

**Design Review & Historic Preservation Board  
Agenda  
October 24, 2019**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW - RETURNING**

- **345 Kilbourn Road**

The Applicant is returning to request design review for the design change to garage. The Applicant was held over from the September 26th meeting and asked to consider making some design changes. The project has appeared before the Zoning Board on August 19, 2019 for the removal of the attached portion of the previously approved garage. The Zoning Board granted a variance for size and height.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **21 Barrington Hills**

The Applicant is requesting design review for the bedroom addition. The addition will be approximately 441 sq. ft. and will be located to the rear of the home.

- **5 Sturbridge Lane**

The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 240 sq. ft. and will be located on the north side of the home.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **4 Tor Hill**

The Applicant is requesting design and review for the construction of a one story single family home. The home will be approximately 1980 sq. ft. and will be located on Lot #26 of the Cottages at Malvern Hills.

- **4 & 6 Alpine Ridge**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 1 (#4 Alpine Ridge) will be 1852 sq. ft. and Lot 2 (#6 Alpine Ridge) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

- **Alpine Ridge Sign**

The Applicant is requesting design and review for the addition of a Monument sign at the entrance of the new Alpine Ridge Subdivision. An application was submitted to the Zoning Board requesting relief from code for the size of the sign.

**COMMERCIAL APPLICATION FOR REVIEW**

- **3100 Monroe Avenue – Cornell's Jeweler**

The Applicant is requesting design review for the replacement of awnings and shutters. The awnings on the Cornell's Jewelers building will be recovered with sunbrella fabric in marine blue with canterbury cream graphics. Shutters will match the new awnings.

- **882 Linden Avenue - Carestream**

The Applicant is requesting an informal design review for the renovation of a 50,000 sq. ft. vacant building. The new owner is proposing to convert the building to self-storage with some general warehouse space.

- **3400 Monroe Avenue – Allens Creek Oral & Implant Surgery**

The Applicant is requesting design and review for the addition of a business Identification sign. The sign will identify "Allens Creek Oral and Implant Surgery" and will be approximately 56 sq. ft.

**OTHER – REVIEW OF 9/26/2019 MINUTES**

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**September 26, 2019**

**PRESENT**

Dirk Schneider, Chairman, Paul Whitbeck, John Mitchell, Kathleen Cristman, Bonnie Salem, Leticia Fornataro

**ALSO PRESENT**

Stephanie Townsend, Town Board Liaison; Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector, Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney

**ABSENT**

David Wigg

**HISTORIC PRESERVATION DISCUSSION**

The Board requested an update on the proposed demolition code. There will be no more public hearings on the matter and the Town Board will vote on the proposal in the future.

The banners for the historic district were discussed. The material will be vinyl. Funds for the plaque fund will be used for the banners. Allen Reitz agreed to meet with some Board members at the historic district to determine which poles will be used and determine the ownership in order to receive permission to hang the banners.

**RESIDENTIAL APPLICATION FOR REVIEW**

• **345 Kilbourn Road**

The Applicant is requesting design review for the design change to an existing approved attached garage. The applicant appeared before the Zoning Board on August 19, 2019 for the removal of the attached portion of the previously approved garage. By removing the attached portion, the garage becomes an oversized accessory structure. The Zoning Board granted a variance for size and height.

The homeowner, Kim Bailey, was present. She explained the necessity of changing the previously approved design to a detached garage. She described the change as the addition of dormers to add extra space.

The Board had many questions regarding the proposed addition. They felt that the changes more closely resembled a full addition of another story to the garage structure. They did not feel this new design is complementary to the total design of the structures. They noted that the previous construction to the house was not constructed as approved by the Board.

Although the Board made suggestions to assist the homeowner, ultimately they recommended that the homeowner work with her architect to find a design that is appropriate with the design of the home as it is currently. They stated that the total design including the new addition design and proposed garage needs to be complementary and will be both subject to approval.

This application was held open.

• **11 Hawkstone Way**

The Applicant is requesting design review for a dining room addition. The addition will be approximately 168 sq. ft. and will be located to the rear of the home. All materials will match the existing home.

Charlie Kenton of Ketmar was present. Mr. Kenton described the new addition.

The materials will match the existing.

Paul Whitbeck moved to approve the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **761 Allens Creek Road**

The Applicant is requesting design review for the addition of two porches and a mudroom/laundry area. The two porches will be approximately 402 sq. ft. combined and will be located on the front of the home. The mudroom/laundry area will connect the detached garage and the home and will be approximately 323 sq. ft.

The homeowner and contractor, Dan Ludwig was present.

He intends to connect the garage to the home and add a front porch. The chimney will be removed. The entire home will be resided. The existing roof will be asphalt and the new porch will be standing seam metal roofing. The deck will be trex composite decking.

Leticia Fornataro moved to accept the application as submitted. Bonnie Salem seconded.

All Ayes.

- **4 Wood Hill Road**

The Applicant is requesting design review for the addition of a porch. The porch will be approximately 236 sq. ft. and will be located to the rear of the property.

Paul Morobito was present to discuss the application with the Board.

Mr. Morobito described the project. The roof pitches and materials will match the existing on the house. A stone fireplace will be added.

Kathleen Cristman moved to accept the application as submitted.

All Ayes.

- **6 Windscape Park**

The Applicant is requesting design review for new additions to the current home. The addition will be located on the southwest side of the home and will be two stories with a 558 sq. ft. first floor, 590 sq. ft. second floor, 744 sq. ft. garage and a 702 sq. ft. porch.

The architect Patrick Morabito was present.

There is no change to the front of the home, all construction will occur in the rear.

The construction area backs to a conservation easement.

Some brick will be saved and mixed in with new brick which has been chosen to match the existing on the home. The garage door will be replaced. There is no brick in the back.

Paul Whitbeck moved to approve the application as submitted.

Dirk Schneider seconded.

All Ayes.

#### **RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **Lot 8 Clover Street**

The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 6800 sq. ft. and will be located on an empty lot on Clover Street. The applicant was approved for a height variance by the Zoning Board on September 16, 2019.

Jim Fahy of Fahy Design Associates and the homeowner, Mr. Khan were present.

Mr. Fahy reviewed the design of the home with the Board. The placement of the house on the lot is due to the unique topography. He indicated that during construction the healthy mature trees will be retained and the house “will fit like a glove” into the center of the lot. He stated the homeowner wishes privacy from Clover Street and a berm will be constructed and arbor vitae will be planted. The exterior to the north and east will be brick and the exterior to the west and south will be clapboard Hardi plank.

The total height of the house has been reduced by five feet. The Board expressed that they appreciated the architect taking their comments into consideration.

John Mitchell questioned the grading plan. Mr. Fahy insisted that the finished effect will reflect what is promised.

Dirk Schneider moved to approve the application as submitted.

Letiticia Fornataro seconded.

All Ayes.

- **17 Lexton Way**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2052 sq. ft. and will be located in the Wilshire Hills Subdivision.

Jeff Brokaw of Morrell Builders was present.

The Board inquired what the colors would be. Mr. Brokaw said they had not been chosen yet. The Board indicated that they would like to see some color variation in this neighborhood.

The garage doors will be as depicted in the drawing.

Bonnie Salem moved to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW**

- **3349 Monroe Avenue – CBD Releaf**

The Applicant is requesting design review for the addition of a business identification sign. The sign will identify the business "CBD Releaf Center" and will be located in Pittsford Plaza. The channel

letters will be individually mounted internally illuminated plastic with the sign being approximately 22.44 sq. ft.

Steve Stanley of Vital Signs was present.

The Board noted that the green color of the sign are not identical to the one next to it but is complementary.

The white box below will have some light coming through.

Paul Whitbeck moved to accept the application as submitted.

All Ayes.

- **790 Linden Avenue – Linden Oaks Dental**

The Applicant is requesting design review for the addition of a business identification sign. The sign will identify the "Linden Oaks Dental" practice and will be 12.9 sq. ft. The sign was approved by the Zoning Board for an increase in size of the original sign plan.

No representative was present.

It was noted that this sign was installed without approval. However, the Board felt the sign was appropriate for the area and attractive.

Kathleen Cristman moved to accept the application for a business identification sign as installed.

Bonnie Salem seconded.

All Ayes.

#### **OTHER – REVIEW OF 9/12/2019 MINUTES**

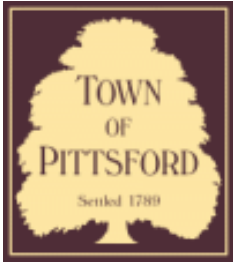
Dirk Schneider moved to approve the minutes of the 9/12/19 meeting as amended.

All Ayes.

The meeting adjourned at 8:50 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B18-000048**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 345 Kilbourn Road ROCHESTER, NY 14618

**Tax ID Number:** 138.18-3-1

**Zoning District:** RN Residential Neighborhood

**Owner:**

**Applicant:** Loyal Nine Development

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is returning to request design review for the design change to garage. The applicant was held over from the September 26th meeting and asked to consider making some design changes. The project has appeared before the Zoning Board on August 19, 2019 for the removal of the attached portion of the previously approved garage. The Zoning Board granted a variance for size and height.

**Meeting Date:** October 24, 2019



Kilbourn Road

345

359

365

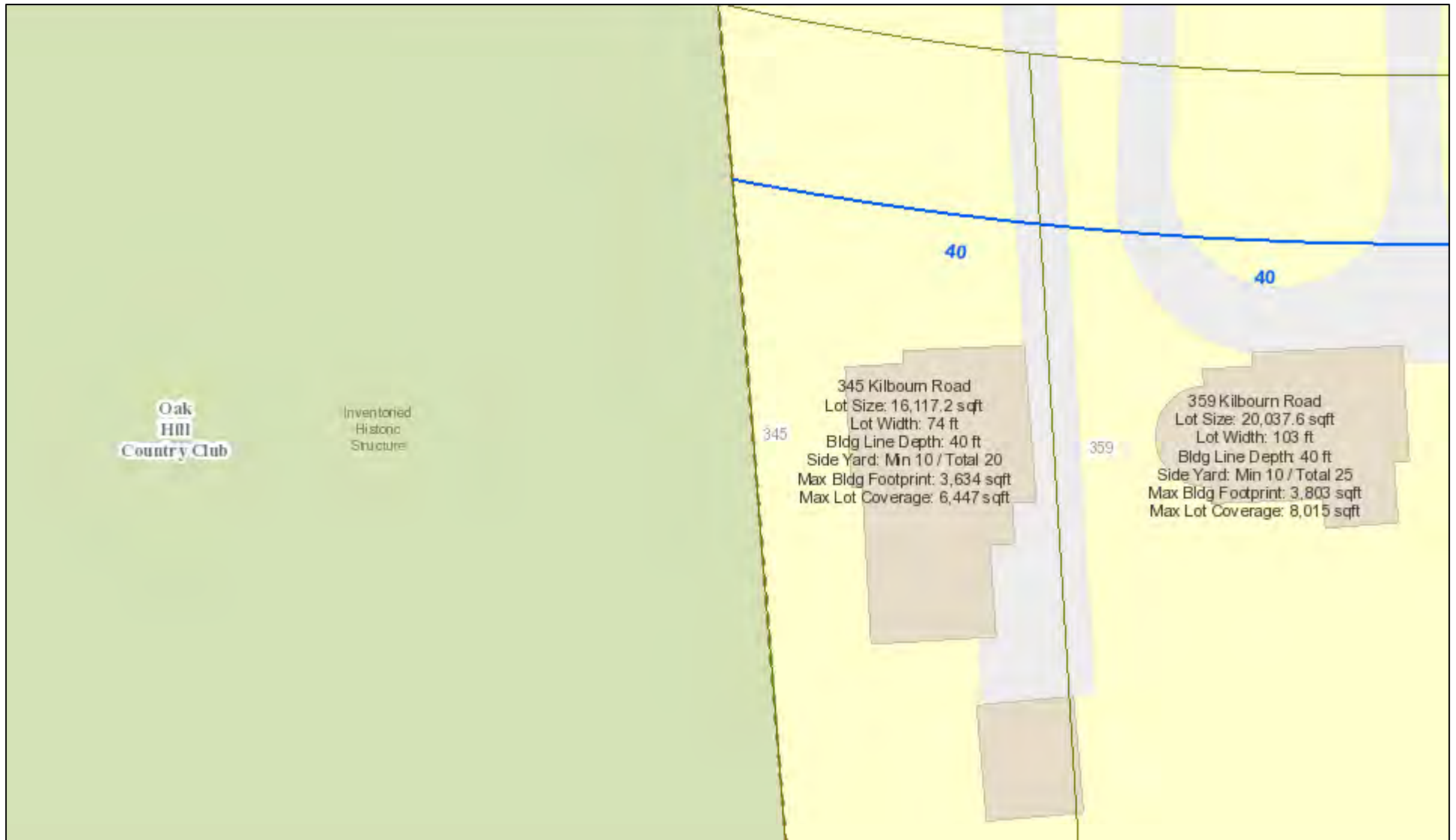
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180

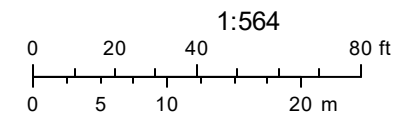




# RN Residential Neighborhood Zoning



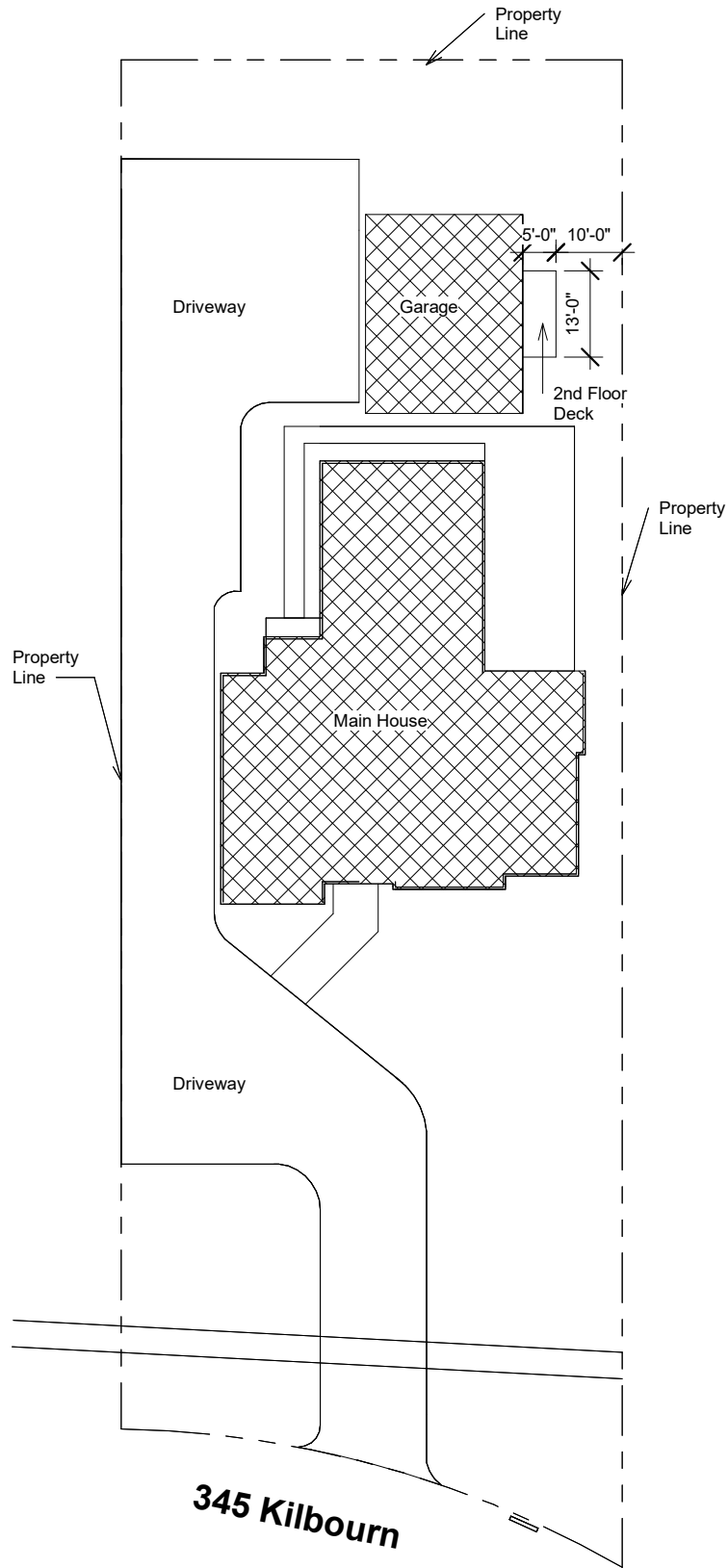
Printed April 5, 2018



Town of Pittsford GIS

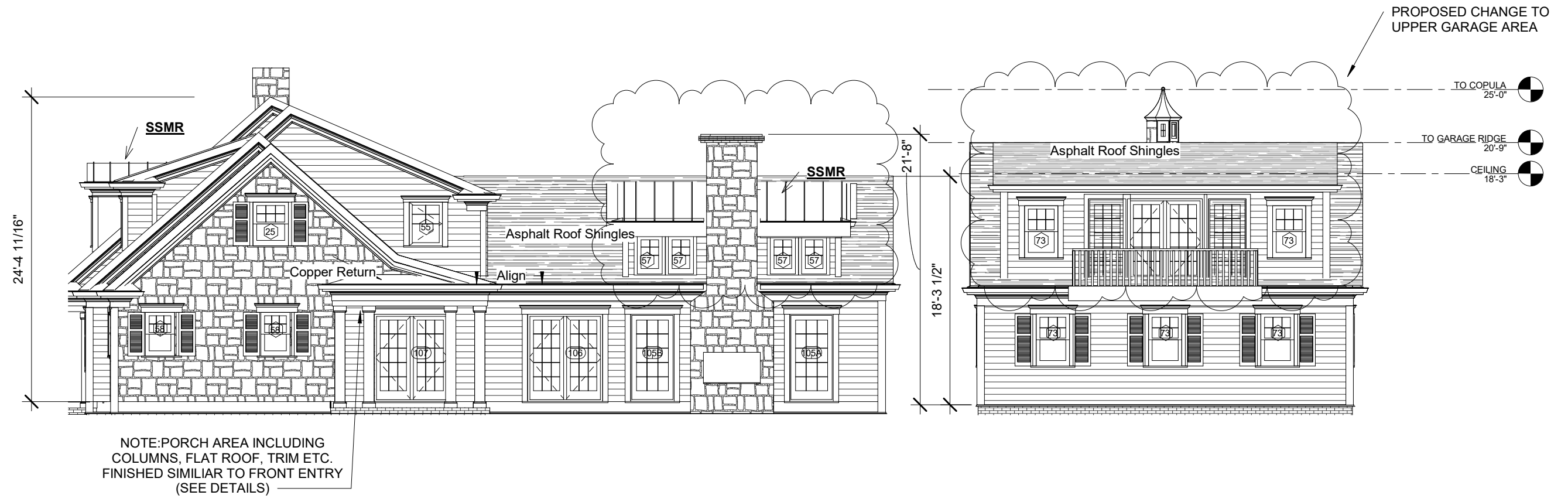
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

**Project: 345 Kilbourn Road**  
**Subject: Site Change (Garage Deck)**  
**Date: September 12, 2019**









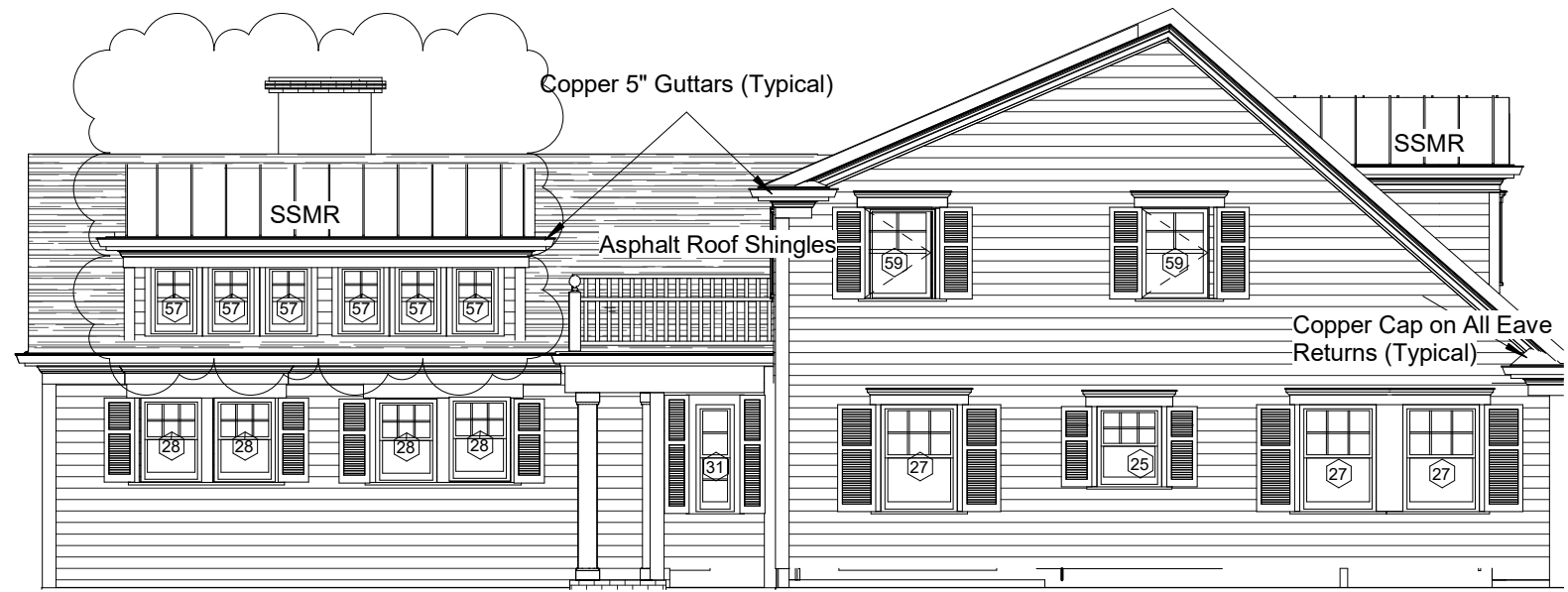
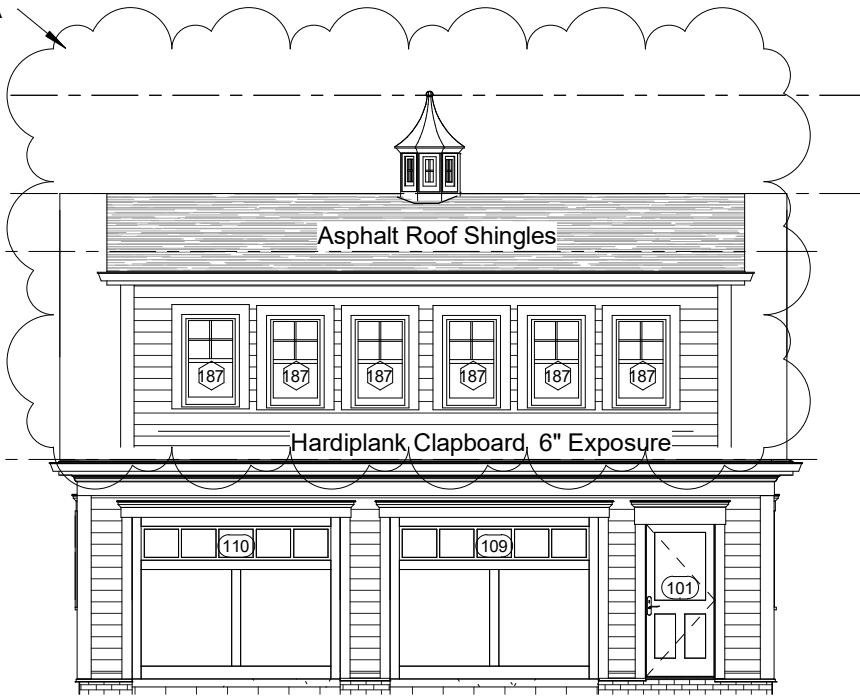
PROPOSED CHANGE  
TO UPPER GARAGE AREA

TO COPULA  
25'-0"

TO GARAGE RIDGE  
20'-9"

CEILING  
18'-3"

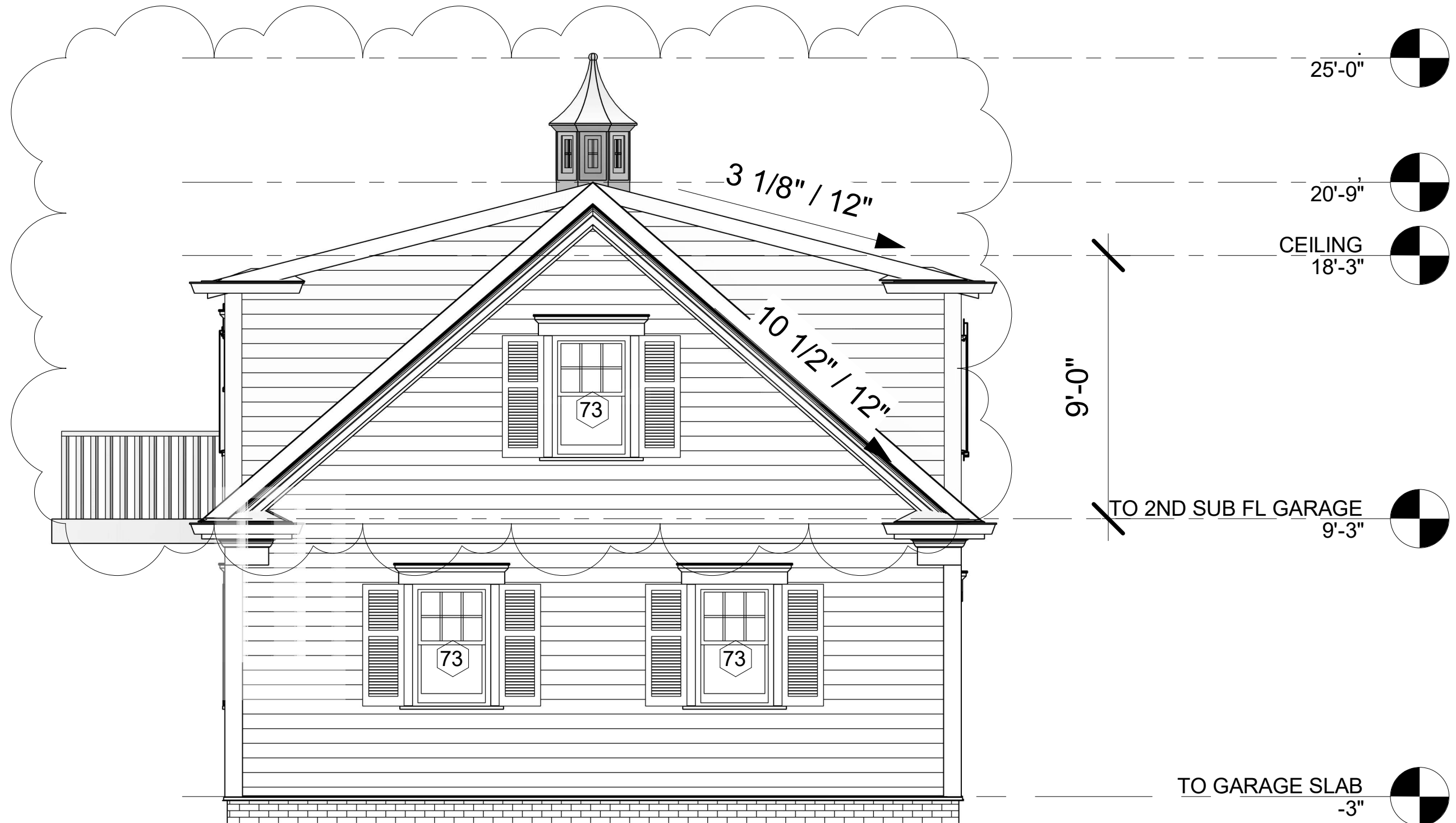
TO 2ND SUB FL GARAGE  
9'-3"











**\*9/26/2019 Submittal\***

PROPOSED CHANGE TO UPPER GARAGE AREA

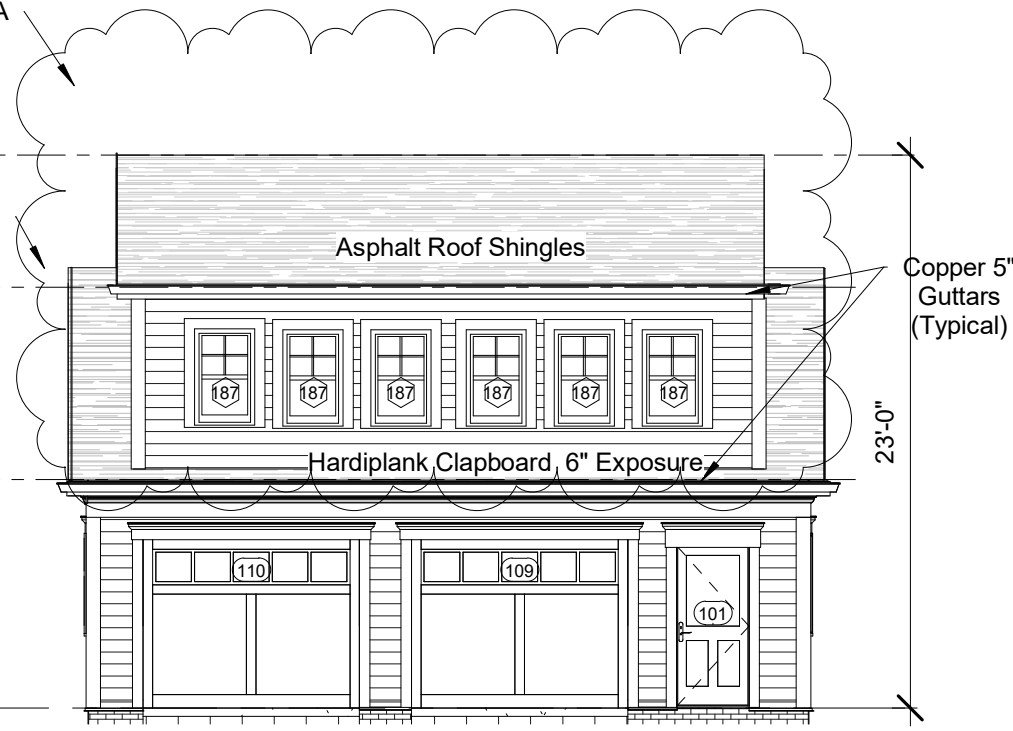
TO GARAGE RIDGE 22'-9"

EXISTING GARAGE ROOF

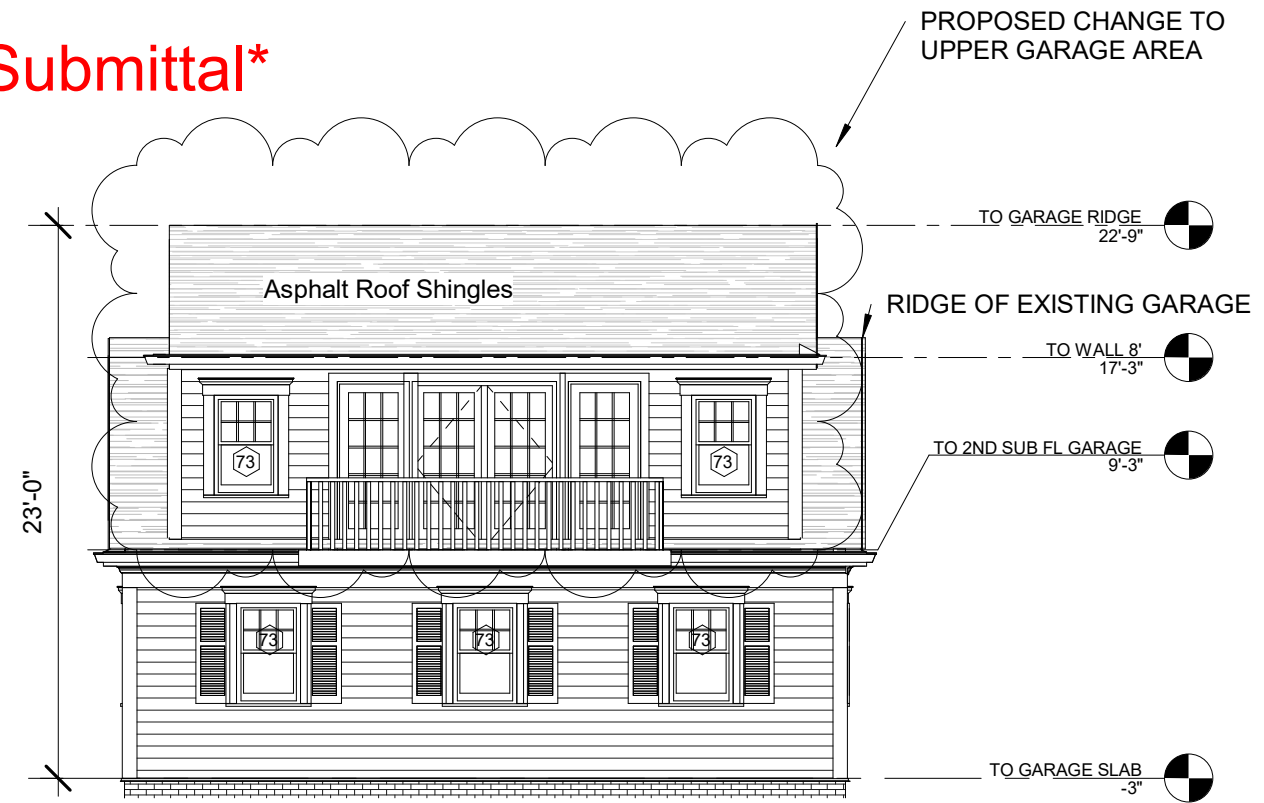
TO WALL 8' 17'-3"

TO 2ND SUB FL GARAGE 9'-3"

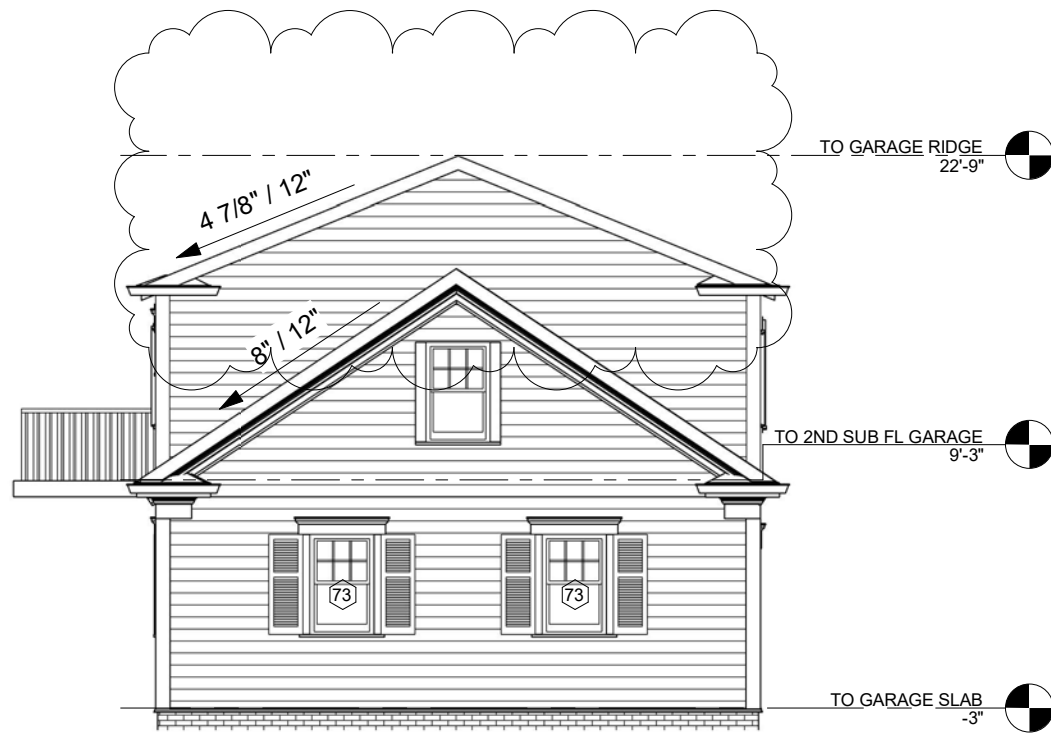
TO GARAGE SLAB -3"



1 EAST ELEVATION  
1/8" = 1'-0"



3 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



4 3D View 29 Copy 1



**S T A H L**  
**PROPERTY**  
**ASSOCIATES**

Rochester, NY 14618  
Telephone (585) 415-9882

345 KILBOURN ROAD

No	Desc	Date
1	Garage Changes	9/12

Project number	1118
Date	09/09/2119
Drawn by	GAS
Checked by	KB

Garage Revised  
Upper Level

**A15**

Scale 1/8" = 1'-0"

**\*PREVIOUSLY APPROVED GARAGE\***



① East Elevation  
1/8" = 1'-0"



**STAHL**  
PROPERTY  
ASSOCIATES

Rochester, NY 14618  
Telephone (585) 415-9882

RENOVATION  
of  
345 Kilbourn Road  
Rochester NY

No	Desc	Date

Project number 1118  
Date  
Drawn by *CAS*  
Checked by *Squawk*

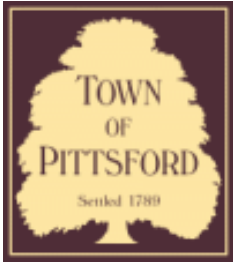
East Elevation

**A6**  
Scale 1/8" = 1'-0"









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000144**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 21 Barrington Hills PITTSFORD, NY 14534

**Tax ID Number:** 177.08-1-10

**Zoning District:** RN Residential Neighborhood

**Owner:** Luthra, Vinod K

**Applicant:** Luthra, Vinod K

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the bedroom addition. The addition will be approximately 441 Sq. Ft. and will be located to the rear of the home.

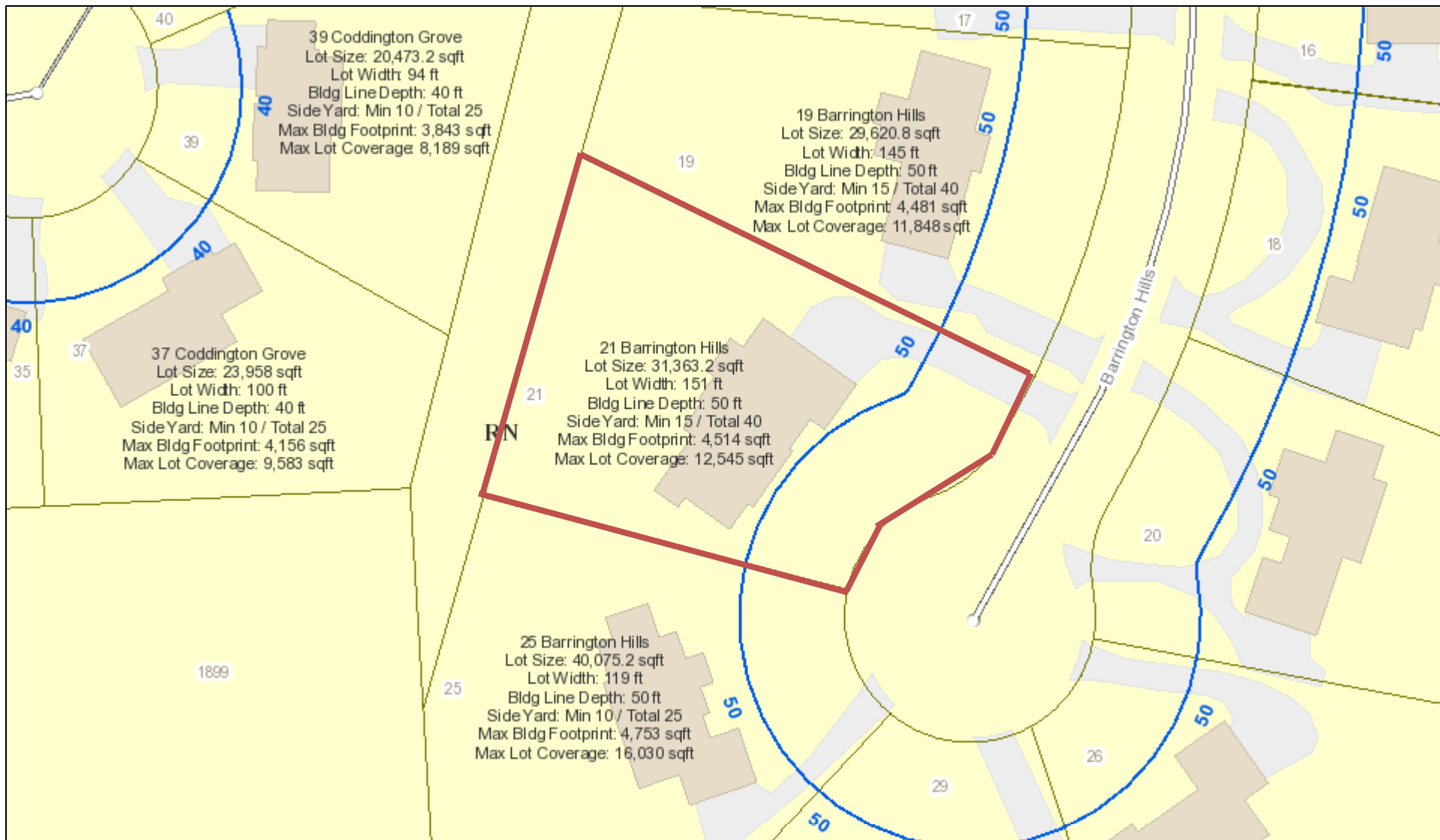
**Meeting Date:** October 24, 2019



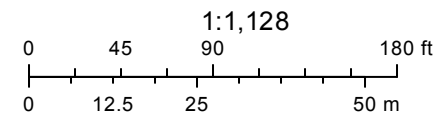
21



# RN Residential Neighborhood Zoning

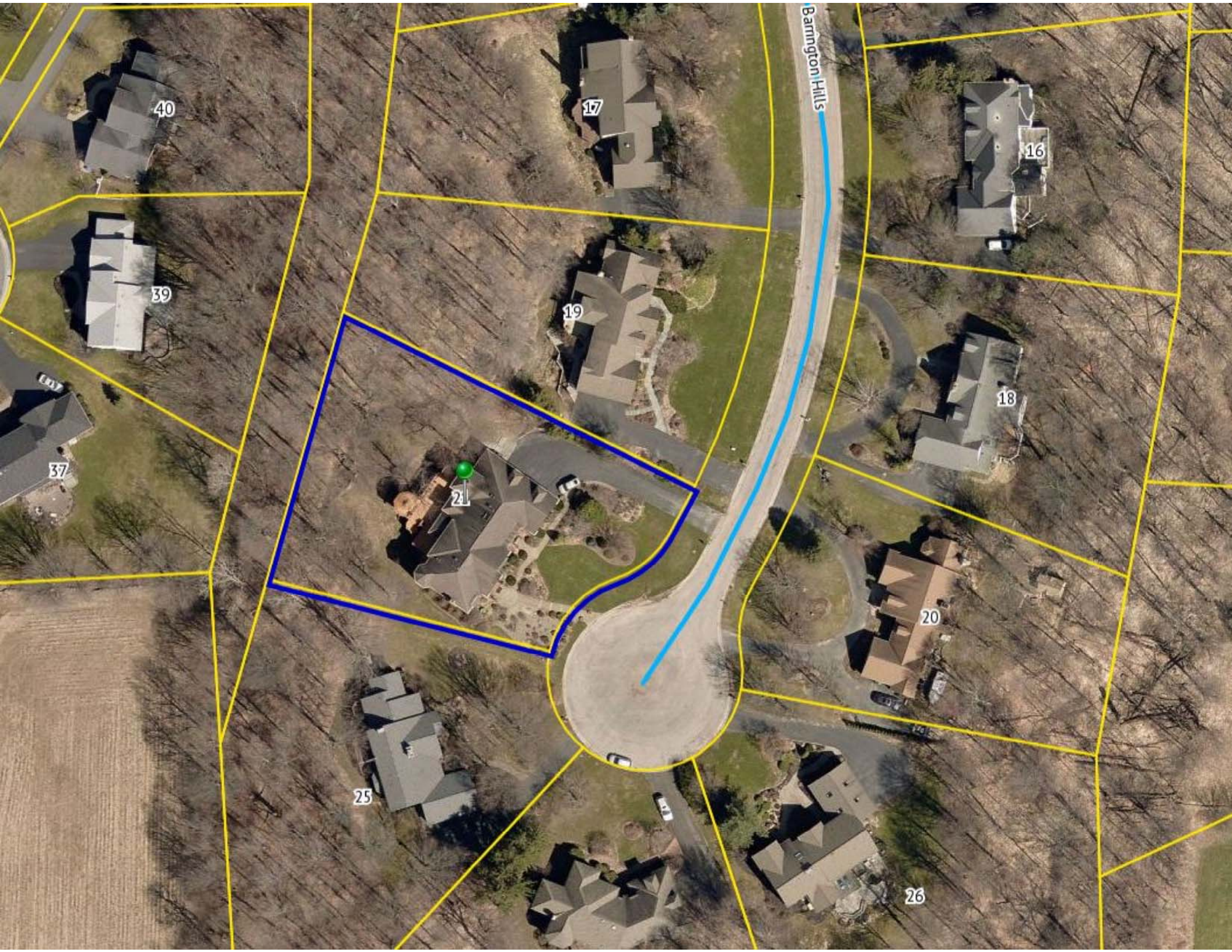


Printed October 3, 2019



Town of Pittsford GIS

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Barrington Hills

40

17

16

39

19

18

37

21

20

25

26

N13°40'32"E  
170.03'



WATER MAIN  
EDGE MENT TO  
MONROE COUNTY  
WATER AUTHORITY

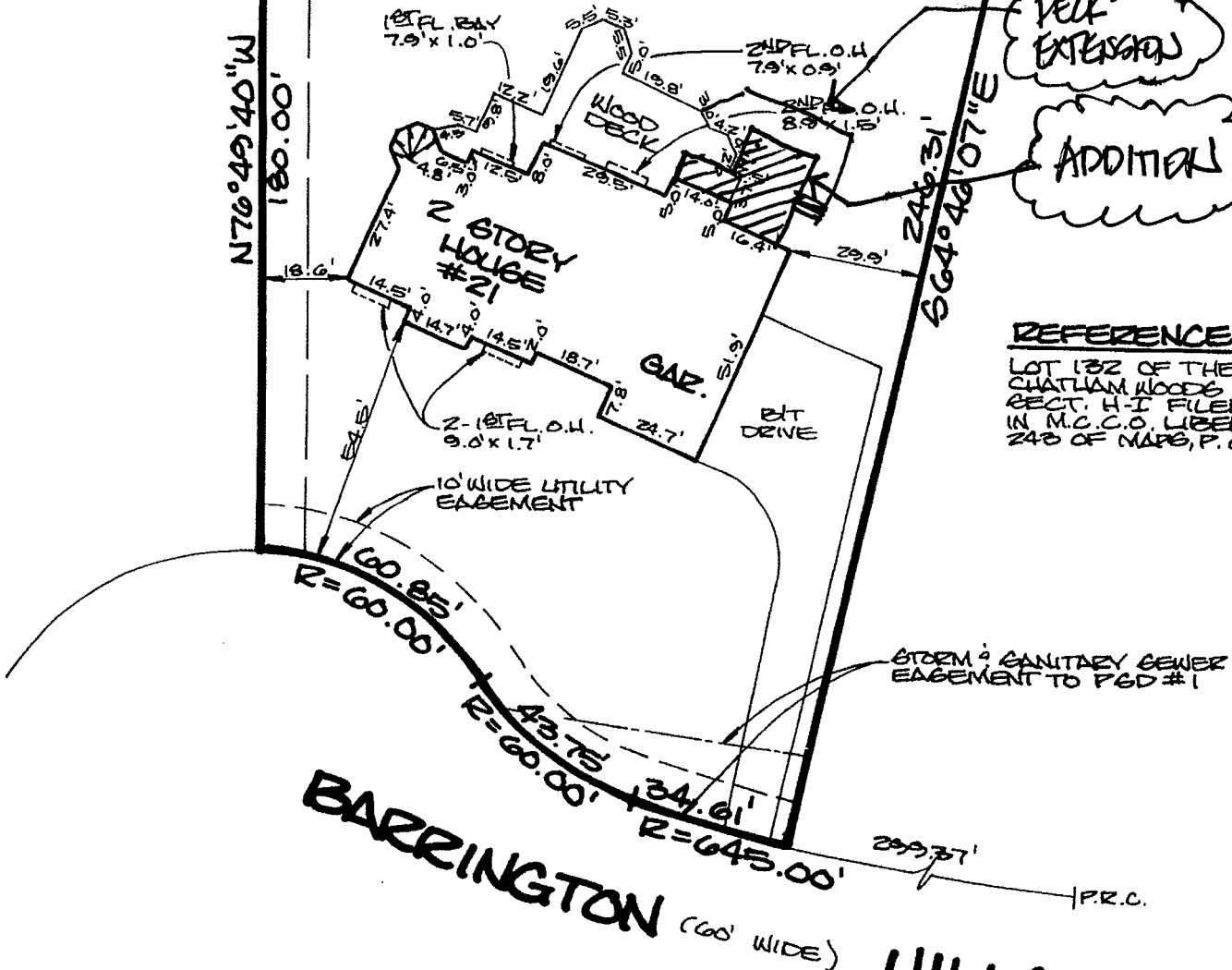
**LOT 132**

N76°49'40"W  
180.00'

PELX  
EXTENSION  
ADDITIONAL

**REFERENCE:**

LOT 132 OF THE  
CHATHAM WOODS  
SECT. H-I FILED  
IN M.C.C.O. LIBER  
248 OF MAPS, P. 678.



