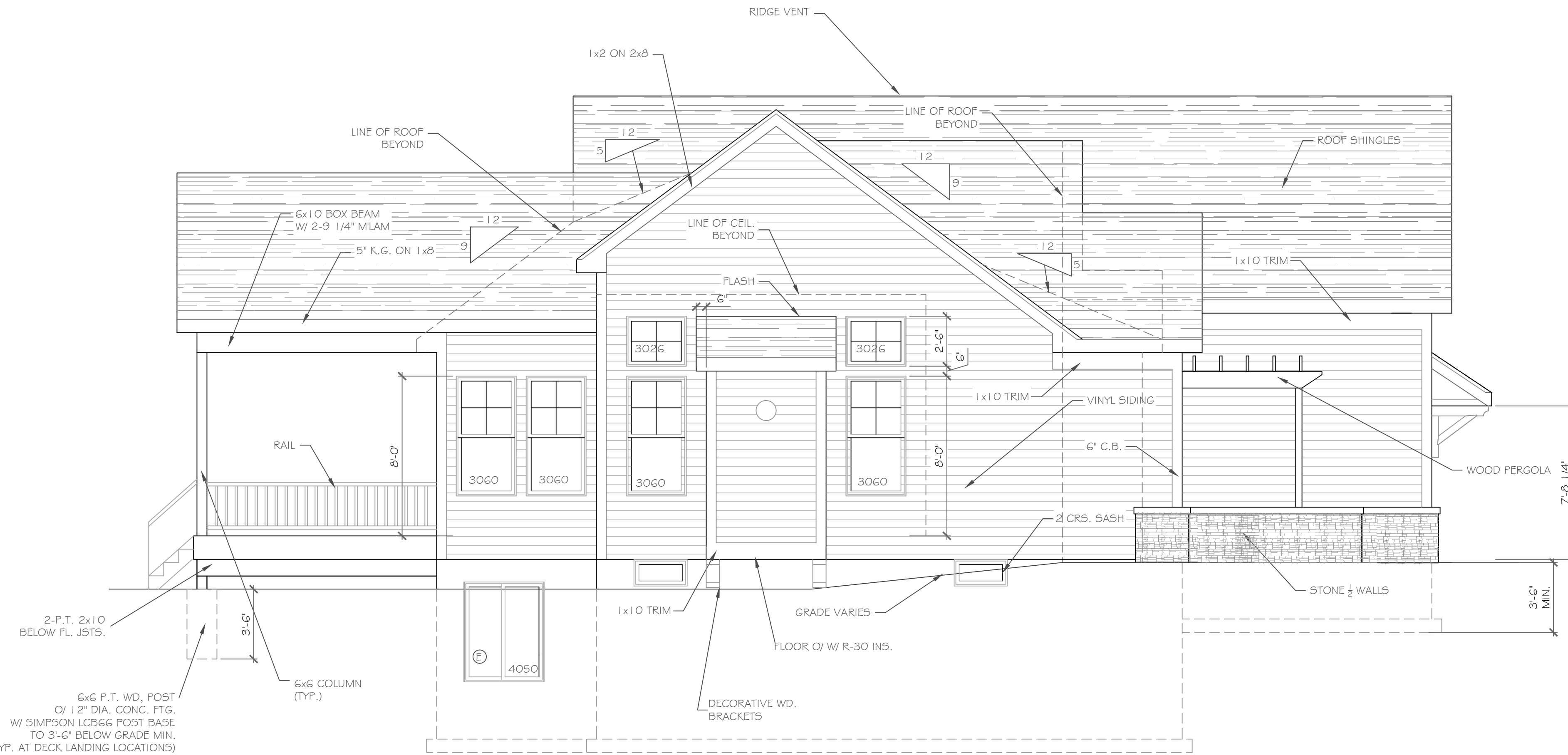
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



Front Elevation 2224 square feet

1/4" = 1'-0"

- NOTE:
- WINDOWS TO BE 'GREAT LAKES' DOUBLE-HUNG
 - DOORS TO BE 'THERMA-TRU' OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



Left Side Elevation

1/4" = 1'-0"

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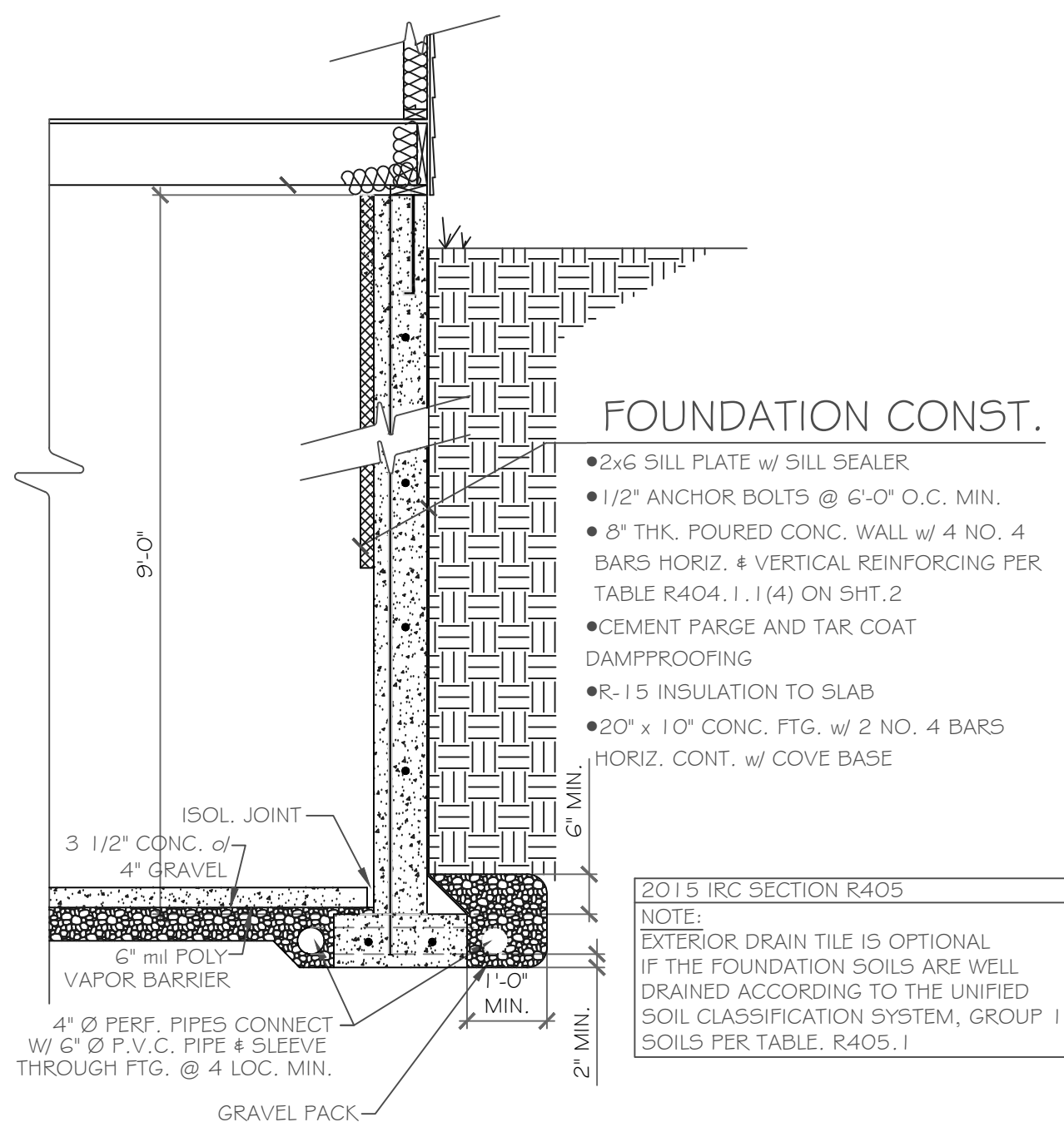
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations	PHASE- Construction Documents
	DATE- July 27, 2021

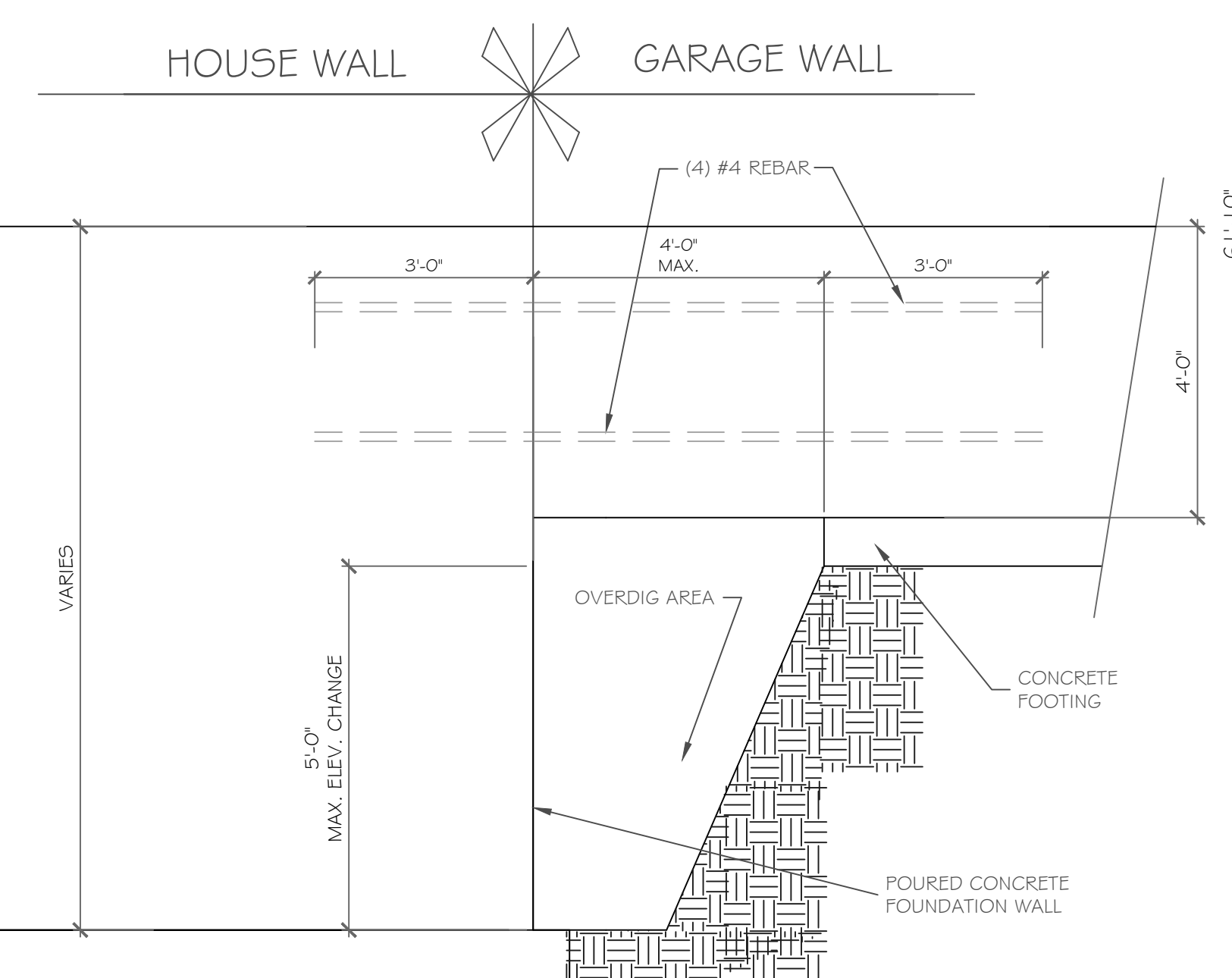
PROJECT- Lot 33C Wilshire Hill, Pittsford, N.Y.	CLIENT- Pride Mark Homes
JOB NO.- A21-047	DATE- July 27, 2021

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585)249-1334
e-mail-CKHennessey@frontiernet.net

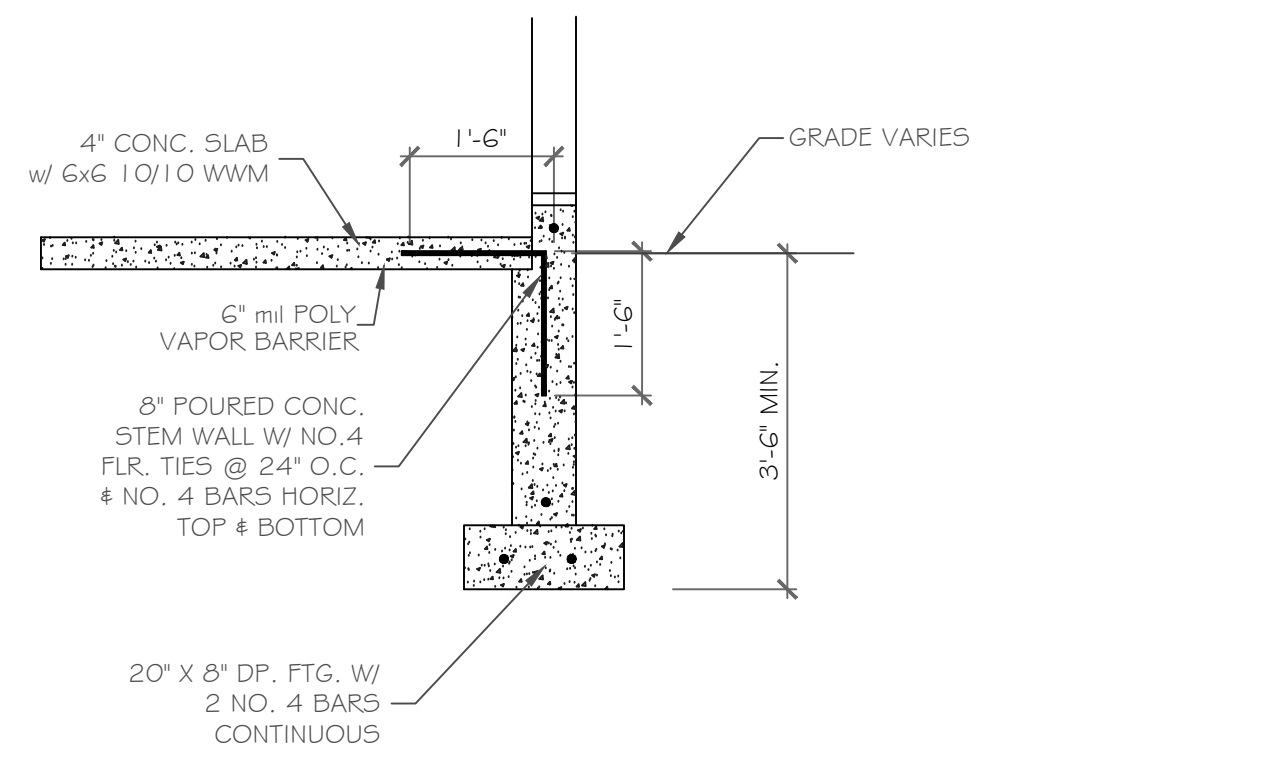
DRAWING NO.-
A-1



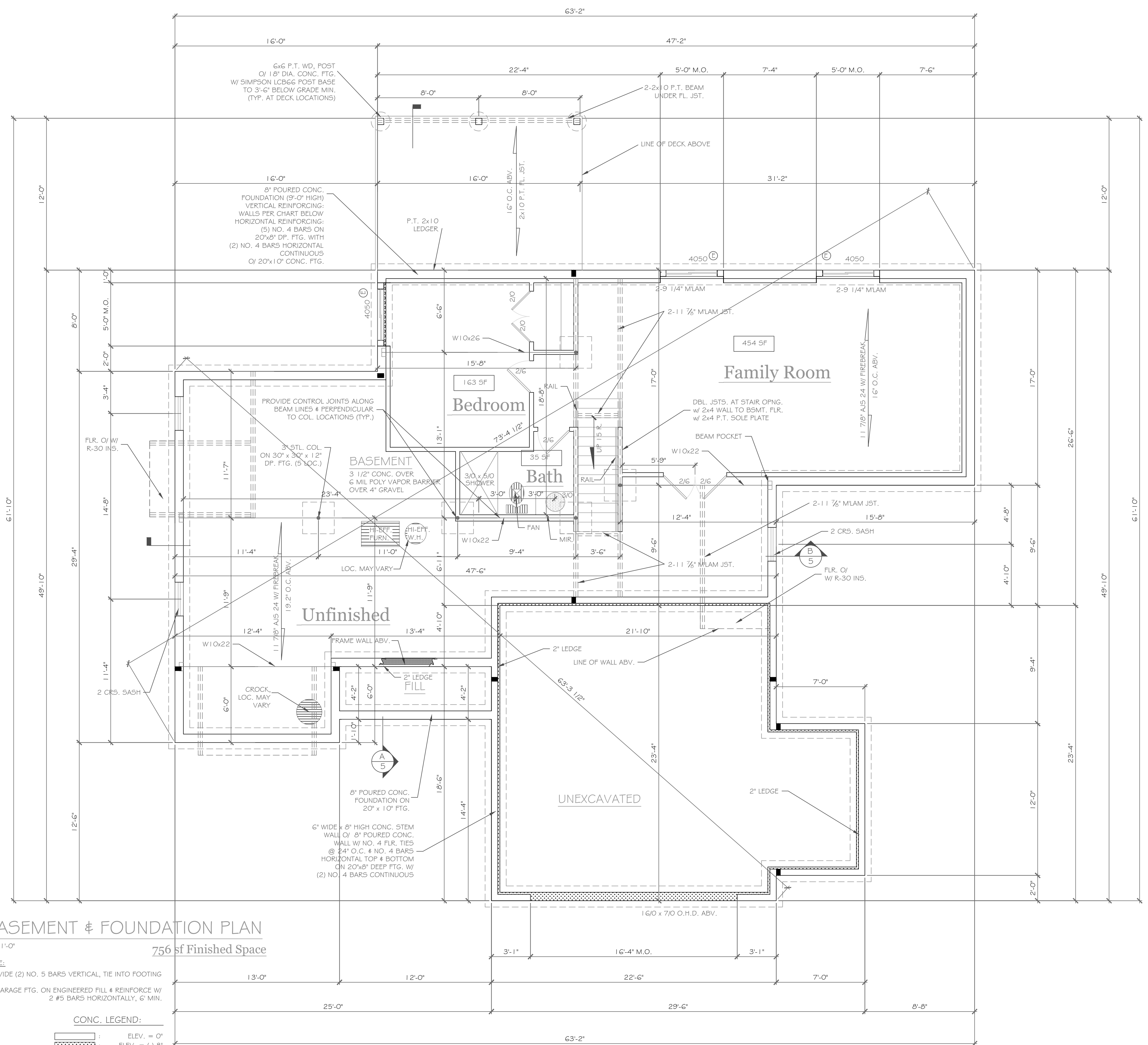
TYPICAL POURED WALL DETAILS
SCALE: 1/2" = 1'-0"



POURED WALL JUMP FOOTING DETAIL
SCALE: 1/2" = 1'-0"



GARAGE WALL DETAIL
SCALE: 1/2" = 1'-0"



BASEMENT & FOUNDATION PLAN
1/4" = 1'-0"

NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0'
[Pattern]	ELEV. = (+) 8'
[Pattern]	ELEV. = (+) 11'-4"
[Pattern]	ELEV. = (+) 7'-0"
[Pattern]	ELEV. = (-) 9'-0"

PARTIAL TABLE R404.1.2(5)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n,o)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (INCHES)			
		Soil classes (a) & design lateral soil (psf per foot of depth)			
		GW, GP, SW and SP 30 soils	GM, GC, SM, SM-SC and ML 45 soils	SH, ML-CL and inorganic CL GD soils	
9	4	NR	NR (R)	NR	
	5	NR	NR (I)	NR	#6 at 39" o.c.
	6	NR	NR	NR	#6 at 38" o.c.
	7	NR	#5 at 37" o.c.	#6 at 37" o.c.	#6 at 29" o.c.
	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 30" o.c.	#6 at 23" o.c.

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(9).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
n. See Table R608.3 for tolerance from nominal thickness permitted for flat walls.
o. The use of this Table shall be prohibited for soil classifications not shown.

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REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT: Lot 33C Wilshire Hill, Pittsford, N.Y.
CLIENT: Pride Mark Homes

DRAWING TITLE: Basement & Foundation Plan

PHASE: Construction Documents

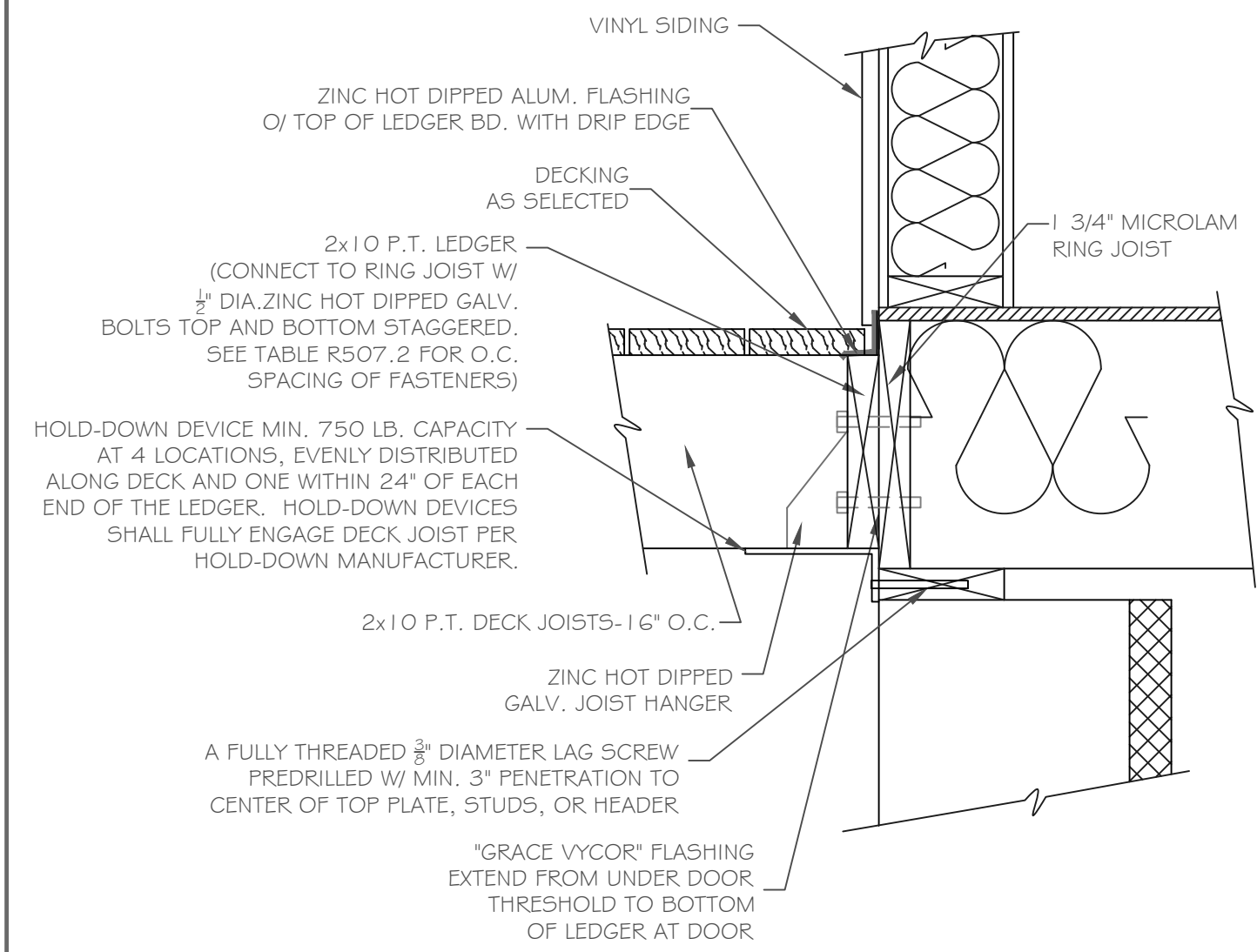
PROJECT: Lot 33C Wilshire Hill, Pittsford, N.Y.
CLIENT: Pride Mark Homes

DATE: July 27, 2021

JOB NO.: A21-047

CKH architecture
1301 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHessie@frontier.net

DRAWING NO.: A-2

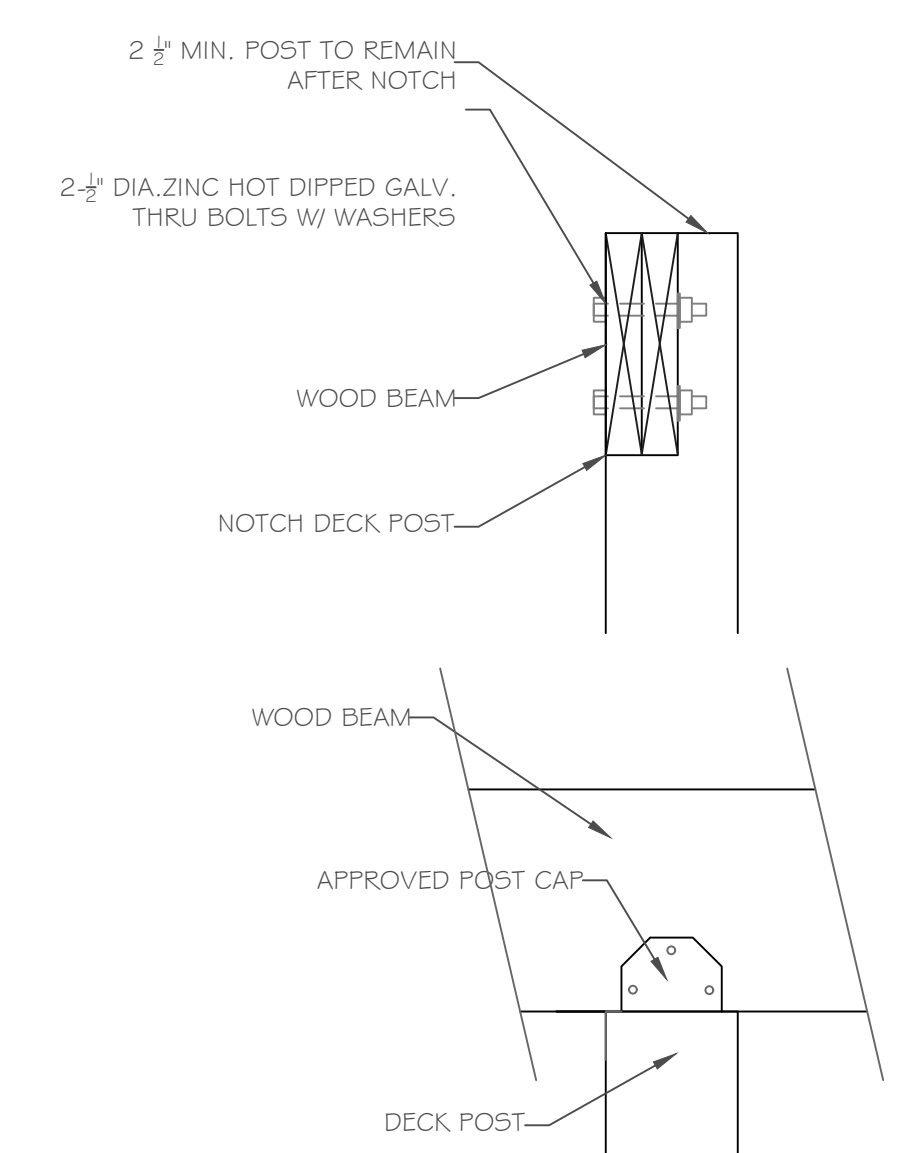


DECK CONNECTION TO DWELLING

SCALE: 1 1/2" = 1'-0"

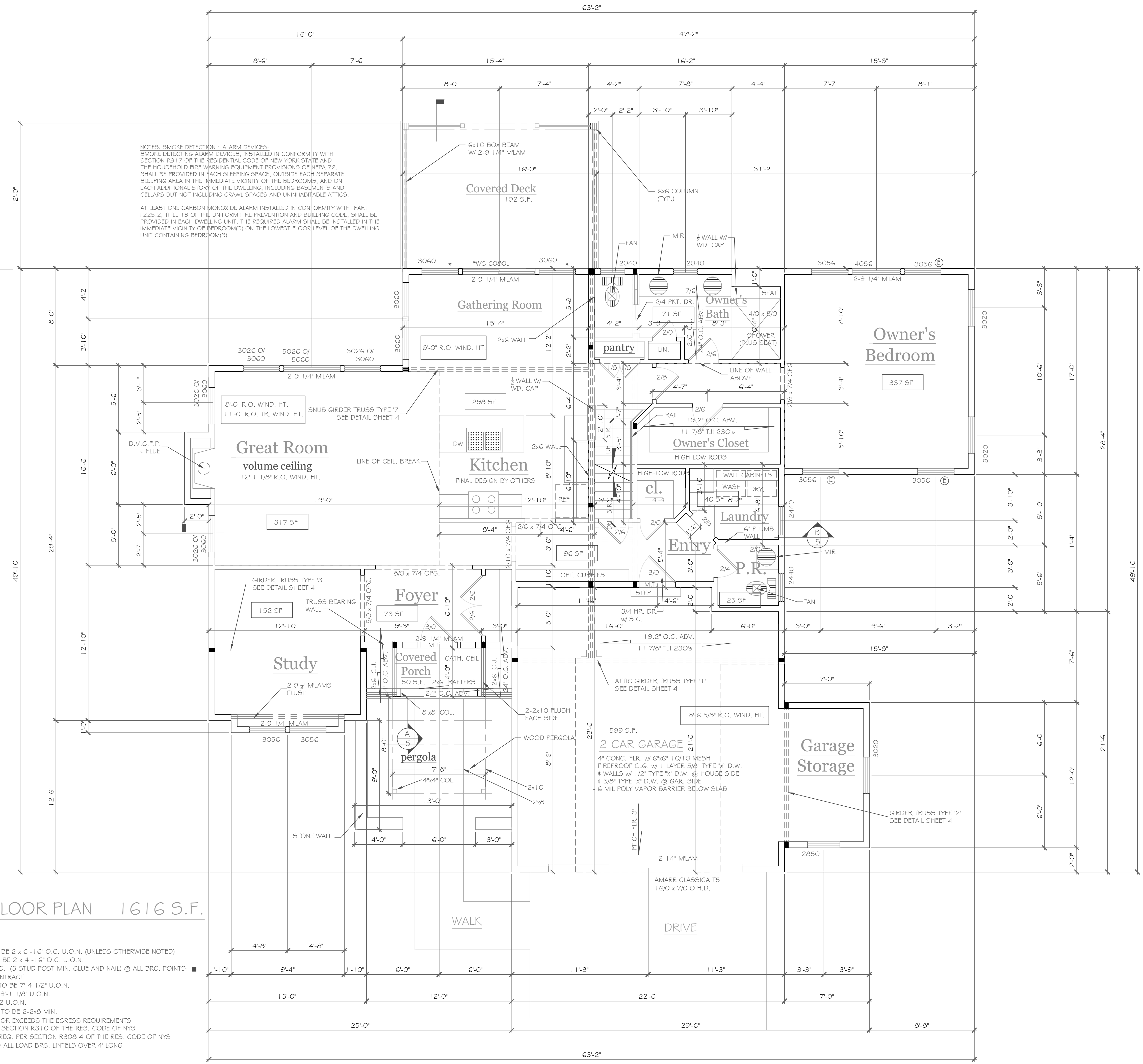
NOTE:
THE MIN. DISTANCE FROM BOTTOM ROW
OF LAG SCREWS OR BOLTS TO THE EDGE
OF THE LEDGER SHALL BE IN ACCORDANCE
WITH FIGURE R507.2.1 IN THE 2015 IRC

NOTE: DECK BEAMS SHALL BE ATTACHED TO DECK POSTS
IN ACCORDANCE WITH R507.7.1 OF THE 2015 IRC



DECK BEAM TO DECK POST DETAIL

SCALE: 1 1/2" = 1'-0"



FIRST FLOOR PLAN 1616 S.F.

1/4" = 1'-0"
NOTES:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
ANGLES TO BE 12/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
Ⓢ: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plan

PHASE:
Construction Documents

PROJECT:
**Lot 33C
Wilshire Hill, Pittsford, N.Y.**

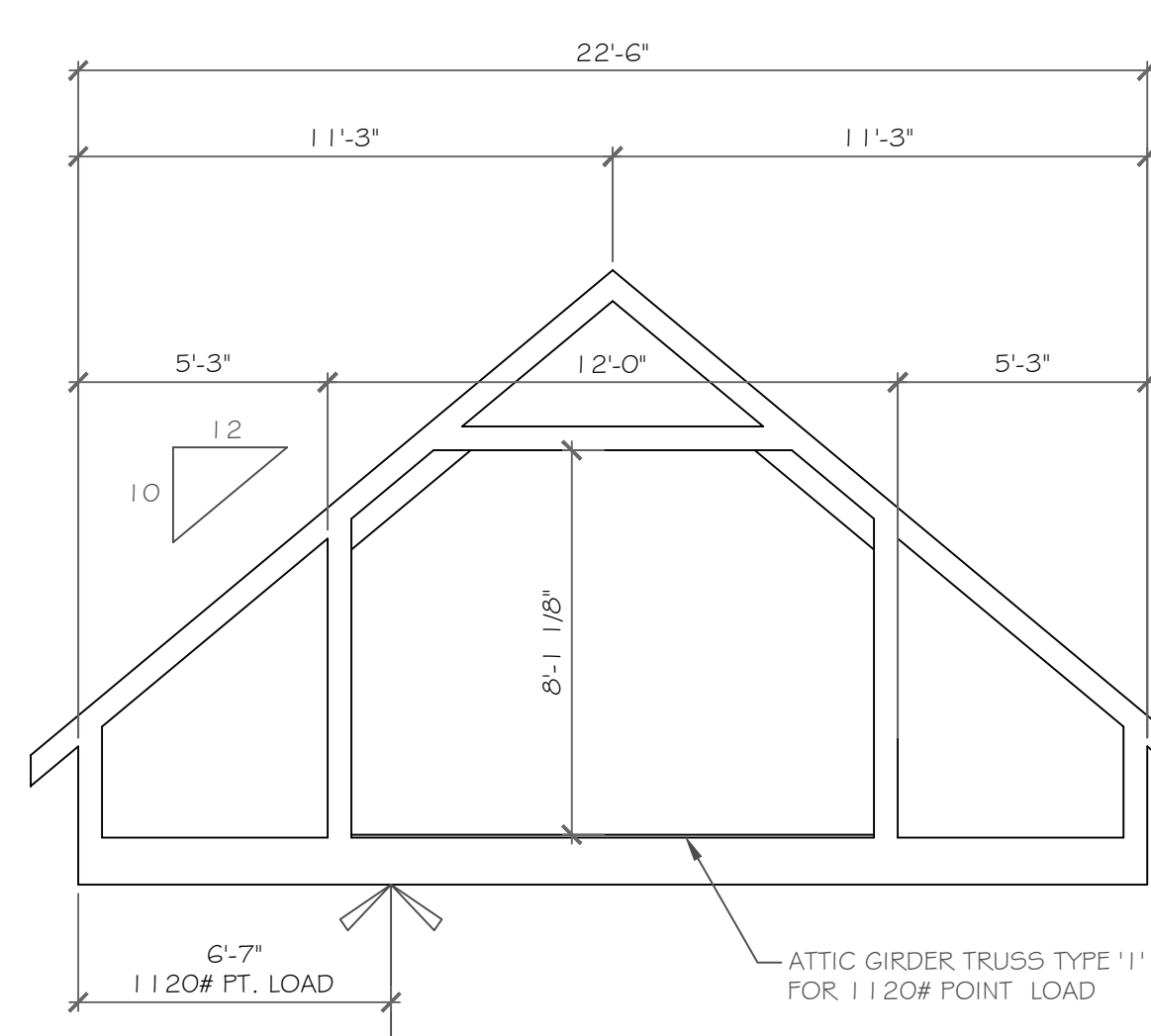
CLIENT:
Pride Mark Homes

JOB NO.:
A21-047

DATE:
July 27, 2021

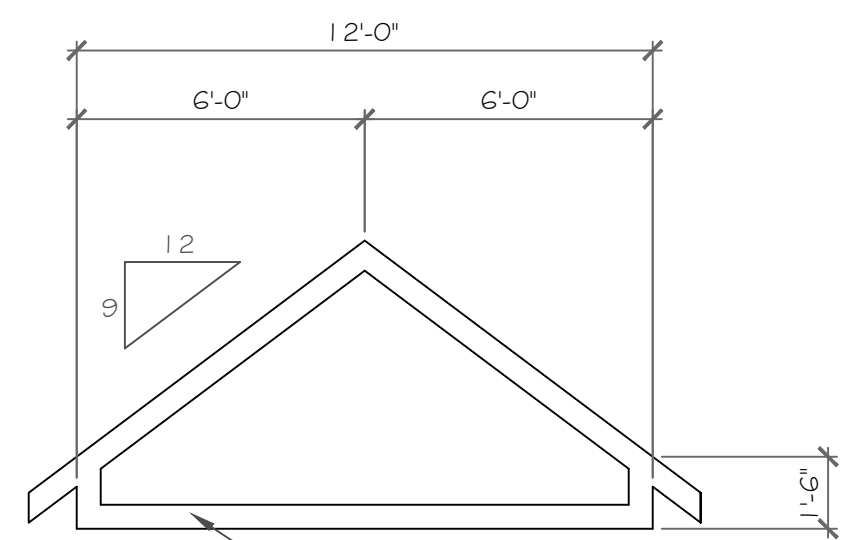
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
A-3



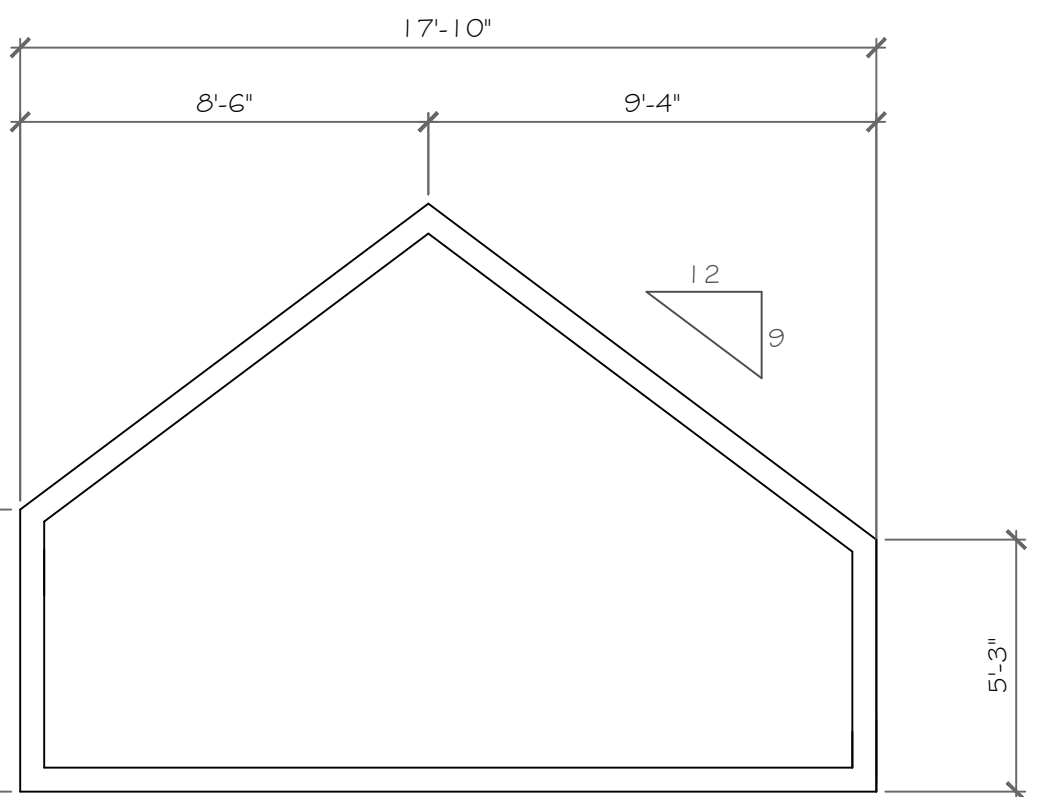
ATTIC TRUSS '1' DIAGRAM

1/4" = 1'-0"



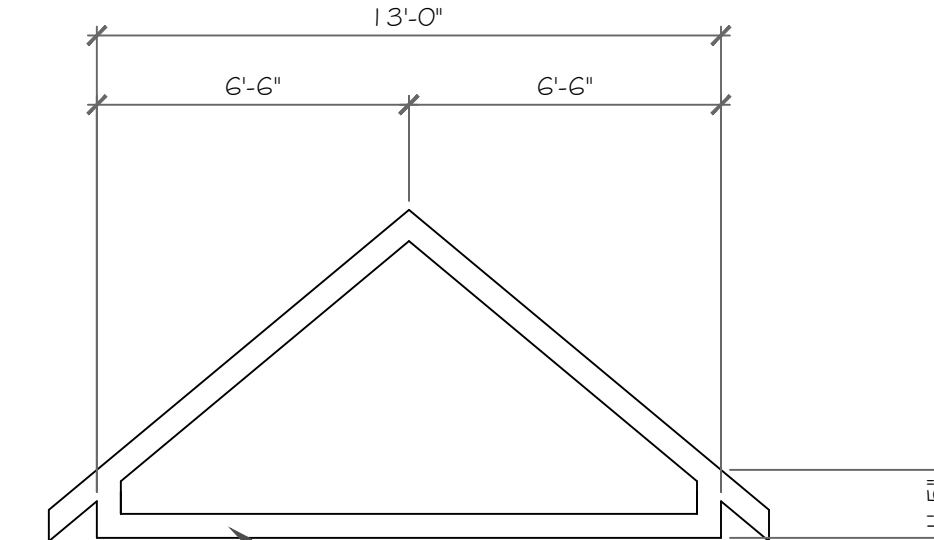
TRUSS '2' DIAGRAM

1/4" = 1'-0"



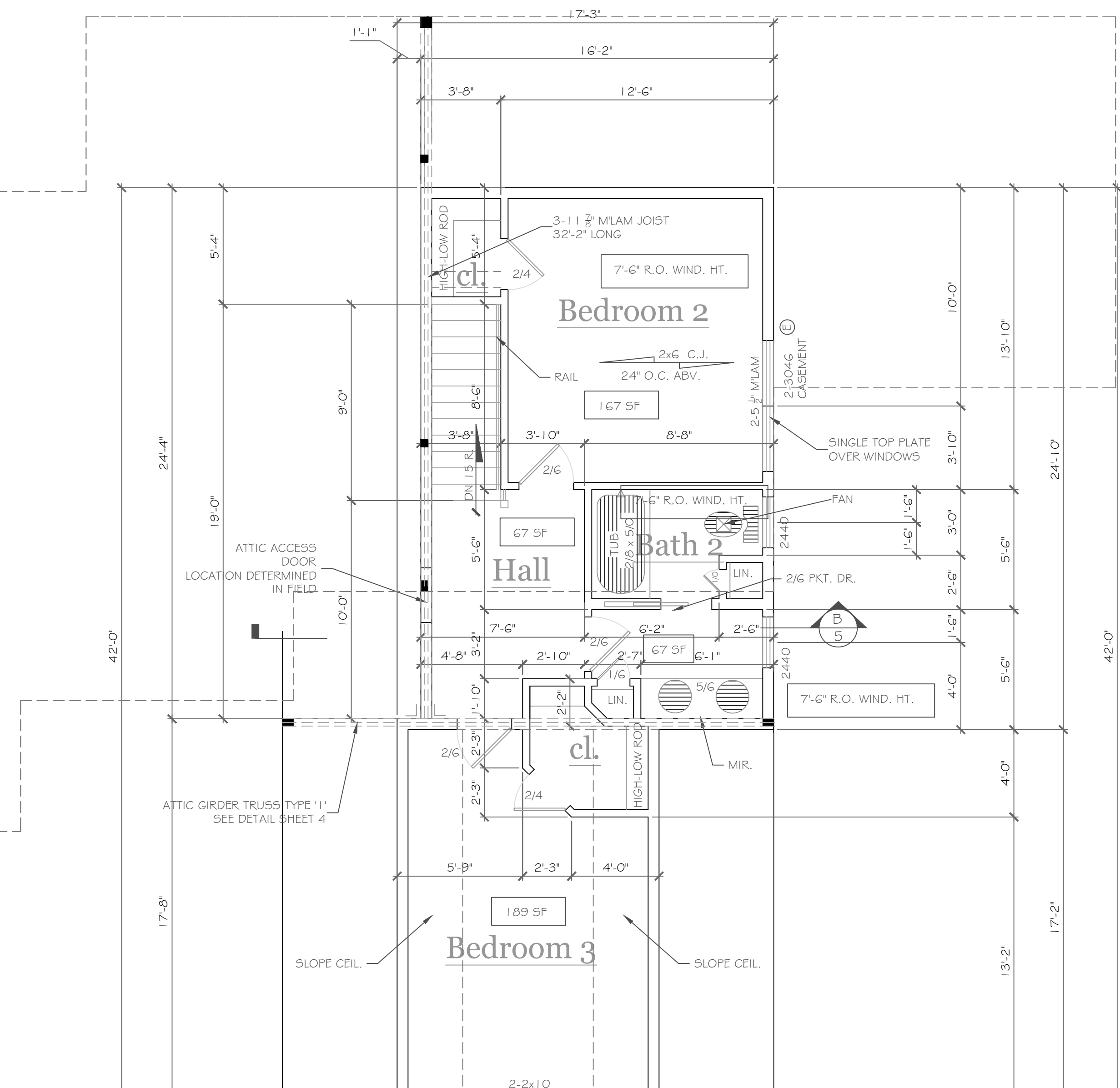
TRUSS '6' DIAGRAM

1/4" = 1'-0"



TRUSS '3' DIAGRAM

1/4" = 1'-0"



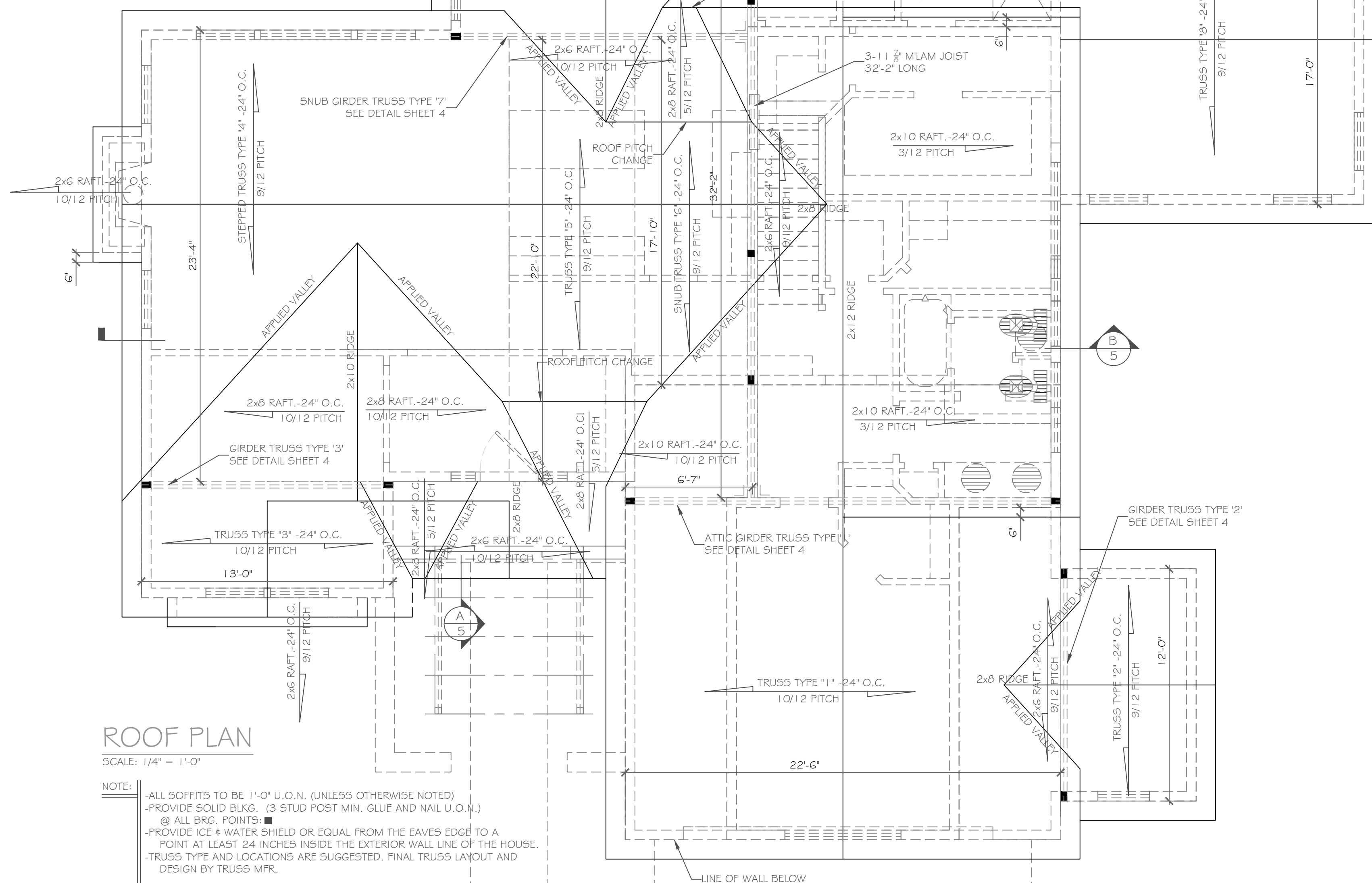
SECOND FLOOR PLAN 608 S.F.

