

**Design Review & Historic Preservation Board
Agenda
October 22, 2020**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **132 East Street**
The Applicant is requesting design review for the renovation of an existing home. The home will receive new siding, roofing, windows and doors. The roof over the old kitchen and on the north side of the second floor will be removed and replaced. The applicant will be seeking approval by the Zoning Board for a front setback variance at the October 19th meeting.
- **4044 East Avenue**
The Applicant is requesting design review for the addition of a mud room/laundry room. The addition will be approximately 100 square feet and will be located on the east side of the home.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **12 Hawkstone Way**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2142 square feet and will be located in the Cottages of Malvern Hills.
- **16 Hawkstone Way**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2197 square feet and will be located in the Cottages of Malvern Hills.

COMMERCIAL APPLICATION FOR REVIEW

- **111 East Jefferson Road (Sign)**
The Applicant is requesting design review for the replacement of a business identification sign. The new sign will be for the Edgewood Church and will replace the current YMCA sign located at the entrance. The sign will be a monument sign approximately 19 square feet with vinyl wrapped panels with printed watermark logo.

INFORMAL REVIEW

- **180 Kilbourn Road**
The Applicant is requesting an informal review for the demolition of a home built in 1948 in the Kilbourn neighborhood. The home will be replaced with an approximately 2038 square foot two-story home.

OTHER – REVIEW OF 10/8/2020 MINUTES

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/86988078744?pwd=ZTllcINGTjQvVDhPTEFTUUJNNmNydz09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **869 8807 8744**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

Draft
Design Review and Historic Preservation Board
Minutes
October 8, 2020

PRESENT

Paul Whitbeck, Bonnie Salem, John Mitchell, Kathleen Cristman, Leticia Fornataro

ALSO PRESENT

Kevin Beckford, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Dirk Schneider, Chairman; Dave Wigg

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, October 8 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Acting Chairman John Mitchell opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem discussed the draft of the letter she circulated to the Board to be sent out to the interested parties who attended the reception for inventoried homeowners last year. The members present were in agreement with it and it will be sent out later this month under the Chairman's signature once Dirk approves it. Bonnie suggested splitting up the names between the Board members to follow up once the letters are sent. Bonnie and Paul agreed to work on this.

Robert Koegel confirmed the Town Board approved the expenditure for the banners for the historic district. Allen Reitz will work on the details of arranging the down payment with the Commissioner of Public Works.

RESIDENTIAL APPLICATION FOR REVIEW

- **10 Poinciana Drive**

The Applicant is requesting design review for the oversized detached garage. The garage will be 1543 square feet and located to the east of the main home. This application did receive Zoning Board approval for the location, height and size of the structure.

The homeowner Koen Goorman was present.

Mr. Goorman explained that the oversized garage would be used to store 4 cars with a room above to store pool and patio equipment. He stated that the garage would be a mirror image of the design of the home in materials. Shrubbery on the east side will shield the garage from the private drive. This is a large property and the structure will be 1000 ft. from Lehigh Station Road.

Leticia Fornataro moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **6 Sutton Point**

The Applicant is requesting design review for the addition of a four-season room. The addition will be approximately 322 square feet and will be located to the rear of the home.

The contractor, Rich Peters, was present.

The addition will be on the footprint of the deck. There will be some storage underneath.

Two roof options were submitted. One elevation depicted a center gable on the roof with two skylights and another depicted a shed roof with three skylights.

After some discussion, the Board generally agreed that they could support either roof design although comments were made that the option with the three skylights would provide additional lighting.

Kathleen Cristman moved to approve the application as submitted with the choice of either roof design.

Bonnie Salem seconded.

All Ayes.

- **33 Thrush Field Way**

The Applicant is requesting design review for the two-story kitchen, bedroom and bath addition. The first floor addition will be approximately 197 square feet and the second floor will also be approximately 197 square feet.

The architect, Jim Brasley and homeowner Todd Markevitz were present.

Mr. Brasley described the project as a rear two-story addition with the expansion of the kitchen on the first floor and the addition of a bedroom and bathroom on the second floor. Part of the deck will be removed to accommodate this addition. The back of the house is on a cul-de-sac and would be hidden from any neighboring view.

The materials and roof slope would match the home and some of the window patterns would match the current windows as well. The chimney will be functional.

John Mitchell moved to accept the application as submitted with all materials to match the existing on the home.

Leticia Fornataro seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **27 Hawkstone Way**

The Applicant is requesting design review for the construction of a single-family one story home. The home will be approximately 1982 square feet and will be located in the Cottages at Malvern Subdivision.

Marie Kenton of Ketmar Development was present.

Ms. Kenton described the new home construction as having a courtyard entry with a walkout that is similar to the homes on Lot #26 and Lot #18 but not exactly alike. This home will back up to the pond. The home has multiple textures for materials but will be the same colors. Cultured stone will be added around the door entry.

Leticia Fornataro asked questions about grading changes and Ms. Kenton responded that some fill would be needed.

Paul Whitbeck moved to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **33 & 31 Skylight Trail**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of two attached single-family dwellings sharing a common wall. Lot 35 (33 Skylight Trail) will be approximately 2000 sq. ft. and Lot 36 (31 Skylight Trail) will be 2013 sq. ft. The town homes will be located in the new Alpine Ridge development.

Jeff Morrell of Morrell Builders was present.

Mr. Morrell discussed the onsite walk that occurred with some of the Board members prior to this evening's meeting. He also extended an invitation to any other members of the Board who did not attend that walk to come to the site at another time. Mr. Morrell indicated he appreciated the Board's input. He discussed the Board's comments regarding the gable reductions and the transition of the materials.

The current proposed unit has a side load (Lot #35) and a front-loaded (Lot #36) garage.

Mr. Morrell clarified the key on the development plan in regards to color and stone usage. The colors will remain the same however the names of the Hardi board colors have been changed by the manufacturer. Mr. Morrell will look to clarify this in the future applications. Mr. Morrell also indicated that the stone on the homes would be a staggered application to provide differentiation between the units. As units are constructed, he will be able to provide adjacent photos for comparison. He indicated that the homeowners association controls the look of the exteriors not the clients.

Bonnie Salem discussed the differentiation of wood grain of the garage doors. Mr. Morrell said he does not want too many multicolor textures but could look into the options available of darker versus lighter.

Leticia Fornataro moved to accept the application as submitted with the modifications as discussed.

John Mitchell seconded.

All Ayes.

OTHER

REVIEW OF 9/24/2020 MINUTES

John Mitchell moved to accept the minutes of the September 24, 2020 meeting with one correction.

Bonnie Salem seconded.

All Ayes.

DISCUSSION

Allen Reitz discussed with the Board that it would be possible with the necessary safety protocols in place to resume meetings in person since most meetings do not involve a public hearing. He asked the Board for their input on this. The members present felt that this might be somewhat premature to resume meeting in person given the coming winter months and that all members present preferred the remote Zoom meetings.

Regarding the demolition policy for the Town of Pittsford, Bonnie Salem reported that she had no updates.

ADJOURNMENT

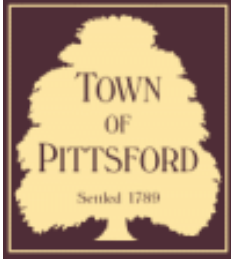
John Mitchell moved to close the meeting at 7:05 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000177

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 132 East Street PITTSFORD, NY 14534

Tax ID Number: 178.02-1-3.1

Zoning District: AG Agricultural

Owner: Andrew and Jantyda Scherdin

Applicant: Dan Pope

Application Type:

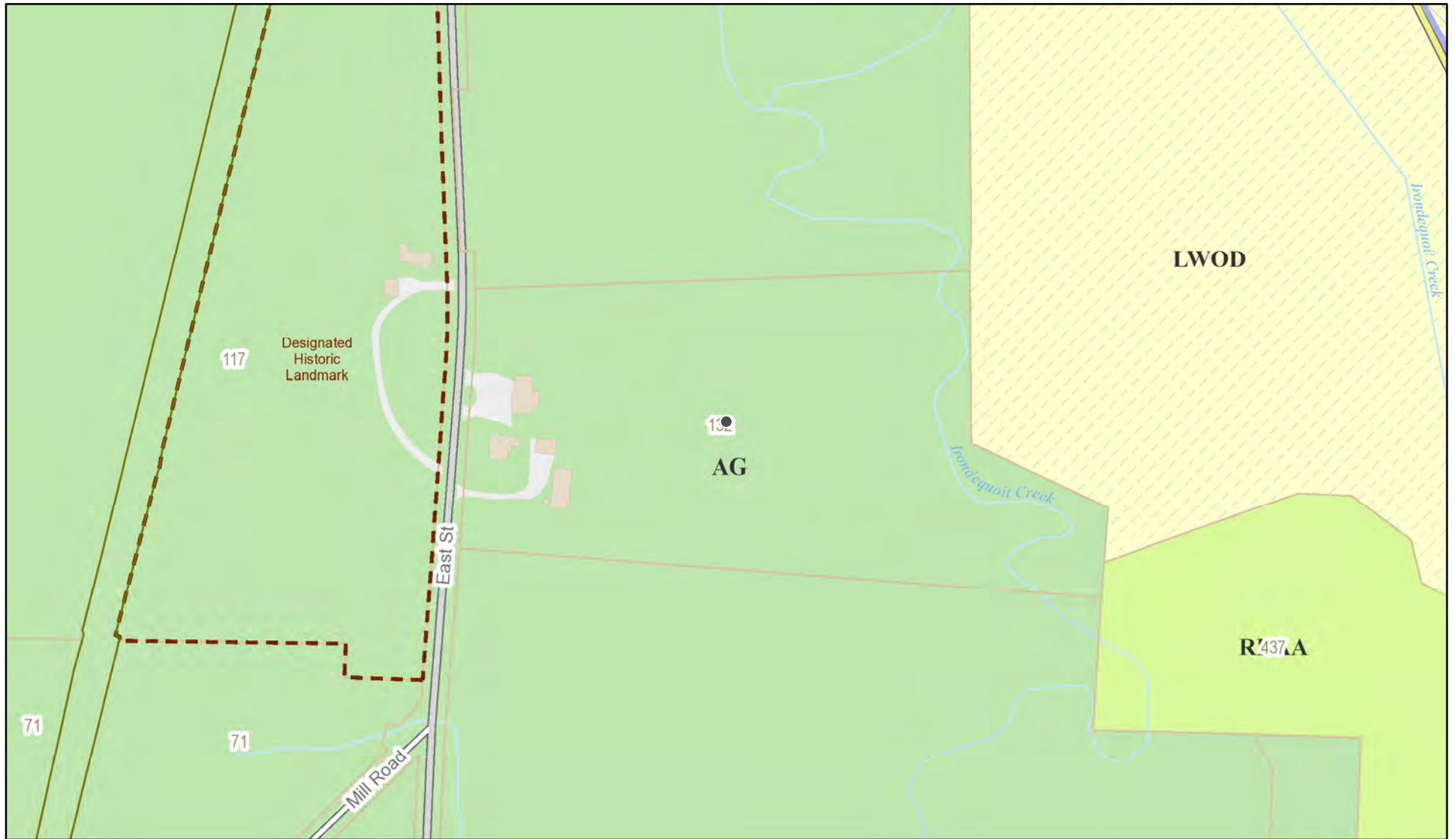
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the renovation of an existing home. The home will receive new siding, roofing, windows and doors. The roof over the old kitchen and on the north side of the second floor will be removed and replaced. The applicant will be seeking approval by the Zoning Board for a front setback variance at the October 19th meeting.

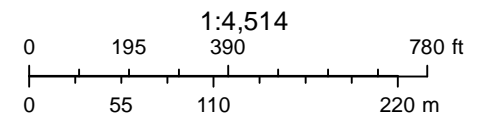
Meeting Date: October 22, 2020



RN Residential Neighborhood Zoning

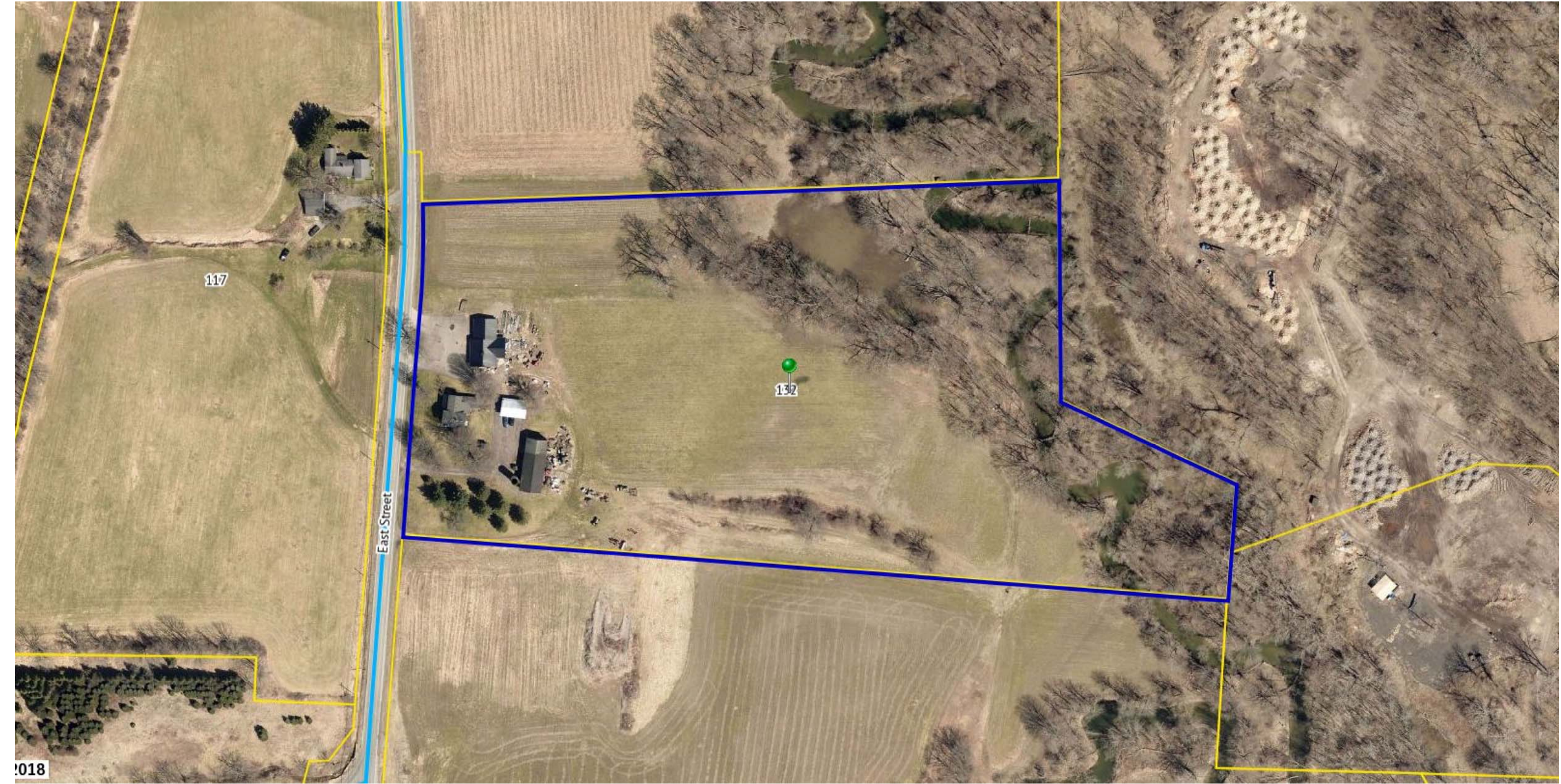


Printed October 15, 2020



Town of Pittsford GIS

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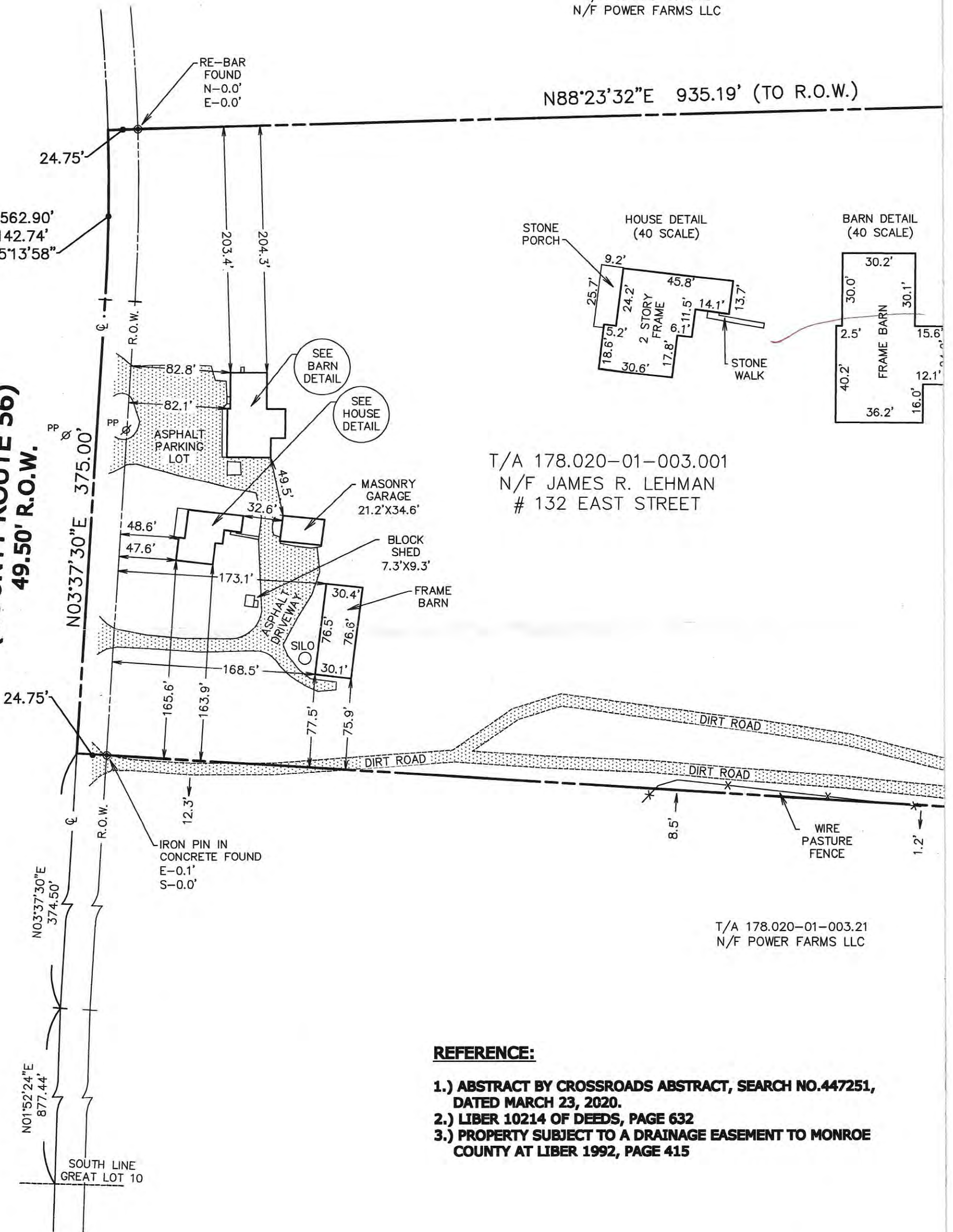
018

T/A 164.04-01-012
N/F POWER FARMS LLC

N88°23'32"E 935.19' (TO R.O.W.)

R=1562.90'
L=142.74'
Δ=05°13'58"

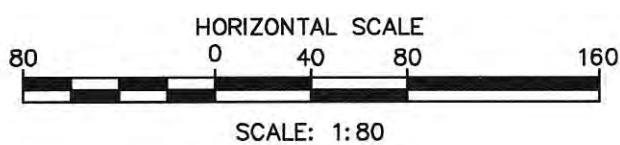
**EAST STREET
(COUNTY ROUTE 56)
49.50' R.O.W.**



T/A 178.020-01-003.21
N/F POWER FARMS LLC

REFERENCE:

- 1.) ABSTRACT BY CROSSROADS ABSTRACT, SEARCH NO.447251, DATED MARCH 23, 2020.
- 2.) LIBER 10214 OF DEEDS, PAGE 632
- 3.) PROPERTY SUBJECT TO A DRAINAGE EASEMENT TO MONROE COUNTY AT LIBER 1992, PAGE 415









132





MAXIMUM LOADING

WARNING
KEEP OFF ONLY
EXTRA CHARGES
APPLY


W
WASTE
585

04321

Renovation & Alterations to the:
Scherdin Residence
132 East Street
Pittsford, New York 14534



Architect:

 **Daniel Pope Architect, PLLC**
59 Summit Street
Fairport, New York 14450
585.223.6495
dpope15250@gmail.com

Building Department:

Town of Pittsford
11 South Main Street
Pittsford, New York 14534
Building Inspector:
Alan Reitz
585.248.6250
areitz@townofpittsford.org

Contractor:

T.B.D.

Project Number: 2005
Issue: For Permit
Date: September 9, 2020

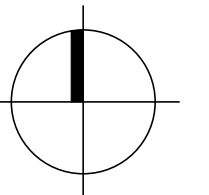
Drawing Index:

Architectural

- A0 General Notes
- A0.1 Basement Plan
- A1 First Floor Plan
- A2 Second Floor Plan
- A3 Exterior Elevations
- A4 Exterior Elevations
- A5 Building Sections & Roof Framing Plan

Location Map:

Not to Scale



General Notes

- Construction shall conform to the 2020 Residential Building Code of New York State, including the Energy Conservation Construction Code of New York State.
- Comply with all applicable local, state, and federal codes and regulations.
- Contractor to be responsible for compliance with all applicable building / electrical / mechanical / sanitary and energy conservation codes, State or local.
- General contractor shall verify all notes and dimensions before starting construction and shall be responsible for errors and or omissions.
- General contractor shall be responsible for all materials, construction methods, and craftsmanship.
- Contractor shall request location of all utilities prior to digging.
- The Contractor shall pay for and obtain all permits and approvals required by the local zoning, building departments, and all other governmental agencies having jurisdiction over the work. All applicable regulations shall be carried out by all individuals under this Contract.
- The Contractor shall finish a certificate of insurance indicating the type and amounts of coverage as required by New York State and the local municipality.
- The Contractor shall remove all rubbish and construction debris daily.
- All interior finishes, appliances, cabinets and related millwork, hardware, plumbing and lighting fixtures shall be as selected by the Owner. All millwork including but not limited to: kitchen, laundry, bathrooms, dining room, and / or pantries shall be designed by others.
- Shelve & rod system for closets shall be provided by owner.
- Contractor to be responsible for providing all blocking in walls for items: shelving, railings, and millwork. Coordinate locations of all such items with Owner prior to installation.
- Wood in contact with masonry, concrete, or earth or within 1'-0" of grade & exposed shall be pressure treated.
- Double joists at floor openings and under all parallel partitions.
- Design of Electrical, Plumbing, and HVAC systems shall be by others.
- All exterior walls to be furred out to 5 1/2" for new R20 insulation.
- All interior walls to be 2x4 studs 16" o/c. unless otherwise noted
- All wall and floor systems are to be fire-stopped per applicable code.
- Provide physical or inspection access to all concealed spaces (ie: attic spaces) at a convenient location or as directed by the General Contractor or Owner contract.
- Provide suitable chase in wall and floor systems to accommodate plumbing and heating installations. Verify any special requirements with General Contractor.
- Contractor shall pay strict adherence to Micro=Lam manufacturer's written instructions for cutting, drilling, notching, joining and general installation of their products.
- New windows shall be manufactured by Anderson Window Company 400 SERIES with high performance low E double-glazing. Provide insect screens, lock and keeper hardware, style/color selected by owner. Install jamb extensions and wood stools. Muntin grille styles to be reviewed and selected by owner.
- All interior running trim, doors, millwork, and finishes shall match existing conditions and/or be selected by owner.
- All plumbing work shall conform to NYS Building Code. Coordinate work with other trades to avoid unnecessary changes. Include all items necessary for a complete installation. Owner to select fixtures and devices.
- Heating and Ventilation work: Fabricate and install in accordance with SMACNA and ASHRAE recommendations. Construct ductwork to meet NFPA 90A, air conditioning and ventilating systems to NFPA 90B standards "Installation of Warm Air Heating and Air Conditioning Systems. Include all items and accessories necessary for a complete installation. Balance system branches upon completion.
- All Electrical work for project shall conform to NYS Building Code and with NFPA 70 "National Electrical Code (NEC) and NYBFCU. Certificate of inspection by local NYBFCU is required. Provide electrical system components necessary to make a complete system to serve all existing and new devices, and fixtures. Coordinate locations of lighting, switching, and outlets with Owner. Owner to select all devices and fixtures.
- Structural Design Loads as follows:

Floor Loads:
 Living Areas = 40 lbs./ft.²
 Sleeping Areas = 30 lbs./ft.²
 10 lbs./ft.² Dead Loads

Roof Loads:
 40 lbs./ft.² Ground Snow

Wind Loads (3 Sec. Gust):
 115 mph

Allow Reflection:
 Floors L/360
 Ceilings L/240
 Rafters w/ Slopes Greater than 3:12 = L/180

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
 (2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE)

CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,*}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^c	FLOOR R-VALUE	BASEMENT ^d WALL R-VALUE	SLAB ^e R-VALUE & DEPTH	CRAWL SPACE ^f WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13+5 ^g	8/13	19	10/13	10, 2 ft	10/13
5	0.30	0.55	NR	49	20 or 13+5 ^g	13/17	30 ^h	15/19	10, 2 ft	15/19
6 Option 1	0.30	0.55	NR	49	20+5 ^g or 13+10 ^g	15/20	30 ^h	15/19	10, 4 ft	15/19
6 Option 2	0.28	0.55	NR	60	23 cavity	19/21	30 ^h	15/19	10, 4 ft	15/19

NR = Not Required.

For SI: 1 foot = 304.8 mm.

- R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- Reserved.
- Reserved.
- Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.
- The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

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2005

JOB # DRAWN BY

9.9.2020 D. POPE

DATE CHECKED BY

AS NOTED

SCALE

REVISIONS

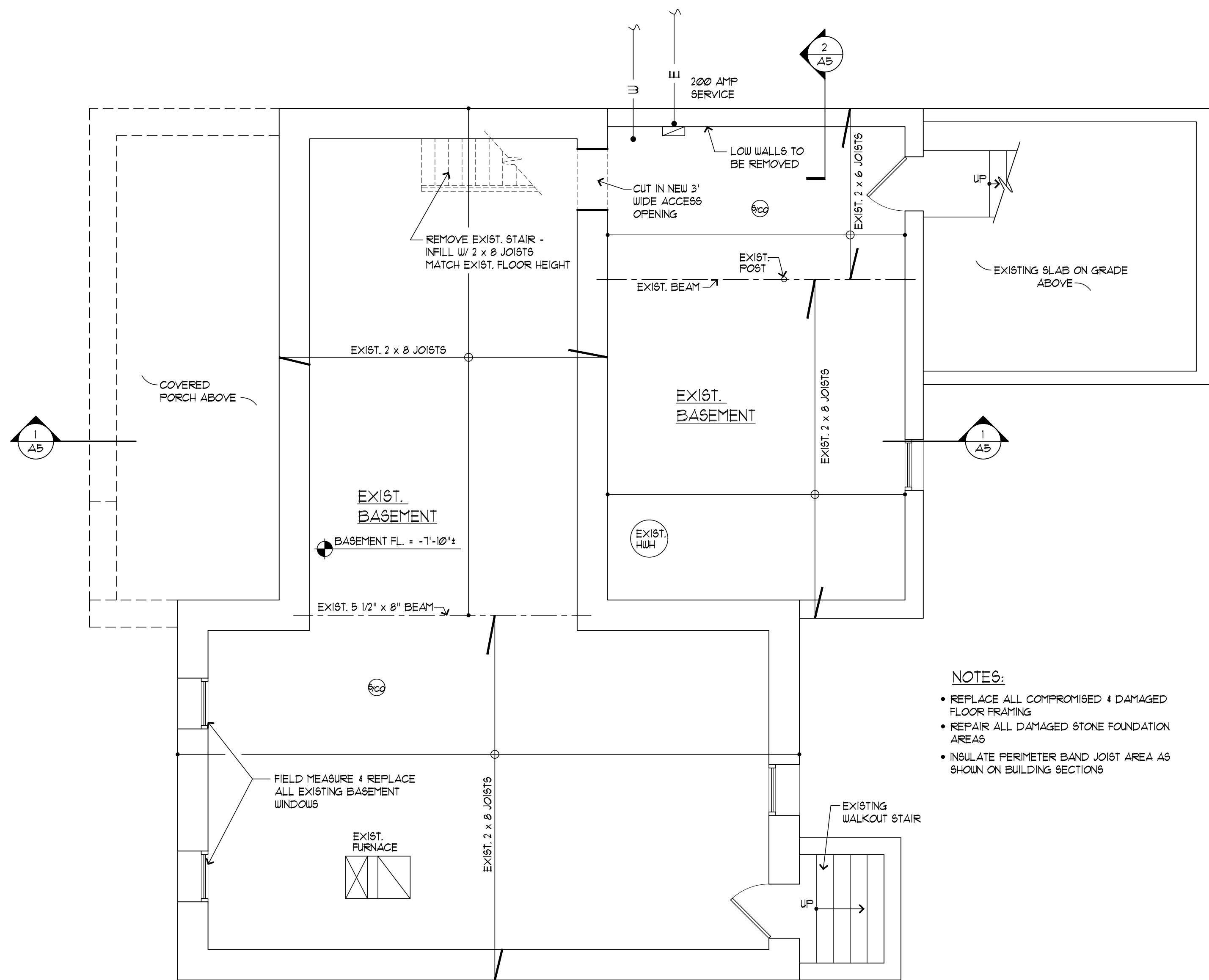
SCHERDIN RESIDENCE
 132 EAST STREET
 PITTSFORD, NEW YORK 14534
 GENERAL NOTES



Daniel Pope Architect & Associates LLC

59 Summit Street
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 Phone 585.223.6495

A0

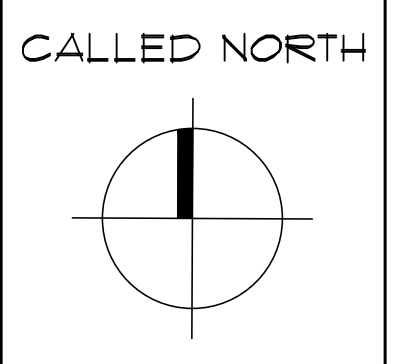


- NOTES:**
- REPLACE ALL COMPROMISED & DAMAGED FLOOR FRAMING
 - REPAIR ALL DAMAGED STONE FOUNDATION AREAS
 - INSULATE PERIMETER BAND JOIST AREA AS SHOWN ON BUILDING SECTIONS

LEGEND

—	EXISTING STONE WALL FOUNDATION
- - -	REMOVALS
⊙	NEW SMOKE/CARBON MONOXIDE DETECTOR HARD WIRED TO ELEC. PNL.

1 **BASEMENT PLAN**
1/4" = 1'-0"



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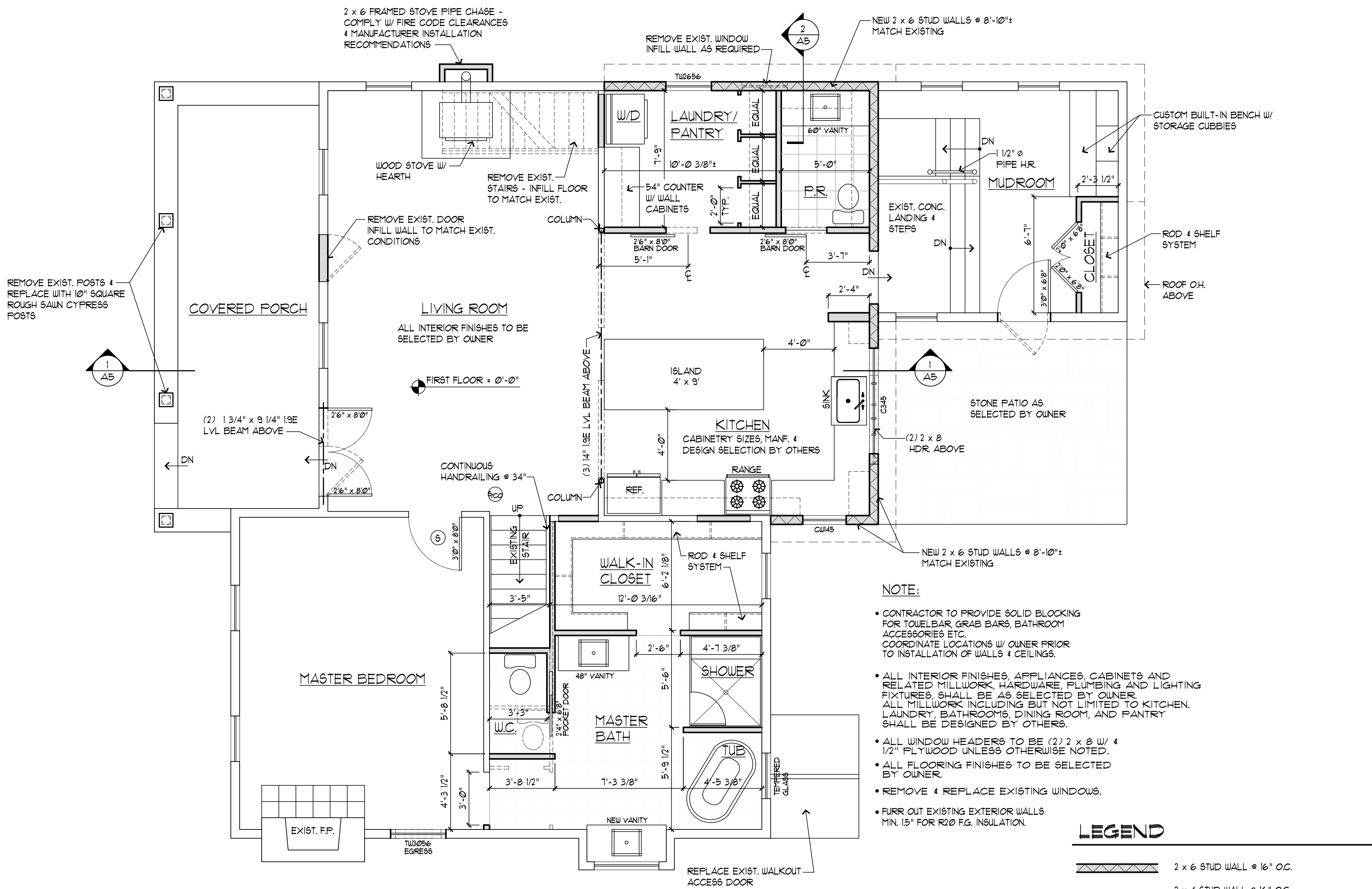
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SCHERDIN RESIDENCE
 132 EAST STREET
 PITTSFORD, NEW YORK 14534
BASEMENT PLAN

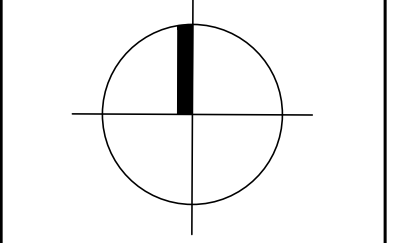


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 Fairport, New York 14450
 Phone 585.223.6495

A0.1



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 AS NOTED
 SCALE

REVISIONS

SCHERDIN RESIDENCE
 132 EAST STREET
 PITTSFORD, NEW YORK 14534
 FIRST FLOOR PLAN

- NOTE:**
- CONTRACTOR TO PROVIDE SOLID BLOCKING FOR TOWELBAR, GRAB BARS, BATHROOM ACCESSORIES ETC. COORDINATE LOCATIONS W/ OWNER PRIOR TO INSTALLATION OF WALLS & CEILINGS.
 - ALL INTERIOR FINISHES, APPLIANCES, CABINETS AND RELATED MILLWORK, HARDWARE, PLUMBING AND LIGHTING FIXTURES, SHALL BE AS SELECTED BY OWNER. ALL MILLWORK INCLUDING BUT NOT LIMITED TO KITCHEN, LAUNDRY, BATHROOMS, DINING ROOM, AND PANTRY SHALL BE DESIGNED BY OTHERS.
 - ALL WINDOW HEADERS TO BE (2) 2 x 8 W/ 1/2" PLYWOOD UNLESS OTHERWISE NOTED.
 - ALL FLOORING FINISHES TO BE SELECTED BY OWNER.
 - REMOVE & REPLACE EXISTING WINDOWS.
 - FURR OUT EXISTING EXTERIOR WALLS MIN. 1.5" FOR R20 F.G. INSULATION.

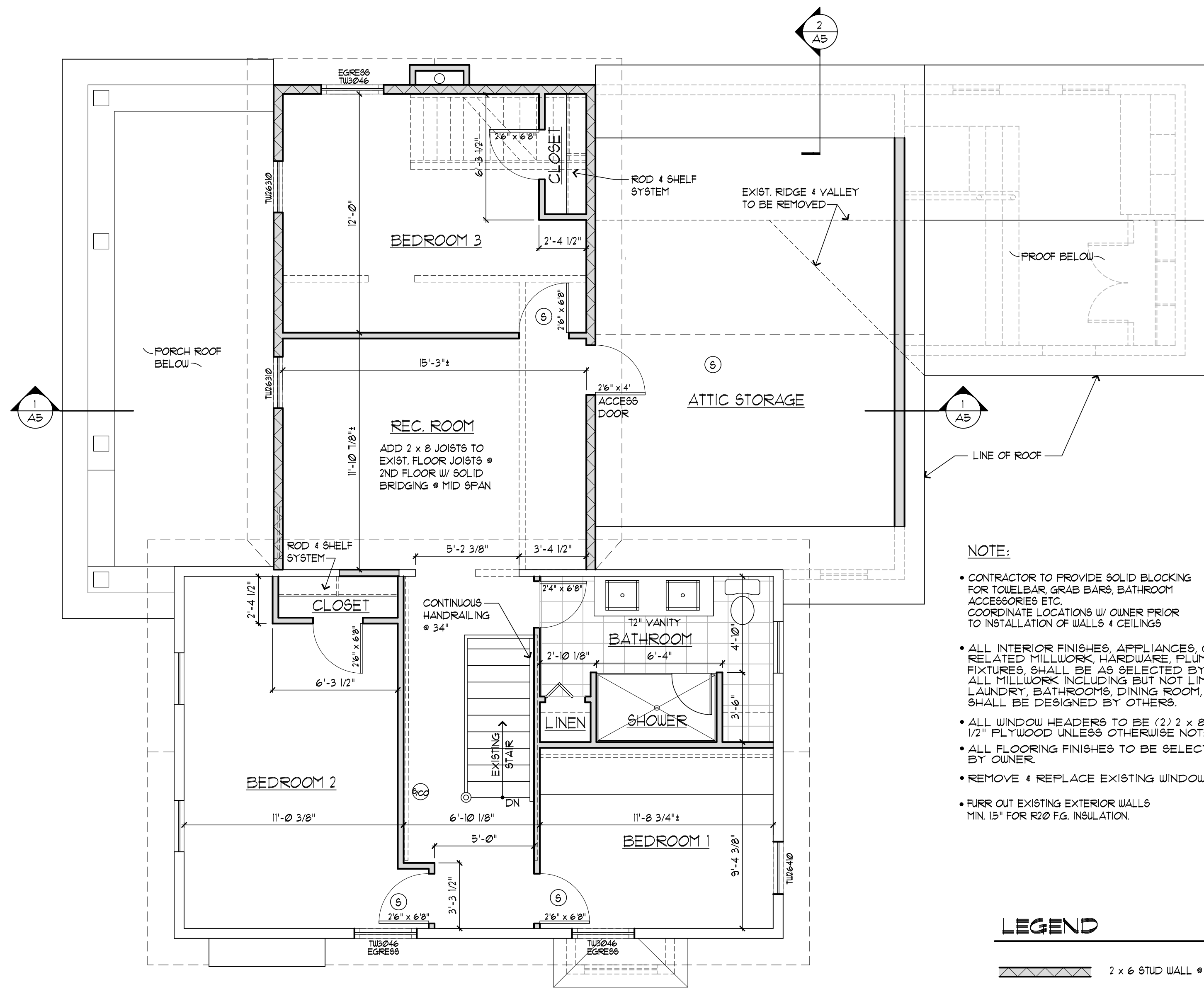
LEGEND

- 2 x 6 STUD WALL @ 16" O.C.
- 2 x 4 STUD WALL @ 16" O.C. W/ 1/2" GYP. BD.
- EXISTING DOORS & WALLS TO REMAIN
- EXISTING DOORS & WALLS TO BE REMOVED
- (S) NEW SMOKE DETECTOR HARD WIRED TO ELEC. PNL.
- (CC) NEW SMOKE/CARBON MONOXIDE DETECTOR HARD WIRED TO ELEC. PNL.

1 FIRST FLOOR PLAN
 1/4" = 1'-0"

Daniel Pope Architect & Associates LLC
 59 Summit Street
 Fairport, New York 14450
 Phone 585.223.6495

A1



1 SECOND FLOOR PLAN
1/4" = 1'-0"

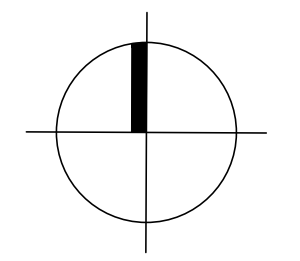
NOTE:

- CONTRACTOR TO PROVIDE SOLID BLOCKING FOR TOILET BAR, GRAB BARS, BATHROOM ACCESSORIES ETC. COORDINATE LOCATIONS W/ OWNER PRIOR TO INSTALLATION OF WALLS & CEILINGS
- ALL INTERIOR FINISHES, APPLIANCES, CABINETS AND RELATED MILLWORK, HARDWARE, PLUMBING AND LIGHTING FIXTURES, SHALL BE AS SELECTED BY OWNER. ALL MILLWORK INCLUDING BUT NOT LIMITED TO KITCHEN, LAUNDRY, BATHROOMS, DINING ROOM, AND PANTRY SHALL BE DESIGNED BY OTHERS.
- ALL WINDOW HEADERS TO BE (2) 2 x 8 W/ 1/2" PLYWOOD UNLESS OTHERWISE NOTED
- ALL FLOORING FINISHES TO BE SELECTED BY OWNER.
- REMOVE & REPLACE EXISTING WINDOWS.
- FURR OUT EXISTING EXTERIOR WALLS MIN. 1.5" FOR R20 FG. INSULATION.

LEGEND

- 2 x 6 STUD WALL @ 16" O.C.
- 2 x 4 STUD WALL @ 16" O.C. W/ 1/2" GYP. BD.
- EXISTING DOORS & WALLS TO REMAIN
- EXISTING DOORS & WALLS TO BE REMOVED
- NEW SMOKE DETECTOR HARD WIRED TO ELEC. PNL.
- NEW SMOKE/CARBON MONOXIDE DETECTOR HARD WIRED TO ELEC. PNL.

CALLED NORTH



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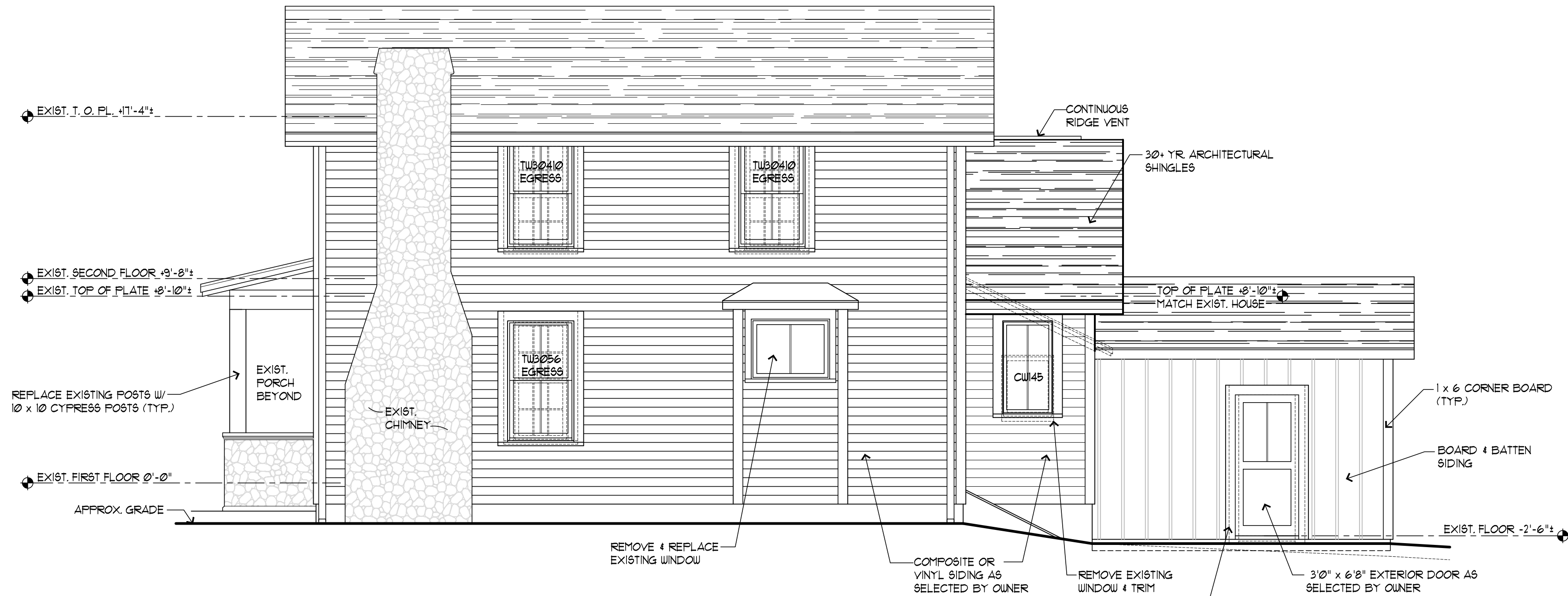
2005 D. POPE
 JOB # DRAWN BY
 9.9.2020 D. POPE
 DATE CHECKED BY
 AS NOTED
 SCALE REVISIONS

SCHERDIN RESIDENCE
 132 EAST STREET
 PITTSFORD, NEW YORK 14534
SECOND FLOOR PLAN

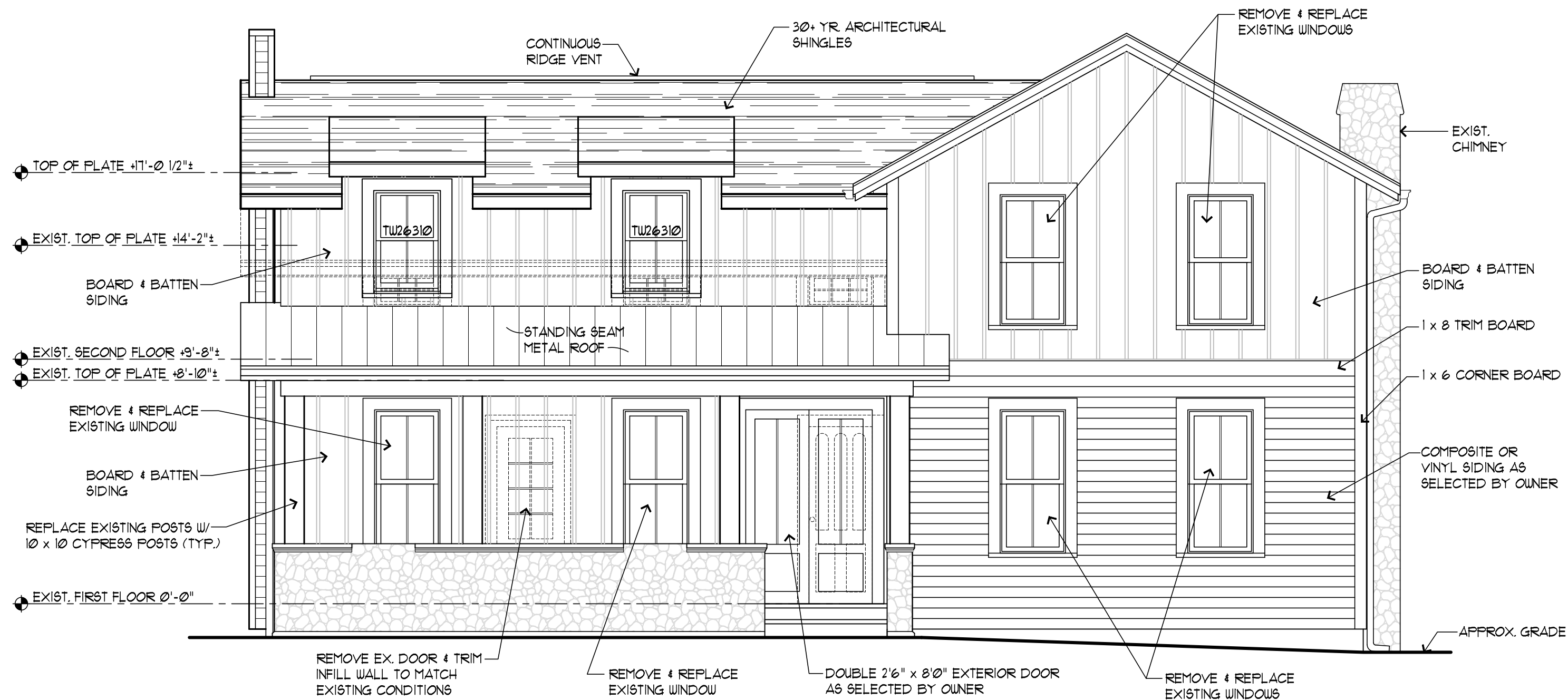


59 Summit Street
 Fairport, New York 14450
 Phone 585.223.6495

A2

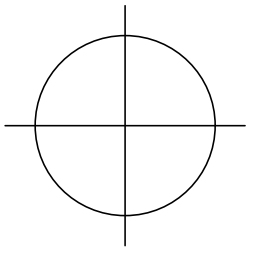


2 SOUTH ELEVATION
1/4"=1'-0"



1 WEST ELEVATION
1/4"=1'-0"

CALLED NORTH



This set of drawings is an instrument of service and may not be altered, copied, or used for construction without the written permission of the Architect. Unauthorized alterations, additions or use of this drawing is a violation of the New York State Education Law Article 14B, Section 1209.

