

Design Review & Historic Preservation Board
Agenda
June 24, 2021

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **22 San Rafael Drive**
The Applicant is requesting design review for the addition of a solarium. The addition will be 491 square feet and located on the east side of the home.
- **33 Split Rock Road**
The Applicant is requesting design review for the second story addition. The approximately 550 square foot addition will be located above the existing garage and will be utilized as a studio.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

- **9 Black Wood Circle**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2013 square feet and will be located in the Wilshire Hills Subdivision.
- **33 Escena Rise**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2327 square feet and located in the Wilshire Hills Subdivision.
- **19 & 21 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 42 (19 Skylight Trail) will be approximately 1852 sq. ft. and Lot 41 (21 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge Subdivision.
- **27 & 29 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 38 (27 Skylight Trail) will be approximately 1987 sq. ft. and Lot 37 (29 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge Subdivision.
- **519 Allens Creek Road**
The Applicant is requesting design review for the addition to Allendale Columbia School. The addition will be approximately 2080 square feet and will be utilized as a class room and childcare room.

COMMERCIAL APPLICATION FOR REVIEW

- **806 Linden Avenue**
The Applicant has requested design review for the addition of two business identification signs. The building sign will be approximately 99 square feet and the sign at the road will be 8 square feet. Both signs meet zoning and will identify the business "John Betlem Heating & Cooling Inc."

How to view the meeting:

1. Zoom

In your web browser go to:

<https://townofpittsford.zoom.us/j/83889157910?pwd=WEZCTDV6NFd6QjZmbjcrWm12RjhOZz09>

You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **838 8915 7910** .
- No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

We are pleased to offer Zoom Automated Transcription captions for our Town Board and volunteer board meetings held via Zoom. Because this service automatically creates machine generated transcriptions, users should be aware that wording inaccuracies may occur.

Design Review and Historic Preservation Board
Minutes
June 10, 2021

PRESENT

Dirk Schneider, Dave Wigg, Paul Whitbeck, John Mitchell, Kathleen Cristman, Bonnie Salem

ALSO PRESENT

Kevin Beckford, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

John Mitchell, Leticia Fornataro

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, June 10 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Dirk Schneider, Chairman opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

It was reported that the banners are now up in the historic district. The Board discussed that a mention in the Town E-News is appropriate to announce their installation. Dirk and Bonnie will put together an email to send to Spencer Bernard, Chief of Staff, to arrange this.

Kevin Beckford announced that the Town Board gave approval for the funding for a historic marker for the East Street Burying Ground. Bonnie Salem will look into ordering.

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

- **14 Laureldale Drive**

The Applicant is returning to request design review for the addition of a porch. The porch will be approximately 232 square feet and will be located on the front of the home. The project will also include changing the garage doors to one door and the addition of a new window.

Steve LaFrance was present to discuss the application with the Board.

He discussed the changes that have been made to the previous design. The bay window has been changed to a rectangular window with brackets underneath covered with a shed roof. The style of garage door has been chosen to represent two separate doors. The whole house will be resided. The shutters will be removed and wider trim will be installed around all windows. Stone returns and arts and crafts mullion style on the windows were discussed.

Kathleen Cristman moved to accept the application as submitted with the recommendation that the mullions pattern have no grills in the lower pane of the windows and the condition that a stone return from the front elevation be added.

Dave Wigg seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW

- **7 Settlers Green**

The Applicant is requesting design review for the addition. The addition will be approximately 156 square feet and will be located to the rear of the home.

There was no representative present

The Board reviewed the application in the absence of the Applicant.

David Wigg moved to accept the application as submitted with the condition that all eave and gable details match those on the existing on the home.

Kathleen Cristman seconded.

All Ayes.

- **10 Split Rock Road**

The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 320 square feet and will be located to the rear of the home.

The homeowners, Matt and Kerry Manning, were present. The contractor, Larry Lazzarro, was available by phone.

The Board had several questions about the project. They did not feel that the drawings provided enough information to make a decision. It was recommended the applicant return with more detailed information on the railings, dimensions, venting and how it would sit on the property.

The decision was made to hold this application open.

- **111 Overbrook Road**

The Applicant is requesting design review for two additions. There will be an addition to the front of the home to expand the dining room and kitchen. There will also be an addition to the rear of the home for an owners suite, mudroom and laundry room. The Applicant has received a variance from the Zoning Board for the side setback.

Roger Langer of Greater Living Architecture was present.

The Board discussed their concerns regarding the many different styles of design on the front elevation. They felt there was a clash of textures between the bonnet style front door porch, the high bay window design and the lines on the garage door. It was noted that the west elevation is in need of some fenestration for architectural interest.

The decision was made to hold this application open to allow the architect to consult with his client.

- **145 Long Meadow Circle**

The Applicant is requesting design review for the construction of a shed. The shed will be approximately 352 square feet. The applicant was approved by the Zoning Board for an oversized accessory structure, over allowed height and forward of the rear wall of the home.

The homeowner, Michael Fliss, was present.

Mr. Fliss discussed the accessory structure. A color has not yet been chosen but it will be black or white. A standing seam metal roof will match the house and garage. The gable will face the street.

The Board expressed that the cupola was not a necessary element because there is already one on the garage. In addition, the recommendation was made that the accessory structure should be the same color as the garage to make the new structure more subservient to the former.

Dirk Schneider moved to accept the application as submitted with the recommendation that the color of the structure match the garage and that the cupola be removed from the design of the accessory structure.

Paul Whitbeck seconded.

Schneider, Whitbeck, Wigg – Aye
Cristman, Salem – Nay

The motion failed to pass.

Bonnie Salem moved to approve the application as submitted with the condition that the cupola be removed and the recommendation that the color of the accessory structure match the garage.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

- **48 Nature View**

The Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 1440 square feet on the first floor and approximately 1354 square feet on the second floor. This home will be located in the Country Pointe Subdivision.

The homeowners Anam and Fahad Ashfaque and John Graziose from Gerber Homes were present.

The Board discussed their concern about the lack of stone returns from the front elevation. Corner stone fenestration was discussed as an option. It was also recommended that that some shutters on the front elevation are unnecessary.

David Wigg moved to accept the application as submitted with the suggestion that the shutters below the center gable be optional and the condition that cornerstone detailing be included on five corners returned to the corner or full height.

Bonnie Salem seconded.

All Ayes.

- **37 Coventry Ridge**

The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2810 square feet of living space. The home will be located in the Coventry Ridge Subdivision.

Steve Maynard of Spall Homes was present.

The design of vertical board and batten accents with horizontal clapboard siding and black window trim with standing seam porch roof was discussed. The front door will be five glass panels.

The Board commented on the use of several textures and the lack of fenestration on the left side elevation.

Bonnie Salem moved to accept the application as submitted with the condition that a window be added to the garage on the left side elevation.

Kathleen Cristman seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3280 Monroe Avenue**

The Applicant is returning to request design review for the exterior alteration and renovation to the existing McDonald's Restaurant. The project consists of alterations to the facade, the roof and the color of the building.

Andrew Gartley and Randy Bebout were present to present this application to the Board. They discussed the effort to update the current McDonalds restaurant exterior maintaining current branding while respecting the municipalities standards for design.

This approval is for the exterior only not signage.

Paul Whitbeck moved to accept the application as submitted.

David Wigg seconded.

All Ayes.

CERTIFICATE OF APPROPRIATENESS

- **117 East Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (AG) Agricultural and is designated historic.

The applicant was not present. This hearing remains open.

- **18 Golf Avenue**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the construction of an oversized accessory structure on the property of a designated historic home.

Chairman Dirk Schneider opened the public hearing for 18 Golf Avenue.

The homeowner, John Flannery, was present.

Mr. Flannery described his vision of the accessory structure as Colonial style with post and beam flavor to provide additional storage and dance studio space for his family. He indicated he has consulted with Bob Corby on the design. Mr. Flannery stated that Mr. Corby felt this type of design is appropriate.

The Board discussed their questions on the height, scale and massing of the structure. They indicated that architectural drawings with elevations and a grading plan of the property would be helpful. They discussed concerns of height in relation to the main structure and felt that more details are needed relating to the quality of the design and materials of the structure.

Dirk Schneider called for public comment.

Susan Donnelly, Secretary to the Board, read letters of concern received by the Town into the record from Fran and Herb Kramer of 17 Golf Avenue and Rita Pernaselli of 13 Golf Avenue.

There was no further public comment.

The Board then held further discussion on the application. It was determined that at this time there is not enough information to make recommendations to the Zoning Board of Appeals for any required variances.

A decision was made to hold the public hearing open.

- **810 Allens Creek Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

Dirk Schneider opened the public hearing.

The applicant Kim Bailey and Trip Pierson were present.

The Board reviewed the design. They indicated they appreciated the applicant's effort to decrease the massing of the garage with the step back of the garage man door.

The Board questioned the different size dormers on the garage and reiterated that the addition of dormers to the original structure are not appropriate. Trip Pierson agreed with the comments on the garage dormers.

The Board indicated they would need further information on the detailing and the materials in order to make an approval and recommendations on height and size to the Zoning Board of Appeals.

There was no public comment.

This public hearing remains open.

OTHER – REVIEW OF 5/27/2021 MINUTES

Kathleen Cristman moved to accept the minutes of May 27, 2021 as written.

Bonnie Salem seconded.

All Ayes.

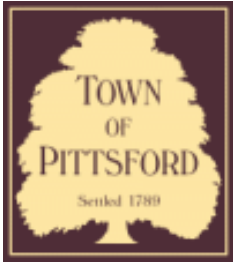
ADJOURNMENT

Dirk Schneider moved to close the meeting at 10:05 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000127

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 22 San Rafael Drive ROCHESTER, NY 14618

Tax ID Number: 151.06-1-25

Zoning District: RN Residential Neighborhood

Owner: Eichel, Louis

Applicant: Hamilton Stern

Application Type:

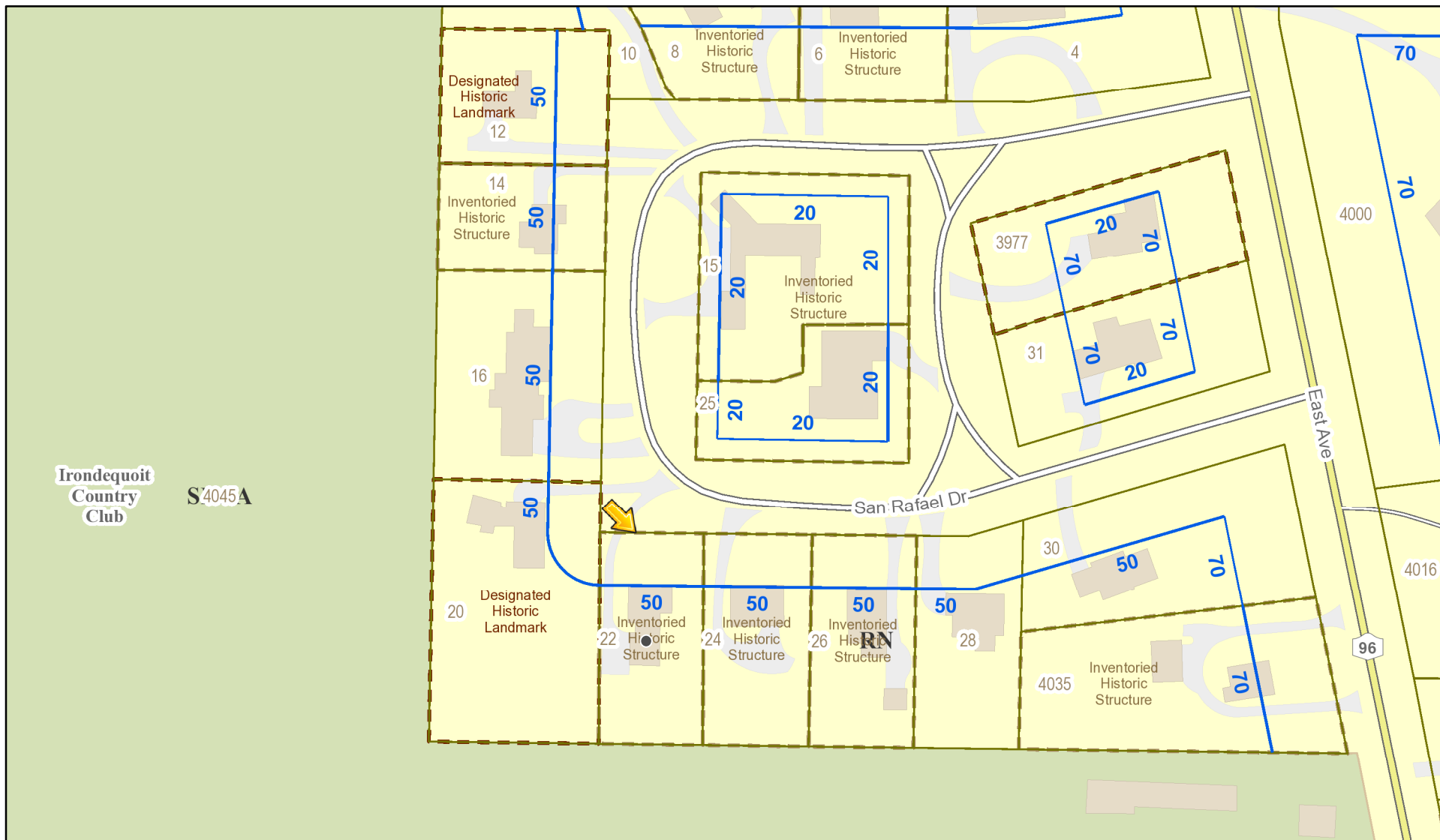
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a solarium. The addition will be 491 square feet and located on the east side of the home.

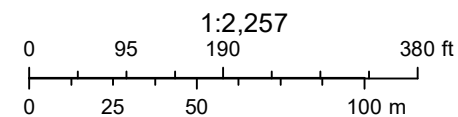
Meeting Date: June 24, 2021



RN Residential Neighborhood Zoning

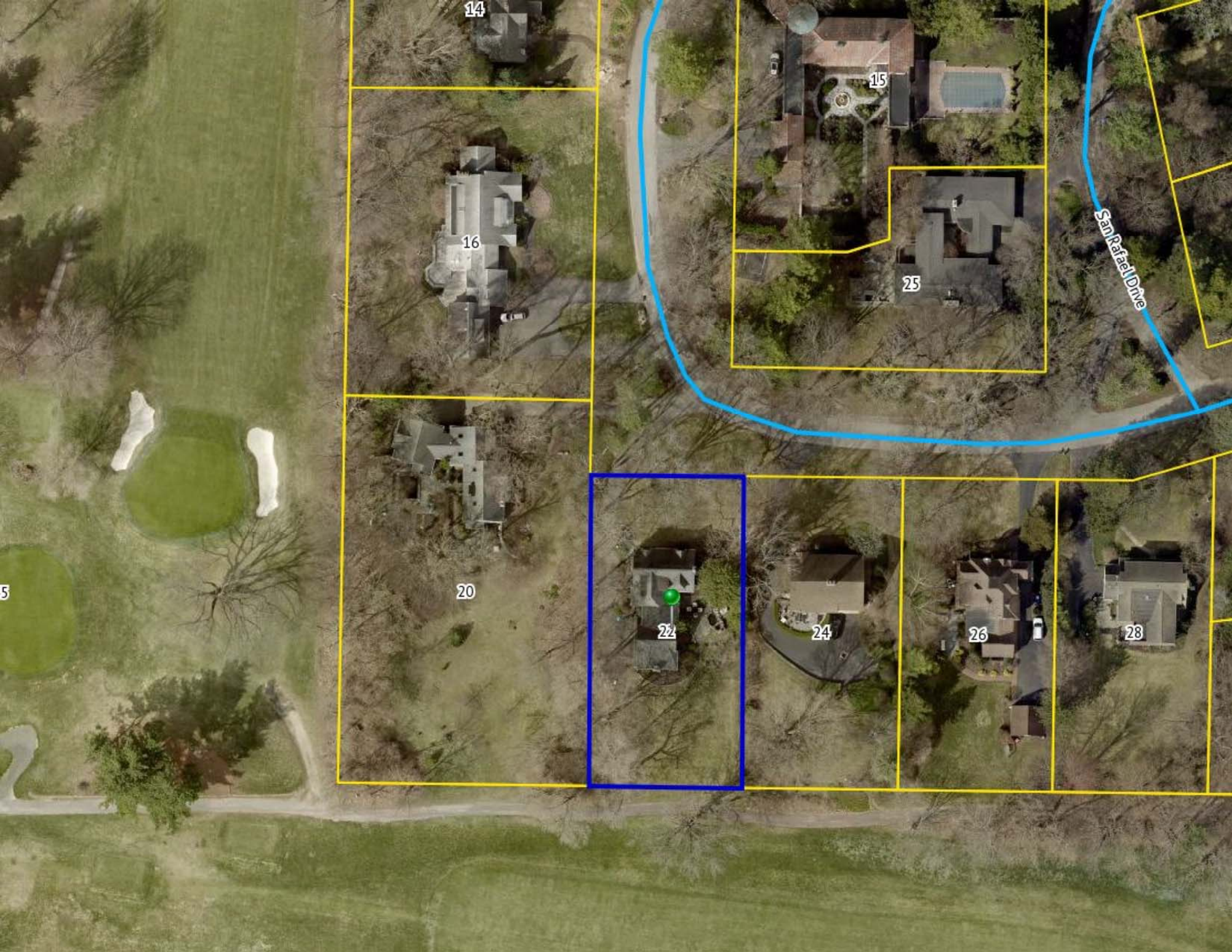


Printed June 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



14

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16

25

San Rafael Drive

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22

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26

28

5

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2020 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-36, FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN.
- APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR NOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 703.8 OF THE RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

ADDITION TO EICHEL RESIDENCE

22 SAN RAFAEL DRIVE

HAMILTON/ STERN, BUILDER

DRAWING INDEX

1	TITLE PAGE
2	F/L ELEVATIONS - EXISTING
3	R/R ELEVATIONS - EXISTING
4	1ST FLR PLAN - EXISTING
5	F/L ELEVATIONS - PROPOSED
6	REAR ELEVATION - PROPOSED
7	BSMT/FOUND PLAN - PROPOSED
8	1ST FLOOR PLAN - PROPOSED
9	ROOF PLAN - PROPOSED
10	BUILDING SECTIONS
11	WALL SECTION

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2020 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.32	.30
2. CEILING R-FACTOR	49	49
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND 3515
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	N/A
6. SLAB R-VALUE & DEPTH	R-10 @ 24" DEEP	N/A

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.6.3 REQUIREMENT
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.1 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R602.1.1



PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO., MA, NE, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIRM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES, BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

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PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

REVISED 5/29/21 P.J.MAIA

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

PROJECT:

ADDITION AND RENOVATION DR. AND MRS. LOUIS EICHEL 22 SAN RAFAEL DRIVE TOWN OF PITTSFORD NY

CLIENT:

HAMILTON STERN BUILDER

DRAWING:

TITLE PAGE

DRAWN:

PJM / MSM

CHECKED:

PJM

DATE:

JANUARY 2021

SCALE:

1/4"=1'-0"

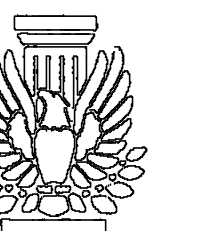
JOB NO.:

20MB941

SHEET:

1

OF 11 SHEETS



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PROJECT:
 ADDITION AND RENOVATION
 DR. AND MRS. LOUIS EICHEL
 22 SAN RAFAEL DR
 TOWN OF PITTSFORD NY

CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 FRONT & LEFT SIDE
 ELEVATIONS - EXISTING

DRAWN: P.J.M / M.G.M
CHECKED: P.J.M

DATE: JANUARY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB941

SHEET:

2
 OF **11** SHEETS



FRONT ELEVATION/ EXISTING
 WITH REMOVALS SHOWN



LEFT SIDE ELEVATION/ EXISTING
 WITH REMOVALS SHOWN



REAR ELEVATION/ EXISTING
WITH REMOVALS SHOWN



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ADDITION AND RENOVATION
DR. AND MRS. LOUIS EICHEL
22 SAN RAFAEL DR
TOWN OF PITTSFORD NY

CLIENT:
HAMILTON STERN
BUILDER

DRAWING:
REAR & RIGHT SIDE
ELEVATIONS - EXISTING

DRAWN: PJM / MGM	CHECKED: PJM
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DATE: JANUARY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB941

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 ADDITION AND RENOVATION DR. AND MRS. LOUIS EICHEL
 22 SAN RAFAEL DR
 TOWN OF PITTSFORD NY

CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 1ST FLOOR PLAN
 EXISTING

DRAWN: P.J.M / M.G.M
CHECKED: P.J.M

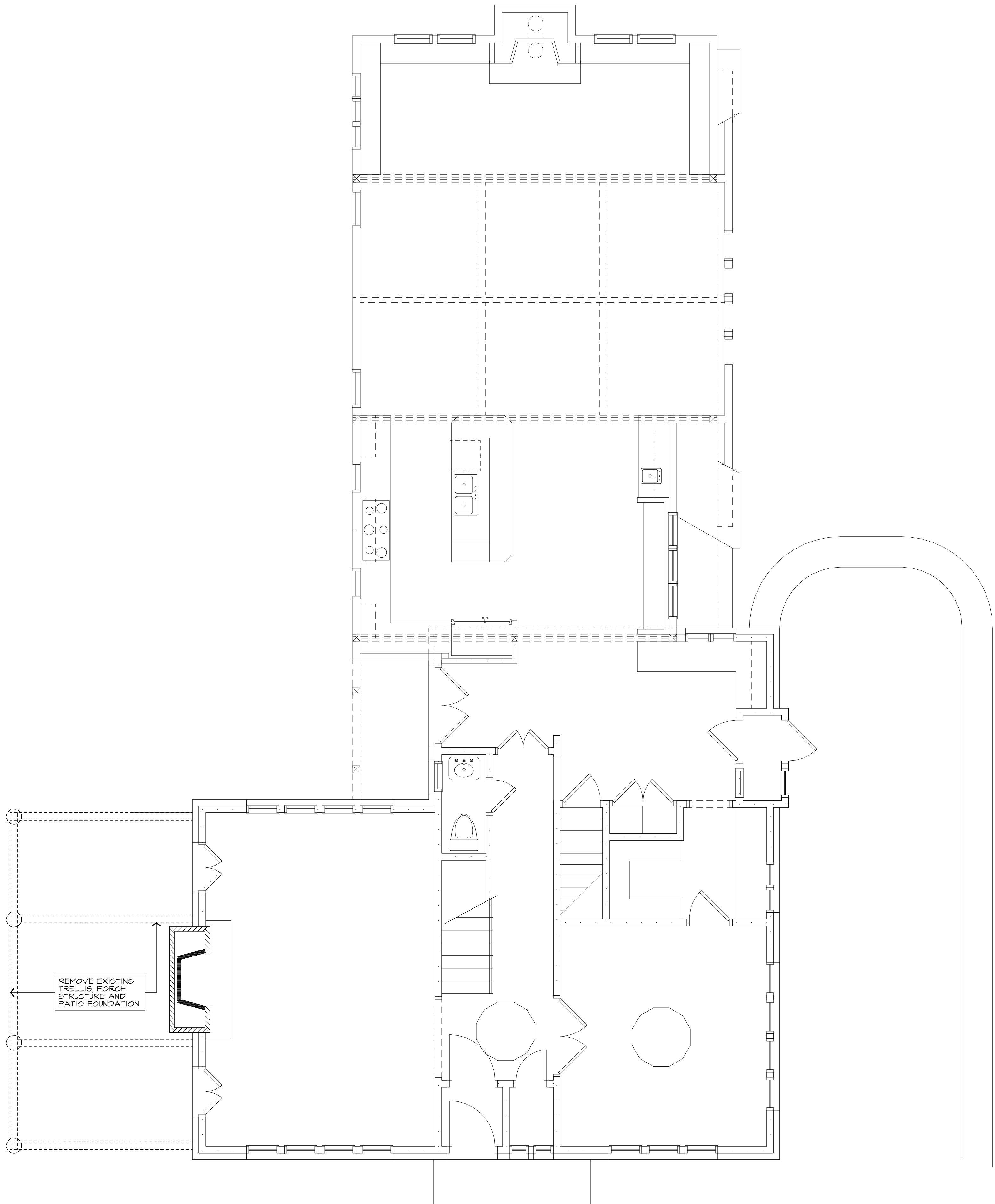
DATE: JANUARY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB941

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4
 OF 11 SHEETS



REMOVE EXISTING
 TRELLIS PORCH
 STRUCTURE AND
 PATIO FOUNDATION

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

FIRST FLOOR PLAN/ EXISTING
 WITH REMOVALS SHOWN

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CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 ELEVATIONS - PROPOSED

DRAWN: PJM / MGM	CHECKED: PJM
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DATE: JANUARY 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20MB941

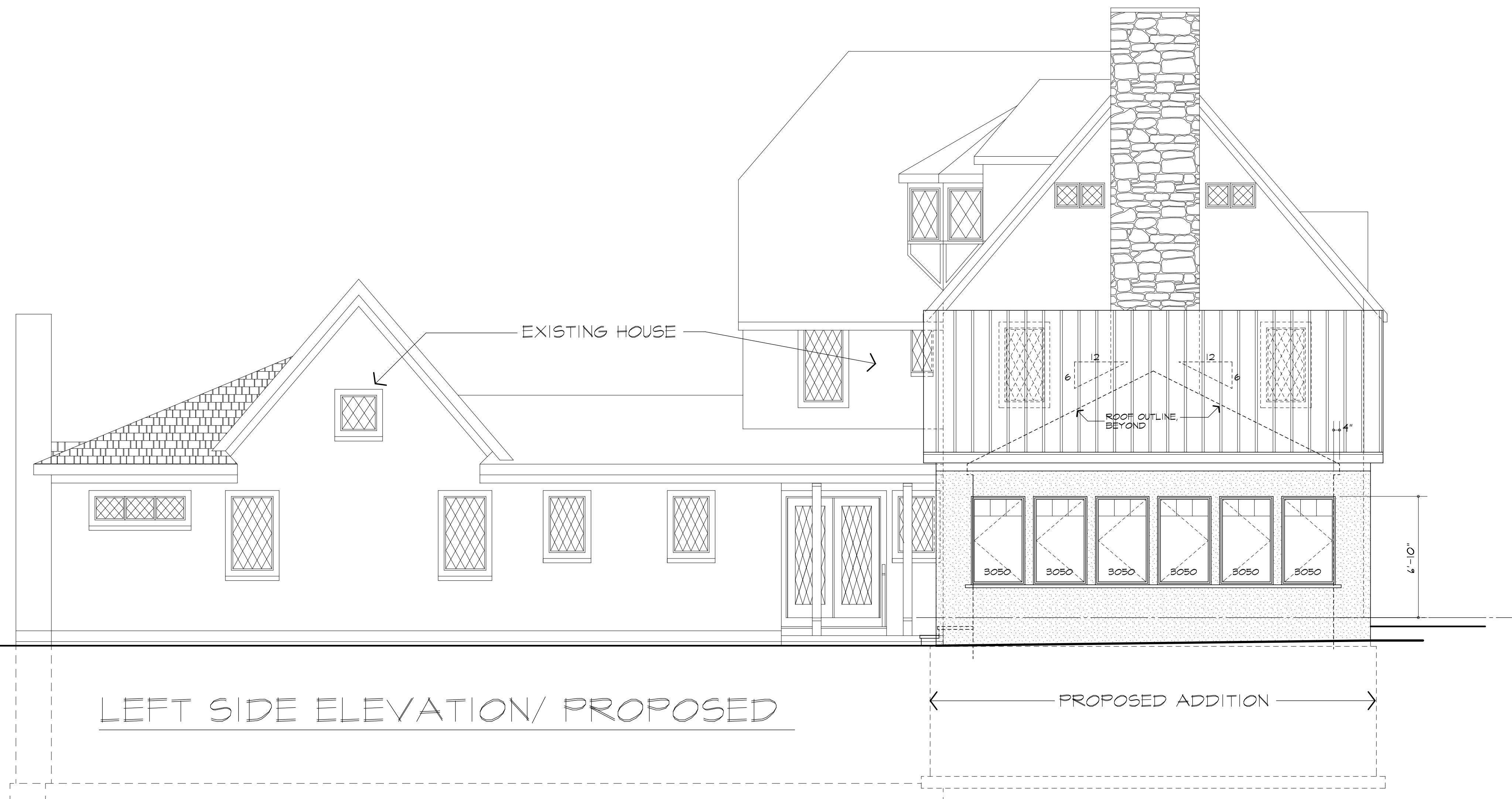
SHEET:

5
 OF 11 SHEETS



UNLESS OTHERWISE NOTED


ROOFING:	STANDING SEAM METAL ROOFING
ROOF VENTING:	RIDGE VENTS
FASCIAS:	1X 6 AZEK OR MATCH EXISTING
FRIEZEBDS:	1X 6 AZEK OR MATCH EXISTING
CORNERBDS:	N/A
CASINGS:	MATCH EXISTING
SIDING:	STUCCO TO MATCH EXISTING
OVERHANGS:	12"
RAKE OVERHANGS:	0"
MIN FTG. DEPTH:	4'-0"
CLS HT:	
1ST FLOOR:	REFER TO FLOOR PLAN AND SECTIONS
2ND FLOOR:	N/A
WINDOW R.O. HT:	
1ST FLOOR:	6'-10" (MATCH EXISTING)
2ND FLOOR:	N/A
WINDOW MFR:	AS SELECTED - WINDOW GRILLE PATTERN TO MATCH EXISTING (PROVIDE SAFETY GLAZING PER R.308.4)





REAR ELEVATION/ PROPOSED

UNLESS OTHERWISE NOTED	
ROOFING:	STANDING SEAM METAL ROOFING
ROOF VENTING:	RIDGE VENTS
FASCIAS:	1X 6 AZEK OR MATCH EXISTING
FRIEZEBDS:	1X 6 AZEK OR MATCH EXISTING
CORNERBDS:	N/A
CASINGS:	MATCH EXISTING
SIDING:	STUCCO TO MATCH EXISTING
OVERHANGS:	12"
RAKE OVERHANGS:	0"
MIN FTG. DEPTH:	4'-0"
CLS HT:	
1ST FLOOR:	REFER TO FLOOR PLAN AND SECTIONS
2ND FLOOR:	N/A
WINDOW R.O. HT:	
1ST FLOOR:	6'-10" (MATCH EXISTING)
2ND FLOOR:	N/A
WINDOW MFR:	AS SELECTED - WINDOW GRILLE PATTERN TO MATCH EXISTING (PROVIDE SAFETY GLAZING PER R.308.4)



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PROJECT:
 ADDITION AND RENOVATION
 DR. AND MRS. LOUIS EICHEL
 22 SAN RAFAEL DR
 TOWN OF PITTSFORD NY

CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 ELEVATIONS - PROPOSED

DRAWN: PJM / MGM	CHECKED: PJM
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DATE: JANUARY 2021


SCALE: 1/4"=1'-0"

JOB NO.: 20MB941

SHEET:

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 TOWN OF PITTSFORD NY

CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 BASEMENT / FOUNDATION PLAN
 PROPOSED

DRAWN: PJM / MGM	CHECKED: PJM
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DATE: JANUARY 2021

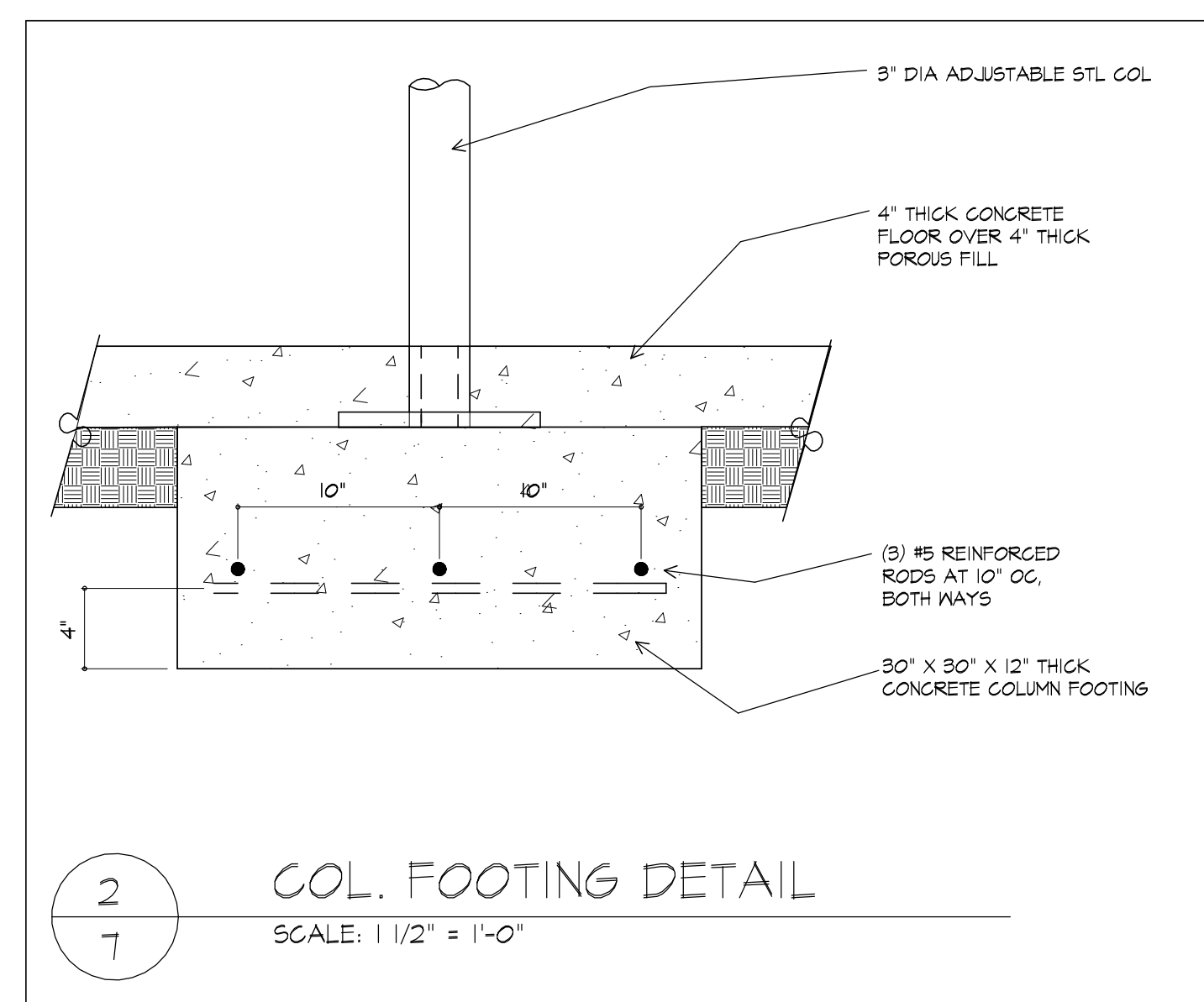
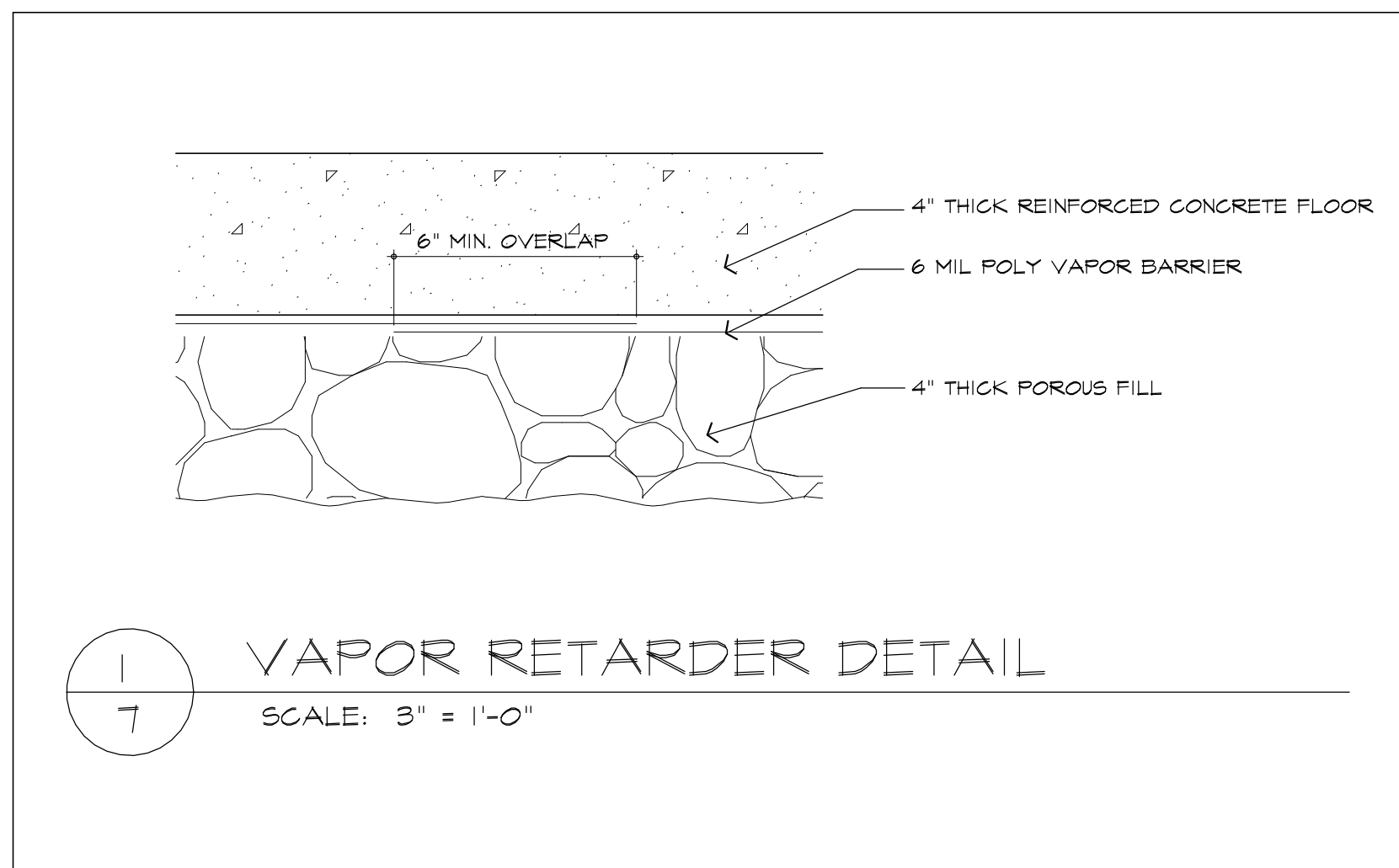
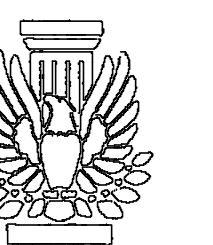
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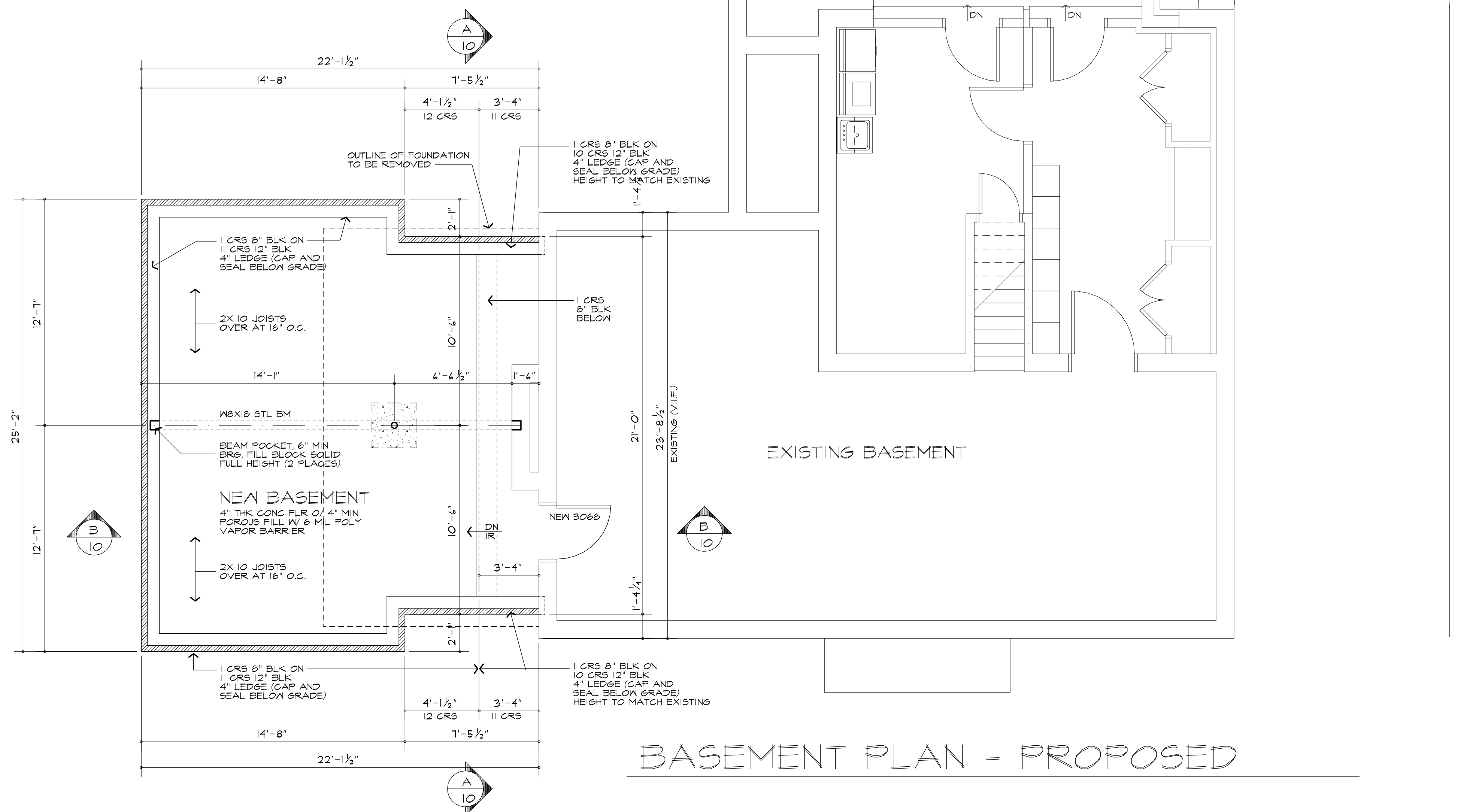
SHEET:

7

OF 11 SHEETS



- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
 SIZES: 12" BLK - 24" WIDE X 8" THK. WITH 2 #5 REINF. RODS CONTINUOUS
 - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
 FOOTINGS: 2500 P.S.I.
 FLOOR SLABS: 2500 P.S.I.
 PORCH: 3500 P.S.I.
 GARAGE: 3500 P.S.I.
 - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
 - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
 - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC
 - PROVIDE #5 REINFORCING RODS AT 64" O.C. AT ALL AREAS OF UNBALANCED BACK FILL HEIGHT OF 7'-0"



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 DR. AND MRS. LOUIS EICHEL
 22 SAN RAFAEL DR
 TOWN OF PITTSFORD NY

CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 ROOF PLAN - PROPOSED

DRAWN: P.J.M / M.G.M
CHECKED: P.J.M

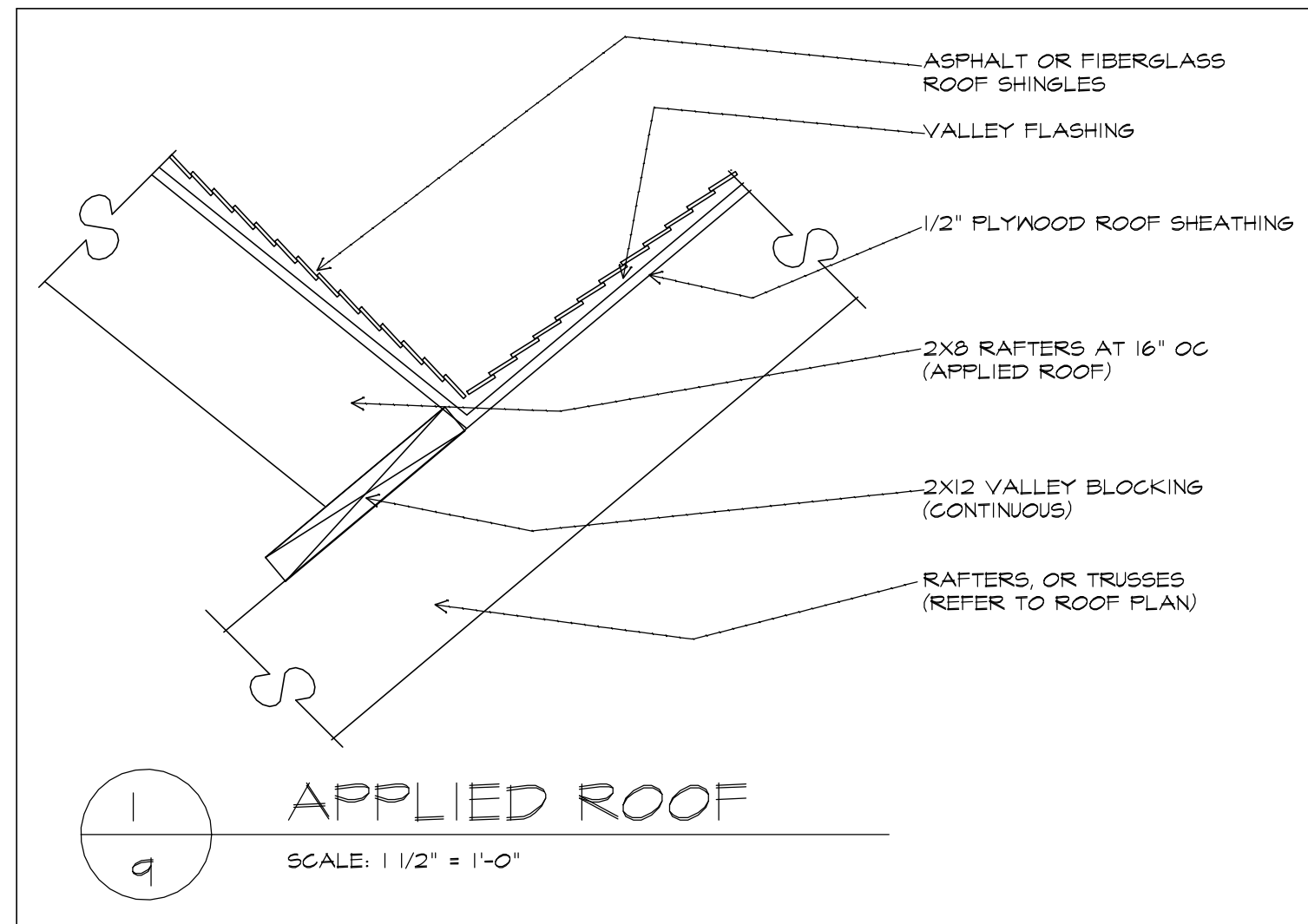
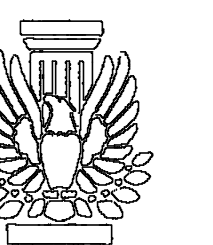
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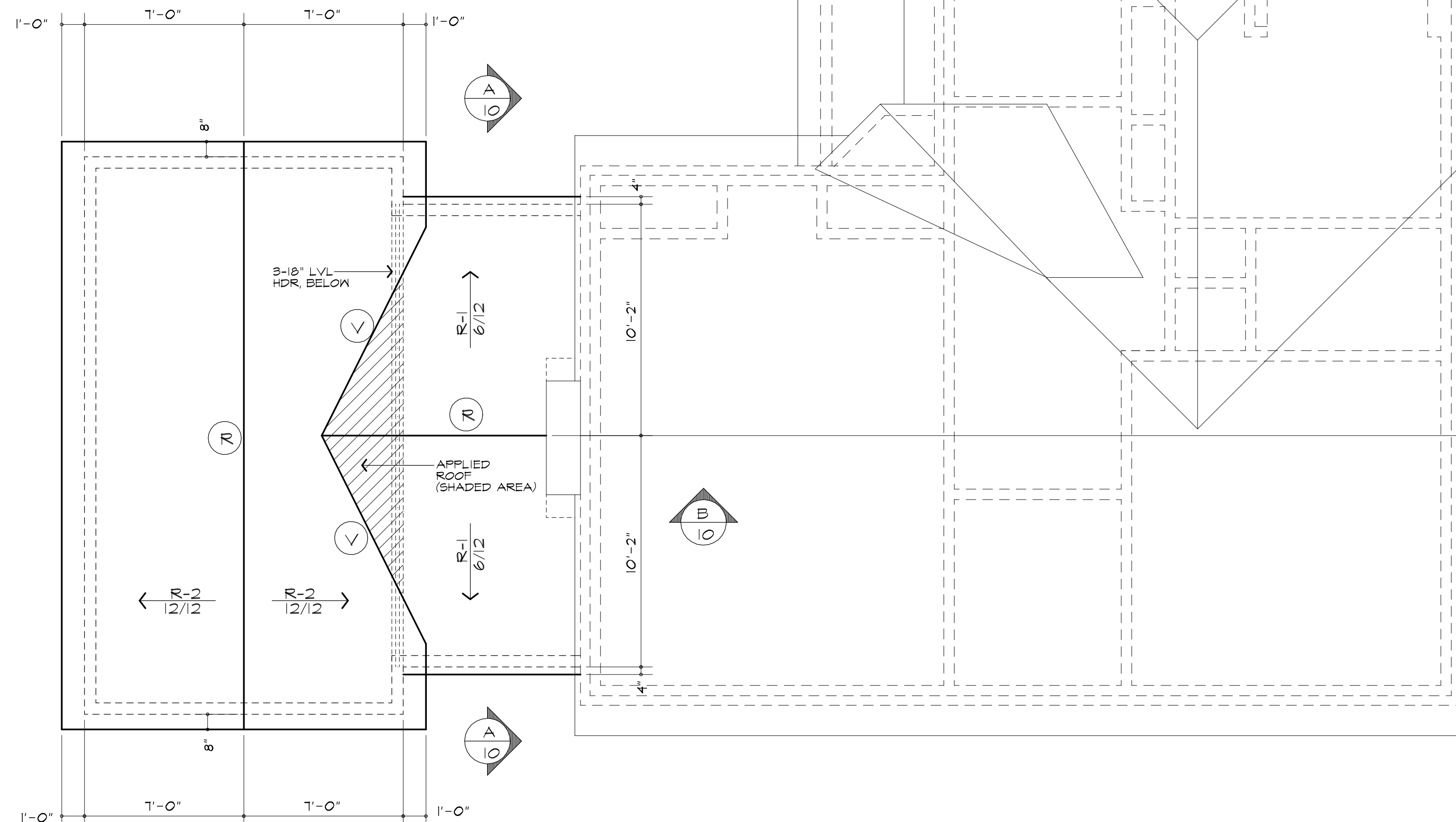
SHEET:

9
 OF 11 SHEETS



ROOF LEGEND	
R-1 */12	2X 8 RAFTERS AT 16" OC. */12 PITCH NOTED
R-2 */12	2X 12 RAFTERS AT 16" OC. */12 PITCH NOTED
R	2X12 RIDGE BOARD
V	APPLIED VALLEY - SEE DETAIL 9/12

*NOTE:
 PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R905.2.11 (2020 RESIDENTIAL CODE OF NEW YORK)



ROOF PLAN - PROPOSED

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 ADDITION AND RENOVATION
 DR. AND MRS. LOUIS EICHEL
 22 SAN RAFAEL DR.
 TOWN OF PITTSFORD NY

CLIENT:
 HAMILTON STERN
 BUILDER

DRAWING:
 BUILDING SECTIONS
 PROPOSED

DRAWN: FJM / MGM
CHECKED: FJM

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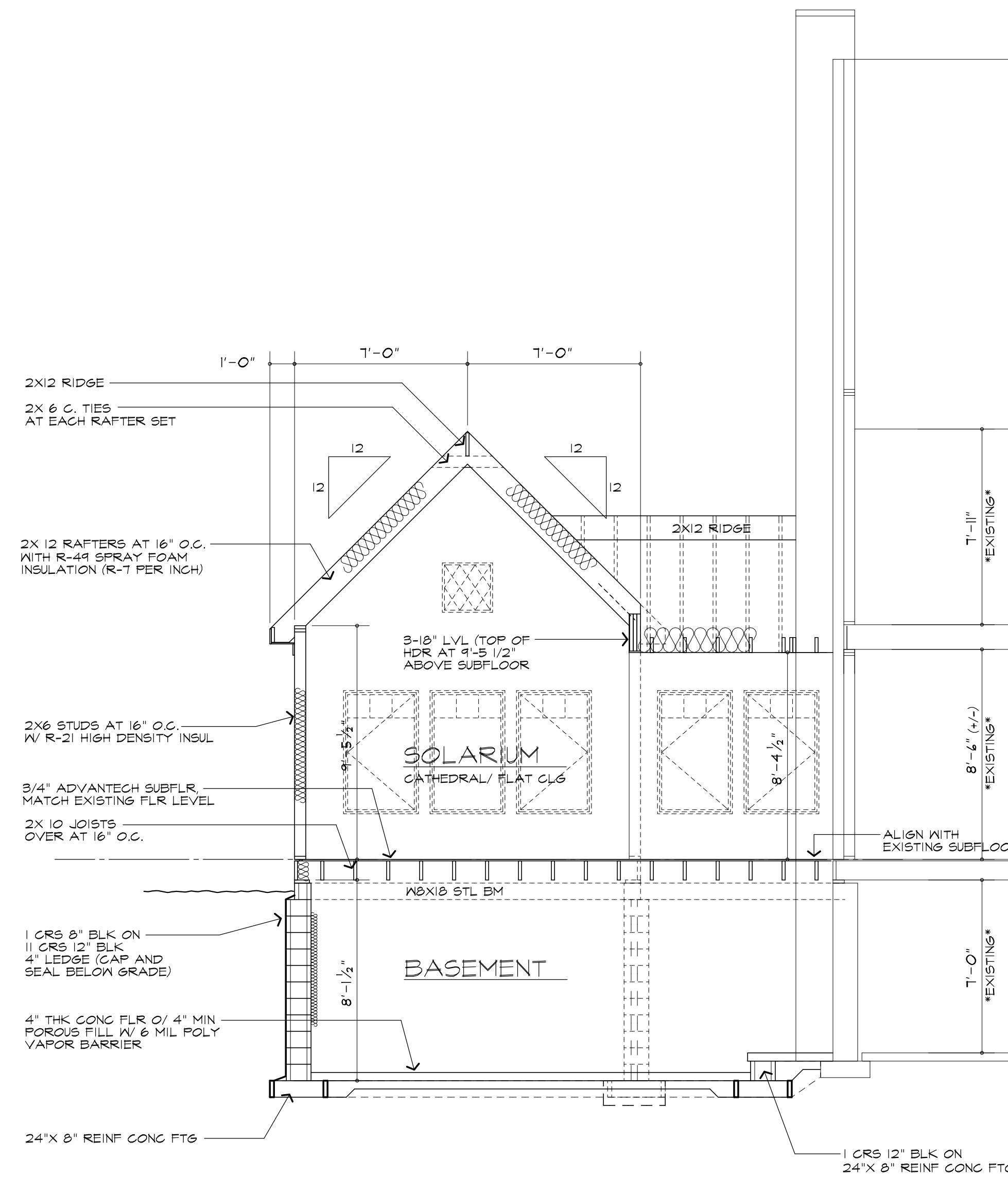
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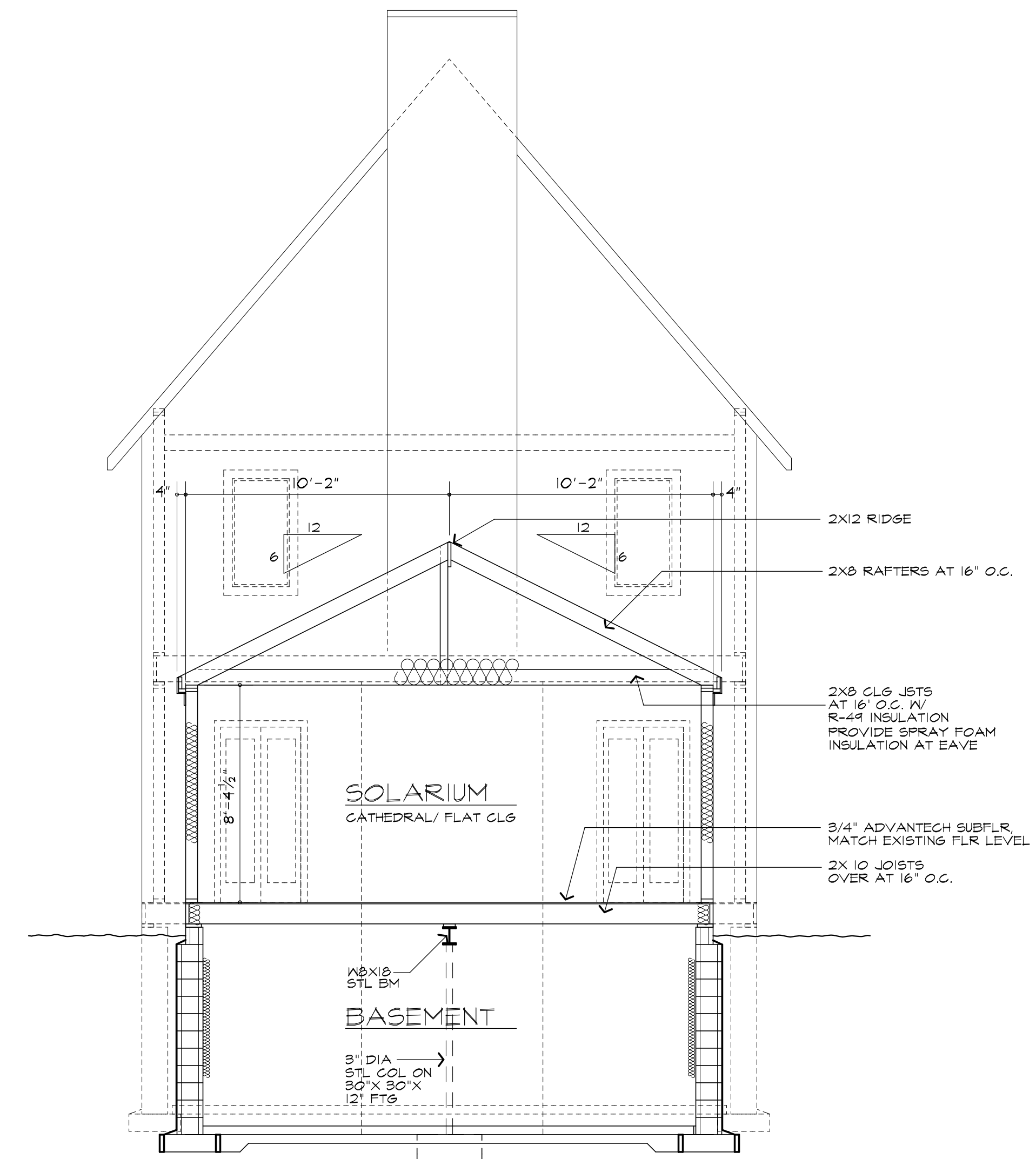
SHEET:

10

OF 11 SHEETS



B
 10 BUILDING SECTION



A
 10 BUILDING SECTION

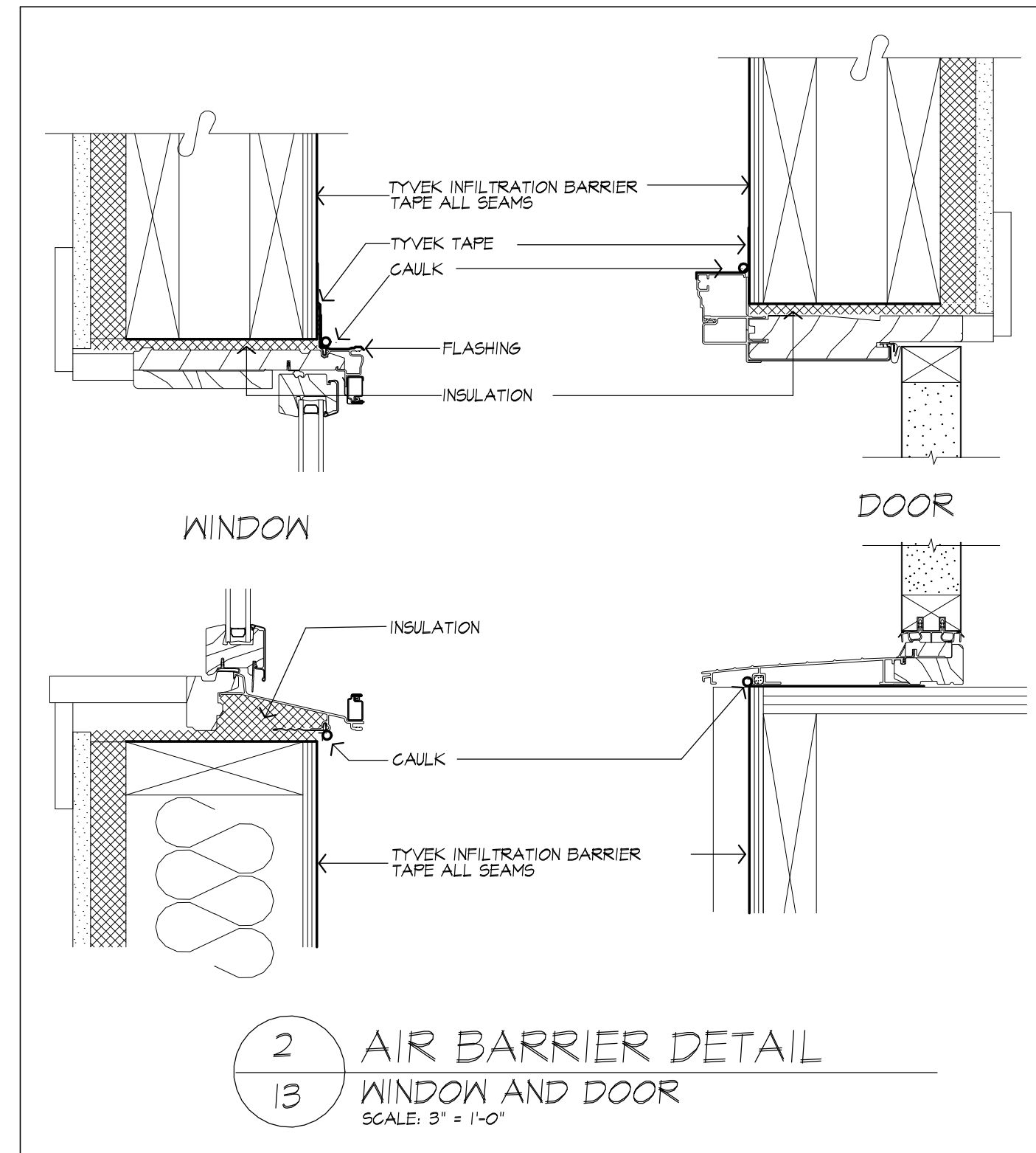
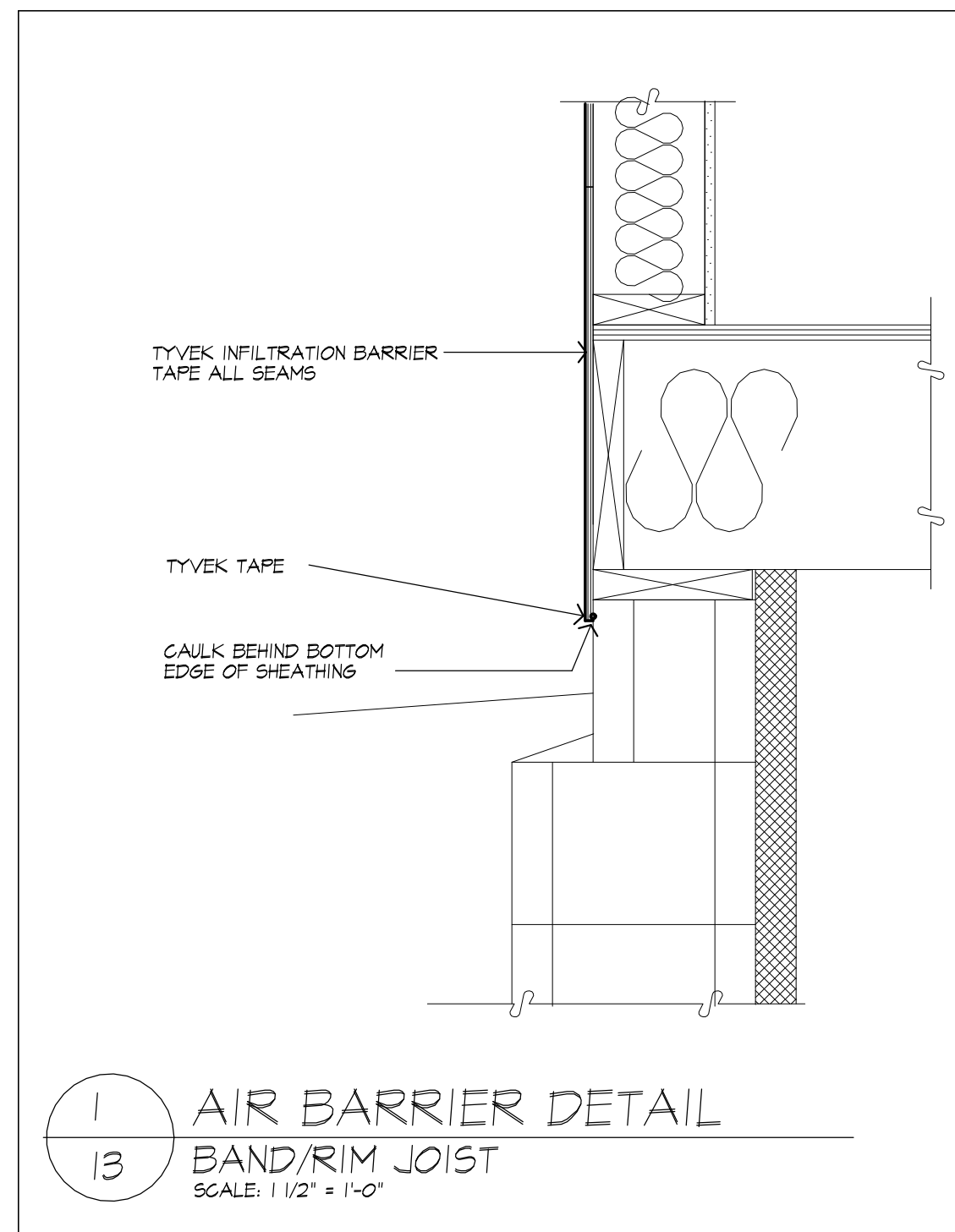


TABLE 1102.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
GENERAL	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER ARE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ADHERED WITH INSULATION AND ANY GAPS ARE SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED (R-3 PER INCH MIN). JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED.
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMBS AND FRAMING IS SEALED.
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER.
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
CRACK-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION.
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO DRYWALL, EXCEPTION FIXTURES IN CONDITIONED SPACE.
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES. BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING.
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.

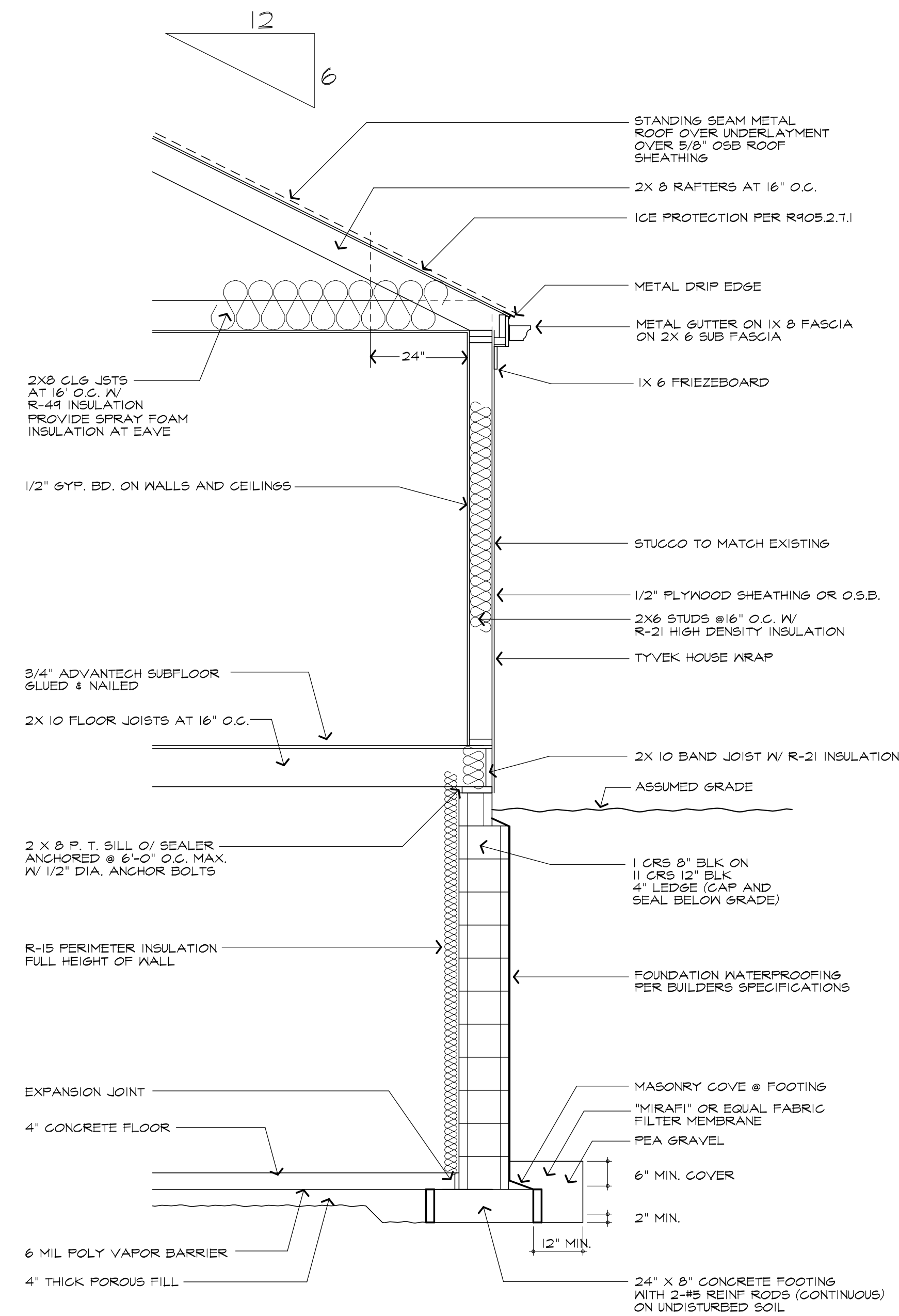
TYPICAL NOTES

- 1) DOOR MANUFACTURER: ANDERSEN OR EQUAL.
- 2) WINDOW AND DOOR AIR INFILTRATION ANDERSEN WINDOWS; OR EQUAL DOUBLE HINGE 0.30 CFM CASEMENT; AWING, FIXED 0.05 CFM DOORS: 0.30 CFM OR LESS SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM
- 3) GAS FIREPLACES: N/A
- 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- 5) CLASS II VAPOR RETARDER ON INTERIOR OF CEILING AND FRAMED WALLS. CLOSED CELL SPRAY FOAM
- 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 100°F OR BELOW 35°F SHALL BE INSULATED TO A MINIMUM OF R-3.
- 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2020 ENERGY CONSERVATION CODE.
- 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS.

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

RB13.1.1 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

RB13.4.2 REQUIRED LOCATIONS CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA. WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"

*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R905.2.1.1 (2020 RCOPY)



PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. LICENSED IN CO., MA., NE., NY., PA., SC.

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

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REVISED 5/29/21 P.J.M.A.

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

PROJECT:
ADDITION AND RENOVATION DR. AND MRS. LOUIS EICHEL
23 SAN RAFAEL DR
TOWN OF PITTSFORD NY

CLIENT:
HAMILTON STERN
BUILDER

DRAWING:
WALL SECTIONS & DETAILS

DRAWN: P.J.M. / M.G.M. CHECKED: P.J.M.

DATE: JANUARY 2021

SCALE: 1/4" = 1'-0"

JOB NO.: 20MB941

SHEET:

11

OF 11 SHEETS







24





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000123

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Split Rock Road PITTSFORD, NY 14534

Tax ID Number: 164.13-1-36

Zoning District: RN Residential Neighborhood

Owner: Dorsey, David E

Applicant: Rick's Renovations

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

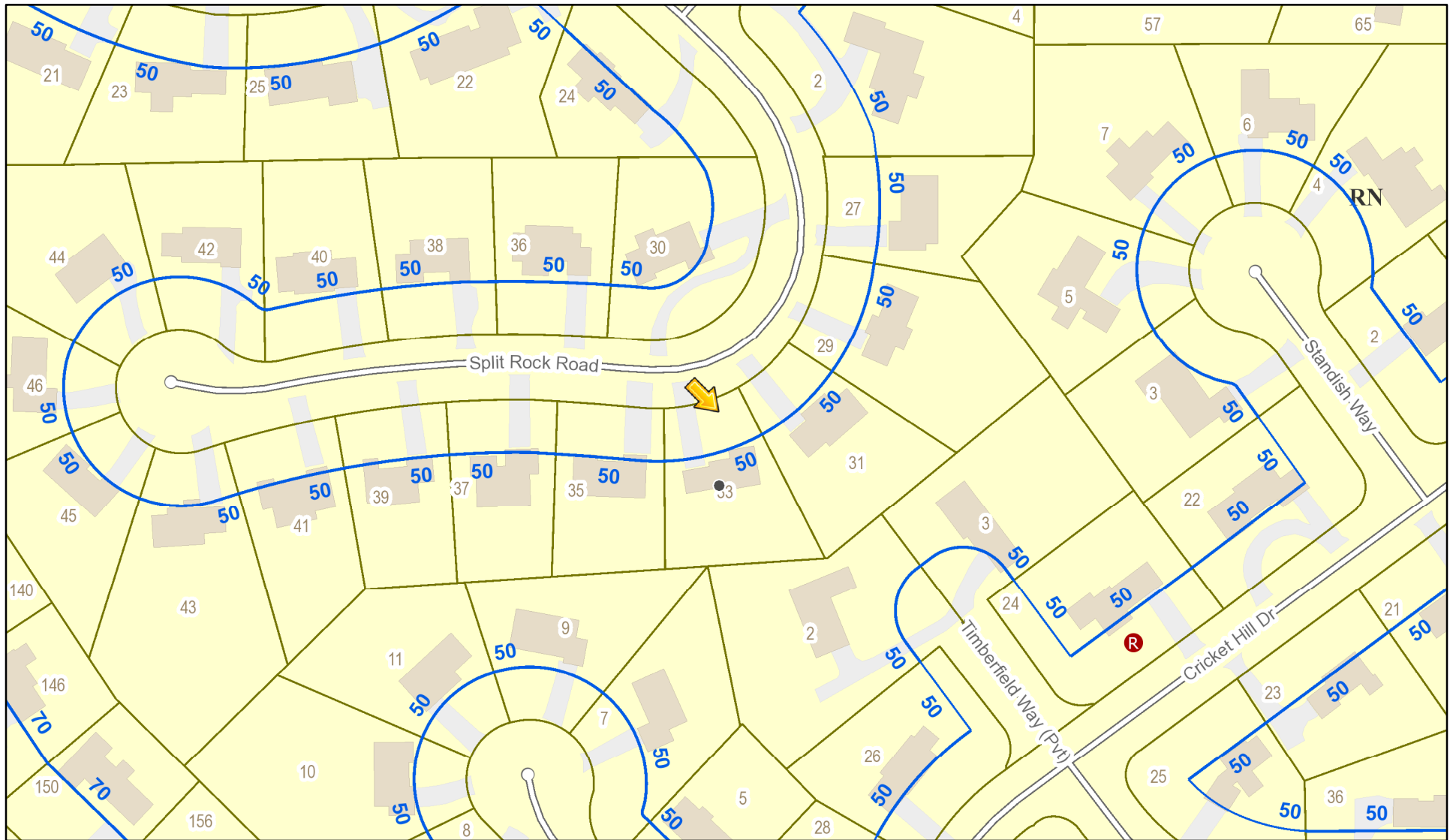
Project Description: Applicant is requesting design review for the second story addition. The approximately 550 square foot addition will be located above the existing garage and will be utilized as a studio.

Meeting Date: June 24, 2021

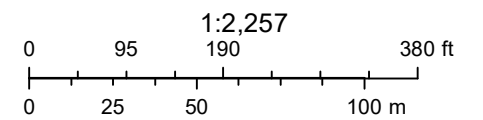


33

RN Residential Neighborhood Zoning

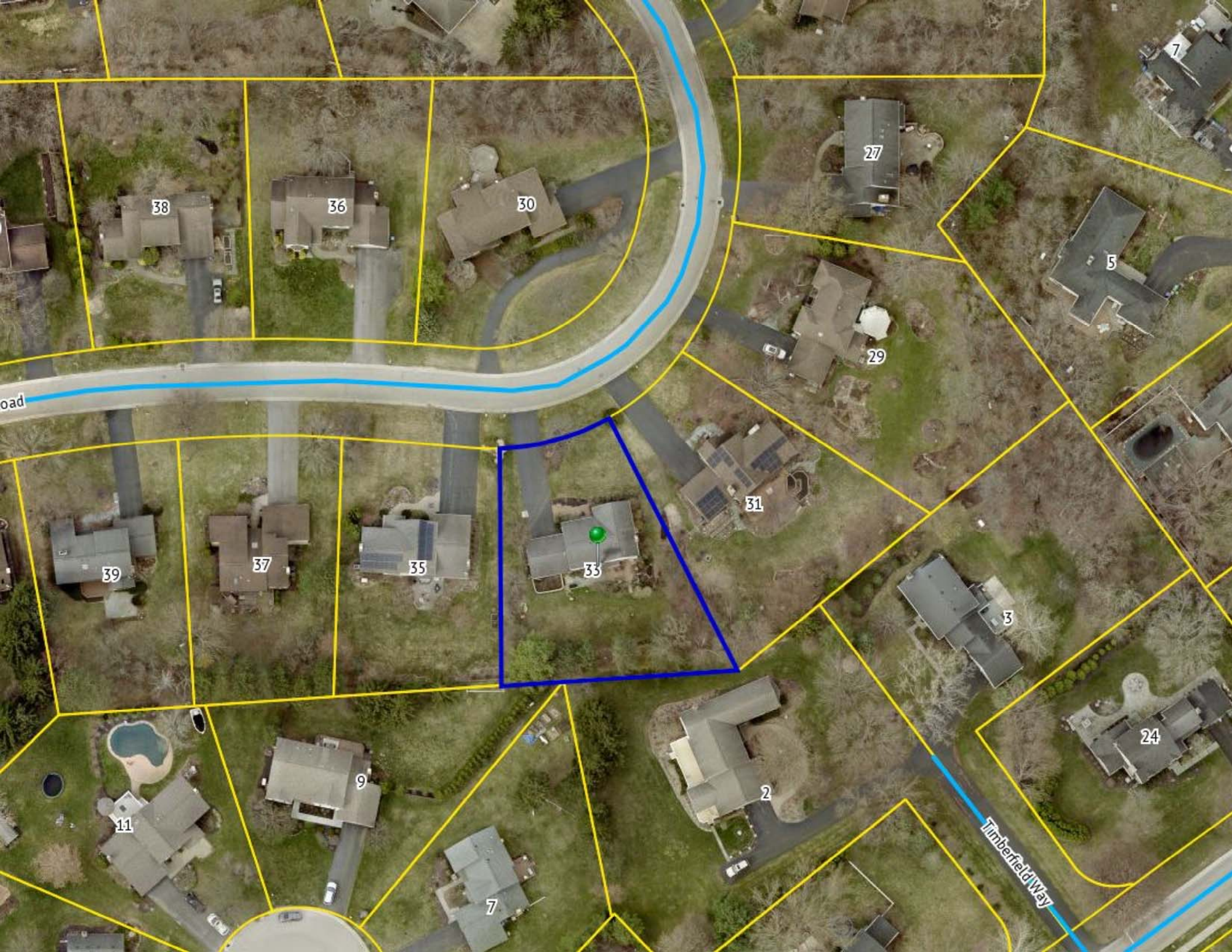


Printed June 17, 2021



Town of Pittsford GIS

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oad

Timberfield Way

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Instrument
STANDARD LOCATION MAP

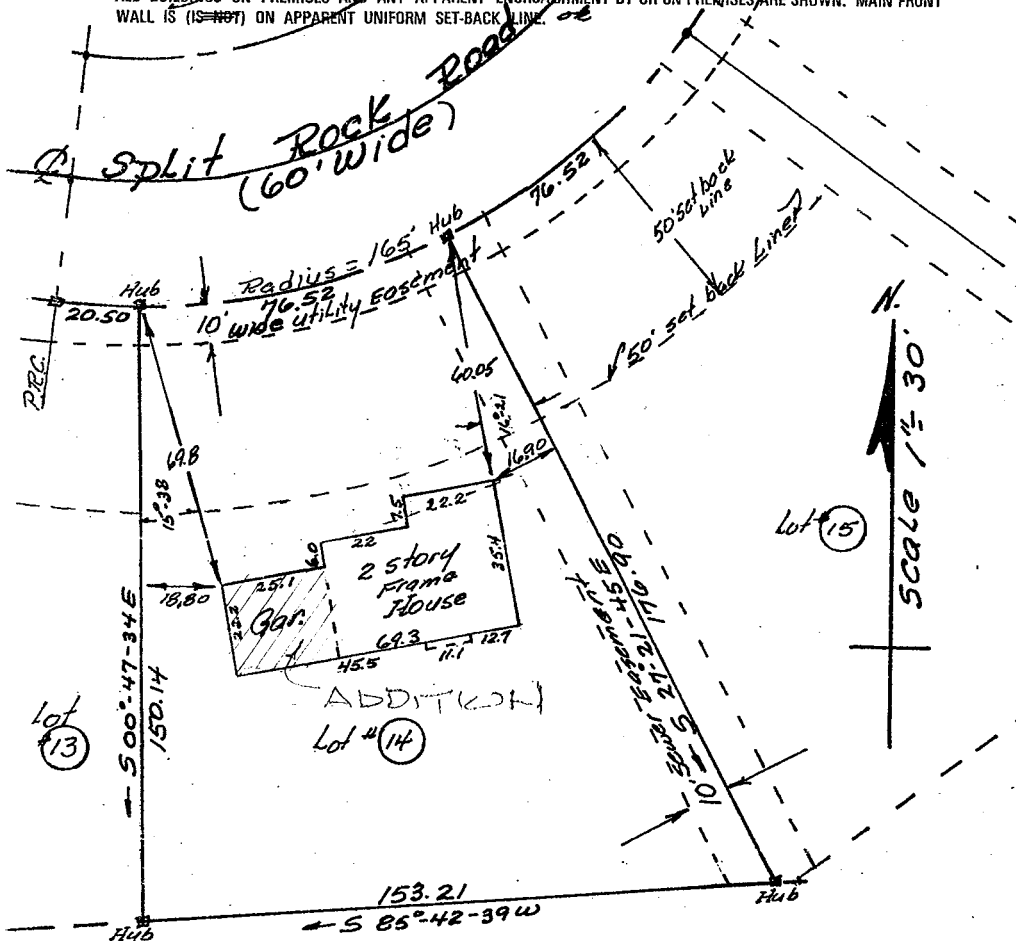
NAME Gabrielli Brothers Corp.
 STREET Split Rock Road TOWN Pittsford, N. Y.
 LOT NO. 14 SUBDIVISION Timberfield Estates (sect 4)
 REFERENCE DATA, LIBER 223 OF MAPS, PAGE 53; LIBER _____ OF DEEDS, PAGE _____

SHOWING 2 STORY DWELLING: GARAGE ~~(N.B.)~~ ATTACHED.

DISTANCE AS SHOWN FROM Front and both sides PROPERTY LINE ACTUALLY MEASURED. ok

MONUMENTS USED: YES no *(No Encroachments noted)*

ALL BUILDINGS ON PREMISES AND ANY APPARENT ENCROACHMENT BY OR ON PREMISES ARE SHOWN. MAIN FRONT WALL IS ~~(IS NOT)~~ ON APPARENT UNIFORM SET-BACK LINE. ok



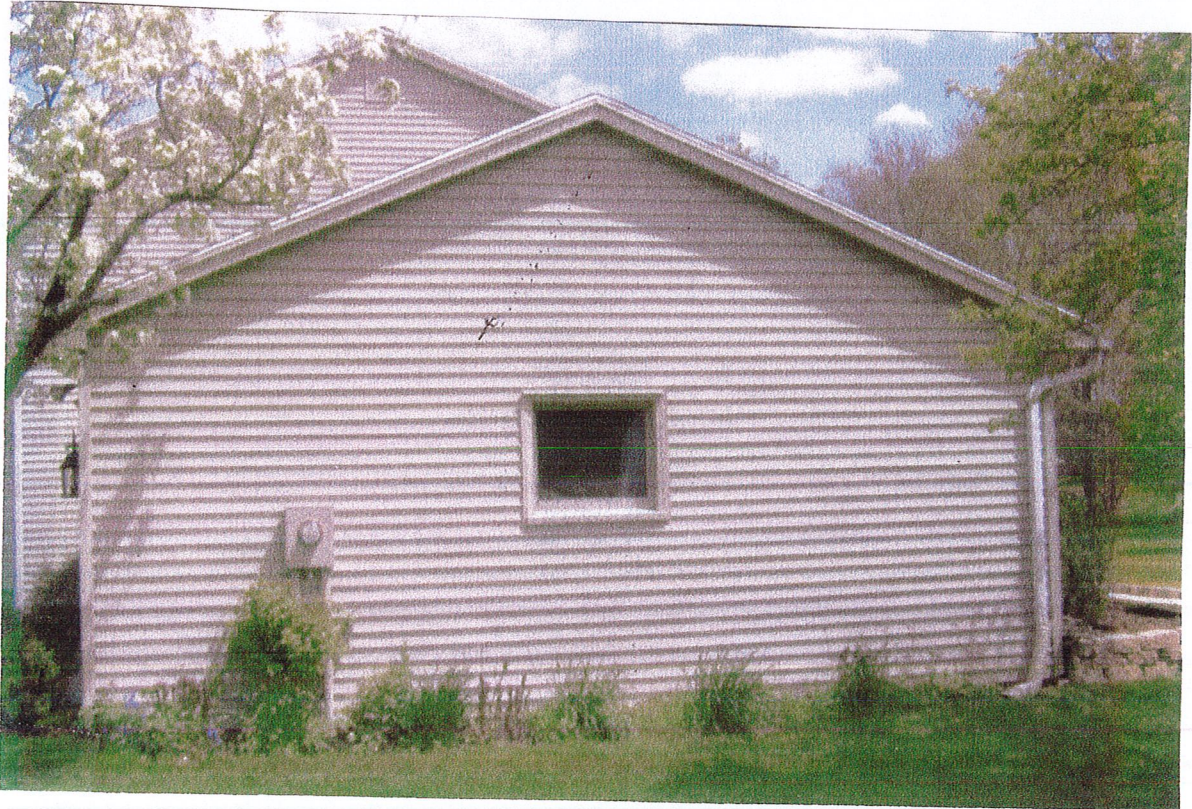
I, Bruce Facer, Certify that this map was made July 31, 1984 from notes of an instrument survey made by me on July 30, 1984.
 Map Certified to:
 (1) Gabrielli Brothers Corp.

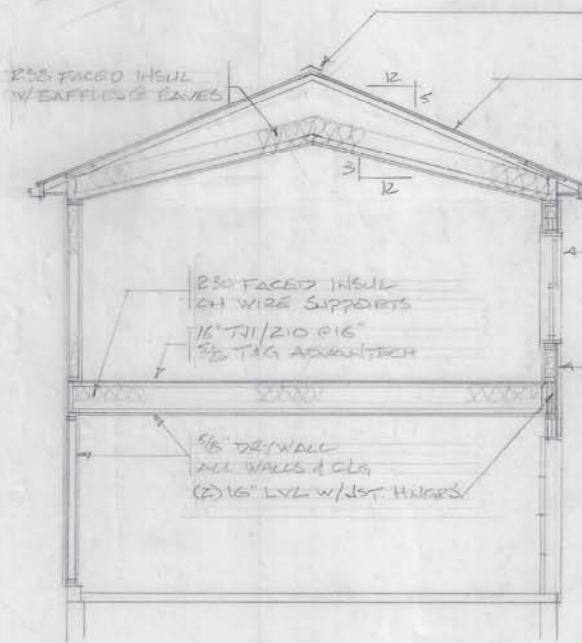
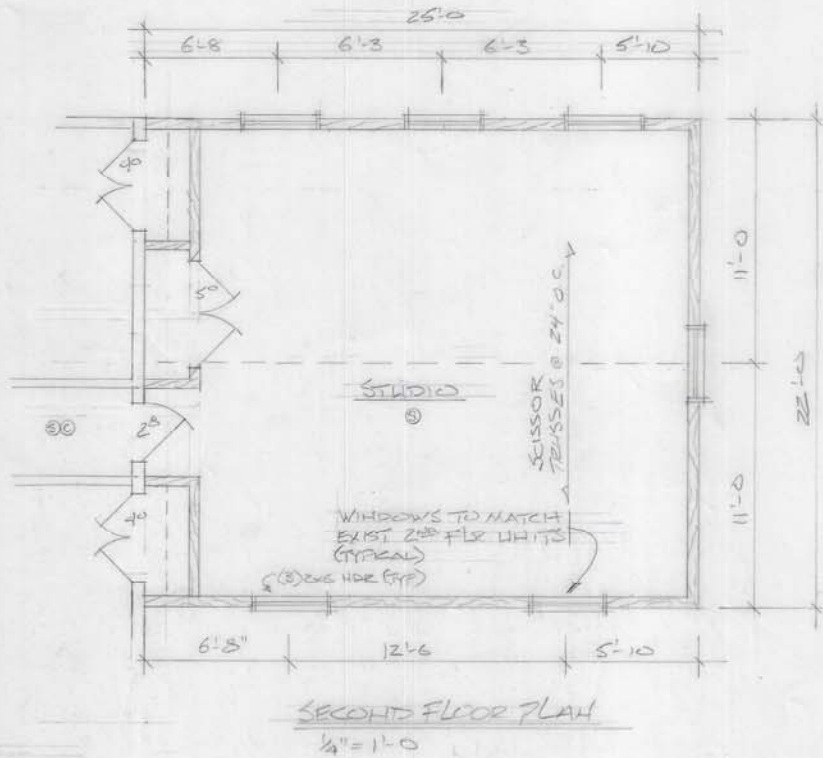
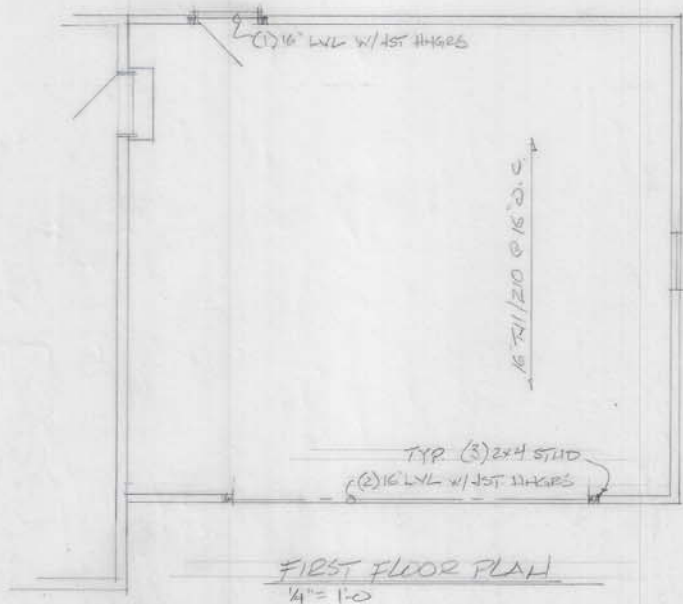
Scale 1" = 30
 Remarks: This information is for _____

Dated: July 31, 1984.

SIGNED: Bruce Facer LS-28722
 Land Surveyor, License No. _____
15 Glen Circle - Pittsfield, N.Y.







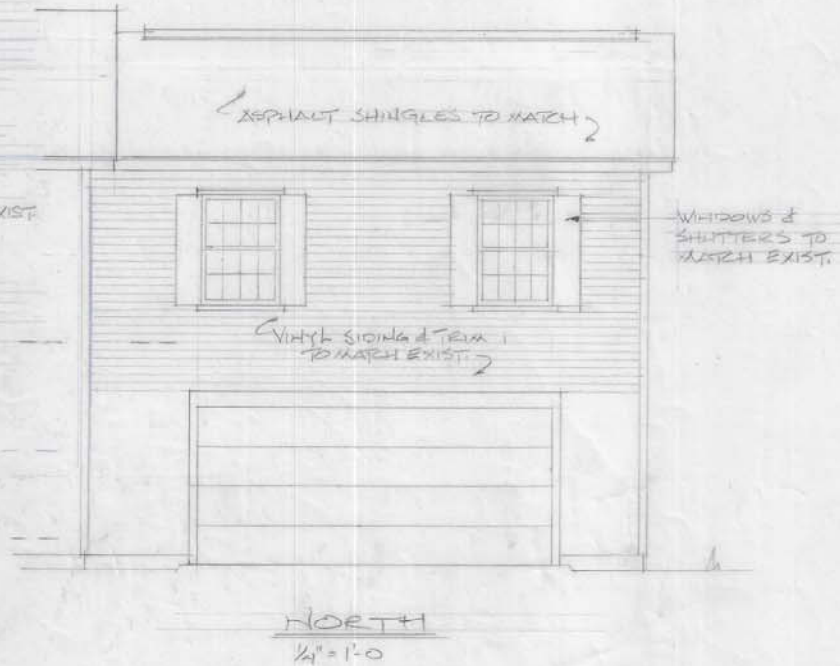
RIDGE VENT

ASPHALT SHINGLES
55" ICE SHIELD
SYNTHETIC UNDERLAY
1/16" OSB
14" HEBL TRUSSES @ 24"

2x6 GUTTER
FACIA + VENTED SOFFIT
TO MATCH EXIST

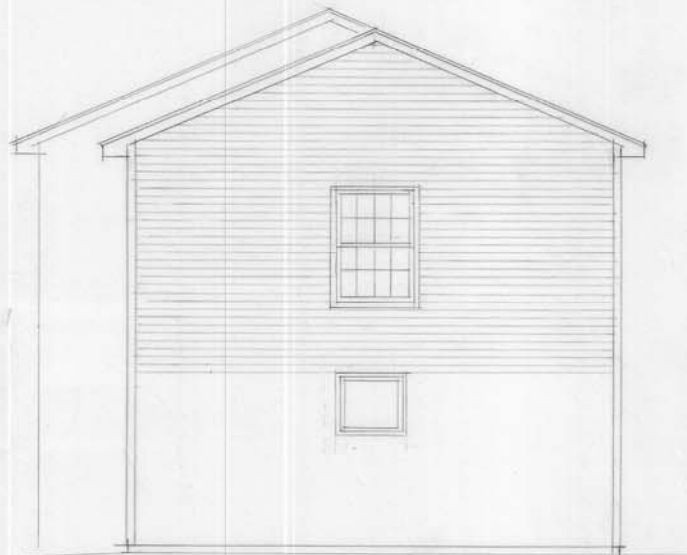
WINDOWS TO MATCH EXIST

5x6 TO MATCH EXIST
HOUSE WRAP
1/16" OSB
2x6 STUDS @ 16"
R21 FACED INSUL



WINDOWS & SHUTTERS TO MATCH EXIST

VINYL SIDING & TRIM TO MATCH EXIST



WEST
1/4"=1'-0"

DORSEY ADDITION
53 SPLIT ROCK ROAD
PITTSFORD, NY

MARK P. MULLER
ARCHITECT

3509 Taft Road
Bloomfield, NY 14469
Tel 657-8905

ENERGY CODE COMPLIANCE

Energy Conservation Code of New York State
Prescriptive Method - Zone 5

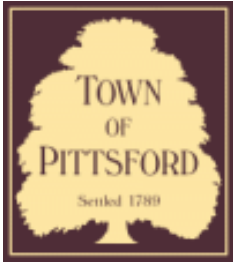
Item	Required	Actual
Fenestration	U = 0.30	Windows U = 0.29
Ceiling	R = 38	R = 38
Walls	R = 20	R = 21
Floor	R = 30	R = 30

505.21









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000128

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 9 Black Wood Circle PITTSFORD, NY 14534

Tax ID Number: 178.03-5-39

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Wilshire Hill LLC

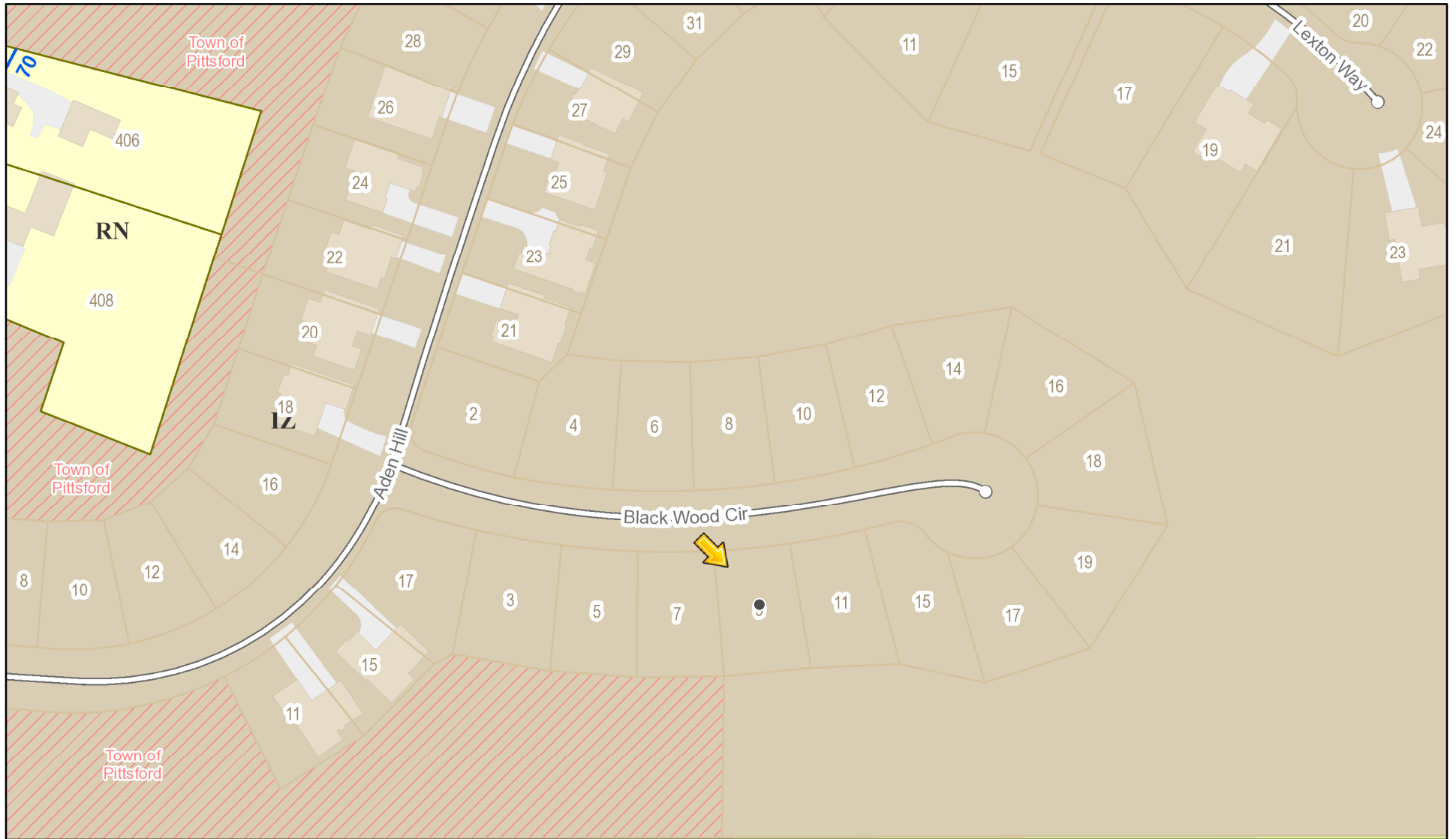
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

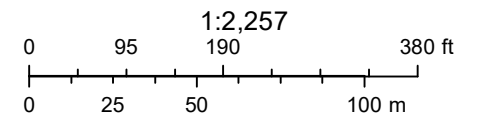
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2013 square feet and will be located in the Wilshire Hills Subdivision.

Meeting Date: June 24, 2021

RN Residential Neighborhood Zoning



Printed June 17, 2021



Town of Pittsford GIS

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Aden Hill

Lexton Way

Lexton Way

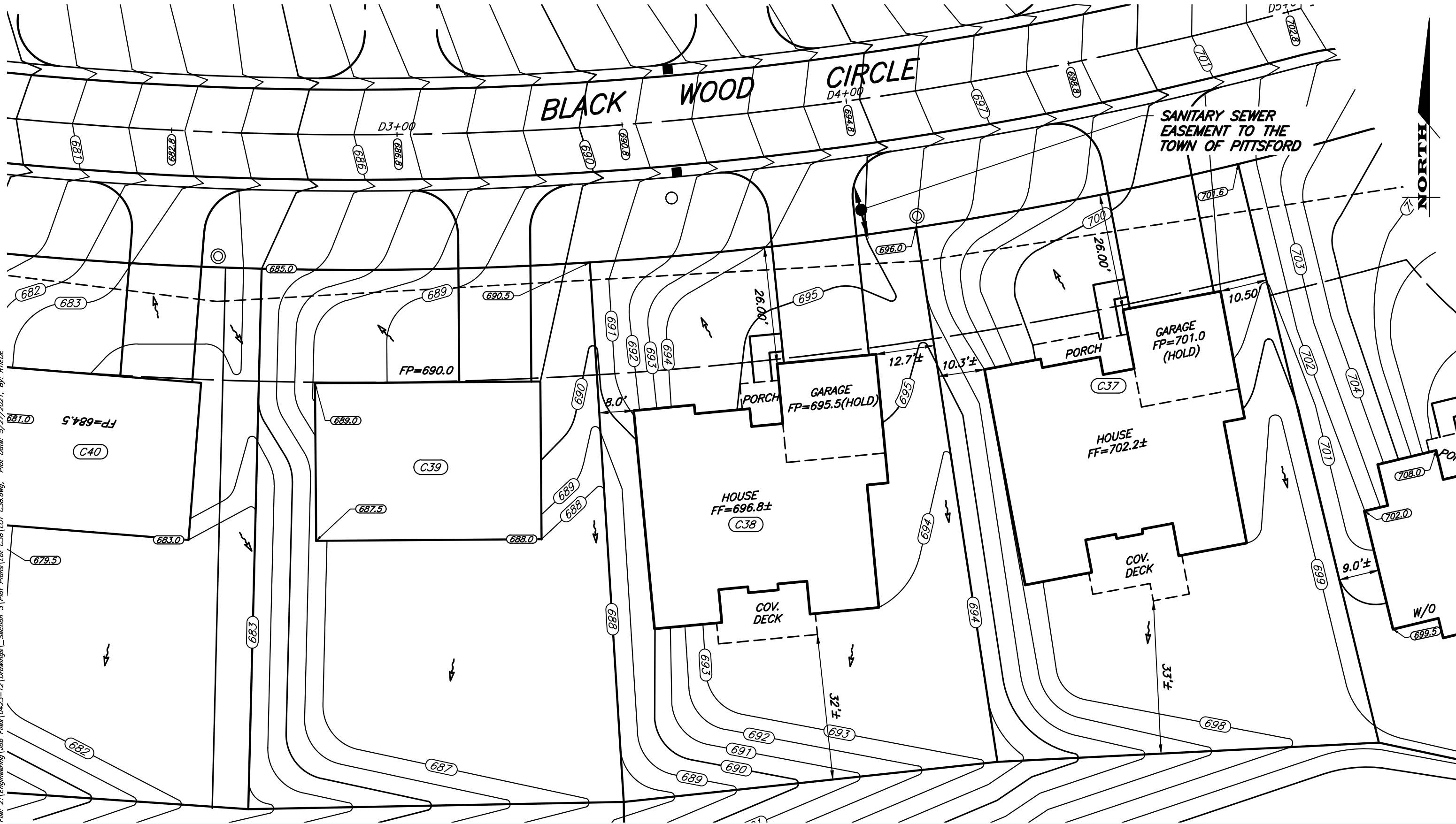
Escena Rise

Lexton Way

Lexton Way

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File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C38\LOT C38.dwg, Plot Date: 5/27/2021, By: RTIEDE

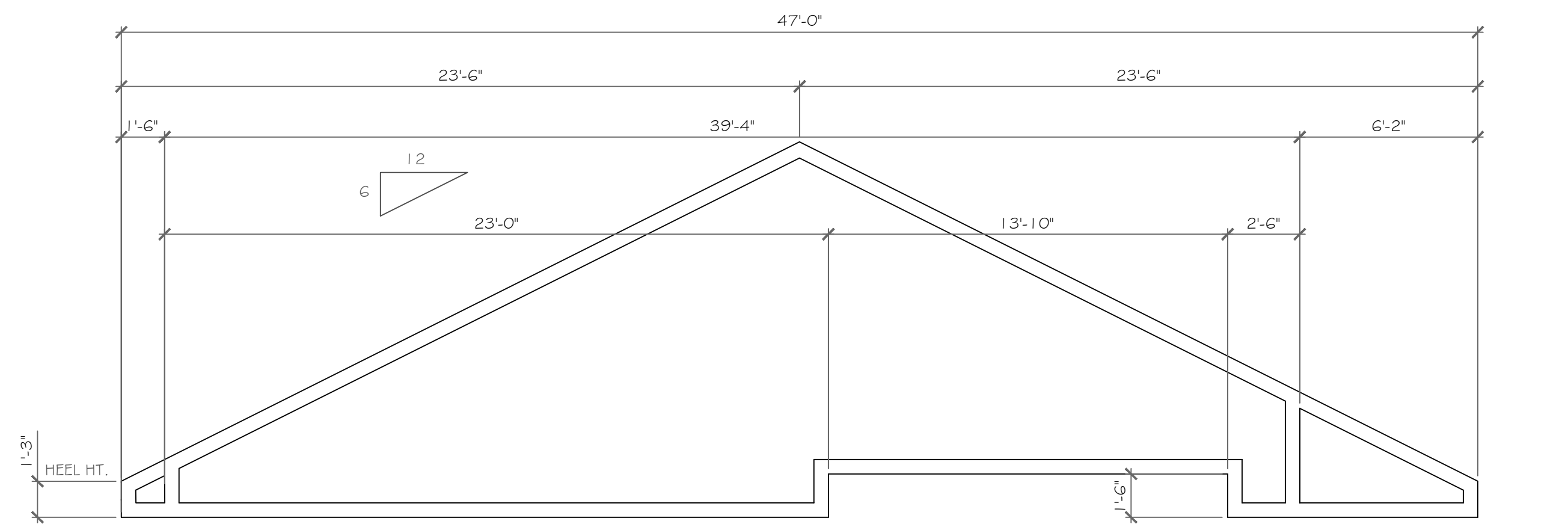


TITLE: **PLOT PLAN - LOT C38**
WILSHIRE HILL - SECTION 3

	SETBACK	REQUIRED	PROVIDED
FRONT		25'	26.0'
SIDE		7.5'	8.0'
REAR		10'	32' ±

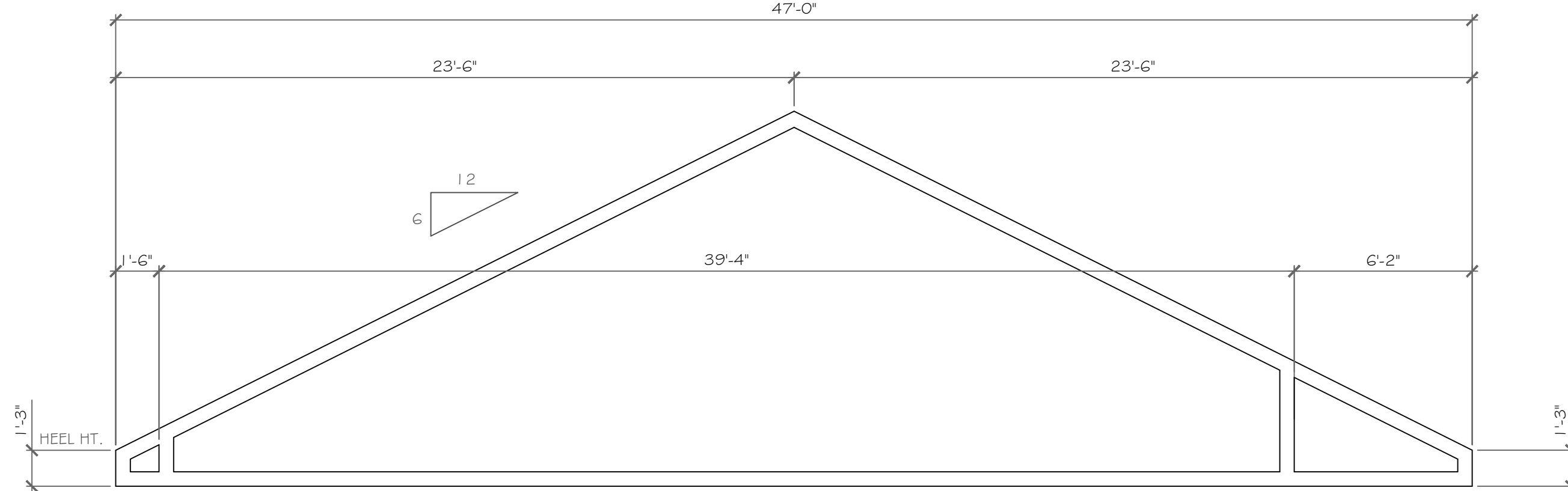
JOB NO: 0423-17
 SCALE: 1" = 20'
 DRAWN: RJT
 DESIGNED: RJT
 DATE: 5/27/21





SNUB STEPPED TRUSS TYPE '5A'

1/4" = 1'-0"



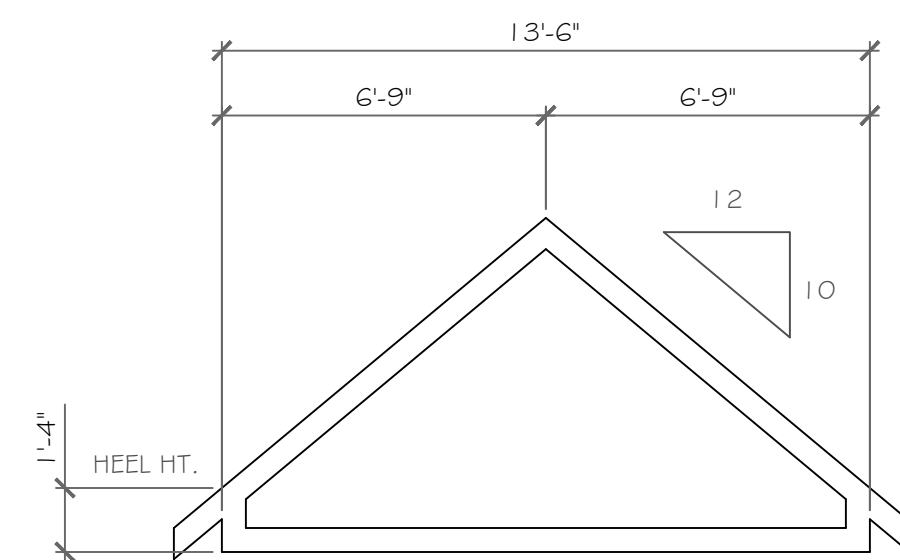
SNUB TRUSS TYPE '4'

1/4" = 1'-0"



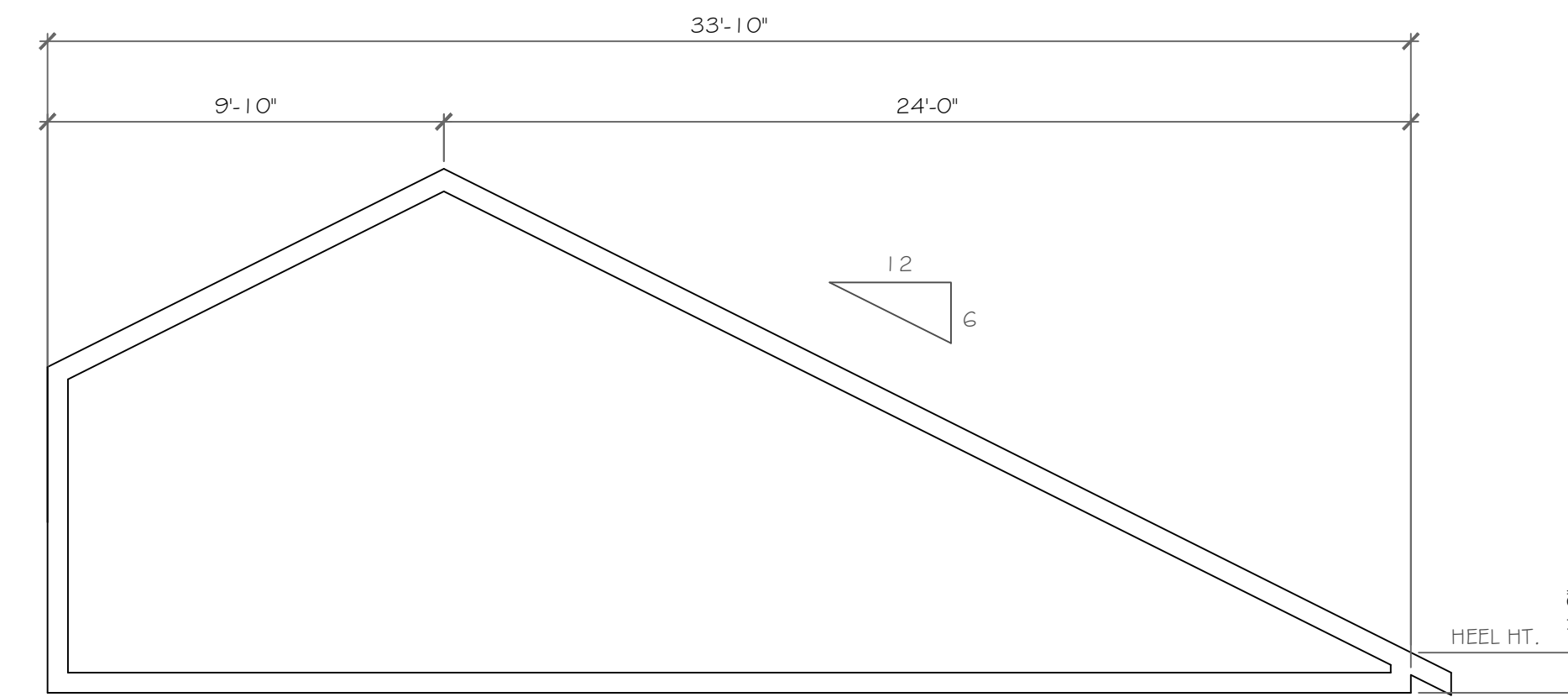
REAR ELEVATION

SCALE: 1/4" = 1'-0"



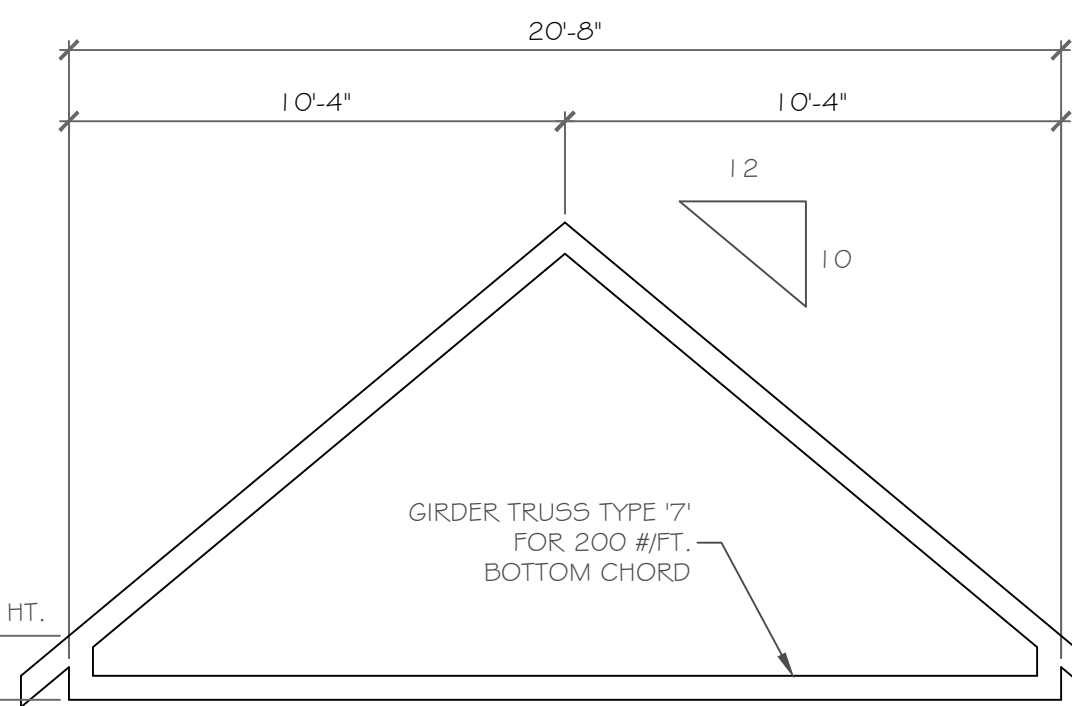
TRUSS TYPE '2'