1/4" = 1'-0"

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 6'-10 1/2" U.O.N.
- CEILING HTS. TO BE 8'-1 1/8" U.O.N.
- ANGLES TO BE 12/12 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
- ⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * SAFETY GLASS REQ. PER SECTION R309.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

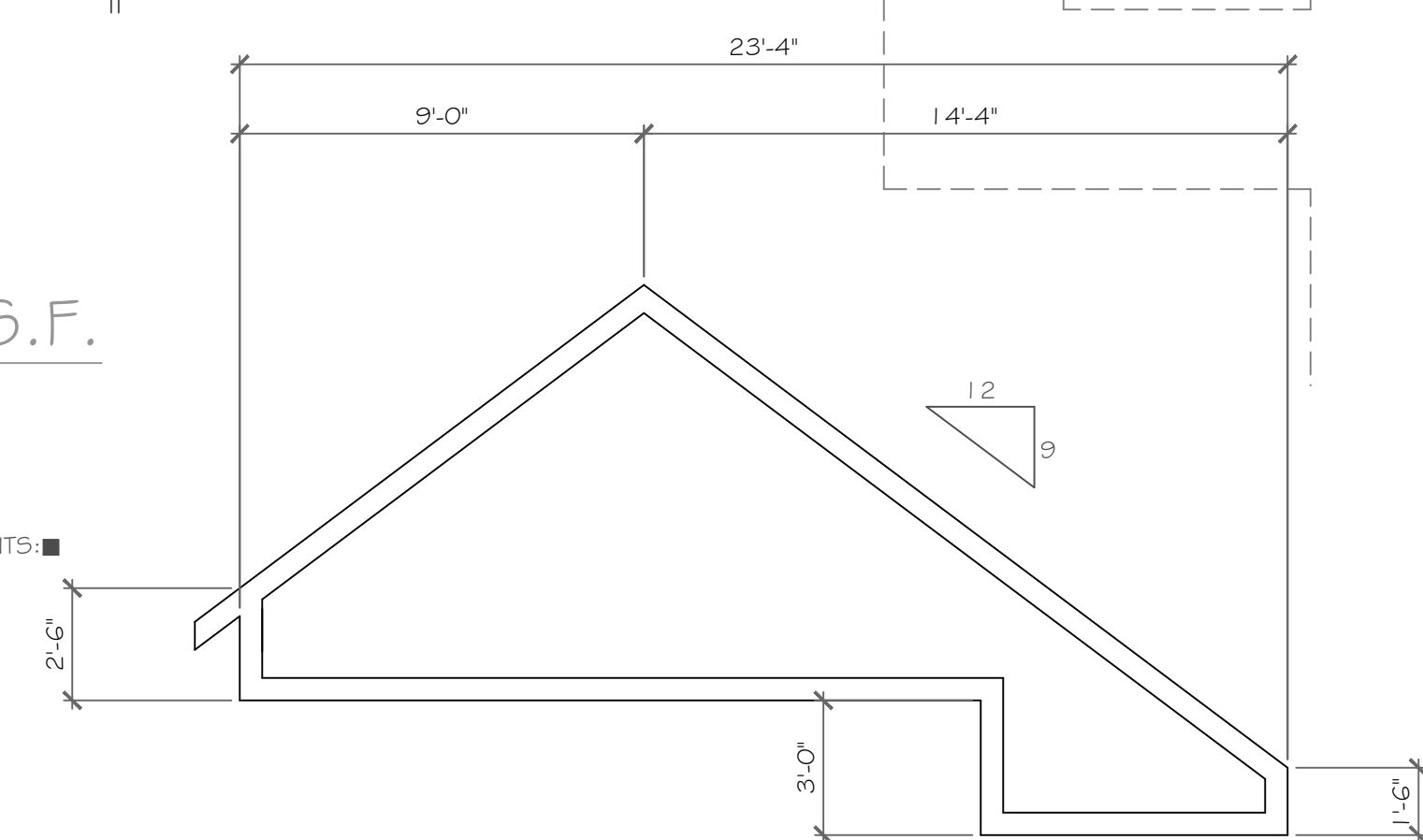
NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).



ROOF PLAN

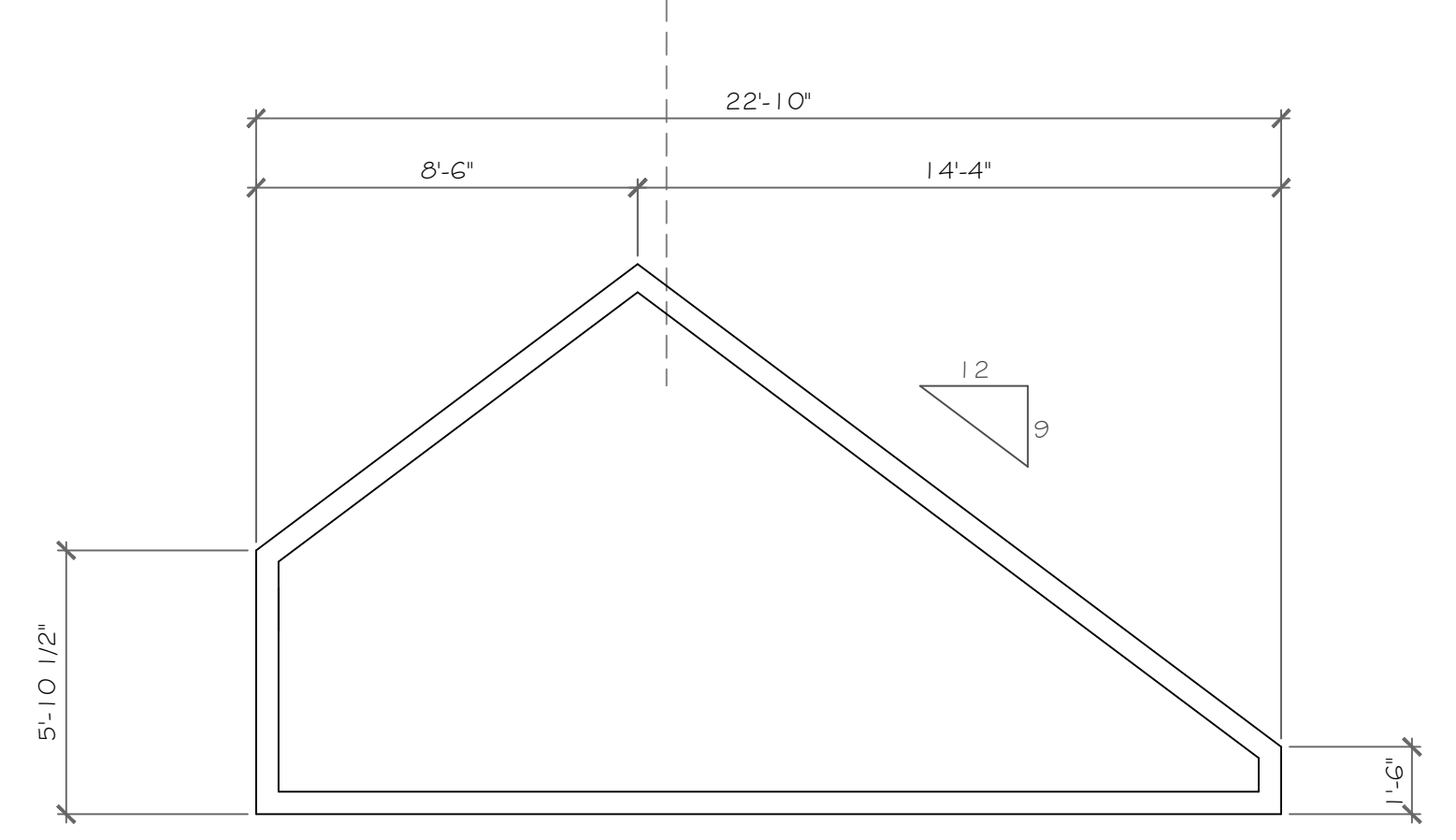
SCALE: 1/4" = 1'-0"

- NOTE: ALL SOFFITS TO BE 1'-0" U.O.N. (UNLESS OTHERWISE NOTED)
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS
- PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.
- TRUSS TYPE AND LOCATIONS ARE SUGGESTED, FINAL TRUSS LAYOUT AND DESIGN BY TRUSS MFR.



STEPPED TRUSS '4' DIAGRAM

1/4" = 1'-0"



TRUSS '5' DIAGRAM

1/4" = 1'-0"

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NO.	DATE	DESCRIPTION

DRAWING TITLE:
Second Floor Plan & Roof Plan

PROJECT:
**Lot 33C
Wilshire Hill, Pittsford, N.Y.**

CLIENT:
Pride Mark Homes

JOB NO.:
A21-047

DATE:
July 27, 2021

PHASE:
Construction Documents

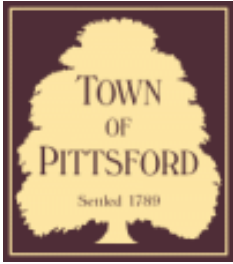
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO.:
A-4









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000010

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3030-3070 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-64.11

Zoning District: C Commercial

Owner: Oak Hill Commons LLC

Applicant: Ulrich Sign Company Inc.

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

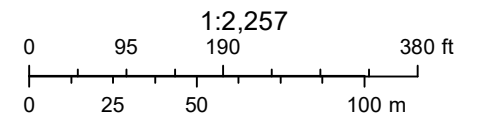
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 15.92 square feet and will identify the "Burd Physical Therapy" business.

Meeting Date: August 12, 2021

RN Residential Neighborhood Zoning



Printed August 5, 2021



Town of Pittsford GIS

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3000

3030-3070

Monroe Avenue

3001

3035





Ulrich Sign

177 Oakhurst Street
Lockport, New York 14094
Phone: (716) 434-0167
Fax: (716) 434-0226

Client:
Burd Physical Therapy

Project Location:
3070 Monroe Avenue
Rochester, NY 14618

Date: 6-23-21 **Revision Date:** -

Sales Representative:
CM

Designer:
Rob J.

Filename:
Burd Physical Therapy Monroe Avenue

Colors:
3M Intense Blue Translucent
Black trim cap & returns
PMS 7535C Beige raceway paint

Due to differences in monitors, software and printers, the colors depicted in this layout may vary from final product.

Description:
Raceway-mounted channel letters
LED Illumination



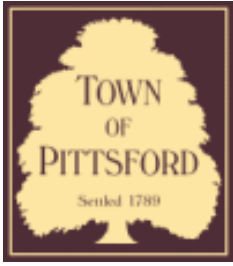
UL Inspected and labeled in accordance with UL standard #48 for electric signs installed, using UL listed parts and methods of installation in accordance with the National Electric Code.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

THIS DESIGN PROPOSAL IS THE EXPRESS PROPERTY OF ULRICH SIGN CO. UNTIL APPROVED & ACCEPTED THROUGH PURCHASE BY NAMED CLIENT.

Raceway-Mounted Channel Letters

APPROVED BY: _____ DATE: _____



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000009

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 959 Panorama Trail S S ROCHESTER, NY 14625

Tax ID Number: 139.13-1-1.3

Zoning District: C-2 Commercial

Owner: Panorama Landing LLC

Applicant: Image360 DBA Signs Now of Rochester Inc.

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 16 square feet and will identify the "Cerion Nanomaterials" business.

Meeting Date: August 12, 2021



Qty.(1) Dimensional Aluminum Pan Sign Installed

48"

45"



2" Deep Reverse Aluminum Pan
Painted White
Flush Mounted to Brick Building

(cerion & nanomaterials)
1/2" Black Acrylic
Printed Decals w/Gloss Laminate
Applied to Surfaces
Flush/Stud Mounted to Alum Pan
14"x41"

(Gray Dots & Custom Design...)
Printed Decals w/Gloss Laminate
Applied Directly to Alum Pan
8"x40"

- PANTONE 158C
- C0,M0,Y0,K60

Company: Cerion
Estimate:
Prepared by: Justin O'Brien
Salesperson: Deborah Herb
Date: 06/09/2021
Revision #: 0

Please examine proof carefully for accuracy including spelling, punctuation, numbers, graphics, sizes and general layout. Colors shown may not truly represent the appearance of the finished product. Please refer to color call outs for specific color matching. Our normal production cycle will begin from the date approval is received.

FOR APPROVAL ONLY

Authorized Signature _____
Date _____

image360rochester.com
(585) 272-1234

INSTALL LOCATION



INSTALLED
1 BRICK DOWN
FROM VERTICAL
BRICK BELT

86" APRX

76" APRX



Company: Cerion

Estimate:

Prepared by: Justin O'Brien

Salesperson: Deborah Herb

Date: 06/09/2021

Revision #: 0

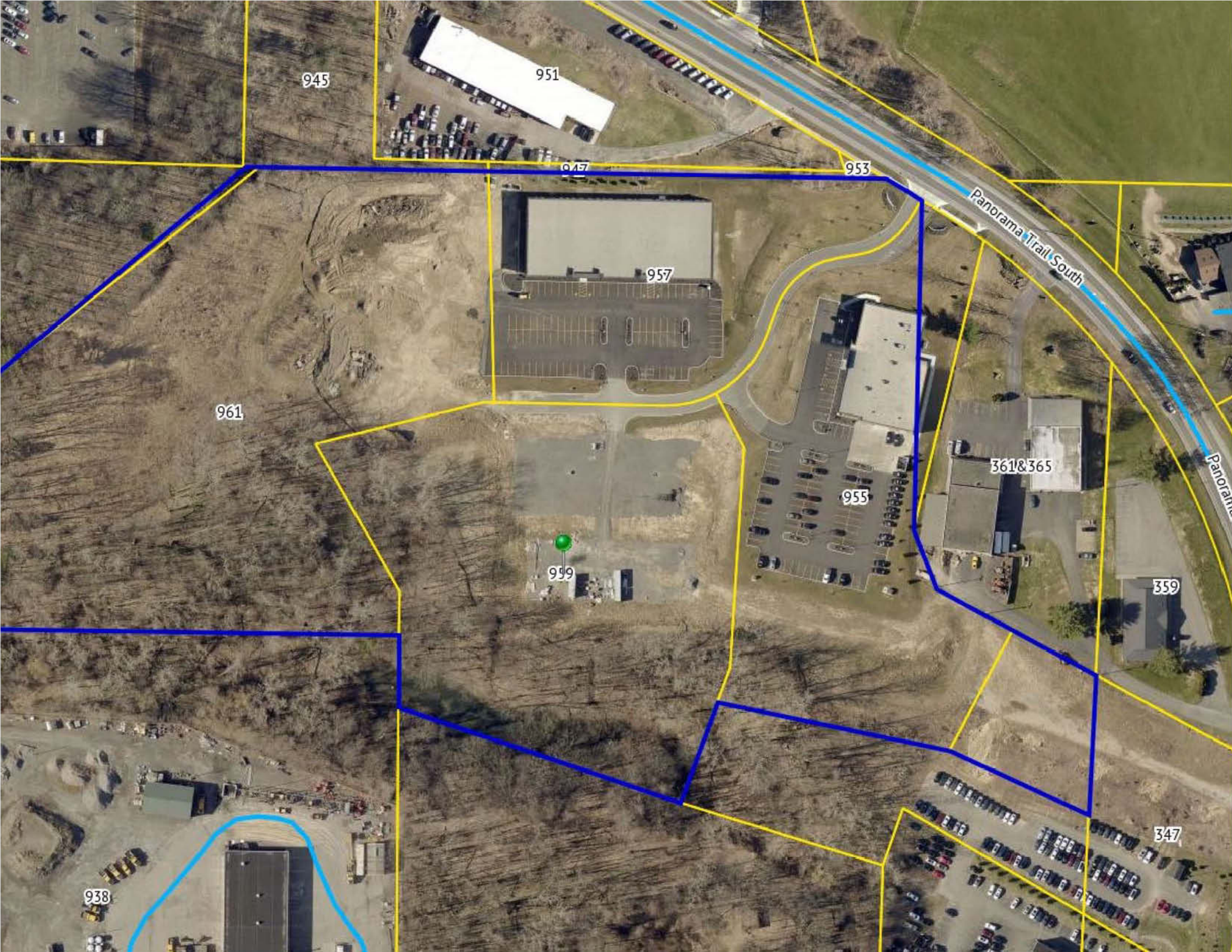
Please examine proof carefully for accuracy including spelling, punctuation, numbers, graphics, sizes and general layout. Colors shown may not truly represent the appearance of the finished product. Please refer to color call outs for specific color matching. Our normal production cycle will begin from the date approval is received.

FOR APPROVAL ONLY

Authorized Signature _____

Date _____

image360rochester.com
(585) 272-1234



945

951

947

953

Panorama Trail South

957

961

955

361&365

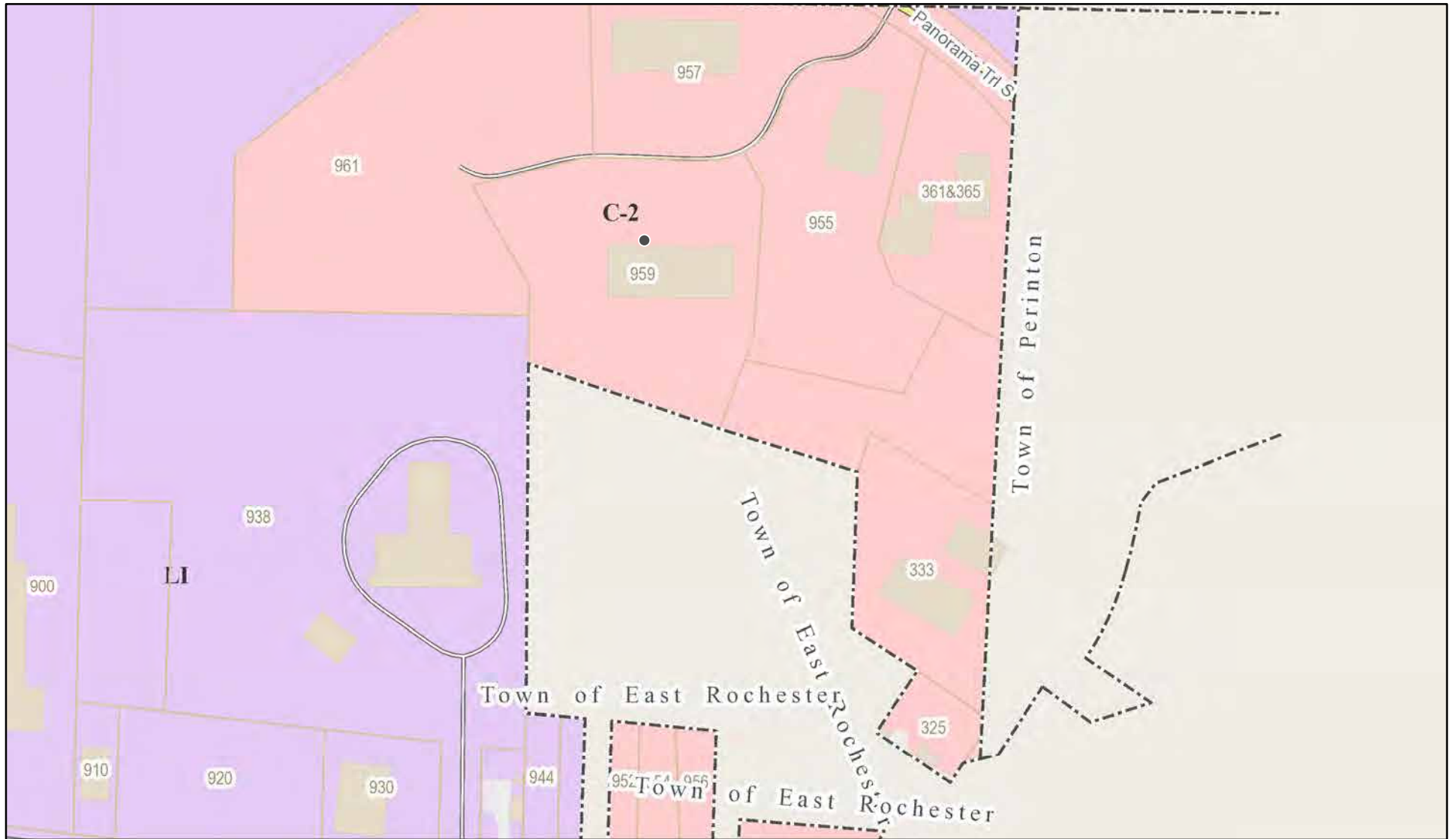
999

359

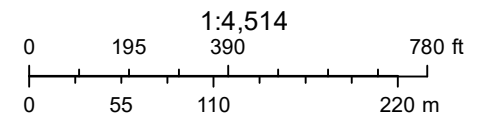
938

347

RN Residential Neighborhood Zoning

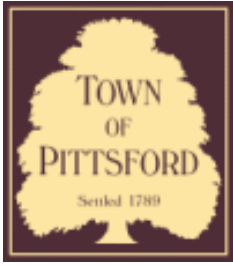


Printed August 5, 2021



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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000008

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3000 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-60.11

Zoning District: C Commercial

Owner: Oak Hill Commons LLC

Applicant: Art Part Signs Inc.

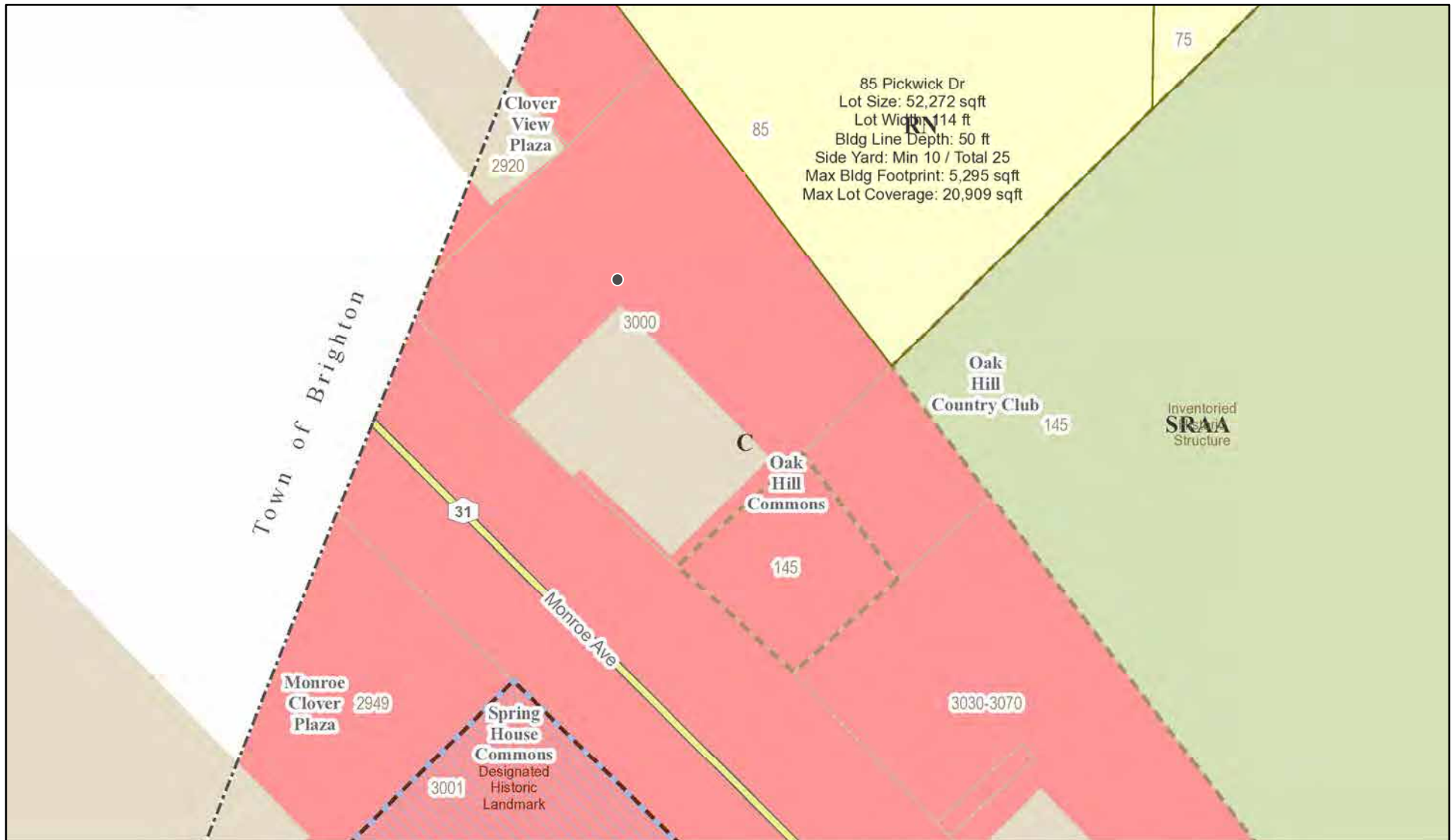
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

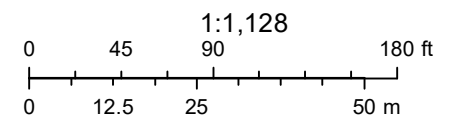
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will approximately 92 square feet and will identify the "Envision Eye & Aesthetics" business.

Meeting Date: August 12, 2021

RN Residential Neighborhood Zoning

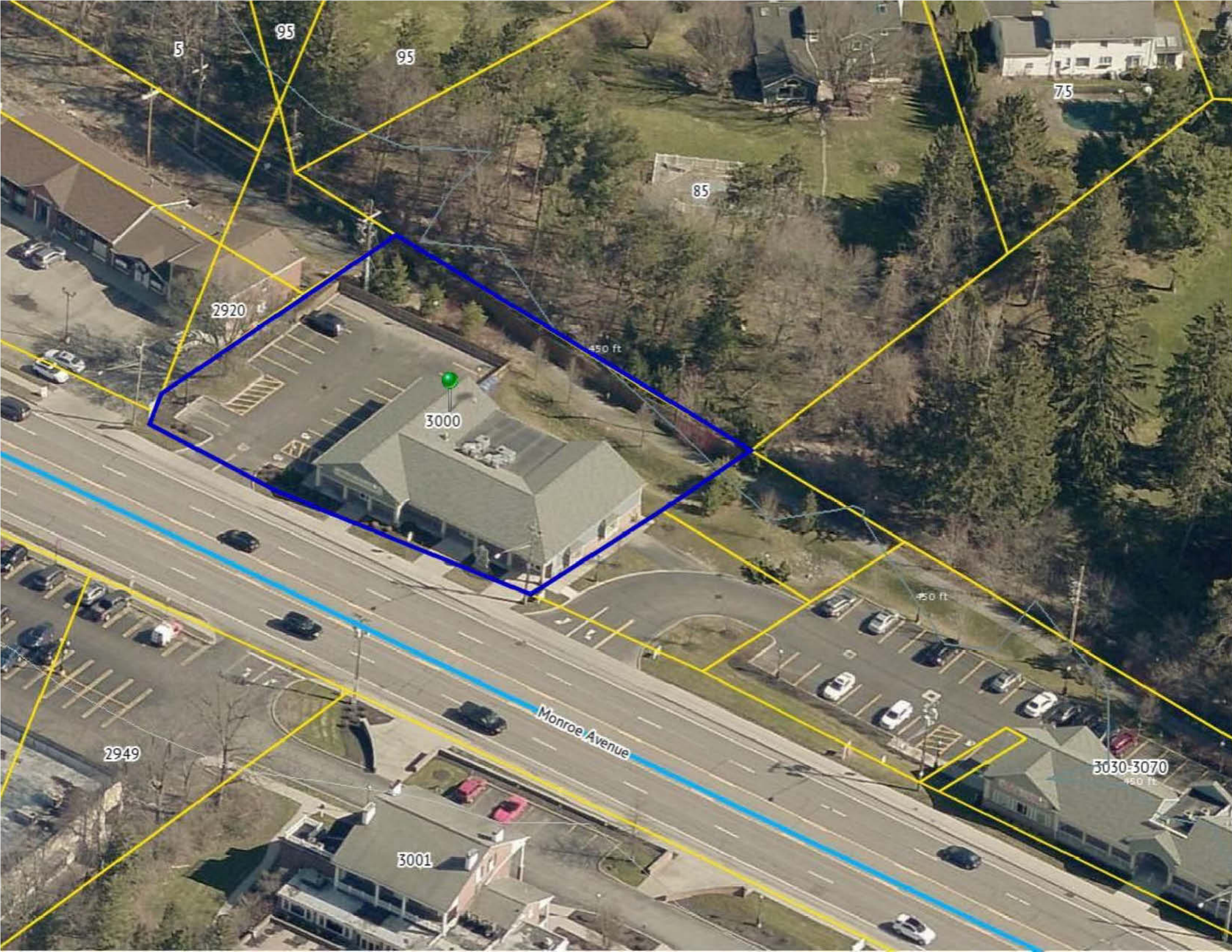


Printed August 5, 2021



Town of Pittsford GIS

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5

95

95

75

85

2920

450 ft

3000

450 ft

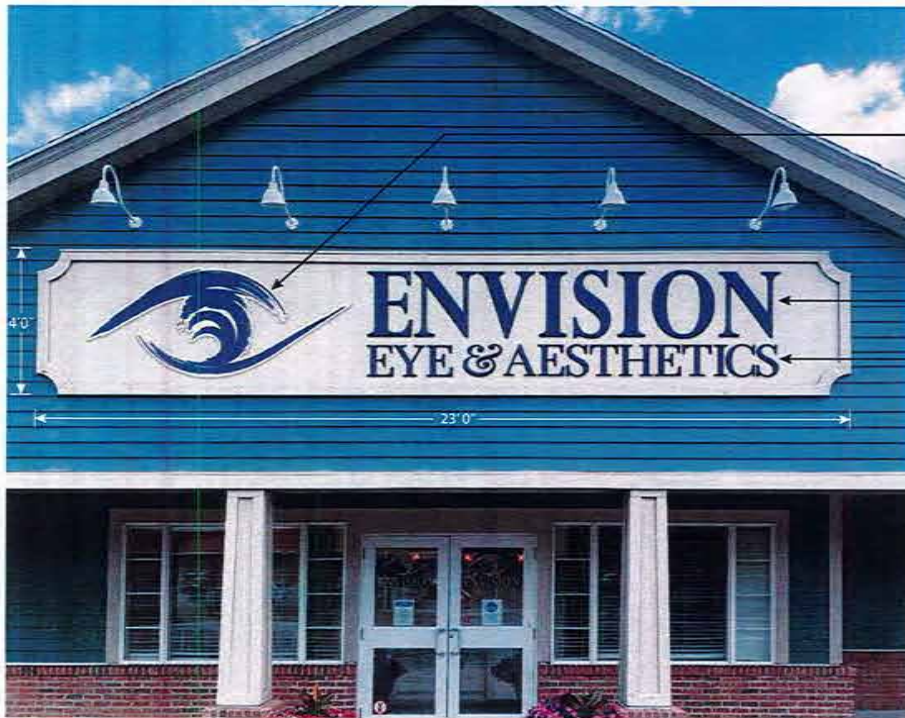
Monroe Avenue

2949

3030-3070

450 ft


3001



90.25" x 37.625" x .5" painted PVC contour cut shape w/ digitally printed/laminated graphic illustration

139.75" x 21.875" x .5" stud mounted painted* acrylic lettering (custom font: Perpetua)

139.75" x 10.5" x .5" stud mounted painted* acrylic lettering (custom font: Perpetua)

 * Custom Corporate Blue
C=100 M=93.33 Y=16.86 K=15.29

Notes: After the old lettering is removed from the sign frame, the customer will be responsible for having the holes filled and mounting surface cleaned and/or painted prior to the installing the new lettering.

Dimensional lettering and contour cut illustration installed onto existing building sign frame (23'x4')



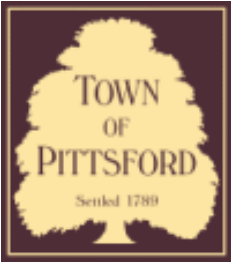
ART PARTS SIGNS
100 Lincoln Pkwy.
E. Rochester, NY 14445
P 585-381-2134
artpartsigns.com

Revisions

Location: Envision Eye & Aesthetics
3000 Monroe Ave., Roch, NY
Date: 07/12/2021

Approval: _____

Job #: E210715



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit # CA21-000003

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 810 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 138.13-1-40

Zoning District: RN Residential Neighborhood

Owner: Stahl Property Associates

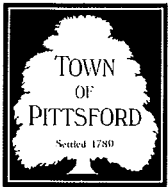
Applicant: Stahl Property Associates

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

Meeting Date: August 12, 2021



DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: Stahl Property Associates

Name(s) of Property Owner(s): Kimberley S. Bailey

Name of Applicant: Kimberley S. Bailey

Telephone Numbers: (585) 415-9882
(Owner) (Applicant)

Email Address: kimbailey99@gmail.cim

PLEASE CHECK ONE

- REQUEST FOR APPROVAL** (Please provide a brief description of the project.)
- REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

We are requesting approval from the Historic Preservation Board for a project located at 810 Allens Creek Road based on our plans and input from 2 previous informal meetings. We are proposing the addition of 3 dormers, a porte cochere at side entry, a detached garage, and addition to the rear of home located at existing garage, and landscape and driveway changes. Attached is a site plan, survey, 3D perspective sketch, along with local and otherwise photos and documents regarding Georgian and Colonial Revival homes in the era with similar modifications we are requesting.

APPLICANT MUST PROVIDE:

- Building Permit Application
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.

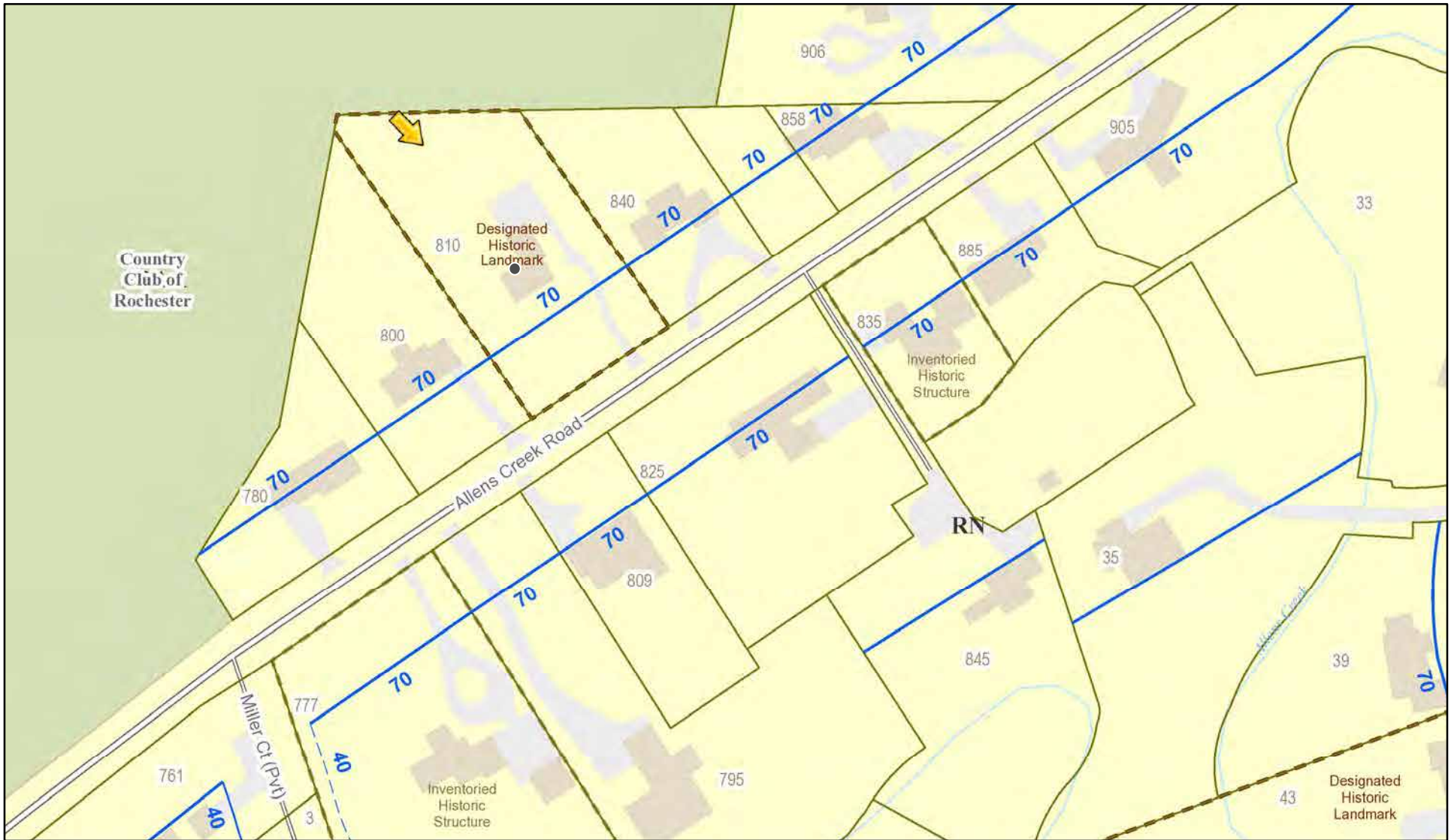
RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

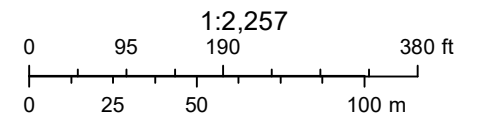
For Official Use Only

Received By _____ Received Date _____ Meeting Date _____

RN Residential Neighborhood Zoning



Printed April 15, 2021



Town of Pittsford GIS

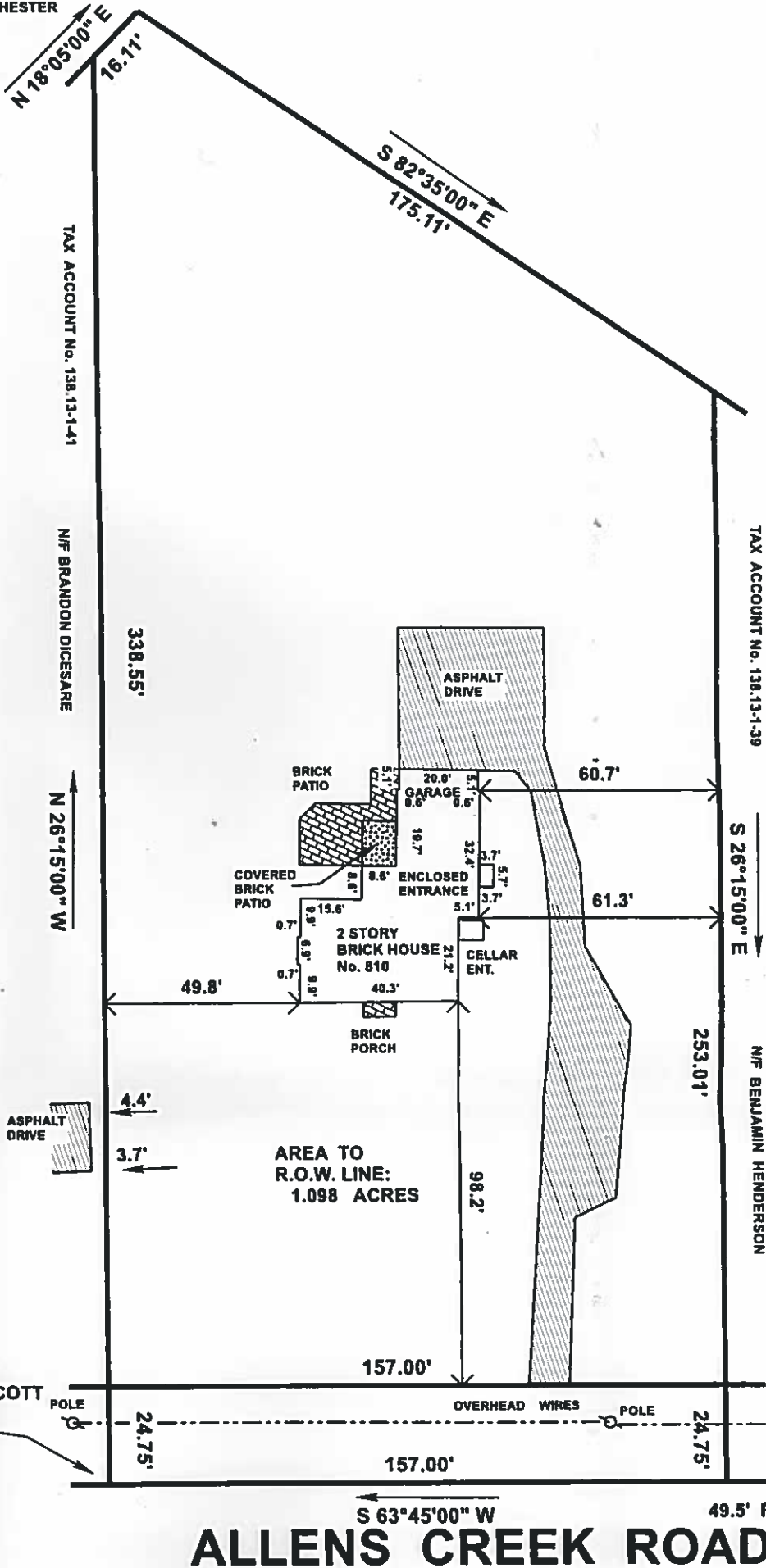
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

TAX ACCOUNT No. 137.16-2-1
N/F COUNTRY CLUB OF ROCHESTER



REFERENCES

1. TAX ACCOUNT No. 138.13-1-40
2. L. 7785 DEEDS, P.91
3. L. 39 MAPS, P.9
4. L. 93 MAPS, P.22
5. FIRST AMERICAN TITLE INSURANCE COMPANY No. 459676, DATED MARCH 2, 2021



354.95' TO BOUNDARY LINE N/F J. STINSON SCOTT AND COUNTRY CLUB OF ROCHESTER

ALLENS CREEK ROAD

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE, COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MARCH 18, 2021 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MARCH 17, 2021 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries



BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263
4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

INSTRUMENT SURVEY MAP
810 ALLENS CREEK ROAD
PART LOT 69, TOWNSHIP 12, RANGE 5
TOWN OF PITTSFORD

MONROE COUNTY

NEW YORK

SCALE: 1"=40'

BRUCE E. FRIES
PROFESSIONAL LAND SURVEYOR

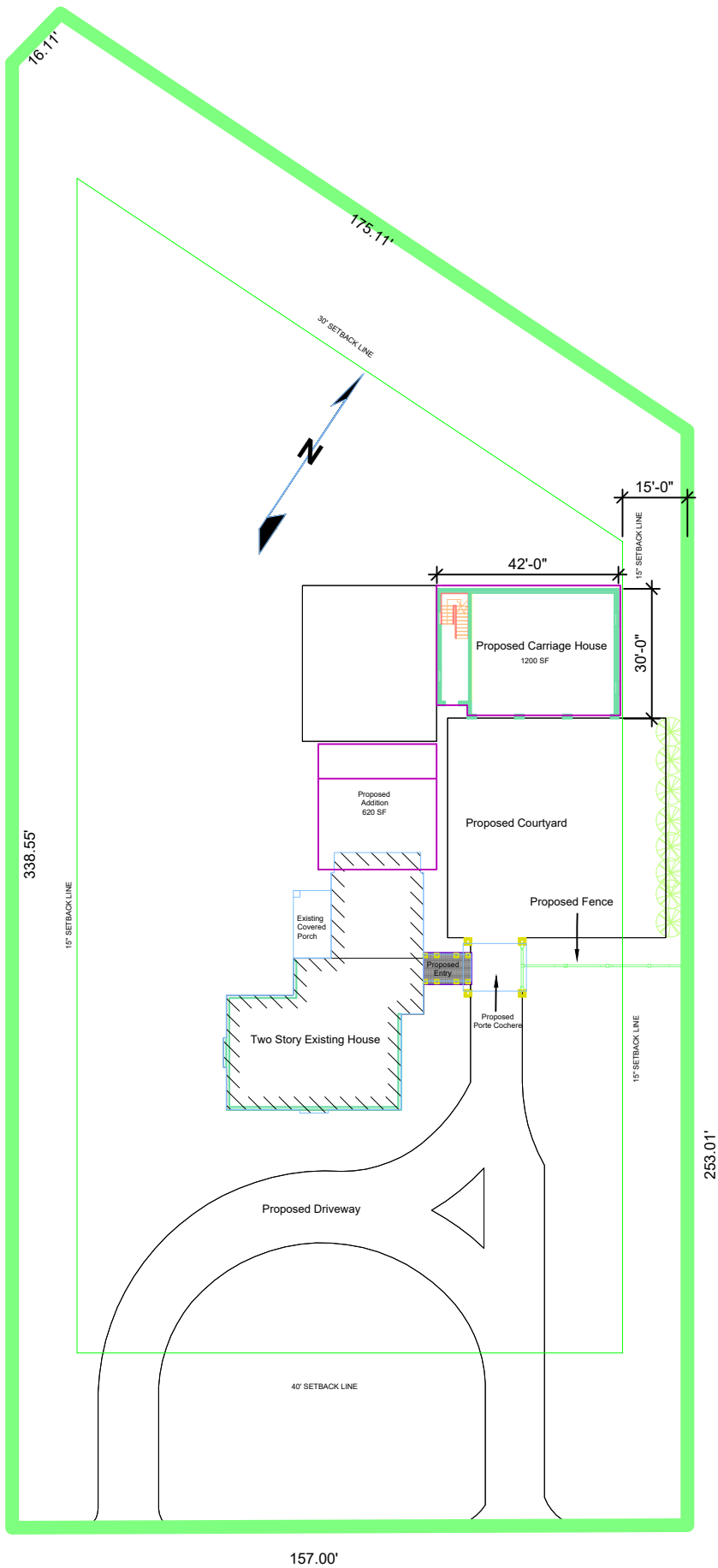
MARCH 18, 2021

PHONE: 800-772-3734

4150 RIDGE CHAPEL ROAD ■ MARION, NEW YORK 14505

FAX: 800-772-7419

CERTIFIED TO:
1. STAHL PROPERTY ASSOCIATES IV, LLC
2. WOODS OVIATT GILMAN LLP
3. STEWART TITLE INSURANCE COMPANY



ALLENS CREEK ROAD

















WEST ELEVATION



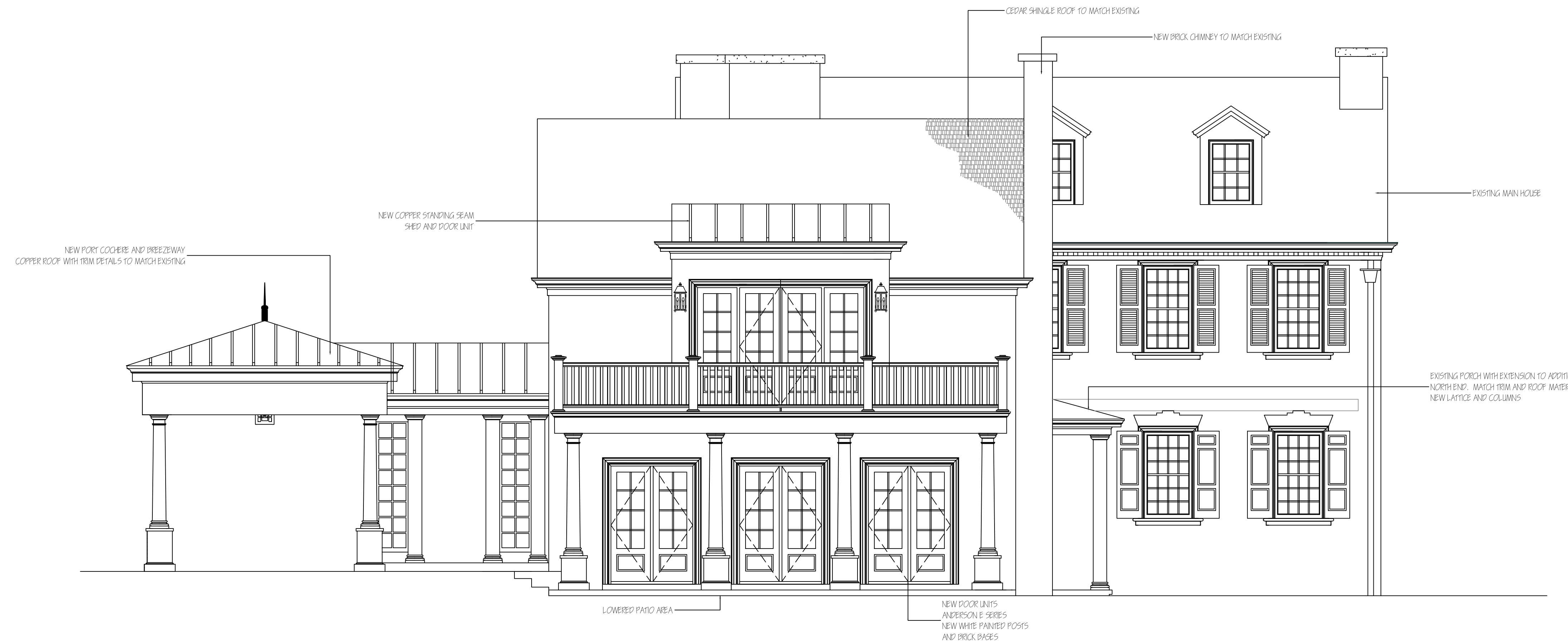
SOUTH ELEVATION

810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

MAIN HOUSE ELEVATIONS

1/4" = 1'