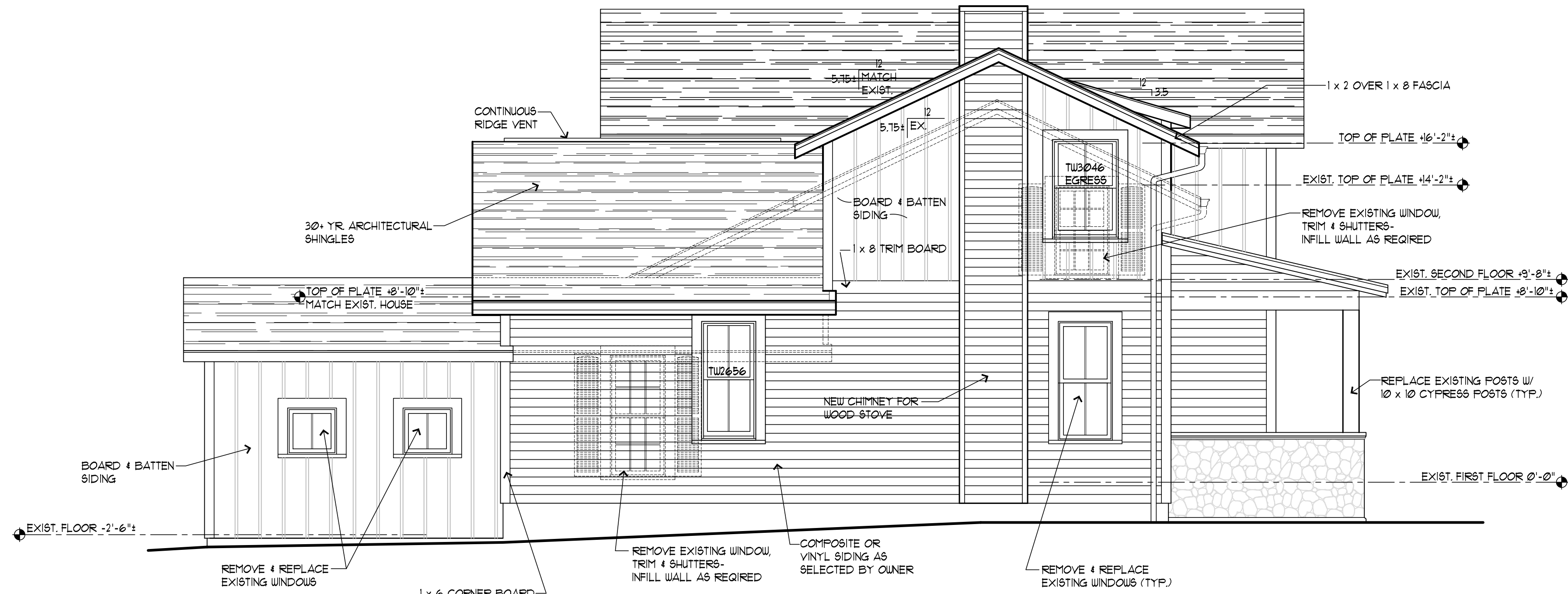
2005 NITRONINA
JOB # DRAWN BY
9.9.2020 D. POPE
DATE CHECKED BY
AS NOTED
SCALE REVISIONS

SCHERDIN RESIDENCE
132 EAST STREET
PITTSFORD, NEW YORK 14534
EXTERIOR ELEVATIONS

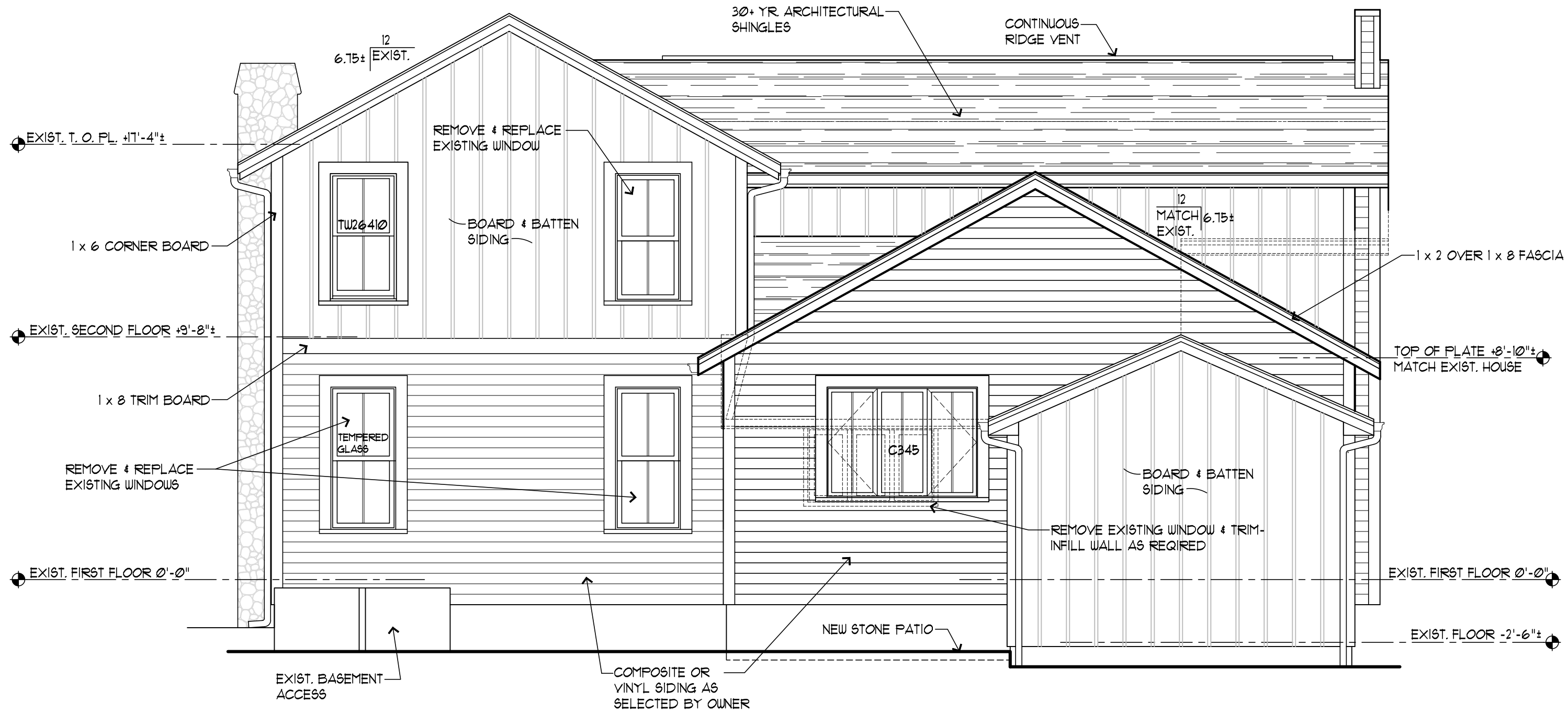


Daniel Pope Architect
& Associates P.C.
59 Summit Street
Fairport, New York 14450
Phone 585.223.6495

A3

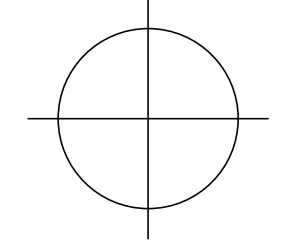


2 NORTH ELEVATION
1/4"=1'-0"



1 EAST ELEVATION
1/4"=1'-0"

CALLED NORTH



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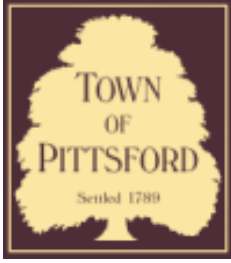
2005 NITRONINA
JOB # DRAWN BY
9.9.2020 D. POPE
DATE CHECKED BY
AS NOTED
SCALE REVISIONS

SCHERDIN RESIDENCE
132 EAST STREET
PITTSFORD, NEW YORK 14534
EXTERIOR ELEVATIONS



Daniel Pope Architect & Associates LLC
59 Summit Street
Fairport, New York 14450
Phone 585.223.6495

A4



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000178

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4044-A East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.10-1-6.1

Zoning District: RN Residential Neighborhood

Owner: Hamilton, Justin

Applicant: Hamilton Stern

Application Type:

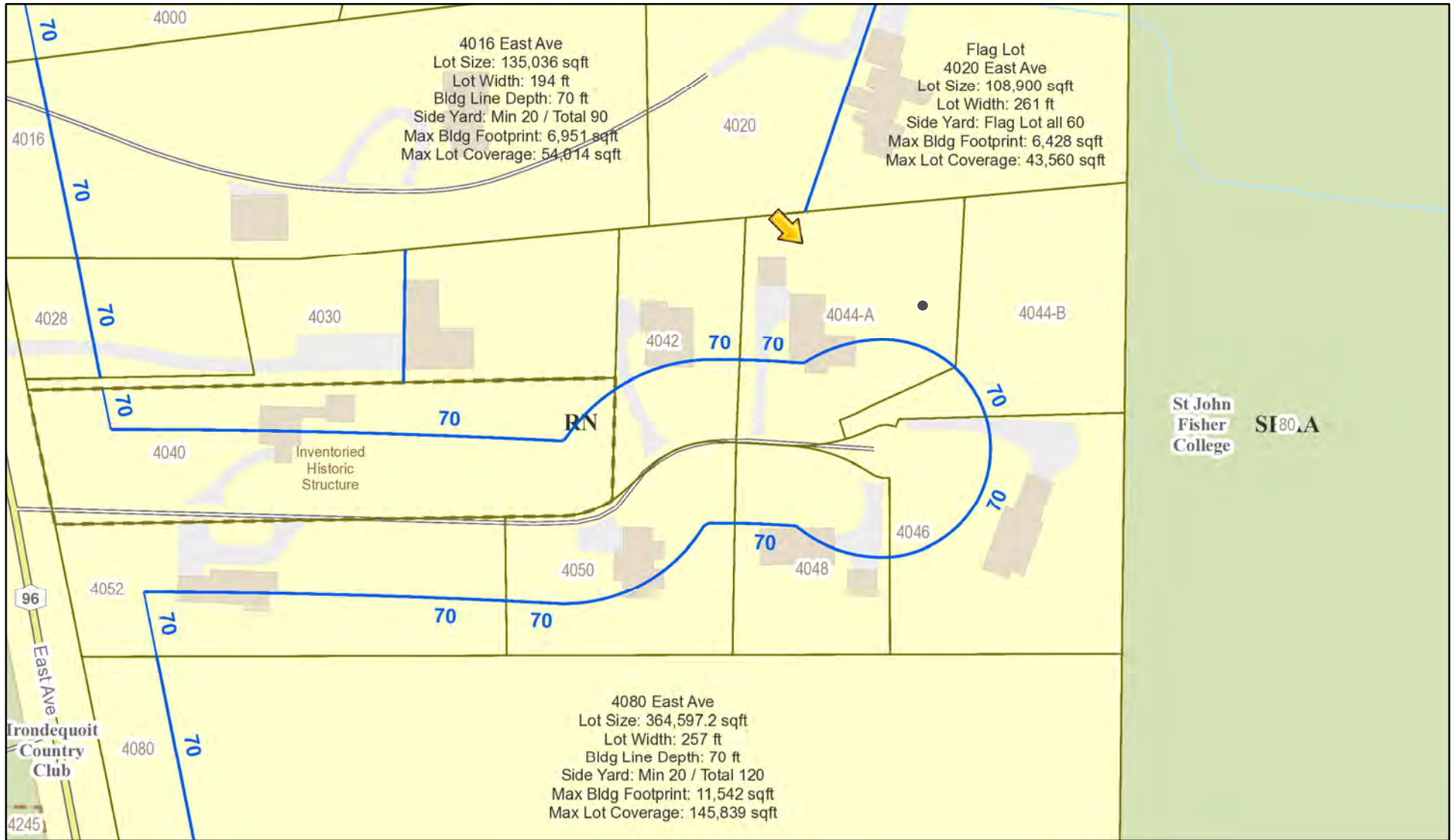
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a mud room/Laundry room. The addition will be approximately 100 square feet and will be located on the East side of the home.

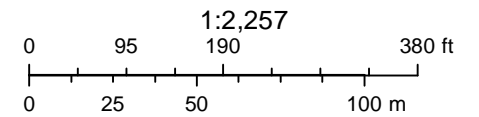
Meeting Date: October 22, 2020



RN Residential Neighborhood Zoning

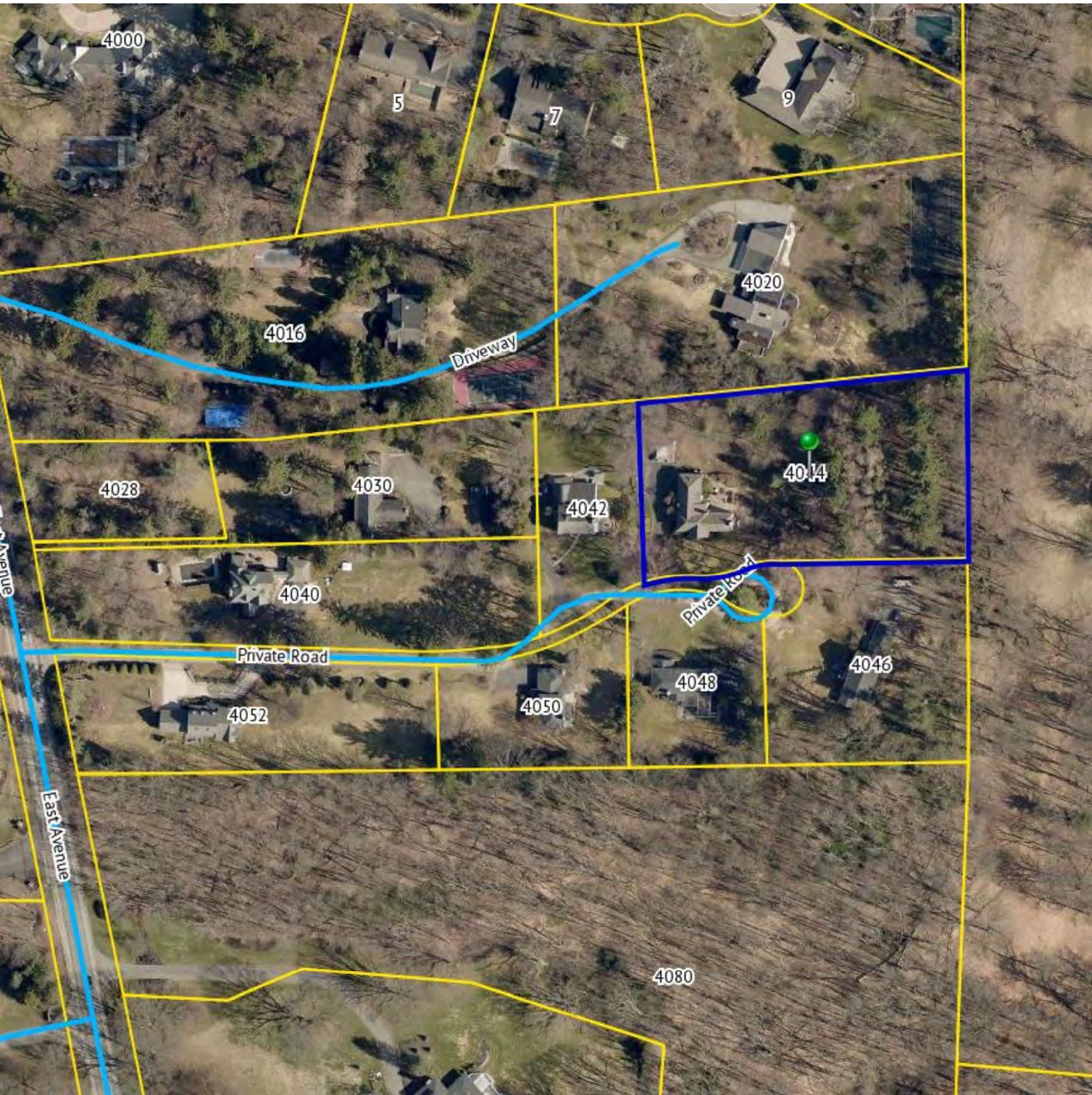


Printed October 15, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



4000

5

7

9

4016

Driveway

4020

4028

4030

4042

4014

4040

Private Road

Private Road

4046

4052

4050

4048

East Avenue

4080











HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
4044 EAST AVE
ROCHESTER, NY 14601

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

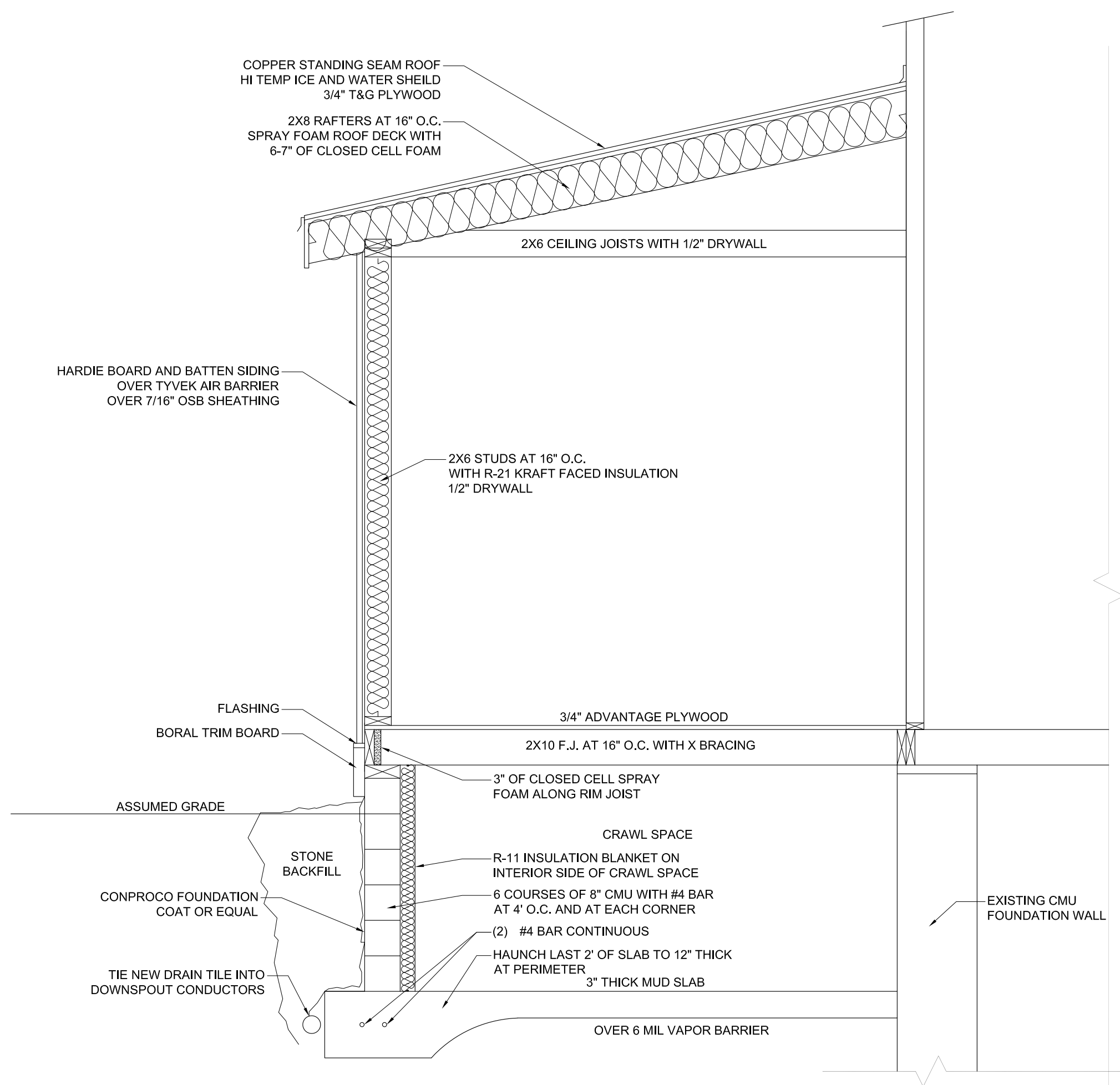
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	△	00/00/2016	TEXT

DATE: 10/12/20
DRAWN BY: PTL

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER

ID-8



BUILDING SECTION
SCALE: 1/4"=1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



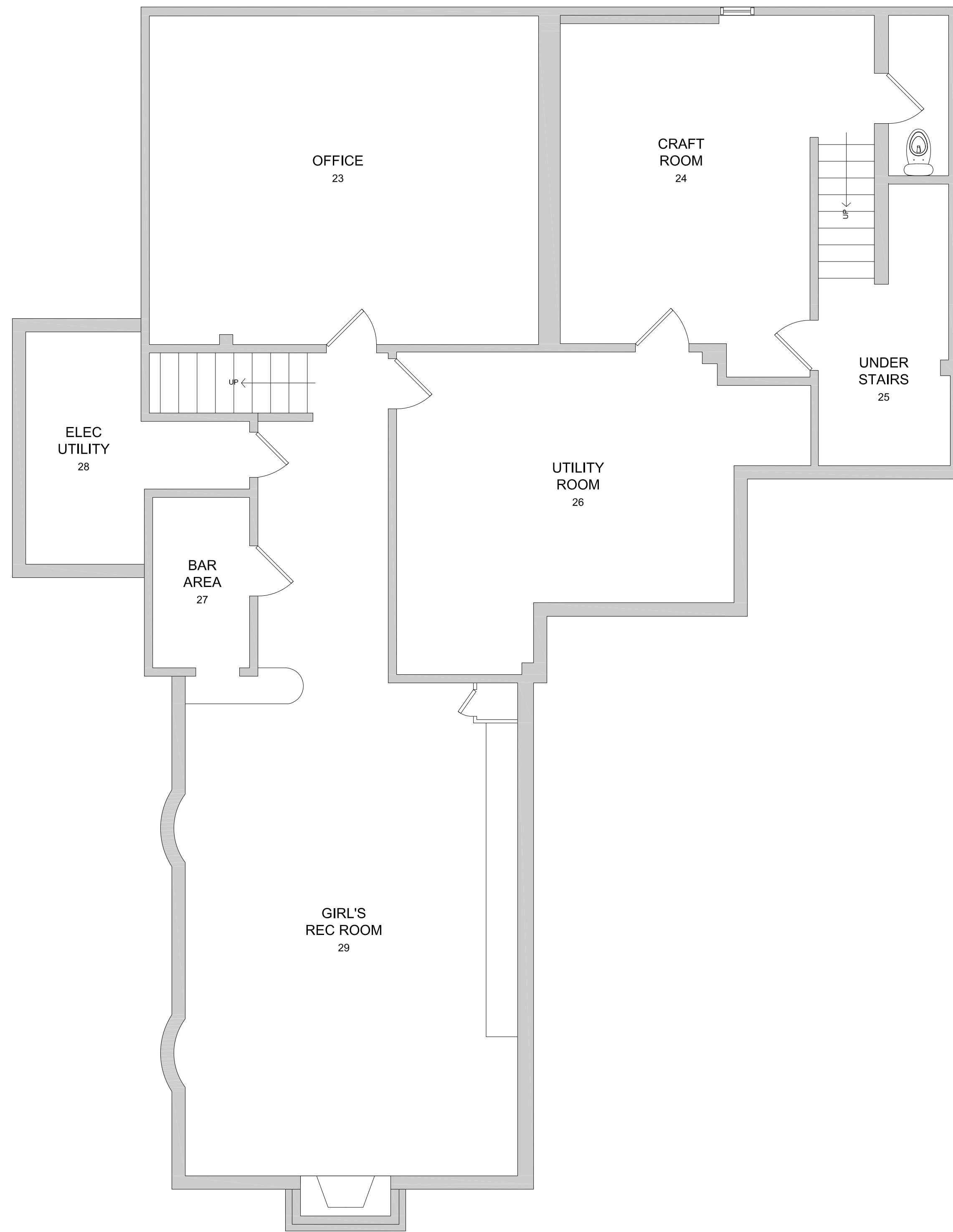
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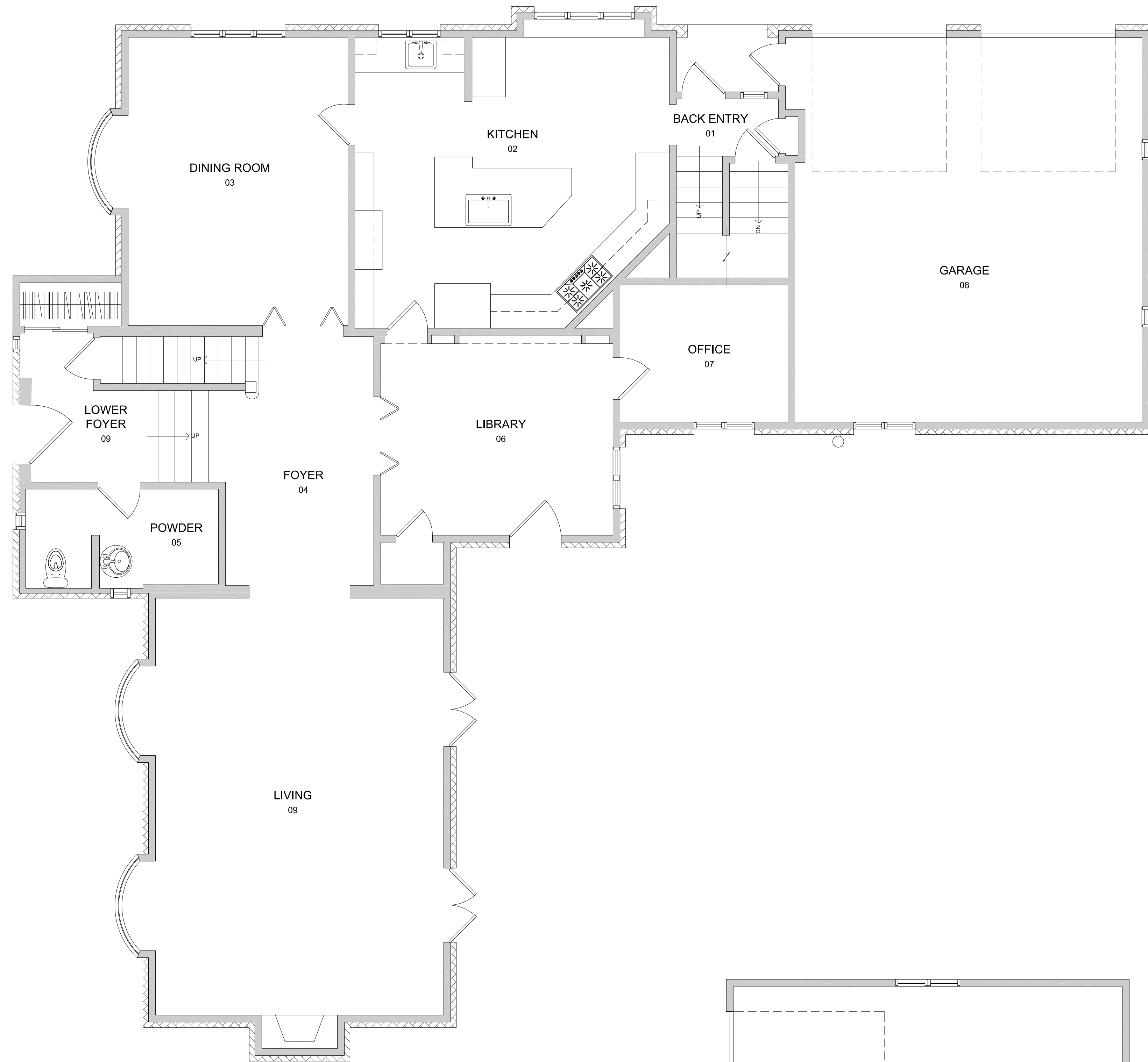
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SCALE: 1/4"=1'-0"



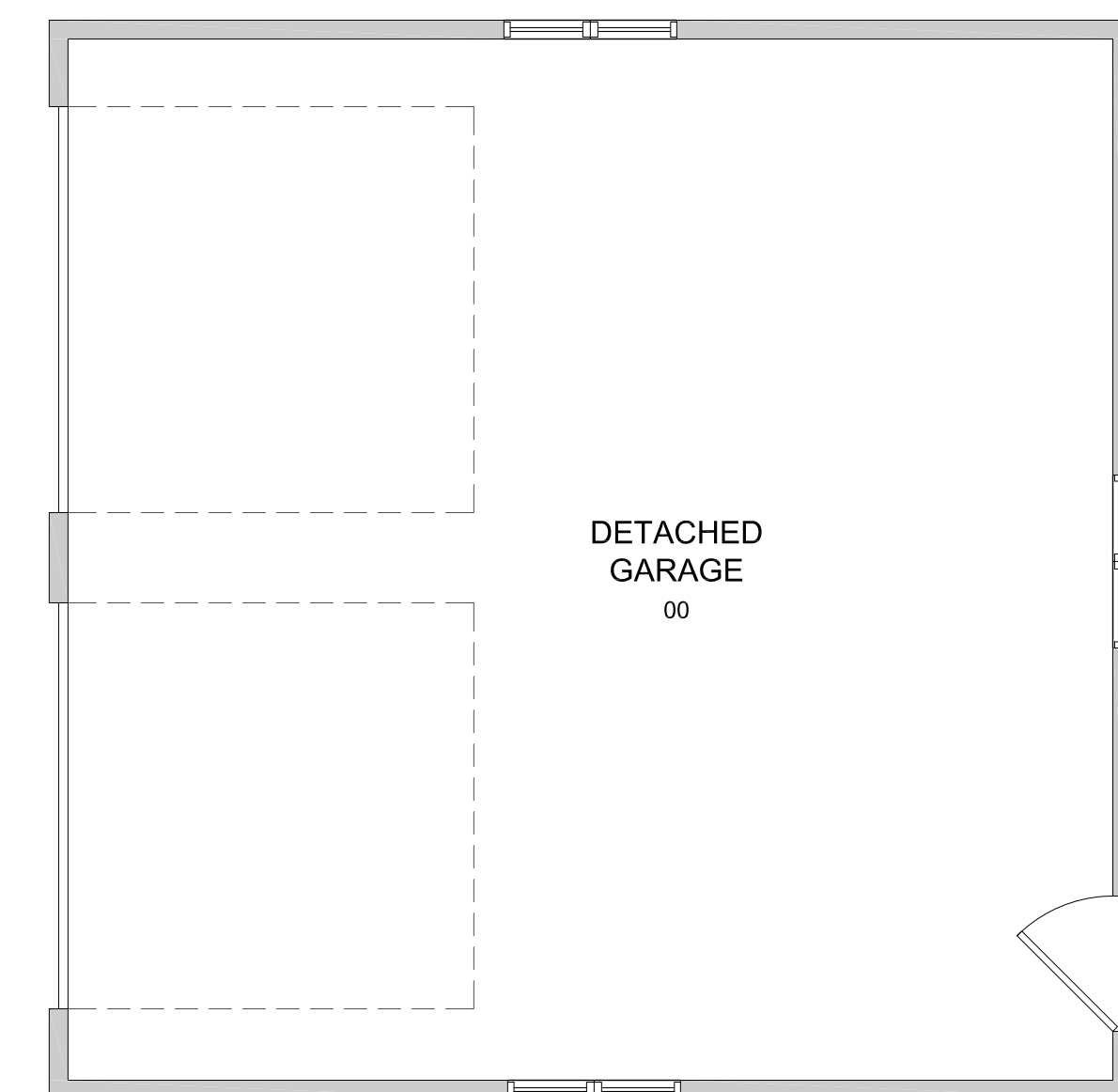
PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



EXISTING BASEMENT
SCALE: 1/4"=1'-0"



EXISTING FIRST FLOOR
SCALE: 1/4"=1'-0"



EXISTING DETACHED GARAGE
SCALE: 1/4"=1'-0"



**HAMILTON STERN
CONSTRUCTION**

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
4044 EAST AVE
ROCHESTER, NY 14601

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

DRAWING REVISIONS:	MARK:	DATE:	DESCRIPTION:
	△	00/00/2016	TEXT

DATE: 9/3/20
DRAWN BY: PTL

SHEET TITLE:
**EXISTING
BASEMENT AND
EXISTING FIRST
FLOOR**

SHEET NUMBER

ID-1

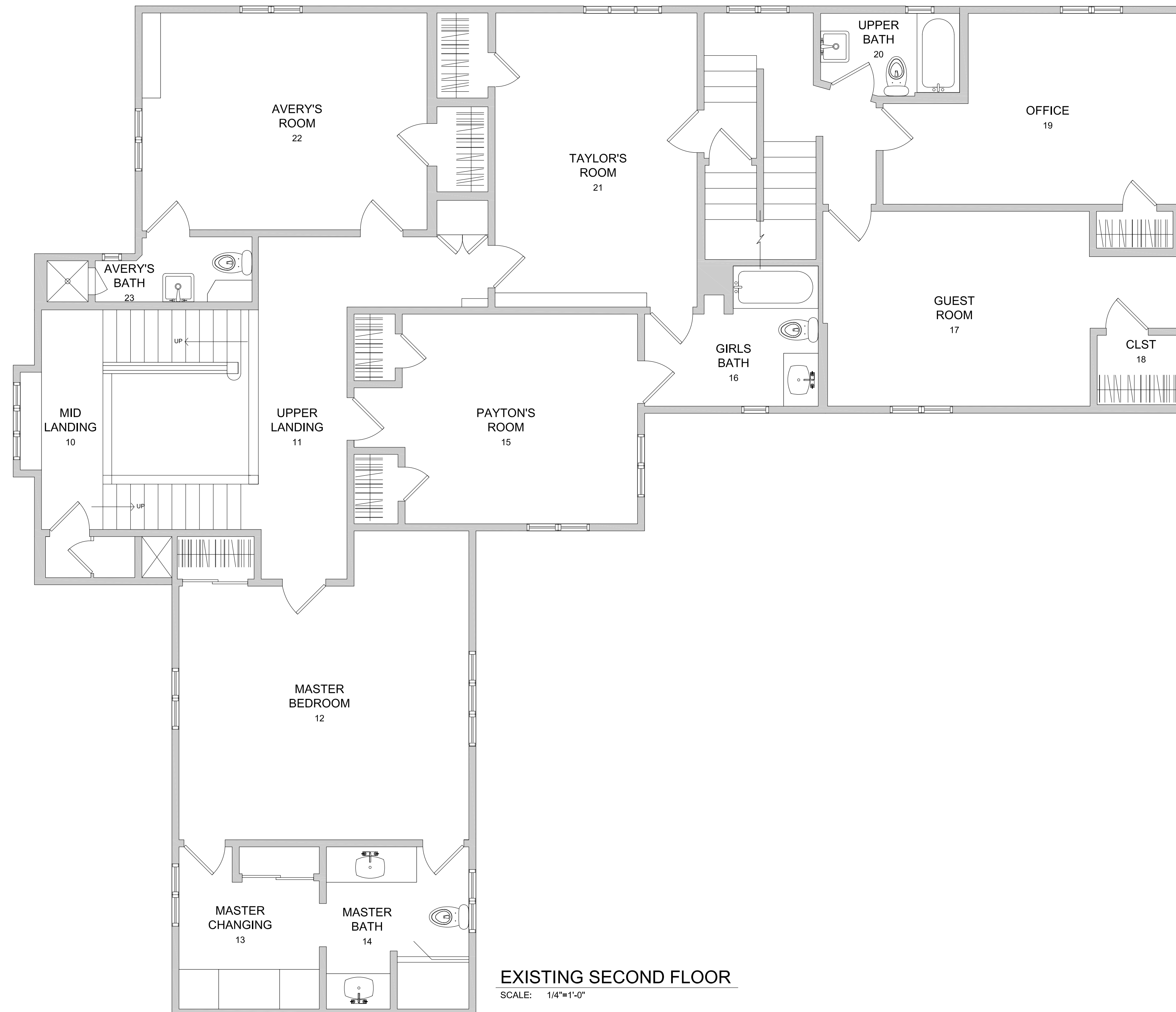


HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
4044 EAST AVE
ROCHESTER, NY 14601



PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

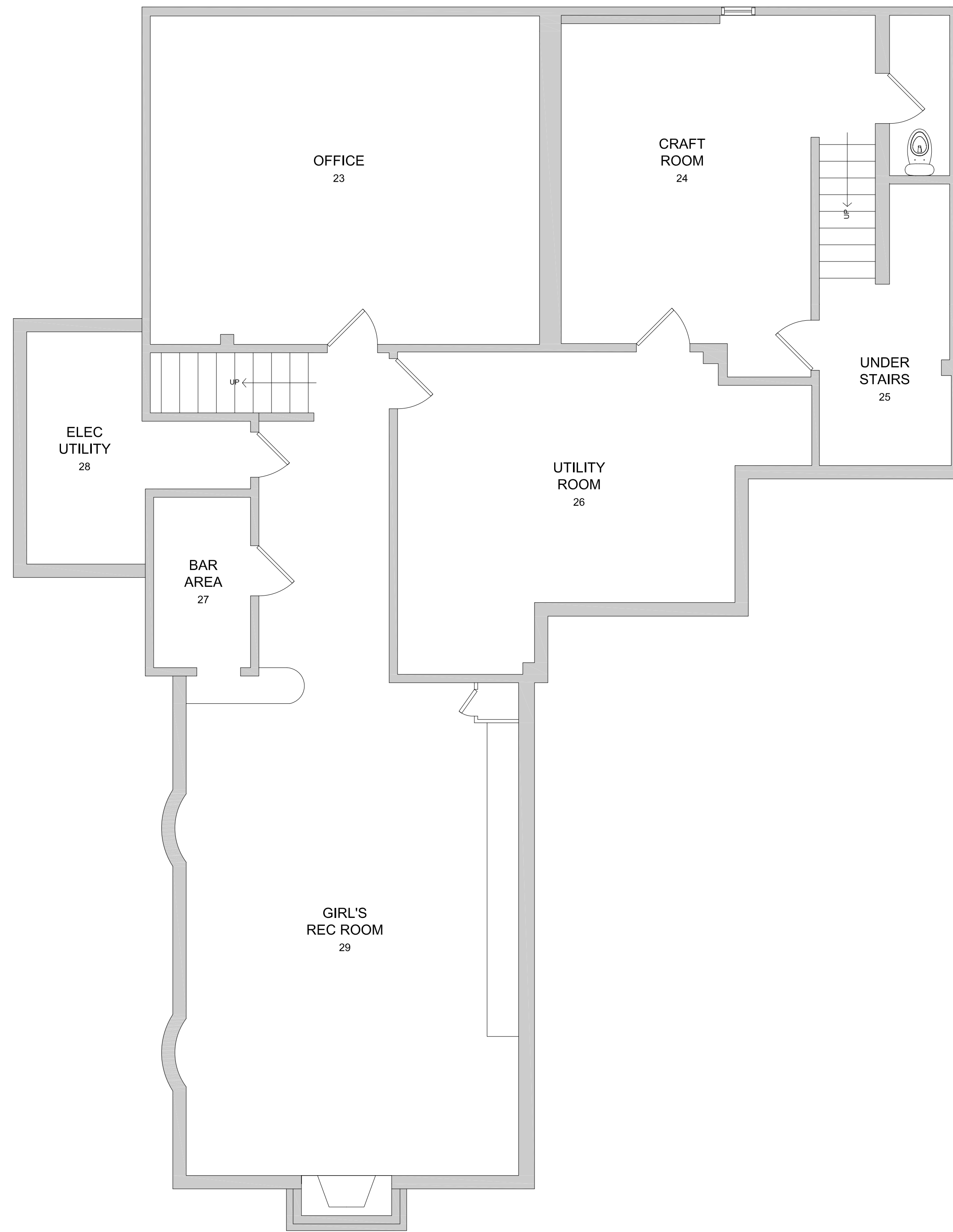
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MARK:	00/00/2016	TEXT

DATE: 9/3/20
DRAWN BY: PTL

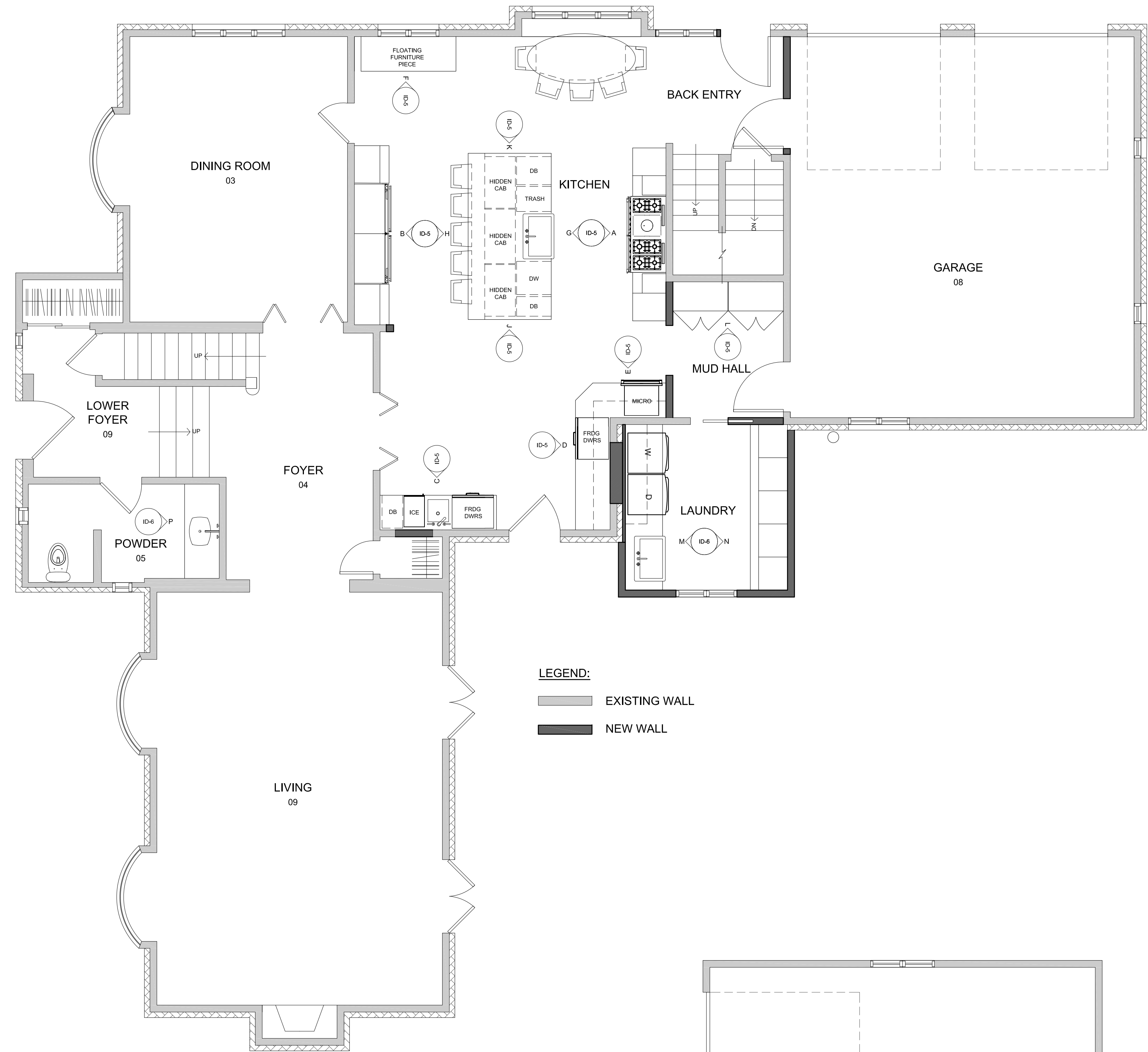
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SHEET NUMBER

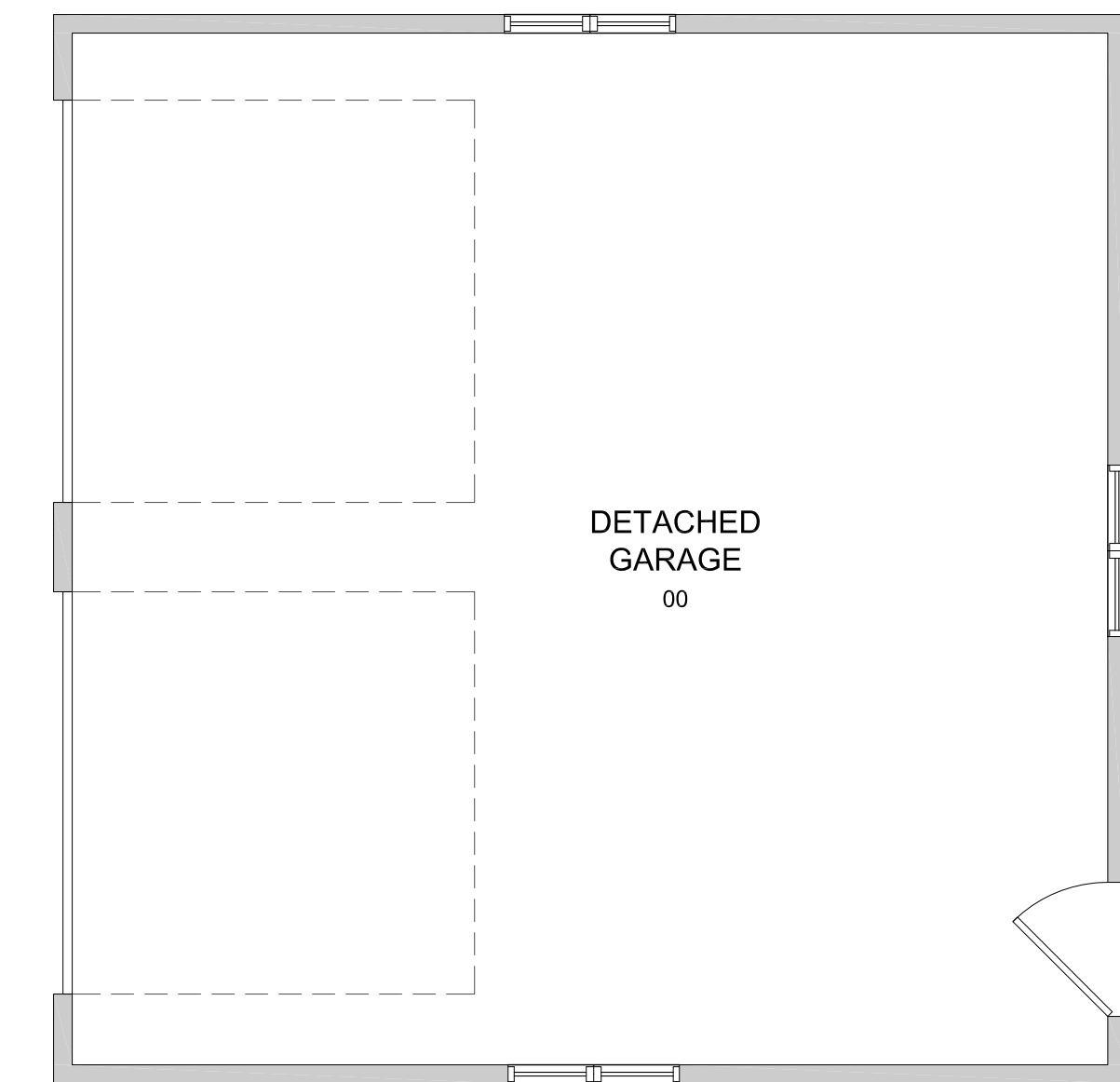
ID-2



PROPOSED BASEMENT
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR
SCALE: 1/4"=1'-0"



EXISTING DETACHED GARAGE
SCALE: 1/4"=1'-0"



**HAMILTON STERN
CONSTRUCTION**

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
4044 EAST AVE
ROCHESTER, NY 14601

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

DRAWING REVISIONS:	MARK:	DATE:	DESCRIPTION:
	△	00/00/2016	TEXT

DATE: 9/3/20
DRAWN BY: PTL

SHEET TITLE:
**PROPOSED
BASEMENT AND
FIRST FLOOR**

SHEET NUMBER

ID-3



HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
4044 EAST AVE
ROCHESTER, NY 14601