**BARRINGTON HILLS**  
(60' WIDE)

MAP OF AN INSTRUMENT SURVEY OF:

**LOT 132 OF THE CHATHAM WOODS SUBDIVISION** SECTION H-I

TOWN OF PITTSFORD ● MONROE COUNTY ● NEW YORK  
DATE: AUGUST 6, 1993  
SCALE: 1"=40'



**D.J. Parrone & Associates, P.C.**

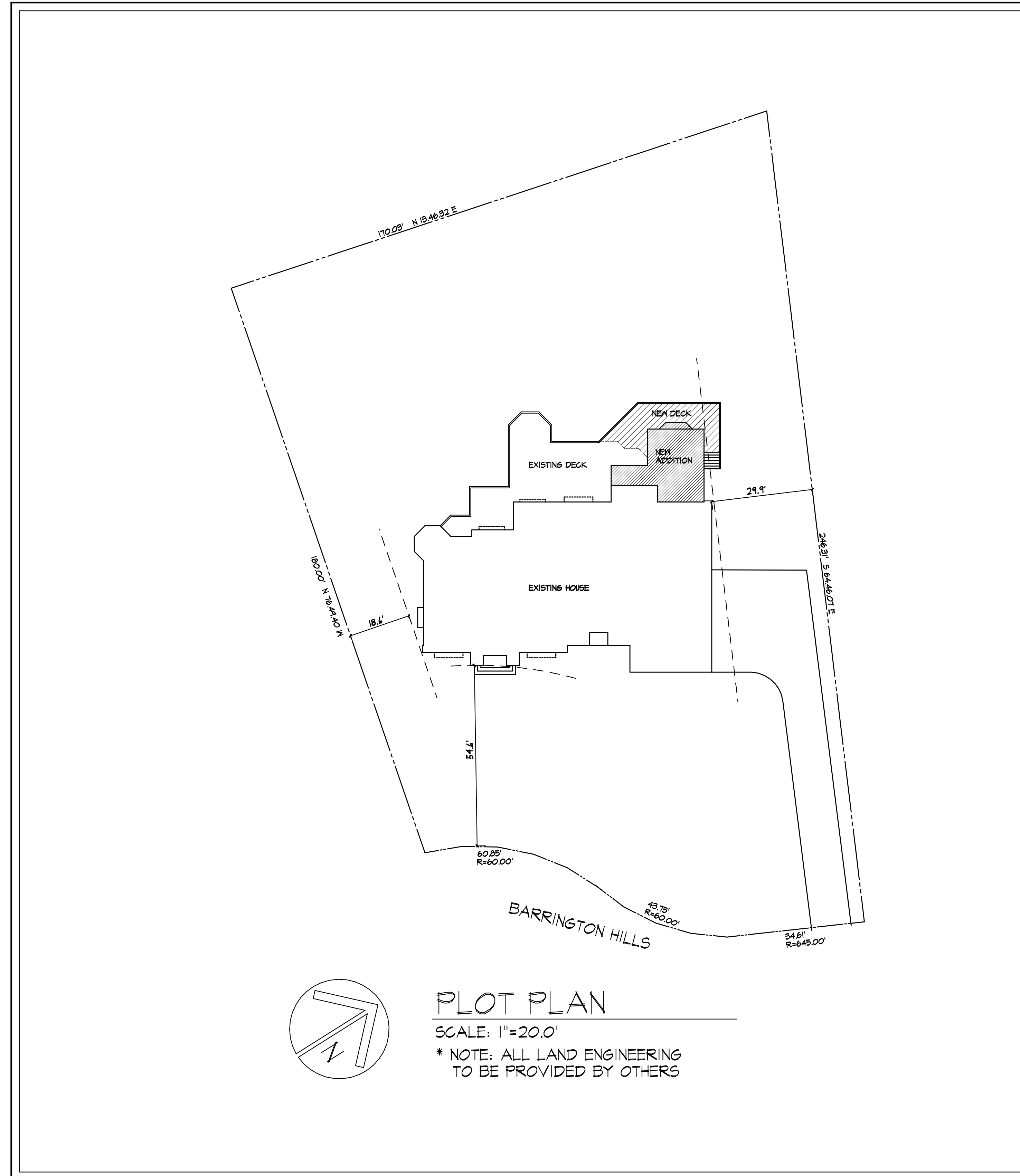
Consulting Engineers • Land Surveyors • Planners

400 Whitney Road P.O. Box C  
Penfield, New York 14526

(716) 586-0200

# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C40 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-36. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 102.9 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R301.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



## ADDITION TO LUTHRA RESIDENCE 21 BARRINGTON HILLS PITTSFORD, NEW YORK

# DRAWING INDEX

1	TITLE PAGE
2	EXISTING ELEVATIONS
3	EXISTING FOUNDATION PLAN
4	EXISTING 1ST FLOOR PLAN
5	PROPOSED ELEVATIONS
6	PROPOSED FOUNDATION PLAN
7	PROPOSED 1ST FLOOR PLAN
8	PROPOSED ROOF PLAN
9	PROPOSED BUILDING SECTIONS
10	TYPICAL DETAILS

### ENERGY COMPLIANCE DETAILS & PATH MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5


COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	32	30
2. CEILING R-FACTOR	49	49
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30
6. SLAB R-VALUE & DEPTH	R-10 @ 24" DEEP	R-10 @ 24" DEEP

### 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1105.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1105.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1109.2.1
- MECHANICAL VENTILATION PER SECTION 1105.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1107.1.3 REQUIREMENT
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1109.8
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1105.7 REQUIREMENTS.

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1942
- ROOF TIE DOWN REQUIREMENTS R602.1.1



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OCTOBER 2, 2019

---

**PROJECT:**  
LUTHRA RESIDENCE  
21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

---

**CLIENT:**  
LUTHRA RESIDENCE  
21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

---

**DRAWING:**  
TITLE PAGE

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<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** OCTOBER 2019

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**SCALE:** 1/4"=1'-0"

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**JOB NO.:** RA-845


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**SHEET:**

# 1

OF 10 SHEETS

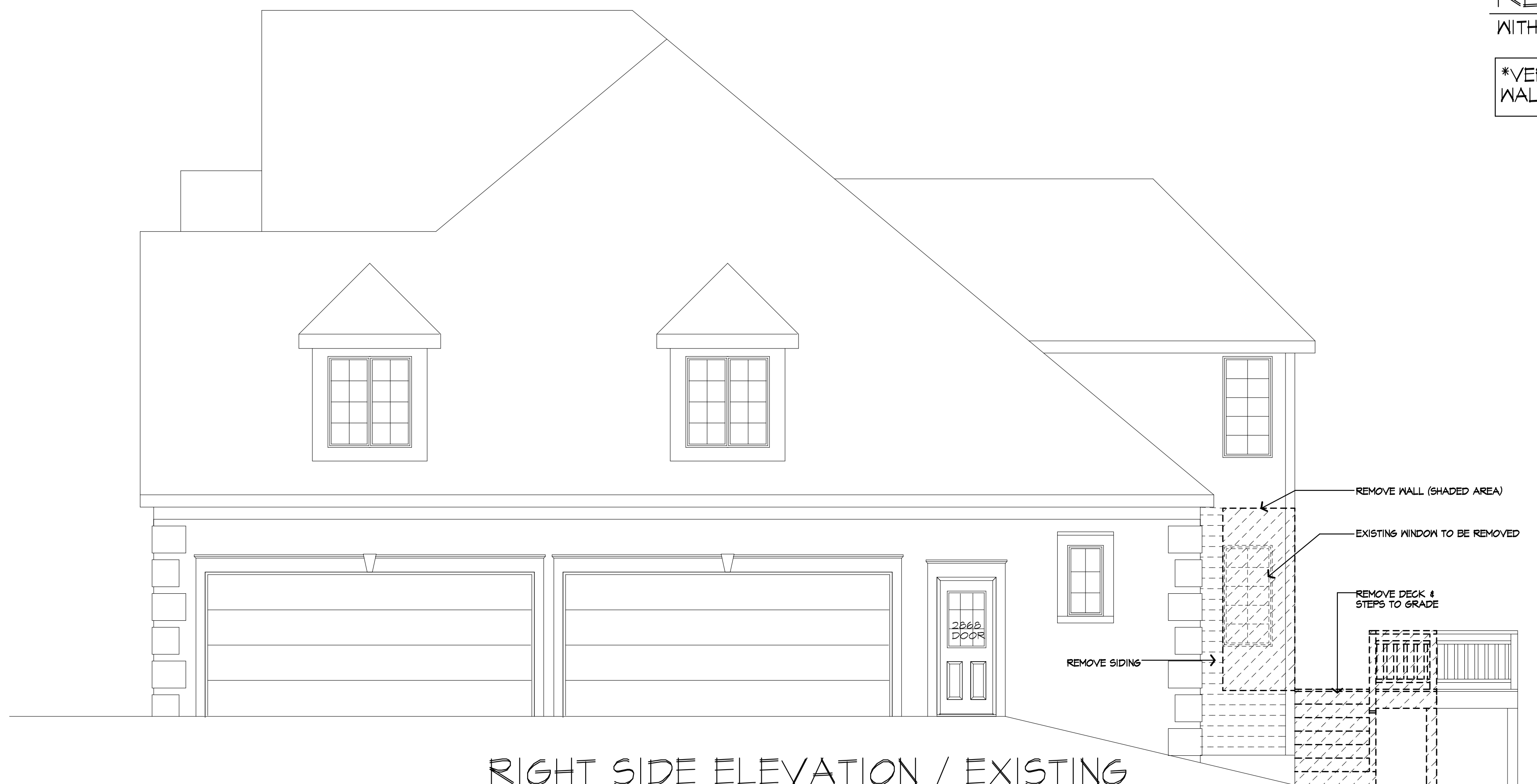
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REAR ELEVATION / EXISTING  
WITH REMOVALS SHOWN

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC



RIGHT SIDE ELEVATION / EXISTING  
WITH REMOVALS SHOWN

REMOVAL LEGEND	
	R.O. FOR NEW WINDOWS/ DOORS
	EXISTING WINDOW TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED

THESE PLANS WERE PREPARED USING CONSTRUCTION DOCUMENTS PREPARED BY THIS FIRM PROJECT NO. R-845 DATED NOVEMBER 1982  
NO DESTRUCTIVE INSPECTIONS/VERIFICATIONS WERE COMPLETED BY THE ARCHITECT. DURING DEMOLITION, CONTRACTOR SHALL VERIFY (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, FOOTINGS, HEADERS, HEIGHTS AND DEPTHS OF EXISTING CONSTRUCTION.  
THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION SYSTEMS AS IT RELATES TO NEW CONSTRUCTION LAYOUT AND APPLICABLE CODES.  
CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT AFFECT THE DESIGN INTENT PRIOR TO THE COMMENCEMENT OF ANY NEW WORK.



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PROJECT:  
ADDITION & RENOVATION  
21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

CLIENT:  
LUTIRA RESIDENCE  
21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

DRAWING:  
ELEVATIONS - EXISTING

DRAWN: P.J.MAIA  
CHECKED: V

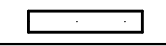

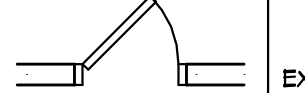

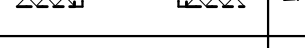
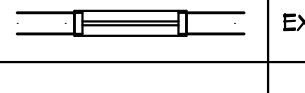
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SCALE: 1/4"=1'-0"

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SHEET:  
**2**  
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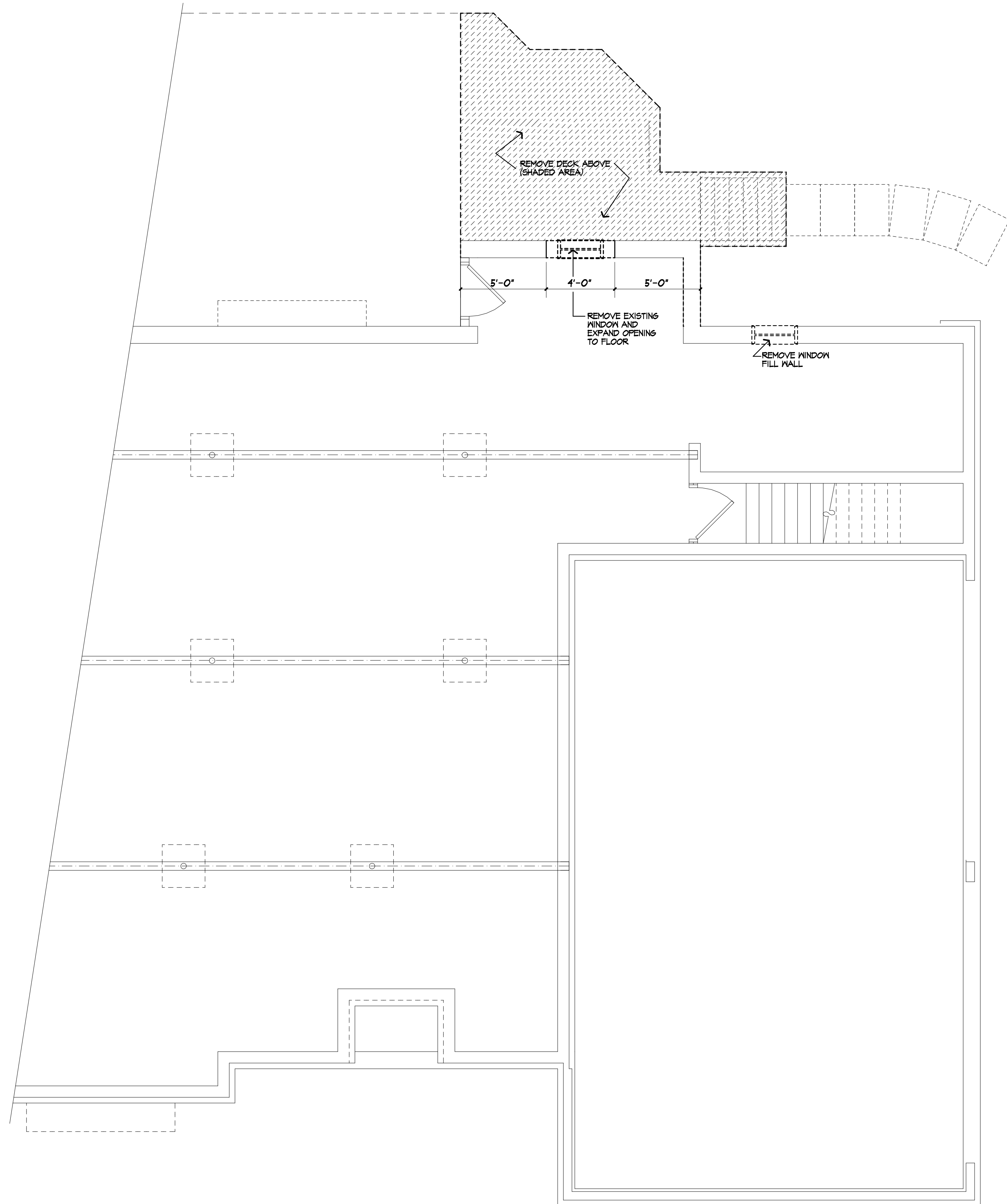


REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

## BASEMENT & FOUNDATION PLAN / EXISTING

WITH REMOVALS SHOWN



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**DRAWING:**  
SECOND FLOOR PLAN  
EXISTING

<b>DRAWN:</b> P.JMAIA	<b>CHECKED:</b> V
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**DATE:** OCTOBER 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** RA-845

**SHEET:**

**3**

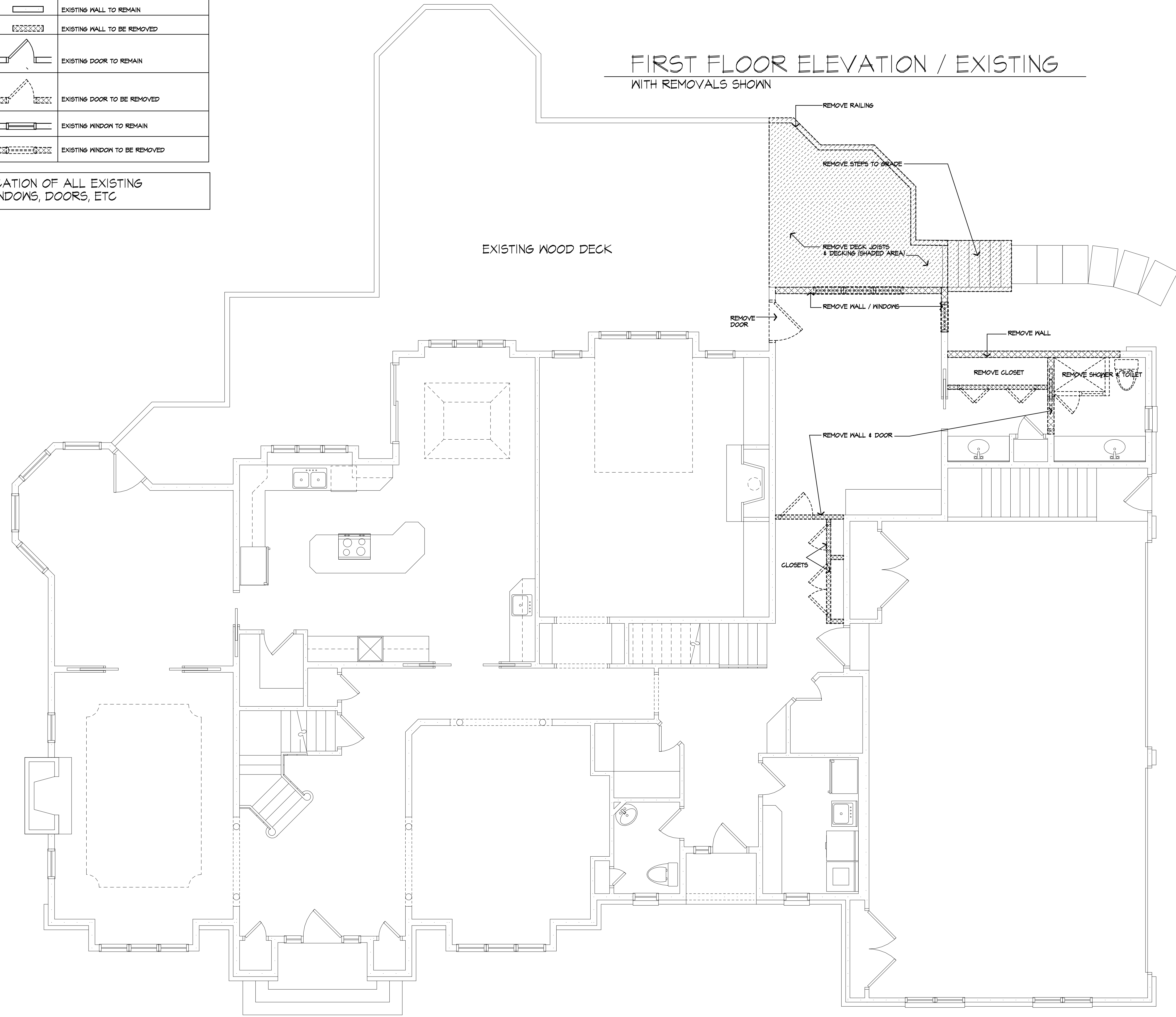
OF **10** SHEETS



REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

## FIRST FLOOR ELEVATION / EXISTING WITH REMOVALS SHOWN



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PITTSFORD, NEW YORK

**DRAWING:**  
FIRST FLOOR PLAN  
EXISTING

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**4**  
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**UNLESS OTHERWISE NOTED**

- ROOFING: MATCH EXISTING
- ROOF VENTING: CONTINUOUS RIDGE VENT
- FASCIAS: 8" MATCH EXISTING
- FRIEZEBDS: 8" MATCH EXISTING
- CORNERBDS: 6" MATCH EXISTING
- CASINGS: 6" MATCH EXISTING
- SIDING: HORIZ, AS SELECTED MATCH EXISTING
- OVERHANGS: 12" MATCH EXISTING
- RAKE OVERHANGS: 6" MATCH EXISTING
- MIN FTG. DEPTH: 4'-0"
- CL6 HT.
- 1ST FLOOR: MATCH EXISTING
- WINDOW R.O. HT.
- 1ST FLOOR: MATCH EXISTING
- WINDOW MFR: AS SELECTED  
(PROVIDE SAFETY GLAZING PER R308.4)

STANDING SEAM METAL  
ROOF ON CUPOLA

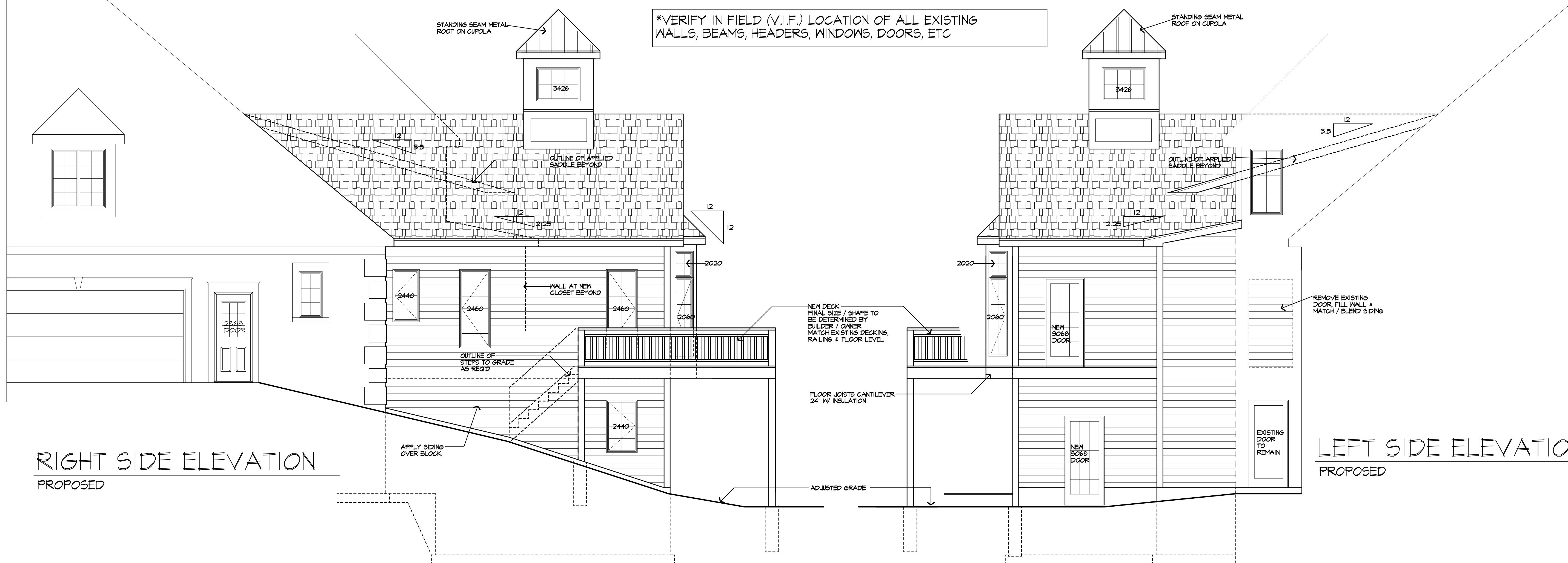
NEW DECK  
FINAL SIZE / SHAPE TO  
BE DETERMINED BY  
BUILDER / OWNER  
MATCH EXISTING DECKING,  
RAILINGS & FLOOR LEVEL

FAR SIDE GRADE  
(EXISTING)



**REAR ELEVATION**  
PROPOSED

**\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING  
WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC**



**RIGHT SIDE ELEVATION**  
PROPOSED

**LEFT SIDE ELEVATION**  
PROPOSED



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PITTSFORD, NEW YORK

**DRAWING:**  
ELEVATIONS - PROPOSED

**DRAWN:** P.J.MAIA  
**CHECKED:** V

**DATE:** OCTOBER 2019

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**JOB NO.:** RA-845

**SHEET:**

**5**  
OF **10** SHEETS





TABLE R404.1.(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D > 8.75 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		GM, SP, SM AND SP SOILS 30	GM, SC, SM, SM-SC AND ML SOILS 45	SC, ML, CL AND INORGANIC GL SOILS 60
6'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#5 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
	8'-0"	#5 AT 12" O.C.	#6 AT 12" O.C.	#6 AT 12" O.C.
	9'-4"	#6 AT 12" O.C.	#6 AT 48" O.C.	#6 AT 40" O.C.
	10'-0"	#6 AT 12" O.C.	#6 AT 40" O.C.	#6 AT 32" O.C.

FOR SI: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/M

- MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.
- VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75 INCHES.
- SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
- UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

NOTES:

- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.  
SIZES: 8" BLK - 16" WIDE X 8" THK.  
(GARAGE) 12" BLK - 20" WIDE X 8" THK.  
8" BLK - 16" WIDE X 12" THK.
- MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:  
FOOTINGS: 2500 P.S.I.  
FLOOR SLABS: 2800 P.S.I.  
PORS: 3500 P.S.I.  
GARAGE: 3500 P.S.I.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
- PROVIDE CROSS BRIDGINS AT MID SPAN OF FLOOR FRAMING
- ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
- PROVIDE VERTICAL REINFORCING PER TABLE R404.1 (2015 IRC)

STEPPED FOOTING NOTE:

R403.15 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)

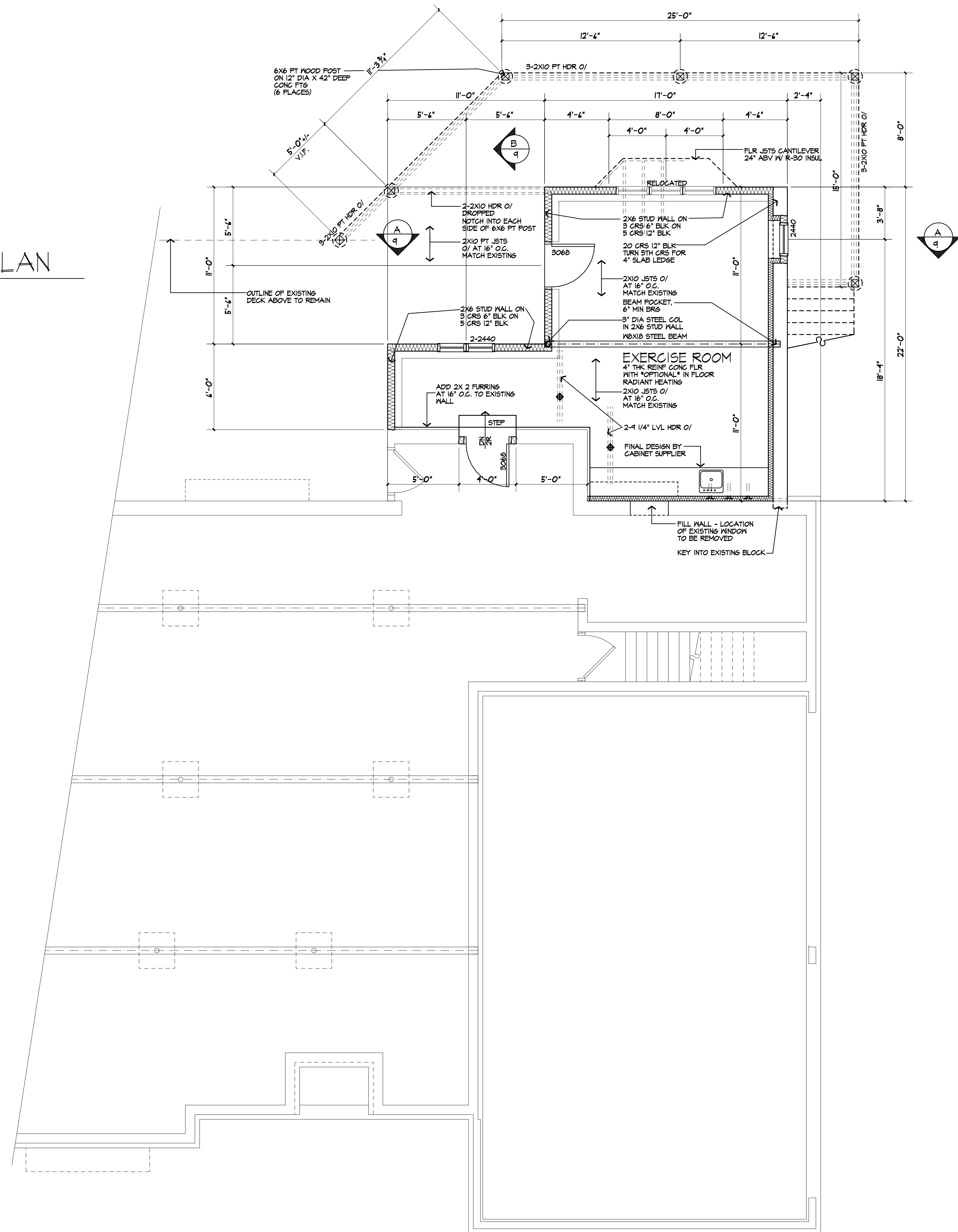
FIRE PROTECTION REQUIREMENTS PER R302.13

1/2" GYPSUM BOARD OR 5/8" THK STRUCTURAL PANEL APPLIED TO BOTTOM OF I-JOISTS. PENETRATIONS FOR DUCTWORK, PLUMBING OR ELECTRICAL OR OTHER SIMILAR PENETRATIONS ARE PERMITTED BY THIS CODE SECTION. APPLIED OVER ENGINEERED FLOOR JOISTS (I-JOISTS)

EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED OVER BASEMENT PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH SECTION 2404 (2015 IRC) OR NFPA 13D
- FLOOR ASSEMBLY IS DIMENSIONAL LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN NOMINAL 2X 10 SIZE.  
ALTERNATE FIRST FLOOR JOISTS: 2X 12 AT 16" O.C.  
1 3/4" X 11 7/8" LSL AT 16" O.C.
- I JOISTS ARE PROVIDED WITH AN APPROVED COATINGS THAT DEMONSTRATES EQUIVALENT FIRE PROTECTION PERFORMANCE.

BASEMENT PLAN  
PROPOSED



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OCTOBER 2, 2019

PROJECT:  
ADDITION & RENOVATION  
21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

CLIENT:  
LUTHERA RESIDENCE  
21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

DRAWING:  
BASEMENT / FOUNDATION PLAN  
PROPOSED

DRAWN: P.J.MAIA  
CHECKED: V

DATE: OCTOBER 2019

SCALE: 1/4"=1'-0"

JOB NO.: RA-845

SHEET:

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OF 10 SHEETS



**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

PER FIRE 23111 & R314  
 LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. 4. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 5 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**FIRE SEPARATION REQUIREMENTS**

WHERE PARTITIONS ARE USED TO SEPARATE AN ATTACHED GARAGE FROM A LIVING SPACE OR ITS ATTIC, THE PARTITION ASSEMBLY SHALL HAVE A 3/4-HOUR FIRE-RESISTANCE RATING.

IN LIEU OF PROVIDING PARTITIONS THAT HAVE A 3/4-HOUR FIRE-RESISTANCE RATING, ONE LAYER OF 5/8-INCH THICK TYPE-X GYPSUM BOARD MAY BE INSTALLED ON THE GARAGE SIDE AND ONE LAYER OF 1/2-INCH TYPE-X GYPSUM BOARD MAY BE INSTALLED ON THE OPPOSITE SIDE WHERE HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM THE LIVING SPACE OR ITS ATTIC. SUCH CONSTRUCTION SHALL BE PROTECTED WITH ONE LAYER OF 5/8-INCH THICK TYPE-X GYPSUM BOARD INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R301.1. OPENINGS IN HORIZONTAL SEPARATIONS SHALL NOT BE PERMITTED EXCEPT WHERE THE RESIDENCE IS OTHERWISE PROTECTED BY VERTICAL SEPARATIONS. WHERE THE HORIZONTAL SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8-INCH (5.27 MM) TYPE-X GYPSUM BOARD OR EQUIVALENT.

**WINDOW FALL PROTECTION**

R312.2  
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS.  
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

**WINDOW GLAZING**

R308  
 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS  
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
 EXCEPTIONS:  
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS  
 2. DECORATIVE GLAZING

R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING  
 GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
 EXCEPTION:  
 THE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE PLANE OF THE GLASS IS MORE THAN 18" FROM THE GUARD

PLUMBING NOTE:  
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

**HEADER SCHEDULE**

UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X12	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 WALL  
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 WALL  
 GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

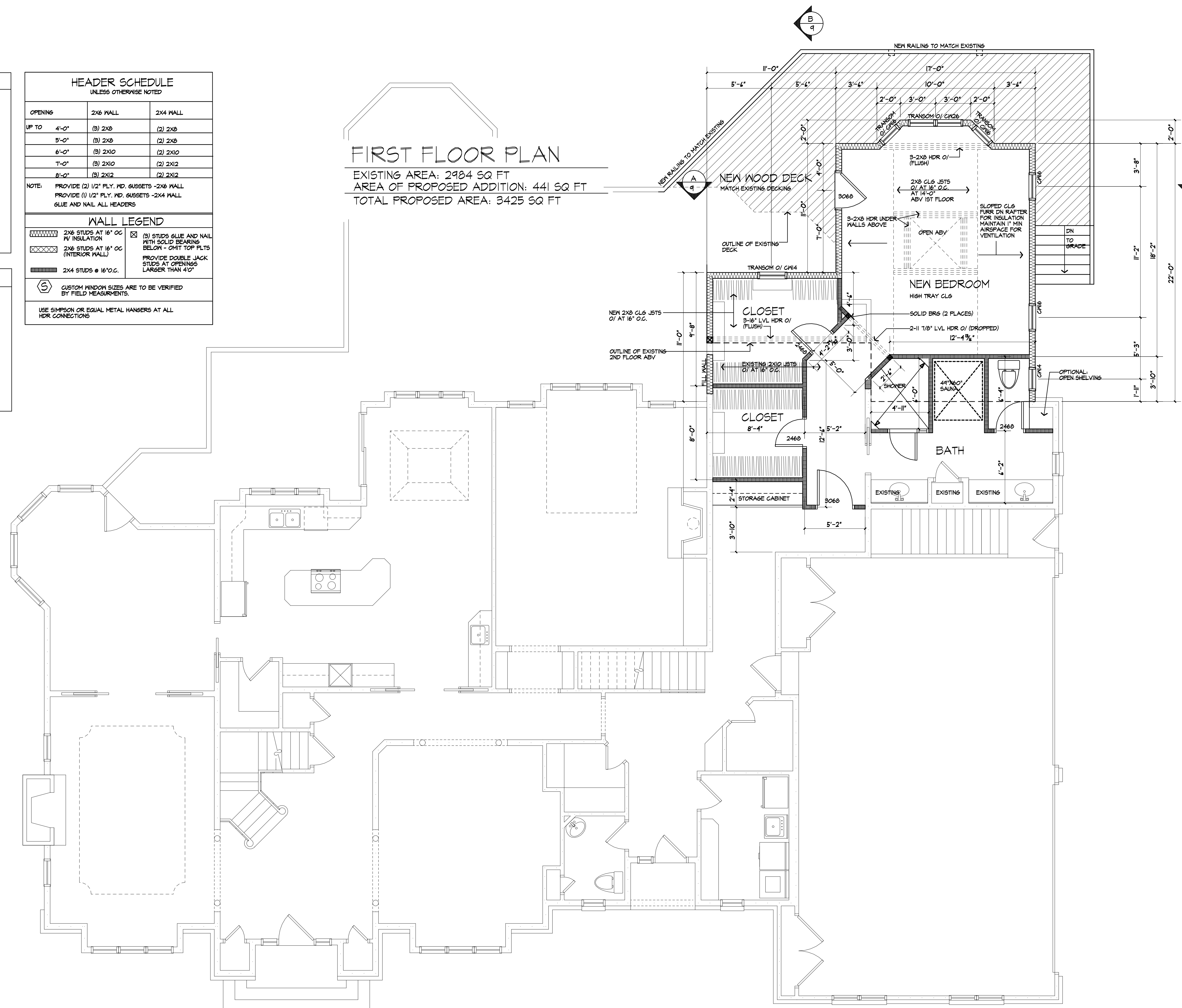
	2X6 STUDS AT 16" O.C. P/W INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP PLTS
	2X6 STUDS AT 16" O.C. (INTERIOR WALL)		PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'
	2X4 STUDS @ 16" O.C.		

CUSTOM WINDOW SIZES ARE TO BE VERIFIED BY FIELD MEASUREMENTS.

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

**FIRST FLOOR PLAN**

EXISTING AREA: 2984 SQ FT  
 AREA OF PROPOSED ADDITION: 441 SQ FT  
 TOTAL PROPOSED AREA: 3425 SQ FT



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OCTOBER 2, 2019

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 ADDITION & RENOVATION  
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 PITTSFORD, NEW YORK

CLIENT:  
 LUTHERA RESIDENCE  
 21 BARRINGTON HILLS  
 PITTSFORD, NEW YORK

DRAWING:  
 1ST FLOOR PLAN  
 PROPOSED

DRAWN:  
 P.J.MAIA

CHECKED:  
 V

DATE: OCTOBER 2019

SCALE: 1/4"=1'-0"

JOB NO.: RA-845

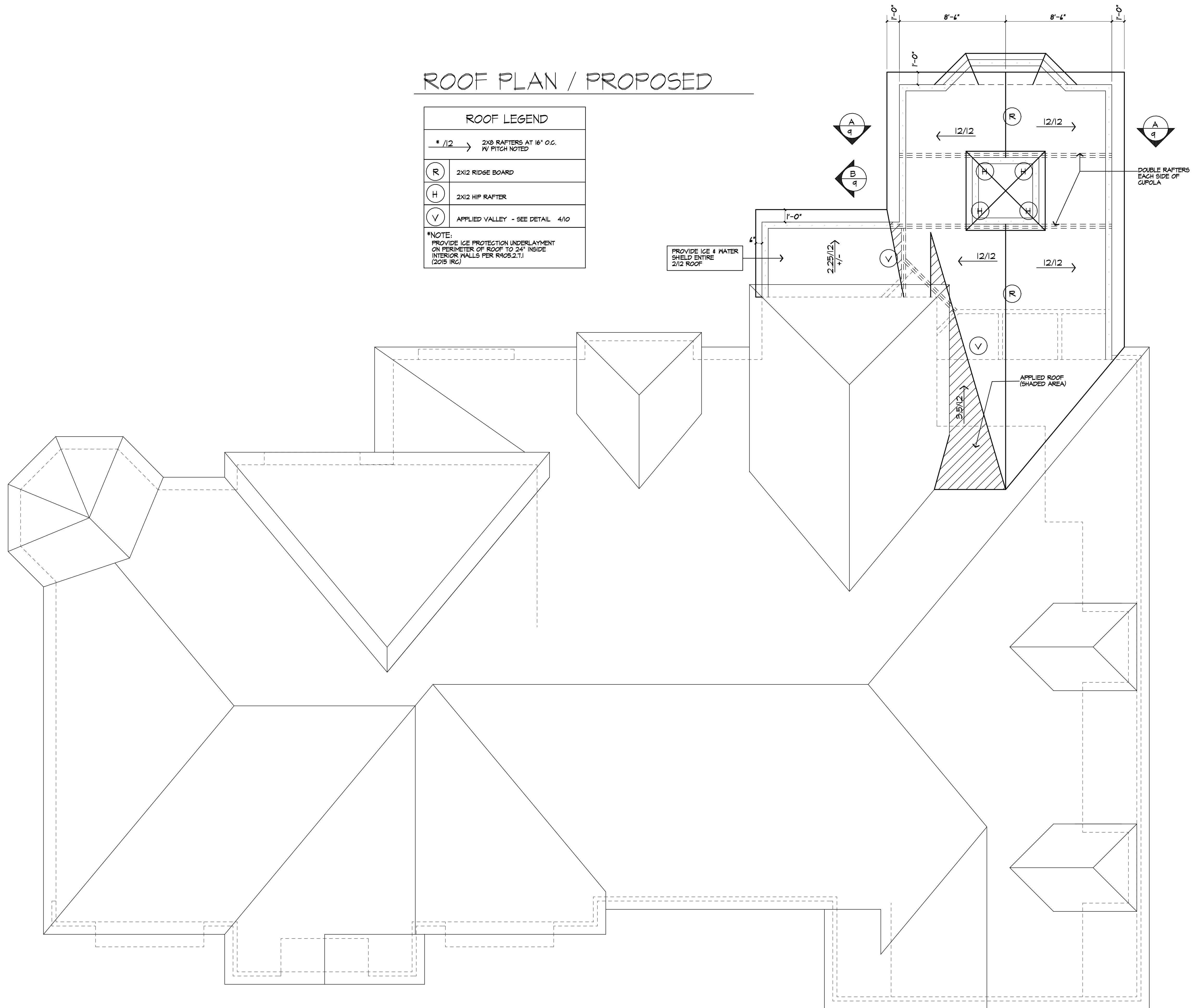
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 OF 10 SHEETS



# ROOF PLAN / PROPOSED

ROOF LEGEND	
* /12	2x8 RAFTERS AT 16" O.C. W/ PITCH NOTED
(R)	2x12 RIDGE BOARD
(H)	2x12 HIP RAFTER
(V)	APPLIED VALLEY - SEE DETAIL 4/10
*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.11 (2015 IRC)	



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21 BARRINGTON HILLS  
PITTSFORD, NEW YORK

**DRAWING:**  
ROOF PLAN - PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** OCTOBER 2019

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PITTSFORD, NEW YORK

**DRAWING:**  
BUILDING SECTIONS

**DRAWN:** P.J.MAIA  
**CHECKED:** V

**DATE:** OCTOBER 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** RA-845

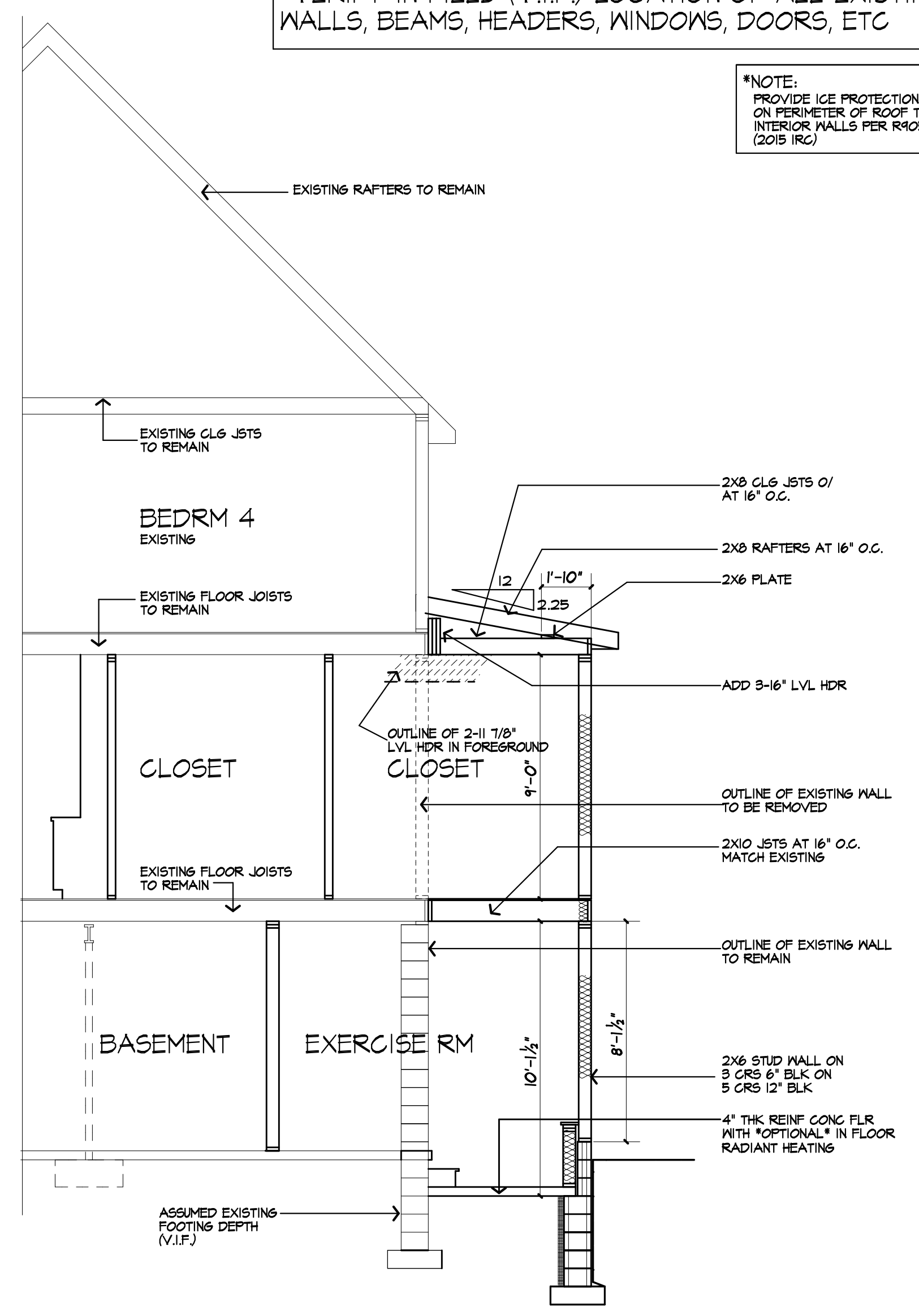
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OF **10** SHEETS

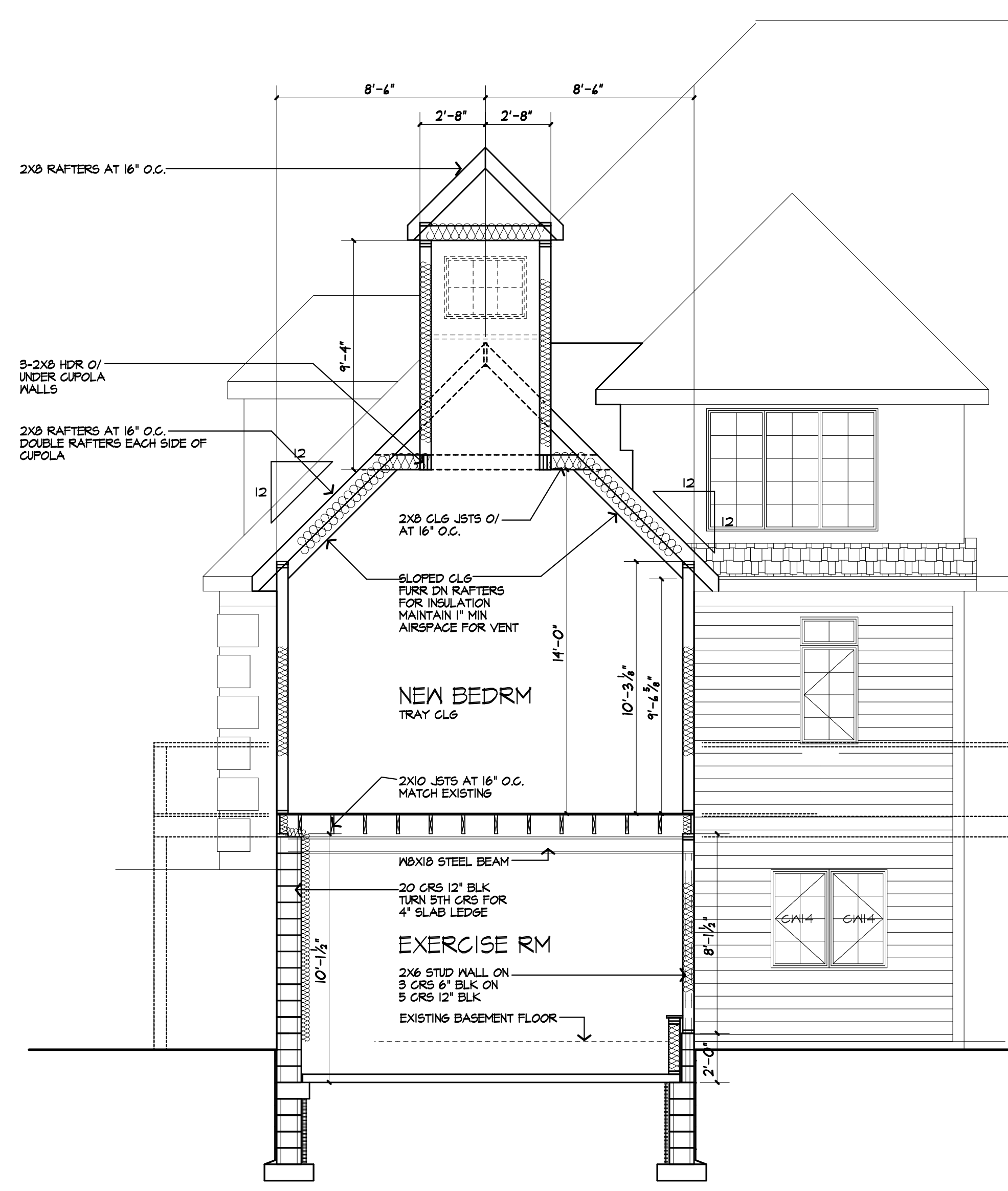


\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

\*NOTE:  
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.1 (2015 IRC)