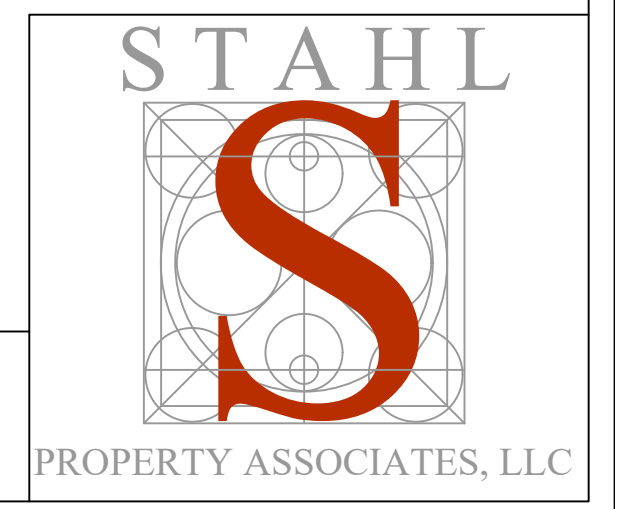
NORTH ELEVATION



EAST ELEVATION

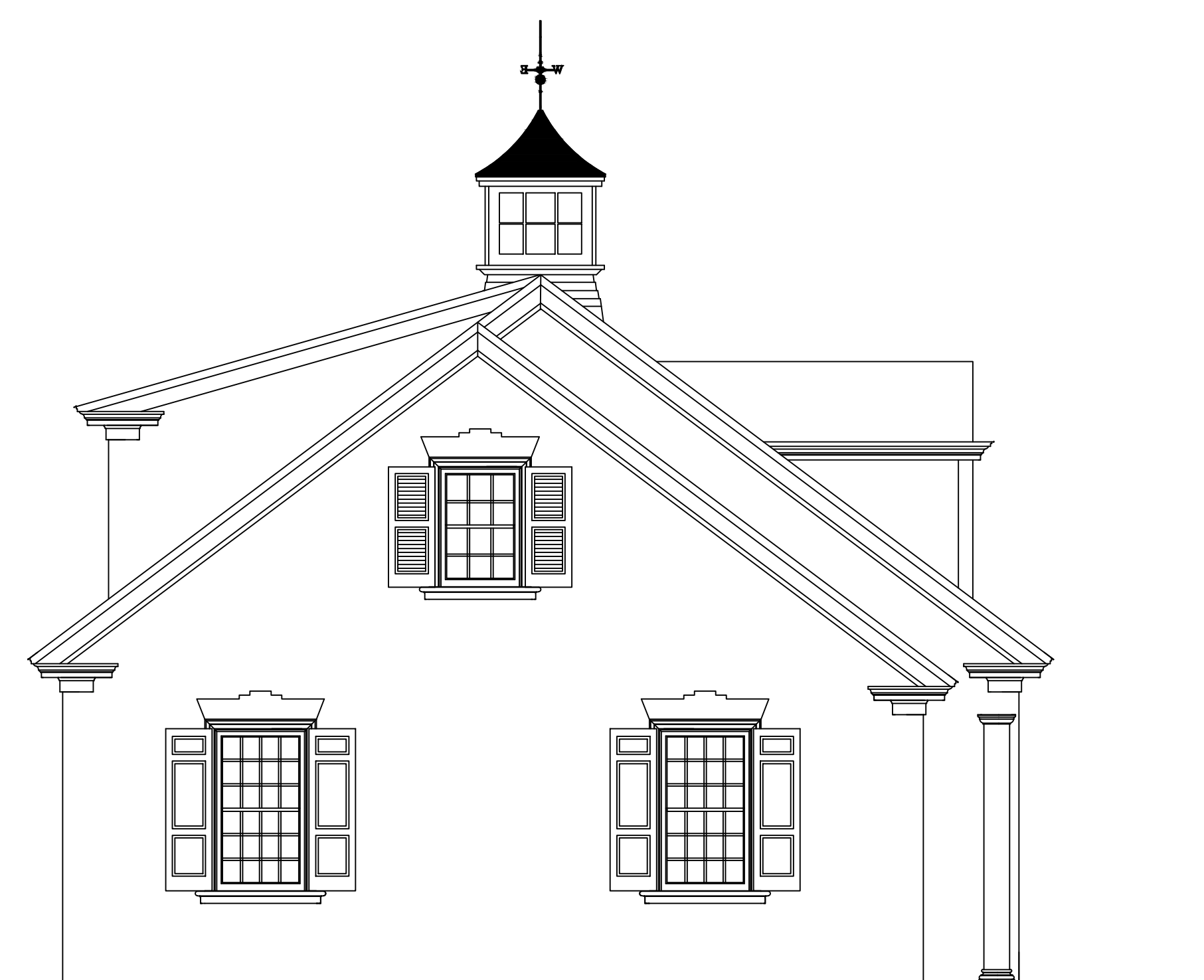
810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

MAIN HOUSE ELEVATIONS 1/4" = 1'

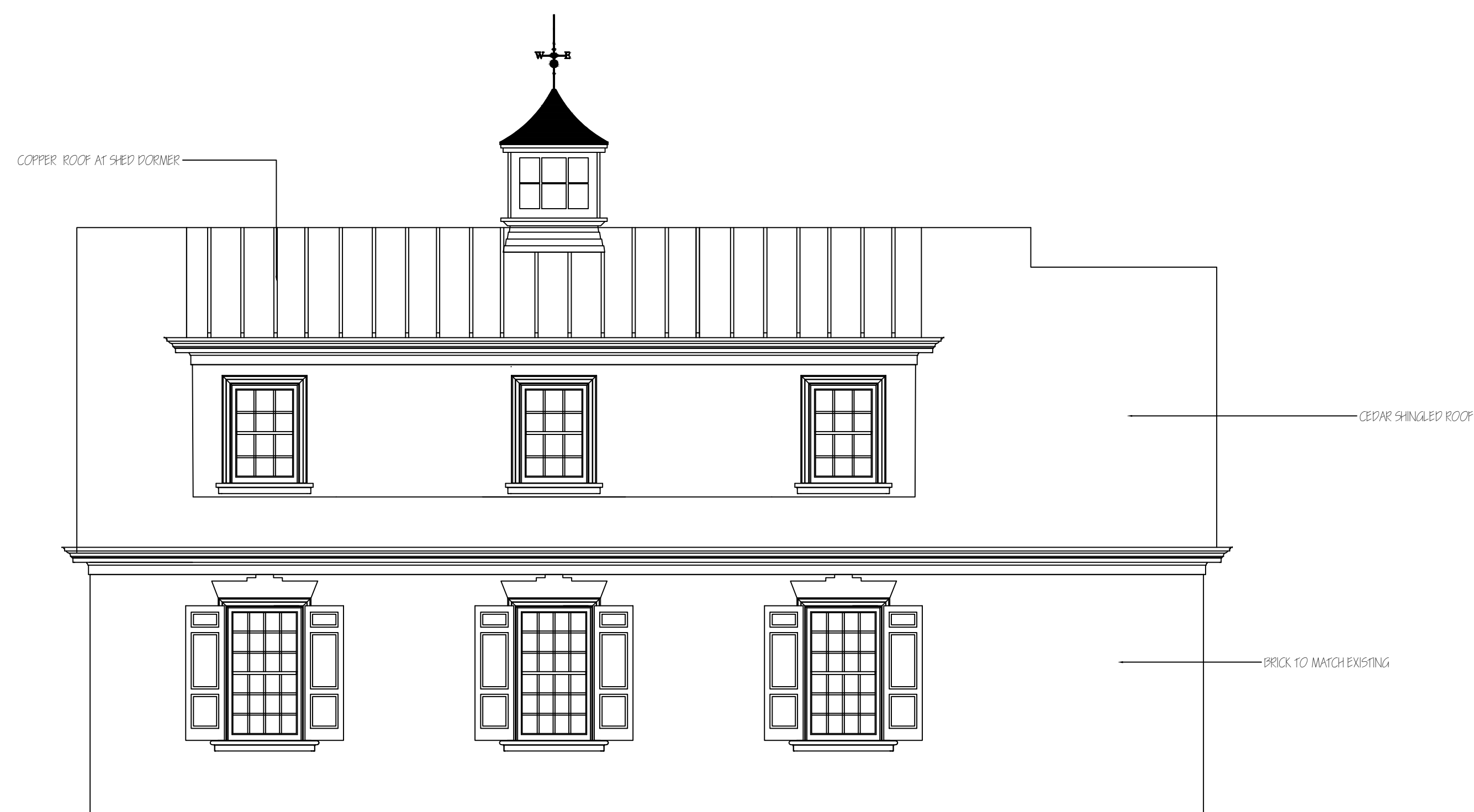




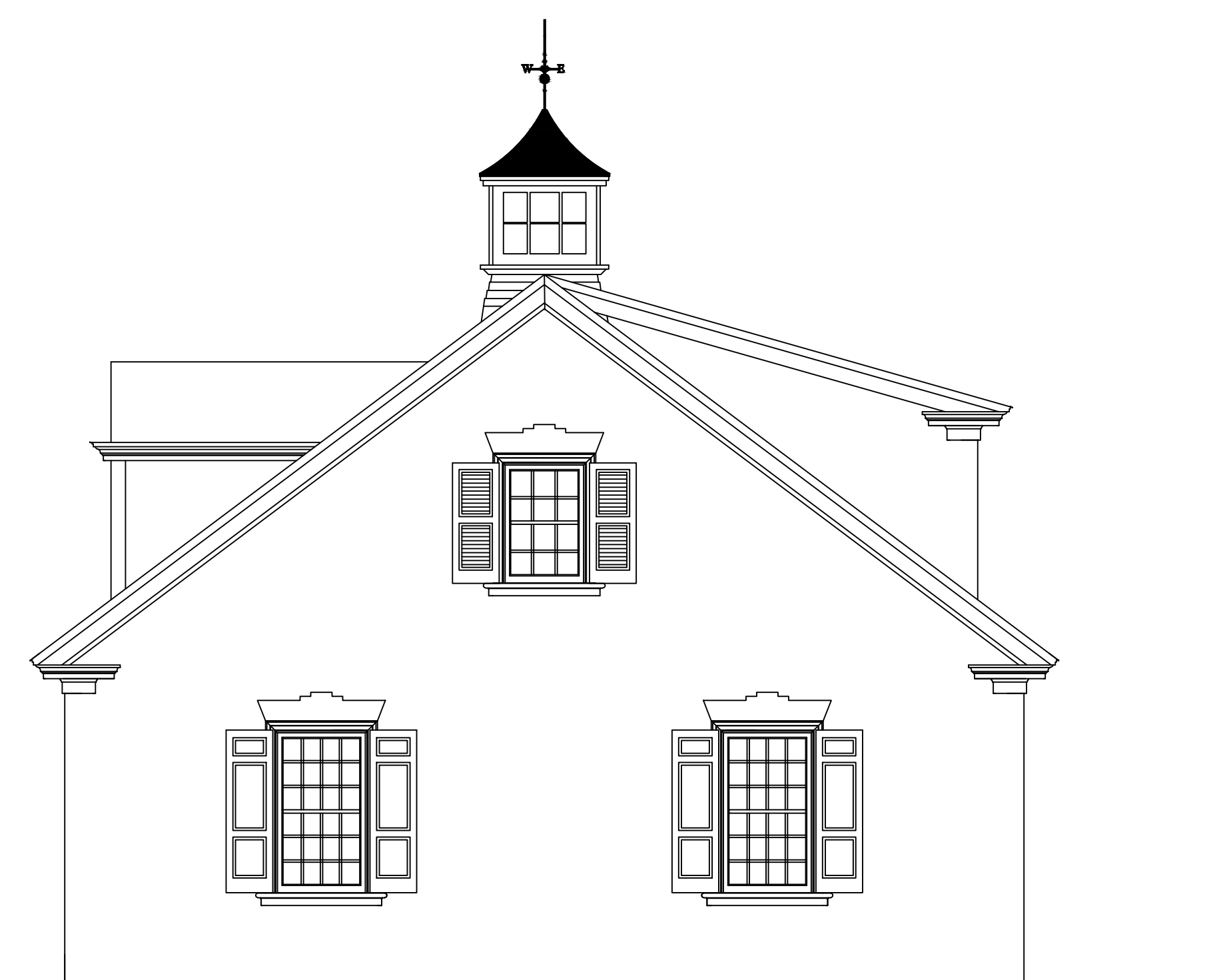
SOUTH ELEVATION



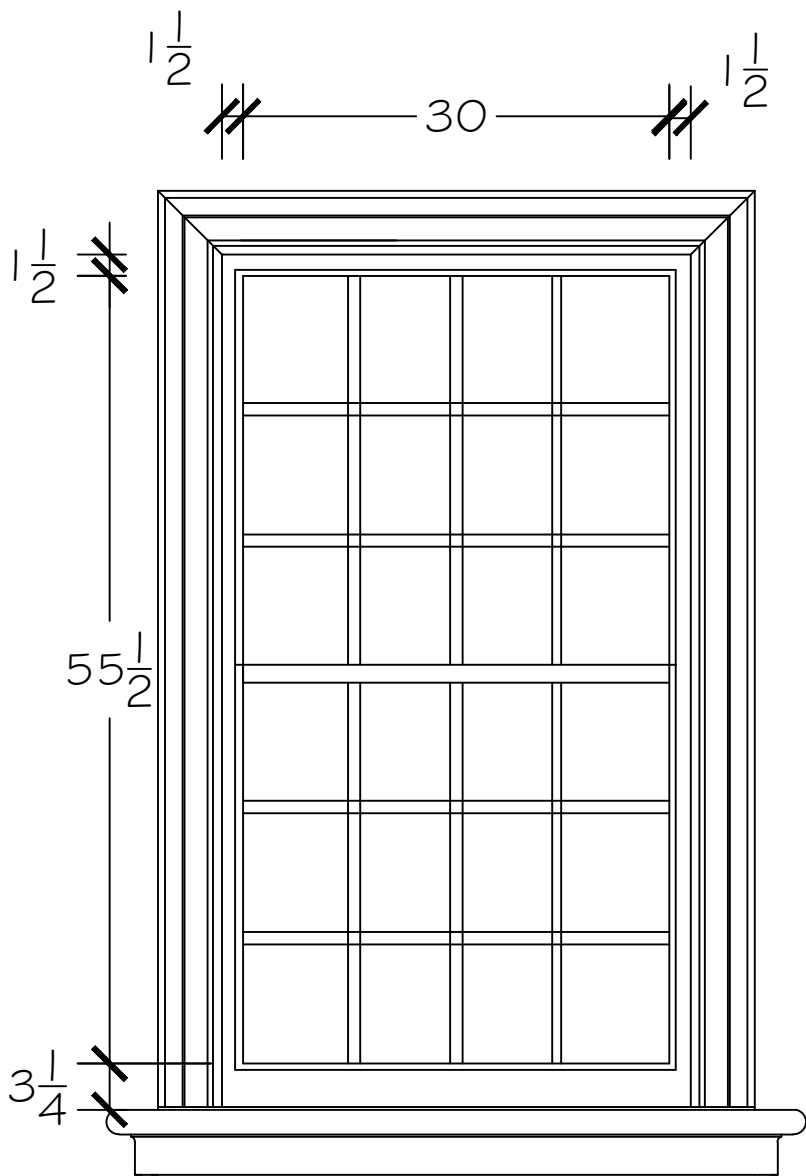
WEST ELEVATION



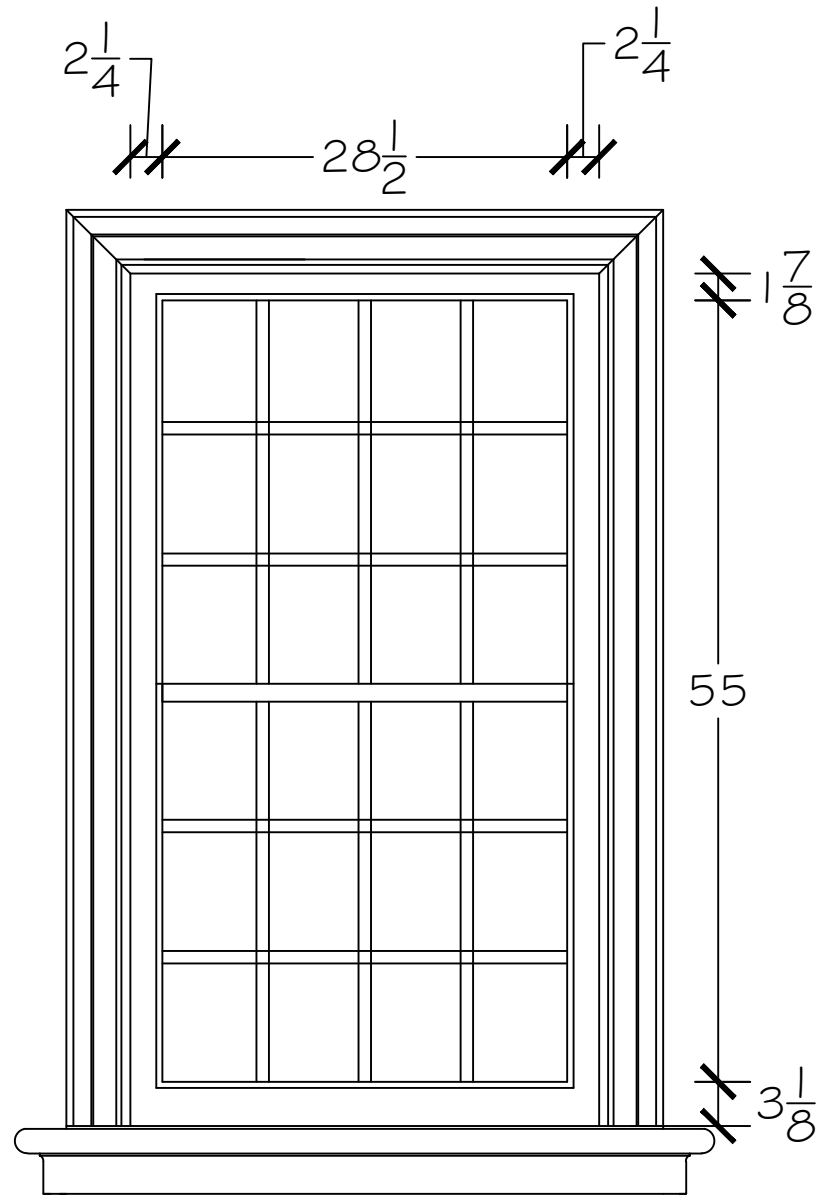
NORTH ELEVATION



EAST ELEVATION



EXISTING WINDOW EXTERIOR VIEW



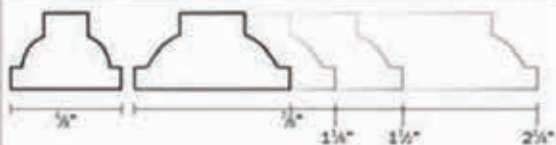
ANDERSON E-SERIES SASH REPLACEMENTS



Full Divided Light

Give any window an authentic look with full divided light grilles that are permanently applied to the interior and exterior of your window with a spacer between the glass.

Grille Profiles



Interior Wood: Ovolo
(Colonial)

Widths:

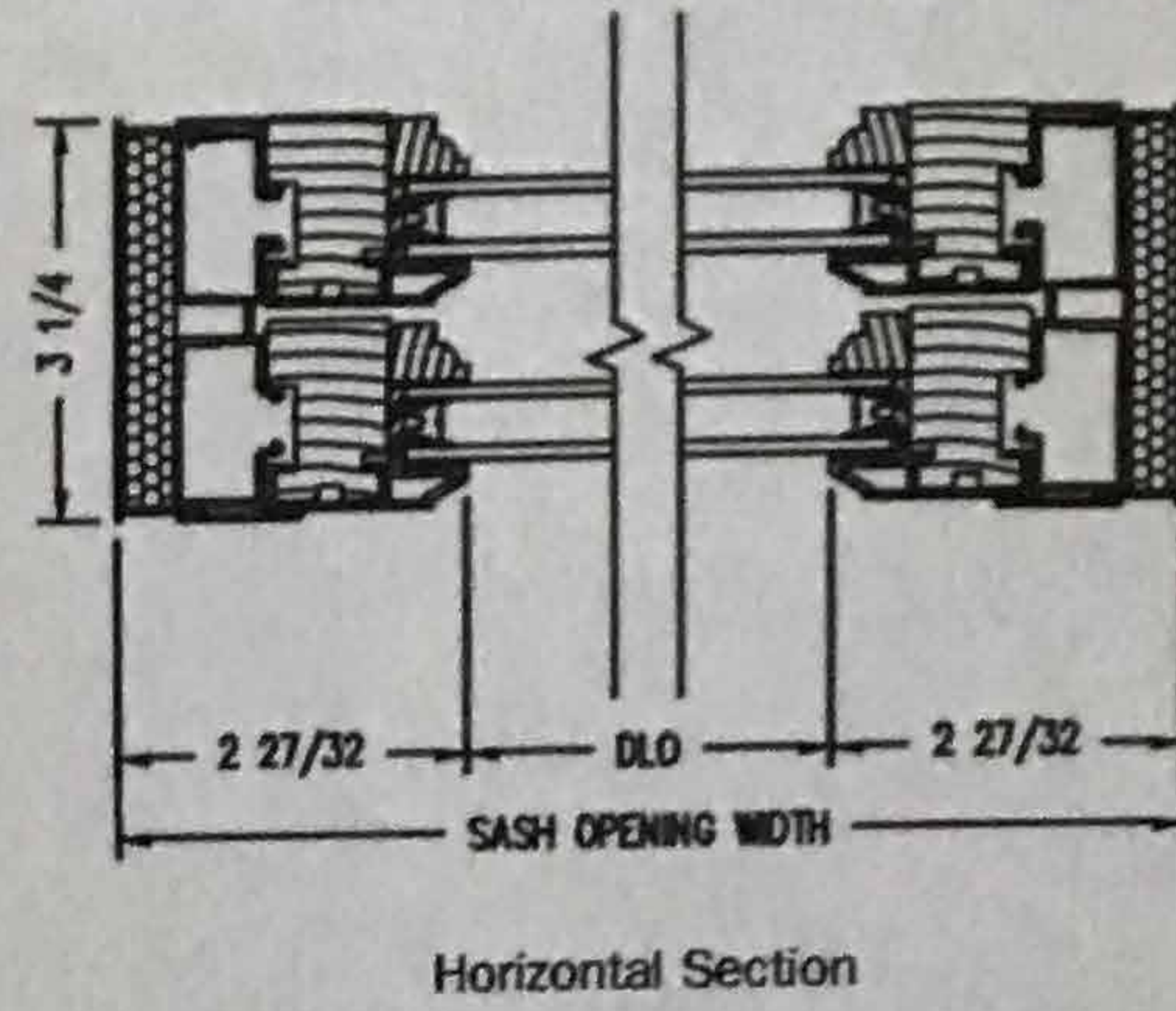
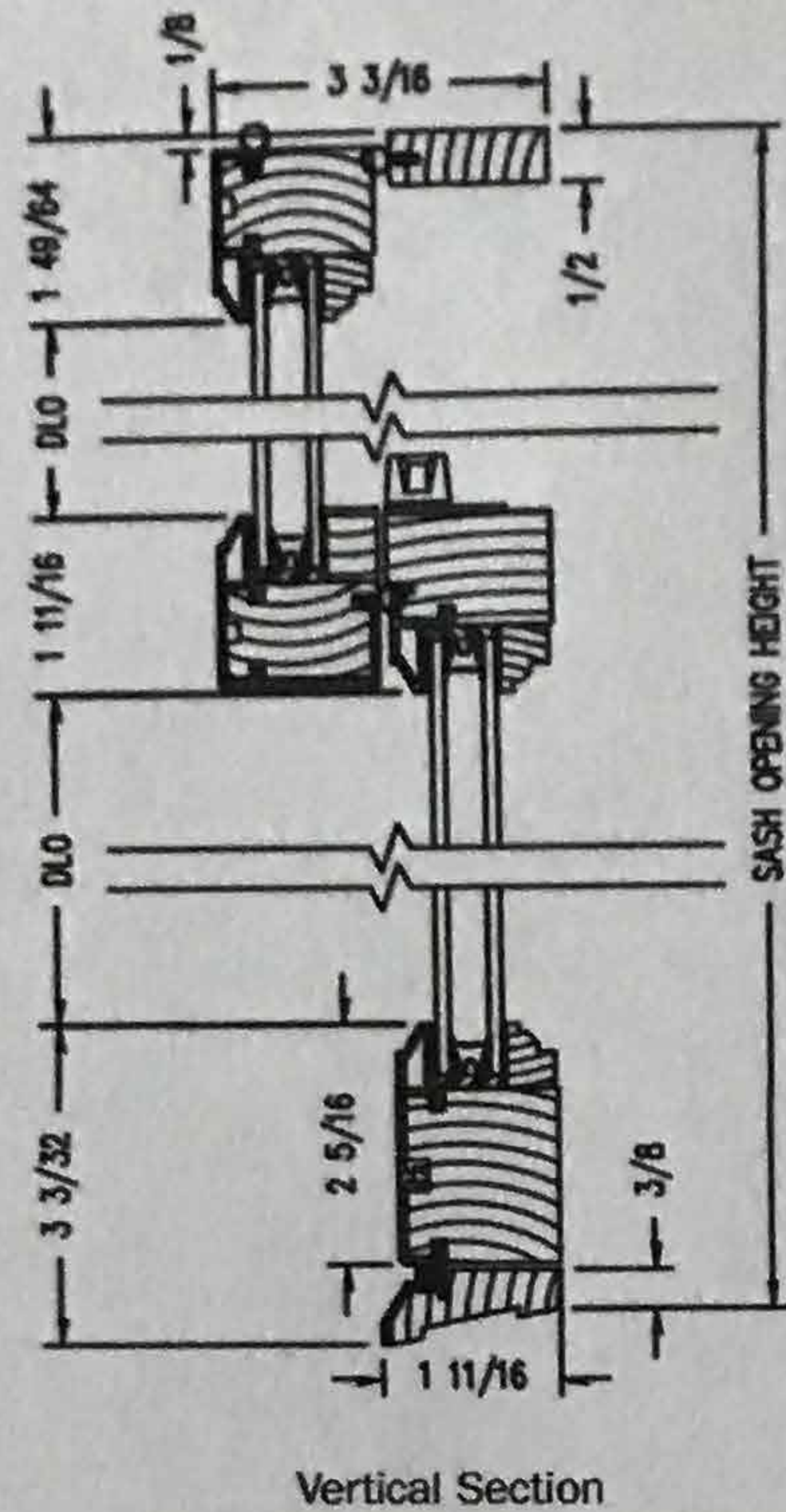
- 5/8"
- 7/8"
- 1 1/8"
- 1 1/2"
- 2 1/4"

Available with:

- Full Divided Light
- Simulated Divided Light

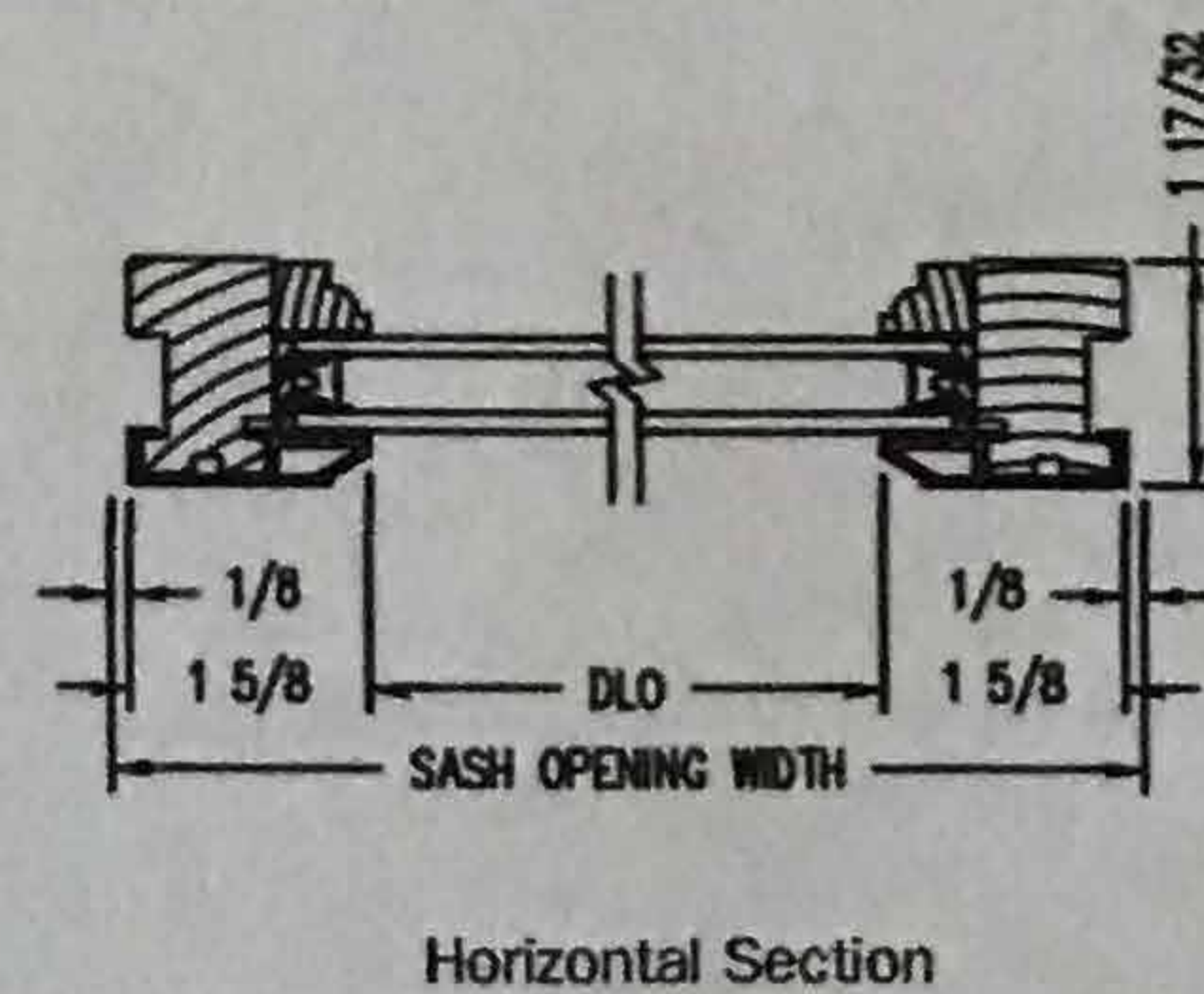
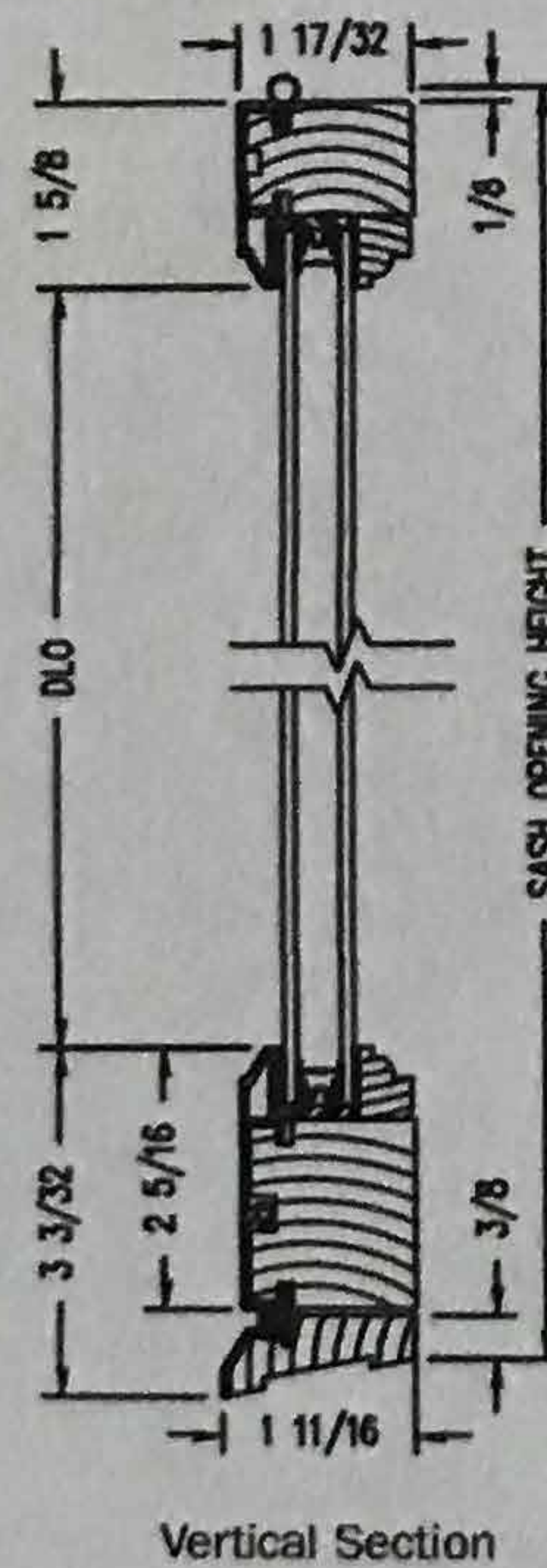
Double-Hung Sash Replacement Kits

Double-Hung Sash Replacement



At Existing Windows

Double-Hung Picture Sash Replacement



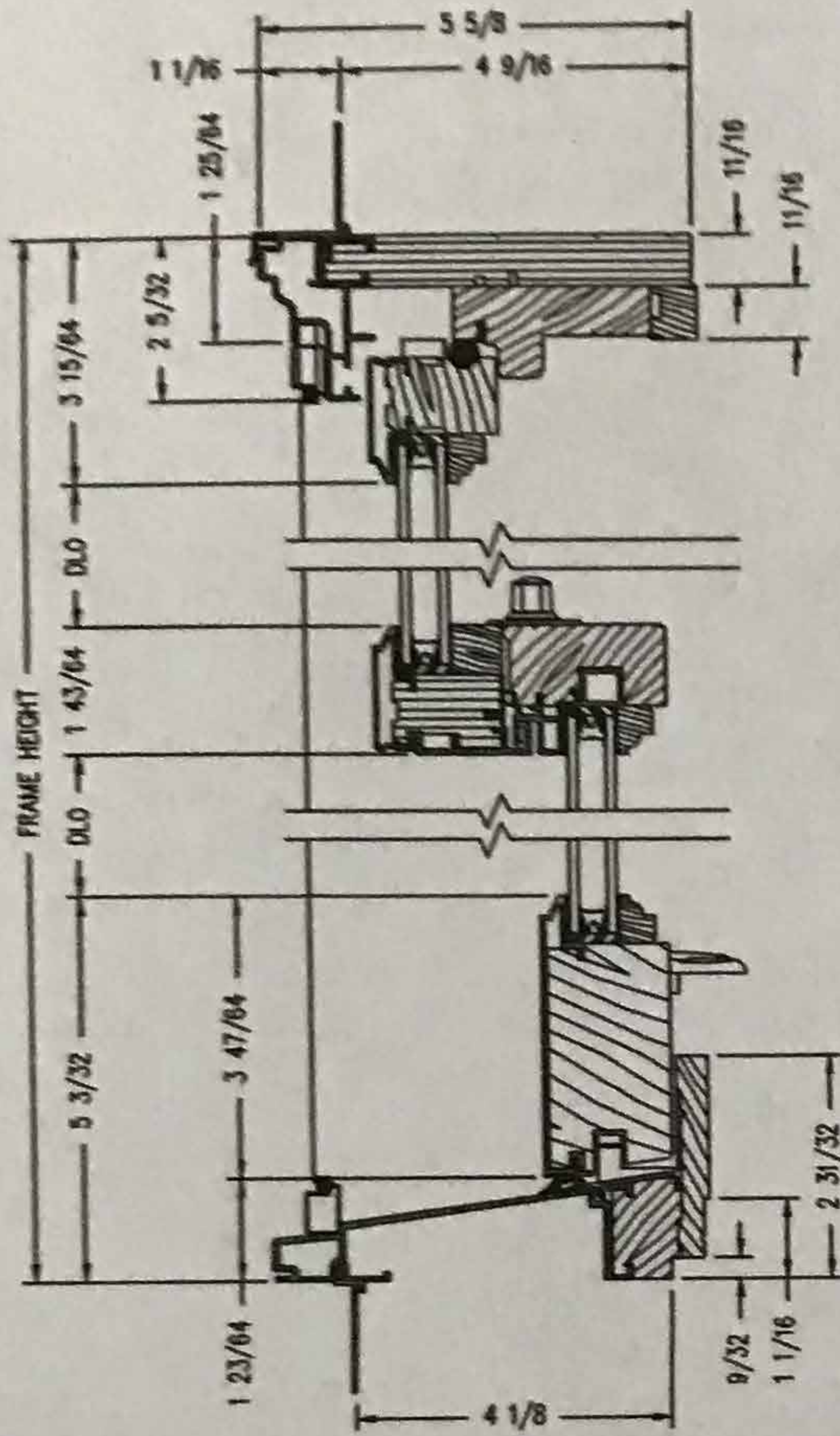
Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING ANDERSENWINDOWS.COM. CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.

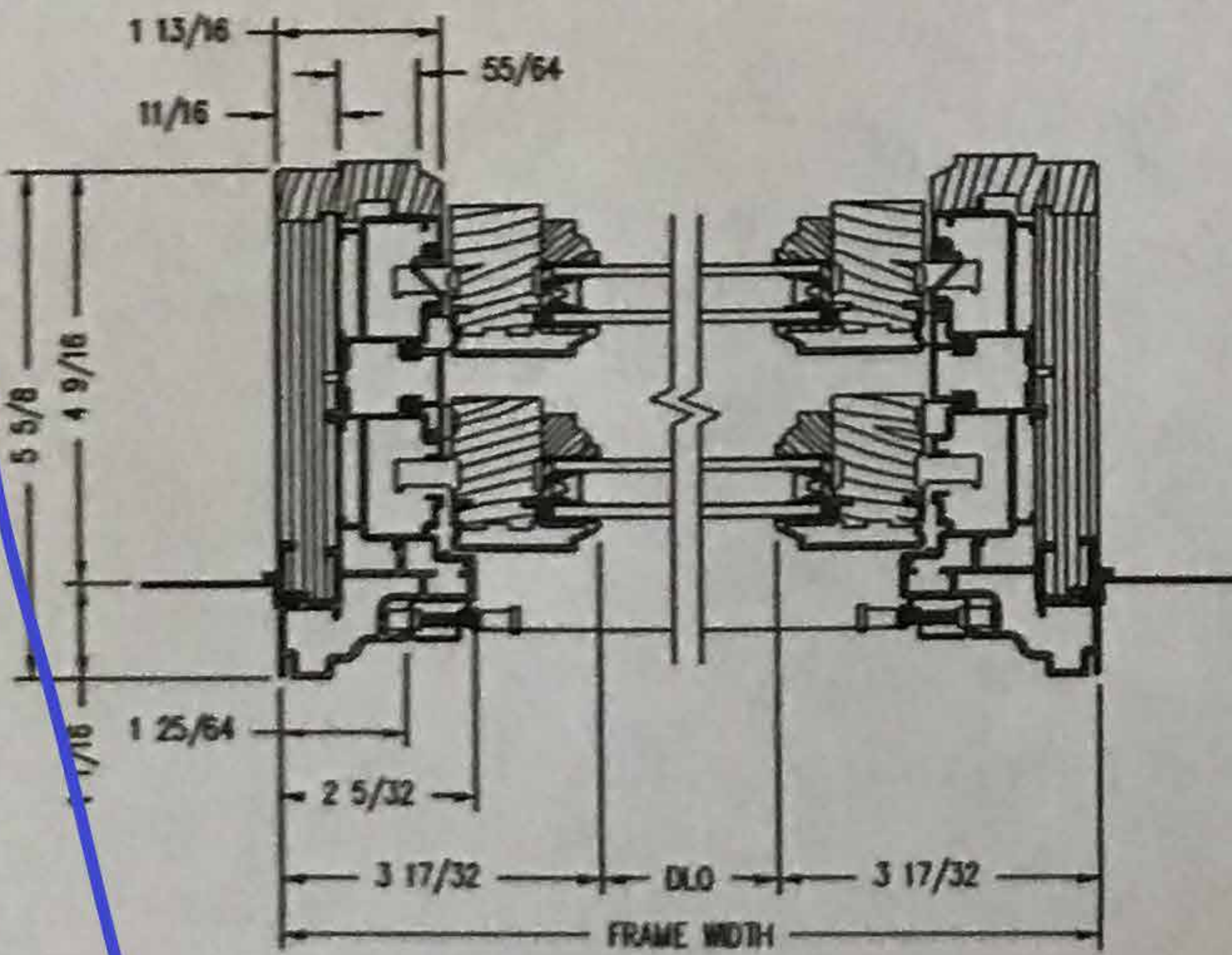
New Windows

Double-Hung Windows

Double-Hung

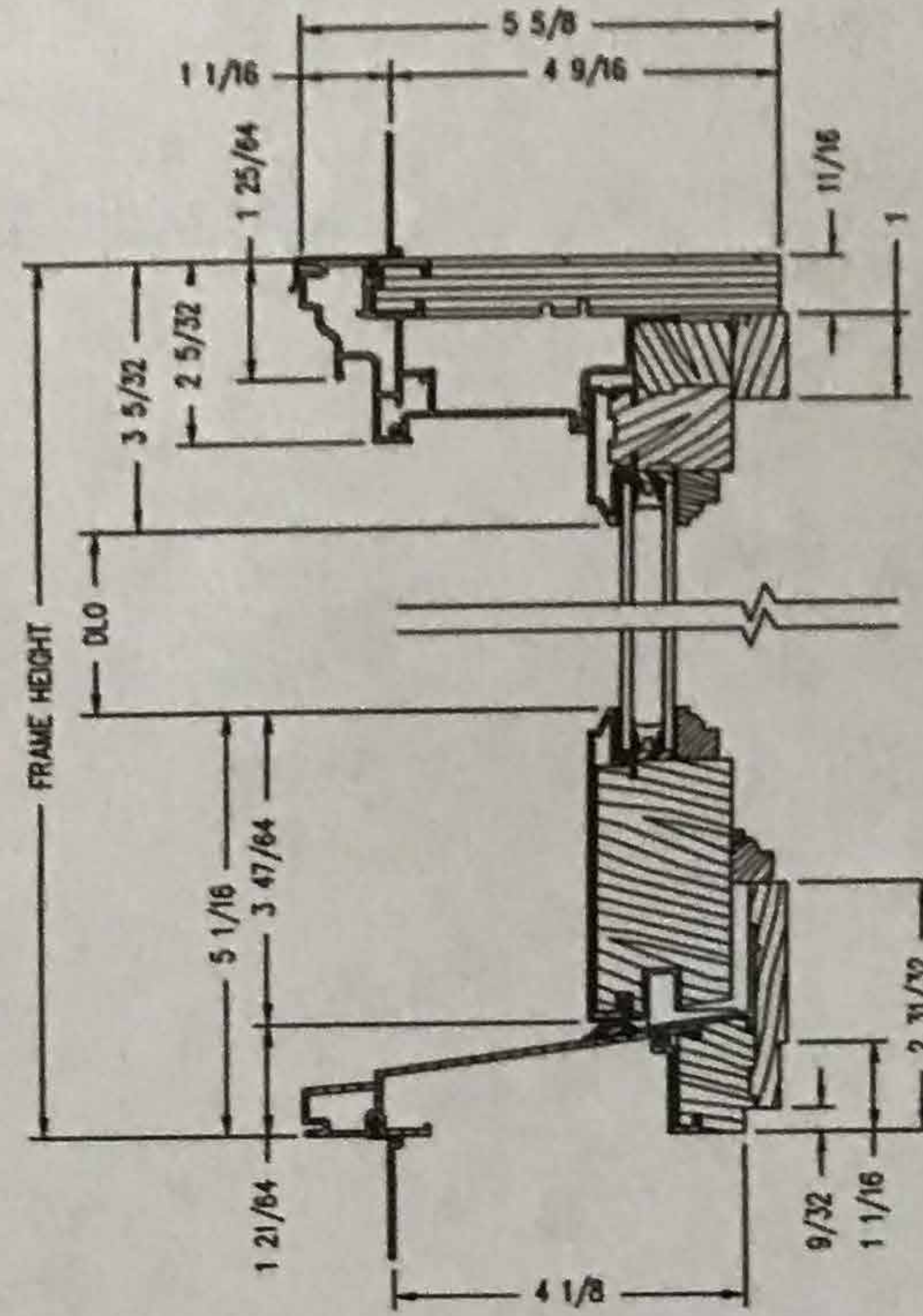


Vertical Section

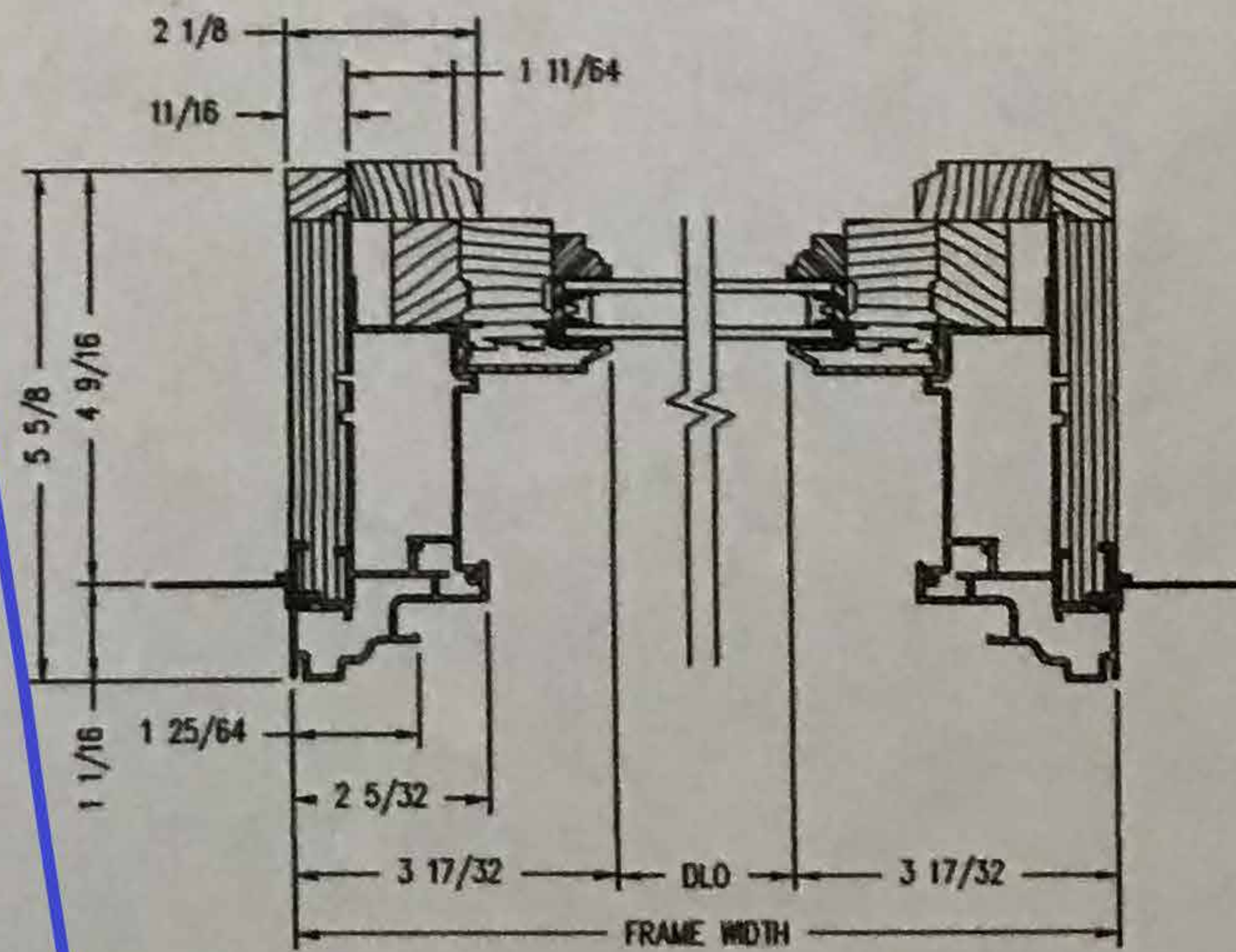


Horizontal Section

Double-Hung Picture



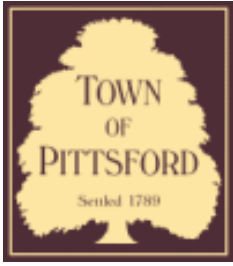
Vertical Section



Horizontal Section

Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING ANDERSENWINDOWS.COM. CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000007

