

**Design Review & Historic Preservation Board
Agenda
September 24, 2020**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW – RETURNING

- **2 Harwood Lane**
The Applicant is returning to request design review for the construction of a new single-family one story home. The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.
- **66 Ellingwood Drive**
The Applicant is returning to request design review for a garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

RESIDENTIAL APPLICATION FOR REVIEW

- **3 Skytop Lane**
The Applicant is requesting design review for the living room and three-season room additions. Both additions will be to the rear of the home with the living room addition being approximately 484 square feet and the three-season room will be 120 square feet.
- **35 Trowbridge Trail**
The Applicant is requesting design review for the addition of a three-season room. The room will be approximately 160 square feet and will be located to the rear of the home.
- **11 Random Woods**
The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 144 square feet and will be located to the rear of the property.
- **319 East Street**
The Applicant is requesting design review for the addition of a dormer. The dormer will be located on the northeast corner of the home and will match the existing dormer on the southeast corner.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **20 Lexton Way**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2199 square feet and will be located in the Wilshire Hills Subdivision.

COMMERCIAL APPLICATION FOR REVIEW

- **3077 Monroe Avenue**
The Applicant is requesting design review for the proposed placement of a business identification sign for Tire Choice. The size and location has been approved by the Planning Board on 9/14/2020.

OTHER – REVIEW OF 9/10/2020 MINUTES

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/89334684321?pwd=emtVQzZ5Qit4R0RDZ2M0TkDENkJPQT09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is 893 3468 4321. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

Draft
Design Review and Historic Preservation Board
Minutes
September 10, 2020

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, Bonnie Salem, John Mitchell, Leticia Fornataro, Kathleen Cristman

ALSO PRESENT

Robert Koegel, Town Attorney; Mark Lenzi, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

David Wigg

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, September 10 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Chairman Dirk Schneider opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The Board discussed the reception for inventoried homeowners that was proposed to be held in the fall of 2020. Bonnie Salem and Dirk Schneider expressed that a better idea would be to wait until the spring of 2021 tentatively during May which is Historic Preservation Month. The Board discussed brainstorming some ideas for engaging homeowners during this time of partial shutdown. Paul Whitbeck suggested notifying the invited speaker Wayne Goodman of this change and soliciting any ideas from him. Bonnie Salem indicated the application for the designation of 25 Briar Patch Road is temporarily delayed but will be submitted.

RESIDENTIAL APPLICATION FOR REVIEW – RETURNING

• **76 Knollwood Drive**

The Applicant is returning for design review for the additions to an existing garage. The additions will be located on the front and side of the garage and will be a total of approximately 248 square feet.

The homeowner, Sara Odenbach, was present to discuss the application with the Board. She provided additional information on the materials and the garage doors. The Board received dimensions with this submission.

There were no further questions from the Board.

Leticia Fornataro moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **55 N. Country Club Drive**

The Applicant is returning for design review for the addition of a single car garage with storage. The addition will be approximately 336 square feet with storage space above and the addition of three dormers.

Aaron Wolfe, the contractor, was present.

He indicated the entire house would be re-sided in a new color. The peaks will align. Dirk Schneider and Paul Whitbeck indicated they appreciated the small dormers.

Dirk Schneider suggested an optional dormer in the back of the structure.

Paul Whitbeck moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW

- **66 Ellingwood Drive**

The Applicant is requesting design review for the garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

No representative was present for this application.

The Board as a whole had many questions which they felt were unanswered by the submission. They did not feel they could approve the application without further information.

Robert Koegel suggested that the Board list their concerns and detail what they needed to see to make a determination on this application.

Leticia Fornataro spoke on behalf of the Board and listed the following:

1. More information is needed on the dimensions on the renderings.
2. More information is needed on the materials to be used.
3. Information needs to be provided on the finishes.

Dirk Schneider indicated that this application is to be held over so that more information may be provided by the Applicant.

- **25 Hawkstone Way**

The Applicant is requesting design review for the addition of a covered porch. The porch will be approximately 210 square feet and will be located to the rear of the home.

The homeowner, Kellie Anderson, was present.

She discussed the project with the Board as a covered deck with a patio to the left and a patio and fire pit to the right. The Hardi board skirting will be painted to match the house. The railings and spindles will be metal. The decking will be composite.

John Mitchell moved to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **42 Coventry Ridge**

The Applicant is requesting design review for the construction of a two story single family home. The home will have 1581 square feet on the first floor and 1589 square feet on the second floor. The home will be located in the Coventry Ridge Subdivision.

Jim Connaughton was present representing Coventry Ridge Building Corporation. He discussed that this home is following the current trend of utilizing board and batten for materials.

Dirk Schneider and John Mitchell agreed that this design looks good and is not an overuse of the material.

Mr. Connaughton discussed that the three shed roofs will be black metal roof and the overall roof will be black asphalt. A pedestrian door will be the same color as the garage doors with taller trim to match the garage.

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **9 Rockdale Meadows**

The Applicant is requesting design review for the proposed construction of a 2224 Sq. Ft. one-story home.

Jim Connaughton of Rockdale Meadows Corporation was present to discuss the application with the Board. He indicated this is a patio home.

The Board had no questions regarding this application.

Kathleen Cristman moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **2 Harwood Lane**

The Applicant is requesting design review for the construction of a new single family one story home. The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.

The homeowner, Vicki Argento, and architect, Al Arilotta, were present to discuss the application with the Board.

Paul Whitbeck disclosed that he is acquainted with Ms. Argento.

The home will be set back from Route 31F as the same level as the home at 200 Fairport Road. The garage will be angled towards the corner of Route 31F and Harwood Lane. There will be a front porch and a private porch on the rear of the home. There will be the removal of some of the wooded area for a future pool. There will be two false chimneys.

The Board discussed their questions and concerns.

Dirk Schneider discussed the garage is a prominent feature and Bonnie Salem pointed out it is the first thing residents of Harwood Lane will see as they turn down the street. It was discussed that a more straight on design from Harwood Lane be considered. The homeowner stated that she wants the angled design to balance the house.

The Board discussed the multiple textures on the house. Some members had concerns with the combination of shake, vinyl siding and cultured stone. Other Board members stated they are comfortable with this combination if the colors were of the same or similar colors. The homeowner wishes to have different shadow colors on the textures.

Dirk Schneider suggested wrapping the corner with cultured stone on the west elevation to provide continuity. Paul Whitbeck agreed.

A discussion was held on ways to bring down the elevation of the garage to make it less prominent and more subservient to the home structure. It was discussed about bringing the ridge of the house down. The Board felt that in order to visualize this and make any decision they would need to see drawings of any proposed changes.

Dirk Schneider announced that this application would be held over for further input.

- **30 Escena Rise**

The Applicant is requesting design review for the proposed construction of a 2949 Sq. Ft. 2 story dwelling with a 348 Sq. Ft. bonus room.

Jeff Brokaw of Morrell Builders was present to discuss the application with the Board. This home will have a three-car garage with 2 side load bays and 1 front load bay.

Dirk Schneider commented on the front elevation. He felt that the squared out posts did not really go with the cedar shakes style wise. Paul Whitbeck asked if there was possibility of reducing the three textures on the front elevation to two. Jeff Brokaw explained that this is the look the customer has chosen and the colors will be complementary. Kathleen Cristman stated that she preferred the look where the shake gables and the clapboard siding will be the same color. Jeff Brokaw agreed that the cedar shake and the clapboard siding would be the same color.

Dirk Schneider moved to accept the application as submitted with the condition that the clapboard siding and the cedar shakes will be the same color.

Leticia Fornataro seconded.

All Ayes.

INFORMAL REVIEW

- **65 Pickwick Drive**

The owner of 65 Pickwick Drive has applied for a demolition permit to allow the demolition of a single family dwelling at 65 Pickwick Drive. This property is Zoned Residential Neighborhood (RN). The demolition permit is to be issued on or after October 16, 2020. Said structure is over 50 years old.

The owner was not present.

The proposed demolition of the structure at 65 Pickwick Drive was discussed. Paul Whitbeck inquired as to why this home is proposed to be demolished. Mark Lenzi indicated that the home does not meet the owner's needs. Dirk Schneider expressed concern regarding the size of any new proposed structure and its potential impact on the neighborhood. He stated that it is important that what is proposed to be cohesive with the neighborhood. The demolition code was discussed. Bonnie Salem

noted that this home does not have architectural or historical significance. John Mitchell stated that he had no issue with this structure coming down.

OTHER – REVIEW OF 8/27/2020 MINUTES

Bonnie Salem moved to accept the minutes of 8/27/2020 with one change.

Dirk Schneider seconded.

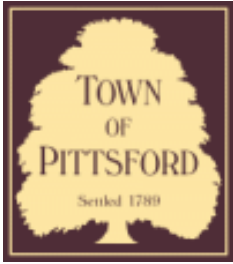
All Ayes.

The meeting adjourned at 7:50 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000144

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2 Harwood Lane ,

Tax ID Number: 151.07-1-11

Zoning District:

Owner: Castellano, Lawrence

Applicant: Al Arilotta (Architect)

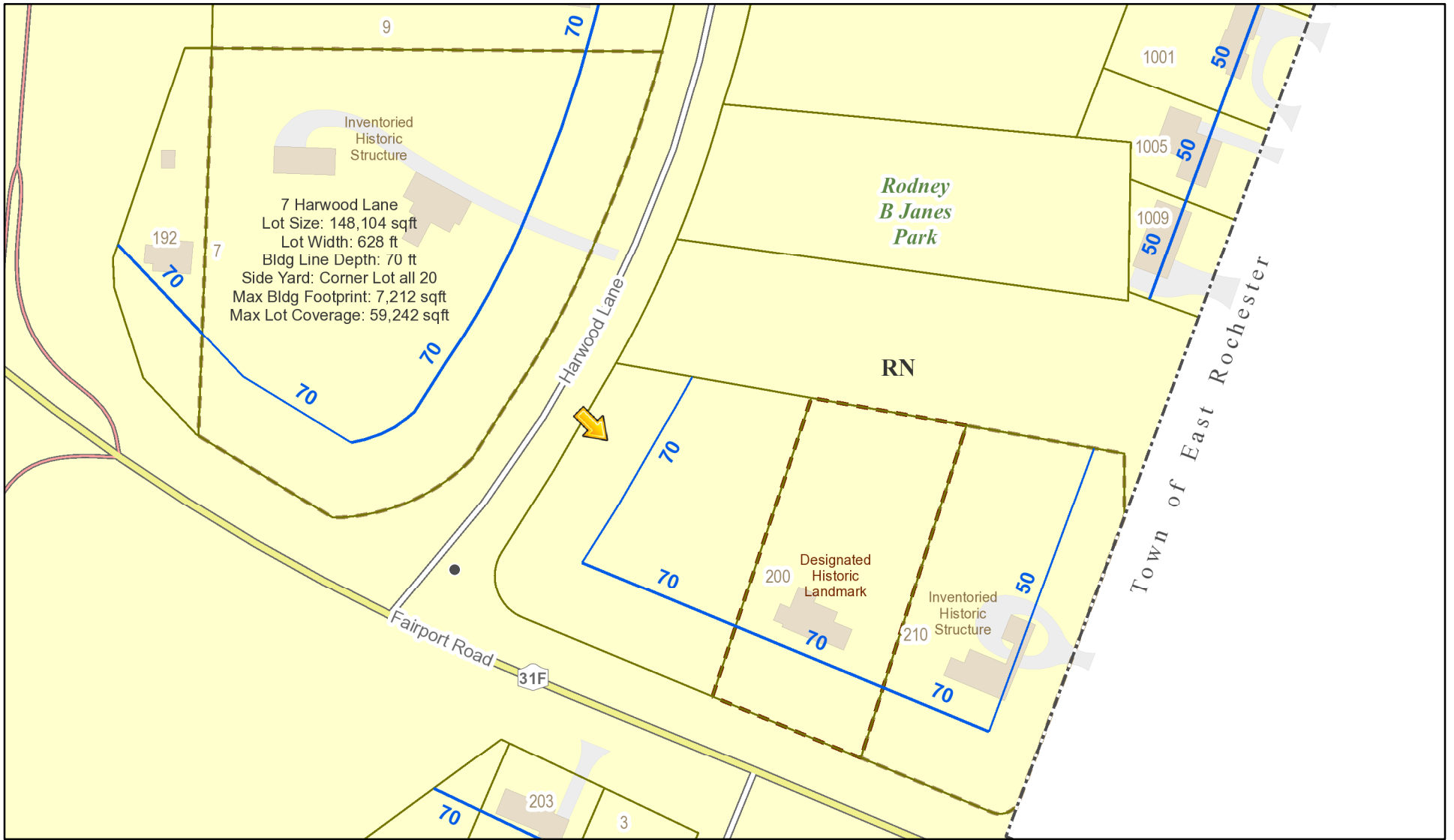
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

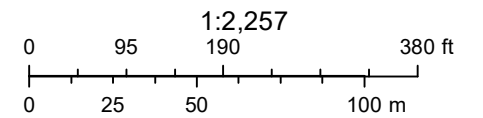
Project Description: Applicant is returning to request design review for the construction of a new single family one story home . The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.

Meeting Date: September 24, 2020

RN Residential Neighborhood Zoning

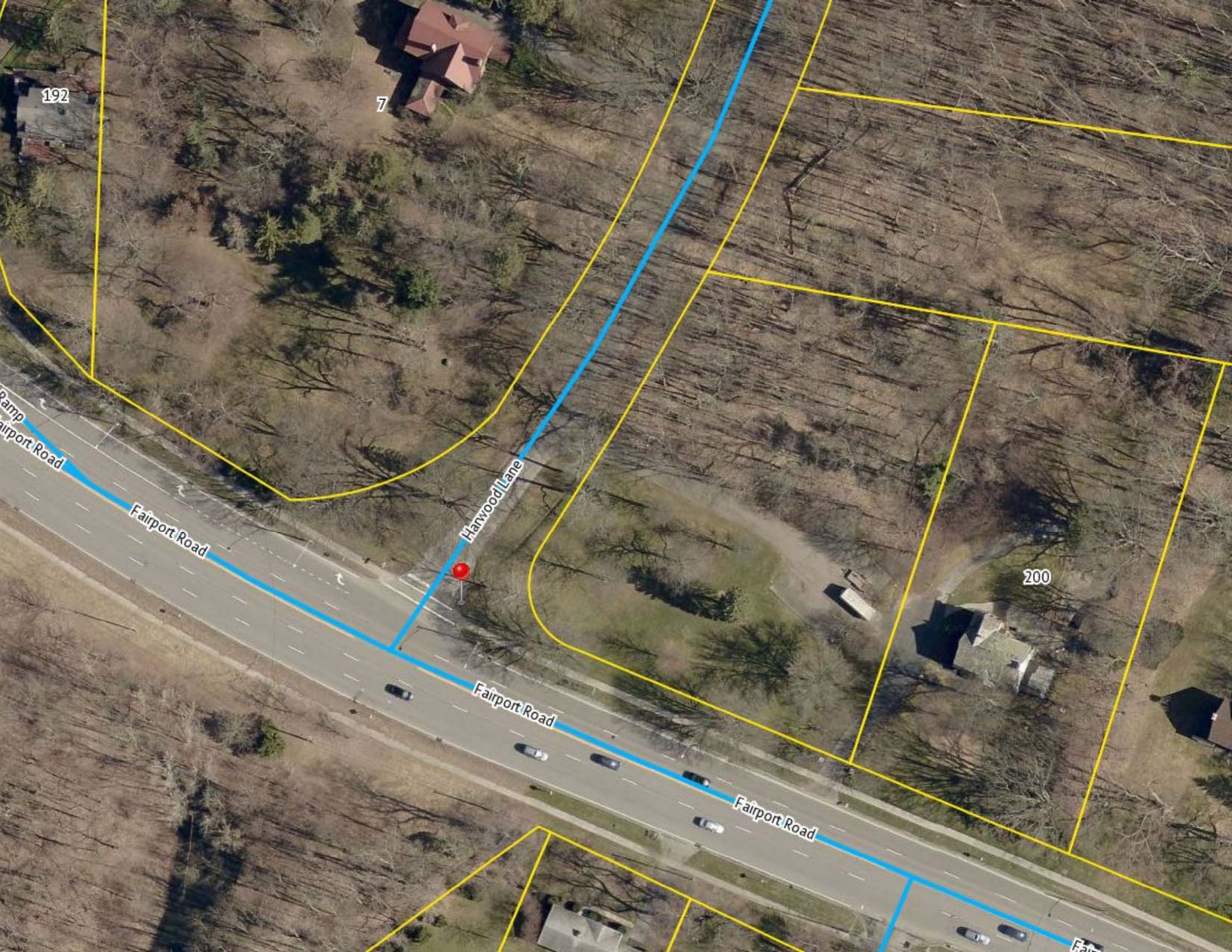


Printed September 3, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



192

7

200

Ramp
Fairport Road

Fairport Road

Harwood Lane

Fairport Road

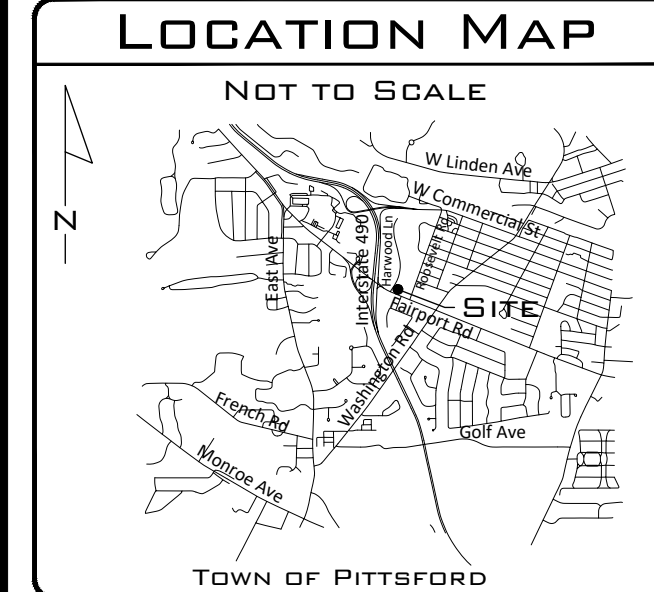
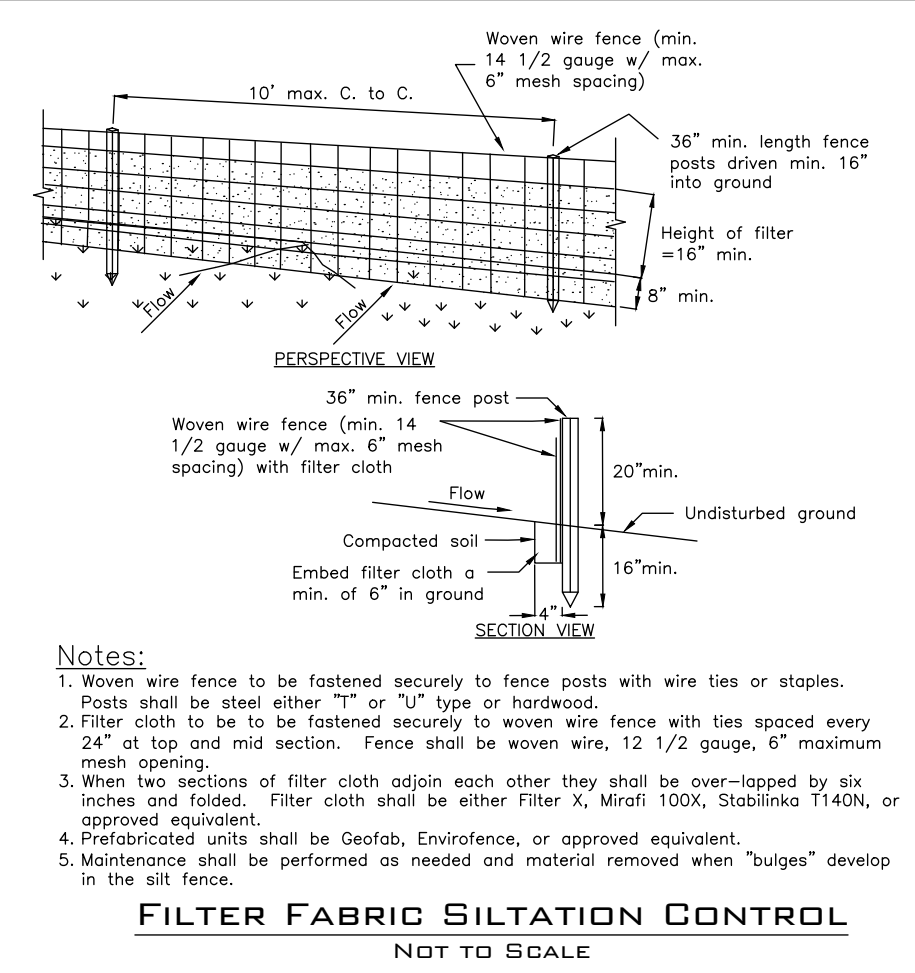
Fairport Road

Fairport Road

LEGEND

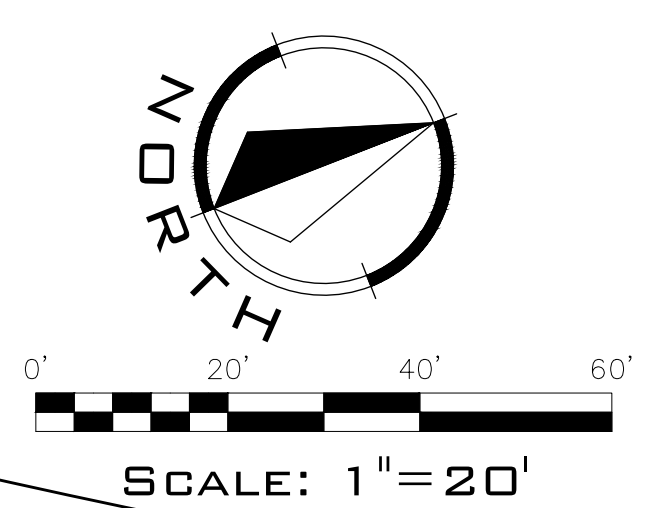
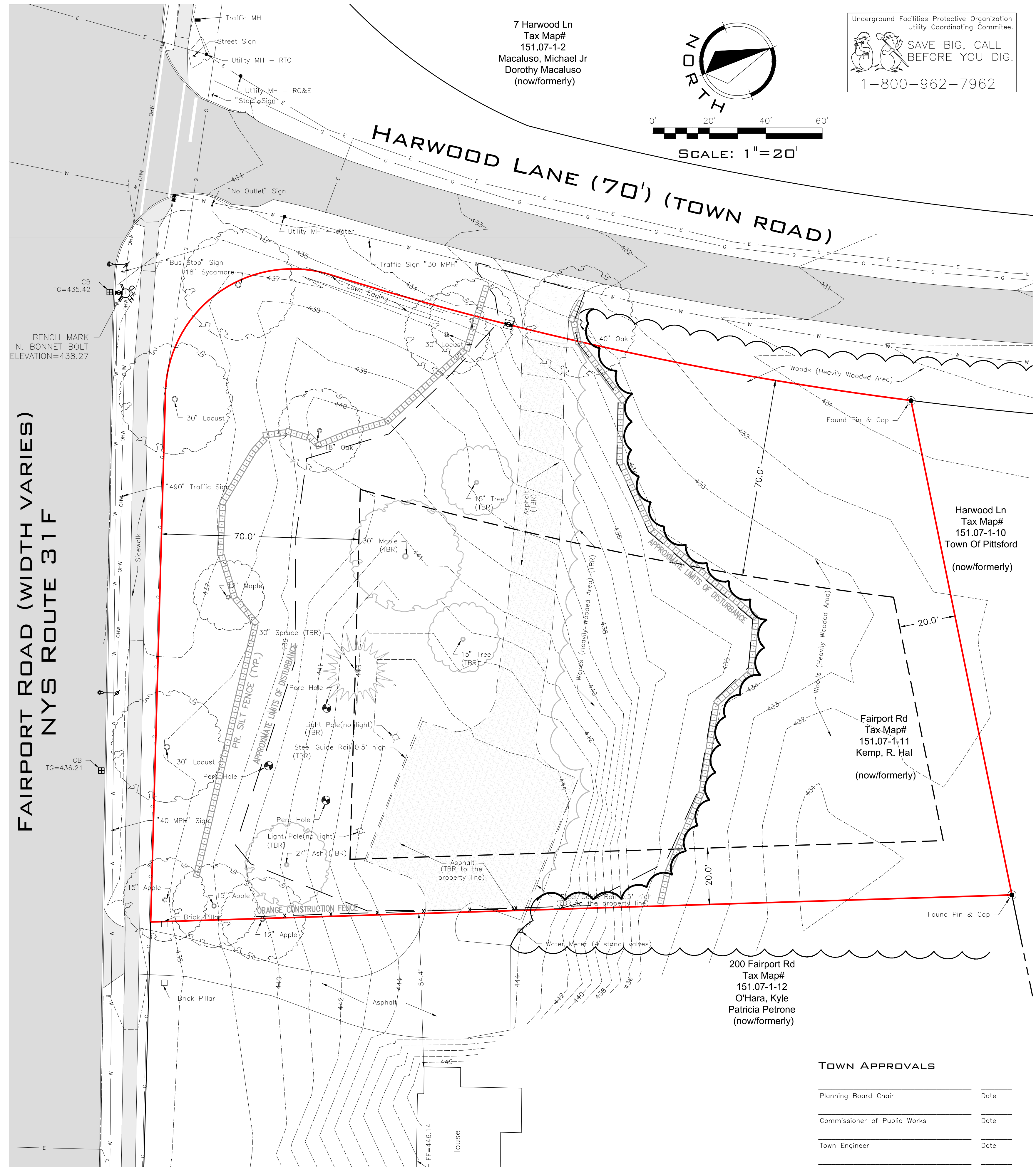
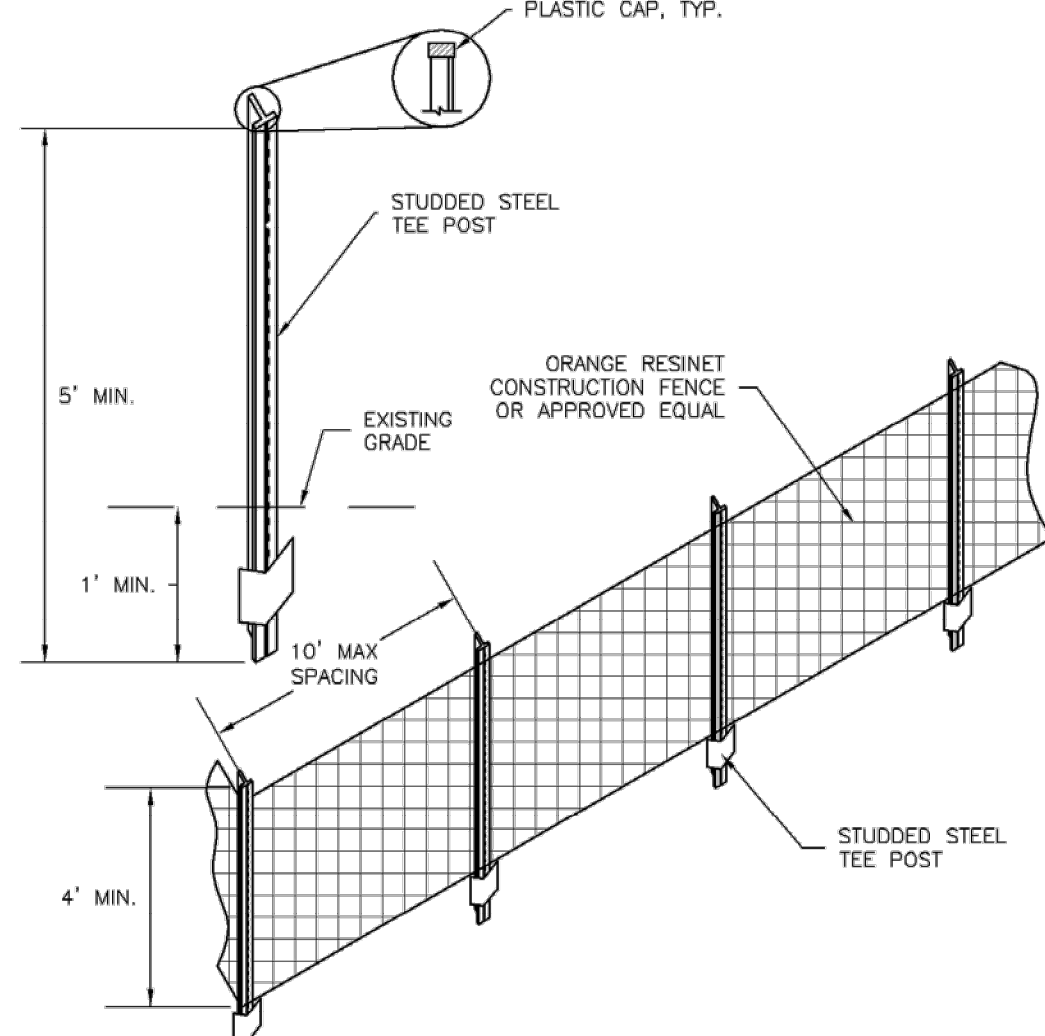
LINETYPES	SYMBOLS
Centerline	Utility Pole
Property Line	Water Gate Valve
Resub. Prop. Line	Curb Box
Easement Line	Gas Valve
Existing Contour	Utility Box
Proposed Contour	Transformer
Chain Link Fence	Survey Monument
Wood Fence	Mailbox
Guide Rail	Sign
Wire Fence	Iron pipe/rebar
Overhead Wires	Traffic Control M.H.
Gas Line	Cleanout
Water Line	Catch basin
Forcemain	Fire hydrant
Sanitary Sewer	Signal span pole
Storm Sewer	Perc hole
Electric	Deep hole
Edge of Woods	Benchmark
Floodzone	End section
Wetlands	Spot elev. x351.00'
Right-of-Way	Light pole
Landscaping & Retaining Walls	Well
Silt Fence	Utility manhole
Drainage Flow	Storm Sewer
Sump Pump Discharge	Manhole
	Sanitary Sewer
	Manhole
	Rebar (to be set)

LINE STYLES	LABELS
Feature to be removed (Gray Line)	Record Map Info. "(R)"
Existing Utility (Light Line Weight)	Typical Style "Typ"
Proposed Utility (Heavier Line Weight)	To Be Removed "TBR"
	Proposed "Pr."



DEMOLITION/CONSTRUCTION NOTES

- Obtain all necessary permits from the Town and/or other agencies prior to the start of work.
- The approximate soil disturbance is 0.6 acres. Therefore, a NYSDEC GP-0-20-001 permit is NOT required from the New York State Department of Conservation.
- Contact all utility companies to ensure that all services have been properly disconnected and/or shut off.
- Contact UFPO for a utility stake-out at least 48 hours before commencement of demolition activities for a utility stake-out.
- Install perimeter erosion control as shown and orange construction fence around trees that will remain. The contractor/owner is responsible for any damage to trees not designated for removal. Trees shall be pruned, watered, and fertilized prior to, during and after construction. Materials and equipment storage shall not be allowed in fenced areas.
- Commence demolition and removal of specified trees. Demolition debris must be removed from the site and disposed of in accordance with State and local regulations. Utilize stockpile/staging location as shown. No existing construction materials (concrete or other) shall remain on-site. The grade within the demolished footprint shall be restored to match adjoining, undisturbed grades. Backfill shall be suitable construction fill (subsoil free of organic material, or other structural fill acceptable to the Town) and compacted to at least 70% maximum density (Proctor).
- Completion of demolition area must be graded and seeded with a mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and Perennial ryegrass (25%) at a rate of 250 lbs/acre.
- Rough grading for preparation of house construction must utilize the temporary soil stockpile location as shown on plan. Stockpile to be surrounded by silt fence for erosion control.
- Excess soil to be transported off-site in a manner compliant with Code/Requirements.
- Stockpile area to be utilized for staging of construction materials. Contractor to take precautions to prevent the discharge of petroleum and other pollutants.
- Whether during demolition or construction, all disturbed areas shall be protected from erosion either by mulch or temporary seeding within two weeks of disturbance.
- Should excavation disturb any apparently archaeologically sensitive areas, or any environmental conditions or issues not previously identified, there shall be immediate cessation of work and notification to the Town, the Monroe County Department of Health, and the New York State Department of Environmental Conservation.
- Any excess spoil material not required for re-grading of the site must be removed from the site.