**B** BUILDING SECTION  
9



**A** BUILDING SECTION  
9

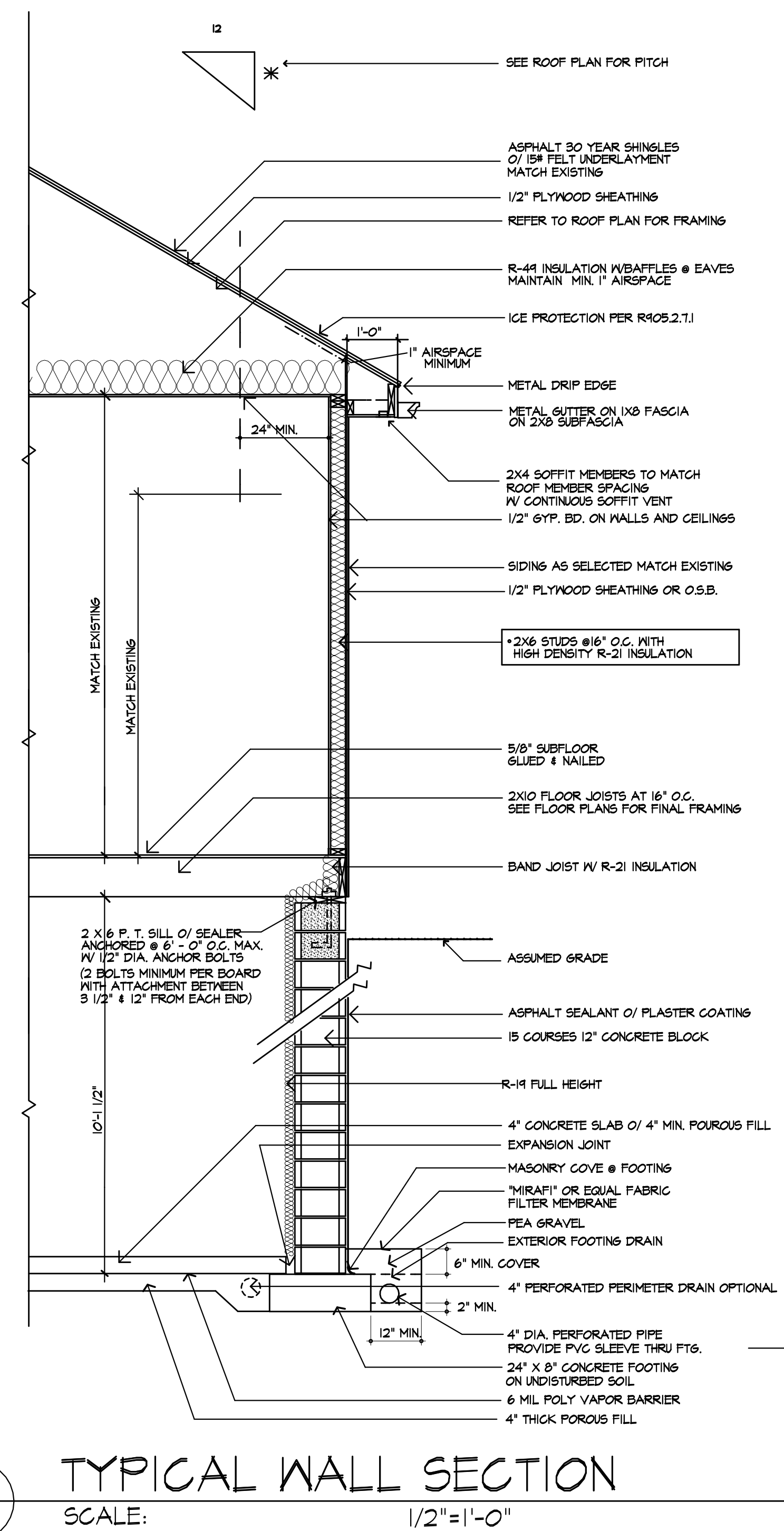
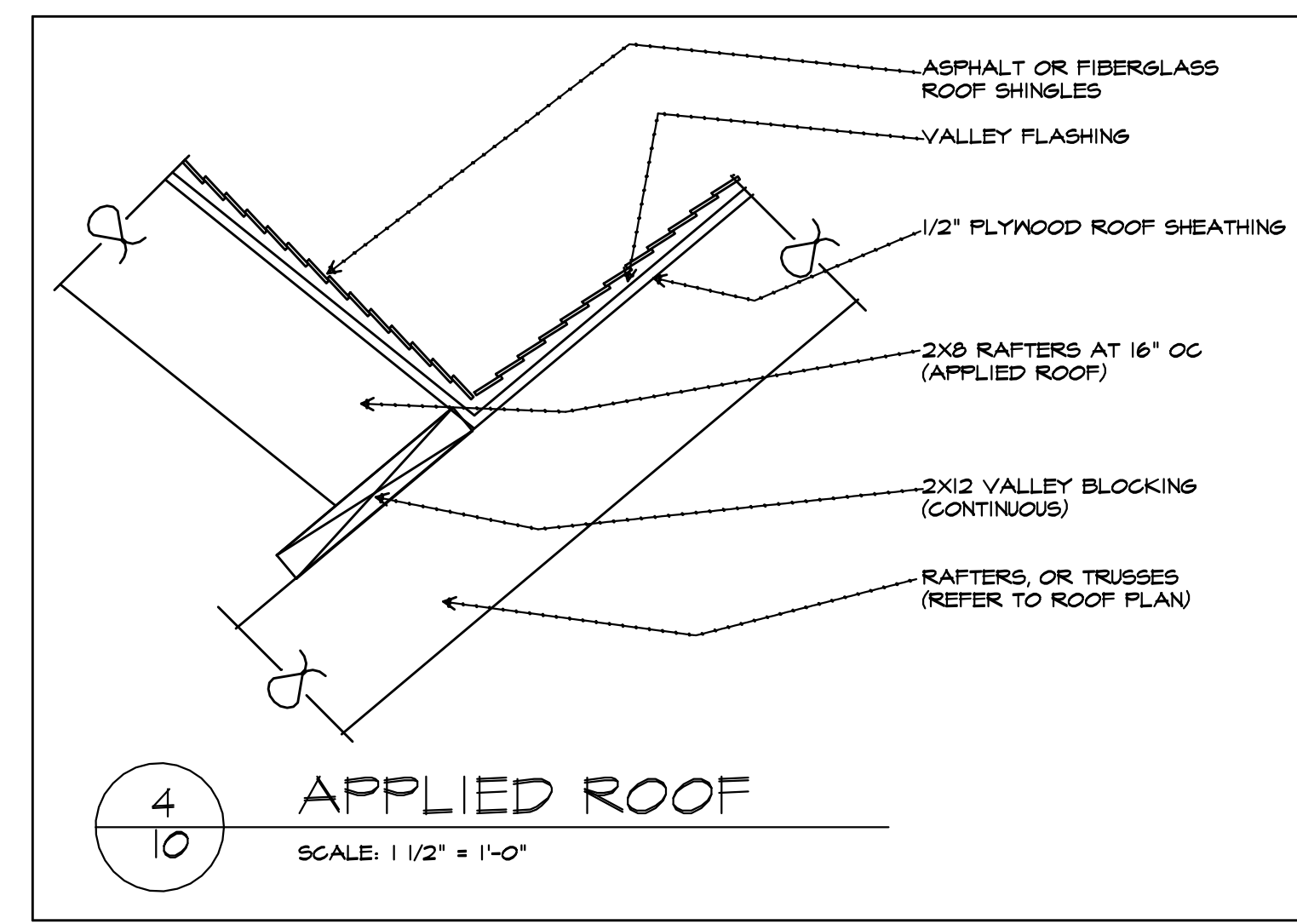
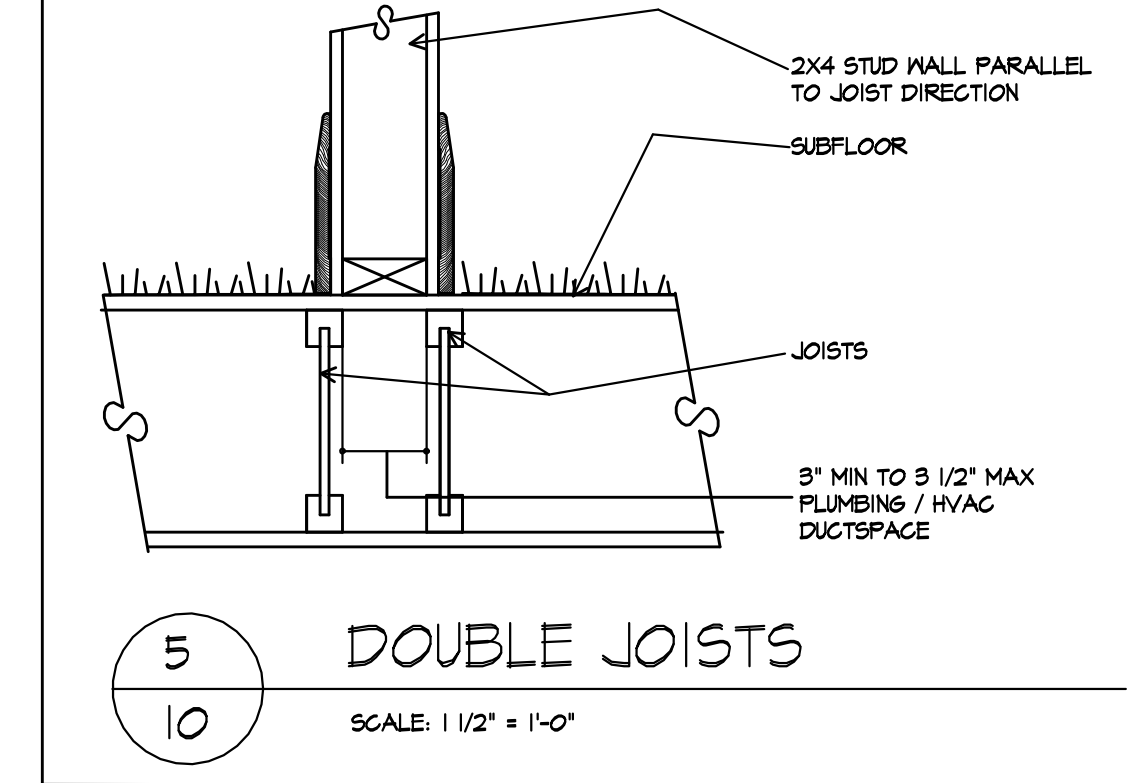
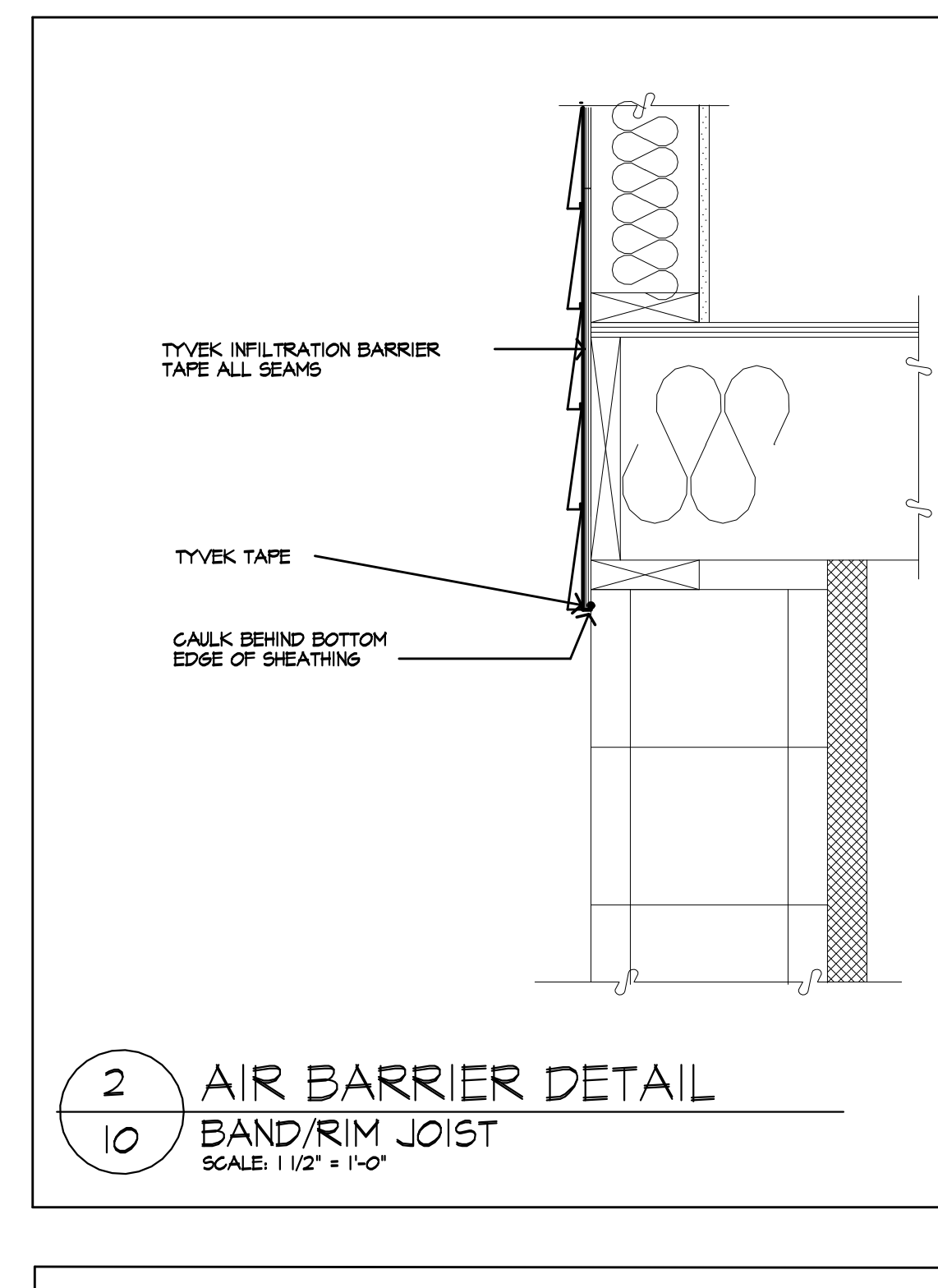
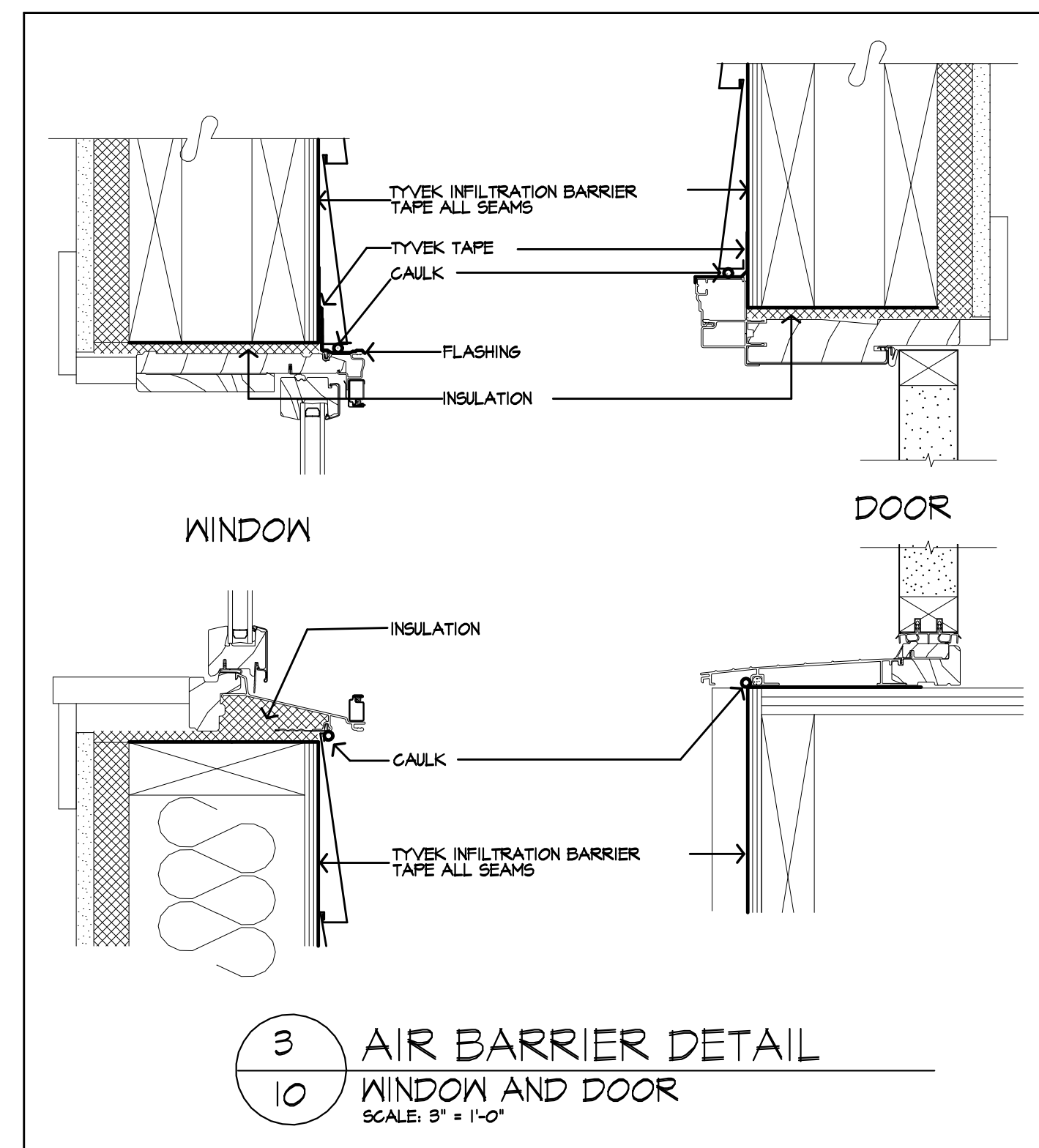


TABLE N102.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
GENERAL	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE BREAKS OR JOINTS IN THE AIR BARRIER ARE SEALED AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED (R-3 PER INCH MIN) JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMBS AND FRAMING IS SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION
CRAWL-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND PIPE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO DRYWALL, EXCEPTION FIXTURES IN CONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES BATT INSULATION IS CUT TO FIT AROUND PIPING AND PLUMBING OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER

- TYPICAL NOTES**
- DOOR MANUFACTURER: PELLA OR EQUAL  
 WINDOW AND DOOR AIR INFILTRATION ANDERSEN WINDOWS, OR EQUAL  
 DOUBLE HUNG 0.30 CFM  
 CASIMENT AWNINGS FIXED 0.05 CFM  
 DOORS: 0.30 CFM OR LESS  
 SLIDING 0.10 CFM  
 IN-SWINGING HINGED 0.15 CFM
  - GAS FIREPLACE(S), HEAT-N-GLO 6000G DIRECT VENT  
 TIGHT FITTING NON COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
  - JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
  - CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATTS
  - MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
  - BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
  - DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
  - THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 408.2.2 OF THE 2010 ENERGY CONSERVATION CODE.
  - ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-3. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
  - THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

**LIGHTING FIXTURE SCHEDULE**

OUTDOOR EGRESS DOORS (EACH)	MINIMUM (1) 60 WATT FIXTURE
BASEMENT	MINIMUM (5) 60 WATT FIXTURES
STAIRWAYS	MINIMUM (1) 60 WATT FIXTURE
HALLWAYS	MINIMUM (1) 120 WATT FIXTURE
GARAGE ENTRY	MINIMUM (1) 120 WATT FIXTURE
LAUNDRY ROOM	MINIMUM (1) 120 WATT FIXTURE
WALK-IN CLOSETS	MINIMUM (1) 60 WATT FIXTURE
POWDER ROOM	MINIMUM (1) 120 WATT FIXTURE
BATHROOM (EACH)	MINIMUM (1) 120 WATT FIXTURE
DINETTE	MINIMUM (1) 120 WATT FIXTURE
KITCHEN	MINIMUM (1) 120 WATT FIXTURE
DINING ROOM	MINIMUM (1) 120 WATT FIXTURE
ALL OTHER FIRST FLOOR ROOMS (EACH)	MINIMUM (1) 120 WATT FIXTURE
ATTIC SPACE	MINIMUM (1) 60 WATT FIXTURE
GARAGE	MINIMUM (2) 60 WATT FIXTURES

**LIGHTING FIXTURE CONTROL NARRATIVE**

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

**R310.1.1 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:** 1. IN EACH SLEEPING ROOM 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

**R310.4.2 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:** 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



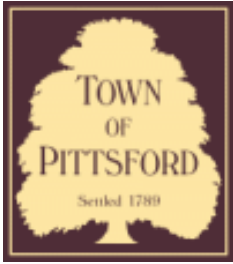


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♻️  
RECYCLING  
PROGRAM







## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000151**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 5 Sturbridge Lane PITTSFORD, NY 14534

**Tax ID Number:** 193.05-1-75

**Zoning District:** RN Residential Neighborhood

**Owner:** Martin, Robert R

**Applicant:** Andrew Fedick Contractors

#### Application Type:

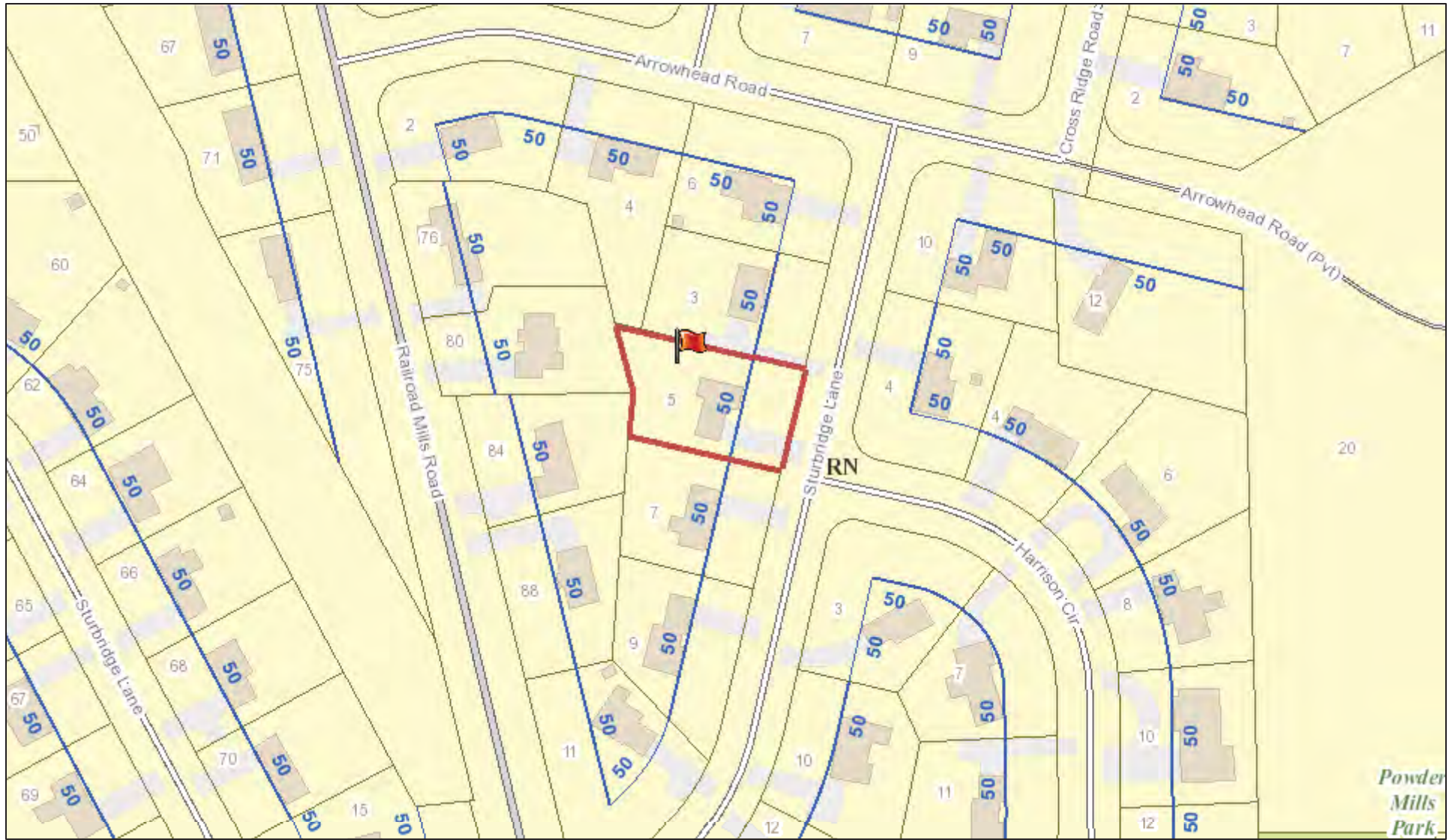
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 240 Sq. Ft. and will be located on the North side of the home.

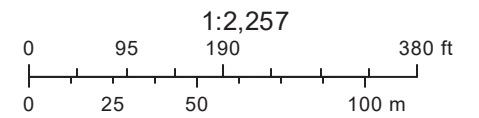
**Meeting Date:** October 24, 2019



# RN Residential Neighborhood Zoning

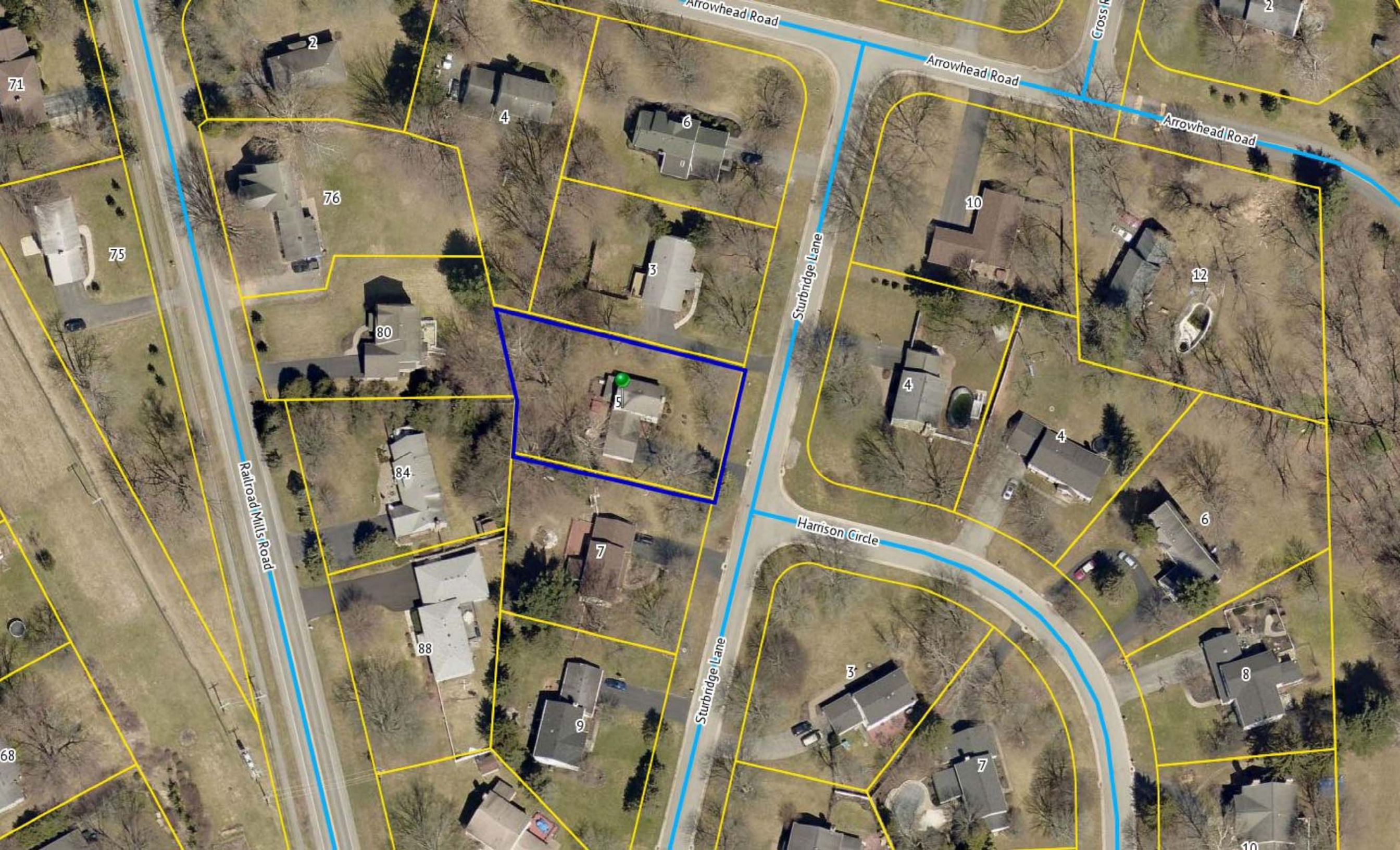


Printed October 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Arrowhead Road

Cross Road

Arrowhead Road

Arrowhead Road

71

2

4

6

76

75

3

10

12

80

Sturbridge Lane

5

4

4

Railroad Mills Road

84

Harrison Circle

7

6

88

Sturbridge Lane

3

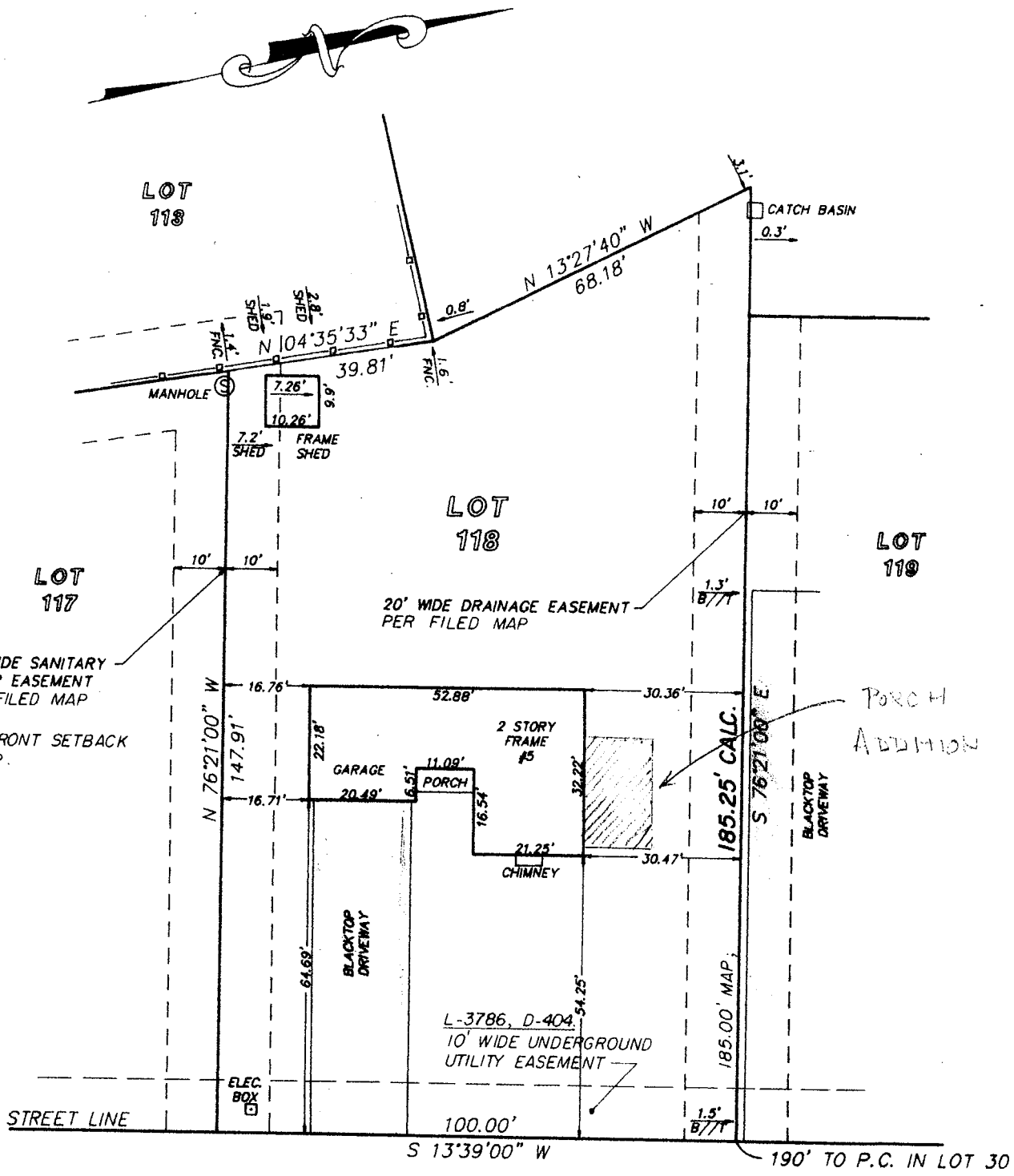
8

68

9

7

10



# STURBRIDGE (60') LANE

I hereby certify to the parties listed hereunder that this map was made using the reference material listed hereon and the notes of an instrument survey, performed in accordance with the current standards of the New York State Association of Professional Land Surveyors, completed 11-17-1989

COLUMBIA BANKING FEDERAL SAVINGS AND LOAN ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS;  
 OSBORN, REED, VAN de VATE & BURKE;  
 ROBERT R. AND MARGUERITE MARTIN;  
 "THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE"

*Alfred I. LaRue*  
 Alfred I. LaRue, N.Y.S., P.L.S. 46558

Note:

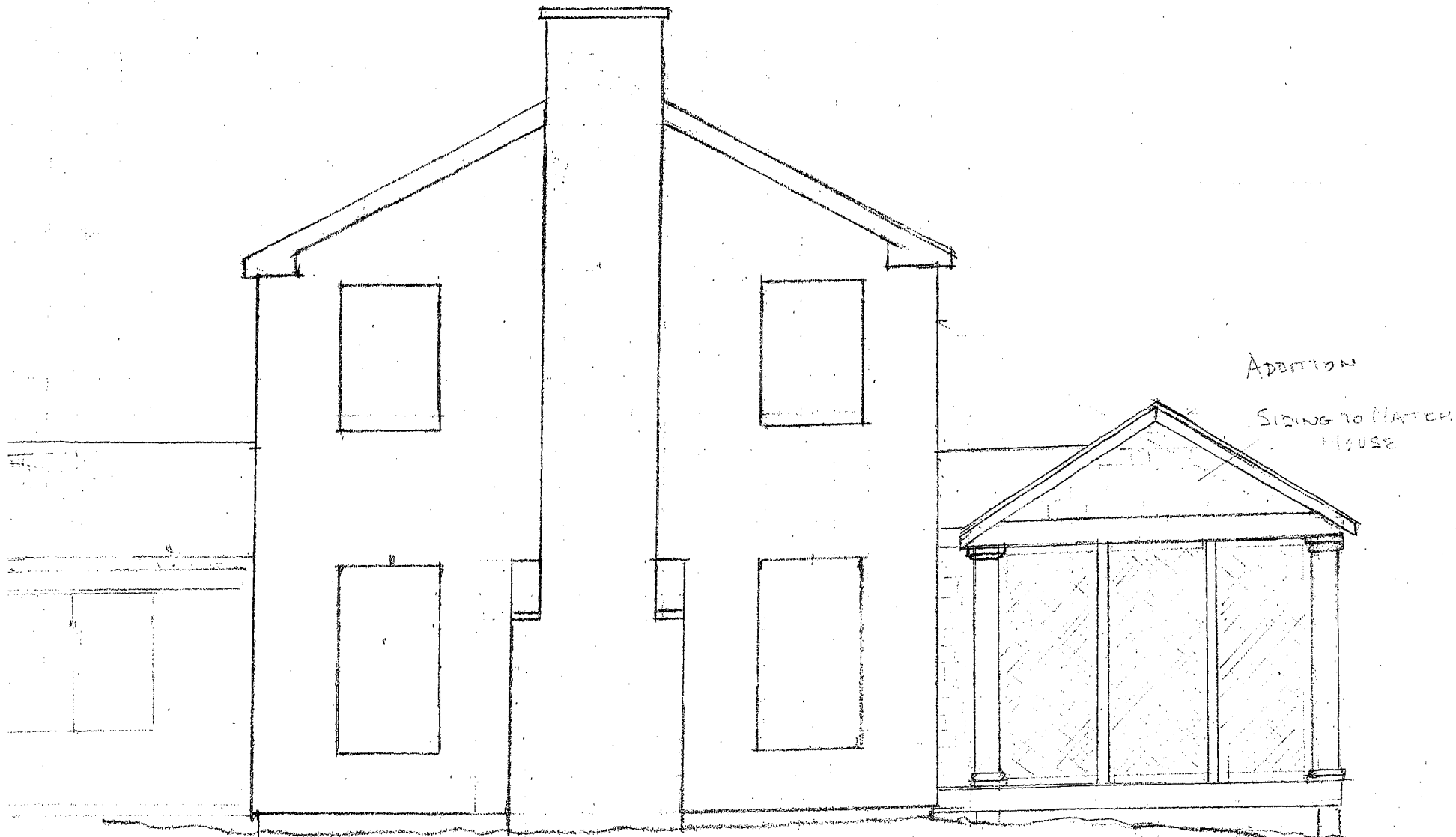
MARTIN RESIDENCE  
 5 STURBRIDGE (60') LANE







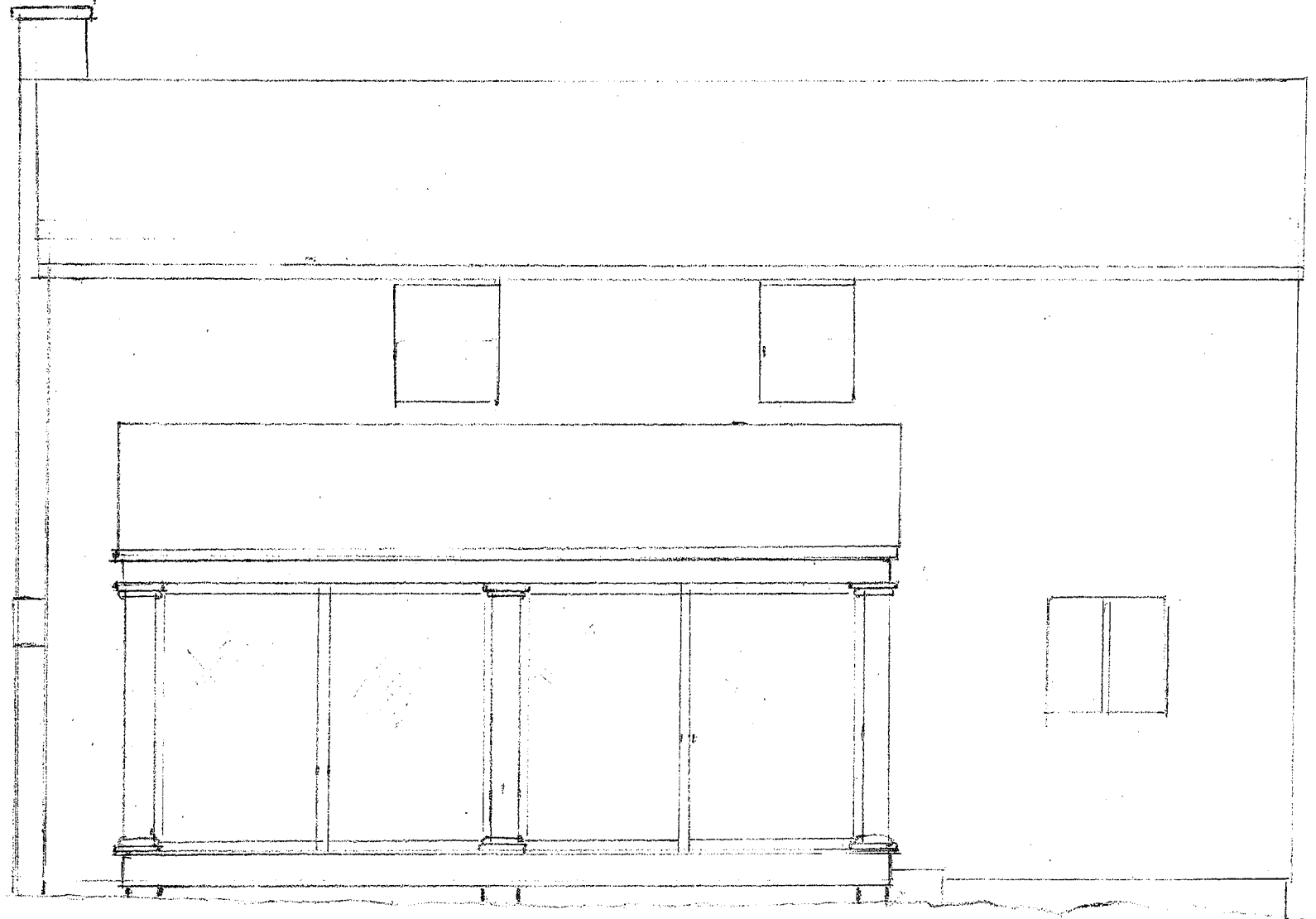




ADDITION  
SIDING TO MATCH  
HOUSE

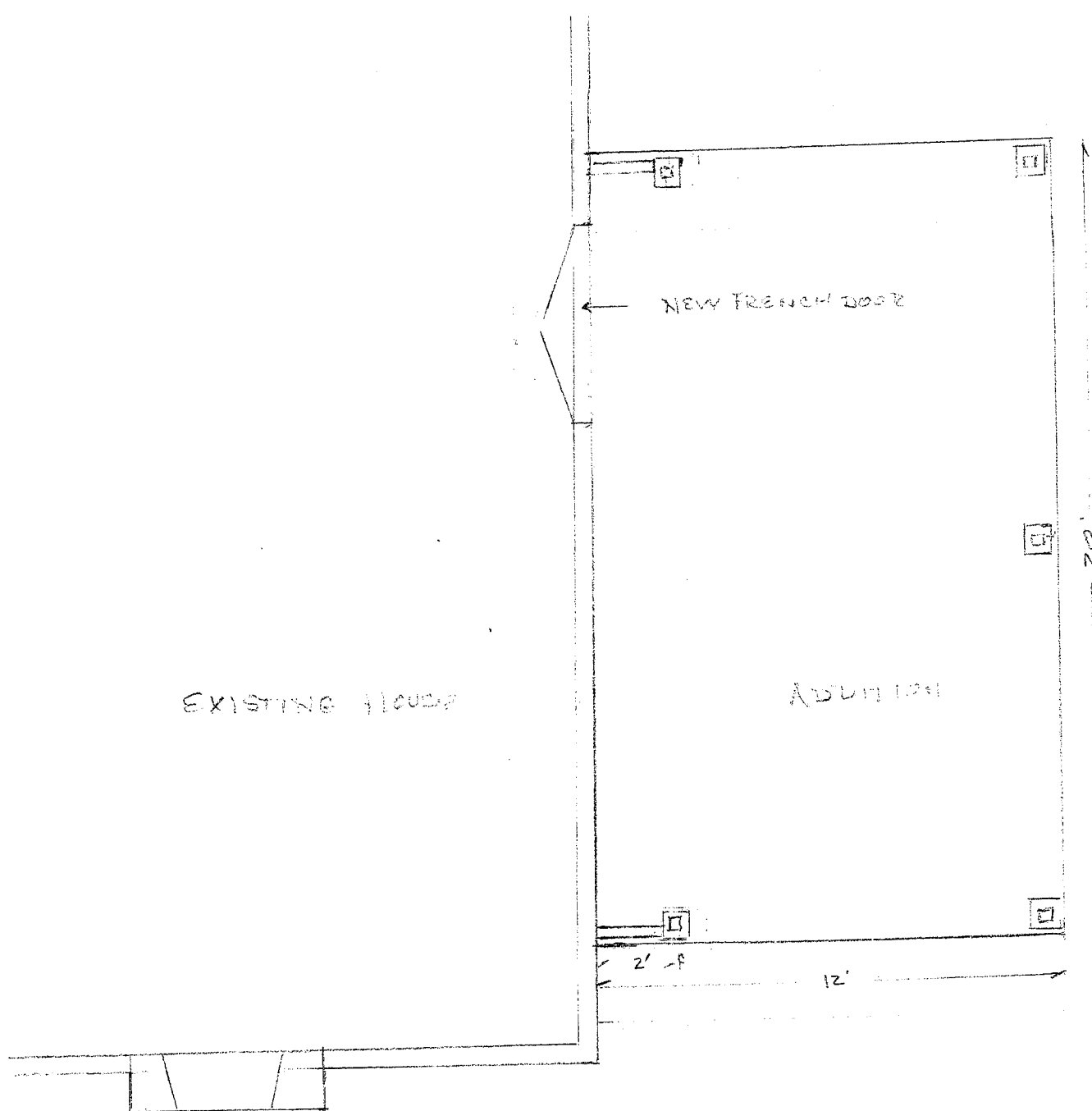
ANDREW FERRIC CONTRACTORS INC  
506-73834

MARTIN RESIDENCE  
5 STURBRIDGE LANE  
PHISFORD NY 14534  
SCREEN PORCH ADDITION  
STREET VIEW/EAST ELEVATION



ANDREW FEDIE & CONTRACTORS INC.  
506-7384

MARTIN RESIDENCE  
5 CROFTEN LANE  
INDIAN HILL, NY 11567  
SCREEN PORCH ADDITION  
NORTH ELEVATION



EXISTING HOUSE

NEW FRENCH DOOR

ADDITION

20

2' - P 12'

ANDREW FERICK CONTRACTORS INC  
506 7384

MARTIN RESIDENCE  
5 STURMELBERG LANE  
PITTSBURGH, NY 14534  
SCREEN PORCH ADDITION  
1ST FLOOR PLAN

EXISTING HOUSE

EXISTING HOUSE

SIMPLE TRUSS

2 X 8 EDGE BOARD

2 X 4 COLLAR TRUSS 6' O.C.

2 X 8 RAFTER 16' O.C.

7/16" DIA. LAG BOLTS TO EXIST. FOOTING WALL BOLTS

2 X 10 HEADERS

2 X 10 HEADERS

ADDITION

4 X 4 POST

4 X 4 POST

5/4" X 4" TRIM LG.

2 X 8 16' O.C.

3 X 8 BAND JOIST

6 X 6 RT. POST

SIMPSON 6 X 6 POST BASE

CONCRETE FOOTING 48" DEEP

MINN. RESIDENCE

3 GUTTERLESS LAWS

HASTINGS, NY 11754

SEVEN FOOT ELEVATION

TYP. EXCLUDE SECTION

Andrew Fedick Construction, Inc.  
506-7384



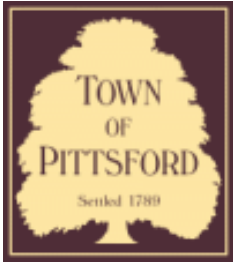


4

CWS  
The First

4





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000152**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4 Tor Hill PITTSFORD, NY 14534

**Tax ID Number:** 178.03-4-2

**Zoning District:** RN Residential Neighborhood

**Owner:** Ketmar Development Corp

**Applicant:** Ketmar Development Corp

#### Application Type:

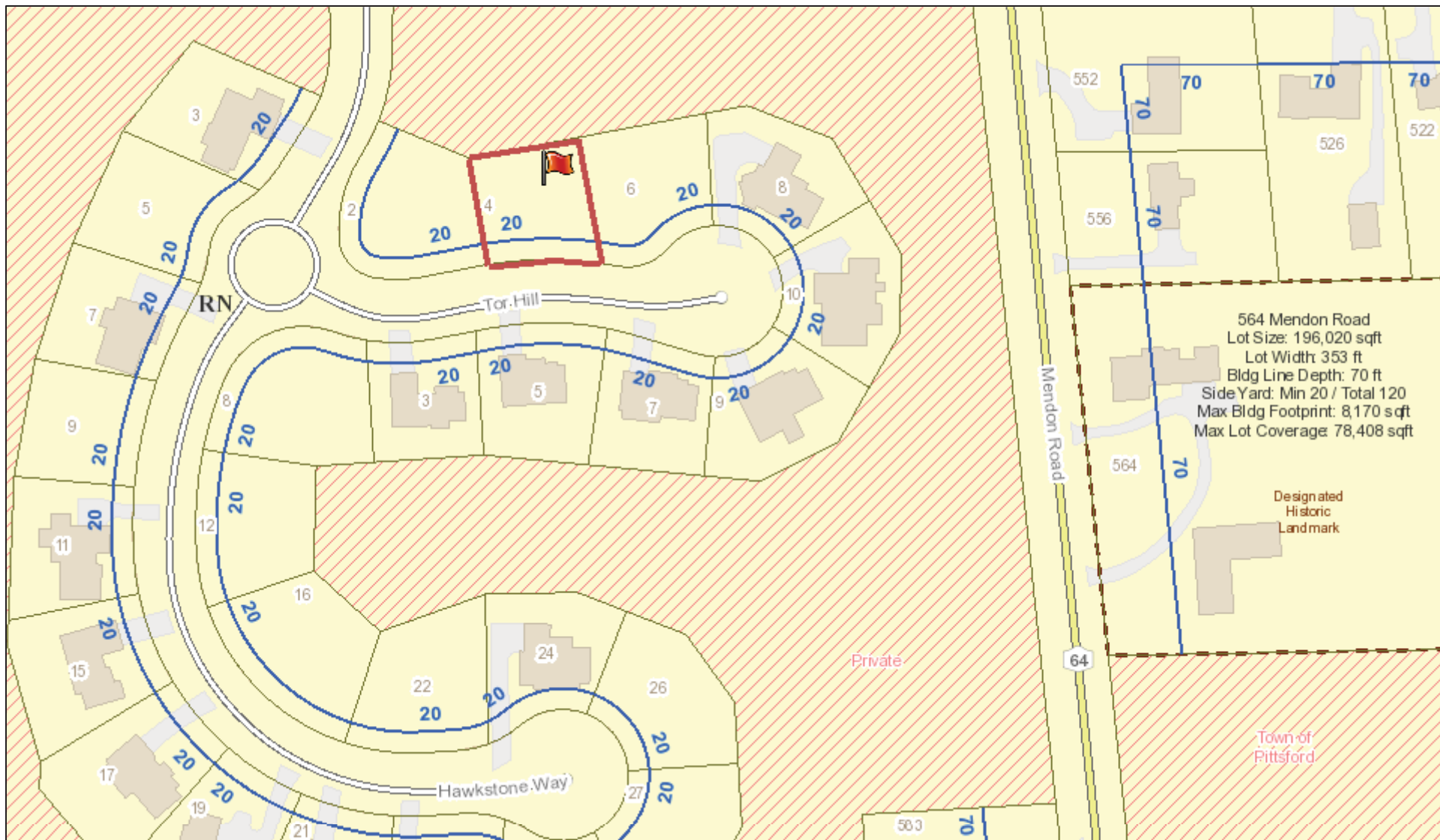
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design and review for the construction of a one story single family home. The home will be approximately 1980 Sq. Ft. and will be located on Lot#26 of the Cottages at Malvern Hills.

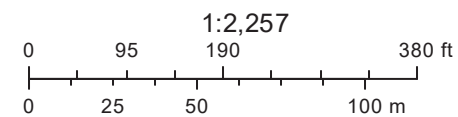
**Meeting Date:** October 24, 2019



# RN Residential Neighborhood Zoning



Printed October 17, 2019



Town of Pittsford GIS

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Thomell Road

Thomell Road

Hawkstone Way

Hawkstone Way

Hawkstone Way

Tor Hill

Tor Hill

Tor Hill

West Bloomfield Road

Mendon Road

3

5

2

6

8

10

7

9

8

3

5

7

9

11

12

16

22

24

26

17

Hawkstone Way

Hawkstone Way

Hawkstone Way

27

19

21

23

25

583

552

526

522

518

556

564



# SPEC HOUSE

## LOT 26 COTTAGES AT MALVERN HILLS

### PITTSFORD, NY

#### KETMAR DEVELOPMENT CORP.

# PLAN 1980 R / PROJECT 2555 E

## SHEET INDEX

- C-1 COVER SHEET
- 1/4 ELEVATIONS
- 2/4 FOUNDATION PLAN
- 3/4 FIRST FLOOR & ROOF PLAN
- 4/4 SECTIONS & PLOT PLAN
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE EFFECTIVE OCTOBER 2016.  
 COMPLIANCE METHOD: RES CHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE  $\frac{1}{30}$  OF THE AREA OF THE VENTED SPACE.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANIF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### FOUNDATION :

ALL FOOTINGS TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES :

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING :

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

### STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 312.1.1 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2015 IRC.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2015 IRC.

### GARAGE FIREPROOFING :

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

### SITE WORK :

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2015 IRC AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### STRUCTURAL MATERIAL SPECIFICATIONS:

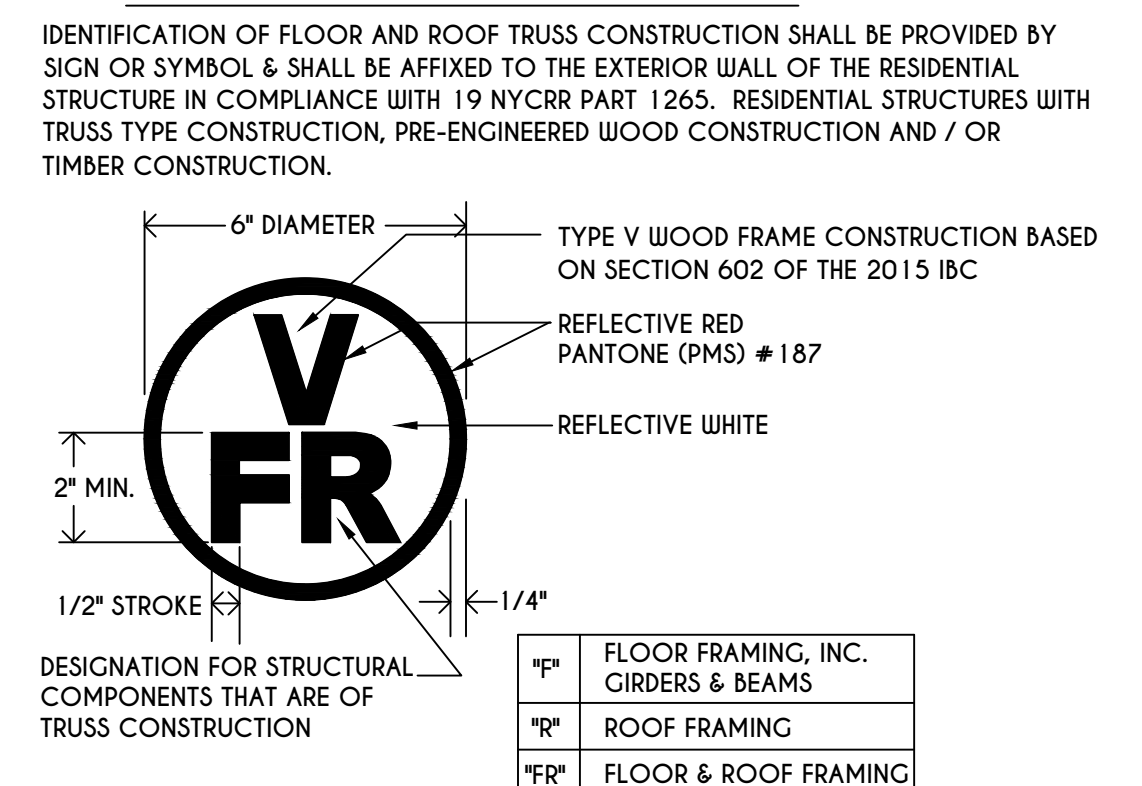
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E = 10 <sup>6</sup> - 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy - 33 KSI

### DESIGN CRITERIA:

( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:



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REVISIONS:		
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

LOT 26  
 COTTAGES AT MALVERN  
 PITTSFORD, NY

**BUILDER:**

KETMAR  
 DEVELOPMENT CORP.

### COVER PAGE

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 19
PROJECT: 2555 E	sheet: C-1

**WINDOWS:** VVUD SOLARBAN GLASS W/ ARGON  
 U-FACTOR ..... 0.28  
 SHGC ..... 0.31

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2015 IECC

**WINDOW / DOOR LEGEND:**

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.1 OF 2015 IRC
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
- [FD] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 50 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1507.3 OF 2015 IRC (SEE TABLES M1507.3.3(1) & M1507.3.3(2) PG. 1)

**TABLE M1507.3.3(1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DUELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

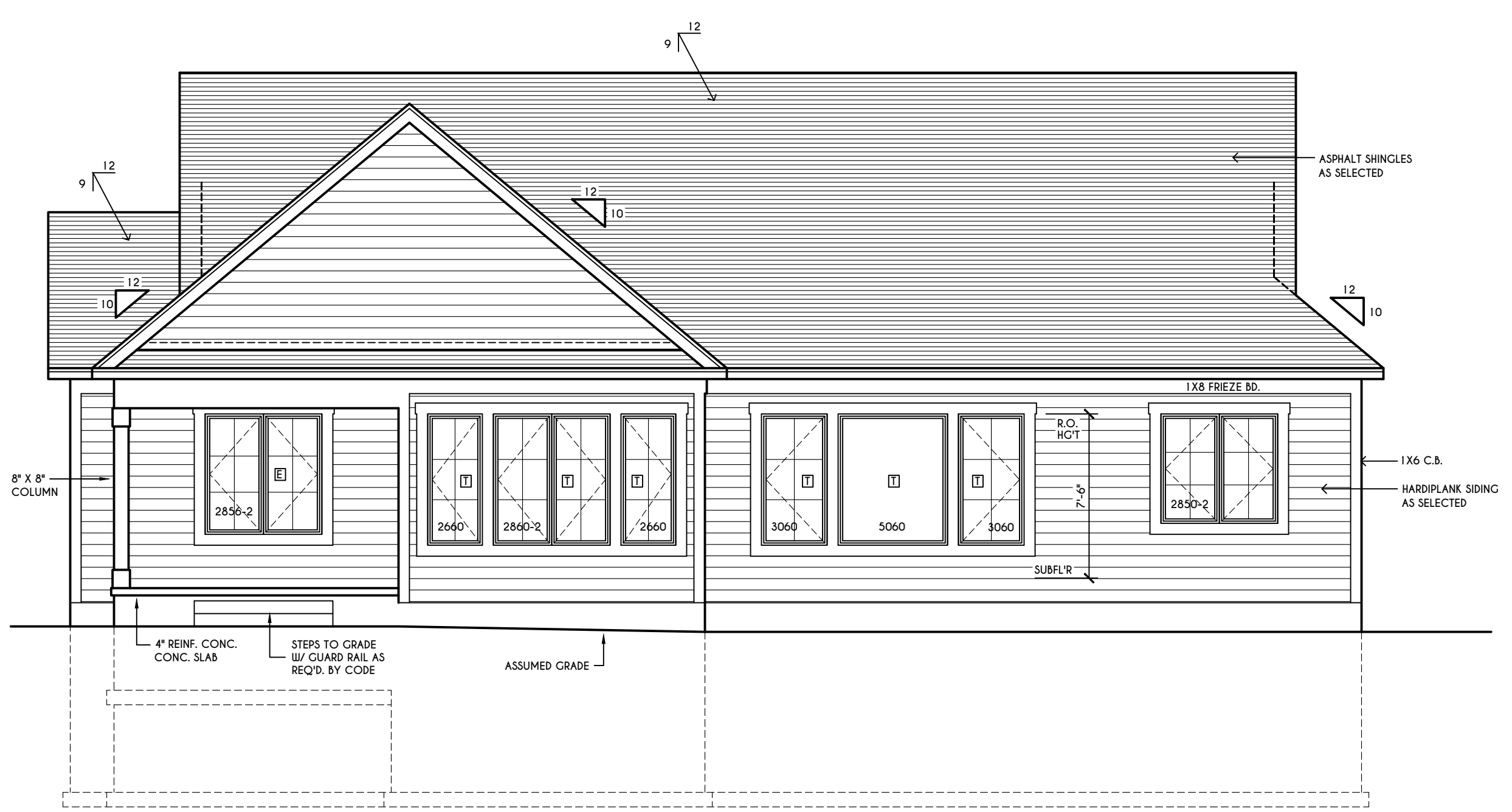
FOR Sl: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

**TABLE M1507.3.3(2)**

INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

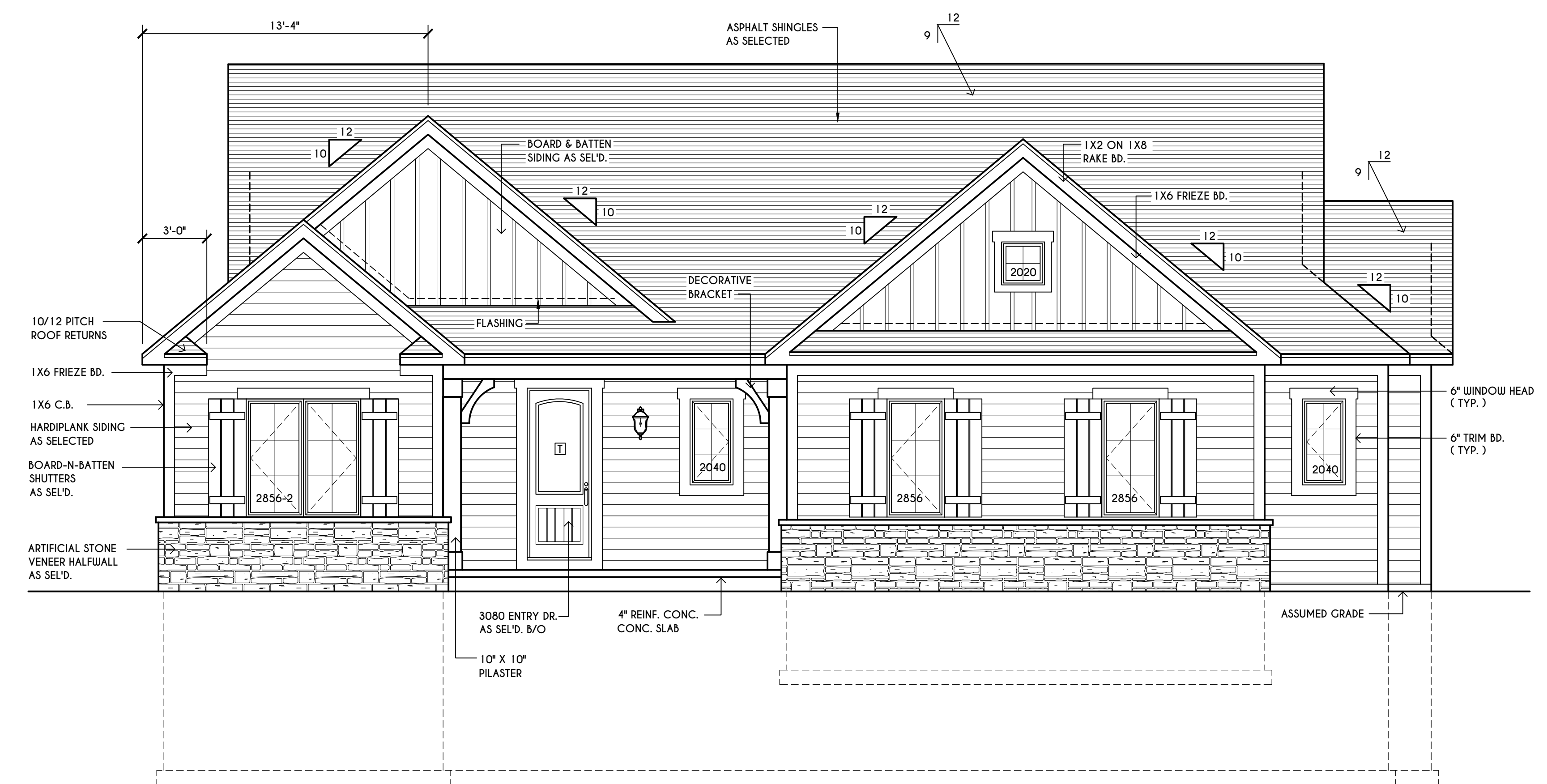
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.



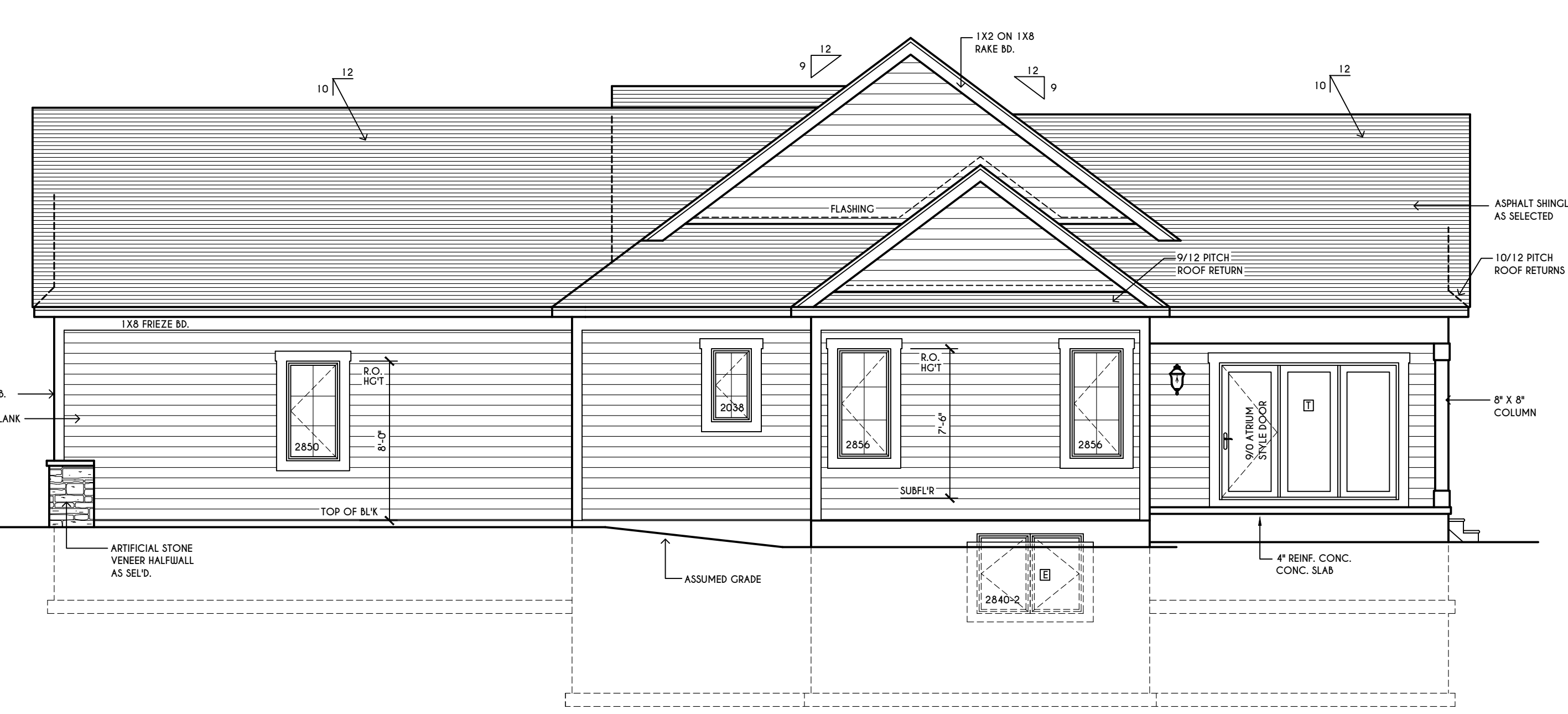
**REAR ELEVATION**

SCALE: 3/16" = 1'-0"



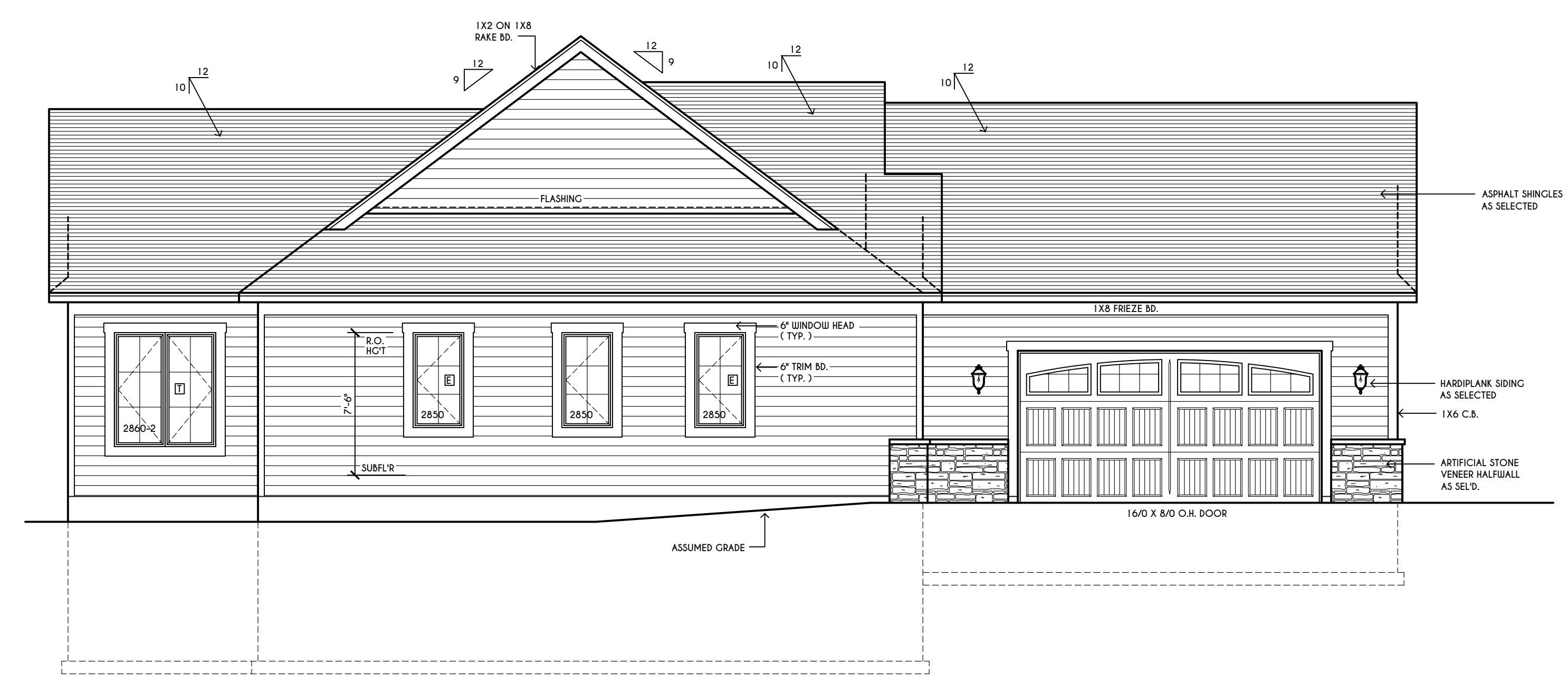
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
 TOTAL LIVING AREA = 1980 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 32,760 CU.FT.



**RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"



**LEFT ELEVATION**

SCALE: 3/16" = 1'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 LOT 26  
 COTTAGES AT MALVERN  
 PITTSFORD, NY

**BUILDER:**  
 KETMAR DEVELOPMENT CORP.

**ELEVATIONS**  
 GLA PLAN 1980 R

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 19
PROJECT: 2555 E	sheet: 1 / 4

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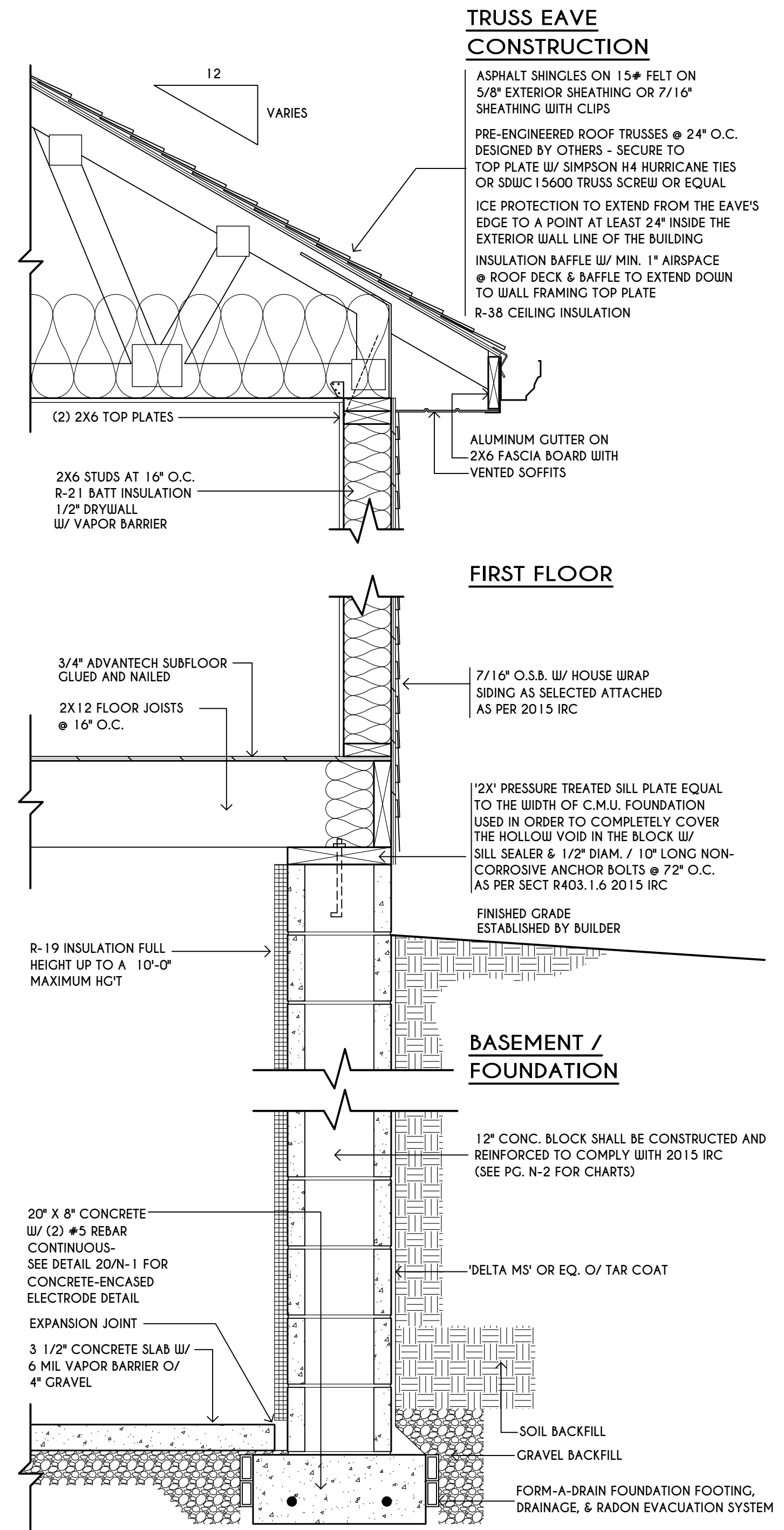
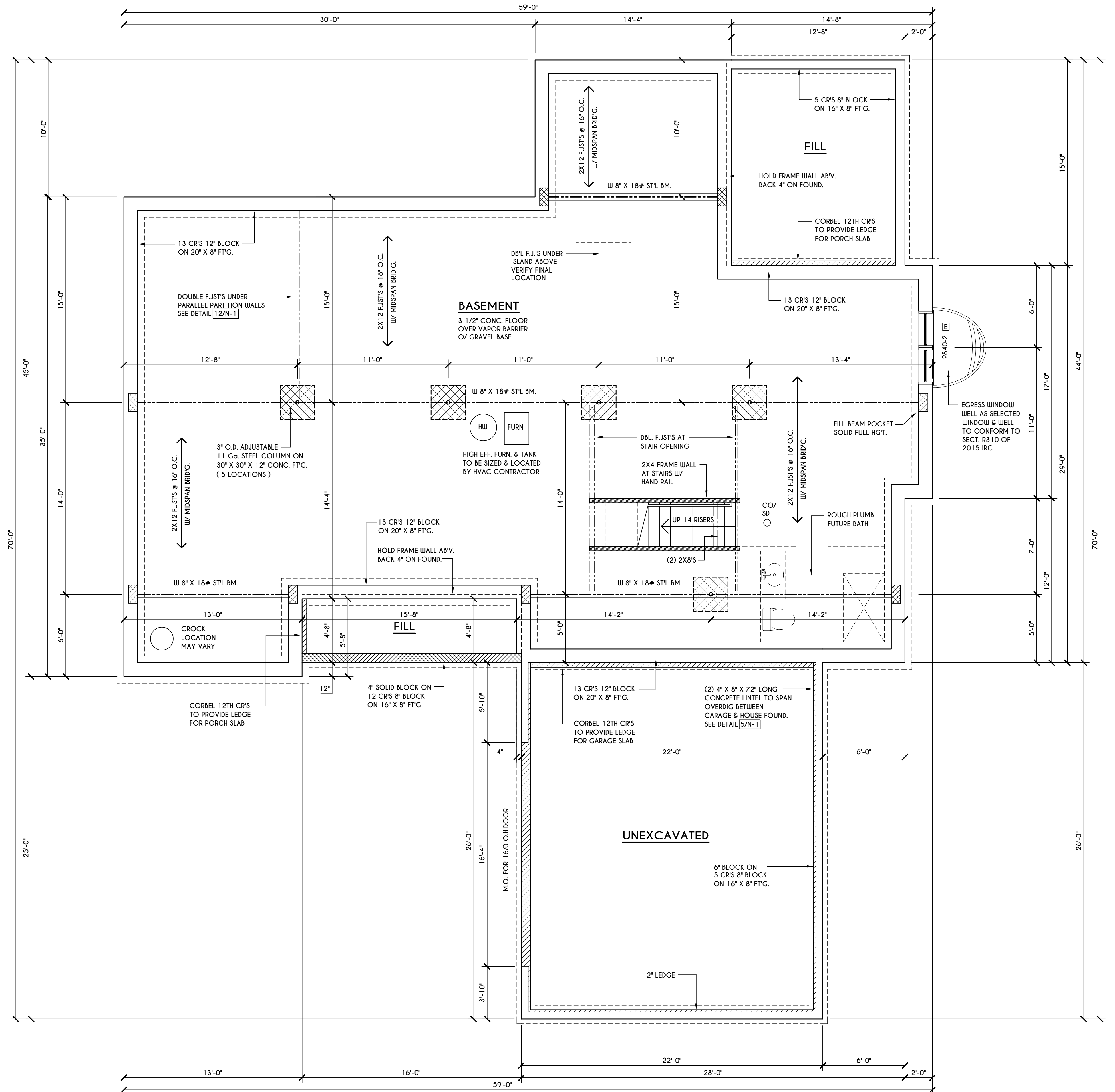
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 LOT 26  
 COTTAGES AT MALVERN  
 PITTSFORD, NY

**BUILDER:**  
 KETMAR DEVELOPMENT CORP.

**FOUNDATION PLAN**  
 GLA PLAN 1980 R

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 19
PROJECT: 2555 E	sheet: 2 / 4



**TYPICAL WALL SECTION**  
 SCALE: 1" = 1'-0"

**FRAMING LEGEND:**

	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.

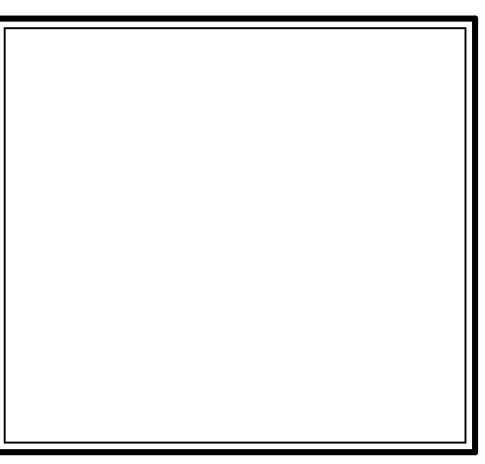
**BASEMENT & FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

**NOTES:** CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC  
 REINFORCE FOUNDATION WALLS AS PER 2015 IRC. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 20/N-1

**WINDOW / DOOR LEGEND:**

	- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
	- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
	- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

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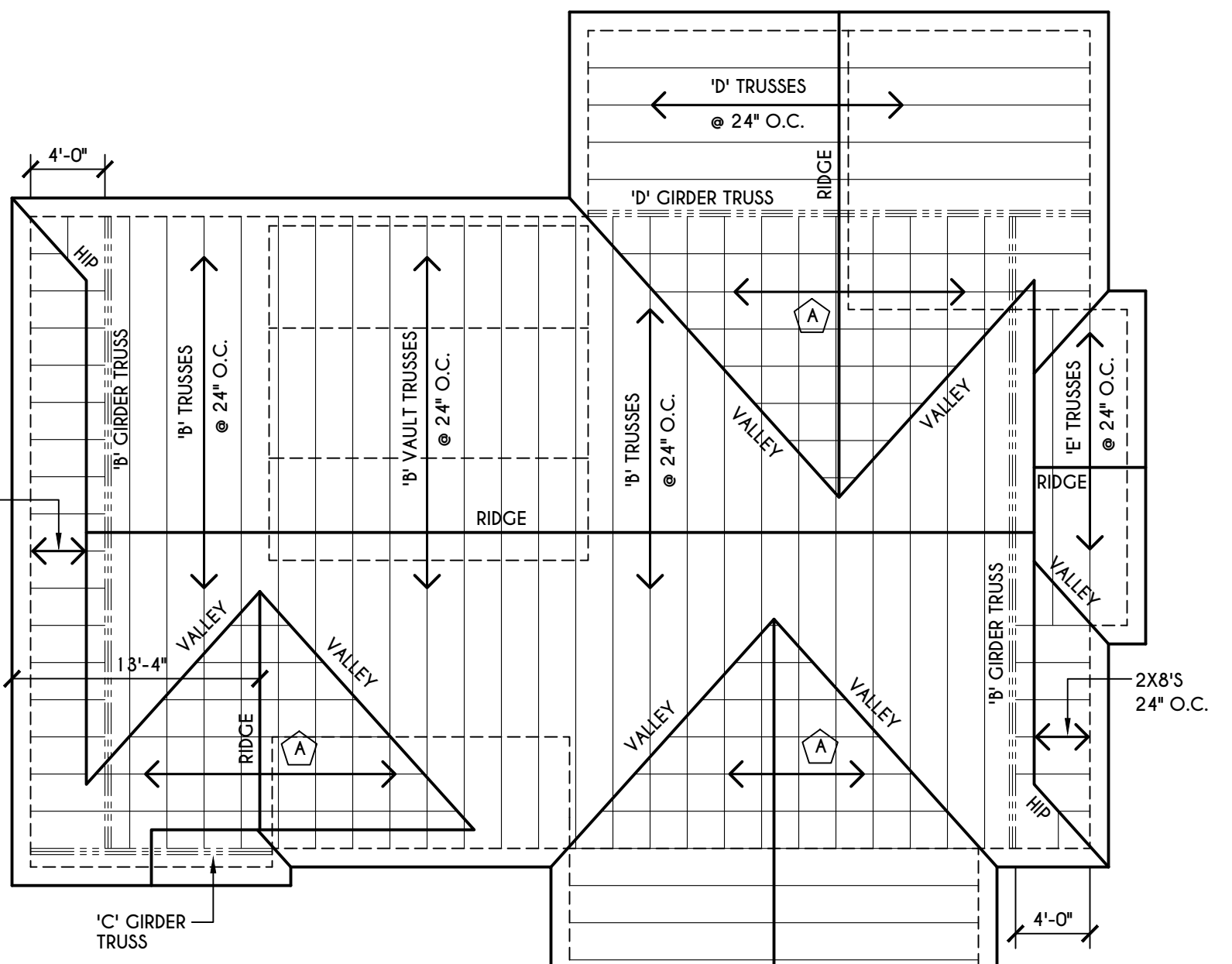
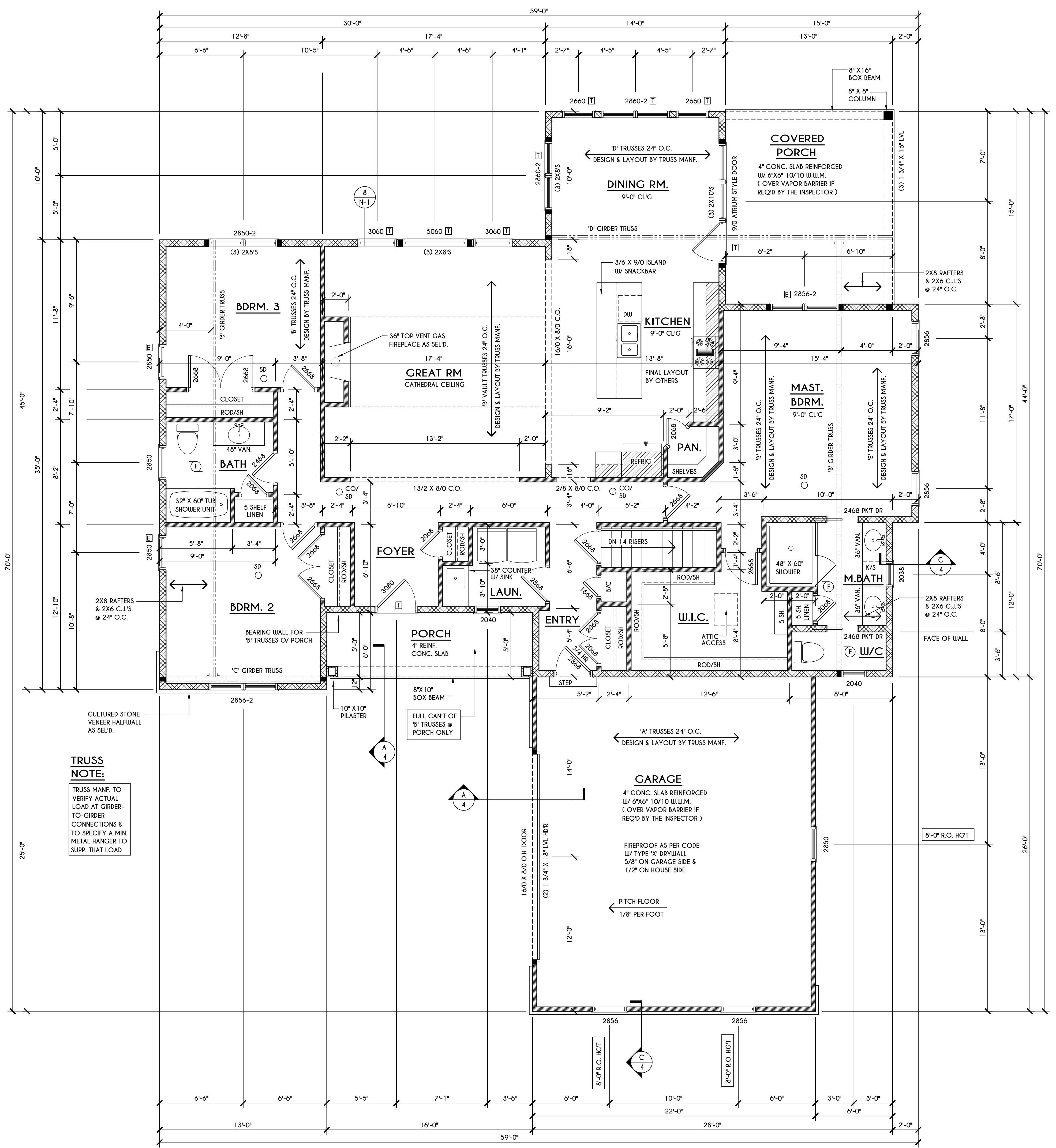
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 LOT 26  
 COTTAGES AT MALVERN  
 PITTSFORD, NY

**BUILDER:**  
 KETMAR DEVELOPMENT CORP.

**FIRST FLOOR PLAN**  
 GLA PLAN 1980 R

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 19
PROJECT: 2555 E	sheet: 3 4



**ROOF PLAN**

SCALE: 1/8" = 1'-0"

2X8 LAYOVER RAFTERS 24" O.C.

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

**FIRST FLOOR PLAN**

1980 SQ. FT.

SCALE: 1/4" = 1'-0"

**NOTES:**  
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)  
 ALL WINDOW R.O. HGT'S TO BE 7'-6" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**FRAMING LEGEND:**

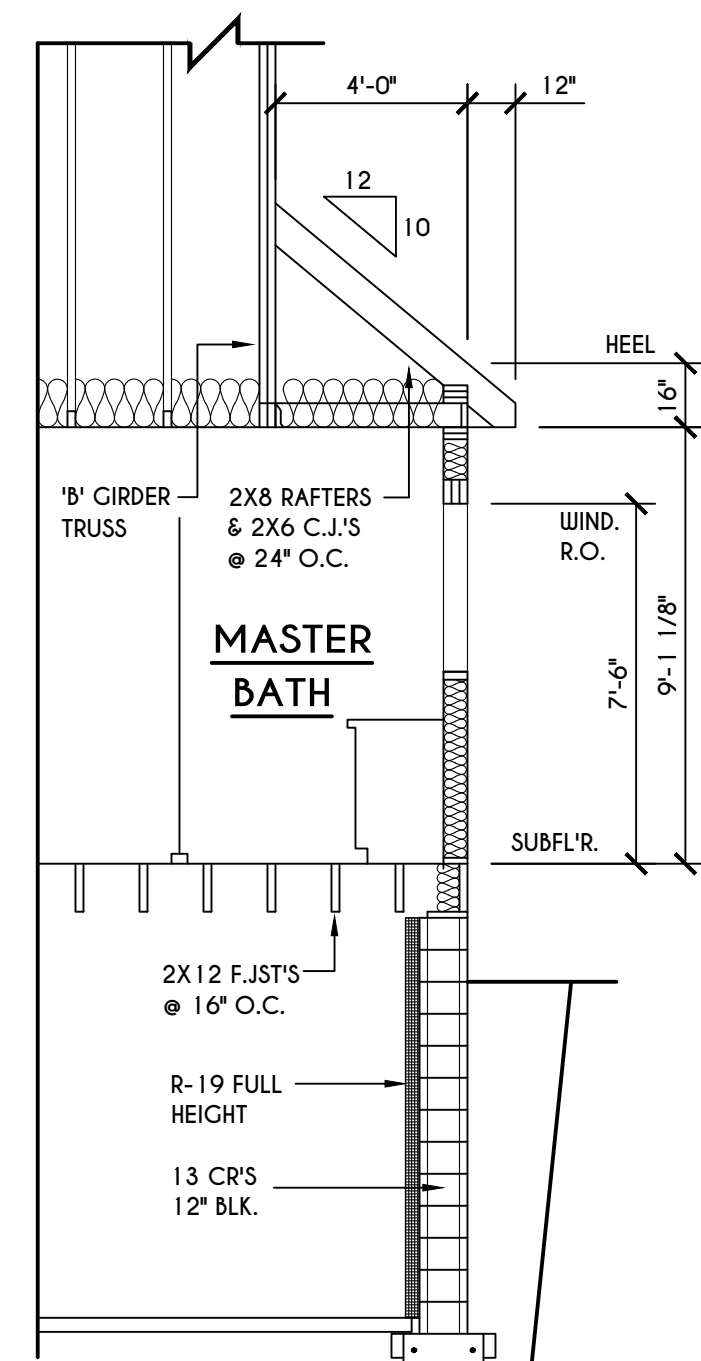
	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE * OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

**WINDOW / DOOR LEGEND:**

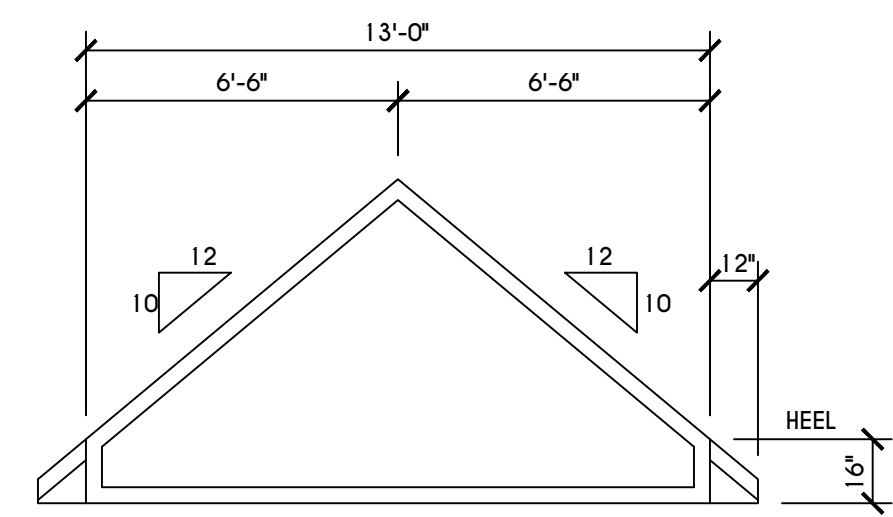
	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

**TRUSS NOTE:**

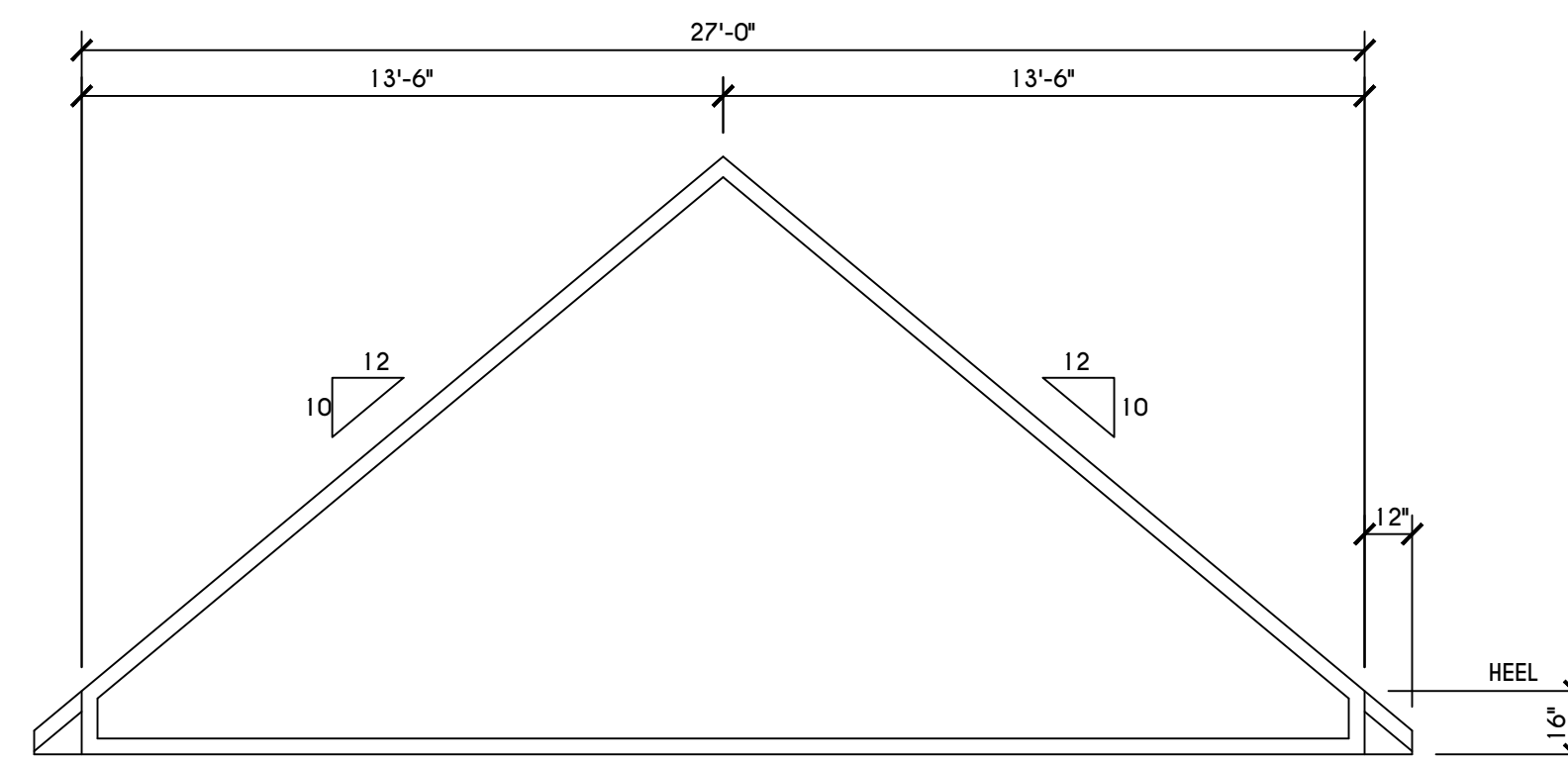
TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD



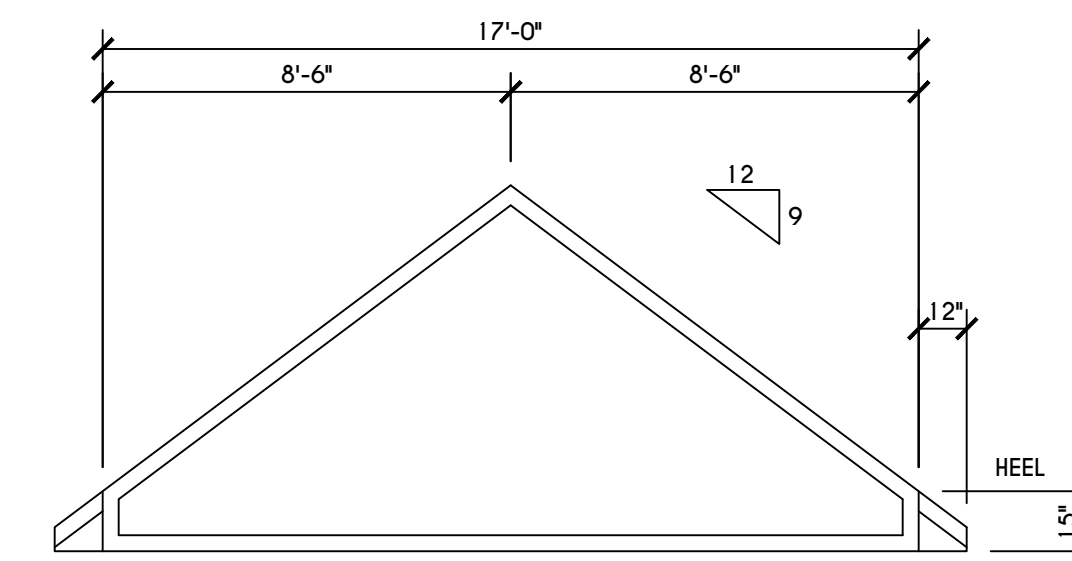
**C BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