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 181 Sylvania Road ROCHESTER, NY 14618

Tax ID Number: 151.06-1-1

Zoning District: RN Residential Neighborhood

Owner: Marshall, Sylvia L H

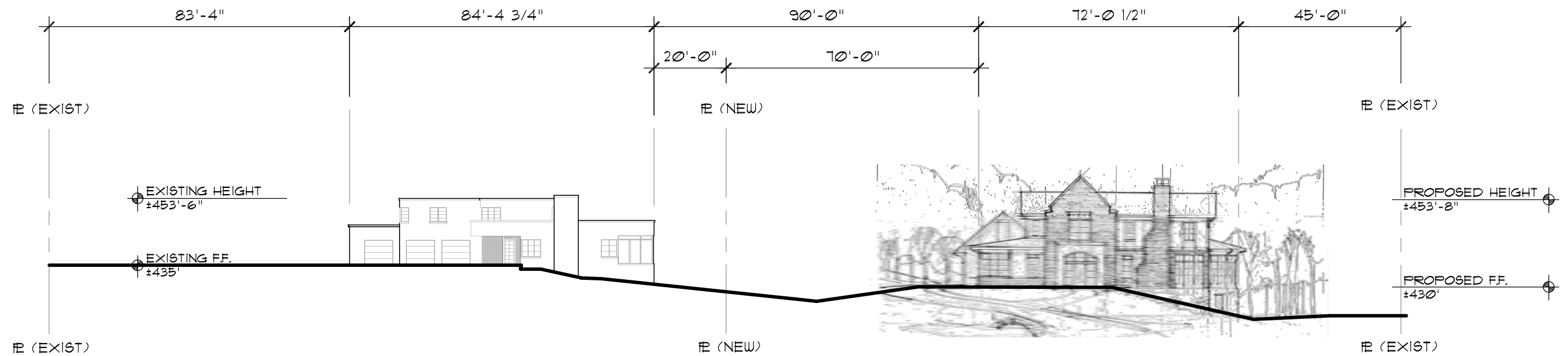
Applicant: Cantwell, Robert

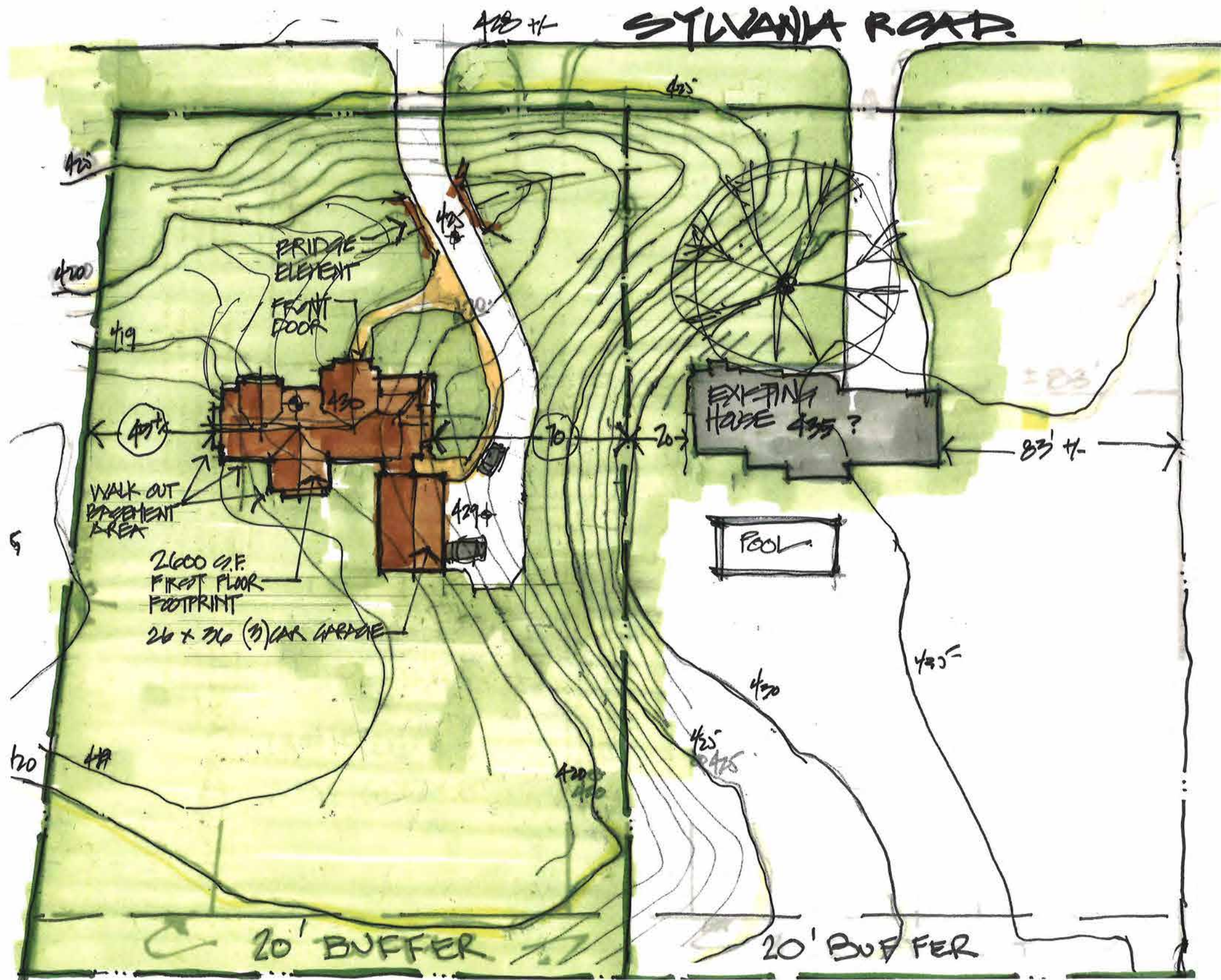
Application Type:

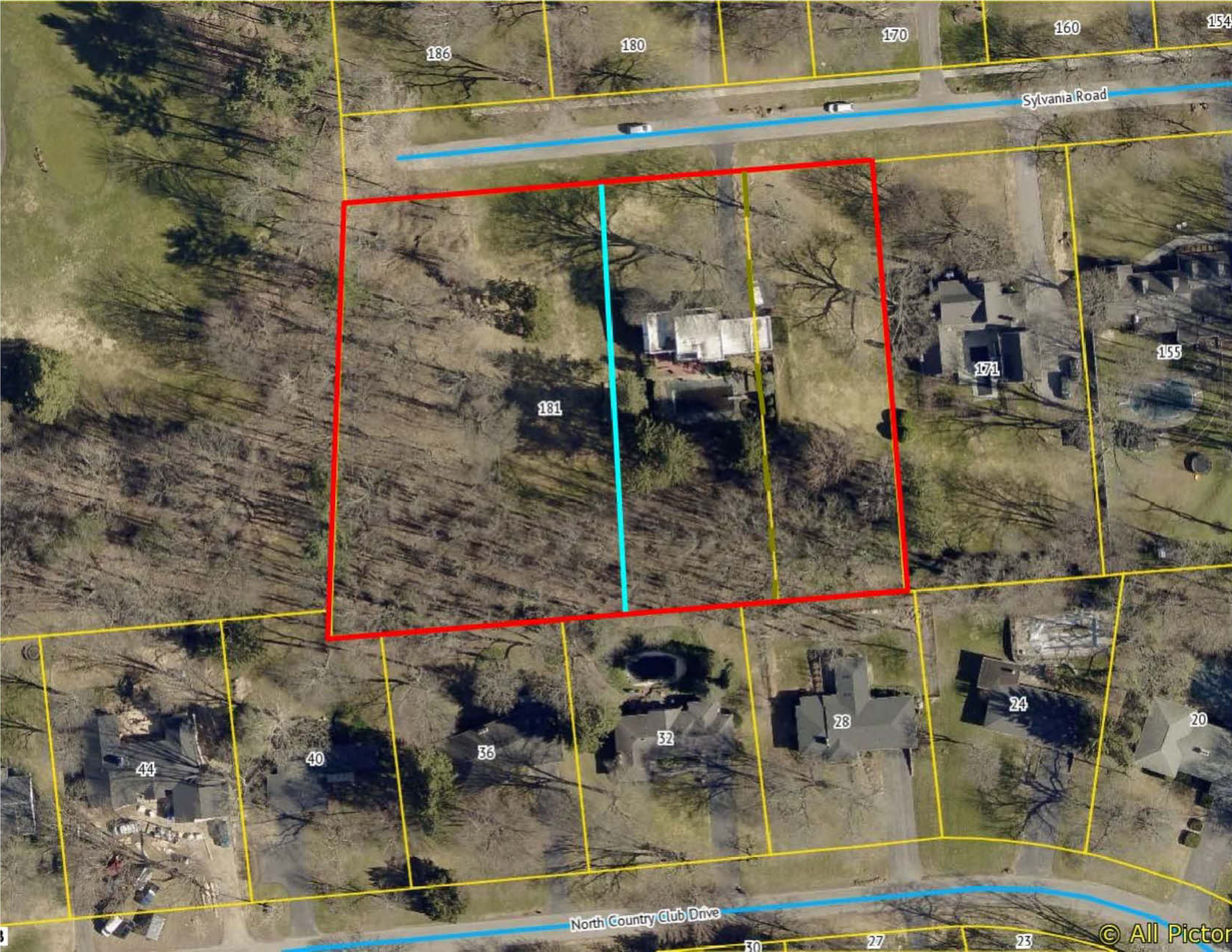
- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input checked="" type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting an informal review to subdivide the property at 181 Sylvania Road. The home located at this address is designated historic as well as the property surrounding the home. The property located to the west would be subdivided to allow for a buildable lot.

Meeting Date: August 12, 2021







186

180

170

160

154

Sylvania Road

181

171

155

44

40

36

32

28

24

20

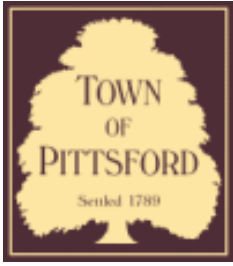
North Country Club Drive

30

27

23

© All Pictor



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C21-000040

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 920 Linden Avenue EAST ROCHESTER, NY 14445

Tax ID Number: 138.16-1-13.1

Zoning District: LI Light Industrial

Owner: West Linden Properties LLC

Applicant: D'Agostino General Contractors Inc.

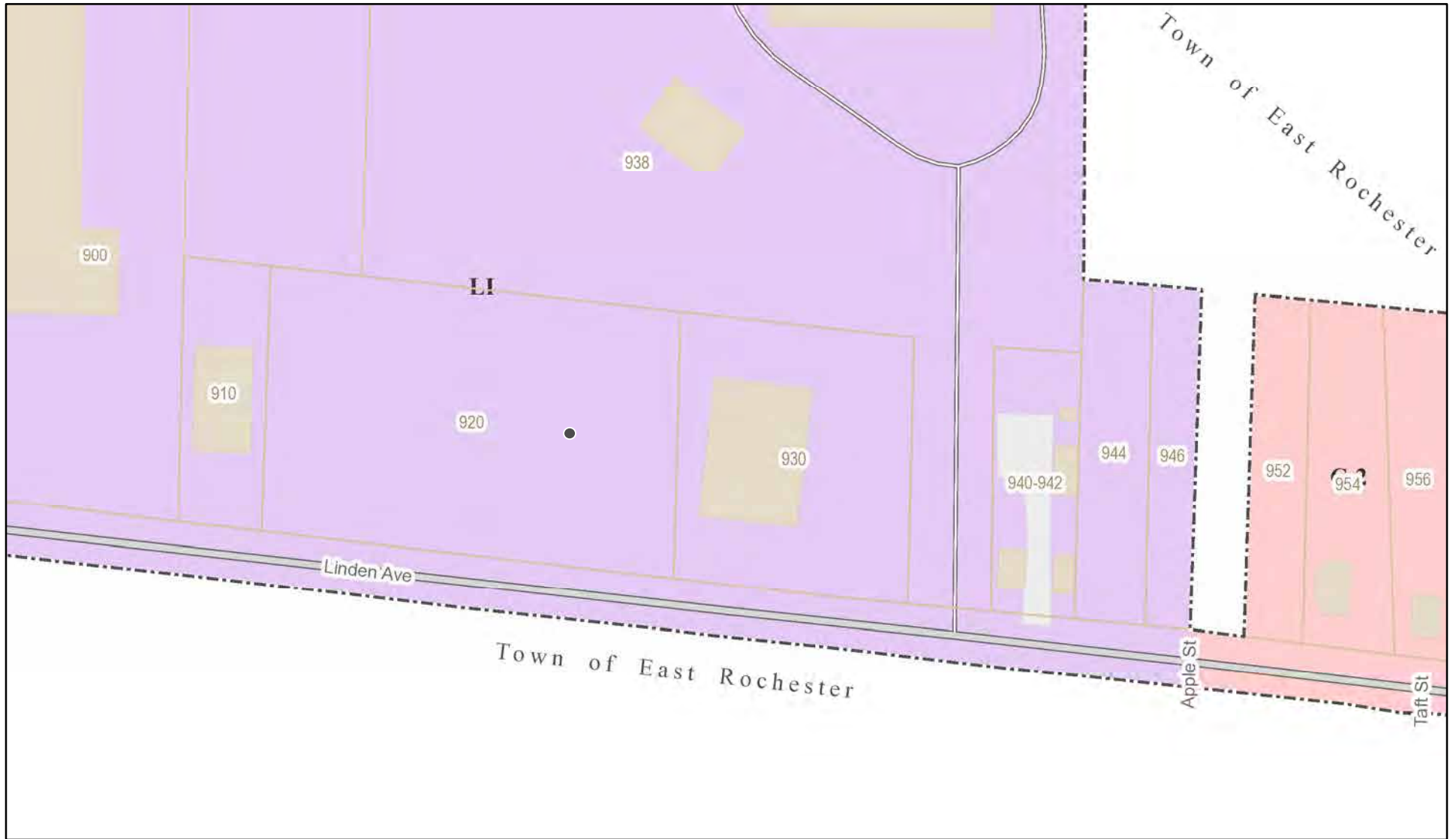
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input checked="" type="checkbox"/> Informal Review | |

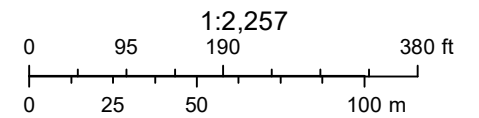
Project Description: Applicant is requesting an informal design review for the construction of a commercial building. The building will be approximately 21,160 square feet and will be used as an indoor recreation center.

Meeting Date: August 12, 2021

RN Residential Neighborhood Zoning



Printed August 5, 2021

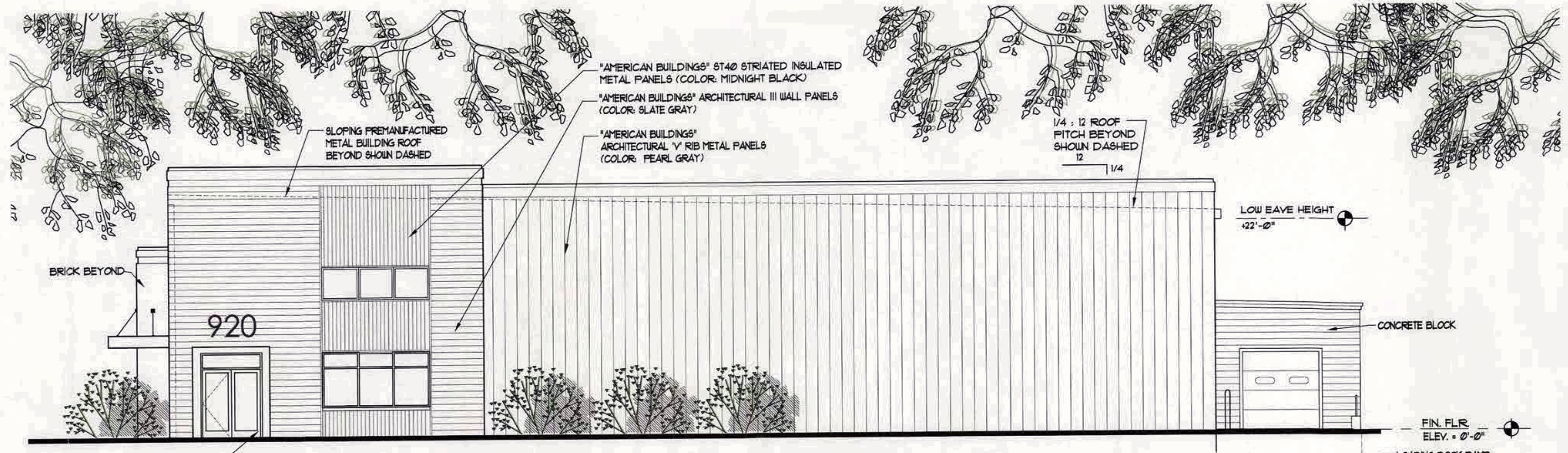


Town of Pittsford GIS

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1 SOUTH ELEVATION
1/8" = 1'-0" FILE:



2 EAST ELEVATION
1/8" = 1'-0" FILE:

PROGRESS SET

KF Architects
P.O. Box 706
Canandaigua, NY 14424
Phone: 585-218-0051
Fax: 585-385-6386
Email: cfi@kfarchitects.net
www.kfarchitects.net

TSE
Torchia Structural Engineering
& Design P.C.
605 Panorama Trail
Suite #210
Rochester, NY 14625
Phone: 585-385-7830
Fax: 585-385-6386
www.TSE123.com

d'agostino
general contractors, inc.

PROJECT TITLE:
**Proposed One-Story Building at:
920 Linden Avenue**
Rochester, NY 14625

DRAWING TITLE:
EXTERIOR ELEVATIONS

NOTICE:
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS
DRAWING ARE IN VIOLATION OF THE NEW YORK STATE
EDUCATION LAW ARTICLE 147, SECTION 7905. NO
REVISIONS ARE PERMITTED UNLESS AUTHORIZED BY
THE ARCHITECT OF RECORD.

REVISIONS:

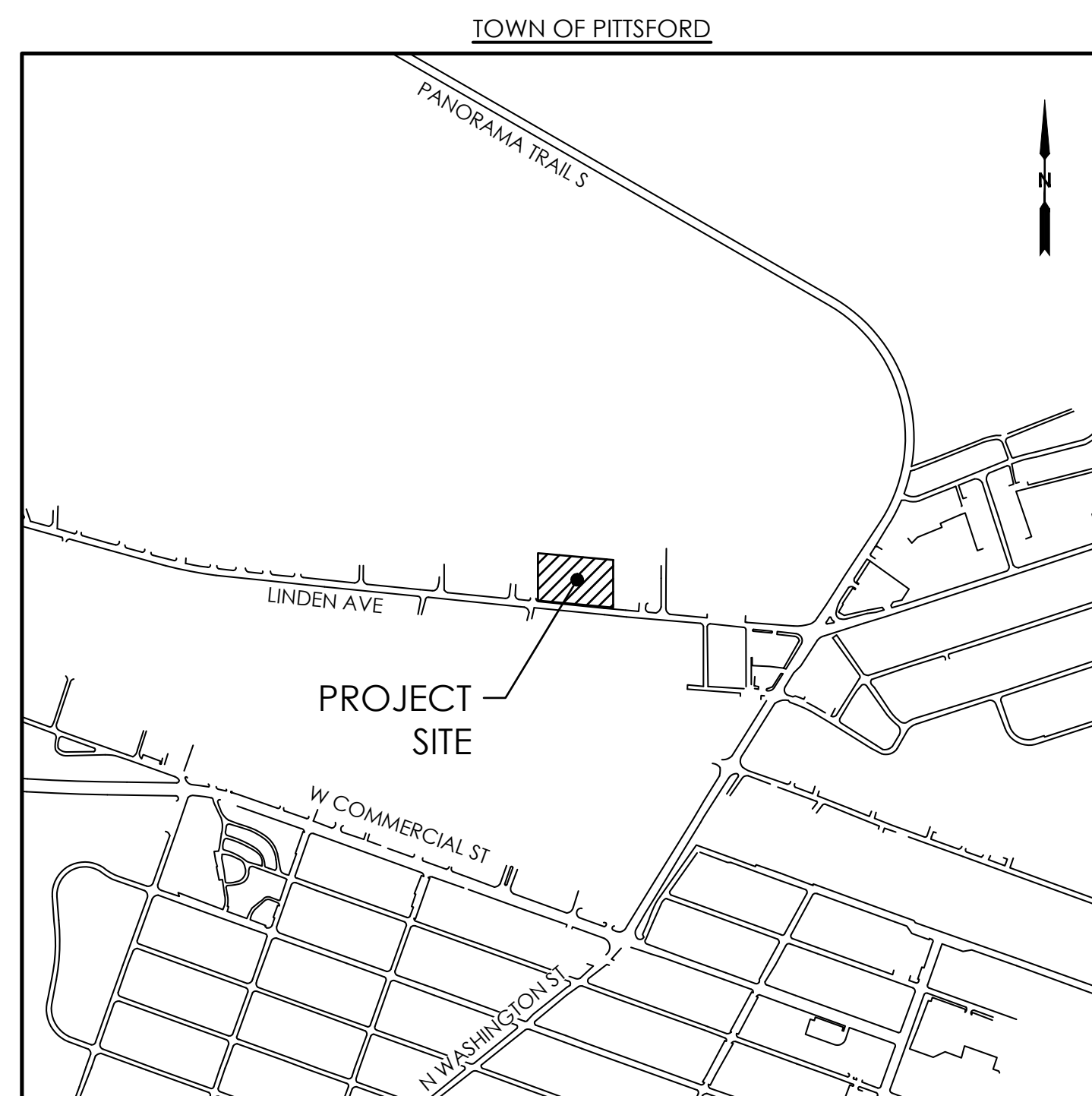
PROJECT NO.: 20-01-05DGC
SCALE: AS NOTED
DRAWN BY: TW
CHECKED BY: CT
DATE: 5/14/21
DRAWING #

A-2

PROPOSED PLANS FOR: 920 LINDEN AVENUE SITE DEVELOPMENT T.A.# 138.16-1-13.1

TOWN OF PITTSFORD
MONROE COUNTY
STATE OF NEW YORK

TABLE OF CONTENTS	
DWG. NO.	DESCRIPTION
72210038 - C0	COVER SHEET
72210038 - C1	NOTES & LEGEND
72210038 - C2	EXISTING CONDITIONS PLAN
72210038 - C3	SITE PLAN
72210038 - C4	UTILITY PLAN
72210038 - C5	GRADING PLAN
72210038 - C6	EROSION & SEDIMENT CONTROL PLAN
72210038 - C7	LANDSCAPE PLAN
72210038 - C8	LIGHTING PLAN
72210038 - C9	CONSTRUCTION DETAILS - 1
72210038 - C10	CONSTRUCTION DETAILS - 2
72210038 - C11	CONSTRUCTION DETAILS - 3
72210038 - C12	CONSTRUCTION DETAILS - 4
72210038 - C13	MCDOT DETAILS - 1



LOCATION MAP
NOT TO SCALE

MONROE COUNTY
DEPT. OF TRANSPORTATION

APPROVED _____

DATE _____

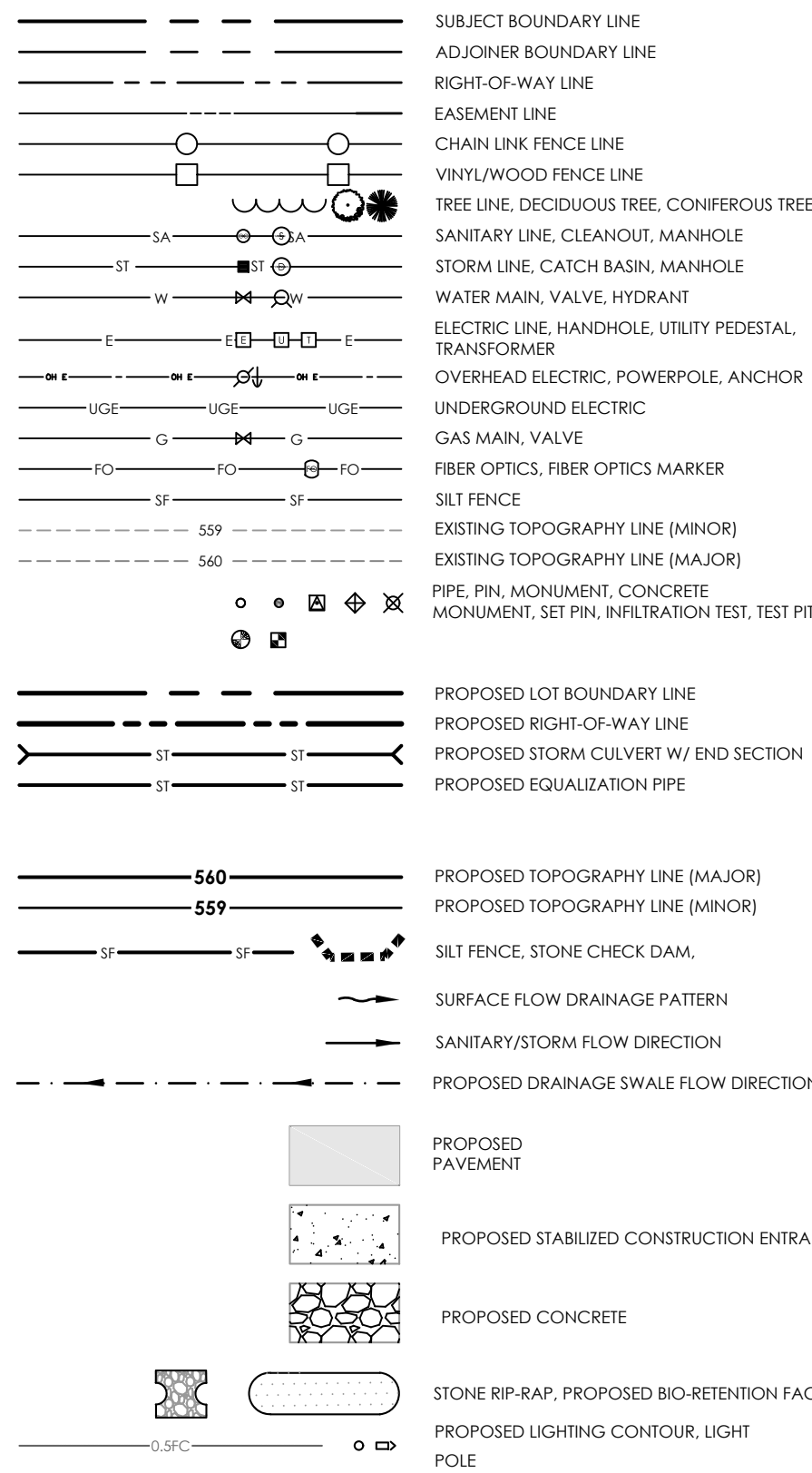
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

PREPARED BY:



45 HENDRIX ROAD
WEST HENRIETTA, NY 14586
PHONE (585) 359-7540
FAX (585) 359-7547

LEGEND



ABBREVIATIONS

EX.	EXISTING
N/F	NOW OR FORMALLY
EX.	TYPICAL
W/	WITH
Ø	DIAMETER
T.A.	TAX ACCOUNT NUMBER
P.M.L.	UTILITY PAINT MARK LOCATION
REC.	PER RECORD MAPPING
LAT.	LATERAL
SWR.	SEWER
C.O.	CLEANOUT
CB	CATCH BASIN
M.H.	MANHOLE
F.F.	FINISHED FLOOR ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL

SITE NOTES:

- SITE BENCHMARK, NAIL IN UTILITY POLE FTR #10, ELEVATION 407.84. (N/VDB8)
- PROJECT AREA IS LOCATED IN FLOOD ZONE X AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 0376G, DATED AUGUST 28, 2008.
- ADJACENT ROADS SHALL BE KEPT CLEAN AND FREE OF DUST AND DEBRIS DURING CONSTRUCTION.
- DEVELOPER/OWNER IS TO OBTAIN ANY APPROPRIATE STATE, COUNTY AND TOWN PERMITS PRIOR TO STARTING WORK OR CONNECTING TO ANY PUBLIC UTILITIES.
- UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. ALL UTILITIES SHALL BE FIELD STAKED BEFORE COMMENCING WORK. CONTRACTOR IS CAUTIONED TO NOTIFY CENTRAL STAKEOUT NUMBER 1-800-962-7962 FOR UNDERGROUND UTILITY LOCATION PRIOR TO CONSTRUCTION.
- EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND/OR RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION, DEPTH, OR SIZE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT SITE, LOCATION, MATERIAL COMPOSITION AND DEPTH/INVERTS OF ALL EXISTING UTILITIES AND SEWERS, AS WELL AS ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, AND UNDER OR ABOVE THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES INCURRED AS A RESULT OF INCORRECTLY FIELD LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS OTHER THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS AND THE CONSTRUCTION MANAGER/ENGINEER WITHIN AMPLE TIME TO ALLOW FOR THEM TO LOCATE AND MARK THEIR FACILITIES, AND ALLOW FOR ANY NECESSARY REDESIGN AND APPROVALS.
- ALL PROPOSED UTILITIES TO BE UNDERGROUND.
- DISTURBED AREAS NOT IN PAVEMENT, BUILDING OR LANDSCAPED AREAS, SHALL RECEIVE 6" MIN. TOPSOIL AND SEED.
- PAVEMENT SECTIONS, SUB-GRADES AND FILL MATERIAL, SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. AT A MINIMUM, PAVEMENT SUB GRADE AREAS SHALL BE PROCT OF ROLLED AND APPROVED BY SOIL TESTING COMPANY PRIOR TO PLACEMENT OF SUB-BASE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND REPAIRS TO ALL UTILITIES, PUBLIC AND PRIVATE ROADWAYS, SIDEWALKS, AND STRUCTURES INCLUDING SIGNS, RESULTING FROM HIS OPERATION, SIDEWALKS, DRIVEWAYS, GUTTERS, CURBS, AND FENCES SHALL BE REPLACED IN KIND.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS IN THE AREAS OF CONSTRUCTION, FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW # 6 OF 1971, REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN.
- PROPOSED BUILDING TO HAVE SPRINKLER SYSTEM (BY OTHERS).
- SITE ENTRANCES AND ROADWAYS ARE NOT TO IMPEDE EMERGENCY ACCESS AT ANY TIME DURING CONSTRUCTION OR AFTER OCCUPANCY.
- OVERNIGHT PARKING/STORAGE OF VEHICLES OR MATERIALS ARE NOT PERMITTED AFTER OCCUPANCY.

STANDARD WATER MAIN EXTENSION NOTES

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARDS FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
- ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
- THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTS AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.
- THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM TOP OF PIPES AT POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITH SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604 OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH CONDITIONS OF APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL IS GRANTED ON CONDITION THAT:

- THE PROPOSED FACILITIES FOR SEWAGE DISPOSAL ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS.
- A COPY OF THE PLANS APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY, IF APPLICABLE.
- NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- THIS CERTIFICATE IS GRANTED WITH THE UNDERSTANDING THAT THE APPROVED PLANS ARE SUBJECT TO REVIEW AND REAPPROVAL AFTER TWO YEARS FROM DATE OF APPROVAL, IF INSTALLATION IS NOT COMPLETED BY THAT TIME.
- ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT GP-01-15-002 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES WILL BE OBTAINED.

WASTE SITE NOTE

IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING CONSTRUCTION, ALL WORK SHALL STOP AND THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OBTAINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.

CONSTRUCTION SEQUENCE:

- EXPOSURE OF DISTURBED EARTH DURING THE MASS EARTHWORK PHASE WILL BE LESS THAN 5 ACRES. IT IS RECOMMENDED THAT THE CONTRACTOR FOLLOW THE FOLLOWING SEQUENCE OF CONSTRUCTION OPERATIONS.
- THE PROPOSED EROSION AND SEDIMENT PLAN WILL BE DISCUSSED WITH CONTRACTORS BEFORE BEGINNING ANY EARTH DISTURBING ACTIVITIES TO ENSURE THAT ALL CONTRACTORS ARE AWARE OF THE PROPER INSTALLATION OF THE E&SC MEASURES AND THE NEED FOR ANY MAINTENANCE, WHICH MAY BE REQUIRED AS THE PROJECT PROGRESSES. THIS WILL BE IMPORTANT IN PROTECTING THE ADJACENT PROPERTIES AND EXISTING WATER FEATURES DURING THE CONSTRUCTION PERIOD. PRE-GRADING MEETING TO BE WITH THE CONTRACTOR, TOWN REPRESENTATIVE, AND SWPPP INSPECTOR.
- CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN ON PLAN PER DETAIL.
- CONSTRUCT STAGING AREA(S) AS REQUIRED.
- WETLAND/STREAM BOUNDARIES ARE TO BE LOCATED AND FLAGGED IN THE FIELD BY A LICENSED PROFESSIONAL PRIOR TO ANY CONSTRUCTION WORK OCCURRING ON SITE. ORANGE CONSTRUCTION FENCING SHALL BE UTILIZED TO PREVENT ENCROACHMENT INTO THESE AREAS, AS SHOWN ON THE E&SC PLAN.
- INSTALL PERIMETER CONTROLS (SILT FENCING) AT LOCATIONS SHOWN ON PLAN. IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THIS ACTIVITY. USE CARE TO AVOID DAMAGING TREES WHICH ARE TO REMAIN.
- THE INFILTRATION BASIN BOUNDARIES ARE TO BE DELINEATED WITH FENCING TO PROTECT FROM COMPACTION.
- CONSTRUCT SEDIMENT TRAP WITH OUTLET STRUCTURES, STONE FILTERS, DIVERSION SWALES, CHECK DAMS, INLET PROTECTION ON EXISTING STRUCTURES, AND ALL OTHER EROSION CONTROL MEASURES NOTED ON THE E&SC PLAN. STABILIZE AREAS IMMEDIATELY.
- THE OPERATOR AND OWNER/DEVELOPER SHALL COMPLETE AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- BEGIN CLEARING AND GRUBBING THE SITE.
- STRIP AND STOCKPILE TOPSOIL AS DIRECTED BY DEVELOPER, USING APPROPRIATE SILT FENCING AND/OR SEEDING TO STABILIZE STOCKPILES UPON COMPLETION OF THIS ACTIVITY. ALL SOIL STOCKPILES SHALL HAVE PERIMETER SILT FENCE INSTALLED A MIN. OF 15' FROM TOE OF SLOPE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- INSTALL UTILITIES PER THE UTILITY PLAN, UNDERDRAINS, STORM SEWERS, AND CURBS.
- INSTALL INLET/OUTLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET/OUTLET STRUCTURE IS INSTALLED.
- REMOVE TEMPORARY DIVERSION SWALES, CHECK DAMS, TEMPORARY SEDIMENT TRAP, BRING AREAS TO PROPOSED GRADE AND STABILIZE IMMEDIATELY.
- CONDUCT TESTING ON ALL INSTALLED UTILITIES.
- INSPECTIONS BY A QUALIFIED PROFESSIONAL ARE TO OCCUR AT LEAST ONCE EVERY 7 CALENDAR DAYS IF UNDER 5 ACRES OF ACTIVE DISTURBANCE, WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 3 CALENDAR DAYS.
- PREPARE AREAS FOR PAVING AND PAVE THE ROADWAYS/PARKING LOTS.
- WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 7 CALENDAR DAYS.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- SEED AREAS WITH SPECIFIED SEED MIXES AS SHOWN ON THE GRADING AND LANDSCAPE PLAN.
- UPON PERMANENT STABILIZATION OF THE SITE, REMOVE INDIVIDUAL TEMPORARY SEDIMENTATION CONTROL MEASURES AS APPROPRIATE. ORANGE CONSTRUCTION FENCE AROUND INFILTRATION BASIN ARE TO BE REMOVED AND PRACTICES TO BE INSTALLED UPON PERMANENT STABILIZATION OF CONTRIBUTING DRAINAGE AREAS.
- INSTALL ALL PLANTINGS AND LANDSCAPE FEATURES AS SHOWN ON THE LANDSCAPE PLAN.
- SWPPP INSPECTION REPORTS WILL CONTINUE UNTIL THE SITE IS FULLY STABILIZED, THE TOWN HAS PERFORMED A FINAL INSPECTION OF THE SITE, AND THE NOTICE OF TERMINATION (N.O.T.) HAS BEEN FILED.

MCDOT NOTES:

- HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE OWNER WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE DETERMINED BY THE MONROE COUNTY DIRECTOR OF TRANSPORTATION.
- AFTER MCDOT REVIEWS THE PROJECT, A 136 HIGHWAY WORK PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
- ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MCDOT STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
- ALL UTILITIES MUST BE DIRECTIONALLY DRILLED OR BORED ACROSS THE COUNTY ROAD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL MONROE COUNTY RIGHT-OF-WAY AND GEODETIC MONUMENTS. ANY MONUMENT THAT IS DISTURBED SHALL BE RESET BY A LICENSED SURVEYOR, TO THE SATISFACTION OF THE MONROE COUNTY SURVEYOR, AT THE CONTRACTOR'S EXPENSE.
- ALL VEGETATION INCLUDING TREES/BUSHES IN THE HIGHWAY RIGHT-OF-WAY AND ON THE OWNER'S PROPERTY IS TO BE REMOVED/TRIMMED/MAINTAINED BY THE OWNER TO PROVIDE ADEQUATE SIGHT DISTANCE FROM THE PROPOSED DRIVEWAY.

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

EROSION AND SEDIMENT CONTROL NOTES:

- PROCEDURES OUTLINED IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MUST BE FOLLOWED THROUGHOUT THE DURATION OF CONSTRUCTION OF THIS PROJECT. THROUGHOUT CONSTRUCTION, EMPHASIS WILL BE PLACED ON PREVENTING EROSION OF THE DISTURBED AND EXPOSED SOIL WITHIN THE SITE.
- VEGETATIVE MEASURES SUCH AS JUTE MESH, SEEDING AND MULCHING SHALL BE UTILIZED TO HELP PREVENT ERODING OF THE SOIL.
- TEMPORARY SEEDING WILL CONSIST OF RYEGRASS PLACED AT A RATE OF 30 LBS. PER ACRE OR 0.7 LBS. PER 1,000SF. THE AREA IS TO THEN BE MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.
- PERMANENT SEEDING SHALL FOLLOW THE SCHEDULES LISTED ON THE LANDSCAPING PLAN. MULCH SHALL BE SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.
- SEDIMENT CONTROL CONCERNS ARE ADDRESSED BY USE OF PERIMETER CONTROLS SUCH AS SILT FENCE, MULCHING.
- IF NECESSARY THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WHICH IS PRONE TO BLOWING FROM THE WIND, WILL BE COVERED WITH A TARPULIN.
- INSPECTIONS BY A QUALIFIED PROFESSIONAL ARE TO OCCUR AT LEAST ONCE EVERY 7 CALENDAR DAYS IF UNDER 5 ACRES OF ACTIVE DISTURBANCE, WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 7 CALENDAR DAYS.
- CONSTRUCTION MAY NOT BEGIN UNTIL RECEIPT OF THE NOTICE OF INTENT LETTER OF ACKNOWLEDGEMENT FROM THE NYSDEC.
- DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY EROSION CONTROL DEVICES WHICH BECOME INOPERABLE OR DAMAGED. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES AFTER EACH RAIN EVENT TO ENSURE THEY ARE WORKING PROPERLY. REPAIRS TO ALL EROSION CONTROL DEVICES SHALL BE MADE IN ACCORDANCE WITH NYSDEC REGULATIONS AND DESIGN CRITERIA. ANY SILT ACCUMULATION ON ROADWAYS, IN DITCHES OR SWALES, IN EXISTING STORMWATER MANAGEMENT AREAS, IN EXISTING SEWERS SHALL BE REMOVED. NO OFFSITE TRACKING OF SILT, MUD OR OTHER DEBRIS WILL BE PERMITTED.
- IMMEDIATELY AFTER GRADING, ALL SWALES SHALL BE SEEDED WITH GRASS SEED AND STABILIZED. SILT FENCE, SILT SOCK, AND SIMILAR PRACTICES SHALL NOT BE PLACED WITHIN THE SWALES.
- NATIVE AND EXISTING VEGETATION SHOULD BE RETAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE AND INCORPORATED INTO THE LANDSCAPE PLAN.
- JUTE MESH OR EROSION CONTROL FABRIC SHALL BE USED ON STEEP SLOPES OF 1V:3H OR GREATER AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER.
- CONCRETE WASHOUT FACILITIES ARE TO BE LOCATED A MINIMUM OF 100 FEET FROM ALL DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS, AND OTHER SURFACE WATERS PER NYSDEC STANDARDS.
- FOR LAND DISTURBANCE ACTIVITIES BETWEEN NOVEMBER 15 AND APRIL 1 WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 3 CALENDAR DAYS.

New York State Stormwater Management Design Manual

Chapter 5: Green Infrastructure Practices
Section 5.1 Planning for Green Infrastructure: Preservation of Natural Features and Conservation Design

Table 5.3 Soil Restoration Requirements			
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples	
No soil disturbance	Restoration not permitted	Preservation of Natural Features	
Minimal soil disturbance	Restoration not required	Clearing and grubbing	
Areas where topsoil is stripped only - no change in soil grade	HSG A & B apply 6 inches of topsoil	HSG C & D Aerate* and apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A & B Aerate and apply 6 inches of topsoil	HSG C & D Apply full Soil Restoration **	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)		
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area	
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.		

*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.

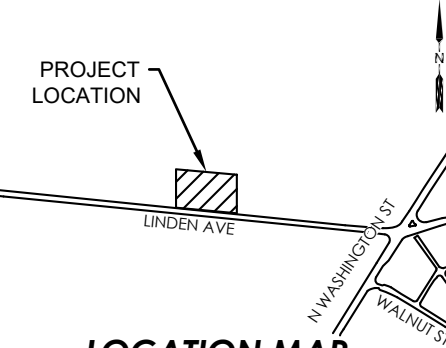
** Per "Deep Ripping and De-compaction, DEC 2008".