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

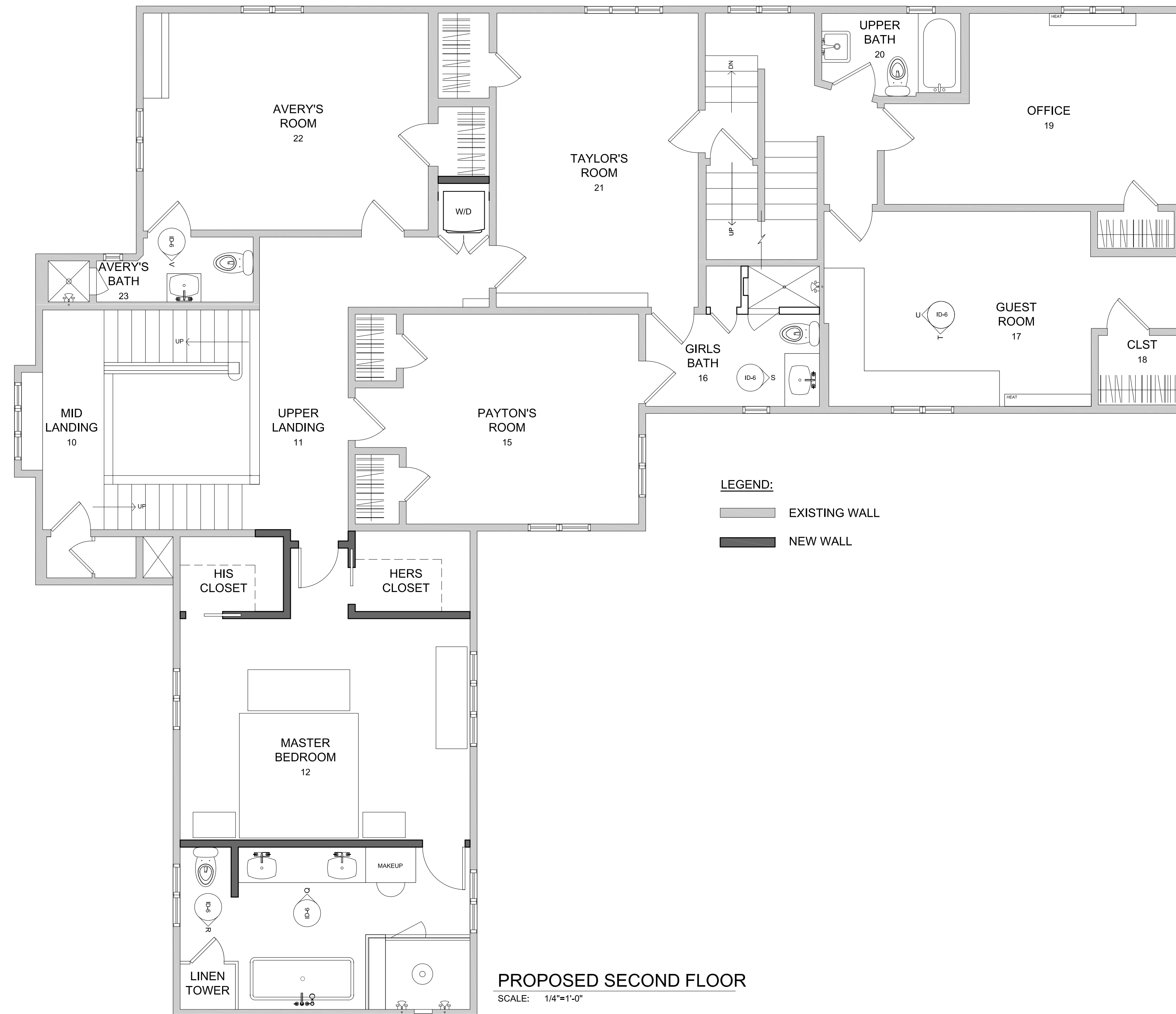
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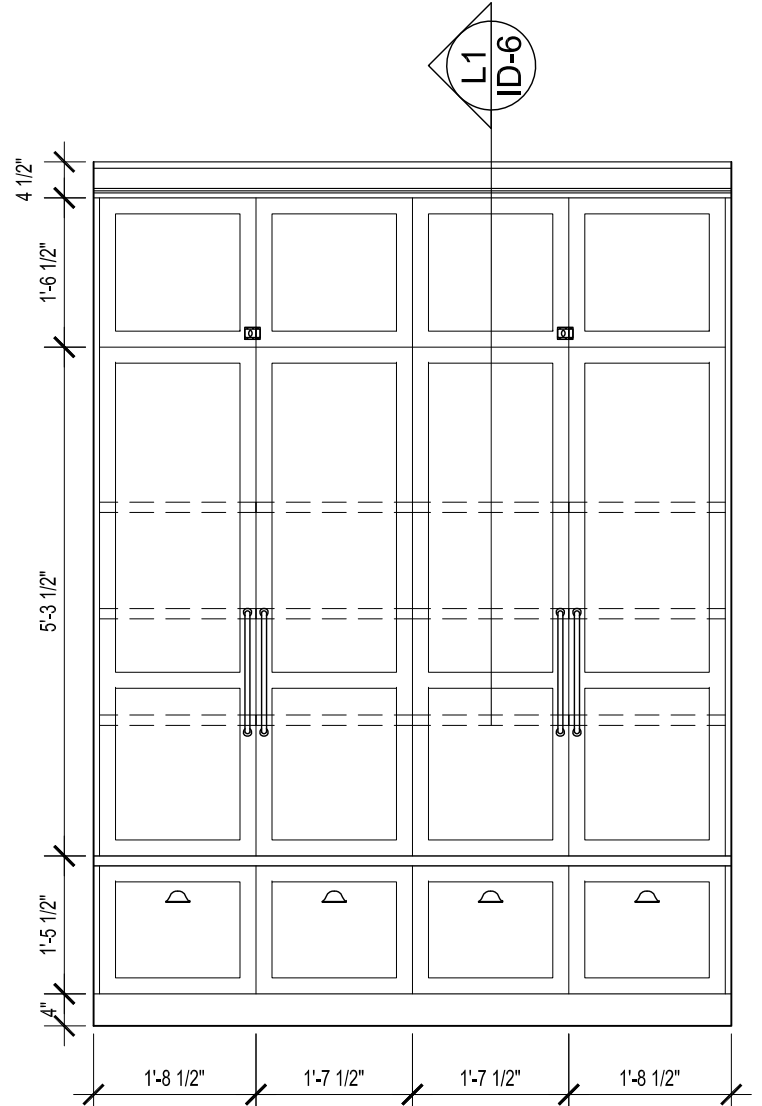
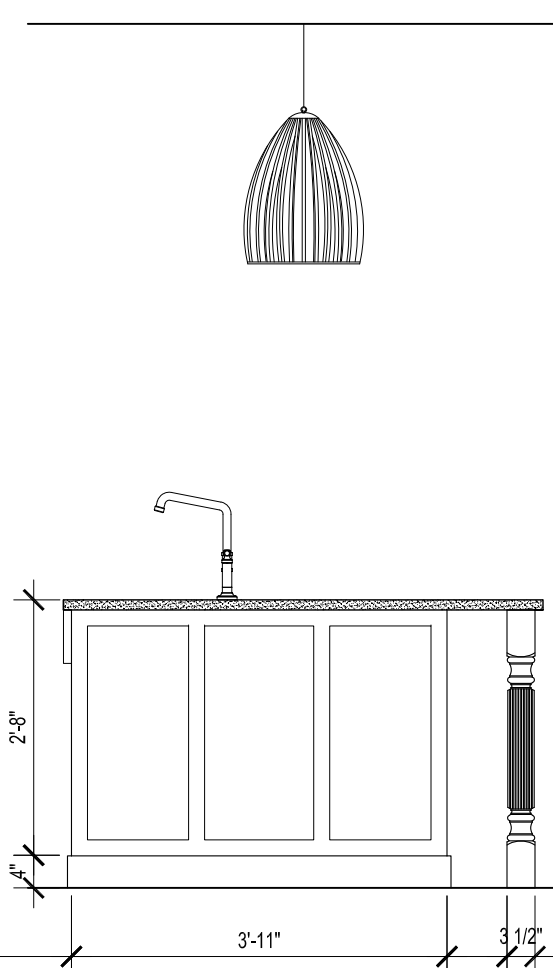
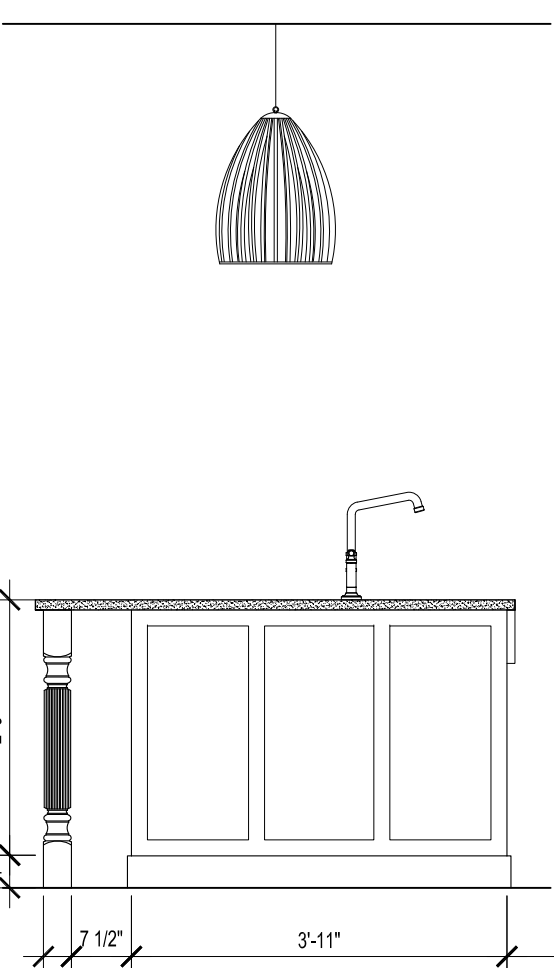
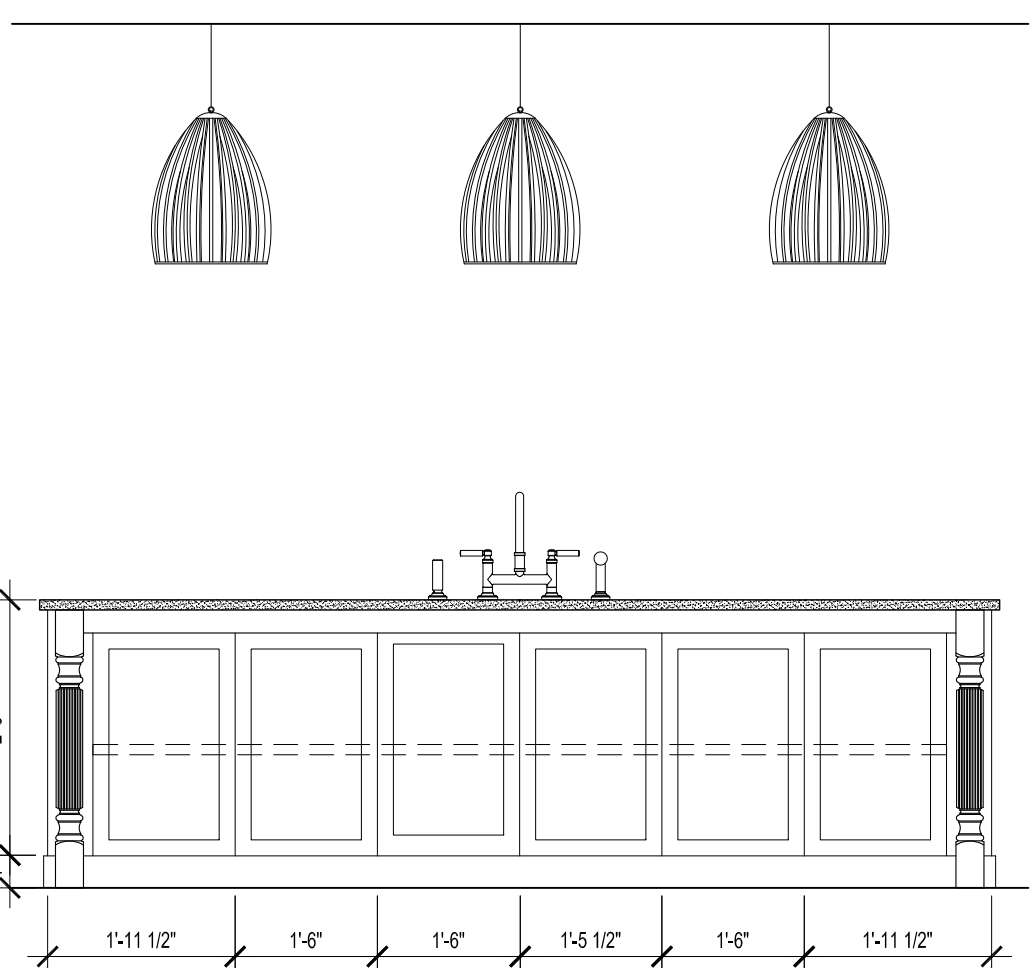
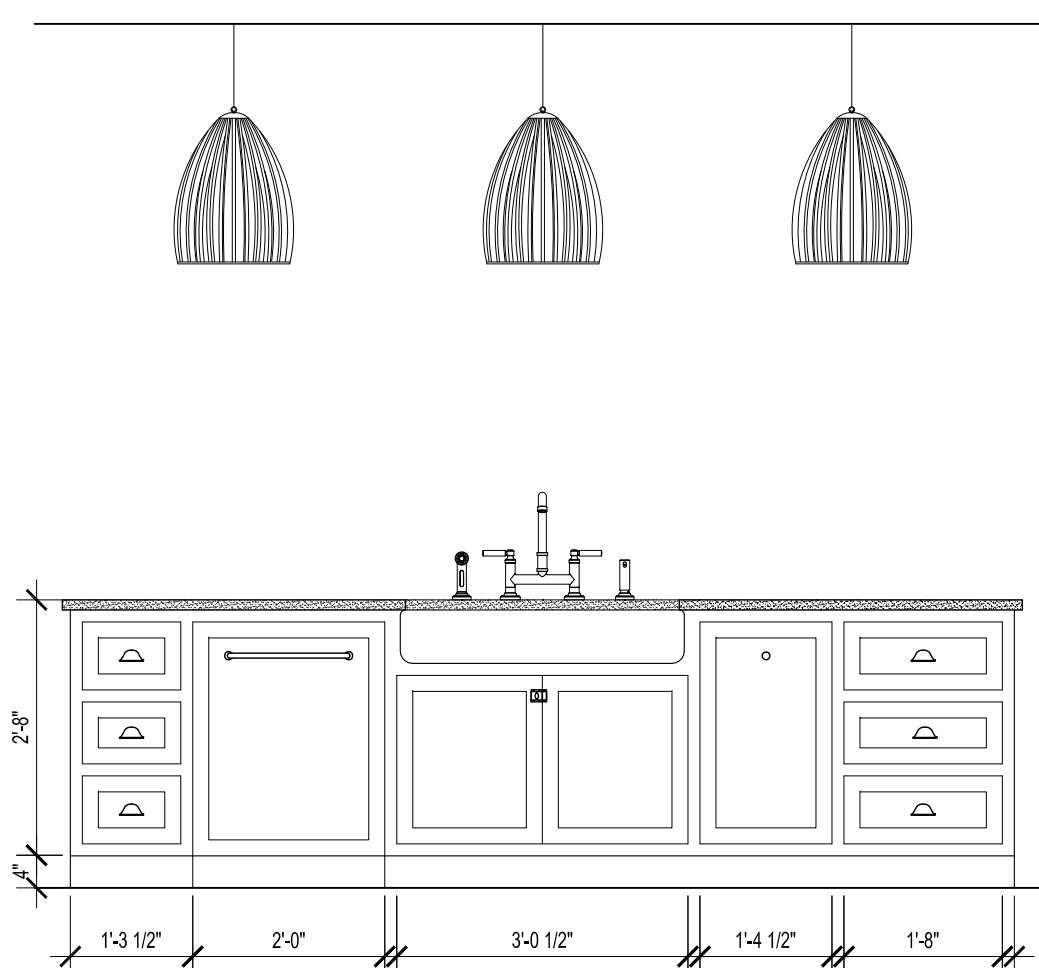
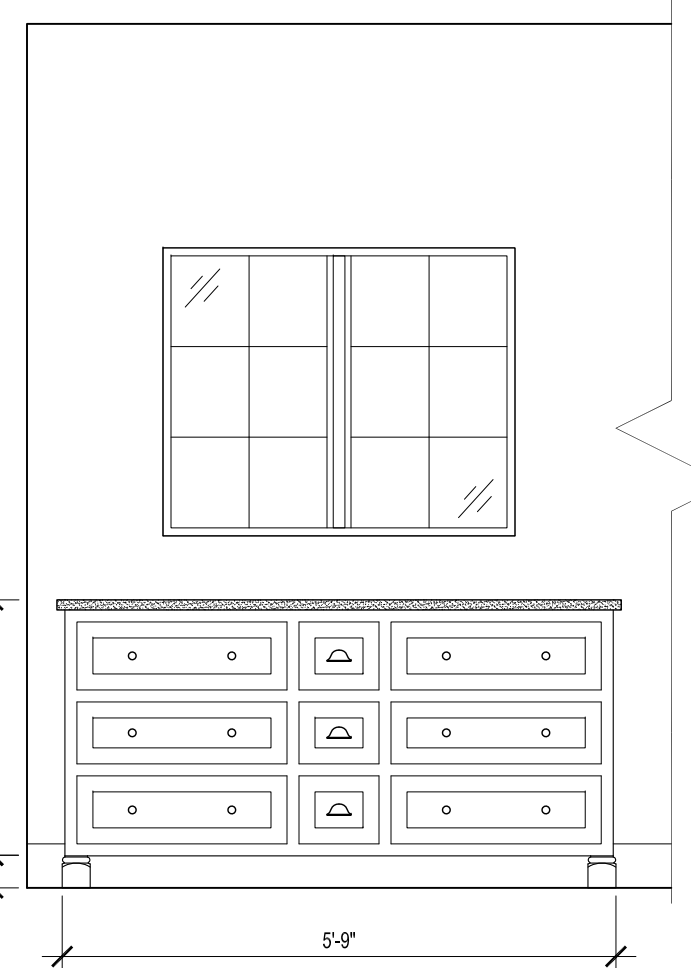
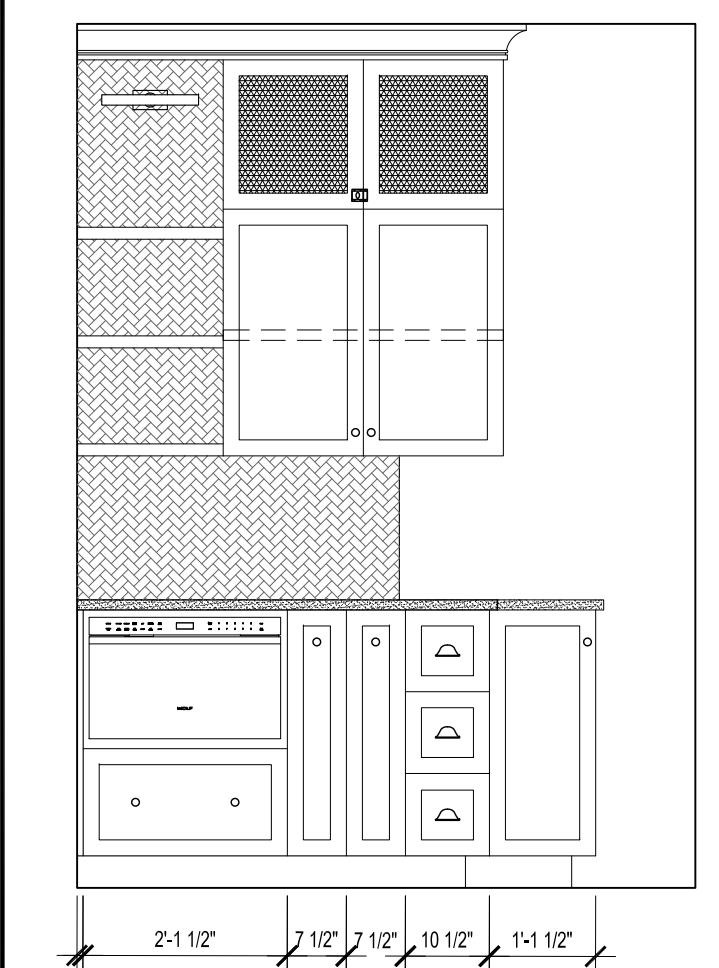
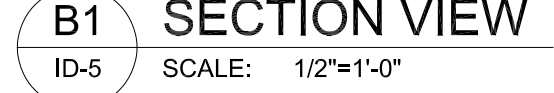
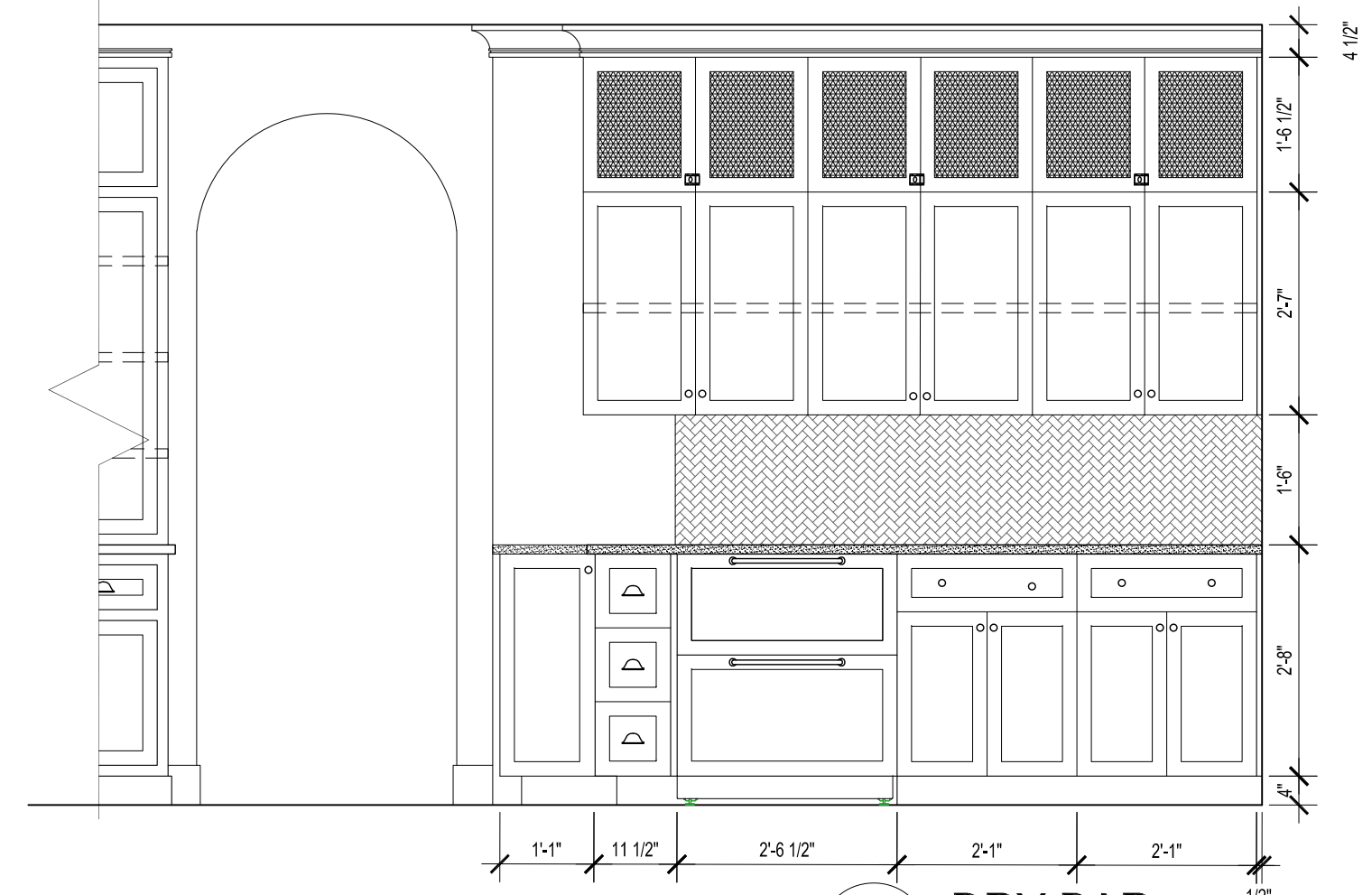
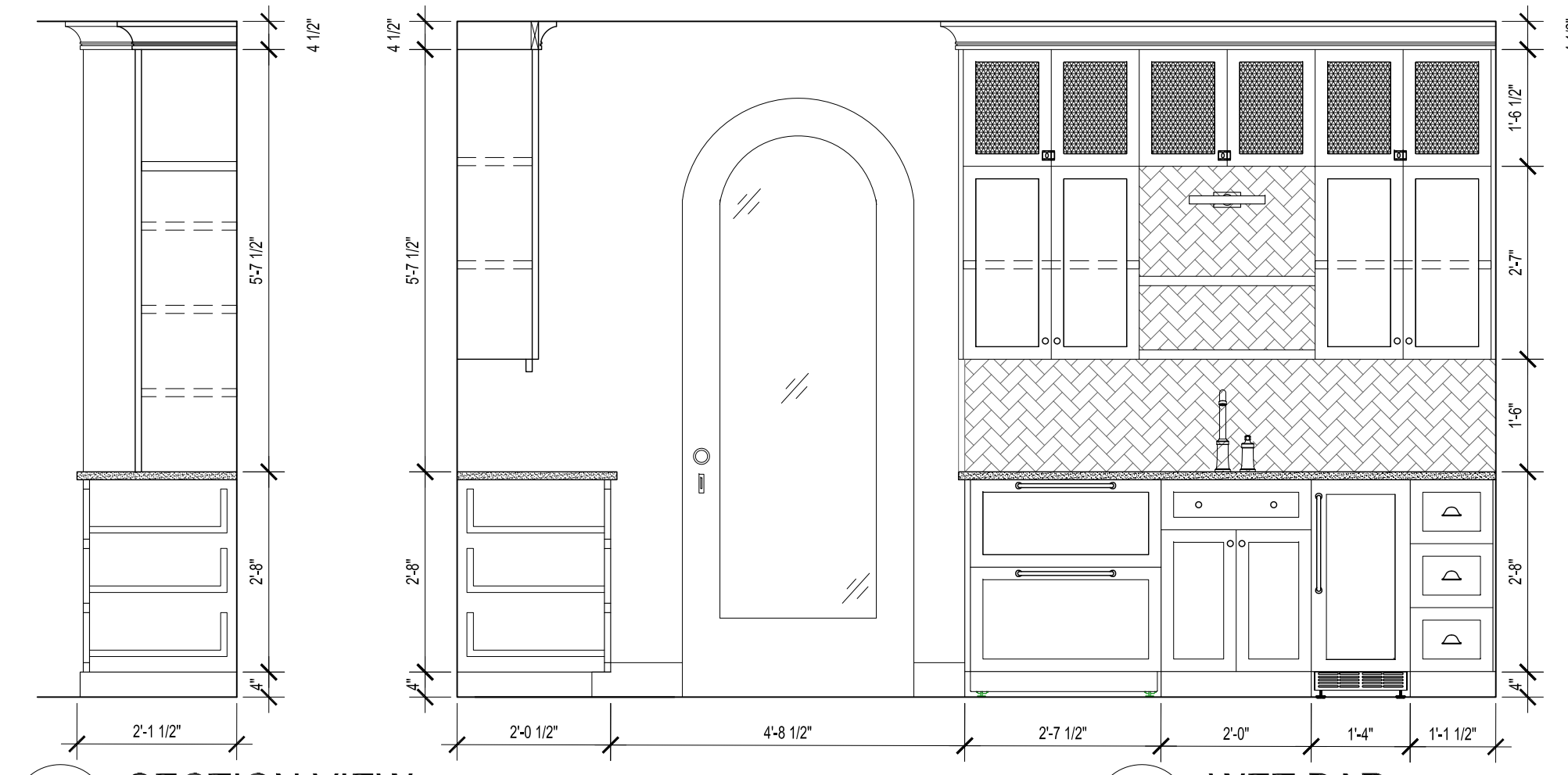
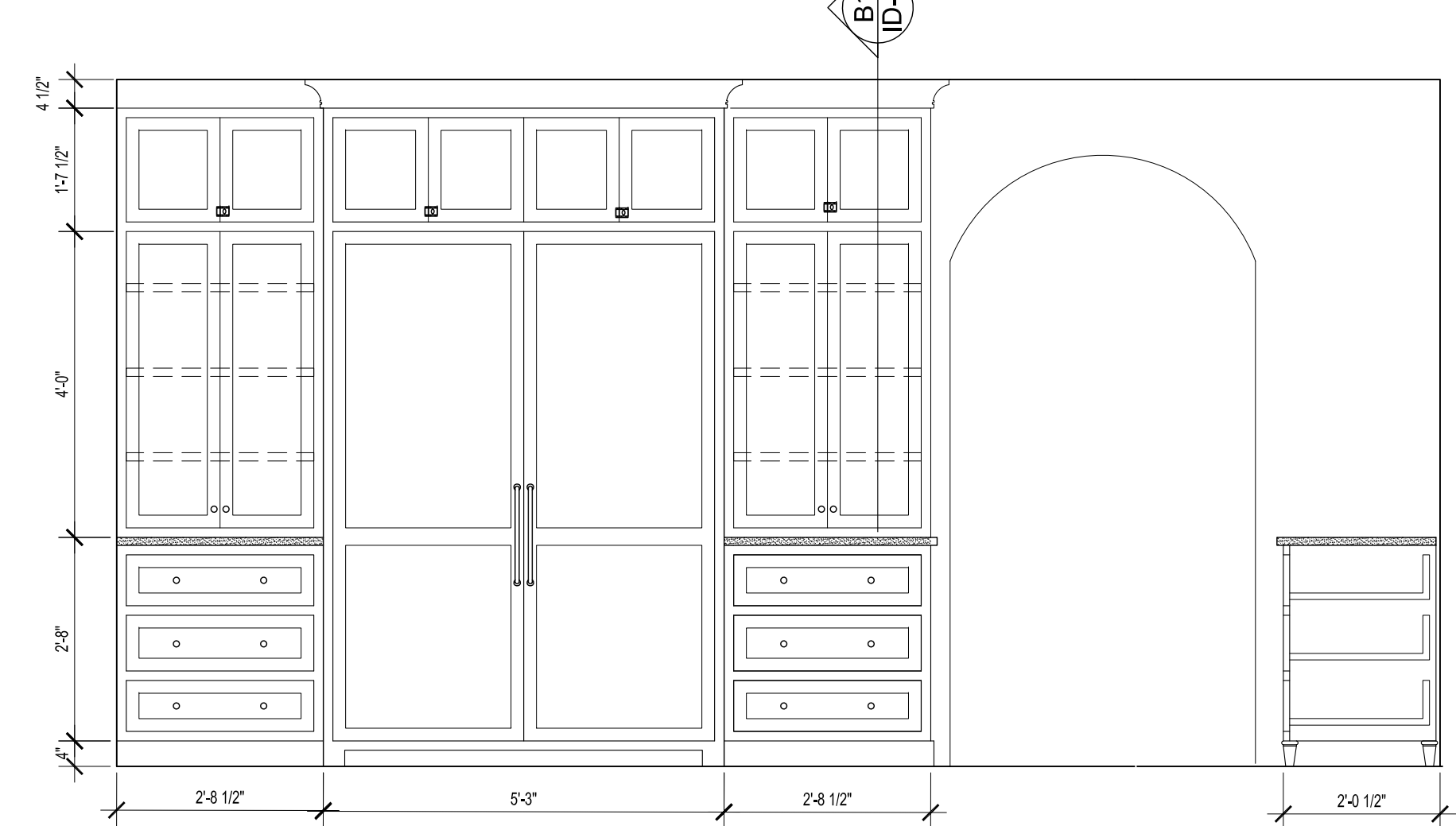
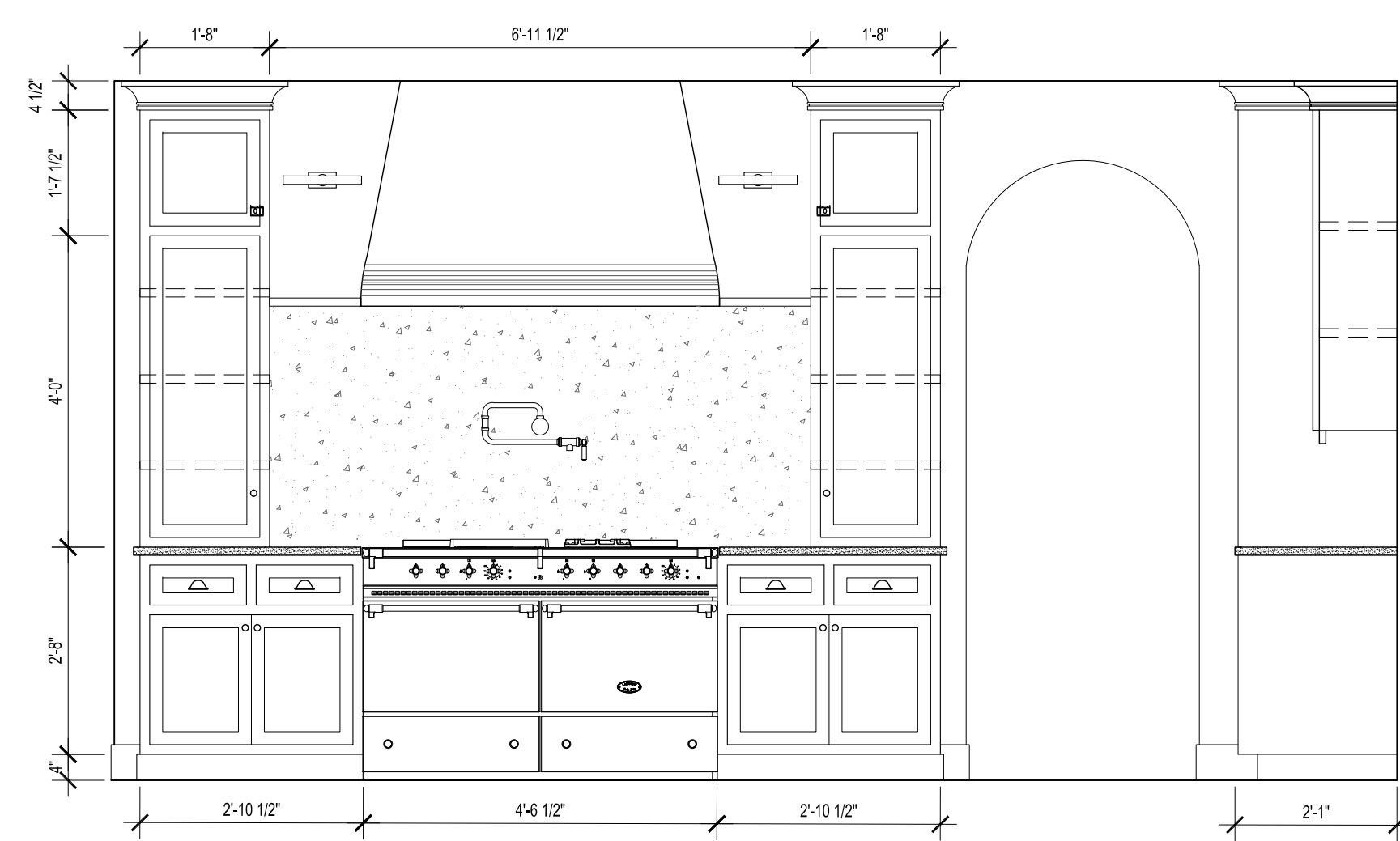
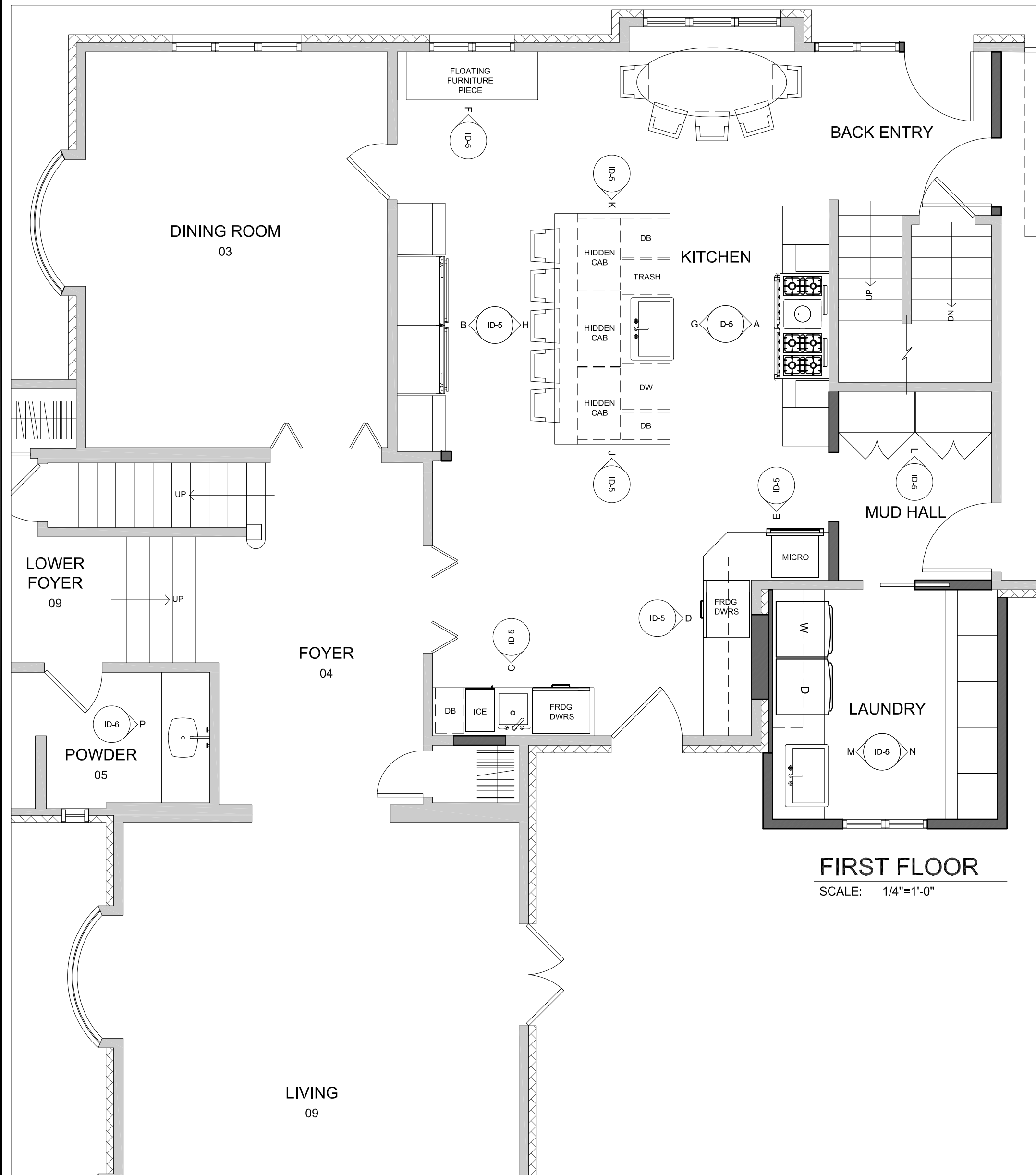
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SHEET TITLE:
PROPOSED SECOND FLOOR

SHEET NUMBER

ID-4





DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK:	00/00/2016	TEXT



**HAMILTON STERN
CONSTRUCTION**

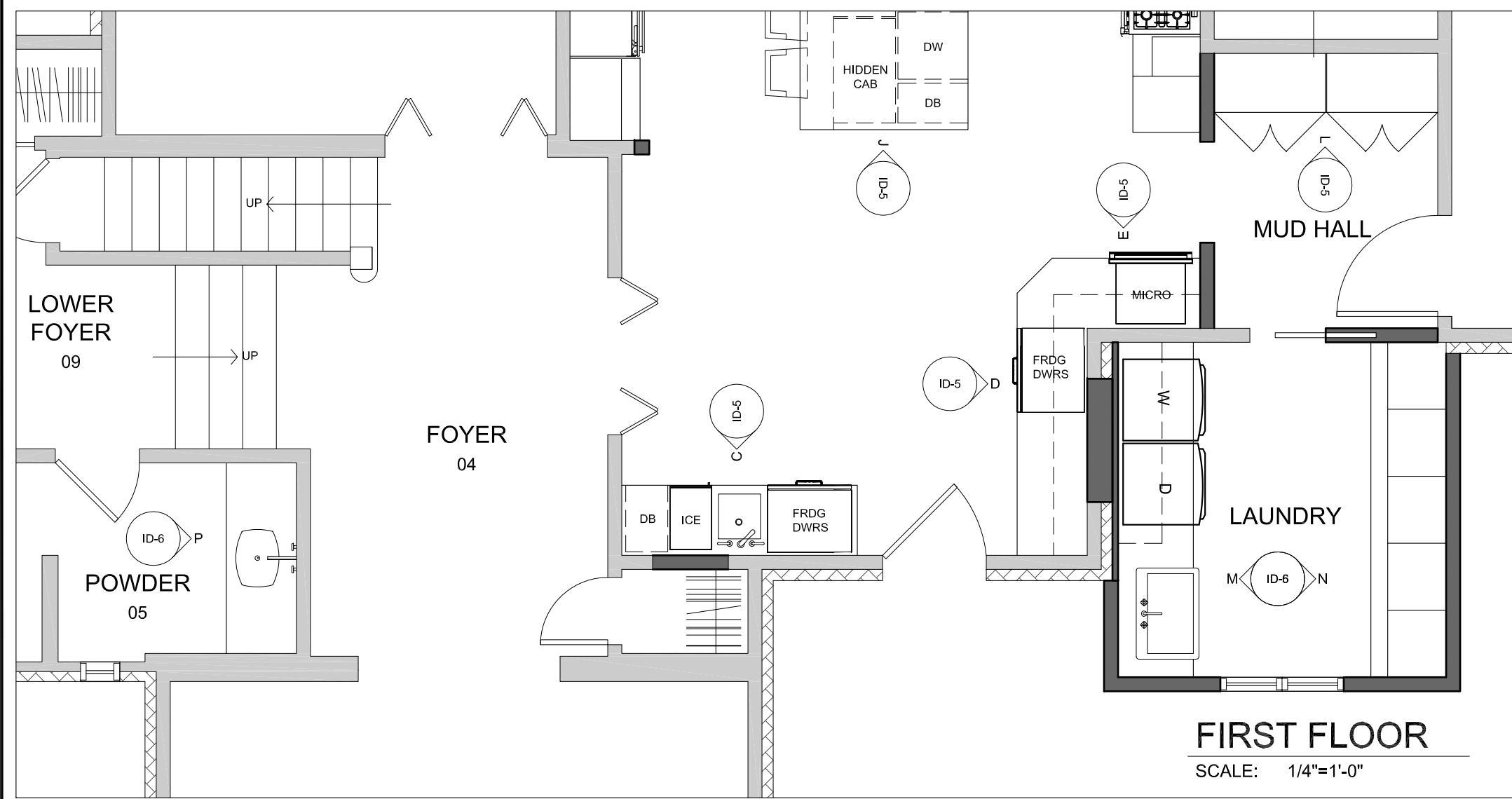
HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

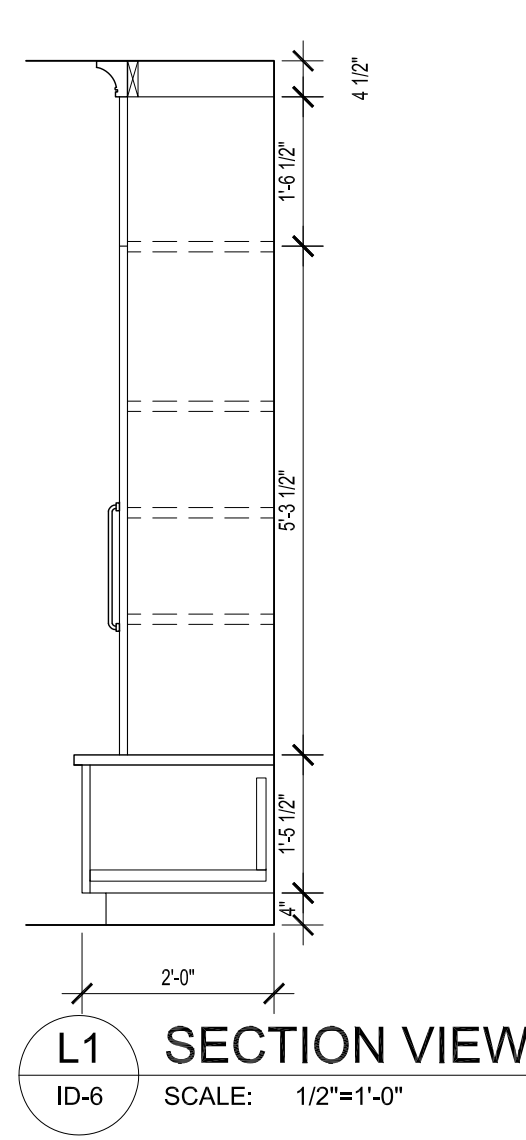
HAMILTON RESIDENCE
4044 EAST AVE
ROCHESTER, NY 14601

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

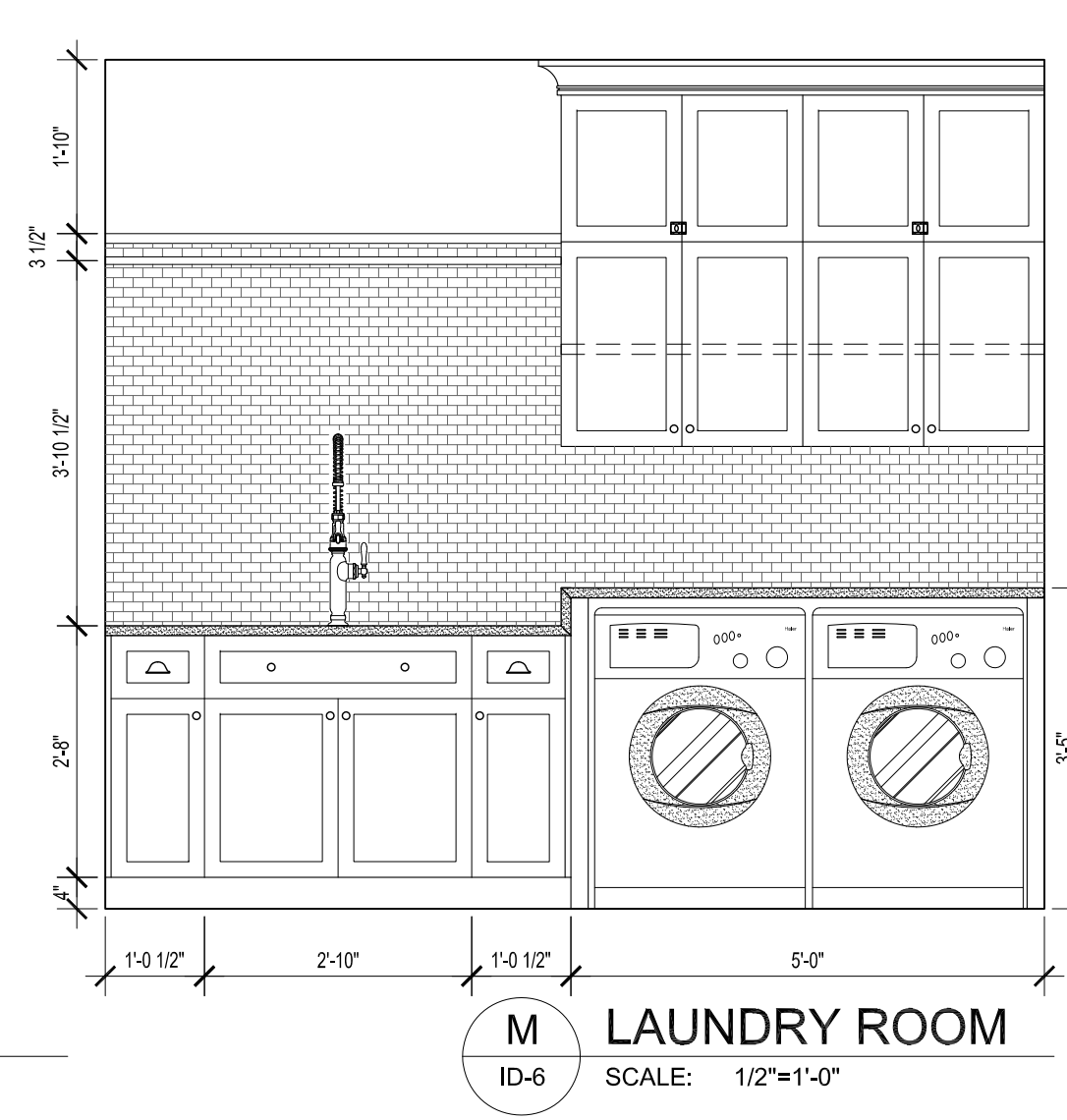
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PROJECT CONTACT:
PHONE:
EMAIL:



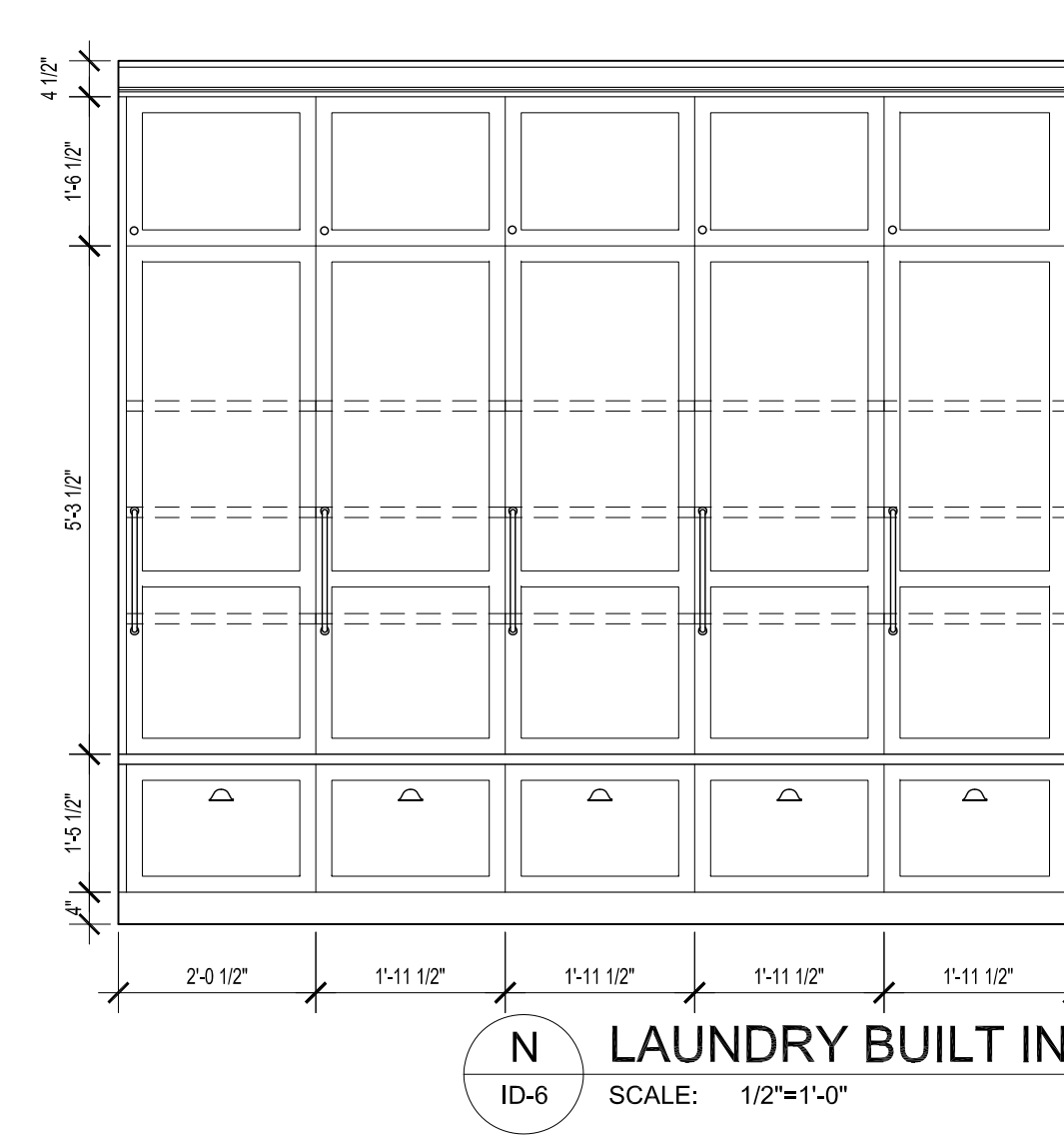
FIRST FLOOR
SCALE: 1/4"=1'-0"



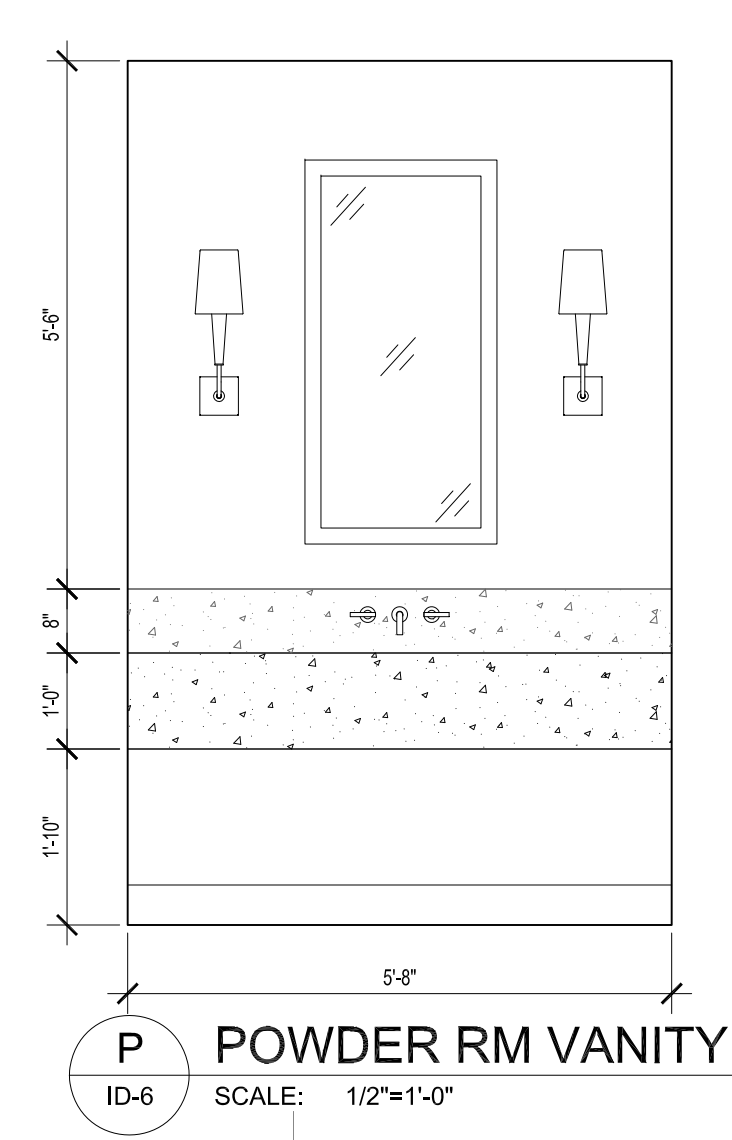
L1 SECTION VIEW
ID-6 SCALE: 1/2"=1'-0"



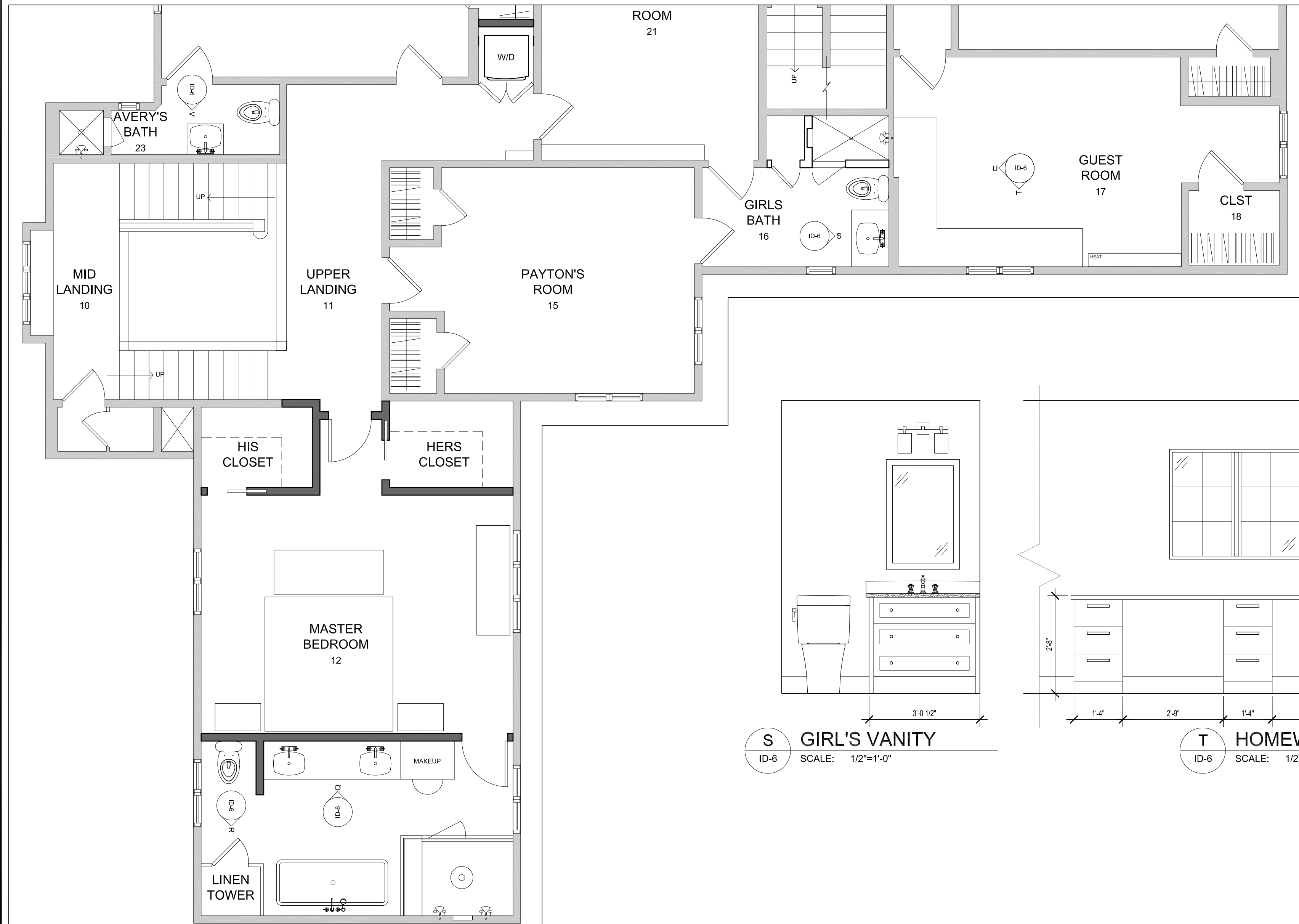
M LAUNDRY ROOM
ID-6 SCALE: 1/2"=1'-0"



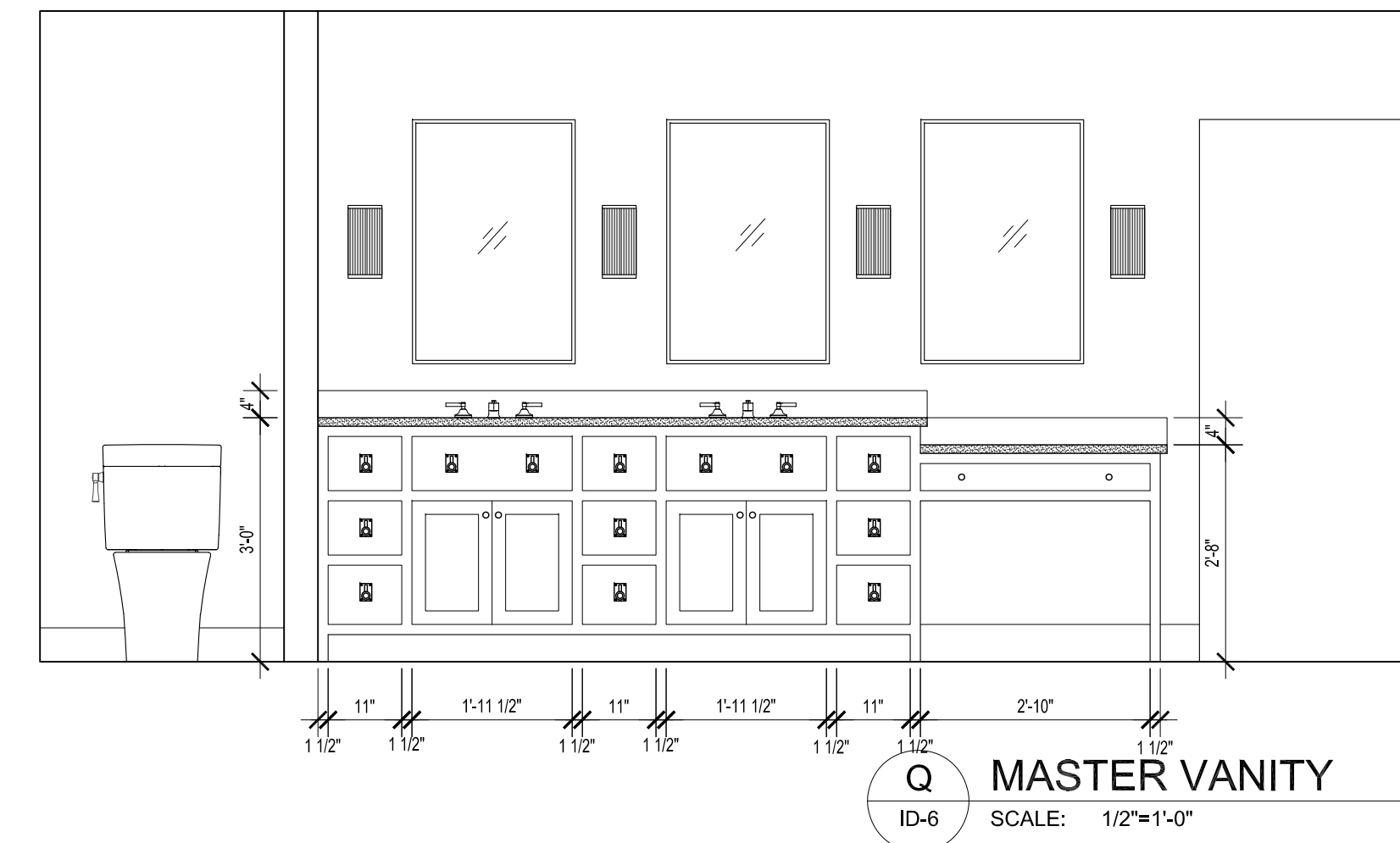
N LAUNDRY BUILT IN
ID-6 SCALE: 1/2"=1'-0"



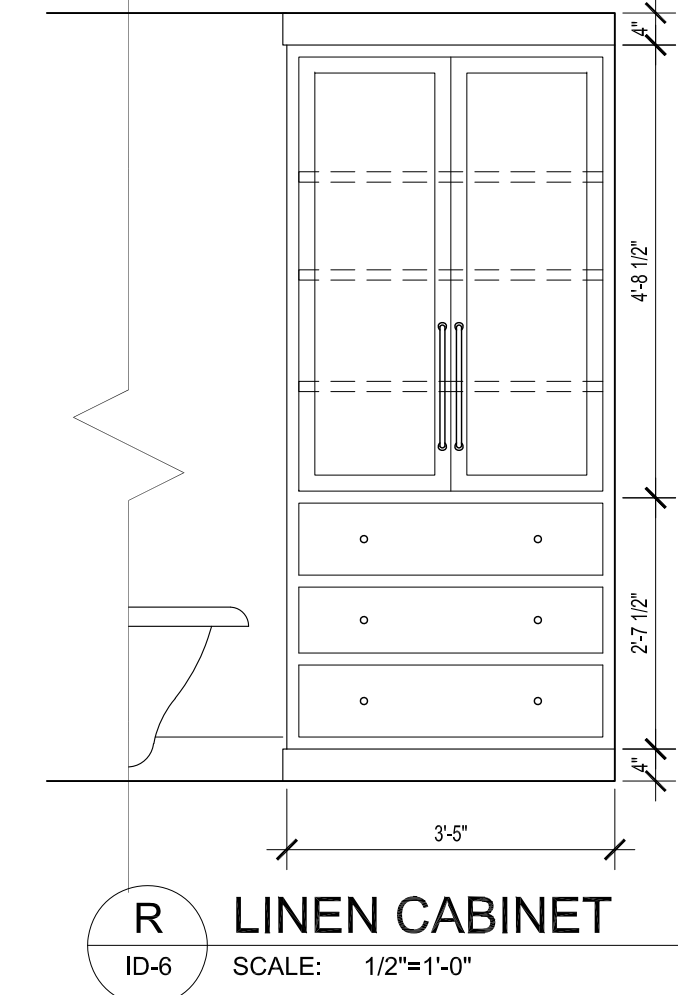
P POWDER RM VANITY
ID-6 SCALE: 1/2"=1'-0"



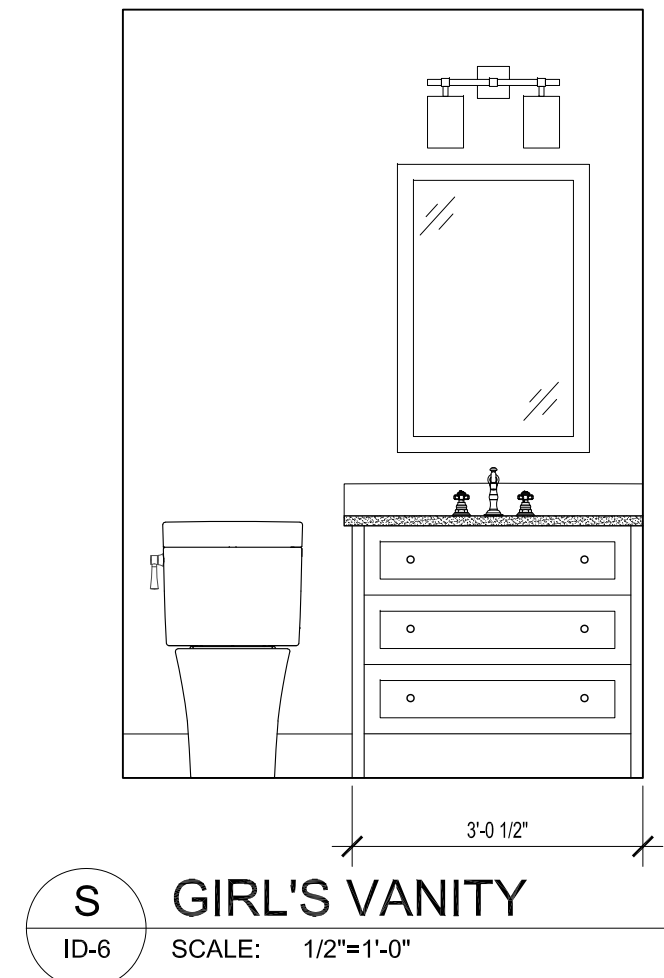
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SCALE: 1/4"=1'-0"



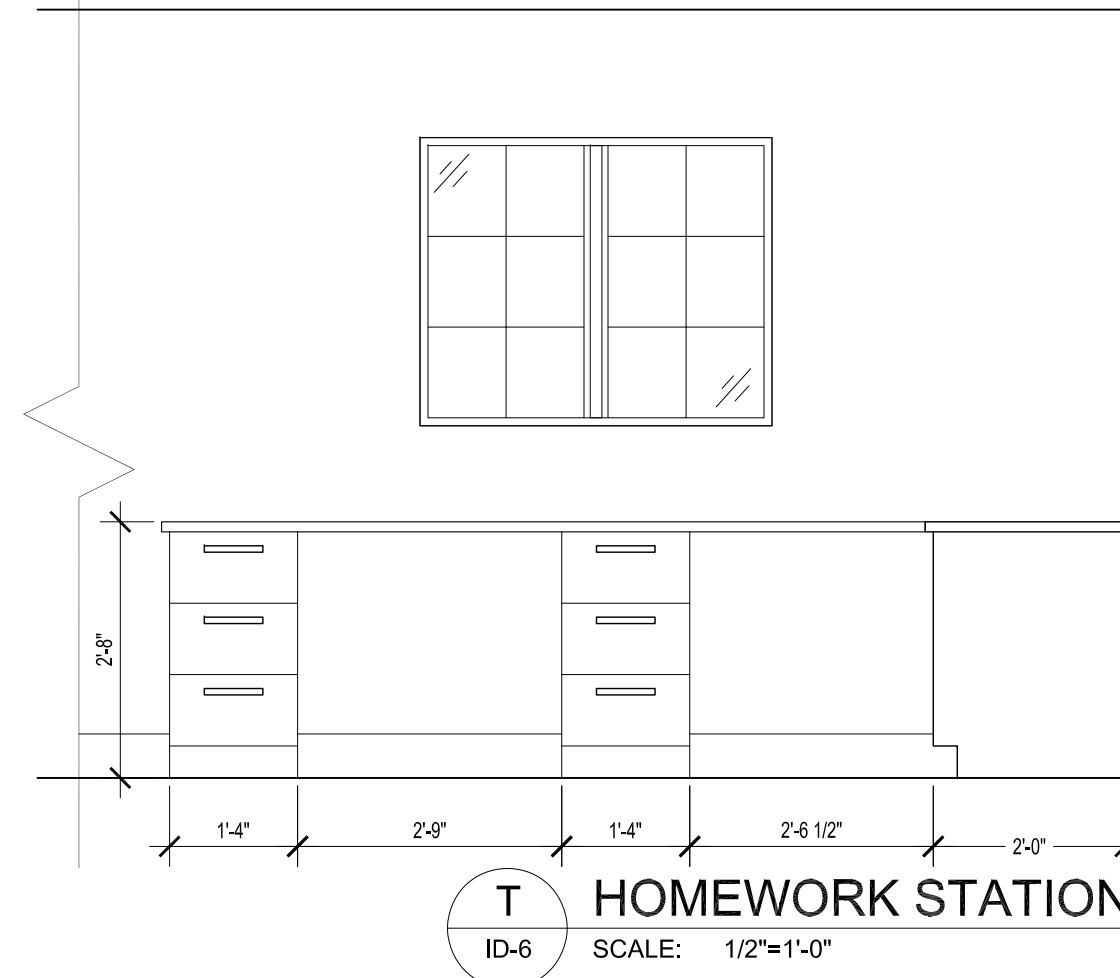
Q MASTER VANITY
ID-6 SCALE: 1/2"=1'-0"



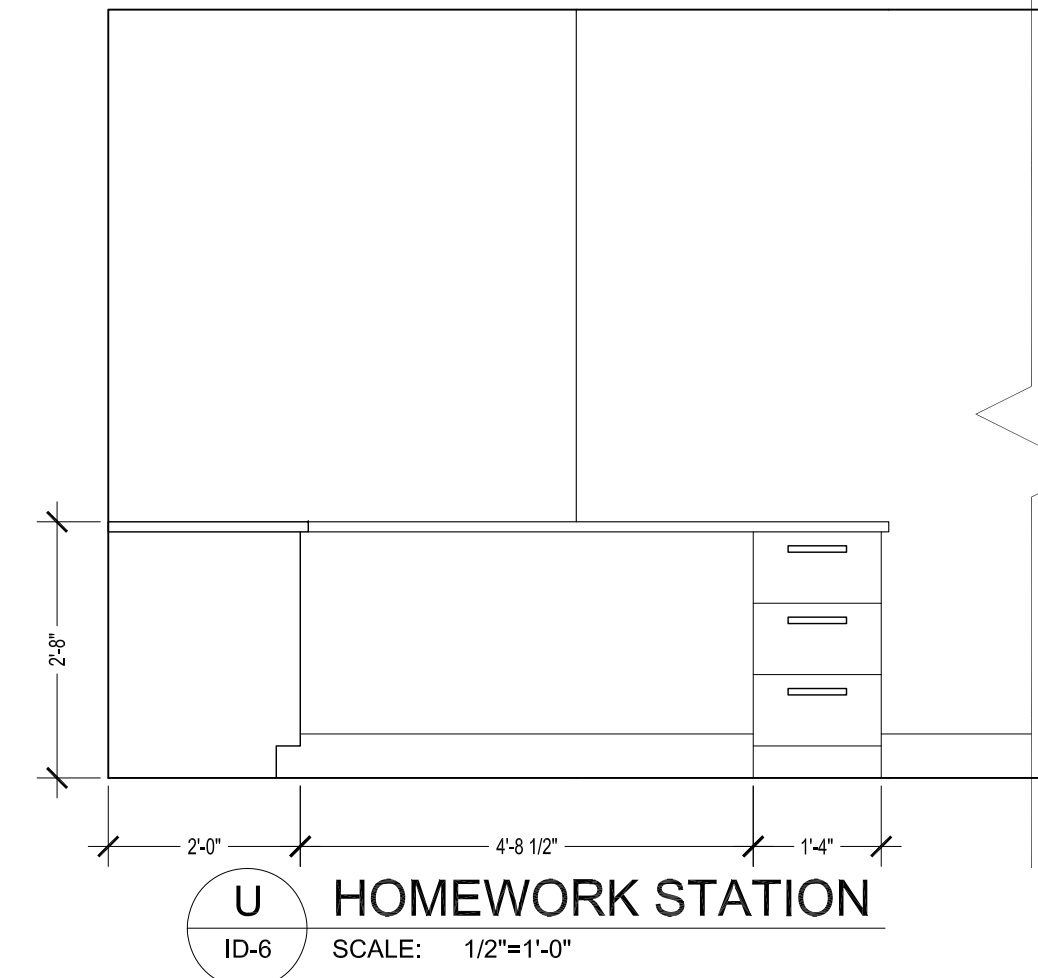
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ID-6 SCALE: 1/2"=1'-0"



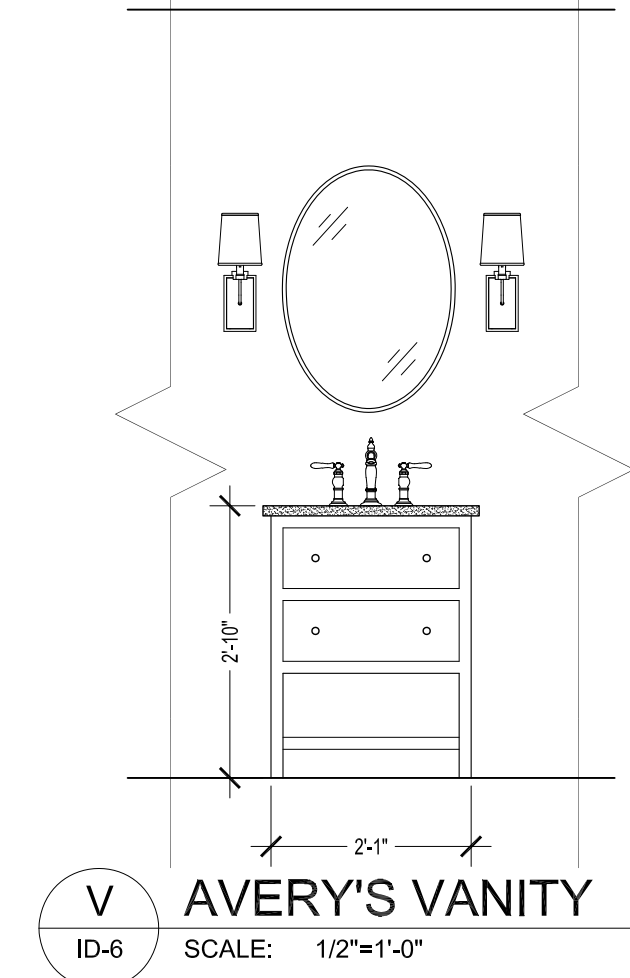
S GIRL'S VANITY
ID-6 SCALE: 1/2"=1'-0"



T HOMEWORK STATION
ID-6 SCALE: 1/2"=1'-0"



U HOMEWORK STATION
ID-6 SCALE: 1/2"=1'-0"



V AVERY'S VANITY
ID-6 SCALE: 1/2"=1'-0"

DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK:	00/00/2016	TEXT

DATE: 9/3/20
DRAWN BY: PTL

SHEET TITLE:

ELEVATIONS

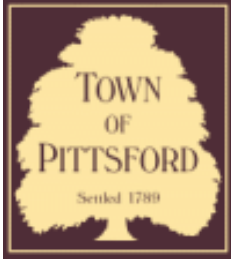
SHEET NUMBER

ID-6









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000175

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 12 Hawkstone Way PITTSFORD, NY 14534

Tax ID Number: 178.03-4-11

Zoning District: RN Residential Neighborhood

Owner: Ketmar Development Corp

Applicant: Ketmar Development Corp

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2142 square feet and will be located in the Cottages of Malvern Hills.

Meeting Date: October 22, 2020



Allen Reitz

Town of Pittsford Assistant Building Inspector

10/13/20

I am sending these images to you to explain that with our application for approval of lot 17, we have tried to be respectful of the town's wish to have the garage structure pulled back toward the main body of the house.

We have a situation where our buyer wants to nearly replicate our present model at 3 Hawkstone wherein the front of the garage is 18.67' from the front porch.

Their new plan for lot 17 will be 14' from the front porch.

The third plan I have attached for 15 Hawkstone shows the garage is 16.67' from the front porch.

Thus far we have gained the town's approval for 22 homes within The Cottages at Malvern Hills.

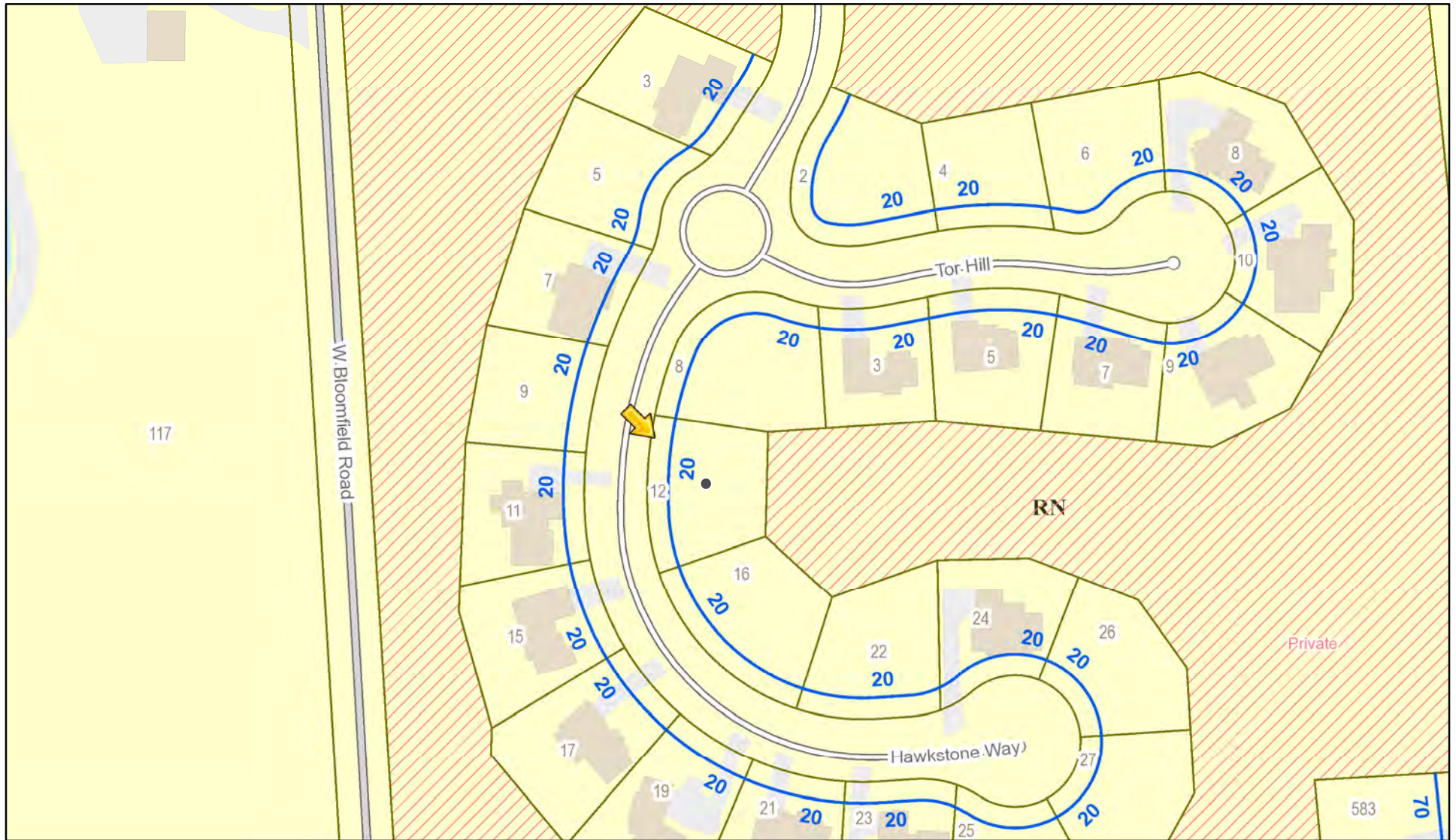
We have worked to create a neighborhood where the homes are diverse but complimentary.

Thank you for helping us fulfil the vision!

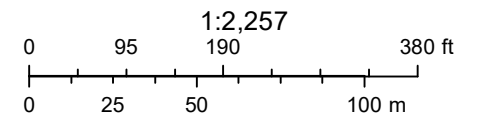
Marie Kenton

President

RN Residential Neighborhood Zoning

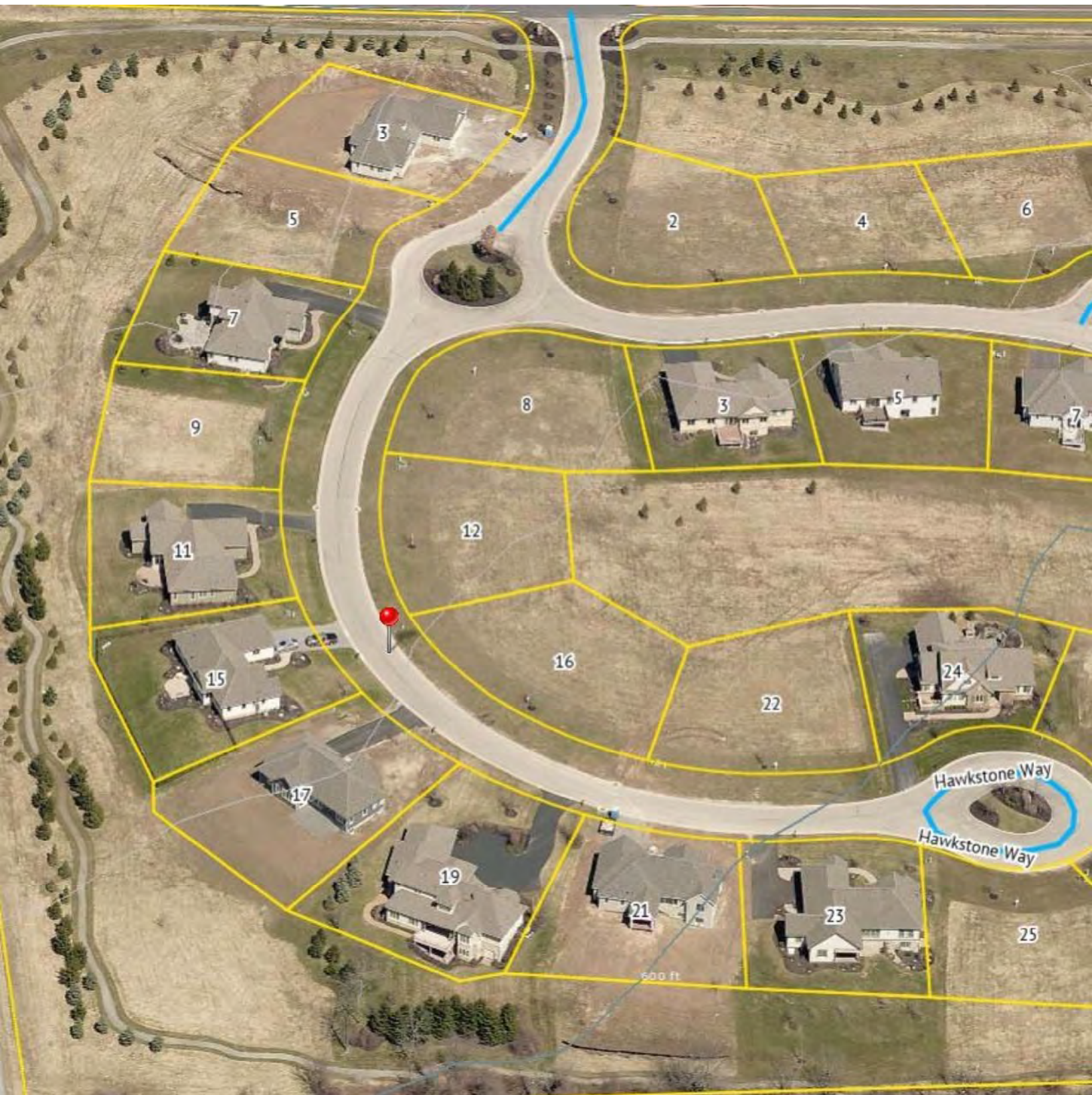


Printed October 15, 2020



Town of Pittsford GIS

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3

5

7

9

11

15

17

19

21

23

Hawkstone Way

Hawkstone Way

500 ft



3

2

4

6

8

3

5

7

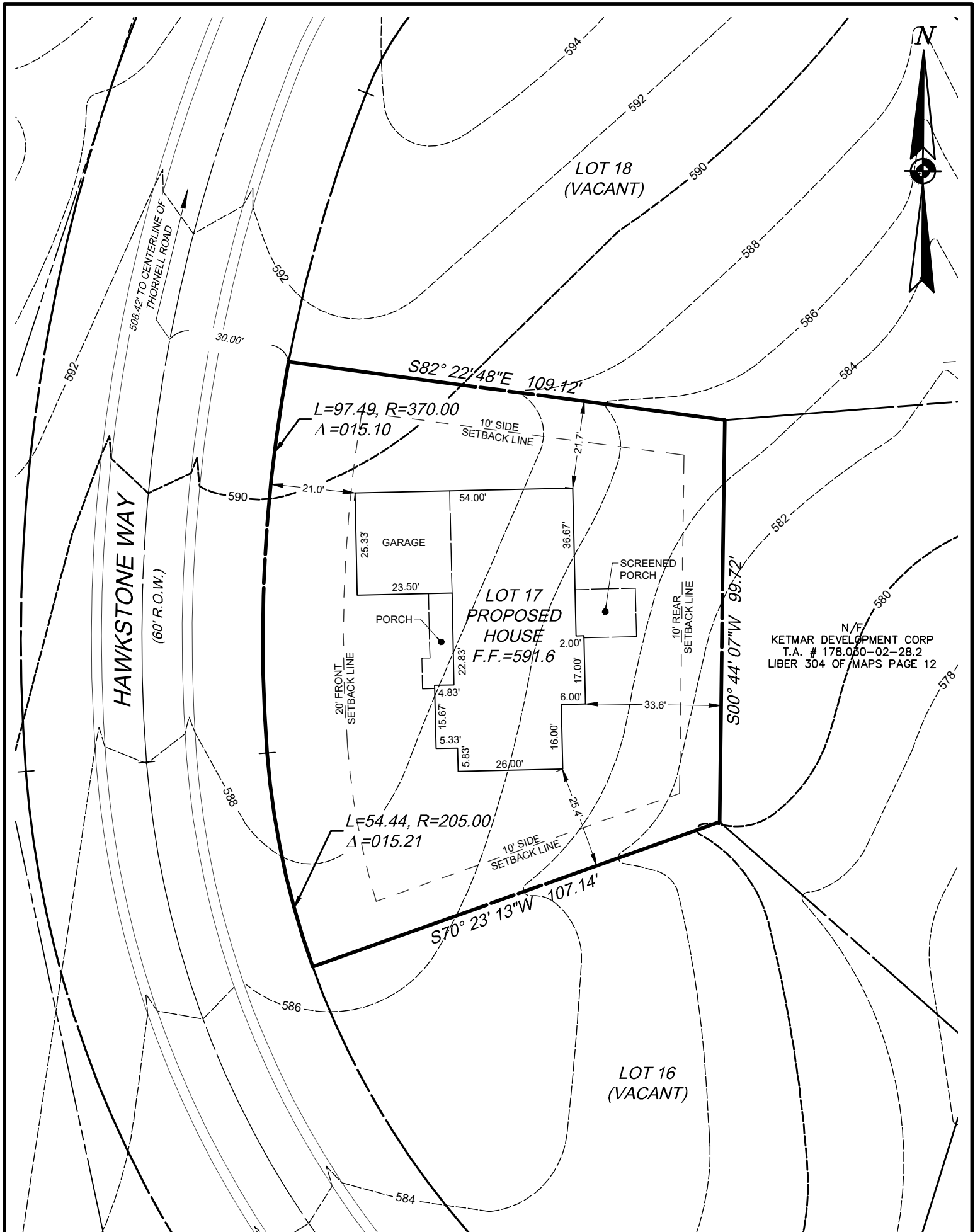
12

16

22

24

25



N/F
 KETMAR DEVELOPMENT CORP
 T.A. # 178.050-02-28.2
 LIBER 304 OF MAPS PAGE 12

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, subdivision 2, of the New York State Education Law."

"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be a valid true copy."

APPROVED BY:
 DWG FILE: H:\job\4219\Plot Plans\20171030_Cottages at Malvern_Lot 17.dwg
 PLOTTED: Oct 09, 2020 - 9:00AM

NOTES:

1. CONTOURS SHOWN PER FINISH GRADES ON PROJECT GRADING PLAN
2. 20' FRONT SETBACK
3. 10' REAR SETBACK
4. 10' SIDE SETBACK SHOWN.
 (FILED PLANS ALLOW FOR 5' MINIMUM SIDE SETBACK WITH MINIMUM 20' BUILDING SEPARATION)



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<h2>PLOT PLAN</h2>	
SUBDIVISION: COTTAGES AT MALVERN HILLS	LOT NUMBER: 17
TOWN: PITTSFORD	COUNTY: MONROE
SCALE: 1"=30'	STATE: NEW YORK
DATE: OCTOBER 2020	DWG. NUMBER: 4219-17-PLOT

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A62. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-26. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MORMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S WET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

PORTANOVA & LOCE RESIDENCE LOT 17 THE COTTAGES AT MALVERN KETMAR DEVELOPMENT CORP

DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS 1
3	ELEVATIONS 2
4	BASEMENT AND FOUNDATION PLAN
5	FIRST FLOOR PLAN
6	ROOF PLAN
7	BUILDING SECTIONS
8	TYPICAL NOTES

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
R402.1.2 (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

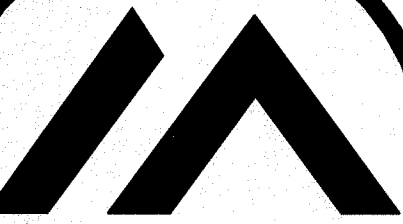
COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	30	30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JISTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 10% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.7.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.1 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R602.1.1



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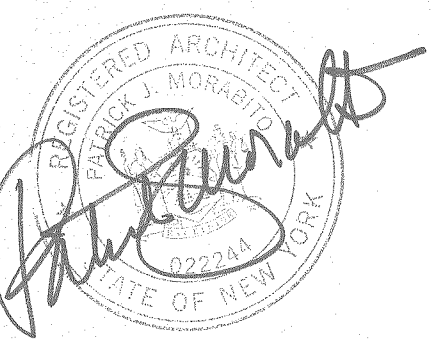
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10/15/2020

PROJECT:

PORTANOVA & LOCE LOT 17 THE COTTAGES AT MALVERN HILLS

CLIENT:

KETMAR DEVELOPMENT CORP BUILDER

DRAWING:

TITLE PAGE

DRAWN: CHECKED:

MSM PJM

DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020B480

SHEET:

1 OF 8 SHEETS

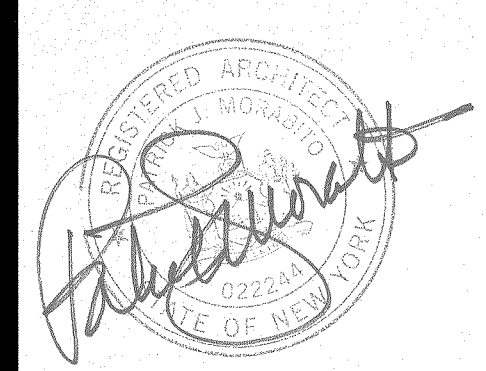




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PROJECT:
 FORTANOVA & LOCE
 LOT 11 THE COTTAGES
 AT MALVERN HILLS

CLIENT:
 KETMAR DEVELOPMENT CORP
 BUILDER

DRAWING:
 FRONT / LEFT SIDE ELEVATIONS

DRAWN: MSB
CHECKED: PJM

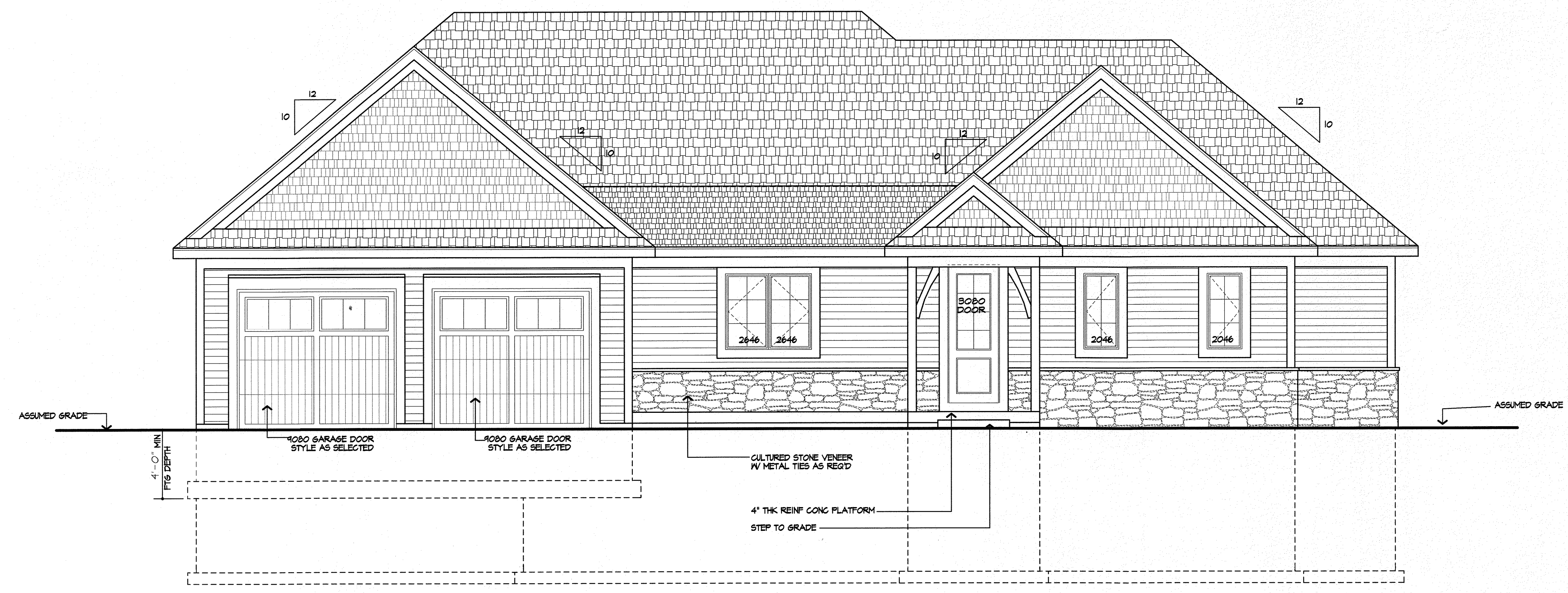
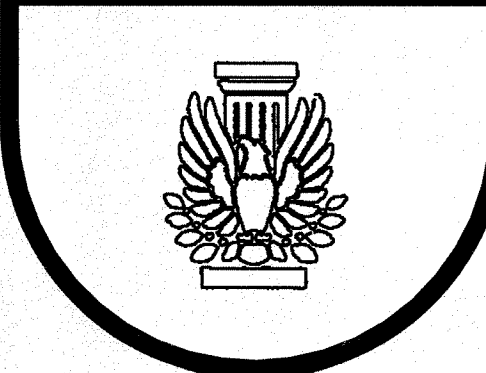
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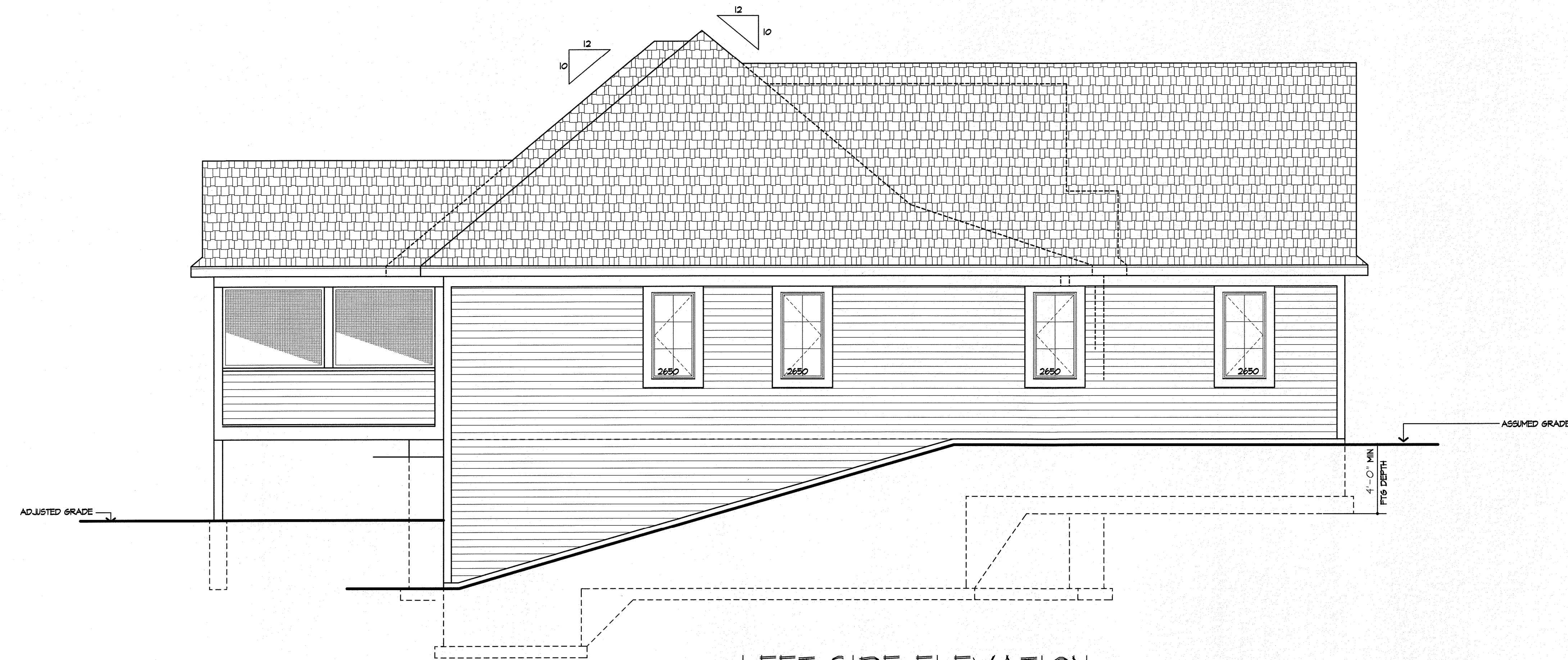
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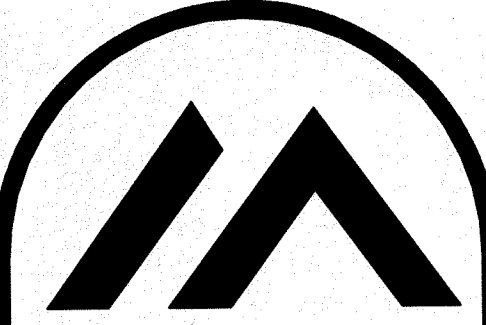


FRONT ELEVATION
 AREA: 2142 S.F.

- UNLESS OTHERWISE NOTED**
- ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES
 - ROOF VENTING: CONTINUOUS RIDGE VENT
 - FASCIAS: 8"
 - FRIEZEBOS: 8"
 - CORNERBOS: 6"
 - CASINGS: 6"
 - SIDING: HORIZ, AS SELECTED
 - OVERHANGS: 1'-4"
 - RAKE OVERHANGS: 12"
 - MIN FTS. DEPTH: 4'-0"
 - CLS HT:
 - 1ST FLOOR: 9'-1 1/8"
 - WINDOW UNIT HT:
 - 1ST FLOOR: 8'-0"
 - WINDOW MFR: ANDERSEN 100 OR EQUAL (PROVIDE SAFETY GLAZING PER R308.4)



LEFT SIDE ELEVATION



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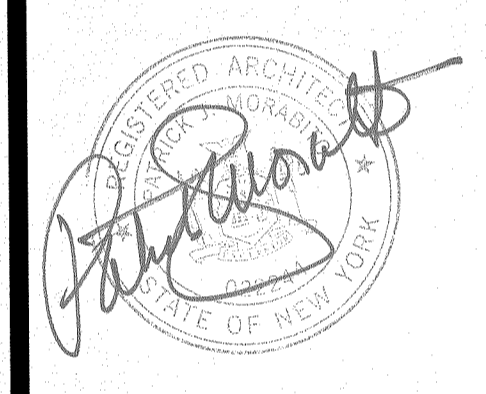
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PROJECT:
PORTANOVA & LOCE
LOT 17 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KETHMAR DEVELOPMENT CORP
BUILDER

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN: MSB
CHECKED: P.J.M.

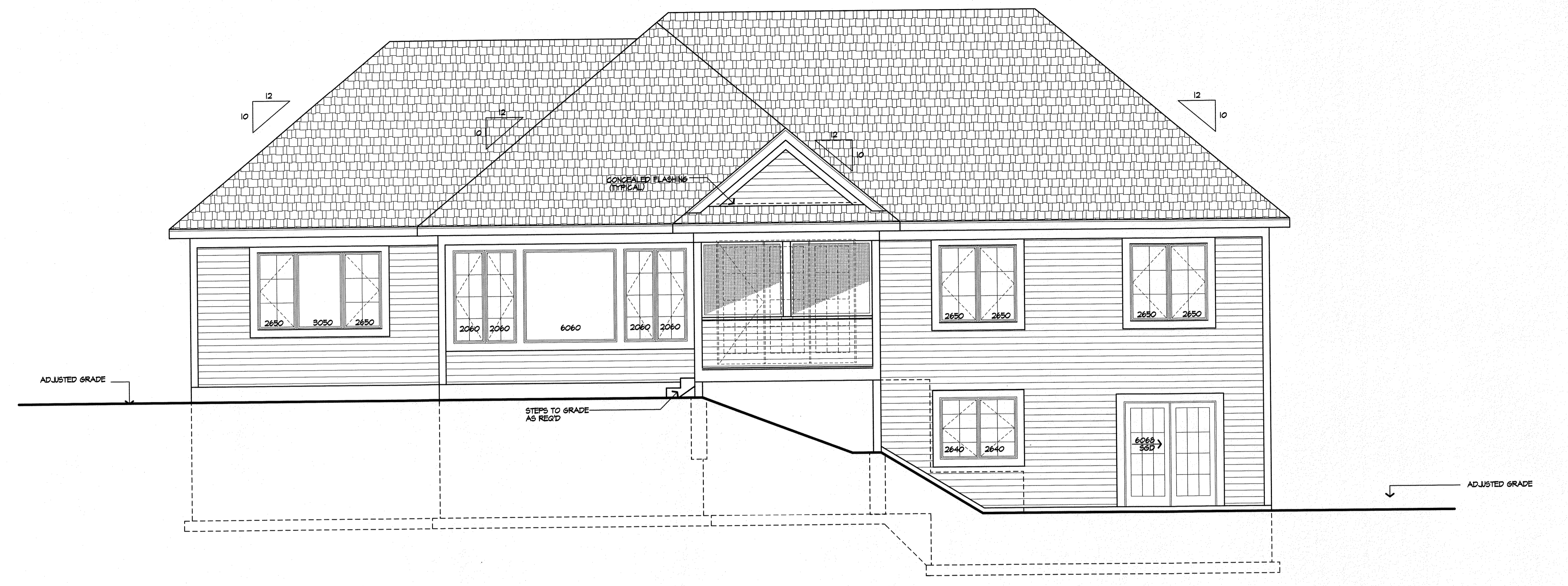
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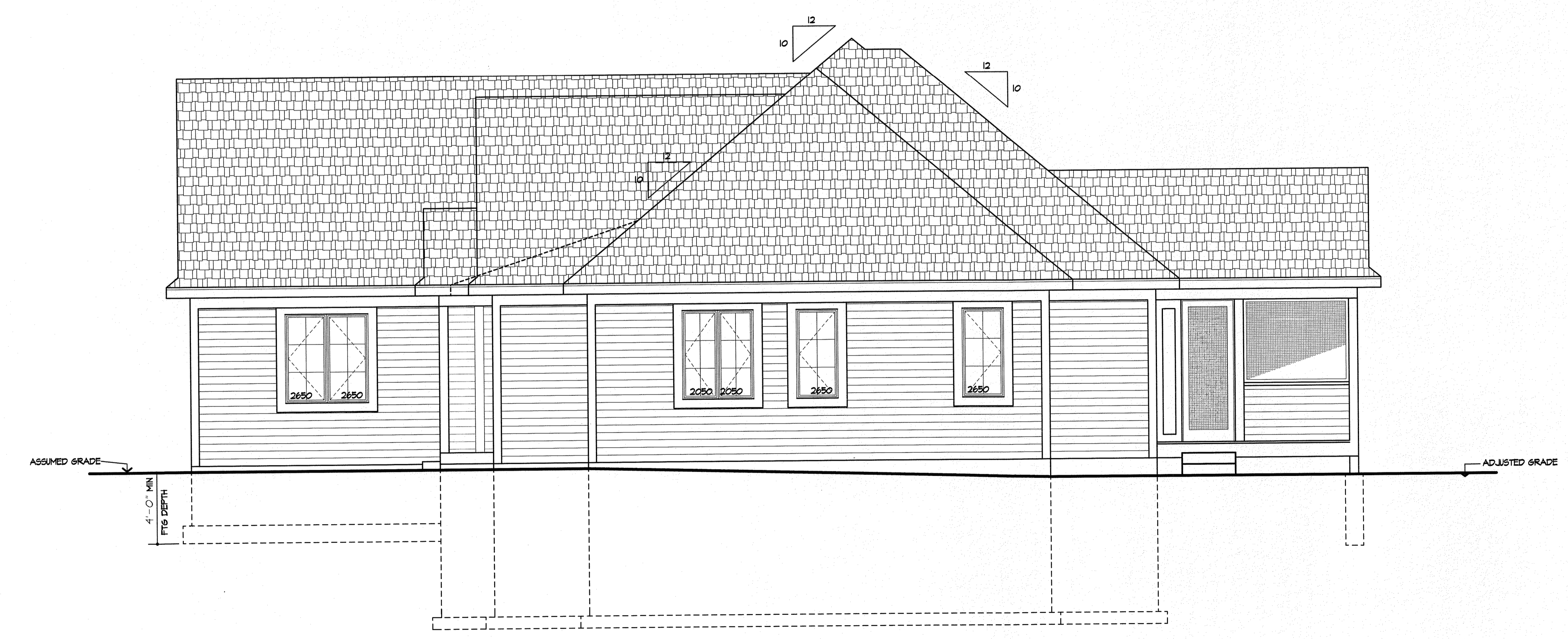
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OF **8** SHEETS



REAR ELEVATION



RIGHT SIDE ELEVATION

UNLESS OTHERWISE NOTED

- ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES
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- WINDOW MFR: ANDERSEN 100 OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)

TABLE R404.1.1(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 0.75 INCHES (A)

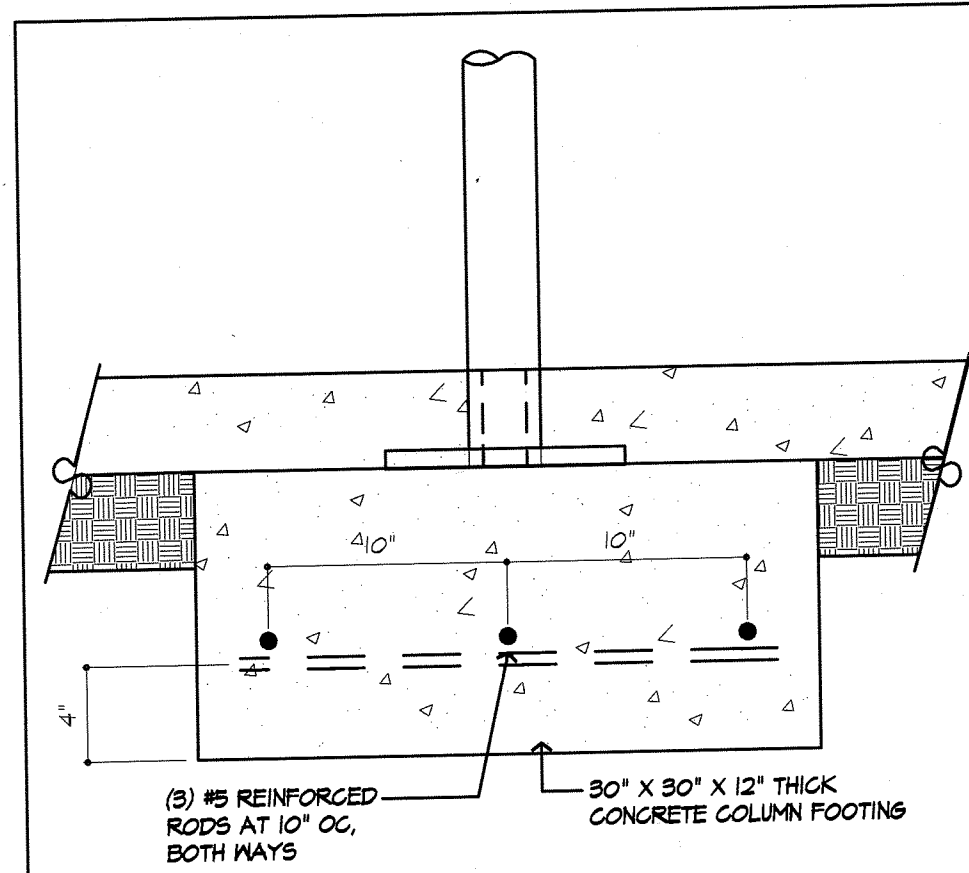
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)	SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)	SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)
6'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.

FOR SI: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.

- MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.
- VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 0.75 INCHES.
- SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.
- UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

STEPPED FOOTING NOTE:

R402.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE).



COL. FOOTING

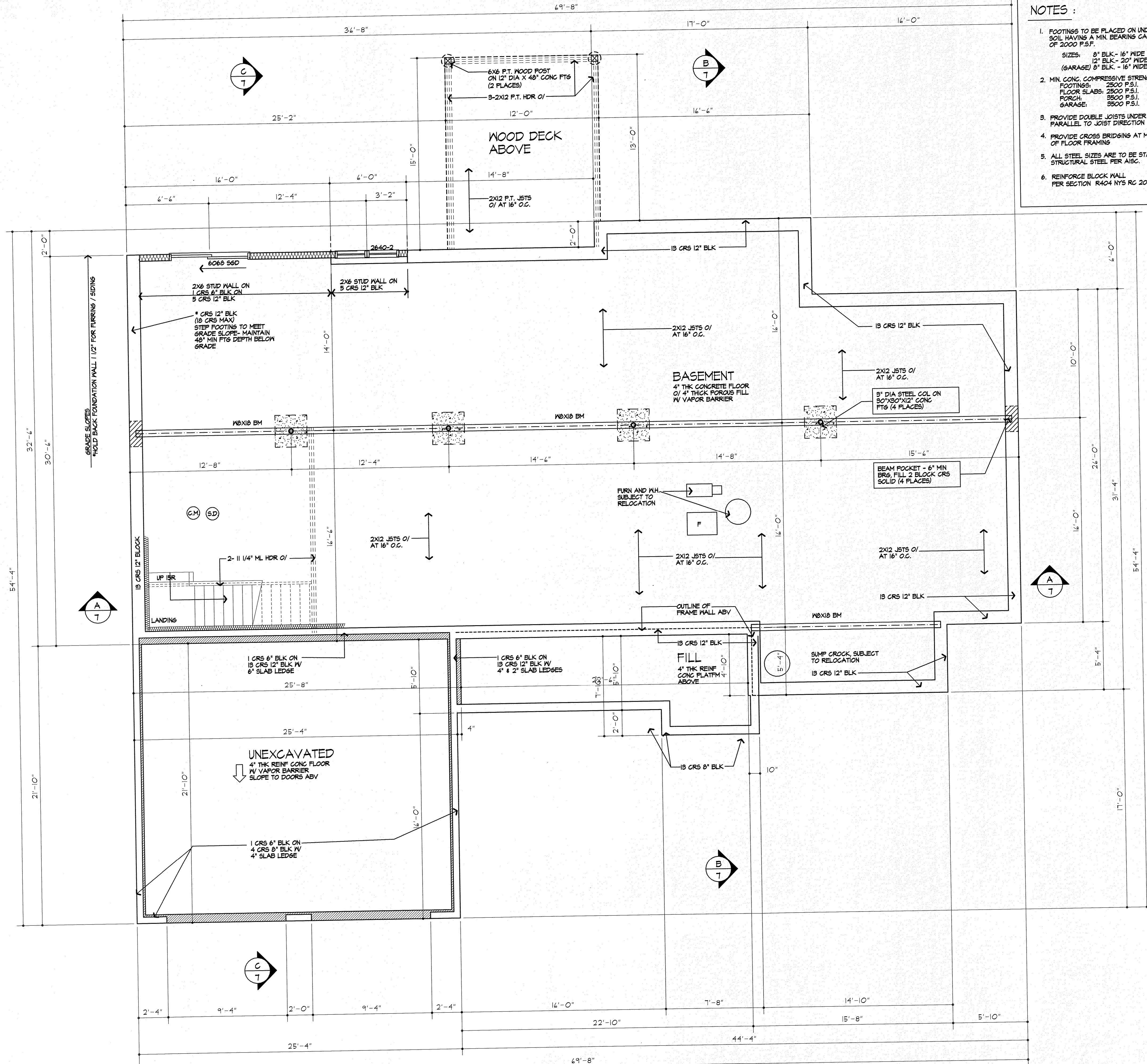
SCALE: 1/2" = 1'-0"

FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER, PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPES AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION F2104, NFPA 135, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
 - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M²) PER STORY.
 - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
- WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.



- NOTES:**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
SIZES: 8" BLK - 16" WIDE X 8" THK.
12" BLK - 20" WIDE X 8" THK.
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
 - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.
FLOOR SLABS: 2500 P.S.I.
PORCH: 3500 P.S.I.
GARAGE: 3500 P.S.I.
 - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
 - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
 - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
 - REINFORCE BLOCK WALL PER SECTION R404 NYS RC 2020

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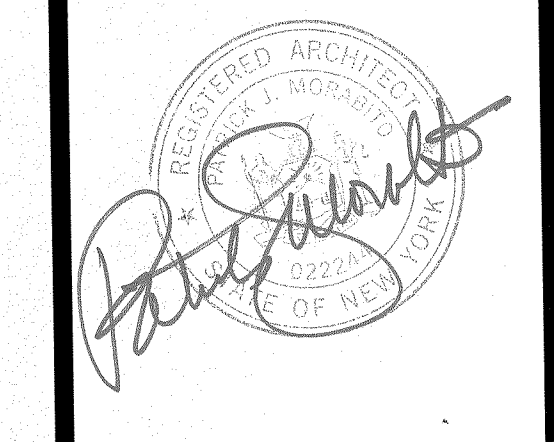
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PROJECT:
PORTANOVA & LOCE
LOT 17 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KEMMAR DEVELOPMENT CORP
BUILDER

DRAWING:
BASEMENT / FOUNDATION PLAN

DRAWN: MSH
CHECKED: RJM

DATE: OCTOBER 2020

SCALE: 1/4" = 1'-0"

JOB NO.: 20MB480

SHEET:

BASEMENT & FOUNDATION PLAN
13 CRS 12" BLOCK

FIRE PROTECTION OF FLOOR JOISTS NOT REQUIRED PER SECTION R313

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M 1504.2.

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE.

TABLE M 1504.2 - DUCT LENGTH		SMOOTH WALL DUCT	
FAN AIRFLOW RATINGS CFM @ 0.25 INCH WG A	FLEX DUCT	SMOOTH WALL DUCT	SMOOTH WALL DUCT
30	100	100	100
40	125	125	125
50	150	150	150
60	175	175	175
70	200	200	200
80	225	225	225
90	250	250	250
100	275	275	275
110	300	300	300
120	325	325	325
130	350	350	350
140	375	375	375
150	400	400	400
160	425	425	425
170	450	450	450
180	475	475	475
190	500	500	500
200	525	525	525
210	550	550	550
220	575	575	575
230	600	600	600
240	625	625	625
250	650	650	650
260	675	675	675
270	700	700	700
280	725	725	725
290	750	750	750
300	775	775	775

FOR 3/4" FLEX DUCT WITH 1/2" INSULATION
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RATED FLOW RATE.
 B. FOR NON-CIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER.
 C. FLEX DUCTS WITH ELBOWS ARE NOT USED. FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE PROVIDED FOR EACH ELBOW INSTALLED IN THE DUCT RUN.
 D. NO LIGHT ON DUCT LENGTH OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP.
 E. NO LIGHT ALLOWED ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP.

WINDOW FALL PROTECTION
 R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.

R312.2.1 WINDOW SILLS
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES, WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELIEVE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING
 R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308.

R308.4.1 GLAZING IN DOORS
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BI-FOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. GLAZING OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS.
 2. DECORATIVE GLAZING.

R308.4.2 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING
 GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE.
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE.

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
 R314/R315

R314.9 LOCATION, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE UPPER LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.9 REQUIRED LOCATIONS, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
 UNLESS OTHERWISE NOTED

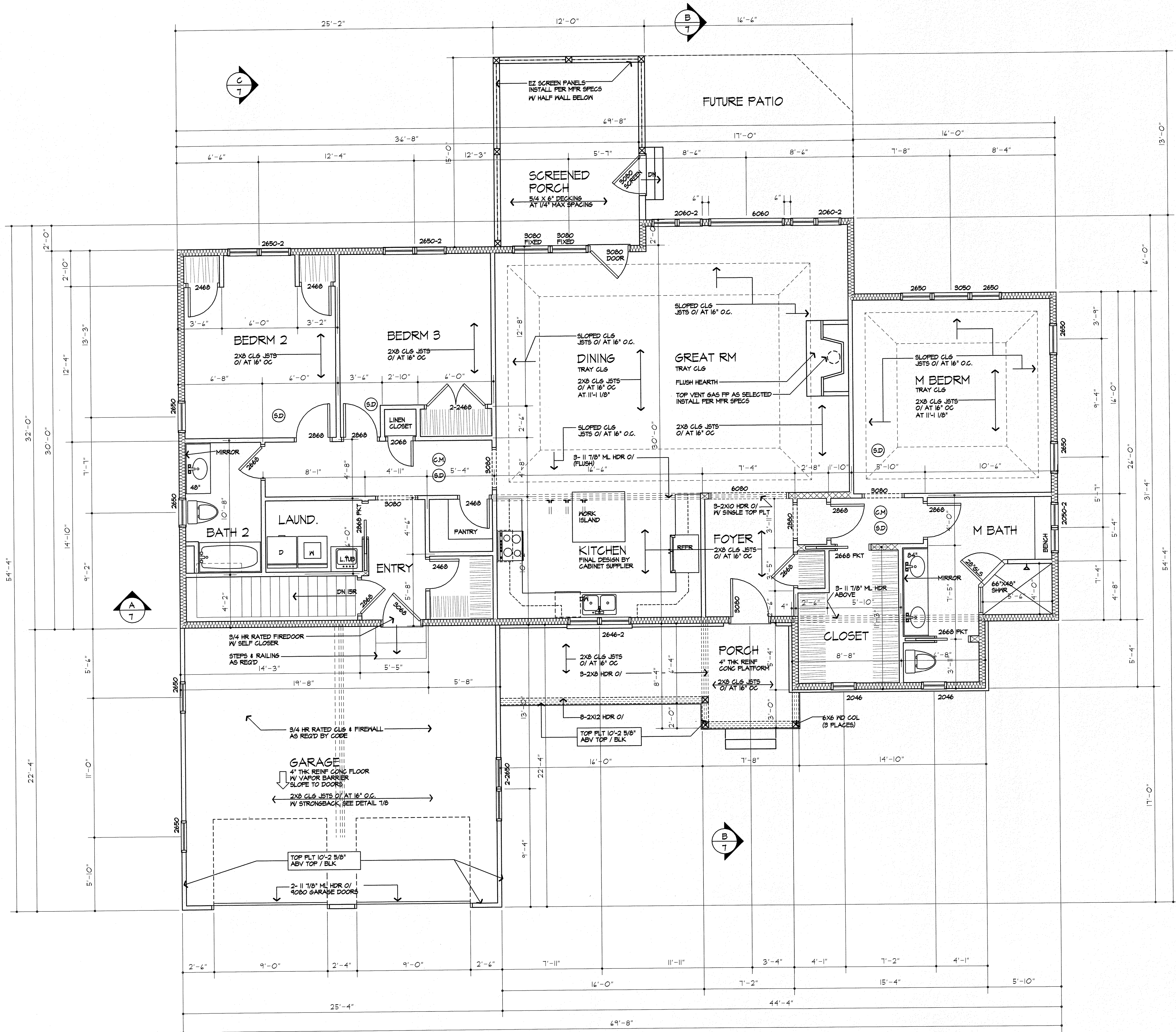
OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" FLY. WD. GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" FLY. WD. GUSSETS - 2X4 WALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16" O.C. W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16" O.C. (INTERIOR WALL)		
	2X4 STUDS @ 16" O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS



FIRST FLOOR PLAN
 AREA: 2142 SQ FT

GAS F.P. NOTE:
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOGS SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.

PLUMBING NOTE:
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

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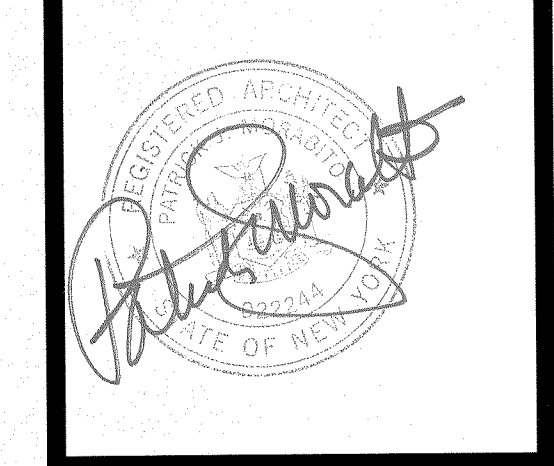
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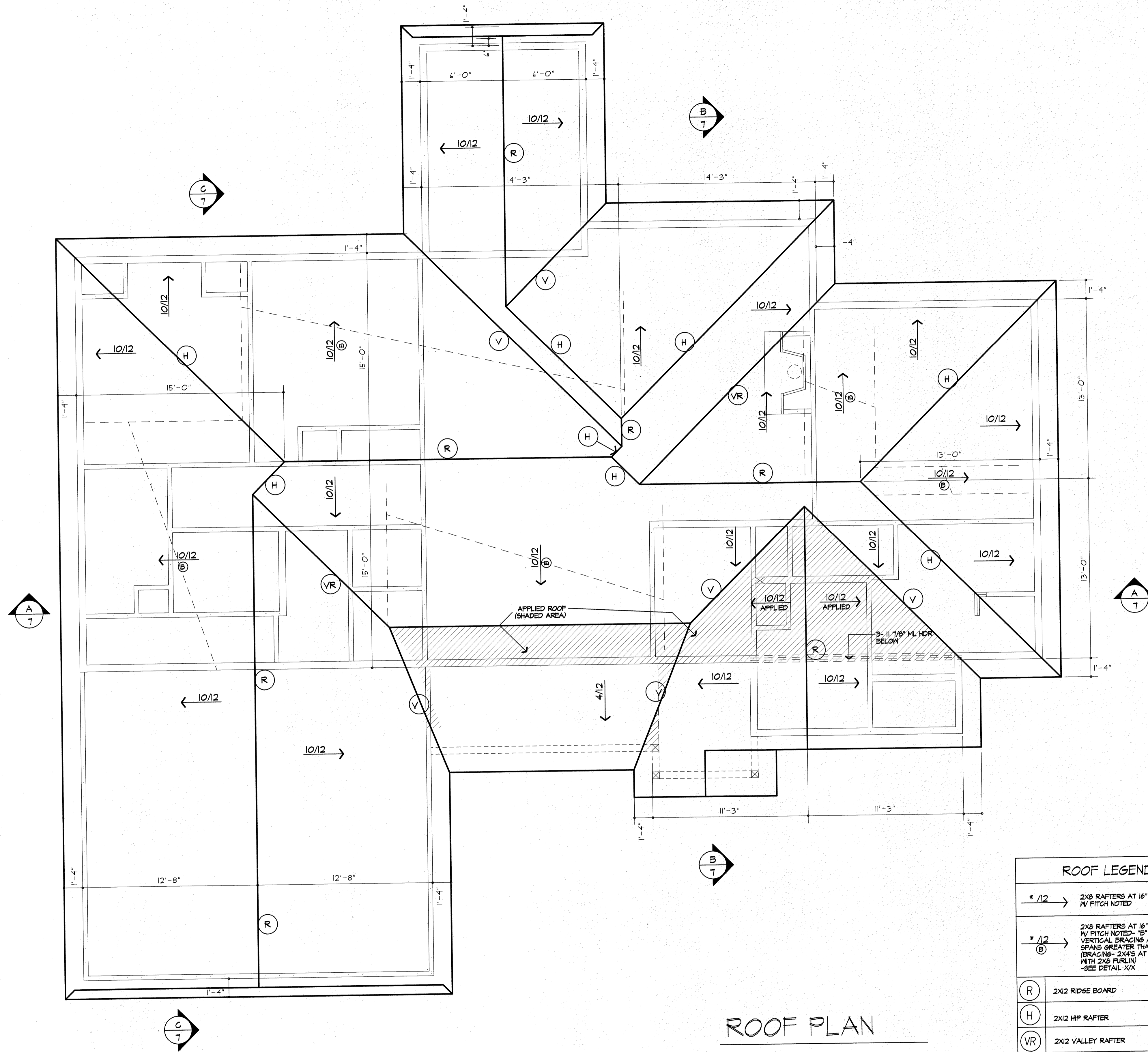
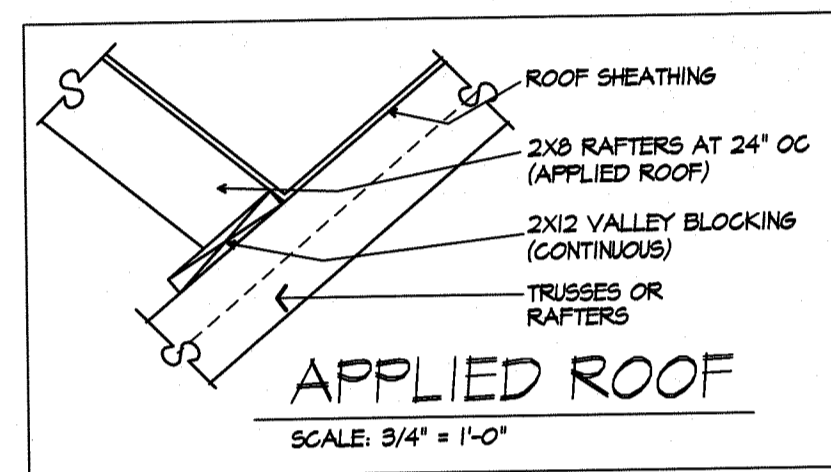
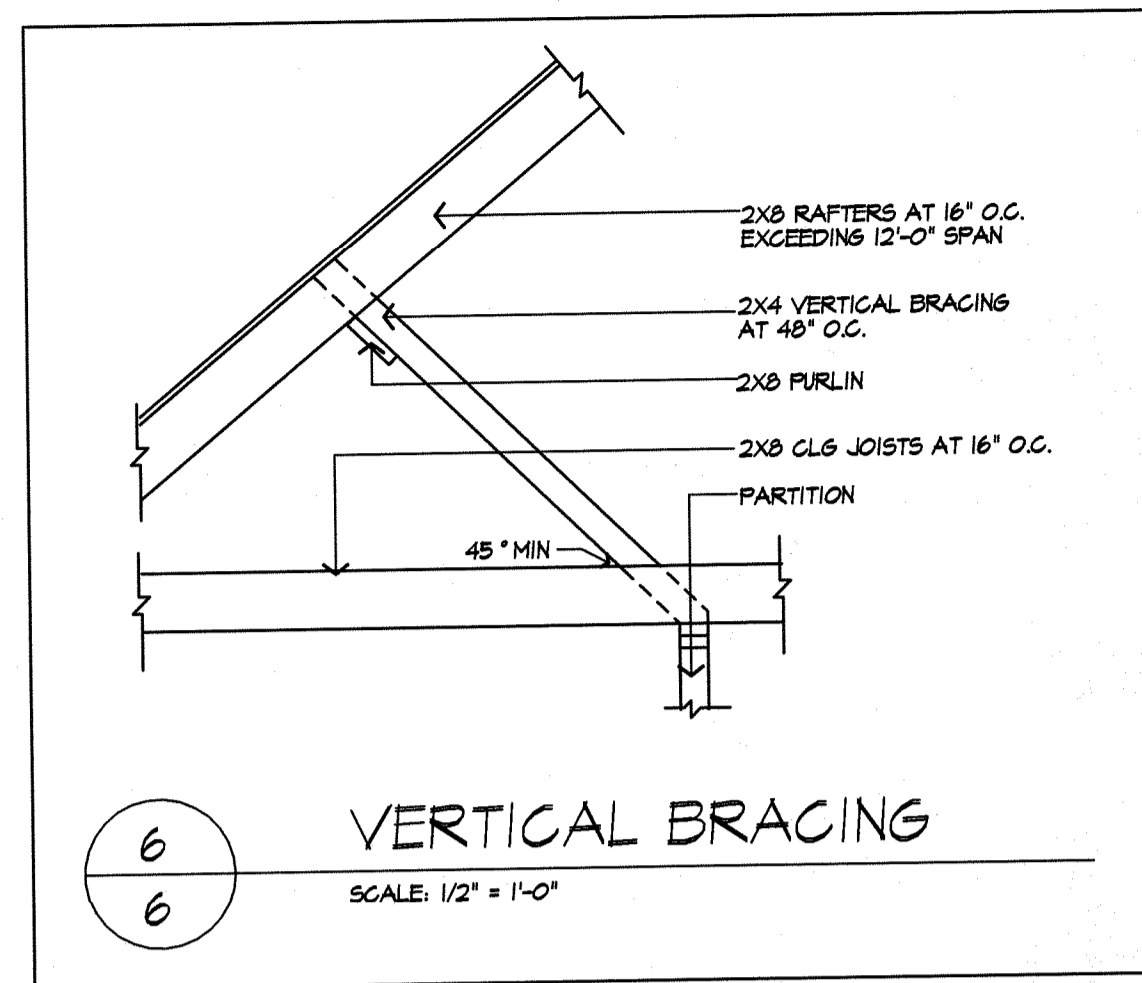
PROJECT:
 PORTANOVA & LOCE LOT 17 THE COTTAGES AT MALVERN HILLS

CLIENT:
 KETMAR DEVELOPMENT CORP
 BUILDER

DRAWING:
 1ST FLOOR PLAN

DRAWN:	CHECKED:
MSM	PJM
DATE:	OCTOBER 2020
SCALE:	1/4"=1'-0"
JOB NO.:	20MB980
SHEET:	

5
 OF 8 SHEETS



ROOF PLAN

ROOF LEGEND	
* /12	2x8 RAFTERS AT 16' O.C. 1/4" PITCH NOTED
* /12 @	2x8 RAFTERS AT 16' O.C. 1/4" PITCH NOTED - "B" DENOTES VERTICAL BRACING AT RAFTER SPANS GREATER THAN 12'-0". (BRACING - 2x4'S AT 48" O.C. WITH 2x8 PURLIN) - SEE DETAIL XIX
(R)	2X12 RIDGE BOARD
(H)	2X12 HIP RAFTER
(VR)	2X12 VALLEY RAFTER
(T)	TRUSS RIDGE
(V)	APPLIED VALLEY - SEE DETAIL XIX

***NOTE:**
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER RB07.1.2 2020 RESIDENTIAL CODE OF NEW YORK STATE



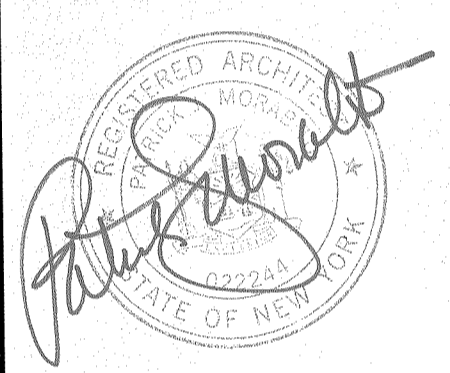
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PROJECT:
PORTANOVA # LOCE LOT 17 THE COTTAGES AT MALVERN HILLS

CLIENT:
KEMMAR DEVELOPMENT CORP BUILDER

DRAWING:
ROOF PLAN

DRAWN: MGH
CHECKED: FJM

DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 20MB480

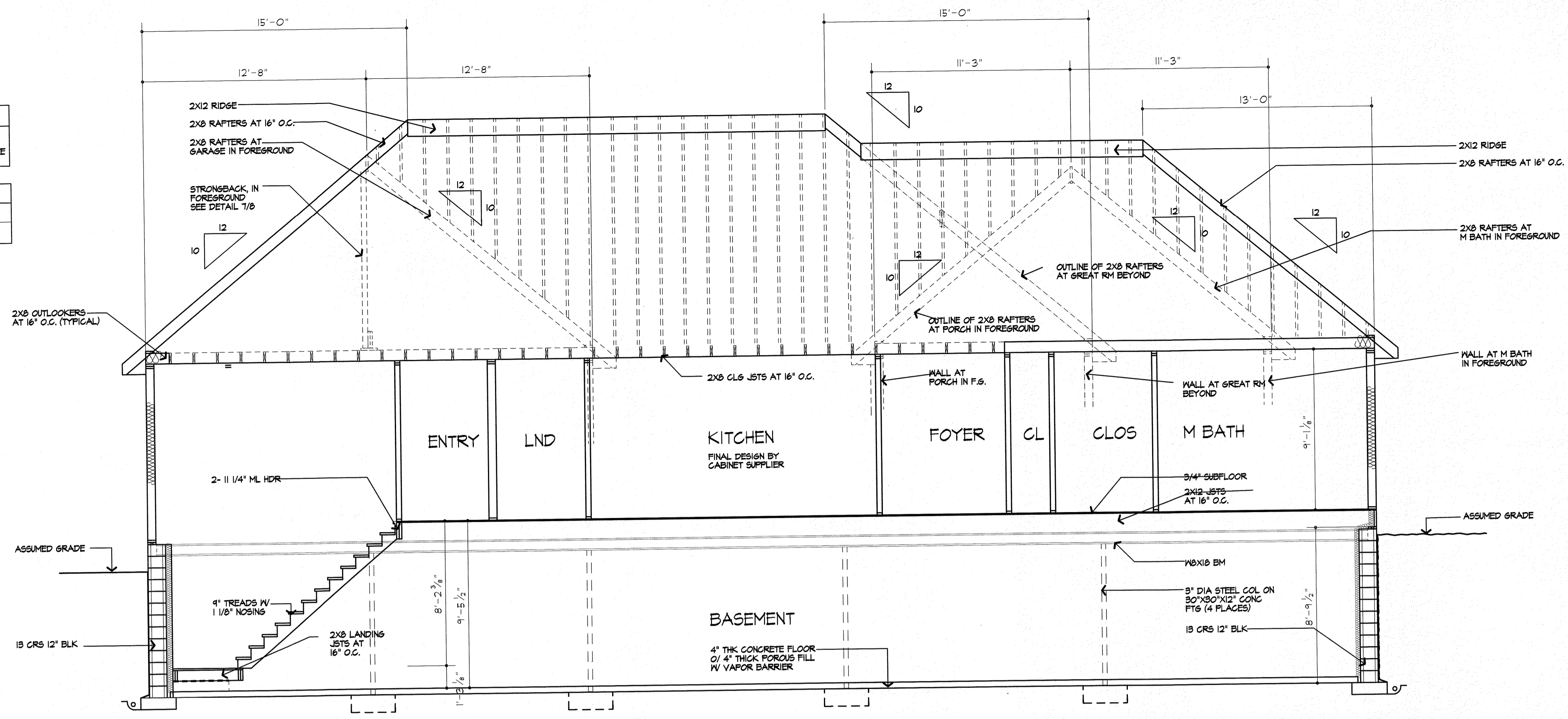
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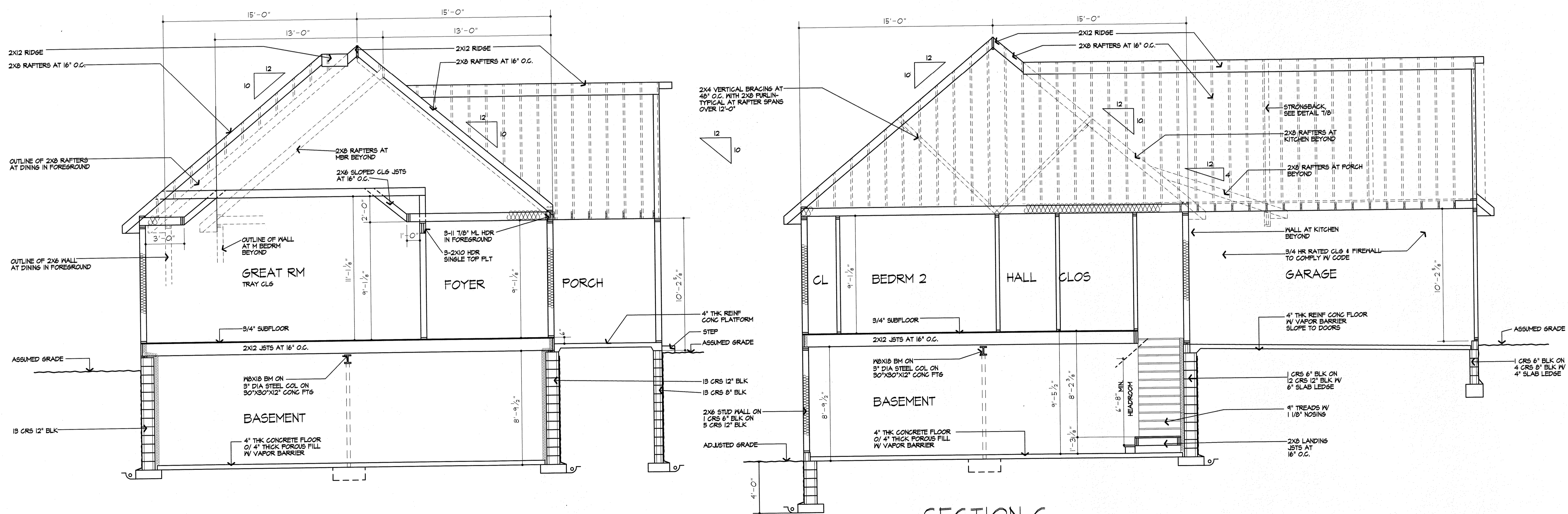


***NOTE:**
 PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER RCBO1.2 2020 RESIDENTIAL CODE OF NEW YORK STATE

LINE LEGEND	
---	BEYOND
---	IN FOREGROUND

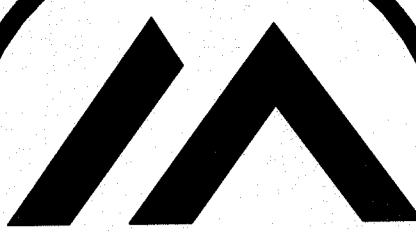


SECTION A



SECTION B

SECTION C



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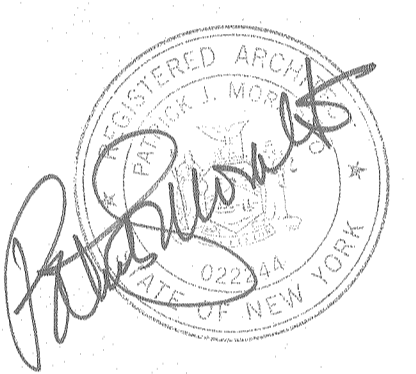
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PROJECT:
 PORTANOVA & LOCE LOT 11 THE COTTAGES AT HALVERNS HILLS

CLIENT:
 KETMAR DEVELOPMENT CORP
 BUILDER

DRAWING:
 BUILDING SECTIONS

DRAWN: MGM	CHECKED: PJM
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DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2019480

SHEET:

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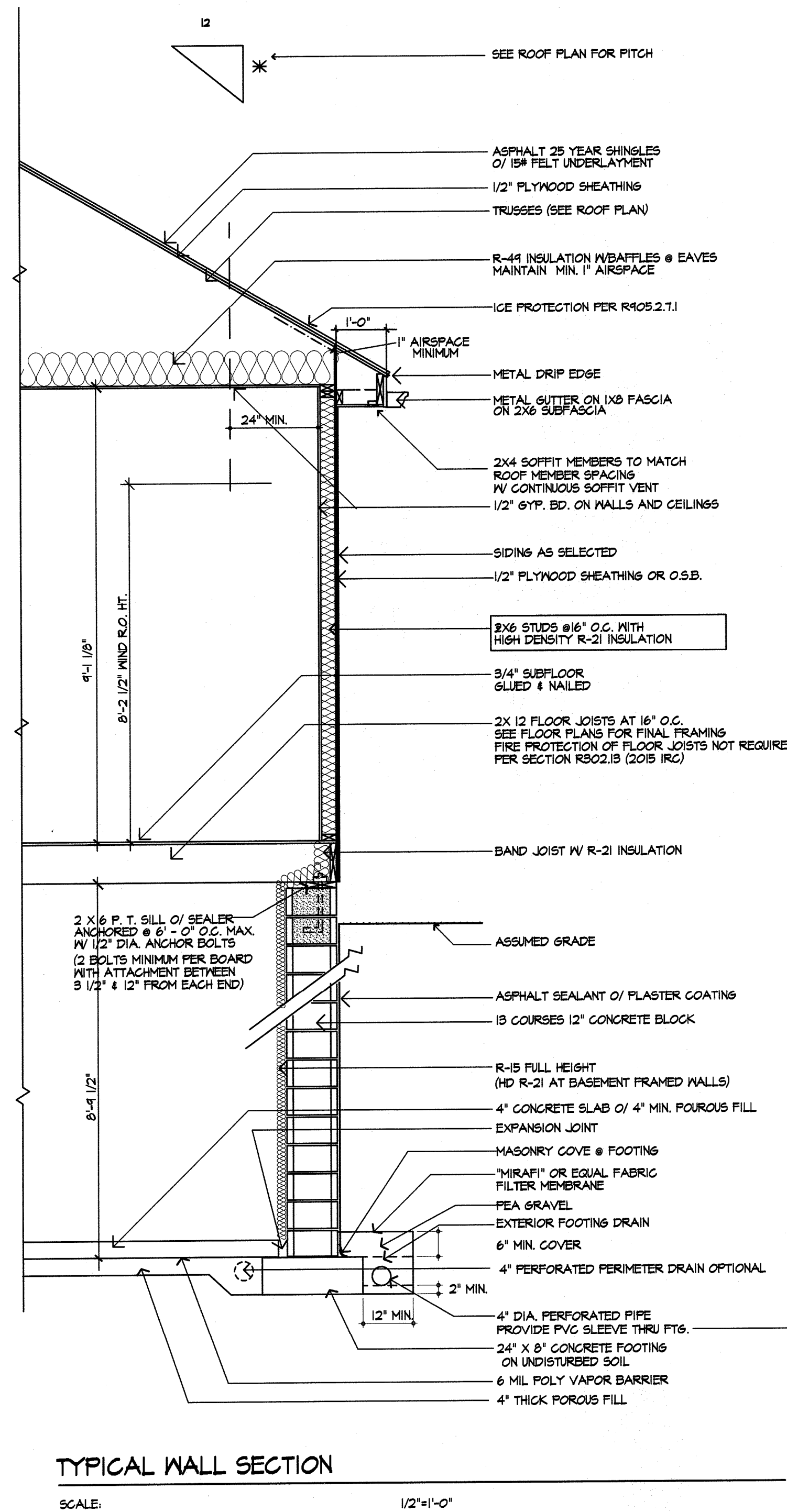
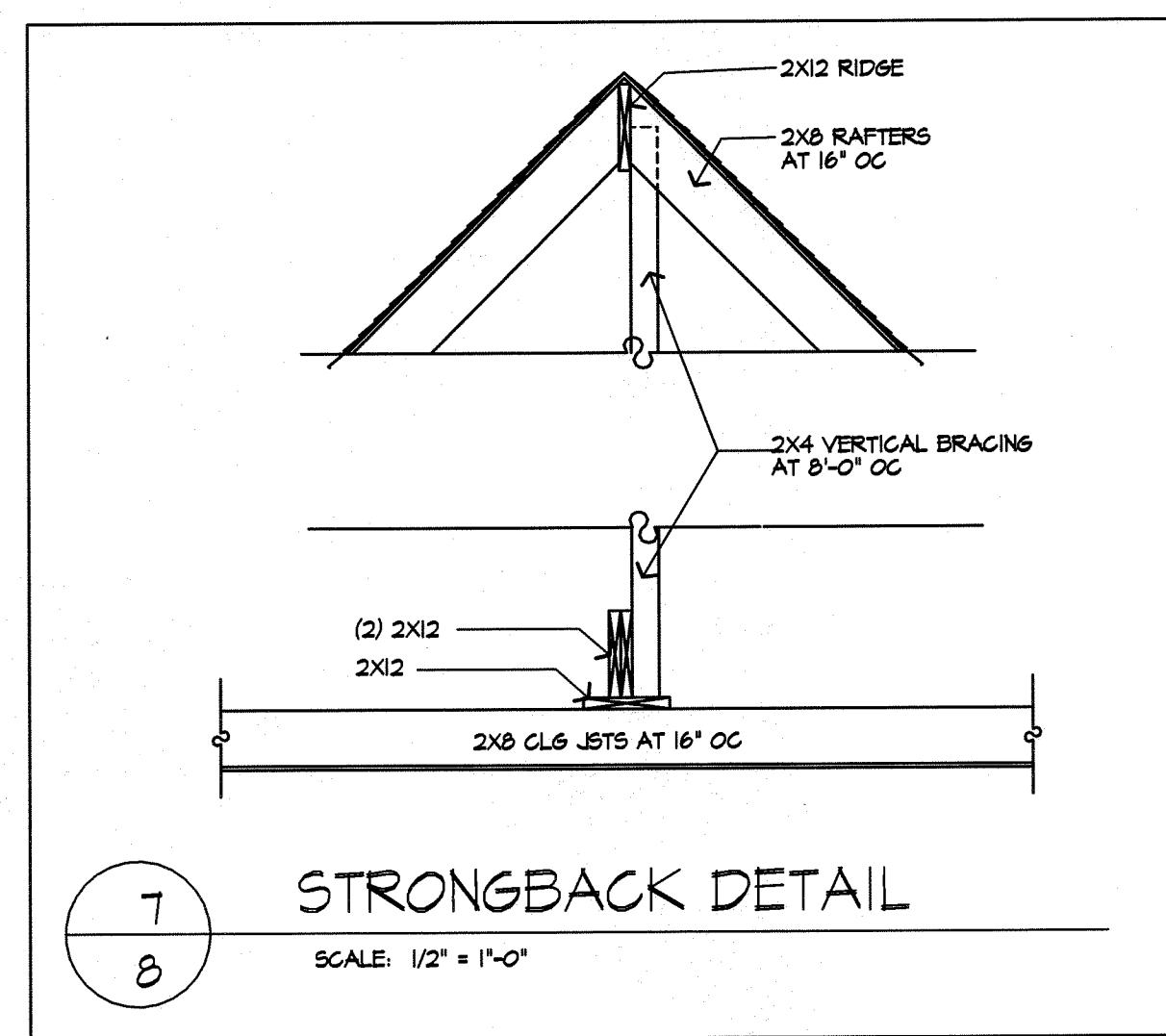
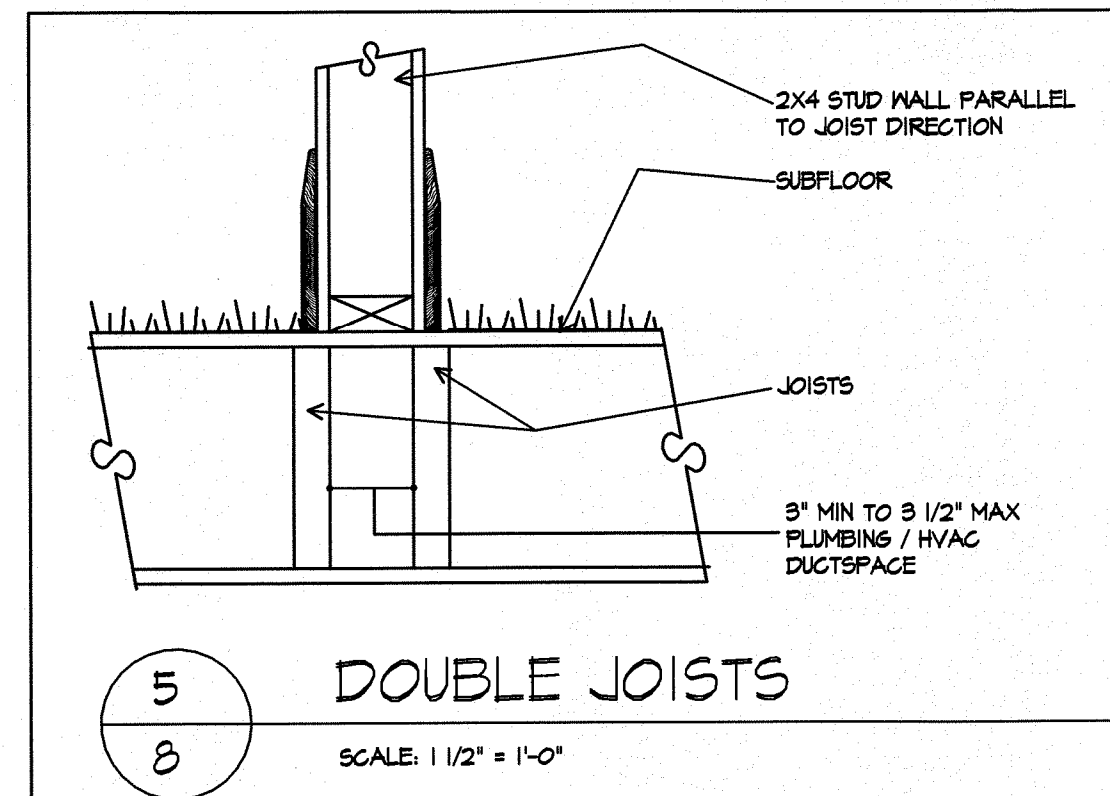
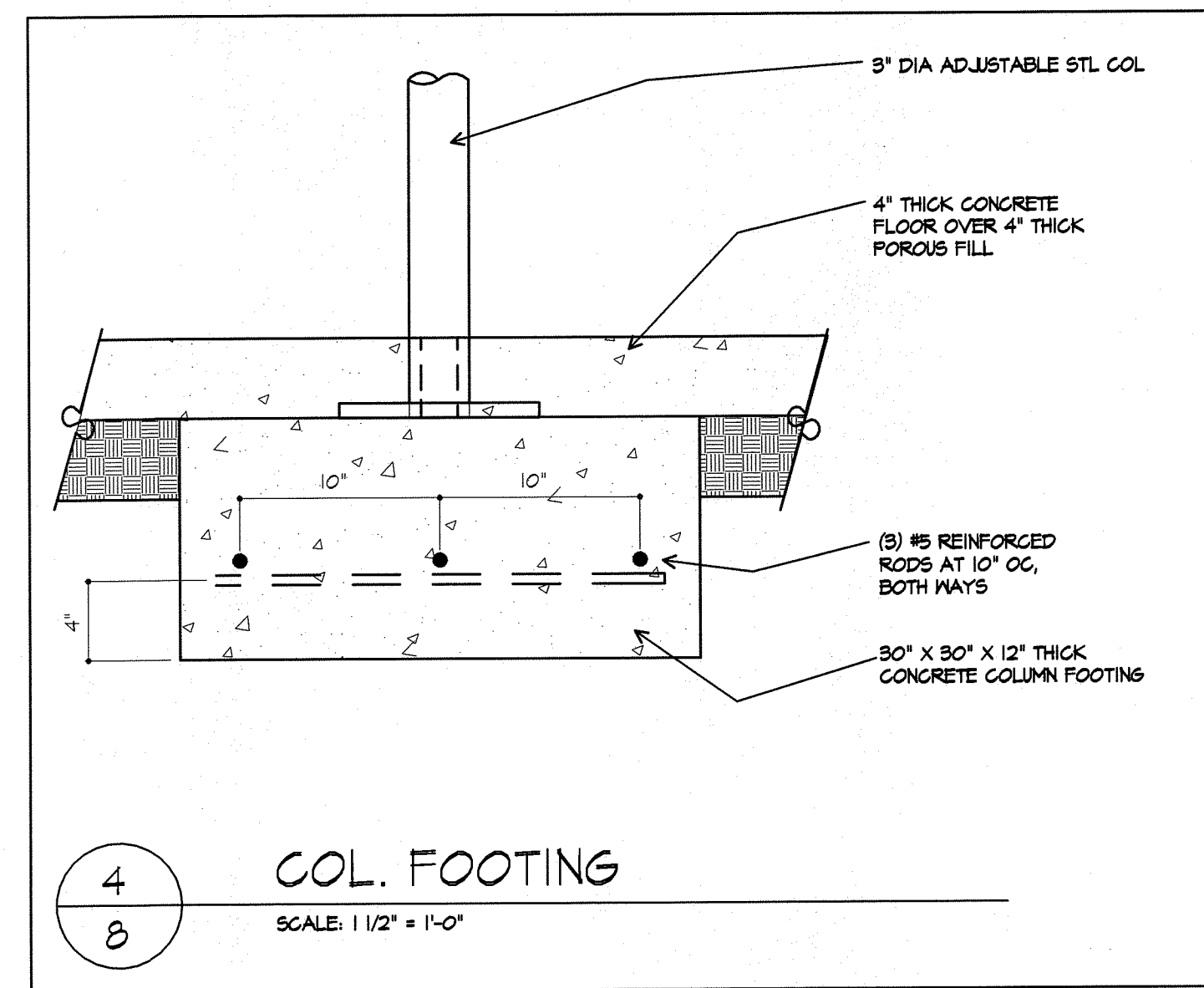
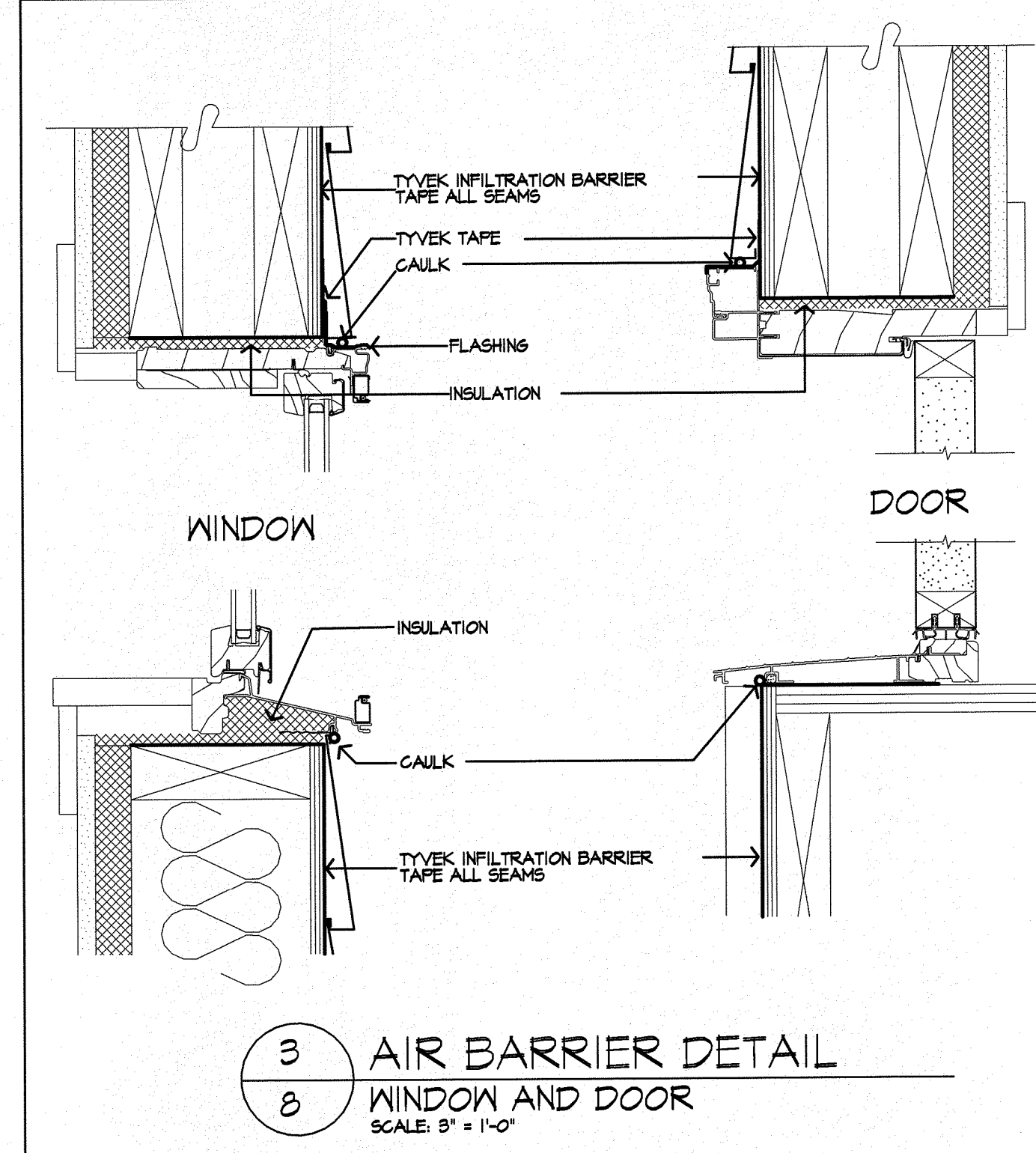
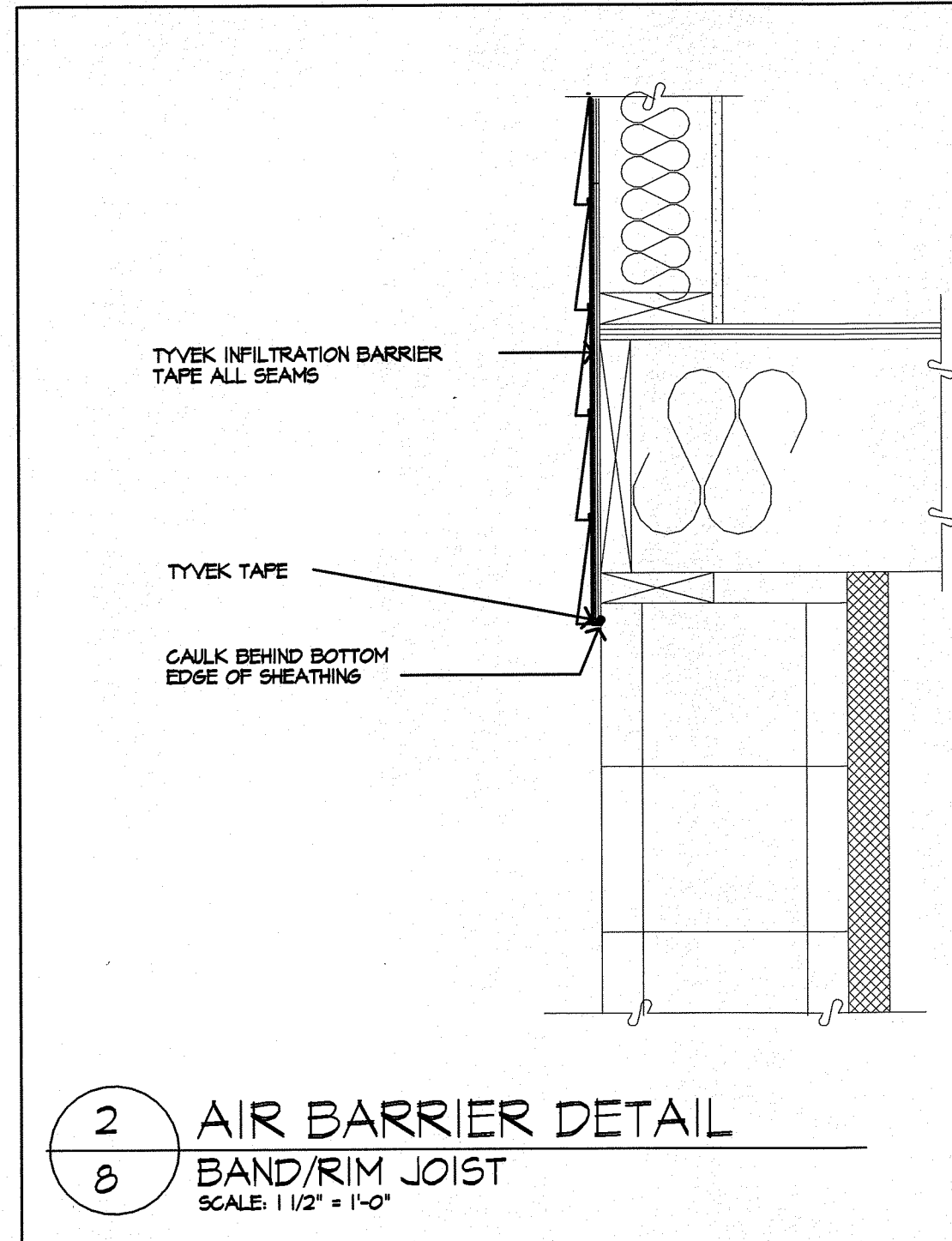
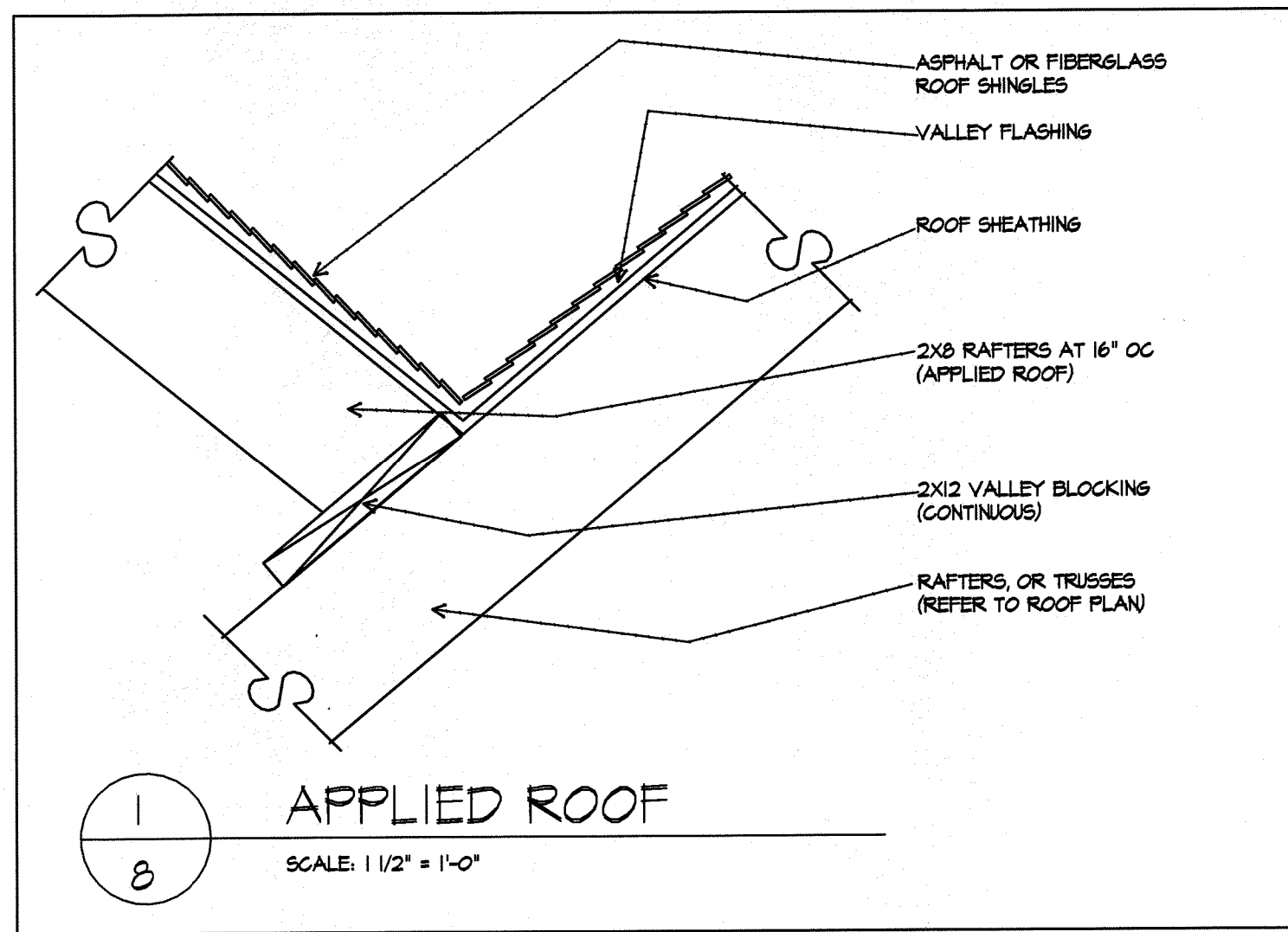
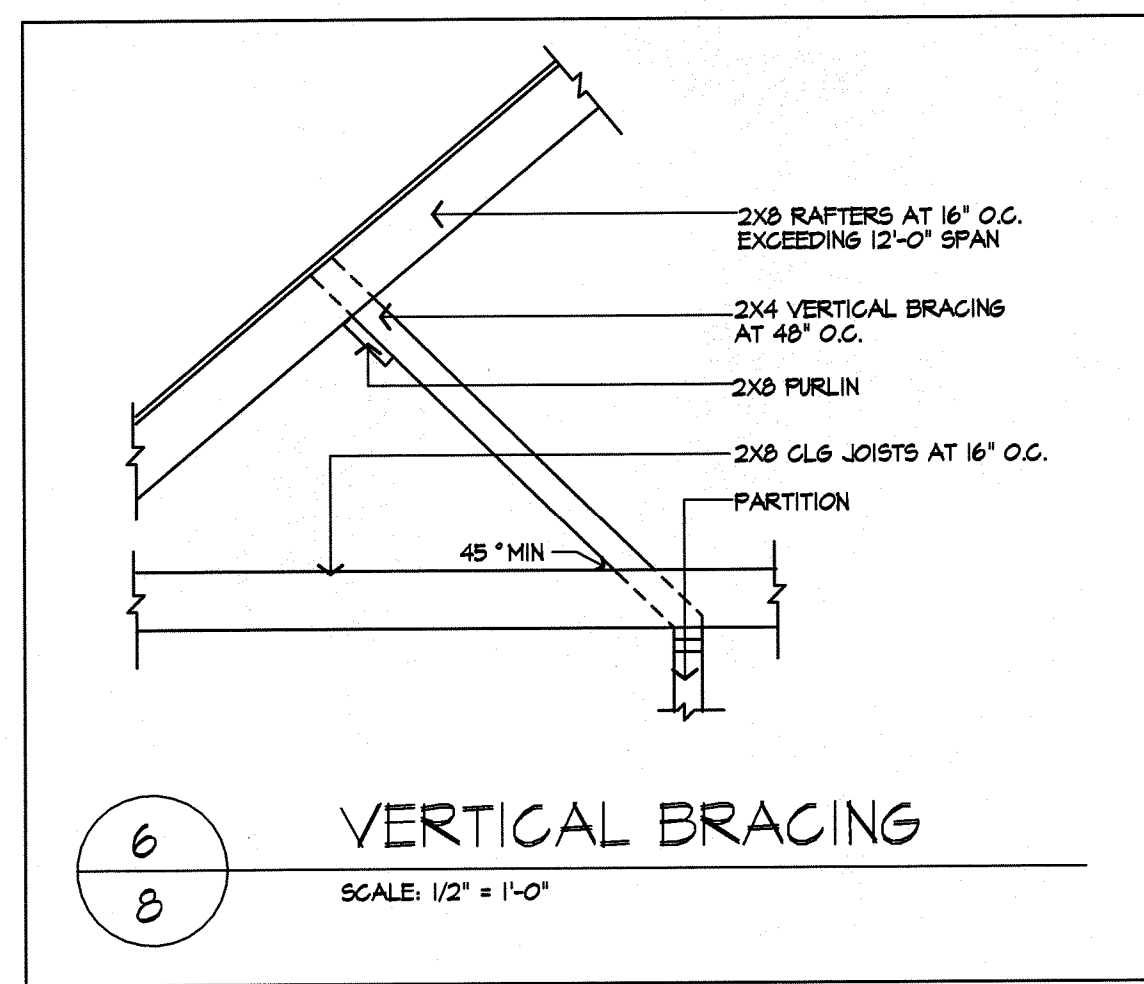


TABLE N102.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMES AND SUBSTANTIAL CONTACT AND CONTIGUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL AIR PERMEABLE INSULATION IS INSIDE OF AN AIR BARRIER
CEILINGS/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMS AND FRAMING IS SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION
CRAWL-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS EXPOSED EARTH IN INVENTED CRAWL SPACES IS COVERED WITH CLASS II VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLEX SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT, OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO WALL. EXCEPTION: FIXTURES IN UNCONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES BATT INSULATION IS CUT TO FIT AROUND WIRING AND BEHIND PIPING AND WIRING
SHOWERS OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXISTING WALL
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED
COMMON MALL	AIR BARRIER IS INSTALLED IN COMMON MALL BETWEEN DWELLING UNITS
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER

TYPICAL NOTES

- 1) DOOR MANUFACTURER: ANDERSEN OR EQUAL
- 2) WINDOW AND DOOR AIR INFILTRATION ANDERSEN WINDOWS; OR EQUAL
DOUBLE HUNG: 0.30 CFM
CASEMENT, AWNING, FIXED: 0.05 CFM
DOORS: 0.30 CFM OR LESS
SLIDING: 0.10 CFM
INSWINGING HINGED: 0.15 CFM
- 3) GAS FIREPLACES: HEAT-N-GLO 6000C DIRECT VENT
*TIGHT FITTING NON-COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
- 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- 5) CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2x6 FRAMED WALLS: KRAFT BATTS
- 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 100F OR BELOW 50F SHALL BE INSULATED TO A MINIMUM OF R-3.
- 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 408.2.2 OF THE 2010 ENERGY CONSERVATION CODE.
- 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-9. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

LIGHTING FIXTURE SCHEDULE

- OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE
 BASEMENT MINIMUM (5) 60 WATT FIXTURES
 STAIRWAYS MINIMUM (1) 60 WATT FIXTURE
 HALLWAYS MINIMUM (1) 120 WATT FIXTURE
 GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE
 LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE
 WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE
 POWDER ROOM MINIMUM (1) 120 WATT FIXTURE
 BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE
 DINETTE MINIMUM (1) 120 WATT FIXTURE
 KITCHEN MINIMUM (1) 120 WATT FIXTURE
 DINING ROOM MINIMUM (1) 120 WATT FIXTURE
 ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
 ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
 ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE
 GARAGE MINIMUM (2) 60 WATT FIXTURES

LIGHTING FIXTURE CONTROL NARRATIVE

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICES. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH AT LEAST ONE POINT OF CONTROL. SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICES.

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

RSB.1 LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

RSB.4.2 REQUIRED LOCATIONS: CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA. WITHIN 5 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

MORABITO ARCHITECTS
 PATRICK J. MORABITO, AIA, ARCHITECT, P.C.
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 Pittsford, NY 14534

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(Professional Seal)

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PROJECT:
 PORTANOVA & LOCE LOT 11 THE COTTAGES AT HALVERSHILLS

CLIENT:
 KETHAM DEVELOPMENT CORP
 BUILDER

DRAWING:
 WALL SECTIONS

DRAWN: MSM
CHECKED: P.M

DATE: OCTOBER 2020
SCALE: 1/4"=1'-0"

JOB NO.: 2019480
SHEET:

8
 OF 8 SHEETS

(Professional Seal)



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MARCH 3, 2014

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PROJECT:
MODEL HOME
LOT 5 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KETMAR DEVELOPMENT CORP
BUILDER

DRAWING:
1ST FLOOR PLAN

DRAWN: M.S.M.
CHECKED: P.J.M.

DATE: MARCH 2014

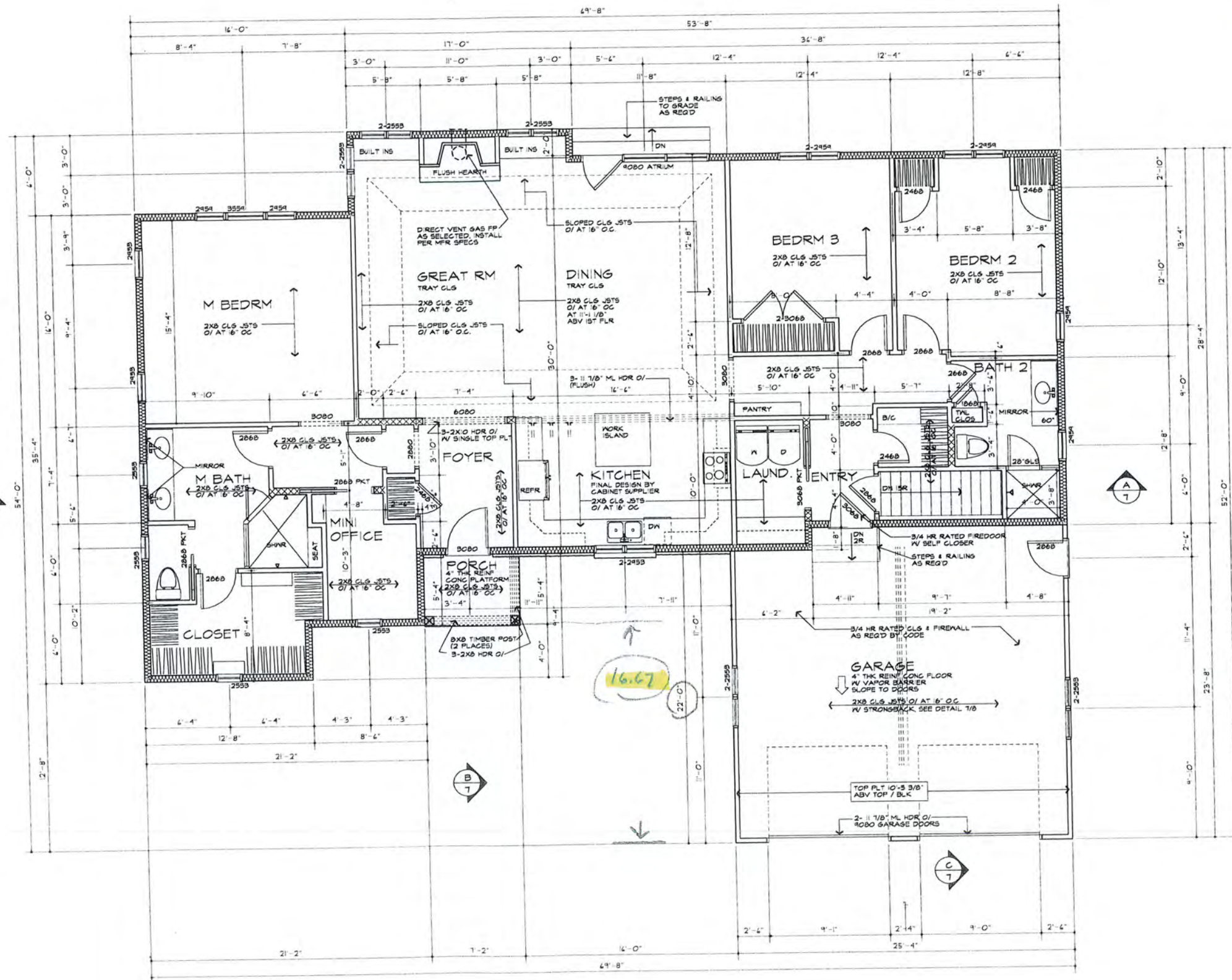
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JOB NO.: 14M9364

SHEET:

5

OF 8 SHEETS



SMOKE & CARBON MONOXIDE ALARM LOCATIONS

RB311 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

RB312 REQUIRED LOCATIONS CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 3 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 3 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X6	(2) 2X6
7'-0"	(3) 2X6	(2) 2X6
8'-0"	(3) 2X6	(2) 2X6

NOTE: PROVIDE (2) 1/2" PLY WD. GUSSETS - 2X6 WALL
PROVIDE (1) 1/2" PLY WD. GUSSETS - 2X4 WALL
GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16" O.C. IN INSULATION		(3) STUDS SUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP PLTS
	2X6 STUDS AT 8" O.C. (INTERIOR WALL)		PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"
	2X4 STUDS @ 16" O.C.		

(S) CUSTOM WINDOW SIZES ARE TO BE VERIFIED BY FIELD MEASUREMENTS

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HOR. CONNECTIONS

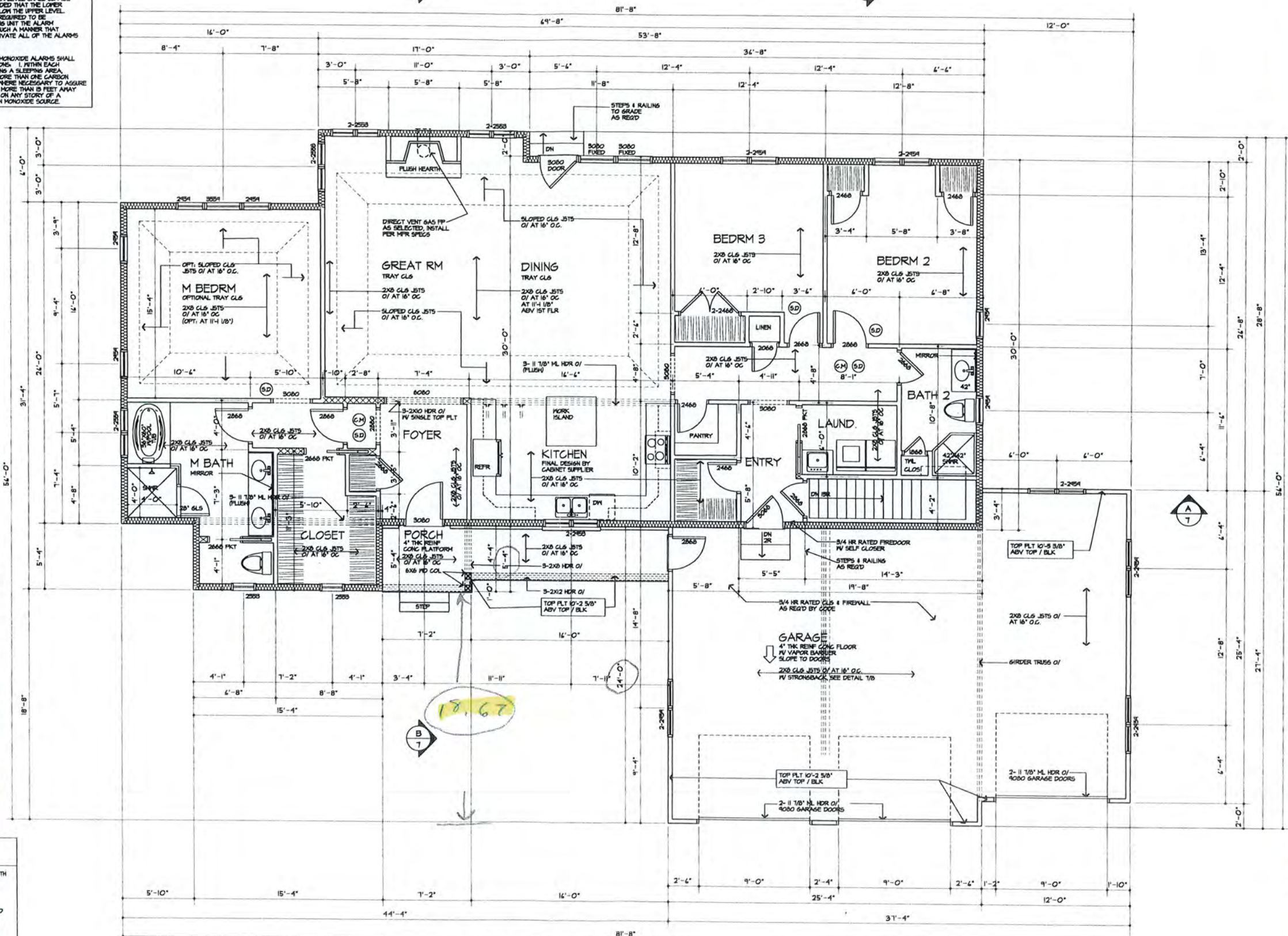
FLOOR PLAN 15 Hawkstone / Lot #11
AREA: 2191 SQ FT



SMOKE & CARBON MONOXIDE ALARM LOCATIONS

- RS10.1** LOCATIONS SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING BARRIER BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- RS10.2** REQUIRED LOCATIONS CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

3 Hawkstone / Lot 1



HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENING	2X6 MALL	2X4 MALL
UP TO 4'-0"	(2) 2X6	(2) 2X6
3'-0"	(2) 2X6	(2) 2X6
6'-0"	(2) 2X6	(2) 2X6
7'-0"	(2) 2X6	(2) 2X2
8'-0"	(2) 2X2	(2) 2X2

NOTE: PROVIDE (2) 1/2" PLY. HD. GUSSETS - 2X6 MALL
PROVIDE (1) 1/2" PLY. HD. GUSSETS - 2X4 MALL
GLUE AND NAIL ALL HEADERS

WALL LEGEND

2X6 STUDS AT 16" O.C. W/ INSULATION	(2) STUDS 6/16 AND NAIL WITH SOLID BEARING BELOW - CHIT TOP PLTS
2X6 STUDS AT 16" O.C. (INTERIOR WALL)	PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"
2X4 STUDS @ 16" O.C.	

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

WINDOW FALL PROTECTION
RS10.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS RS10.2.1 AND RS10.2.2.

RS10.2.1 WINDOW SILLS
IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION RS10.2.2.

RS10.2.2 WINDOW OPENING CONTROL DEVICES
WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE WINDOW, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION RS10.2.1.

6AS F.P. NOTE:
TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.

PLUMBING NOTE:
THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS.

FLOOR PLAN
AREA: 2142 SQ FT

PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R807.1. LOCATION TO BE DETERMINED BY BUILDER/OWNER.

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04/05/2017 MSH

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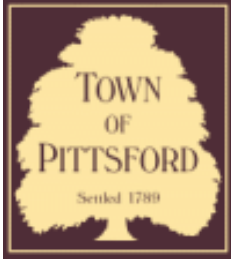
PROJECT:
MODEL HOME LOT 1 THE COTTAGES AT MALVERN HILLS

CLIENT:
KETHAN DEVELOPMENT CORP. BUILDER

DRAWING:
1ST FLOOR PLAN

DRAWN:	CHECKED:
MSH	PLM

DATE: AUGUST 2017
SCALE: 1/4"=1'-0"
JOB NO.: 1703616
SHEET:



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000176

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 16 Hawkstone Way PITTSFORD, NY 14534

Tax ID Number: 178.03-4-12

Zoning District: RN Residential Neighborhood

Owner: Ketmar Development Corp

Applicant: Ketmar Development Corp

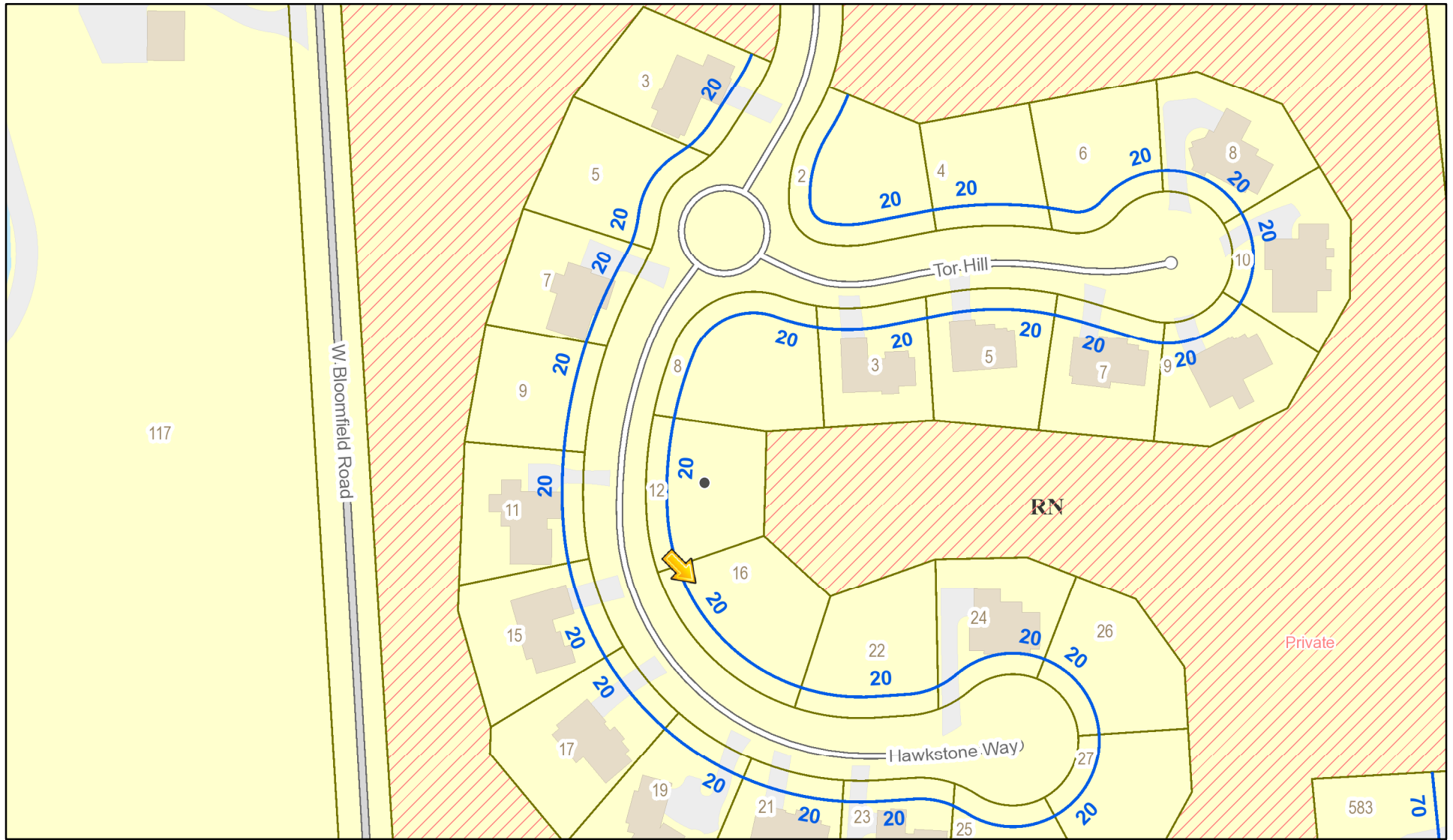
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

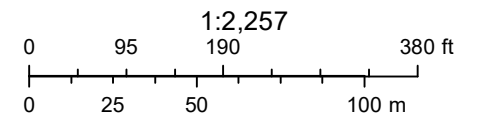
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2197 square feet and will be located in the Cottages of Malvern Hills.

Meeting Date: October 22, 2020

RN Residential Neighborhood Zoning

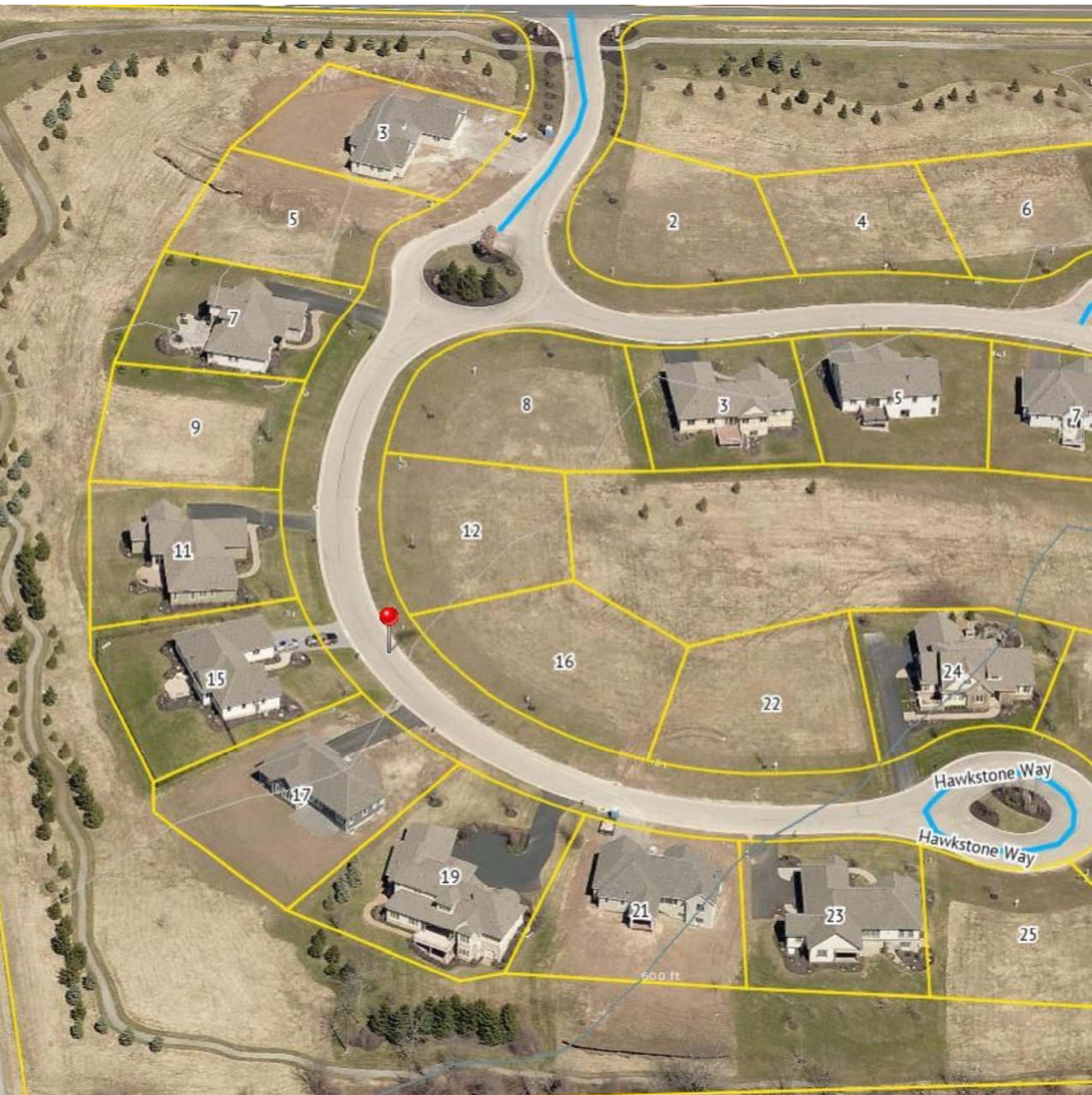


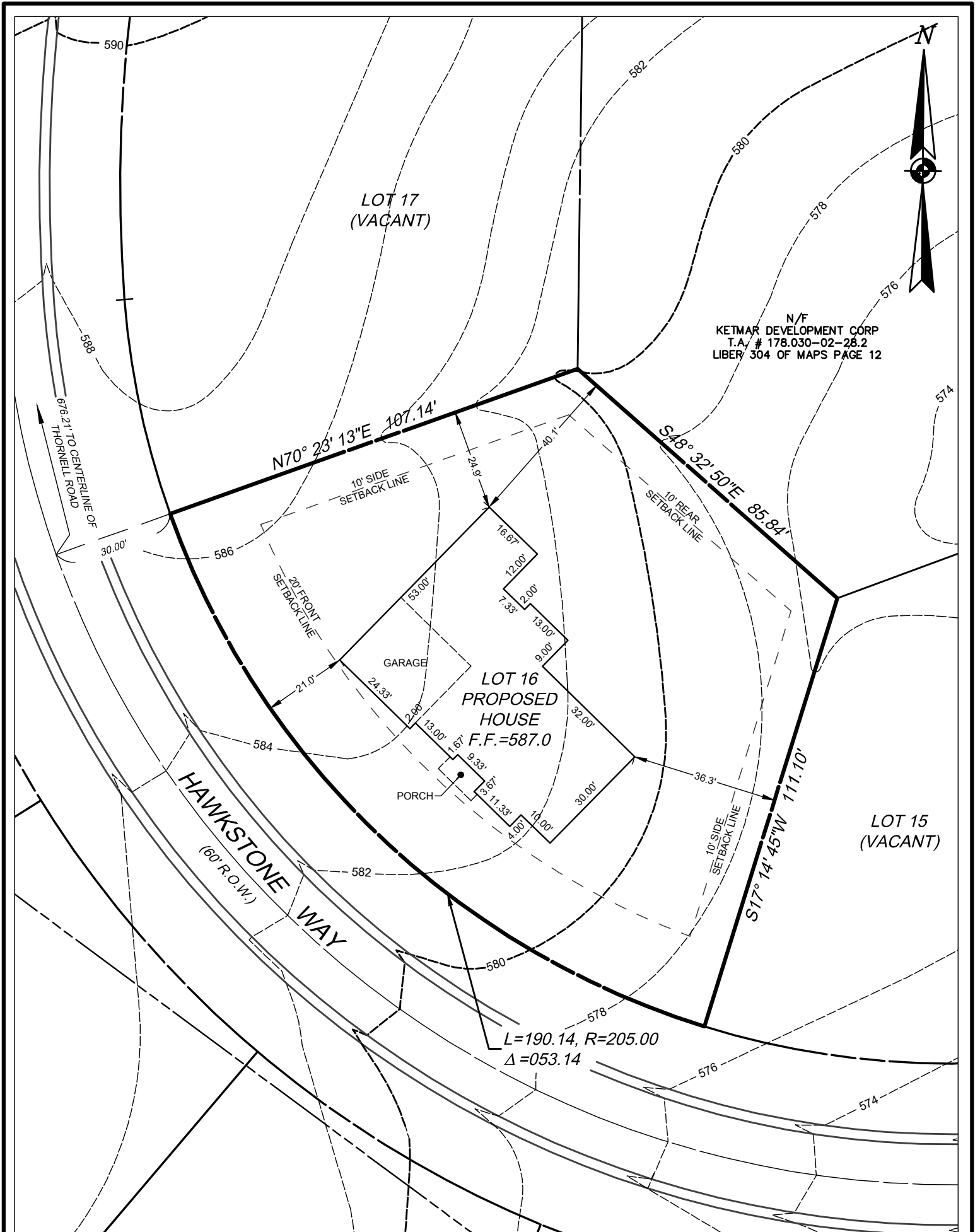
Printed October 15, 2020



Town of Pittsford GIS

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N/F
 KETMAR DEVELOPMENT CORP
 T.A. # 178.030-02-28.2
 LIBER 304 OF MAPS PAGE 12

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"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be a valid true copy."

- NOTES:
1. CONTOURS SHOWN PER FINISH GRADES ON PROJECT GRADING PLAN
 2. 20' FRONT SETBACK
 3. 10' REAR SETBACK
 4. 10' SIDE SETBACK SHOWN.
 (FILED PLANS ALLOW FOR 5' MINIMUM SIDE SETBACK WITH MINIMUM 20' BUILDING SEPARATION)

APPROVED BY:
 DWG FILE: H:\job\4219\Plot Plans\20171030_Cottages at Malvern_Lot 16.dwg
 PLOTTED: Oct 08, 2020 - 1:21PM



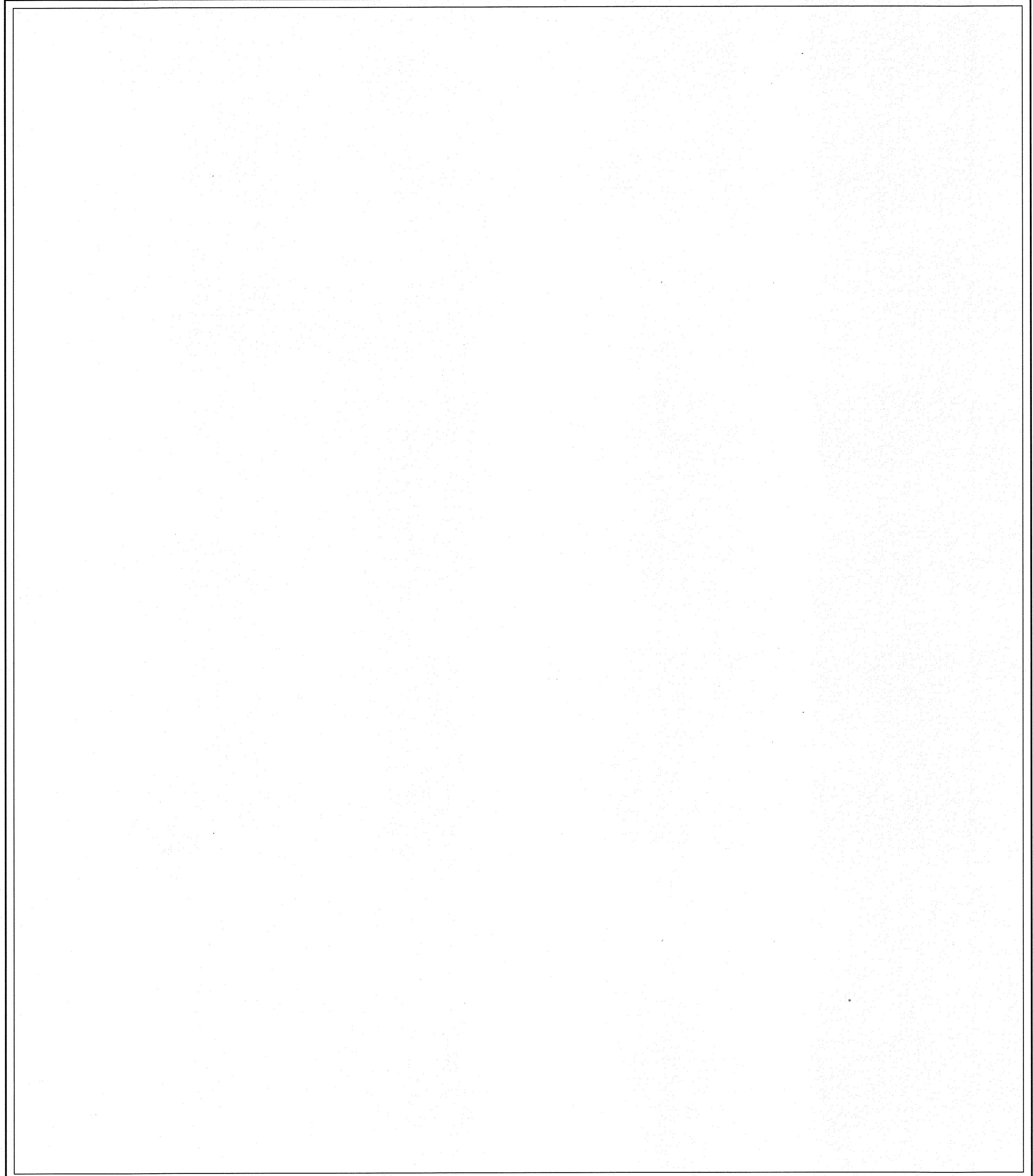
COSTICH ENGINEERING
 217 LAKE AVENUE
 ROCHESTER, NEW YORK 14608
 (585) 458-3020

H:\JOB\

PLOT PLAN	
SUBDIVISION: COTTAGES AT MALVERN HILLS	LOT NUMBER: 16
TOWN: PITTSFORD	COUNTY: MONROE
SCALE: 1"=30'	STATE: NEW YORK
DATE: OCTOBER 2020	DWG. NUMBER: 4219-16-PLOT

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A992, SHOP-PRIME PAINT TT-P-20, TT-P-810, TT-P-88, FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHINGS SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S WET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R901.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R901.4 OF THE BUILDING CODE OF NEW YORK STATE (2020).
- PROVIDE A MIN. 5/4 HR. FIRE SEPARATION PER SECTION R501.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



RABINOWITZ / WARNICK RESIDENCE
LOT 16 THE COTTAGES AT MALVERN
KETMAR DEVELOPMENT CORP

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
5	1ST FLOOR PLAN
6	ROOF PLAN
7	BUILDING SECTIONS
8	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH
 MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
 R402.1.2 (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5


COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	4.9	4.9
3. WOOD FRAME WALL R-VALUE	20 OR 19+5	HIGH DENSITY 2" 2I/BAND JS1
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1022.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1105.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1105.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1022.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1105.2.1
- MECHANICAL VENTILATION PER SECTION 1105.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1105.7.3.5 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1105.6.1
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1105.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R501.2 (5)
- WIND SPEED - 115 MPH EXPOSURE B R501.2.1
- SEISMIC DESIGN CATEGORY - A R501.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 100
- ROOF TIE DOWN REQUIREMENTS R502.1.1



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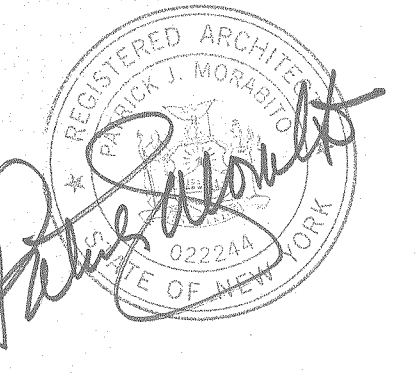
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10/12/2020

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PROJECT:
 RABINOWITZ / WARNICK RESIDENCE
 LOT 16 THE COTTAGES AT MALVERN HILLS

CLIENT:
 KETMAR CUSTOM HOMES

DRAWING:
 TITLE PAGE

DRAWN: PJM / MSM	CHECKED: PJM
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DATE: SEPTEMBER 2020


SCALE: 1/4"=1'-0"

JOB NO.: 2009481

SHEET:

1

OF **8** SHEETS





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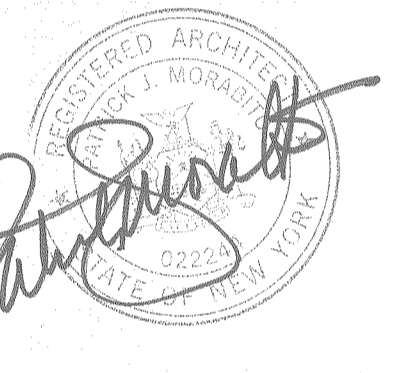
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PROJECT:
RABINOWITZ / HARNICK RESIDENCE
LOT 16 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KETHMAR CUSTOM HOMES

DRAWING:
FRONT / LEFT SIDE ELEVATIONS

DRAWN: PJM / MSM	CHECKED: PJM
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DATE: SEPTEMBER 2020

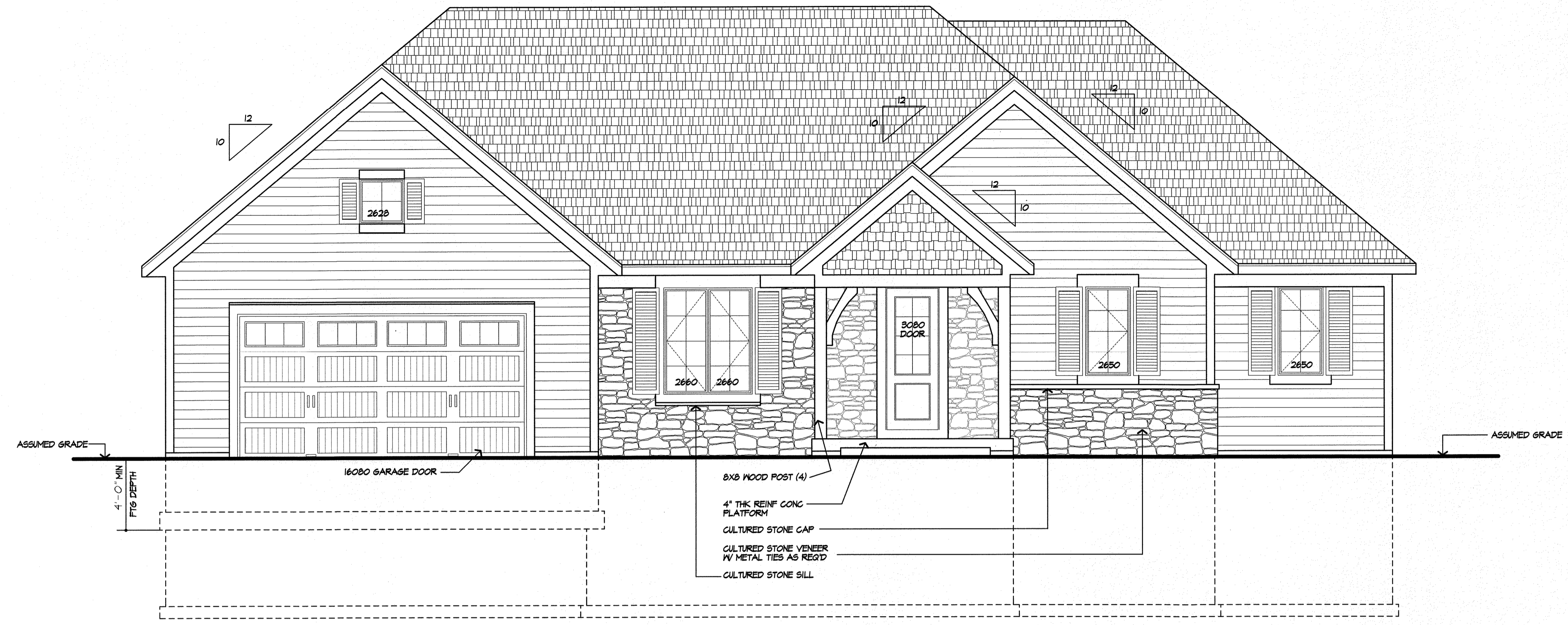
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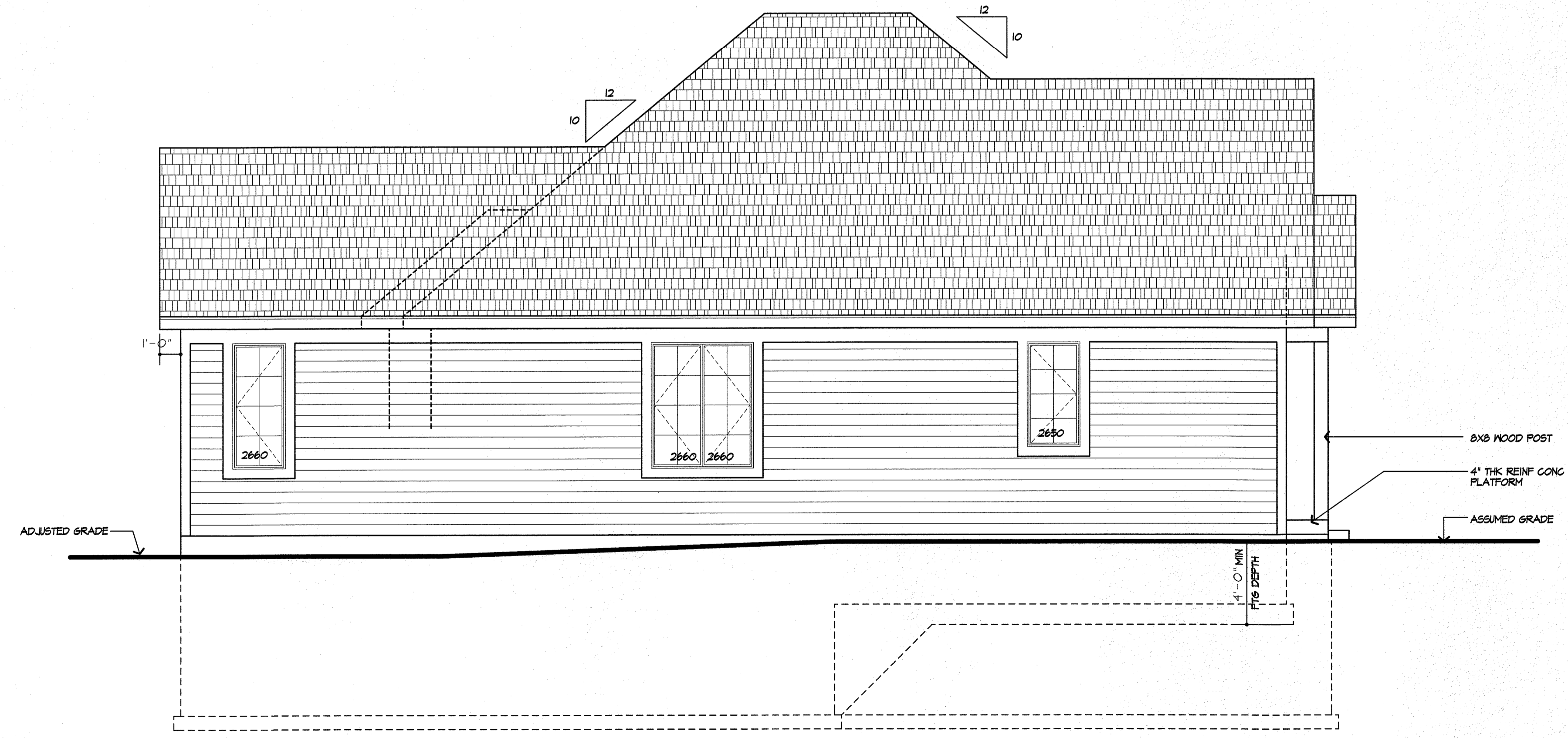
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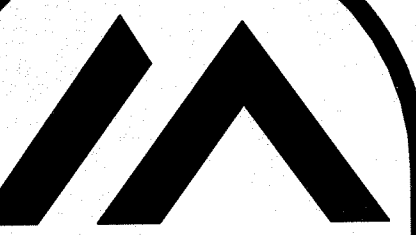
FRONT ELEVATION/ LOT 16 THE COTTAGES AT MALVERN

AREA: 2197 SQ FT

- UNLESS OTHERWISE NOTED
- ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES
 - ROOF VENTING: CONTINUOUS RIDGE VENT
 - FASCIAS: 8"
 - FRIEZEBDS: 8"
 - CORNERBDS: 6"
 - CASINGS: 6"
 - SIDING: HORIZ, AS SELECTED
 - OVERHANGS: 1'-4"
 - RAKE OVERHANGS: 1'-4"
 - MIN FTG. DEPTH: 4'-0"
 - CL6 HT:
 - 1ST FLOOR: 9'-1 1/8"
 - WINDOW UNIT HT:
 - 1ST FLOOR: 8'-0"
 - WINDOW MFR: ANDERSEN 100 OR EQUAL (PROVIDE SAFETY GLAZING PER R.908.4)



LEFT SIDE ELEVATION



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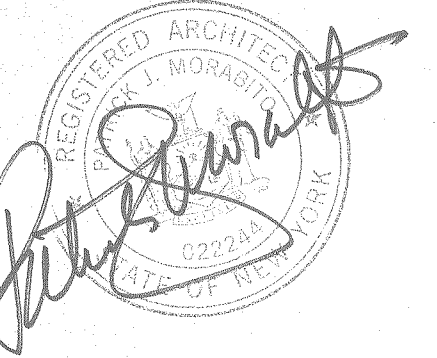
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PROJECT:
RADKOWITZ / MARINICK RESIDENCE
LOT 16 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KETHMAR CUSTOM HOMES

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN: P.J.M. / M.S.M. **CHECKED:** P.J.M.