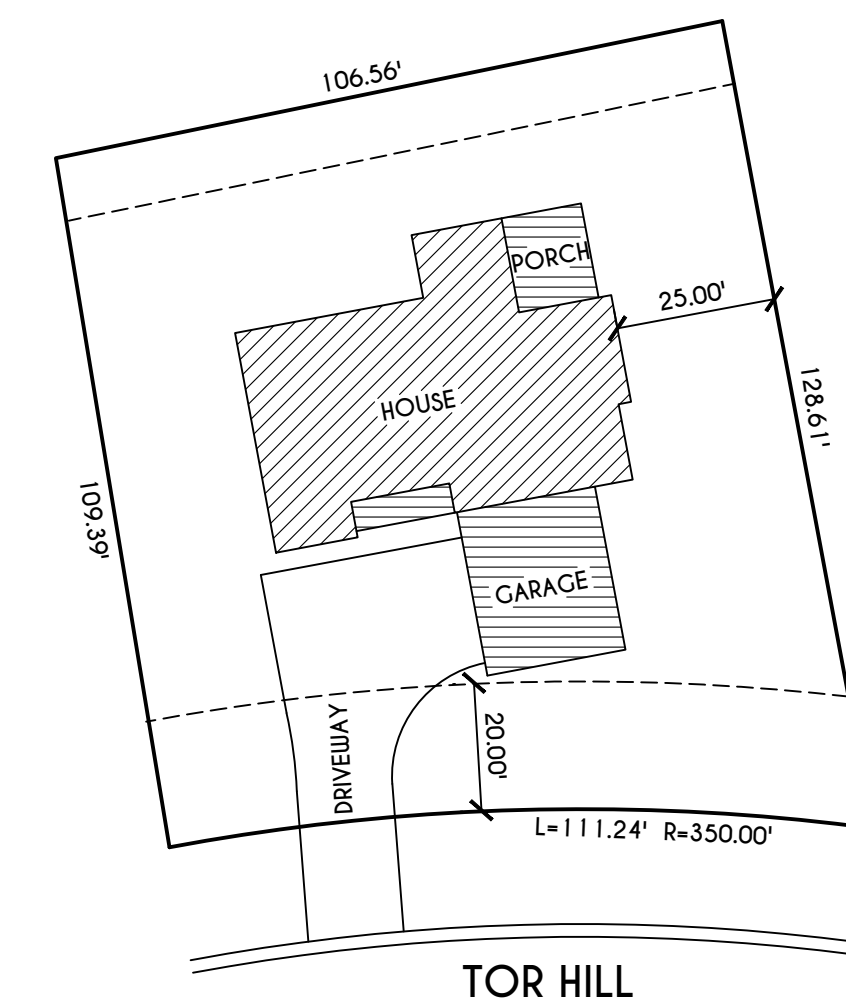
**'C' TRUSS PROFILE**  
SCALE: 1/4" = 1'-0"



**'D' TRUSS PROFILE**  
SCALE: 1/4" = 1'-0"

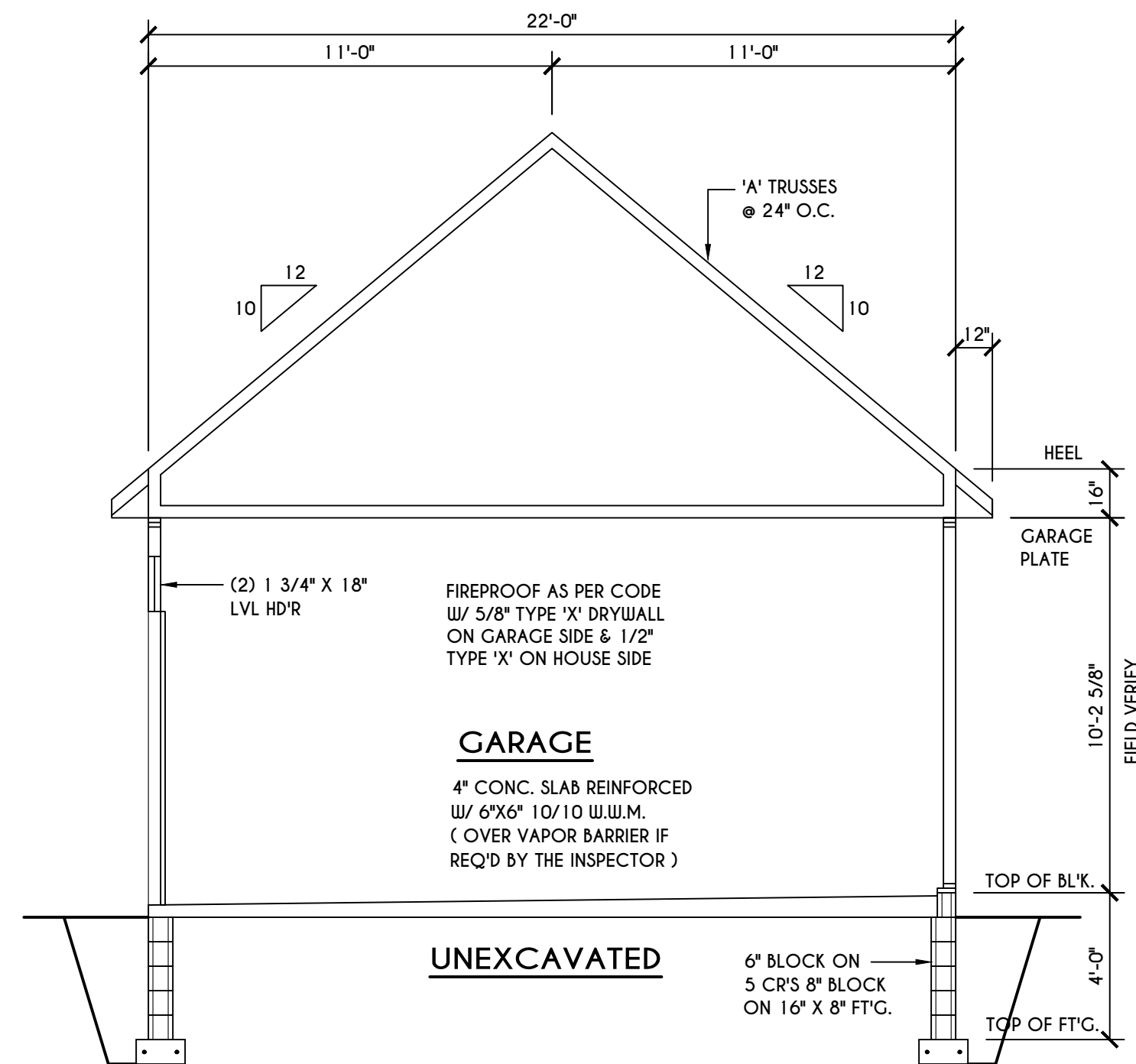


**'E' TRUSS PROFILE**  
SCALE: 1/4" = 1'-0"

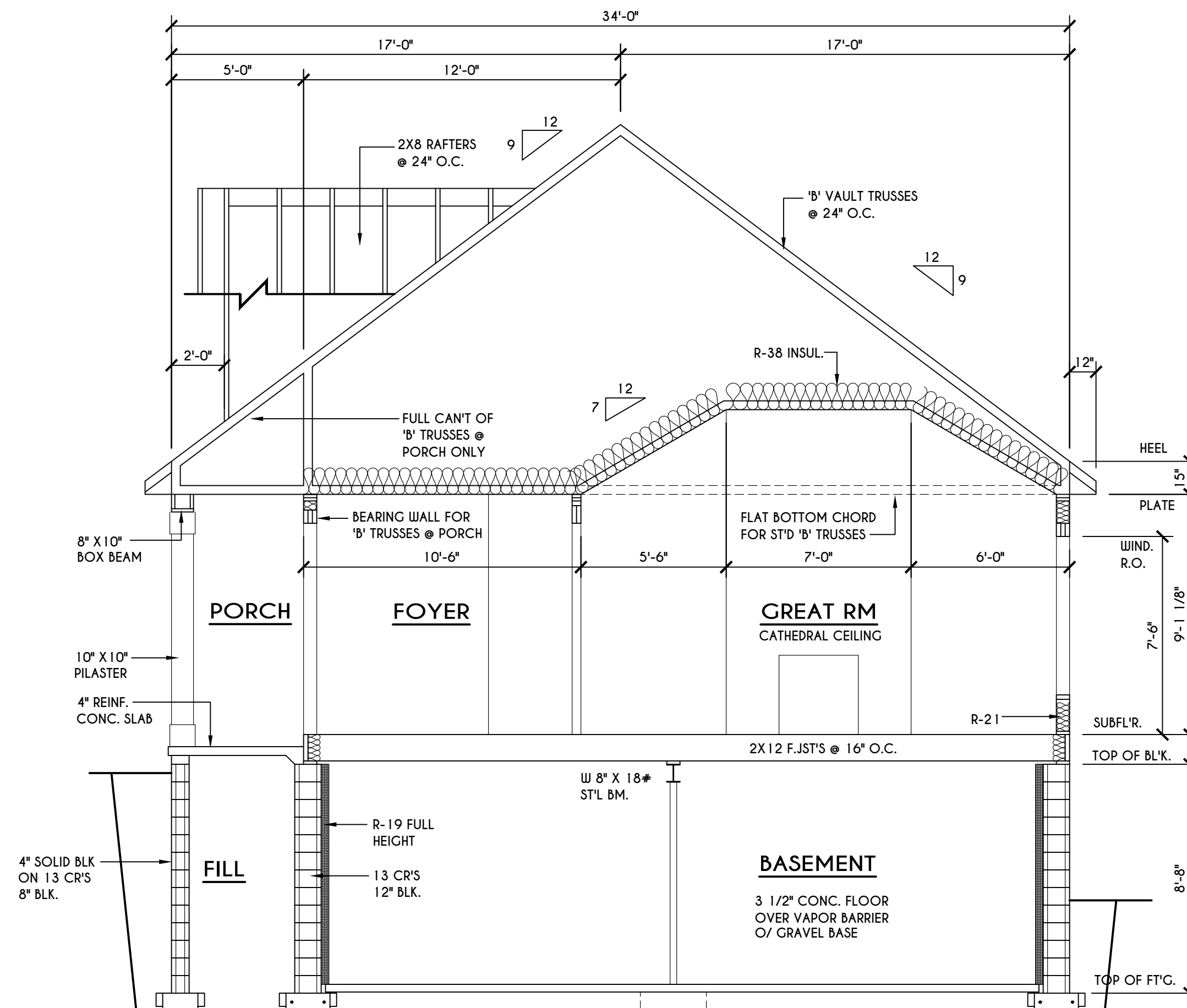


**PLOT PLAN**

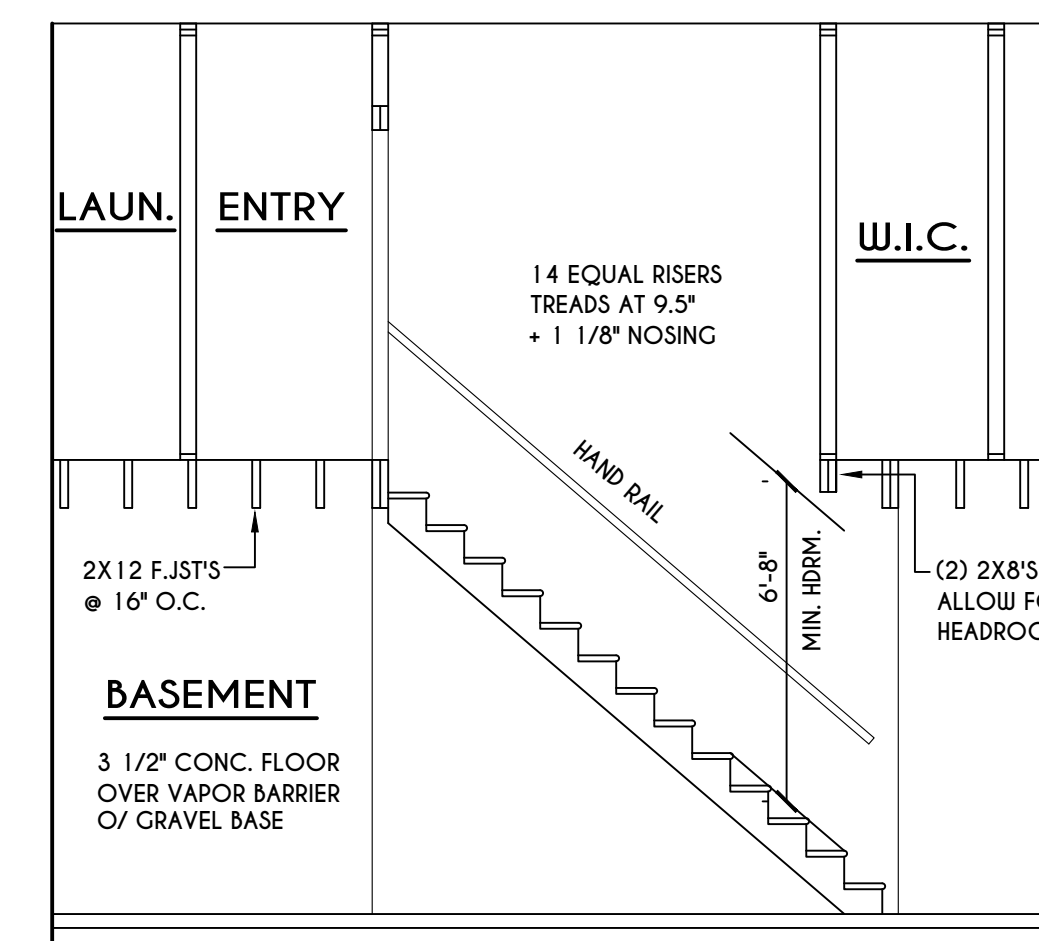
SCALE: 1" = 30'-0"  
LOT 26  
COTTAGES AT MALVERN HILLS  
PITTSFORD, NY



**A BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**STAIR SECTION**

SCALE: 1/4" = 1'-0"

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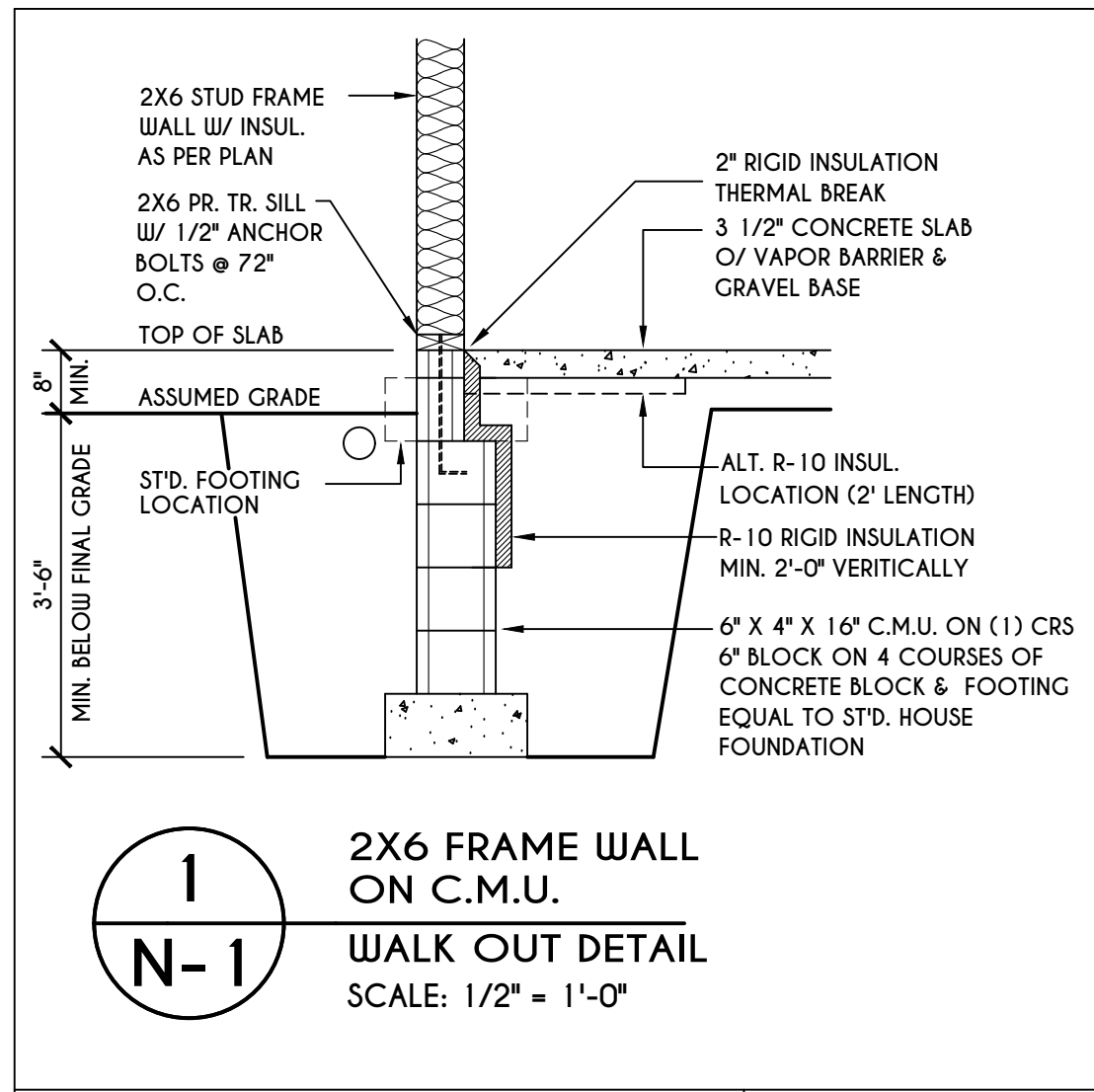
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
LOT 26  
COTTAGES AT MALVERN  
PITTSFORD, NY

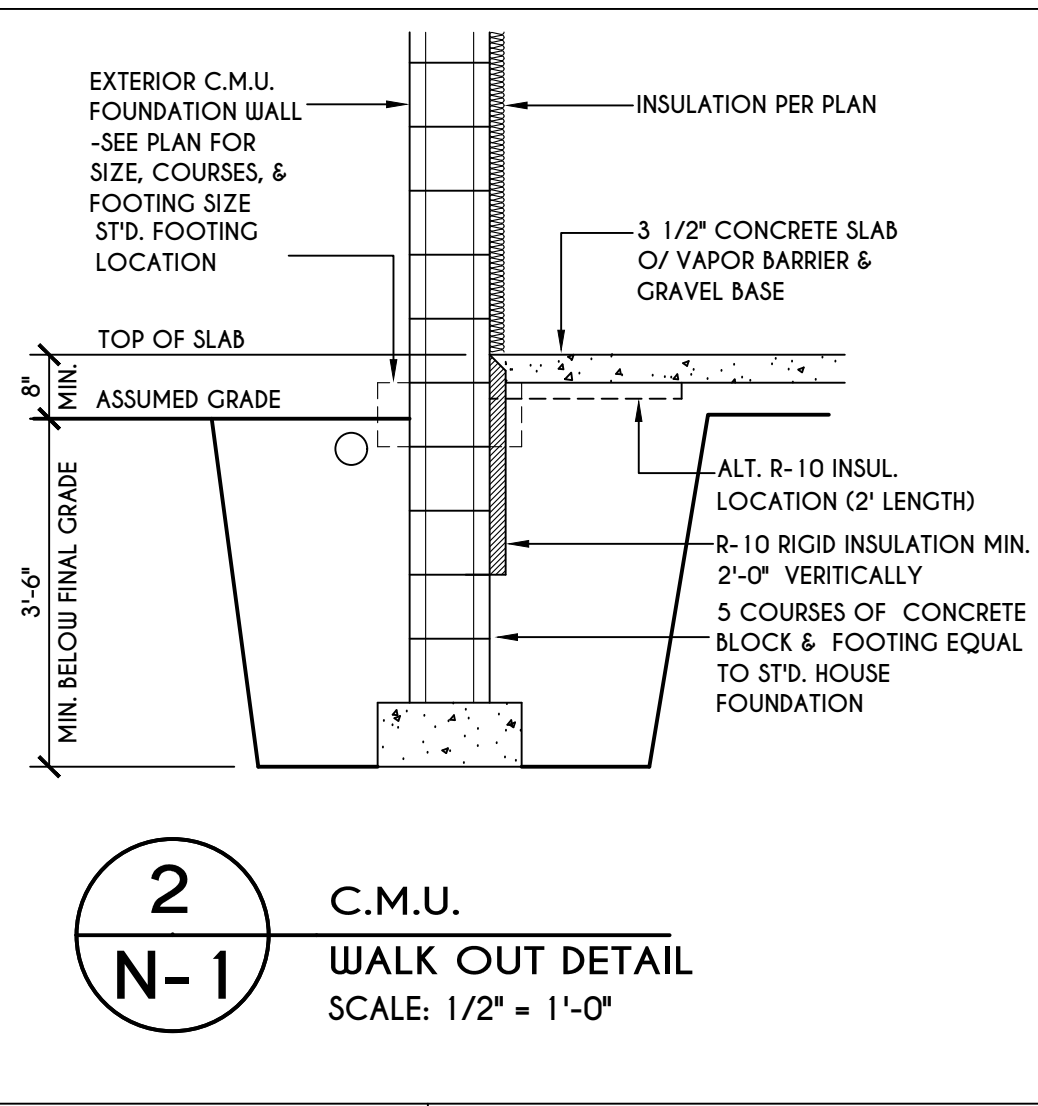
**BUILDER:**  
KETMAR DEVELOPMENT CORP.

**SECTIONS & ROOF PLAN**  
GLA PLAN 1980 R

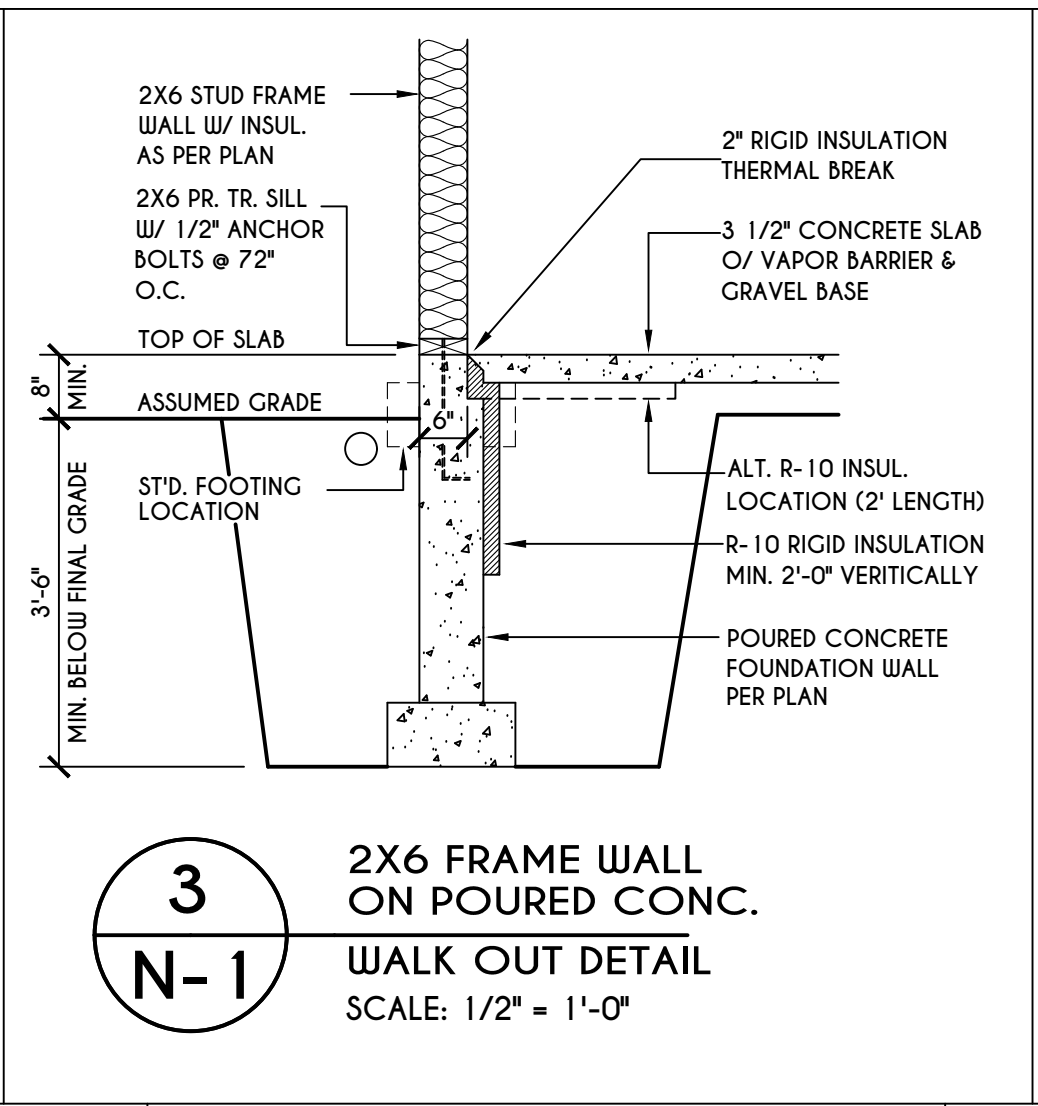
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scale: AS NOTED	date: 7 / 19
PROJECT: 2555 E	sheet: 4 / 4



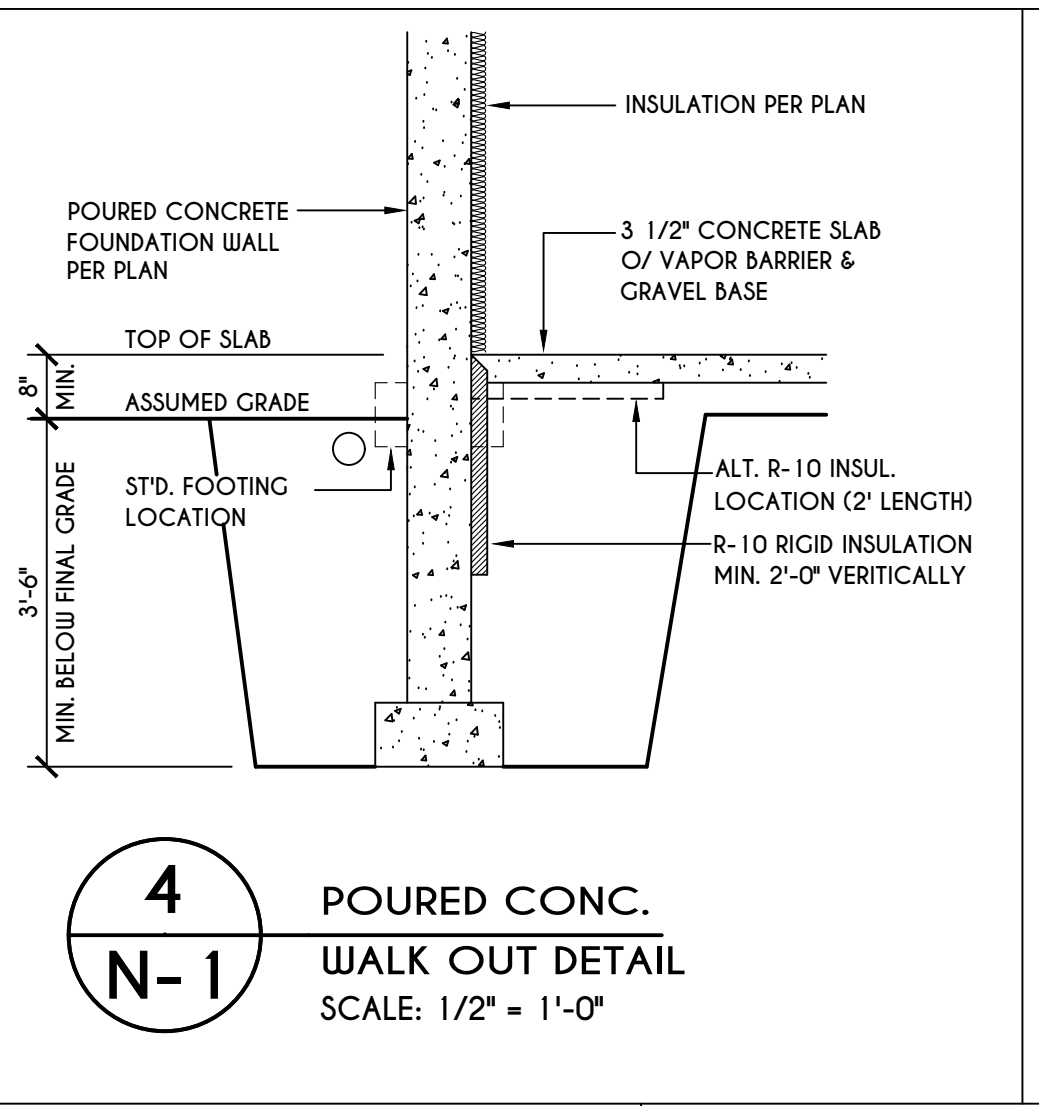
**1**  
N-1  
2X6 FRAME WALL ON C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



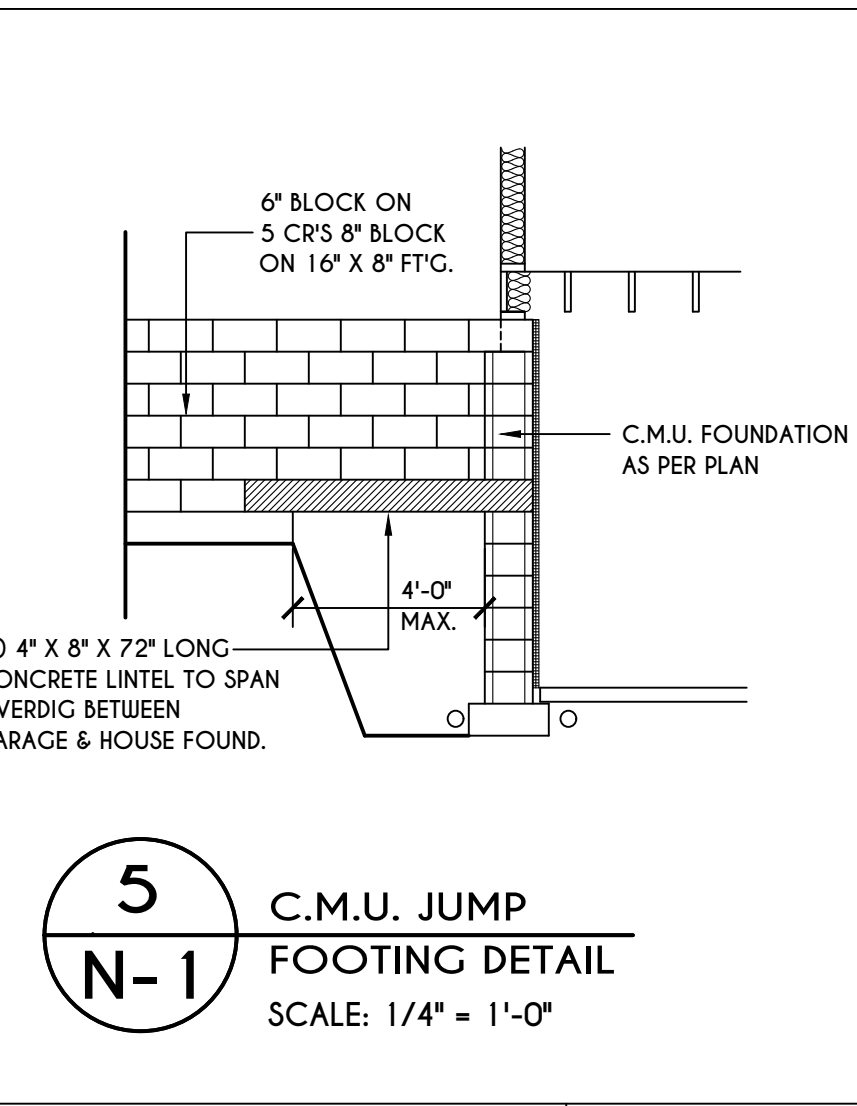
**2**  
N-1  
C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



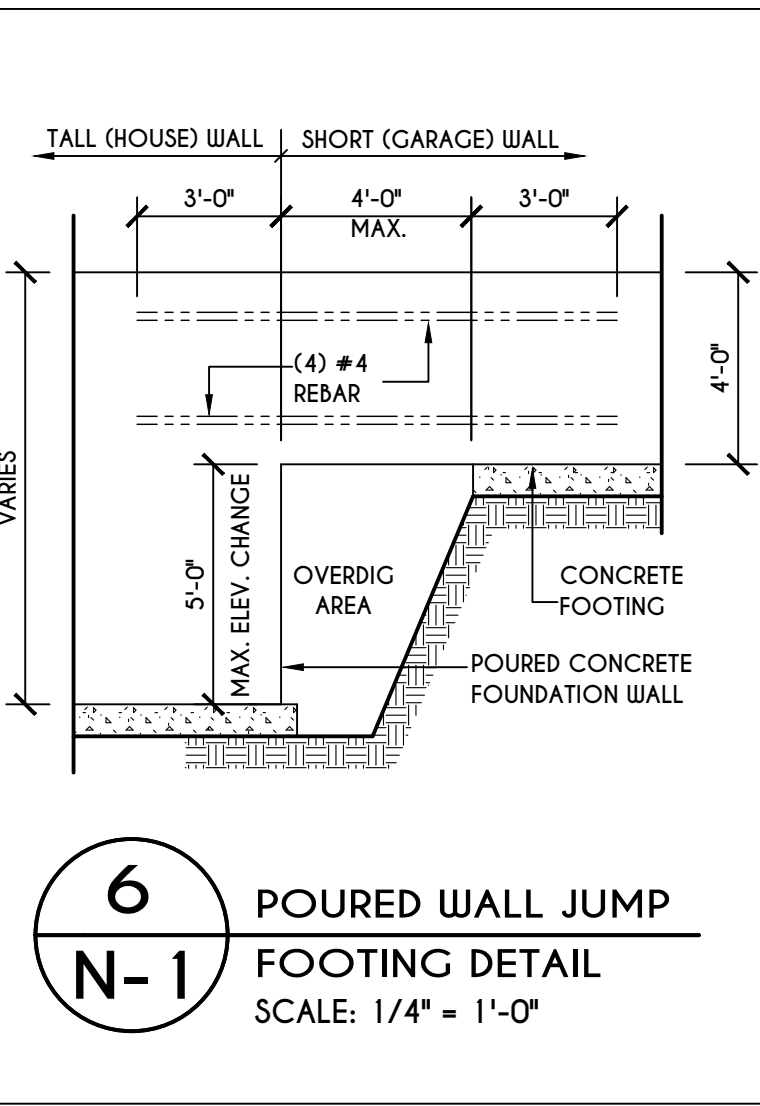
**3**  
N-1  
2X6 FRAME WALL ON POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



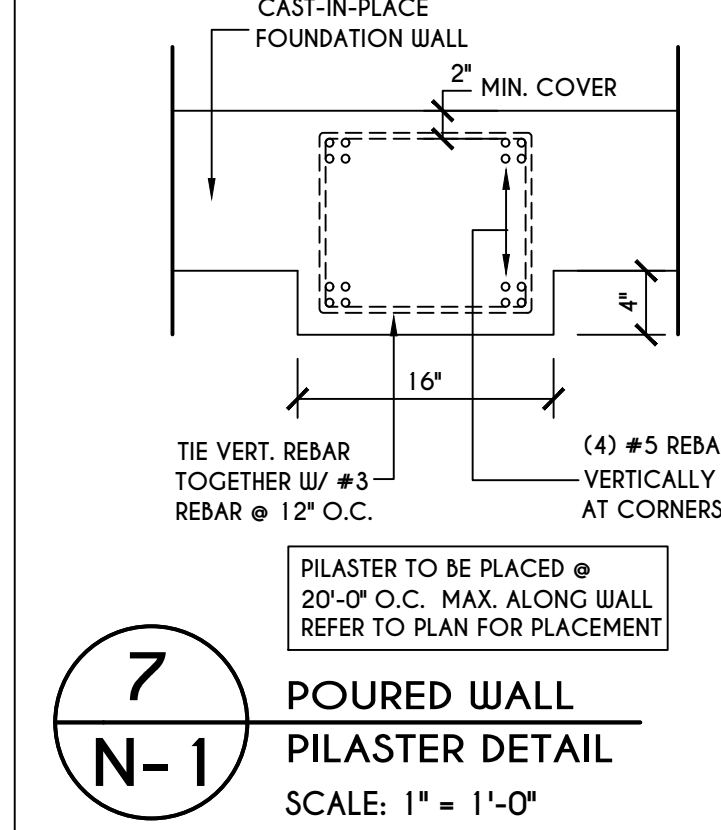
**4**  
N-1  
POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



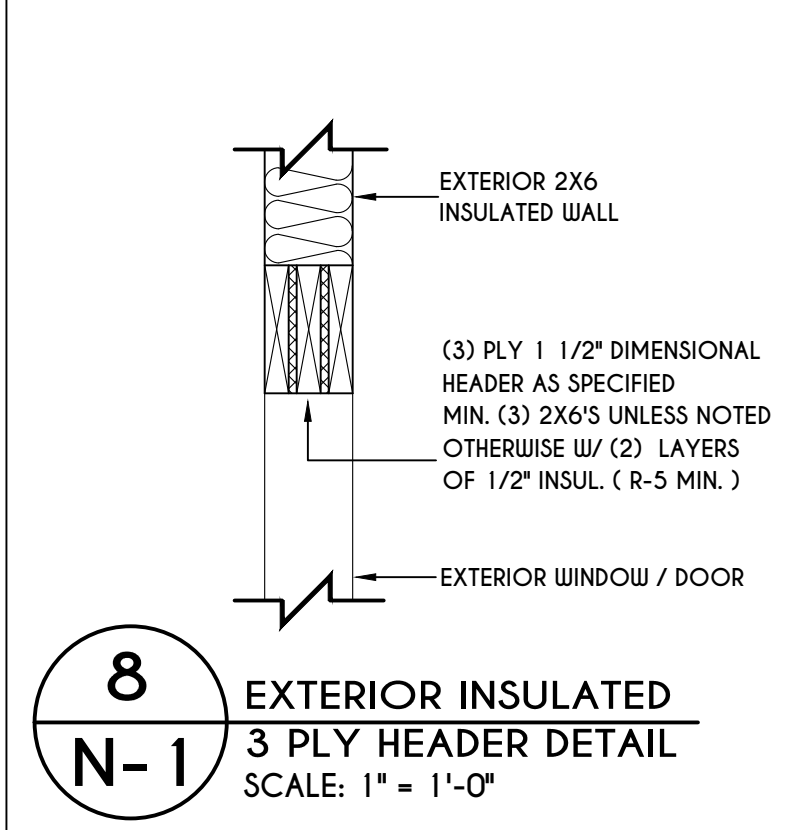
**5**  
N-1  
C.M.U. JUMP  
FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



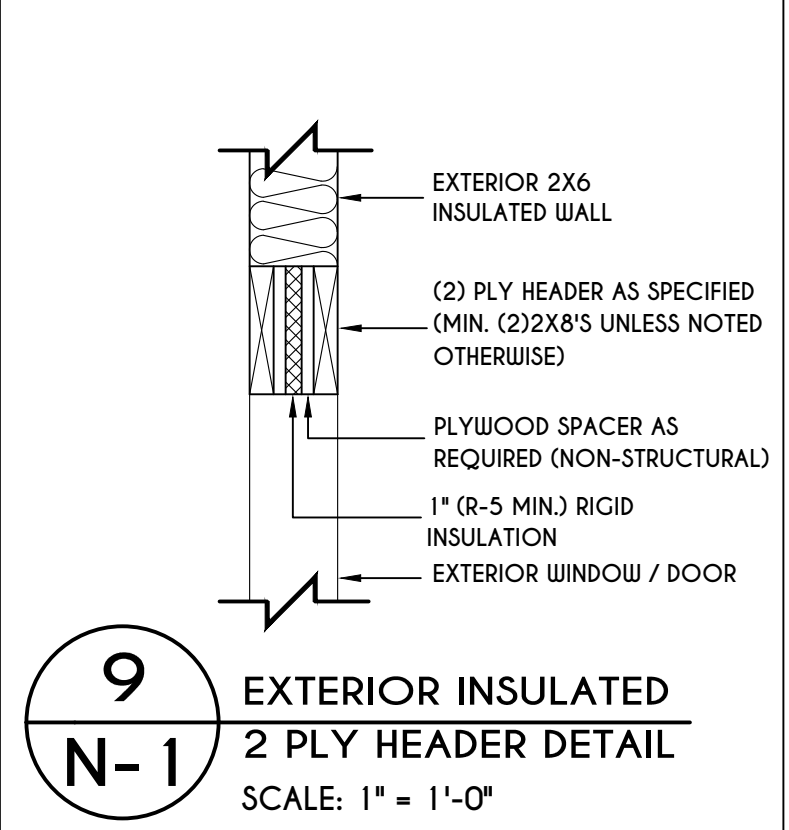
**6**  
N-1  
POURED WALL JUMP  
FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



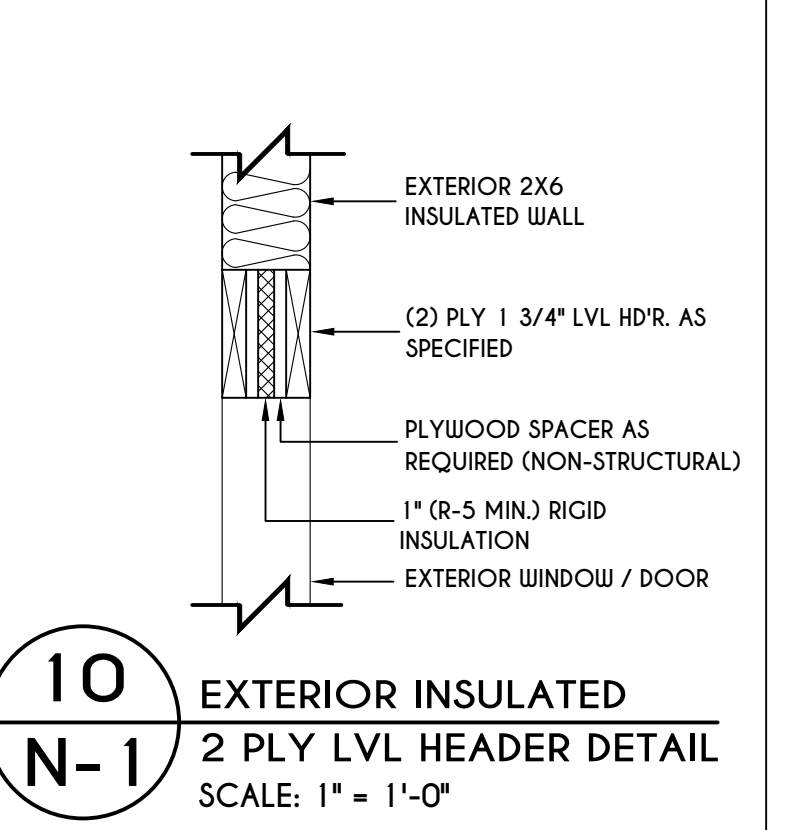
**7**  
N-1  
POURED WALL  
PLASTER DETAIL  
SCALE: 1" = 1'-0"



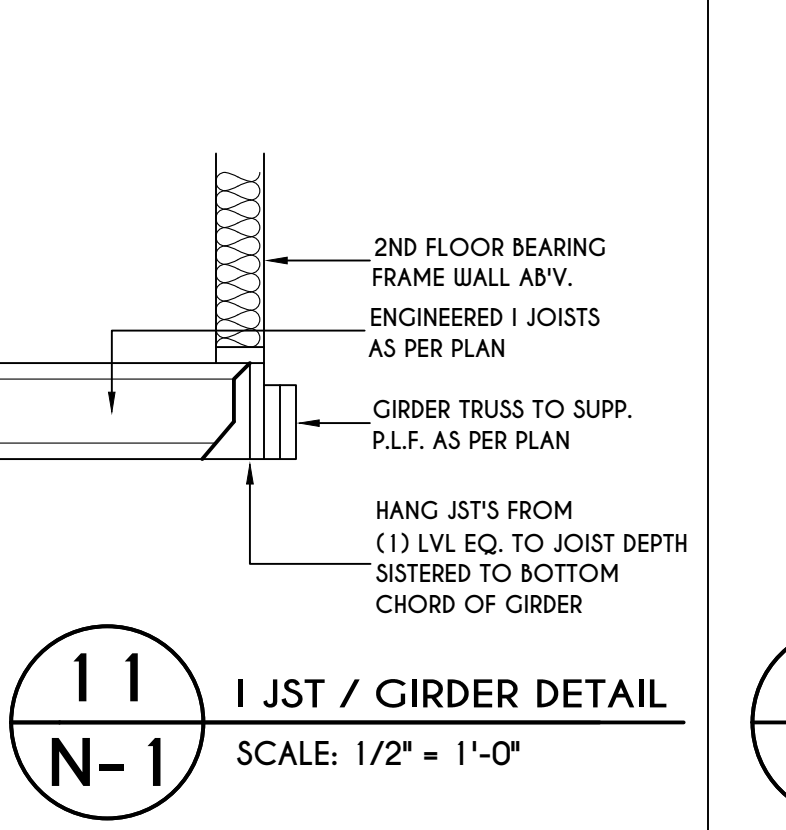
**8**  
N-1  
EXTERIOR INSULATED  
3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



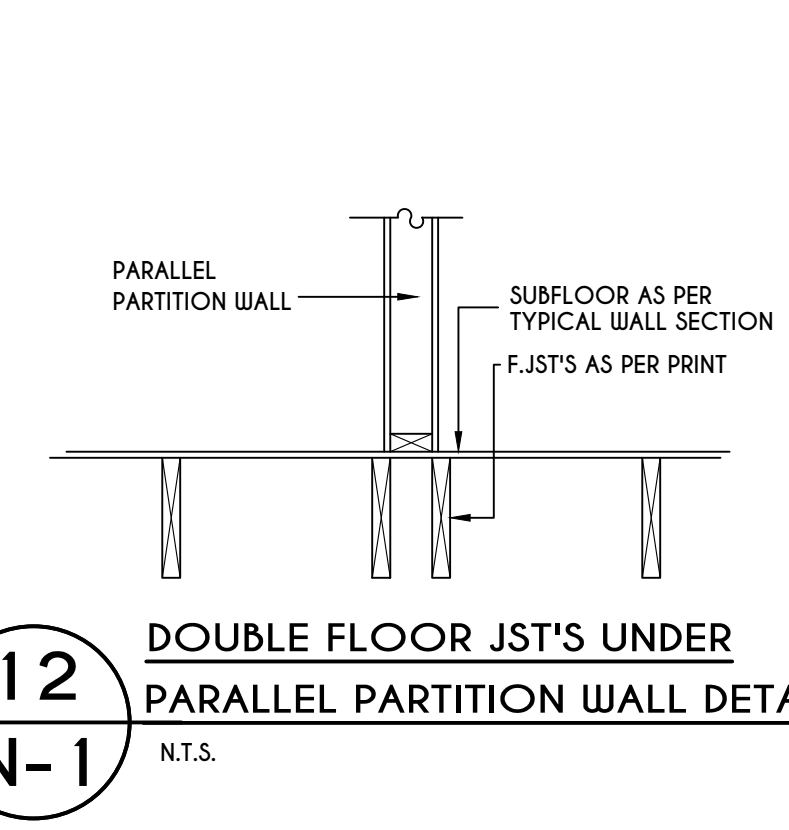
**9**  
N-1  
EXTERIOR INSULATED  
2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



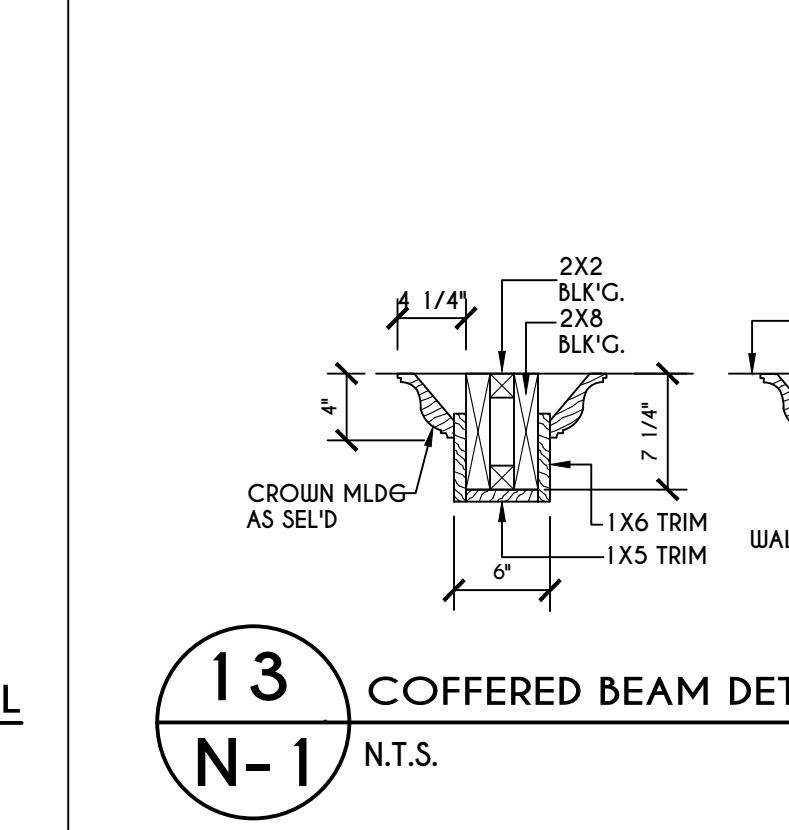
**10**  
N-1  
EXTERIOR INSULATED  
2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



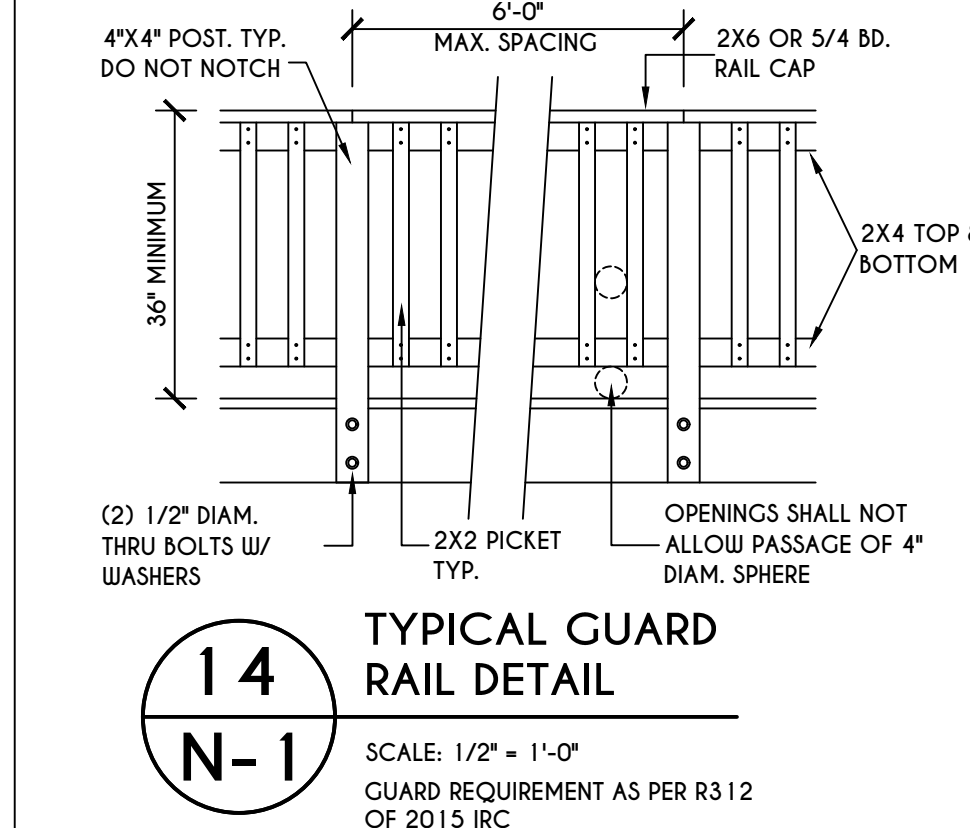
**11**  
N-1  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



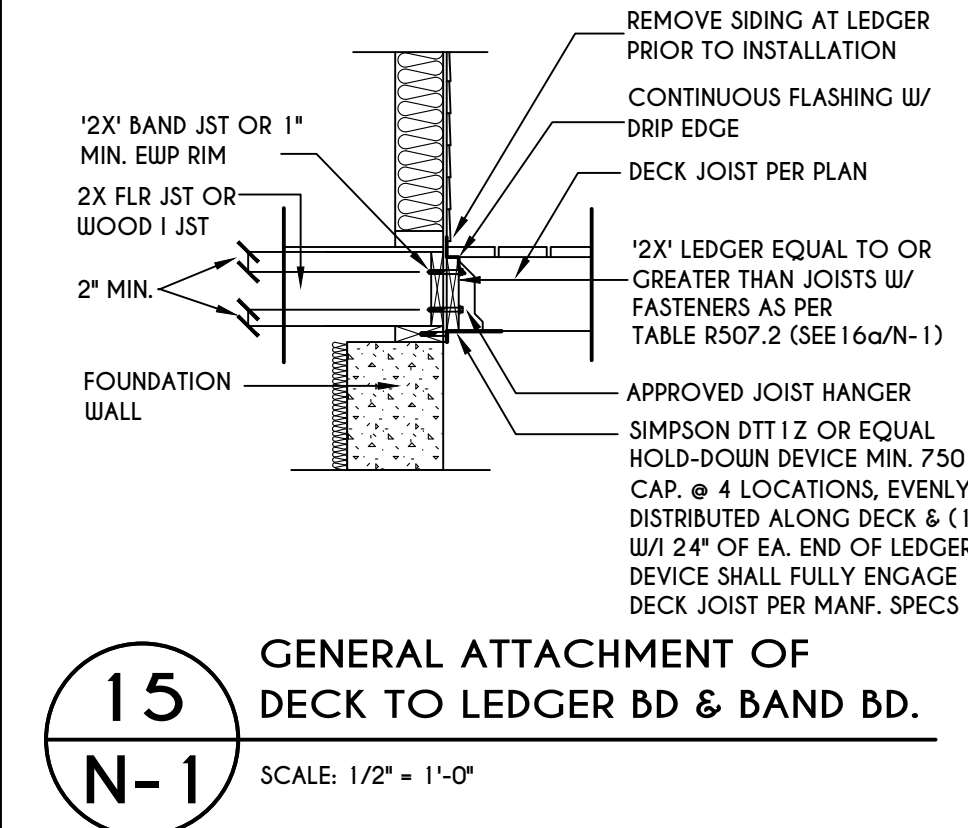
**12**  
N-1  
DOUBLE FLOOR JST'S UNDER  
PARALLEL PARTITION WALL DETAIL  
N.T.S.



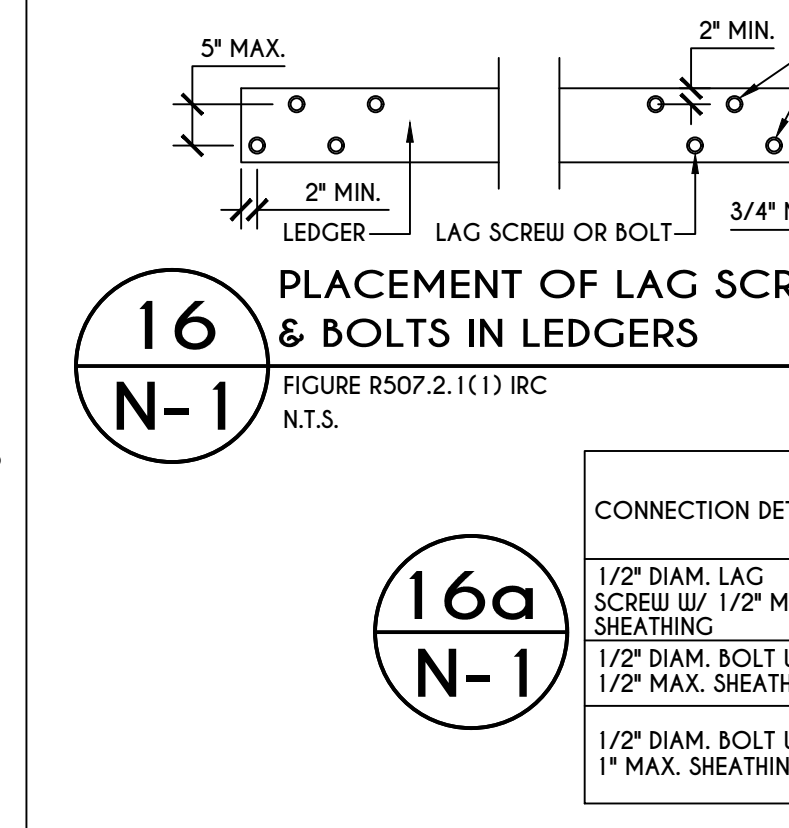
**13**  
N-1  
COFFERED BEAM DETAIL  
N.T.S.



**14**  
N-1  
TYPICAL GUARD  
RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENT AS PER R3.12 OF 2015 IRC



**15**  
N-1  
GENERAL ATTACHMENT OF  
DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"

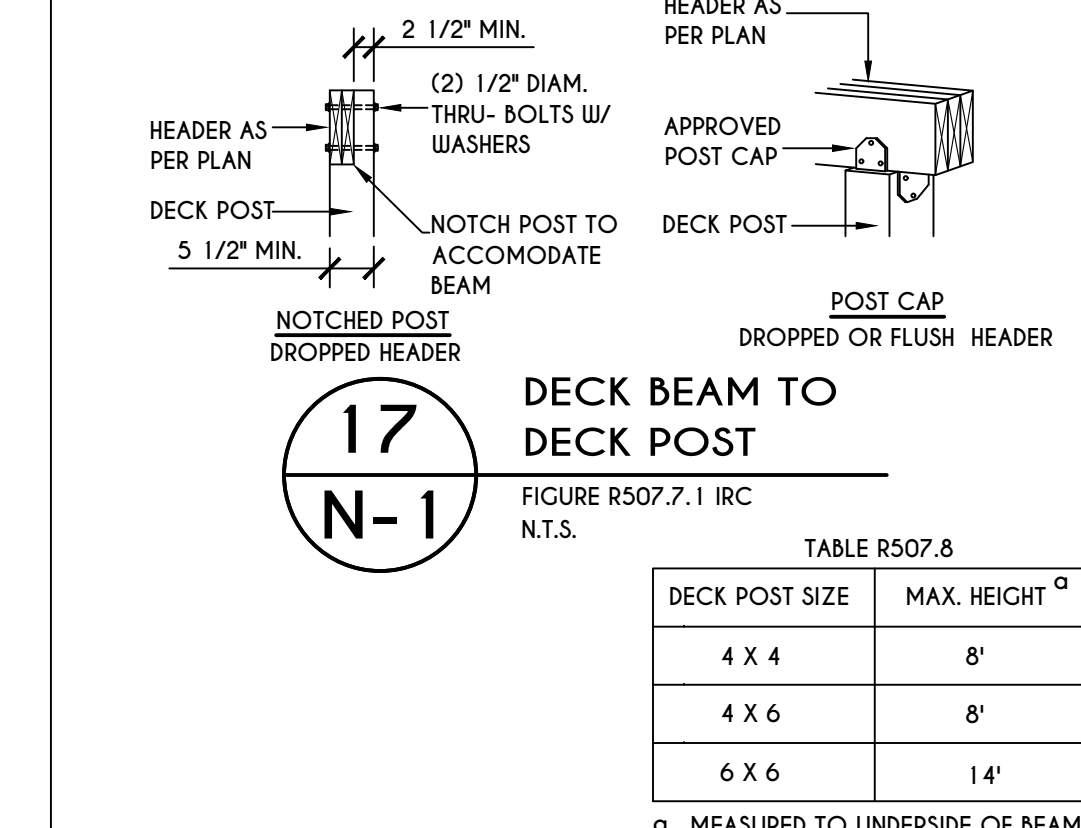


**16**  
N-1  
PLACEMENT OF LAG SCREWS  
& BOLTS IN LEDGERS  
FIGURE R507.2.1(1) IRC  
N.T.S.

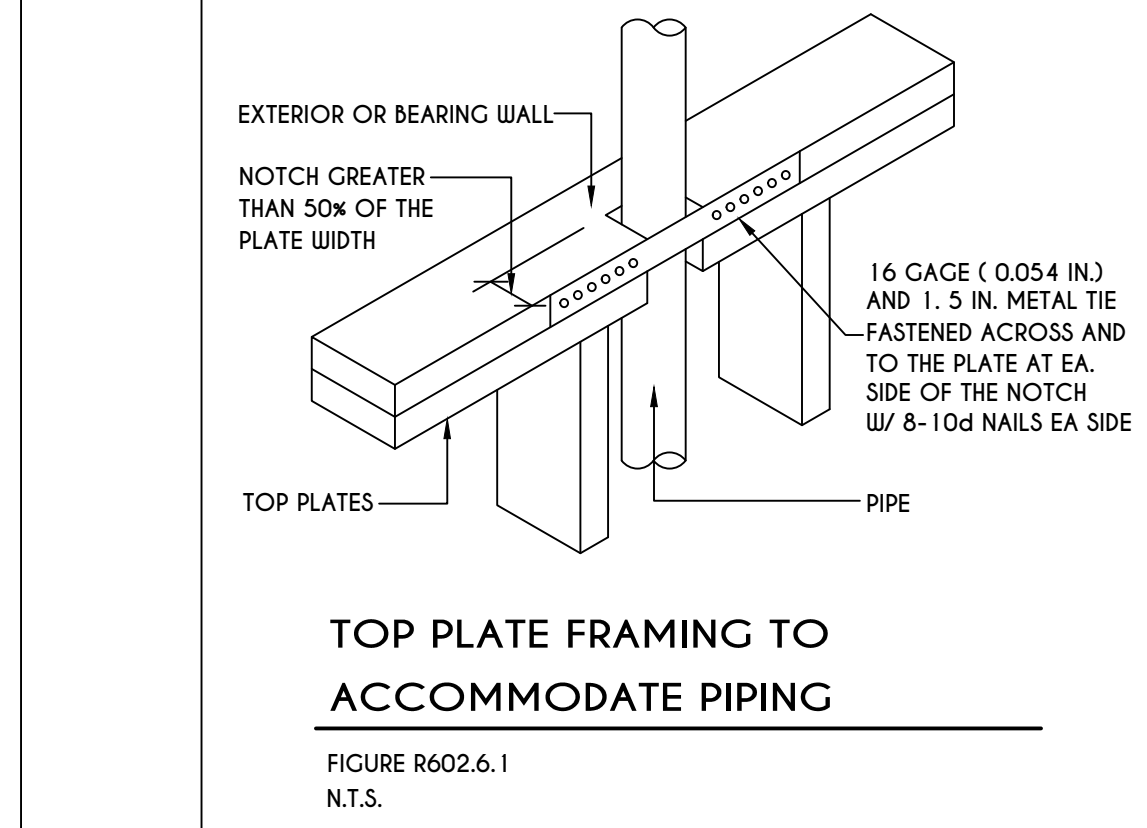
TABLE R507.2  
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

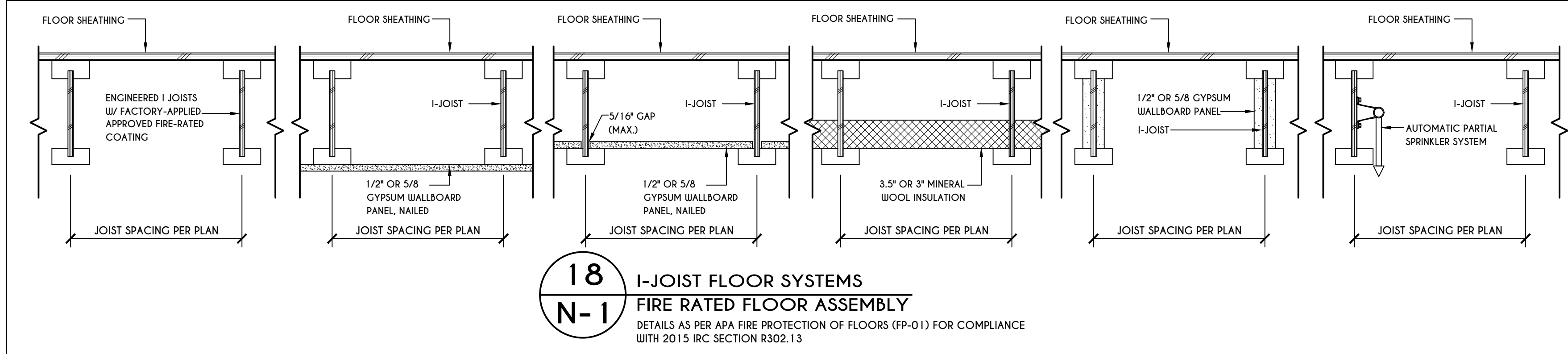
**16a**  
N-1



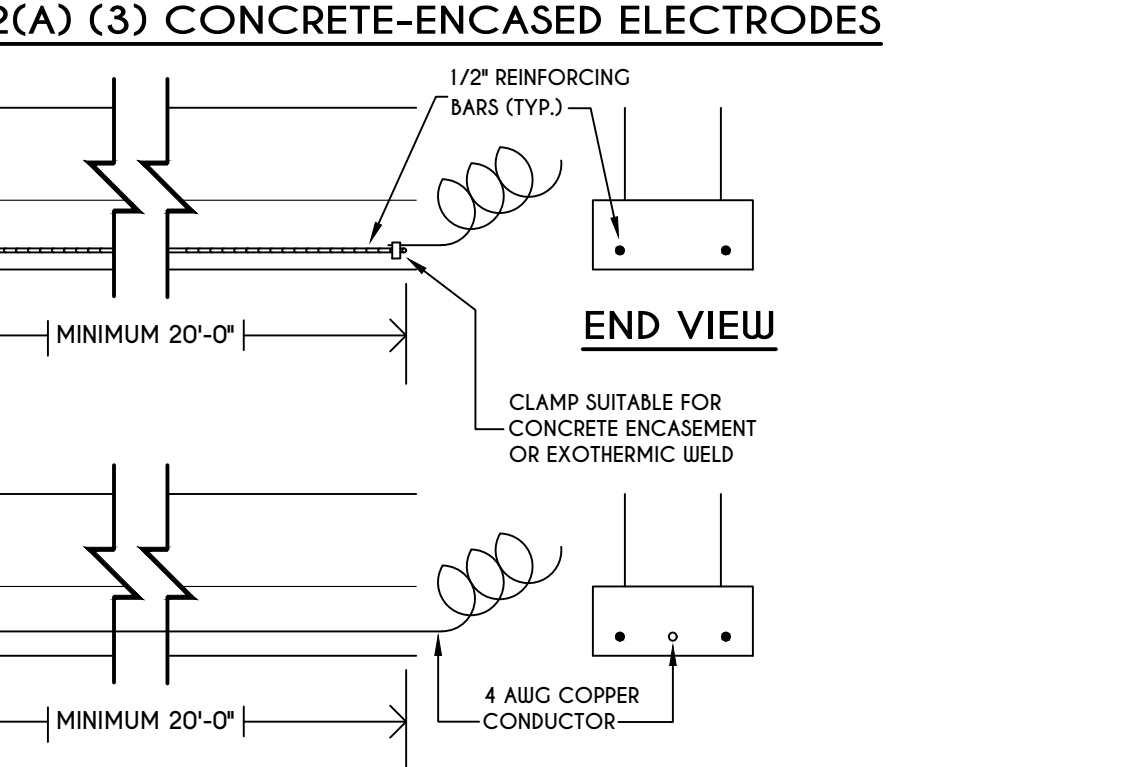
**17**  
N-1  
DECK BEAM TO  
DECK POST  
FIGURE R507.7.1 IRC  
N.T.S.



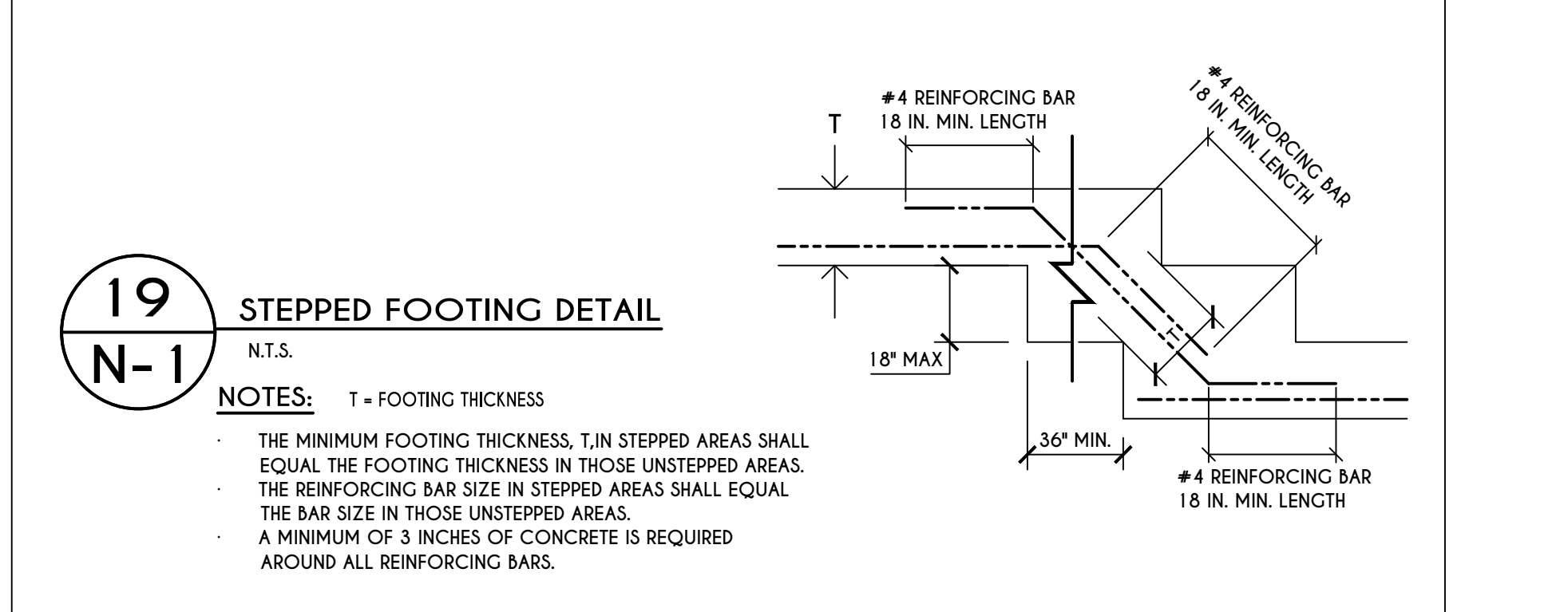
**18**  
N-1  
TOP PLATE FRAMING TO  
ACCOMMODATE PIPING  
FIGURE R602.6.1  
N.T.S.



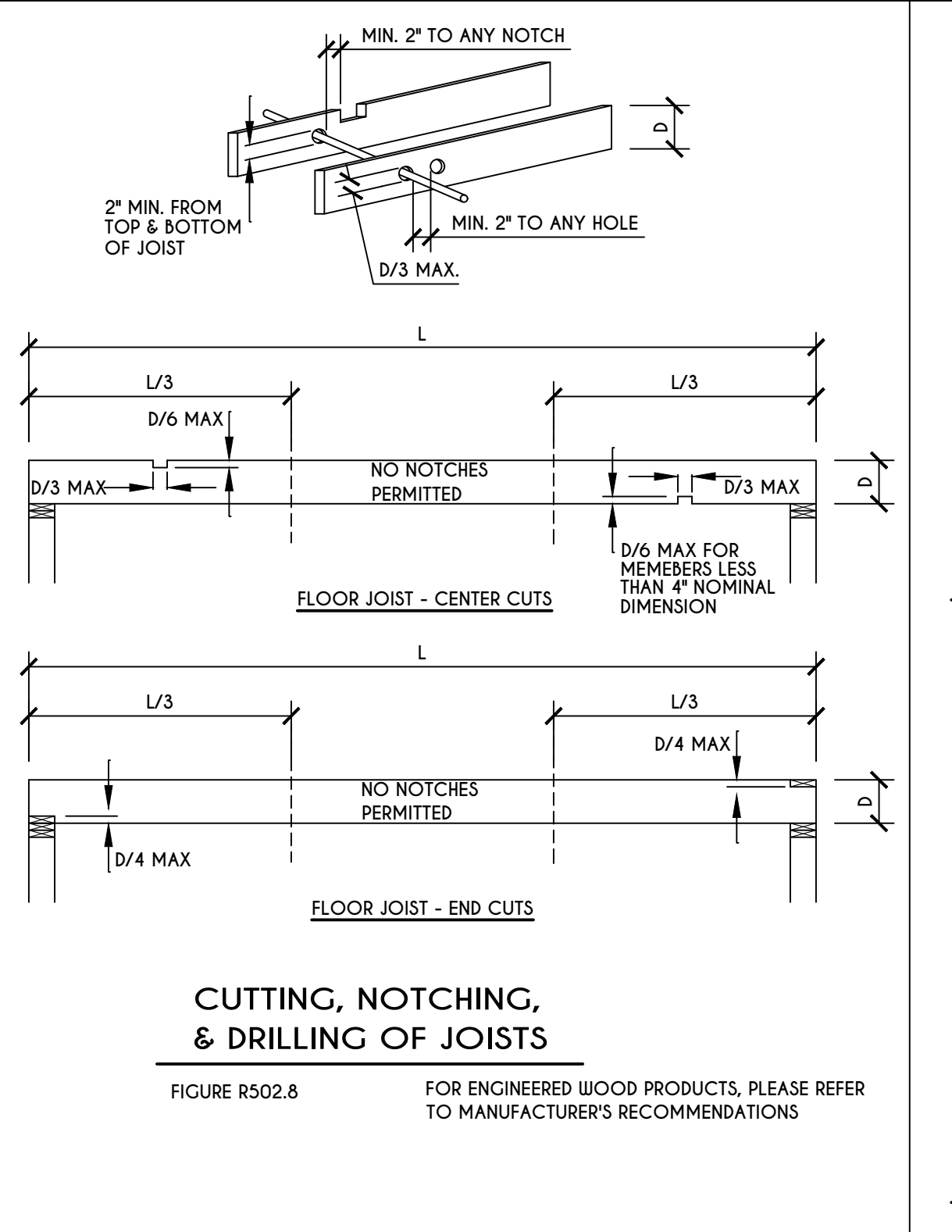
**18**  
N-1  
I-JOIST FLOOR SYSTEMS  
FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER ADA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH 2015 IRC SECTION R302.13



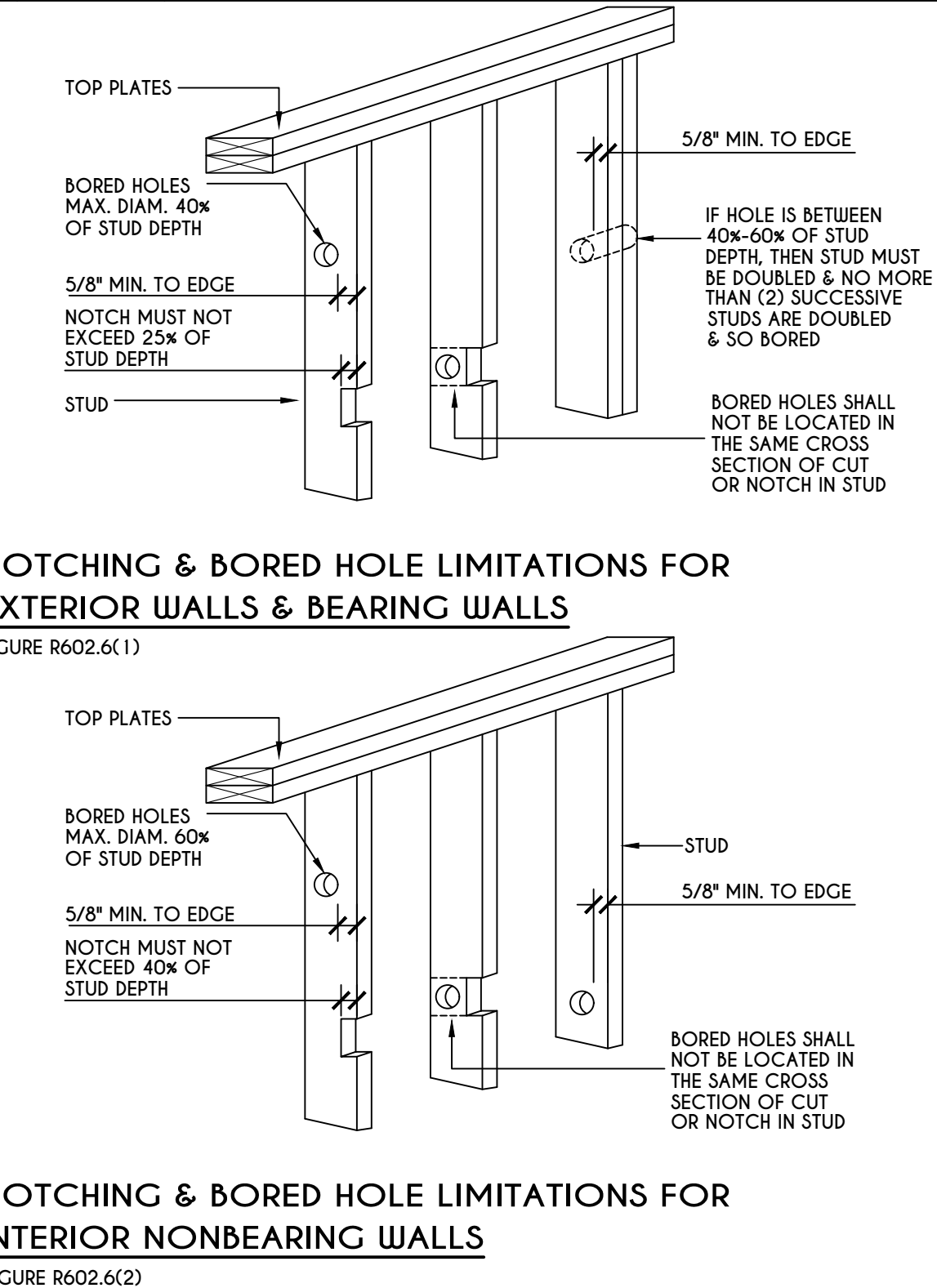
**20**  
N-1  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
END VIEW  
CLAMP SUITABLE FOR CONCRETE ENCASEMENT OR EXOTHERMIC WELD  
4 AWG COPPER CONDUCTOR  
MINIMUM 20'-0"



**19**  
N-1  
STEPPED FOOTING DETAIL  
N.T.S.  
NOTES: T = FOOTING THICKNESS  
THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.  
THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.  
A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.



**18**  
N-1  
NOTCHING & BORED HOLE LIMITATIONS FOR  
EXTERIOR WALLS & BEARING WALLS  
FIGURE R602.6(1)



**18**  
N-1  
NOTCHING & BORED HOLE LIMITATIONS FOR  
INTERIOR NONBEARING WALLS  
FIGURE R602.6(2)

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

**BUILDER:**

**DETAILS**

**GLA PLAN 1980 R**

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 19
PROJECT: 2555 E	sheet: N-1



TABLE R404.1.1(2)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>a</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SM, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	10'-0"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, E, AND F.  
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>a</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SM, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	8'-8"	#6 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	10'-0"	#6 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 56" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, E, AND F.  
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>a</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SM, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	8'-8"	#6 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	10'-0"	#6 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, E, AND F.  
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT <sup>a</sup> (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES) <sup>b, c, d, e, f, h, k, o</sup>											
		SOIL CLASSES <sup>a</sup> AND DESIGN LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT OF DEPTH)											
		MINIMUM WALL THICKNESS (INCHES) <sup>f</sup>											
		GM, GP, SM, AND SP SOILS 30			GM, GS, SM-SC AND ML SOILS 45			SC, MH, ML-CL AND INORGANIC CL SOILS 60			SC, MH, ML-CL AND INORGANIC CL SOILS 60		
5	4	6	8	10	12	6	8	10	12	6	8	10	12
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.  
 b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.  
 c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.5 AND TABLE R404.1.2(9).  
 d. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNBROUGHT HEIGHT OF THE BASEMENT WALL IN INCHES.  
 f. INTERPOLATION IS NOT PERMITTED.  
 g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.  
 h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL, THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.  
 i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.  
 j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.  
 k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f<sub>c</sub>, OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.  
 l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f<sub>c</sub> IS 4,000 PSI.  
 m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f<sub>c</sub> IS 3,500 PSI.  
 n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.  
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY CARPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	RIM JOISTS SHALL BE SEALED.
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE SEALED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOORING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
HVAC REGISTER BOOT	HVAC REGISTER BOOT THAT PENETRATES BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	UNEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.
CONCEALED SPRINKLERS	UNEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHRINKING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS TO BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (GU, SU, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, ML, MH, & CH	1,500

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.  
 b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL

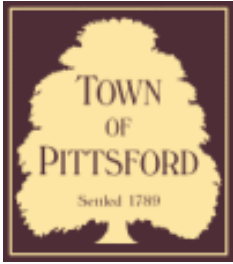




10778  
The Entrance  
Chester  
Lot 24  
AVAILABLE  
899-0704



  
The Cottages  
at  
Charleston  
Lot 23  
AVAILABLE  
899-0204



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000155**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4 & 6 Alpine Ridge Pittsford, NY 14534

**Tax ID Number:**

**Zoning District:**

**Owner:** Morrell, Scott

**Applicant:** S & J Morrell

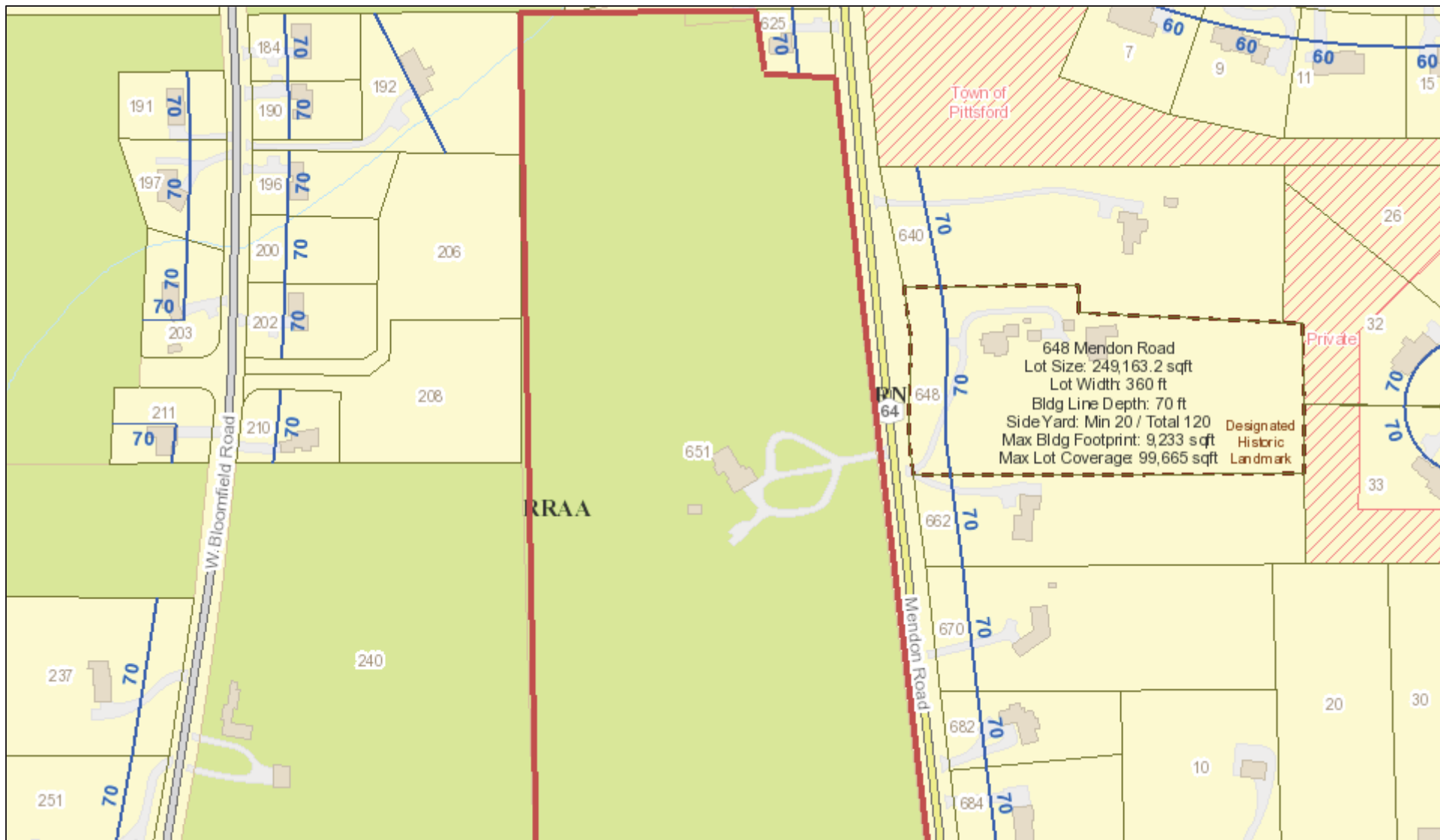
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

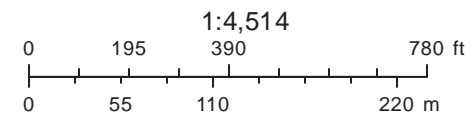
**Project Description:** Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 1 (#4 Alpine Ridge) will be 1852 sq. ft. and Lot 2 (#6 Alpine Ridge) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

**Meeting Date:** October 24, 2019

# RN Residential Neighborhood Zoning



Printed October 17, 2019



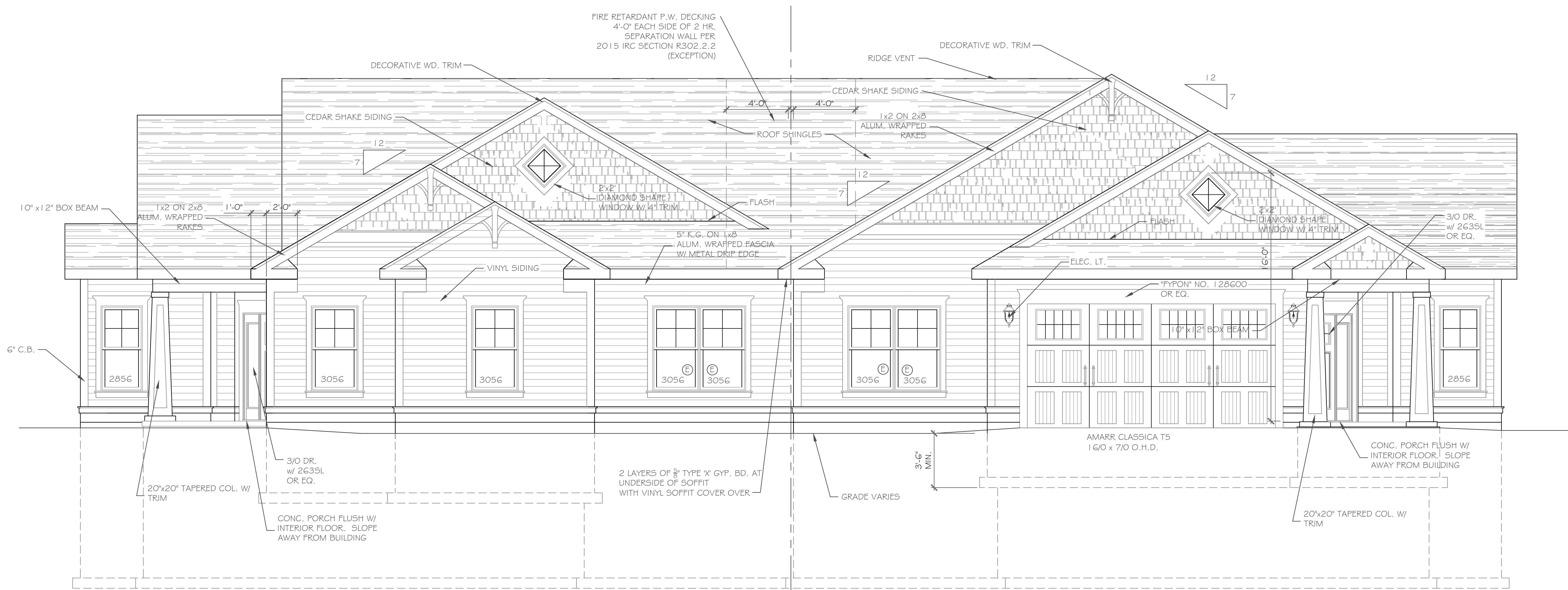
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.









FRONT ELEVATION 1852 S.F.

1/4" = 1'-0"

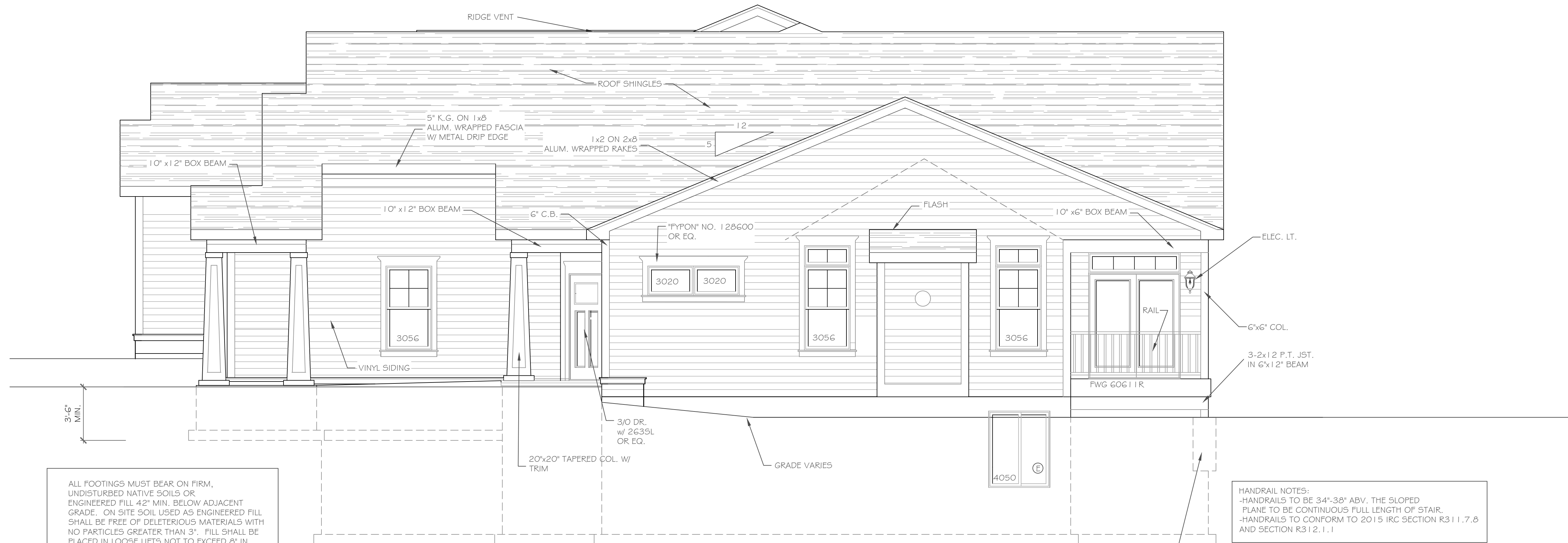
NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

FRONT ELEVATION 2000 S.F.