**45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541**

**D'AGOSTINO GENERAL
CONTRACTORS, INC.
803 LINDEN AVE
ROCHESTER, NY 14625**

TOWN OF PITTSFORD



**LOCATION MAP
N.Y.S.**



**ROBERT K. WINANS, P.E.
NYS LIC. #074355**

DATE	DESCRIPTION	REV
06/25/21	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS	01
07/19/21	REVISED PER TOWN COMMENTS	02
07/22/21	REVISED PER MCDOT & NYSWA COMMENTS	03

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920 LINDEN AVENUE
BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

NOTES & LEGEND

DRAWING TITLE: _____

DRAWN BY: _____

CHECKED BY: _____

APPROVED BY: _____

DATE: _____

PROJ. NO.: 72-21-0038

DATE: 08/02/21

PAGE SIZE: ANSI D

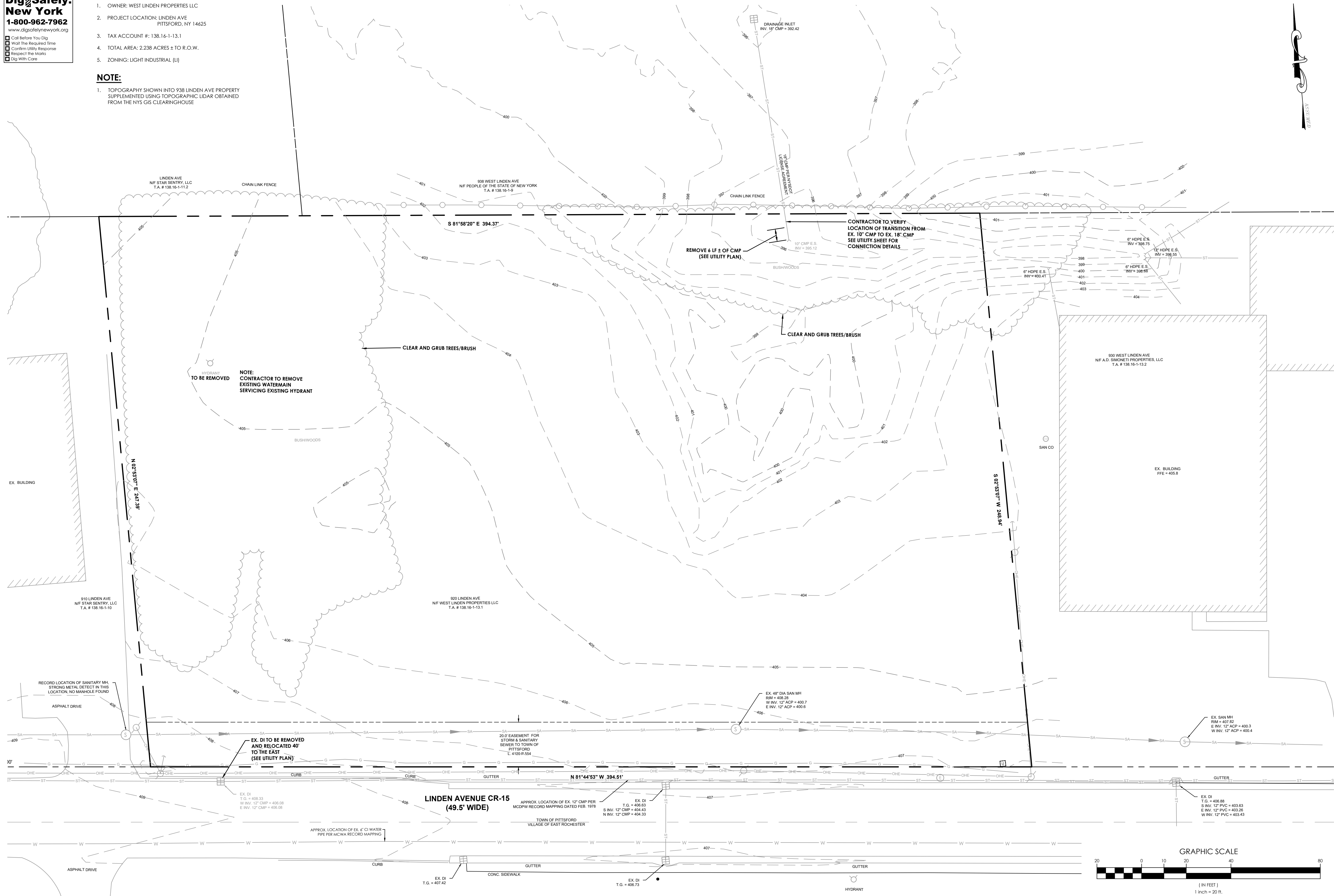
REV: **03** DRAWING NO: **C1**

SITE DATA:

1. OWNER: WEST LINDEN PROPERTIES LLC
2. PROJECT LOCATION: LINDEN AVE
PITTSFORD, NY 14625
3. TAX ACCOUNT #: 138.16-1-13.1
4. TOTAL AREA: 2,238 ACRES ± TO R.O.W.
5. ZONING: LIGHT INDUSTRIAL (LJ)

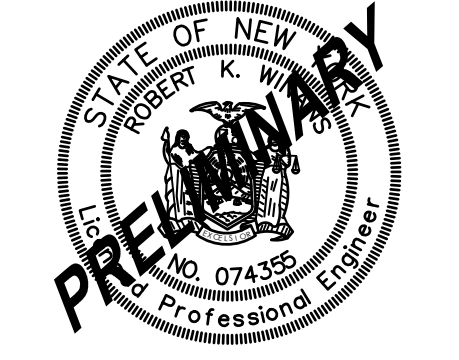
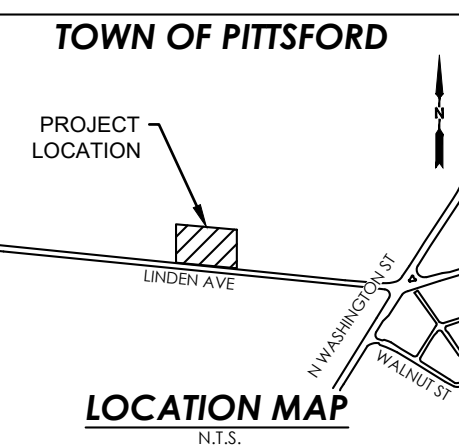
NOTE:

1. TOPOGRAPHY SHOWN INTO 938 LINDEN AVE PROPERTY SUPPLEMENTED USING TOPOGRAPHIC LIDAR OBTAINED FROM THE NYS GIS CLEARINGHOUSE



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WEST HENRIETTA, NY 14586
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D'AGOSTINO GENERAL CONTRACTORS, INC.
803 LINDEN AVE
ROCHESTER, NY 14625



ROBERT K. WINANS, P.E.
NYS LIC. #074355

REV	DESCRIPTION	DATE
01	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS	08/25/21
02	REVISED PER TOWN COMMENTS	07/19/21
03	REVISED PER MCDOT, MCWA, & MCDPH COMMENTS	07/23/21

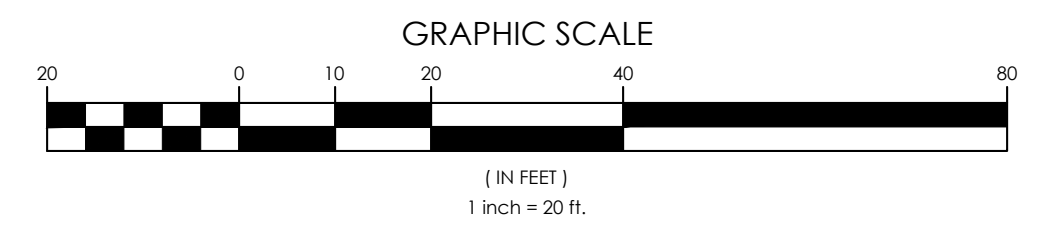
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DRAWING TITLE: **EXISTING CONDITIONS PLAN**

DRAWN BY: CEK
CHECKED BY: RKW
APPROVED BY: RKW
PROJ. NO.: 72-21-0038
PAGE SIZE: 72.21-0038
ANSI D

REV: **03** DRAWING NO: **C2**



WEST ENTRANCE			EAST ENTRANCE		
SPEED LIMIT			SPEED LIMIT		
POSTED	30 MPH		POSTED	30 MPH	
DESIGN (85TH PERCENTILE)	35 MPH		DESIGN (85TH PERCENTILE)	35 MPH	
SIGHT DISTANCE			SIGHT DISTANCE		
	REQUIRED	PROVIDED		REQUIRED	PROVIDED
INTERSECTION			INTERSECTION		
LEFT	390 FEET	500+ FEET	LEFT	390 FEET	500+ FEET
RIGHT	390 FEET	500+ FEET	RIGHT	390 FEET	500+ FEET
STOPPING			STOPPING		
LEFT	250 FEET	500+ FEET	LEFT	250 FEET	500+ FEET
RIGHT	250 FEET	500+ FEET	RIGHT	250 FEET	500+ FEET

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

NOTE:

1. ALL WORK IN M.C.D.O.T. R.O.W. TO BE PERFORMED IN ACCORDANCE WITH M.C.D.O.T. PERMIT

SITE NOTES:

- OWNER: WEST LINDEN PROPERTIES LLC
- TAX ACCOUNT #: 138.16-1-13.1
- TOTAL AREA: 2.238 ACRES ± TO R.O.W.
- ZONING REQUIREMENTS:

ZONING: U - LIGHT INDUSTRIAL	REQUIRED	PROPOSED
FRONT SETBACK	50' MIN.	52'
SIDE SETBACK	25' MIN.	54'
REAR SETBACK	50' MIN.	66'
MAX BUILDING HEIGHT	40'	28'
MAX LOT COVERAGE	80%	69%

ZONING: GI (GENERAL INDUSTRIAL)	REQUIRED	PROPOSED
MIN. PARKING SPACE SIZE	9'X18'	9'X18'
SPACES:	N/A	94*

*PROVIDED: 4.4 SPACES / 1,000 SF

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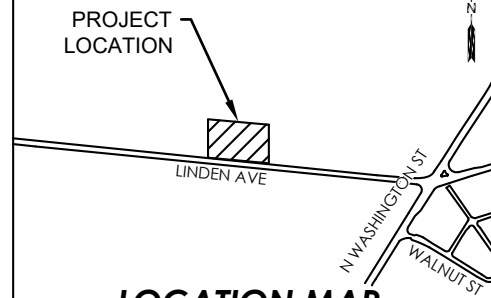
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D'AGOSTINO GENERAL CONTRACTORS, INC.
803 LINDEN AVE
ROCHESTER, NY 14625

TOWN OF PITTSFORD



ROBERT K. WINANS, P.E.
NYS LIC. #074355

REV	DESCRIPTION	DATE
01	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS	06/25/21
02	REVISED PER TOWN COMMENTS	07/19/21
03	REVISED PER MCDOT, MOWA, & MCDPH COMMENTS	07/23/21

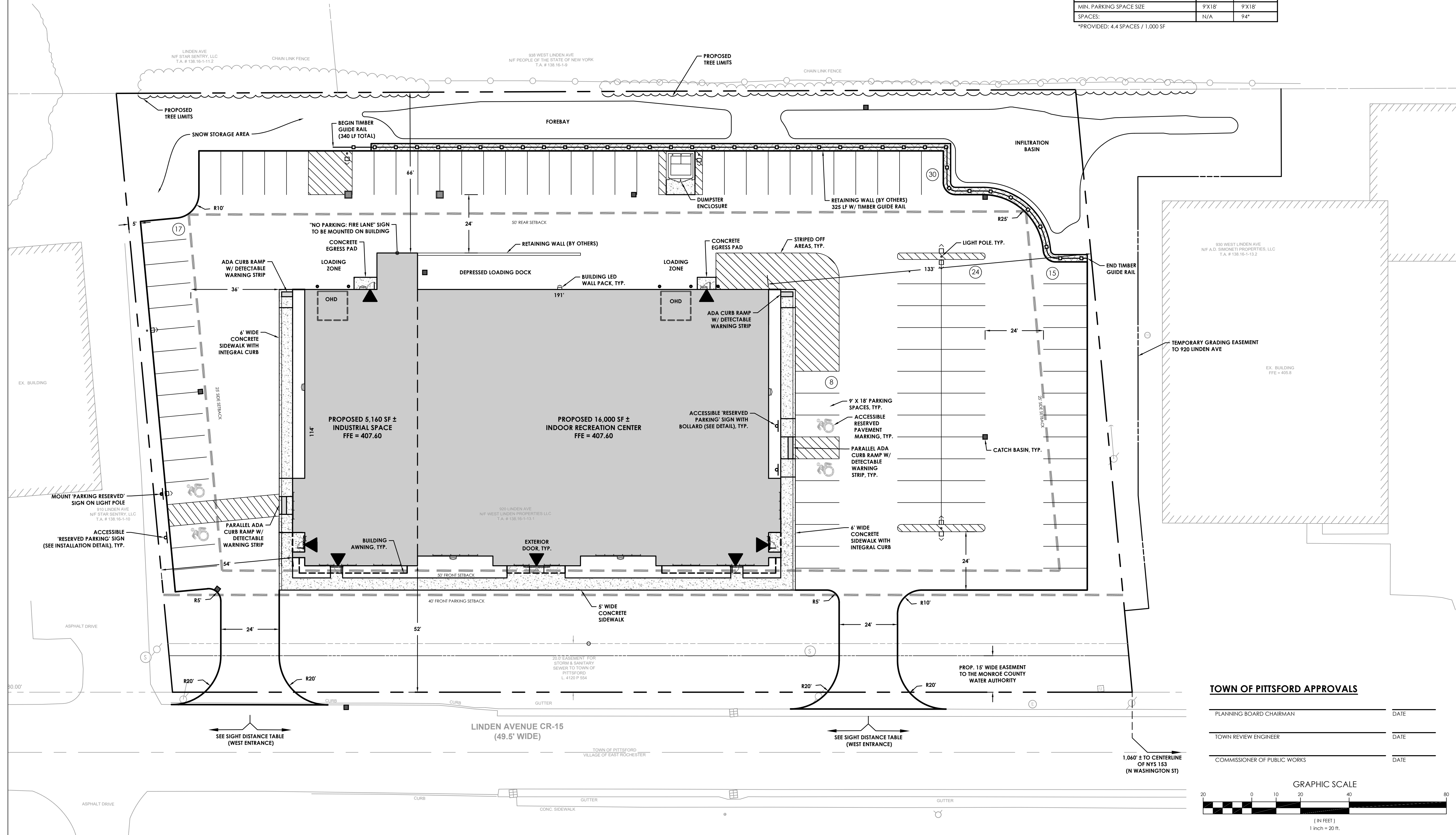
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DRAWING TITLE: **SITE PLAN**

DRAWN BY: CEK PROJ. NO. 72-21-0038
CHECKED BY: RKW DATE: 06/02/21 PAGE SIZE: ANSI D

REV: **03** DRAWING NO: **C3**

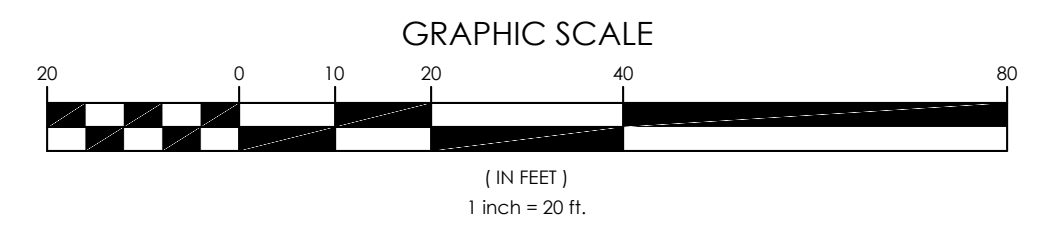


TOWN OF PITTSFORD APPROVALS

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN REVIEW ENGINEER _____ DATE _____

COMMISSIONER OF PUBLIC WORKS _____ DATE _____



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PUBLIC WATER SERVICE LINE NOTES

- USE THESE NOTES FOR WATER SERVICES SIZED 4" OR GREATER ONLY. SERVICE CONNECTIONS ARE TO BE TAPPED OFF AN EXISTING WATER MAIN.
- WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
 - WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
 - WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
 - WATER SERVICE LINES SHALL BE IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL (G)	TYPE (B)
M.C.W.A. PORTION= FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	6"	D.J.P.	CMB
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	6"	D.J.P.	CMB

(G) ACCEPTABLE MATERIAL IS *CLASS 52 CEMENT MORTAR LINED DUCTILE IRON PIPE.
(B) SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB

- THE WATER AUTHORITY'S PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED PRIOR TO THE PRIVATE PORTION OF THE SERVICE LINE.
- WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS. 1 1/2-INCH + 2-INCH METER INSTALLATIONS MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER. METER INSTALLATION 4-INCH OR GREATER REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.
- WATER SERVICE LINES SIZED 4-INCHES OR GREATER SHALL BE:
 - PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
 - DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED IN ACCORDANCE WITH THE DEPARTMENT OF HEALTH THAT HAS JURISDICTION OF THE AREA'S REQUIREMENTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT OF PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE ACTIVATED BY THE WATER AUTHORITY.

APPROVAL

BY: _____ DATE: _____
MONROE COUNTY WATER AUTHORITY

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO 10NYCRRS OF THE STATE'S SANITARY CODE SUBJECT TO CONDITIONS OF APPROVAL

DIRECTOR OF PUBLIC HEALTH

BY: _____ PUBLIC HEALTH ENGINEER _____ DATE _____

MONROE COUNTY DEPT. OF TRANSPORTATION

APPROVED _____ DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

NOTES:

- ALL SANITARY AND STORM SEWERS ARE TO BE TELEVIEWED BEFORE BEING PUT TO SERVICE.
- A HIGHWAY WORK PERMIT WILL BE REQUIRED FROM THE MCDOT FOR ANY WORK PERFORMED WITHIN THE RIGHT-OF-WAYS.
- ALL LOT DEVELOPMENT WILL BE SUBJECT TO RESPECTIVE SITE PLAN APPROVALS.
- NO EXCAVATIONS SHALL BE LEFT OPEN OR UNATTAINED OVERNIGHT.
- THE LOCATION AND DEPTH OF THE EXISTING UTILITIES UNDER PAVEMENT CROSSING THE PROPOSED UTILITY SHALL BE FIELD VERIFIED USING 18" SQUARE/CIRCLE VACUUM EXCAVATION BEFORE ANY DRILLING/EXCAVATION CAN OCCUR.
- PRIOR TO THE SANITARY LATERAL CONNECTION, CONTACT AND COORDINATE WITH THE TOWN OF PITTSFORD SEWER DEPARTMENT. THE TOWN OF PITTSFORD SHALL BE PRESENT TO INSPECT LATERAL SANITARY CONNECTION.

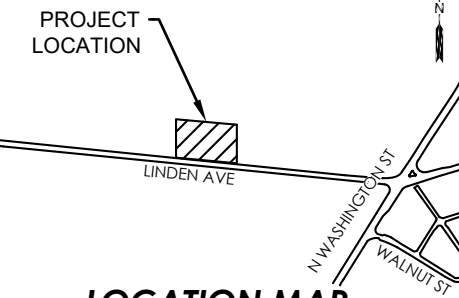
IRONDEQUOIT BAY SOUTH CENTRAL PURE WATERS DISTRICT



45 HENDRIX RD
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PHONE-(585)359-7540
FAX-(585)359-7541

D'AGOSTINO GENERAL CONTRACTORS, INC.
803 LINDEN AVE
ROCHESTER, NY 14625

TOWN OF PITTSFORD

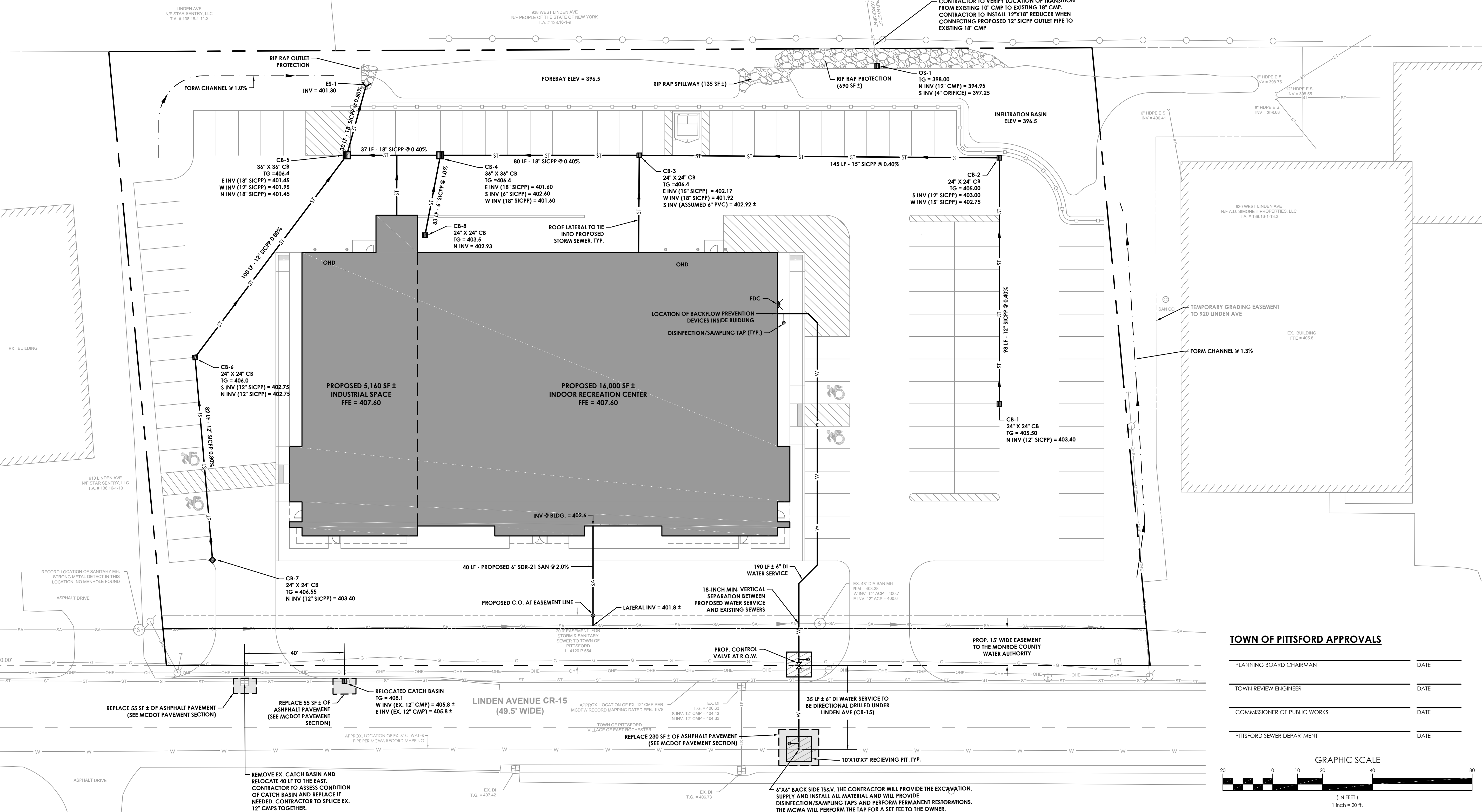


ROBERT K. WINANS, P.E.
NYS LIC. #074355

REV	DESCRIPTION	DATE
01	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS	06/25/21
02	REVISED PER TOWN COMMENTS	07/19/21
03	REVISED PER MCDOT, MCWA, & MCDPH COMMENTS	07/23/21

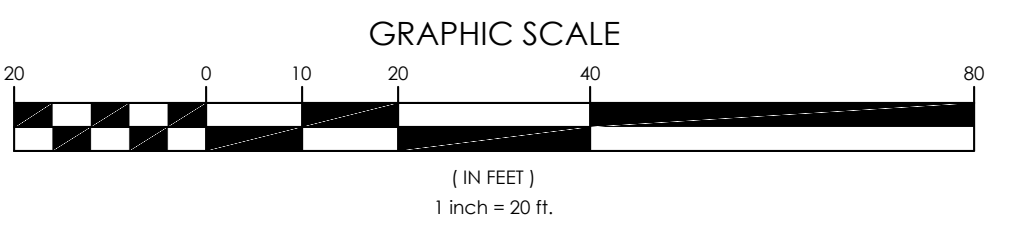
REV	DESCRIPTION	DATE
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REV: **03** DRAWING NO: **C4**



TOWN OF PITTSFORD APPROVALS

PLANNING BOARD CHAIRMAN	DATE
TOWN REVIEW ENGINEER	DATE
COMMISSIONER OF PUBLIC WORKS	DATE
PITTSFORD SEWER DEPARTMENT	DATE



DRAWING TITLE: **UTILITY PLAN**

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- Confirm Utility Response
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NOTE:

1. ANY BERMED AREAS ALONG THE FOREBAY OR INFILTRATION BASIN ARE TO BE CONSTRUCTED USING SUITABLE FILL. COMPACTION WILL BE IN COMPLIANCE WITH GEOTECHNICAL ENGINEER REQUIREMENTS.
2. TOPOGRAPHY SHOWN INTO 928 LINDEN AVE PROPERTY SUPPLEMENTED USING TOPOGRAPHIC LIDAR OBTAINED FROM THE NYS GIS CLEARINGHOUSE

PEAK PONDING ELEVATIONS (FT)

PRACTICE	1-YEAR	10-YEAR	100-YEAR
FOREBAY	400.54	400.89	401.18
INFILTRATION BASIN	396.71	397.64	399.12

INFILTRATION DATA		
HOLE NO.	DROP COVER HOUR (IN/HR)	TEST PIT (TP) SOIL STRATA
IT 1	24 IN/HR -6' TO F.G. 24" DEPTH	-1' TO F.G. 4' TEST PIT 0 - 6" TOPSOIL 6" - 24" SANDY SILT 24" - 60" SANDY LOAM
IT 2	24 IN/HR 0' TO F.G. 24" DEPTH	DDSE FOUND NO EVIDENCE OF BEDROCK, GROUND WATER, OR MINERAL DEPOSITS THROUGHOUT THE TEST PITS OR INFILTRATION TESTS.

TESTING CONDUCTED BY THE DDS COMPANIES ON 6/16/21.

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____
DATE _____

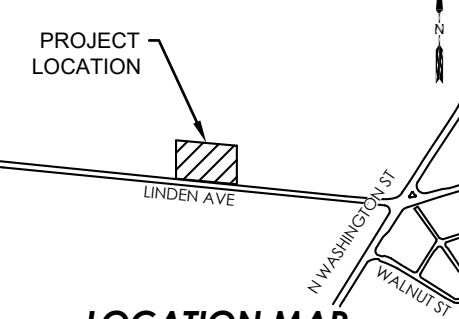
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
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TOWN OF PITTSFORD

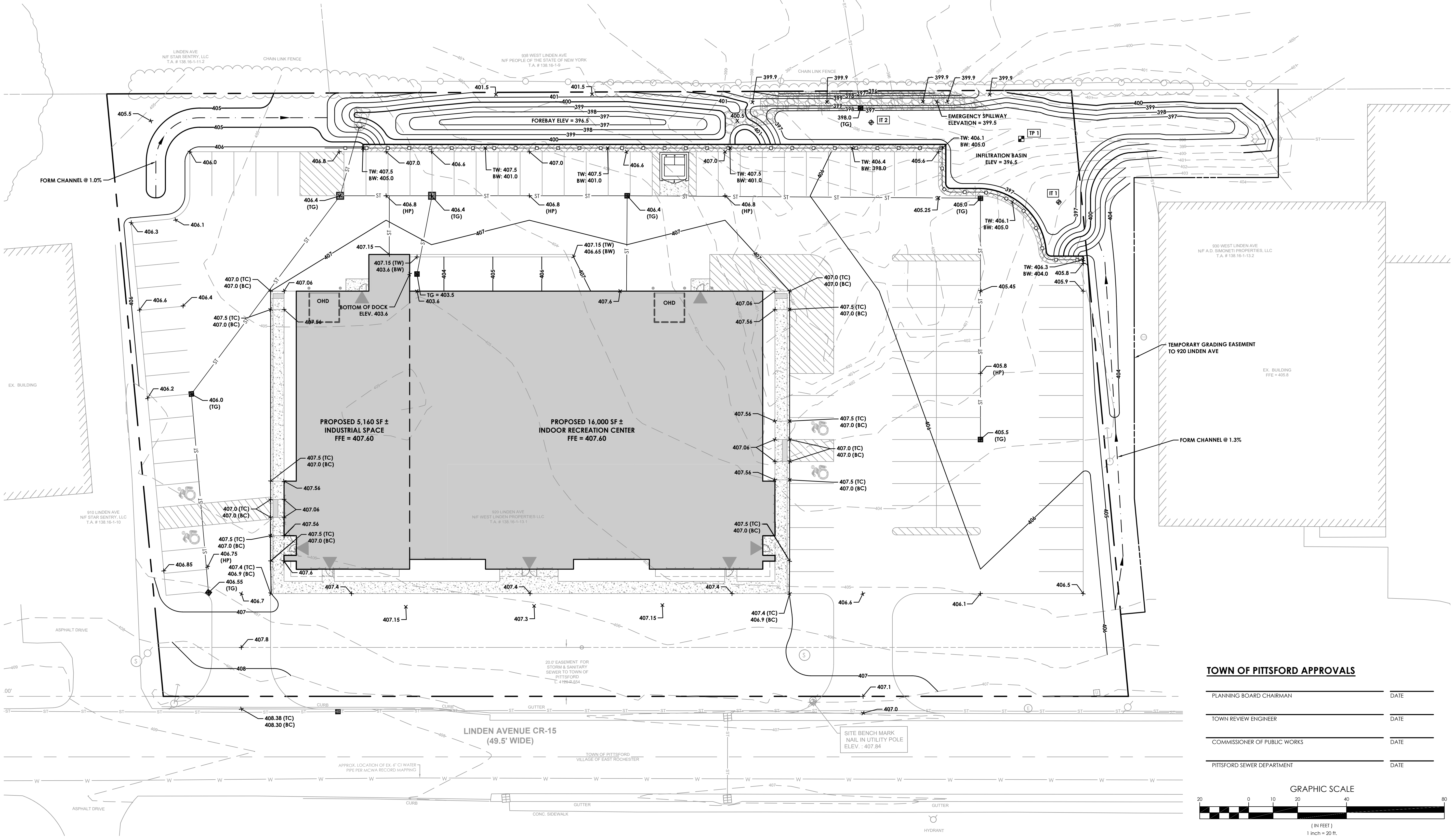


ROBERT K. WINANS, P.E.
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REV	DESCRIPTION	DATE
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REV: **03** DRAWING NO: **C5**



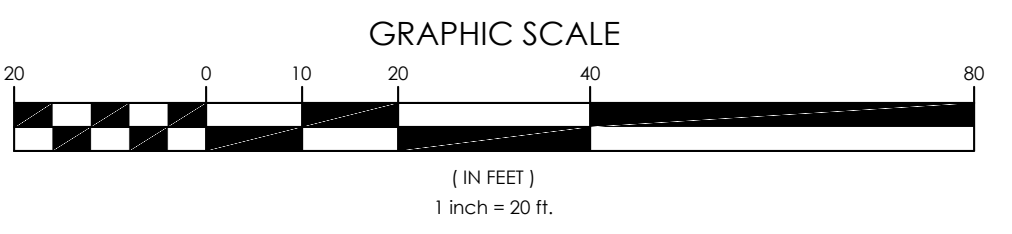
TOWN OF PITTSFORD APPROVALS

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN REVIEW ENGINEER _____ DATE _____

COMMISSIONER OF PUBLIC WORKS _____ DATE _____

PITTSFORD SEWER DEPARTMENT _____ DATE _____



920 LINDEN AVENUE
BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

DRAWING TITLE:
GRADING PLAN

DRAWN BY: CEK
CHECKED BY: RKW
PROJ. NO: 72-21-0038
PAGE SIZE: ANSI D

NOTES:

- CONTRACTOR TO FOLLOW CONSTRUCTION SEQUENCE ON NOTES SHEET.
- PROP. STORMWATER FACILITIES TO BE OVER EXCAVATED AND USED AS TEMPORARY SEDIMENT BASINS. CONTRACTOR SHALL REMOVE SEDIMENT DURING CONSTRUCTION AS NECESSARY AND PRIOR TO FINAL GRADING.
- S/F TO BE INSTALLED AFTER FINAL SEDIMENTATION EXCAVATION HAS OCCURRED AND BIORETENTION MATERIAL INSTALLED.
- PROTECT BIORETENTION AND/OR INFILTRATION BASIN AREAS DURING CONSTRUCTION BY KEEPING EQUIPMENT FROM COMPACTING SOIL.
- IN AREAS OF SOIL RESTORATION, CONTRACTOR TO FOLLOW TABLE 5.3 ON THE NOTES SHEET FOR NYSDEC SOIL RESTORATION REQUIREMENTS.
- EXISTING DRAINAGE STRUCTURES TO BE HAVE NYS DEPARTMENT OF TRANSPORTATION APPROVED INLET PROTECTION DURING CONSTRUCTION PER STANDARD SHEET 209-03
- AREAS WITH A SLOPE OF 1'V:3'H OR STEEPER ARE TO BE PROVIDED WITH JUTE NET MESHING.

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

TOTAL AREA OF DISTURBANCE =
2.37 ACRES ±

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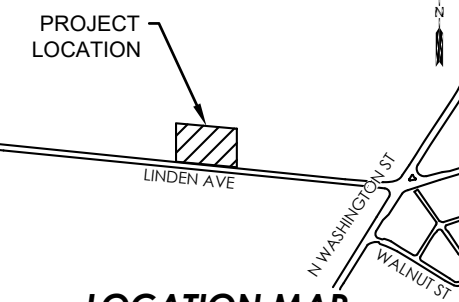
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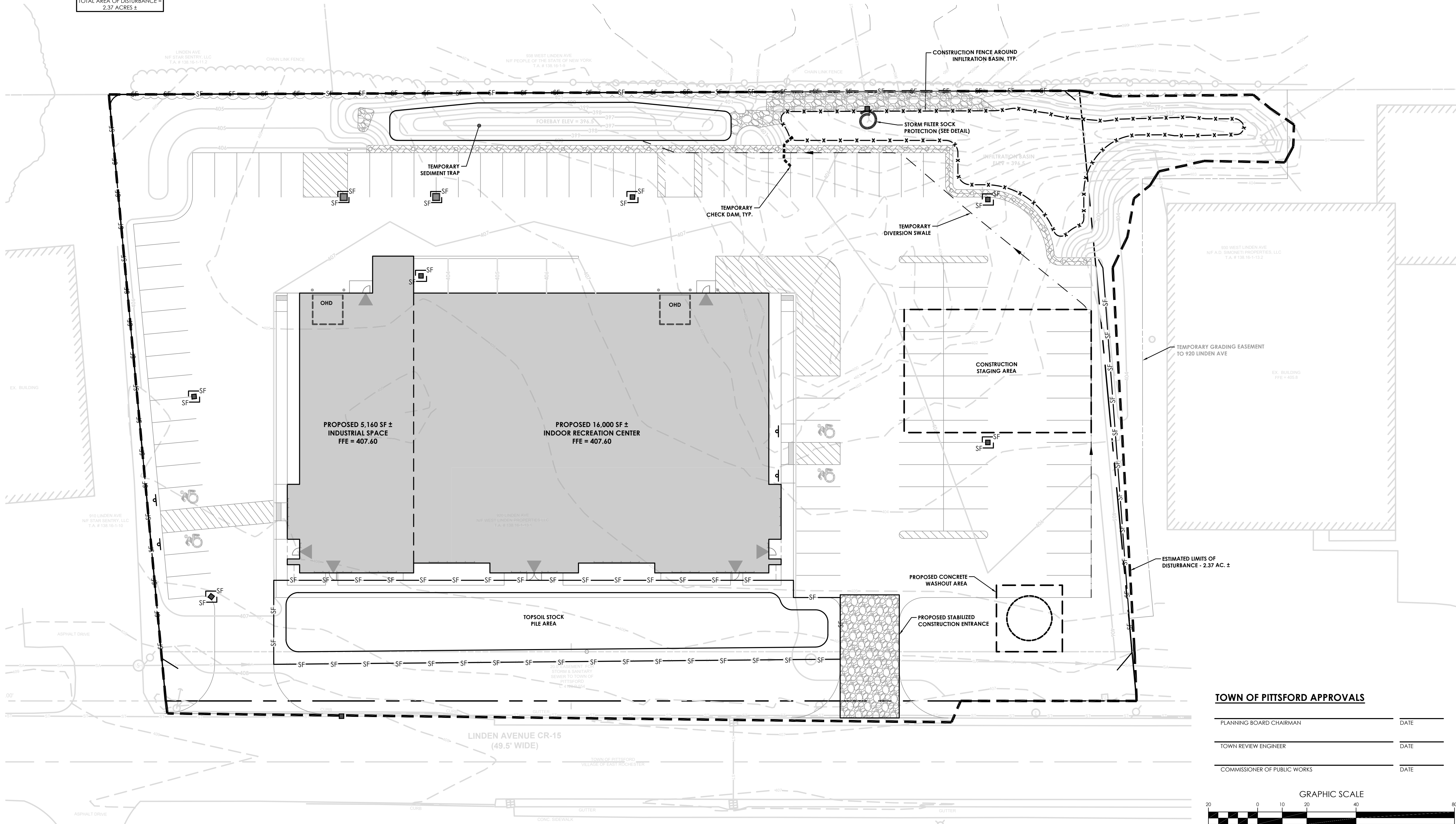
TOWN OF PITTSFORD



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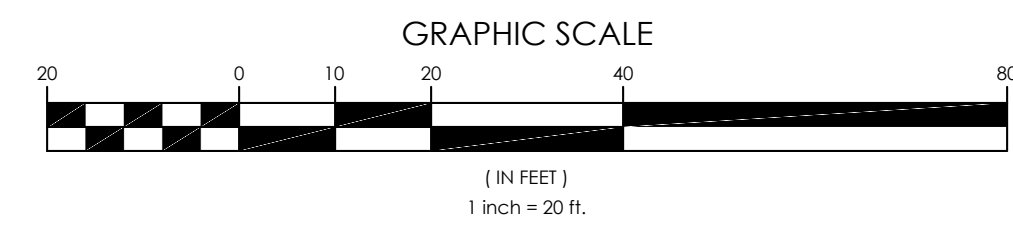


TOWN OF PITTSFORD APPROVALS

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN REVIEW ENGINEER _____ DATE _____

COMMISSIONER OF PUBLIC WORKS _____ DATE _____



920 LINDEN AVENUE
BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

DRAWING TITLE:
EROSION & SEDIMENT CONTROL PLAN

DRAWN BY: CEK PROJ. NO: 72-21-0038
CHECKED BY: RKW DATE: 06/02/21 PAGE SIZE: ANSI D

REV: **03**

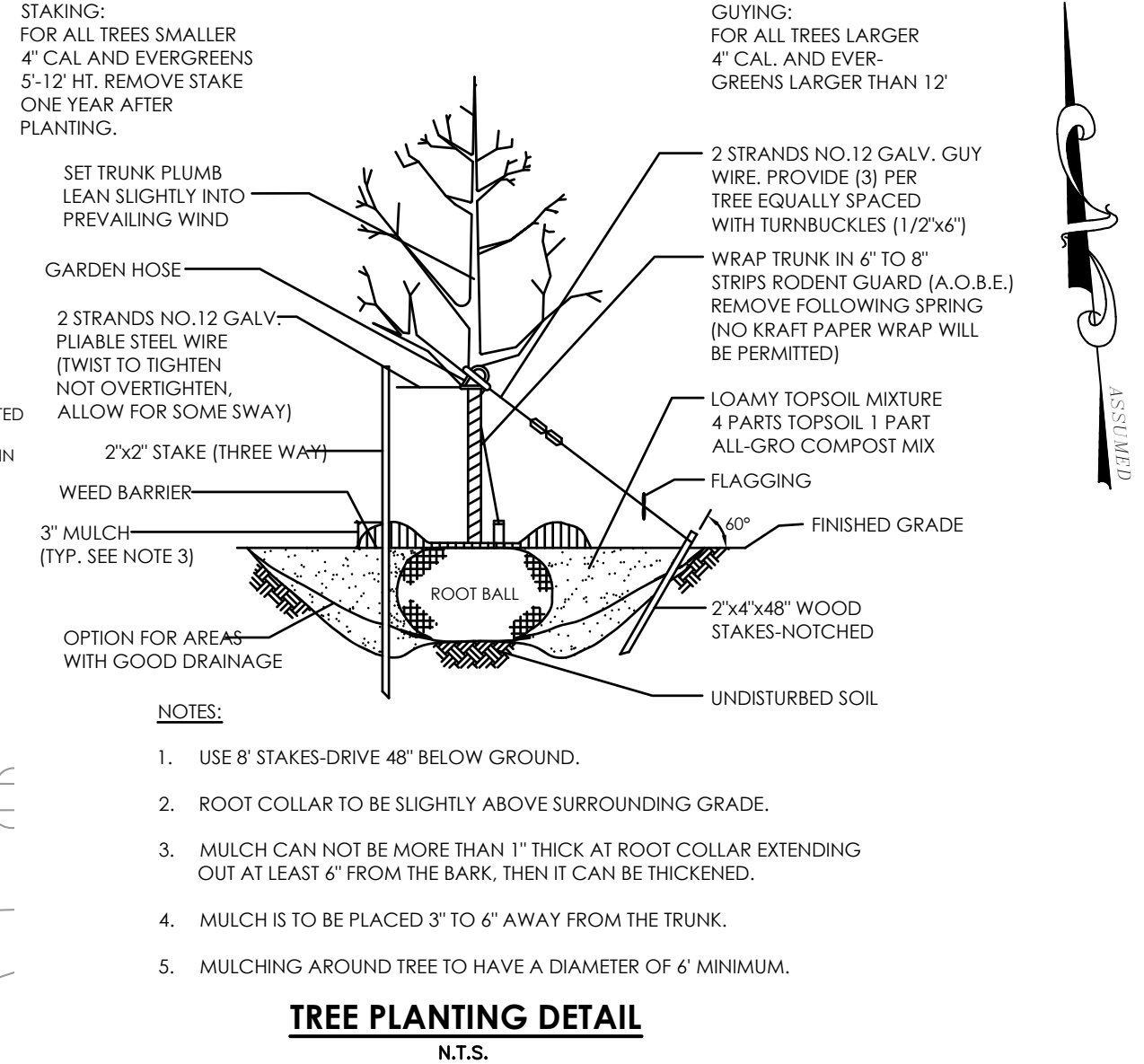
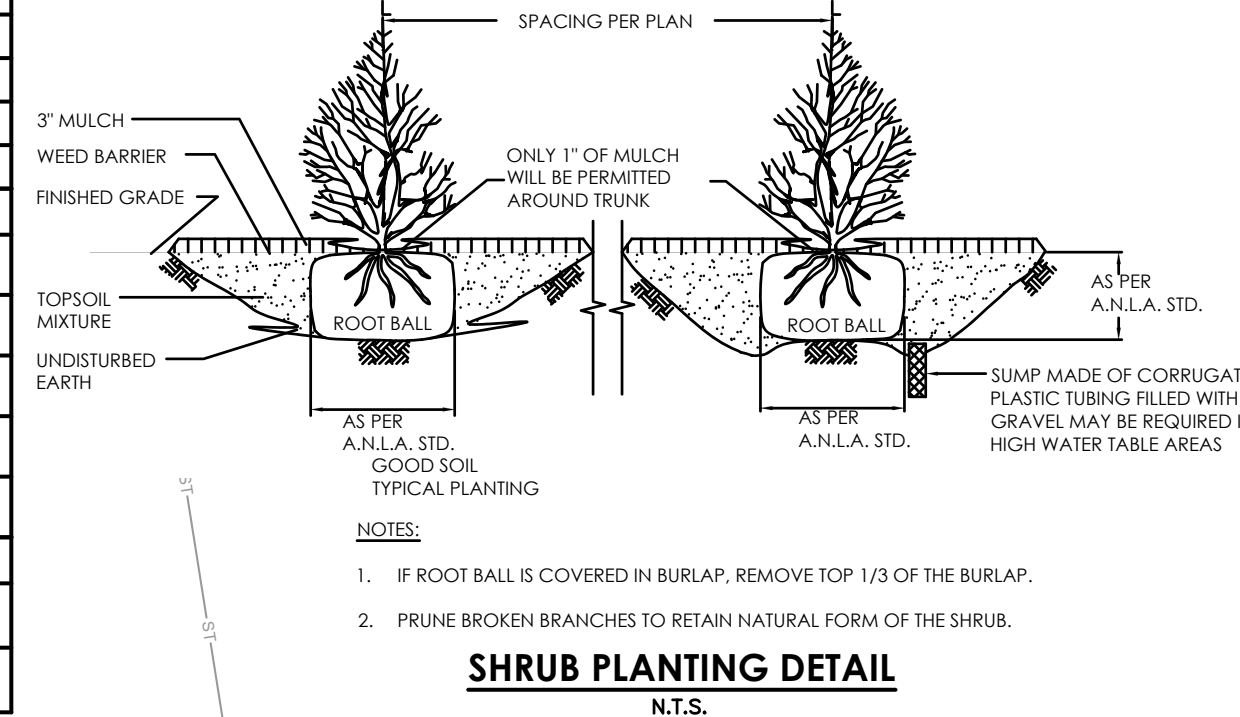
DRAWING NO: **C6**

PLANTING NOTES

- MULCH AROUND INDIVIDUAL PLANTS ONLY. SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE PRETREATMENT AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
- THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE.
- ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
- TREES SHALL BE BRACED USING 2" X 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
- GRASSES AND LEGUME SEED SHALL BE TILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
- ALL DISTURBED UNSURFACED AREAS SHALL RECEIVE MIN. SIX INCHES OF TOPSOIL, SEED AND MULCH AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- NO IRRIGATION SYSTEM TO BE INSTALLED. CONTRACTOR SHALL PROVIDE HARDY TREES SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT, AND PROVIDE THE OWNER WITH A BONDED WRITTEN TWO-YEAR MAINTENANCE/WARRANTY AGREEMENT PER THE SPECIFICATIONS.