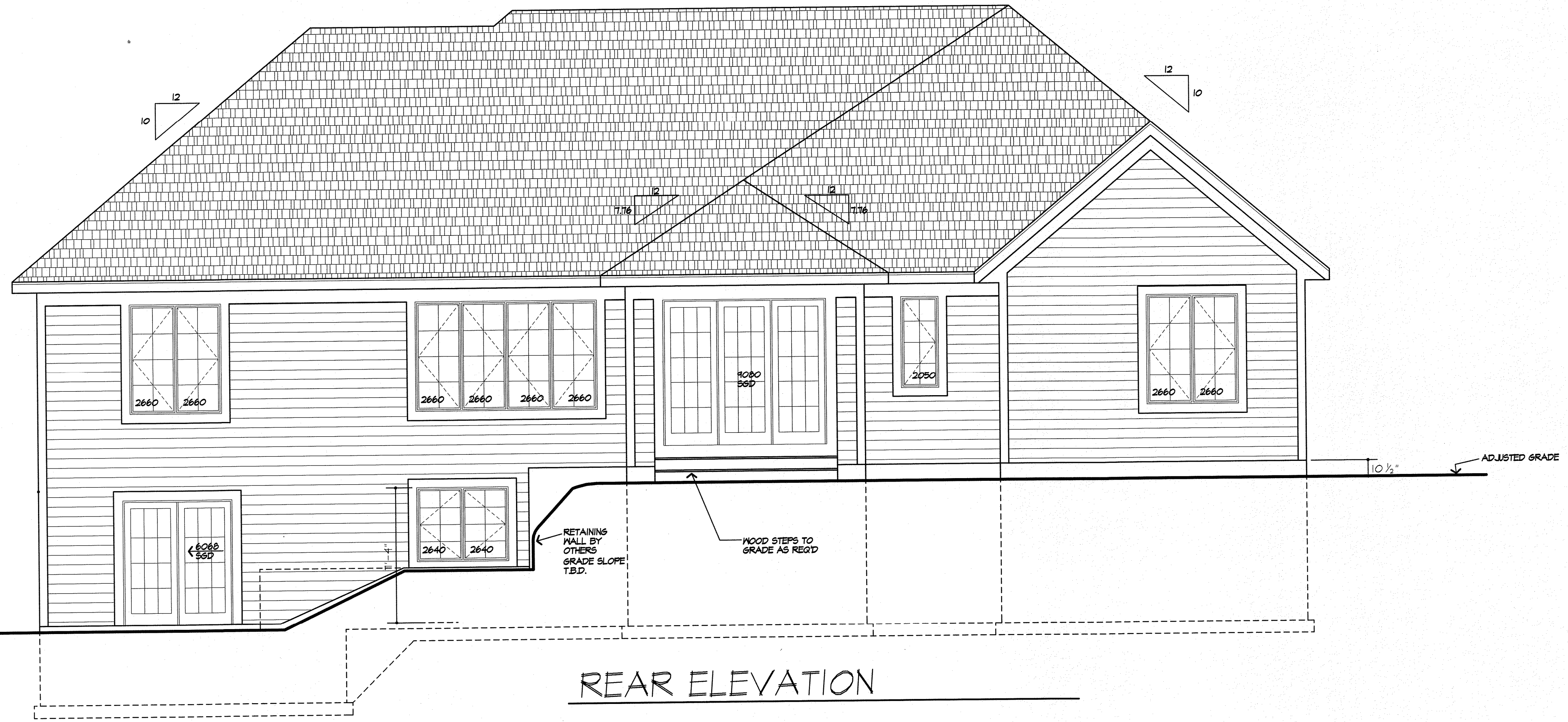
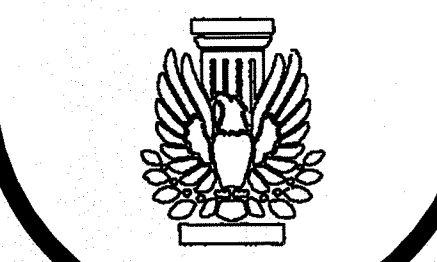
DATE: SEPTEMBER 2020

SCALE: 1/4"=1'-0"

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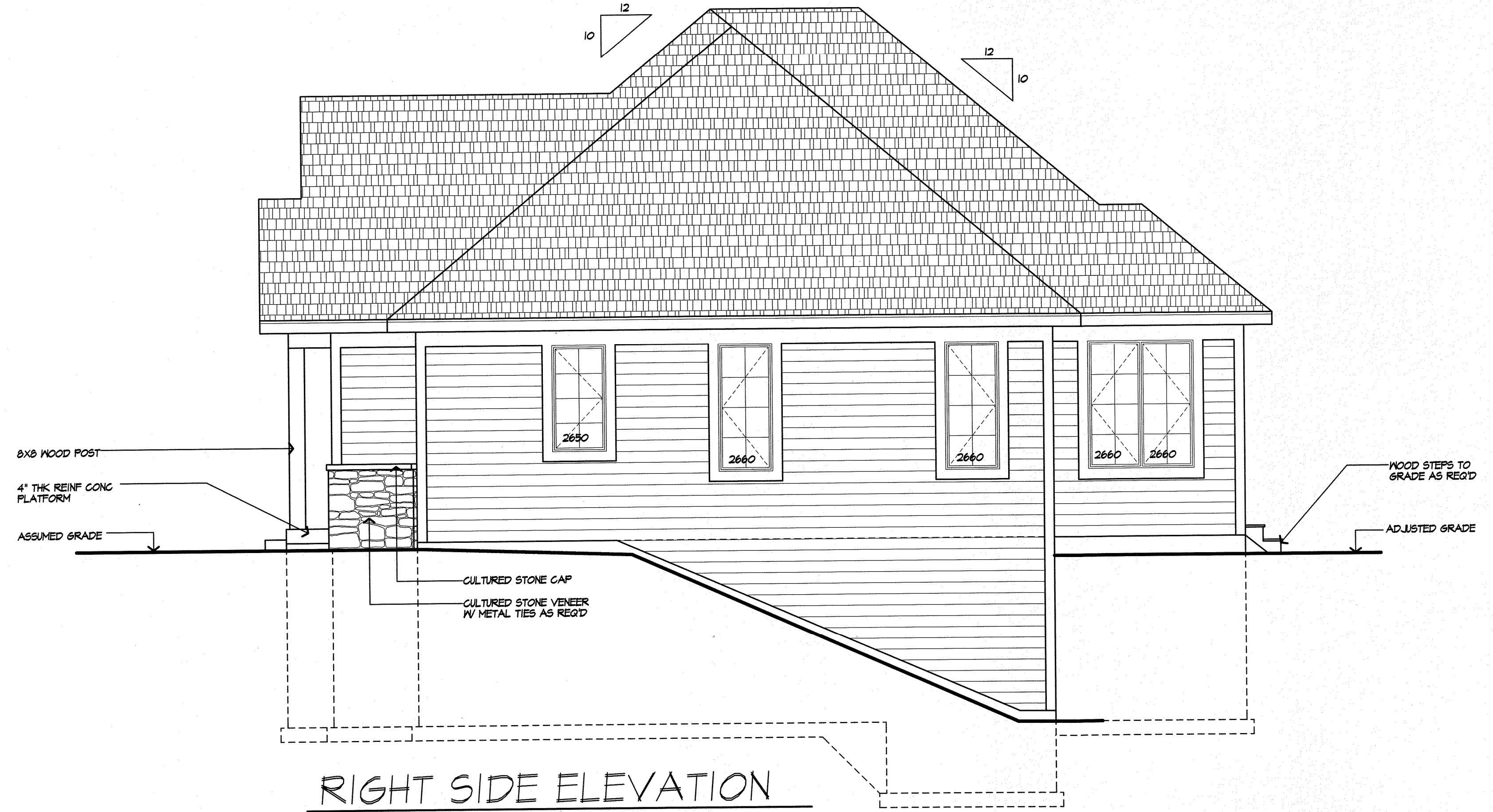
3
OF **8** SHEETS



REAR ELEVATION

UNLESS OTHERWISE NOTED

ROOFING:	25 YR GUARANTEE ASPHALT SHINGLES
ROOF VENTING:	CONTINUOUS RIDGE VENT
FASCIAS:	8"
FRIEZEBOS:	8"
CORNERBOS:	6"
CASINGS:	6"
SIDING:	HORIZ. AS SELECTED
OVERHANGS:	1'-4"
RAKE OVERHANGS:	1'-4"
MIN FTG. DEPTH:	4'-0"
CLS HT:	
1ST FLOOR:	9'-1 1/8"
WINDOW UNIT HT:	
1ST FLOOR:	8'-0"
WINDOW MFR:	ANDERSEN 100 OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)



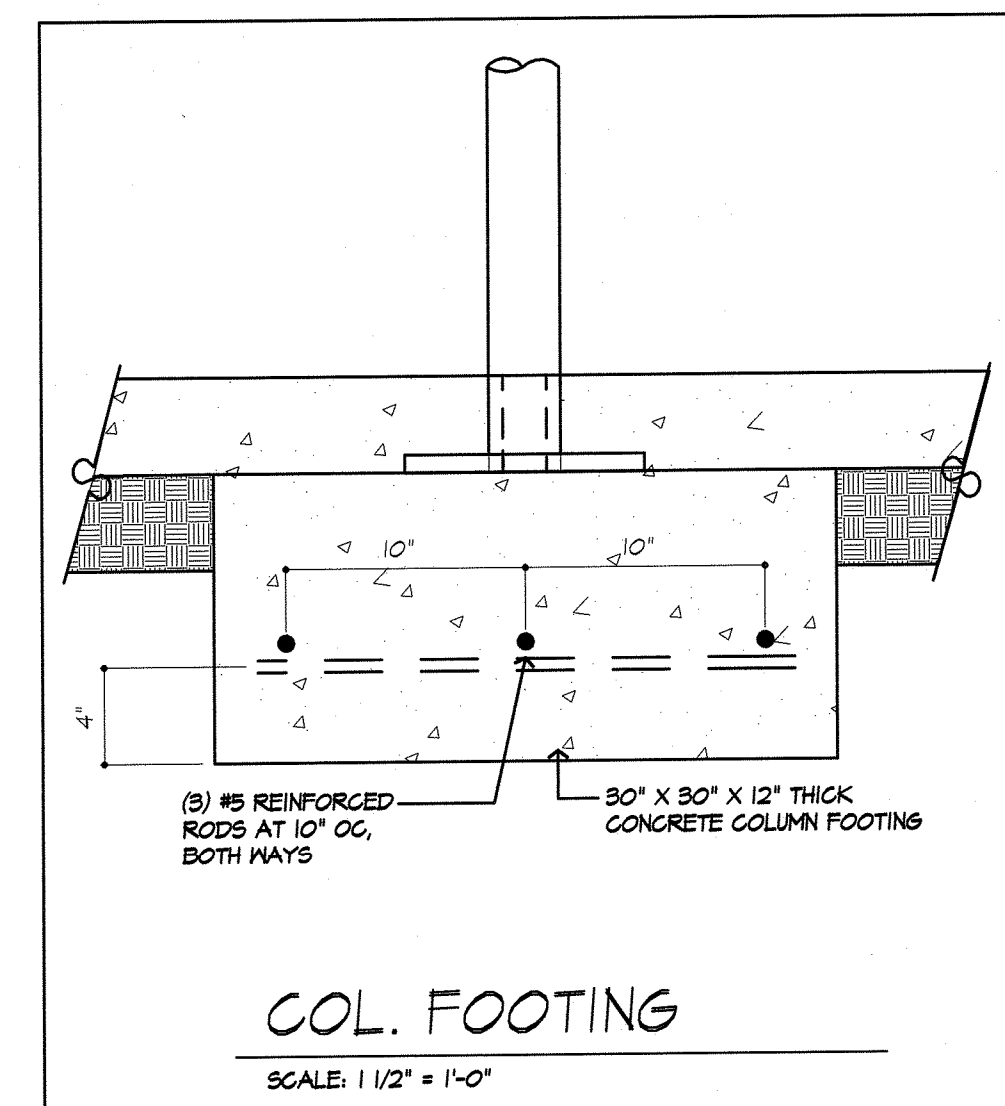
RIGHT SIDE ELEVATION

TABLE R404.1.1(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 7.5 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		SM, GP, SH AND SP SOILS S0	SM, GC, SM, SH-SC AND ML SOILS 45	SC, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-8"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.

FOR 3/4" INCH x 25.4 MM x 1 FOOT x 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT x 0.151 KPA/MM.

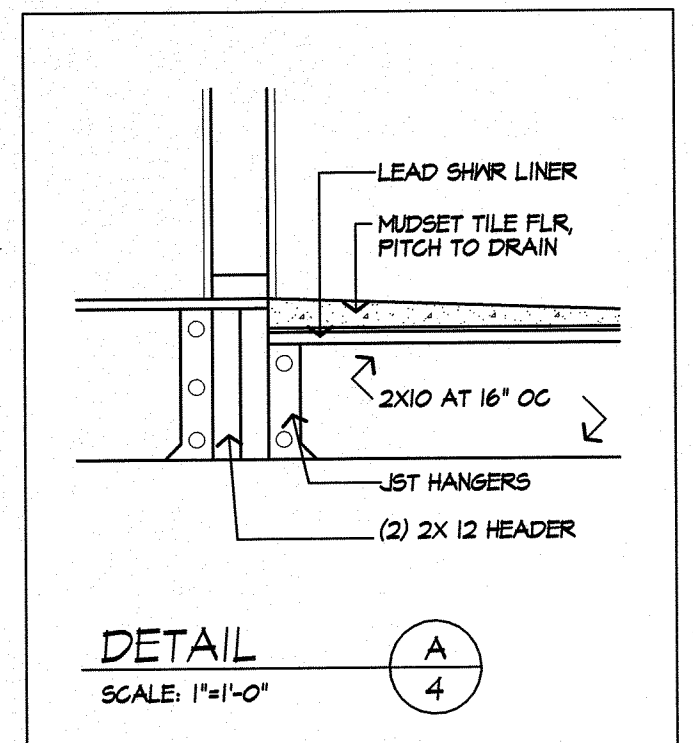
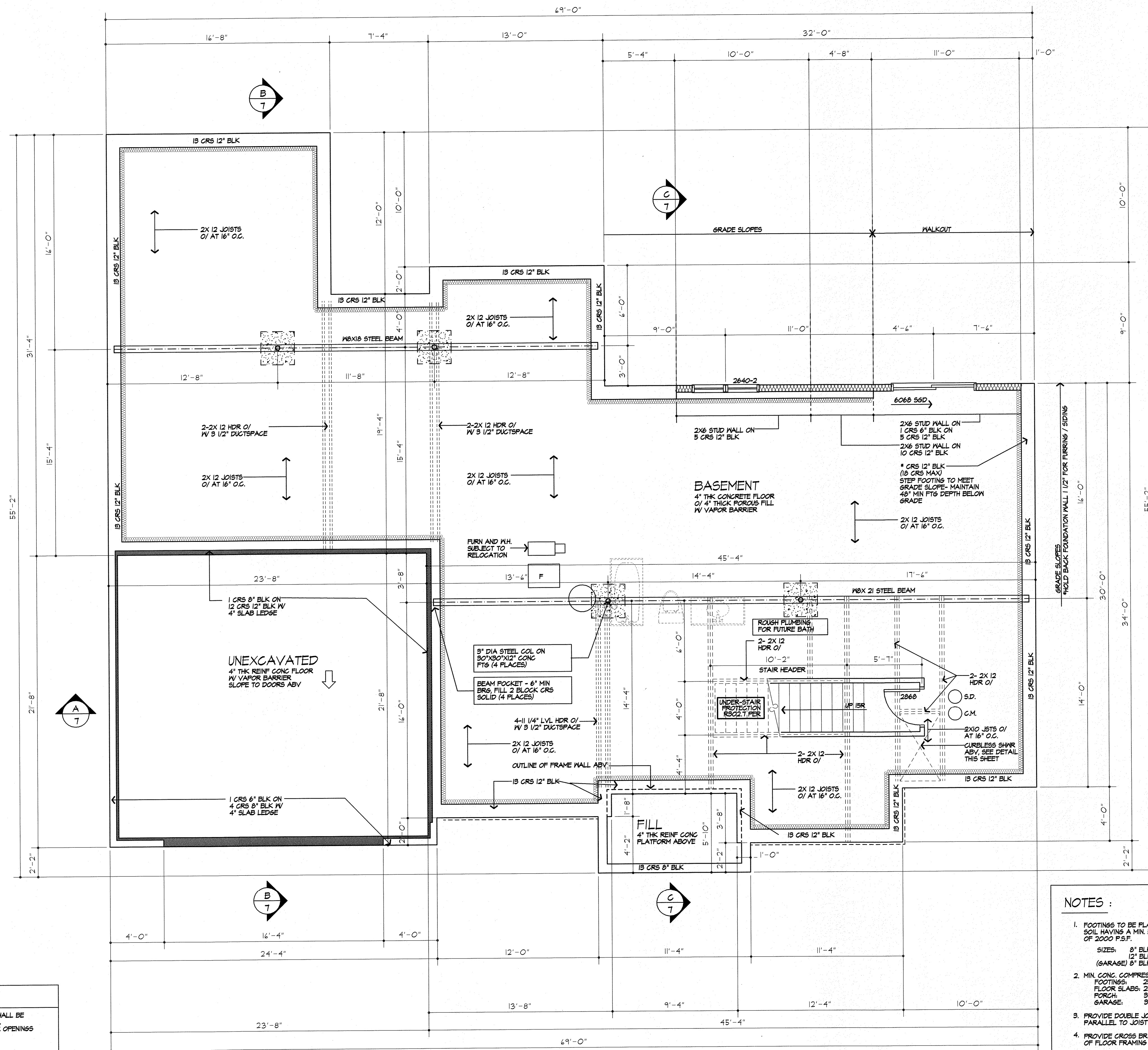
- MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.
- VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75 INCHES.
- SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R402.1.
- UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.



FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL, MEMBRANE OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

- EXCEPTIONS:
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION F2404, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
 - FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A GARAGE SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
 - PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
 - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M²) PER STORY.
 - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
 - WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.



- NOTES:**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
SIZES: 8" BLK - 16" WIDE X 8" THK.
12" BLK - 20" WIDE X 8" THK.
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
 - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.
FLOOR SLABS: 2500 P.S.I.
PORCH: 3500 P.S.I.
GARAGE: 3500 P.S.I.
 - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
 - PROVIDE CROSS BRIDGINS AT MID SPAN OF FLOOR FRAMING
 - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
 - REINFORCE BLOCK WALL PER SECTION R404 NYS RC 2020

STEPPED FOOTING NOTE:
R402.15 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)

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10/12/2020

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PROJECT:
RABINOWITZ / MARNICK RESIDENCE
LOT 16 THE COTTAGES
AT HALVERNS HILLS

CLIENT:
KETMAR CUSTOM HOMES

DRAWING:
BASEMENT / FOUNDATION PLAN

DRAWN: PJM / MSH	CHECKED: PJM
DATE: SEPTEMBER 2020	
SCALE: 1/4" = 1'-0"	
JOB NO.: 2019481	
SHEET: 4	

OF 8 SHEETS

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10/12/2020

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PROJECT:
 RABINOWITZ / MARNICK RESIDENCE
 LOT 16 THE COTTAGES
 AT MALVERN HILLS

CLIENT:
 KETHAR CUSTOM HOMES

DRAWING:
 FLOOR PLAN

DRAWN: PJM / MSM
CHECKED: PJM

DATE: SEPTEMBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2019-041

SHEET:

5
 OF 8 SHEETS

GAS F.P. NOTE:
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK

PLUMBING NOTE:
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1504.2
 EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1504.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	30	40	50	60	70	80	90	100	110	120	30	40	50	60	70	80	90	100	110	120
FAN AIRFLOW RATING CFM @ 0.25 INCH WG ΔP	50	80	100	125	150	200	250	300	350	400	50	80	100	125	150	200	250	300	350	400
DIAMETER (INCHES)	MAXIMUM LENGTH (FEET)																			
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
4	56	4	X	X	X	X	X	X	X	14	31	10	X	X	X	X	X	X	X	X
5	NL	61	42	16	2	X	X	X	X	82	41	51	28	4	X	X	X	X	X	X
6	NL	NL	58	41	35	15	7	X	X	NL	160	12	55	25	4	X	X	X	X	X
7	NL	NL	NL	NL	61	35	14	M	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL
8 AND ABOVE	NL	NL	NL	NL	NL	104	31	54	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL	NL

FOR 3/4" THROUGH 3/8" MH
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH AMUNKA 20-MINUTED-RATE 51
 B. FOR NONRIGID DUCTS, CALCULATE THE DIAMETER AS FROM THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
 C. THE TABLE ABOVE SHOWS THE MAXIMUM PERMITTED FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH FLOOR INSTALLED IN THE DUCT RUN
 D. NL = NO LIMIT ON LENGTH OF THIS SIZE
 E. X = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

WINDOW FALL PROTECTION
 R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1 AND R312.2.2

R312.2.1 WINDOW SILLS.
 IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING
 R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

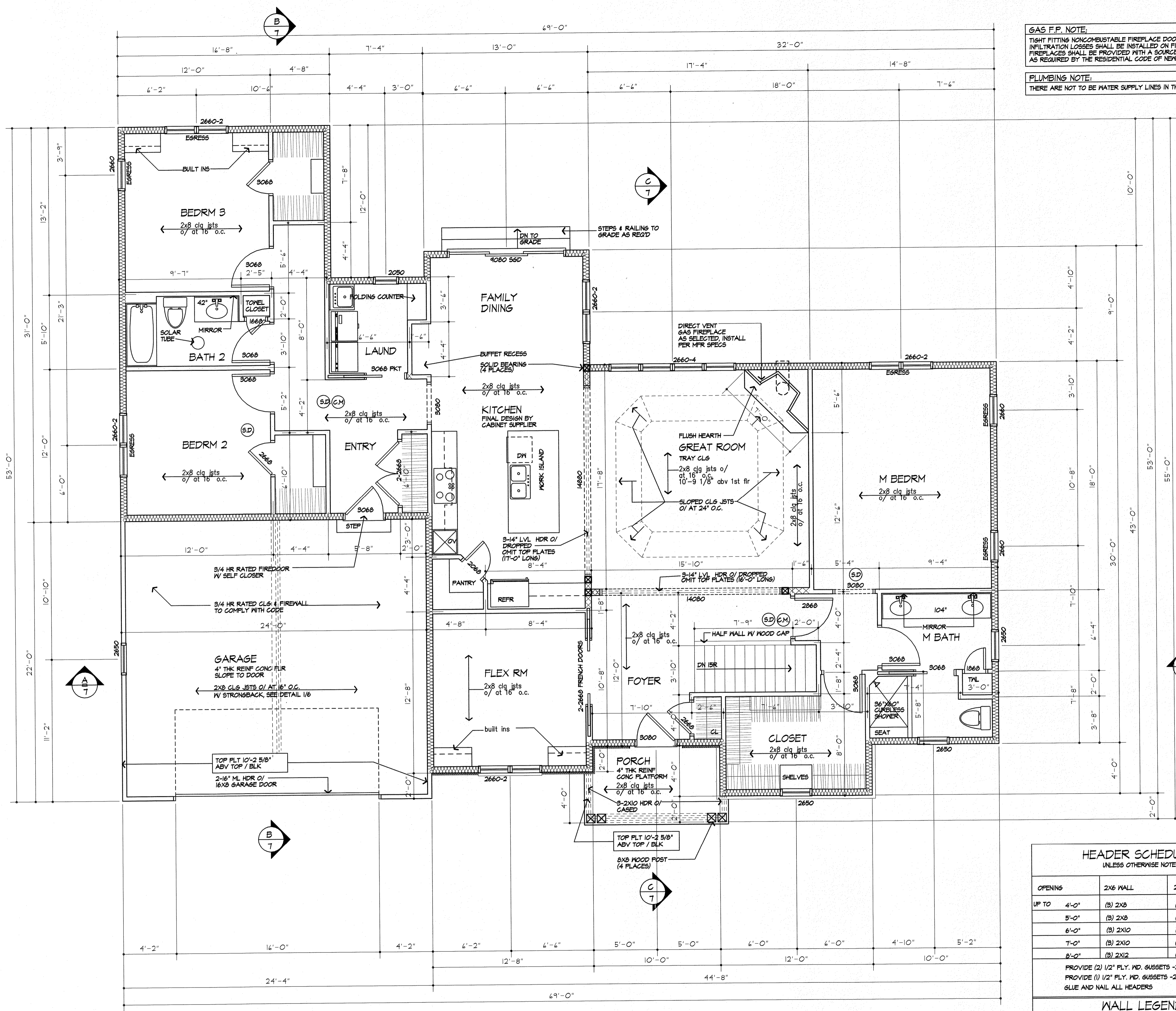
R308.41 GLAZING IN DOORS.
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
 2. DECORATIVE GLAZING

R308.42 GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS.
 GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDINGS AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
 EXCEPTIONS:
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
 R314/R315

R314.3 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 1. IN EACH SLEEPING ROOM.
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM.
 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



FLOOR PLAN
 AREA: 2197 SQ FT

HEADER SCHEDULE
 UNLESS OTHERWISE NOTED

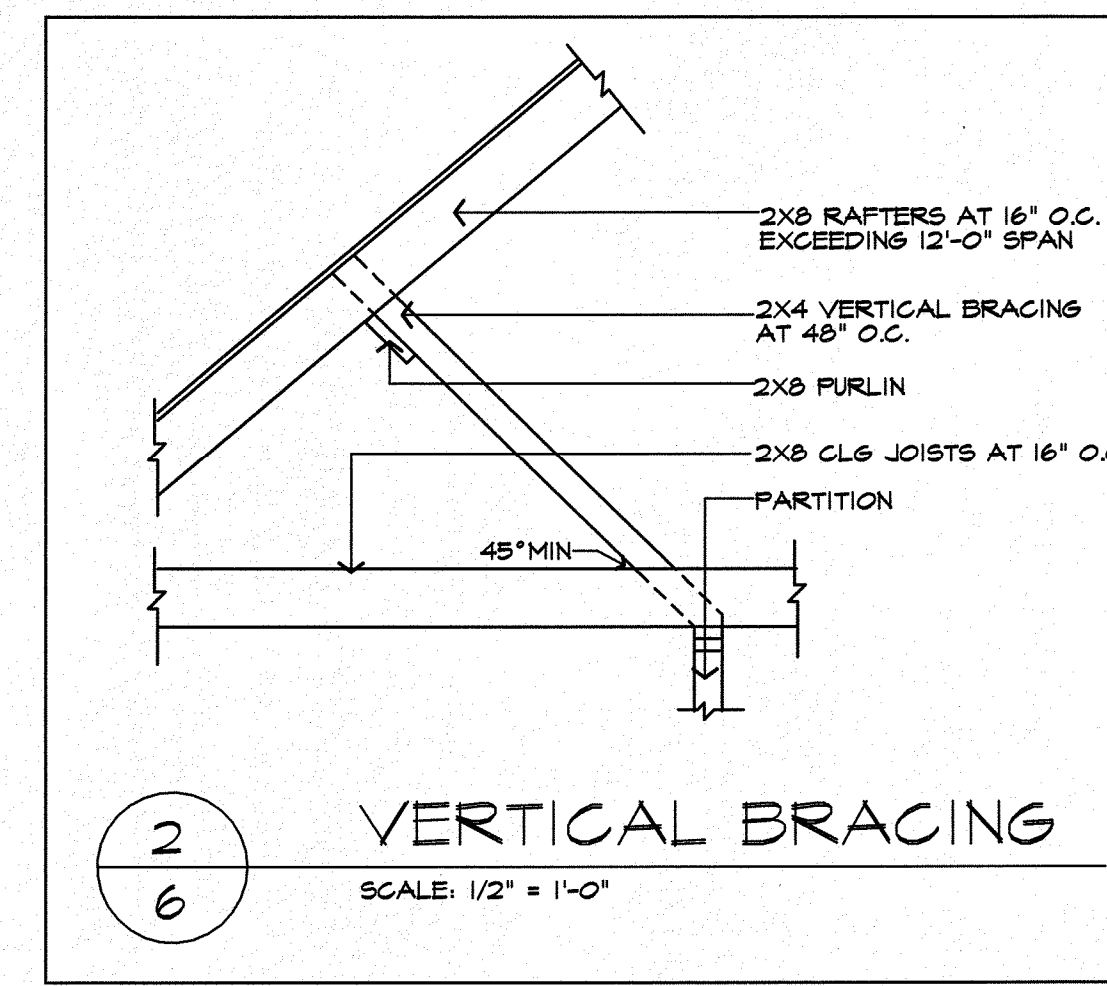
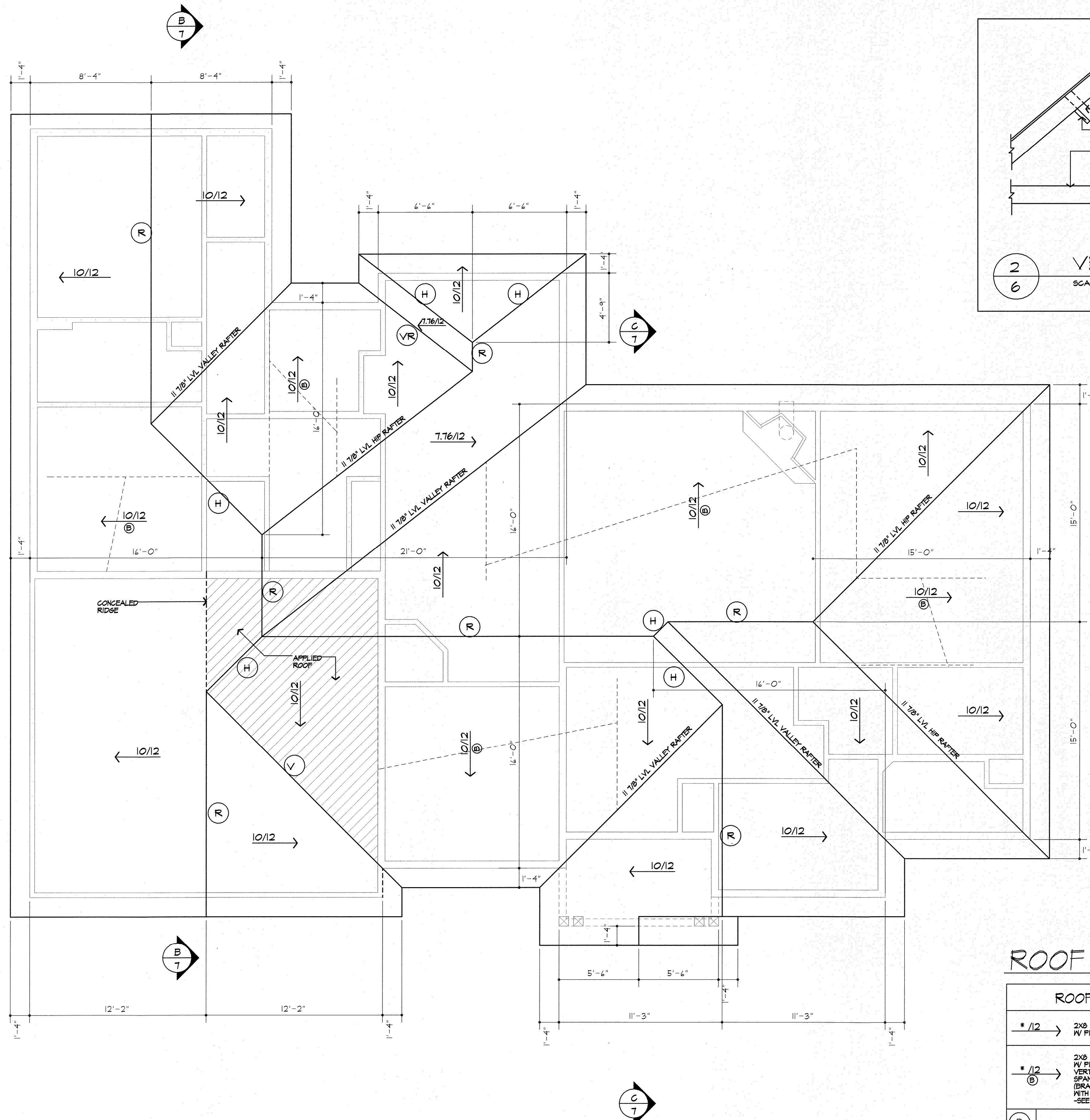
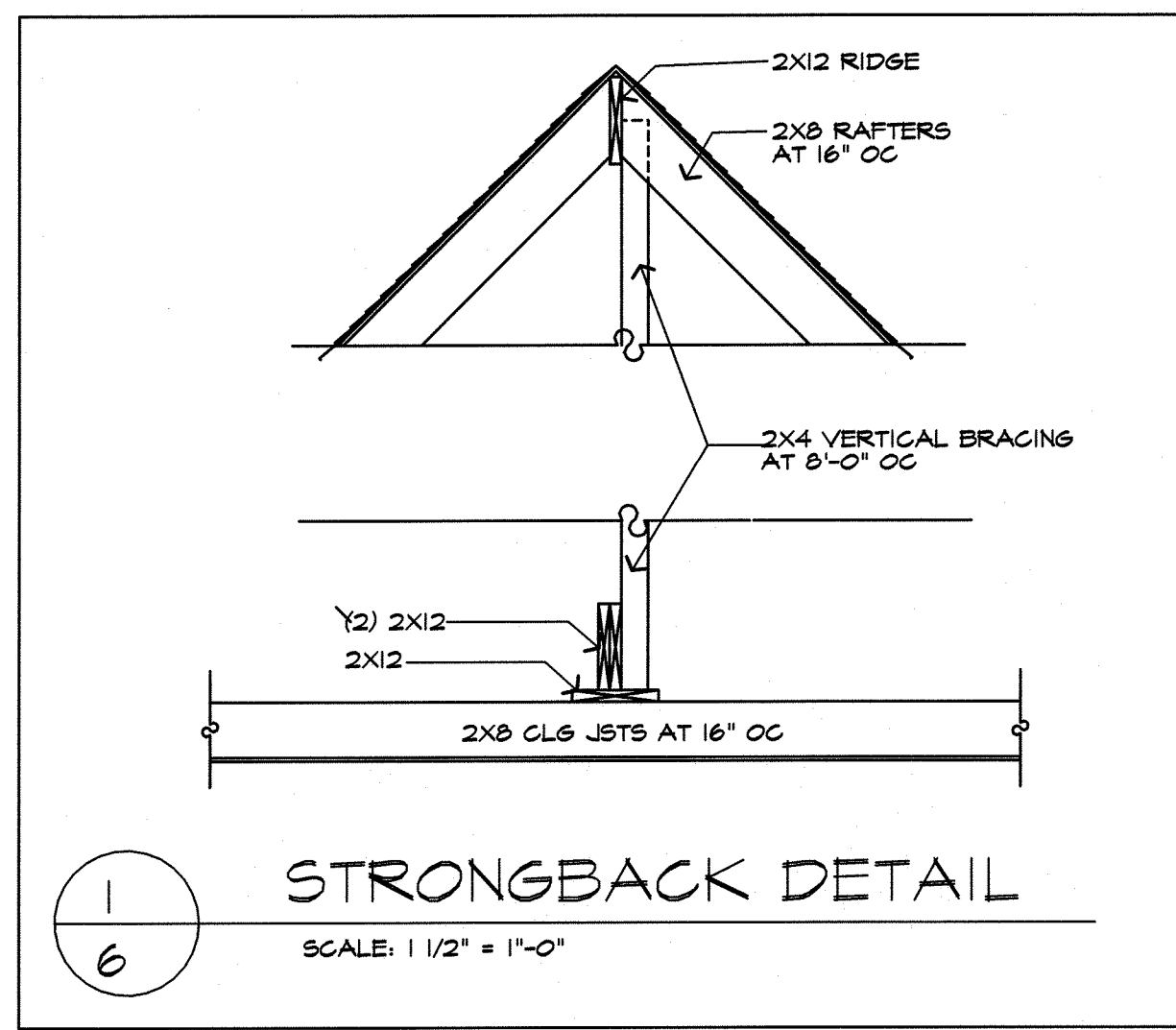
OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" FLY. WD. GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" FLY. WD. GUSSETS - 2X4 WALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16" OC W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X4 STUDS @ 16" OC		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS



ROOF PLAN

ROOF LEGEND	
10/12	2x8 RAFTERS AT 16" O.C. W/ PITCH NOTED
10/12 @	2x8 RAFTERS AT 16" O.C. W/ PITCH NOTED. "B" DENOTES VERTICAL BRACING AT RAFTER SPANS GREATER THAN 12'-0" (BRACING - 2x4'S AT 48" O.C. WITH 2x8 FURLIN) - SEE DETAIL 2/6
R	2x12 RIDGE BOARD
H	2x12 HIP RAFTER
VR	2x12 VALLEY RAFTER
V	APPLIED VALLEY - SEE DETAIL 1/8

*NOTE:
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER RES071.2 2000 RESIDENTIAL CODE OF NEW YORK STATE

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LOT 16 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KETMAR CUSTOM HOMES

DRAWING:
ROOF PLAN

DRAWN: PJM / MSM	CHECKED: PJM
----------------------------	------------------------

DATE: SEPTEMBER 2020


SCALE: 1/4" = 1'-0"

JOB NO.: 20MB481

SHEET:

6

OF 8 SHEETS



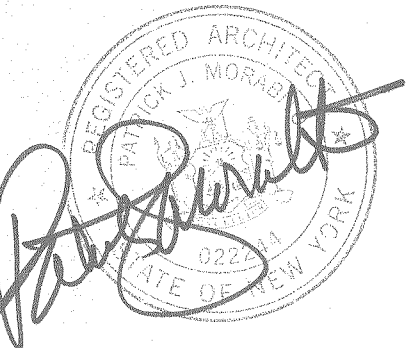
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PROJECT:
RABINOWITZ / MARRICK RESIDENCE
LOT 16 THE COTTAGES
AT MALVERN HILLS

CLIENT:
KETHAR CUSTOM HOMES

DRAWING:
BUILDING SECTIONS


DRAWN: PJM / MSM
CHECKED: PJM

DATE: SEPTEMBER 2020

SCALE: 1/4"=1'-0"

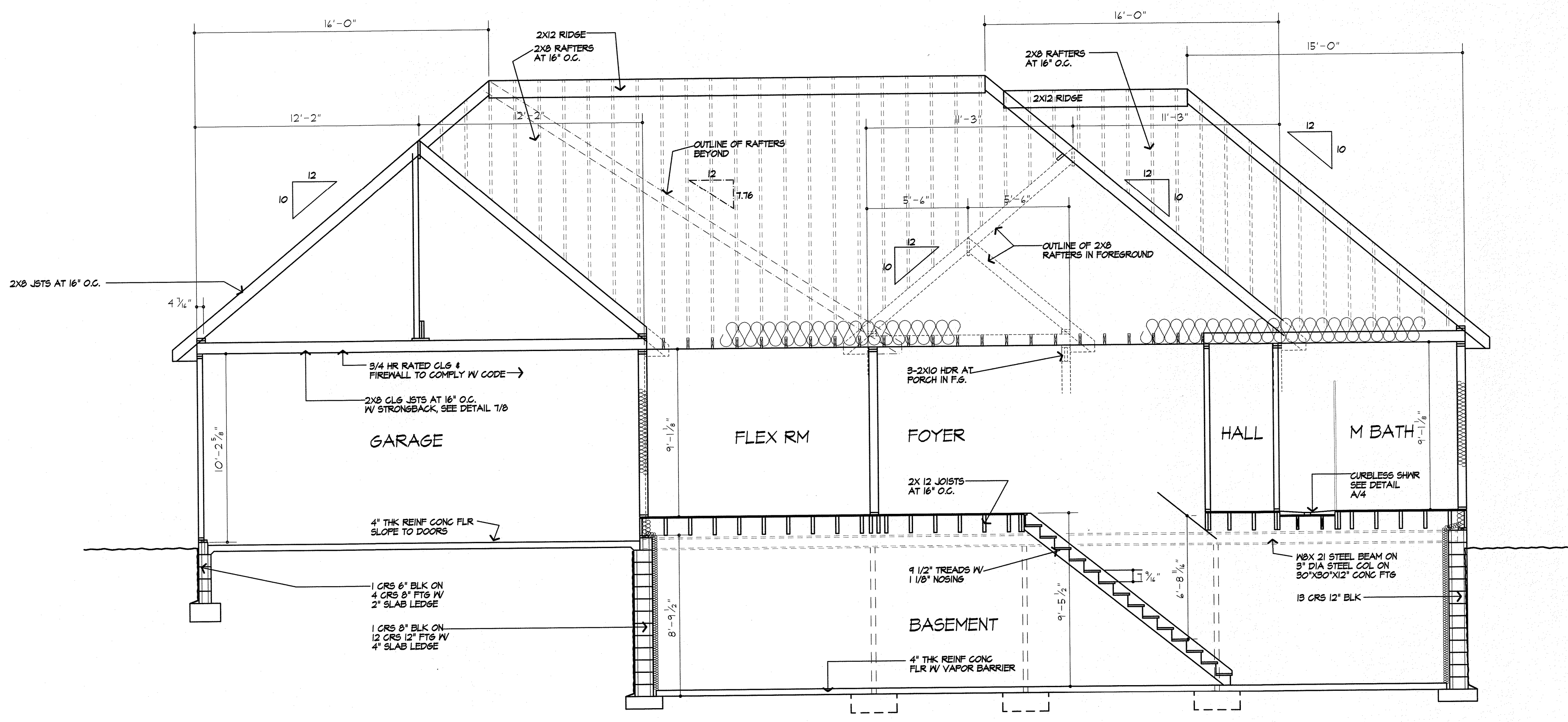
JOB NO.: 20MB481

SHEET: 7 OF 8 SHEETS

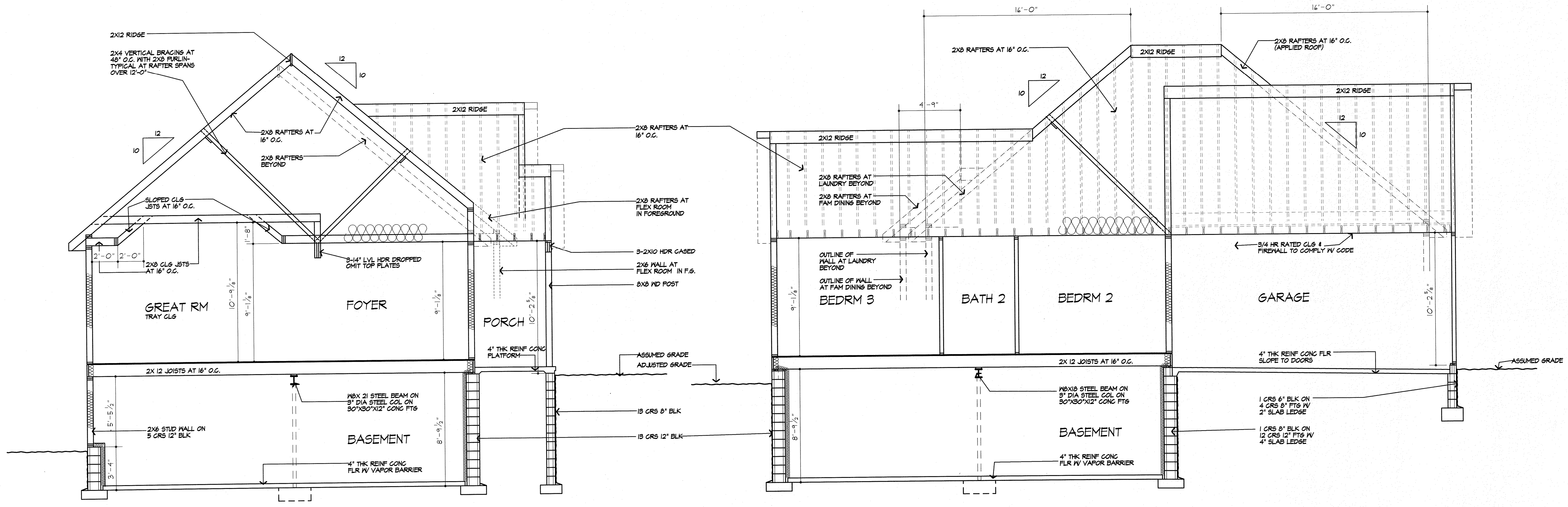


*NOTE:
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R409.2.11 (2015 IRC)

LINE LEGEND	
---	BEYOND
----	IN FOREGROUND



SECTION A



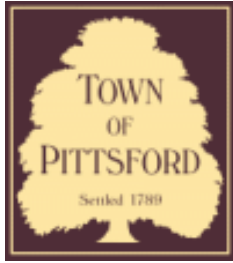
SECTION C

SECTION B









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S20-000015

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 111 East Jefferson Road PITTSFORD, NY 14534

Tax ID Number: 164.11-2-29

Zoning District: RN Residential Neighborhood

Owner: Edgewood Free Methodist Church

Applicant: Ewings Graphics Inc.

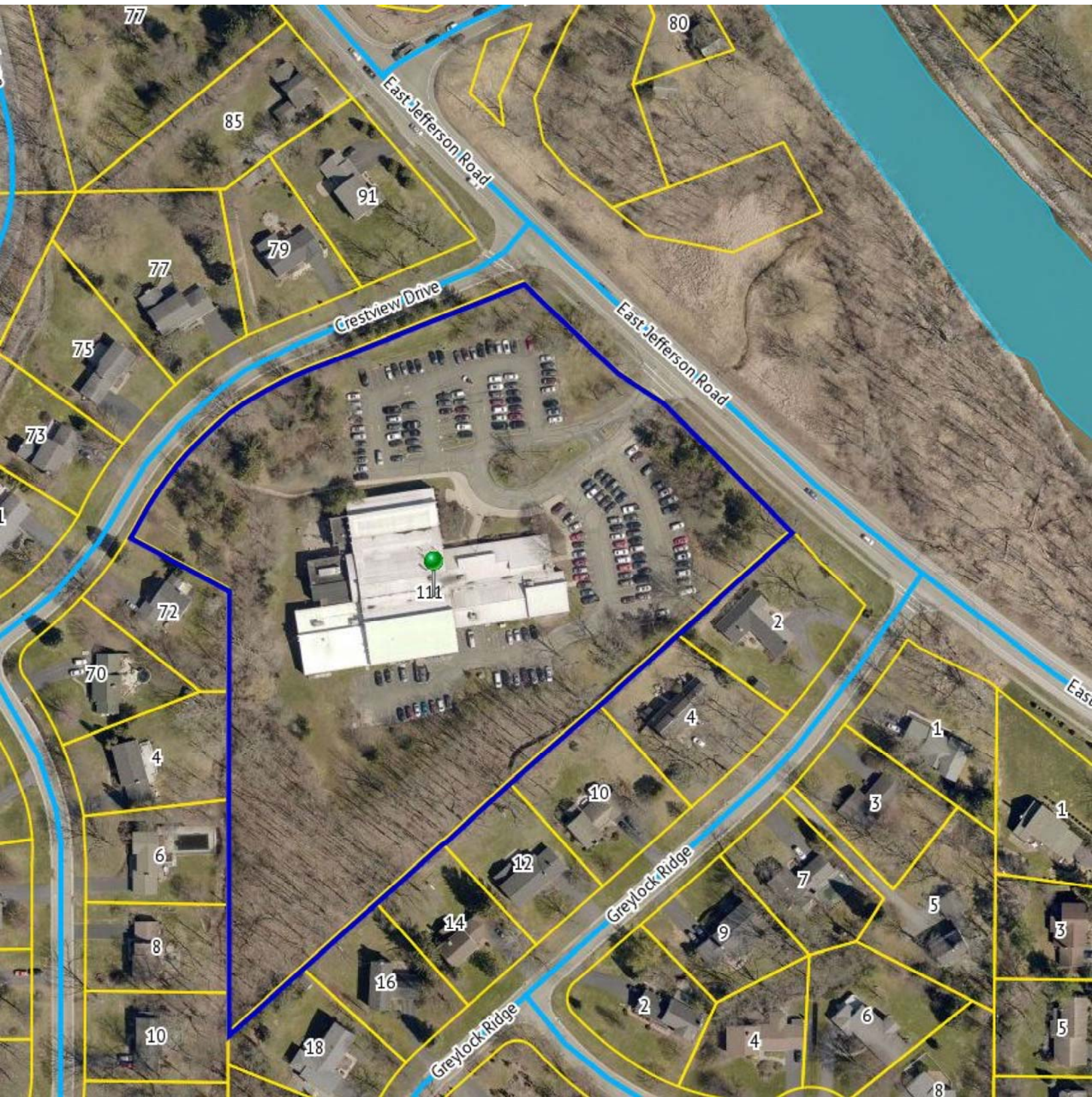
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

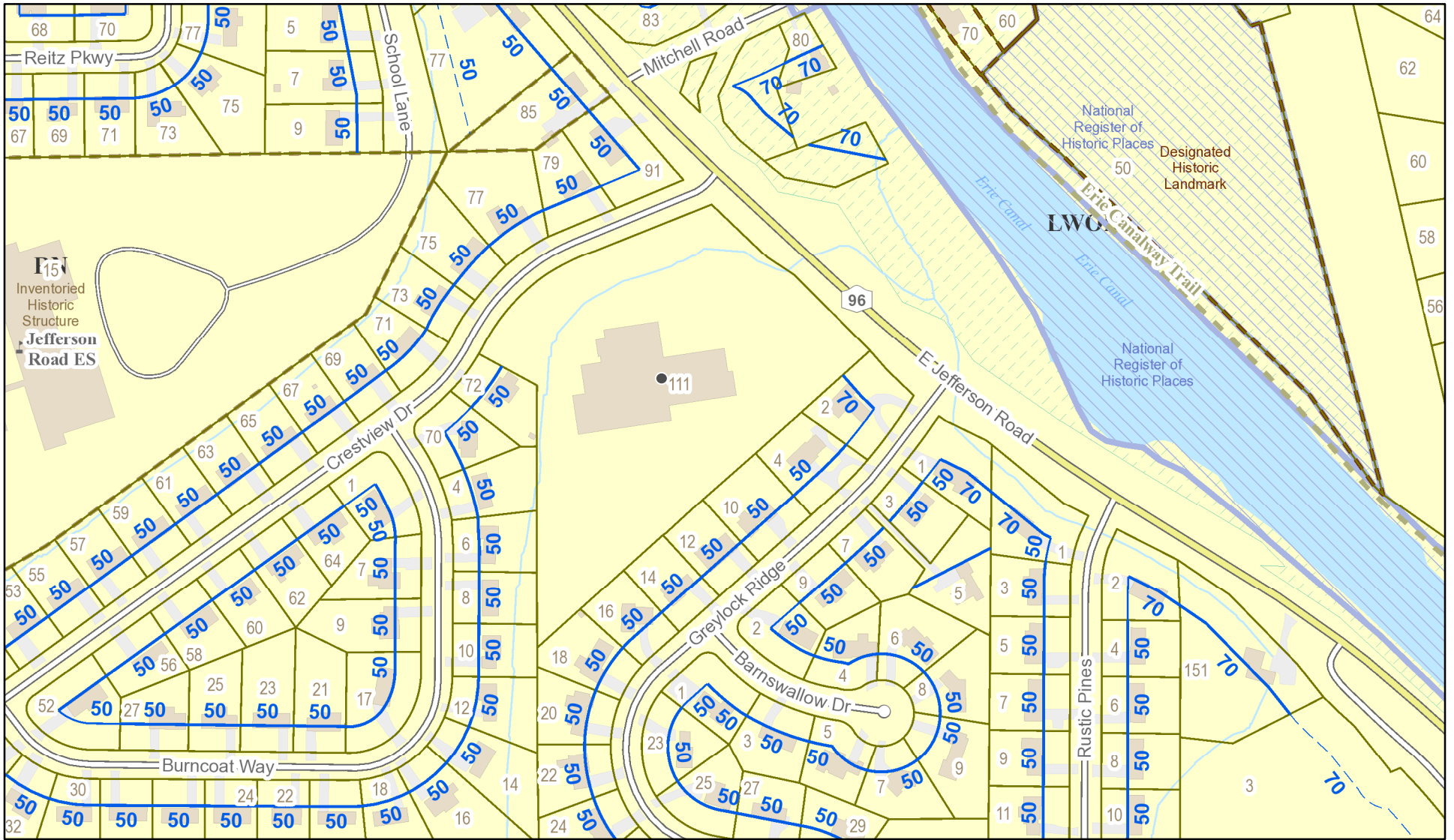
Project Description: Applicant is requesting design review for the replacement of a business identification sign. The new sign will be for the Edgewood Church and will replace the current YMCA sign located at the entrance. The sign will be a monument sign approximately 19 square feet with vinyl wrapped panels with printed watermark logo.

Meeting Date: October 22, 2020

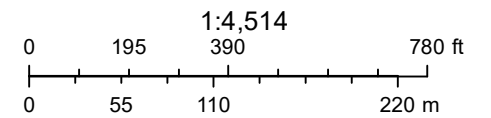




RN Residential Neighborhood Zoning

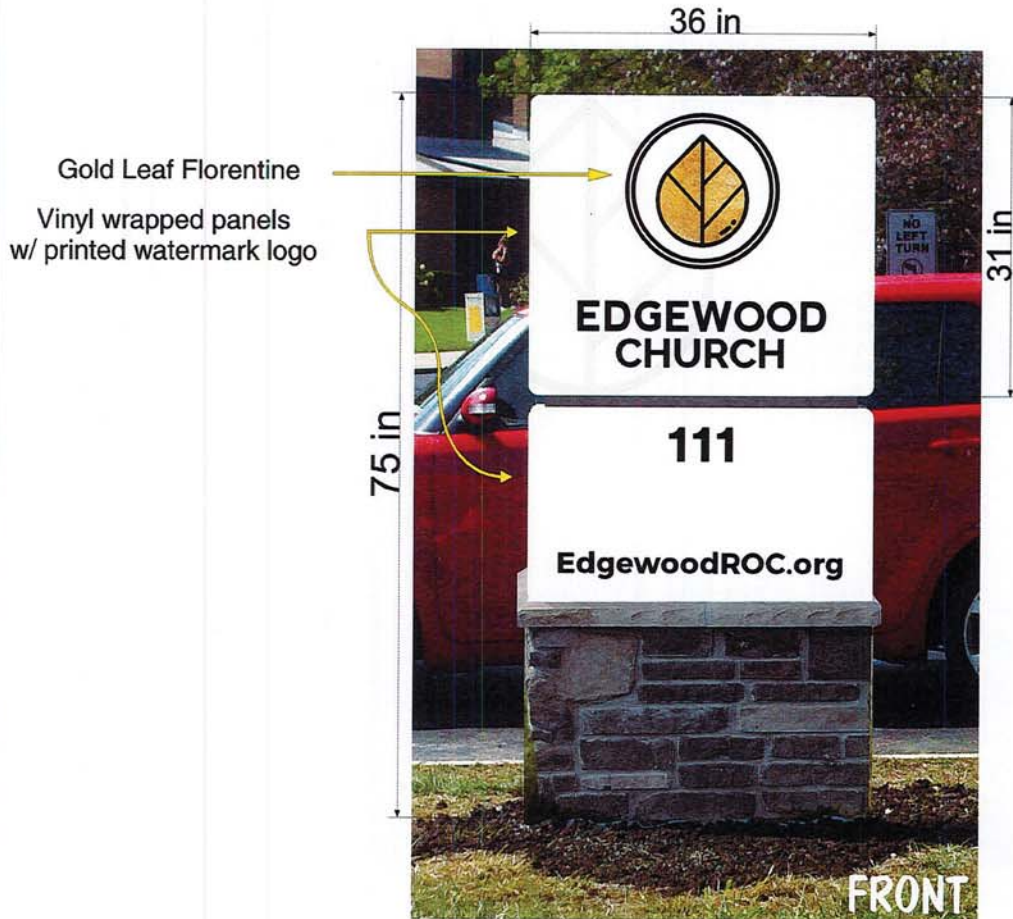


Printed October 15, 2020

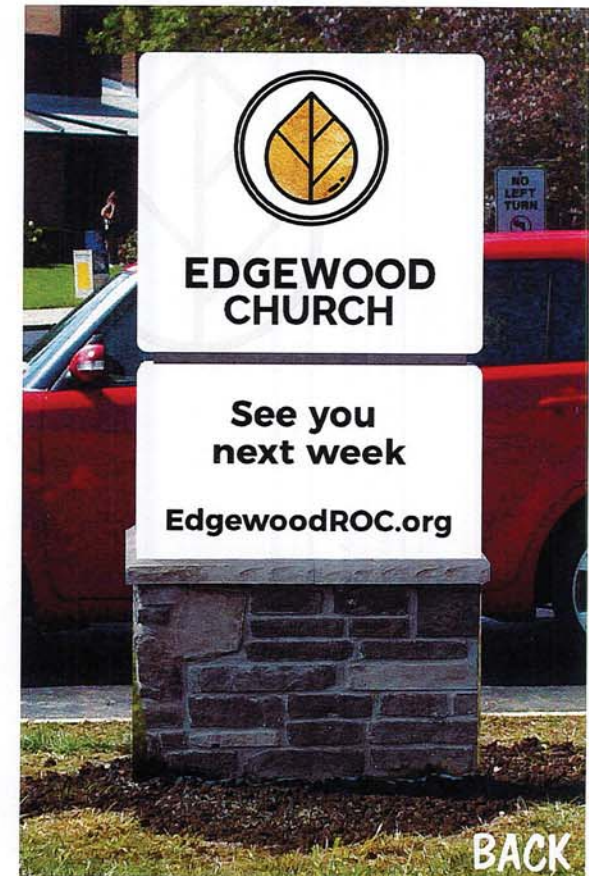
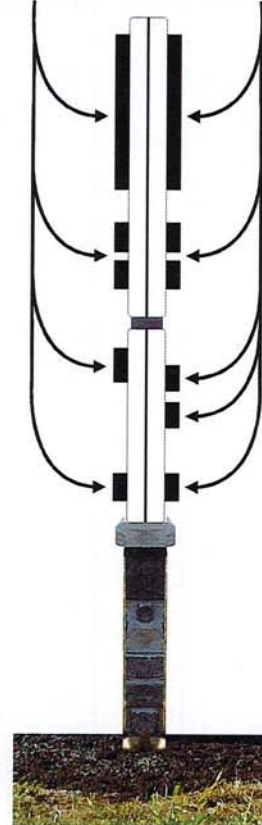


Town of Pittsford GIS

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1.5" Acrylic Standoff Lettering



This Layout is Property of



FARMINGTON, NY
585-924-8370

Current Design Time: 1 hr

Job#: 84868

Prepared by: A

Sales: SC

File: Monument Sign.fs

File Location: O:\E\Edgewood Church\SIGNS

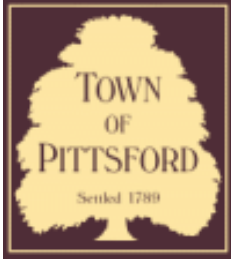
Date: 8/4/2020

Revision #: 1

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Authorized Signature _____

Date _____



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D20-000012

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 180 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.17-1-27

Zoning District: RN Residential Neighborhood

Owner: Billitier, Ron

Applicant: Patrick Morabito, Architect

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input checked="" type="checkbox"/> Informal Review | |

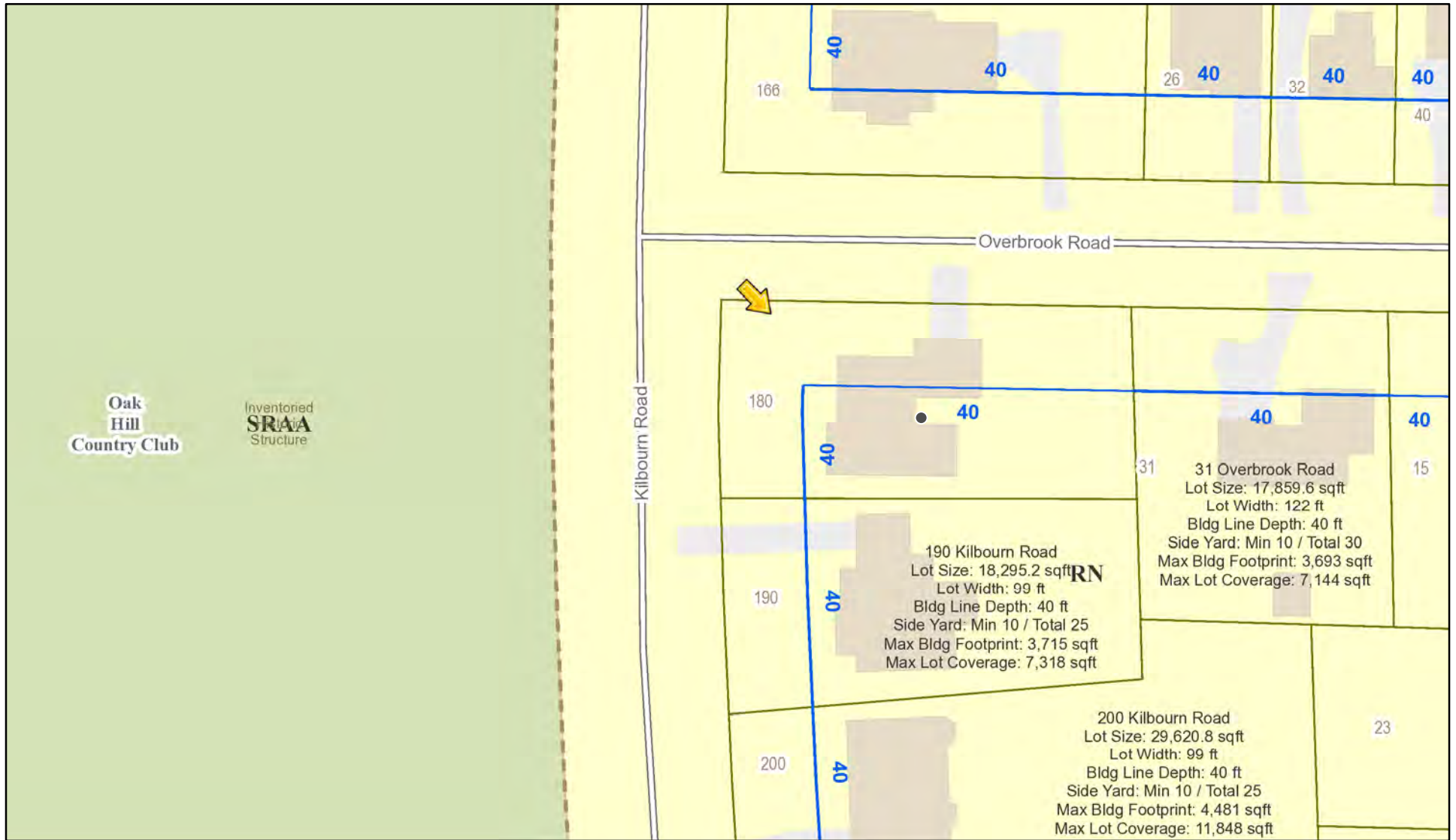
Project Description: Applicant is requesting an informal review for the demolition of a home built in 1948 in the Kilbourn neighborhood. The home will be replaced with an approximately 2038 square foot two story home.

Meeting Date: October 22, 2020

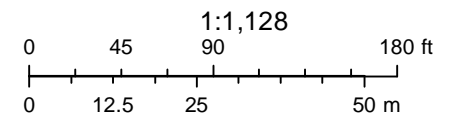




RN Residential Neighborhood Zoning

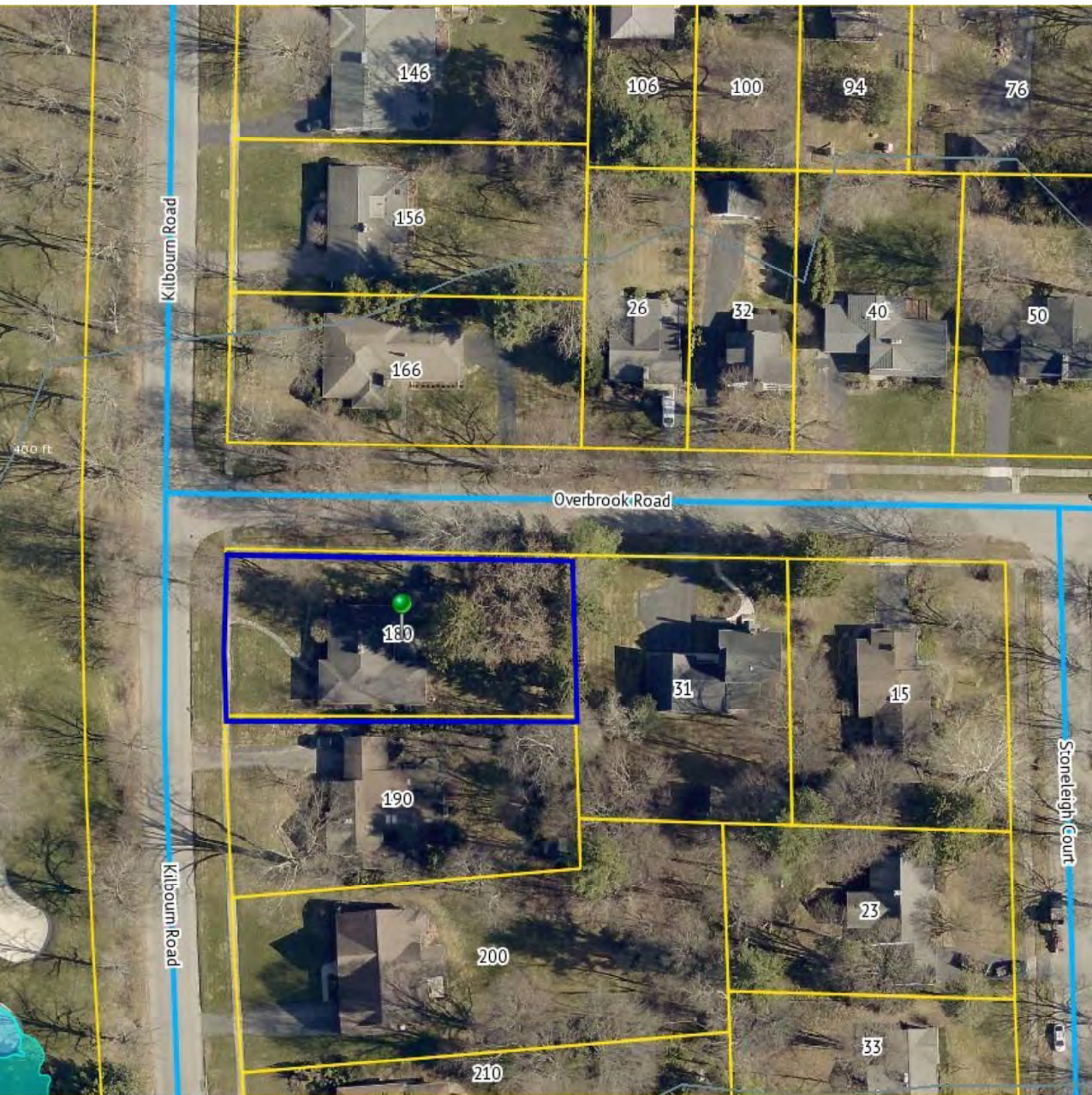


Printed October 15, 2020



Town of Pittsford GIS

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Kilbourn Road

Overbrook Road

Kilbourn Road

Stoneleigh Court

146

106

100

94

76

156

26

32

40

50

166

180

31

15

190

200

210

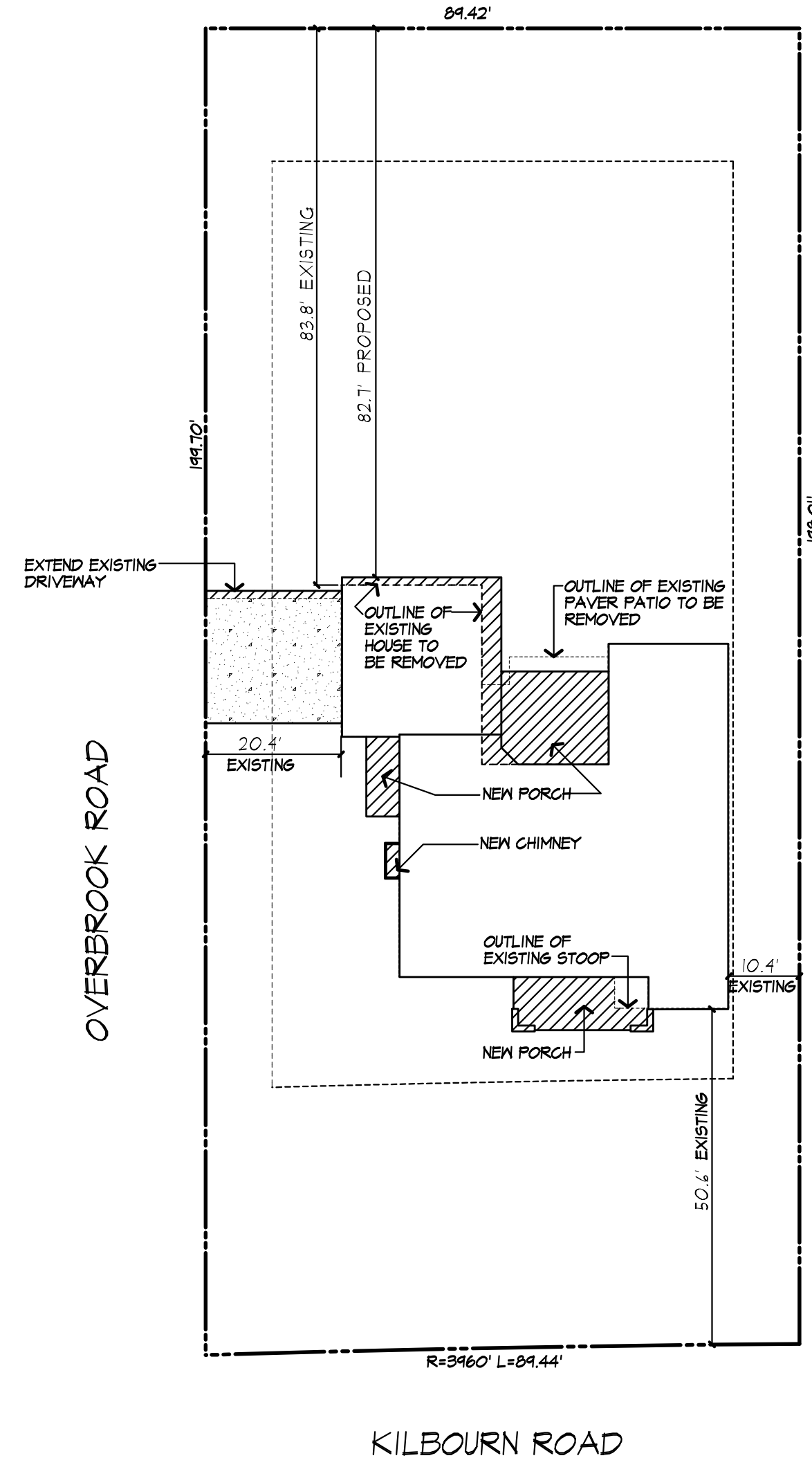
23

33

400 ft

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C210, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-8S. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 103.8 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015):
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN

SCALE: 1"=20.0'
* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

PROPOSED RESIDENCE 180 KILBOURN ROAD ROCHSTER, NEW YORK

DRAWING INDEX

1	TITLE PAGE
2	FRONT / LEFT SIDE ELEVATIONS
3	REAR / RIGHT SIDE ELEVATIONS
4	PROPOSED FOUNDATION PLAN
5	PROPOSED 1ST FLOOR PLAN
6	PROPOSED 2ND FLOOR PLAN
7	PROPOSED ROOF PLAN
E-1	EXISTING F/L ELEVATIONS
E-2	EXISTING R/R ELEVATIONS
E-3	EXISTING FLOOR PLAN

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS (2020 BUILDING CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	32	32
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.9.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.5
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION M1507.3.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1



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LICENSED IN CO, MA, ME, NY, NV, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

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10/14/2020

PROJECT:
PROPOSED RESIDENCE
180 KILBOURN RD
ROCHESTER NEW YORK

CLIENT:
RON BILLITIER

DRAWING:
TITLE PAGE

DRAWN:
PJM

CHECKED:
V

DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 180 KILBOURN

SHEET:

1
OF 7 SHEETS





MORABITO ARCHITECTS

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ELEVATIONS - PROPOSED

DRAWN: PJM
CHECKED: V

DATE: OCTOBER 2020

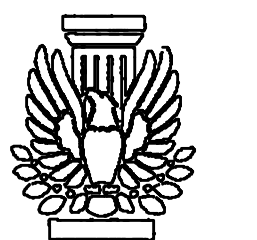
SCALE: 1/4"=1'-0"

JOB NO.: 180 KILBOURN

SHEET:

4

OF 7 SHEETS



30' MAX BUILDING HEIGHT



FRONT ELEVATION
PROPOSED

30' MAX BUILDING HEIGHT



LEFT SIDE ELEVATION
PROPOSED

UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES

ROOF VENTING: CONTINUOUS RIDGE VENT

FASCIAS: 8"

FRIEZEBDS: 8"

CORNERBDS: 6"

CASINGS: 6"

SIDING: HORIZ, AS SELECTED

OVERHANGS: 1'-4"

RAKE OVERHANGS: 12"

MIN FTG. DEPTH: 4'-0"

CLS HT:

1ST FLOOR: 9'-6"

2ND FLOOR: 8'-1 1/2"

WINDOW UNIT HT:

1ST FLOOR: 8'-0"

2ND FLOOR: 6'-10"

WINDOW MFR: ANDERSEN OR EQUAL
(PROVIDE SAFETY GLAZING PER R308.4)



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CLIENT:
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DRAWING:
ELEVATIONS - PROPOSED

DRAWN: PJM
CHECKED: V

DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 180 KILBOURN

SHEET:

5

OF 7 SHEETS



UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES
ROOF VENTING: CONTINUOUS RIDGE VENT
FASCIAS: 8"
FRIEZEBDS: 8"
CORNERBDS: 6"
CASINGS: 6"
SIDING: HORIZ, AS SELECTED
OVERHANGS: 1'-4"
RAKE OVERHANGS: 12"
MIN FTG. DEPTH: 4'-0"
CLG HT:
1ST FLOOR: 9'-6"
WINDOW UNIT HT:
1ST FLOOR: 8'-0"
WINDOW MFR: ANDERSEN OR EQUAL
(PROVIDE SAFETY GLAZING PER R308.4)

TABLE R404.1.(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 7.75 INCHES (A)

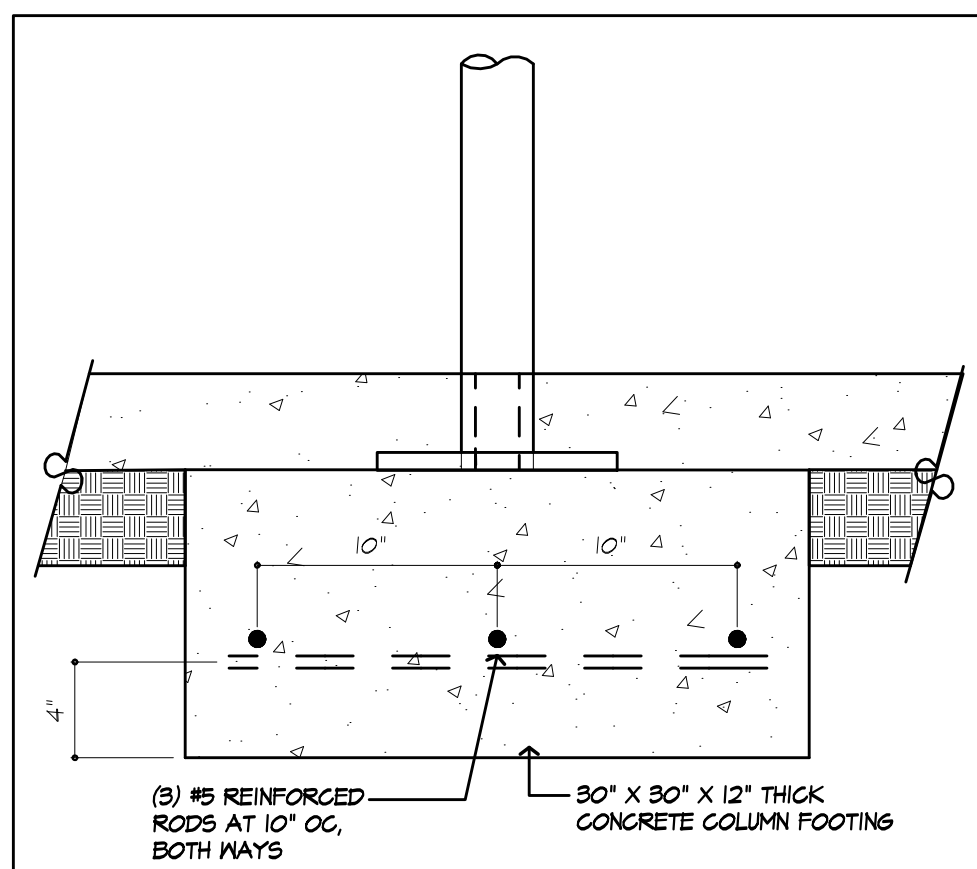
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SM, GP, SW AND SP SOILS 30	SM, GC, SM, SW-SC AND ML SOILS 45	SC, ML-CL AND INORGANIC CL SOILS 60
6'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.

FOR 5/16" INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM

- A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.
- C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75 INCHES.
- D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
- E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

STEPPED FOOTING NOTE:

R403.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE).



COL. FOOTING

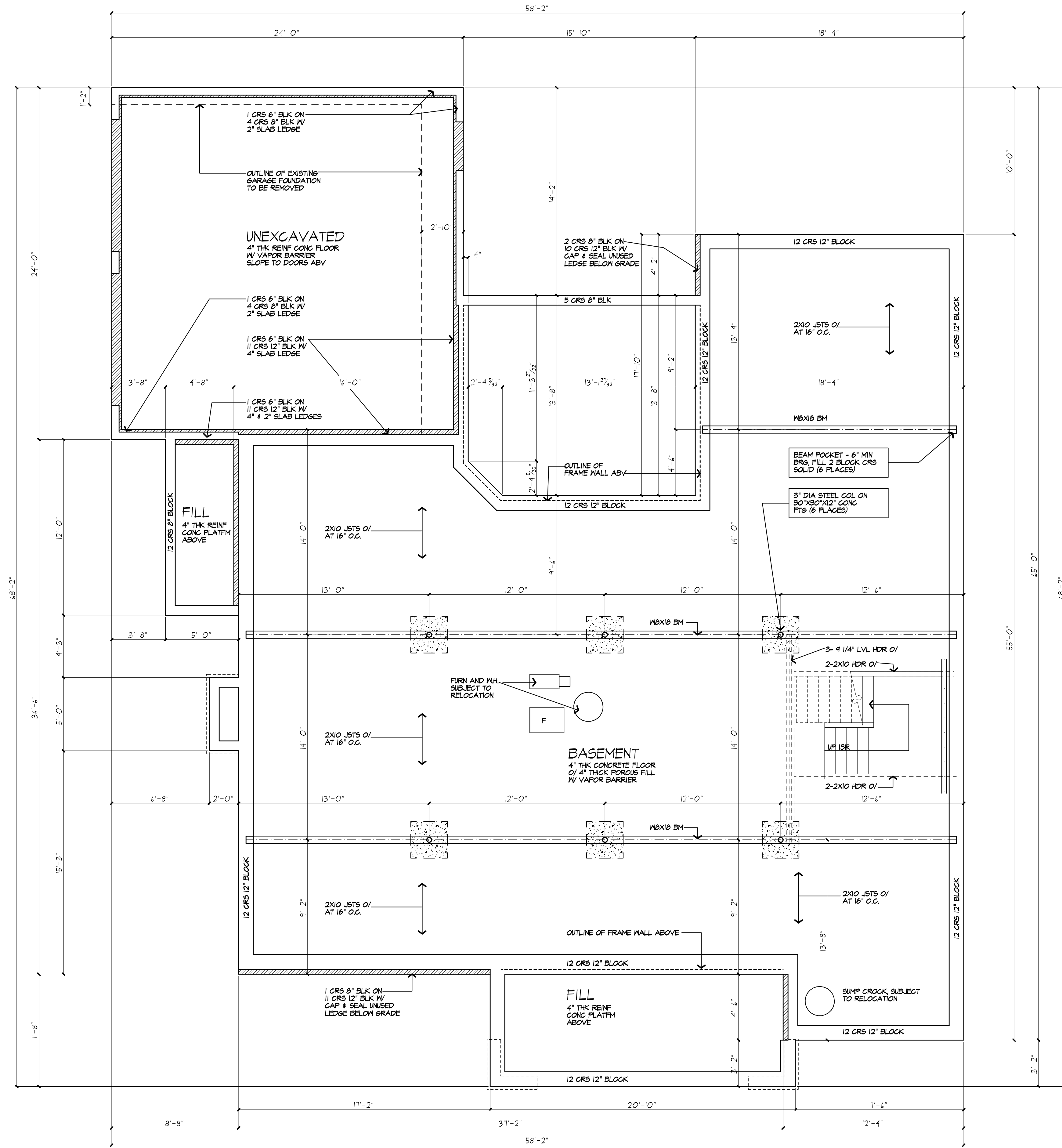
SCALE: 1/2" = 1'-0"

FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) Gypsum Wall Board Membrane 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL Membrane, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER, PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPES AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

1. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION F2404, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
2. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
3. PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
 - 3.1. THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER STORY.
 - 3.2. FIREBLOCKING IN ACCORDANCE WITH SECTION R302.1.1 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
4. WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.



BASEMENT & FOUNDATION PLAN

12 CRS 12" BLOCK

FIRE PROTECTION OF FLOOR JOISTS NOT REQUIRED PER SECTION R313

NOTES :

1. FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
SIZES: 8" BLK - 16" WIDE X 8" THK.
12" BLK - 20" WIDE X 8" THK.
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
2. MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.
FLOOR SLABS: 2500 P.S.I.
PORCH: 3500 P.S.I.
GARAGE: 3500 P.S.I.
3. PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
4. PROVIDE CROSS BRIDGINGS AT MID SPAN OF FLOOR FRAMING
5. ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
6. REINFORCE BLOCK WALL PER SECTION R404 NYS RC 2020



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10/14/2020

PROJECT:
PROPOSED RESIDENCE
180 KILBOURN RD
ROCHESTER NEW YORK

CLIENT:
RON BILLITIER

DRAWING:
BASEMENT / FOUNDATION PLAN
PROPOSED

DRAWN: PJM
CHECKED: V

DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

JOB NO.: 180 KILBOURN

SHEET:

6
OF 7 SHEETS





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ROCHESTER NEW YORK

CLIENT:
RON BILLITIER

DRAWING:
ROOF PLAN - PROPOSED

DRAWN: PJM
CHECKED: V

DATE: OCTOBER 2020

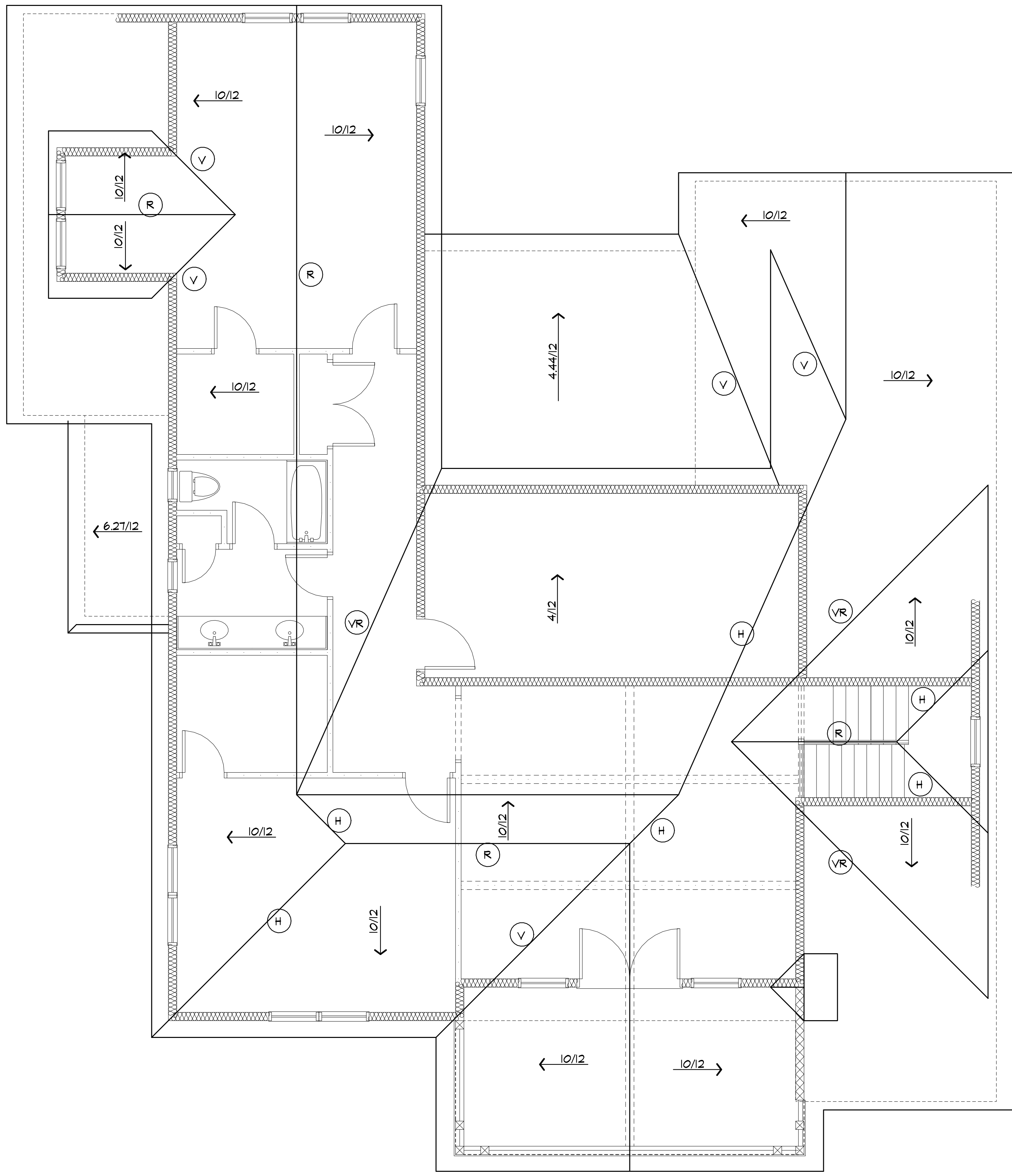
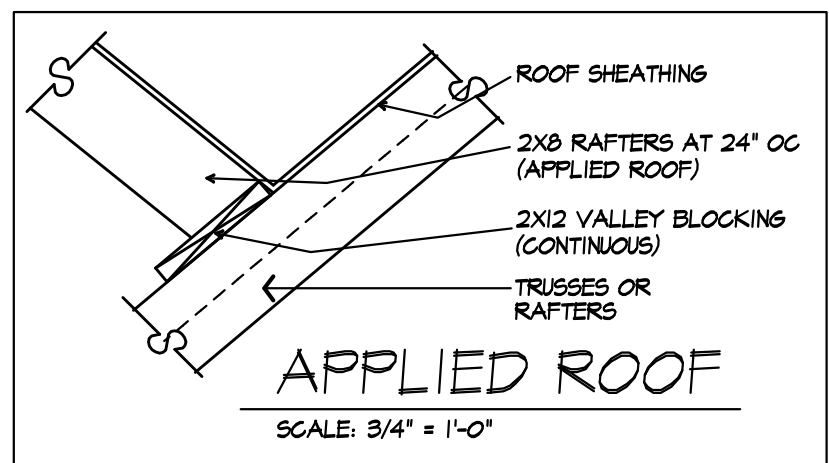
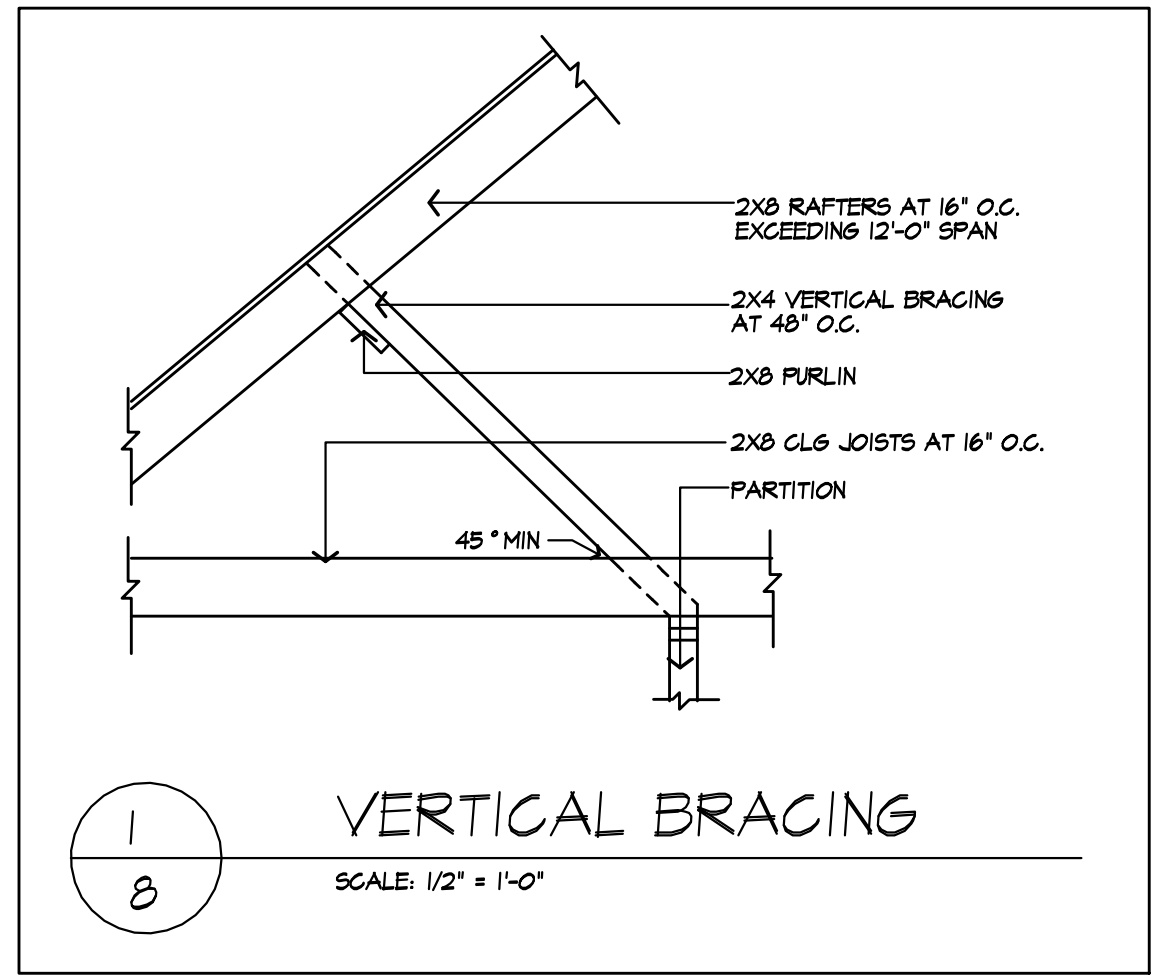
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JOB NO.: 180 KILBOURN

SHEET:

8

OF 7 SHEETS



ROOF LEGEND

* /12 →	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED
* /12 (B) →	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED - BY DIMOTES VERTICAL BRACINGS AT RAFTER SPANS GREATER THAN 12'-0" (BRACINGS- 2x4'S AT 48' O.C. WITH 2x8 PURLIN) -SEE DETAIL 1/8
(R)	2x12 RIDGE BOARD
(H)	2x12 HIP RAFTER
(VR)	2x12 VALLEY RAFTER
(T)	TRUSS RIDGE
(V)	APPLIED VALLEY - SEE DETAIL

*NOTE:
PROVIDE ICE PROTECTION UNDERLAYMENT
ON PERIMETER OF ROOF TO 24" INSIDE
INTERIOR WALLS PER R507.1.2 2020
RESIDENTIAL CODE OF NEW YORK STATE

ROOF PLAN / PROPOSED



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RON BILLITIER

DRAWING:
ELEVATIONS - EXISTING

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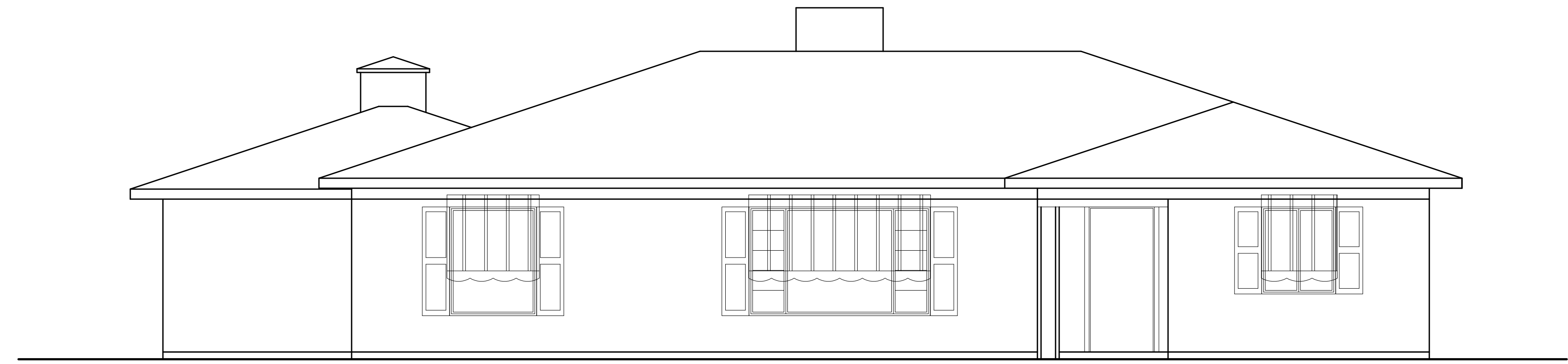
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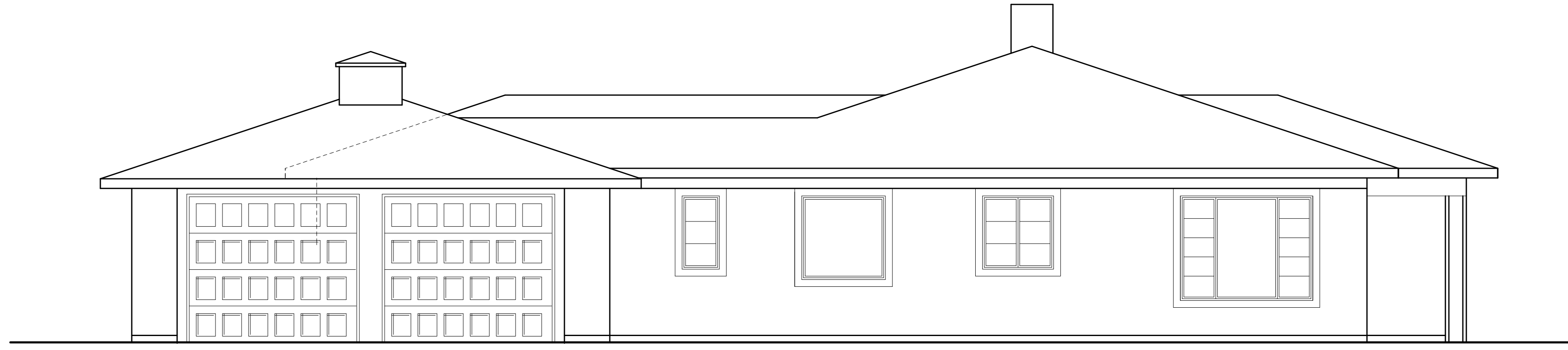
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E-1

OF 7 SHEETS



FRONT ELEVATION
EXISTING



LEFT SIDE ELEVATION
EXISTING



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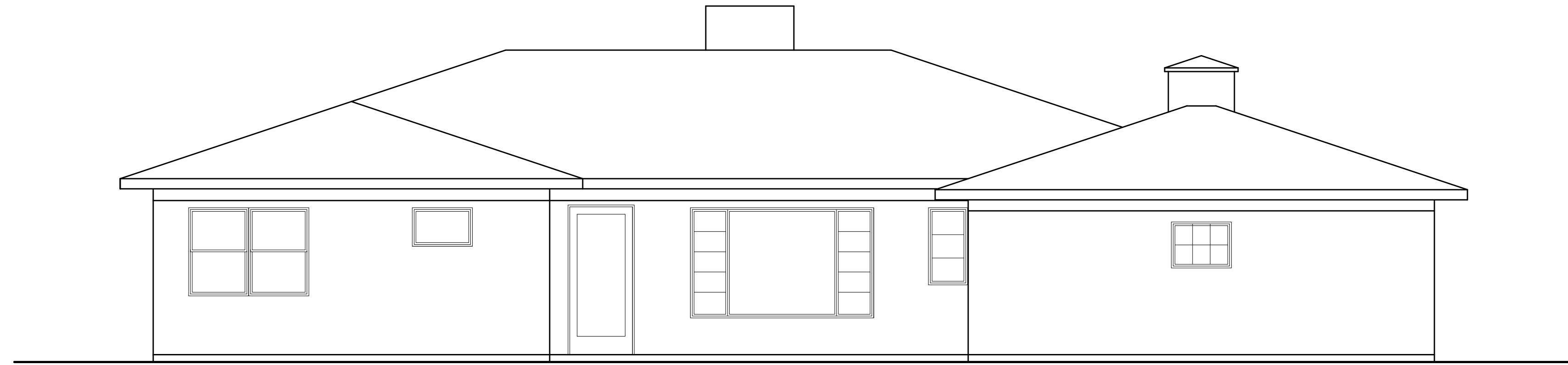
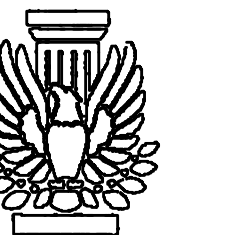
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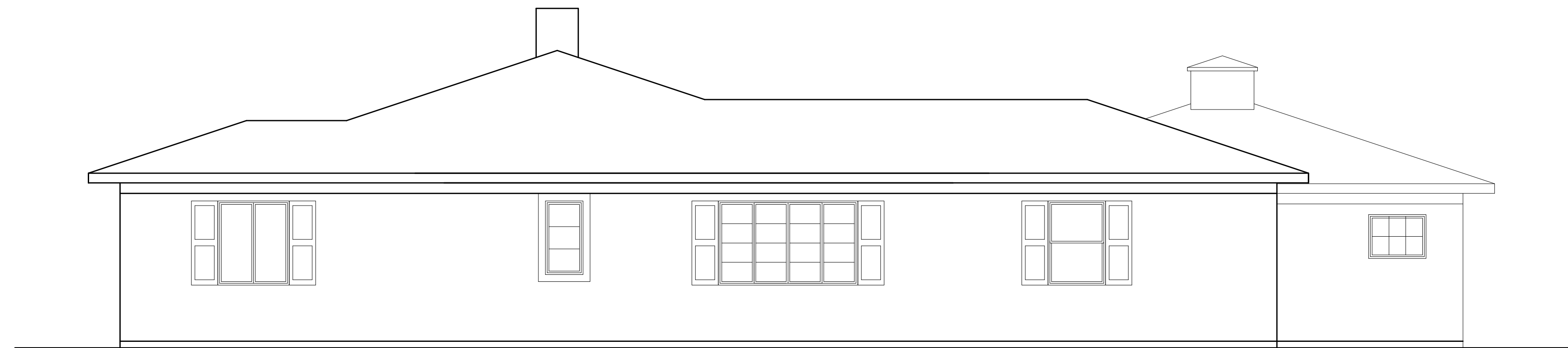
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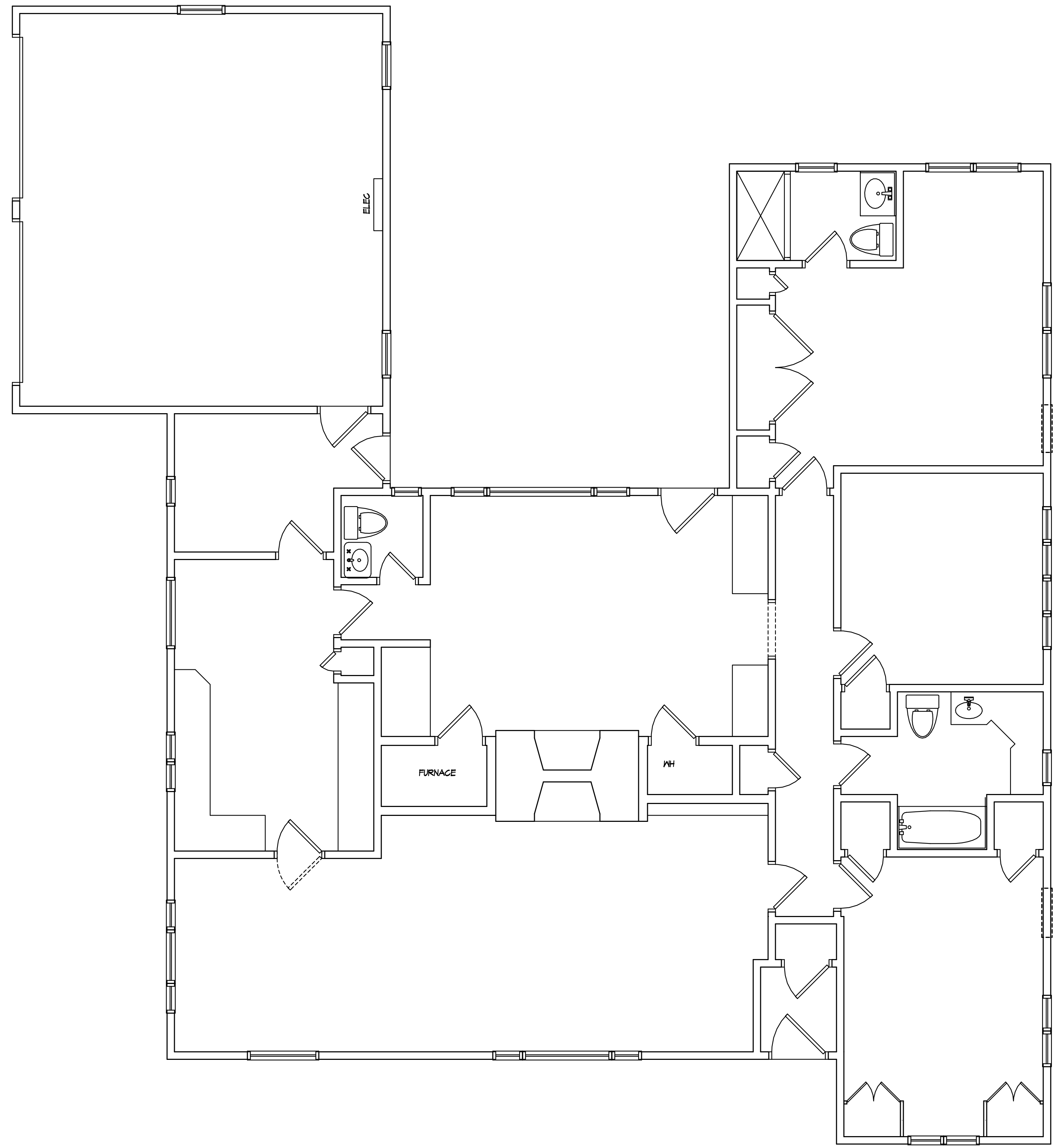
OF 7 SHEETS



REAR ELEVATION
EXISTING



RIGHT SIDE ELEVATION
EXISTING



FIRST FLOOR PLAN
1963 SQUARE FEET EXISTING



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EXISTING WITH REMOVALS SHOWN

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DATE: OCTOBER 2020

SCALE: 1/4"=1'-0"

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SHEET:

E-3

OF 7 SHEETS









26