Underground Facilities Protective Organization
Utility Coordinating Committee.

SAVE BIG, CALL BEFORE YOU DIG.

1-800-962-7962

LAND4TECH

SURVEYING & PLANNING P.L.L.C.
710 LATTA ROAD - ROCHESTER, NY - 14612
PHONE (585) 442-9902 - FAX (585) 225-4819



SCALE: 1"=20'	DATE: 7/10/20	DRAWN BY: KMS	CHECKED BY: JHS	PROJECT NUMBER: 20169	REVISIONS

FAIRPORT ROAD

LOT 13 HARWOOD FARMS, SECTION M

LOT 6 OF THE BLAKE TRACT, TOWN LOT 30, TOWNSHIP 12, RANGE 5, OF THE PHELPS AND BORHAM PURCHASE, TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

EXISTING CONDITIONS AND DEMOLITION PLAN

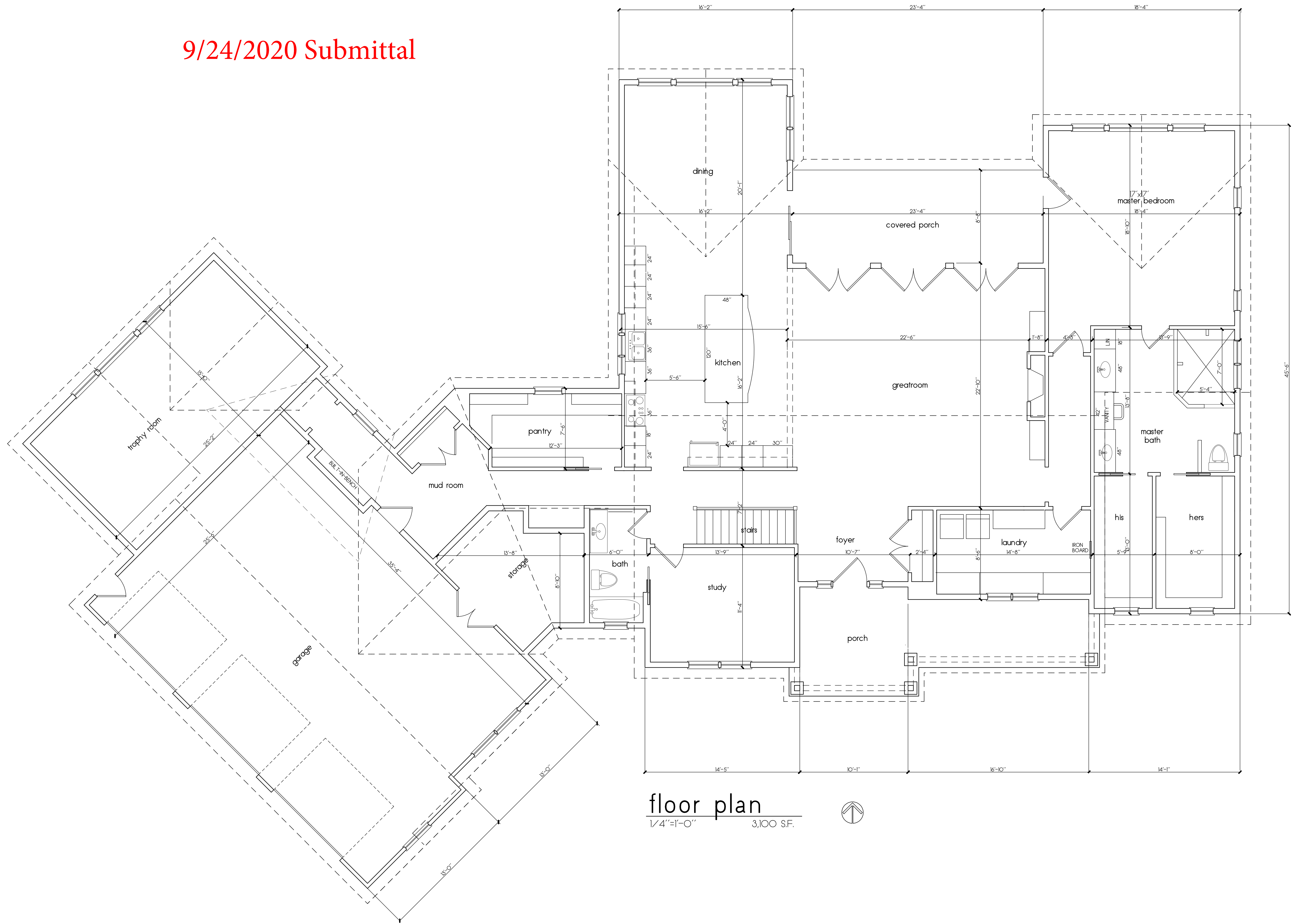
TOWN APPROVALS

Planning Board Chair	Date
Commissioner of Public Works	Date
Town Engineer	Date
Pittsford Sewer Department	Date

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

W:\PROJECTS\2020\20169 - Harwood Lane\CAD\20169 - Harwood Lane 8-25-2020.dwg, 8/28/2020 11:50:06 AM

9/24/2020 Submittal



floor plan
1/4"=1'-0" 3,100 S.F.

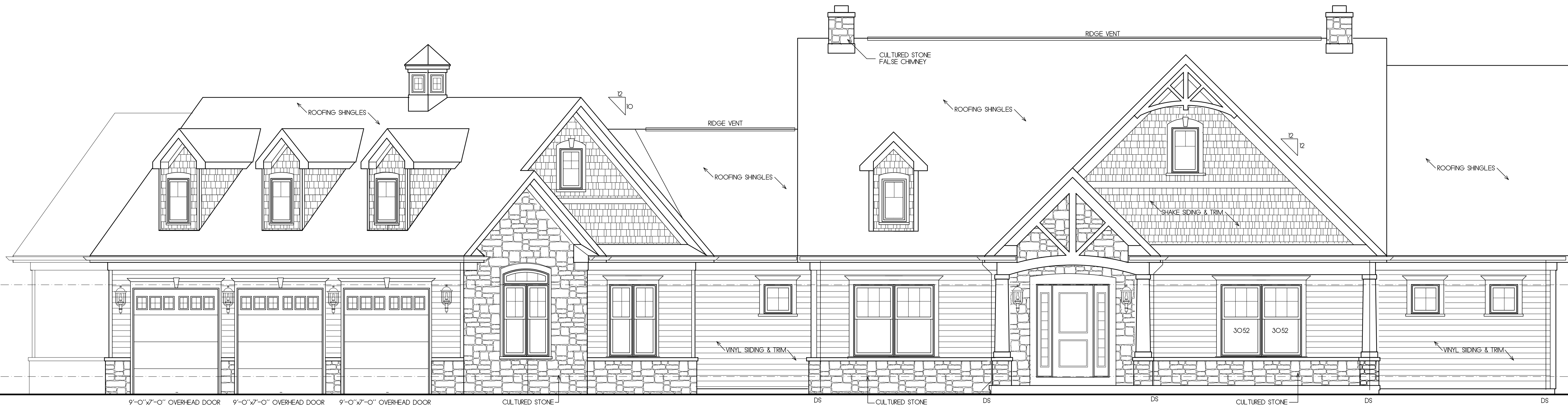
REVISIONS	DATE	DESCRIPTION
No.		

JOB NO. HARWD

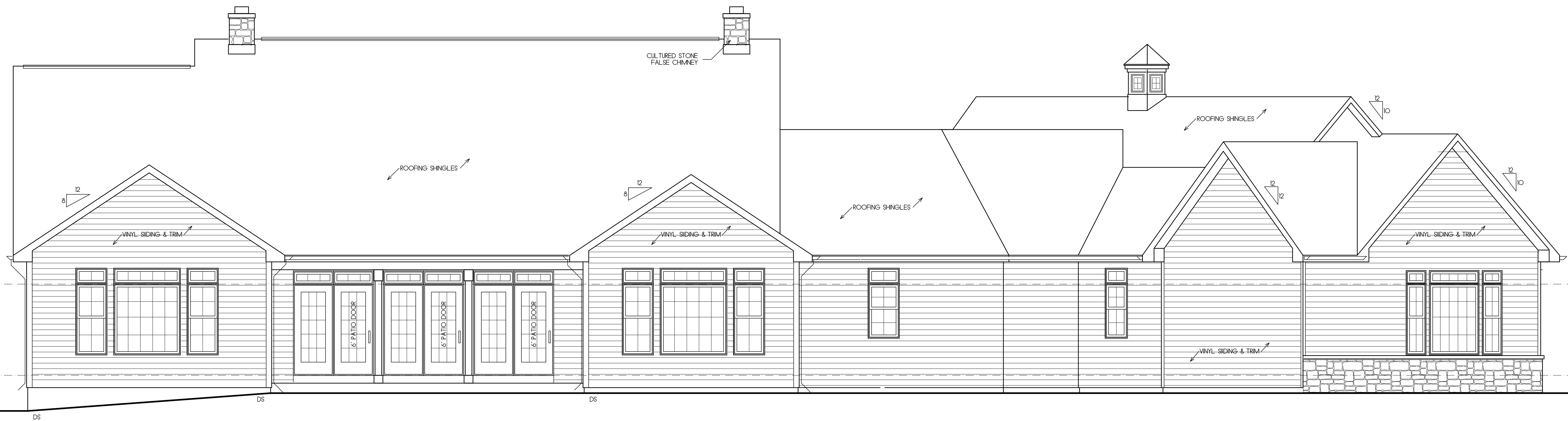
A-1

AUG. 20, 2020

9/24/2020 Submittal



south elevation
1/4"=1'-0"



north elevation
1/4"=1'-0"

ALA architects
ROCHESTER, NEW YORK 14604
ALAAARC® FRONTIERNET
255 EAST AVENUE
(585) 512-2099

PROPOSED
ARGENTO & CASTELLANO
RESIDENCE
#2 HARWOOD LANE TOWN OF PITTSFORD, NEW YORK

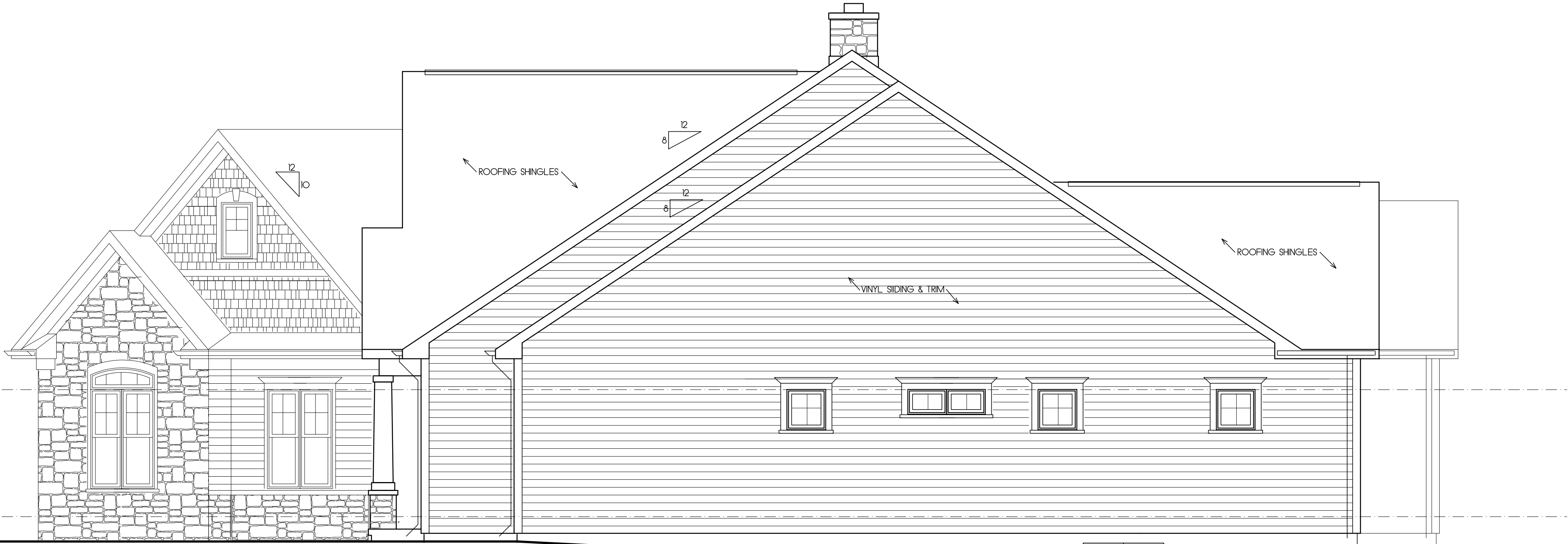
REVISIONS	No.	DATE	DESCRIPTION

JOB NO. HARWD

A-2

AUG. 20, 2020

9/24/2020 Submittal



east elevation
1/4"=1'-0"

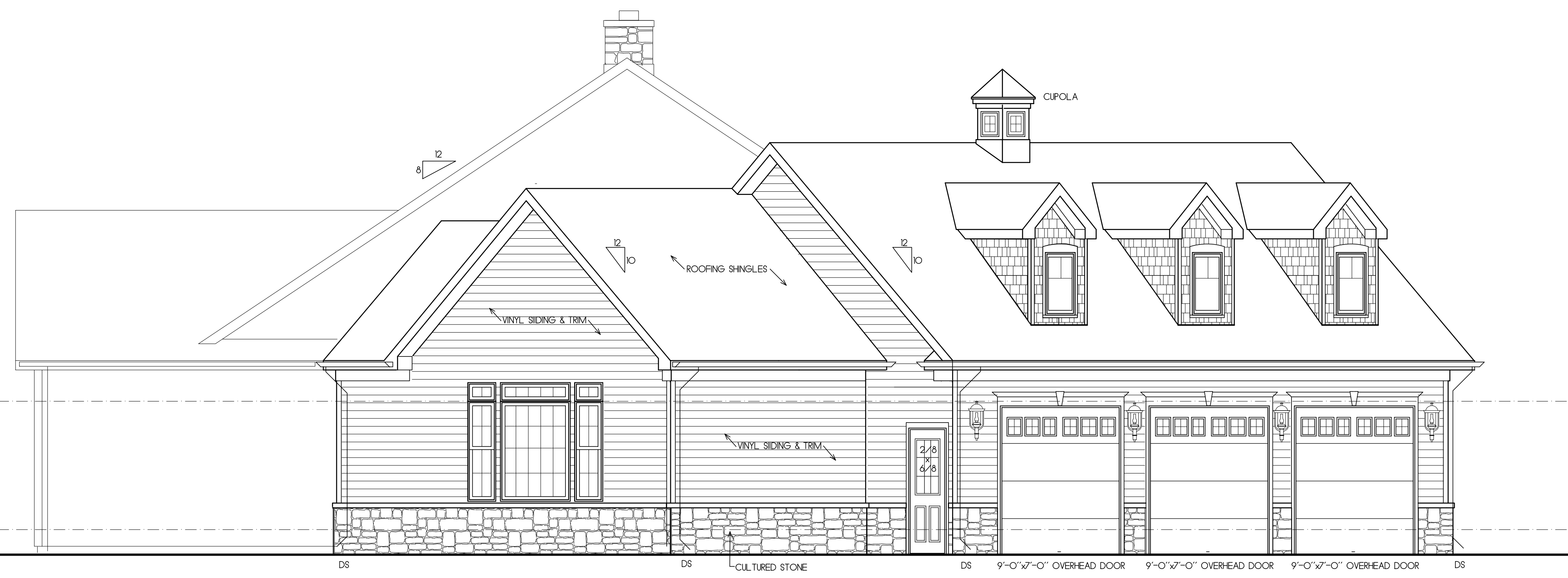
EGRESS WINDOW
20" MIN CLEAR WIDTH
57 MIN SF CLEAR OPENING
SILL HGT. 44" MAX ABOVE FLOOR

NOTE:
PROVIDE LADDER OUT OF WELL
IF BOTTOM OF WELL IS MORE
THAN 44" BELOW GRADE

EGRESSIBLE SLIDER
4'-8" x 4'-8" MIN.

WINDOW WELL DRAIN SHALL CONNECT TO
FOUNDATION DRAINAGE SYSTEM OR
DISCHARGE TO DAYLIGHT

3'-0" MIN DEPTH
OF WELL



west elevation
1/4"=1'-0"

ALA architects
ROCHESTER, NEW YORK 14604
1585 52-2099
ALAAAC® FRONTIERNET

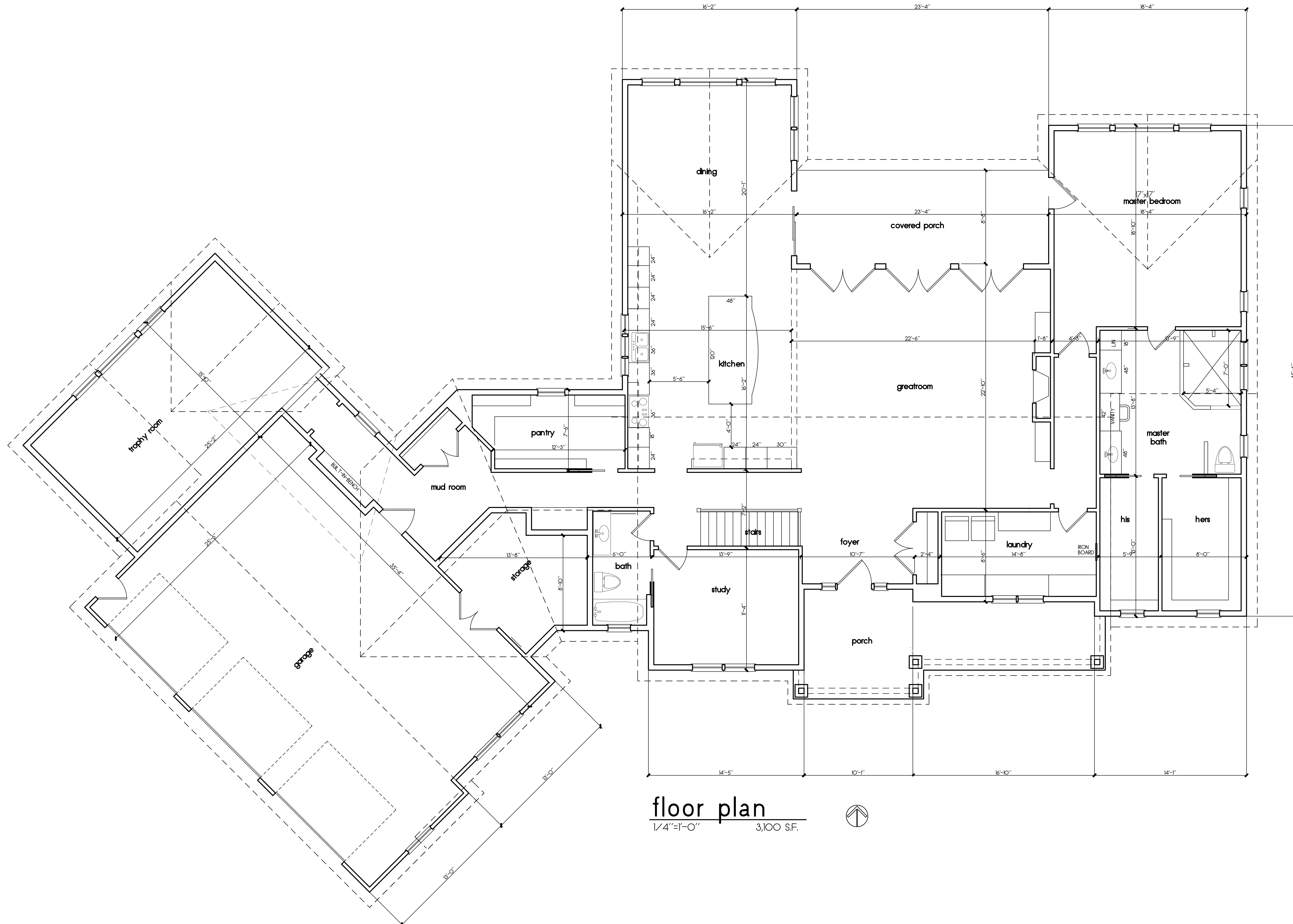
PROPOSED
ARGENTO & CASTELLANO
RESIDENCE
#2 HARWOOD LANE TOWN OF PITTSFORD, NEW YORK

REVISIONS	DATE	DESCRIPTION
No.		

JOB NO. HARWD

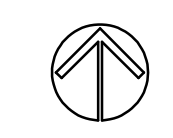
A-3

AUG. 20, 2020



floor plan

1/4"=1'-0" 3,100 S.F.



REVISIONS	DATE	DESCRIPTION
No.		

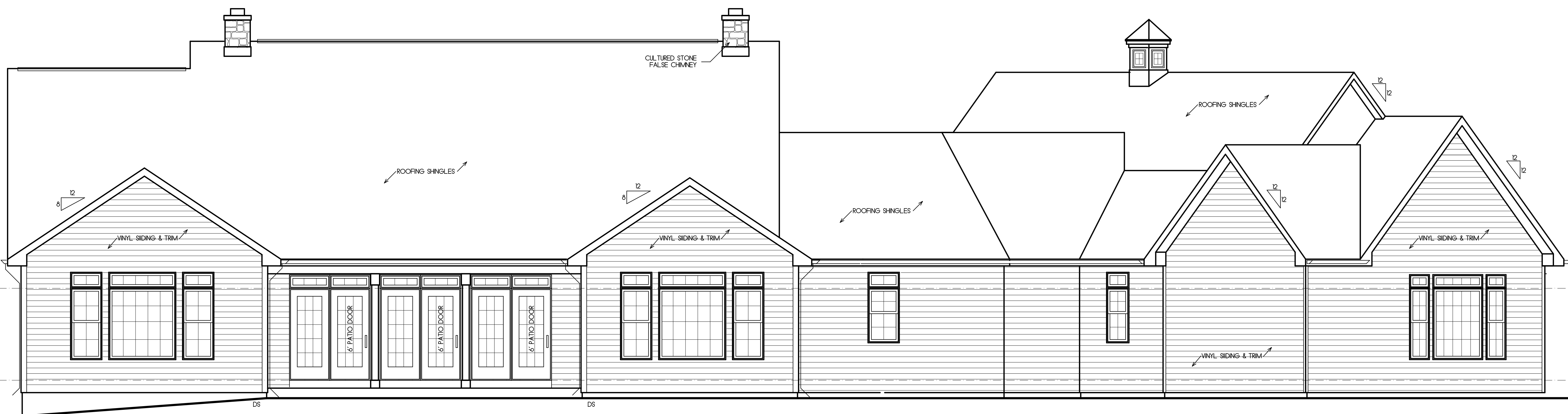
JOB NO. HARWD

A-1

AUG. 20, 2020



south elevation
 1/4"=1'-0"



north elevation
 1/4"=1'-0"

REVISIONS

No.	DATE	DESCRIPTION

JOB NO. HARWD

A-2

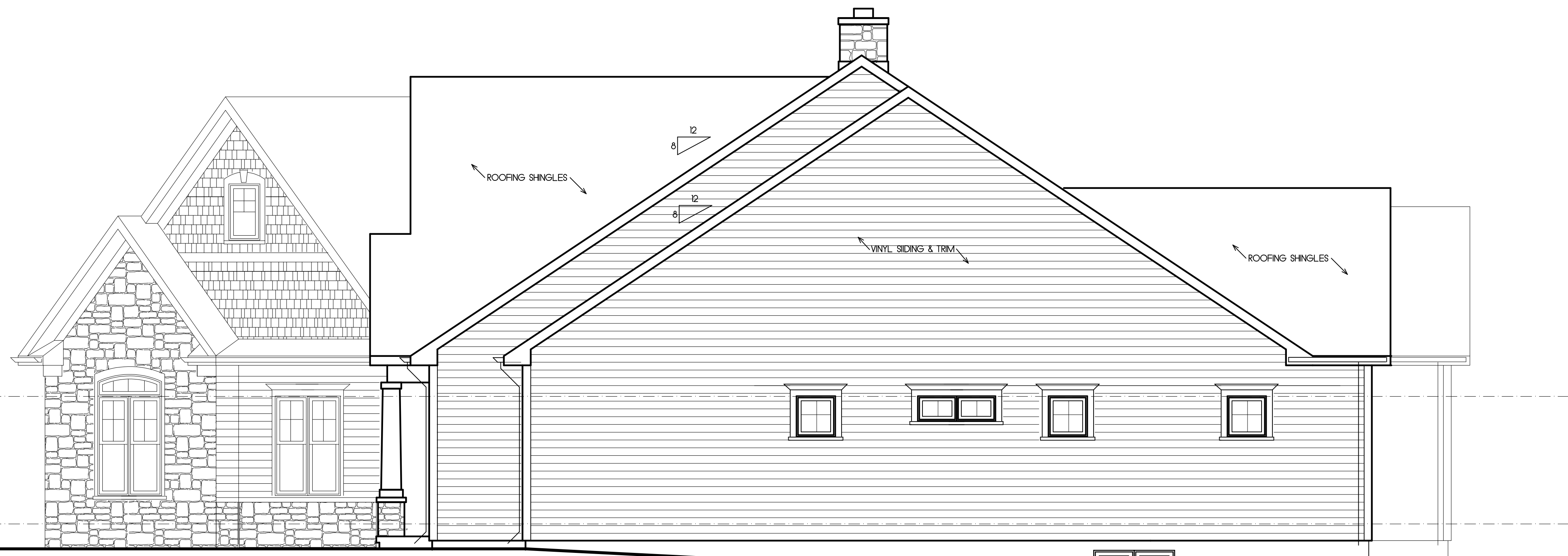
AUG. 20, 2020

REVISIONS	DATE	DESCRIPTION
No.		

JOB NO. HARWD

A-3

AUG. 20, 2020

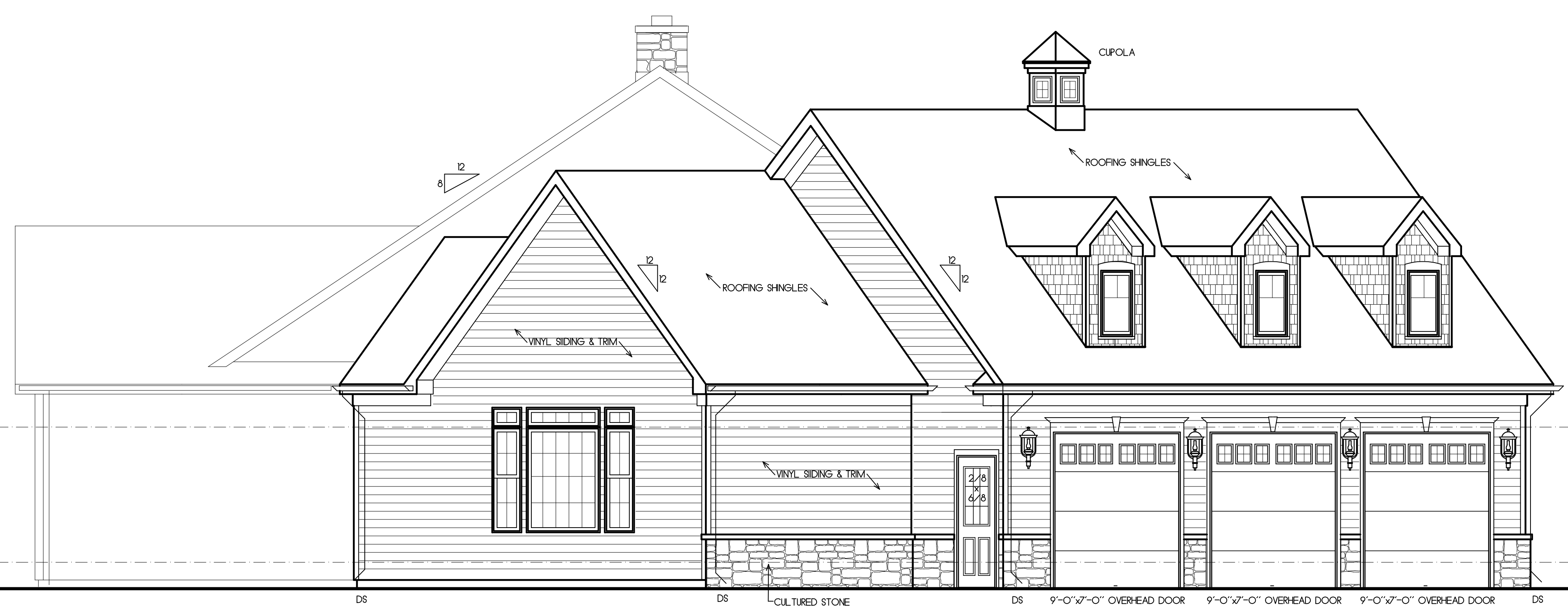


east elevation
 1/4"=1'-0"

EGRESS WINDOW
 20" MIN. CLEAR WIDTH
 57 MIN. SF. CLEAR OPENING
 SILL HGT. 44" MAX ABOVE FLOOR
 NOTE: PROVIDE LADDER OUT OF WELL IF BOTTOM OF WELL IS MORE THAN 44" BELOW GRADE

EGRESSIBLE SLIDER
 4'-8" x 4'-8" M.O.

WINDOW WELL DRAIN SHALL CONNECT TO FOUNDATION DRAINAGE SYSTEM OR DISCHARGE TO DAYLIGHT
 3'-0" MIN. DEPTH OF WELL



west elevation
 1/4"=1'-0"

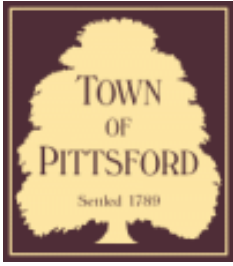


TOWN OF PITTSFORD
JAMES BRANCH LIBRARY









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000130

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 66 Ellingwood Drive ROCHESTER, NY 14618

Tax ID Number: 138.18-1-83

Zoning District: RN Residential Neighborhood

Owner: Salafia, Nunzio

Applicant: Salafia, Nunzio

Application Type:

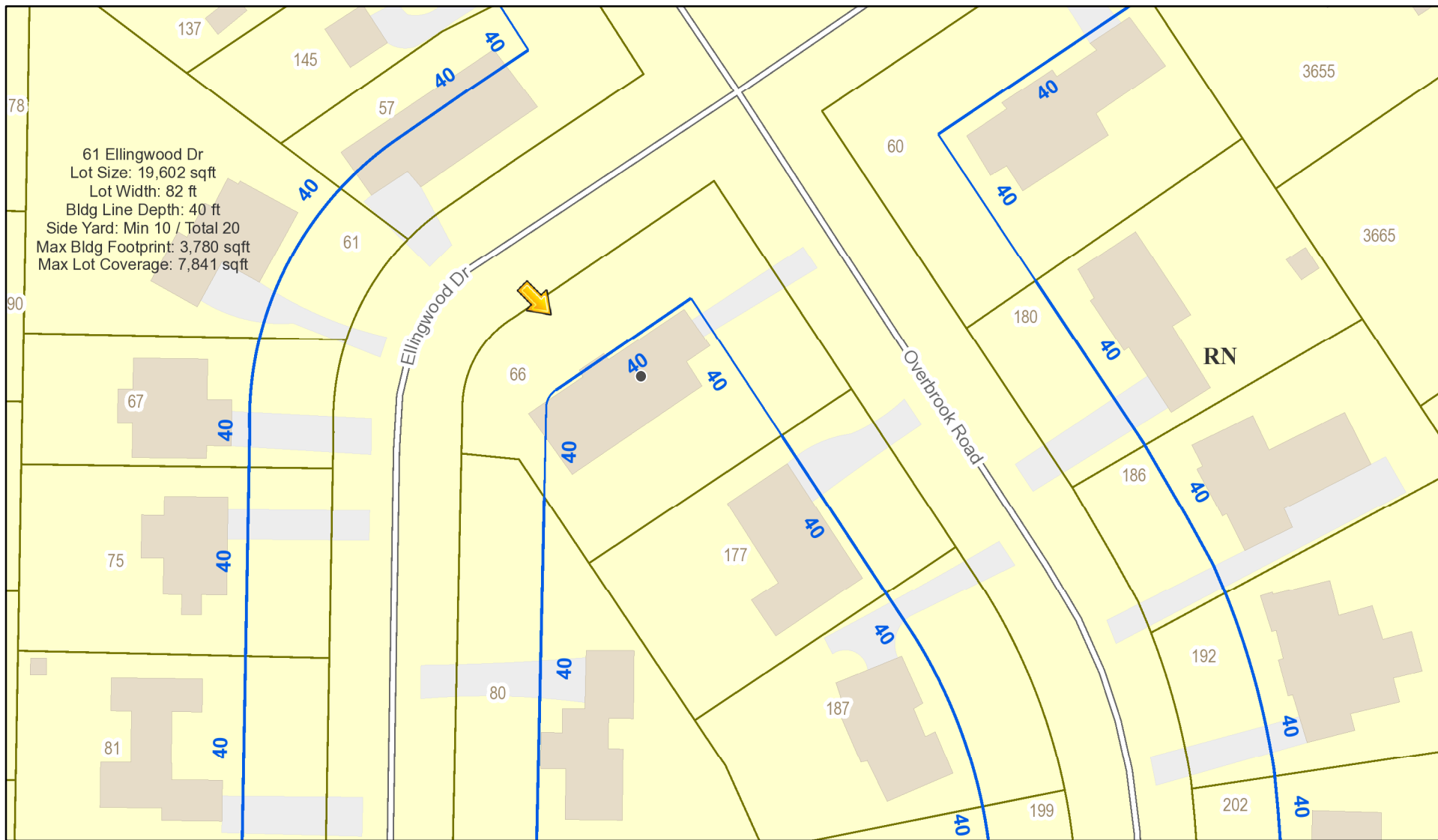
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request design review for the garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

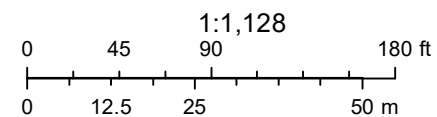
Meeting Date: September 24, 2020



RN Residential Neighborhood Zoning

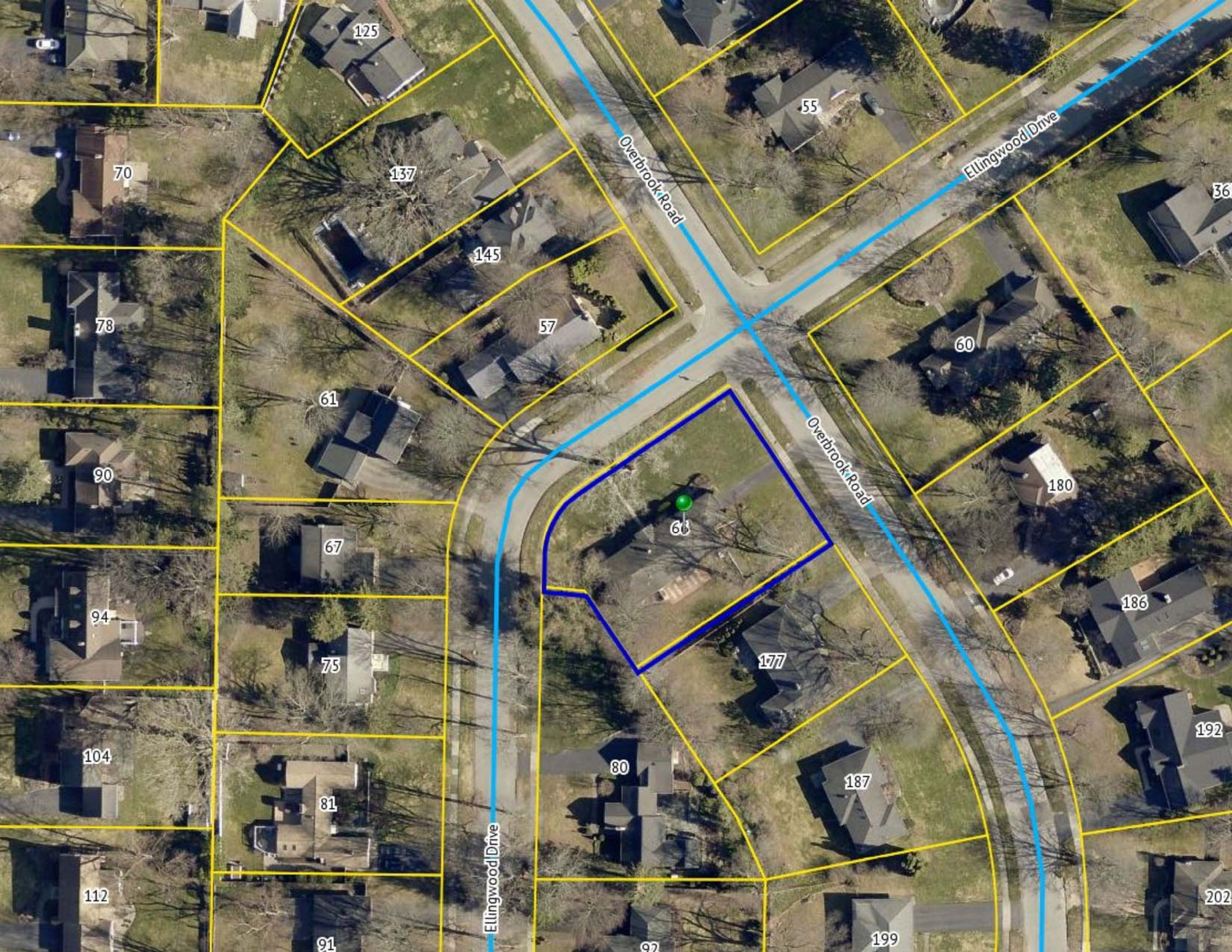


Printed September 3, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



125

55

70

137

Ellingwood Drive

36

78

145

57

60

61

Overbrook Road

180

90

67

66

186

94

75

177

192

104

81

80

187

202

112

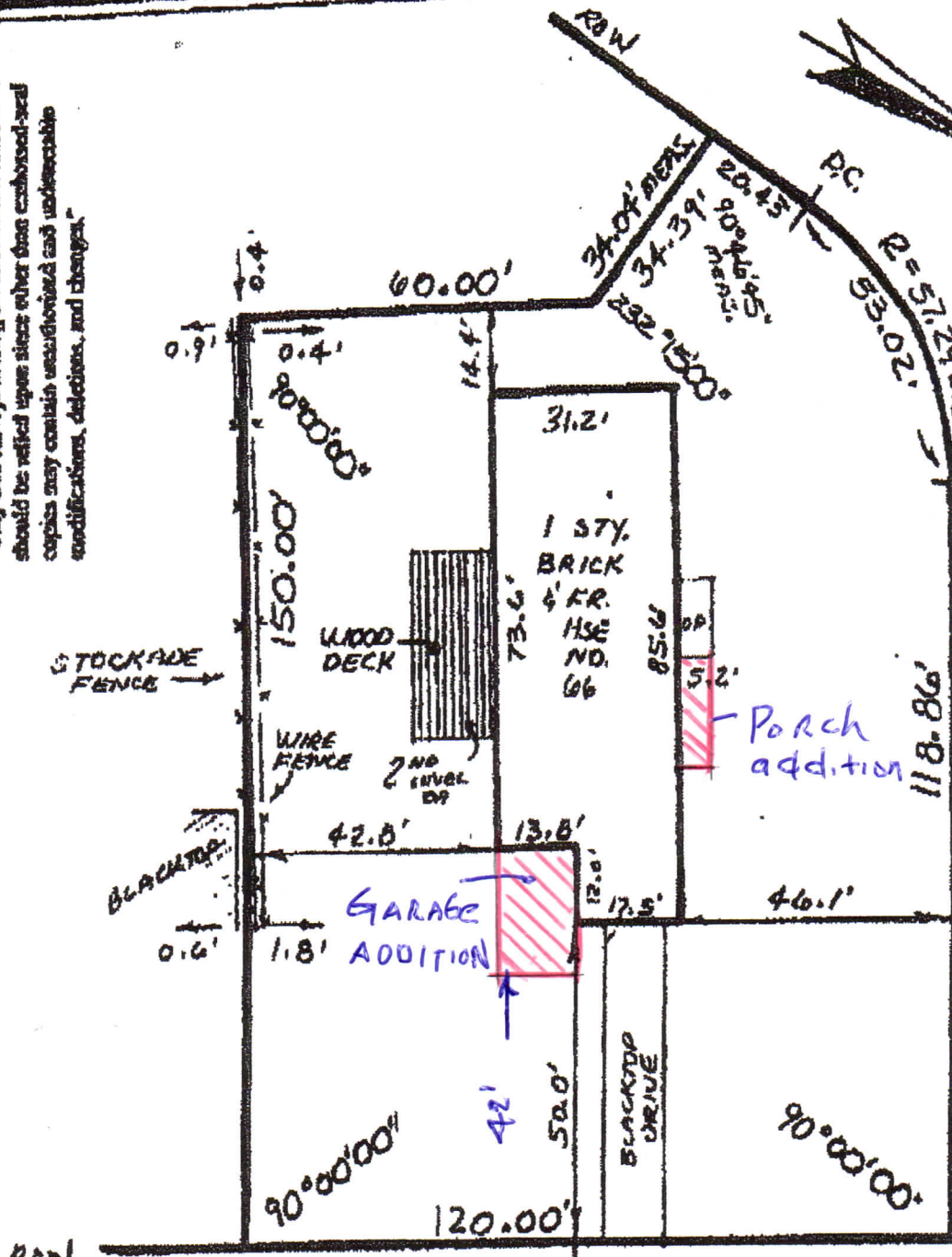
Ellingwood Drive

91

97

199

"Only site surveys having the metals embossed seal should be relied upon since other than embossed-seal copies may contain unauthorised and undetectable modifications, deletions, and changes."



ELLINGWOOD DRIVE
60' ROW

OVERBROOK ROAD

60' ROW

REFERENCES

- 1. L. 109 MAPS P. 15
- 2. L. 265 1/2 DEEDS, P. 83

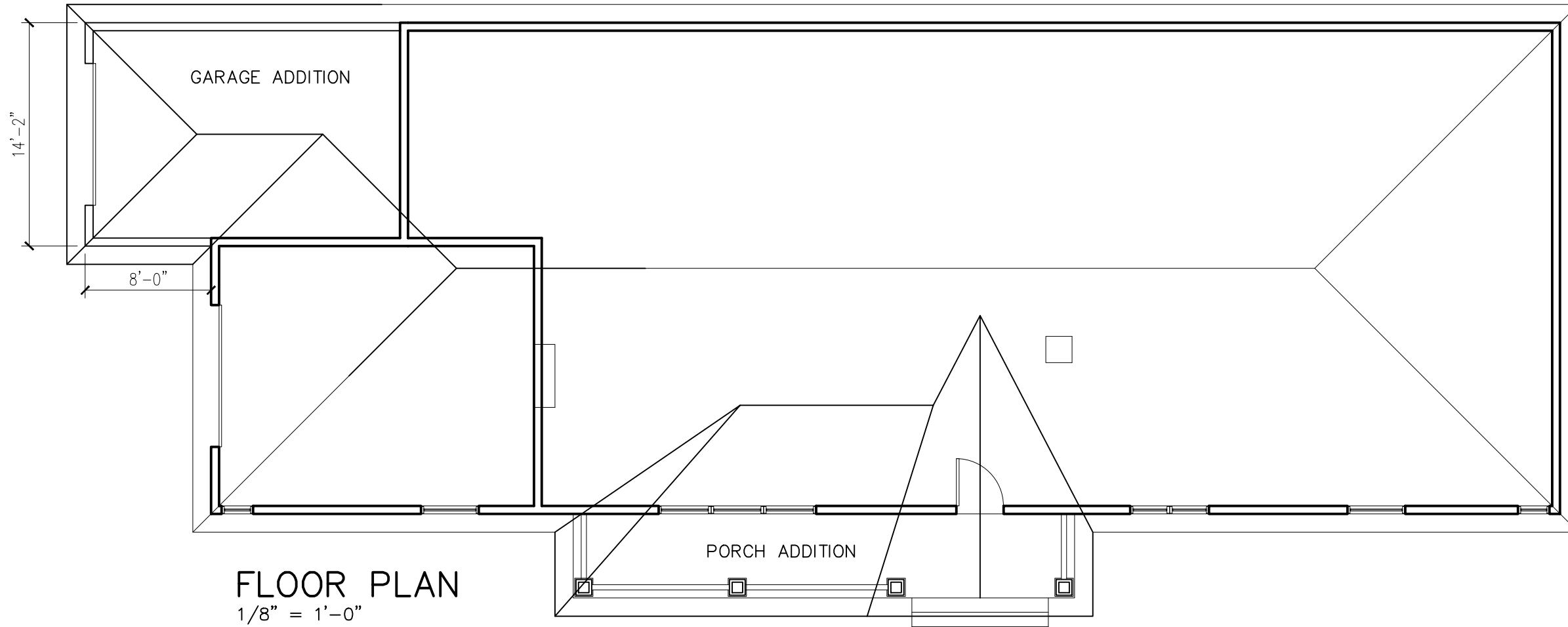
I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS MADE ON OCT. 23, 2003 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON OCT. 22, 2003,

James M. [Signature]

CERTIFIED TO:
1. PORTFOLIO ENTERPRISES, INC.

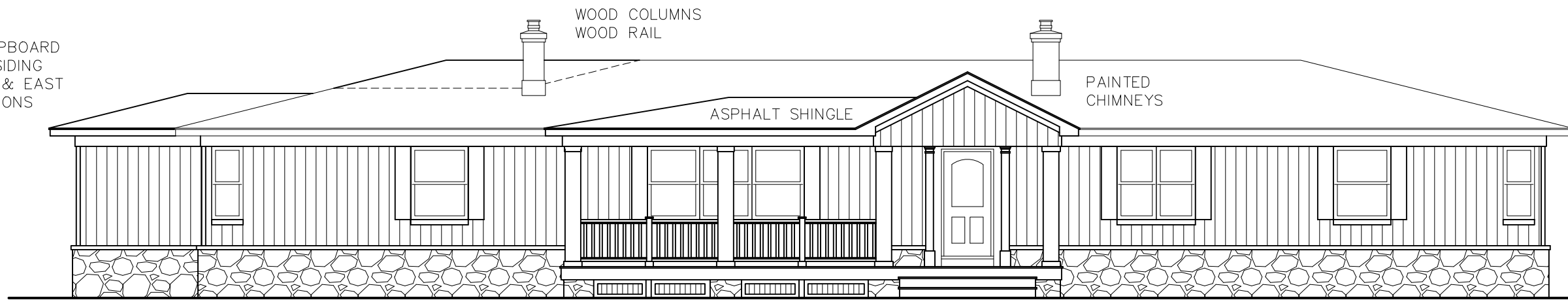
2.

"Unauthorized alteration or addition to a survey map having a licensed land surveyor's seal is a violation of section 1209, sub-Division 2, of the New York State Education Law."

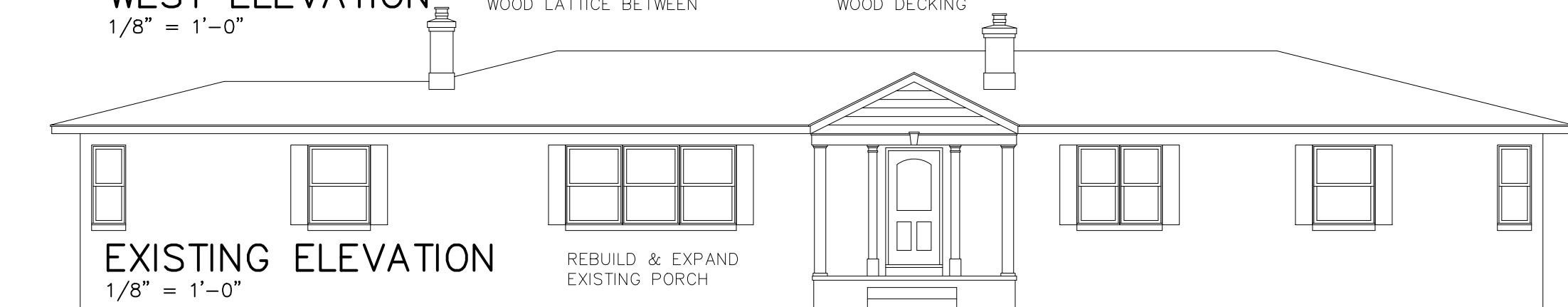


FLOOR PLAN
1/8" = 1'-0"

4" CLAPBOARD
VINYL SIDING
SOUTH & EAST
ELEVATIONS



WEST ELEVATION
1/8" = 1'-0"



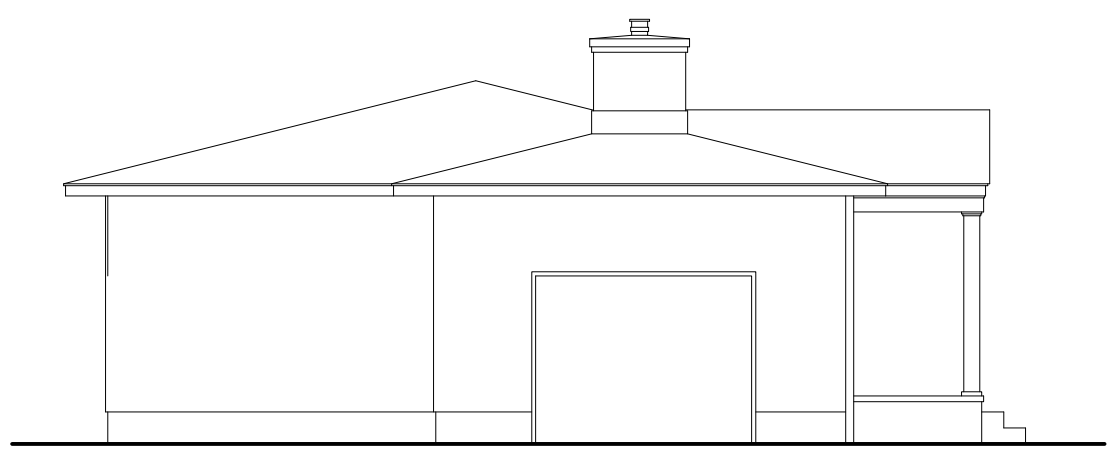
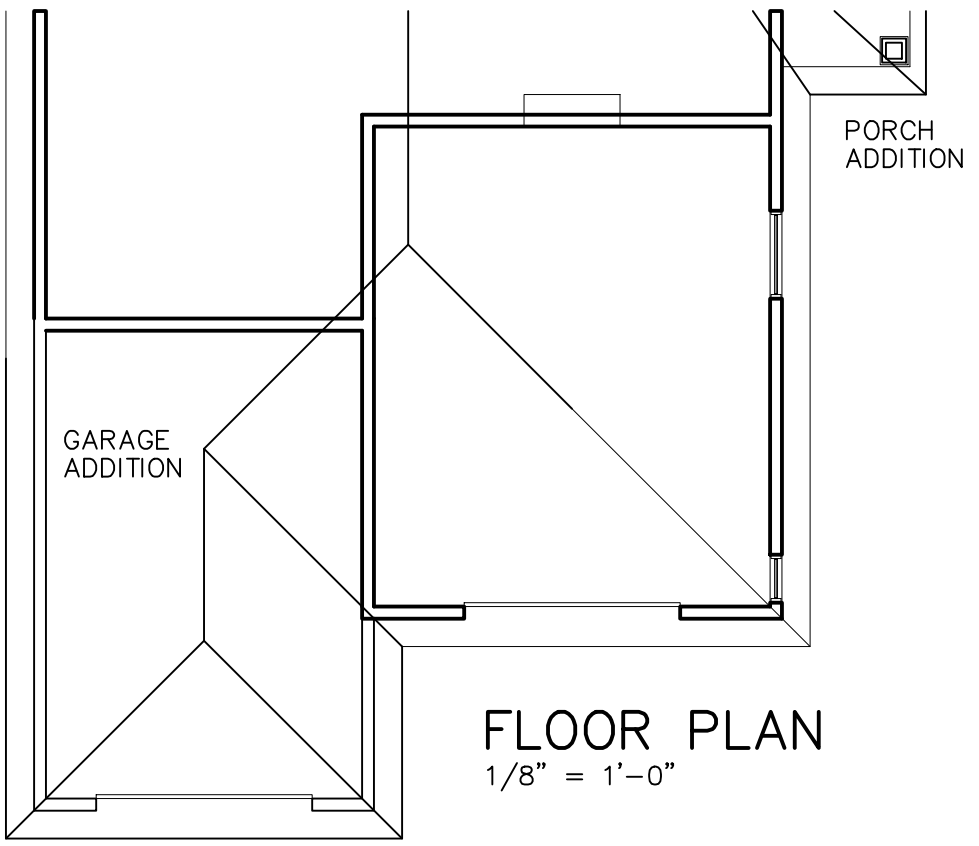
EXISTING ELEVATION
1/8" = 1'-0"

HOUSE PLANS
 FOR
66 ELLINGWOOD DRIVE
 PITTSFORD, NEW YORK

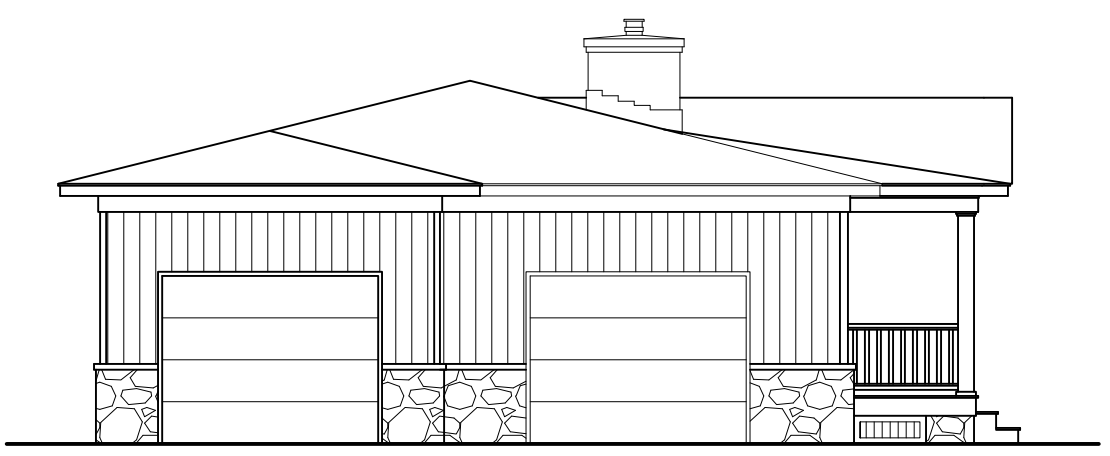
LOSON ARCHITECTURE PLLC
 284 THORNTON ROAD
 ROCHESTER NY 14617
 585-406-4757

DATE
 9/15/20

DW'G NO.
A-1



EXISTING ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

HOUSE PLANS
FOR
66 ELLINGWOOD DRIVE
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC 284 THORNTON ROAD ROCHESTER NY 14617 585-406-4757	
DATE 9/15/20	DW'G NO. A-2









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000153

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Skytop Lane PITTSFORD, NY 14534

Tax ID Number: 164.09-2-20

Zoning District: RN Residential Neighborhood

Owner: Jeffries, Edwin R

Applicant: Charles Smith (Architect)

Application Type:

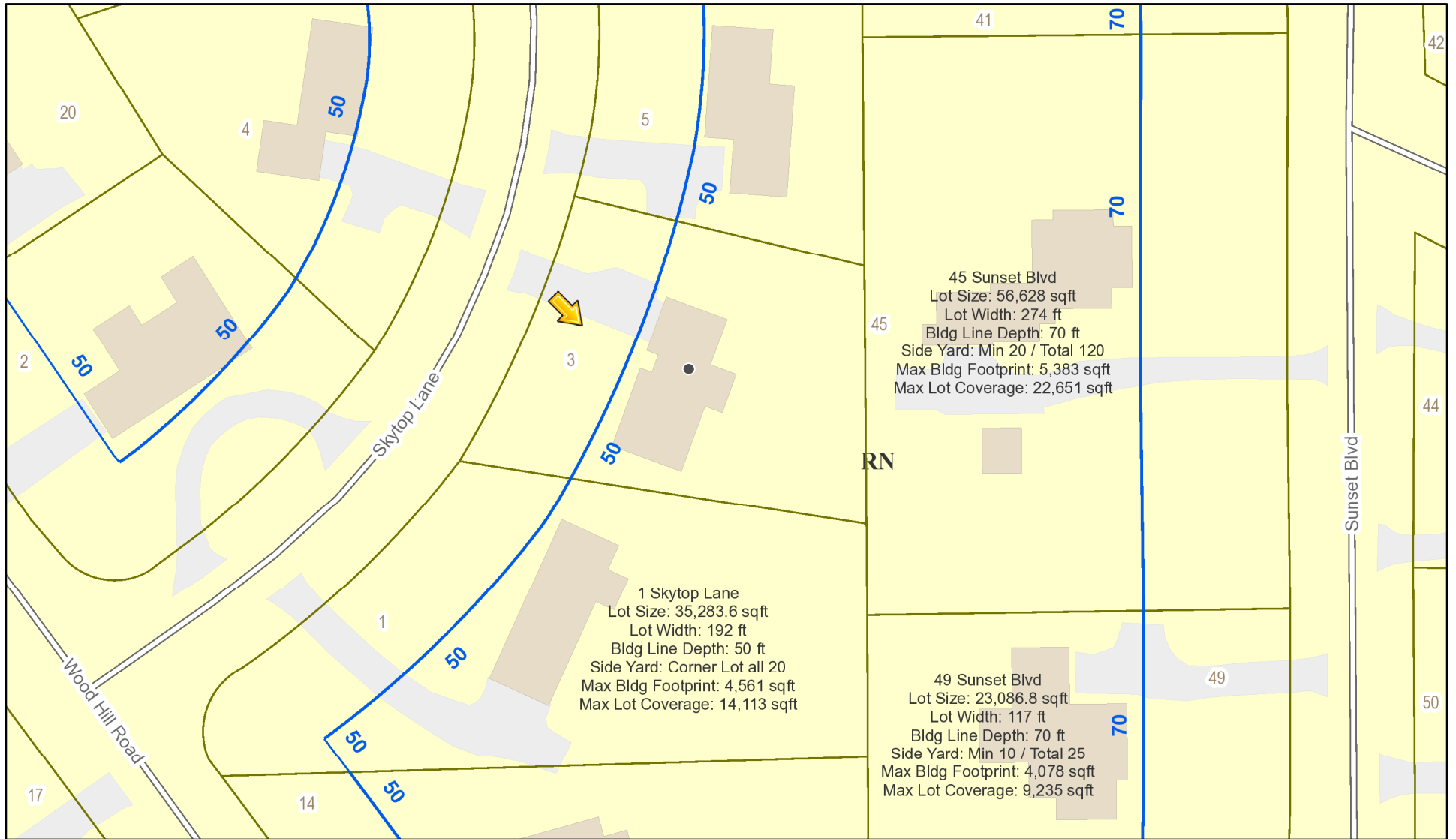
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the living room and three season room additions. Both additions will be to the rear of the home with the living room addition being approximately 484 square feet and the three season room 120 square feet.

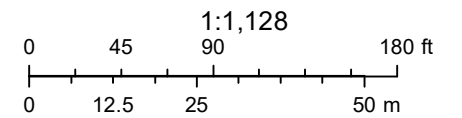
Meeting Date: September 24, 2020



RN Residential Neighborhood Zoning

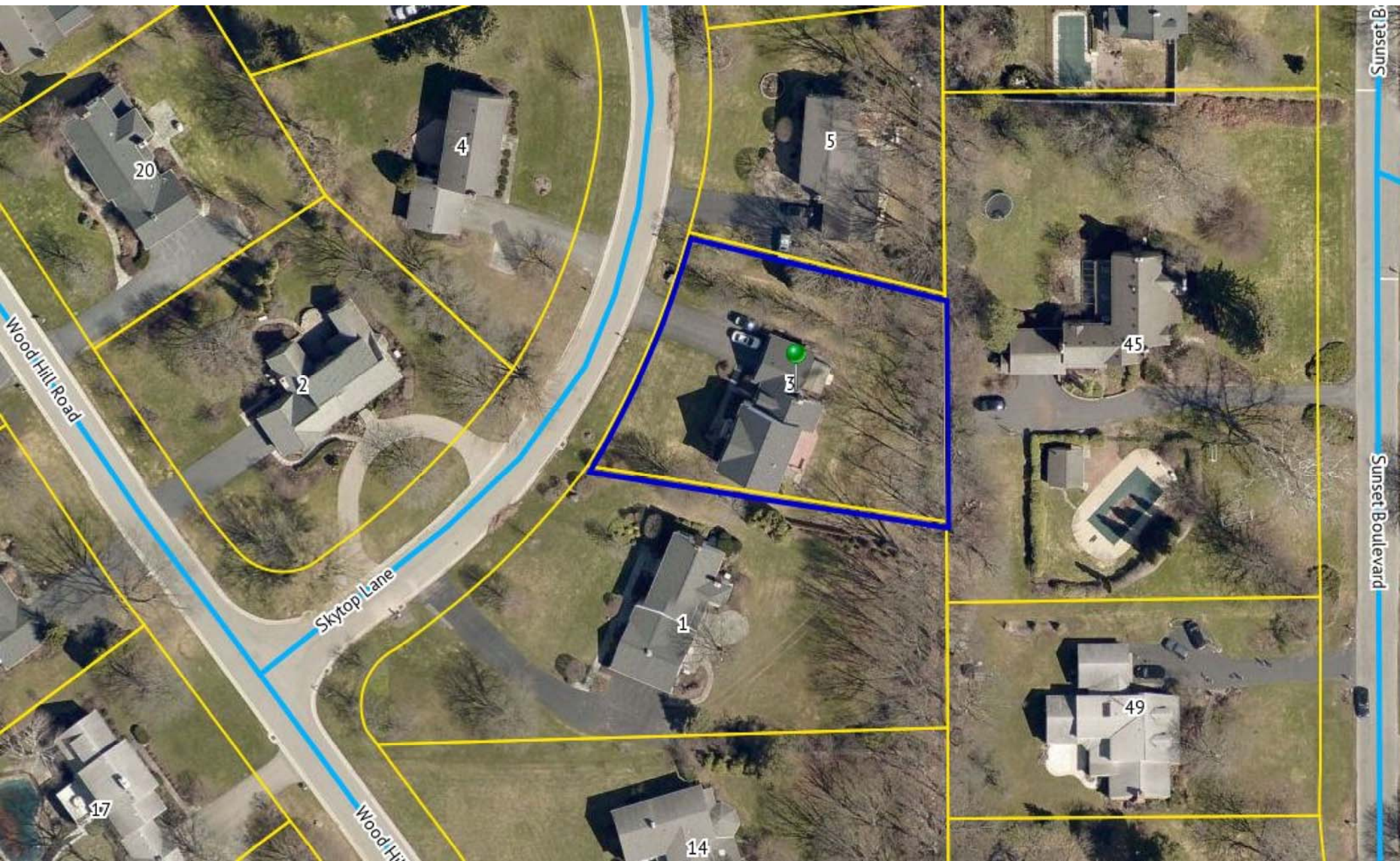


Printed September 17, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Sunset B

Sunset Boulevard

Jeffries Addition: 3 Skytop Lane, Town of Pittsford

Rear of existing house, showing living room addition location:



Rear of existing garage: location for 3 season room addition:



ROOF & ATTIC NOTES:

- APPROVED BITUMEN WATER SHIELD PRODUCT (e.g. GRACE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD *	ENTIRE ROOF	5'-0"	3'-0"

* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

- USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
- 30# FELT RECOMMENDED UNDER METAL ROOF (IF APPLICABLE).
- ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 1/60 OF THE AREA OF VENTED SPACE, WITH THE EXCEPTION OF 1/500 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE (R806.2).
- ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION (R-807).
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
- FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
- BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
- FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.

TRUSSES (IF APPLICABLE TO PROJECT)

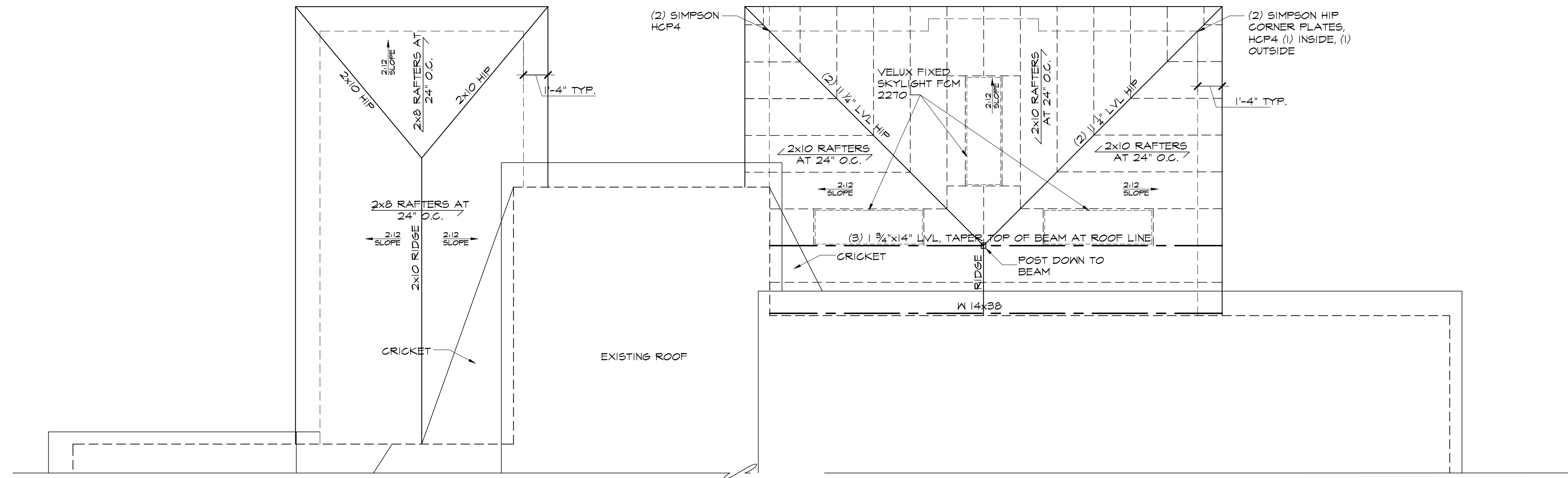
- TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
- TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS MANUFACTURER.
- FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
- PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 UNLESS NOTED OTHERWISE.

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE)
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

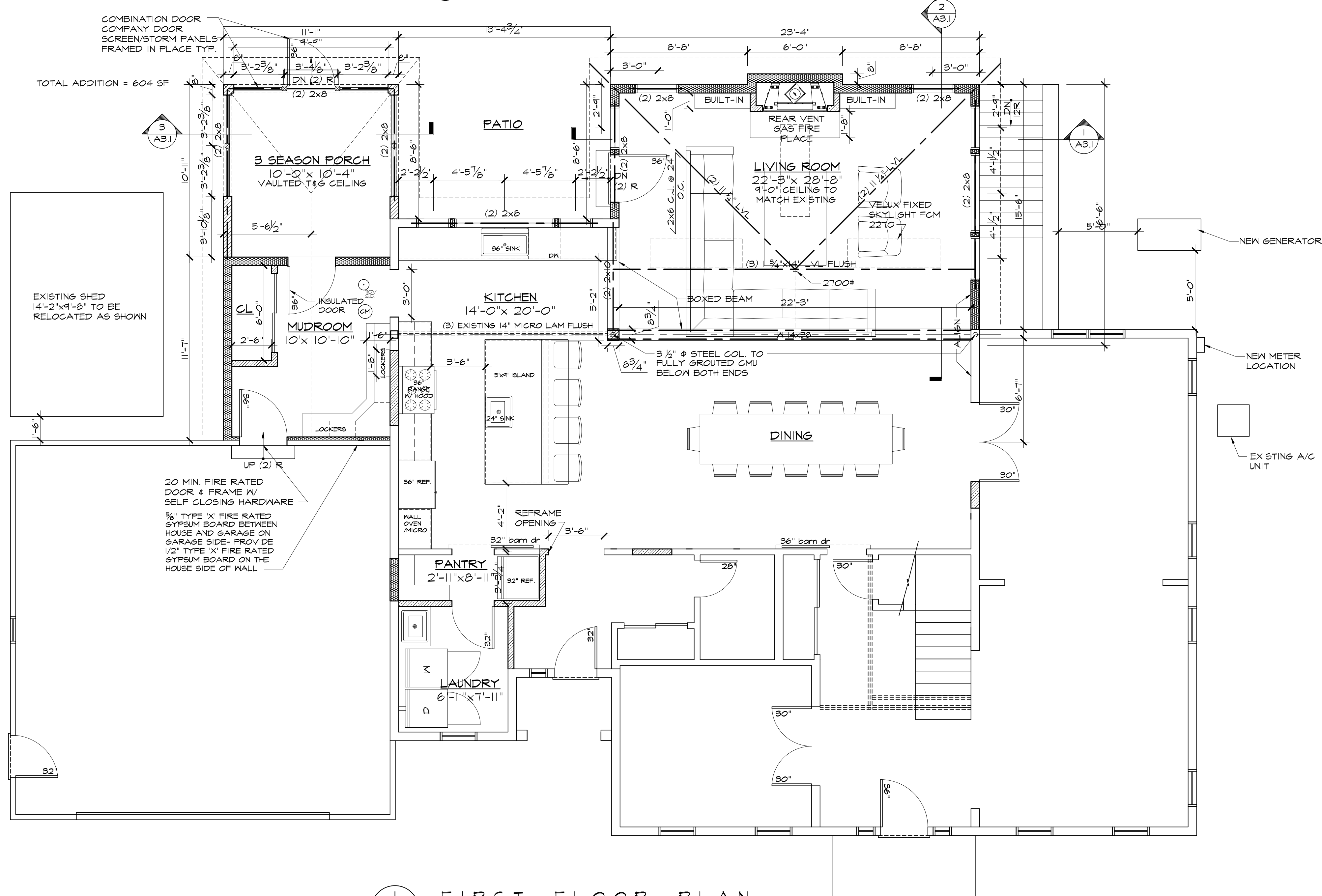
WALL TYPE LEGEND

	EXTERIOR INSULATED WALL
	EXTERIOR 2x FRAMING
	INTERIOR STUD FRAMING
	HALF WALLS
	POURED CONG.
	FOUNDATION WALL



2 ROOF PLAN

1/4" = 1'-0"



1 FIRST FLOOR PLAN

1/4" = 1'-0"

REVISIONS

No.	Date	Description

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104 :: Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com
 Copyright 2016 Design Works Architecture, P.C. All rights reserved.
 All material contained within is property of Design Works Architecture, P.C. and not to be reproduced without permission.

Ed & Maurin JEFFRIES RESIDENCE

3 Skytop Lane
 Town of Pittsford, New York
 Monroe County

Project No. 2026
Date: 09-14-20
Scale: AS NOTED
Drawn by: THM
Checked by: CBS

PERMIT SET

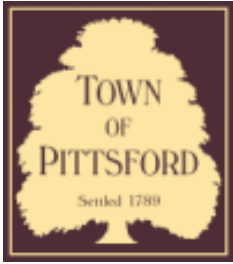
Title: Construction Documents
 FLOOR PLAN & ROOF PLAN

A-2.1









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000151

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 35 Trowbridge Trail PITTSFORD, NY 14534

Tax ID Number: 151.15-3-11

Zoning District: RN Residential Neighborhood

Owner: Lake, Matthew C

Applicant: Great Day Improvements LLC

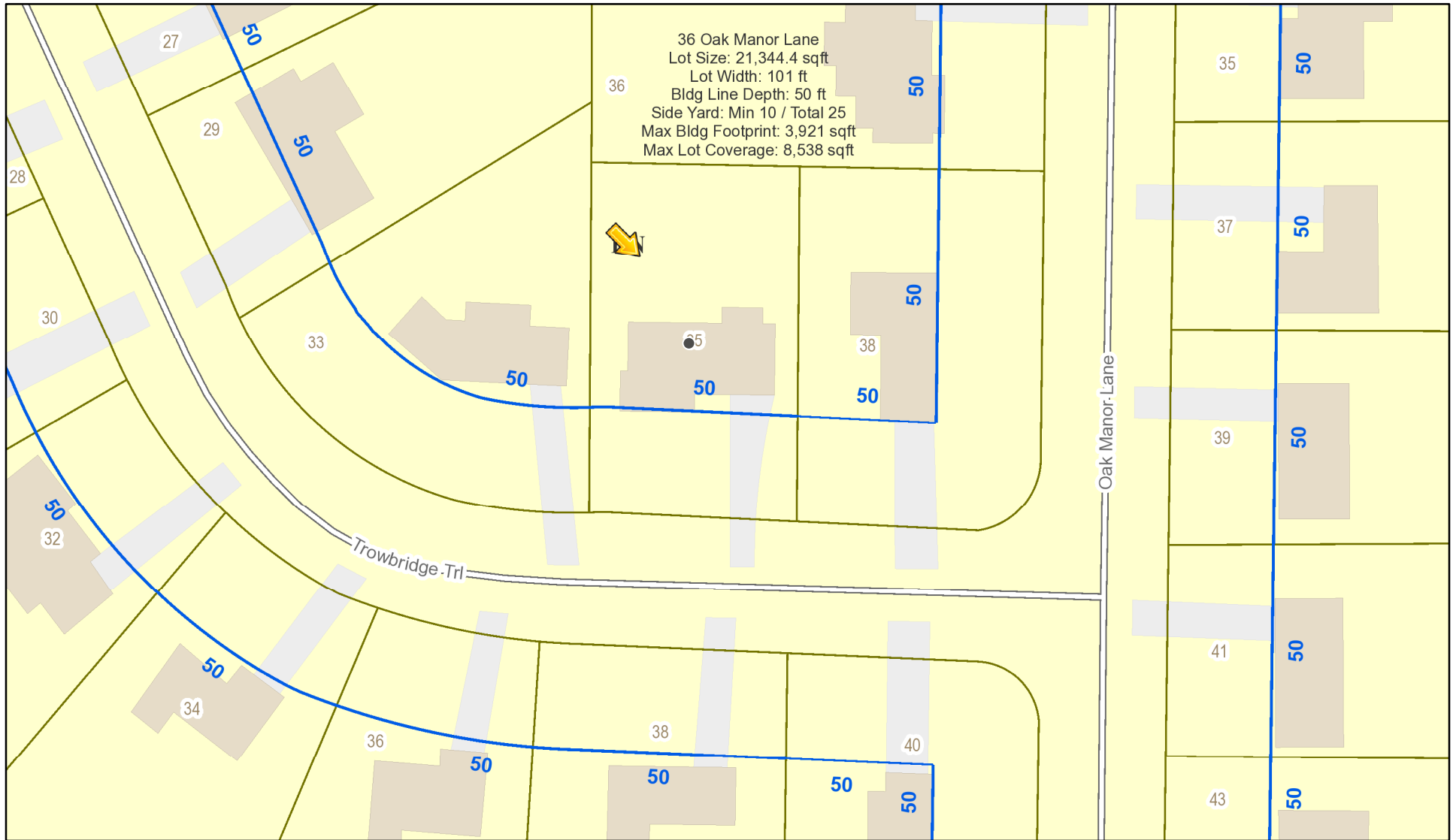
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

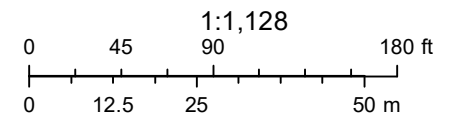
Project Description: Applicant is requesting design review for the addition of a three season room. The room will be approximately 160 square feet and will be located to the rear of the home.

Meeting Date: September 24, 2020

RN Residential Neighborhood Zoning

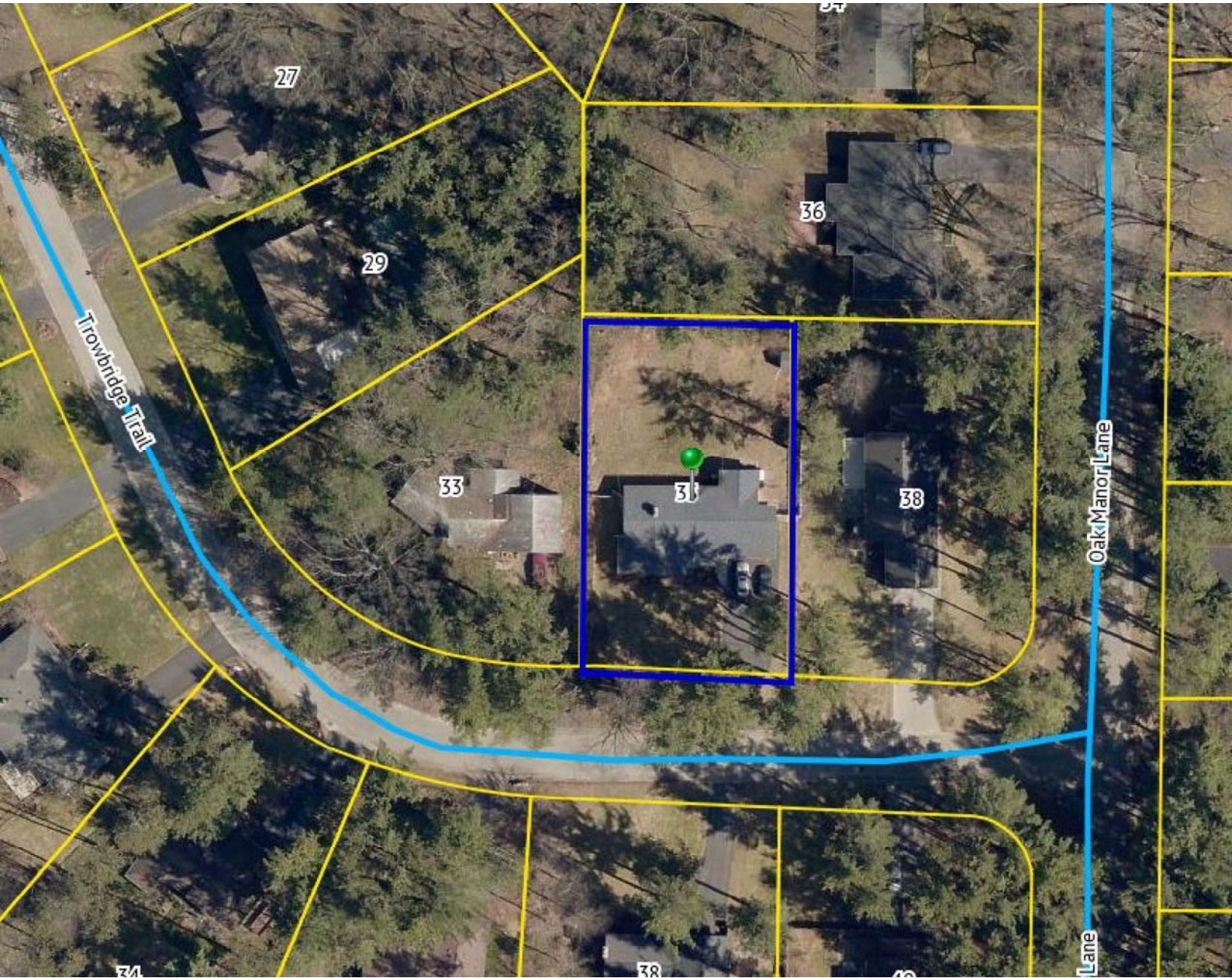


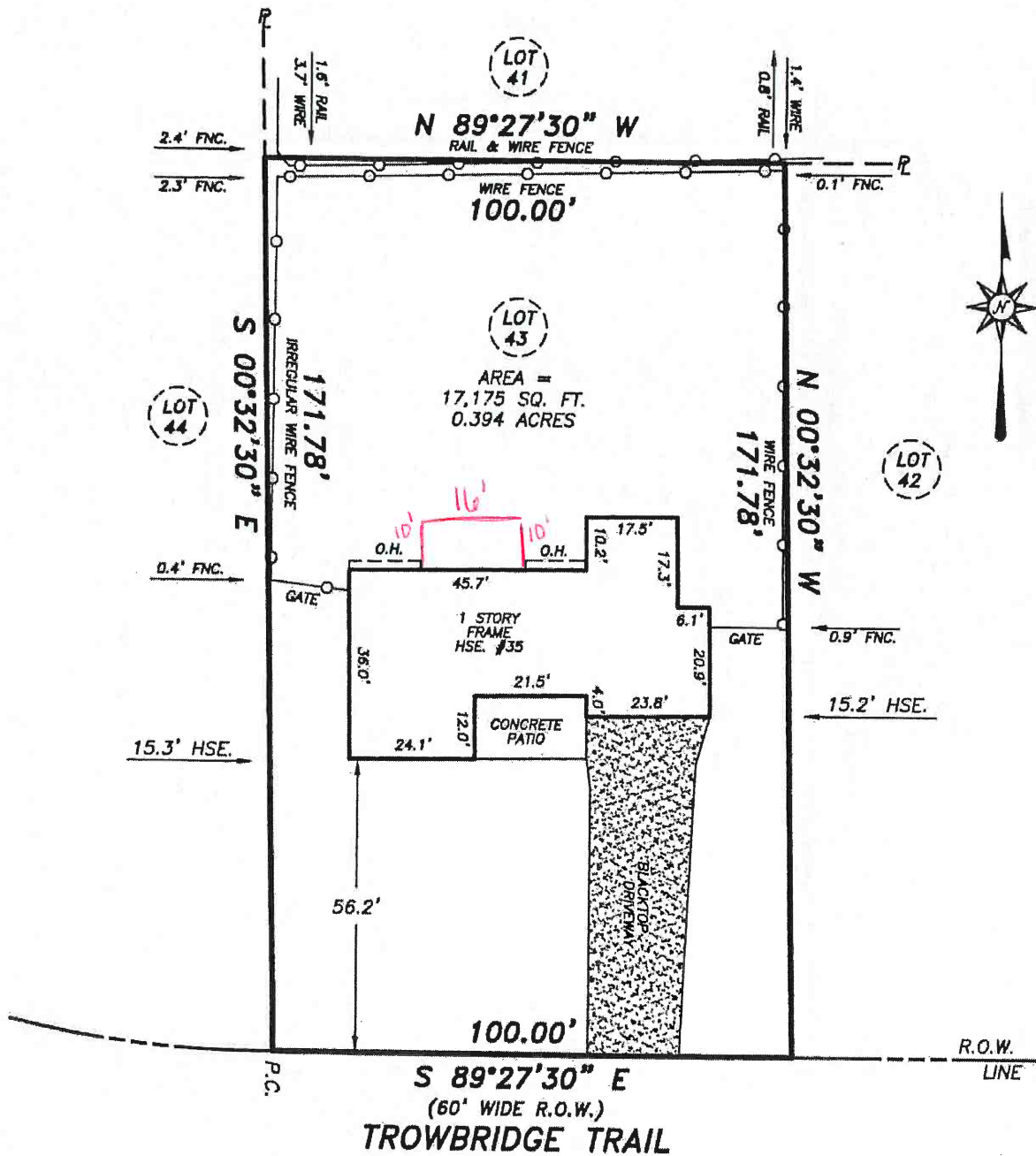
Printed September 17, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





CERTIFICATION:

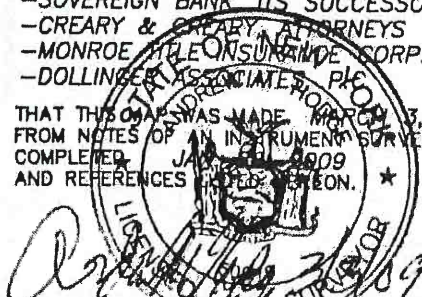
I, ANDREW M. HODGE, HEREBY CERTIFY TO:

- MATTEW C. & JENNIFER E. LAKE
- SOVEREIGN BANK ITS SUCCESSORS AND/OR ASSIGNS
- CREARY & CREARY, ATTORNEYS
- MONROE TELECOMMUNICATIONS CORP.
- DOLLINGER ASSOCIATES, P.C.

THAT THIS MAP WAS MADE MARCH 13, 2009
 FROM NOTES OF AN INSTRUMENT SURVEY
 COMPLETED JANUARY 14, 2009
 AND REFERENCES TO DEEDS & EASEMENTS.

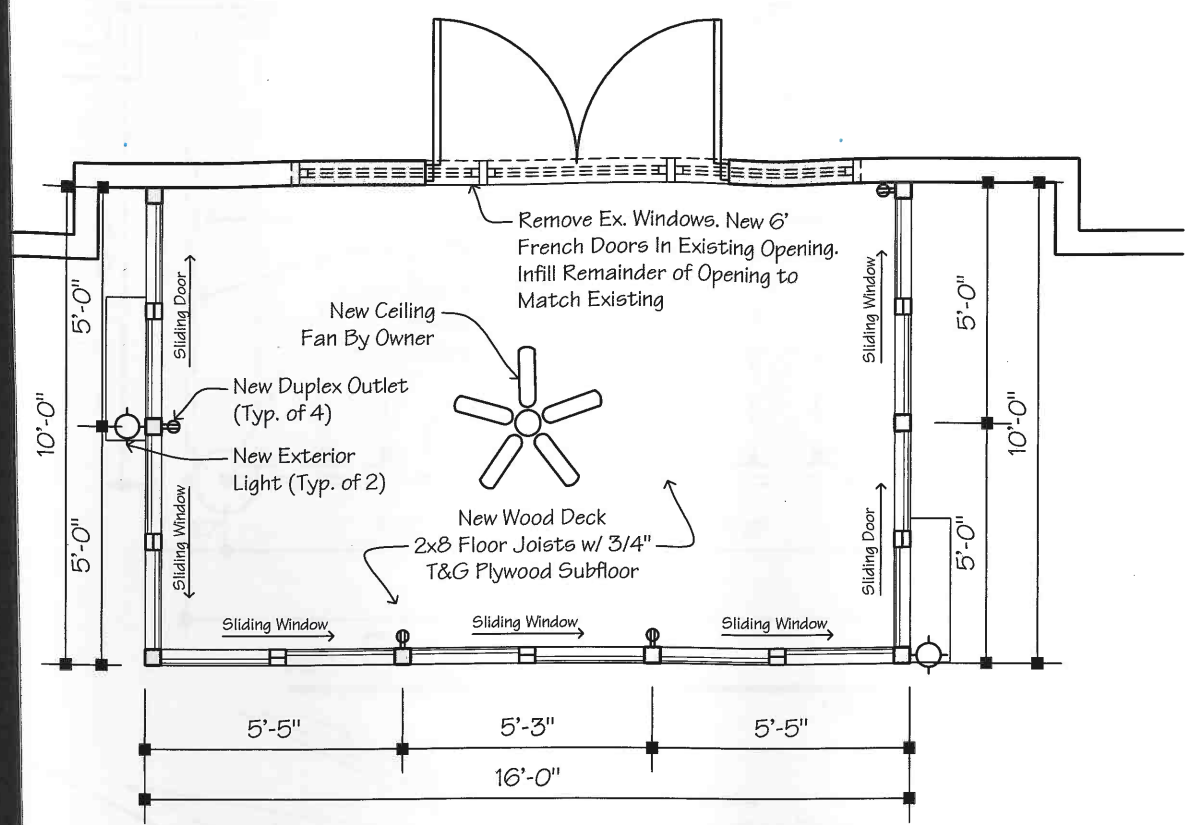
REFERENCES:

- 1.) LIBER 129 OF MAPS, PAGE 80.
- 2.) LIBER 9,915 OF DEEDS, PAGE 516.
- 3.) ABSTRACT OF TITLE No. 161515 (MONROE).

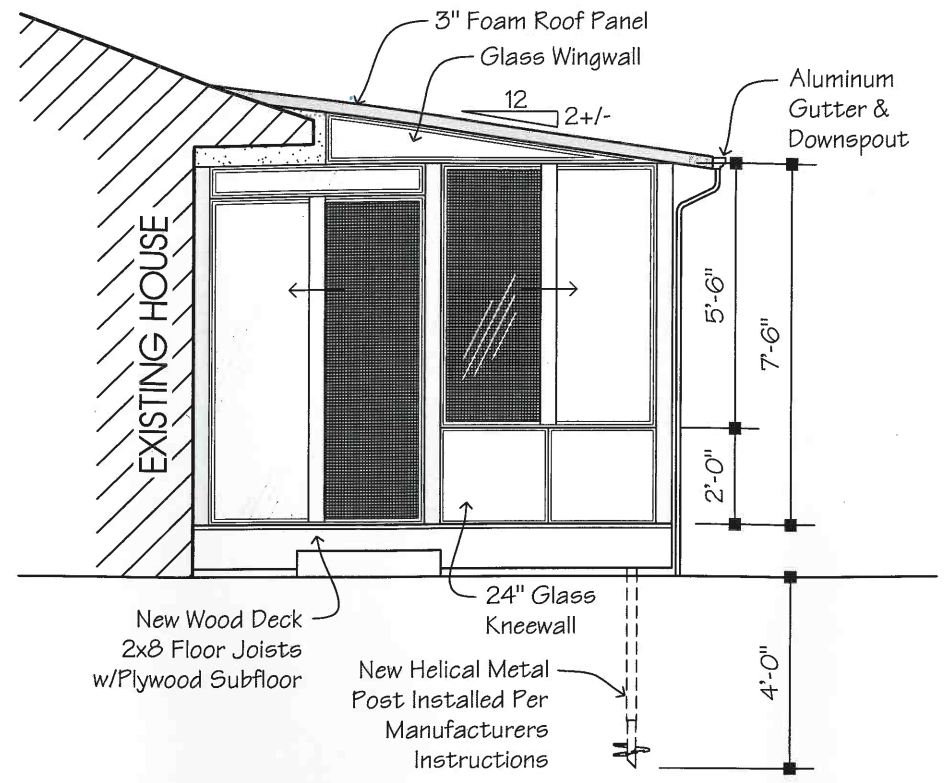




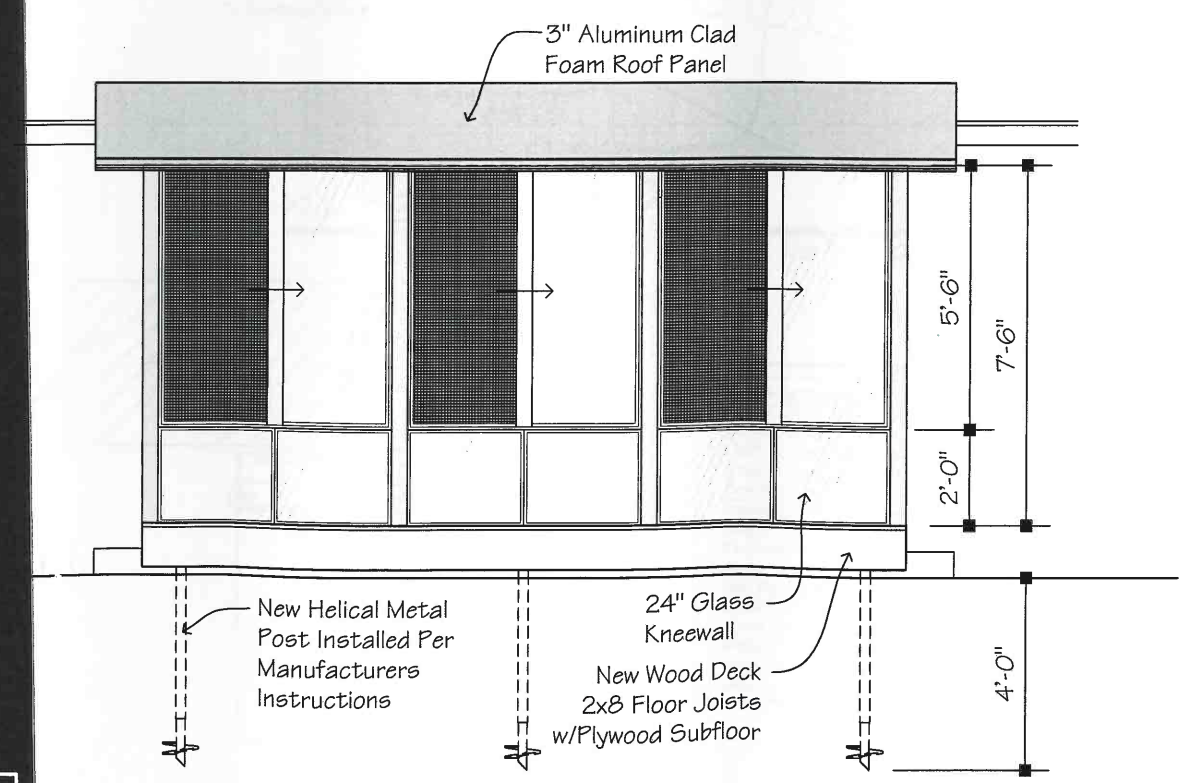




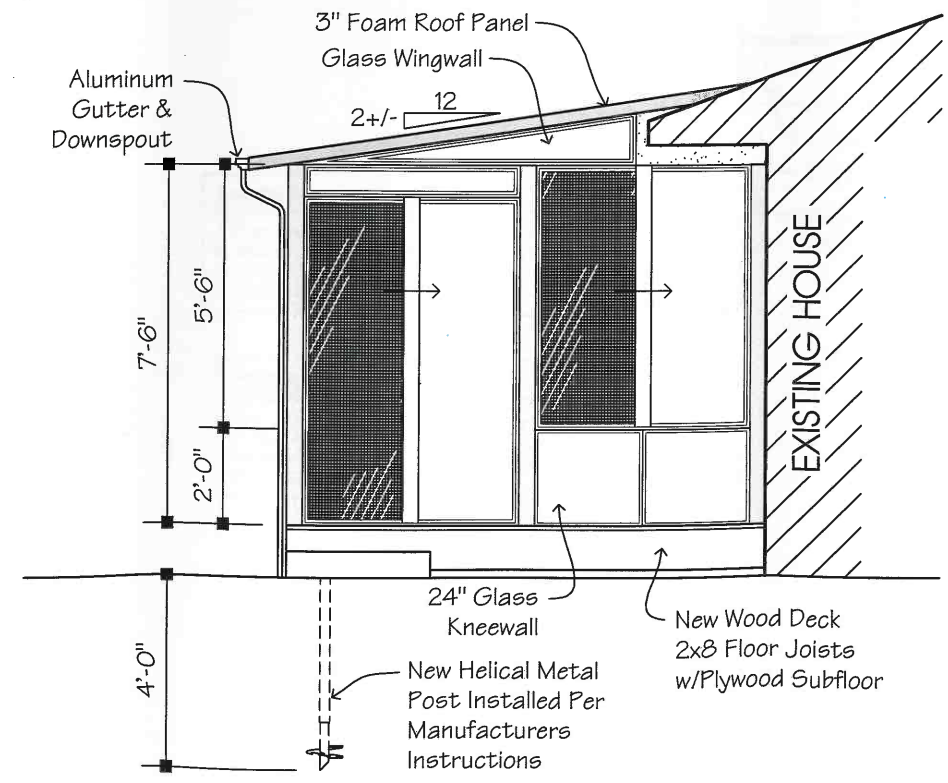
A1.1 Floor Plan
1/4"=1'-0"



A1.2 Elevation
1/4"=1'-0"



A1.3 Elevation
1/4"=1'-0"



A1.4 Elevation
1/4"=1'-0"

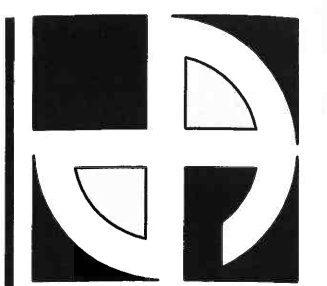
- General Notes:**
1. All Wood in Direct Contact With Concrete Must Be EPA Approved Preservative Treated Per Code, & Designated As "Ground Contact"
 2. All Connections To Existing House Shall Be Done In Accordance With Sound Construction Practices. Particular Attention Must Be Given To Ensure A Proper Load Path From The Sunroom To The Existing House Framing & To The Sunroom Foundation
 3. All Wood Member Connections Shall Be Rigid & Secure Or Simpson Strong-Tie Or Equivalent Where Applicable
 4. When Using EPA Approved Preservative Treated Lumber In Contact With Aluminum, First Isolate Wood From Aluminum With Either Of The Following: 15 Lb Roof Felt, Or 10 Mil Plastic Sheeting Prior To Installation Of Aluminum. All Fasteners In Direct Contact With Preservative Treated Wood Shall Be Hot-Dipped Galvanized Per ASTM A153, Or Other Approved Protective Coating Trim Coll To Be Attached To Isolated Wood Post Using Stainless Steel Nails. Lags Onto Decks Must Penetrate Center Of Header Or Joist Board, Or Provide Solid Blocking For Lag Embedment.
 5. Wedge Bolts Shall Have Empigard "Tri-Coat Coating" & Shall Be Installed Per Manufacturers Recommendations.
 6. All Windows, Doors, & Glass Wing Panels Shall Be Tempered Insulated Glass. Roof Panels Are Tempered Insulated Glass Or Annealed Insulated Laminated Glass If Height Above Grade Equals 12 Feet Or More
 7. Registered Professional Stamping These Details Cannot Be Responsible For Soil Bearing Analysis Or Adequacy Of Existing Structures, Or Proposed Work Performed Or Coordinated By Owner

- Note:**
1. This Is A 3 Season, Unheated, Non-Habitable Space Exempt From NYS Energy Code.
 2. Either The Contractor Or The Owner Shall Install Smoke Detectors Throughout Existing Structure Per RCNYS 313
 3. All Dimensions Are Nominal, Installed On New Or Existing Concrete Foundation

I Certify That When This Pre Engineered Structure By "Patco Enclosures, Inc." Is Assembled With The Manufacturers Directions It Meets The Design Load Requirements Of RCNYS: Snow: 55 Psf Wind: 115 Mph

- Notes:**
1. All Lumber To Be S-P-F#2 Or Better
 2. All Lumber In Contact w/ Concrete To Be Pressure Treated
 3. All Lumber Closer Than 18" To Ground To Be Pressure Treated
 4. New 16" Dia Piers Calculated To Support Roof & Floor Loading
- Design Loads:
Snow- 50 PSF
Wind- 115 MPH
Live- 50 PSF
Dead- 10 PSF
Seismic- D

All Concrete Shall Be Min. 3500 PSI With 5 - 7% Air Entrainment w/ Assumed Soil Bearing Capacity Of 1500 PSF



D·E·A·N
ARCHITECTS

www.deanarchitects.com
REGIS. MARK A DEAN
STATE OF NEW YORK
020853
35 B WALKER AVENUE
DEPT NEW YORK 10443
PHONE: (716) 651-0381
FAX: (716) 651-0382

20-273

GREAT DAY
IMPROVEMENTS, LLC

2620 North America Dr.
West Seneca, NY 14224
(716) 674-6446

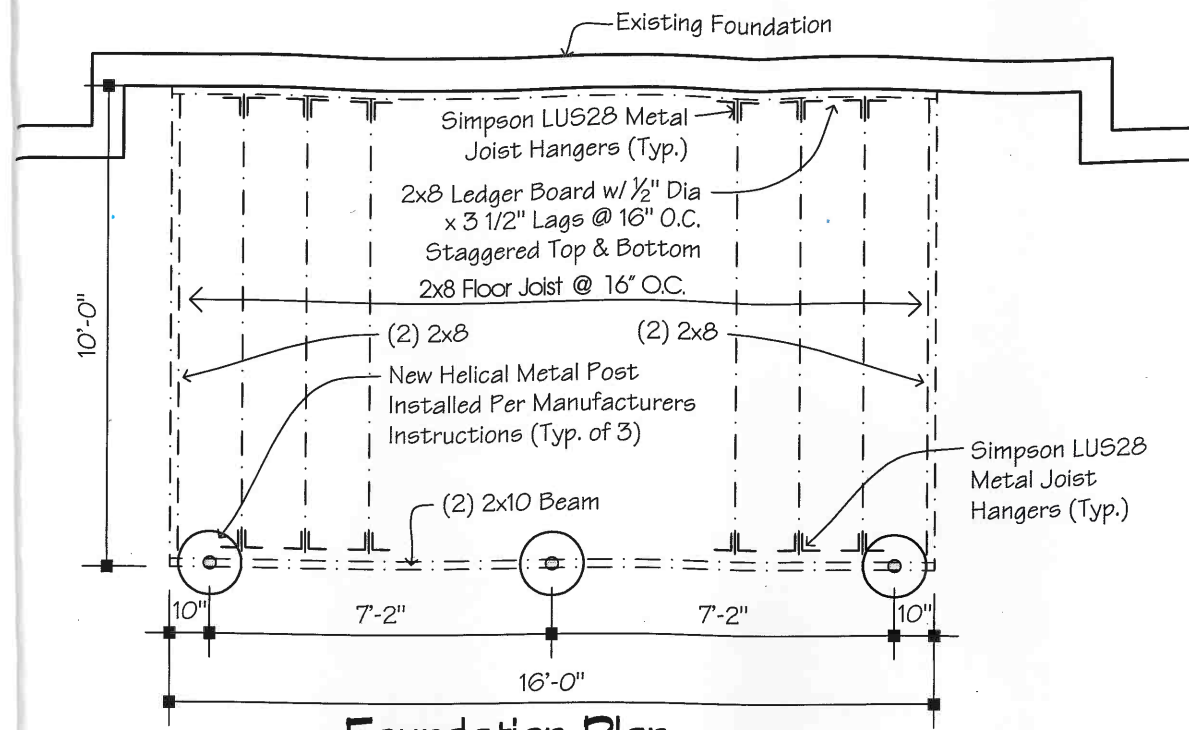
Lake
Residence
35 Trowbridge Trail
Pittsford, NY

No.	Description	Date	By
1	Construction Documents	9-4-18	AB

DATE:
7-30-20
DRAWN BY:
D. Wzientek
CHECKED BY:
M. Dean
SCALE:
1/4"=1'-0"

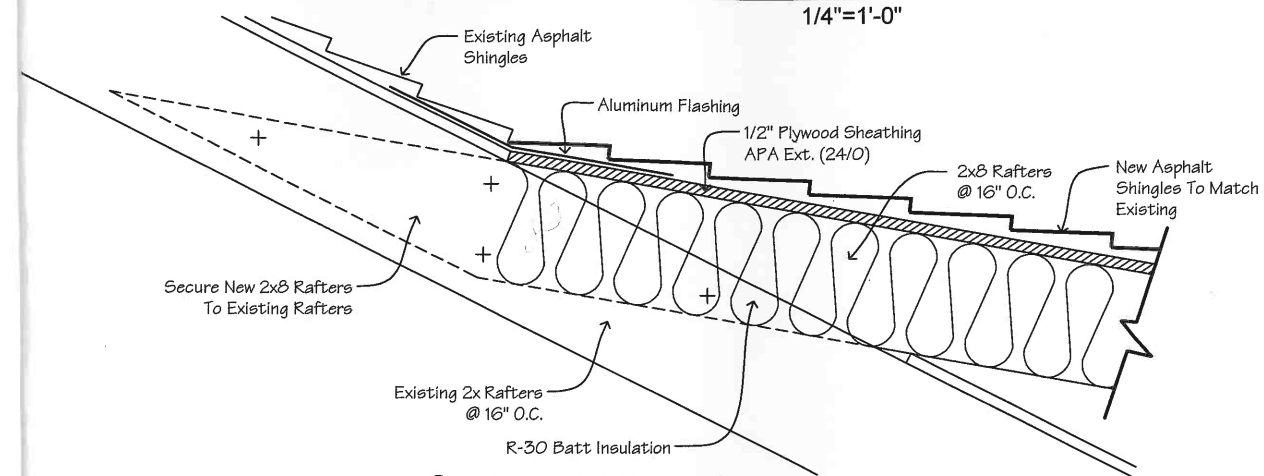
Plans & Elevations

A1



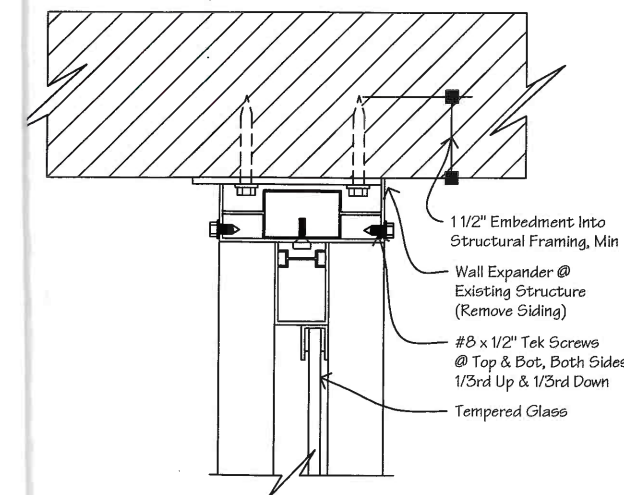
A2.1 Foundation Plan

1/4"=1'-0"



A2.2 Roof Mount Detail

Not To Scale



A2.3 Connection @ House

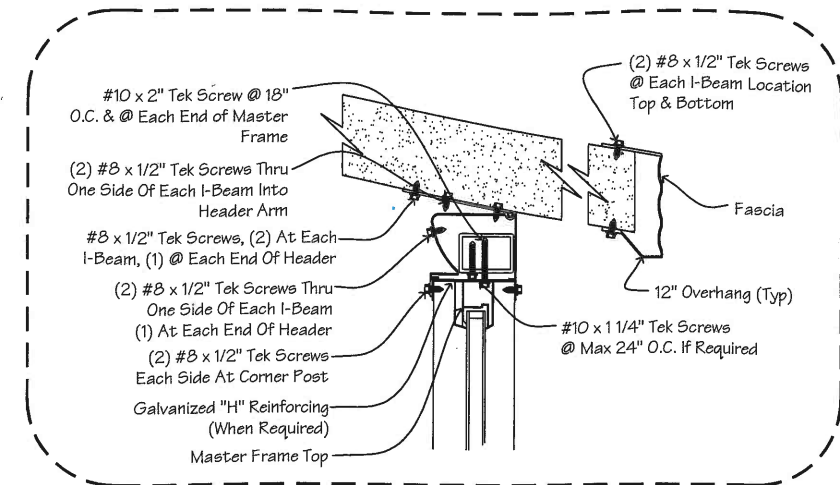
To Existing House

1/4"=1'-0"

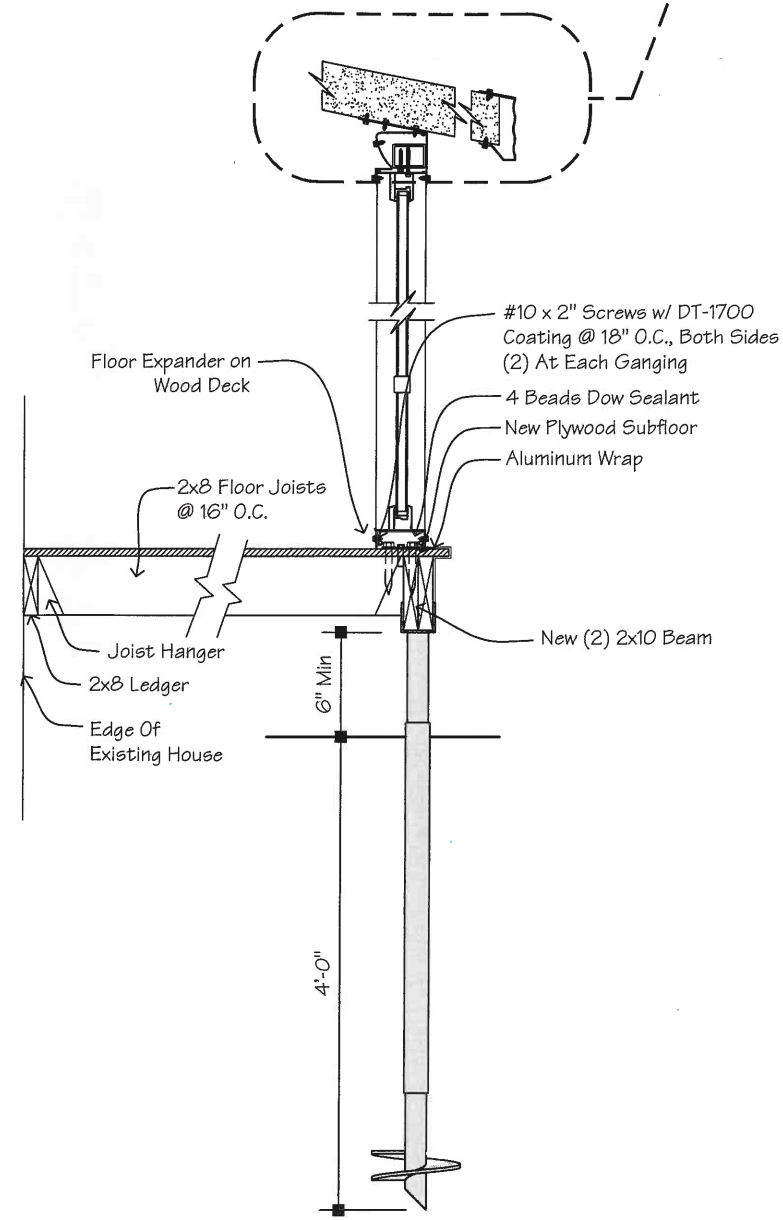
Attaching Sunroom Wall Expander To Existing Structure:
Wood Framed Structures & Wood Framing w/ Brick Veneer Use 1/4 Inch Diameter Galvanized Lags & Washers Providing A Minimum 1 1/2" Inch Embedment Into Wood Framing Or Wood Blocking Installed & Nailed To Wood Framing At All Locations Noted Below.
Bearing Walls:
Locate (2) Fasteners Near Floor Level, (2) At Kneewall Of Railing Height, (2) At Transom, & (2) Near Header Height. Install Single Fasteners Located @ 16" O.C. Vertically & Staggered Along The Expander Height Between Double Fastener Locations Typical.
Non-Bearing Walls:
Locate (2) Fasteners Near Floor, (2) At Kneewall Or Railing Height, (2) At Transom Height, (2) At H, & (2) Near Top End Of Expander Install Single Fasteners Located At 16" O.C. Vertically & Staggered Along The Expander Height Between Double Fasteners Locations (Typ)

Mounting To Existing Structures:
Remove Existing Siding & Any Compressible Sheathing At Connection Points Of Enclosure To House. Lags Must Be Securely Anchored To Structural Framing Or Install Blocking Securely To Structural Framing To Provide Minimum 1 1/2" Embedment For Mounting Fasteners.

Mounting Note:
The Quality & Size of Fasteners Required Varies By Application. A Ledger w/ Lags Adequately Fastened To The Existing Structure, Or A Support Beam Mounted On Support Posts At The Face Of The Existing Structure May Be Required Under Heavy Loads.

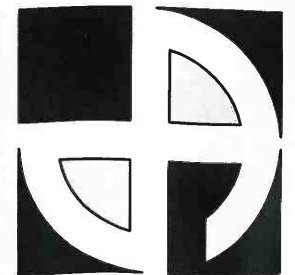


#10 x 2" Tek Screw @ 18" O.C. & @ Each End of Master Frame
(2) #8 x 1/2" Tek Screws @ Each I-Beam Location Top & Bottom
Fascia
12" Overhang (Typ)
#10 x 1 1/4" Tek Screws @ Max 24" O.C. If Required
Galvanized "H" Reinforcing (When Required)
Master Frame Top
#8 x 1/2" Tek Screws Thru One Side Of Each I-Beam Into Header Arm
#8 x 1/2" Tek Screws, (2) At Each I-Beam, (1) @ Each End Of Header
(2) #8 x 1/2" Tek Screws Thru One Side Of Each I-Beam (1) At Each End Of Header
(2) #8 x 1/2" Tek Screws Each Side At Corner Post



A2.4 Wall Section

Not To Scale



D·E·A·N
ARCHITECTS

www.deanarchitects.com



20-273

GREAT DAY
IMPROVEMENTS, LLC

2620 North America Dr.
West Seneca, NY 14224
(716) 674-6446

Lake
Residence
35 Trowbridge Trail
Pittsford, NY

No.	Description	Date	By
1	Construction Documents	9-4-18	AB

DATE: 7-30-20
DRAWN BY: D. Wzientek
CHECKED BY: M. Dean
SCALE: AS NOTED

Foundation Details

A2



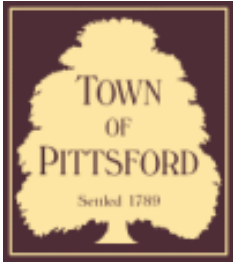
Troy's



36







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000150

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 11 Random Woods PITTSFORD, NY 14534

Tax ID Number: 151.15-2-27

Zoning District: RN Residential Neighborhood

Owner: Weinstein, Ronald B

Applicant: David Burrows (Architect)

Application Type:

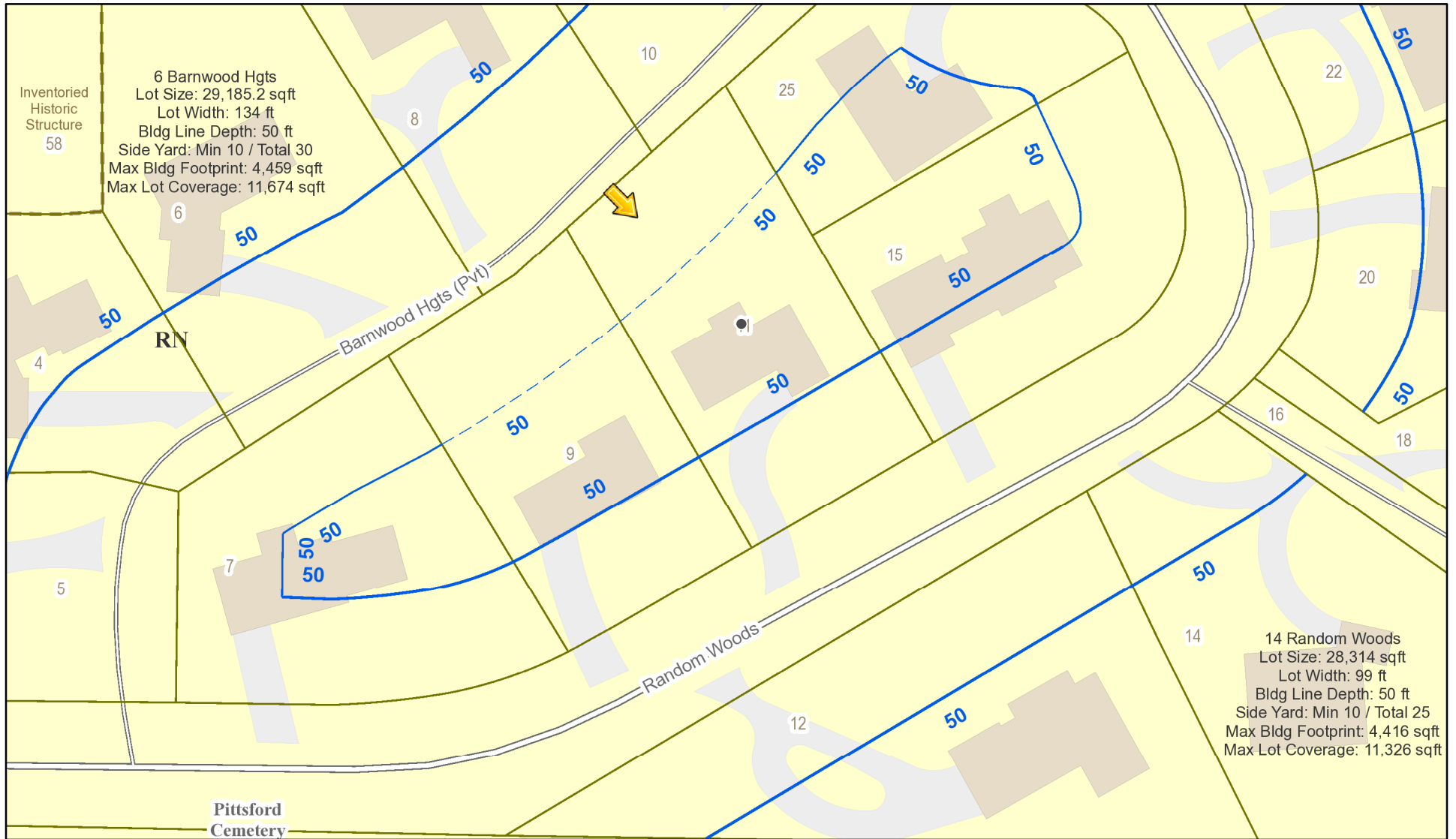
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 144 square feet and will be located to the rear of the property.

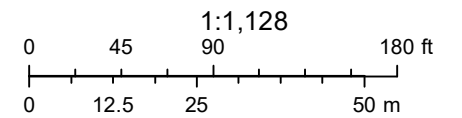
Meeting Date: September 24, 2020



RN Residential Neighborhood Zoning

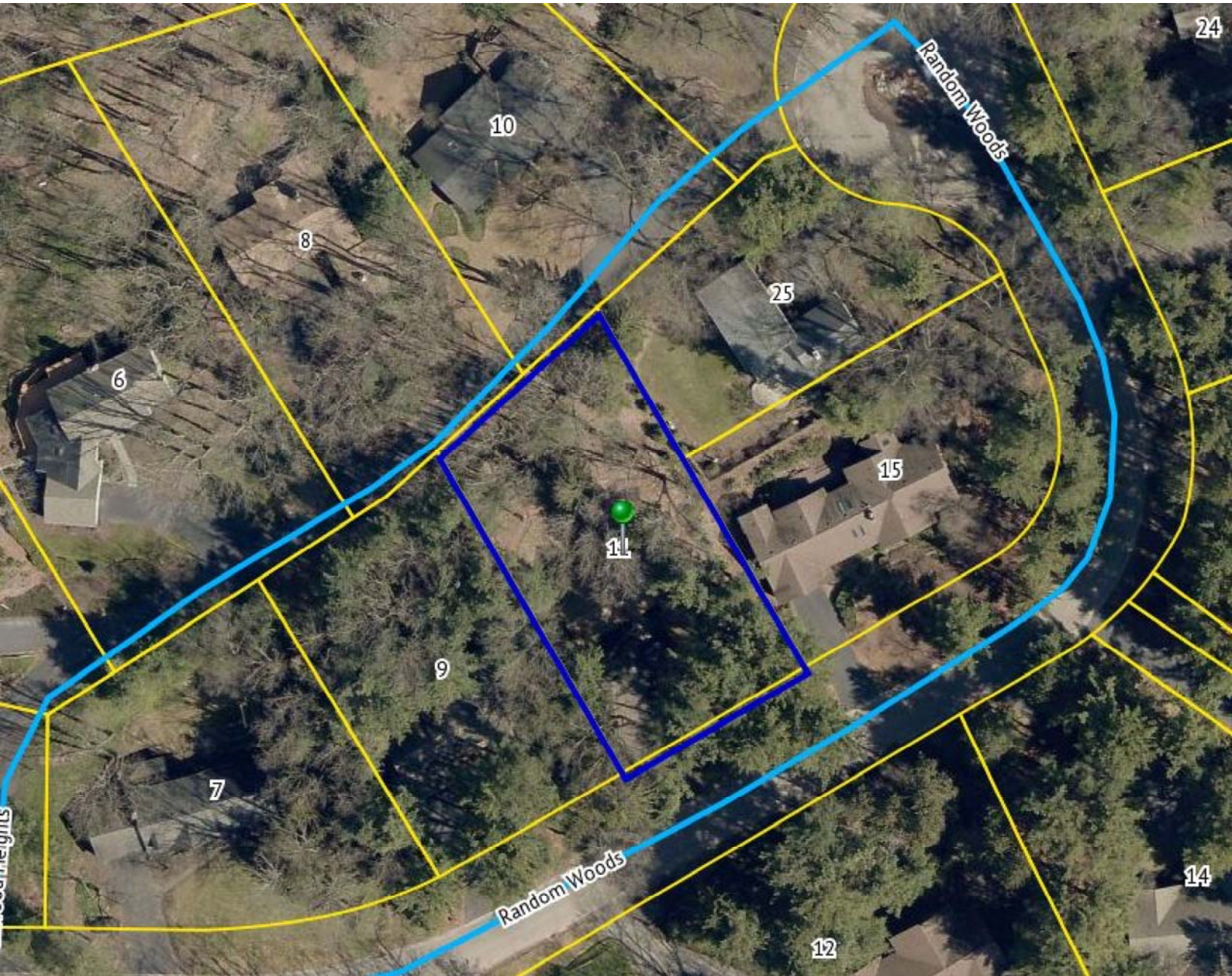


Printed September 17, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



DATE
 3-174
 2. 1

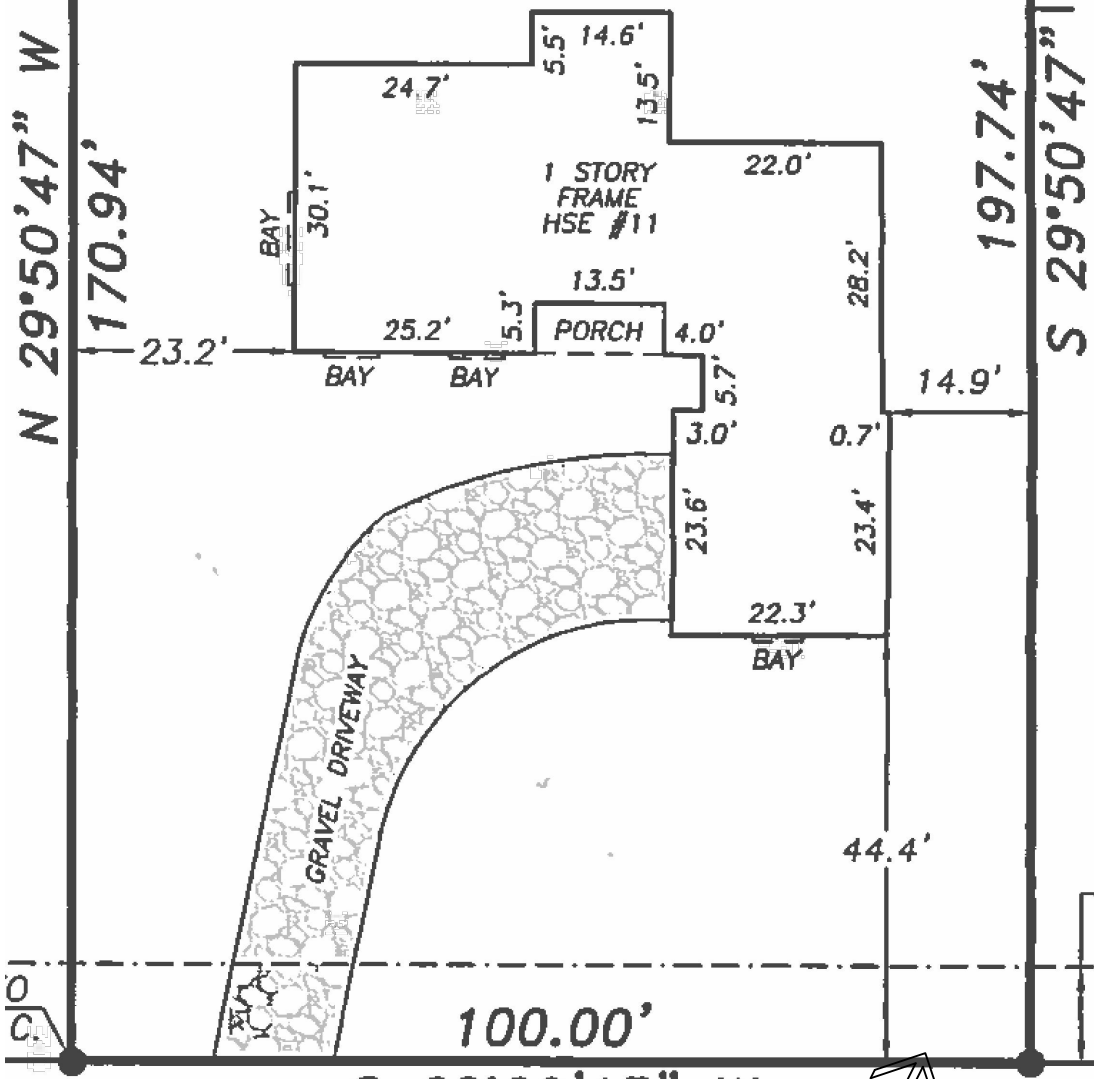
BARNWOOD HEIGHTS
 (PRIVATE)

N 45°09'13" E
 103.53'

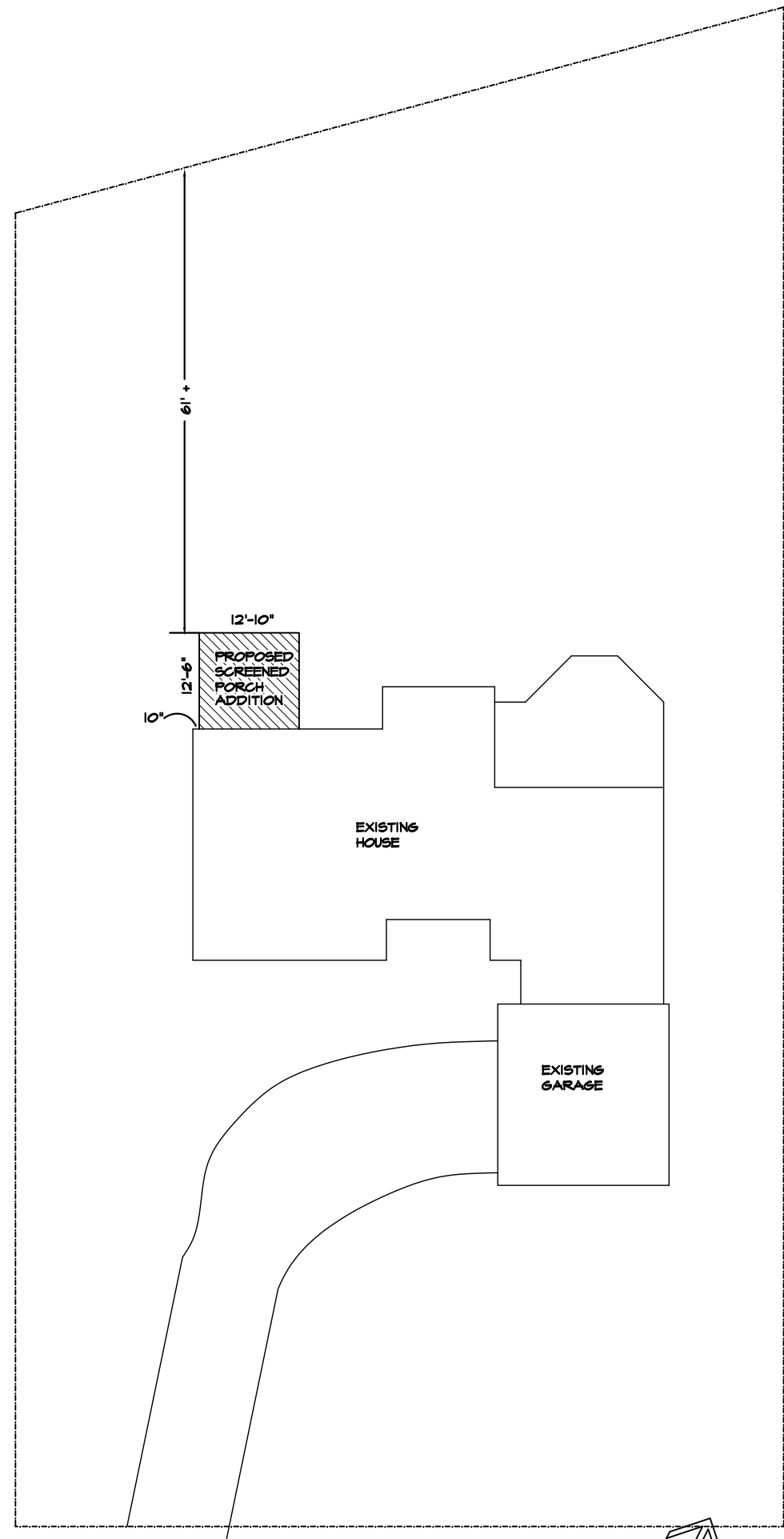
N 29°50'47" W
 170.94'

LOT
 9

AREA =
 18434 SQ. FT.
 0.423 ACRES



SITE SURVEY
 1" = 20'



PROPOSED SITE PLAN
 1" = 20'

These plans are instruments of service and may not be altered, reproduced, or copied without prior written approval.

Unauthorized alterations to these plans is a violation of the New York State Education Law, Section 7209, Article 145.

Contractor to verify all notes and dimensions before starting construction and be responsible for errors and/or omissions.

Contractor shall be responsible for construction means, methods, techniques, sequences or procedures, and safety precautions and programs in connection with the work.

THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT & STATE LAW. NO COPYING OR EXPLOITATION; NO ALTERATIONS; NO UNAUTHORIZED USE WITHOUT THE APPROVAL OF DAVID M. BURROWS, ARCHITECT

ZONING RN
 LOT SIZE 18,434 SF

PER 185-17 (G) TABLE II
 MAXIMUM FOOTPRINT = 3,722 SF
 PROPOSED FOOTPRINT = 2,581 SF

PER 185-17 (H)
 MAX LOT COVERAGE = 1,314 SF
 PROPOSED LOT COVERAGE = 4,091 SF

- A-1 COVER, SURVEY, SITE PLAN
- A-2 FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS
- A-4 FRAMING PLANS
- A-5 BUILDING SECTIONS

INDEX TO DRAWINGS

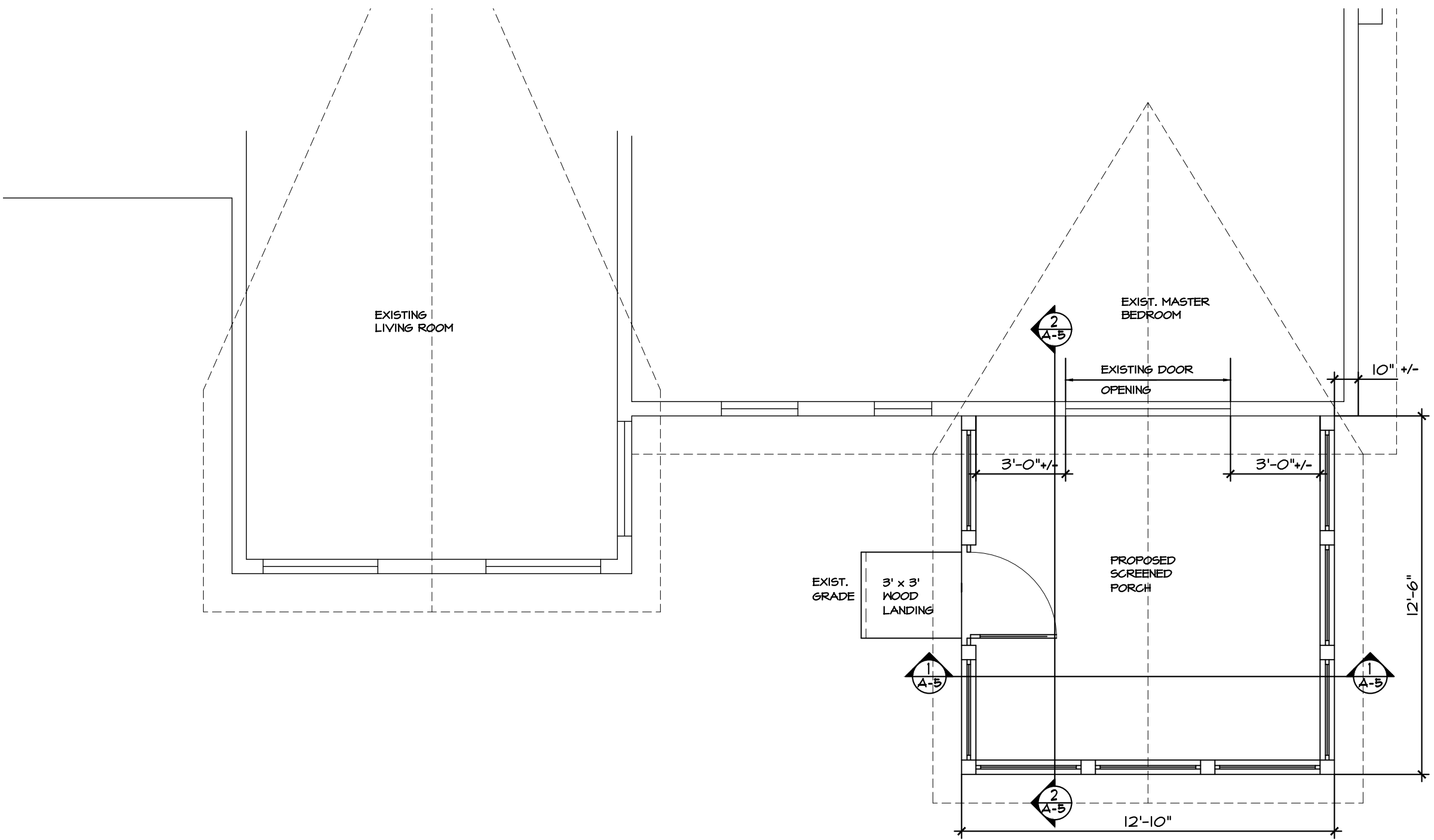
DAVID M. BURROWS
 ARCHITECT
 64 ERIE CRESCENT
 FAIRPORT, NEW YORK 14450
 (585) 766-8220
 burrowsarchitect@yahoo.com

SCREENED PORCH FOR
 Lloyd THEISS and Ron WEINSTEIN
 11 RANDOM WOODS
 PITTSFORD, NEW YORK 14534

09/09/20
 REVISIONS

2016

A-1
 OF 5



PLAN
1/4" = 1'-0"

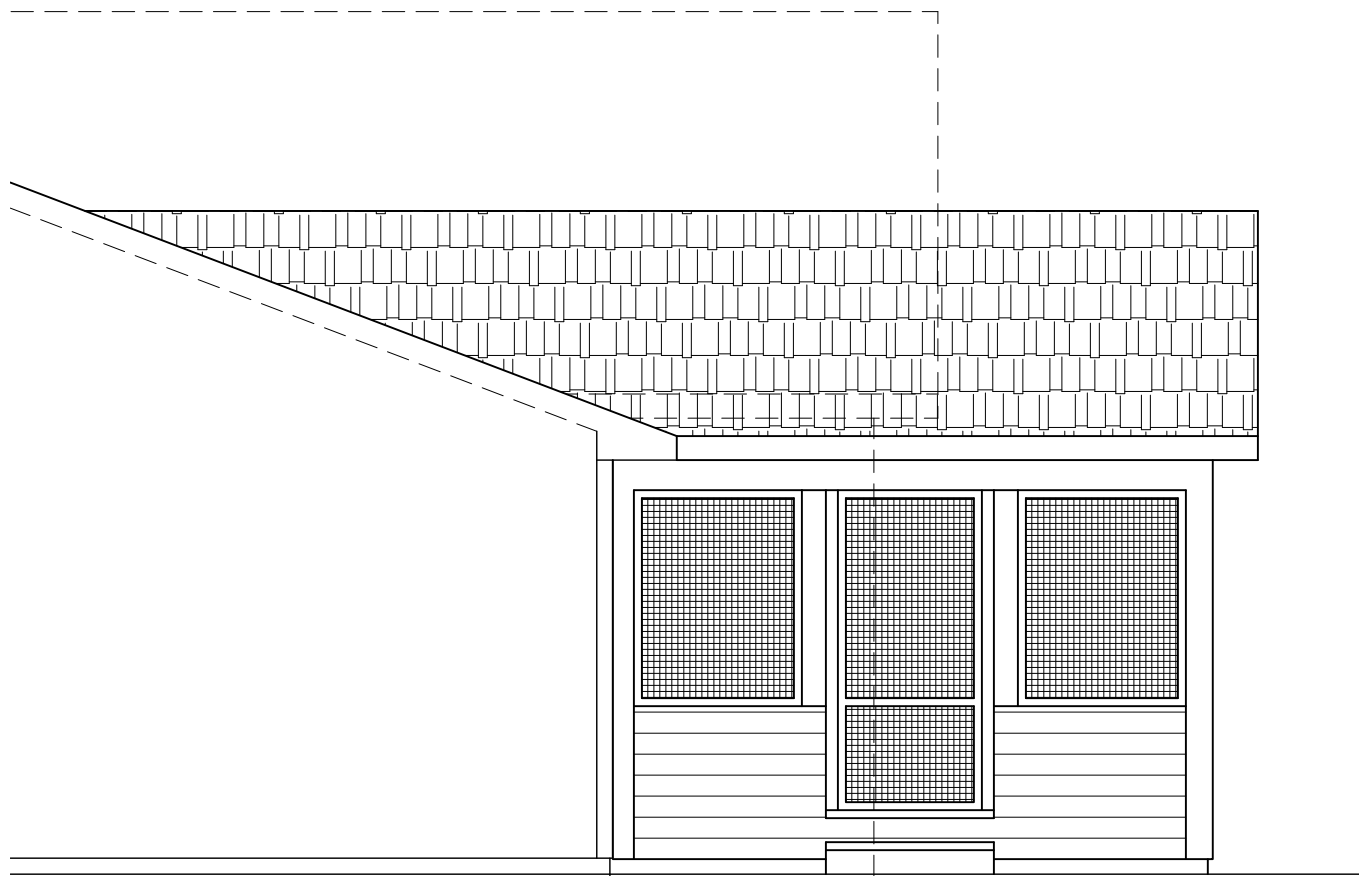
DAVID M. BURROWS
ARCHITECT
64 ERIE CRESCENT
FAIRPORT, NEW YORK 14450
(585) 766-8220
burrowsarchitect@yahoo.com

SCREENED PORCH FOR
Lloyd THEISS and Ron WEINSTEIN
11 RANDOM WOODS
PITTSFORD, NEW YORK 14534

09/09/20
REVISIONS

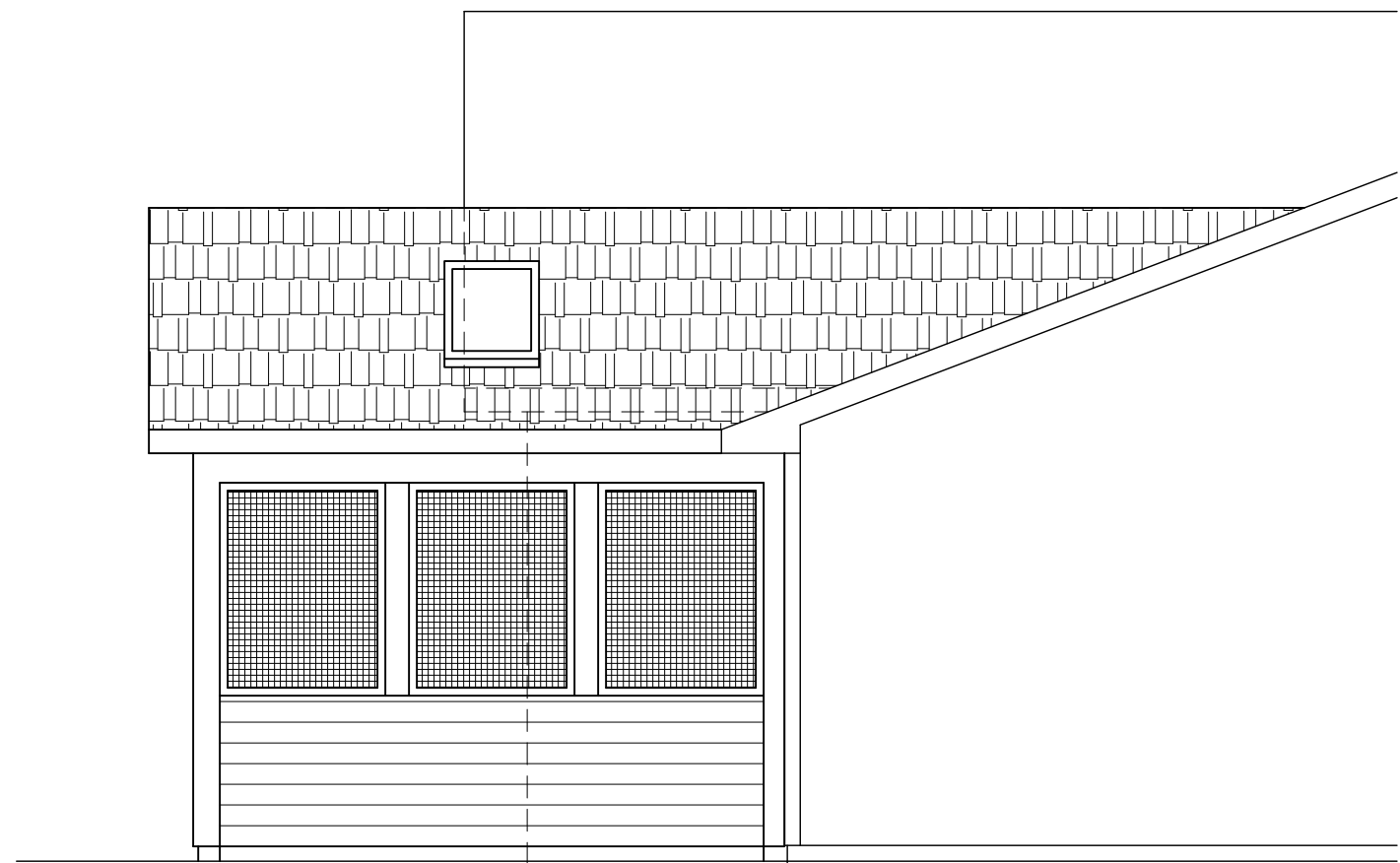
2016

A-2
OF 5



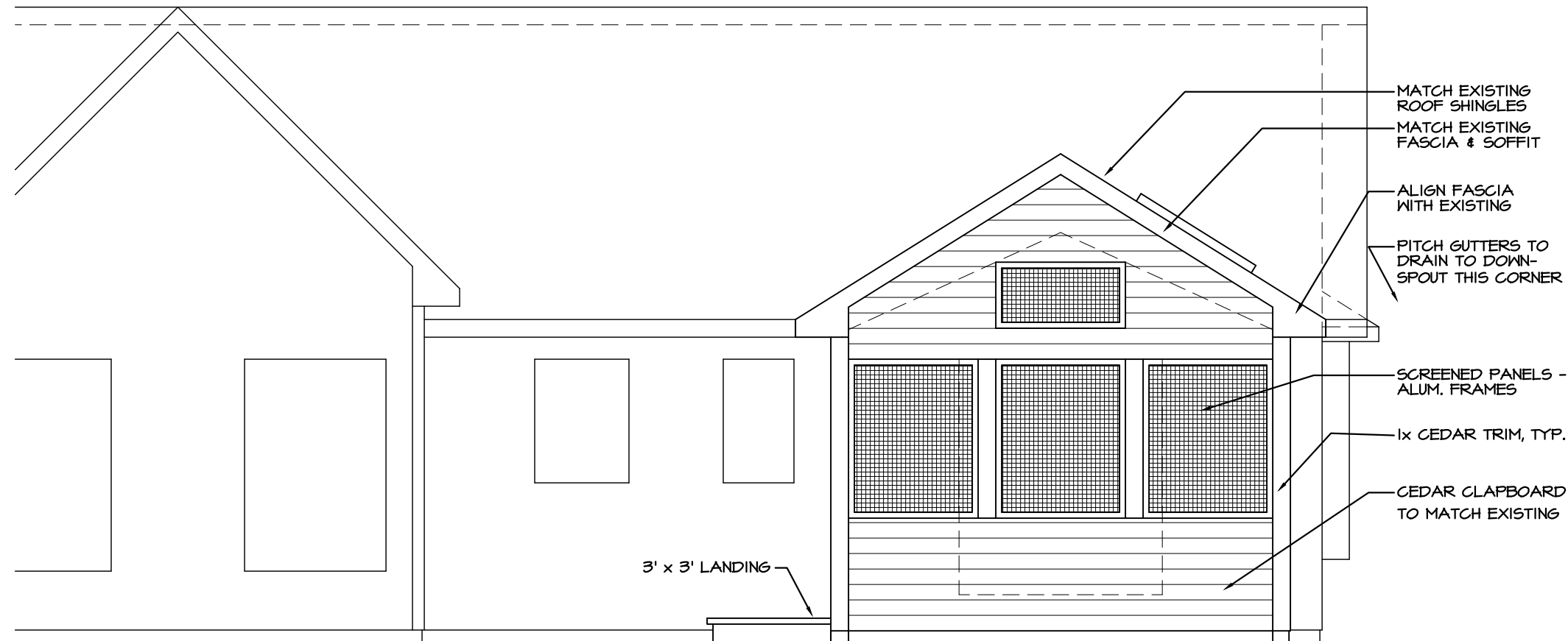
EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

DAVID M. BURROWS
ARCHITECT
64 ERIE CRESCENT
FAIRPORT, NEW YORK 14450
(585) 766-8220
burrowsarchitect@yahoo.com

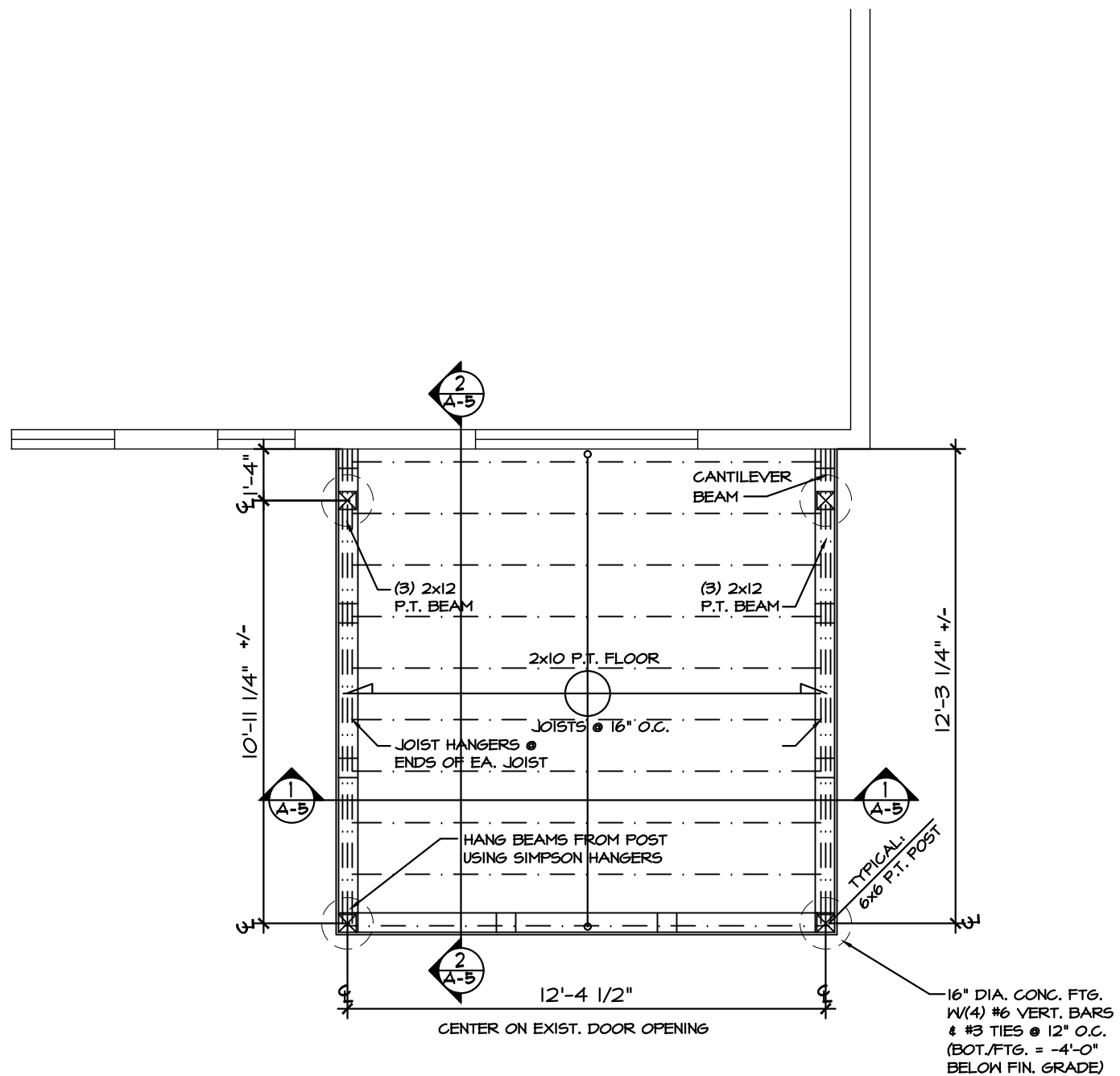
SCREENED PORCH FOR
Lloyd THEISS and Ron WEINSTEIN
11 RANDOM WOODS
PITTSFORD, NEW YORK 14534

09/09/20
REVISIONS

2016

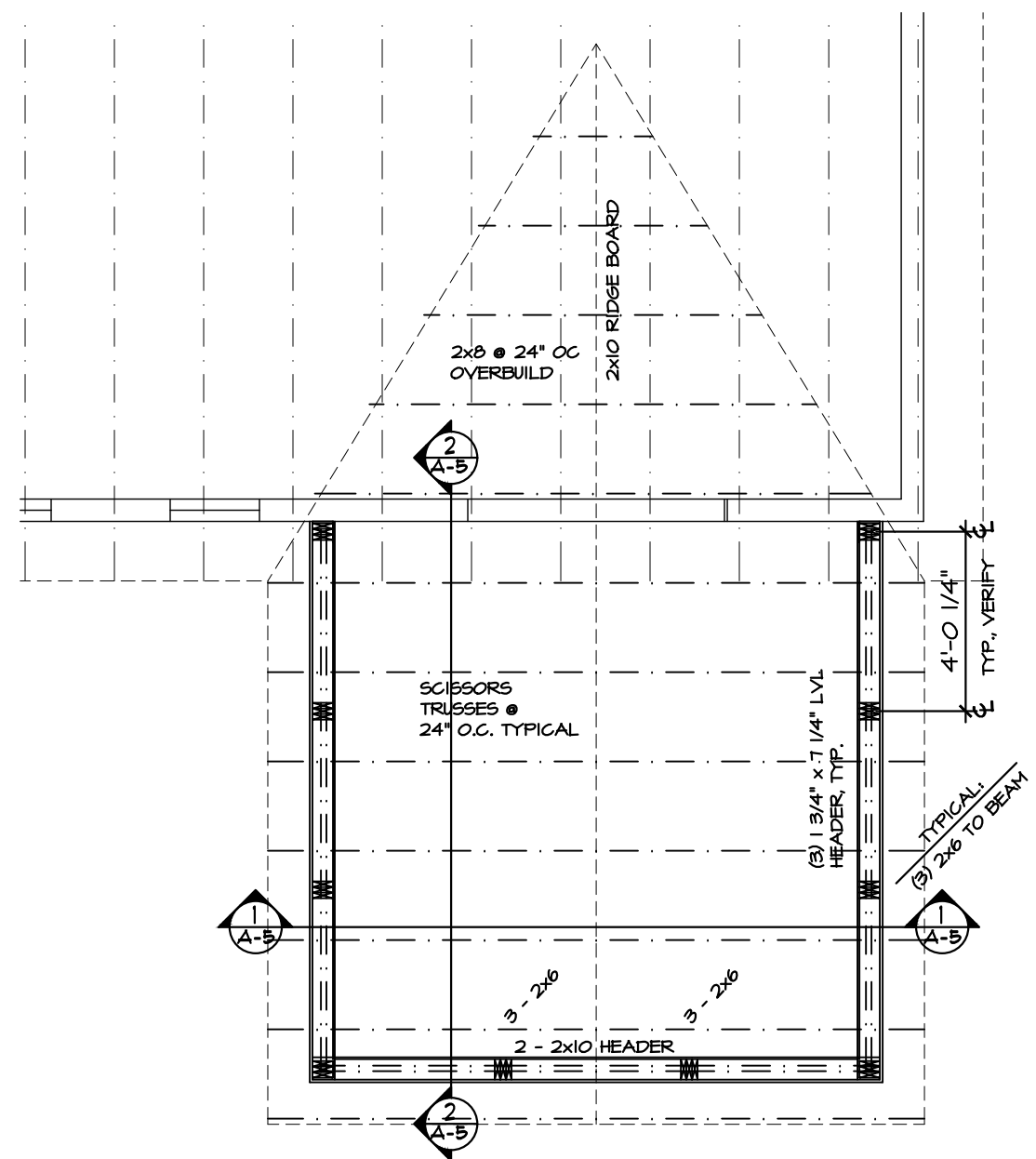
A-3

OF 5



FOUNDATION & FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



ROOF FRAMING PLAN

1/4" = 1'-0"

DAVID M. BURROWS
ARCHITECT
64 ERIE CRESCENT
FAIRPORT, NEW YORK 14450
(585) 766-8220
burrowsarchitect@yahoo.com

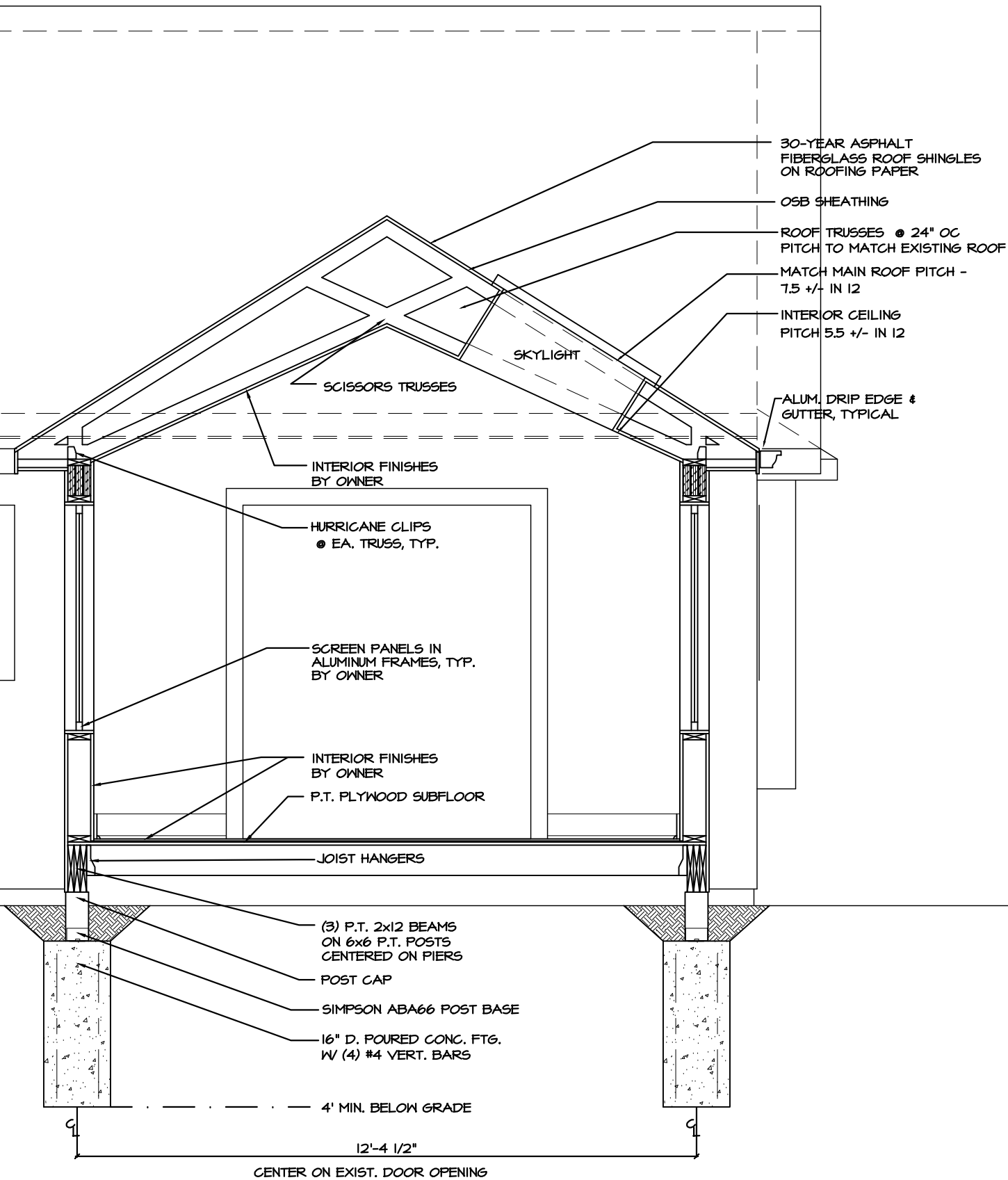
SCREENED PORCH FOR
Lloyd THEISS and Ron WEINSTEIN
11 RANDOM WOODS
PITTSFORD, NEW YORK 14534

09/09/20
REVISIONS

2016

A-4

OF 5



30-YEAR ASPHALT
FIBERGLASS ROOF SHINGLES
ON ROOFING PAPER

OSB SHEATHING

ROOF TRUSSES @ 24" OC
PITCH TO MATCH EXISTING ROOF

MATCH MAIN ROOF PITCH -
7.5 +/- IN 12

INTERIOR CEILING
PITCH 5.5 +/- IN 12

ALUM. DRIP EDGE &
GUTTER, TYPICAL

SCISSORS TRUSSES

SKYLIGHT

INTERIOR FINISHES
BY OWNER

HURRICANE CLIPS
@ EA. TRUSS, TYP.

SCREEN PANELS IN
ALUMINUM FRAMES, TYP.
BY OWNER

INTERIOR FINISHES
BY OWNER

P.T. PLYWOOD SUBFLOOR

JOIST HANGERS

(3) P.T. 2x12 BEAMS
ON 6x6 P.T. POSTS
CENTERED ON PIERS

POST CAP

SIMPSON ABA66 POST BASE

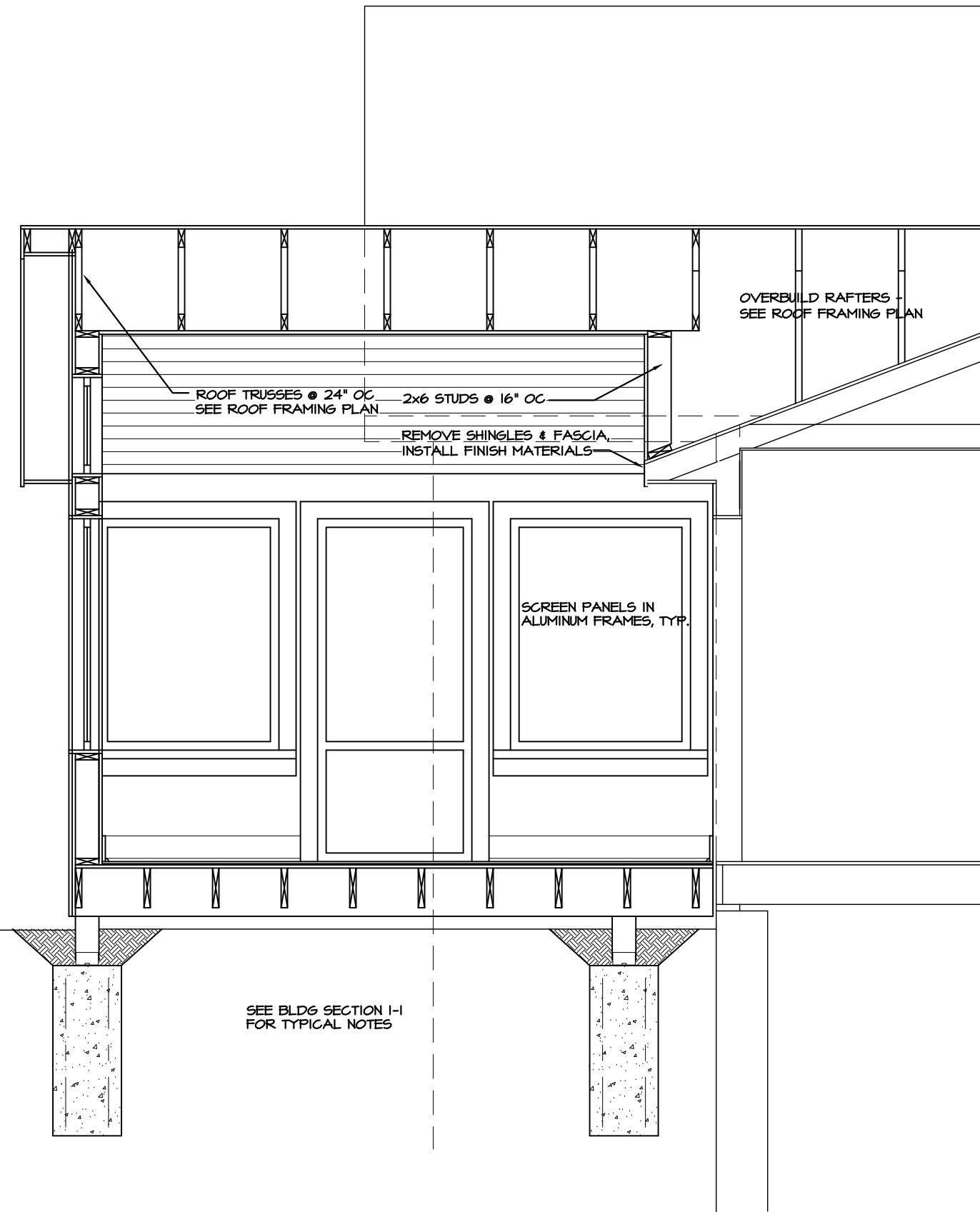
16" D. POURED CONC. FTG.
W/ (4) #4 VERT. BARS

4' MIN. BELOW GRADE

12'-4 1/2"

CENTER ON EXIST. DOOR OPENING

SECTION 1-1
3/8" = 1'-0"



ROOF TRUSSES @ 24" OC
SEE ROOF FRAMING PLAN

2x6 STUDS @ 16" OC

REMOVE SHINGLES & FASCIA,
INSTALL FINISH MATERIALS

OVERBUILD RAFTERS
SEE ROOF FRAMING PLAN

SCREEN PANELS IN
ALUMINUM FRAMES, TYP.

SEE BLDG SECTION 1-1
FOR TYPICAL NOTES

SECTION 2-2
3/8" = 1'-0"

DAVID M. BURROWS
ARCHITECT
64 ERIE CRESCENT
FAIRPORT, NEW YORK 14450
(585) 766-8220
burrowsarchitect@yahoo.com

SCREENED PORCH FOR
Lloyd THEISS and Ron WEINSTEIN
11 RANDOM WOODS
PITTSFORD, NEW YORK 14534

09/09/20
REVISIONS

2016

A-5
OF 5



EXISTING CONDITIONS PHOTOS

DAVID M. BURROWS
ARCHITECT
64 ERIE CRESCENT
FAIRPORT, NEW YORK 14450
(585) 766-8220
burrowsarchitect@yahoo.com

SCREENED PORCH FOR
Lloyd THEISS and Ron WEINSTEIN
11 RANDOM WOODS
PITTSFORD, NEW YORK 14534

09/09/20
REVISIONS

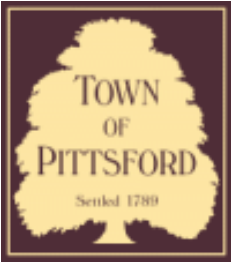
2016

P-1
OF 1









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000152

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 319 East Street PITTSFORD, NY 14534

Tax ID Number: 178.16-1-8

Zoning District: RN Residential Neighborhood

Owner: Sass, Byron

Applicant: Rochester Flooring

Application Type:

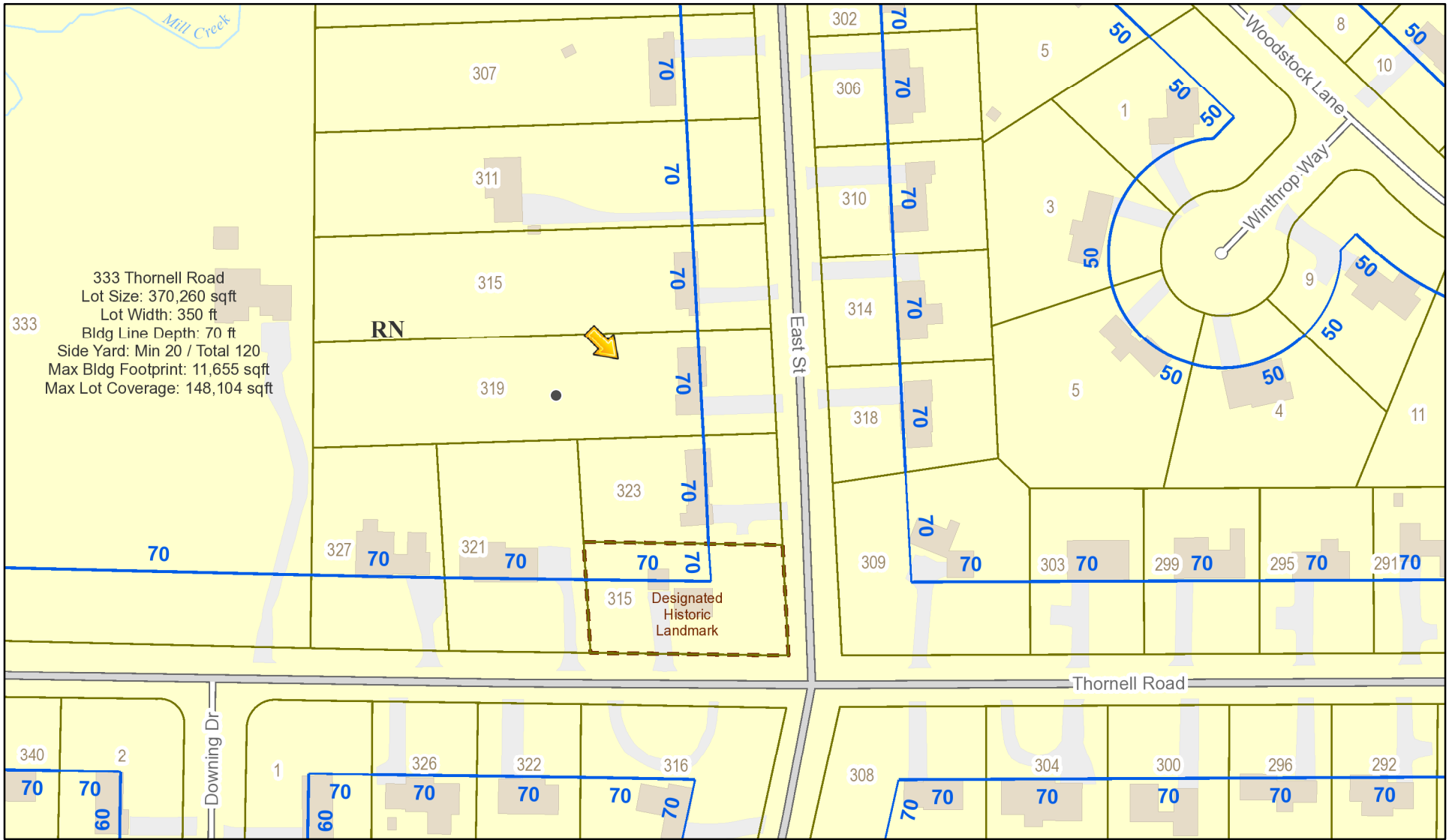
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a dormer. The dormer will be located on the northeast corner of the home and will match the existing dormer on the south east corner.

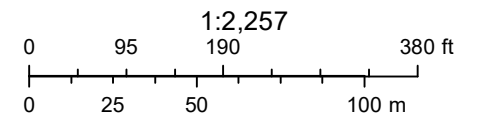
Meeting Date: September 24, 2020



RN Residential Neighborhood Zoning

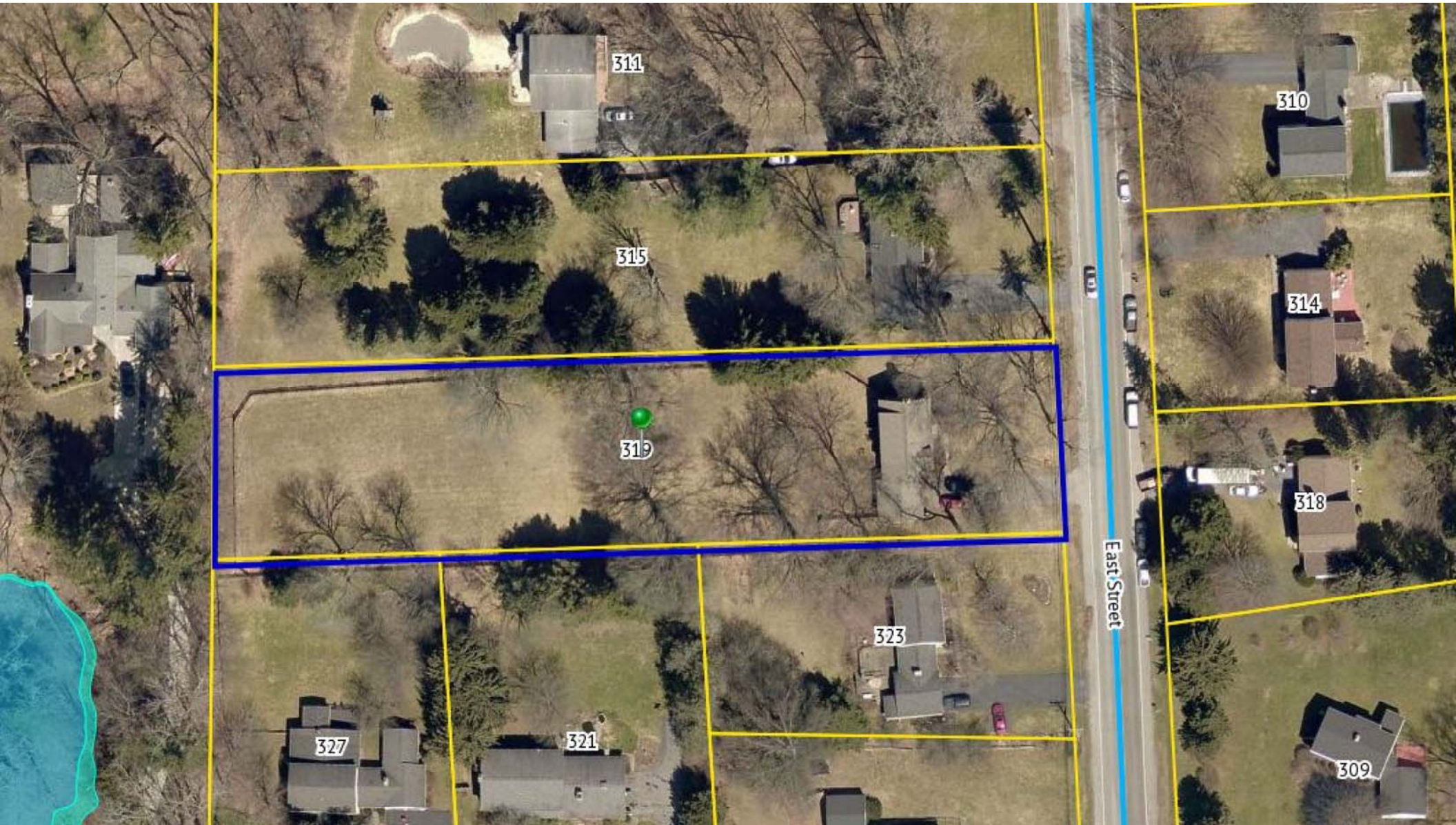


Printed September 17, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



311

315

319

310

314

318

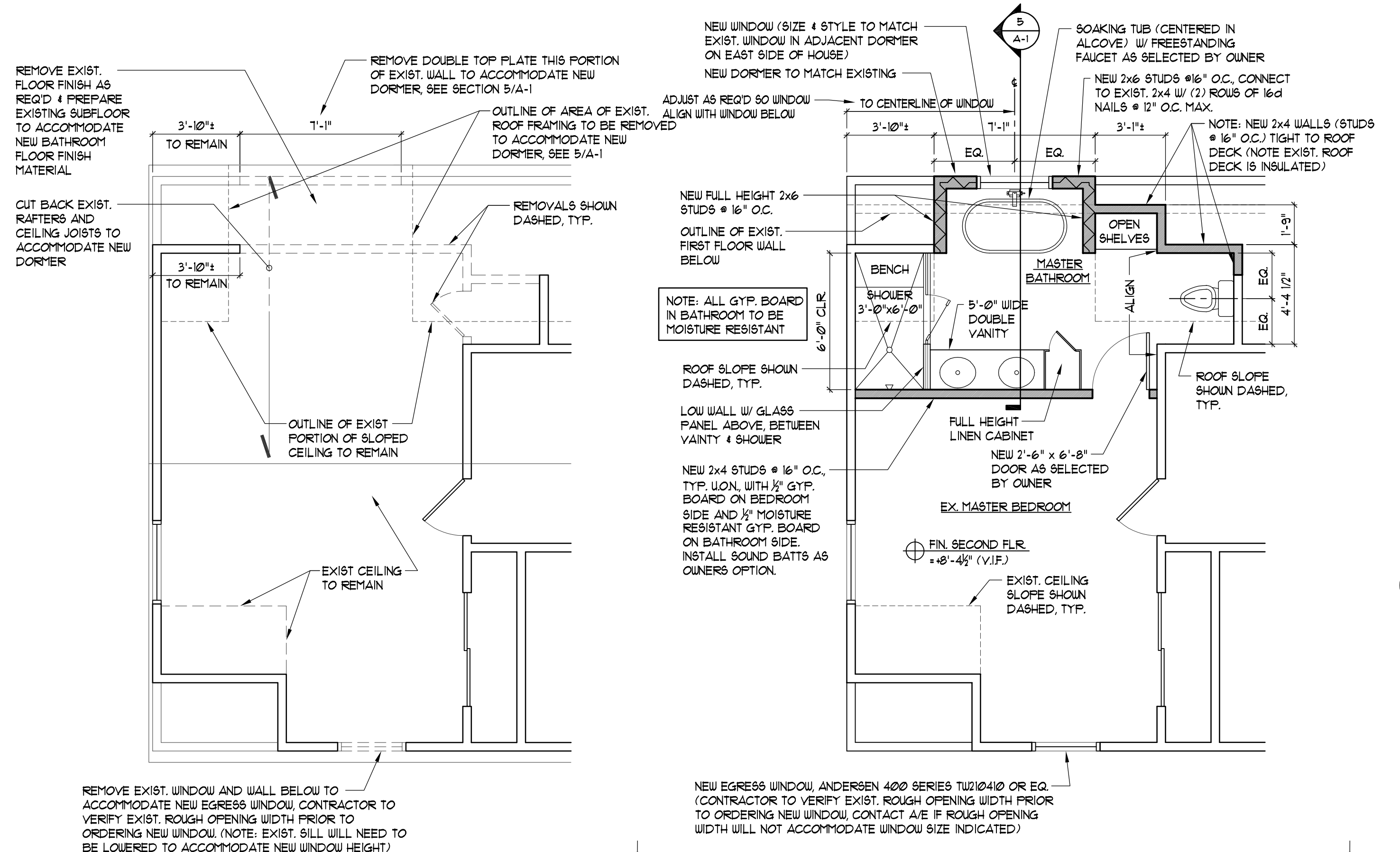
309

327

321

323

East Street

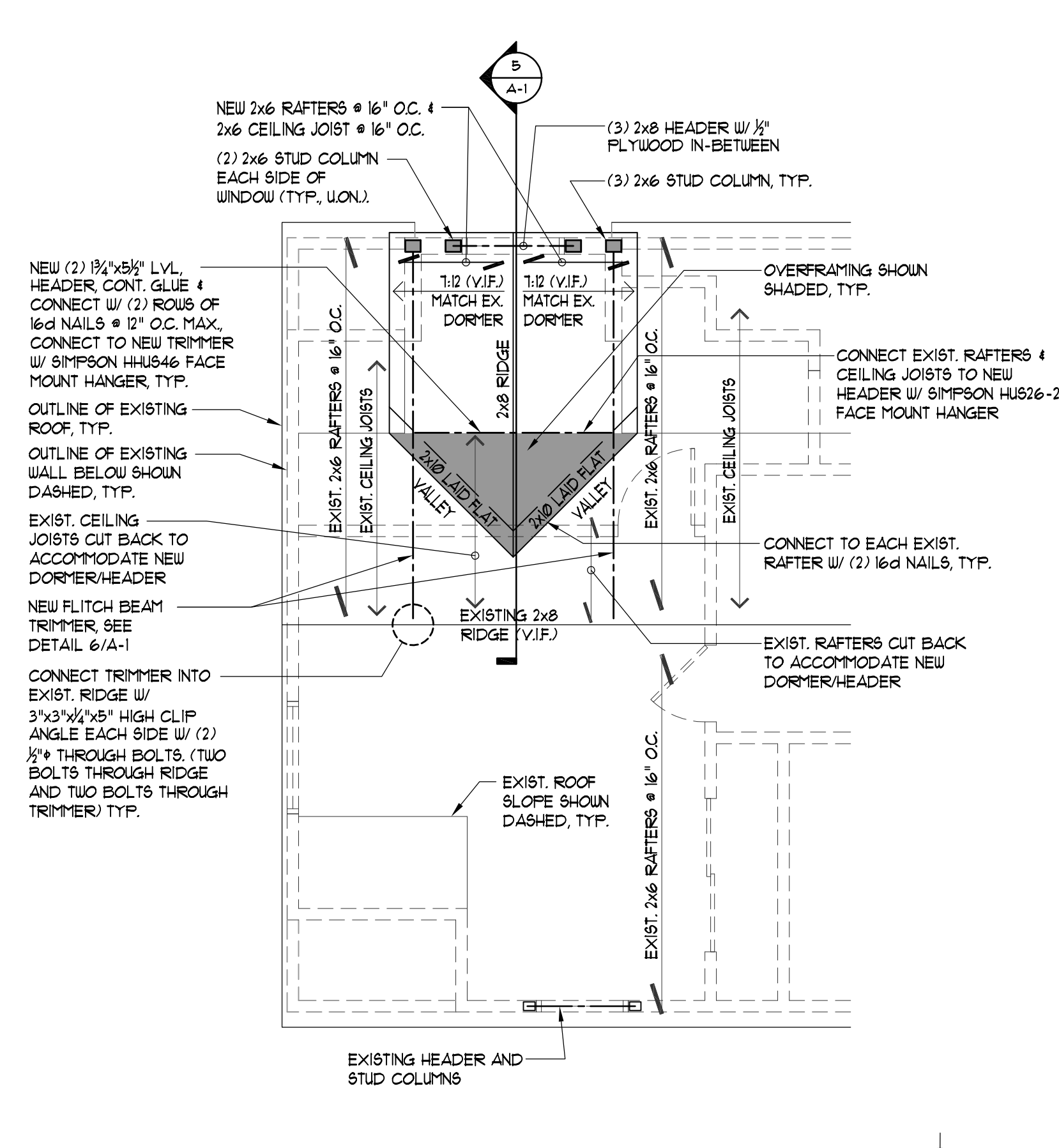


1 REMOVALS PLAN
1/4"=1'-0"

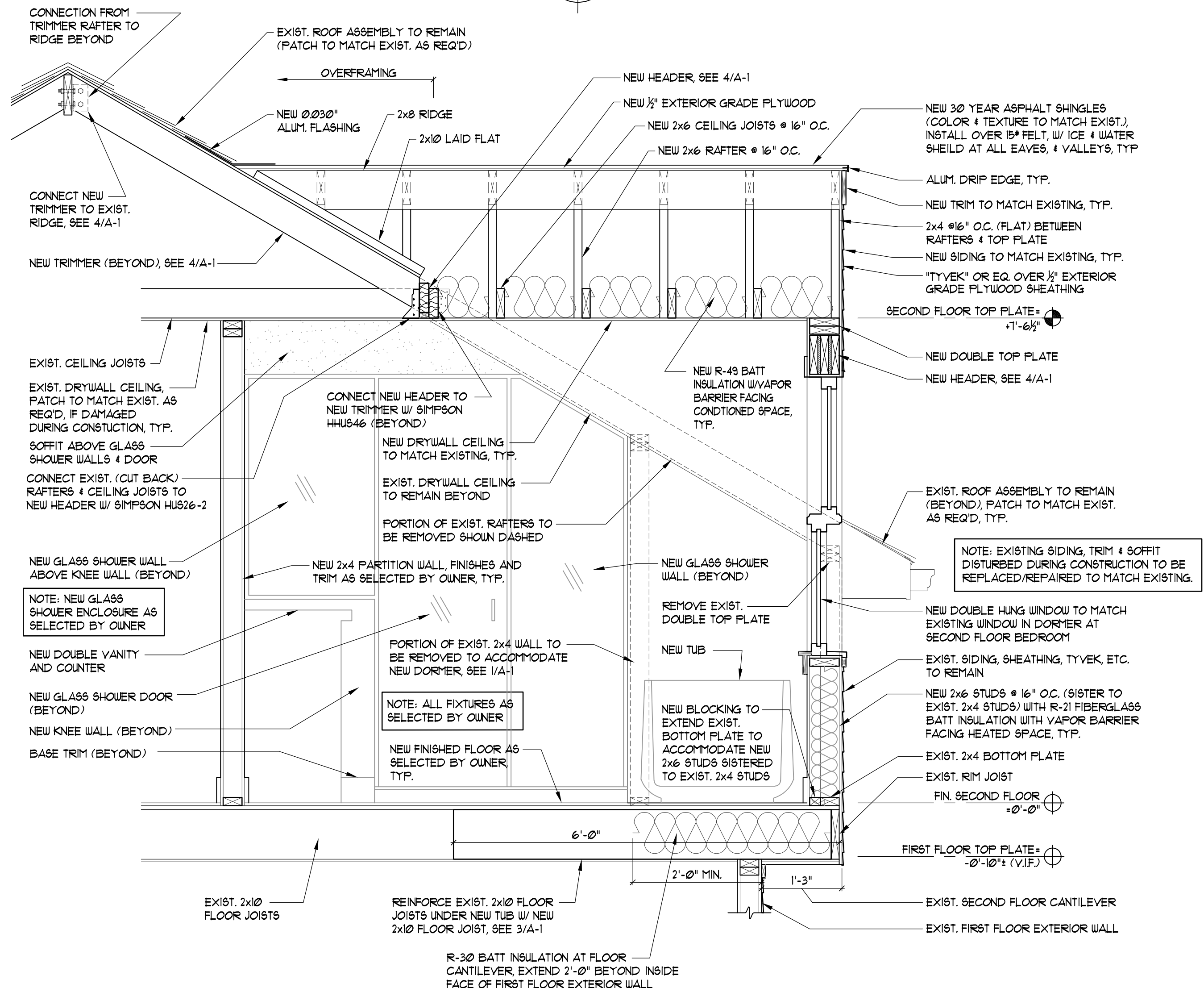
2 PARTIAL SECOND FLOOR PLAN
1/4"=1'-0"



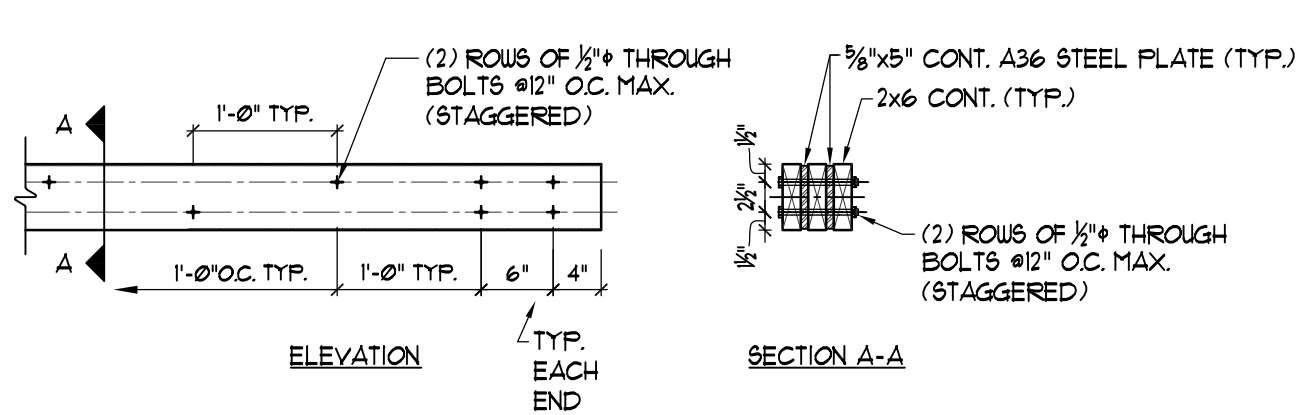
3 PARTIAL SECOND FLOOR FRAMING PLAN
1/4"=1'-0"



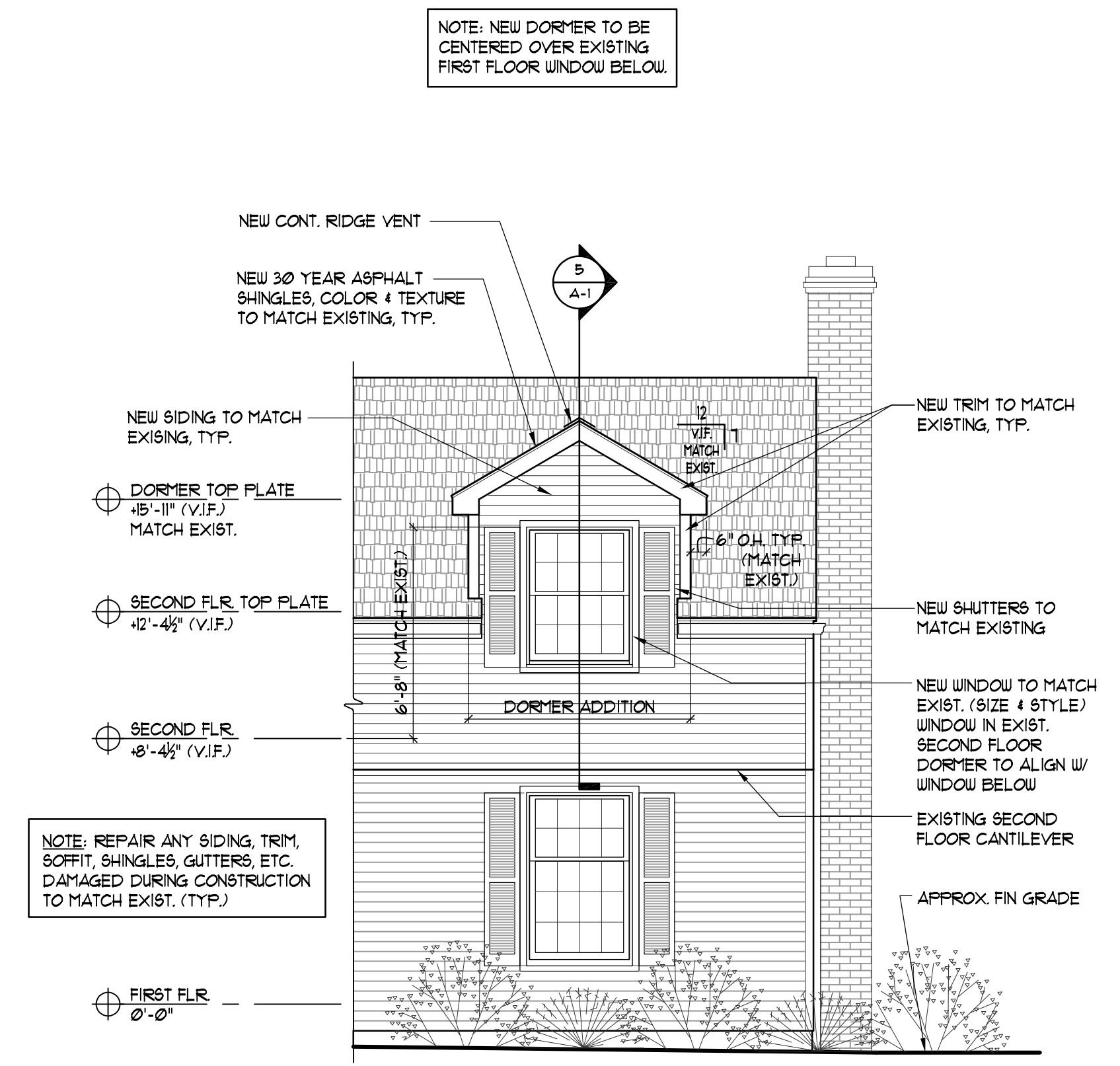
4 PARTIAL ROOF FRAMING PLAN
1/4"=1'-0"



5 SECTION
3/4"=1'-0"



6 FITCH BEAM DETAIL
3/4"=1'-0"



7 EAST ELEVATION
1/4"=1'-0"

TSE
Torchia Structural Engineering & Design P.C.
625 Panorama Trail
Suite #2210
Rochester, NY 14625
Phone: 585-385-7630
Fax: 585-385-6386
www.TSE123.com

KF Architects
P.O. Box 706
Canandaigua, NY 14424
Phone: 585-218-0051
Fax: 585-385-0386
Email: ct@kfarchitects.net

PROJECT TITLE:
**ADDITION AND ALTERATIONS TO:
THE SASS RESIDENCE**
319 EAST STREET
PITTSFORD, NEW YORK 14534

DRAWING TITLE:
**REMOVALS PLAN/
PARTIAL 2nd FLR PLAN/
PARTIAL 2nd FLR FRAMING PLAN/
ROOF FRAMING PLAN/
SECTION & ELEVATION**

NOTICE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING ARE IN VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 147, SECTION 7286. NO REVISIONS ARE PERMITTED UNLESS AUTHORIZED BY THE ARCHITECT OF RECORD.

REVISIONS:

STATE OF NEW YORK
OFFICE OF THE ENGINEER
TORCHIA
07030
REGISTERED PROFESSIONAL ENGINEER

PROJECT NO: 20-07-09
SCALE: AS NOTED
DRAWN BY: DH
CHECKED BY: CT
DATE: 09/02/2020
DRAWING #

A-1

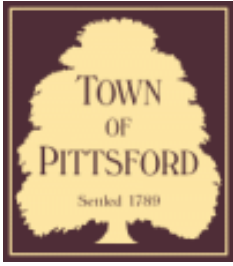






323





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000154

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Lexton Way PITTSFORD, NY 14534

Tax ID Number: 178.03-5-9

Zoning District: IZ Incentive Zoning

Owner: S & J Morrell Builders

Applicant: S & J Morrell Builders

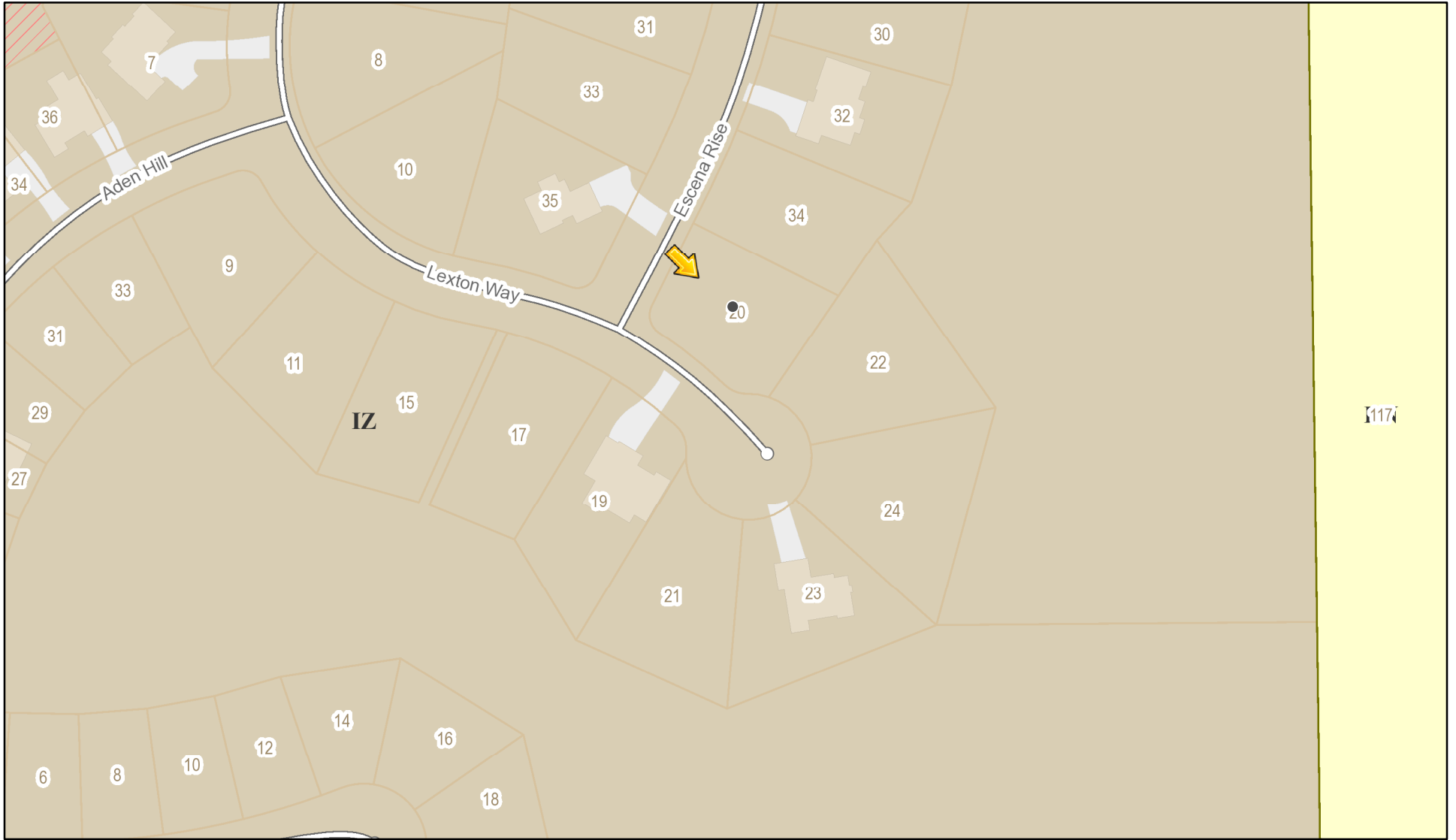
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

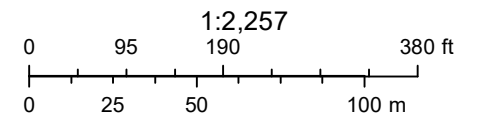
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2199 square feet and located in the Wilshire Hills Subdivision.

Meeting Date: September 24, 2020

RN Residential Neighborhood Zoning

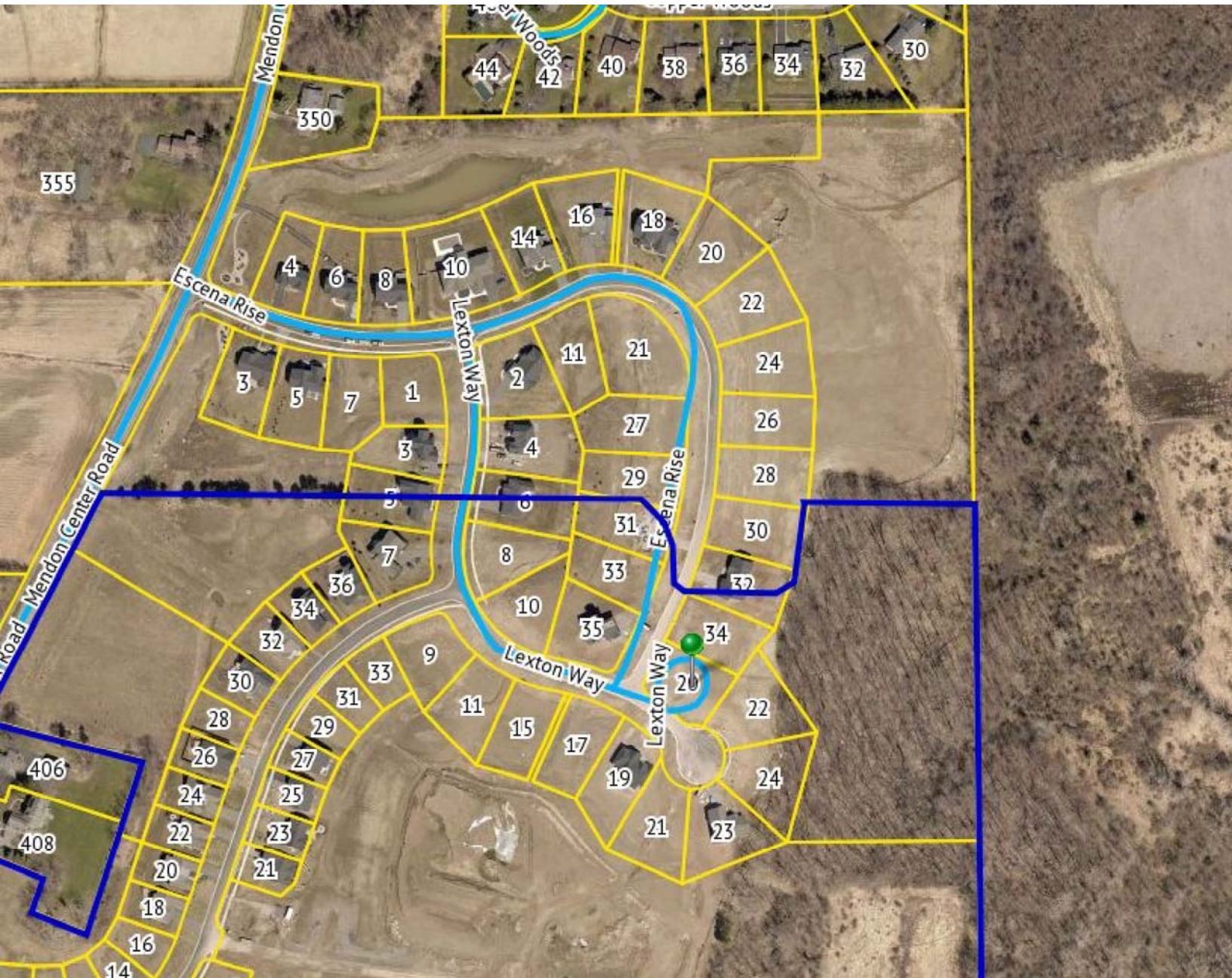


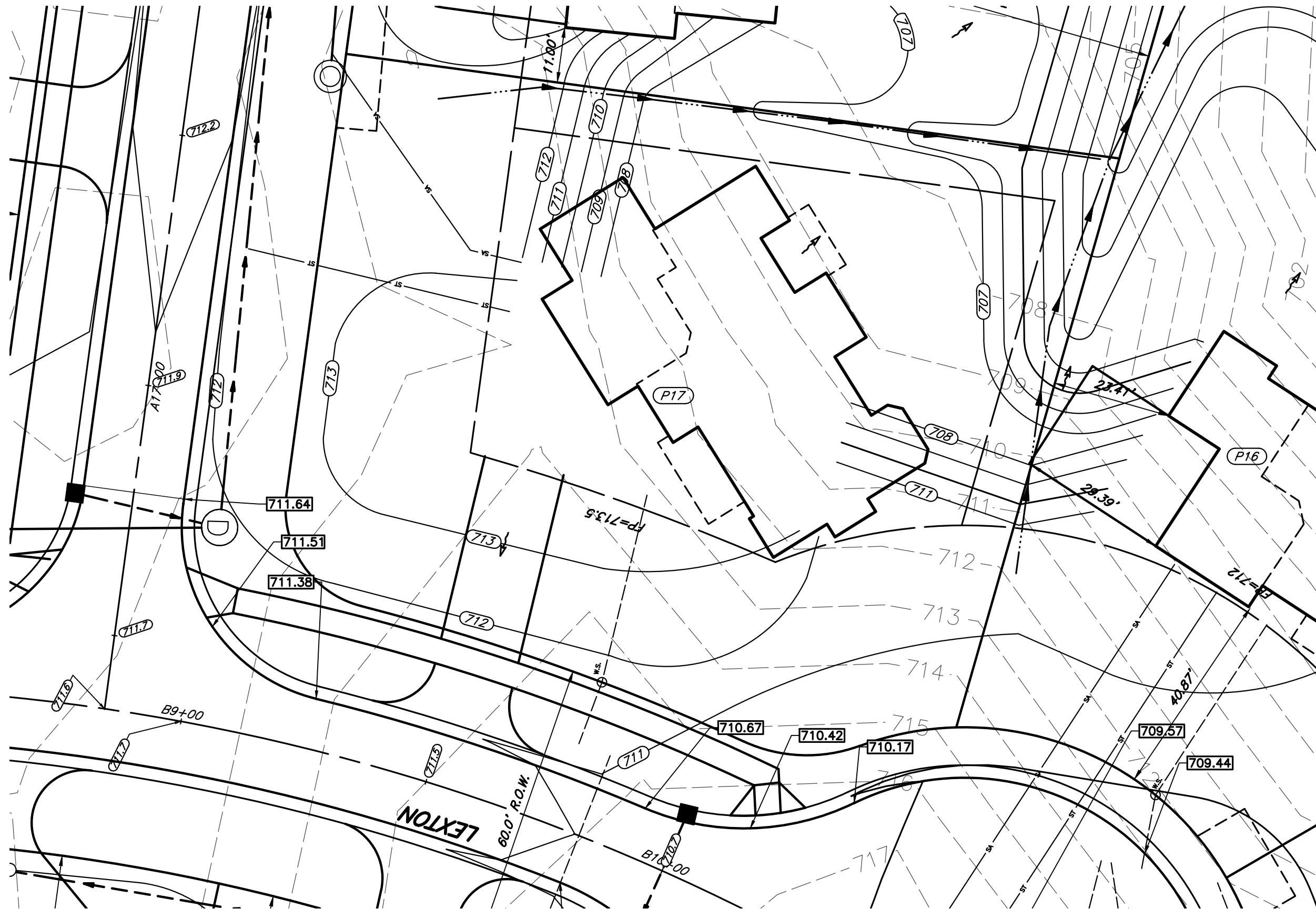
Printed September 17, 2020

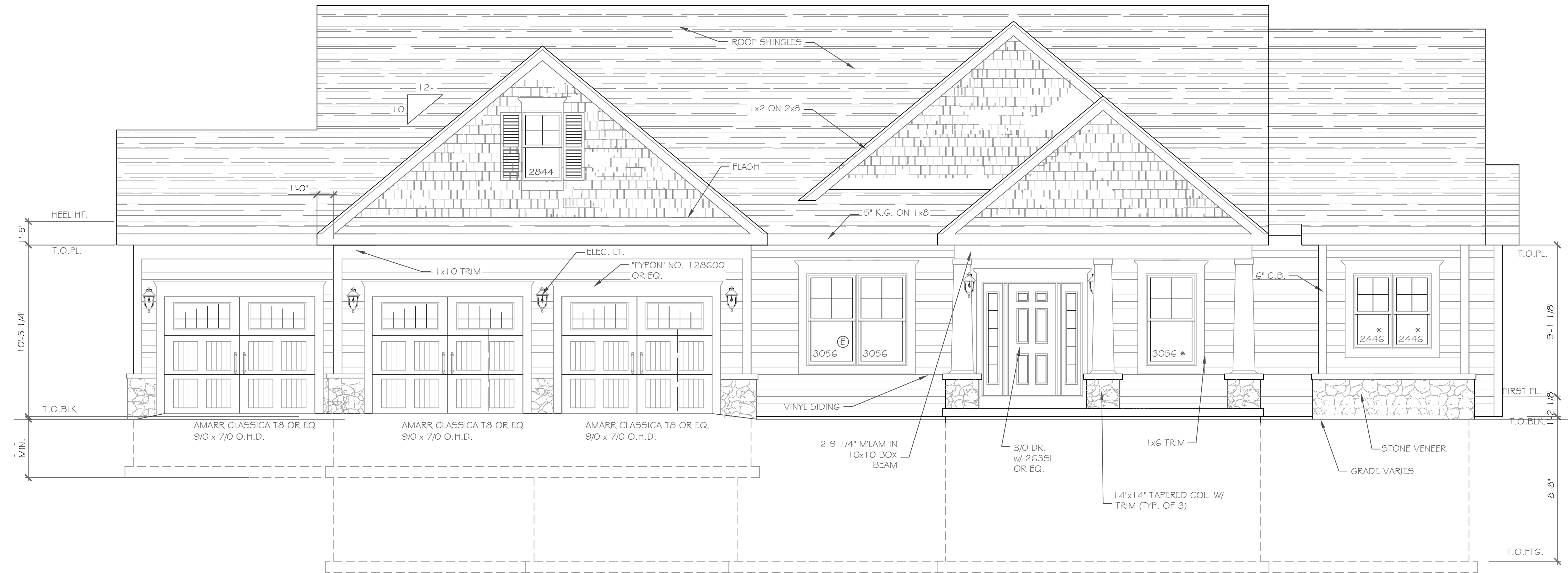


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



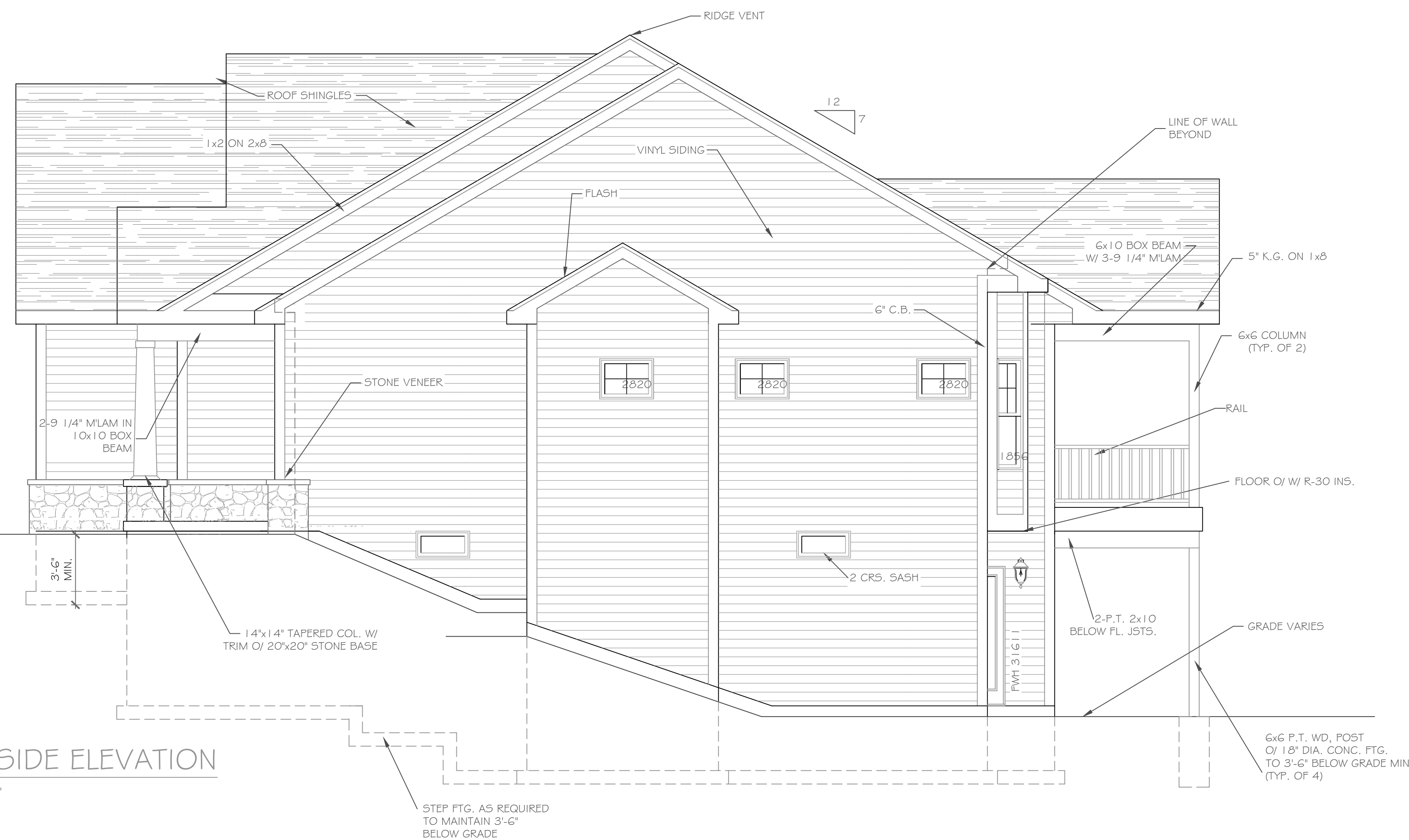




FRONT ELEVATION 2199 S.F.

1/4" = 1'-0"

- NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * - SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

STEP FTG. AS REQUIRED TO MAINTAIN 3'-6" BELOW GRADE

COPYRIGHT NOTICE:
 These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. These plans are a violation of law. Section 7209 Article 145, Chapter 2009 of the Laws of New York.
 CKH Architecture, P.A.
 Copyright ©
 All rights reserved.

REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE - Elevations	PHASE - Construction Documents
	DATE - September 2020

PROJECT - Lot 17P, Wilshire Hill Pittsford, New York	CLIENT - Morrell Builders
JOB NO. - A20-033	DATE - September 2020

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 email: CKHennessey@frontiernet.net

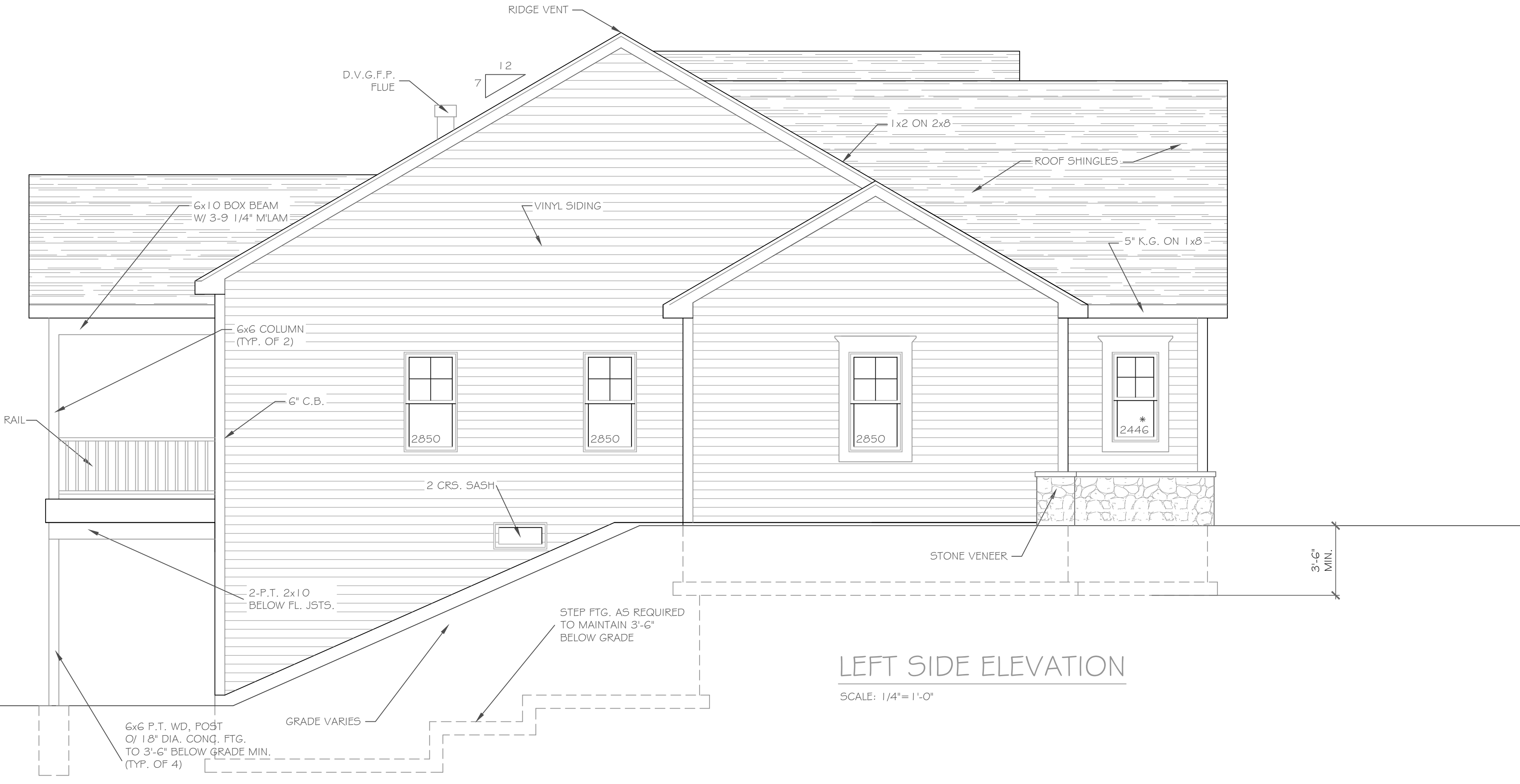
DRAWING NO. - A-1



REAR ELEVATION

SCALE: 1/4" = 1'-0"

6x6 P.T. WD. POST
OF 18" DIA. CONC. FTG.
TO 3'-6" BELOW GRADE MIN.
(TYP. OF 4)



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

6x6 P.T. WD. POST
OF 18" DIA. CONC. FTG.
TO 3'-6" BELOW GRADE MIN.
(TYP. OF 4)

COPYRIGHT NOTICE:
These plans are instruments of
service and may not be altered,
reproduced, or copied without
written consent of CKH
Architecture, P.A.
Unauthorized alterations to
these plans is a violation of law.
Section 7209, Article 145,
Chapter 209, Title 19,
C.K.H. Architecture, P.A.
Copyright ©
All rights reserved.

REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations	PHASE- Construction Documents
	DATE- September 2020

PROJECT- Lot 17P, Wilshire Hill Pittsford, New York	CLIENT- Morrell Builders
JOB NO.- A20-033	DATE- September 2020

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
fax-(585) 249-1333
email-CKHennessey@frontiernet.net

DRAWING NO.- A-5





19 LEXTON WAY





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S20-000014

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3077 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-67

Zoning District: C Commercial

Owner: Leicht, Gerald E

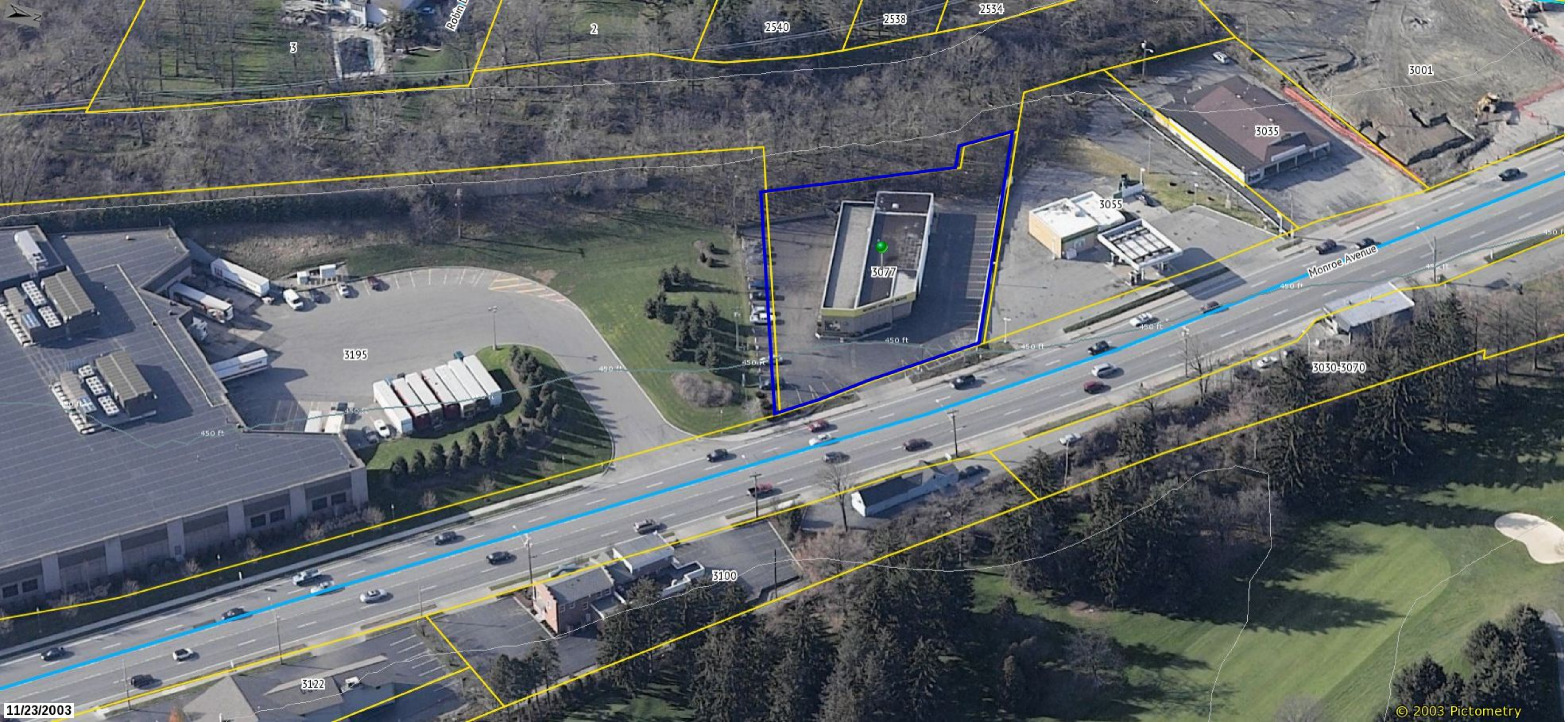
Applicant: Leicht, Gerald E

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: The applicant is requesting Design Review for the proposed placement of Business Identification Sign for Tire Choice. The size and location has been approved by the Planning Board on 9/14/2020.

Meeting Date: September 24, 2020



Robin

3

2

2540

2538

2534

3001

3035

3055

Monroe Avenue

3077

3195

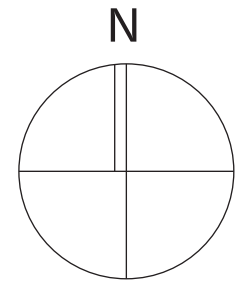
3030-3070

3100

3122

11/23/2003

© 2003 Pictometry



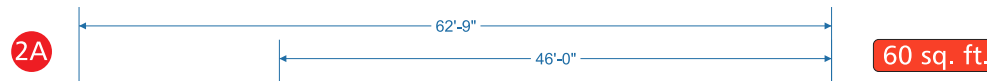
SCALE 1" : 50'

2A WALL SIGN

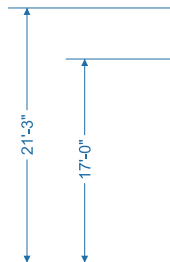
2B WALL SIGN



FRONT ELEVATION EXISTING SCALE 1/16" : 1'



FRONT ELEVATION W/NEW SIGNAGE SCALE 1/16" : 1'



- PAINT FASCIA BAND
TC MEDIUM BLUE
- PAINT BUILDING BODY
SW 7017 DORIAN GRAY
- PAINT COPING AND 2"
LOWER STRIPE
SW 7661 REFLECTION
- PAINT LIGHT POLES,
MAN DOOR FRAMES,
DOORS (2 SIDES)
SW 4032 VACUUM
BLACK SATIN
- PAINT BAY DOOR
PROTECTION
SW 4084 SAFETY YELLOW

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> ILLUMINATED <input checked="" type="checkbox"/> WALL	RACEWAY CHANNEL LETTERS - .040" ALUMINUM SIDES AND BACKS FINISHED CHEVRON BLUE FOR "TIRE CHOICE" - RED FOR REMAINING COPY - 1/8" ACRYLIC FACES WITH FLAT DECORATED GRAPHICS - 1" INTENSE BLUE TRIM CAP FOR "TIRE CHOICE" - RED FOR REMAINING COPY - LED ILLUMINATION - FABRICATED METAL RACEWAY FINISHED MONRO BLUE	<input type="checkbox"/> WHITE <input checked="" type="checkbox"/> PMS 2935 BLUE <input checked="" type="checkbox"/> PMS WARM RED	<input checked="" type="checkbox"/> FACE TRIMS <input checked="" type="checkbox"/> FASCIA COLOR <input checked="" type="checkbox"/> RADIUS DIM. <input checked="" type="checkbox"/> BUILDING DIM. <input checked="" type="checkbox"/> FACADE ANGLE <input checked="" type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

custom SIGN Center, Inc.
Full Service Sign Company

3200 Valleyview Drive
PH: 614-279-6700

Columbus, OH 43204
FX: 614-279-7525

FILENAME: Tire Choice 0004 3077 Monroe Ave Pittsford NY **REV#1** **SCALE:** 1/16" : 1'
DATE: 8/6/20 **REV.DATE:** 8/20/20 **DGMR:** JLB **SALES:** JS

Approval Signatures Required to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.

CUSTOMER: _____ **LANDLORD:** _____
DATE: _____ **DATE:** _____

This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2007 All rights reserved



SIDE ELEVATION EXISTING SCALE 1/16" : 1'

132'-0"



SIDE ELEVATION W/NEW SIGNAGE SCALE 1/16" : 1'

21'-3"
15'-2"

36.3 sq. ft

SIGN TYPE

- SINGLE FACE
- ILLUMINATED
- WALL

SPECIFICATIONS

RACEWAY CHANNEL LETTERS
 - .040" ALUMINUM SIDES AND BACKS FINISHED CHEVRON BLUE FOR "TIRE CHOICE" - RED FOR REMAINING COPY
 - 1/8" ACRYLIC FACES WITH FLAT DECORATED GRAPHICS
 - 1" INTENSE BLUE TRIM CAP FOR "TIRE CHOICE" - RED FOR REMAINING COPY
 - LED ILLUMINATION
 - FABRICATED METAL RACEWAY FINISHED MONRO BLUE

COLORS

- WHITE
- PMS 2935 BLUE
- PMS WARM RED

SIGN SURVEY

- FACE TRIMS
- FASCIA COLOR
- RADIUS DIM.
- BUILDING DIM.
- FACADE ANGLE
- OTHER

ARTWORK

- PROVIDED
 - REQUIRED
- If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

3200 Valleyview Drive
PH: 614-279-6700

Columbus, OH 43204
FX: 614-279-7525

FILENAME: Tire Choice 0004 3077 Monroe Ave Pittsford NY **REV#1** **SCALE:** 1/16" : 1'
DATE: 8/6/20 **REV.DATE:** 8/20/20 **DGNR:** JLB **SALES:** JS

Approval Signatures Required to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.

CUSTOMER: _____ **LANDLORD:** _____
DATE: _____ **DATE:** _____

This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2007 All rights reserved.

2A



60 sq. ft.

2B



36.3 sq. ft.



ALL WIRING MEETS NEC 2017 SPECIFICATIONS. SIGN TO BE WIRED TO A STANDARD 120 VOLT / 20 AMP CIRCUIT. SIGN IS A U.L. LABELED PRODUCT

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SIGN TYPE

- SINGLE FACE
- ILLUMINATED
- WALL

SPECIFICATIONS

RACEWAY CHANNEL LETTERS
 - .040" ALUMINUM SIDES AND BACKS FINISHED CHEVRON BLUE FOR "TIRE CHOICE" - RED FOR REMAINING COPY
 - 1/8" ACRYLIC FACES WITH FLAT DECORATED GRAPHICS
 - 1" INTENSE BLUE TRIM CAP FOR "TIRE CHOICE" - RED FOR REMAINING COPY
 - LED ILLUMINATION
 - FABRICATED METAL RACEWAY FINISHED MONRO BLUE

COLORS

- WHITE
- PMS 2935 BLUE
- PMS WARM RED

SIGN SURVEY

- FACE TRIMS
- FASCIA COLOR
- RADIUS DIM.
- BUILDING DIM.
- FACADE ANGLE
- OTHER

ARTWORK

- PROVIDED
 - REQUIRED
- If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

custom SIGN Center, Inc. Full Service Sign Company
 3200 Valleyview Drive Columbus, OH 43204
 PH: 614-279-6700 FX: 614-279-7525

FILENAME: Tire Choice 0004 3077 Monroe Ave Pittsford NY **REV#1** **SCALE:** 3/32" : 1'
DATE: 8/6/20 **REV.DATE:** 8/20/20 **DGNR:** JLB **SALES:** JS

Approval Signatures Required to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals.

CUSTOMER: _____ **LANDLORD:** _____
DATE: _____ **DATE:** _____

This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2007 All rights reserved