PLANT LIST

TREES						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
CL	CARPINUS BETULUS 'LUCAS'	LUCAS HORNBEAM	4	2" CAL.	B&B	-
GS	GLEDISIA TRIA. INER. 'SKYLINE'	SKYLINE HONEYLOCUST	4	2.5" CAL.	B&B	-
JS	JUNIPERUS CHIN. 'SPARTAN'	SPARTAN JUNIPER	4	5-6' HT.	B&B	-
PS	PINUS STROBUS	WHITE PINE	3	6-7' HT.	B&B	-
SHRUBS						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
JC	JUNIPERUS CHIN 'CASINO GOLD'	CASINO GOLD JUNIPER	24	18" SPR.	#3 CONT.	-
PN	PICEA ABIES 'NIDIFORMIS'	BIRD'S NEST SPRUCE	4	18-21" SPR.	#3 CONT.	-
RA	RHUS AROM. 'GRO-LOW'	GRO-LOW SUMAC	10	18" SPR.	#2 CONT.	HEAVY
WW	WEIGELA F. 'WINE AND ROSES'	WINE AND ROSES WEIGELA	12	30' HT.	#5 CONT.	-
GRASSES						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
CK	CALAMAGROSTIS ACUTI. 'KARL FOERSTER'	KARL FOERSTER REED GRASS	12	CLUMP	#2 CONT.	-



SEED SCHEDULE

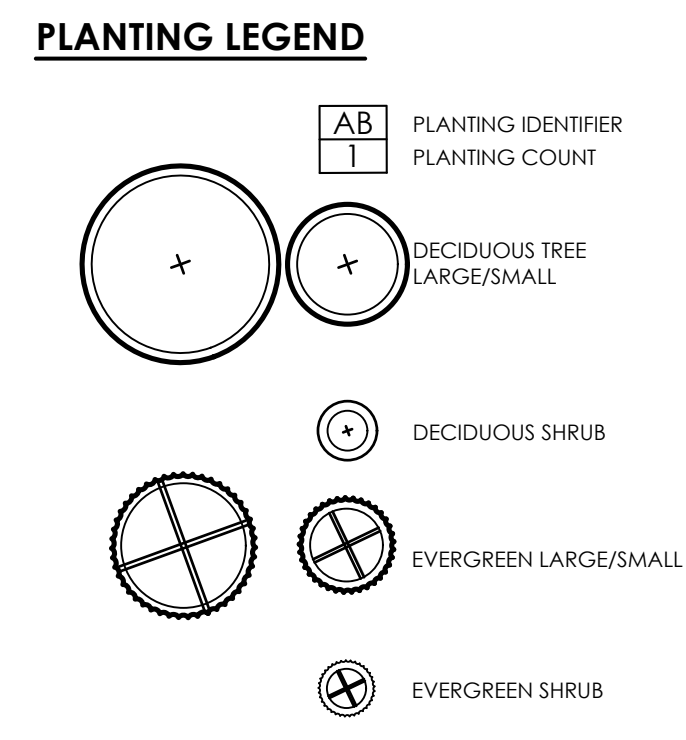
LAWN AREAS	65% FINE FESCUE 20% CREEPING RED FESCUE 15% PERENNIAL RYEGRASS
STEEP SLOPE AREAS (1V:3H OR STEEPER)	50% FLAT PEA 25% TALL FESCUE 25% TREFOIL

SEEDING RATE: 233 LBS. PER 1 ACRE
MULCH RATE: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKLER. AT THE TOWN INSPECTORS DISCRETION.
FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF

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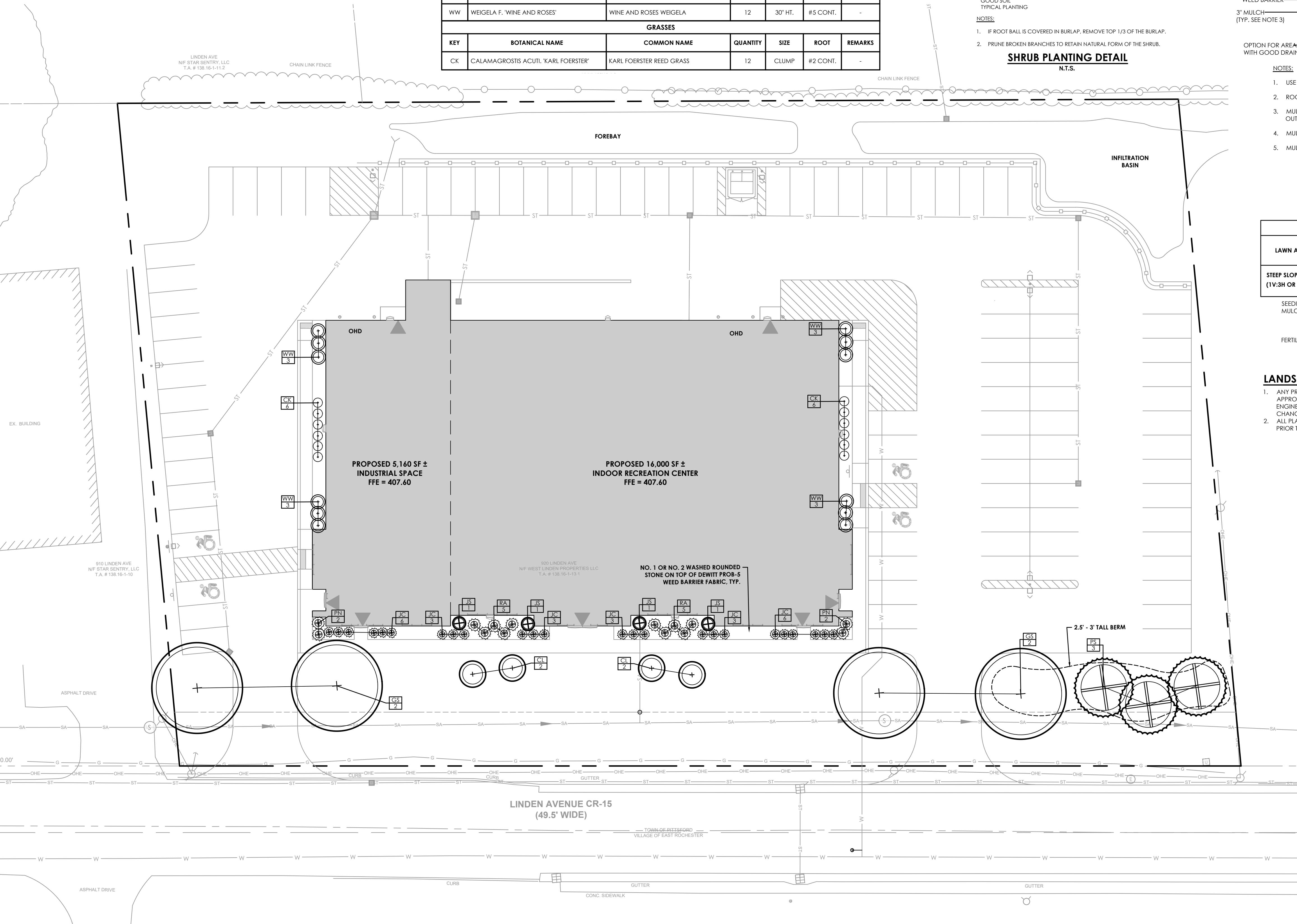
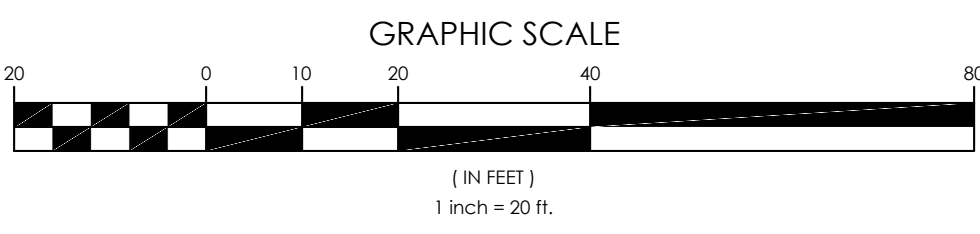
- LANDSCAPING NOTES:**
- ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND DIRECTOR OF ENGINEERING/PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
 - ALL PLANTS SHALL BE STAKED OUT IN FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



TOWN OF PITTSFORD APPROVALS

PLANNING BOARD CHAIRMAN _____ DATE _____

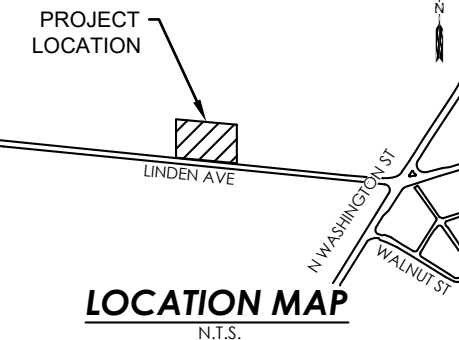
COMMISSIONER OF PUBLIC WORKS _____ DATE _____



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803 LINDEN AVE
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TOWN OF PITTSFORD



HEINRICH W. FISCHER, R.L.A.

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LANDSCAPE PLAN

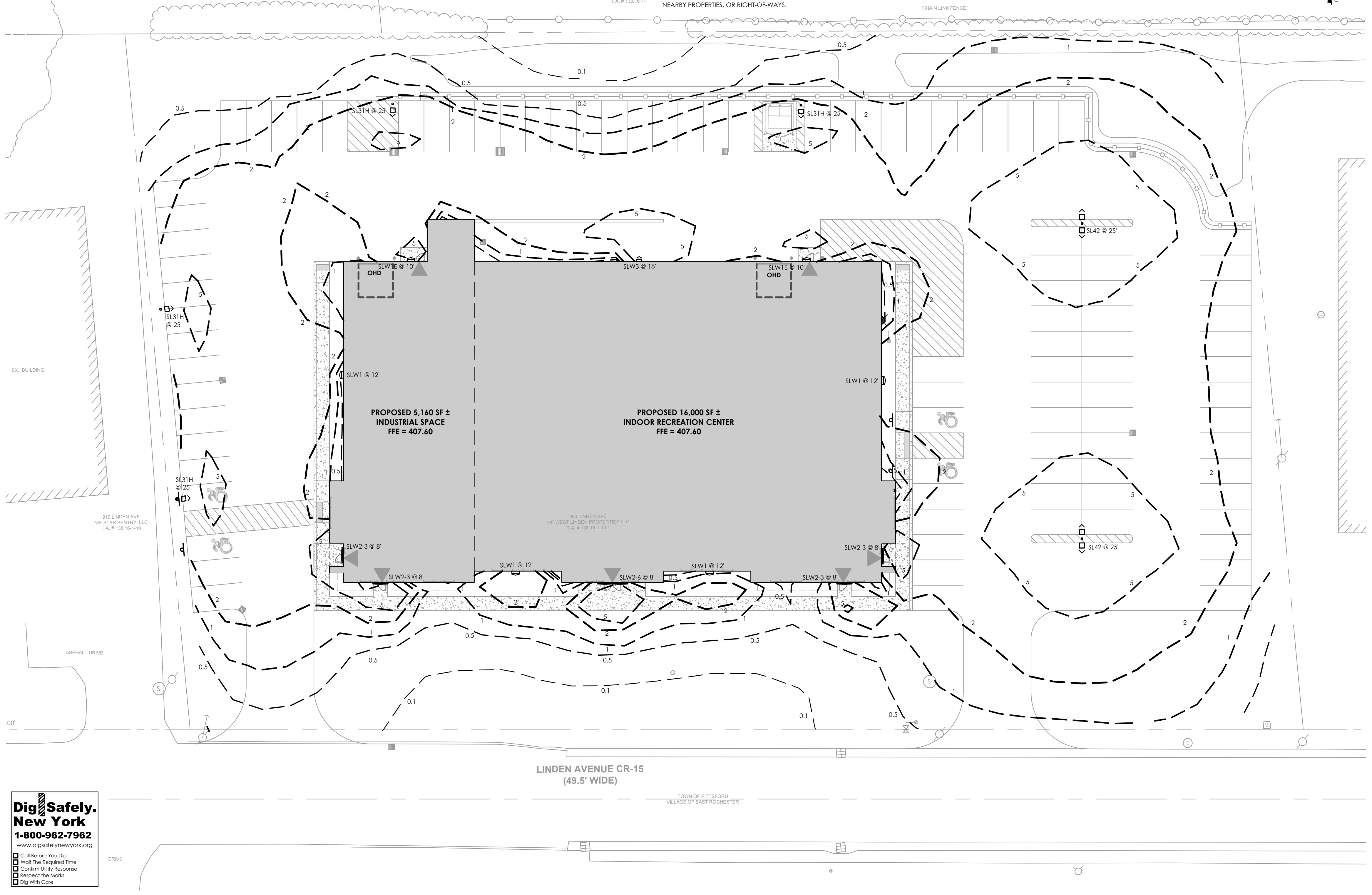
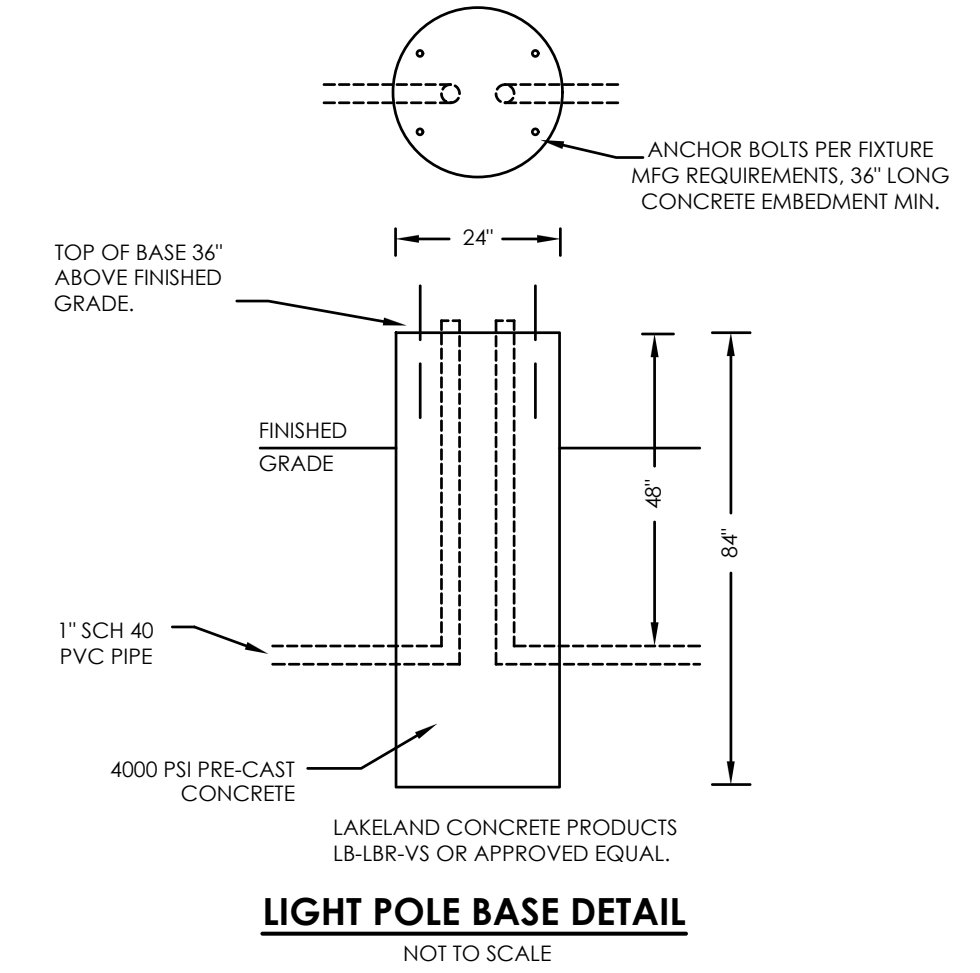
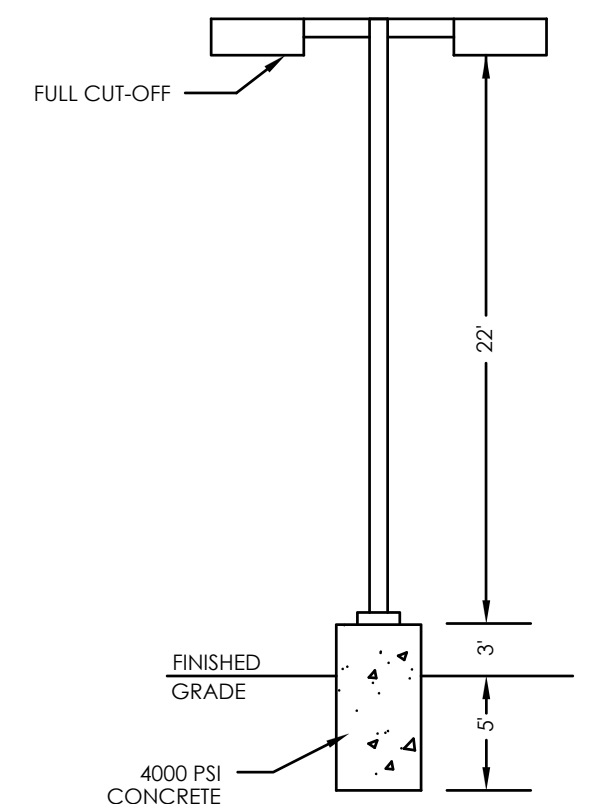
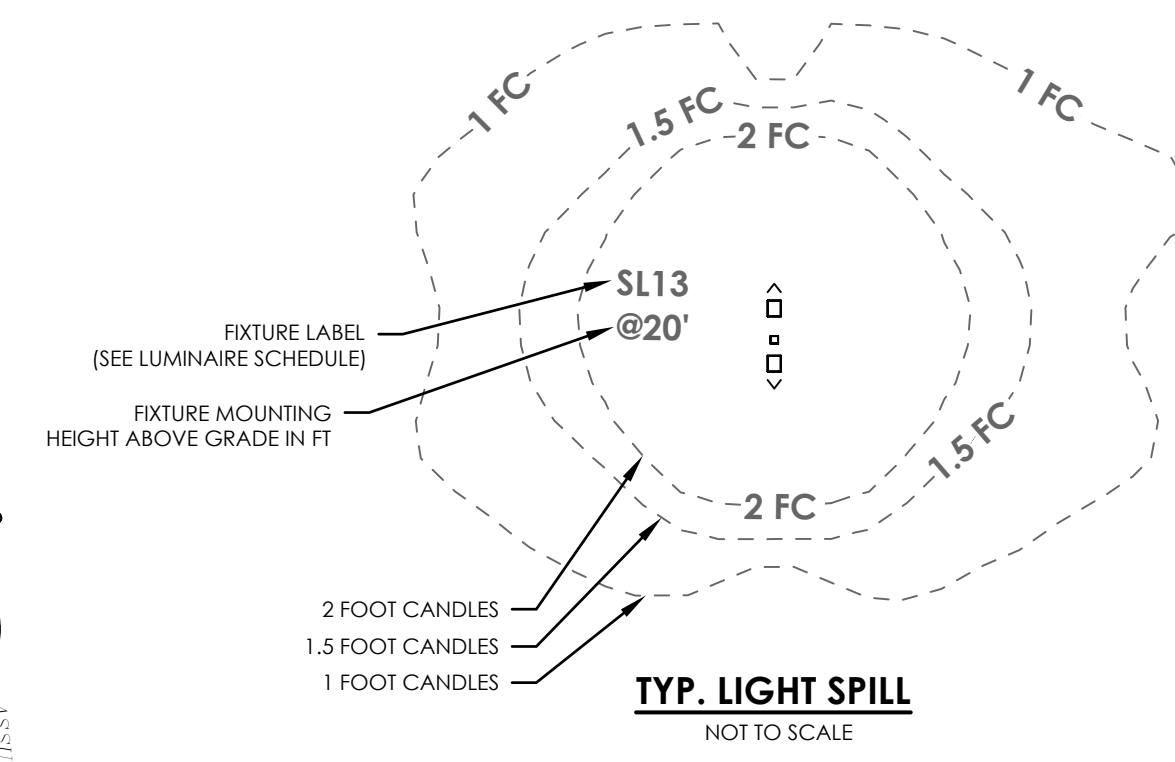
DRAWING TITLE: LANDSCAPE PLAN

DRAWN BY: CEK PROJ. NO. 72-21-0038
CHECKED BY: RKW DATE: 08/02/21 PAGE SIZE: ANSI D

REV: **03** DRAWING NO: **C7**

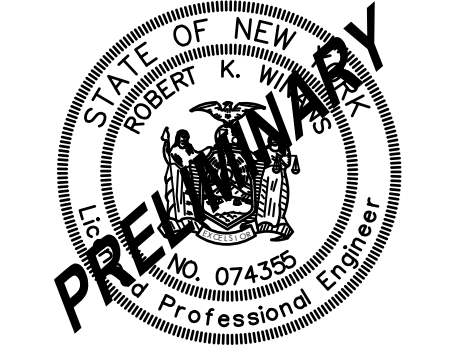
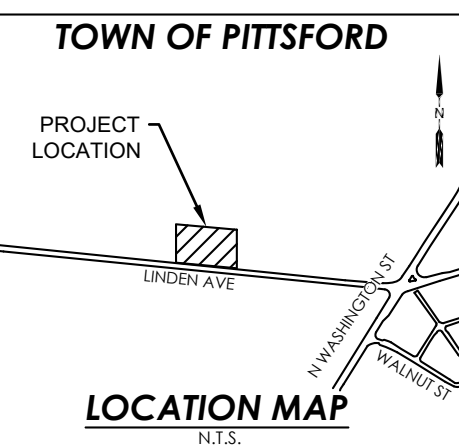
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Distribution
	SL31H		4	Lithonia Lighting	RSX2 LED P4 40K R3 HS	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R3 Distribution with HS Shield	TYPE III, SHORT, BUG RATING: B1 - U0 - G3
	SL42		2	Lithonia Lighting	RSX2 LED P4 40K R4	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution	TYPE IV, SHORT, BUG RATING: B3 - U0 - G4
	SLW1		4	Lithonia Lighting	WPX1 LED P2 40K MVolt	WPX1 LED wallpack 3000lm 4000K color temperature 120-277 Volts	TYPE III, SHORT, BUG RATING: B1 - U0 - G1
	SLW1E		2	Lithonia Lighting	WPX1 LED P2 40K MVOLT E14WC	WPX1 LED WALLPACK 3000LM 4000K CCT 120-277V W/INTEGRAL EM	TYPE III, SHORT, BUG RATING: B1 - U0 - G1

- NOTE:**
- LIGHTING WITHIN THE PARKING LOT (I.E. LIGHT POLE FIXTURES) TO BE LIMITED DURING THE BUILDING HOURS OF OPERATION.
 - ALL LIGHTING TO BE DARK SKY COMPLIANT.
 - TOWN CODE ENFORCEMENT OFFICERS CAN REQUIRE SHIELDING TO BE ADDED TO LIGHTS IF UNREASONABLE IMPACTS OCCUR TO ADJACENT, NEARBY PROPERTIES, OR RIGHT-OF-WAYS.



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DRAWING TITLE: LIGHTING PLAN

DRAWN BY: CEK
APPROVED BY: RKW
CHECKED BY: RKW

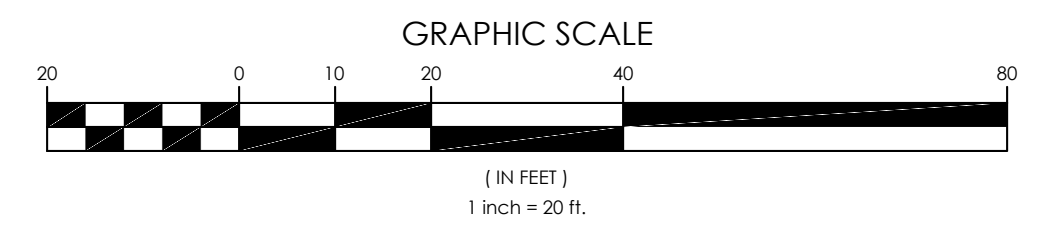
PROJ. NO: 72-21-0038
PAGE NO: 06/02/21
PAGE SIZE: ANSI D

TOWN OF PITTSFORD APPROVALS

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN REVIEW ENGINEER _____ DATE _____

COMMISSIONER OF PUBLIC WORKS _____ DATE _____



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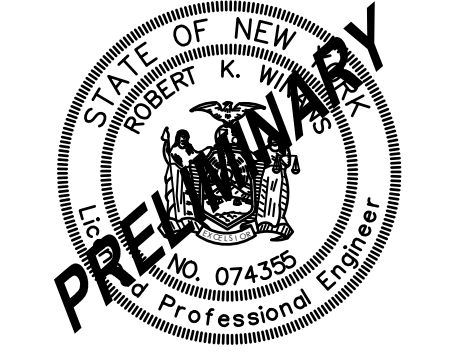
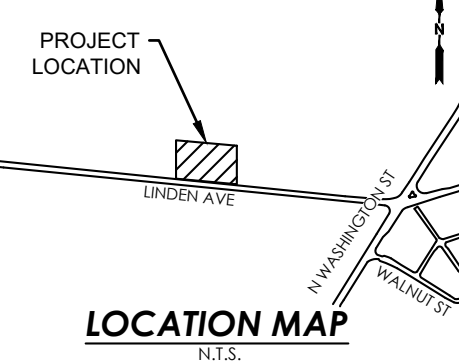
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DRAWING TITLE: CONSTRUCTION DETAILS - 1

ANSI D

72-21-0038

PROJ. NO. 06/02/21

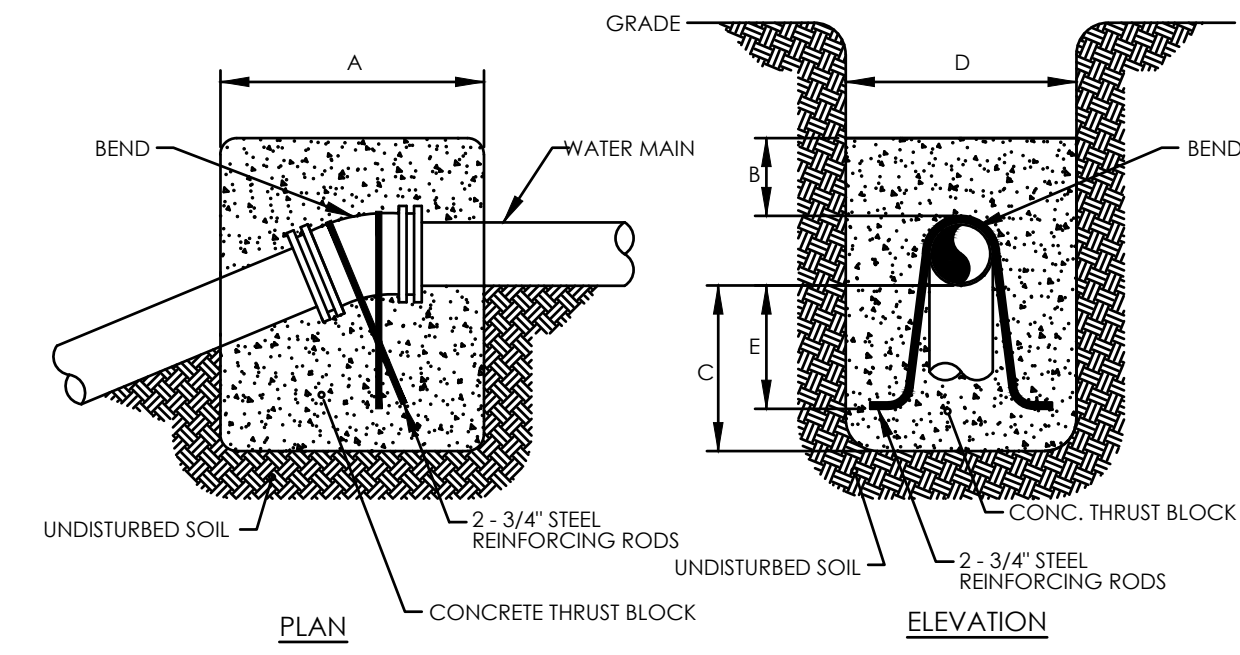
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APPROVED BY: CEK

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DATE: 06/02/21

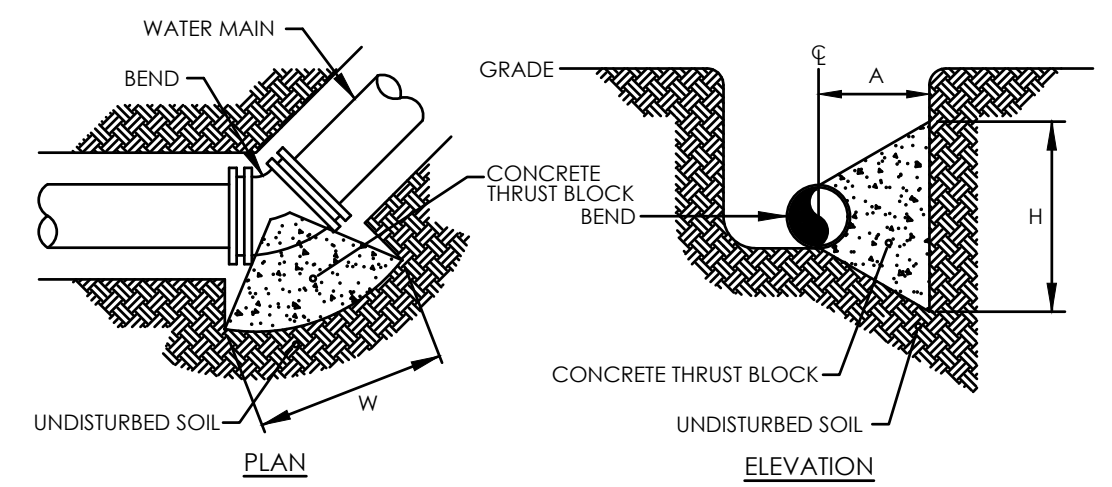
REV: 03 DRAWING NO: C9



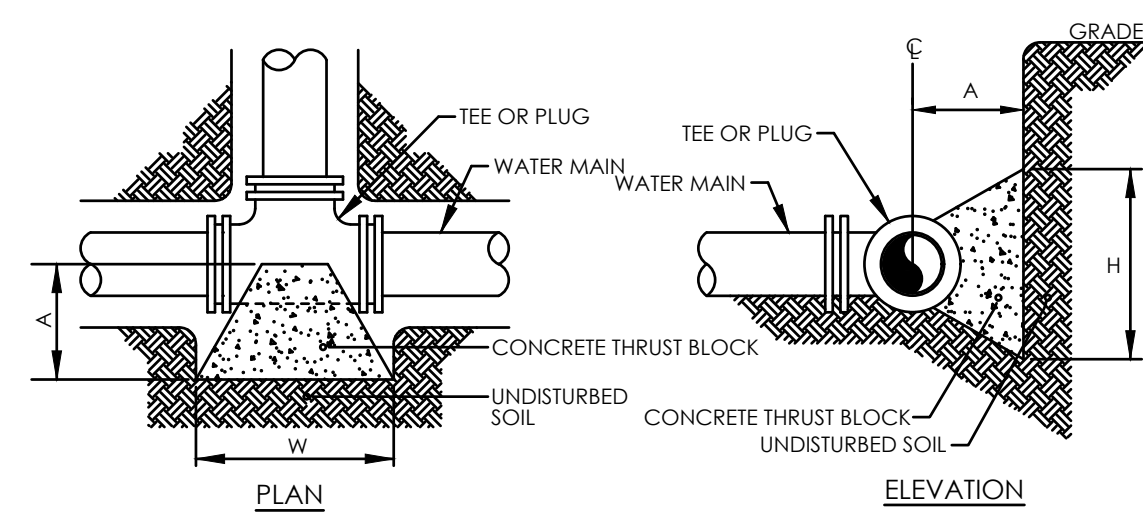
VERTICAL THRUST BLOCKS
NOT TO SCALE

BEND *	MINIMUM VOLUME OF CONCRETE	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
6" x 11-1/4"	0.68 CY	1.0	3.0	3.0	3.0	1.5
6" x 22-1/2"	1.32 CY	2.0	3.0	3.0	3.0	1.5
6" x 45"	2.45 CY	4.0	3.0	3.0	3.0	1.5
6" x 90"	3.46 CY	5.0	3.0	3.0	3.0	1.5

VERTICAL THRUST BLOCK CHART
NOT TO SCALE



HORIZONTAL THRUST BLOCKS FOR BENDS
NOT TO SCALE

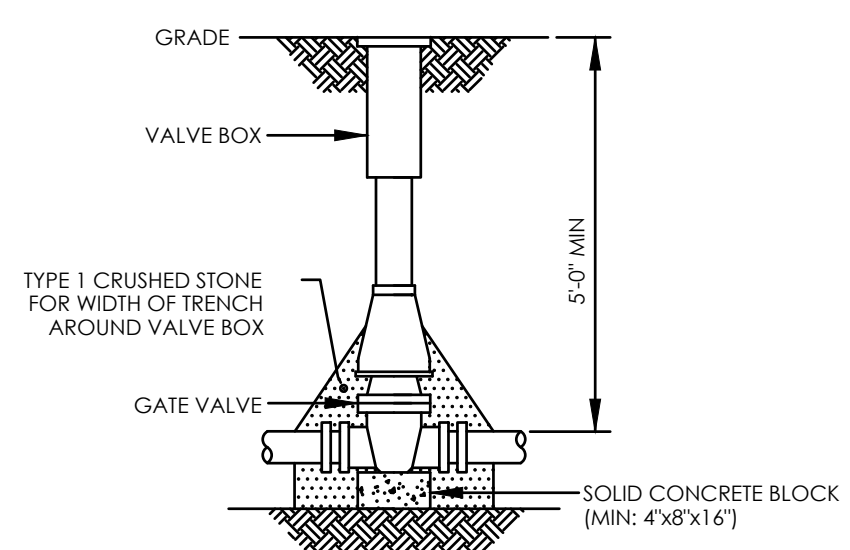


HORIZONTAL THRUST BLOCKS FOR TEES AND PLUGS
NOT TO SCALE

MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE PLACED AGAINST UNDISTURBED SOIL FOR PVC			
FITTING *	H	W	A
6" x 11-1/4" BEND	1.0 FT.	2.0 FT.	2.0 SQ.FT.
6" x 22-1/2" BEND	1.0 FT.	2.0 FT.	2.0 SQ.FT.
6" x 45" BEND	1.5 FT.	2.5 FT.	3.6 SQ.FT.
6" x 90" BEND	2.0 FT.	3.5 FT.	6.4 SQ.FT.
6" TEE OR PLUG	2.0 FT.	5.0 FT.	9.3 SQ.FT.

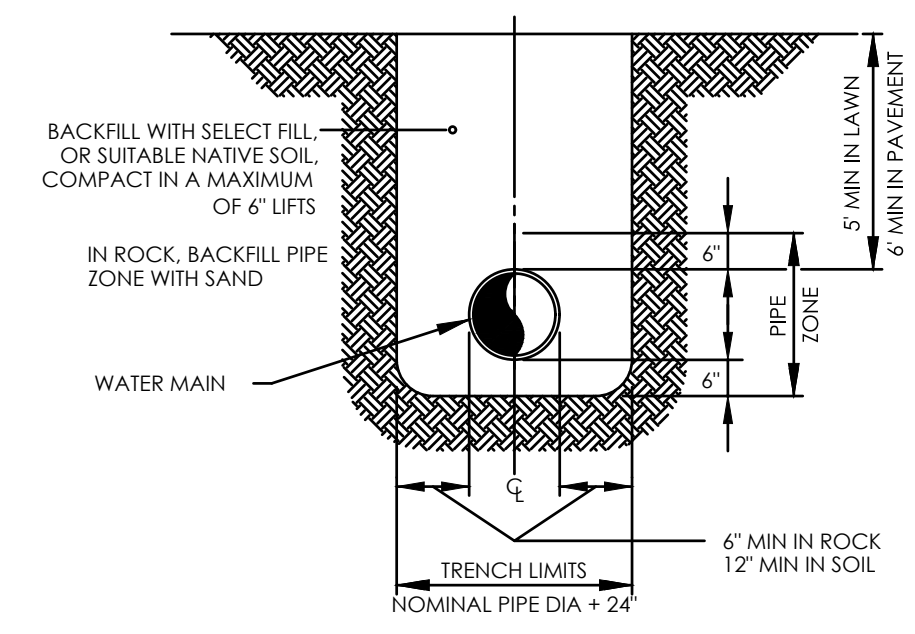
NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).
DETAIL DRAWN & PROVIDED BY THE MONROE COUNTY WATER AUTHORITY

HORIZONTAL THRUST BLOCK CHART
NOT TO SCALE

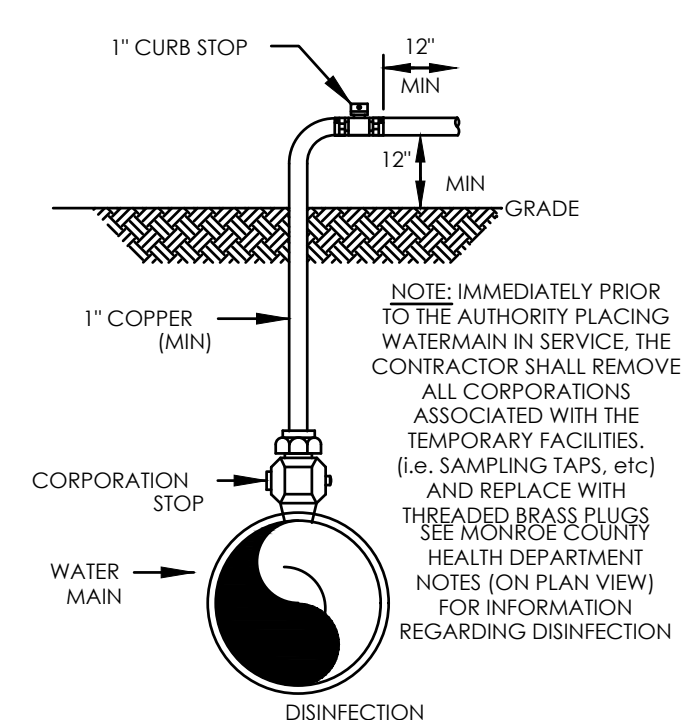


NOTE:
1. VALVE BOX SHALL BE CENTERED ON VALVE & SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
4. ALL VALVES SHALL BE OPEN LEFT EXCEPT VALVES 12" AND SMALLER INSTALLED IN THE TOWN OF HENRIETTA (WHICH SHALL BE OPEN RIGHT).

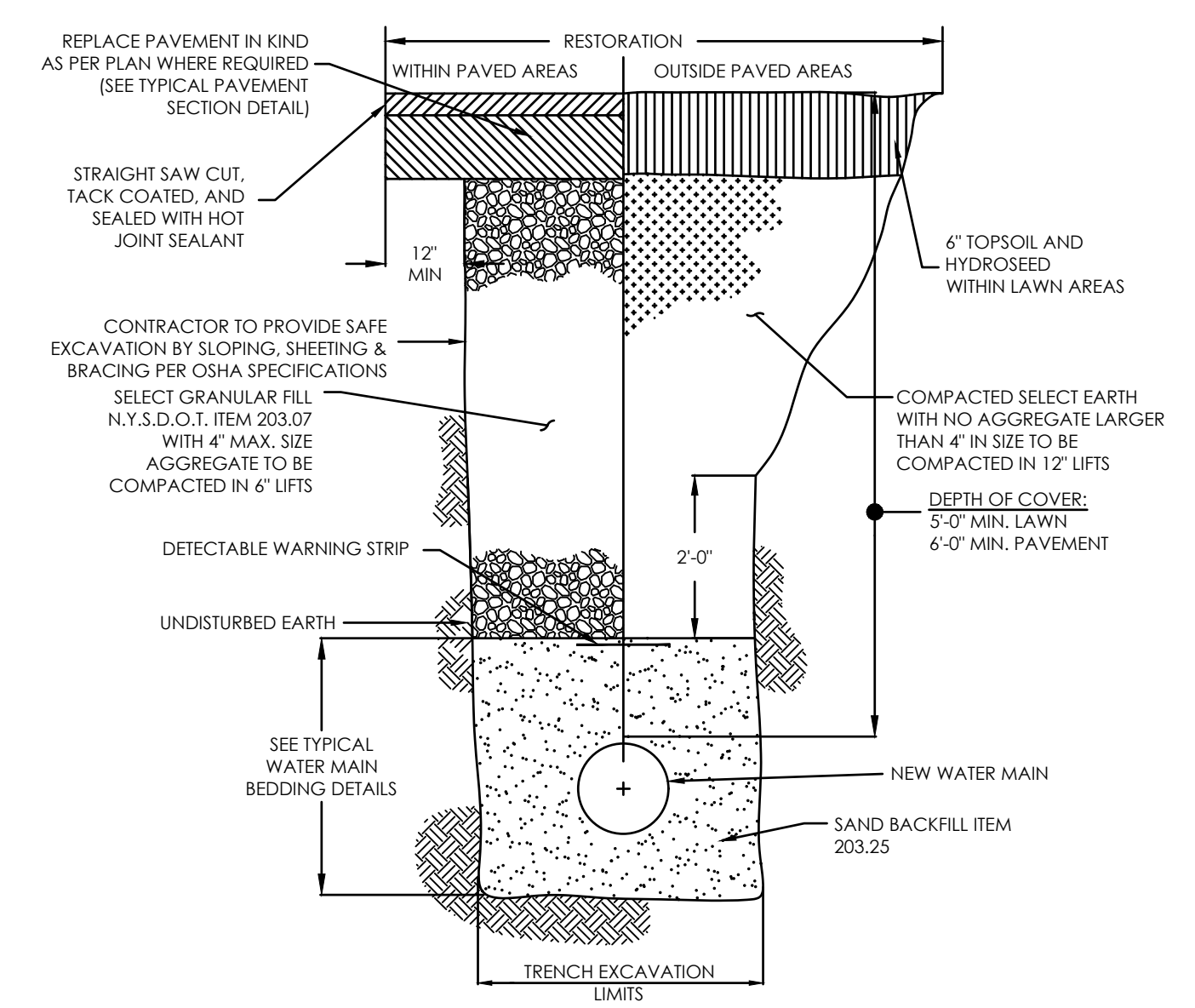
WATER VALVE
NOT TO SCALE



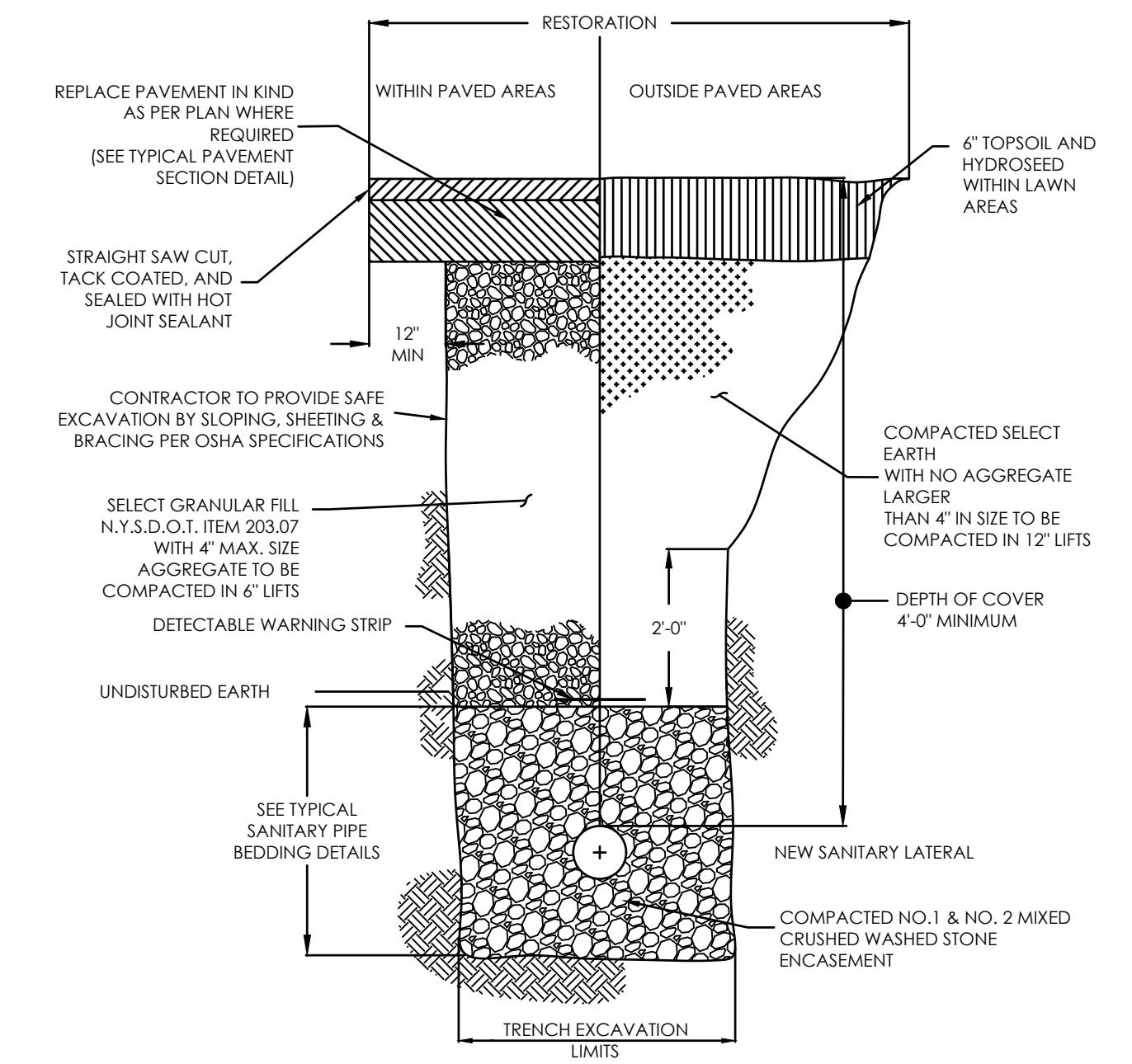
WATERMAIN TRENCH
NOT TO SCALE



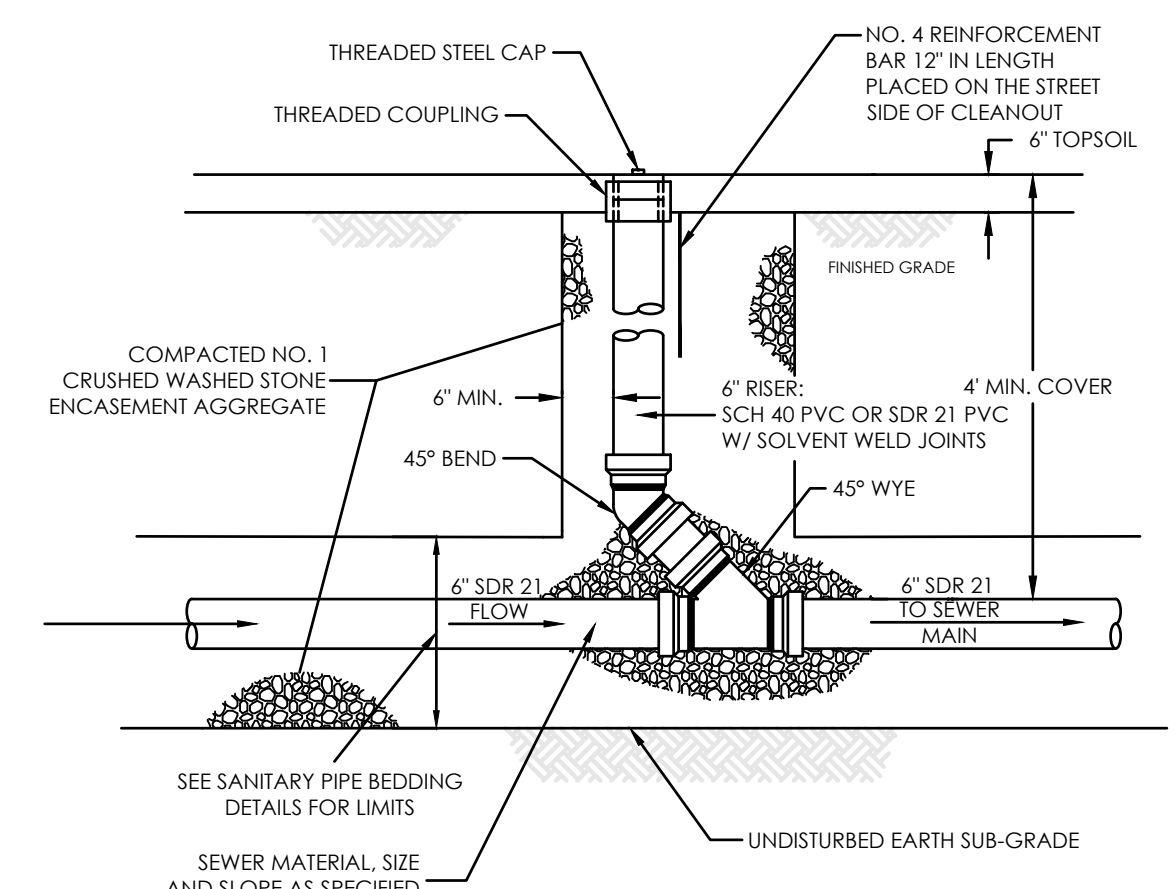
DISINFECTION/BLOW OFF/SAMPLING TAP (TEMPORARY)
NOT TO SCALE



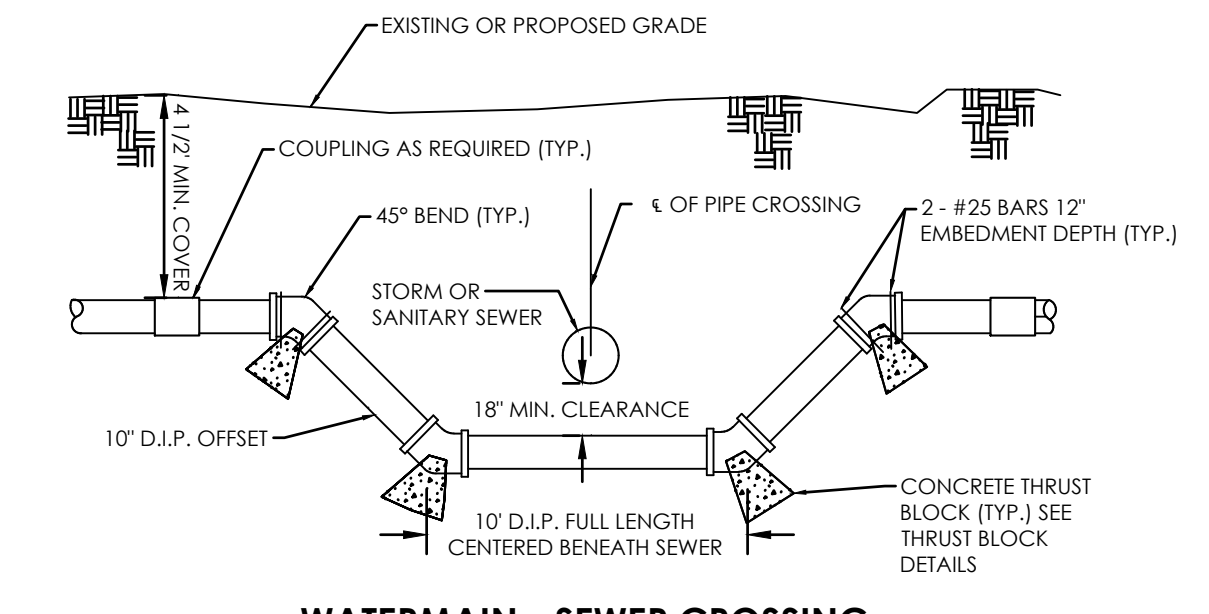
WATER SERVICE TRENCH DETAIL
NOT TO SCALE



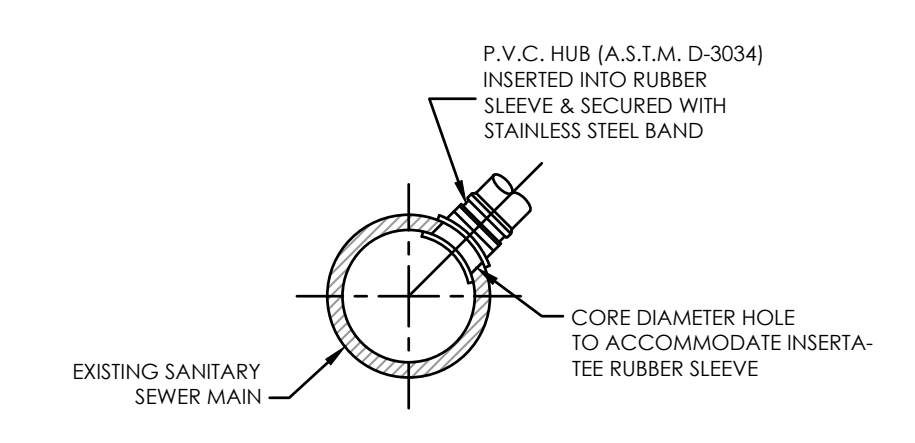
TYPICAL SANITARY LATERAL TRENCH DETAIL
NOT TO SCALE



SANITARY LATERAL CLEANOUT
NOT TO SCALE



WATERMAIN - SEWER CROSSING
NOT TO SCALE



INSERTA-TEE TYPE CONNECTION TO EXISTING SEWER
NOT TO SCALE

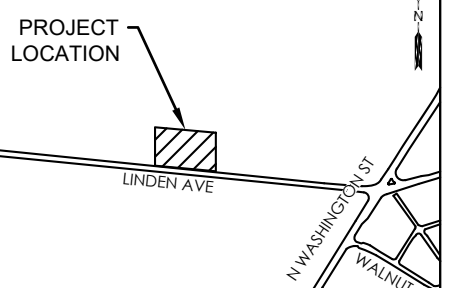
NOTE:
1. PRIOR TO THE SANITARY LATERAL CONNECTION, CONTACT AND COORDINATE WITH THE TOWN SEWER DEPARTMENT. THE TOWN SHALL BE PRESENT TO INSPECT LATERAL SANITARY CONNECTION.