1/4" = 1'-0"



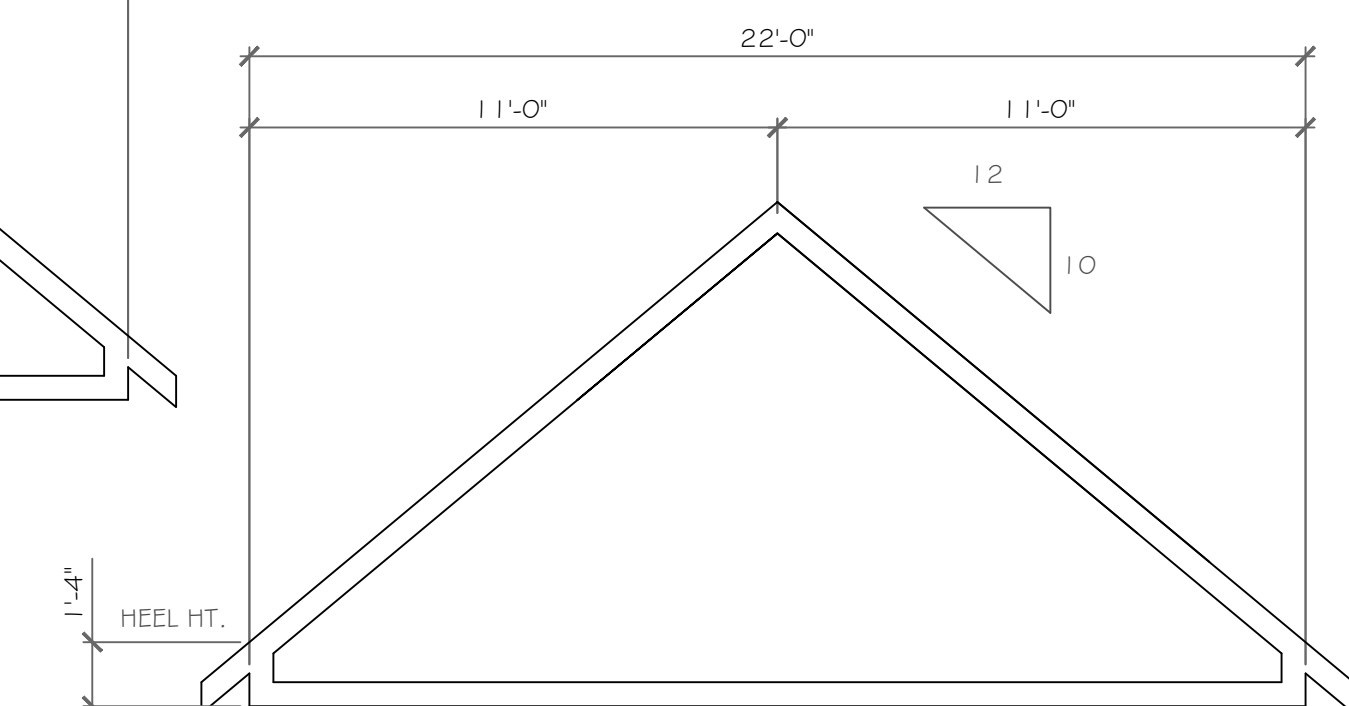
SNUB TRUSS TYPE '6'

1/4" = 1'-0"



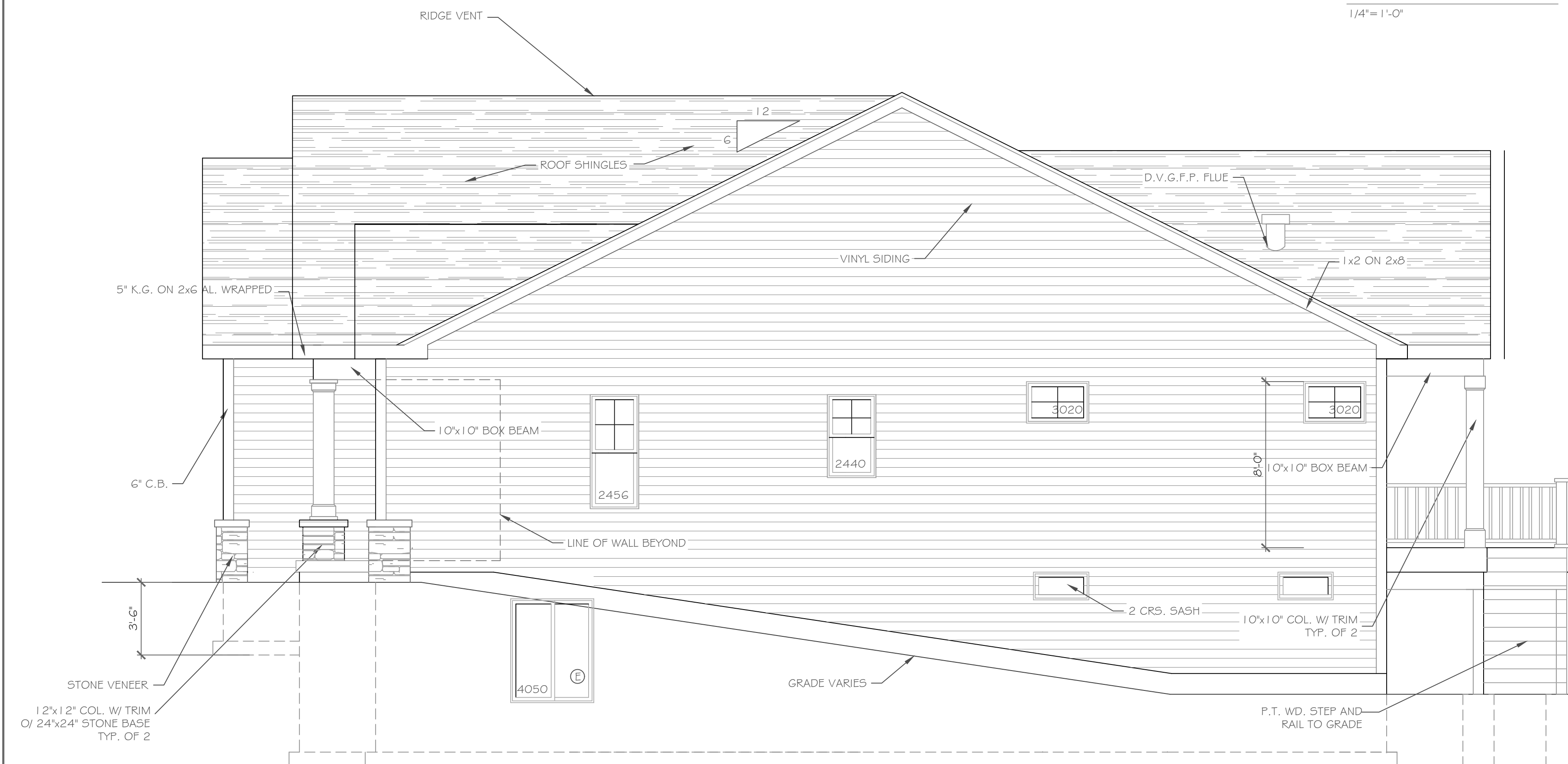
TRUSS TYPE '7'

1/4" = 1'-0"



TRUSS TYPE '11'

1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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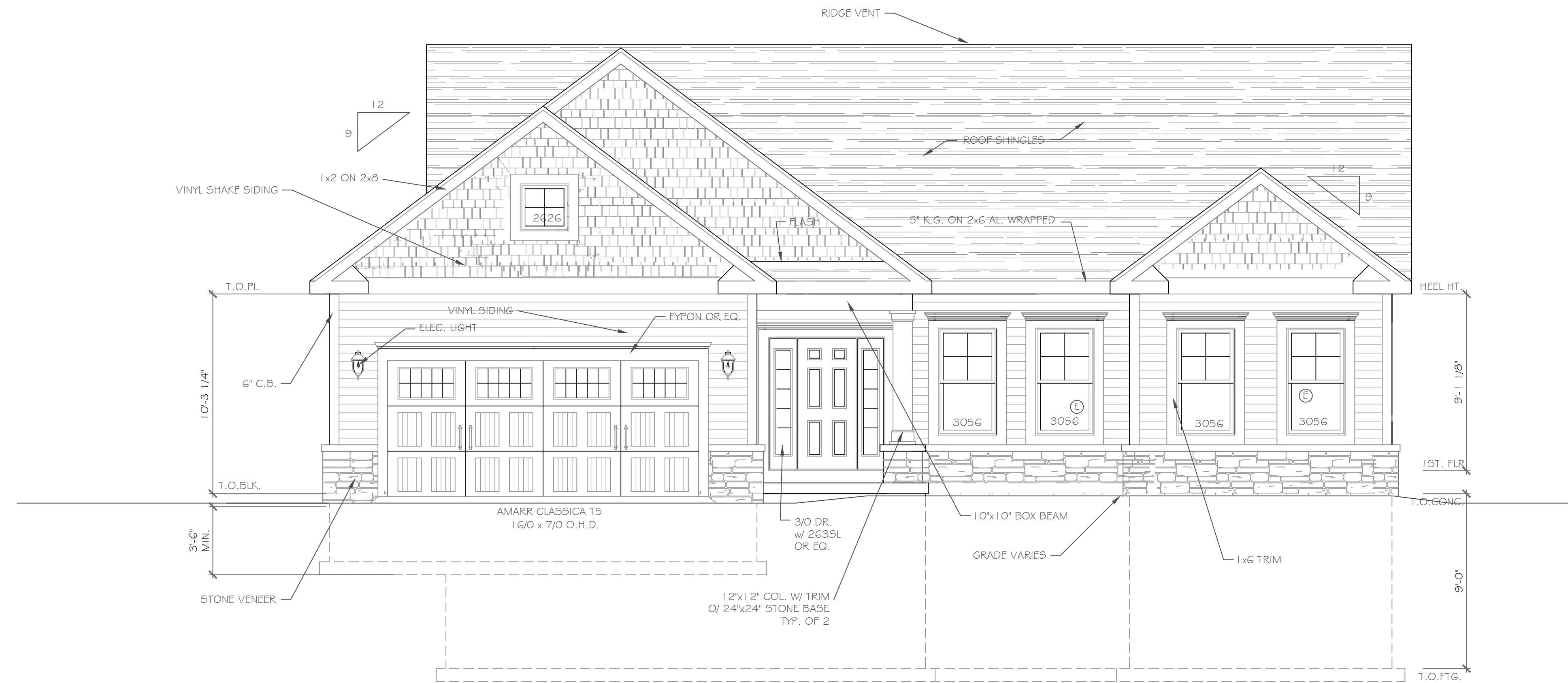
REVISIONS-	NO.	DATE	DESCRIPTION
	1	3/20/16	PERMIT DOCS GREAT ROOM

PROJECT:	Lot 38C, Wishire Hill Pittsford, New York
CLIENT:	Pride Mark Homes, Inc.
JOB NO.:	A21-034
DATE:	June 2021
PHASE:	Construction Documents

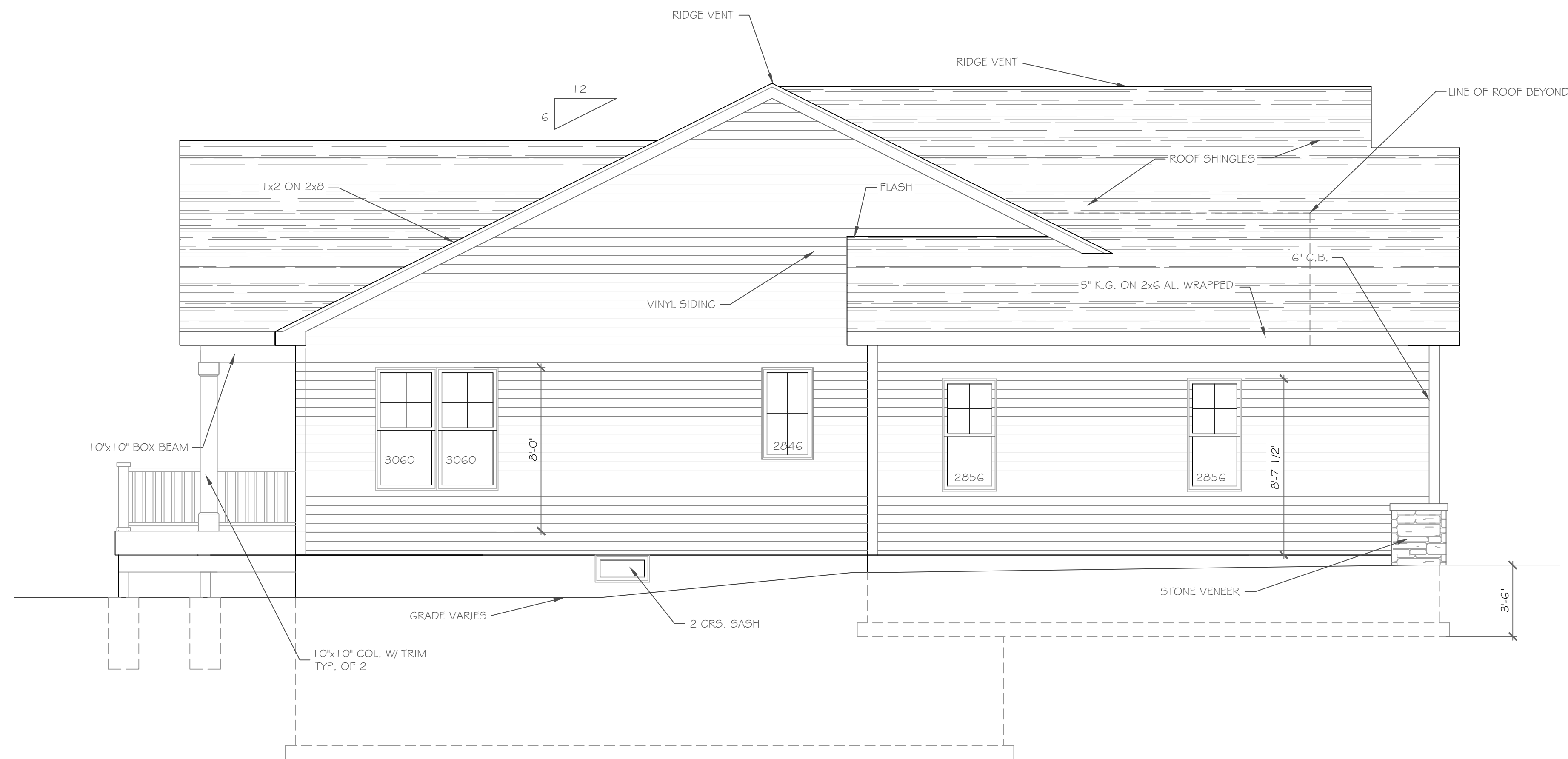
DRAWING TITLE:	Elevations
----------------	------------

CKH
architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14534
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-5



FRONT ELEVATION 2013 S.F.



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevation & First Floor Plan	PHASE: Construction Documents

PROJECT: Lot 38C, Wishire Hill Pittsford, New York	DATE: June 2021
CLIENT: Pride Mark Homes, Inc.	
JOB NO. - A21-034	

CKH
 architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14534
 phone-(585) 249-1334
 fax-(585) 249-1333
 e-mail-CKHennessey@pridemark.net

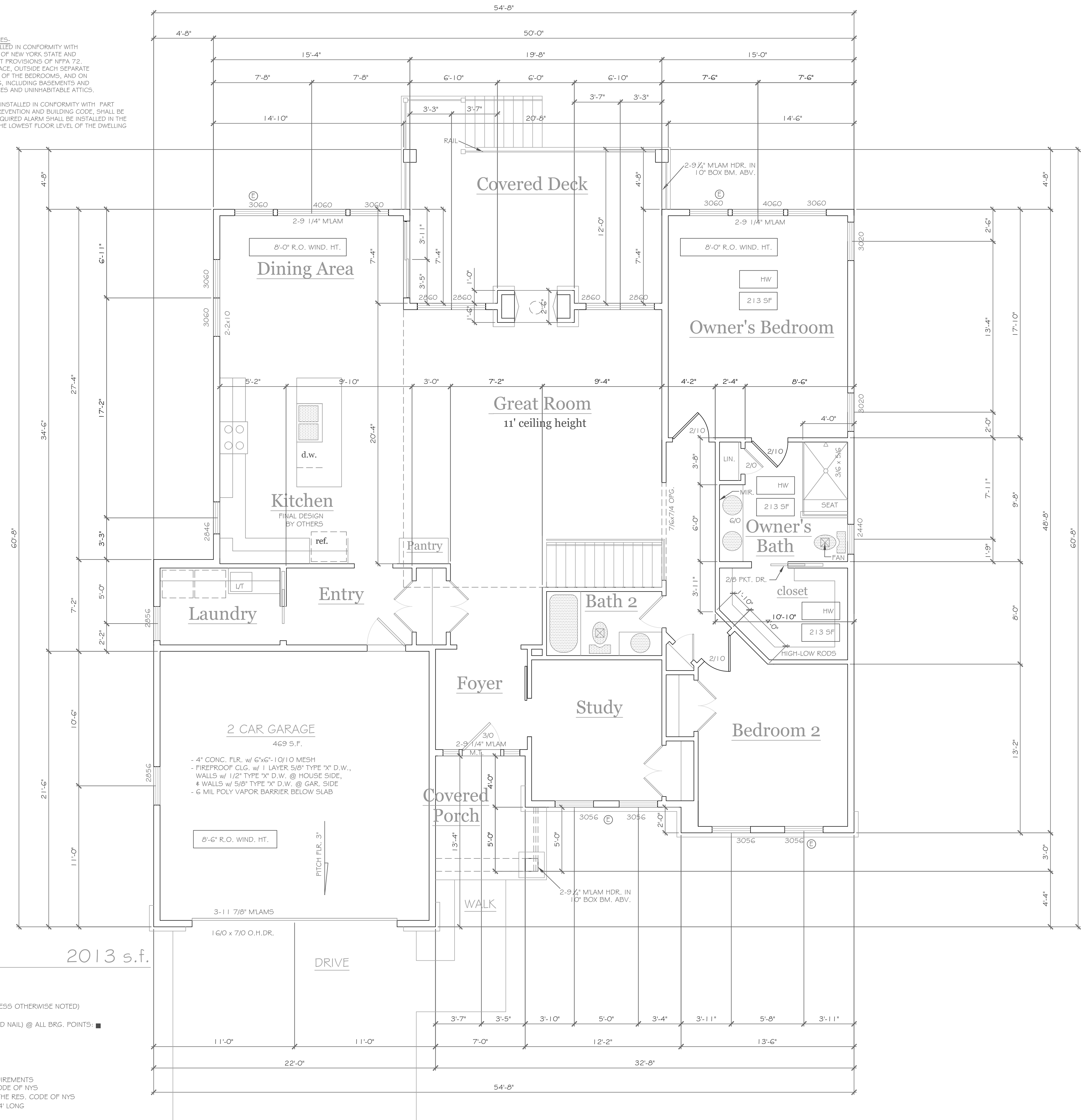
DRAWING NO. - A-1

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).

FIRST FLOOR PLAN 2013 s.f.

1/4" = 1'-0"
NOTES:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS;
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
CEILING HTS. TO BE 9'-1 1/8" U.O.N.
ANGLES TO BE 1 2/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG



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NO.	DATE	DESCRIPTION
1	3/20/16	FLUSH SHOWER IN BATH FRENCH DOORS IN GREAT ROOM

REVISIONS-	DRAWING TITLE-
	First Floor Plan

PROJECT-	CLIENT-	DATE	PHASE
Lot 38C, Wishire Hill Pittsford, New York	Pride Mark Homes, Inc.	June 2021	Construction Documents

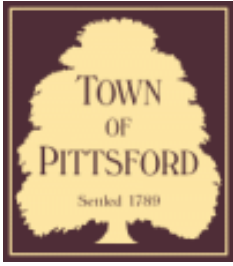
CKH
architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14534
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-3









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000129

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Escena Rise PITTSFORD, NY 14534

Tax ID Number: 178.03-5-21

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Wilshire Hill LLC

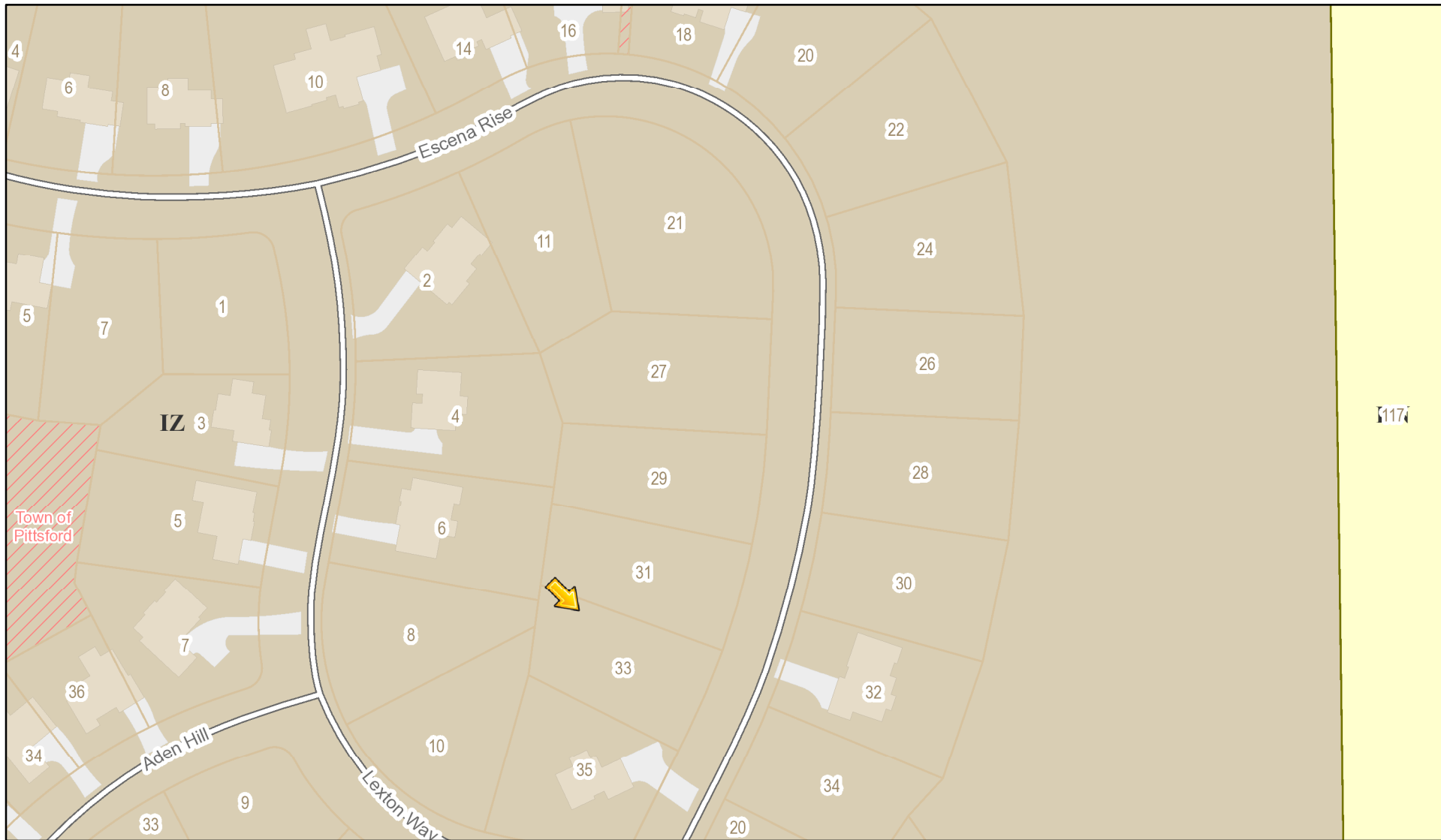
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

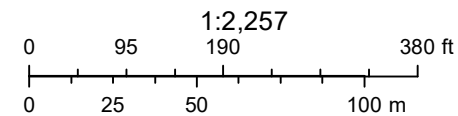
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2327 square feet and located in the Wilshire Hills Subdivision.

Meeting Date: June 24, 2021

RN Residential Neighborhood Zoning



Printed June 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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Hill

Escena Rise

Lexton Way

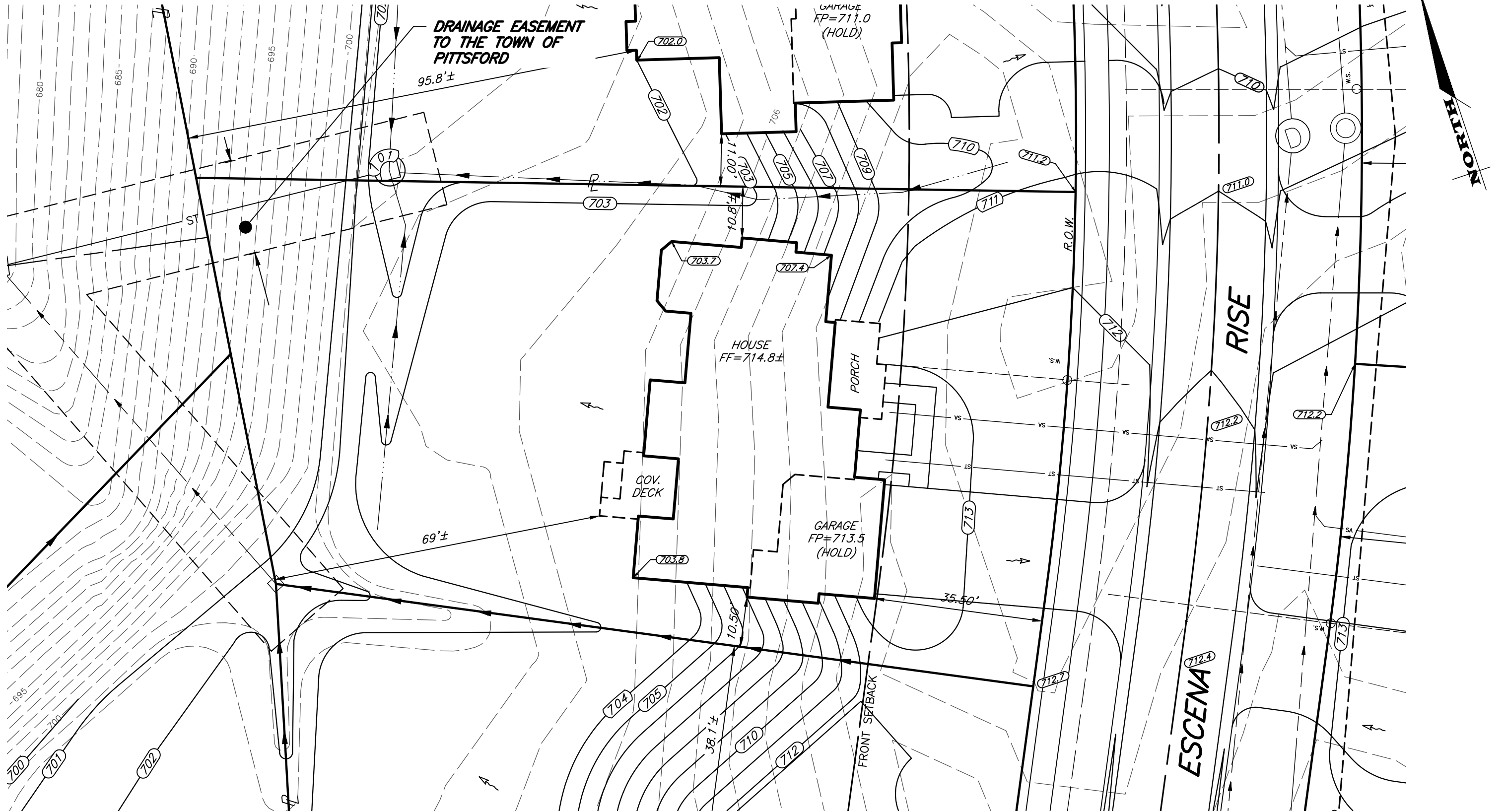
Lexton Way

20

22

9

File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot P40\LOT P-40.dwg, Plot Date: 5/25/2021, By: RTIEDE



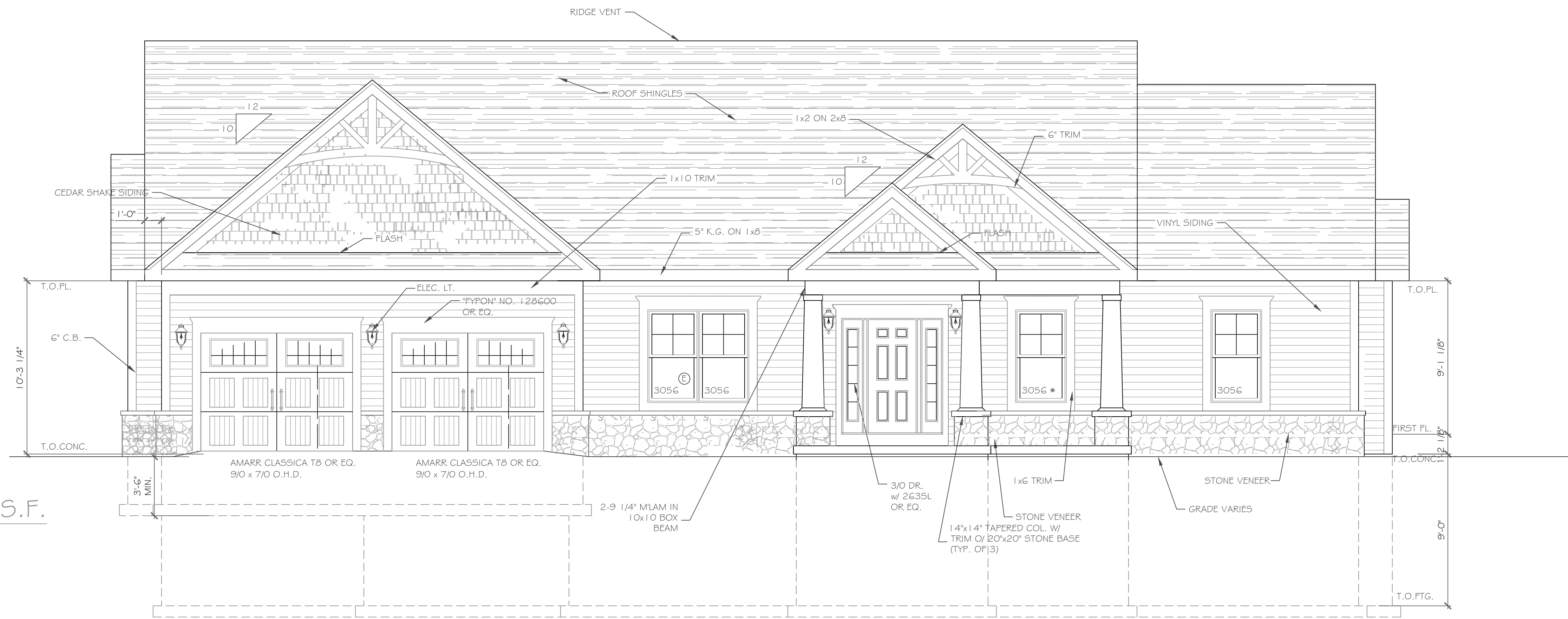
JOB NO: 0423-17
 SCALE: 1" = 20'
 DRAWN: RJT
 DESIGNED: RJT
 DATE: 5/25/2021

SETBACK	REQUIRED	PROVIDED
FRONT	35'	35.50'
SIDE	10'	10.50'
REAR	20'	69' ±

TITLE:

PLOT PLAN - LOT P40

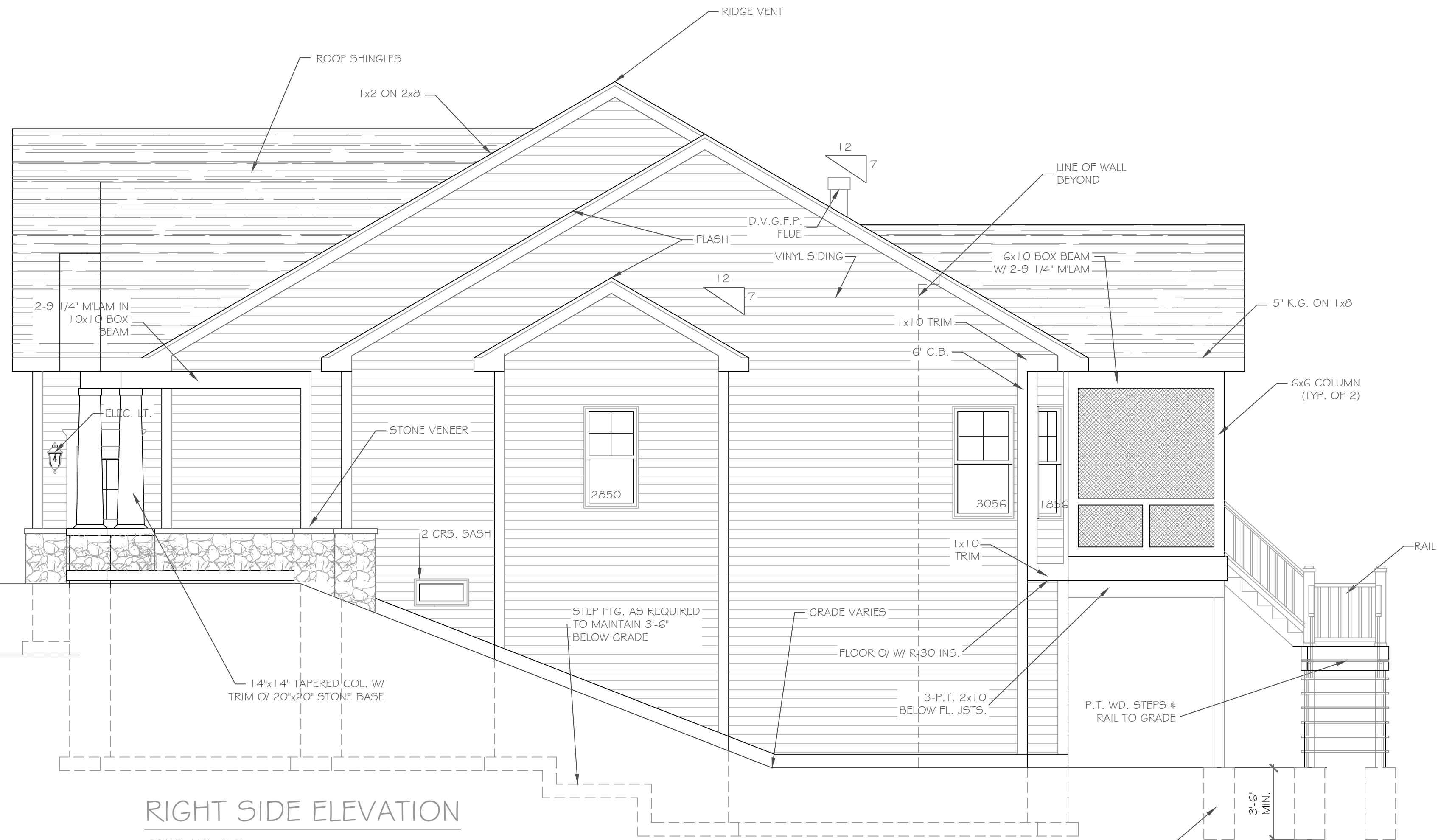
WILSHIRE HILL - SECTION 3A



FRONT ELEVATION 2327 S.F.

1/4"=1'-0"

- NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

6x6 P.T. WD. POST
O/ 12" DIA. CONC. FTG.
W/ SIMPSON LCB66 POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LANDING LOCATIONS)

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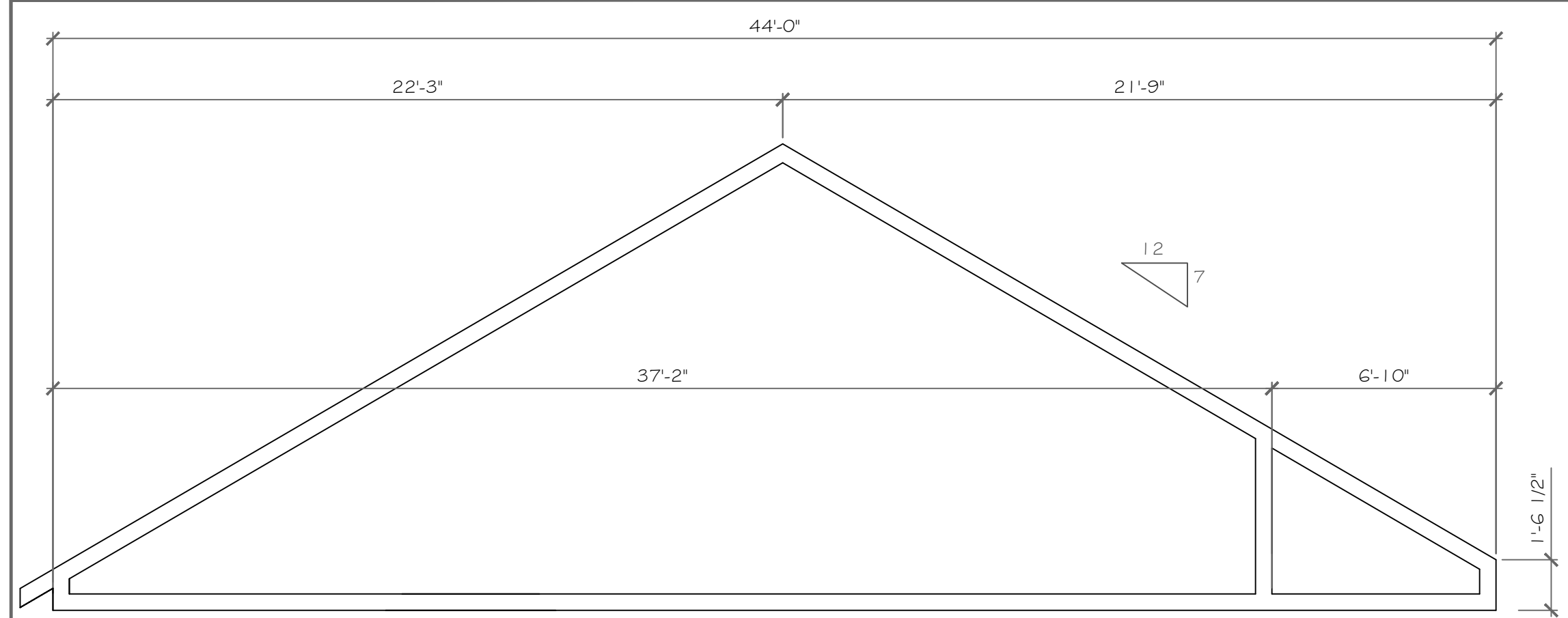
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations	PHASE: Construction Documents
	DATE: May 29, 2021

PROJECT: Lot 40P, Wishire Hill Pittsford, New York	CLIENT: Pride Mark Homes
JOB NO.:	DATE:
A21-02G	May 29, 2021

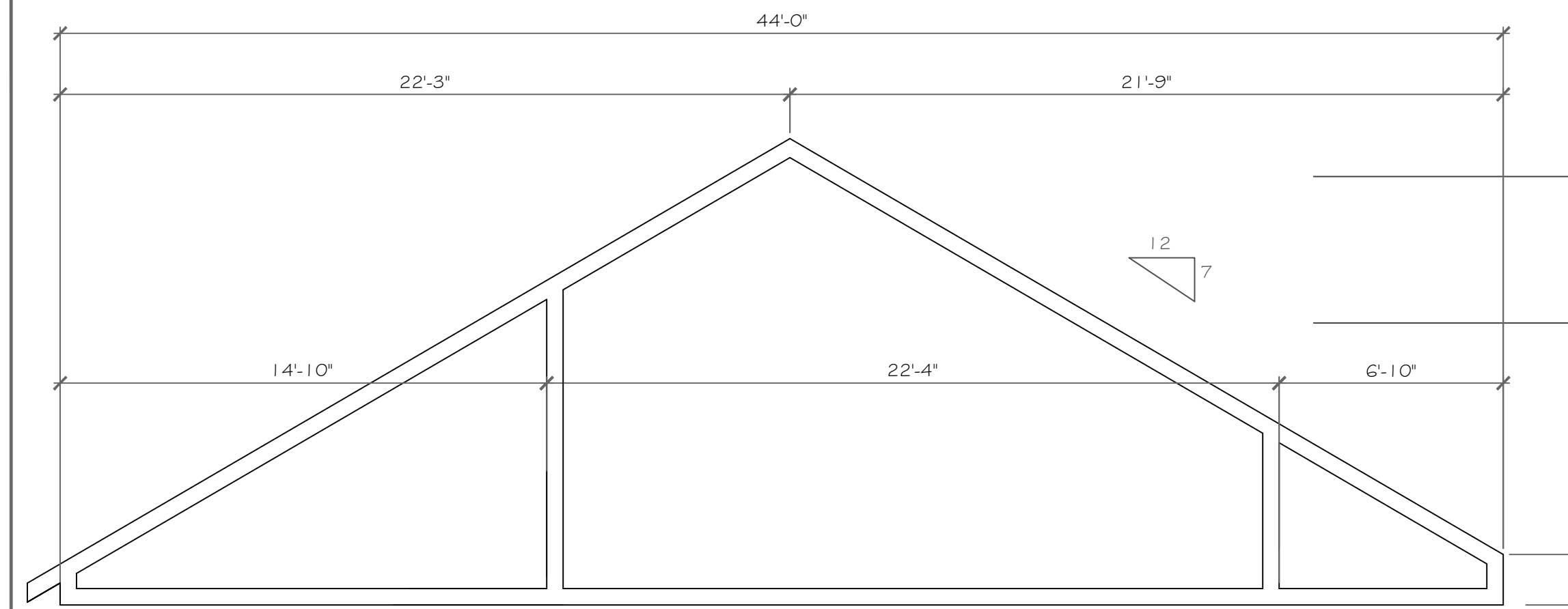
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO.:	A-1
--------------	-----



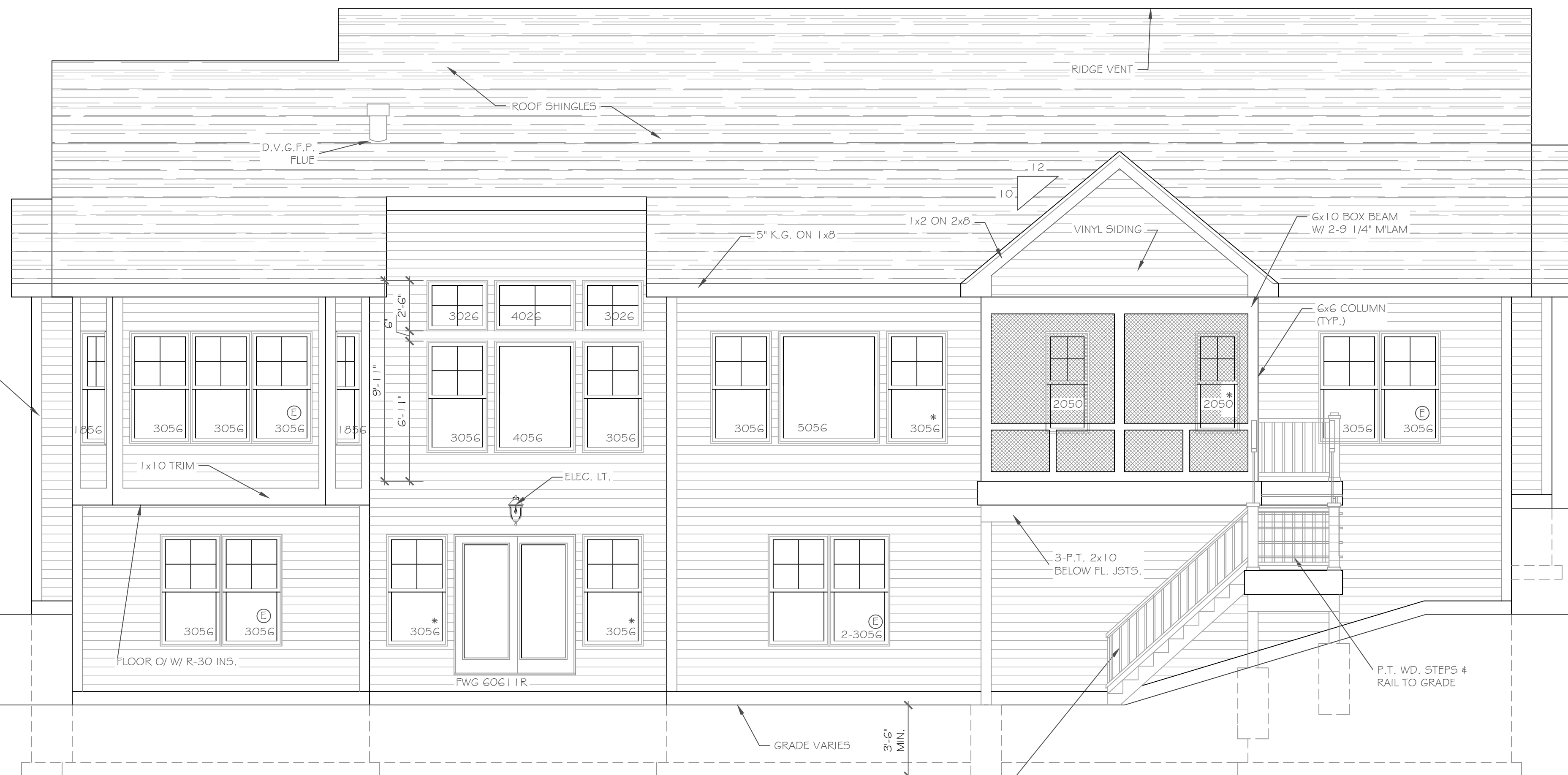
SNUB TRUSS '9A' DIAGRAM

1/4" = 1'-0"



SNUB TRUSS '9B' DIAGRAM

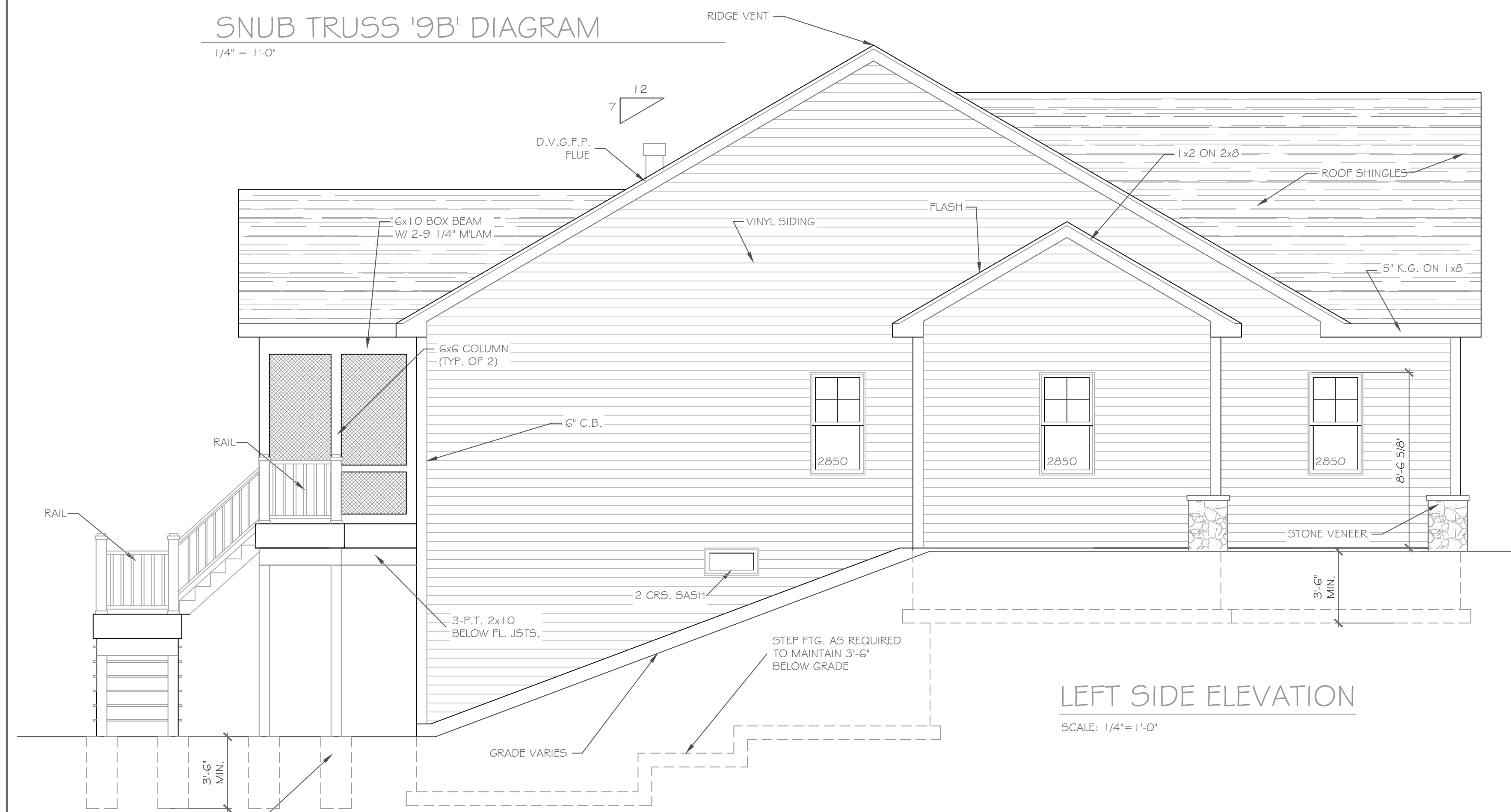
1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

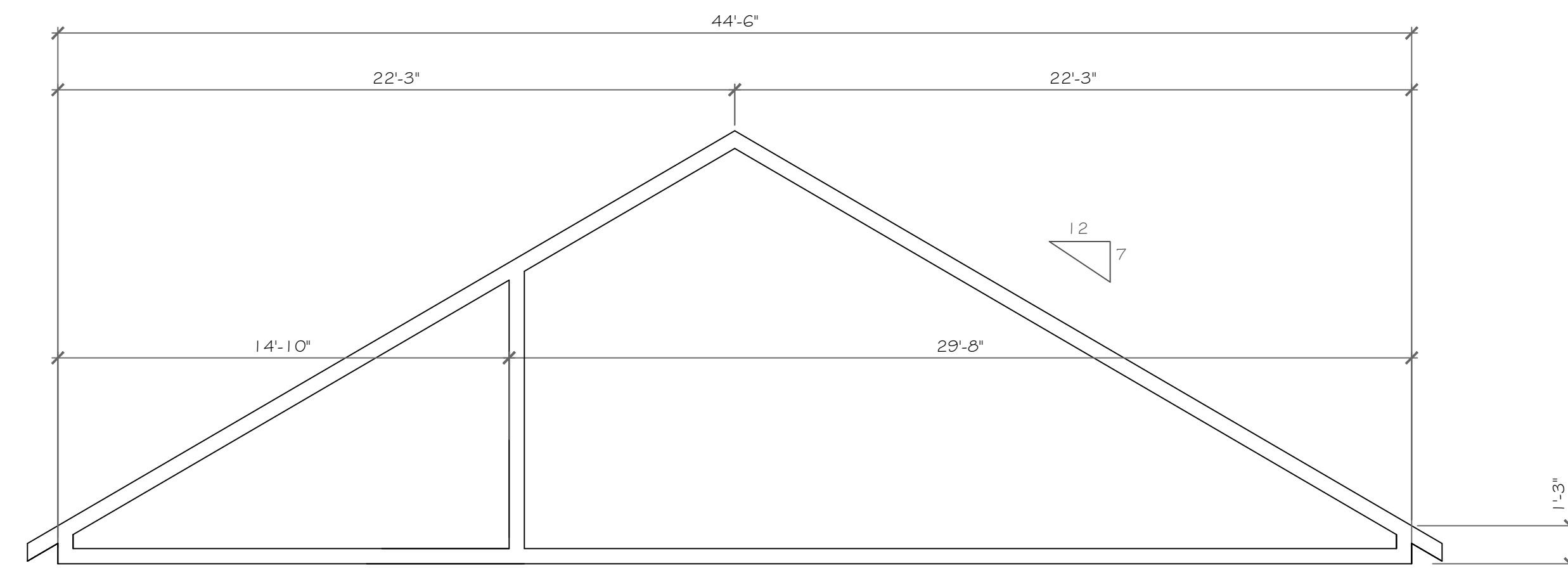
6x6 P.T. WD. POST
O/ 12" DIA. CONC. FTG.
W/ SIMPSON LCB66 POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LANDING LOCATIONS)



LEFT SIDE ELEVATION

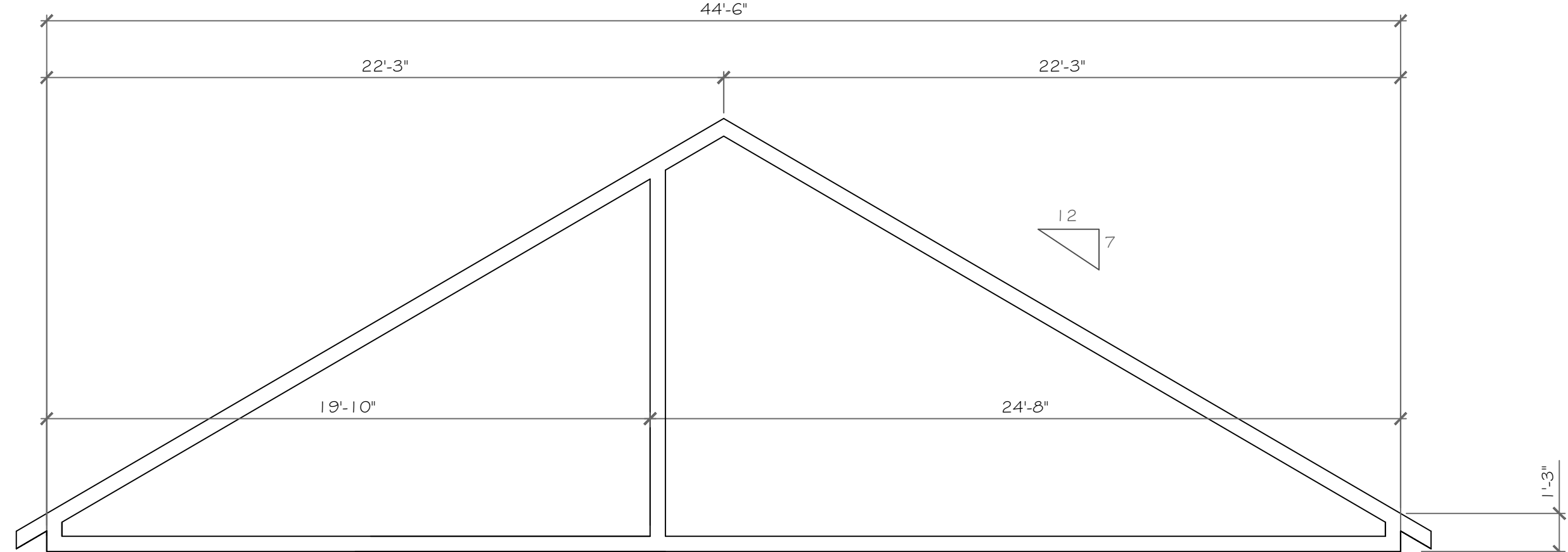
SCALE: 1/4" = 1'-0"

6x6 P.T. WD. POST
O/ 12" DIA. CONC. FTG.
W/ SIMPSON LCB66 POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LANDING LOCATIONS)



TRUSS '9C' DIAGRAM

1/4" = 1'-0"



TRUSS '9D' DIAGRAM

1/4" = 1'-0"

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NO.	DATE	DESCRIPTION

PROJECT TITLE:	Elevations
PHASE:	Construction Documents

PROJECT:	Lot 40P, Wilshire Hill Pittsford, New York
CLIENT:	Pride Mark Homes
JOB NO.:	A21-026
DATE:	May 29, 2021

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architecture
1501 Piedmont Victor Road
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@triforminc.net

DRAWING NO.:	A-6
--------------	-----

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PROJECT:
 Lot 40P, Wishire Hill
 Pittsford, New York

CLIENT:
 Pride Mark Homes

PHASE:
 Construction Documents

PROJECT:
 Lot 40P, Wishire Hill
 Pittsford, New York

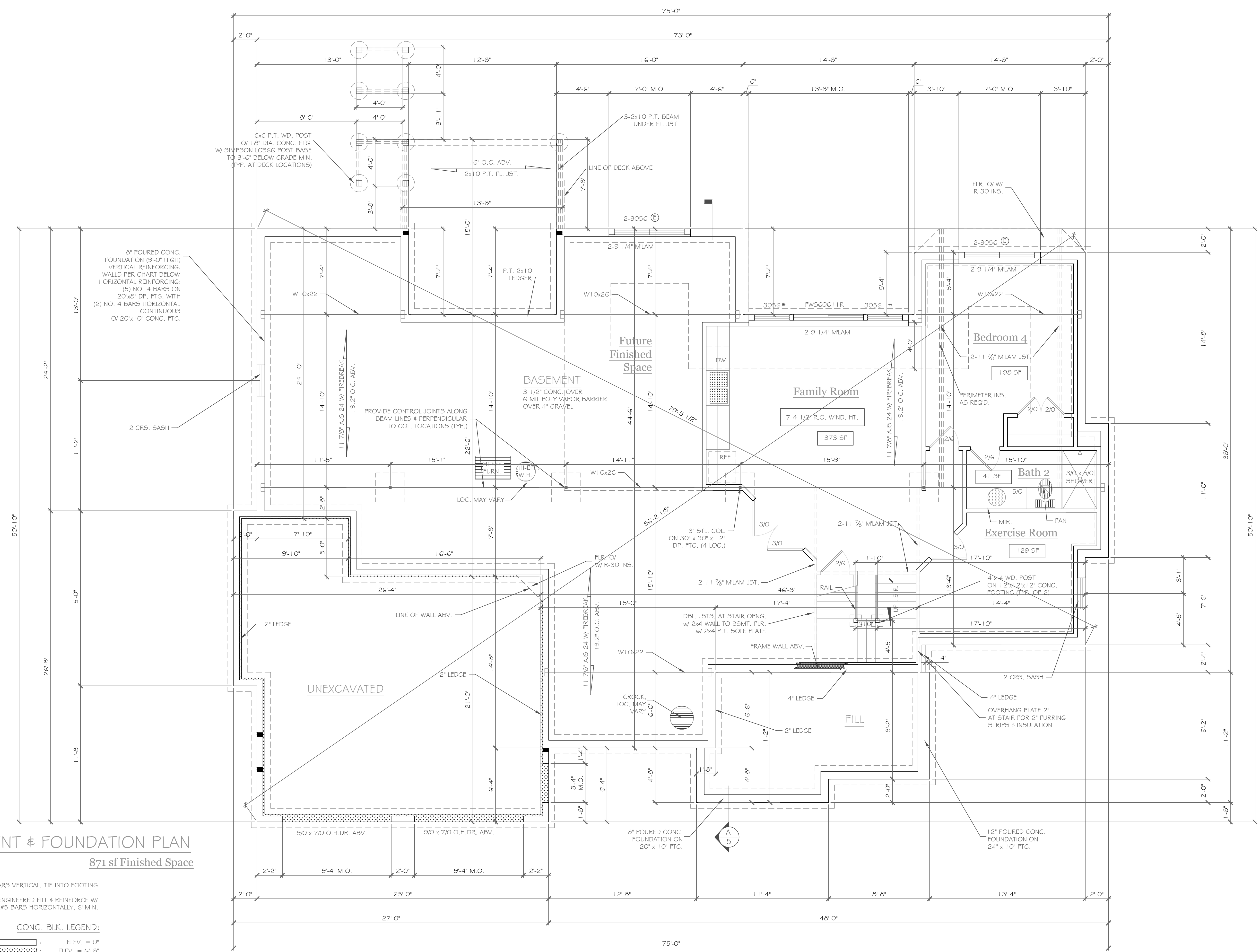
CLIENT:
 Pride Mark Homes

JOB NO.:
 A21-02G

DATE:
 May 29, 2021

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architecture
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 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

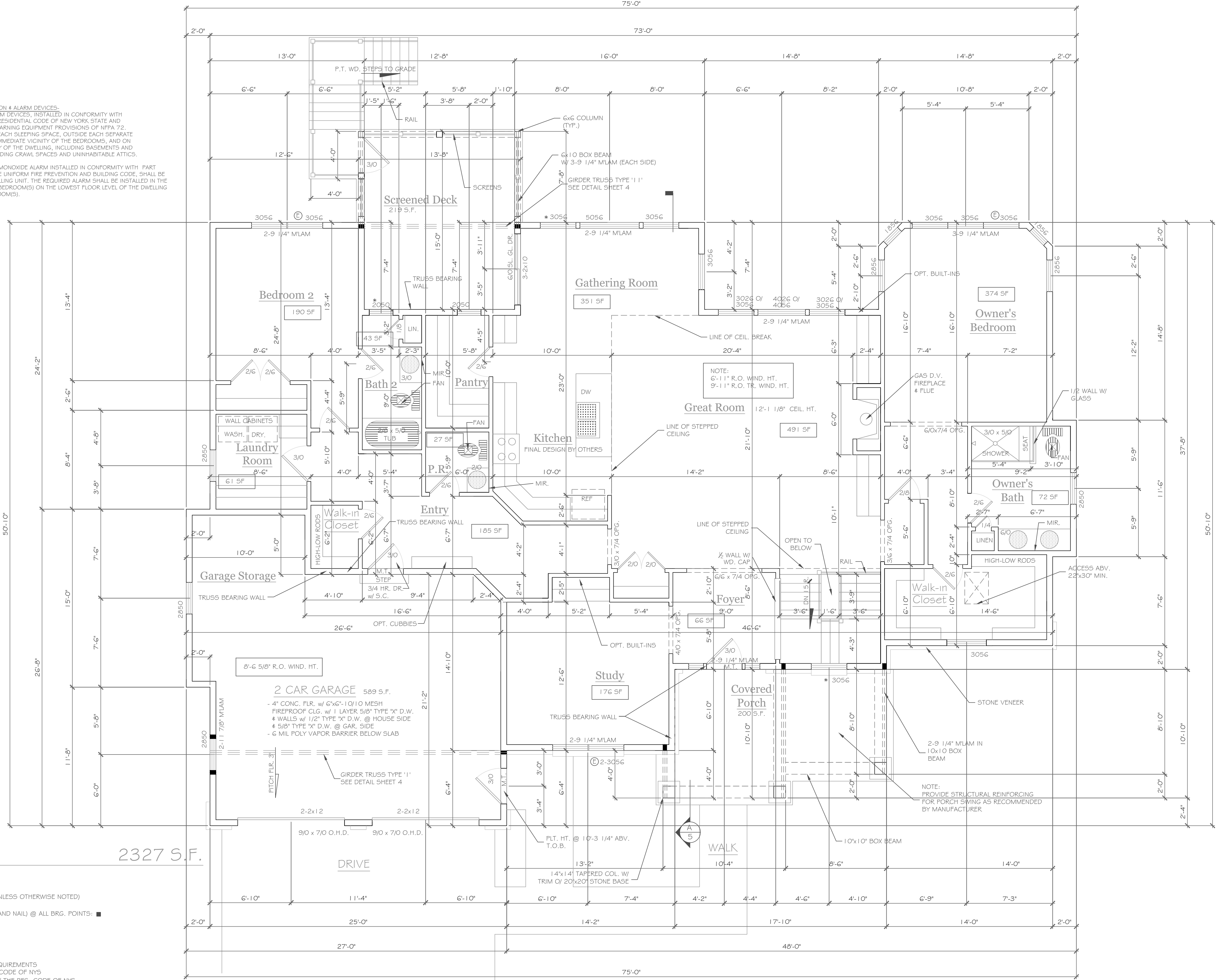
DRAWING NO.:
A-2



BASEMENT & FOUNDATION PLAN
 1/4" = 1'-0"
 871 sf Finished Space

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).



FIRST FLOOR PLAN

2327 S.F.

1/4" = 1'-0"
NOTES:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS. ■
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
CEILING HTS. TO BE 9'-1 1/8" U.O.N.
ANGLES TO BE 12/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plan

PHASE:
Construction Documents

PROJECT:
Lot 40P, Wislhire Hill
Pittsford, New York

CLIENT:
Pride Mark Homes

JOB NO. -
A21-02G

DATE:
May 29, 2021

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DRAWING NO. -
A-3









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000132

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 19 & 21 Skylight Trail PITTSFORD, NY 14534

Tax ID Number: 192.06-1-20

Zoning District: RN Residential Neighborhood / RRAA Rural Residential

Owner: S & J Morrell, Inc

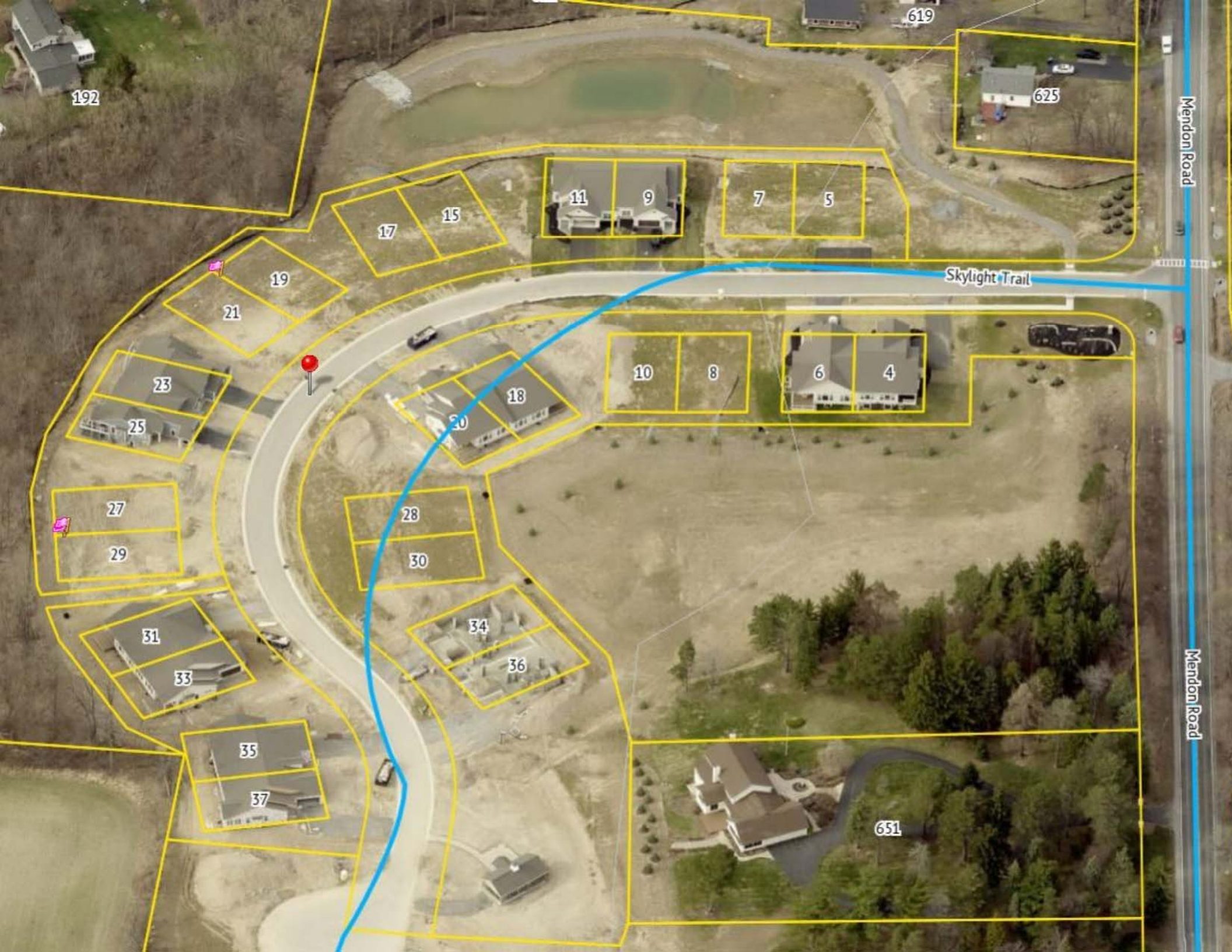
Applicant: S & J Morrell, Inc

Application Type:

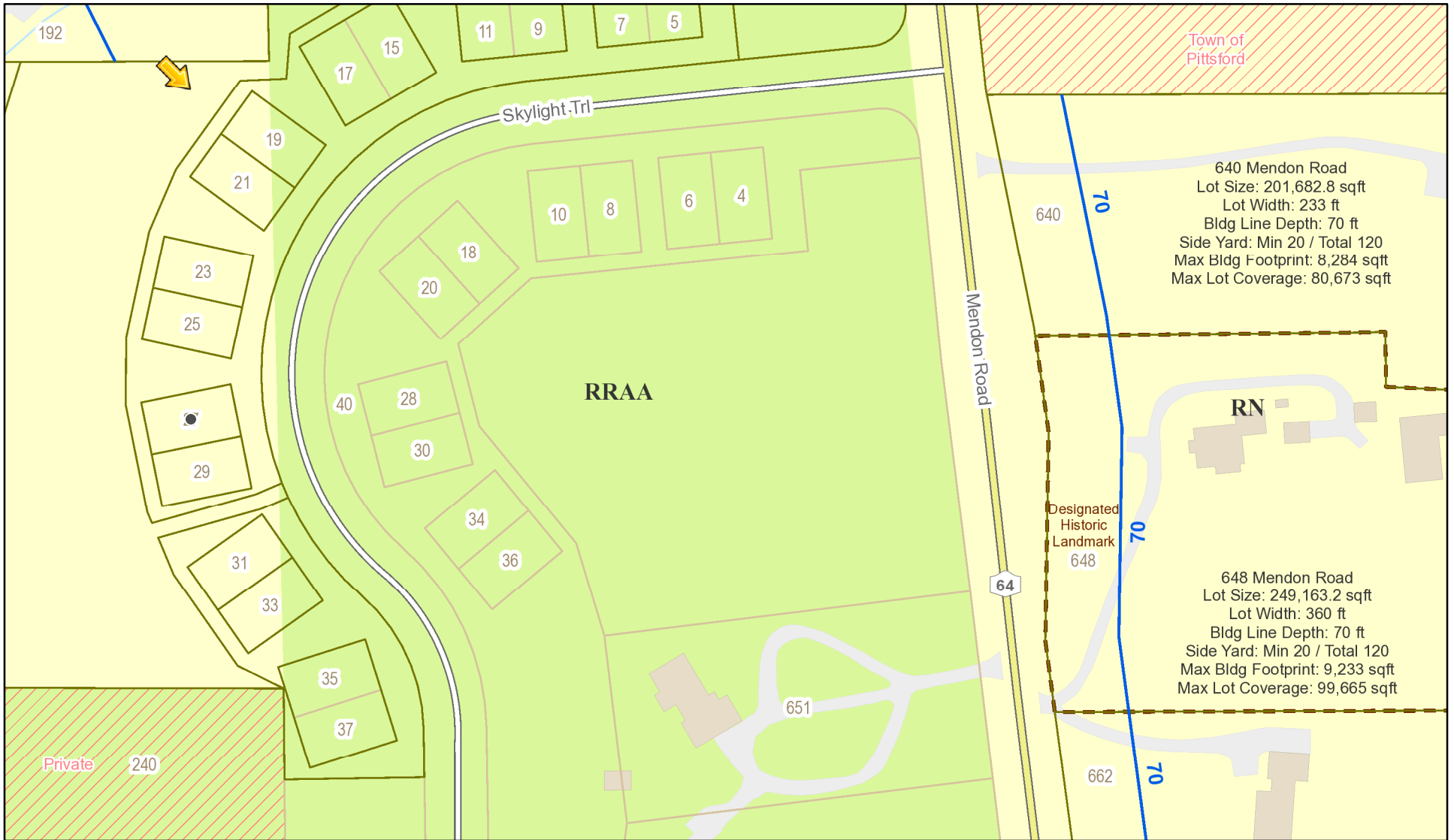
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 42 (19 Skylight Trail) will be approximately 1852 sq. ft. and Lot 41 (21 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge Subdivision.

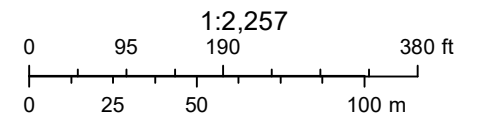
Meeting Date: June 24, 2021



RN Residential Neighborhood Zoning



Printed June 17, 2021



Town of Pittsford GIS

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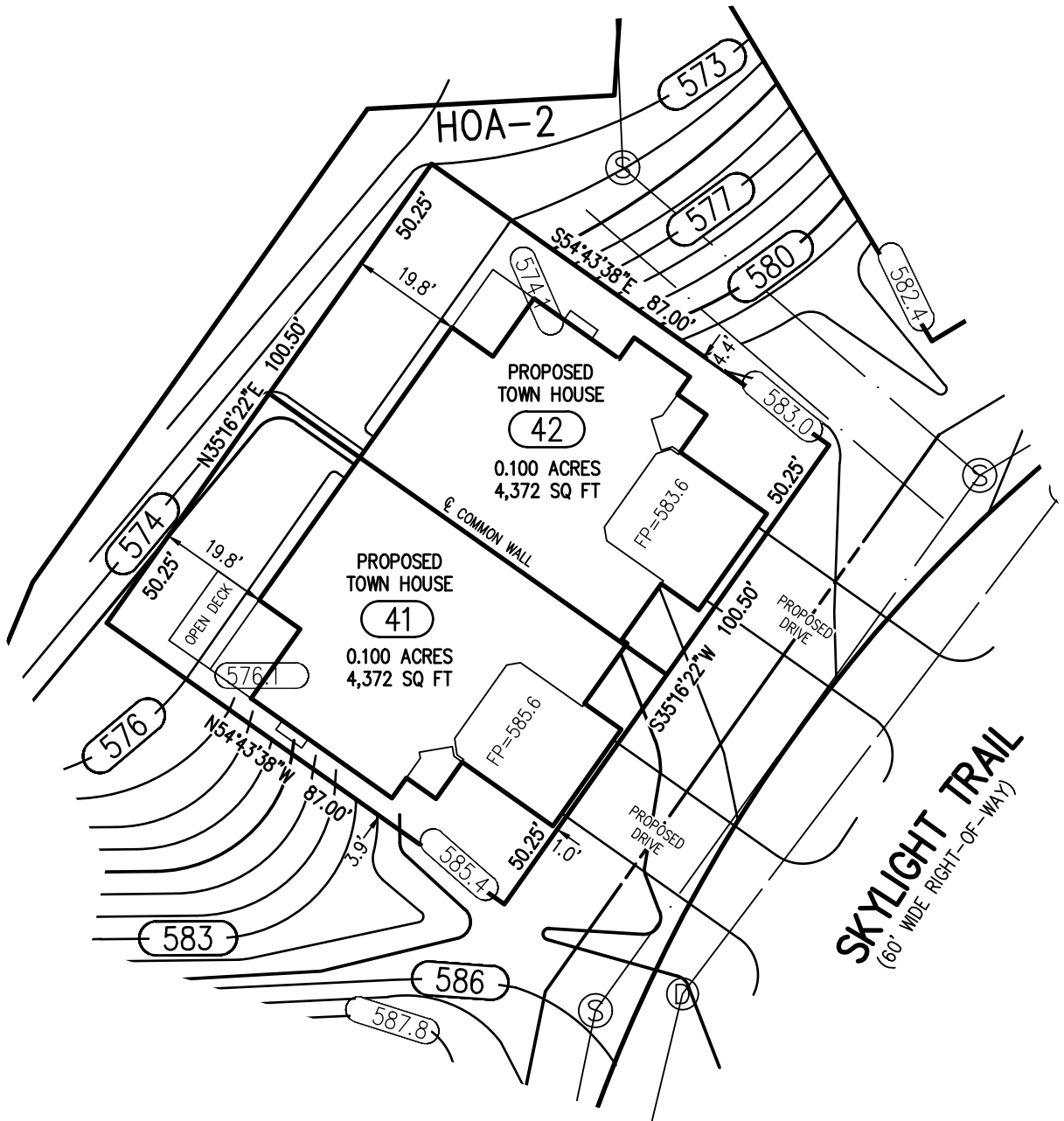


● = Side Load Garage

X = Stone Siding

	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)

PLOT PLAN



REFERENCES:

1. ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS PLAN.
2. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 359 OF DEEDS, PAGE 12.

NOTES:

1. PARCEL SUBJECT TO DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS PER LIBER 12353 OF DEEDS, PAGE 575.
2. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
3. SETBACK REQUIREMENTS:
 FRONT 0' (LOT) 25' (R.O.W.)
 SIDE 0'
 REAR 0'
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2), PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 27, 2019.

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."
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BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 PHONE 585-377-7360

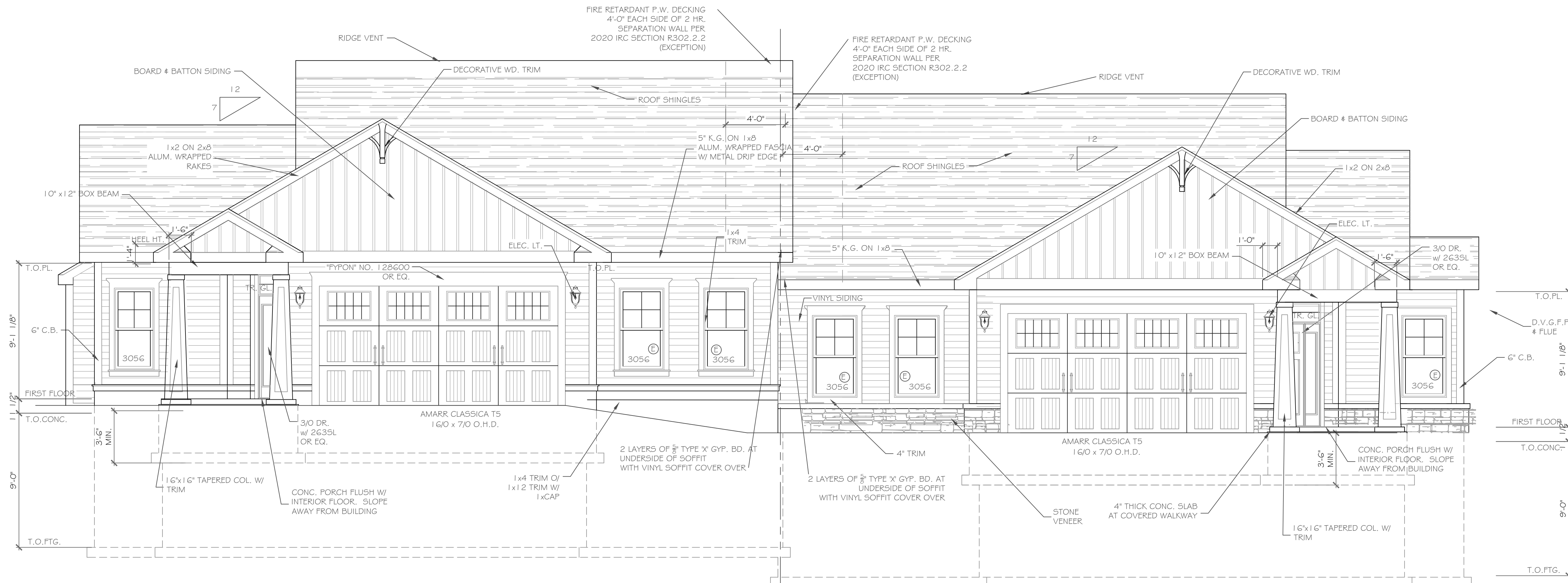
**LOTS 41 & 42 ALPINE RIDGE SUBDIVISION SECTION 1
 TOWN OF PITTSFORD MONROE COUNTY NEW YORK**



DRAWN BY: CMM
 DATE: 6-01-21

SCALE: 1"=30'
 DWG NO: 2688-13





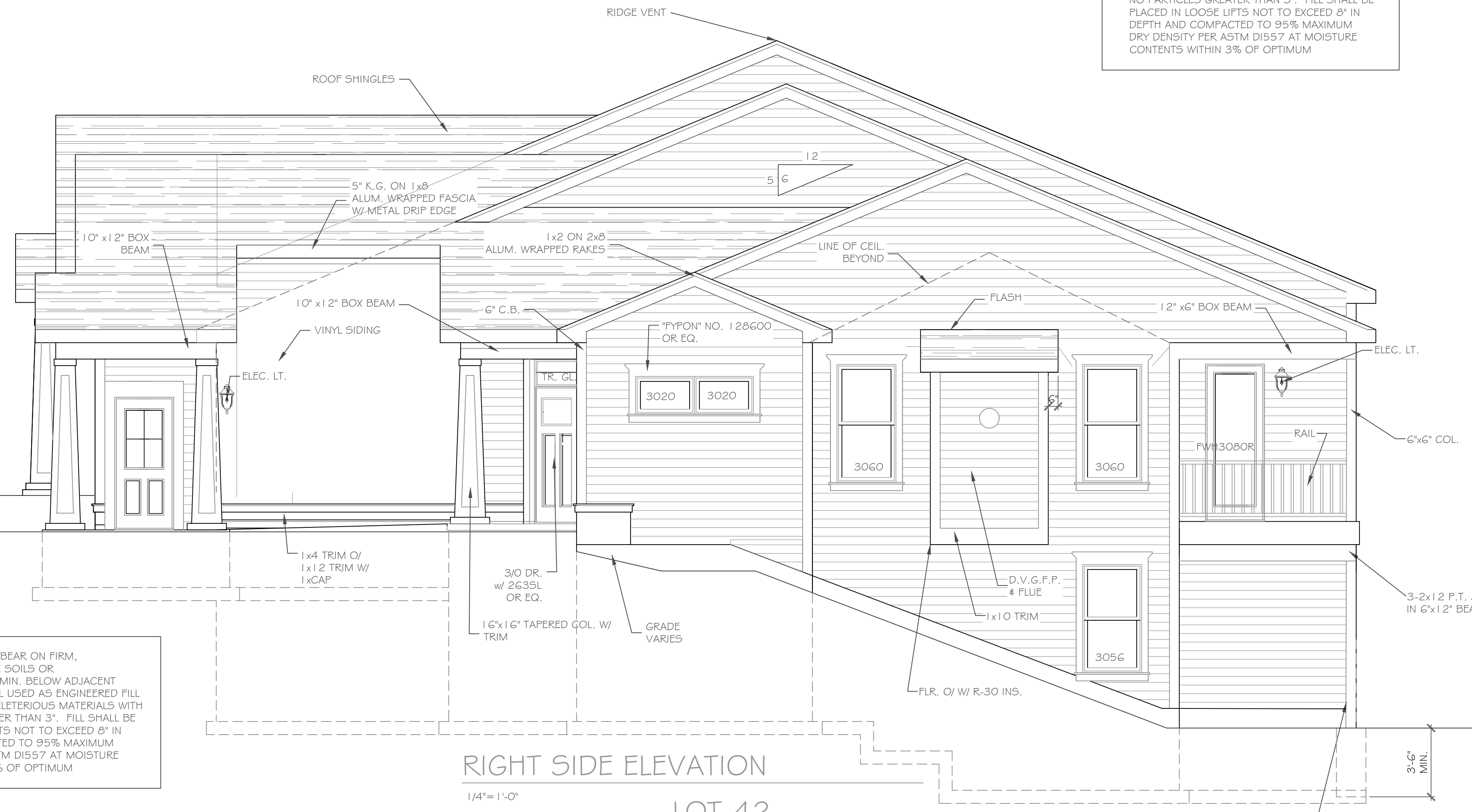
FRONT ELEVATION - LOT 41 2000 S.F.

FRONT ELEVATION - LOT 42 1852 S.F.

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION LOT 42

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

6"x6" P.T. WD. POST Q/ 18" DIA. CONC. FTG. W/ SIMPSON LCB66 POST BASE TO 3'-0" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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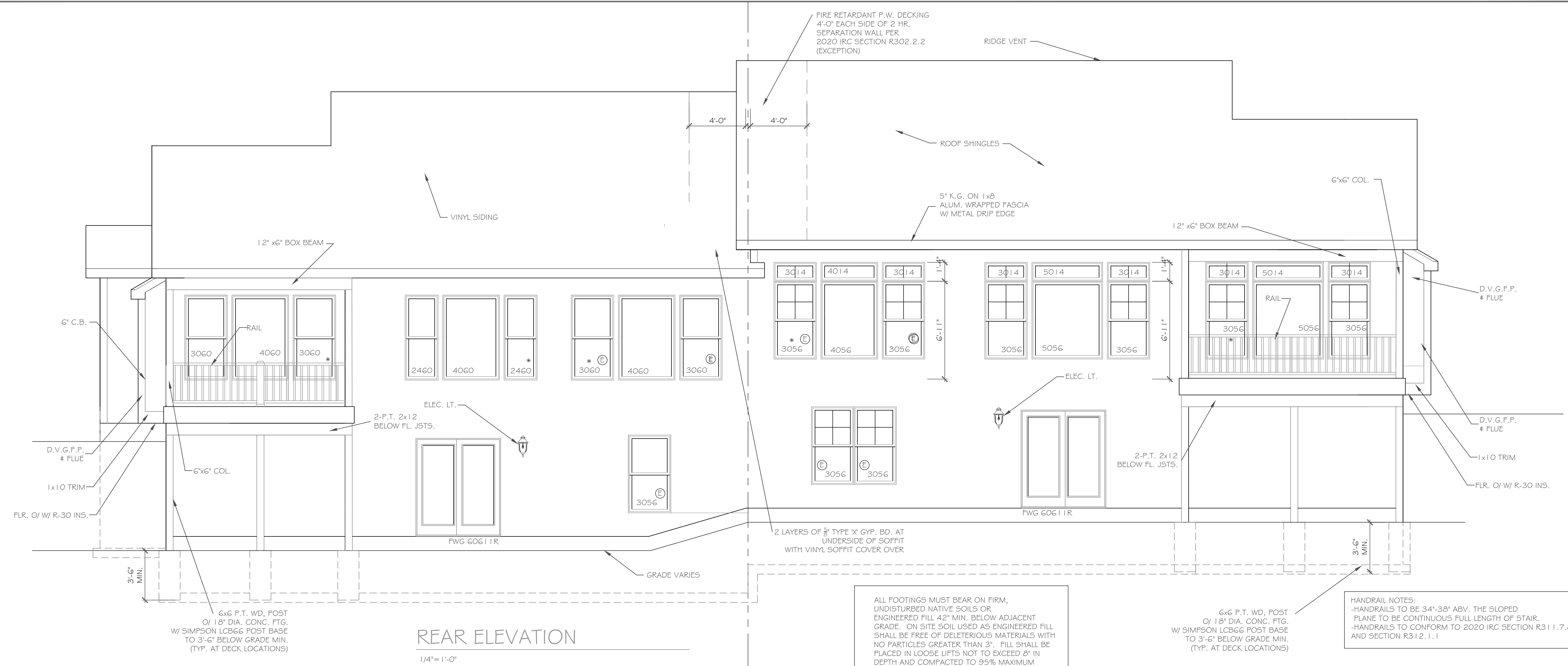
NO.	DATE	DESCRIPTION

PROJECT: Alpine Ridge - Units 41 & 42
CLIENT: Morrell Builders
PHASE: Construction Documents
DATE: May 2021
JOB NO.: A21-0037

DRAWING TITLE: Elevations Units 41 & 42
DRAWING NO.: A-1

CKH architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.: A-1



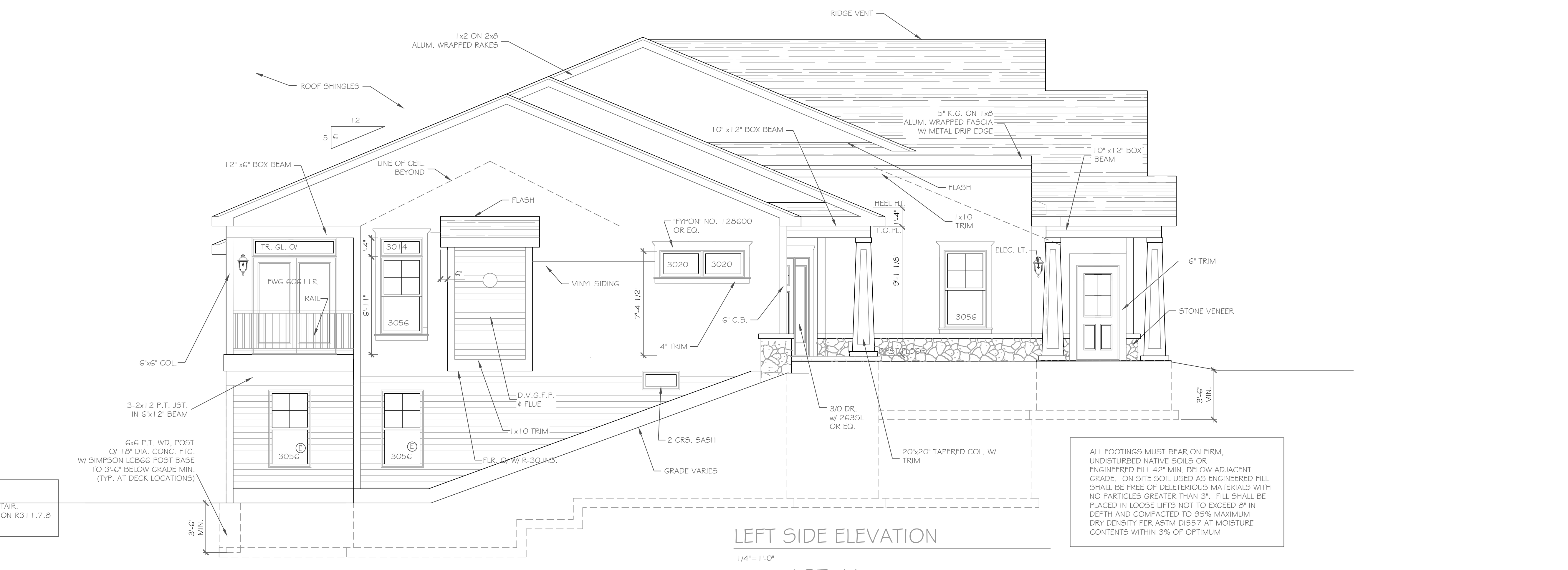
REAR ELEVATION

LOT 42

LOT 41

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1



LEFT SIDE ELEVATION

LOT 41

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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NO.	DATE	DESCRIPTION

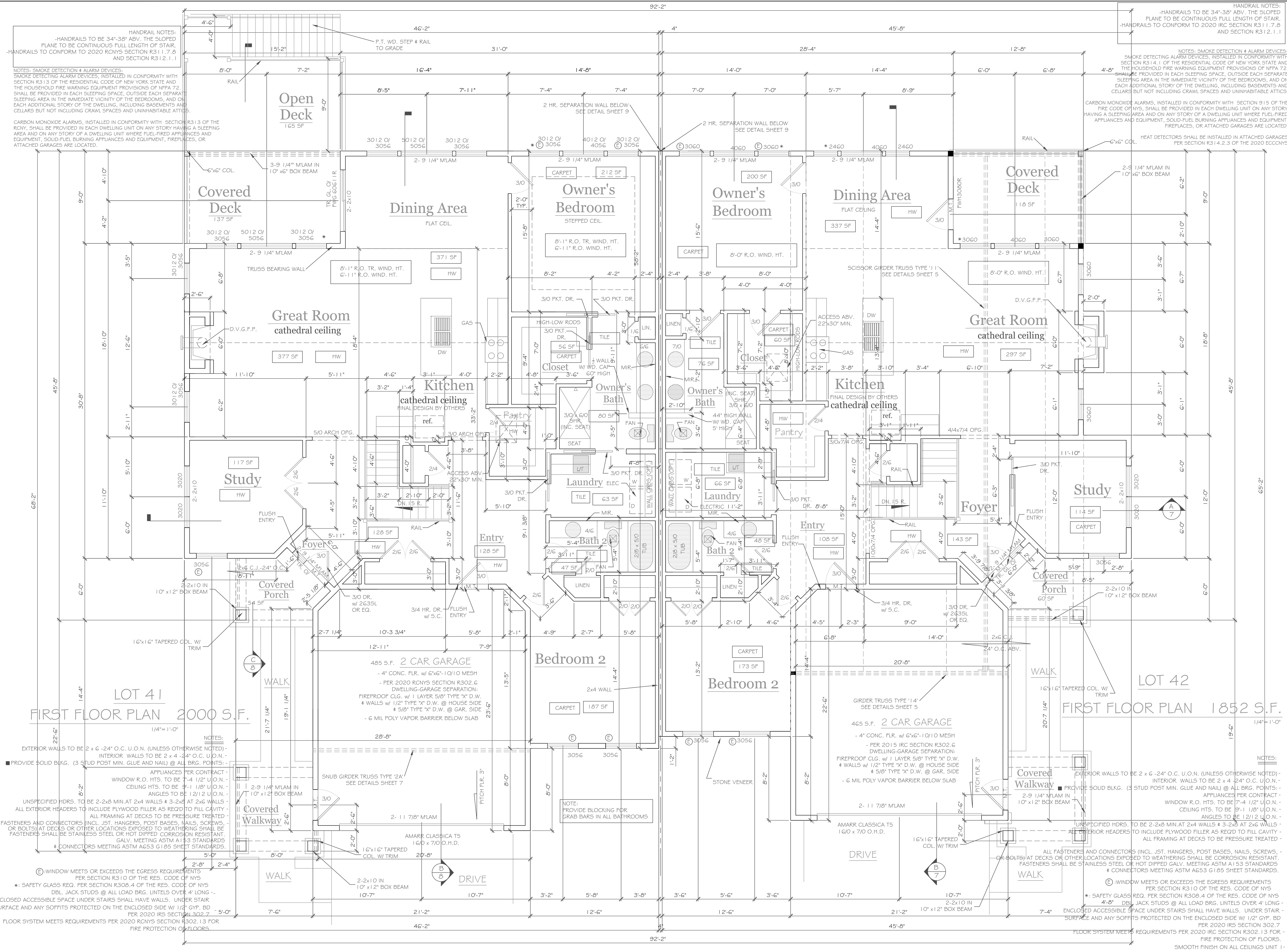
PROJECT: Alpine Ridge - Units 41 & 42
CLIENT: Morrell Builders
PHASE: Construction Documents

DRAWING TITLE: Elevations
Units 41 & 42

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

JOB NO.: A21-0037
DATE: May 2021

DRAWING NO.: A-2



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION 4 ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R315 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION 4 ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R314.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION 915 OF THE FIRE CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
 First Floor Plans
 Units 41 & 42

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 41 & 42
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

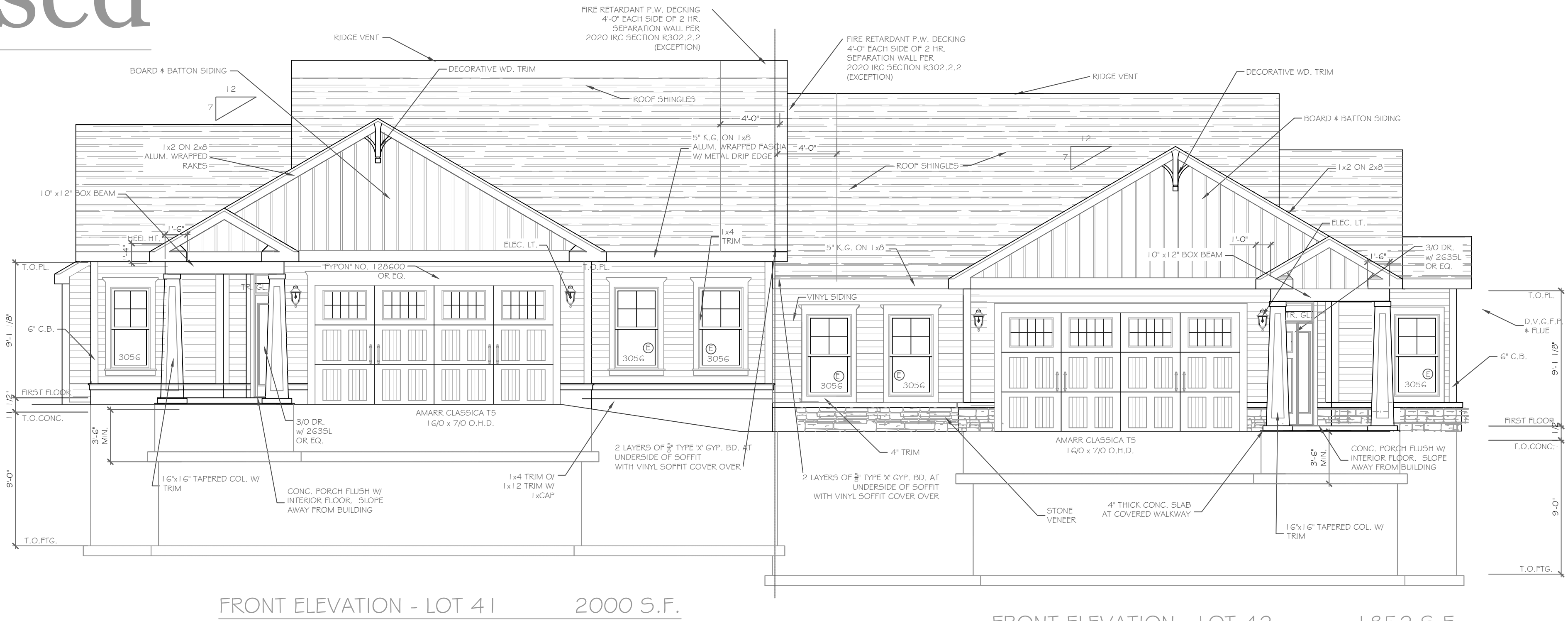
DATE:
 May 2021

JOB NO.:
 A21-037

CKH architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
 A-4

Proposed



FRONT ELEVATION - LOT 41 2000 S.F.

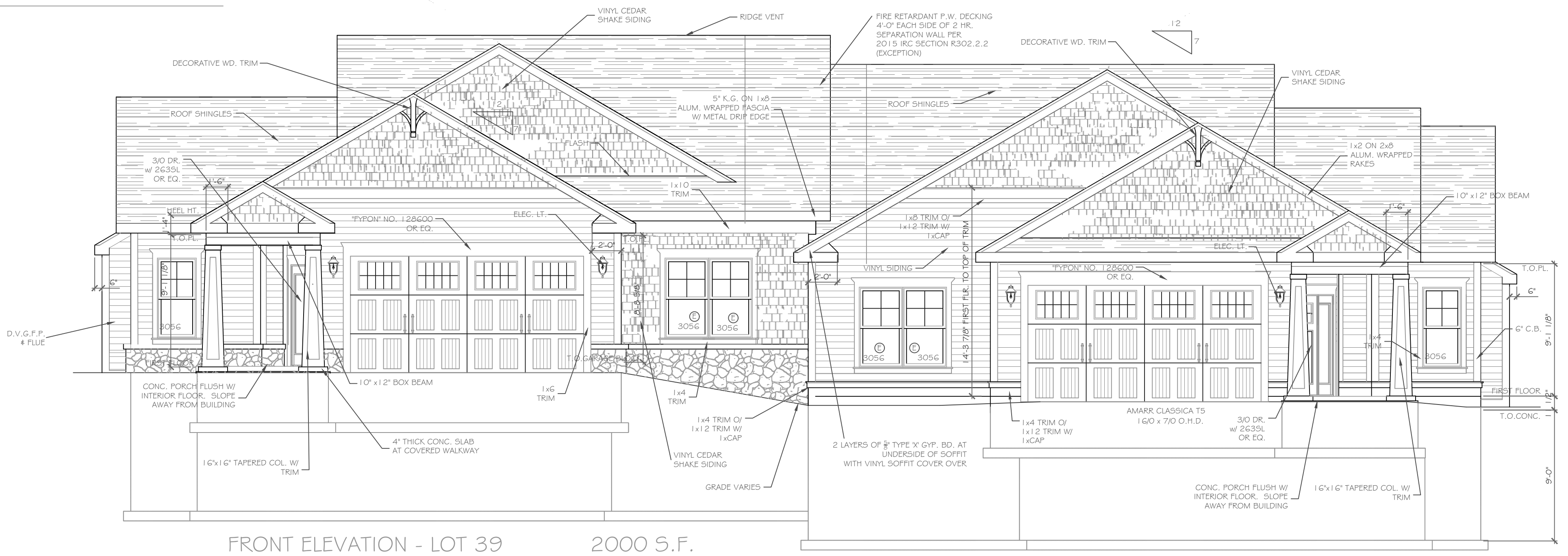
FRONT ELEVATION - LOT 42 1852 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

Approved



FRONT ELEVATION - LOT 39 2000 S.F.

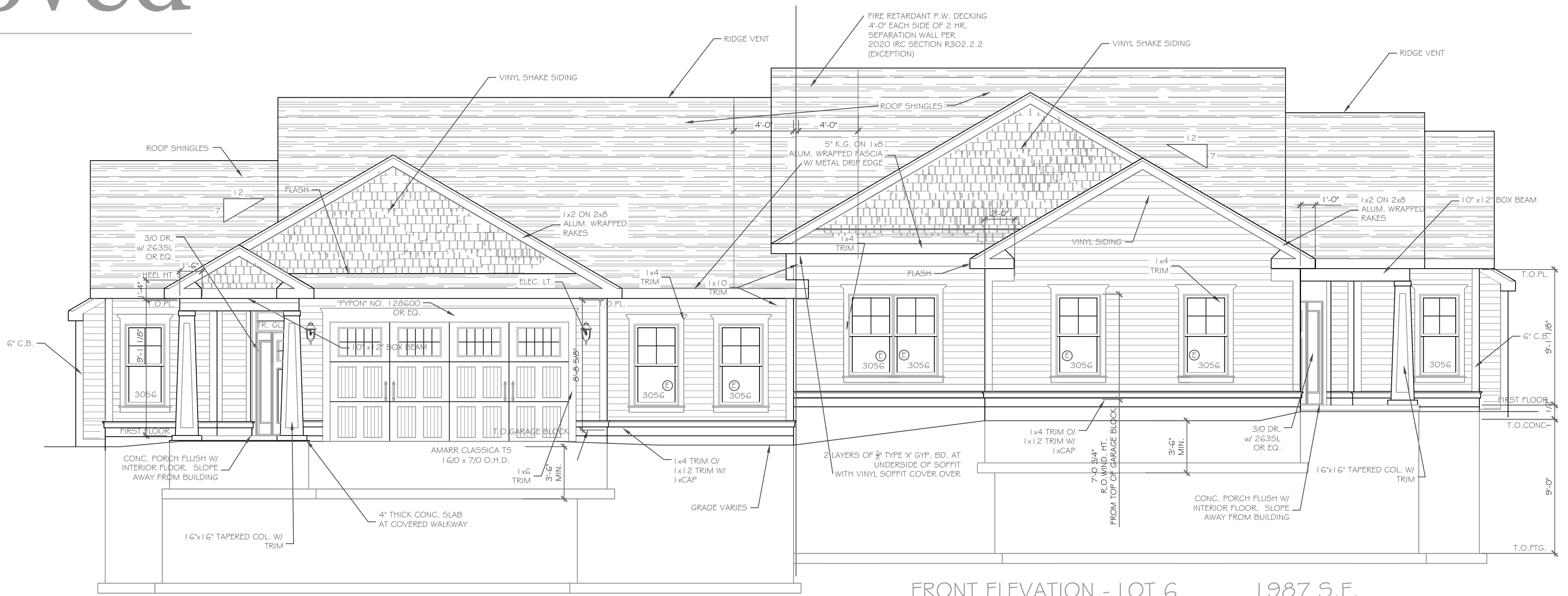
FRONT ELEVATION - LOT 40 2013 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

Approved



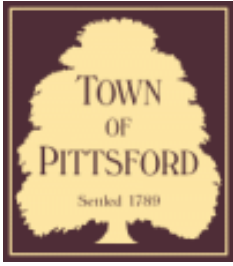
FRONT ELEVATION - LOT 5 2000 S.F.

FRONT ELEVATION - LOT 6 1987 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

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- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000130

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 27 & 29 Skylight Trail PITTSFORD, NY 14534

Tax ID Number: 192.06-1-16

Zoning District: RN Residential Neighborhood

Owner: S & J Morrell, Inc

Applicant: S & J Morrell, Inc

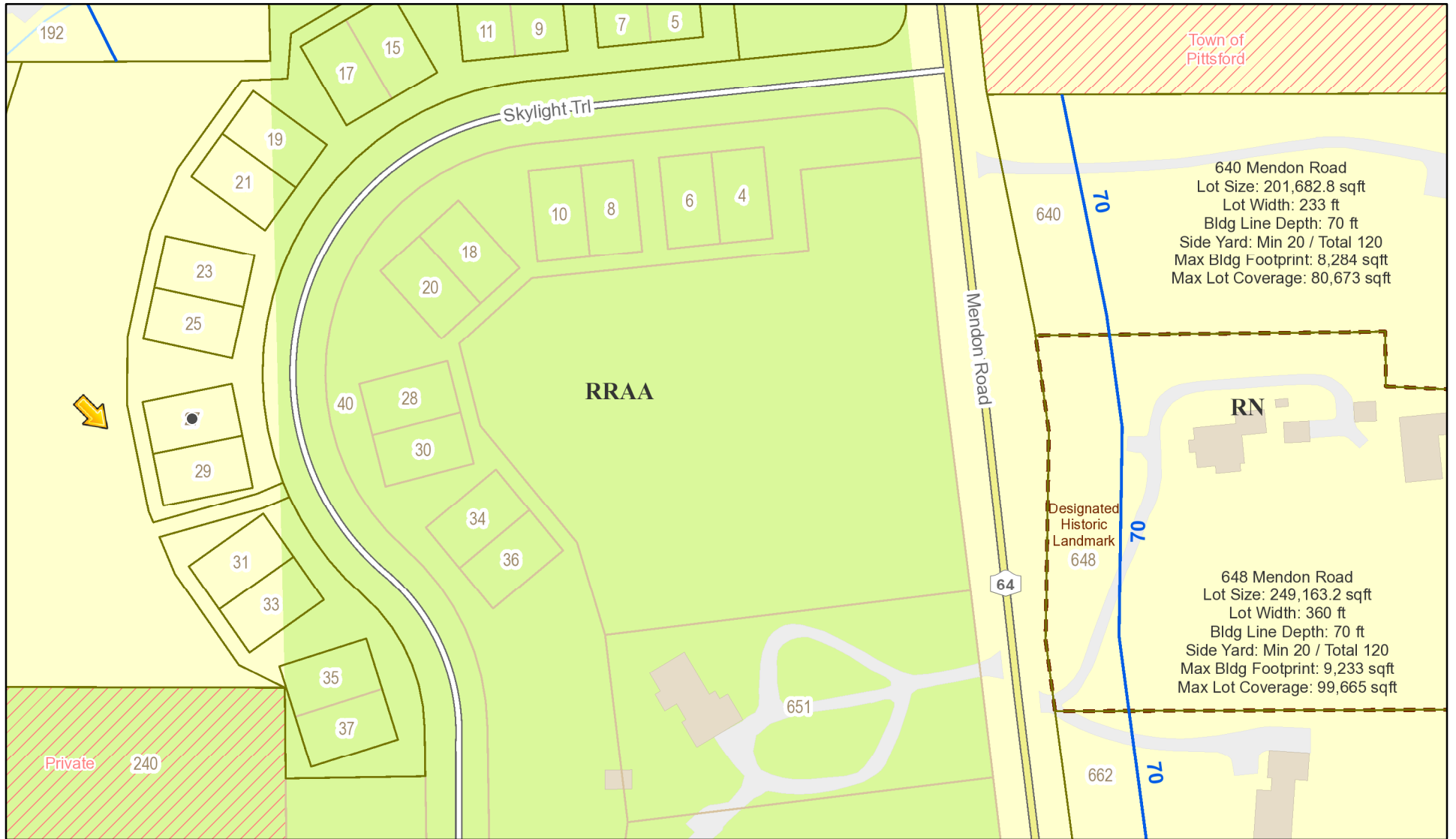
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 38 (27 Skylight Trail) will be approximately 1987 sq. ft. and Lot 37 (29 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge Subdivision.

Meeting Date: June 24, 2021

RN Residential Neighborhood Zoning

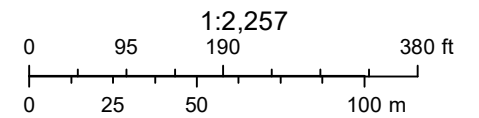


Town of Pittsford

640 Mendon Road
 Lot Size: 201,682.8 sqft
 Lot Width: 233 ft
 Bldg Line Depth: 70 ft
 Side Yard: Min 20 / Total 120
 Max Bldg Footprint: 8,284 sqft
 Max Lot Coverage: 80,673 sqft

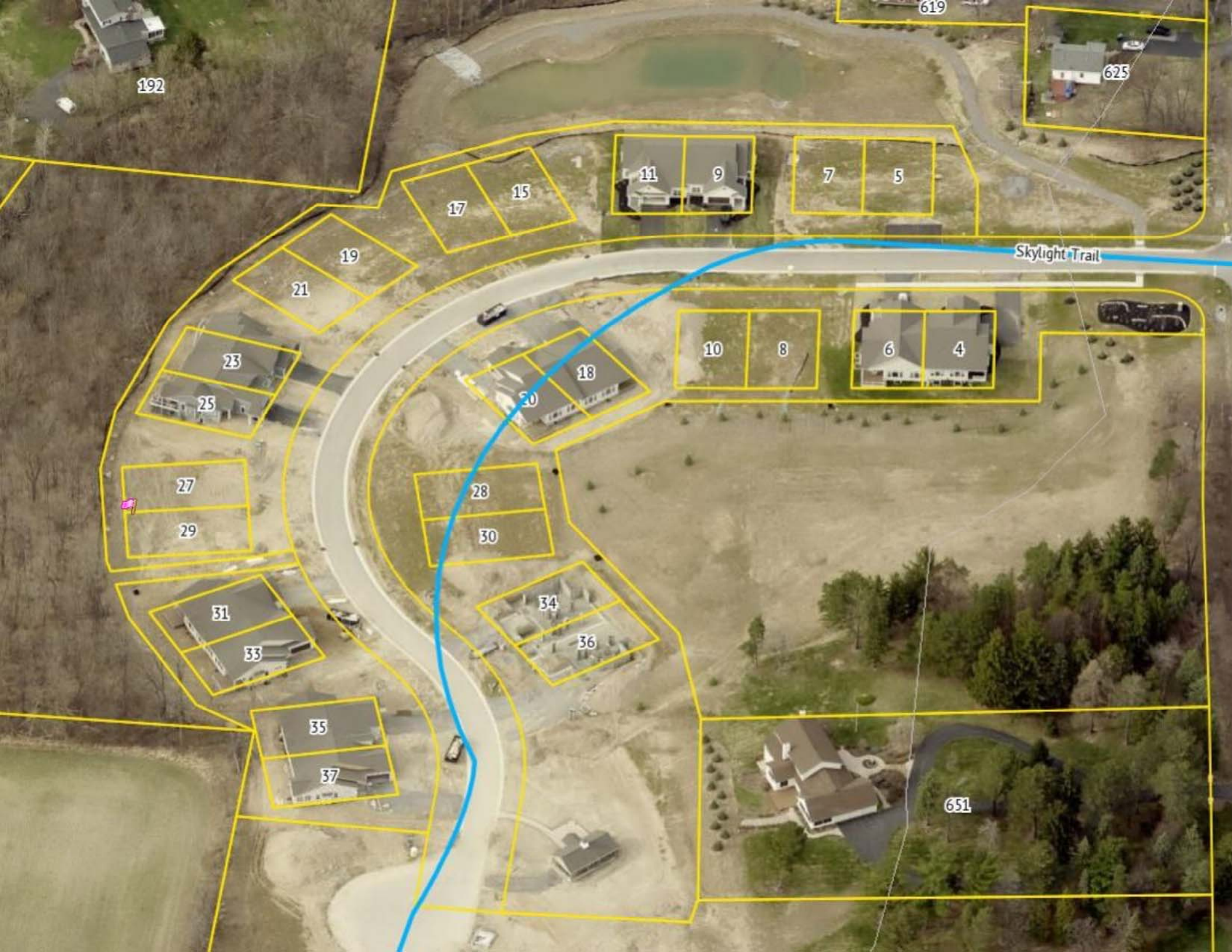
648 Mendon Road
 Lot Size: 249,163.2 sqft
 Lot Width: 360 ft
 Bldg Line Depth: 70 ft
 Side Yard: Min 20 / Total 120
 Max Bldg Footprint: 9,233 sqft
 Max Lot Coverage: 99,665 sqft

Printed June 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



192

619

625

11

9

7

5

17

15

19

21

23

25

18

20

10

8

6

4

Skylight Trail

27

29

28

30

31

33

34

36

35

37

651



● = Side Load Garage

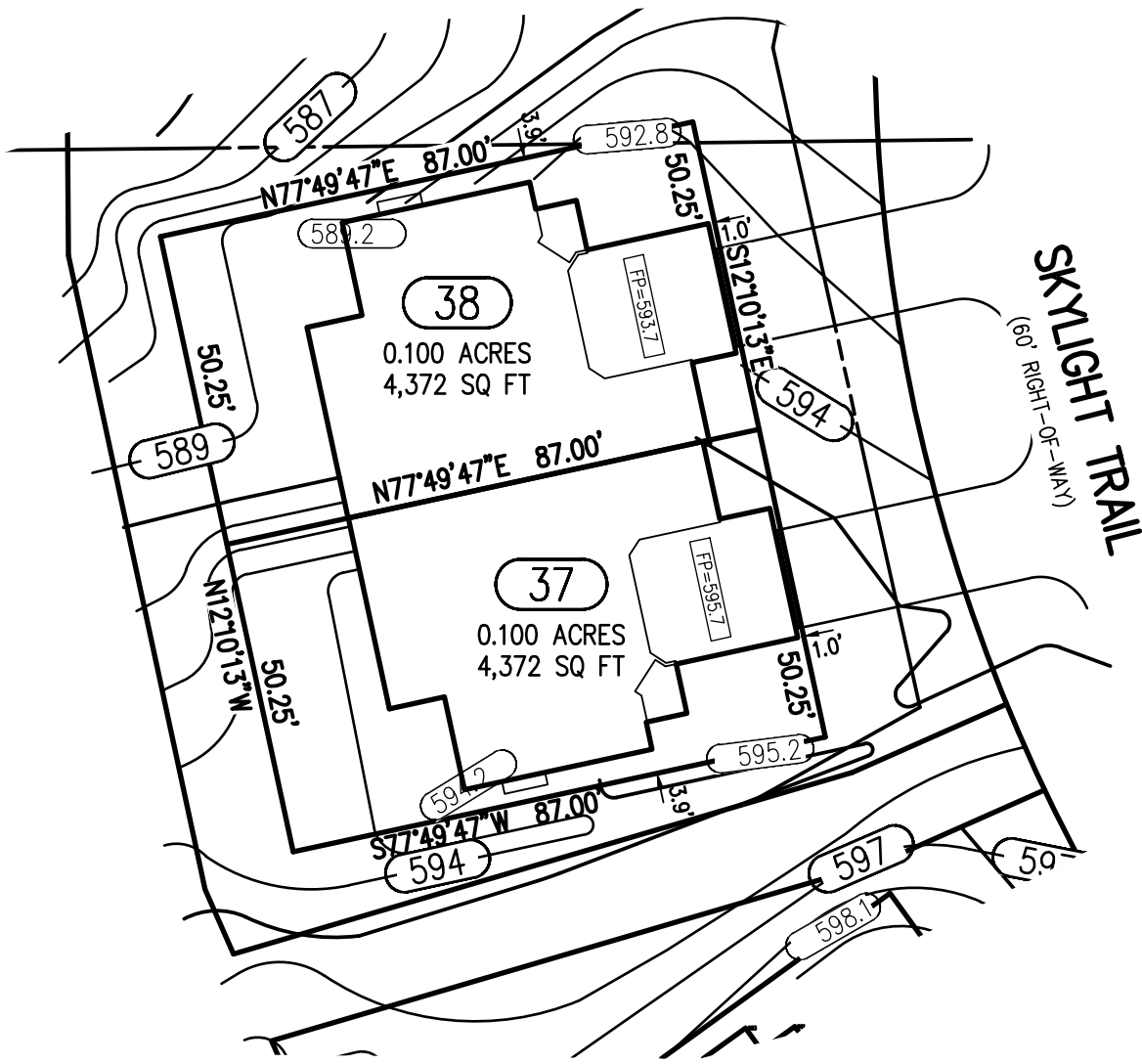
X = Stone Siding

Cobblestone (CS) Light Mist (LM) Navajo Beige (NB) Khaki Brown (KB) Boothbay Blue (BB)

Color	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Denotes Buildign Step					

Garage Door Dark Oak (DO) Walnut (EW) Mahogany (MA) Dark Oak (DO) Mahogany (MA)

PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," PREPARED BY DOUGLAS W. MAGDE, L.S. HAVING DRAWING NUMBER SV1.0 AND LAST REVISED JUNE 27, 2019.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
 FRONT 0' (LOT) 25' (R.O.W.)
 SIDE 0'
 REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2), PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 27, 2019.

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS." THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE." BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY, OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
 "UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 PHONE 585-377-7360
 FAX 585-377-7309

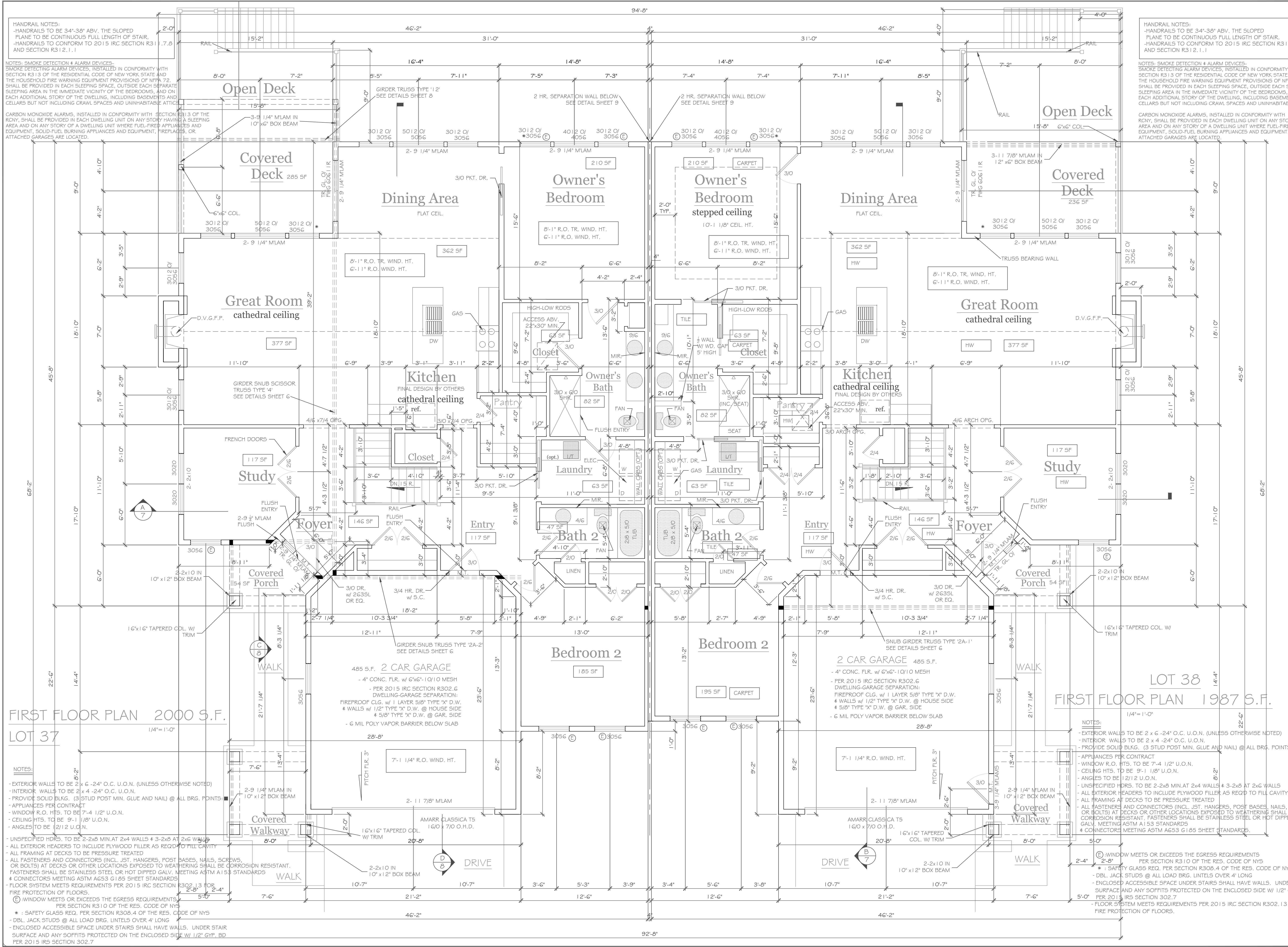
**LOTS 37 & 38 ALPINE RIDGE SUBDIVISION SECTION 1
 TOWN OF PITTSFORD MONROE COUNTY NEW YORK**



DRAWN BY: MRP
 DATE: 6-3-21

SCALE: 1"=30'
 DWG NO: 2688-14





HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R312.1.1 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

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 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R312.1.1 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

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REVISIONS:

NO.	DATE	DESCRIPTION
1	08/20	COVERED DECKS, FLOOR FINISH, FLUSH ENTRY
2	9/20	REMOVE TR. WIND ON RIGHT WALL GREAT ROOM

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FIRST FLOOR PLAN 2000 S.F.

FIRST FLOOR PLAN 1987 S.F.

- NOTES:**
- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x4 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQD TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS
 - FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2015 IRS SECTION 302.7

- NOTES:**
- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x4 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQD TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
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 - FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.

DRAWING TITLE:
First Floor Plan

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 37 & 38
 Pittsford, New York

CLIENT:
 Morrell Builders

JOB NO.:
 A21-038

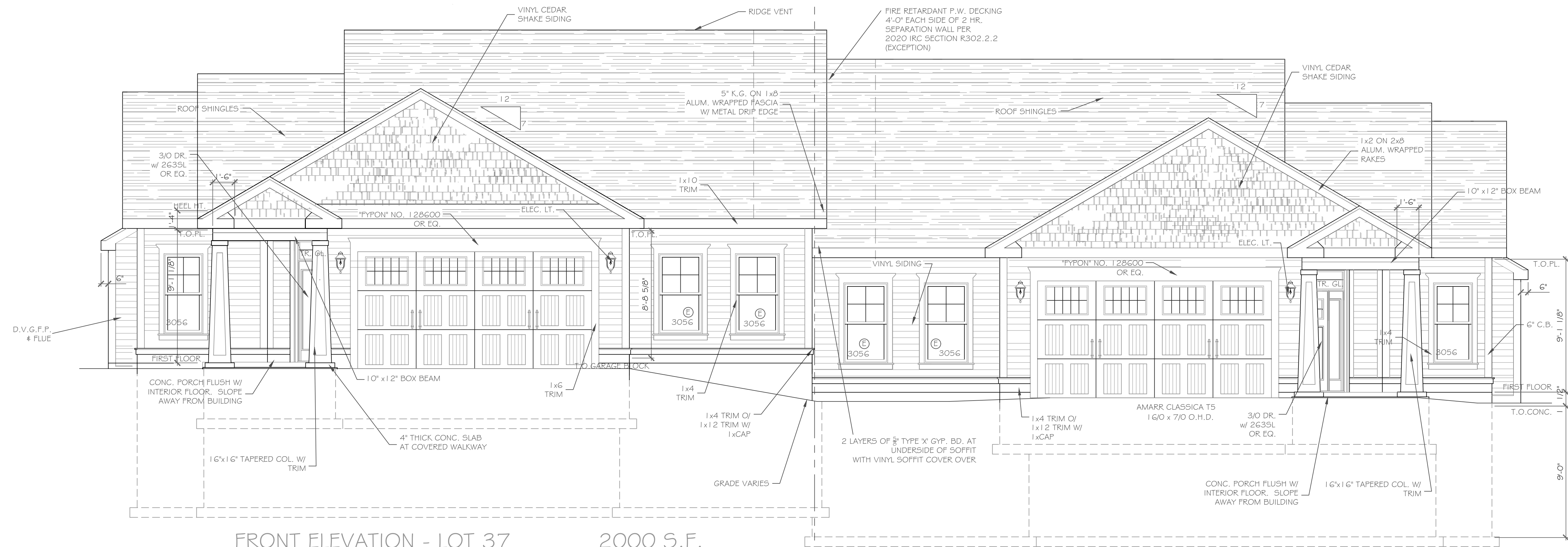
DATE:
 June 2021

CKH architecture

1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564

phone: (585) 249-1334
 fax: (585) 249-1333
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
A-4



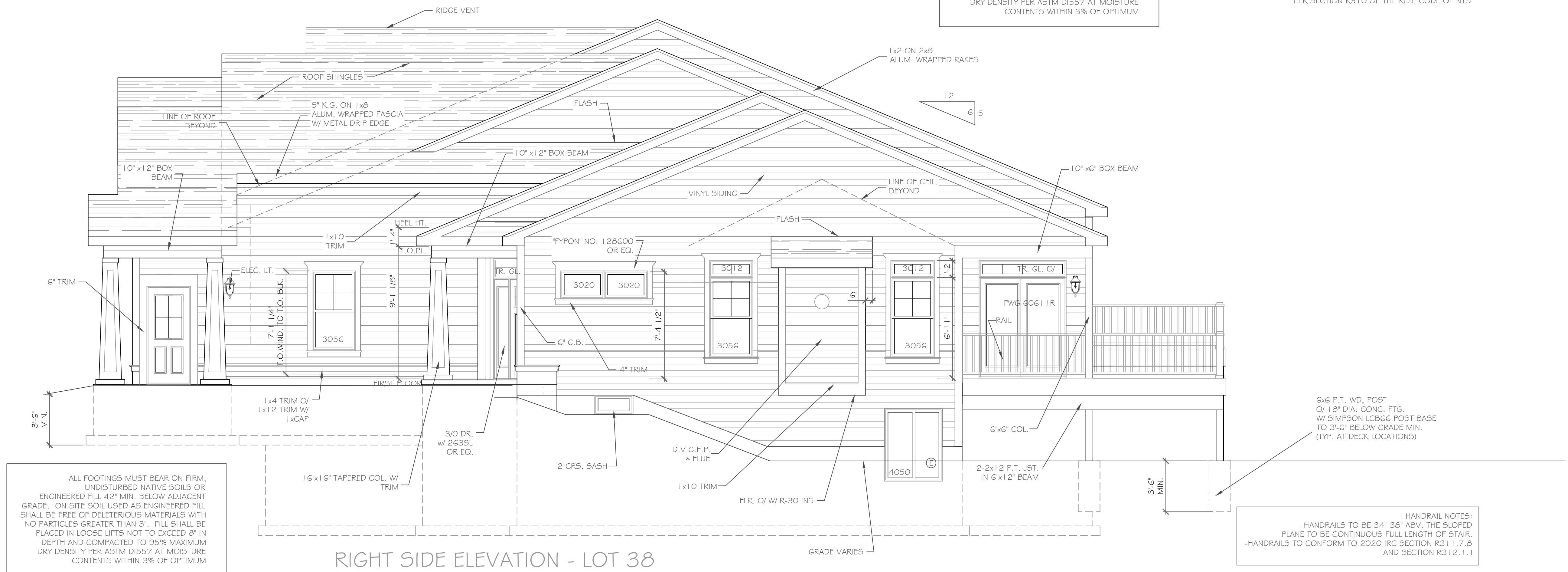
FRONT ELEVATION - LOT 37 2000 S.F.

FRONT ELEVATION - LOT 38 1987 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
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 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM



RIGHT SIDE ELEVATION - LOT 38

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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 - HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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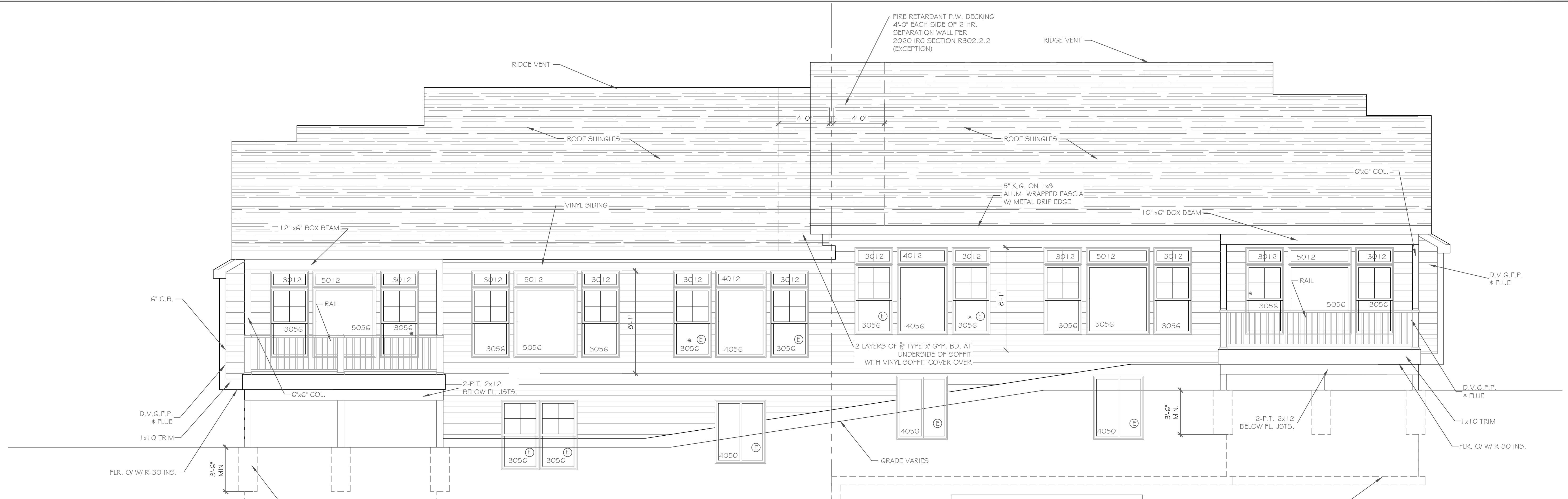
NO.	DATE	DESCRIPTION
1	6/20	COVERED DECK - LOT 39
2	9/20	REMOVE GR.BM. TR. WIND. SIDE WALL LOT 40.

DRAWING TITLE: Elevations
 PHASE: Construction Documents

PROJECT: Alpine Ridge - Units 37 & 38
 Pittsford, New York
 CLIENT: Morrell Builders
 JOB NO.: A21-038
 DATE: June 2021

CKH architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.: A-1

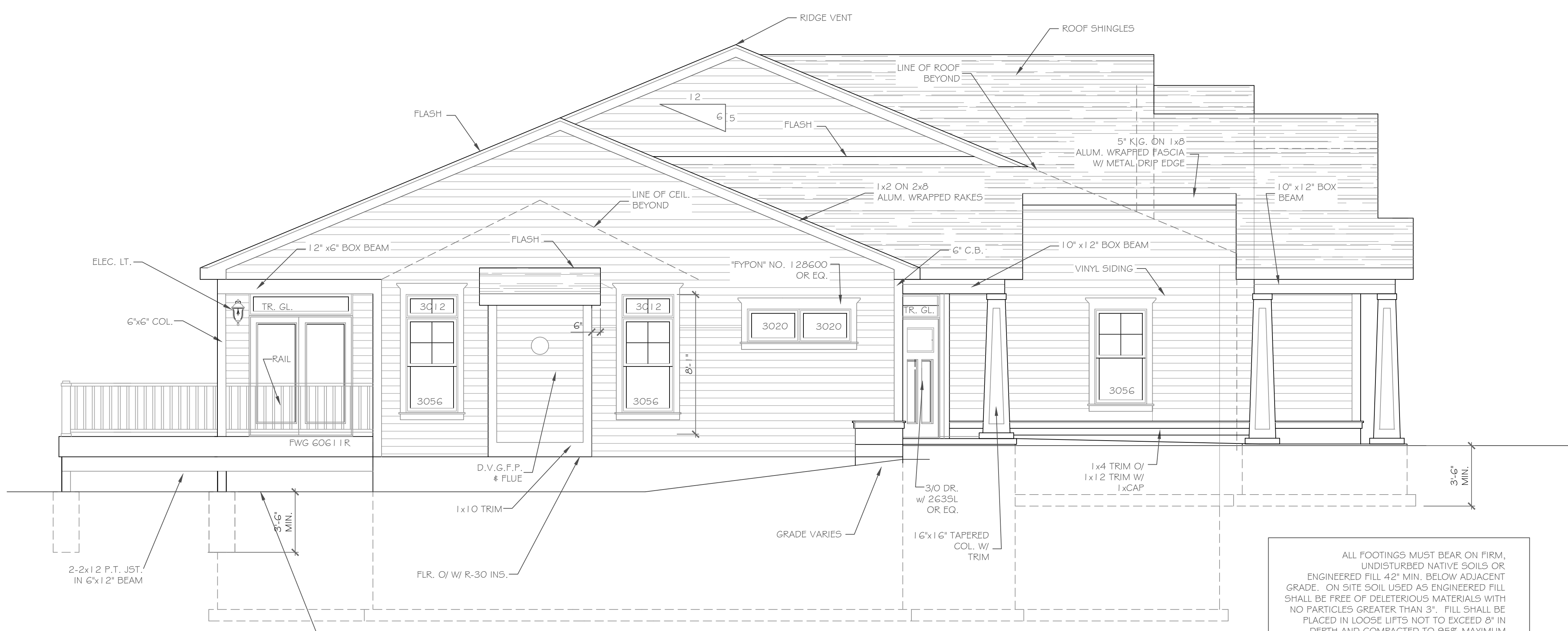


REAR ELEVATION - LOT 38
1/4" = 1'-0"

REAR ELEVATION - LOT 37
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1



LEFT SIDE ELEVATION - LOT 37
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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CKH Architecture, P.A.
Copyright ©
All rights reserved.

REVISIONS-	NO.	DATE	DESCRIPTION
	1	8/20	COVERED DECK - LOT 39

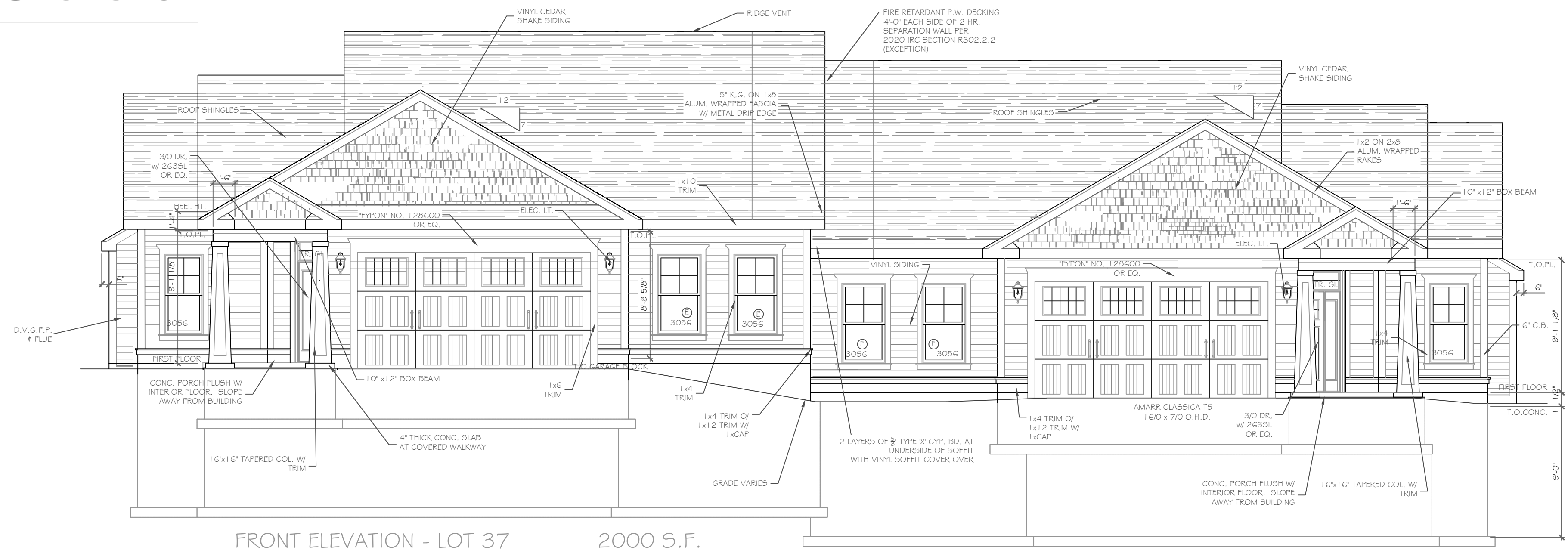
DRAWING TITLE:	Elevations
PROJECT:	Alpine Ridge - Units 37 & 38 Pittsford, New York
CLIENT:	Morrell Builders
JOB NO.:	A21-038
DATE:	June 2021
PHASE:	Construction Documents

PROJECT:	Alpine Ridge - Units 37 & 38 Pittsford, New York
CLIENT:	Morrell Builders
JOB NO.:	A21-038
DATE:	June 2021
PHASE:	Construction Documents

CKH
architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
e-mail: CKHennessey@frontiernet.net

DRAWING NO.:	A-2
--------------	-----

Proposed



FRONT ELEVATION - LOT 37 2000 S.F.

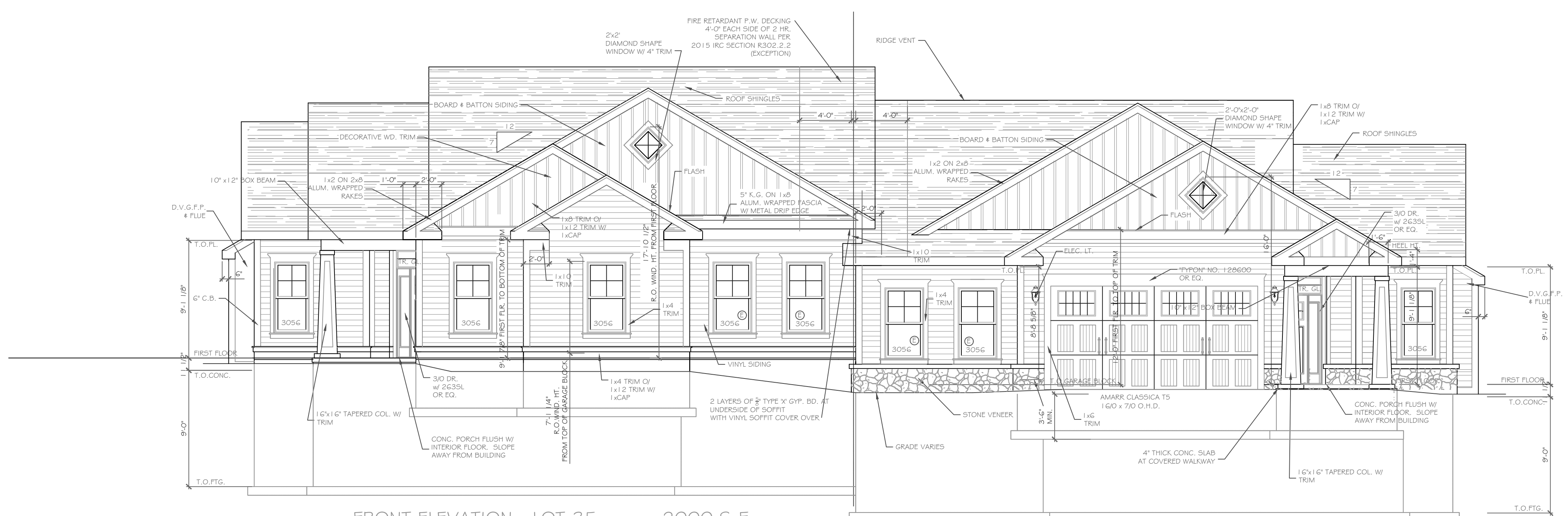
FRONT ELEVATION - LOT 38 1987 S.F.

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRUF" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D6937 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRUF" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

Approved



FRONT ELEVATION - LOT 35 2000 S.F.

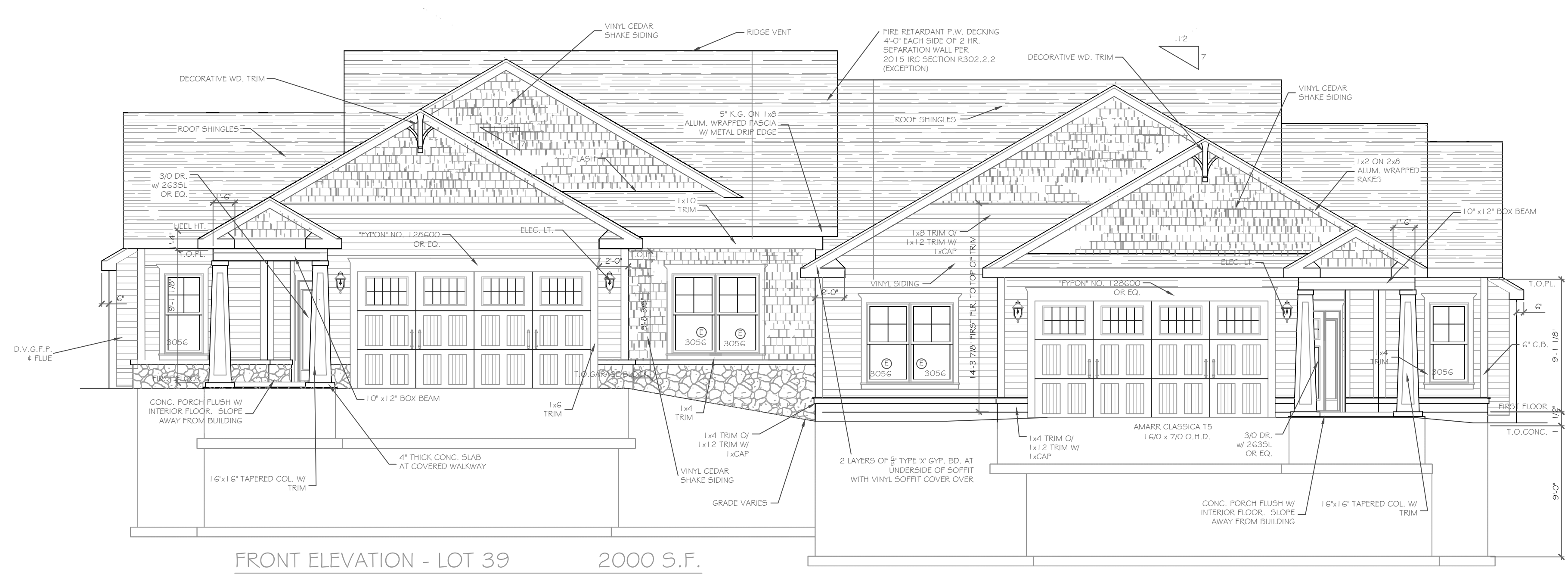
FRONT ELEVATION - LOT 36 2013 S.F.

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRUF" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D6937 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRUF" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

Approved



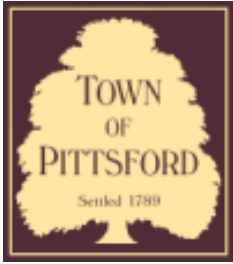
FRONT ELEVATION - LOT 39 2000 S.F.

FRONT ELEVATION - LOT 40 2013 S.F.

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRUF" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D6937 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "WVD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRUF" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C21-000032

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 519 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 137.20-2-5

Zoning District: SRAA Suburban Residential

Owner: Allendale Columbia School

Applicant: The Pike Co.

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition to Allendale Columbia School. The addition will be approximately 2080 square feet and will be utilized as a class room and childcare room.

Meeting Date: June 24, 2021

May 26, 2021

Mr. Doug Derue
Director of Planning, Zoning and Development
Town of Pittsford
11 South Main St.
Pittsford, NY 14534

RE: Addition to Allendale Columbia School

Dear Doug:

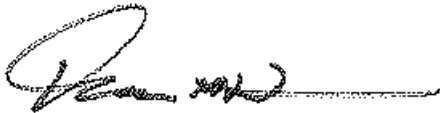
Enclosed please find information related to our application to the Design Review & Historic Preservation Board for the proposed addition to Allendale Columbia School. We are requesting to be on the agenda for June 10, 2021.

We are enclosing the following:

- DRHP application
- Initial Building Permit Application
- Aerial photo of the site indicating the location of the addition
- Site and Grading plan
- Architectural drawing showing the floor plan, elevations, a rendering and photos of the existing context
- An image of the proposed brick to be used

We trust this information will help the board in developing their understanding of the intent of the project and our goal to provide a building that blends seamlessly with the existing architectural context.

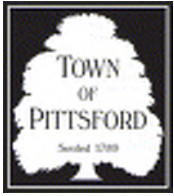
Very truly yours,



Trevor M. Harrison, AIA

Enclosure(s)

Copy: Pike, David Dworkin, BME



DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: Allendale Columbia

Name(s) of Property Owner(s): David Dworkin

Name of Applicant: Trevor Harrison - HBT Architects

Telephone Numbers: 244-3575 586-0490
(Owner) (Applicant)

Email Address: tharrison@hbtarchitects.com

PLEASE CHECK ONE

- REQUEST FOR APPROVAL** (Please provide a brief description of the project.)
- REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

Request for design review of a one story, 2080 sf classroom and childcare addition to Allendale Columbia School,

APPLICANT MUST PROVIDE:

- Building Permit Application
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.

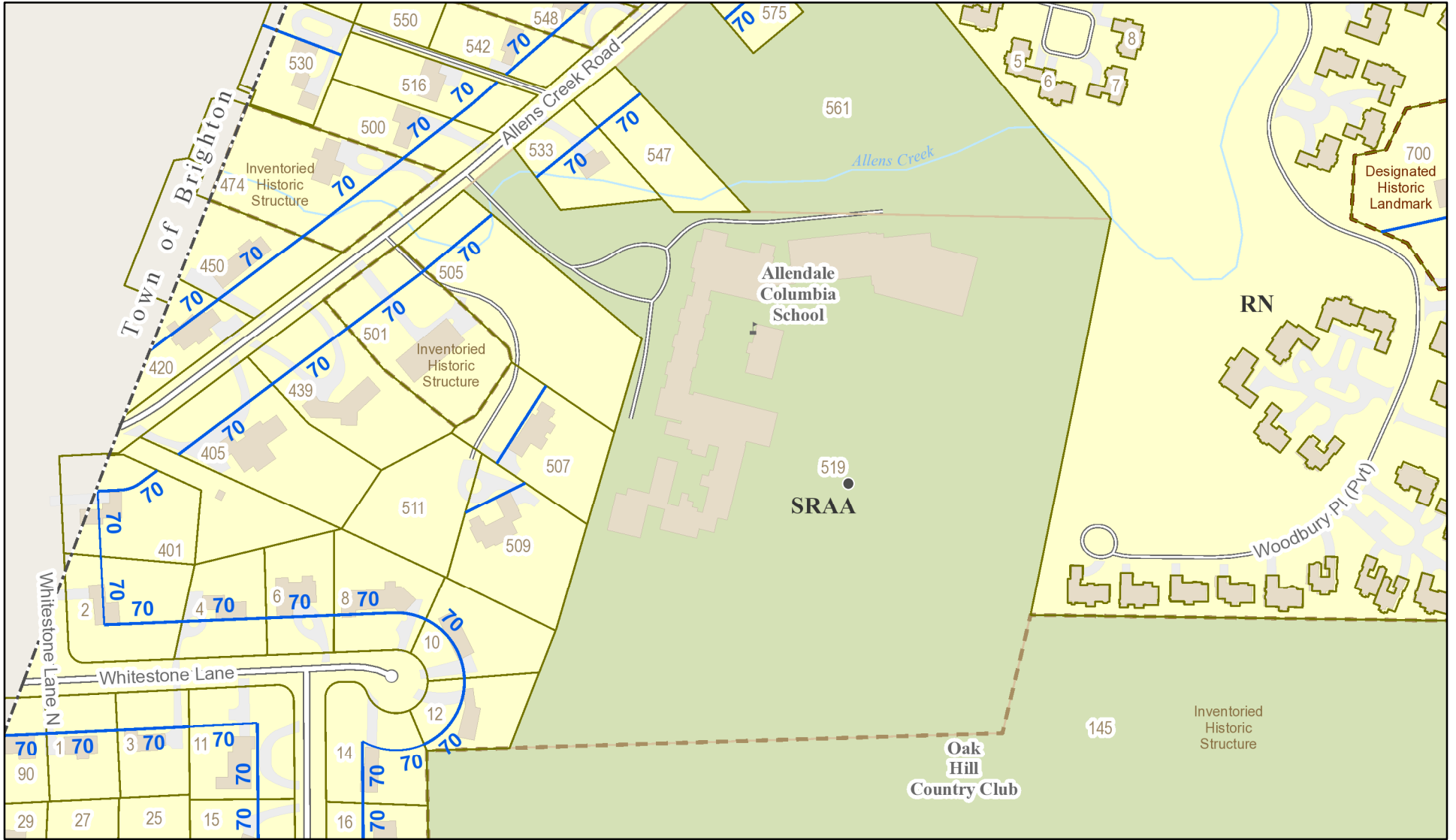
RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

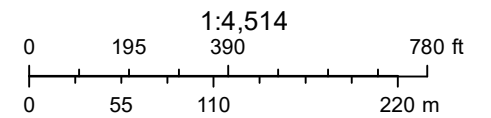
For Official Use Only

Received By _____ Received Date _____ Meeting Date _____

RN Residential Neighborhood Zoning



Printed June 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Allens Creek Road

Allens Creek Road

Driveway

Driveway

Driveway

Driveway

Woodbury Place

Woodbury P

Whitestone Lane

519

500

501

505

507

509

511

10

12

533

547

561

68

67

66

6

7



PROPOSED
BUILDING ADDITION

P:\2778\Drawings\Final\2778 Design Base.dwg

ALLENDALE COLUMBIA SCHOOL
AERIAL PHOTOGRAPH EXHIBIT
Town of Pittsford, Monroe County, New York

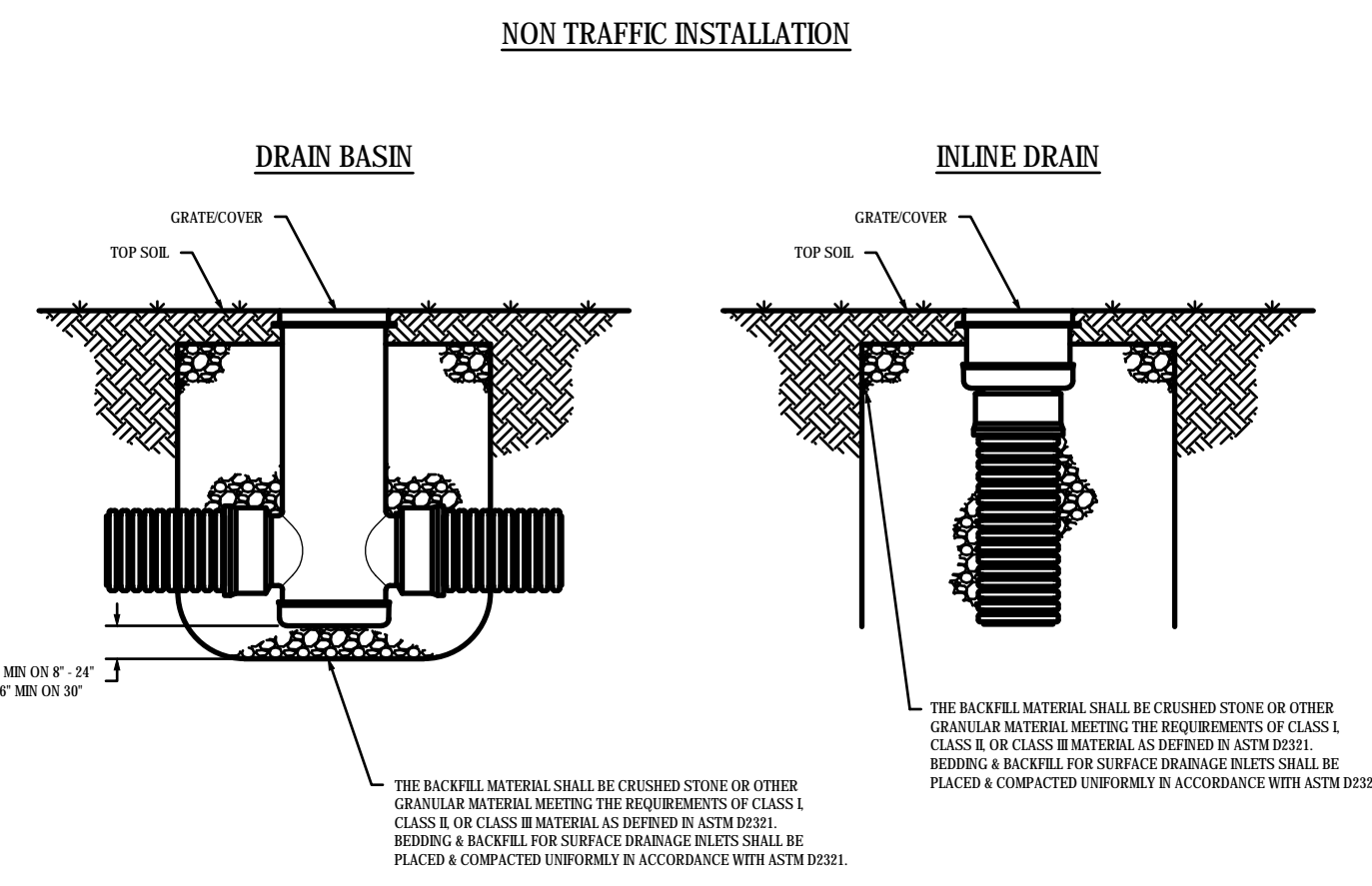
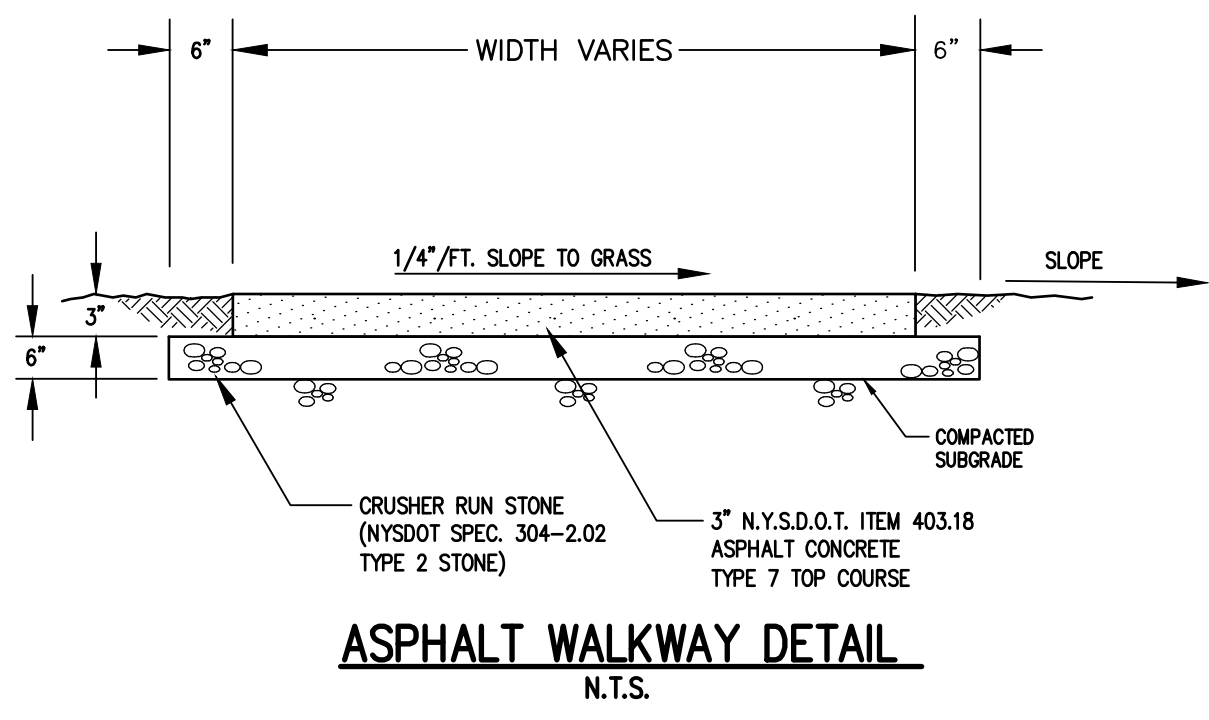
Scale:
1' = 100'

Date: 05/05/2021
Project Number: 2778

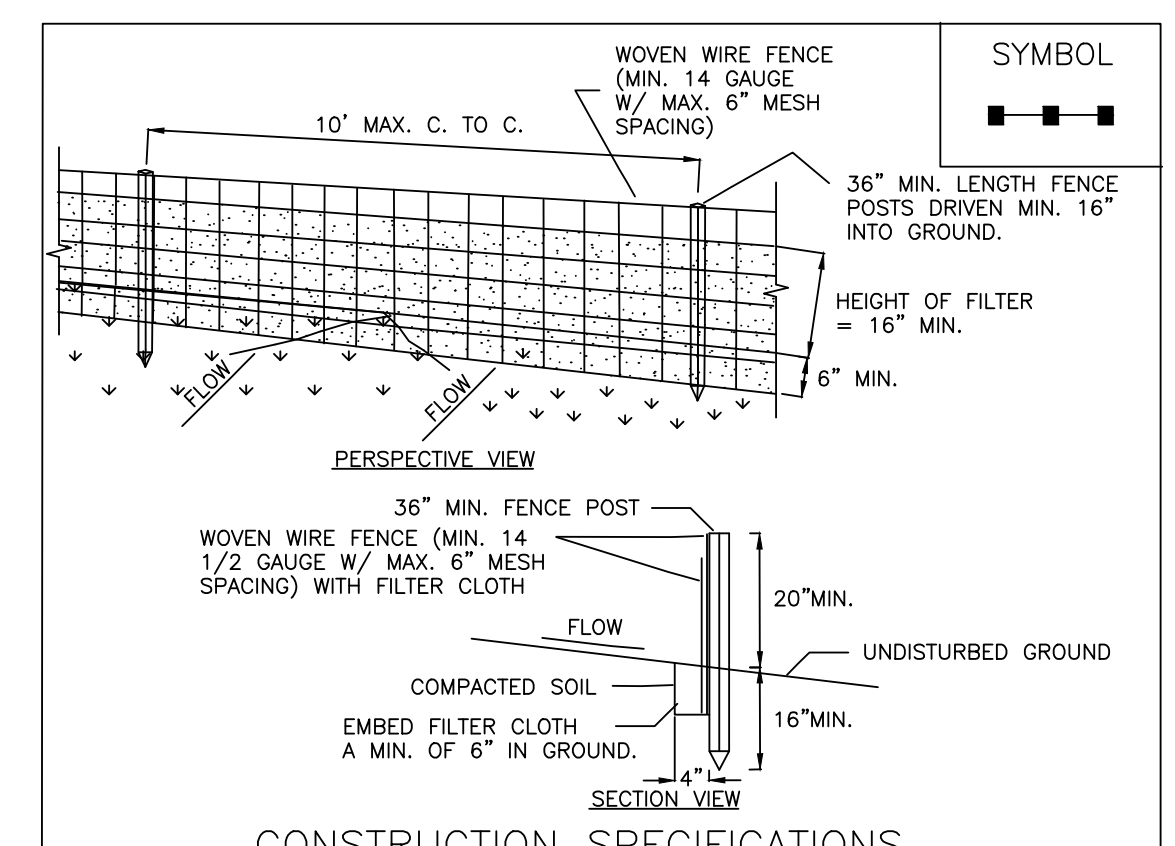


BME ASSOCIATES
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10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7560
WWW.BMEPC.COM

P.L. 2778 Drawings Vfinal 2/7/20 Design Base.dwg

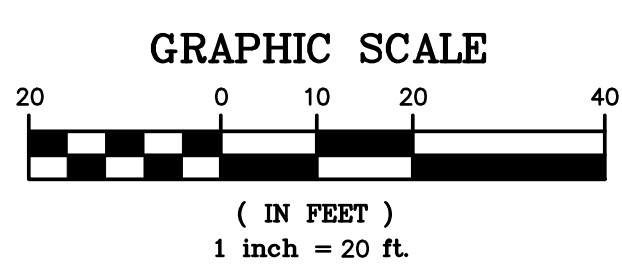


DESIGNED BY	DATE	REVISION
REVISED BY	DATE	DESCRIPTION
PROJECT NO.	DATE	
SCALE	SCALE	SCALE
DWG. NO.	DWG. NO.	DWG. NO.



- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



LEGEND	DESCRIPTION
---	BOUNDARY LINE
---	CENTERLINE
---	SETBACK LINE
○	PROPERTY MARKER FOUND
△	CONCRETE HIGHWAY MONUMENT FOUND
●	WOOD FENCE POST FOUND
+	EX. WATERMAIN, HYDRANT AND VALVE
○	PROP. WATERMAIN, HYDRANT AND VALVE
□	EXISTING STORM SEWER, AND MANHOLE
○	PROPOSED STORM SEWER, MANHOLE AND INLET
□	EXISTING SANITARY SEWER AND MANHOLE
○	PROPOSED SANITARY SEWER AND MANHOLE
---	EXISTING TREELINE
---	PROPOSED TREE LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED FINISHED GRADE

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

CONSTRUCTION EROSION CONTROL NOTES:

- THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF AN EROSION AND SEDIMENT CONTROL PLAN ONLY. THE PROJECT PLANS CONSIST OF THE GRADING PLAN, THE CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF PITTSFORD DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE PLANS FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

PERENNIAL RYE GRASS	LBS/ACRE	% BY PURITY	% GERM
RED FESCUE	35	85	85
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKLIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.
- ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEED.
- ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
- THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.

GRADING NOTES:

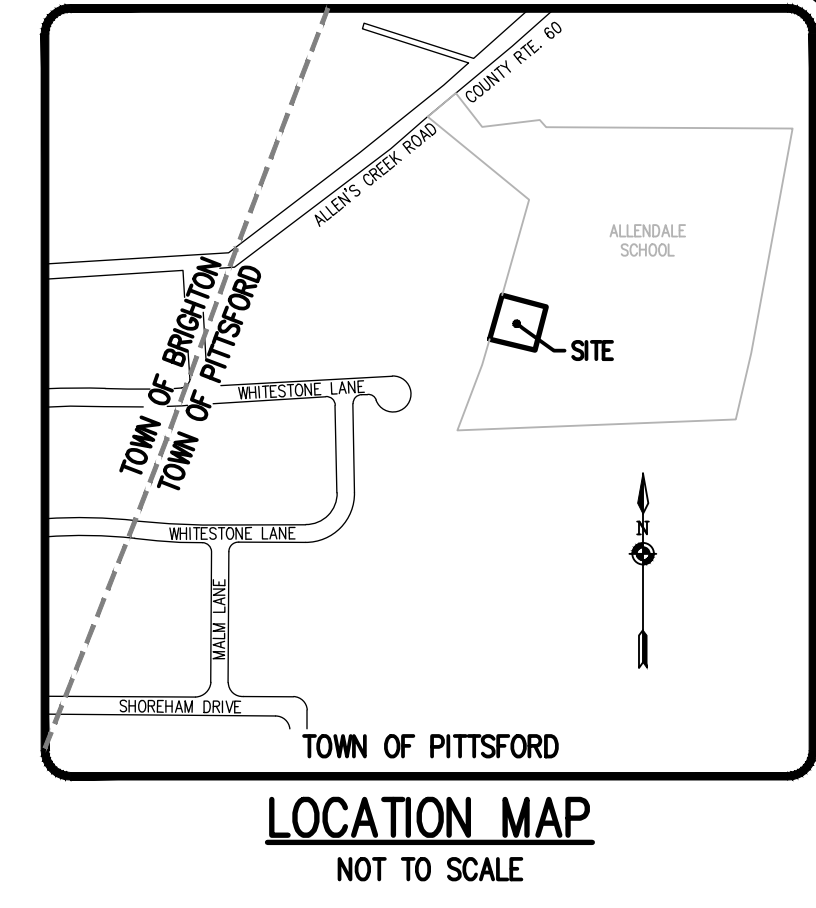
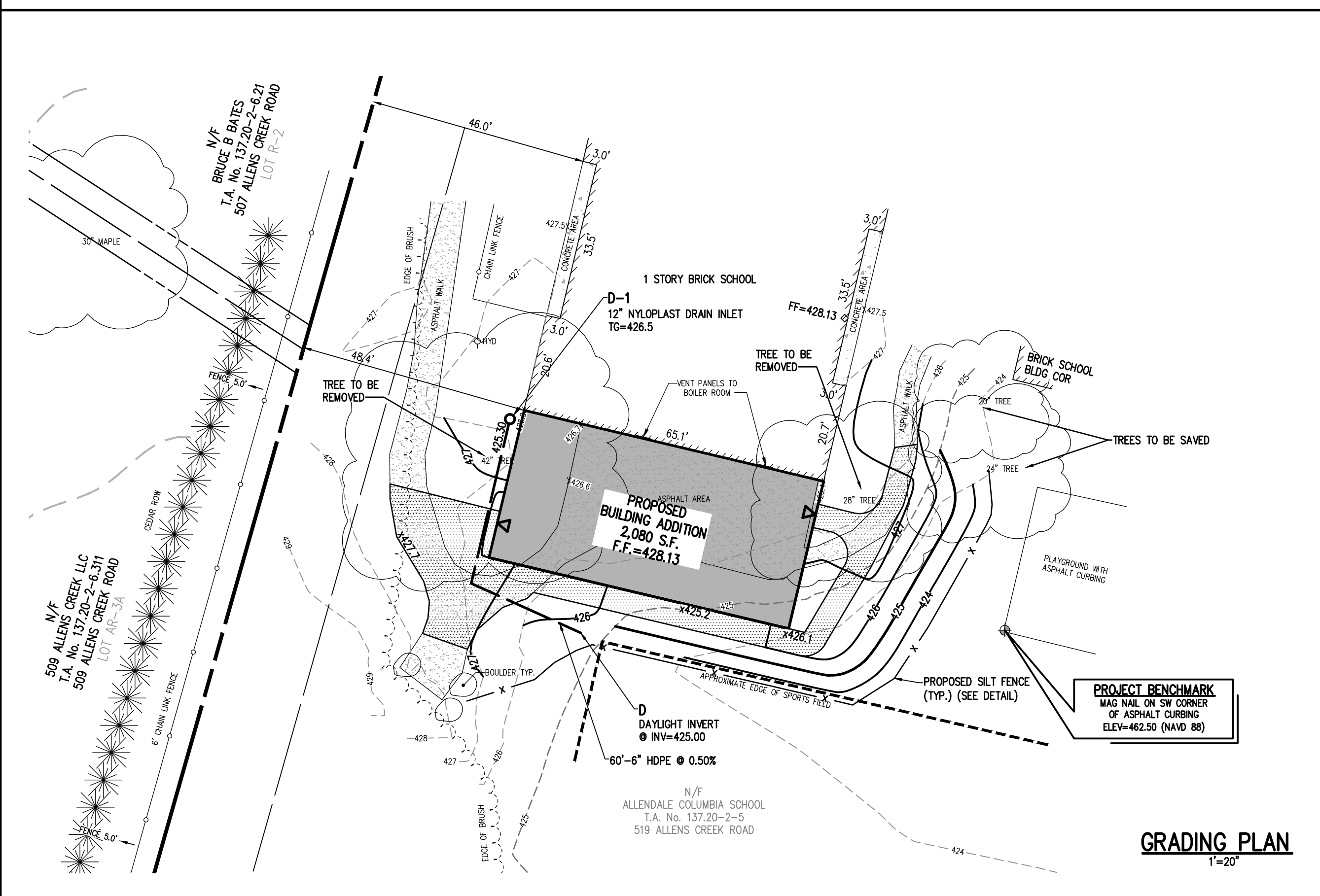
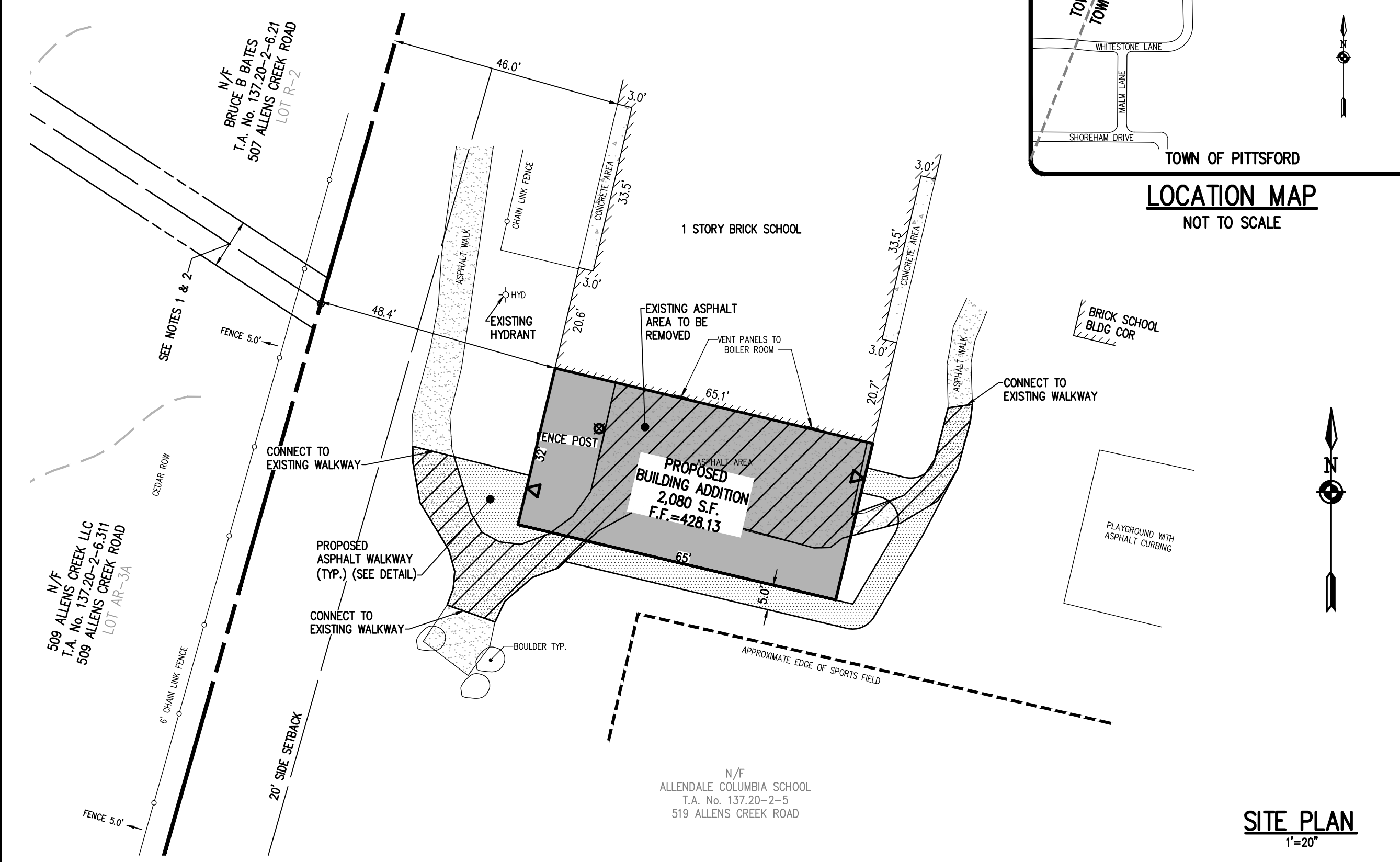
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPDO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONTROL DUST ON SITE AS DIRECTED BY THE TOWN OF PITTSFORD.

SITE NOTES:

- TOTAL PROJECT AREA = 29.4 ACRES
T.A. 137.16-02-008 : 0.43 ACRES
T.A. 137.16-02-009 : 7.10 ACRES
T.A. 137.20-02-004 : 0.74 ACRES
T.A. 137.20-02-005 : 21.20 ACRES
- EXISTING ZONING IS SRAA SUBURBAN RESIDENTIAL.
- EXISTING USE: SCHOOL USE PERMITTED PER A SPECIAL USE PERMIT PER SECTION 185-34.1.C OF THE TOWN CODE.
- PROPOSED USE: ±2,080 S.F. BUILDING ADDITION.
- SPECIAL USE PERMIT TO BE ISSUED BY THE PLANNING BOARD PER SECTION 185-133 OF THE TOWN CODE.
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:
BUILDING HEIGHT 30' MAX. ± 15'
SIDE SETBACK 20' ± 48'
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PITTSFORD AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.

APPROVALS

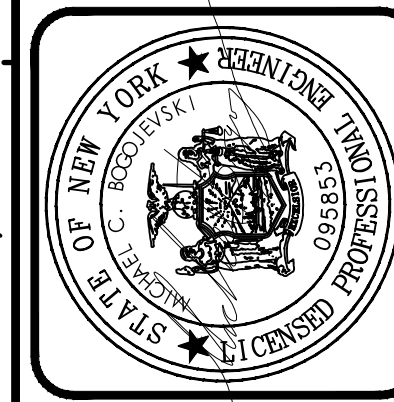
BY:	DATE:
TOWN ENGINEER	
BY:	DATE:
COMMISSIONER OF PUBLIC WORKS	
BY:	DATE:
PLANNING BOARD ATTORNEY	



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation altered by followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14610
WWW.BMEPCC.COM
PHONE: 585-577-7380
FAX: 585-577-7389



ALLENDALE COLUMBIA SCHOOL
BUILDING ADDITION
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
OWNER: ALLENDALE COLUMBIA SCHOOL
519 ALLENS CREEK ROAD
ROCHESTER, NEW YORK 14618

FINAL SITE & GRADING PLAN

PROJECT: ALLENDALE COLUMBIA SCHOOL BUILDING ADDITION
LOCATION: TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
OWNER: ALLENDALE COLUMBIA SCHOOL
ROCHESTER, NEW YORK 14618

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: M. BOGOLJEVSKI
DRAWN BY: V. SCHLAGETER

SCALE: 1" = 20'
DATE ISSUED: MAY 5, 2021
PROJECT NO.: 2778
DRAWING NO.: 01

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 68, TAX MAP NUMBER 137.20-2-005; 137.20-2-004; 137.16-2-009; 137.16-2-008



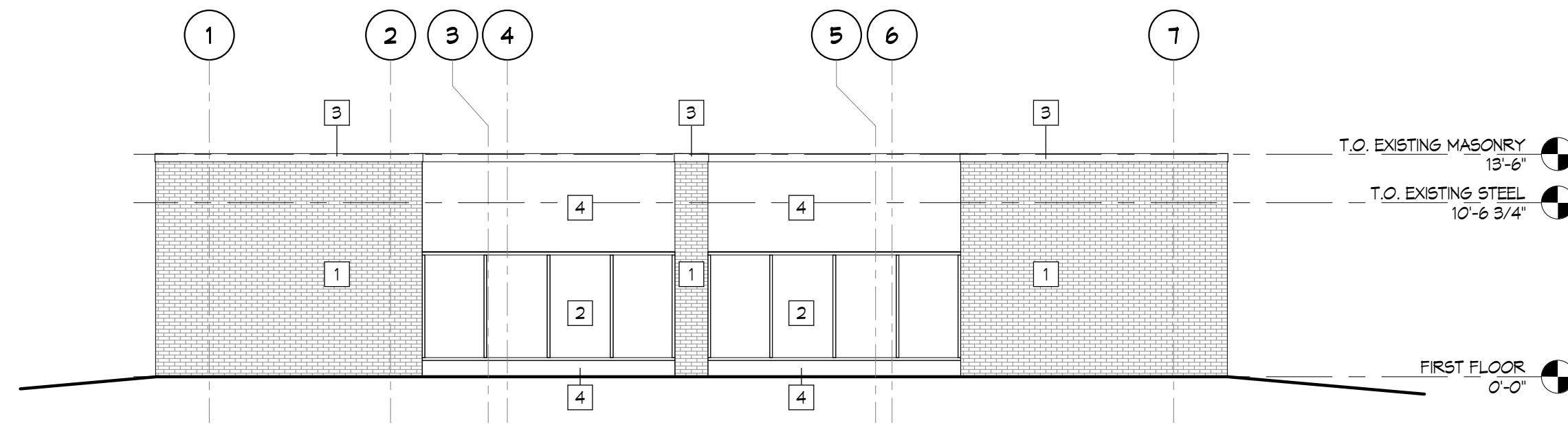
EXISTING VIEW FROM ENTRY GATE



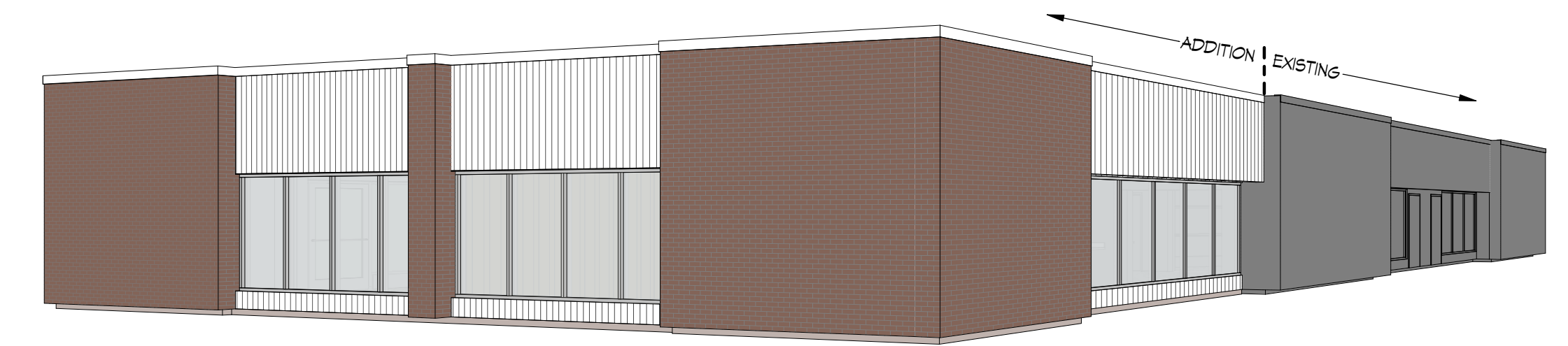
EXISTING VIEW FROM SOUTH WEST CORNER



EXISTING VIEW FROM SOCCER PITCH



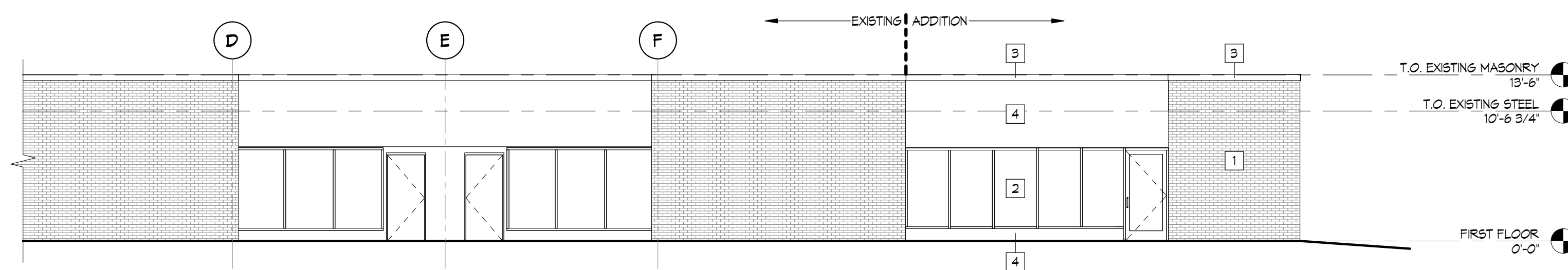
EXTERIOR FINISH LEGEND	
1	4" MODULAR BRICK VENEER TO MATCH EXISTING
2	MILLED FINISH ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
3	ALUMINUM COPING TO MATCH EXISTING
4	VINYL SIDING TO MATCH EXISTING



VIEW FROM SOCCER PITCH

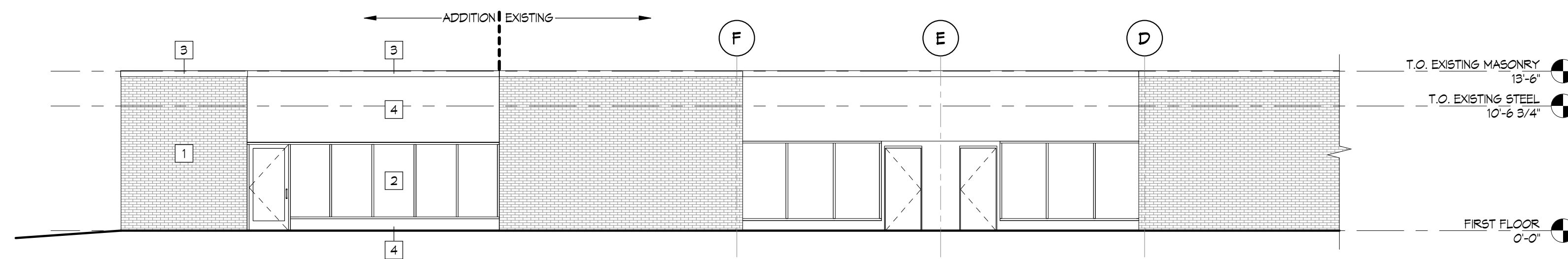
EAST ELEVATION

1/8" = 1'-0"



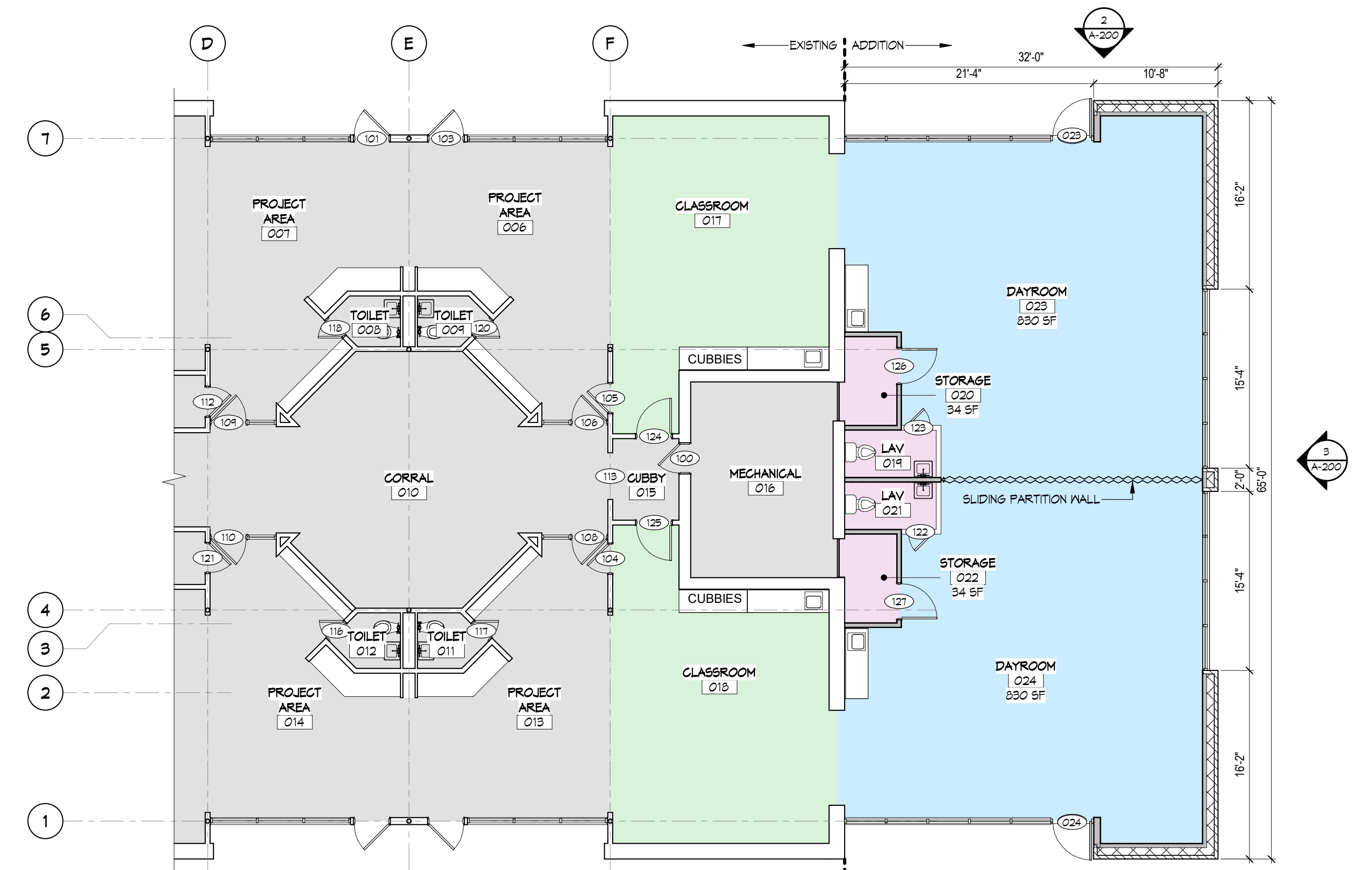
SOUTH ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

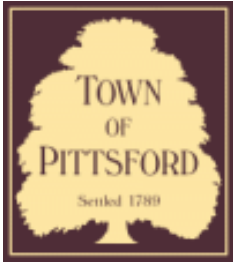
1/8" = 1'-0"



FIRST FLOOR PLAN

1/8" = 1'-0"





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000007

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 806 Linden Avenue ROCHESTER, NY 14625

Tax ID Number: 138.15-1-11.12

Zoning District: LI Light Industrial

Owner: Pavia Woodlawn, LLC

Applicant: Skylight Signs

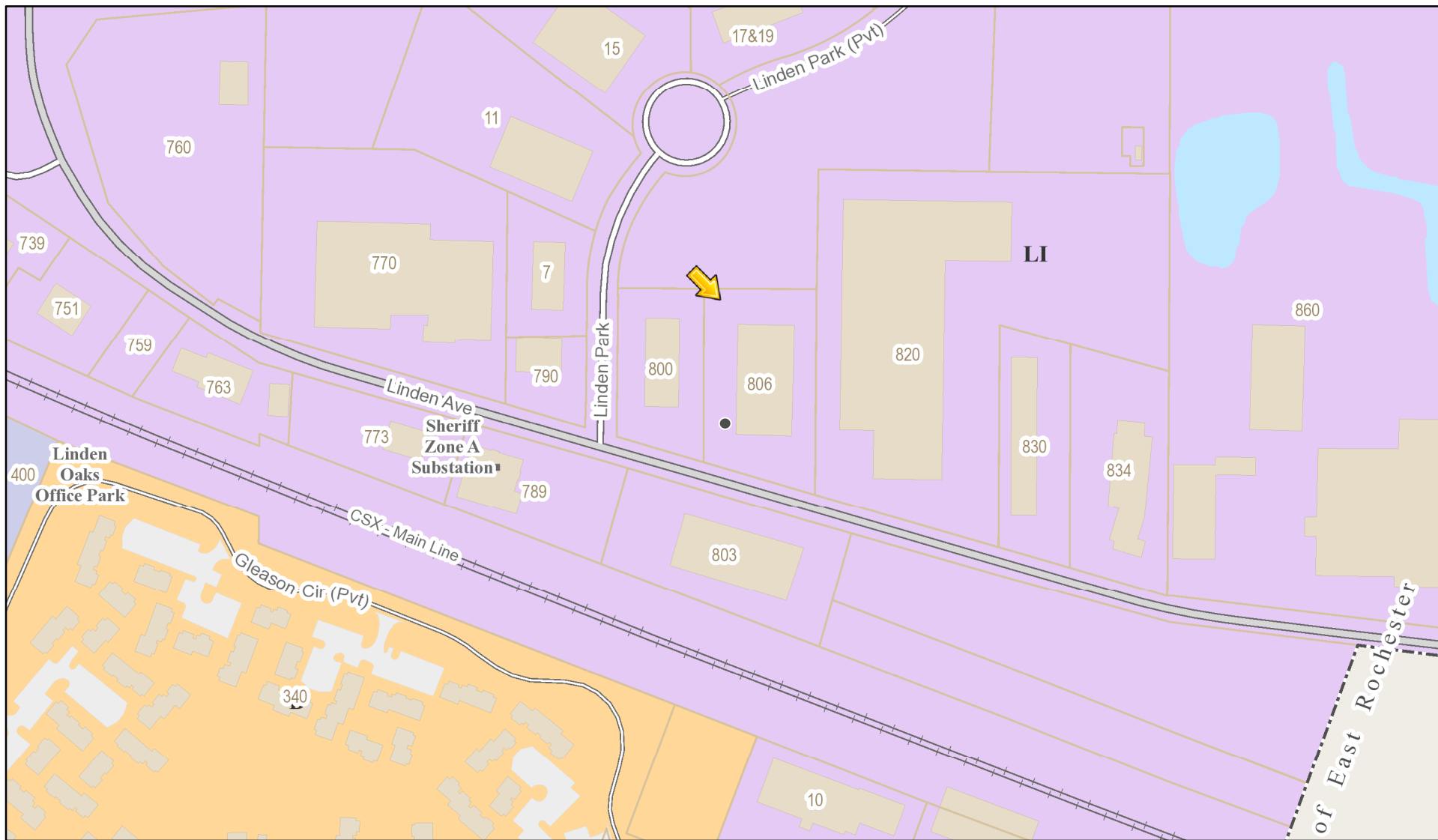
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

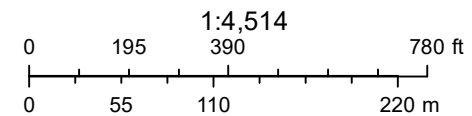
Project Description: Applicant has requested design review for the addition of two business identification signs. The building sign will be approximately 99 square feet and the sign at the road will be 8 square feet. Both signs meet zoning and will identify the business "John Betlem Heating & Cooling Inc."

Meeting Date: June 24, 2021

RN Residential Neighborhood Zoning



Printed June 17, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

Linden Park

800

806

Linden Avenue

820

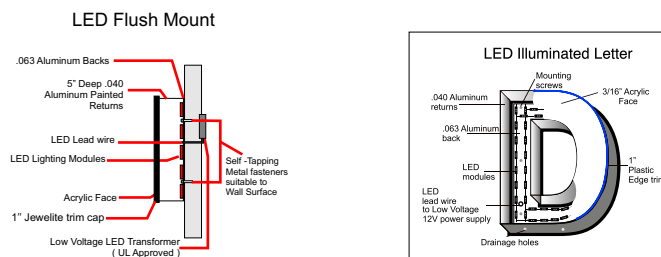
803





Sign: 99 sq ft

Description: (1) set of Internally illuminated face lit LED channel letters, line & (1) extruded aluminum cabinet sign with a lexan face and translucent vinyl applied graphics.
All to be flush mounted to metal fascia.



Color:
Returns: White
Trim Cap: Intense Blue 301
Acrylic: White
LED: White



Type of sign/s	Building Sign
Date	6/15/21
Customer Name	John Betlem
Address	806 Linden Ave.
Sign Location	

This original, conceptual, and or shop drawing has been created by SKYLIGHT SIGNS INC.

It is submitted for use within the above stated organization ONLY and/or other parties necessary to make signage decisions.

This drawing is not to be shown, e-mailed or transmitted in anyway to anyone outside of your organization, nor is it to be used, reproduced or exhibited in any way, without expressed written consent.

This custom artwork is for representational purposes only. Colors will not exactly match the paint or materials to be used.

ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC, UNLESS OTHERWISE STATED

skylight signs inc.

60 Industrial Park Circle
Rochester NY 14624
Phone 585 594-2500
Fax 585 594-2525

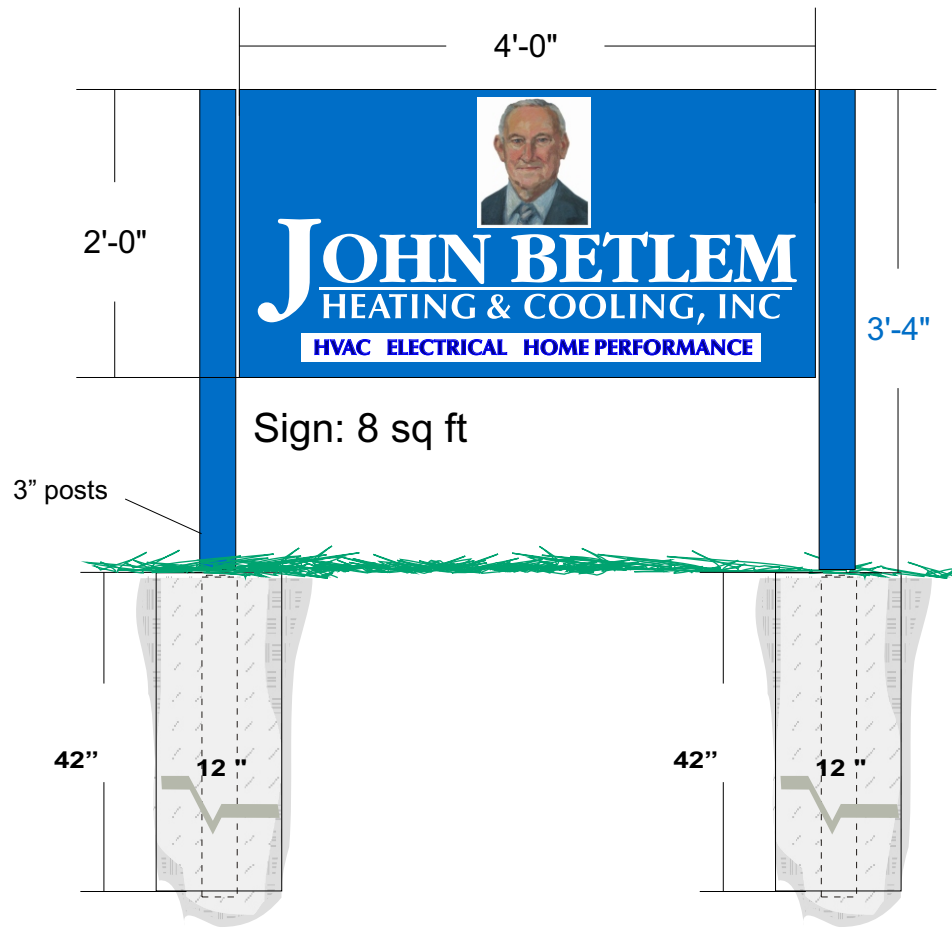
I have reviewed this drawing and accept it as shown. Any changes made to this drawing at any time will affect the contract price. Any and all changes to this drawing must be accompanied by written explanation and approved by both parties prior to production.

Customer Signature: _____

Date: _____

Landlord Signature: _____

Date: _____

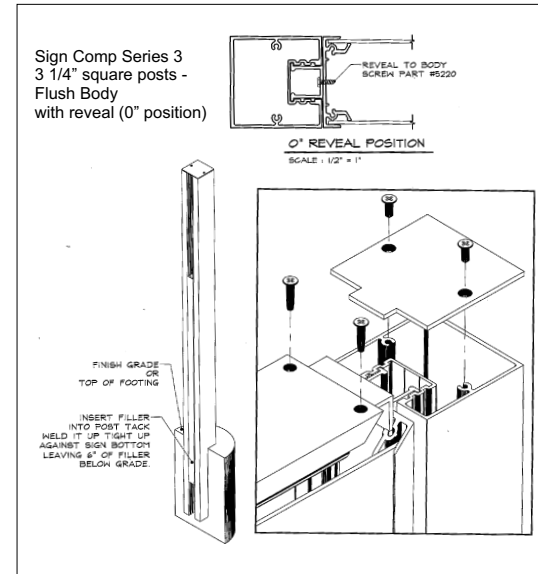


Color: shown: Intense blue Pantone 300

Description:

(1) Sign Comp Series 3 Extruded Aluminum, Bleed body post & panel sign.

Sign posts, panels & frame to be painted finish.
 Copy to be vinyl applied and digital print
 Colors: White posts, White Panel.



Type of sign/s	Building Sign
Date	6/07/21
Customer Name	John Betlem
Address	806 Linden Ave.
Sign Location	

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