1/4" = 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REVISIONS:	NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**Front Elevation**  
**Model**

PROJECT:  
**Alpine Ridge - Model**  
**Pittsford, N.Y.**

CLIENT:  
**Morrell Builders**

JOB NO.:  
**A18-004**

DATE:  
**October 2019**

PHASE:  
**Construction Documents**

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 fax: (585) 249-1333  
 email: CKHennessey@frontier.net

DRAWING NO.:  
**A-1**

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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE-**  
**Rear Elevation Model**

**PHASE-**  
 Construction Documents

**PROJECT-**  
 Alpine Ridge - Model  
 Pittsford, N.Y.

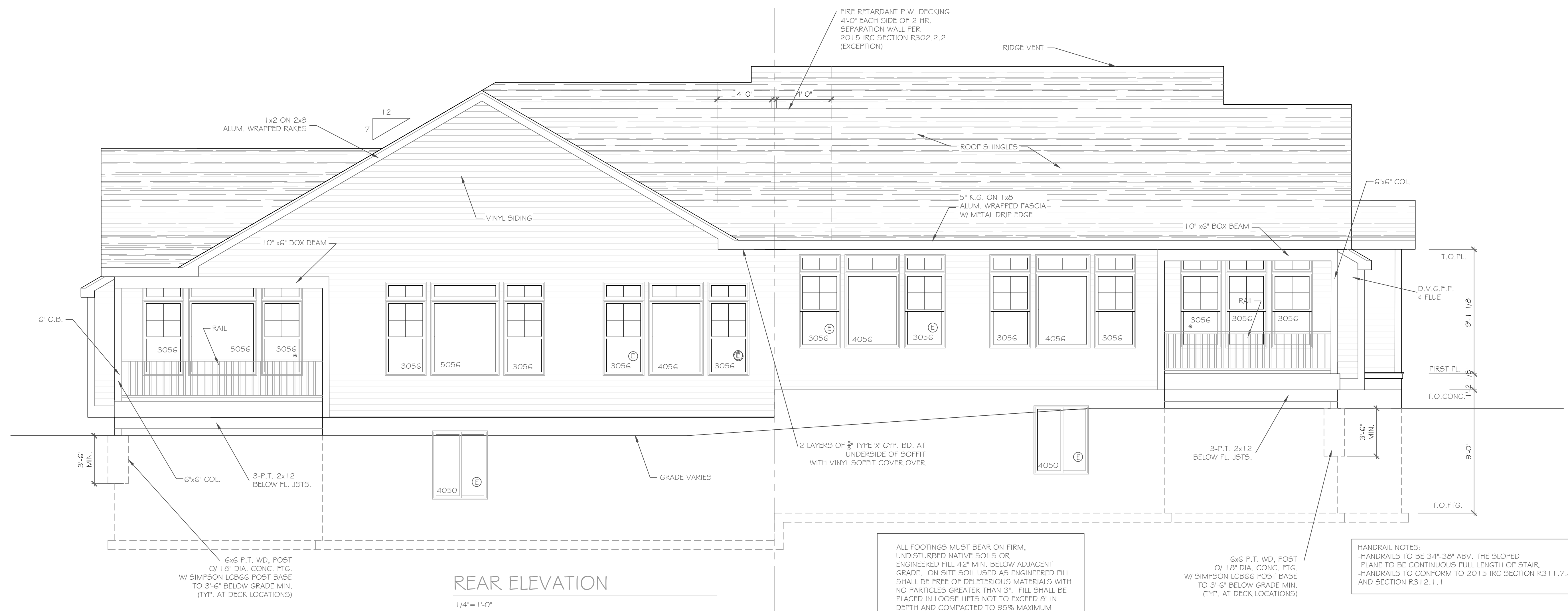
**CLIENT-**  
 Morrell Builders

**JOB NO. -**  
 A 18-004

**DATE-**  
 October 2019

**CKH**  
**architecture**  
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**DRAWING NO. -**  
**A-2**



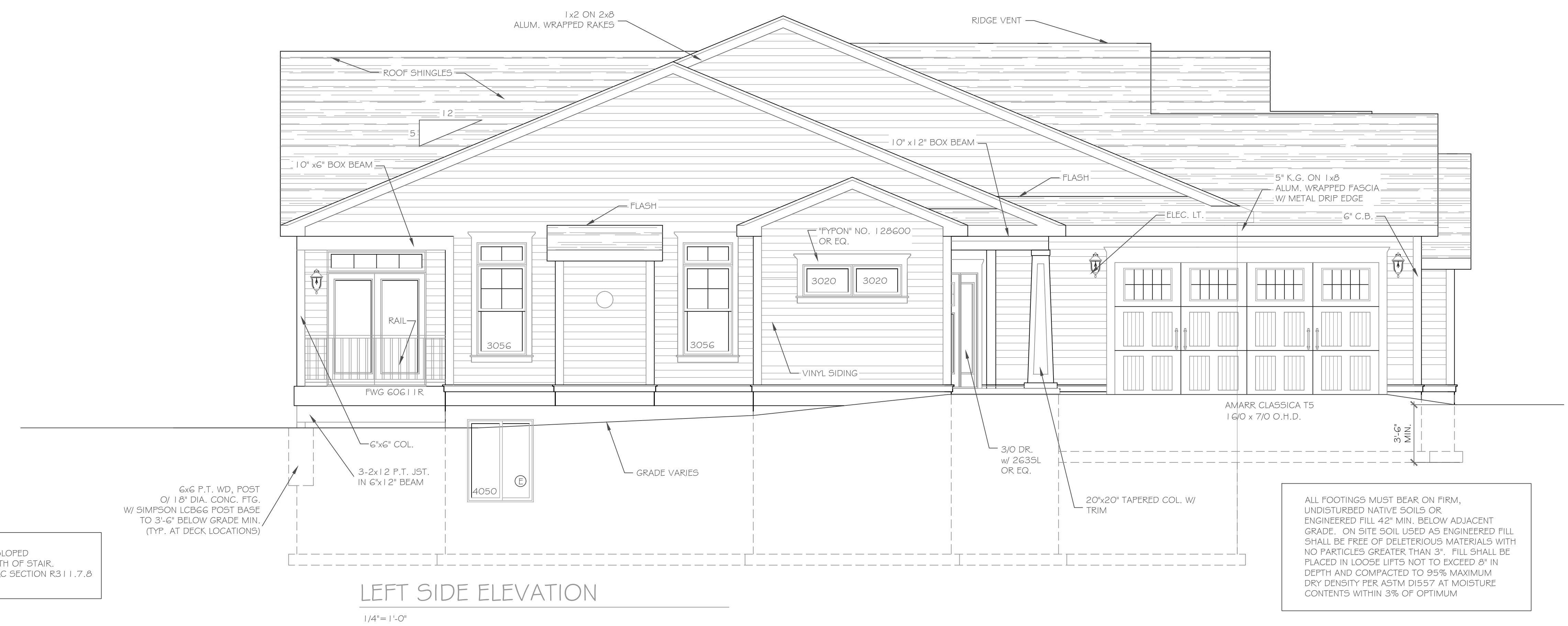
**REAR ELEVATION**

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

6x6 P.T. WD. POST  
 O/ 1 1/8" DIA. CONC. FTG.  
 W/ SIMPSON LCB6G POST BASE  
 TO 3'-6" BELOW GRADE MIN.  
 (TYP. AT DECK LOCATIONS)

**HANDRAIL NOTES:**  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

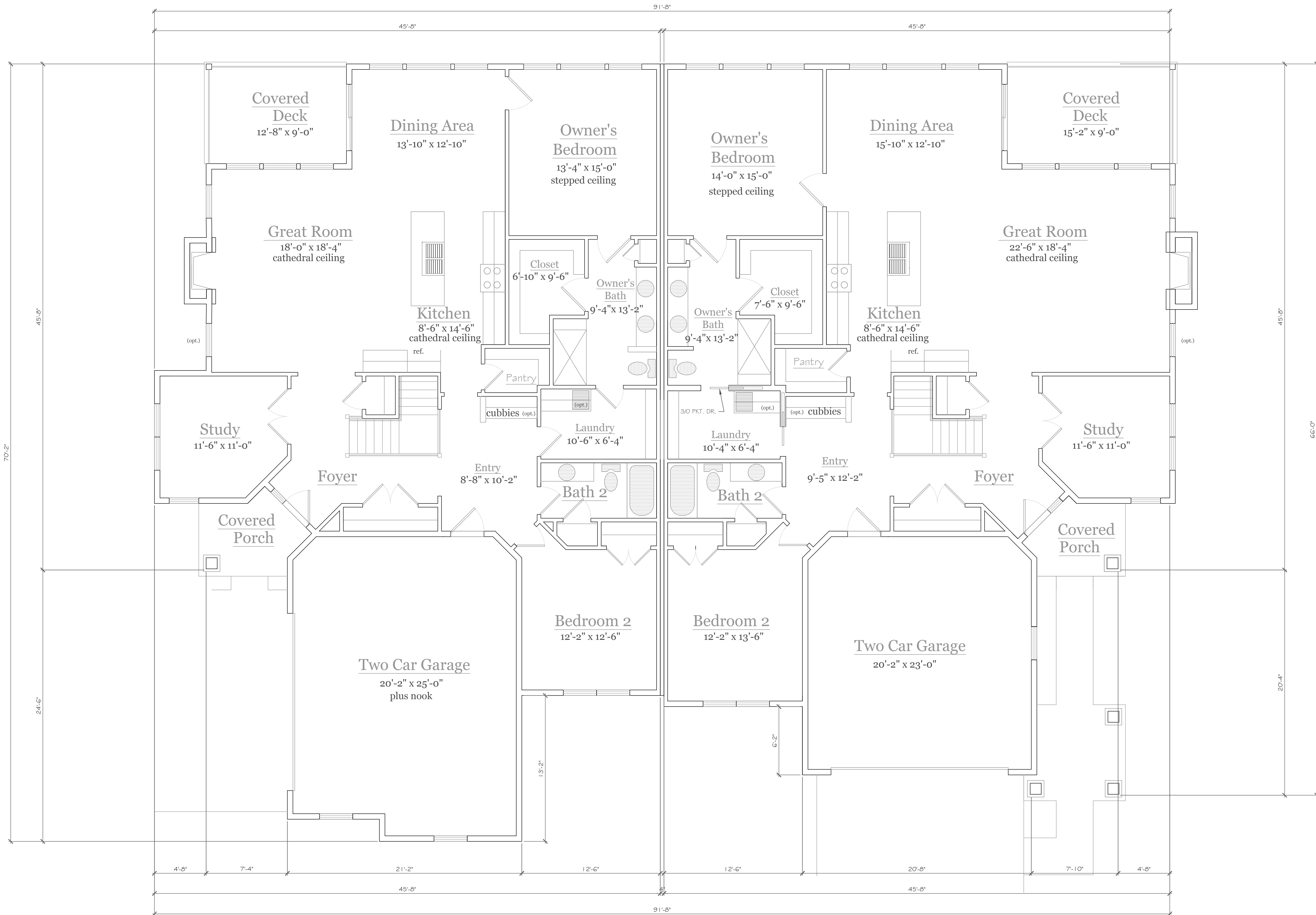


**LEFT SIDE ELEVATION**

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

**HANDRAIL NOTES:**  
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 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1



# First Floor Plan

1852 square feet

# First Floor Plan

2000 square feet

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REVISIONS- NO.	DATE	DESCRIPTION

PROJECT- Alpine Ridge - Model Pittsford, N.Y.	DRAWING TITLE- First Floor Plan Model
CLIENT- Morrell Builders	PHASE- Construction Documents

JOB NO.- A18-004	DATE- October 2019
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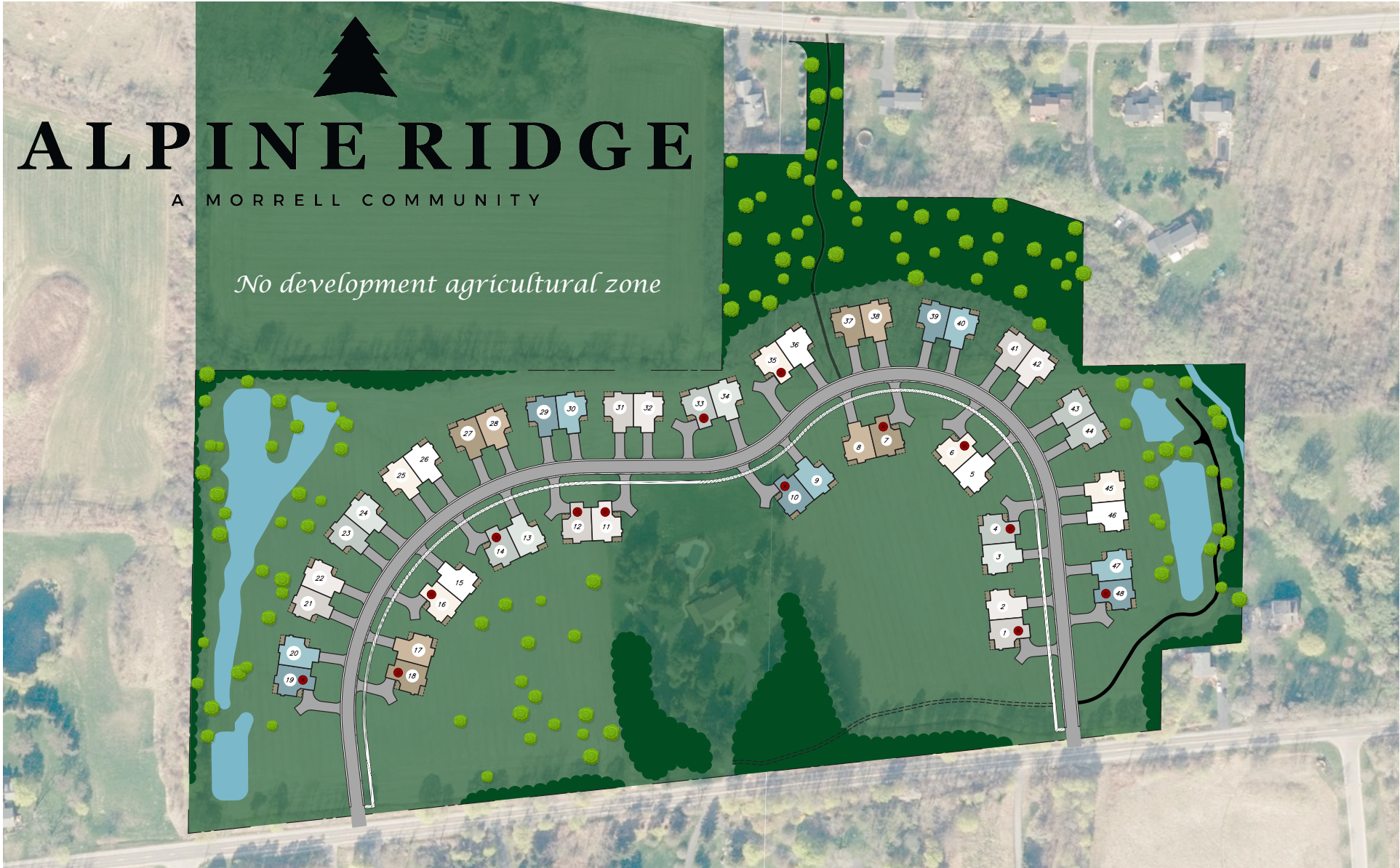
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 phone: (585) 249-1334  
 fax: (585) 249-1333  
 email: CKHennessey@frontiernet.net

DRAWING NO.-  
**A-3**

# ALPINE RIDGE

A MORRELL COMMUNITY

*No development agricultural zone*



⊗ = Side Load Garage

	Platinum Gray	Cape Code Gray	Antique Parchment	Tuscan Clay	Mystic Blue
Color	⊗	⊗	⊗	⊗	⊗
Building Step	⊗				



MORRELL BUILDERS

THE *Grace*  
2,000 Sq Ft



  
**ALPINE RIDGE**  
A MORRELL COMMUNITY











MORRELL BUILDERS

THE *Cascade*  
1,852 Sq Ft



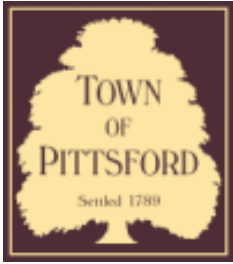
**ALPINE RIDGE**  
A MORRELL COMMUNITY











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000018**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 651 Mendon Road (Alpine Ridge Subdivision) PITTSFORD, NY 14534

**Tax ID Number:** 192.01-1-6

**Zoning District:** RRAA Rural Residential

**Owner:** S & J Morrell

**Applicant:** S & J Morrell

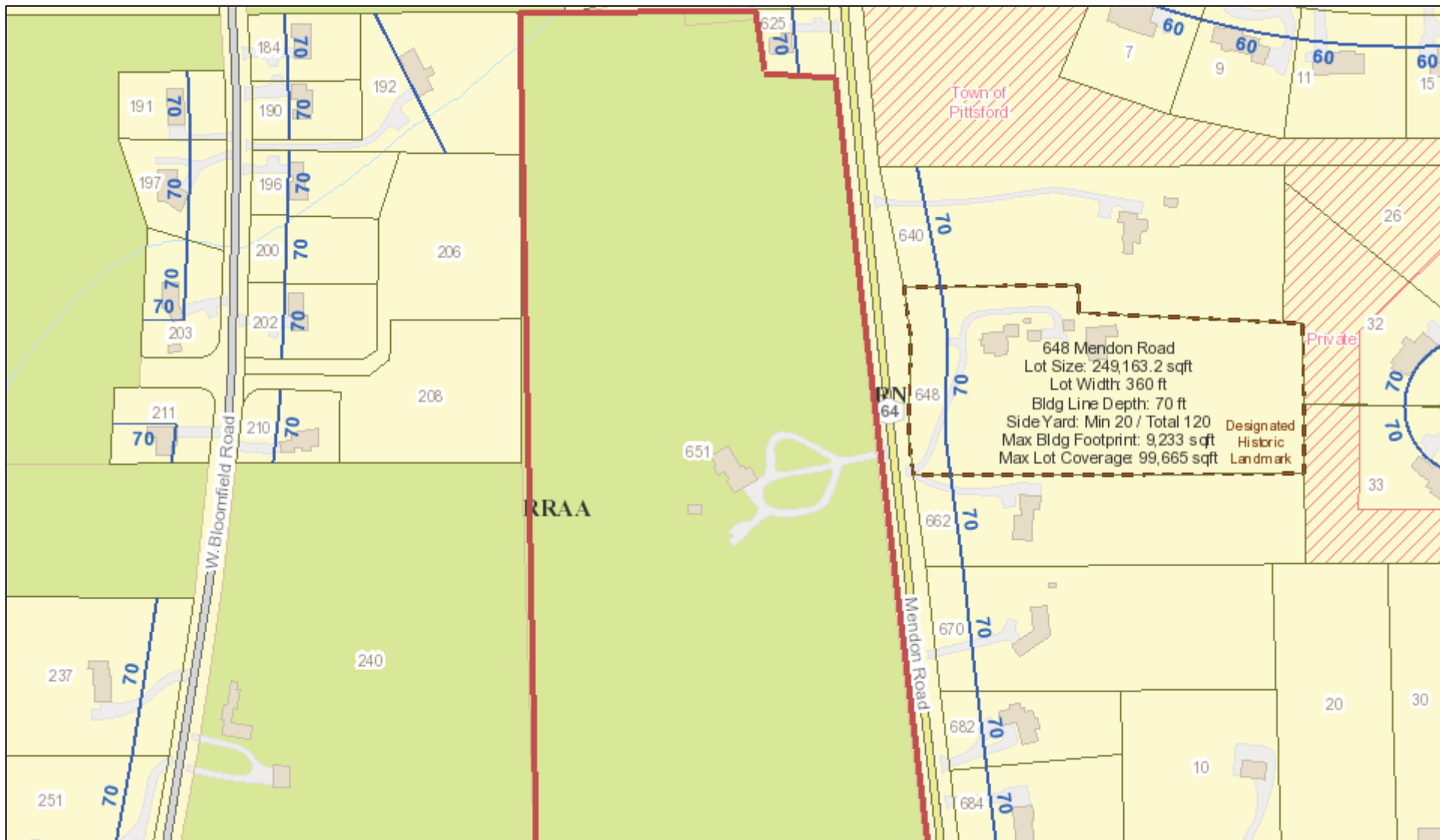
#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

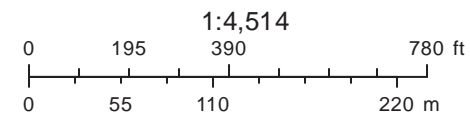
**Project Description:** Applicant is requesting design and review for the addition of a Monument sign at the entrance of the new Alpine Ridge Subdivision. An application was submitted to the Zoning Board requesting relief from code for the size of the sign.

**Meeting Date:** October 24, 2019

# RN Residential Neighborhood Zoning

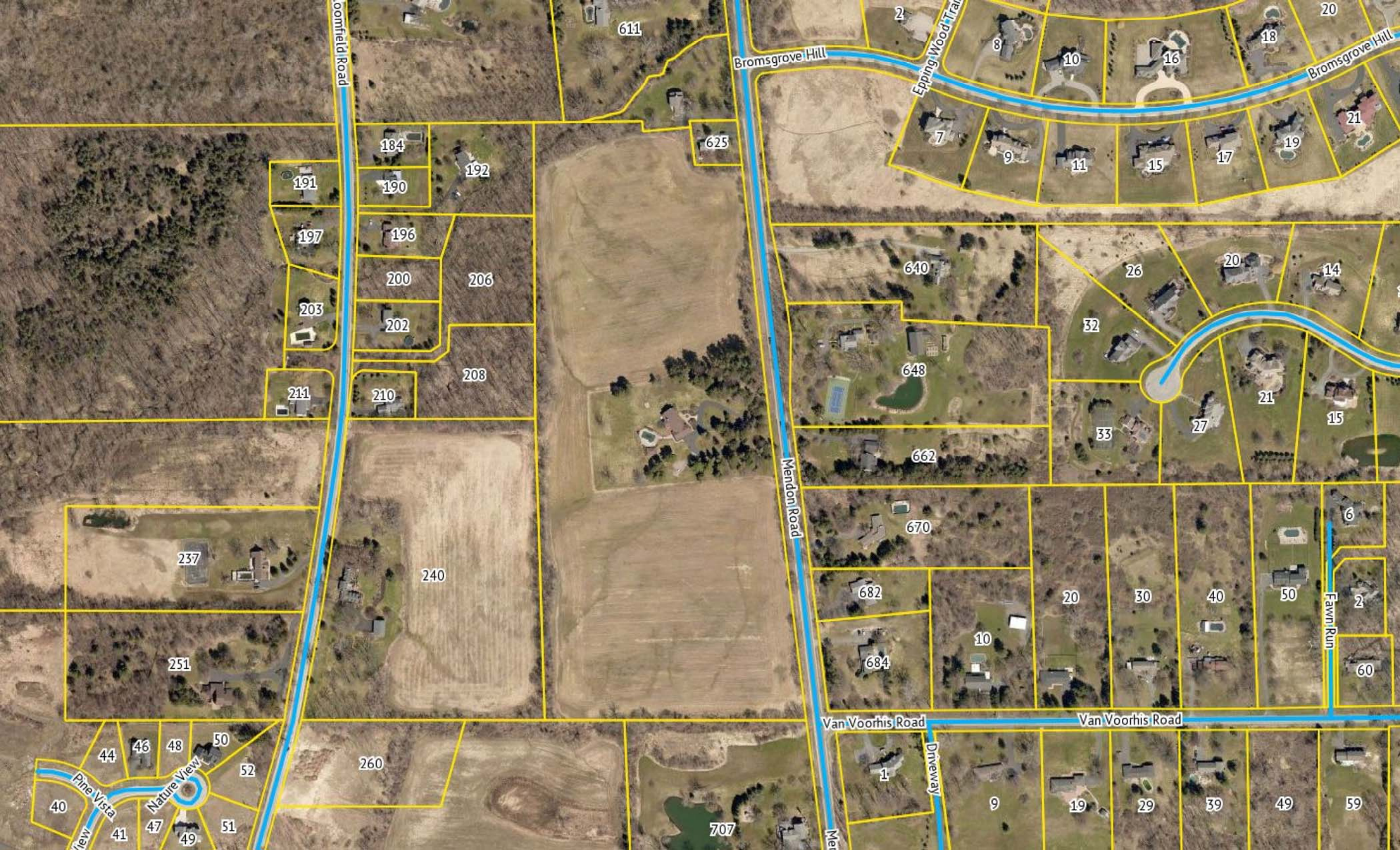


Printed October 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



oomfield Road

Bromsgrove Hill

Epping Wood Trail

Bromsgrove Hill

Mendon Road

Van Voorhis Road

Van Voorhis Road

Fawn Run

Pine Vista

Nature View

Driveway

Me

611

625

640

648

662

670

682

684

707

184

190

192

191

197

196

200

206

203

202

208

211

210

237

240

251

260

44

46

48

50

52

40

41

47

49

51

2

7

9

11

15

17

18

19

21

14

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32

33

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21

15

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30

40

50

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60

1

9

19

29

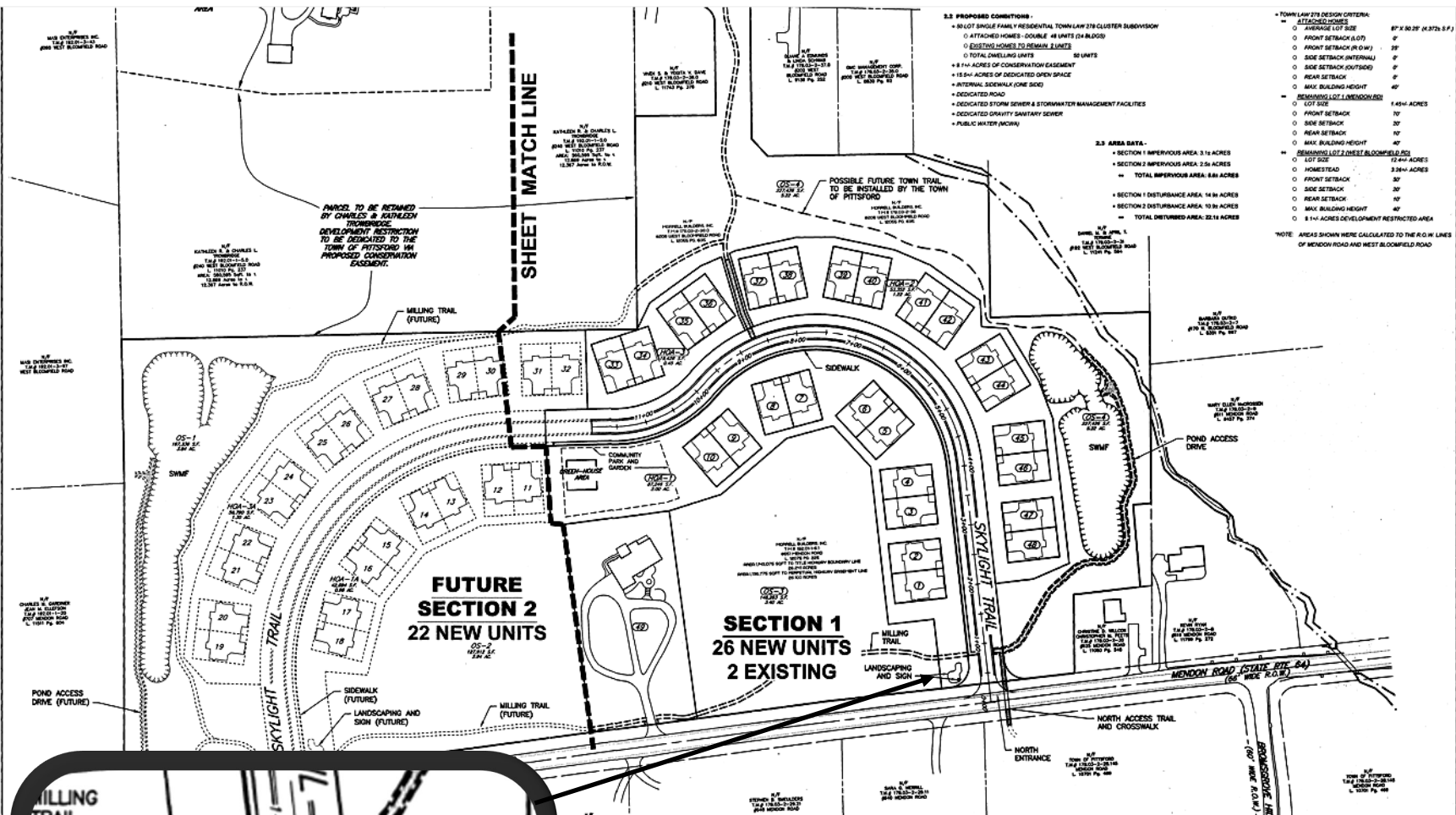
39

49

59



File: Z:\Engineering\Job Plans\0891-17\Drawings\1\Drawings\1.dwg, Last saved: 6/11/2019, Plot Date: 6/28/2019, By: CDEC MARASCHIO, Plot Style: -----



**FINAL SECTION 1 PLANS for ALPINE RIDGE SUBDIVISION**

651 MENDON ROAD  
MONROE COUNTY  
TOWN OF PITTSFORD  
STATE OF NEW YORK

**JOB NO:** 0891-17  
**SCALE:** 1" = 80'  
**DRAWN:** CMP  
**DESIGNED:** RJT  
**DATE:** 03/22/2019

**REVISIONS**

DATE	BY	REVISION
5/30/2019	CP	ISSUED PREMYLAR
6/13/2019	CP	PREMISED PREMYLAR
6/27/2019	CP	ISSUED MYLAR

ROBERT P. BRINGLEY

**DRAWING TITLE:**  
**OVERALL PLAN**

4 of 20  
**SHEET No:** C1.0  
0891-17  
JOB No. DRAWING No.

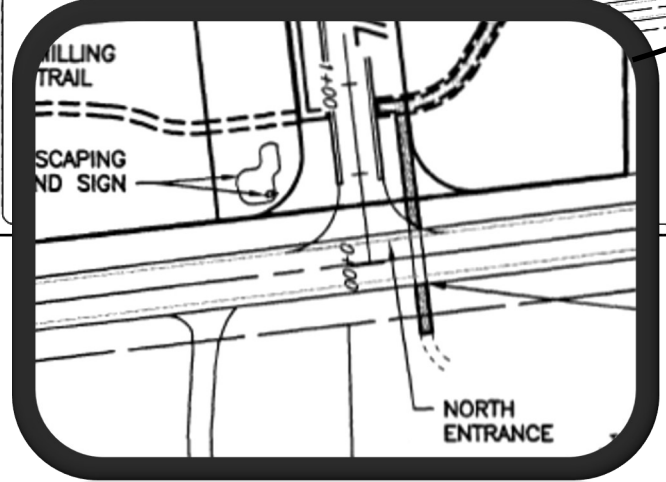
**ENTRANCE NOTES:**

- RESPONSIBILITY - ENTRANCE PLANTINGS AND SIGNAGE ARE THE RESPONSIBILITY OF THE HOA.
- REQUIREMENTS - SIGNS ARE SUBJECT TO § 16-13A SIGNAGE IN RESIDENTIAL DISTRICTS.
- APPROVAL - LANDSCAPE IMPROVEMENTS ARE SUBJECT TO DPW APPROVAL.

APPROVED BY: COMMISSIONER OF PUBLIC WORKS DATE:	APPROVED BY: TOWN REVIEW ENGINEER DATE:	APPROVED BY: PLANNING BOARD CHAIRPERSON DATE:
---	---	---

Proposed Intersection	Posted Speed (mph)	Design Speed (mi/hr)	Stopping Sight Distance (ft)	Available Sight Distance (ft)	Intersection Sight Distance (ft)	
North Entrance	Left	40	50	425'	875'	800'
	Right	40	50	425'	555'	561'
South Entrance	Left	40	50	425'	600'	600'
	Right	55	60	570'	1,345'	600'
South SWMF Access Drive	Left	40	50	425'	815'	815'
	Right	55	60	570'	1,500'	650'

\*Required sight distances from Table 9-4 in the 2011 AASHTO Design Manual



36"  
28"

NATURAL STONE  
2" CAP

84"  
STONE  
POST

6"

6x6 DARK STAINED  
CUSTOM BEAM

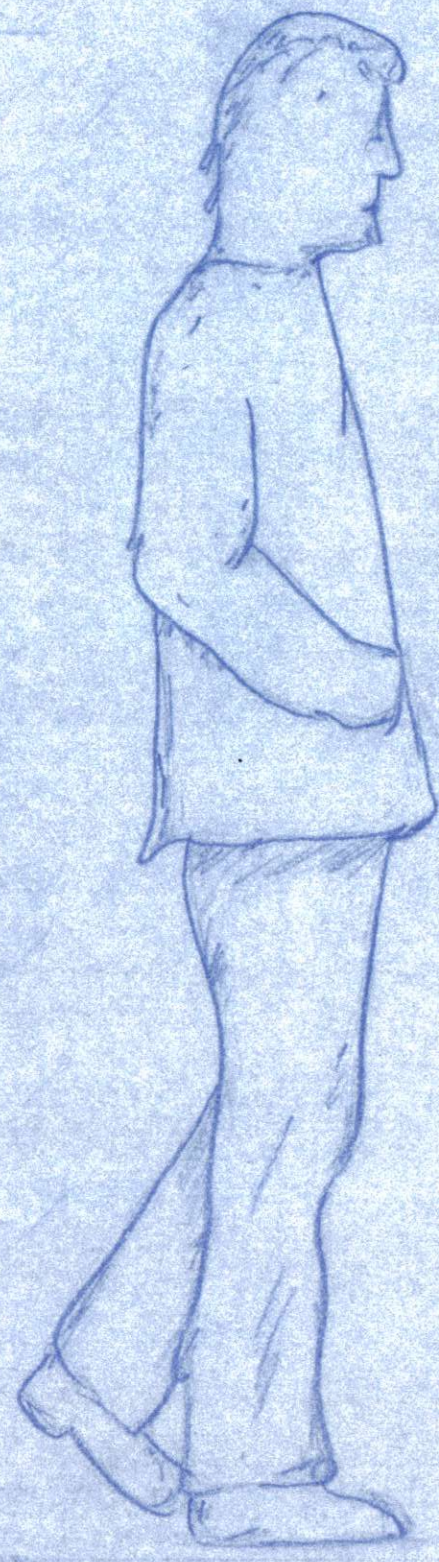
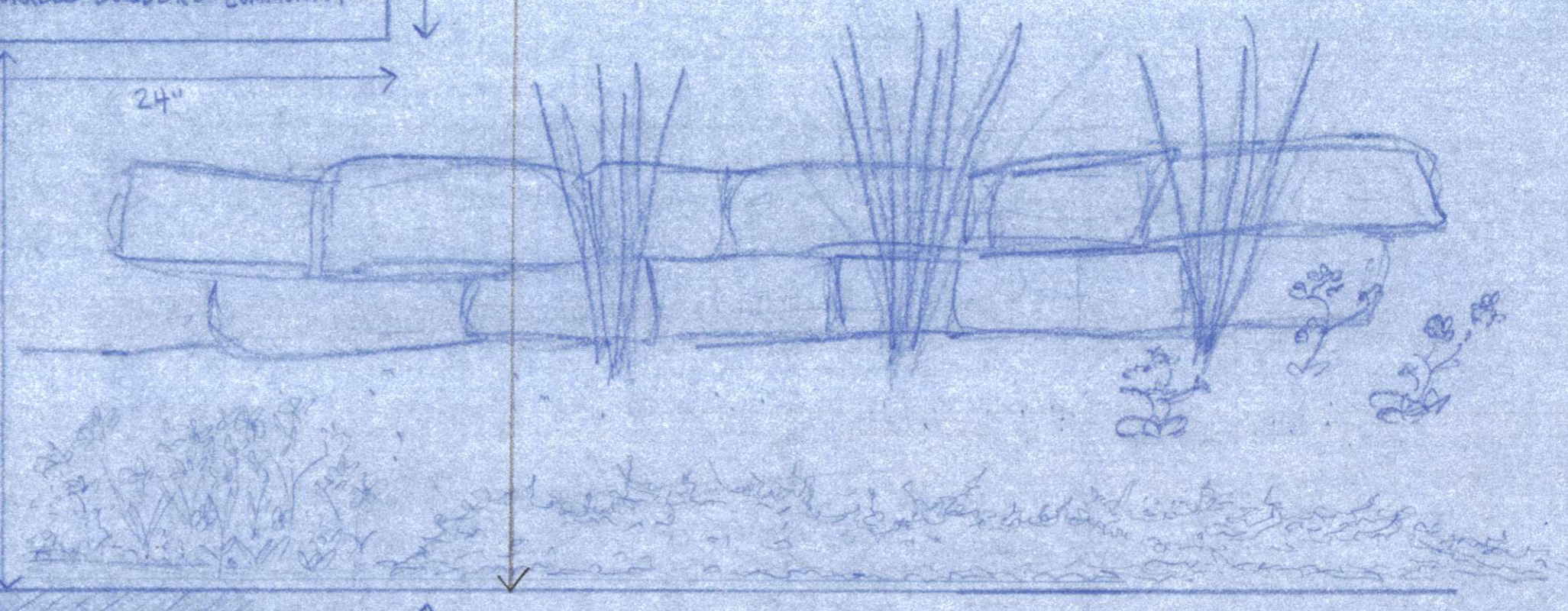
ALPINE  
RIDGE  
651  
MENDON RD  
-A MORRELL BALDERS COMMUNITY-

36"

24"

NATURAL STONE  
3" SLAB

30"



6"

CONCRETE FOOTER

SONA TUBES  
10"

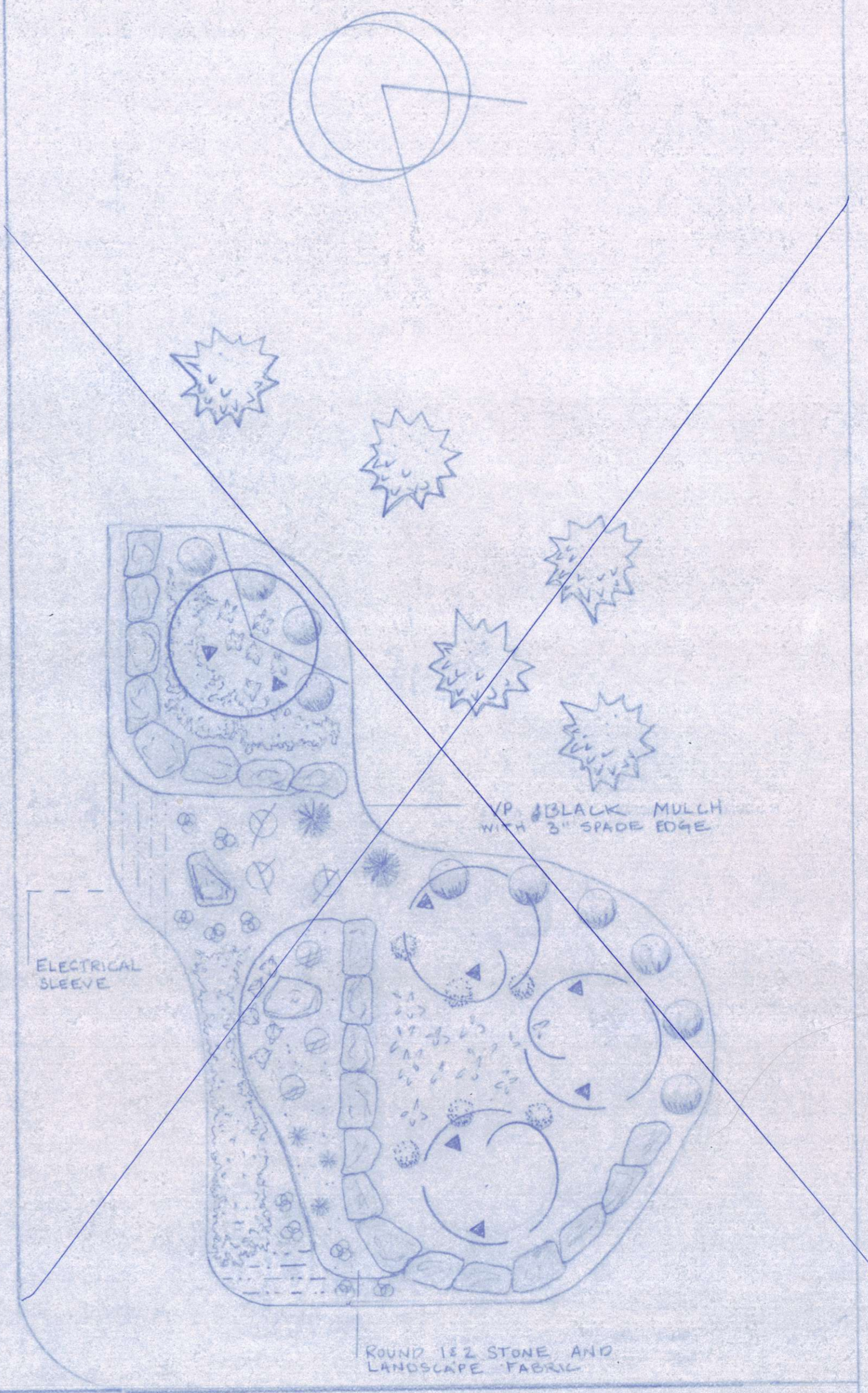
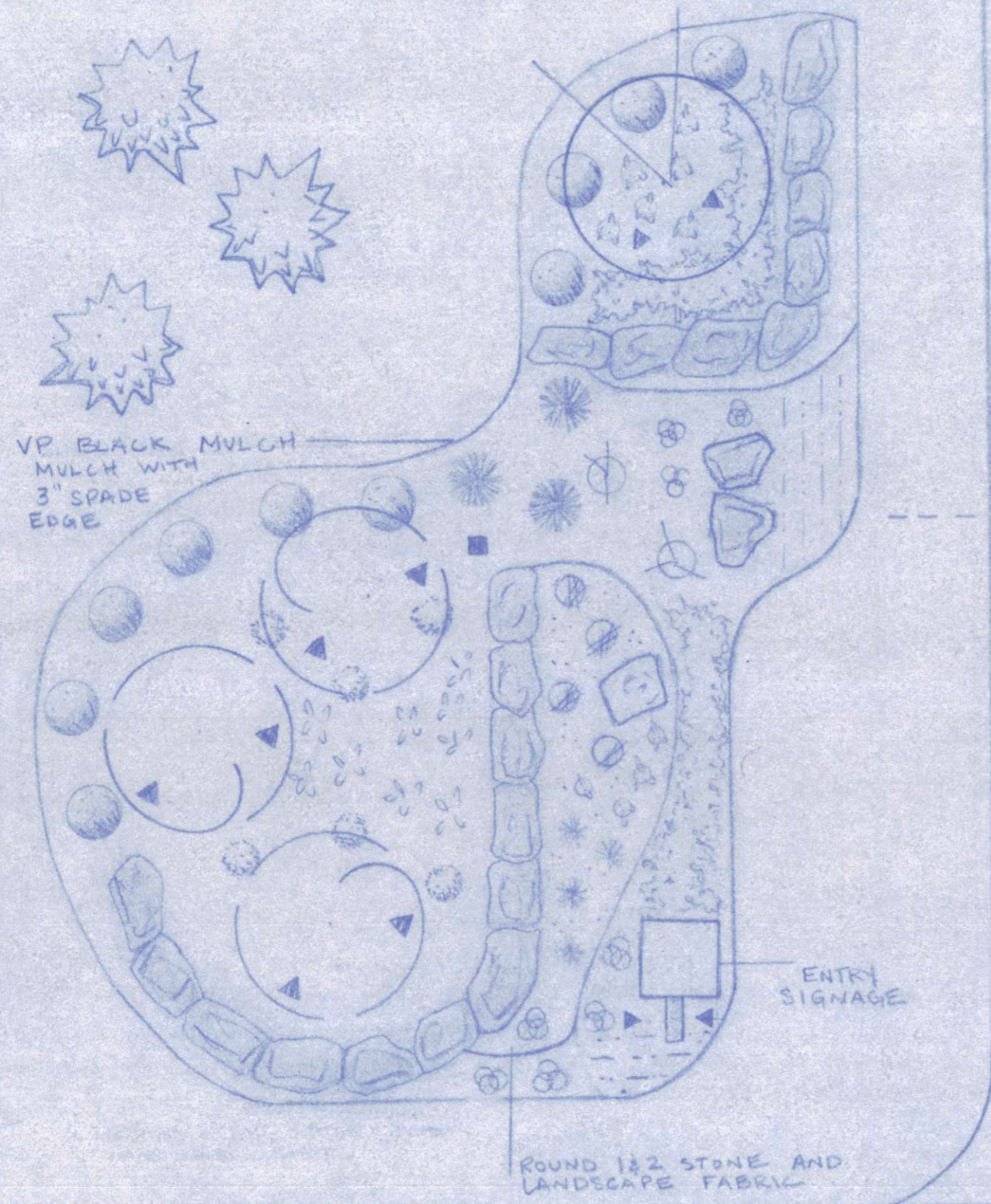
48"

ALPINE RIDGE ENTRY SIGNAGE  
VAN PUTTE GARDENS K. DAVIES  
SCALE: DIMENSIONS AS SHOWN 3.14.2019

















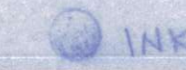

# -ALPINE RIDGE-

- PITTSFORD -

SUBDIVISION ENTRYWAY PLANS  
 VAN PUTTE GARDENS K. DAVIES  
 3.14.2019 SCALE: 1/8" = 1'



## KEY

- |  |  |  |   |   |
|--|--|--|---|---|
|  HERITAGE BIRCH       |  PIN OAK          |  SPIREA MAGIC CARPET  |  BLANKET FLOWER      |  LANDSCAPE ACCENT BULLET LIGHTS (18) |
|  COLORADO BLUE SPRUCE |  DEUTZIA NIKKO    |  PACIFIC JUNIPER      |  ACCENT BOULDER      |  LANDSCAPE TRANSFORMER (1)           |
|  HORNBEAM             |  RED TWIG DOGWOOD |  SEDUM CHERRY TRUFFLE |  SENECA BOULDER WALL |   |
|  |  OVERDAM GRASS    |  SEDUM ANGELINA       |   |   |
|  |  INKBERY HOLLY    |  BLACK HAWK GRASS     |   |   |



136 North Avenue • Rochester NY, 14626 • 585.225.7770  
vanputte.com



Malvern Estates  
The Cottages

2'7" wide 7' tall  
(gate 3'8")



Malvern Hills



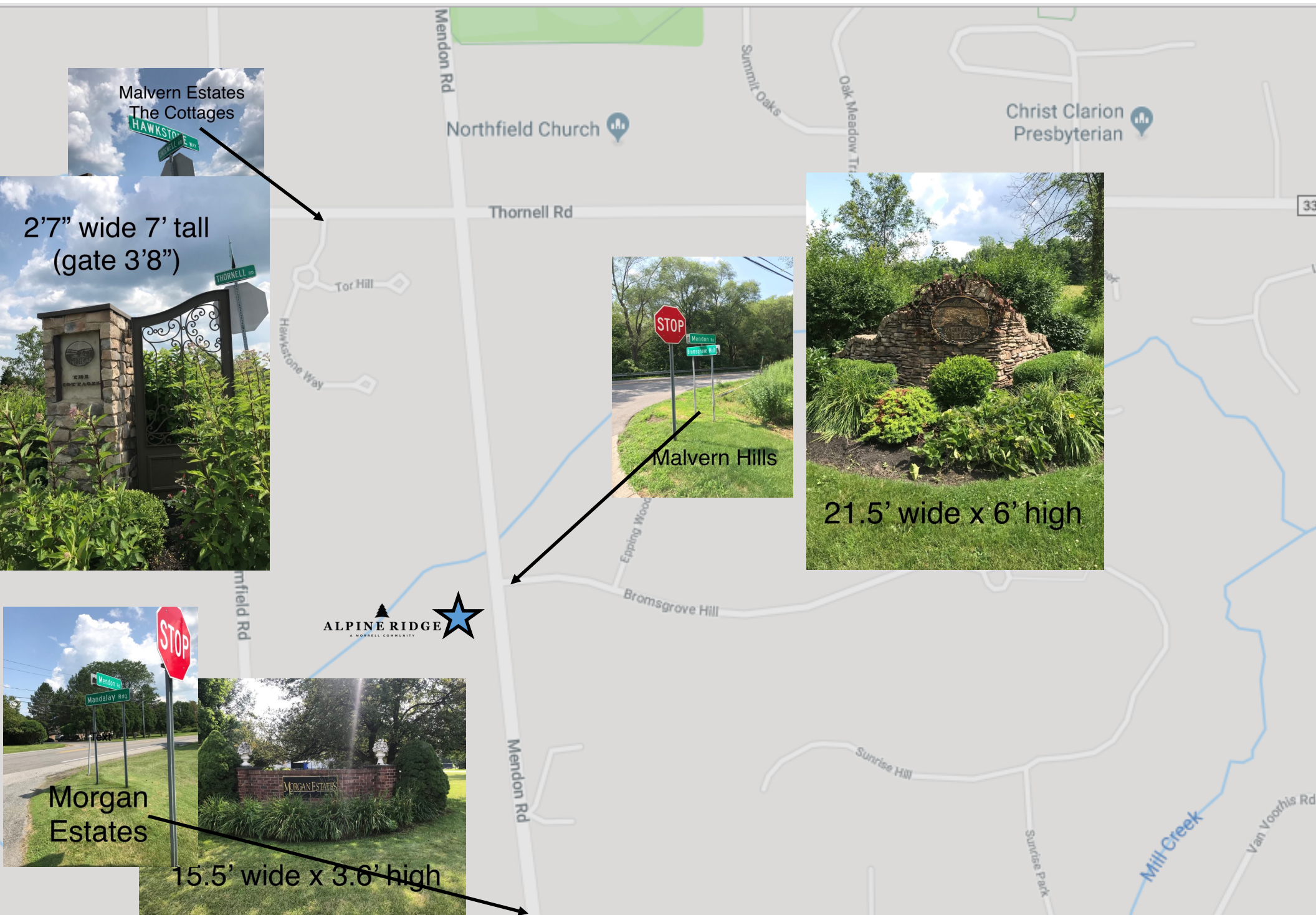
21.5' wide x 6' high

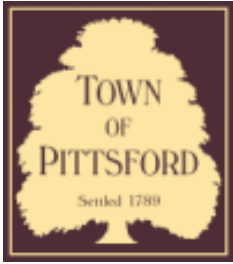


Morgan  
Estates



15.5' wide x 3.6' high





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000019**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3100 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.08-1-66.11

**Zoning District:** C Commercial

**Owner:** 3100 Monroe Ave Assoc L P (Cornell's Jewelers)

**Applicant:** Premier Sign

#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

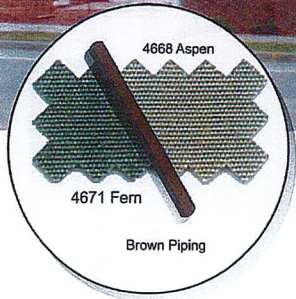
**Project Description:** Applicant is requesting design review for the replacement of awnings and shutters. The awnings on the Cornell's Jewelers building will be recovered with sunbrella fabric in marine blue with canterbury cream graphics. Shutters will match the new awnings.

**Meeting Date:** October 24, 2019

EXISTING ←

**Proposed Non-Illuminated Awnings**

Scale: N.T.S.



**Non-Illuminated Awnings**

Aluminum constructed awning frame structure to be mill finish  
Sunbrella Awning fabric + Piping w/ tenant graphics applied to 1st surface



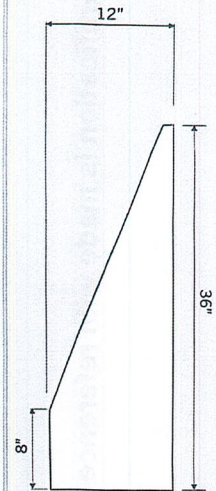
**Cornell's Jewelers**

3100 Monroe Avenue  
Rochester, NY

DRAWN BY: B. Hardy  
DATE: July 25, 2008

Drawing No.  
**CJ -AW014618.000A7**

Refer to No:  
**CJ -MS014618**



- Vectors artwork required.
- Digital image for printing required.
- Final colour specifications required.

• Site check required.

- Preliminary Artwork
- Approved for Production

**CLIENT APPROVAL**

**REVISION DATES:**  
 Aug. 12, 2008  
 Aug. 26, 2008  
 Aug. 27, 2008  
 Oct. 9, 2008  
 Oct. 20, 2008

B. Hardy  
 B. Hardy  
 B. Hardy  
 B. Hardy  
 B. Hardy



**PRIDE SIGNS**

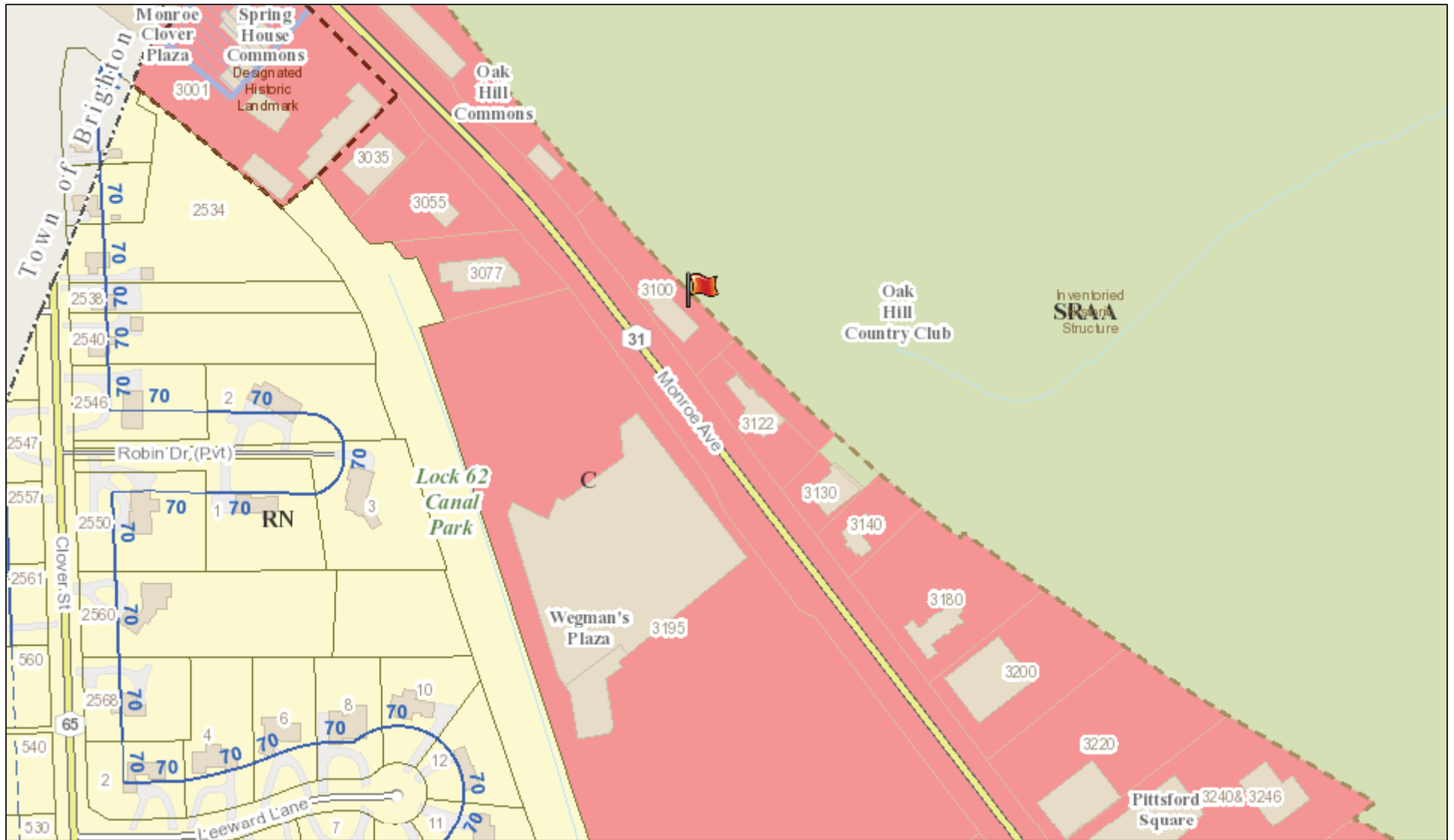


**sac** ace

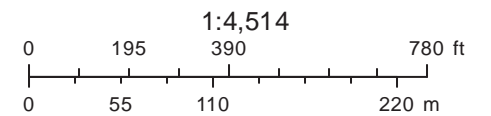


2340 BRIGHTON-HENRIETTA TOWN LINE RD. ROCHESTER NY U.S.A TEL: 585.427.9050 FAX: 585.427.9051 WWW.PRIDESIGNS.COM

# RN Residential Neighborhood Zoning



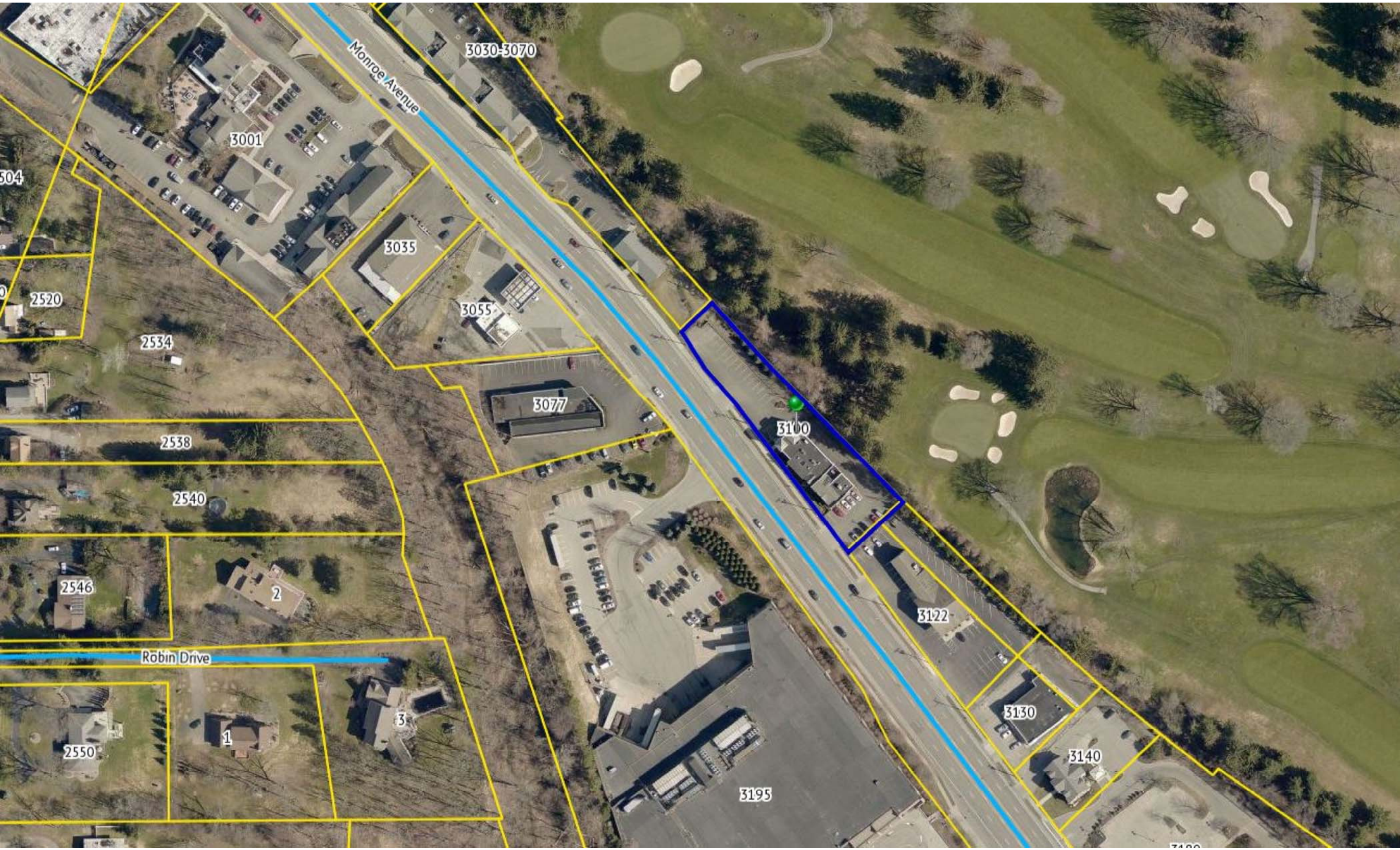
Printed October 17, 2019



Town of Pittsford GIS

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Monroe Avenue

3030-3070

3001

3035

3055

3077

3100

3122

3130

3140

3195

Robin Drive

2504

2520

2534

2538

2540

2546

2

2550

1

3

3100

# CORNELL'S JEWELERS

2945 Monroe Ave, Rochester, NY 14618

## AWNING PROPOSAL



# OMEGA

**DESCRIPTION:**

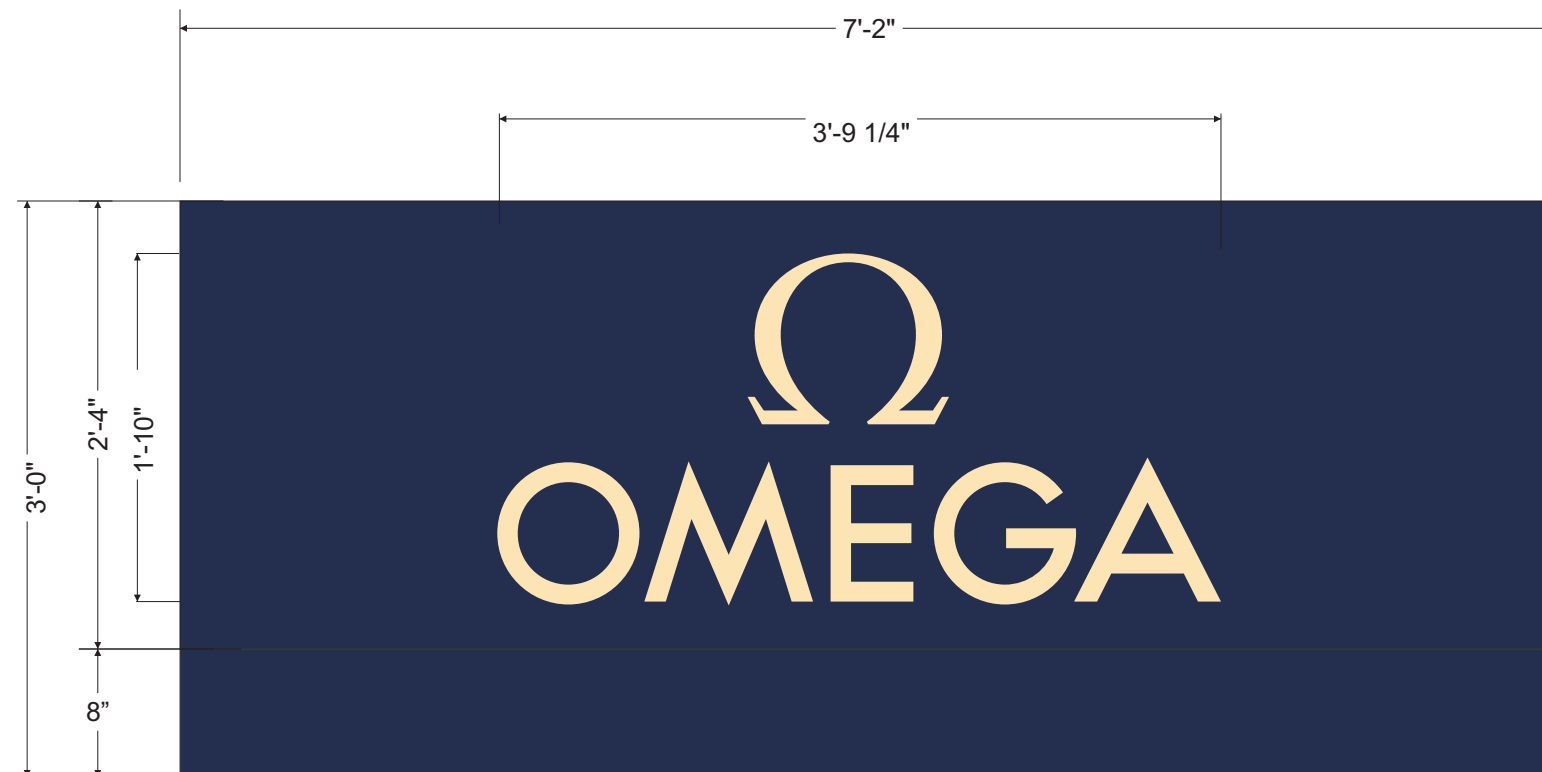
RECOVERING EXISTING AWNINGS WITH NEW SUNBRELLA FABRIC AND WHITE ROLL PAINTED FABRIC.

**COLORS:**

FABRIC: SUNBRELLA #6026 NAVY

GRAPHICS: PAINTED - MP 25900 CANTERBURY CREAM

**LOGO SQ FT = 6.9**



I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date \_\_\_\_\_

THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

**ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.**

**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

**REVISIONS**

DATE	DESCRIPTION	INIT.
08/30/19	CHANGE COLORS /UPDATE LOGOS REV1	MR
09/04/19	CHANGE DESIGN REV2	MR
09/04/19	SWITCH LOGOS 'OMEGA' & 'HEARTS OF FIRE' REV3	MR
10/07/19	CHANGE COLOR AND ADD FRONT PAGE WITH PICTURE	REV4



A FULL SERVICE SIGN & AWNING COMPANY

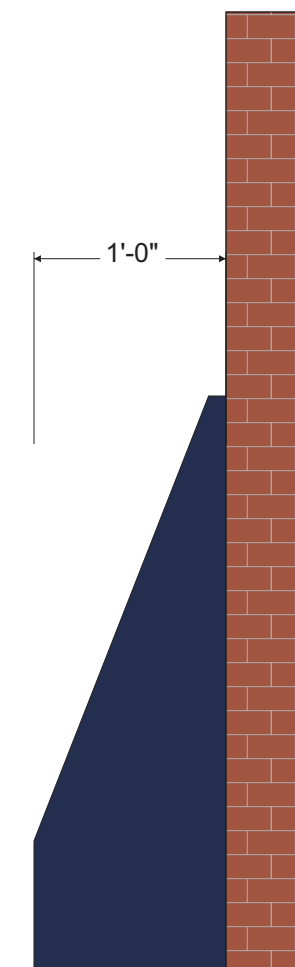
10 Excel Drive Rochester, NY 14621

P: 585-235-0390 F: 585-235-0392

[www.premiersignsystems.com](http://www.premiersignsystems.com)

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SIGN TYPE	AWNING W/ ROLL PAINTED GRAPHICS		
CUSTOMER	CORNELL'S JEWELERS		
LOCATION	3100 MONROE AVENUE ROCHESTER, NY		
SALES PERSON	CT	DESIGNER	MR
DATE PREPARED	08/15/2019		
SCALE	AS NOTED		
SQUARE FOOTAGE	XX		
DRAWING #	8836	PAGE #	01
		REVISION #	4



# MEMOIRE

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date \_\_\_\_\_  
 THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

**ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.**

**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

### REVISIONS

DATE	DESCRIPTION	INIT.
08/30/19	CHANGE COLORS /UPDATE LOGOS REV1	MR
09/04/19	CHANGE DESIGN REV2	MR
09/04/19	SWITCH LOGOS 'OMEGA' & 'HEARTS OF FIRE' REV3	MR
10/07/19	CHANGE COLOR AND ADD FRONT PAGE WITH PICTURE	REV4

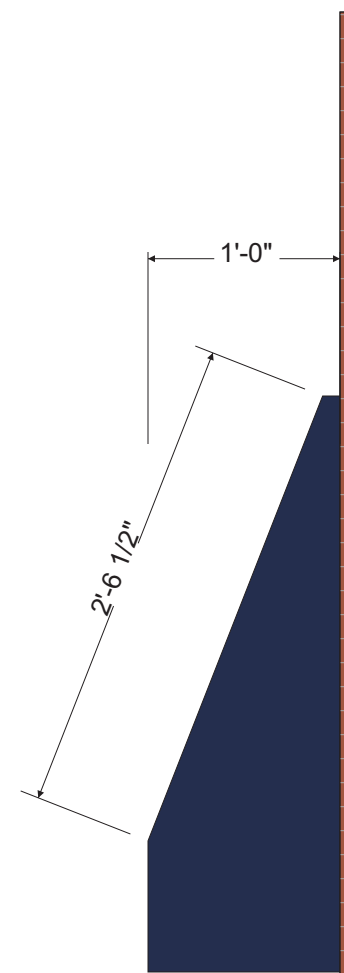
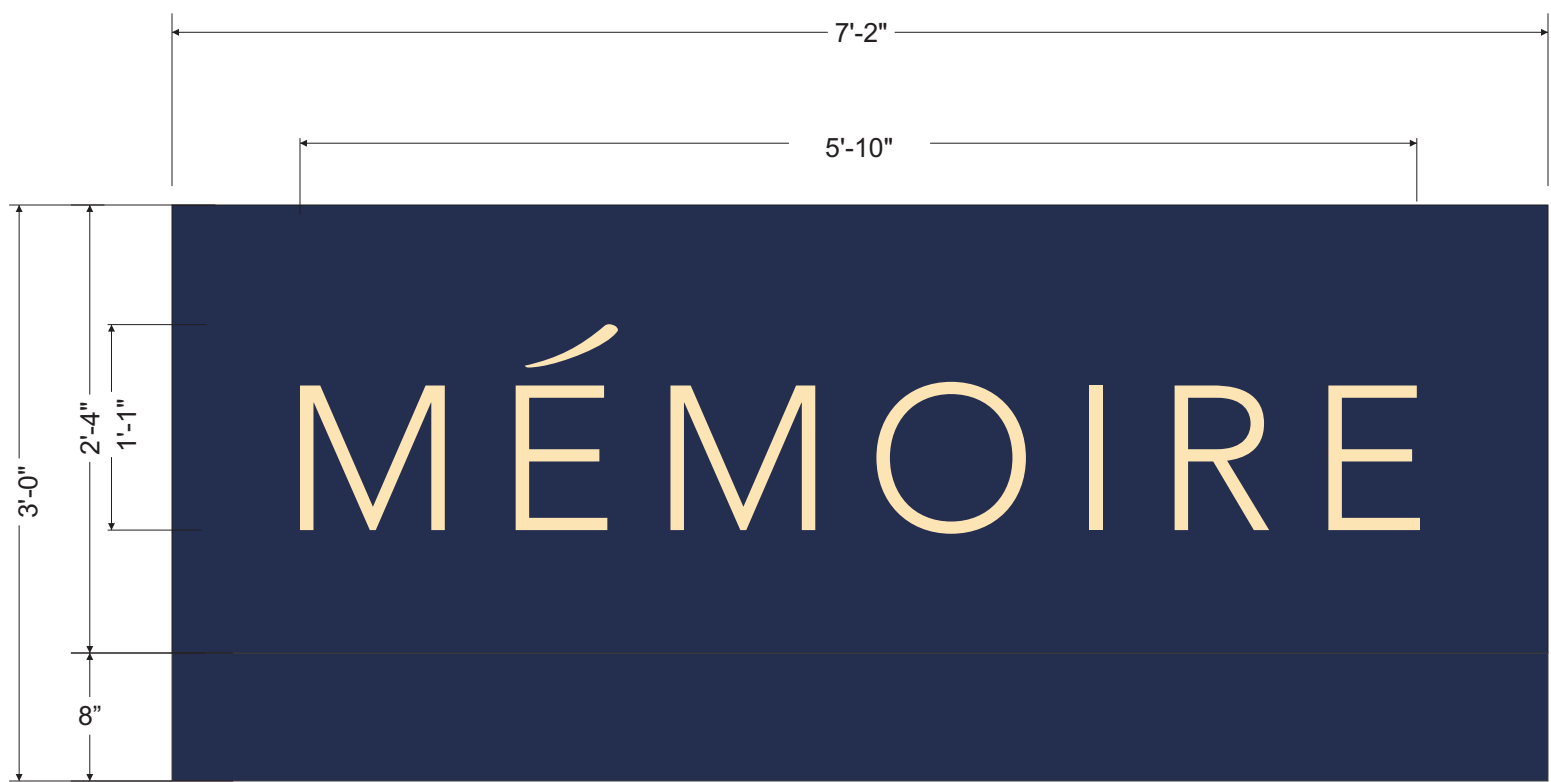
### DESCRIPTION:

RECOVERING EXISTING AWNINGS WITH NEW SUNBRELLA FABRIC AND WHITE ROLL PAINTED FABRIC.

### COLORS:

FABRIC: SUNBRELLA #6026 NAVY  
 GRAPHICS: PAINTED - MP 25900 CANTERBURY CREAM

**LOGO SQ FT = 6.31**



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SIGN TYPE	AWNING W/ ROLL PAINTED GRAPHICS		
CUSTOMER	CORNELL'S JEWELERS		
LOCATION	3100 MONROE AVENUE ROCHESTER, NY		
SALES PERSON	CT	DESIGNER	MR
DATE PREPARED	08/15/2019		
SCALE	AS NOTED		
SQUARE FOOTAGE	XX		
DRAWING #	8836	PAGE #	02
		REVISION #	4

# FOREVERMARK

**DESCRIPTION:**

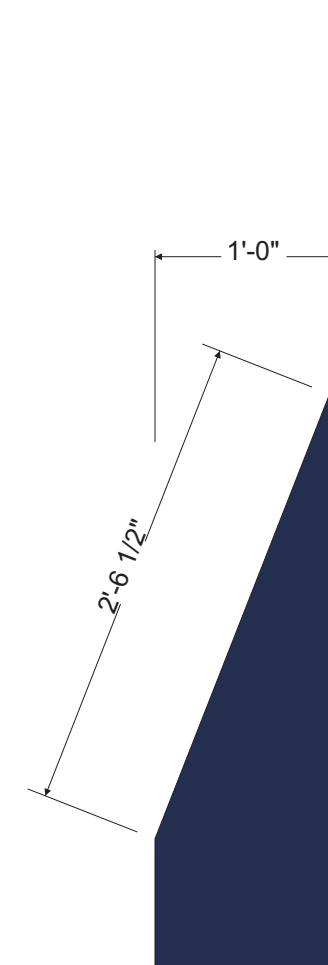
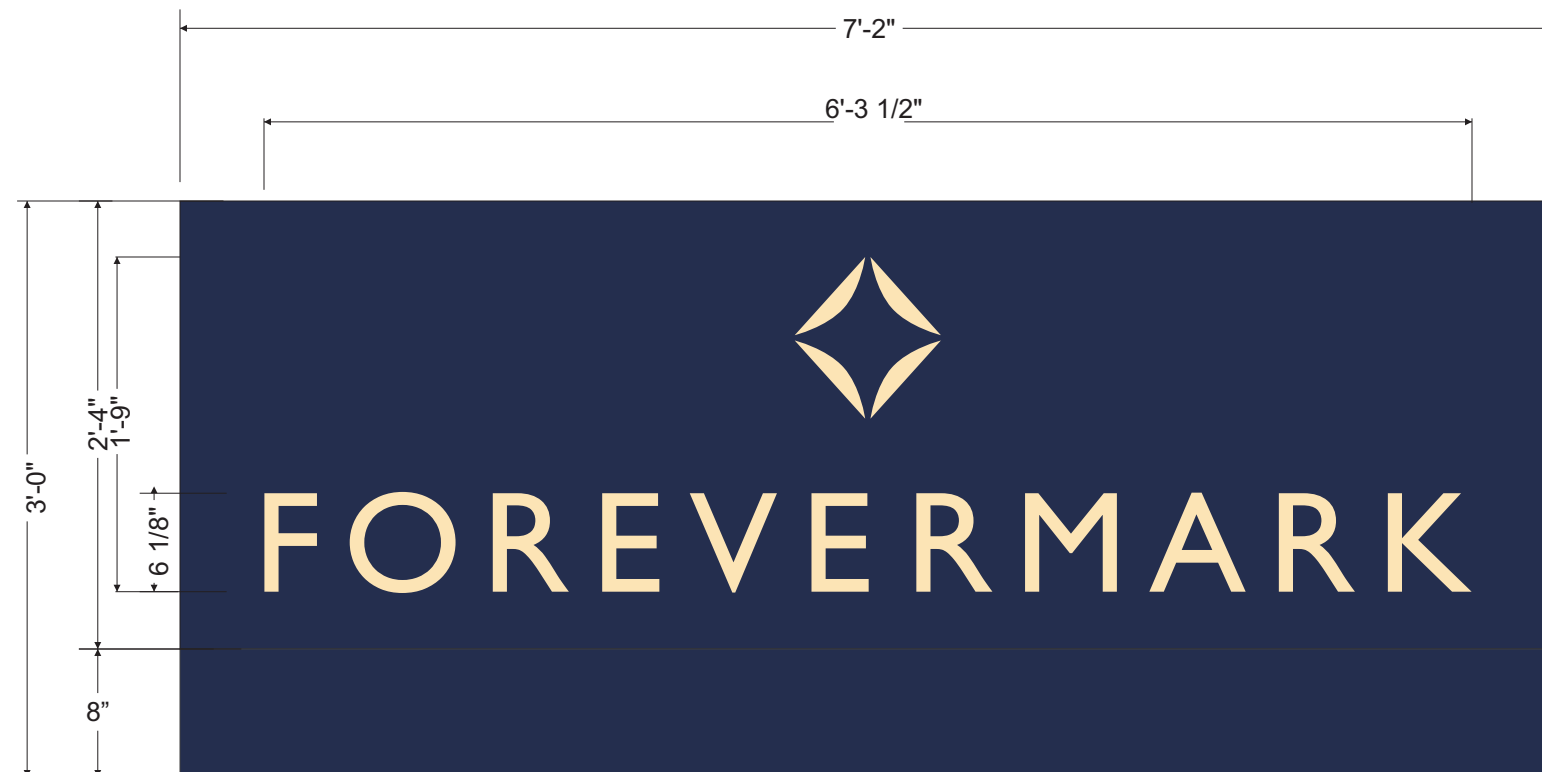
RECOVERING EXISTING AWNINGS WITH NEW SUNBRELLA FABRIC AND WHITE ROLL PAINTED FABRIC.

**COLORS:**

FABRIC: SUNBRELLA #6026 NAVY

GRAPHICS: PAINTED - MP 25900 CANTERBURY CREAM

**LOGO SQ FT = 11**



I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date \_\_\_\_\_  
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**ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.**

**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

REVISIONS		
DATE	DESCRIPTION	INIT.
08/30/19	CHANGE COLORS /UPDATE LOGOS REV1	MR
09/04/19	CHANGE DESIGN REV2	MR
09/04/19	SWITCH LOGOS 'OMEGA' & 'HEARTS OF FIRE' REV3	MR
10/07/19	CHANGE COLOR AND ADD FRONT PAGE WITH PICTURE	REV4



**A FULL SERVICE SIGN & AWNING COMPANY**  
 10 Excel Drive Rochester, NY 14621  
 P: 585-235-0390 F: 585-235-0392

[www.premiersignsystems.com](http://www.premiersignsystems.com)

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CUSTOMER	CORNELL'S JEWELERS		
LOCATION	3100 MONROE AVENUE ROCHESTER, NY		
SALES PERSON	CT	DESIGNER	MR
DATE PREPARED	08/15/2019		
SCALE	AS NOTED		
SQUARE FOOTAGE	XX		
DRAWING #	8836	PAGE #	03
		REVISION #	4

# HEARTS ON FIRE

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date \_\_\_\_\_  
 THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

**ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.**

**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

### REVISIONS

DATE	DESCRIPTION	INIT.
08/30/19	CHANGE COLORS /UPDATE LOGOS REV1	MR
09/04/19	CHANGE DESIGN REV2	MR
09/04/19	SWITCH LOGOS 'OMEGA' & 'HEARTS OF FIRE' REV3	MR
10/07/19	CHANGE COLOR AND ADD FRONT PAGE WITH PICTURE	REV4

### DESCRIPTION:

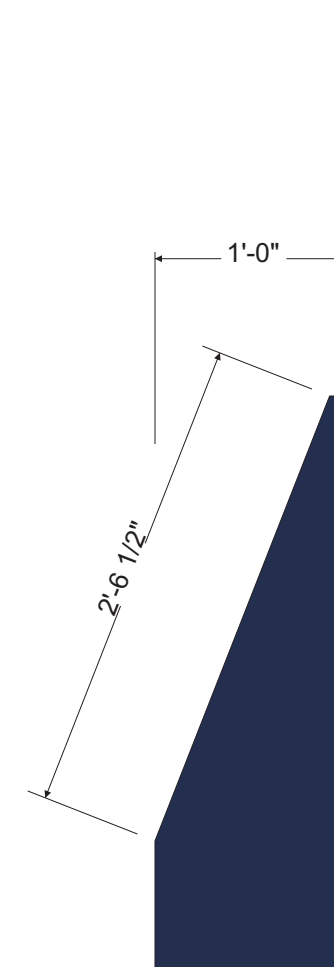
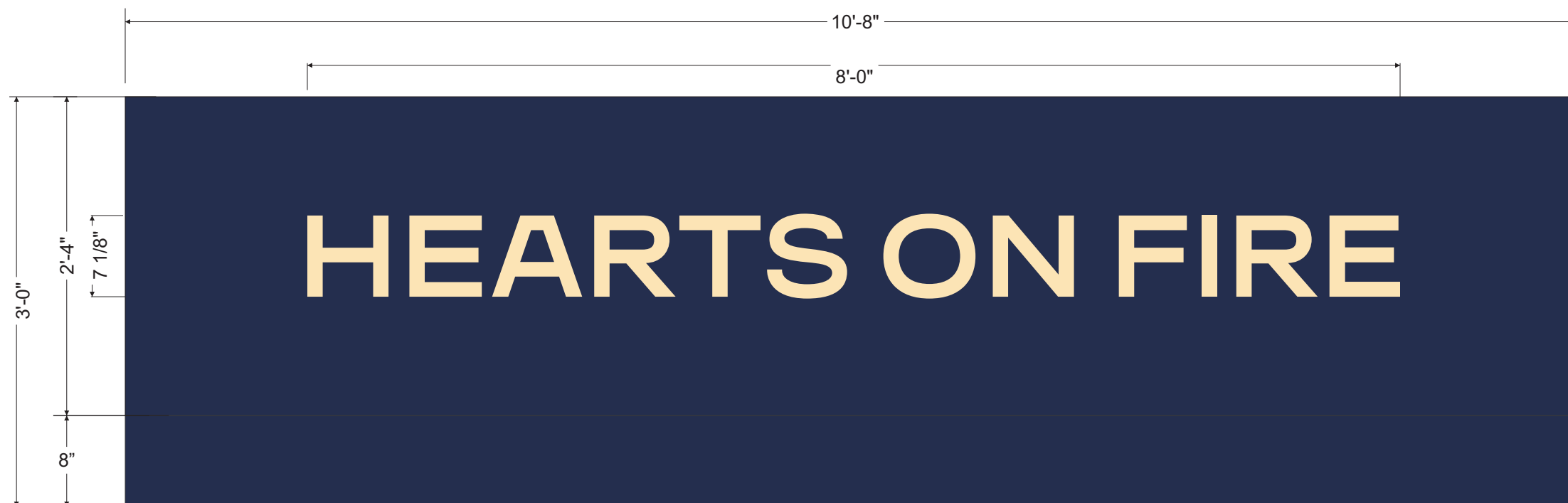
RECOVERING EXISTING AWNINGS WITH NEW SUNBRELLA FABRIC AND WHITE ROLL PAINTED FABRIC.

### COLORS:

FABRIC: SUNBRELLA #6026 NAVY

GRAPHICS: PAINTED - MP 25900 CANTERBURY CREAM

**LOGO SQ FT = 4.75**



A FULL SERVICE SIGN & AWNING COMPANY

10 Excel Drive Rochester, NY 14621

P: 585-235-0390 F: 585-235-0392

[www.premiersignsystems.com](http://www.premiersignsystems.com)

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SIGN TYPE	AWNING W/ ROLL PAINTED GRAPHICS		
CUSTOMER	CORNELL'S JEWELERS		
LOCATION	3100 MONROE AVENUE ROCHESTER, NY		
SALES PERSON	CT	DESIGNER	MR
DATE PREPARED	08/15/2019		
SCALE	AS NOTED		
SQUARE FOOTAGE	XX		
DRAWING #	8836	PAGE #	04
		REVISION #	4

# LAGOS

**DESCRIPTION:**

RECOVERING EXISTING AWNINGS WITH NEW SUNBRELLA FABRIC AND WHITE ROLL PAINTED FABRIC.

**COLORS:**

FABRIC: SUNBRELLA #6026 NAVY

GRAPHICS: PAINTED - MP 25900 CANTERBURY CREAM

**LOGO SQ FT = 6.58**



I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_  
 THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

**ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.**

**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

**REVISIONS**

DATE	DESCRIPTION	INIT.
08/30/19	CHANGE COLORS /UPDATE LOGOS.REV1	MR
09/04/19	CHANGE DESIGN REV2	MR
09/04/19	SWITCH LOGOS 'OMEGA' & 'HEARTS OF FIRE' REV3	MR
10/07/19	CHANGE COLOR AND ADD FRONT PAGE WITH PICTURE	REV4



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SIGN TYPE	AWNING W/ ROLL PAINTED GRAPHICS		
CUSTOMER	CORNELL'S JEWELERS		
LOCATION	3100 MONROE AVENUE ROCHESTER, NY		
SALES PERSON	CT	DESIGNER	MR
DATE PREPARED	08/15/2019		
SCALE	AS NOTED		
SQUARE FOOTAGE	XX		
DRAWING #	8836	PAGE #	05
		REVISION #	4

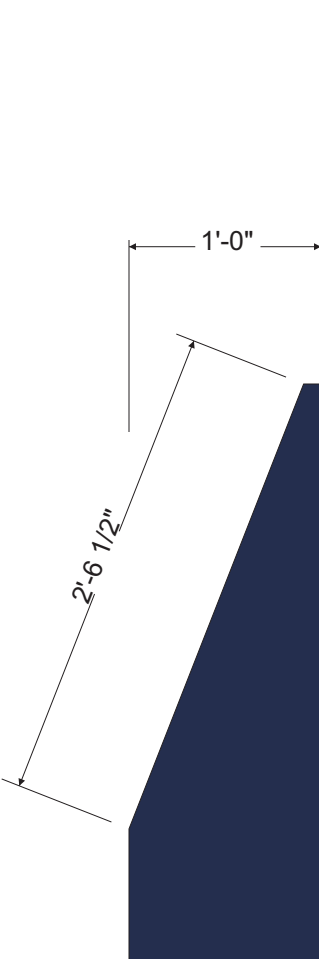
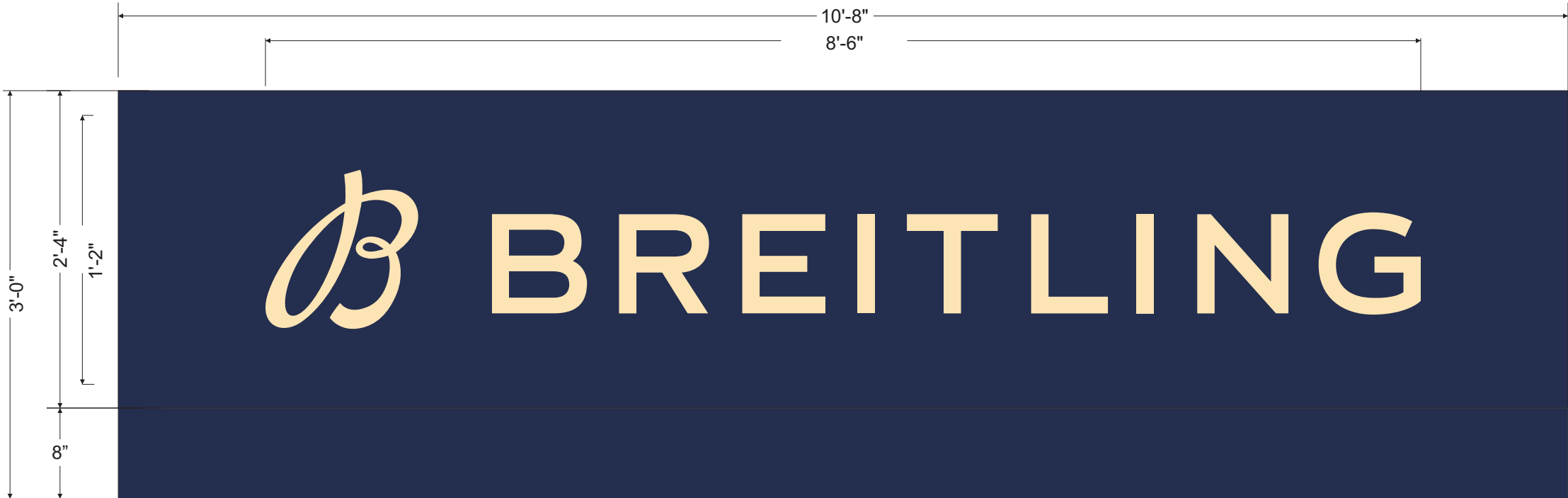
# BREITLING

**DESCRIPTION:**

RECOVERING EXISTING AWNINGS WITH NEW SUNBRELLA FABRIC AND WHITE ROLL PAINTED FABRIC.

**COLORS:**  
 FABRIC: SUNBRELLA #6026 NAVY  
 GRAPHICS: PAINTED - MP 25900 CANTERBURY CREAM

**LOGO SQ FT = 9.9**



I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_  
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**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

REVISIONS		
DATE	DESCRIPTION	INIT.
08/30/19	CHANGE COLORS /UPDATE LOGOS REV1	MR
09/04/19	CHANGE DESIGN REV2	MR
09/04/19	SWITCH LOGOS 'OMEGA' & 'HEARTS OF FIRE' REV3	MR
10/07/19	CHANGE COLOR AND ADD FRONT PAGE WITH PICTURE	REV4



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SIGN TYPE	AWNING W/ ROLL PAINTED GRAPHICS		
CUSTOMER	CORNELL'S JEWELERS		
LOCATION	3100 MONROE AVENUE ROCHESTER, NY		
SALES PERSON	CT	DESIGNER	MR
DATE PREPARED	08/15/2019		
SCALE	AS NOTED		
SQUARE FOOTAGE	XX		
DRAWING #	8836	PAGE #	06
		REVISION #	4





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
C19-000039

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 900 Linden Avenue ROCHESTER, NY 14625

**Tax ID Number:** 138.16-1-11.11

**Zoning District:** LI Light Industrial

**Owner:** Star Sentry LLC

**Applicant:** Mitchell Design Build (CubeSmart)

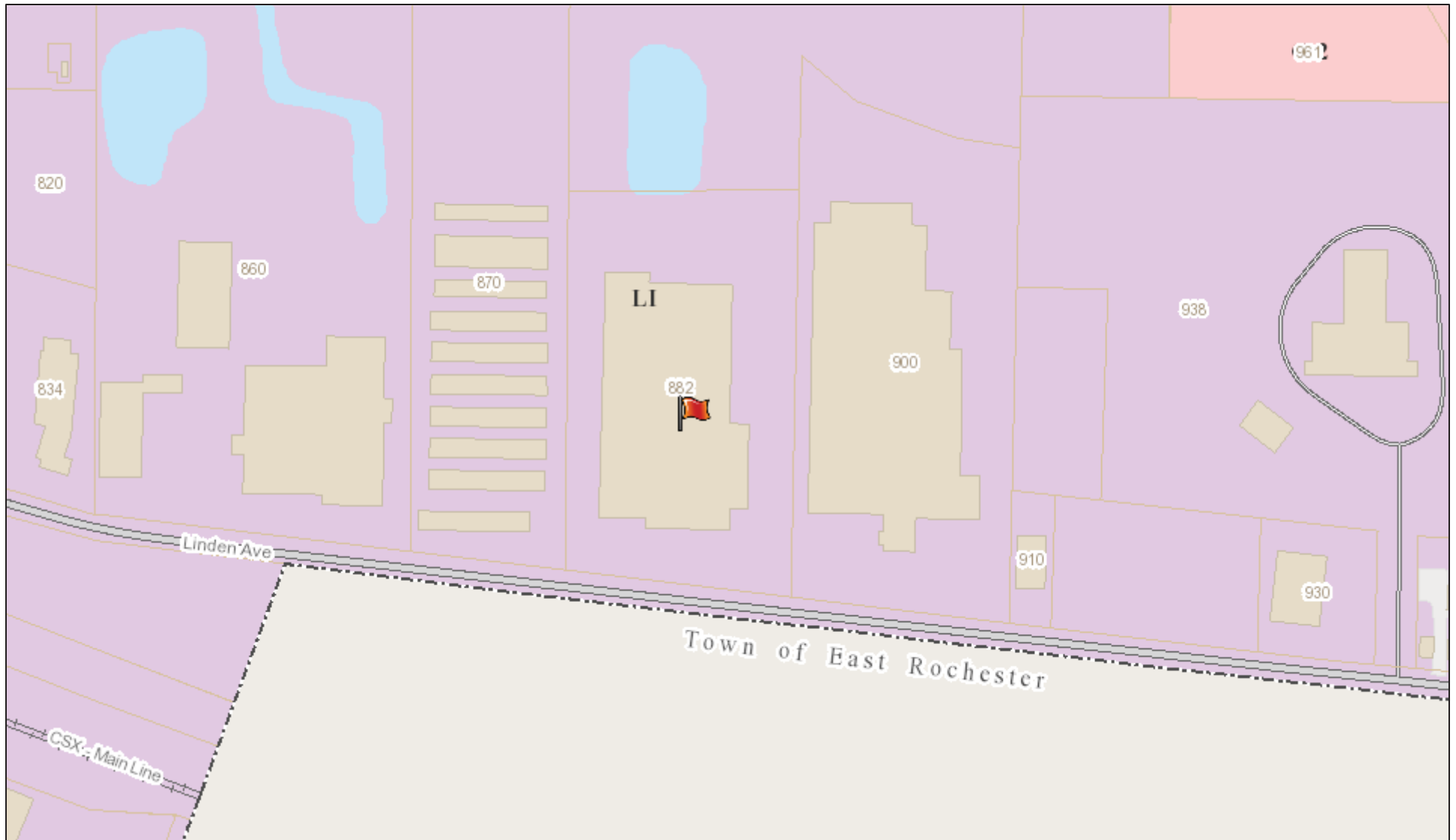
#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                    | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input checked="" type="checkbox"/> Informal Review                 |   |

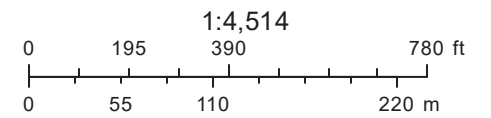
**Project Description:** Applicant is requesting an informal design review for the renovation of a 50,000 Sq. Ft. vacant building. The new owner is proposing to convert the building to self-storage with some general warehouse space.

**Meeting Date:** September 12, 2019

# RN Residential Neighborhood Zoning



Printed October 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



17&19

Linden Park

Linden Park

800

806

820

830

834

860

870

882

900

938

961

959

962

Linden Avenue

803

West Linden Avenue

910

930

West Linden Avenue

944

952

954

956

10

8

4

19

18

18A

17

16

15

14

13

12

11

10

9

22

West Commercial Street West Commercial Street

Country Club Road

Country Club Road

Club Road

533

519

517

533

511

511

493

465

507

E01

115 REAR

909

927

929

935

939

943

949

953

5

6

10

9

13

16

19

20

27

West Walnut Street

49

45

125

103 REAR

Monroe Street

10

107

Dispatch Drive

North Washington



PROPOSED: ELEVATION PHOTO NOT TO SCALE

plan view



**DESCRIPTION:**

SERIES 3 POST N PANEL SIGNS  
 SERIES 3 FRAMELESS BODY  
 .125 PAINTED ALUMINUM FACES  
 WHITE REFLECTIVE VINYL COPY  
 3" X 3" ALUMINUM PAINTED POST

**MOUNTING-** GRASS AREA

**COLORS:**

PANEL- PAINTED BLACK  
 POST- PAINTED BLACK  
 LOGO- PMS 021C ORANGE  
 COPY- WHITE REFLECTIVE VINYL

QTY- 1

**SQ FT = 7.87**

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_  
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**ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC**

PRODUCTION READY ART WORK  YES  NO

REVISIONS

DATE	DESCRIPTION	INIT.
9/18/19	PAGE 4-5 ADDED REV 1	RD
10/16/19	DELETE PGS. 3& 4 AND CHANGES LOGO	MR

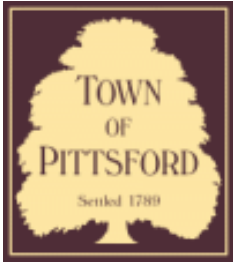


**PREMIER SIGN SYSTEMS, LLC**  
 A FULL SERVICE SIGN & AWNING COMPANY  
 10 Excel Drive Rochester, NY 14621  
 P: 585-235-0390 F: 585-235-0392

[www.premiersignsystems.com](http://www.premiersignsystems.com)

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SIGN TYPE	SERIES 3 POST N PANEL		
CUSTOMER	CARESTREAM		
LOCATION	882 LINDEN AVE PENFIELD, NY		
SALES PERSON	LB	DESIGNER	RD
DATE PREPARED	09/13/2019		
SCALE	1-1/2" = 1'		
SQUARE FOOTAGE			
DRAWING #	8870	PAGE #	02
REVISION #			2



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000021**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3400 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.16-2-3

**Zoning District:** C Commercial

**Owner:** Pittsford Colony LLC

**Applicant:** Fast Signs

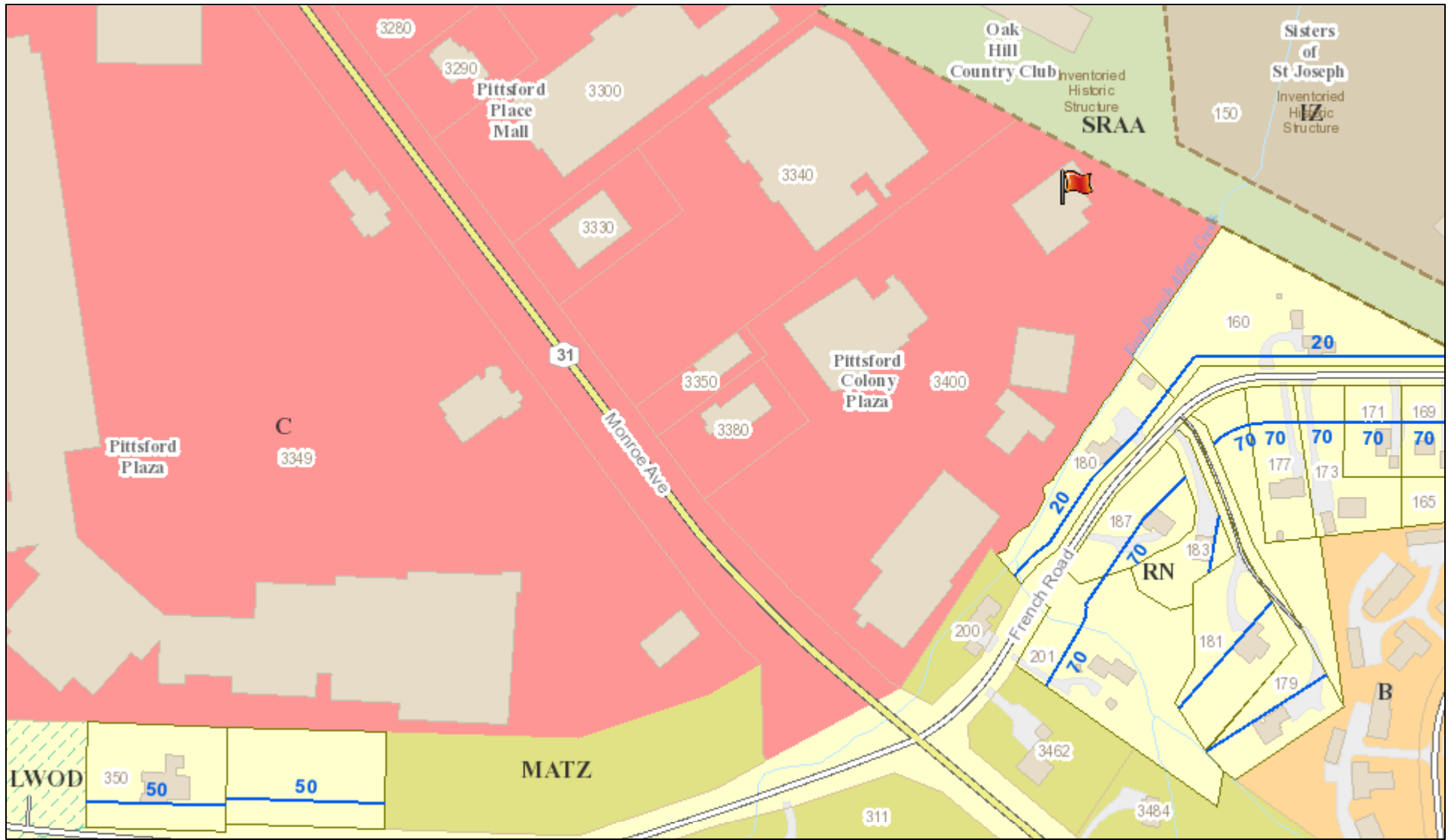
### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

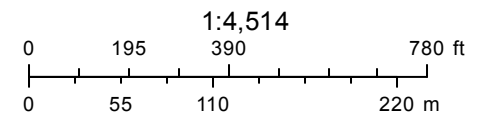
**Project Description:** Applicant is requesting design and review for the addition of a business identification sign. The sign will identify "Allens Creek Oral and Implant Surgery" and will be approximately 56 Sq. Ft.

**Meeting Date:** October 24, 2019

# RN Residential Neighborhood Zoning

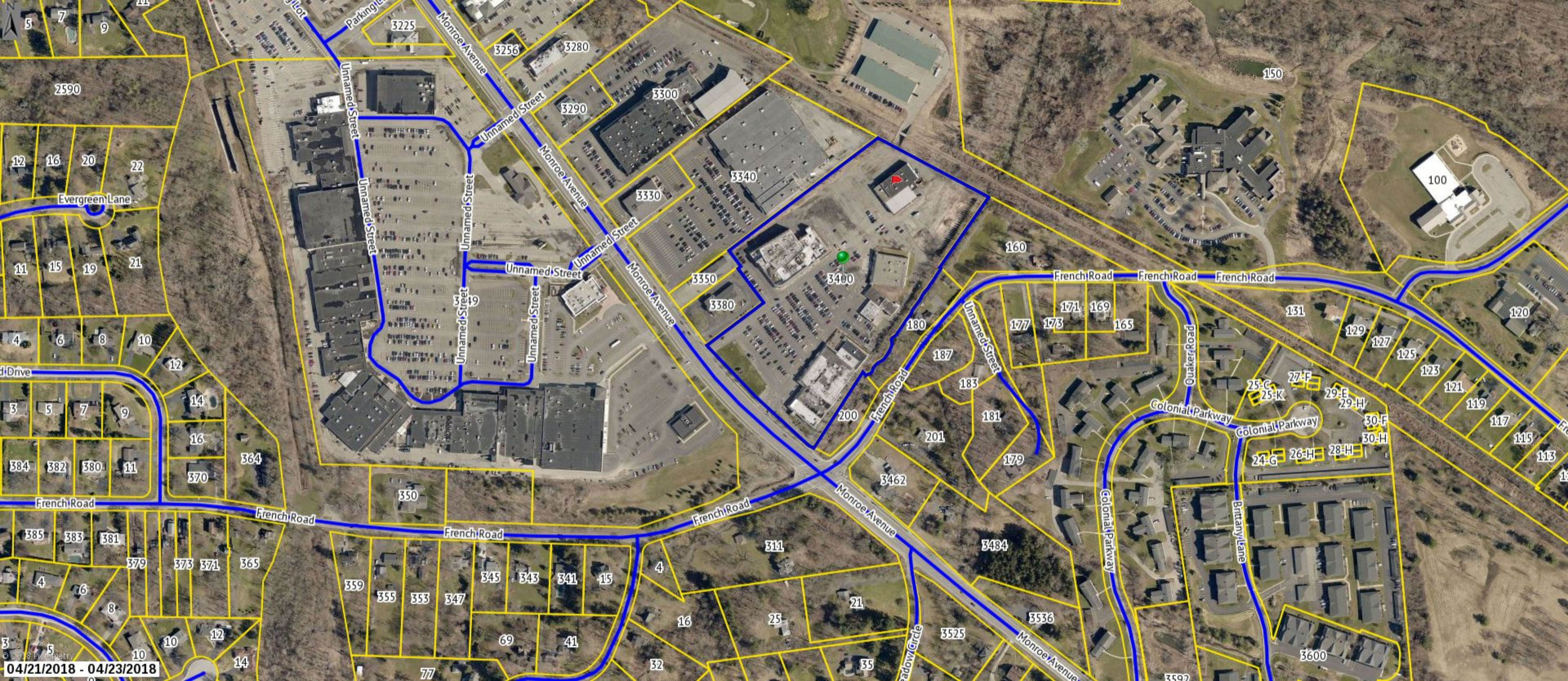


Printed August 13, 2019



Town of Pittsford GIS

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# Option with Original Logo

\*Unlit

\*2" Thick Aluminum Pan Substrate

192 in



42 in

Routed Acrylic Letters  
& Logo

LANDLORD  
OR AGENT  
SIGNATURE  
HERE

Please sign & return drawings to FASTSIGNS  
Signature below indicates approval of BOTH design & placement of sign

X

DATE

\*DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE\*

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.  
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

**FASTSIGNS**

More than just. More than signs.

Alpens Creek Oral & Implant Surgery

192 in

Building Sign

Route Number

Original Drawing No. 10/10/11

Number of Signs 1 of 1

NTS

REV. DATE

REV. DATE

REV. DATE

REV. DATE

REV. DATE

REV. DATE

REV. DATE

REV. DATE

REV. DATE

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**ALLENS CREEK**  
ORAL AND IMPLANT SURGERY