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D'AGOSTINO GENERAL CONTRACTORS, INC.
803 LINDEN AVE
ROCHESTER, NY 14625

TOWN OF PITTSFORD



LOCATION MAP
N.T.S.



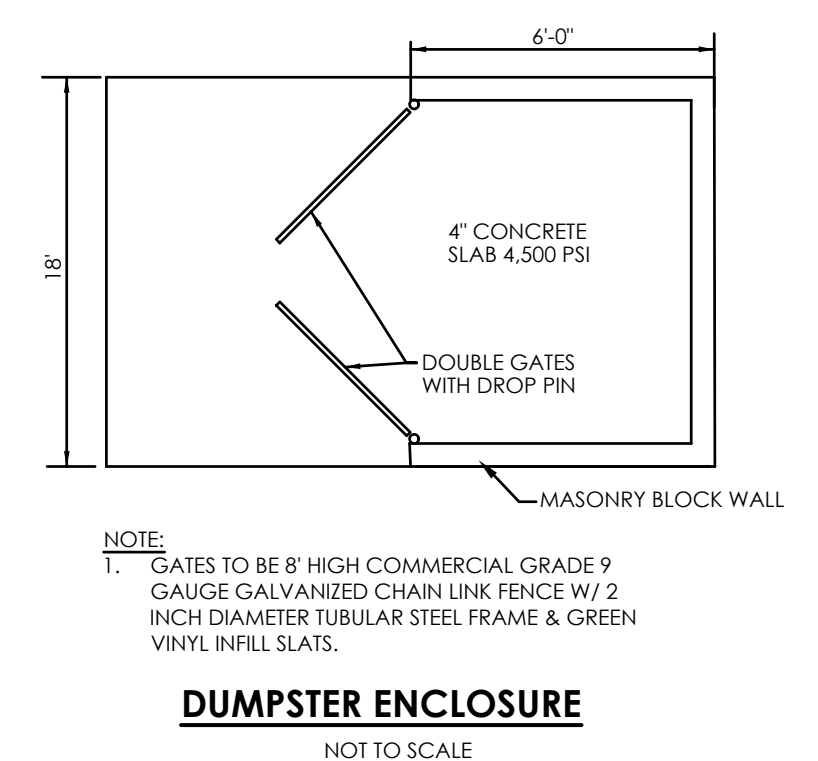
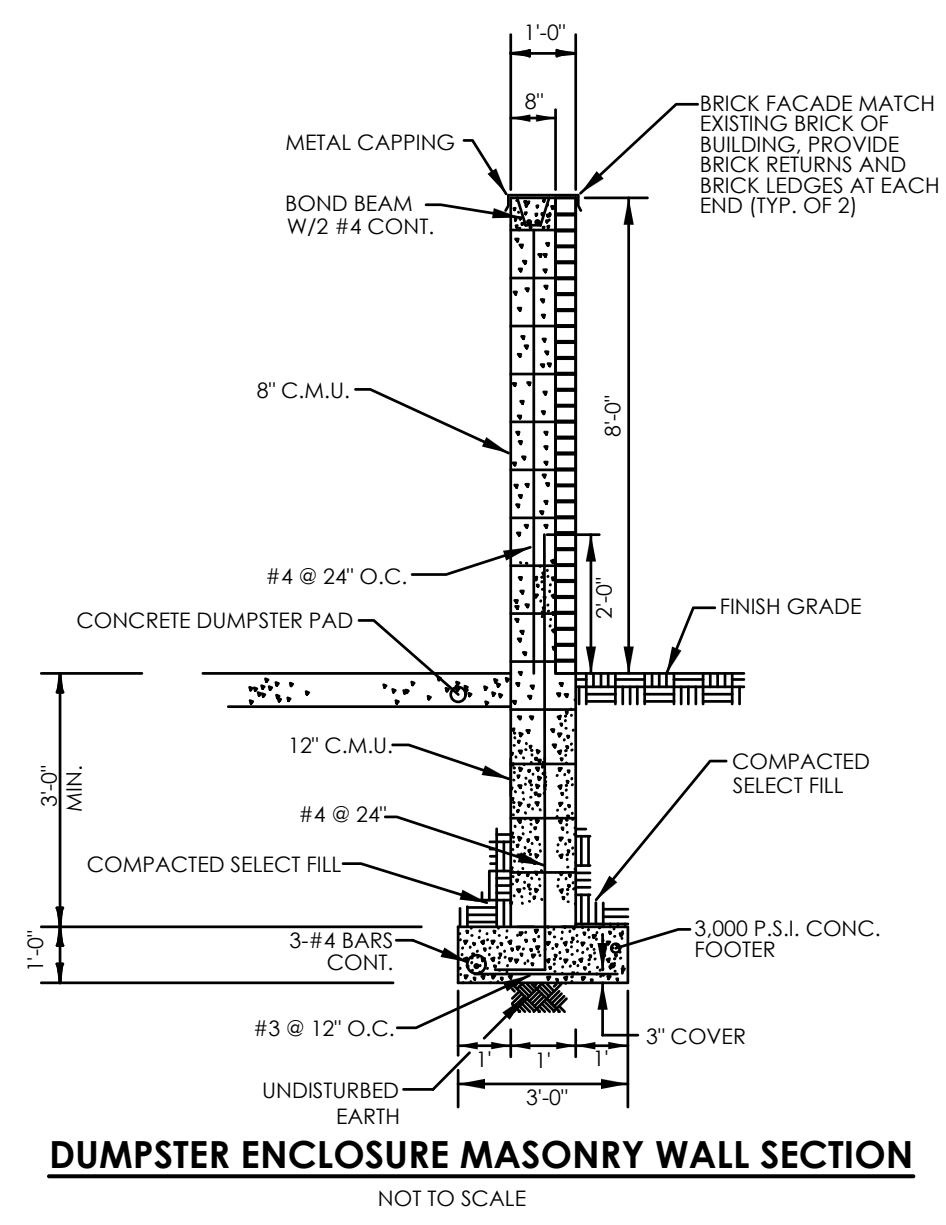
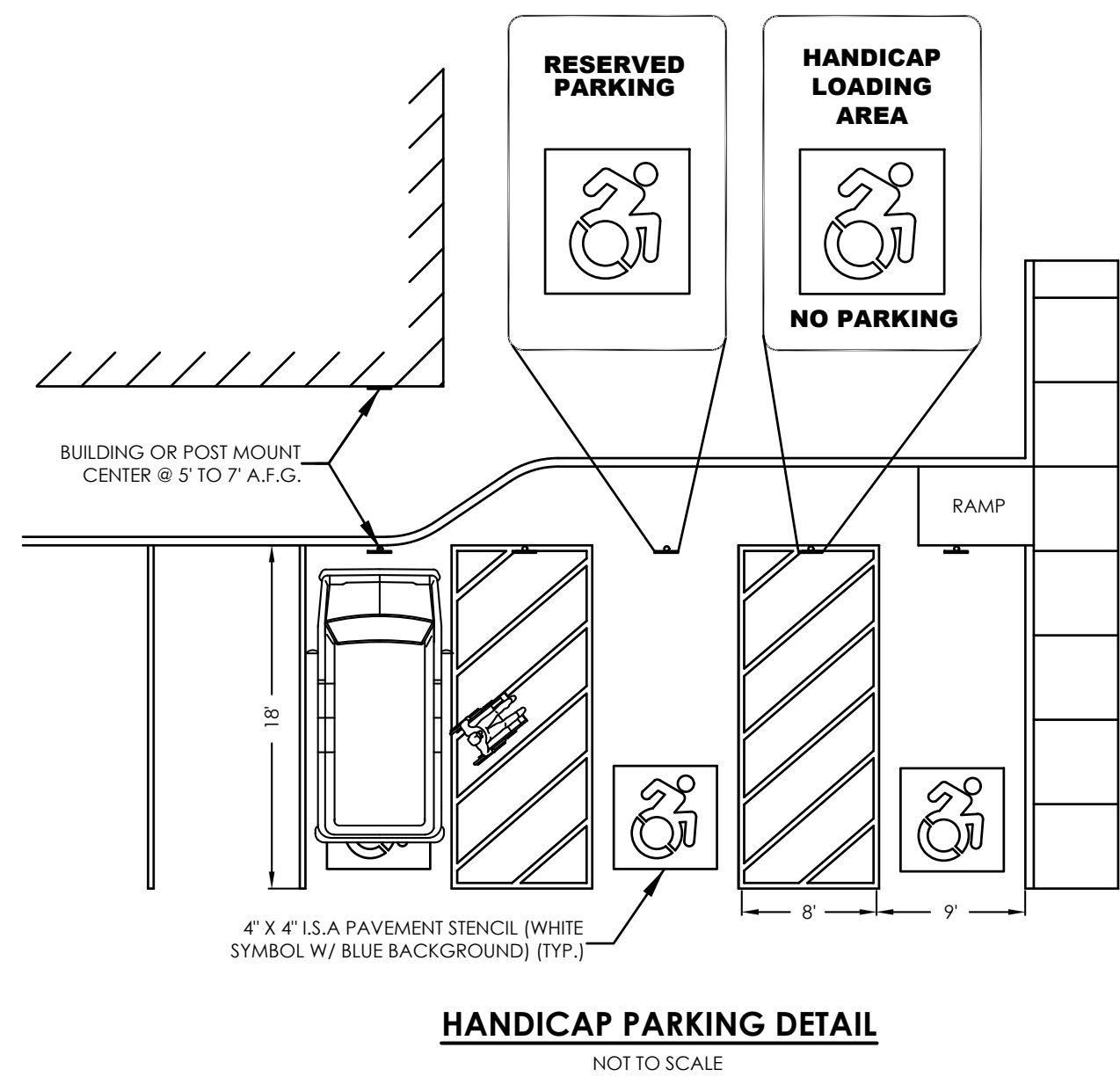
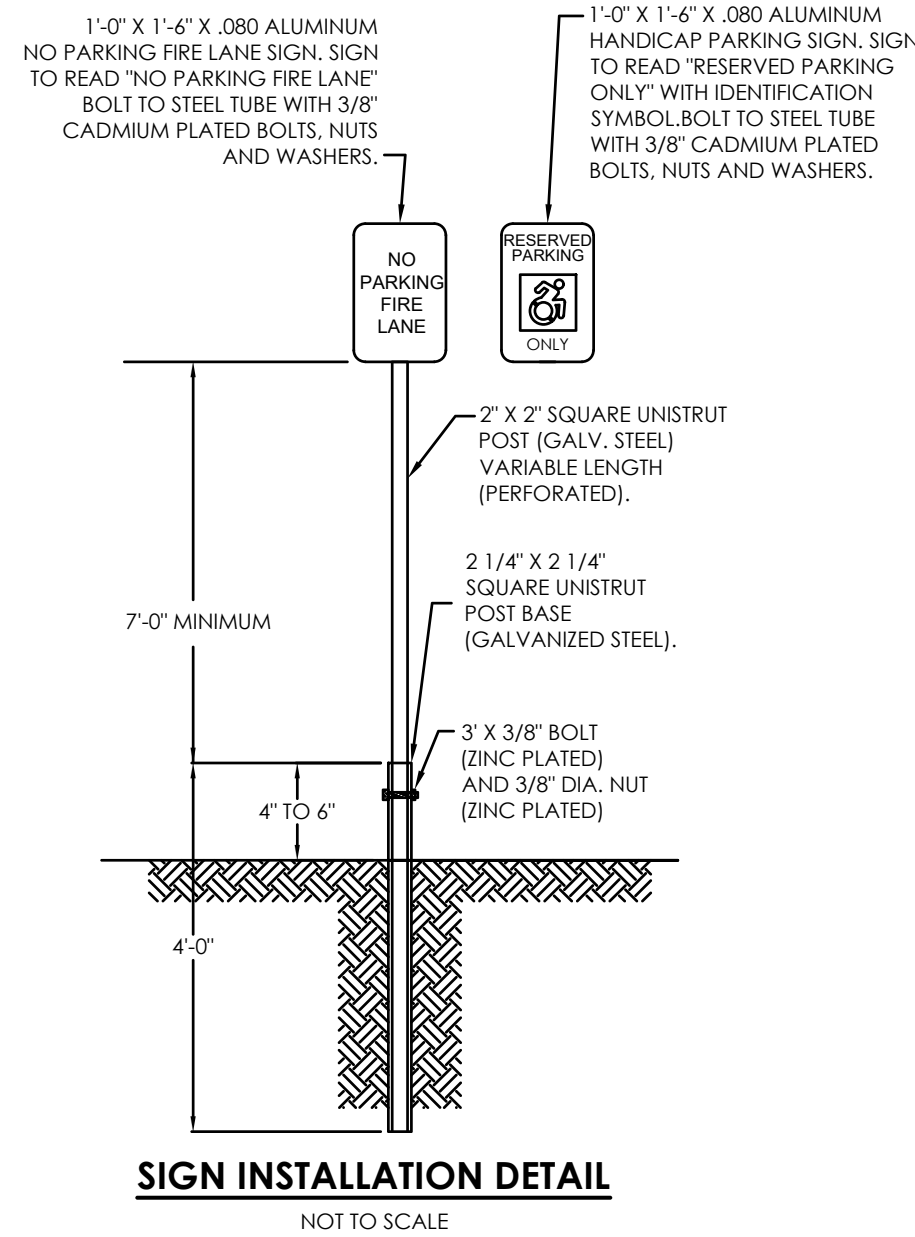
ROBERT K. WINANS, P.E.
NYS LIC. #074355

REV	DESCRIPTION	DATE
01	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS	08/25/21
02	REVISED PER TOWN COMMENTS	07/19/21
03	REVISED PER MCDOT, MOWA, & MCDPH COMMENTS	07/23/21

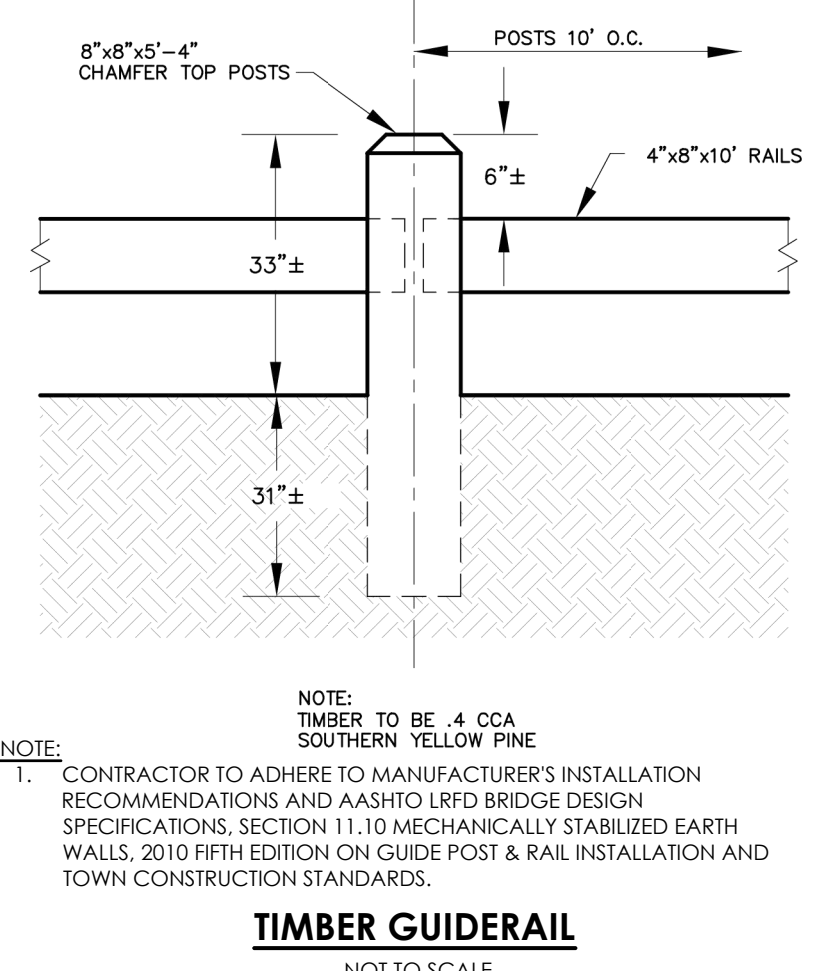
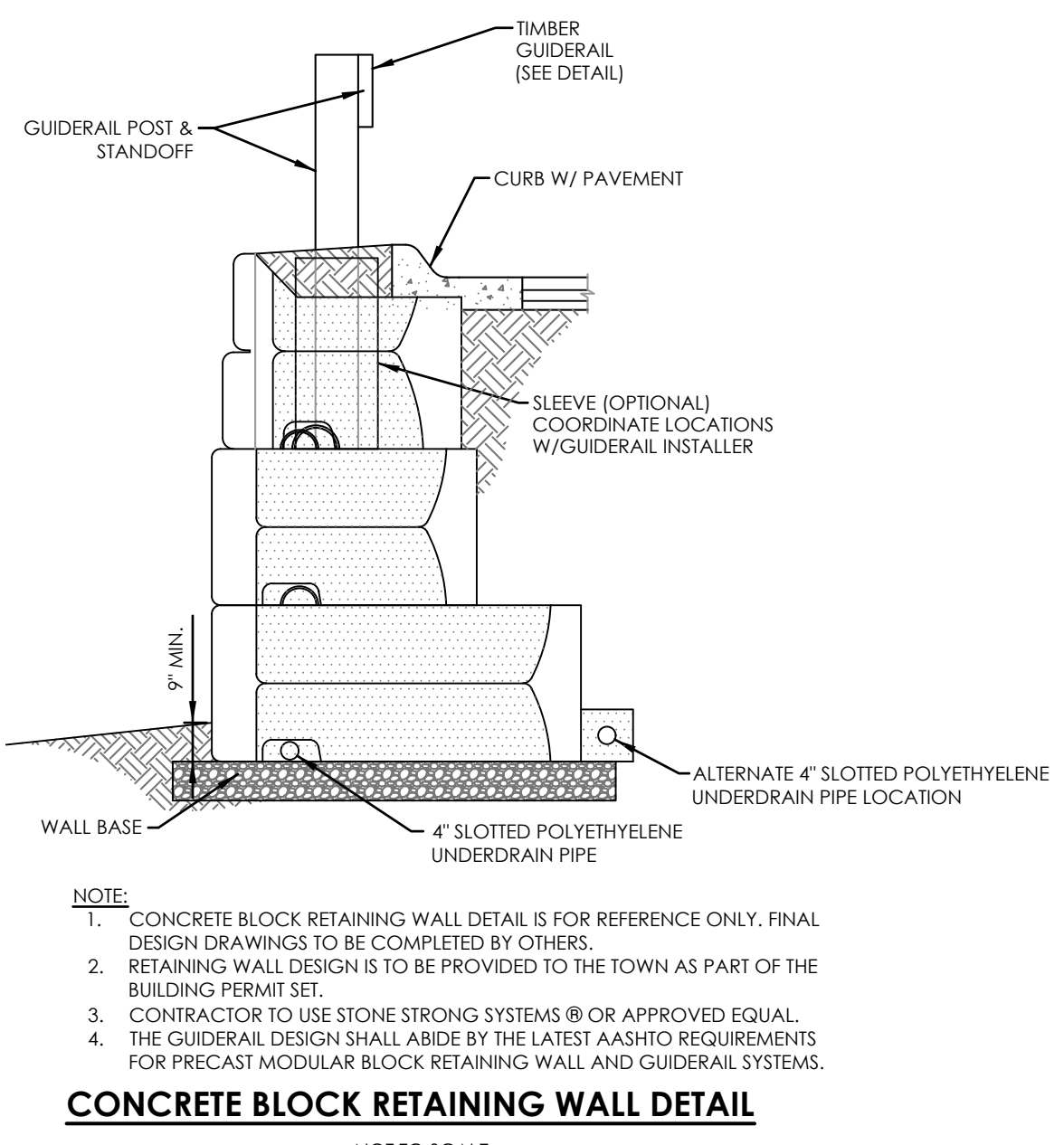
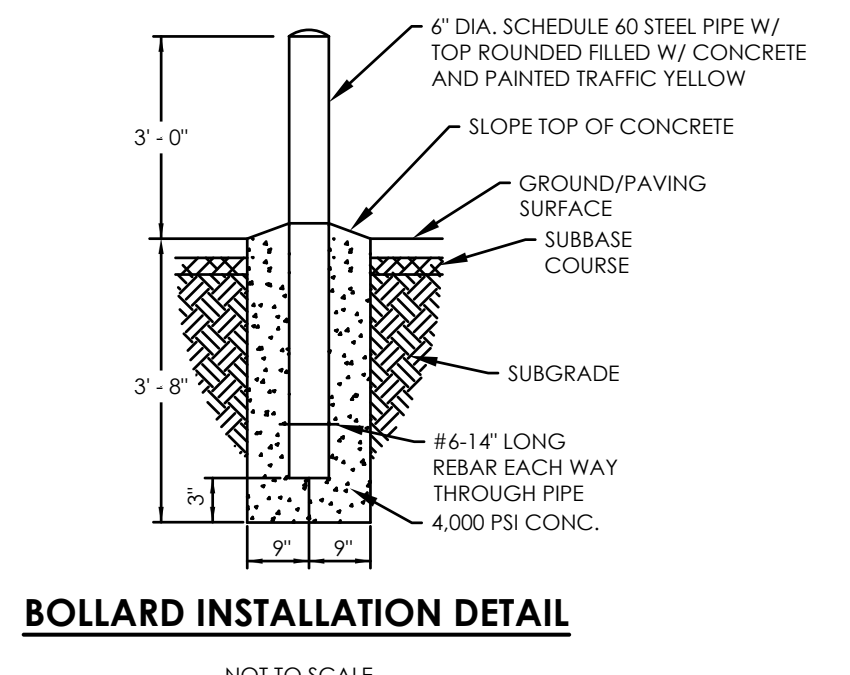
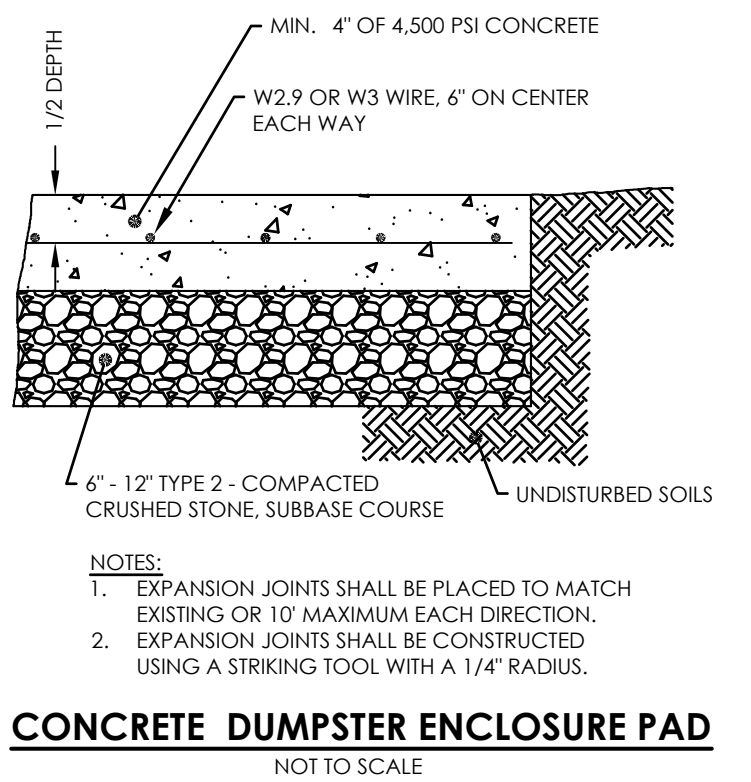
THESE DOCUMENTS INCLUDING ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR PRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF THE DESIGNER, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF DDS COMPANIES. ALL RIGHTS RESERVED. ©

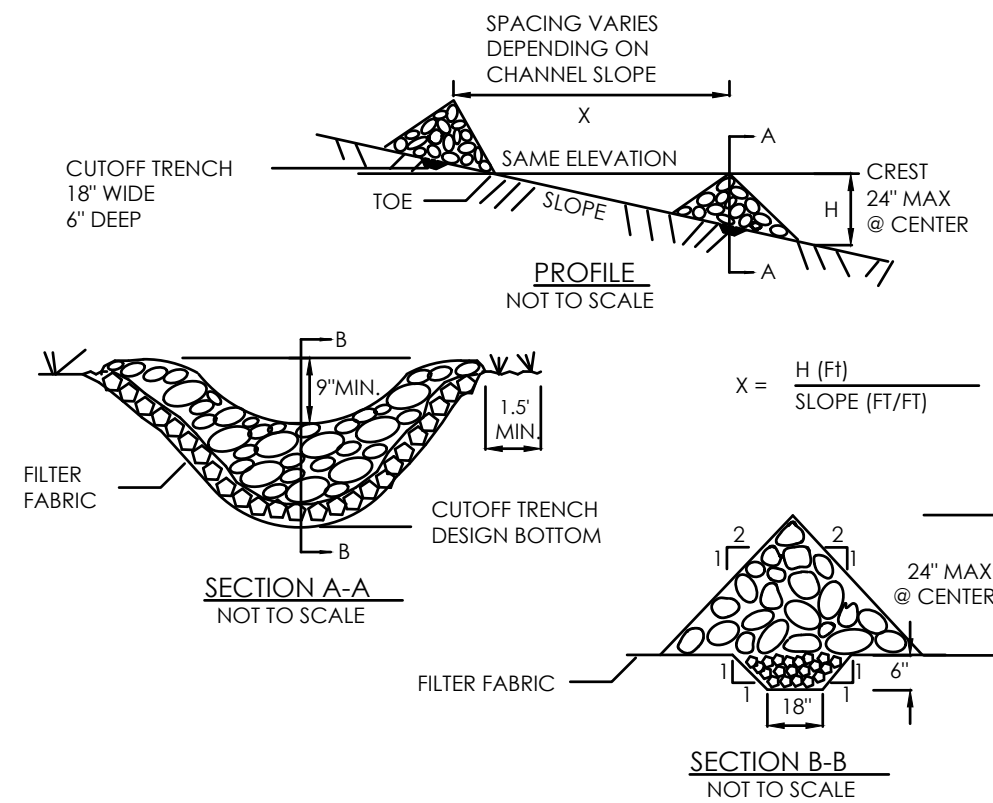
920 LINDEN AVENUE BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK	72-21-0038	ANSI D
DRAWING TITLE: CONSTRUCTION DETAILS - 3	PROJ. NO.:	
DRAWN BY: CEK	APPROVED BY: RKW	
CHECKED BY: RKW	DATE: 08/02/21	PAGE SIZE:

REV: 03 DRAWING NO: C11



NOTE:
1. GATES TO BE 8' HIGH COMMERCIAL GRADE 9 GAUGE GALVANIZED CHAIN LINK FENCE W/ 2 INCH DIAMETER TUBULAR STEEL FRAME & GREEN VINYL INFILL SLATS.

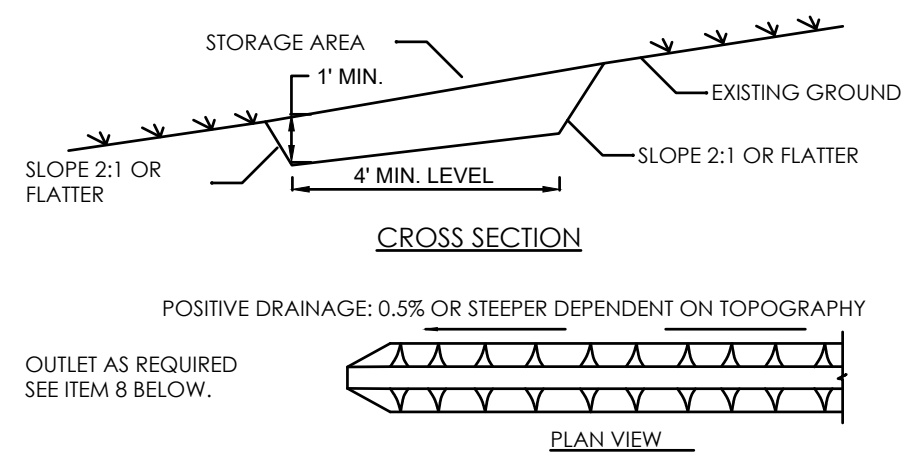




CHECK DAM
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

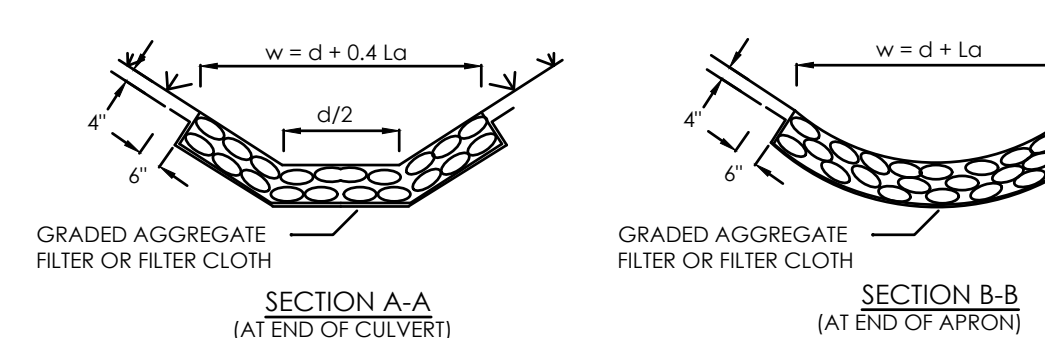
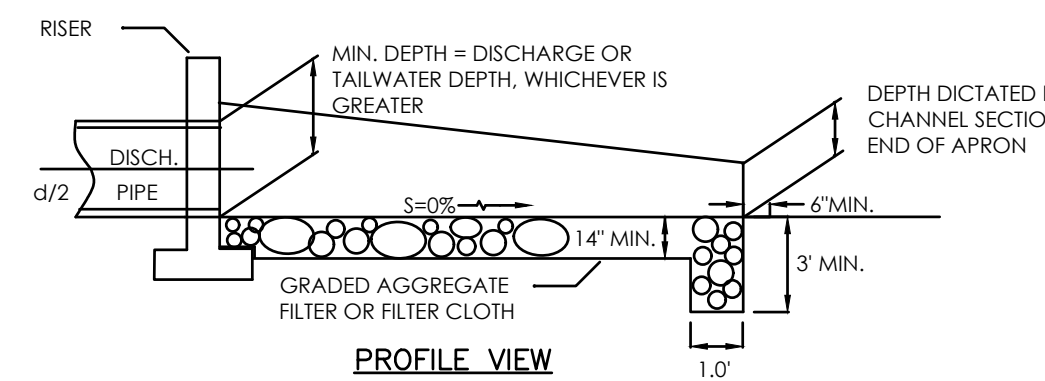
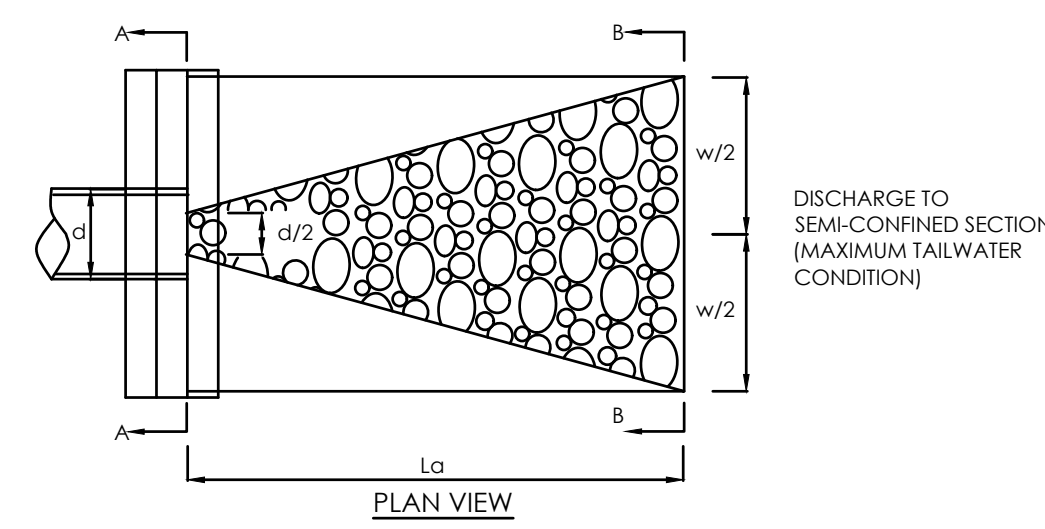


CONSTRUCTION SPECIFICATIONS

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

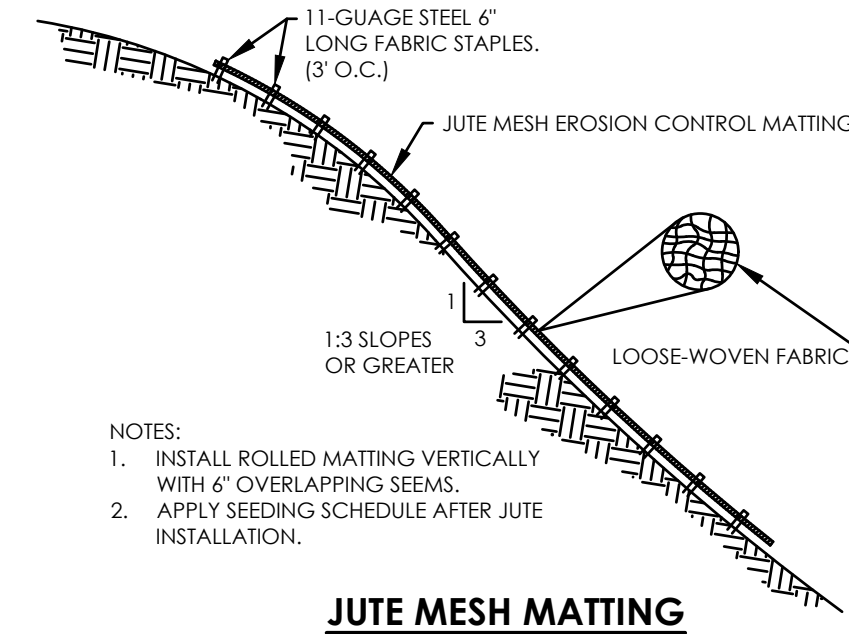
TYPE OF TREATMENT	CHANNEL GRADE	ALS (A.C. OR LESS)	BIS (A.C. - 10(A.C))
1	0.5-3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0%	SEED AND STRAW MULCH	SEED USING JUTE OR EXCELSIOR
3	5.1-8.0%	SEED WITH JUTE OR EXCELSIOR, SOD	LINED WITH 4-8" RIP-RAP OR RECYCLED CONCRETE EQUIVALENT ENGINEERED DESIGN
4	8.1-20%	LINED WITH 4-8" RIP-RAP	

TEMPORARY CONSTRUCTION DITCH
NOT TO SCALE



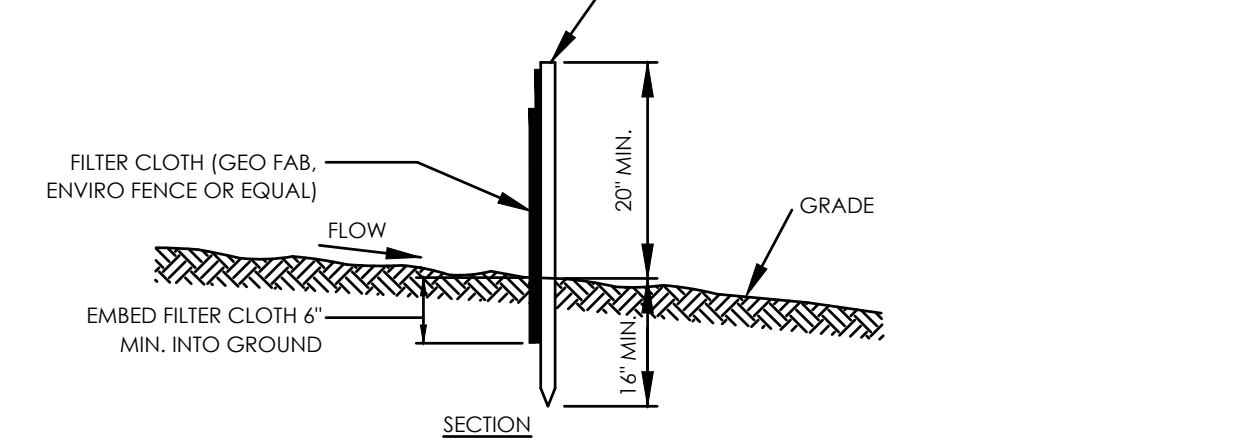
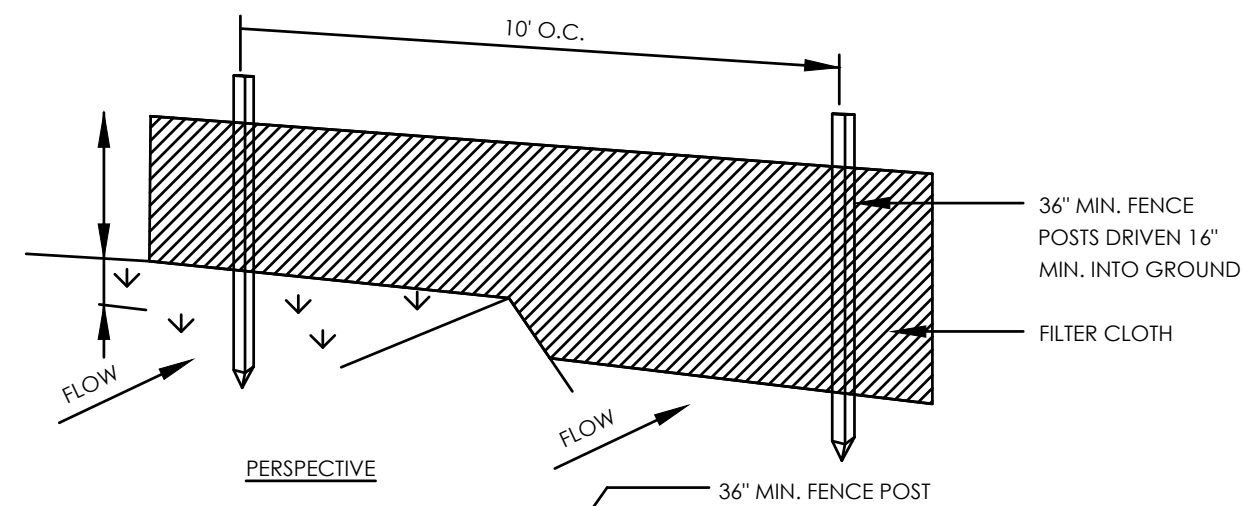
- NOTE:**
- RIPRAP TO BE LIGHT STONE FILLING 4"-8" STONE LIGHTER THAN 100 LBS. NYS DOT ITEM 620.03
 - MINIMUM THICKNESS OF RIP RAP TO BE 12"
 - SEE RIPRAP STANDARDS AND SPECIFICATIONS MAXIMUM TAILWATER CONDITIONS

RIP-RAP PROTECTION
NOT TO SCALE



- NOTES:**
- INSTALL ROLLED MATTING VERTICALLY WITH 6" OVERLAPPING SEAMS.
 - APPLY SEEDING SCHEDULE AFTER JUTE INSTALLATION.

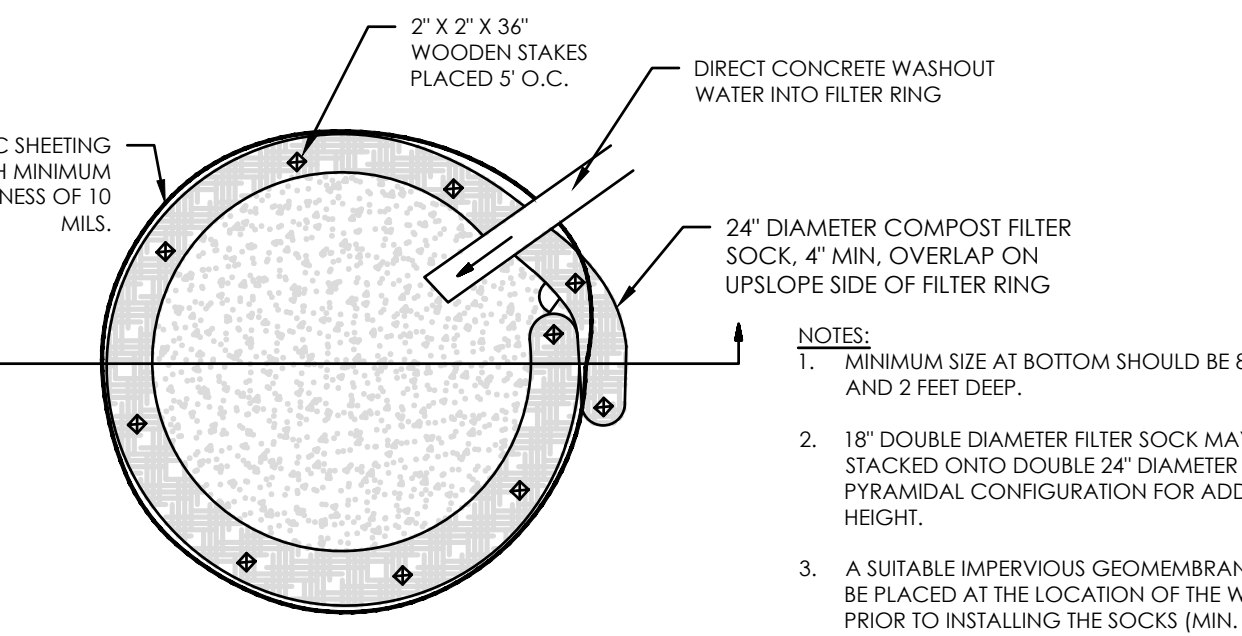
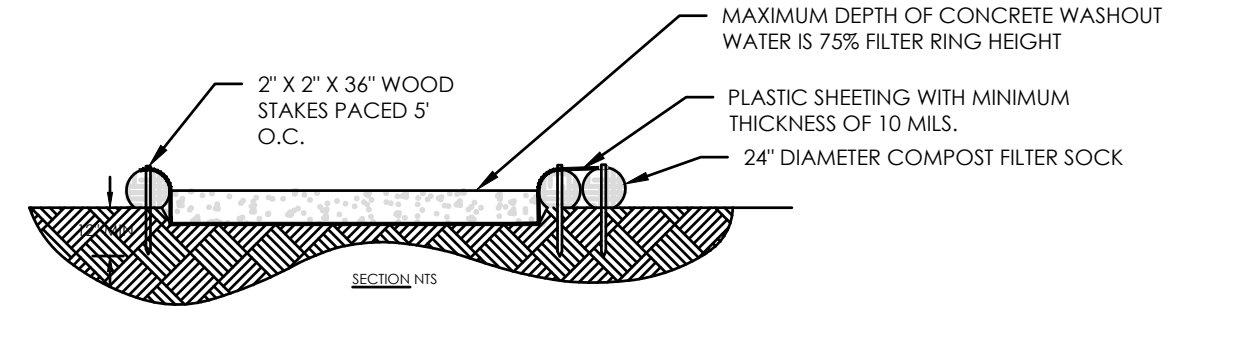
JUTE MESH MATTING
NOT TO SCALE



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

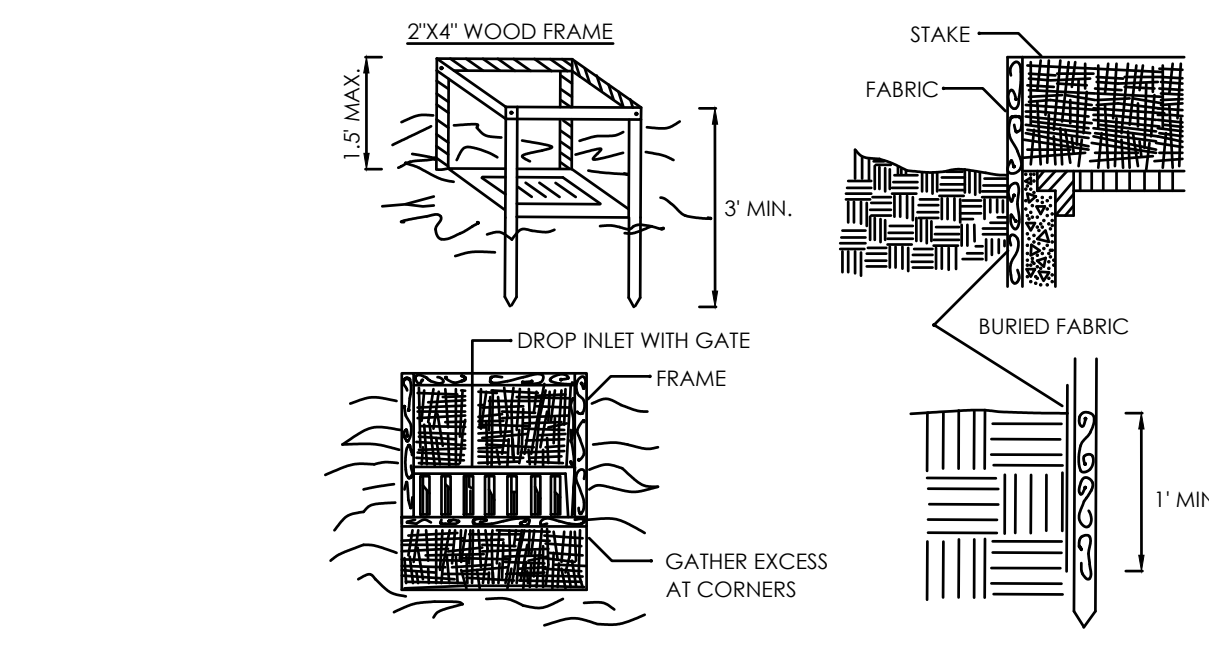
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
- POSTS SHALL BE STEEL, EITHER T OR U TYPE OR 2" HARDWOOD
- FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR PREFABRICATED GEOFAB, ENVIROFENCE OR APPROVED EQUAL

SILT FENCE
NOT TO SCALE



CONCRETE WASHOUT DETAIL
NOT TO SCALE

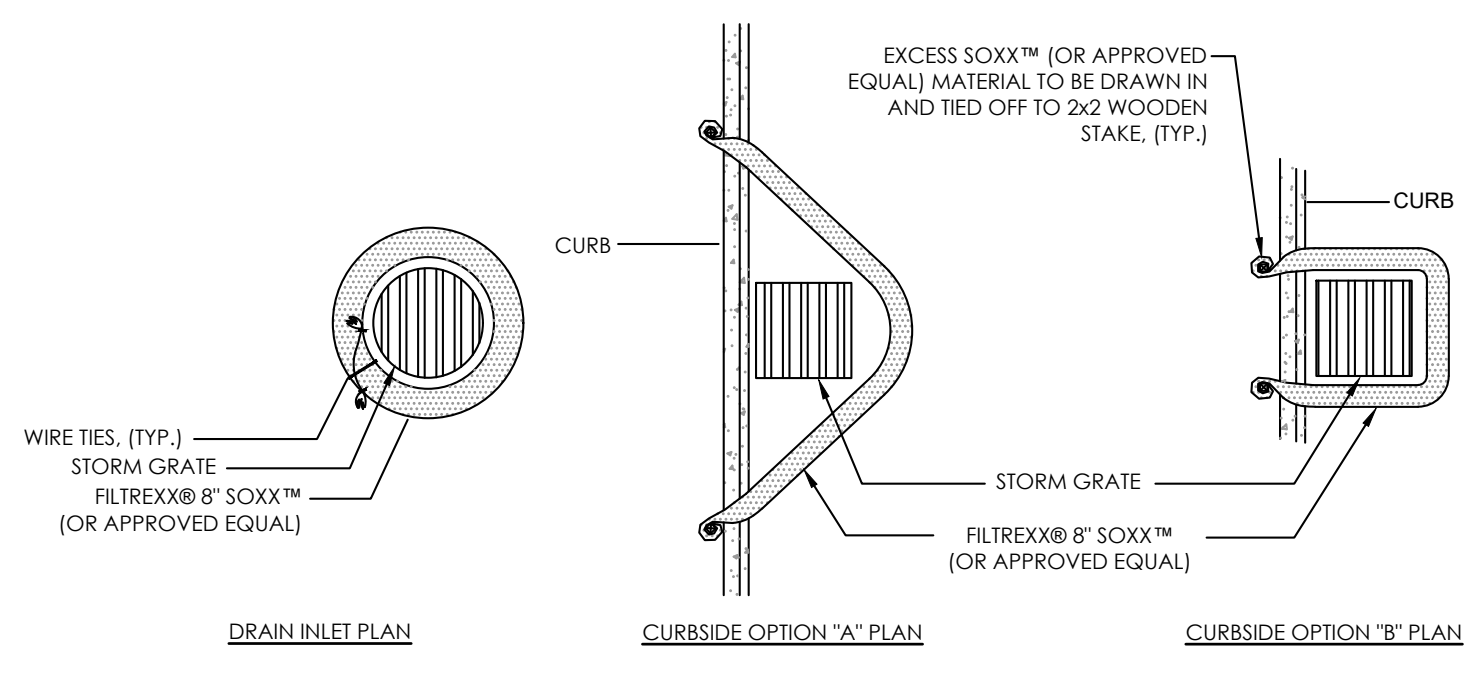
- NOTES:**
- MINIMUM SIZE AT BOTTOM SHOULD BE 8" X 8" AND 2 FEET DEEP.
 - 18" DOUBLE DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
 - A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS (MIN. 10 MIL PLASTIC).
 - PLASTIC LINE SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE

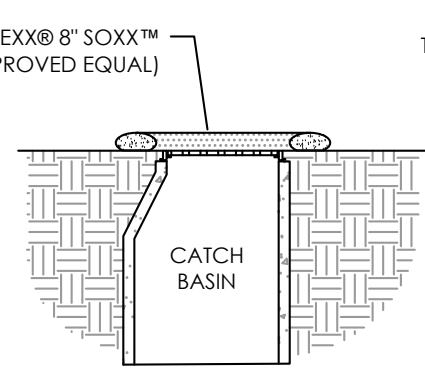
FILTER FABRIC DROP INLET PROTECTION
NOT TO SCALE



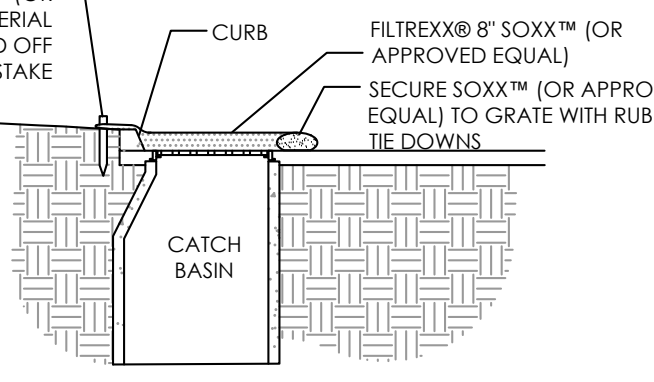
DRAIN INLET PLAN

CURBSIDE OPTION "A" PLAN

CURBSIDE OPTION "B" PLAN



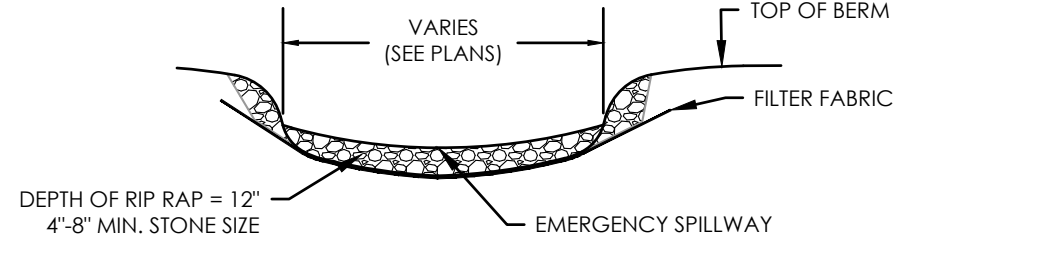
DRAIN INLET SECTION



CURBSIDE SECTION

- NOTES:**
- ALL MATERIAL TO MEET FILTERREX® SPECIFICATIONS (OR APPROVED EQUAL).
 - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS (OR APPROVED EQUAL).
 - DETAIL OBTAINED FROM FILTERREX®

INLET PROTECTION
NOT TO SCALE



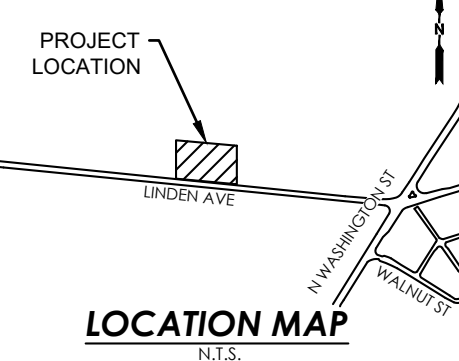
EMERGENCY SPILLWAY DETAIL
NOT TO SCALE



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ROCHESTER, NY 14625

TOWN OF PITTSFORD



ROBERT K. WINANS, P.E.
NYS LIC. #074355

DATE	DESCRIPTION
06/25/21	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS
07/19/21	REVISED PER TOWN COMMENTS
07/23/21	REVISED PER MCDOT, MOWA, & MCDPH COMMENTS

920 LINDEN AVENUE
BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

DRAWING TITLE: CONSTRUCTION DETAILS - 4

PROJ. NO.: 72-21-0038
ANSI D

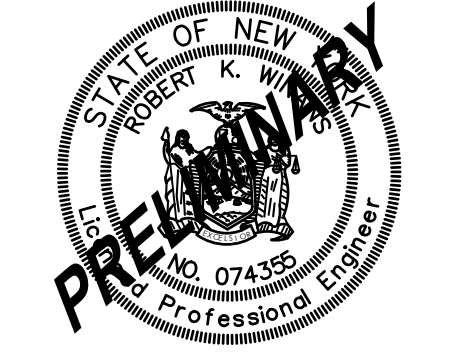
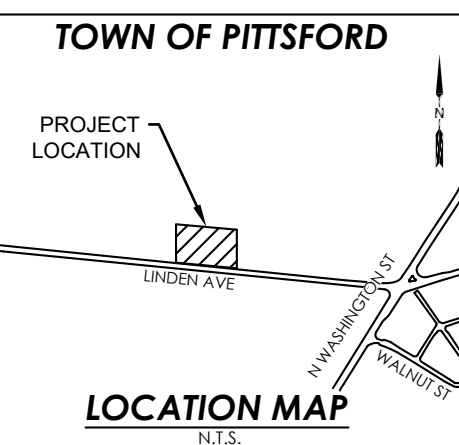
DATE: 06/02/21

REV: 03
DRAWING NO: C12

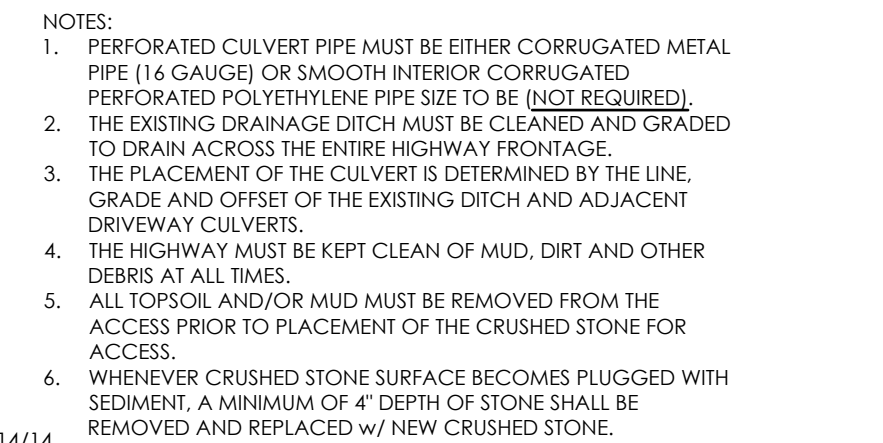
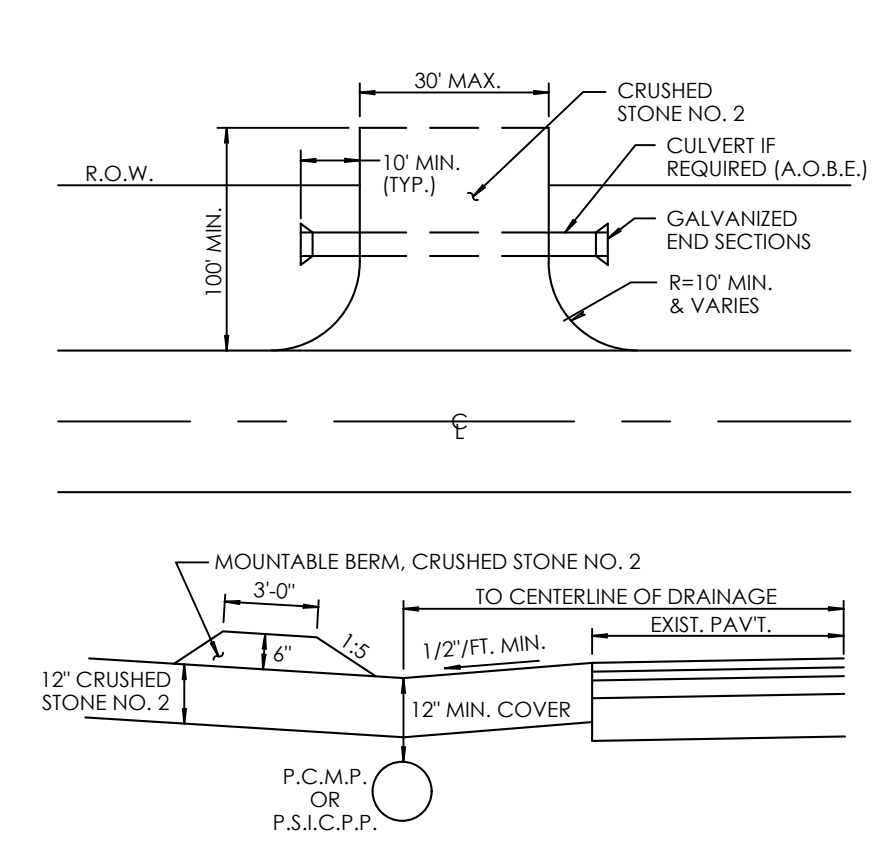


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ROCHESTER, NY 14625

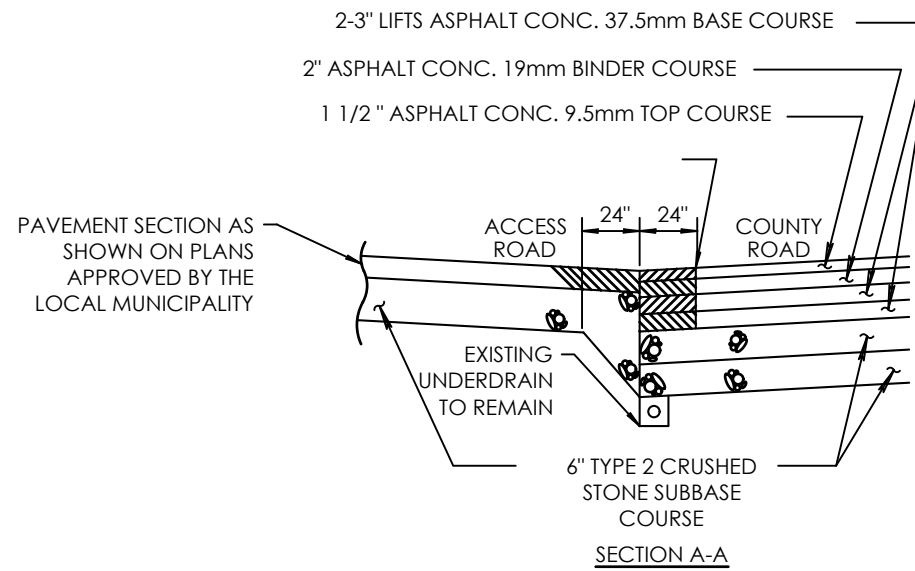
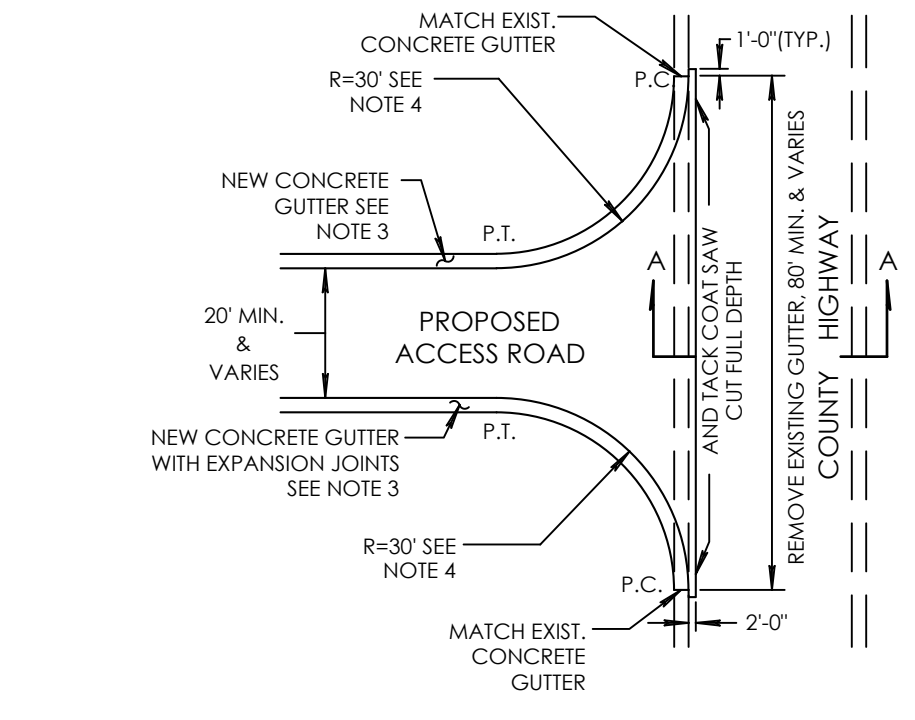


ROBERT K. WINANS, P.E.
NYS LIC. #074355



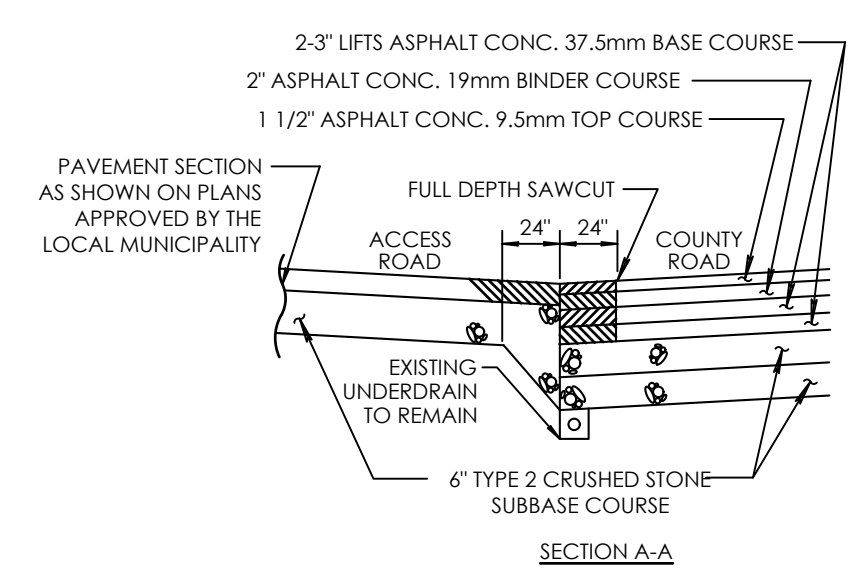
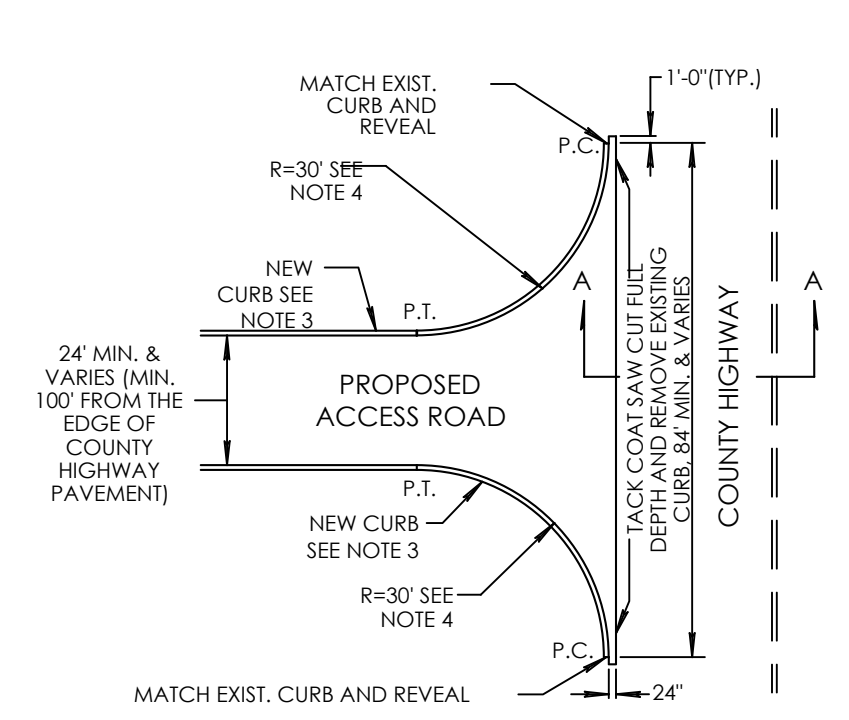
NOTES:
1. PERFORATED CULVERT PIPE MUST BE EITHER CORRUGATED METAL PIPE (16 GAUGE) OR SMOOTH INTERIOR CORRUGATED PERFORATED POLYETHYLENE PIPE SIZE TO BE (NOT REQUIRED).
2. THE EXISTING DRAINAGE DITCH MUST BE CLEANED AND GRADED TO DRAIN ACROSS THE ENTIRE HIGHWAY FRONTAGE.
3. THE PLACEMENT OF THE CULVERT IS DETERMINED BY THE LINE, GRADE AND OFFSET OF THE EXISTING DITCH AND ADJACENT DRIVEWAY CULVERTS.
4. THE HIGHWAY MUST BE KEPT CLEAN OF MUD, DIRT AND OTHER DEBRIS AT ALL TIMES.
5. ALL TOPSOIL AND/OR MUD MUST BE REMOVED FROM THE ACCESS PRIOR TO PLACEMENT OF THE CRUSHED STONE FOR ACCESS.
6. WHENEVER CRUSHED STONE SURFACE BECOMES PLUGGED WITH SEDIMENT, A MINIMUM OF 4" DEPTH OF STONE SHALL BE REMOVED AND REPLACED w/ NEW CRUSHED STONE.

5/14/14 REVISED
TEMPORARY CONSTRUCTION ACCESS AT COUNTY ROADS
NOT TO SCALE



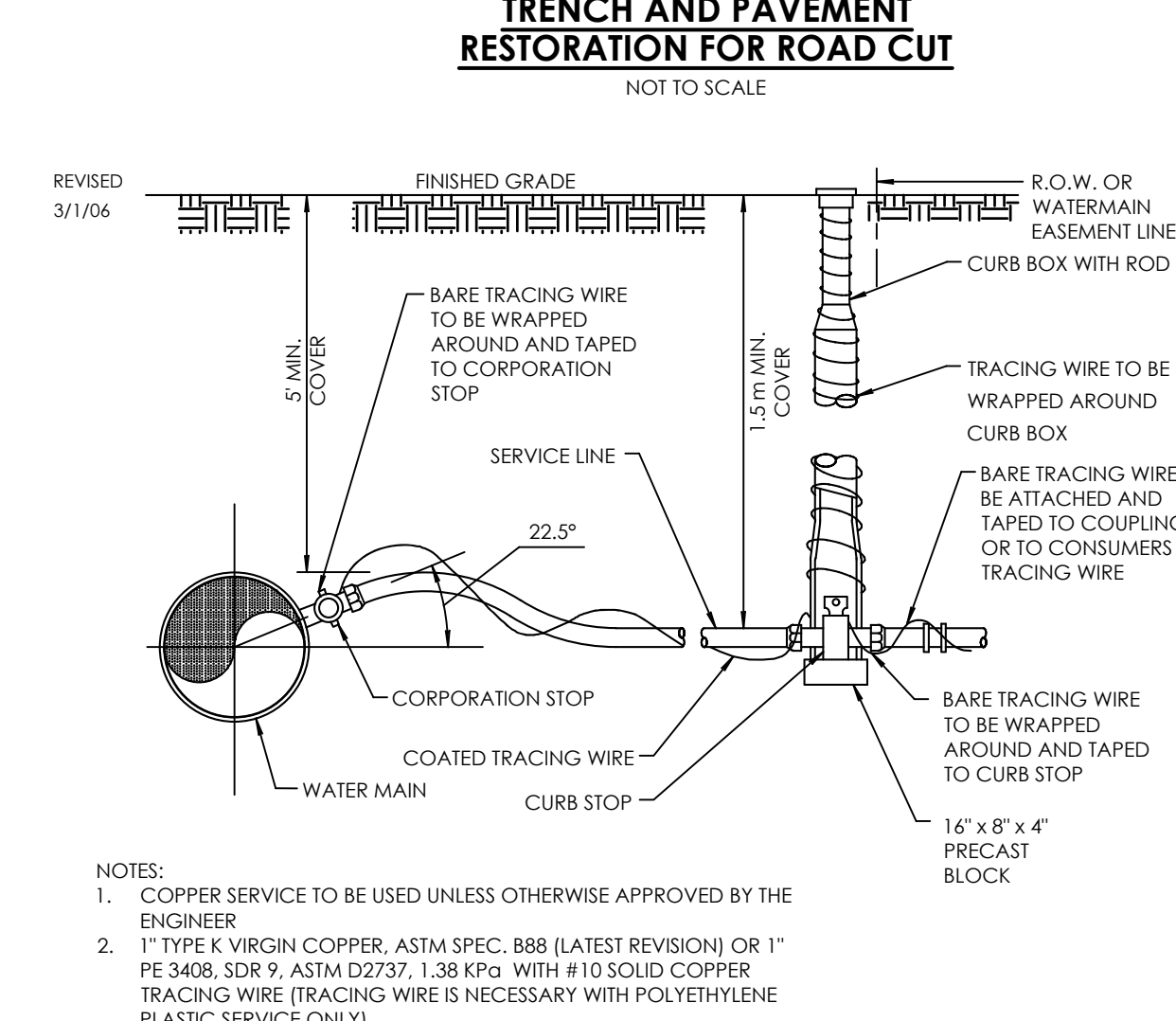
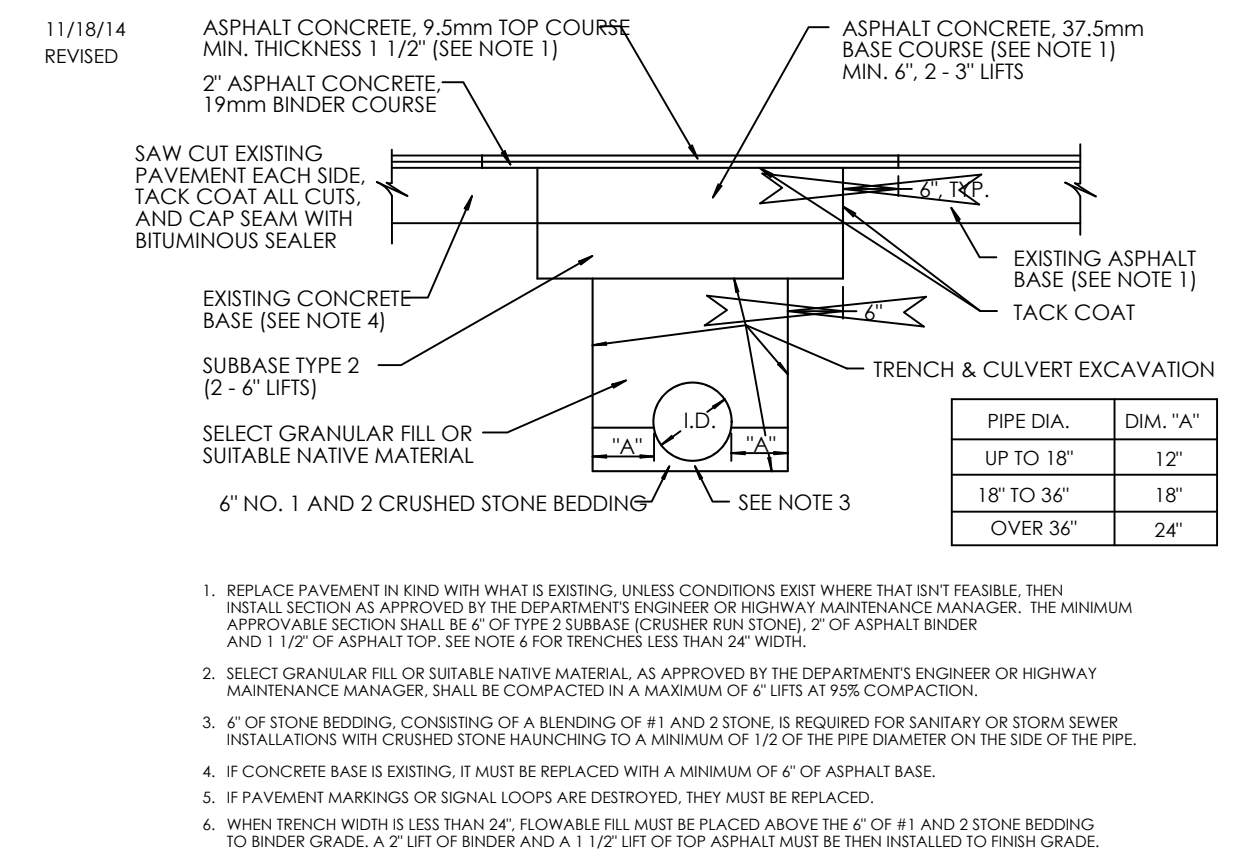
NOTES:
1. ALL ACCESS ROADS SHALL MEET THE COUNTY HIGHWAY AT A RIGHT ANGLE (90°), UNLESS OTHERWISE AUTHORIZED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS OR DESIGNEE.
2. RIGHT-OF-WAY WIDTH VARIES.
3. NEW CURB SHALL MATCH EXISTING CURB MATERIAL FROM P.C. TO P.T.
4. RADIUS MAY VARY DEPENDING ON PROPOSED VEHICLE USAGE FOR ACCESS ROAD.

REVISED 4/27/2021
ACCESS ROAD CONNECTION WITH GUTTER TO A COUNTY HIGHWAY WITH GUTTER
NOT TO SCALE

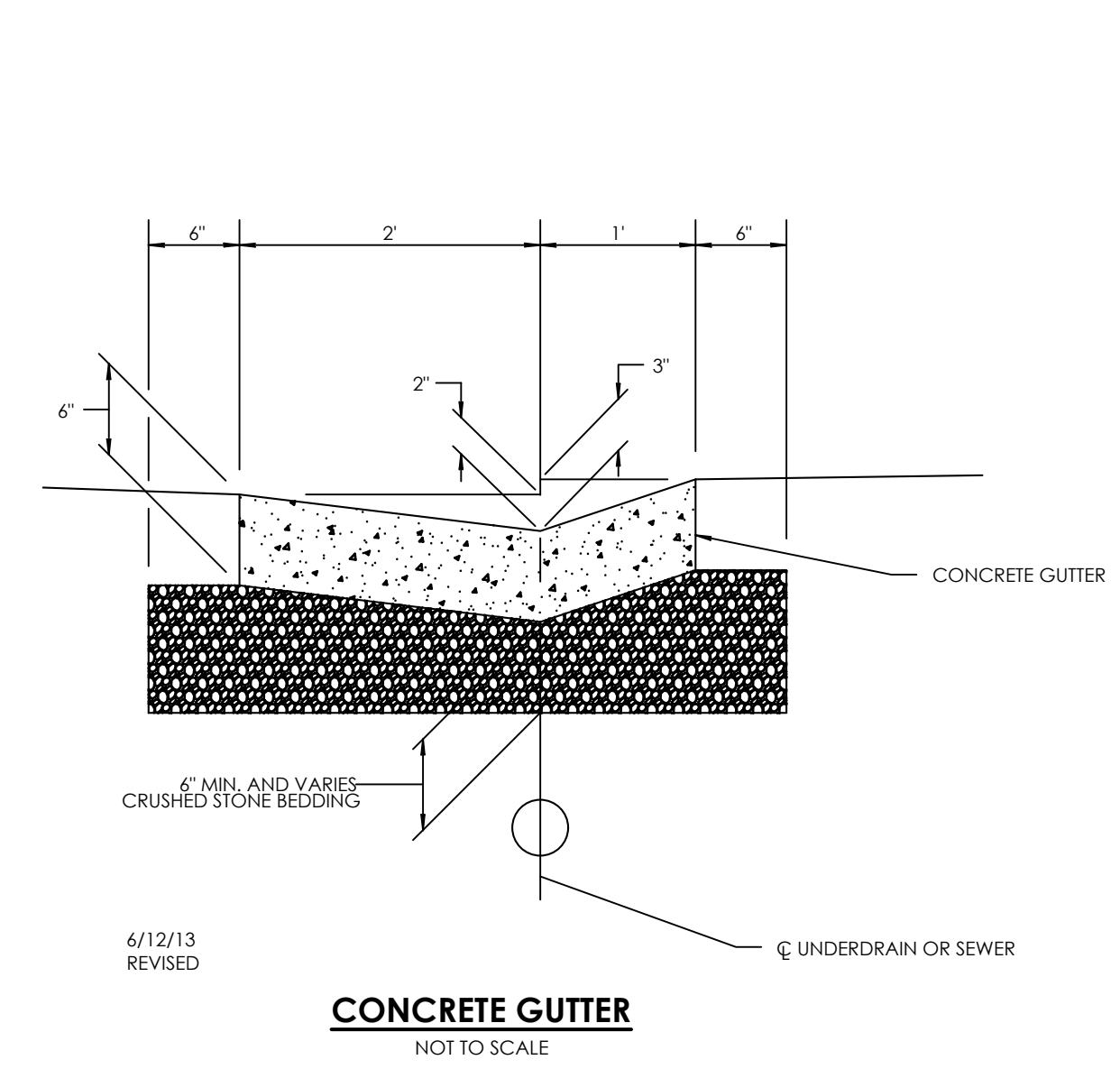


NOTES:
1. ALL ACCESS ROADS SHALL MEET THE COUNTY HIGHWAY AT A RIGHT ANGLE (90°), UNLESS OTHERWISE AUTHORIZED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS OR DESIGNEE.
2. RIGHT-OF-WAY WIDTH VARIES.
3. NEW CURB SHALL MATCH EXISTING CURB MATERIAL FROM P.C. TO P.T.
4. RADIUS MAY VARY DEPENDING ON PROPOSED VEHICLE USAGE FOR ACCESS ROAD.

9/17/14 REVISED
ACCESS ROAD CONNECTION WITH CURB TO A COUNTY HIGHWAY WITH CURB
NOT TO SCALE



REVISED 3/1/06
WATER SERVICE INSTALLATION
NOT TO SCALE



CONCRETE GUTTER
NOT TO SCALE

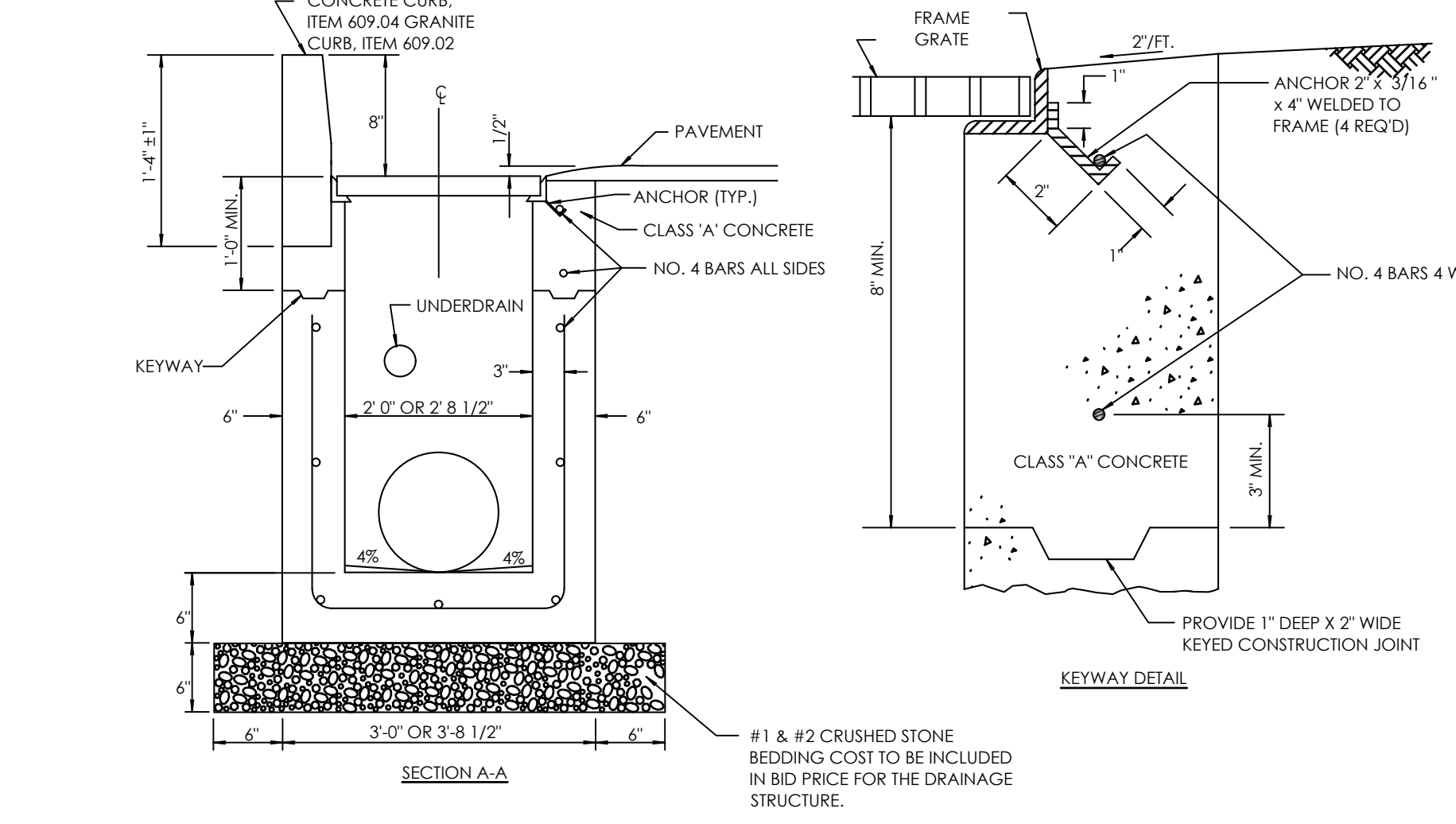
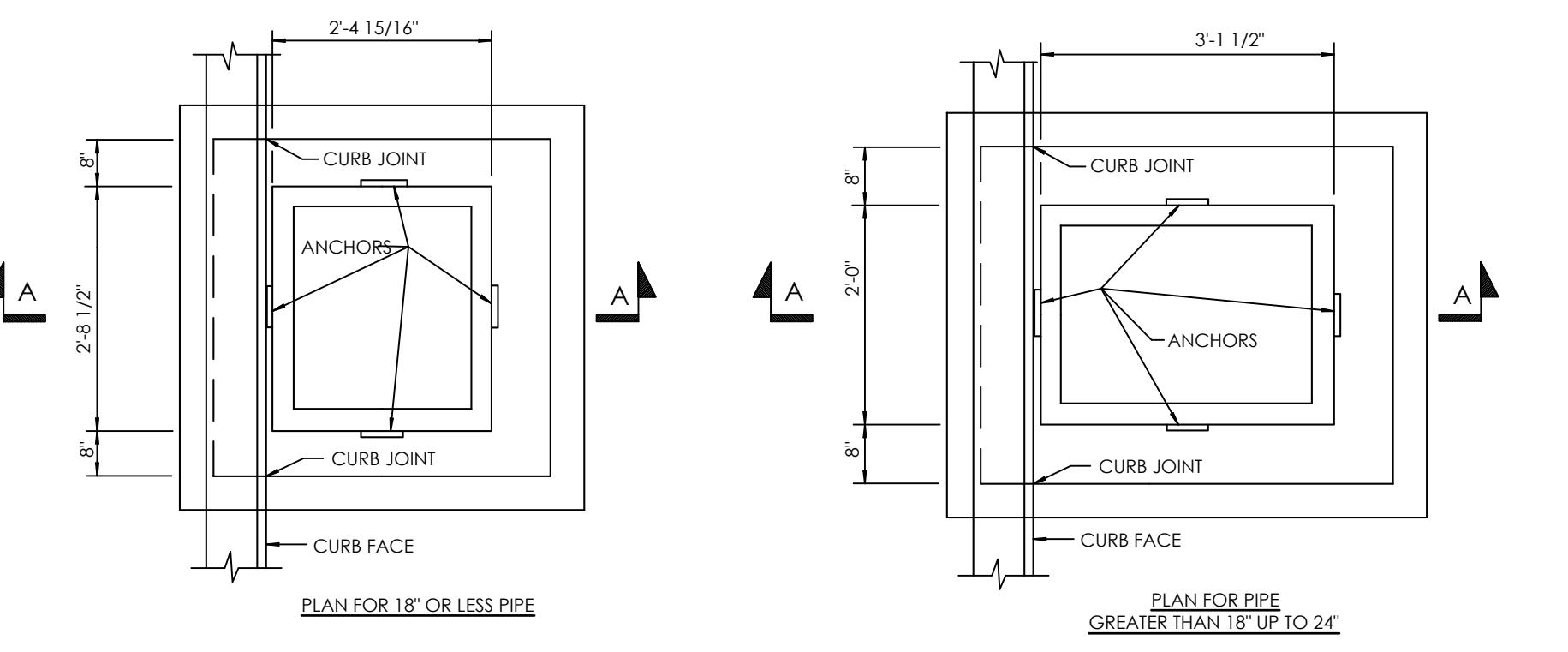
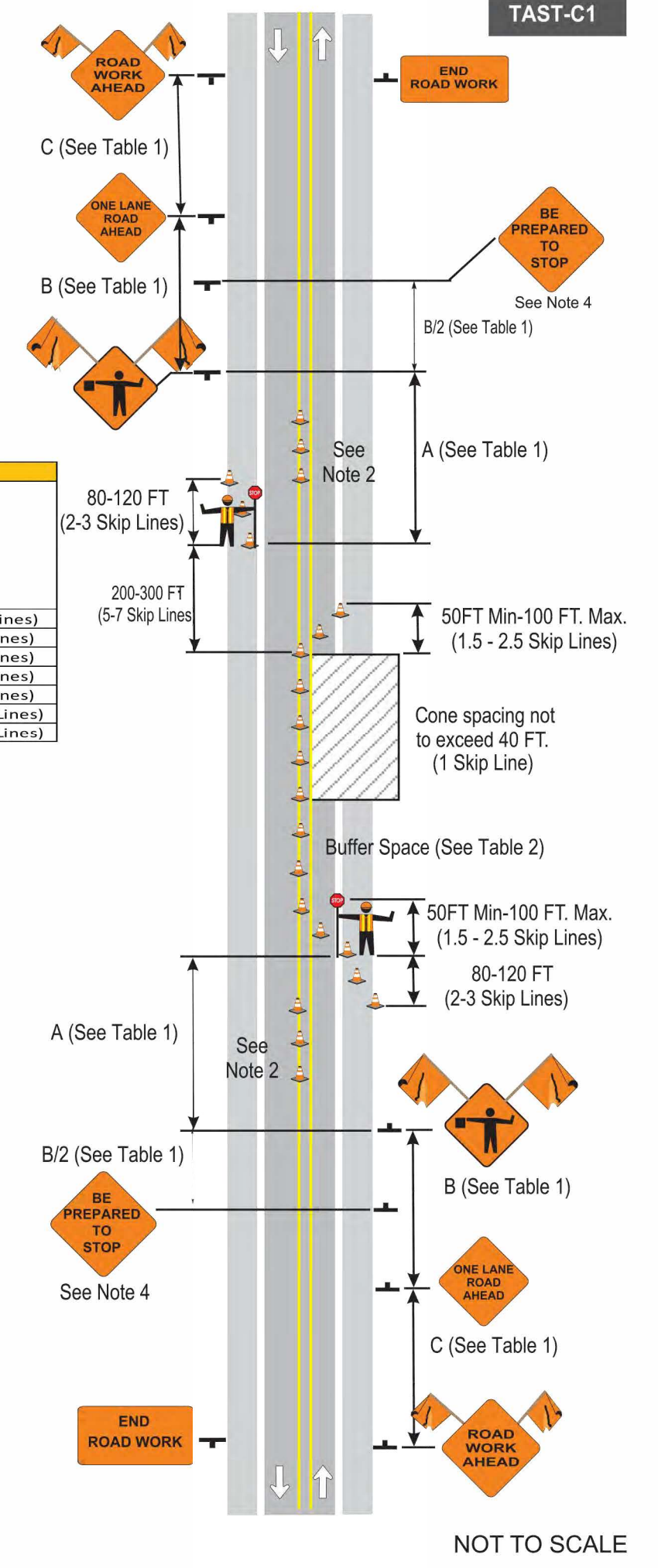
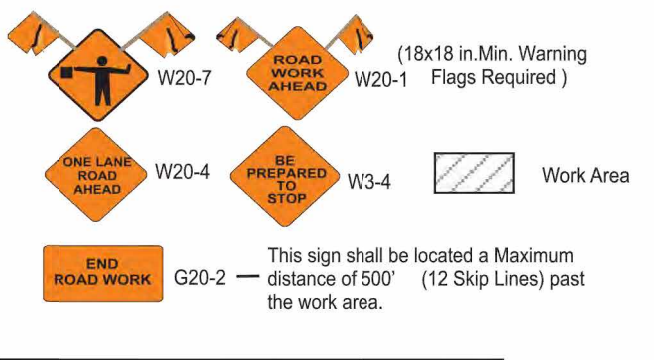
CONVENTIONAL ROADWAY

- NOTES:
1. In urban conditions, advance warning sign spacings may be adjusted in order to accommodate side streets and driveways.
2. Centerline cones may be added to enhance the visibility of the flagger station. If cones are used, place them 100 ft. (minimum) from flagger.
3. Flagger Symbol Sign (W20-7) and "ONE LANE ROAD AHEAD" Sign (W20-4) shall be removed, covered or turned away from road users when flagging operations are not occurring.
4. Should the traffic queue prior to the advance warning signs, the "BE PREPARED TO STOP" sign can be added to the sign series at location shown or the entire advance warning sign series shall be moved to a location prior to the queued traffic.
5. If condition warrants, Barrier Vehicle with appropriate road ahead distance may be used in advance of the work area. To use Barrier Vehicle, Buffer Space shall be provided accordingly.
6. For moving flagging operation, refer to TAST-CMF.

Roadway	PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	DISTANCE BETWEEN SIGNS		
		A (FT.)	B (FT.)	C (FT.)
URBAN LOW (50 MPH)	30	100	100	100
URBAN (35-40 MPH)	35	200	200	200
URBAN HIGH (45-55 MPH)	45	350	350	350
RURAL	50	500	500	500

SIGN	TABLE 3: REQUIRED SIGN SIZES*	
	CONVENTIONAL HIGHWAY	FREEWAY/EXPRESSWAY
W20-7	36x36 in.	48x48 in.
W20-1	36x36 in.	48x48 in.
W20-4	36x36 in.	48x48 in.
W3-4	36x36 in.	48x48 in.
G20-2	36x18 in.	48x24 in.

*Freeway/Expressway signs may be used on Conventional Highways, if space constraints do not exist.



1/30/12 REVISED
DROP INLET TYPE "S" PRECAST AGAINST CURB
NOT TO SCALE

REV	DATE	DESCRIPTION
01	06/25/21	REVISED GRADING WITHIN STORMWATER MANAGEMENT AREAS
02	07/19/21	REVISED PER TOWN COMMENTS
03	07/23/21	REVISED PER MCDOT, MCWA, & MCDPH COMMENTS

920 LINDEN AVENUE
BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK