

**Design Review & Historic Preservation Board  
Agenda  
September 10, 2020**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW – RETURNING**

- **76 Knollwood Drive**  
The Applicant is returning for design review for the additions to an existing garage. The additions will be located on the front and side of the garage and will be a total of approximately 248 square feet.
- **55 N. Country Club Road**  
The Applicant is returning for design review for the addition of a single car garage with storage. The addition will be approximately 336 square feet with storage space above and the addition of three dormers.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **66 Ellingwood Drive**  
The Applicant is requesting design review for the garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.
- **25 Hawkstone Way**  
The Applicant is requesting design review for the addition of a covered porch. The porch will be approximately 210 square feet and will be located to the rear of the home.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW**

- **42 Coventry Ridge**  
The Applicant is requesting design review for the construction of a two story single family home. The home will have 1581 square feet on the first floor and 1589 square feet on the second floor. The home will be located in the Coventry Ridge Subdivision.
- **9 Rockdale Meadows**  
The Applicant is requesting design review for the proposed construction of a 2224 Sq. Ft. one story home.
- **2 Harwood Lane**  
The Applicant is requesting design and review for the construction of a new single family one story home. The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.
- **30 Escena Rise**  
The Applicant is requesting Design Review for the proposed construction of a 2949 Sq. Ft. 2 story dwelling with a 348 Sq. Ft.

**INFORMAL REVIEW**

- **65 Pickwick Drive**  
The owner of 65 Pickwick Dr., has applied for a demolition permit to allow the demolition of a single family dwelling at 65 Pickwick Drive. This property is Zoned Residential Neighborhood (RN). The Demolition permit is to be issued on or after October 16, 2020. Said structure is over 50 years old.

**OTHER – REVIEW OF 8/27/2020 MINUTES**

How to view the meeting:

1. Zoom

- In your web browser, go to
- <https://townofpittsford.zoom.us/j/88070736155?pwd=YkdYSFdmMEI6RXlrMk0yekcwTEgrZz09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is 880 7073 6155. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833



*Draft*  
**Design Review and Historic Preservation Board  
Minutes  
August 27, 2020**

**PRESENT**

Paul Whitbeck, Bonnie Salem, John Mitchell, Leticia Fornataro, Dirk Schneider, Chairman; Kathleen Cristman, David Wigg

**ALSO PRESENT**

Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Robert Koegel, Town Attorney

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, August 27 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Chairman Dirk Schneider opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

Leticia Fornataro reposted that the quote for the 18 banners for the historic district has not changed. Kathleen Cristman thanked Leticia for all her effort in coordinating this project.

Bonnie Salem noted that the Landmark Designation application for 25 Briar Patch Road should be submitted by the end of the month of September.

**CERTIFICATE OF APPROPRIATENESS**

- **18 Golf Avenue**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the renovation and additions to a designated historic home. This property is zoned (RN) Residential.

John Mitchell opened the Public Hearing.

The owners, John and Kristine Flannery, were in attendance as well as Jennifer Aherns and Anna Dnistrian from Bero Architecture.

The public hearing remains open.

Mark Lenzi reminded the Board that a letter and emails of support have been received by the Town for this project.

Dirk Schneider indicated his support for the project. Bonnie Salem discussed that she felt the design respected the historical features of the home and the raised roof would not adversely affect the design of the home. David Wigg, John Mitchell and Kathleen Cristman also voiced their positive support.

Dirk Schneider asked if there was any public comment.

Fran Kramer of 17 Golf Avenue who previously voiced concerns in an email to the Town on 8/7/2020 and who attended the August 13 hearing via Zoom was present. She indicated that the homeowners are good neighbors and that if the Town historian was in support and Bero Architecture was working with the project that it would be the best she could expect. She wished her neighbors well.

Mark Lenzi noted that this Public Hearing was advertised per law.

Dirk Schneider moved to close the Public Hearing.

Paul Whitbeck seconded.

All Ayes.

A resolution was read regarding the granting of a Certificate of Appropriateness.

Board member Bonnie Salem, seconded by Board Member Paul Whitbeck and was voted upon by members of the Board as follows:

Dirk Schneider voted aye  
Bonnie Salem voted aye  
Paul Whitbeck voted aye  
Kathleen Cristman voted aye  
Leticia Fornataro voted aye  
David Wigg voted aye  
John Mitchell voted aye

A Certificate of Appropriateness #04-2020 was granted subject to the following conditions:

1. The granting of the Certificate of Appropriateness is made subject to the following specific conditions:
  - a. All work is to be completed by December 31, 2022.

Adopted by the Design Review & Historic Preservation Board on August 27, 2020.

- **465 Marsh Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the replacement of a roof on a designated historic home. This property is zoned (RN) Residential.

Allen Reitz announced that the Applicant contacted the Town on August 27, 2020 and made notification that the application is being withdrawn.

## **RESIDENTIAL APPLICATION FOR REVIEW – RETURNING**

- **159 Maywood Avenue**

The Applicant is returning from the August 13<sup>th</sup> meeting to request design review for multiple additions to an existing home. The additions will be as follows: 76 sq. ft. kitchen addition, 167 sq. ft. garage addition, 380 sq. ft. covered porch and 654 sq. ft. master suite totaling 1277 sq. ft.

The architect for the project, Jim Brasley, was present. He indicated that the window configuration over the new gable had been reduced to one central window and the roof has been brought down more than 3 feet. Shake siding will be added to the second floor gables. He indicated that the homeowner is comfortable with the changes.

The Board thanked the architect for the new submission and for addressing their concerns.

Dirk Schneider noted that the stone material should be wrapped on the north side next to the new garage to provide consistency on the materials. Bonnie Salem supported this.

Paul Whitbeck made note of the garage door remaining as two doors instead of one but Mr. Brasley discussed how the single door is the only way to meet current code.

Leticia Fornataro moved to accept the application as submitted with the recommendation that stone be added to the north side face to match the existing stone and the garage addition.

David Wigg seconded.

All Ayes.

- **34 Escena Rise**

The Applicant is returning from the August 13<sup>th</sup> meeting to request design review for the construction of a new two story single family home. The home's first floor will be approximately 1616 square feet and the second floor will be approximately 1558 square feet located in the Wilshire Hills Subdivision.

The architect, Chris Hennessey, was present to discuss the application with the Board.

Ms. Hennessey indicated that a window was added to the left side elevation and wood corbels added underneath the fireplace. She indicated that she was also in attendance to address the multiple material concerns of the Board.

Leticia Fornataro discussed her concerns. She felt the multiple materials on the front façade were too busy. She asked for clarification on the colors.

John Mitchell did not feel that there was any change to the front façade from the previous meeting.

Chris Hennessey indicated the predominant board and batten is the homeowner's choice and this material is increasing in popularity. The ground base stone is an accent feature. She indicated that the siding and board and batten and trim will be white with stone chosen to compliment the color.

Paul Whitbeck that the front façade is primarily garage. Ms. Hennessey noted that it was not possible to do a side load garage on this lot and the garage is stepped back. In addition, she stated that the floor plan would not support the loss of a double gable.

Discussion was held about the shed roof with Board members indicating the it added to the busyness of the front elevation. It was suggested by some Board members that the shed roof be eliminated. The choice of the white color made some Board members feel more comfortable with the many materials.

Dirk Schneider moved to accept the application as submitted with the condition of the deletion of the shed roof on the front elevation.

Leticia Fornataro seconded.

Ayes – Schneider, Wigg, Fornataro, Salem

Nay – Whitbeck, Cristman, Mitchell

## **RESIDENTIAL APPLICATION FOR REVIEW – NEW**

- **10 Ravenna Crescent**

The Applicant is requesting design review for the construction of a two story single family home. The first floor will be 1524 sq. ft., the second floor will be 1560 sq. ft. and is located in the Coventry Ridge Subdivision.

Jim Connaughton was present to discuss the application with the Board.

Mr. Connaughton made note that there are two materials on this design.

The Board made note that the massing in the rear elevation had a long expanse without much fenestration. Mr. Connaughton indicated that he would have no problem adding a window to that elevation. Mr. Connaughton and the Board agreed that the window should be placed on the same plane/height as the man door.

David Wigg moved to approve the application as submitted with the condition that a window be added and set at the head height to match the pedestrian/man door.

Paul Whitbeck seconded.

All Ayes.

## **COMMERCIAL APPLICATION FOR REVIEW**

- **3240 & 3246 Monroe Avenue**

The Applicant is requesting design review for a proposed 30.9 sq. ft. business identification sign. The sign meets the requirement for location and size set by the Planning Board and Town Code.

Scott Egginberger of Fairway Independent Mortgage was present to discuss the application with the Board.

Bonnie Salem asked if the letters would be colored white. Mr. Egginberger indicated yes and that it would match the other vendors in that location and have white LED lights.

It was discussed that the plan that the Board is approving is Option B on the plans.

John Mitchell moved to accept the application as submitted (Option B with white letters).

Bonnie Salem seconded.

All Ayes.

## **RESIDENTIAL APPLICATION FOR REVIEW**

- **75 Pickwick Drive**

The Applicant is requesting design review for an addition of a porch. The porch will be 156 sq. ft. and located on the front of the home.

The homeowner, John Ebel, was present.

Discussion was held about the posts on the porch. While the owner was unsure of how they would be trimmed out, the Board recommended that 4" x 4" posts be trimmed out to 6" x 6".

The brick will be maintained and the siding will be matched to the existing. The support beam will be trimmed.

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **21 Wind Mill Road**

The Applicant is requesting design review for the addition of a study. The addition will be 175 sq. ft. and located on the side of the home. This addition has been approved for a front and side setback variance by the Zoning Board of Appeals.

The homeowner, Stephen Johnson, and architect, Jack Sigrist were present.

Jack Sigrist noted that the siding and windows will match the existing. The existing dining room windows will be replaced with a sliding glass door.

Paul Whitbeck moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **55 N. Country Club Road**

The Applicant is requesting design review for a single car garage with storage. The addition will be 336 sq. ft. and storage above with the addition of three dormers.

The contractor, Aaron Wolfe, was present.

The Board asked about the floor plan and Mr. Wolfe indicated it was not ready yet. The Board asked questions about the materials. The garage door will be a single 9 ft. door and the siding will be all new.

The Board had concerns about missing information. John Mitchell felt that the plan was on the right track but was missing details. Dave Wigg agreed stating that the plans do not tell the entire story of the project. Kathleen Cristman indicated she was not feeling comfortable without more concrete definition of the features. Bonnie Salem and Paul Whitbeck agreed. The Board as a whole came to the conclusion they could not come to a decision without more details.

Dirk Schneider suggested holding the application open for more information.

The Board noted that would like to have: floors plans, more clarification on materials and details on dimensions.

- **76 Knollwood Drive**

The Applicant is requesting design review for additions to an existing garage. The additions will be located on the front and side of the garage for a total of approximately 248 sq. ft.

The homeowners, Dusty and Sara Odenbach, were present to discuss the application with the Board. They discussed the side bump out and the garage being bumped out 8 ft. past the current 5 ft. towards the road.

The Board held discussion regarding the plan. The Board did not have concerns about the side bump out. Although the Zoning Board of Appeals approved the variance for extending the garage forward of the building line, but felt the extended forward facing garage exceeded the design guidelines. Paul Whitbeck had additional concerns regarding the lack of fenestration on the left side elevation.

Questions about the intent of the brick being kept or not were raised. Sara Odenbach indicated they might paint the brick or replace with siding to match. The Board had concerns about the lack of this and other material details.

The Board felt they needed additional clarification on the following in order to make a decision. Leticia Fornataro stated that written clarifications on dimensions and materials and floor plans are necessary. Kathleen Cristman supported this.

The decision was made to hold this application over.

- **3765 East Avenue**

The Applicant is requesting design review for garage and living area additions. The construction will be two stories approximately 1715 sq. ft. Approval for a side setback variance was given by the Zoning Board of Appeals on August 17, 2020.

The architect, Joe O'Donnell, and homeowner Glenn Paynter were in attendance.

Mr. O'Donnell discussed that the garage and master bedroom are being added to accommodate the homeowner's needs and the porch is being added to enhance the curb appeal of the home. The garage is stepped back 2 ft. behind the porch line. The front door will be replaced. The columns on the front porch will be wrapped. Shake accents will be added in the gables on the front porch. The garage doors will be solid white doors.

It was noted by several Board members that the garage will be the predominant feature on the house. Discussion was held by Board members how the plan might be modified to keep the garage from overpowering the house. Mr. O'Donnell explained that there is no basement and additional storage is needed and this design is the best solution. Dirk Schneider noted that the gable helps balance the garage.

Dirk Schneider noted that this home would be different than the others in the neighborhood which is predominantly ranch style homes.

David Wigg moved to approve the application as submitted.

John Mitchell seconded.

Aye – Fornataro, Mitchell, Cristman, Wigg  
Nay – Schneider, Whitbeck, Salem

## **INFORMAL REVIEW**

- **60 French Road**

The Applicant is requesting an informal review for the installation of a metal roof on a designated historic home.

The homeowner, Claudia Savino was present to discuss the application with the Board. Ms. Savino is requesting guidance from the Board as to what would be appropriate roofing material should she choose to replace her current roofing. She is considering changing to metal roofing but wants to choose materials that would be appropriate.

Dirk Schneider recommended choosing a historic color. Stamped metal shingles were discussed. He discussed that a silver color would be more appropriate than black. Leticia Fornataro suggested avoiding copper coloration as it would go against the historical character.

Dirk Schneider suggested the new roof would affect the gables and they would need special attention to be trimmed out appropriately. He suggested that when the materials are chosen that they be presented to the Board for review.

Ms. Savino thanked the Board for their input.

## **OTHER – REVIEW OF 8/13/2020 MINUTES**

Bonnie Salem moved to accept the minutes of 8/13/2020 as written.

All Ayes.

The meeting adjourned at 9:20 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Board





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000124**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 76 Knollwood Drive ROCHESTER, NY 14618

**Tax ID Number:** 138.17-1-8

**Zoning District:** RN Residential Neighborhood

**Owner:** Odenbach, G. Dustin

**Applicant:** Odenbach, G. Dustin

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is returning for design review for the additions to an existing garage. The additions will be located on the front and side of the garage and will be a total of approximately 248 square feet.

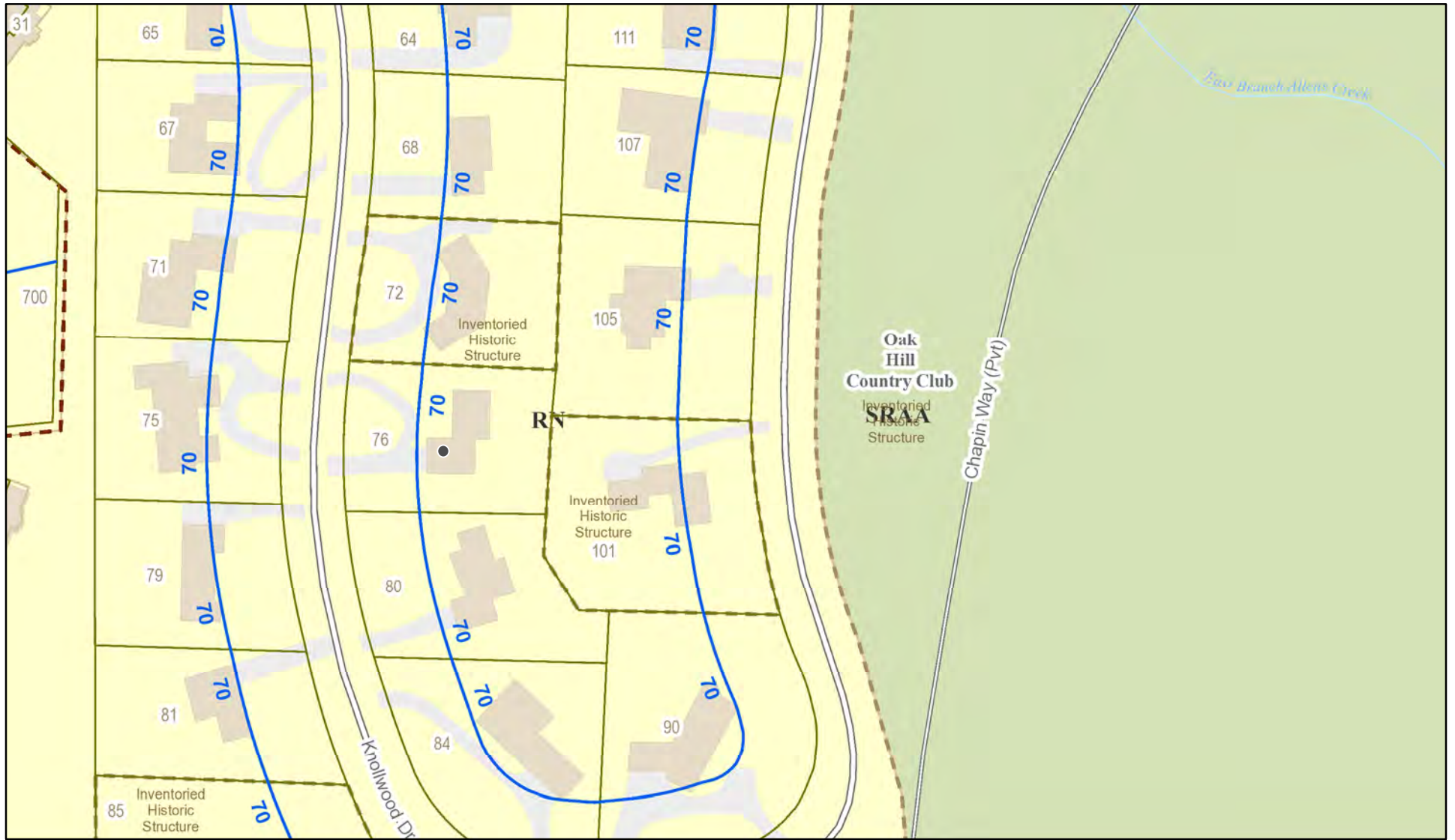
**Meeting Date:** September 10, 2020



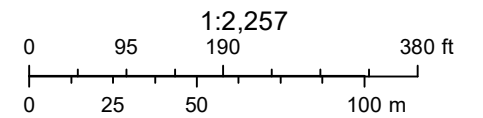




# RN Residential Neighborhood Zoning



Printed August 7, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

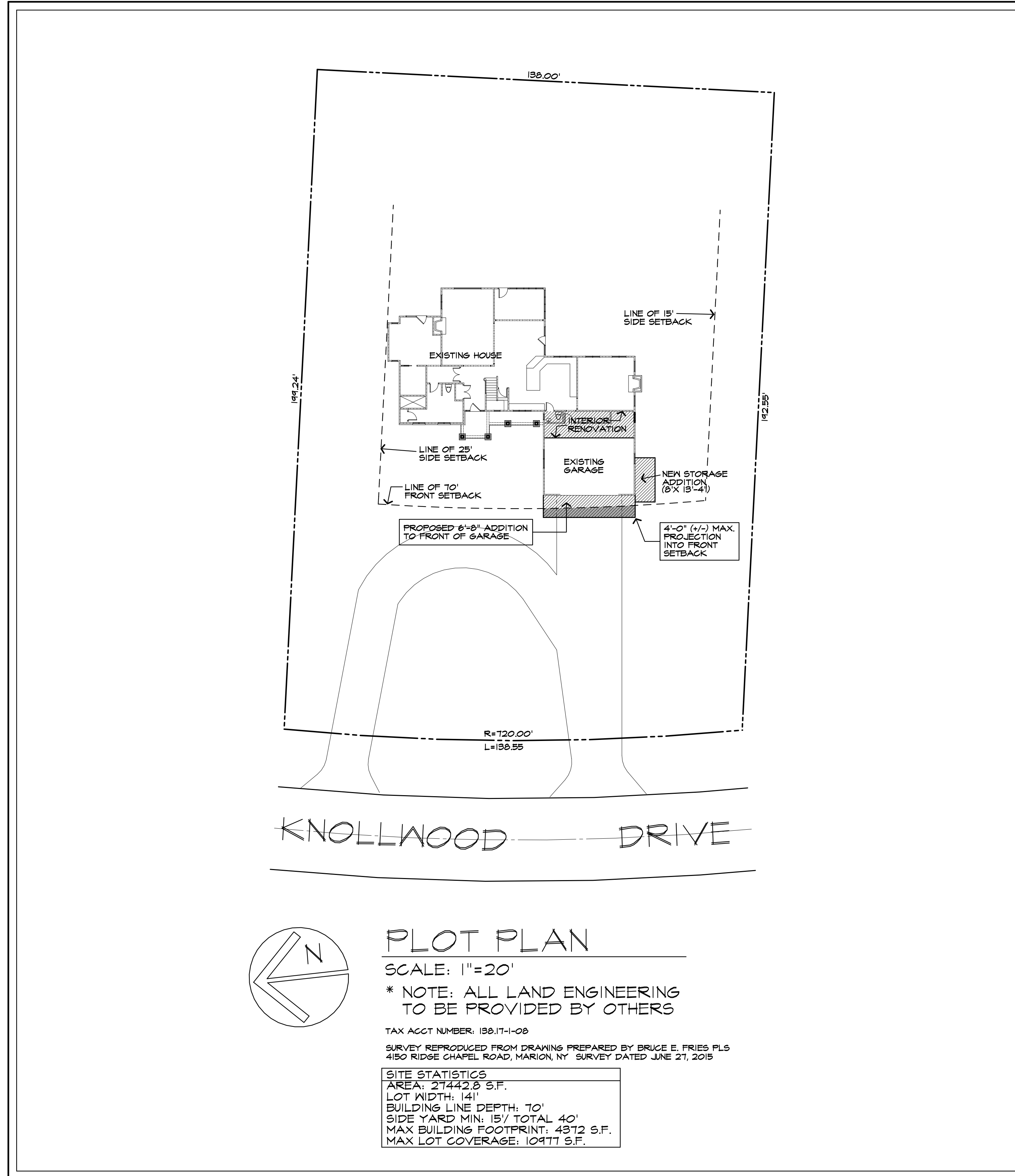






# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUME A BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3000 PSI PORCH  
3000 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-88, FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMO-SALTS OR MOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 103.8 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R310.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R310.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



**PUPPARO / ODENBACH RESIDENCE**

**76 KNOLLWOOD DRIVE**

**PITTSFORD, NEW YORK**

# DRAWING INDEX

<b>1</b>	<b>TITLE PAGE</b>
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<b>4</b>	<b>EXISTING 1ST FLOOR PLAN</b>
<b>5</b>	<b>FRONT/LEFT SIDE ELEVATIONS</b>
<b>6</b>	<b>REAR/RIGHT SIDE ELEVATIONS</b>
<b>7</b>	<b>1ST FLOOR PLAN</b>

**ENERGY COMPLIANCE DETAILS & PATH**  
MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	32	30
2. CEILING R-FACTOR	44	44
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13-5	HIGH DENSITY 21 21/BAND JSTS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 13 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30

**2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH**

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SHUT-OFF THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R602.1.1.1



121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

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REVISED 8/3/2020 P.J.M.A.I.A

**PROJECT:**  
PROPOSED RENOVATION  
76 KNOLLWOOD DRIVE  
TOWN OF PITTSFORD NY

**CLIENT:**  
DUSTY ODENBACH/  
SARA PUPPARO  
76 KNOLLWOOD DRIVE  
TOWN OF PITTSFORD NY

**DRAWING:**  
TITLE PAGE

<b>DRAWN:</b> PJM	<b>CHECKED:</b> V
----------------------	----------------------

**DATE:** 3/3/2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 17M648

**SHEET:**

**1**  
OF 7 SHEETS





FRONT ELEVATION/ EXISTING



LEFT SIDE ELEVATION/ EXISTING



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PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.  
 LICENSED IN CO, MA, NE, NY, PA, SC

121 Sully's Trail  
 Pittsford, NY 14534

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**PROJECT:**  
 PROPOSED RENOVATION  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**CLIENT:**  
 DUSTY ODENBACH/  
 SARA PUFFARO  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**DRAWING:**  
 ELEVATIONS - EXISTING

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM	V

**DATE:** 3/3/2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 17MB648

**SHEET:**

**2**

OF **7** SHEETS





REAR ELEVATION/ EXISTING



RIGHT SIDE ELEVATION/ EXISTING



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**PROJECT:**  
PROPOSED RENOVATION  
76 KNOLLWOOD DRIVE  
TOWN OF PITTSFORD NY

**CLIENT:**  
DUSTY ODENBACH/  
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76 KNOLLWOOD DRIVE  
TOWN OF PITTSFORD NY

**DRAWING:**  
ELEVATIONS/ EXISTING

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM	V

**DATE:** 3/3/2020

**SCALE:** 1/4"=1'-0"

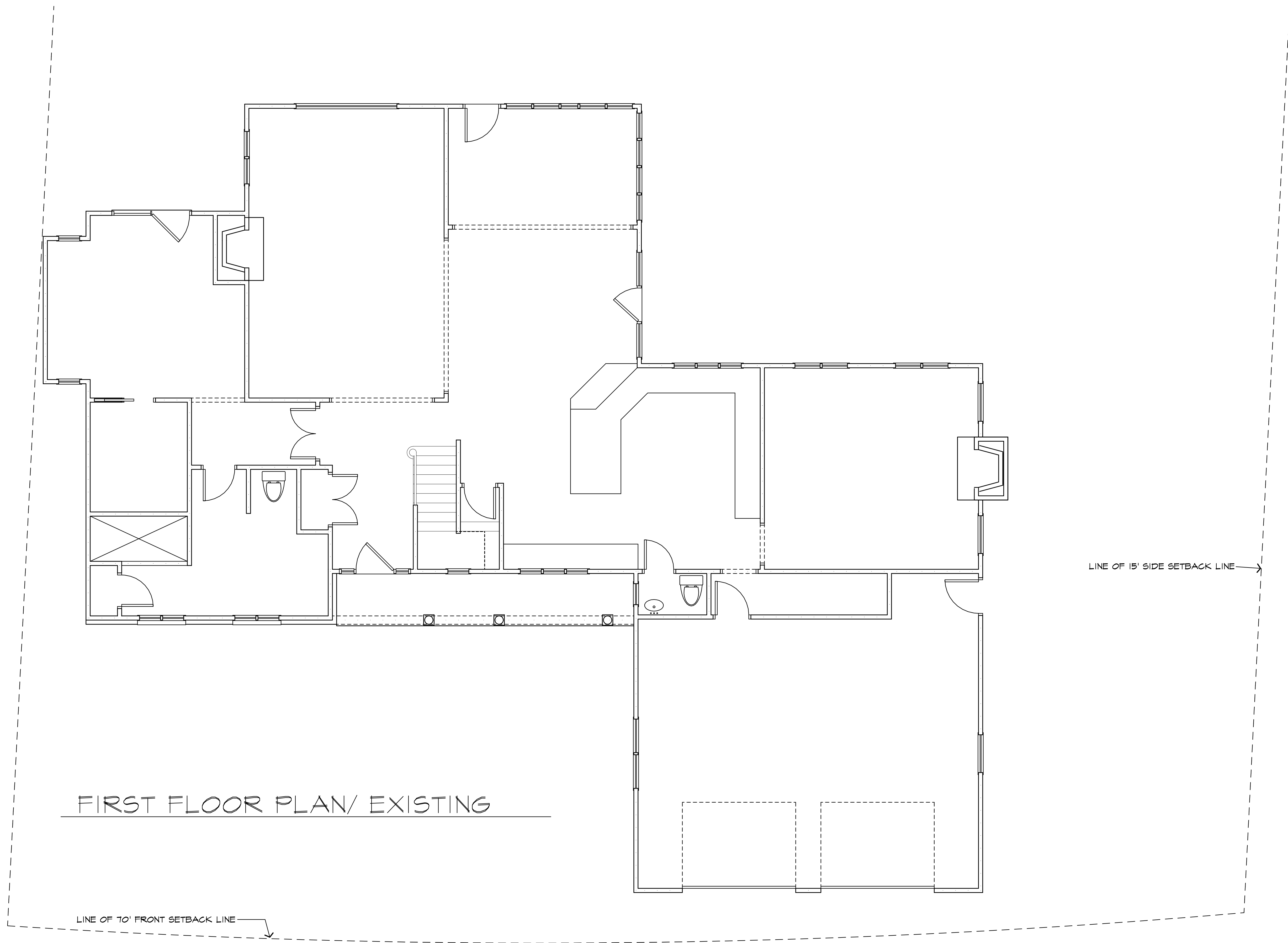
**JOB NO.:** 17MB648

**SHEET:**

**3**

OF **7** SHEETS





FIRST FLOOR PLAN/ EXISTING

LINE OF 15' SIDE SETBACK LINE

LINE OF 70' FRONT SETBACK LINE



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**PROJECT:**  
 PROPOSED RENOVATION  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**CLIENT:**  
 DUSTY ODENBACH/  
 SARA PUFFARO  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**DRAWING:**  
 FIRST FLOOR PLAN  
 EXISTING

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM	V

**DATE:** 3/3/2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 17MB648

**SHEET:**

**4**

OF **7** SHEETS







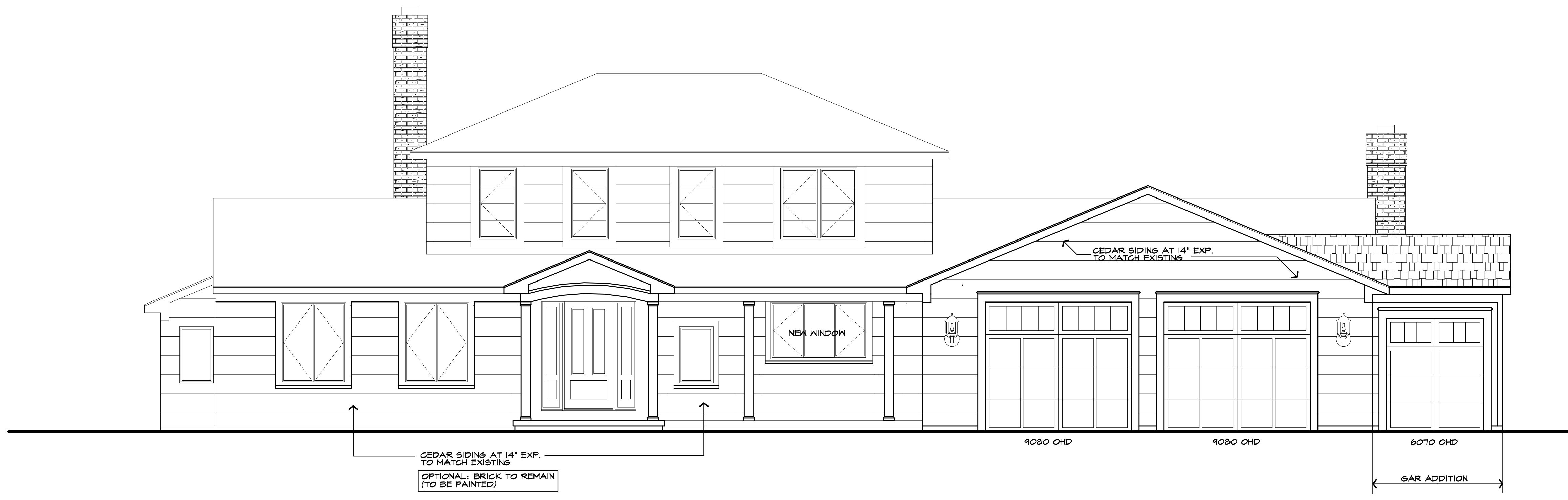
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FRONT ELEVATION/ PROPOSED

UNLESS OTHERWISE NOTED	
ROOFING:	25 YR GUARANTEE ASPHALT SHINGLES TO MATCH EXISTING
ROOF VENTING:	CONTINUOUS RIDGE VENT
FASCIAS:	TO MATCH EXISTING
FRIEZEBDS:	1X 6
CORNERBDS:	N/A
CASINGS:	6"
SIDING:	CEDAR SHINGLES AT 14" EXPOSURE (MATCH EXISTING)
OVERHANGS:	MATCH EXISTING
RAKE OVERHANGS:	MATCH EXISTING
MIN FTG. DEPTH:	4'-0"
WINDOW MFR:	AS SELECTED (PROVIDE SAFETY GLAZING PER R308.4)

REVISED 8/31/2020 P.J.M./A

**PROJECT:**  
 PROPOSED RENOVATION  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**CLIENT:**  
 DUSTY ODENBACH/  
 SARA PUFFARO  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**DRAWING:**  
 ELEVATIONS - PROPOSED

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM	V

**DATE:** 3/3/2020

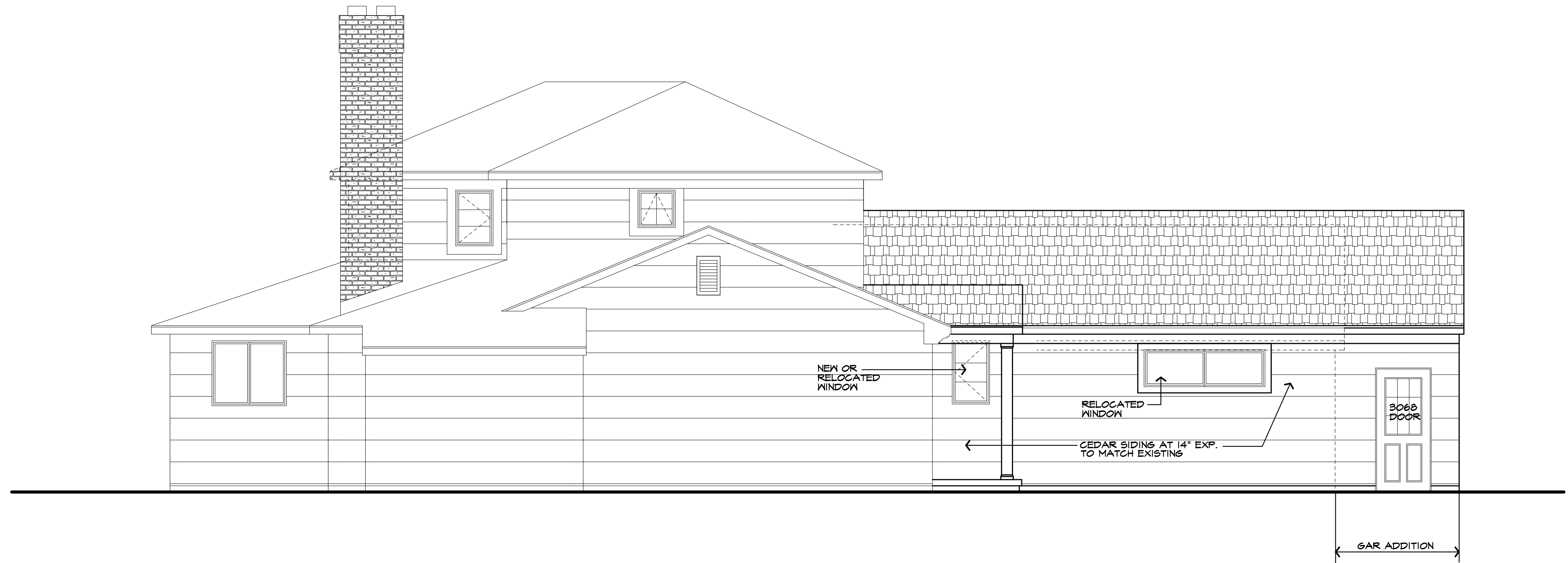
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**JOB NO.:** 17MB648

**SHEET:**

5

OF 7 SHEETS



LEFT SIDE ELEVATION/ PROPOSED

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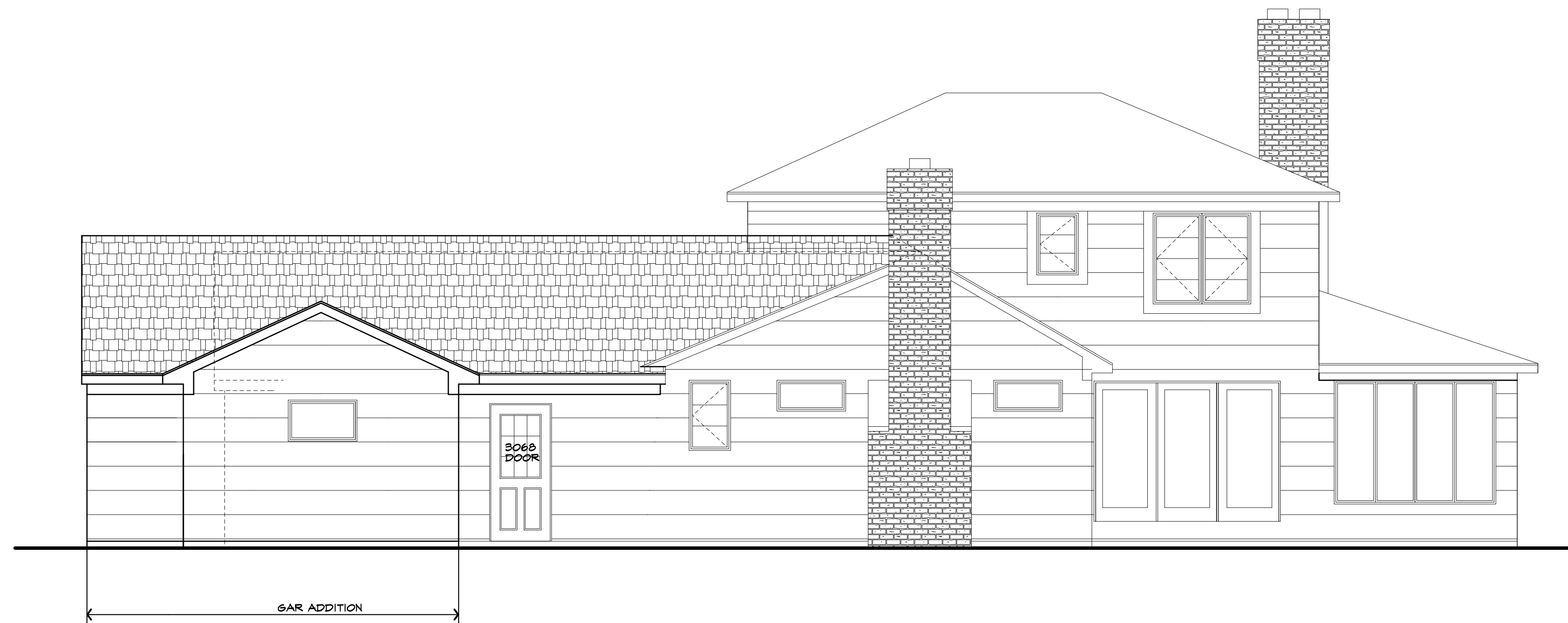
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REAR ELEVATION/ PROPOSED

UNLESS OTHERWISE NOTED

- ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES TO MATCH EXISTING
- ROOF VENTING: CONTINUOUS RIDGE VENT
- FASCIAS: TO MATCH EXISTING
- FRIEZEBDS: 1X 6
- CORNERBDS: N/A
- CASINGS: 6"
- SIDING: CEDAR SHINGLES AT 14" EXPOSURE (MATCH EXISTING)
- OVERHANGS: MATCH EXISTING
- RAKE OVERHANGS: MATCH EXISTING
- MIN FT6. DEPTH: 4'-0"
- WINDOW MFR: AS SELECTED (PROVIDE SAFETY GLAZING PER R.308.4)



RIGHT SIDE ELEVATION/ PROPOSED

REVISED 8/31/2020 P.J.M/A

**PROJECT:**  
 PROPOSED RENOVATION  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**CLIENT:**  
 DUSTY ODENBACH/  
 SARA PUFFARO  
 76 KNOLLWOOD DRIVE  
 TOWN OF PITTSFORD NY

**DRAWING:**  
 ELEVATIONS - PROPOSED

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM	V

**DATE:** 3/3/2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 17MB648

**SHEET:**

**6**

OF 7 SHEETS



**NOTICE:**

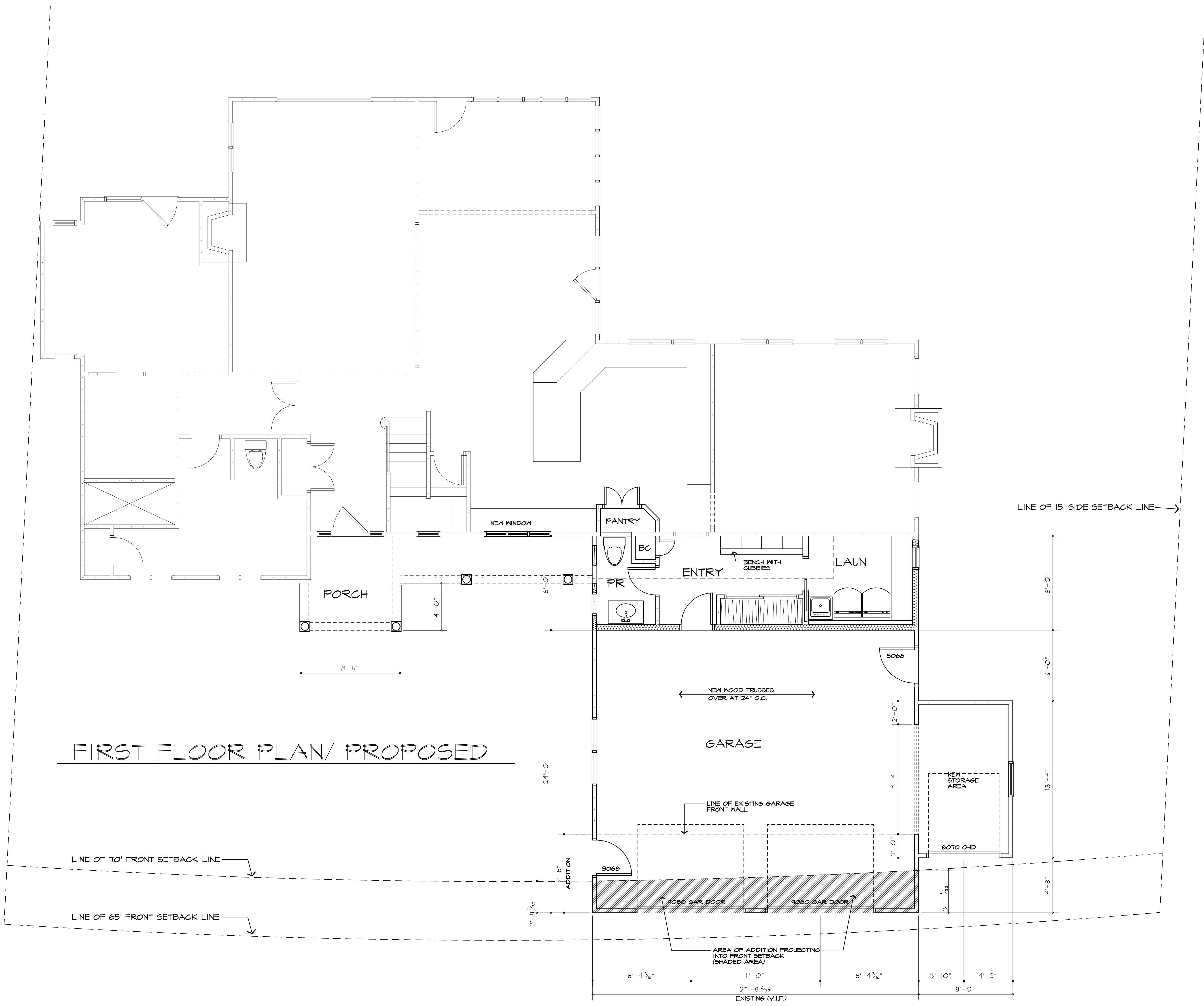
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**PROJECT:**  
PROPOSED RENOVATION  
76 KNOLLWOOD DRIVE  
TOWN OF PITTSFORD NY

**CLIENT:**  
DUSTY ODENBACH/  
SARA PUFFARO  
76 KNOLLWOOD DRIVE  
TOWN OF PITTSFORD NY

**DRAWING:**  
1ST FLOOR PLAN  
PROPOSED

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM	V

**DATE:** 3/3/2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 17M648

**SHEET:**

**7**

OF 7 SHEETS







76



CYB-6367









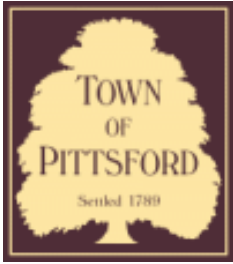












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000123**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 55 North Country Club Drive ROCHESTER, NY 14618

**Tax ID Number:** 151.05-1-25

**Zoning District:** RN Residential Neighborhood

**Owner:** Fuss, William A

**Applicant:** Aaron Wolfe Buiders

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is returning for design review for the addition of a single car garage with storage. The addition will be approximately 336 square feet with storage space above and the addition of three dormers.

**Meeting Date:** September 10, 2020

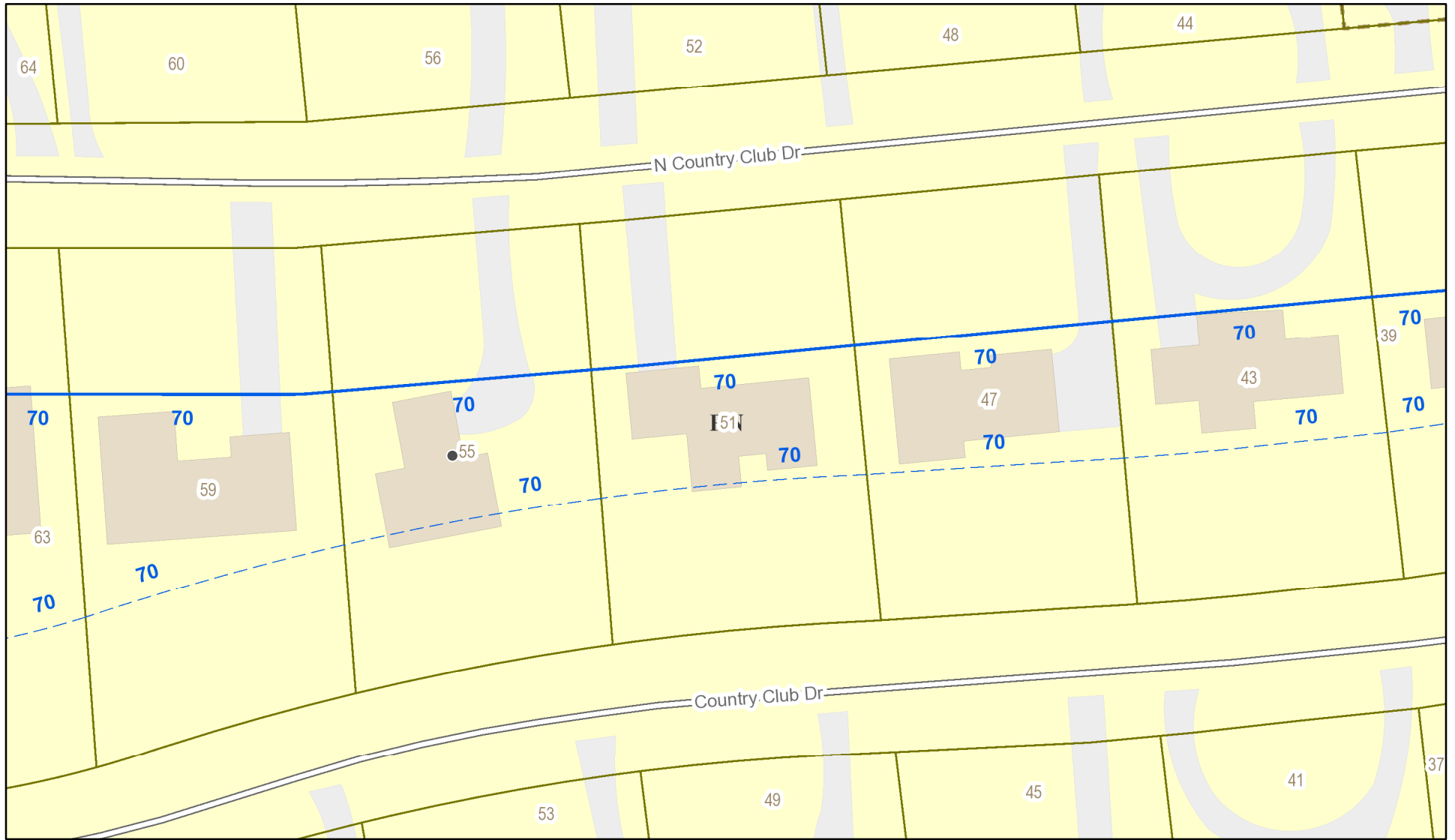


Back to Map

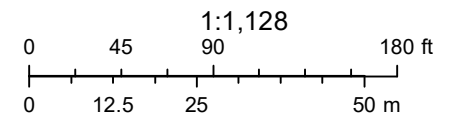




# RN Residential Neighborhood Zoning



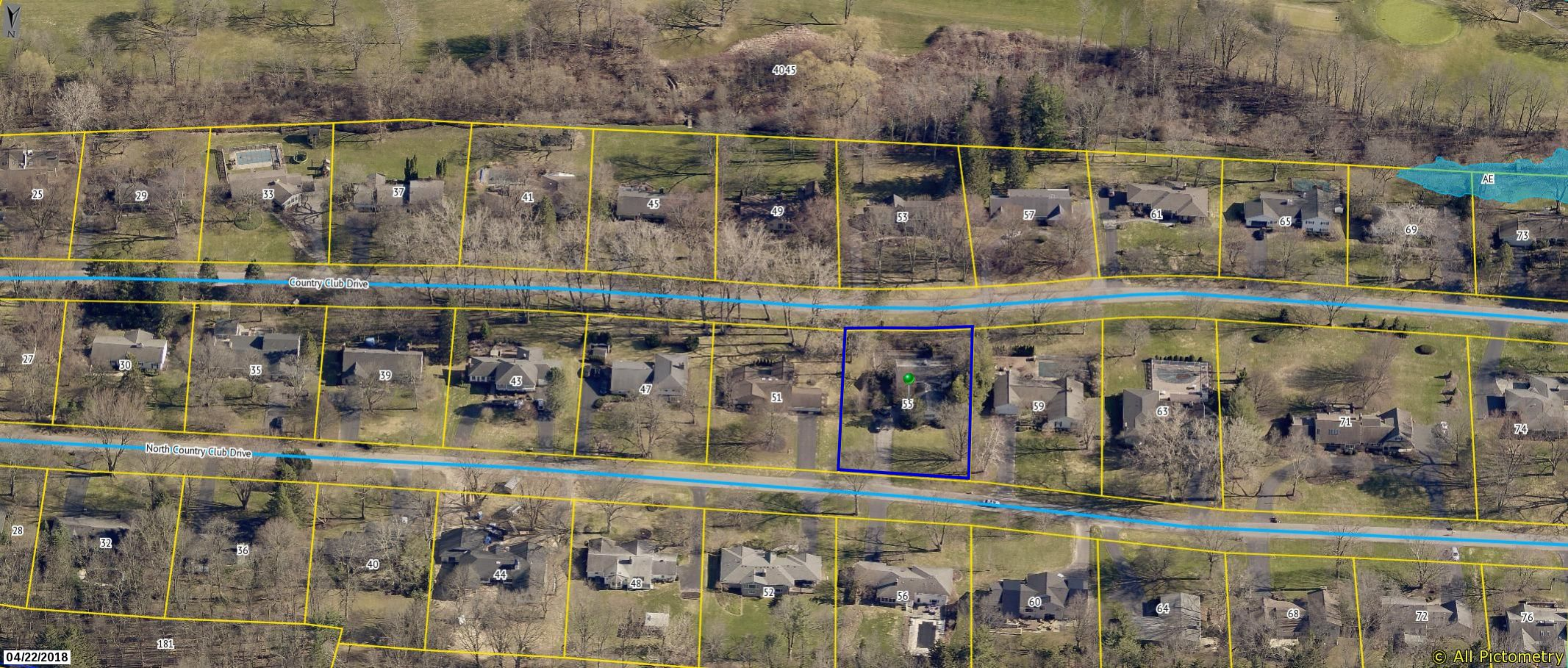
Printed August 7, 2020



Town of Pittsford GIS

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4045

25

29

33

37

41

45

49

53

57

61

65

69

73

AE

Country Club Drive

27

30

35

39

43

47

51

55

59

63

71

74

North Country Club Drive

28

32

36

40

44

48

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181

04/22/2018

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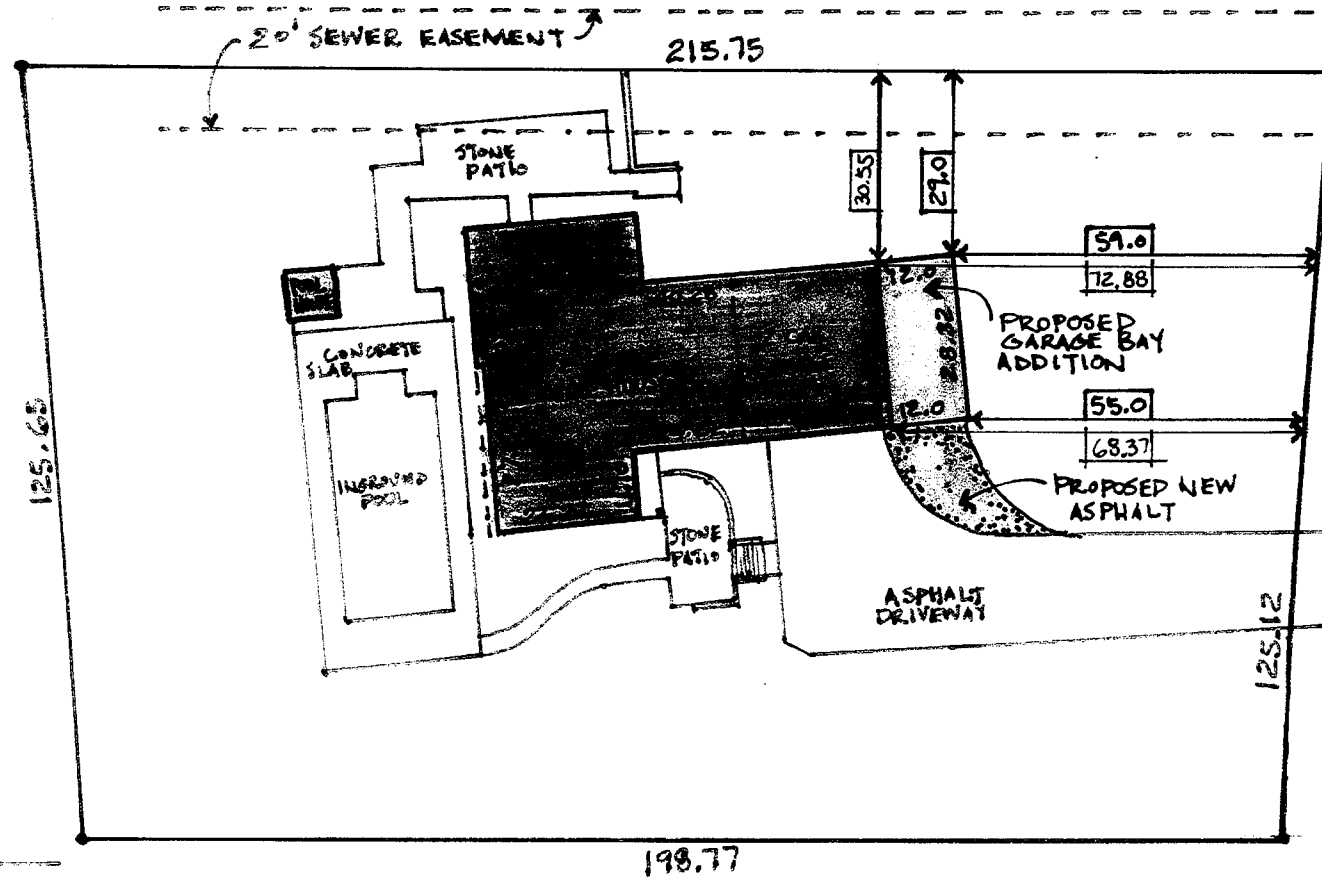






# SITE PLAN

1" = 20.0'



## PROPOSED ADDITION

55 COUNTRY CLUB DR.  
ROCHESTER, N.Y.  
14618

NORTH COUNTRY CLUB DRIVE  
60.0 R.O.W.

5-24-2020



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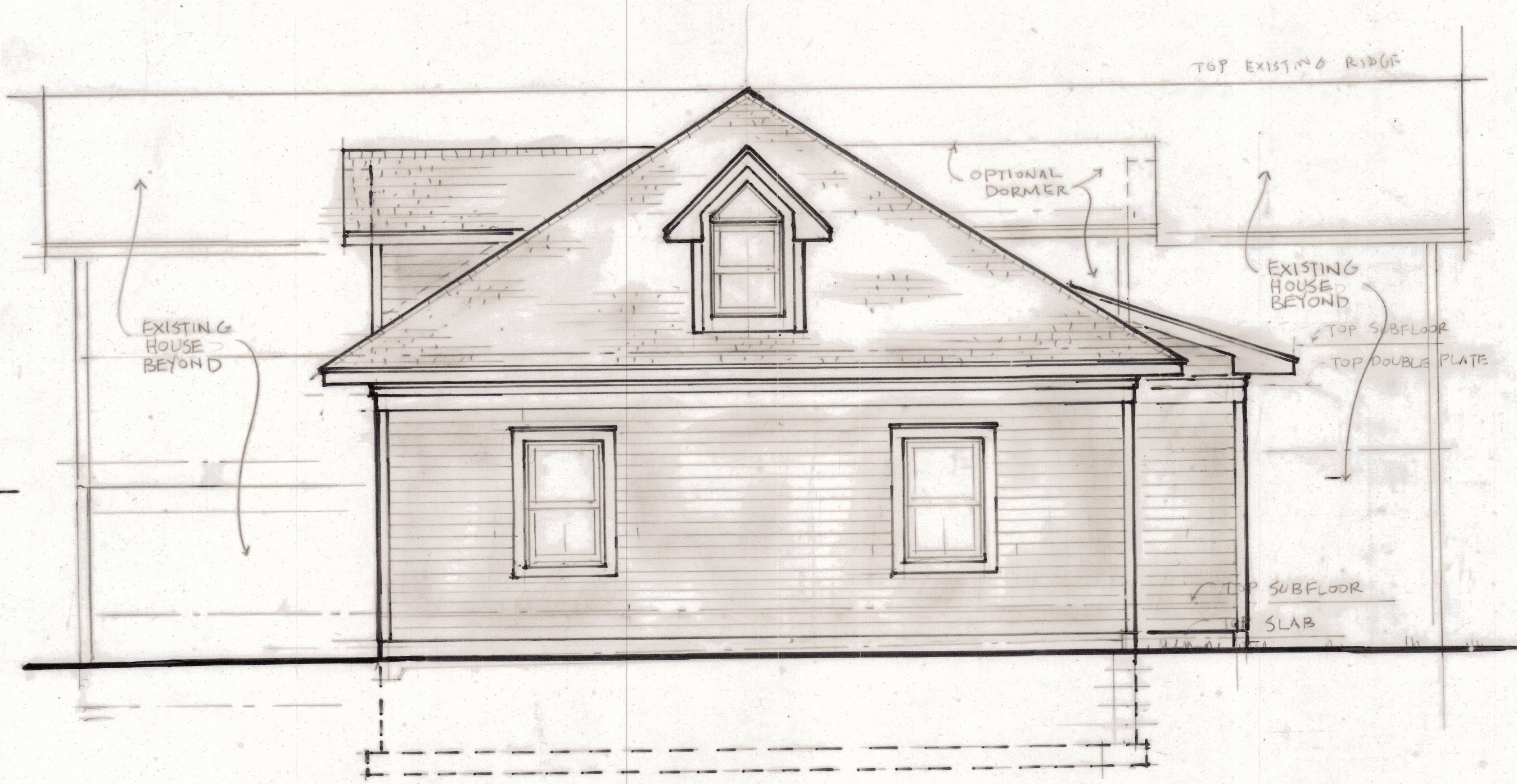


PROPOSED ADDITION

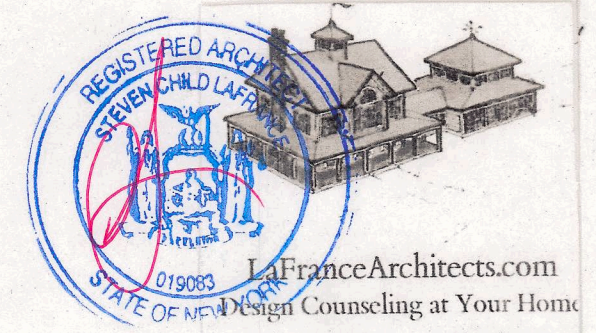
55 COUNTRY CLUB DR.  
ROCHESTER, N.Y.  
14618

GL 5-26-2020





NORTH ELEVATION  
 1/4" = 1'-0"

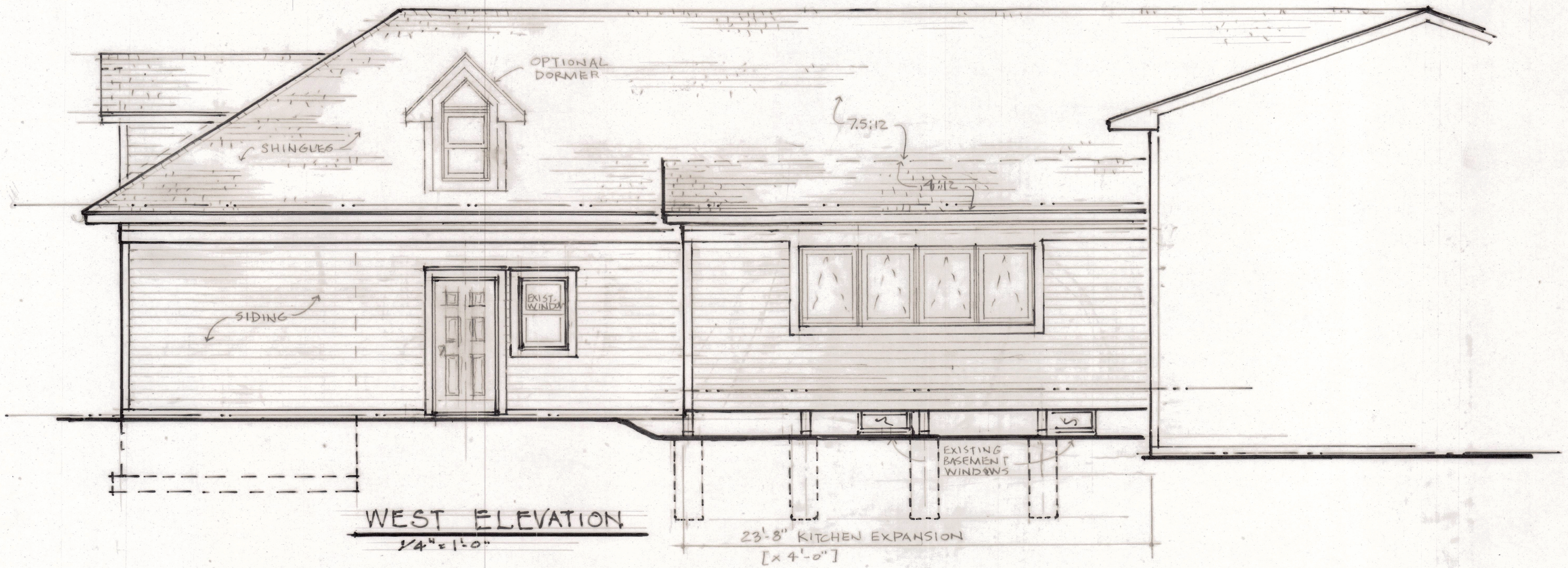


9-31-2020

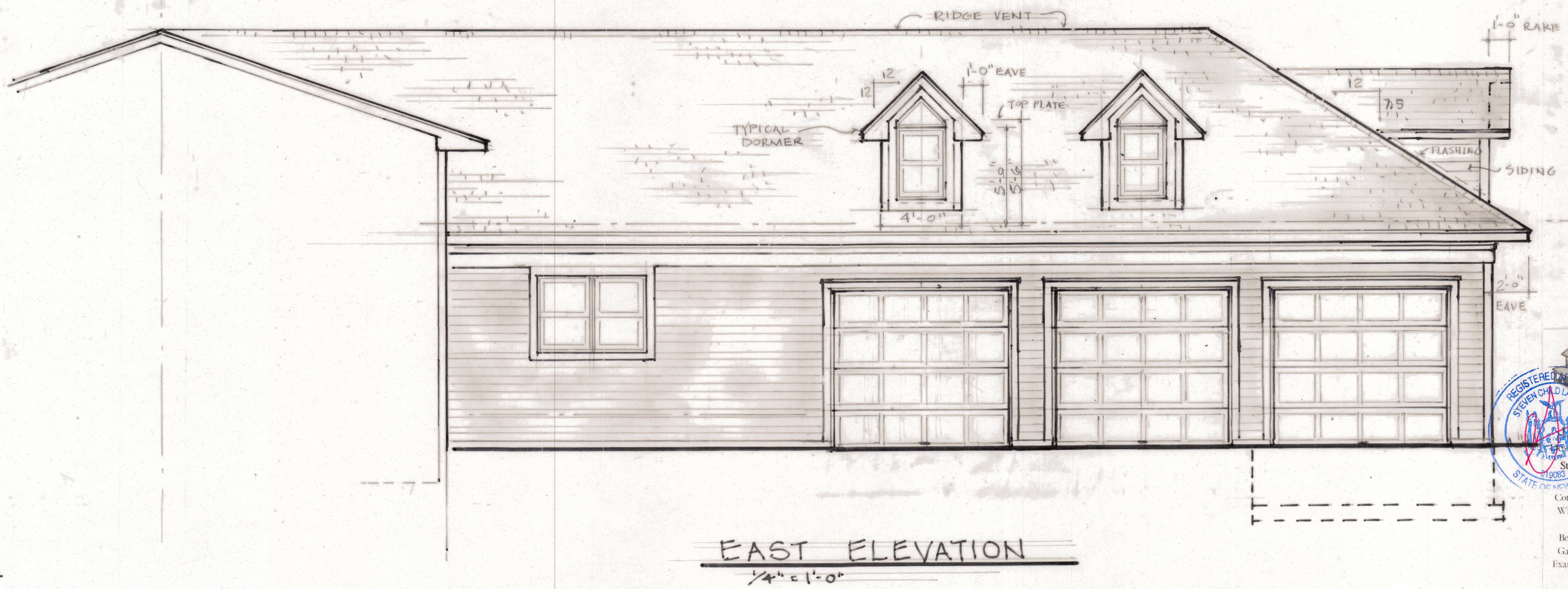
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 Garages - Workshops - Poolhouses  
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55 N Central Club





**WEST ELEVATION**  
 1/4" = 1'-0"

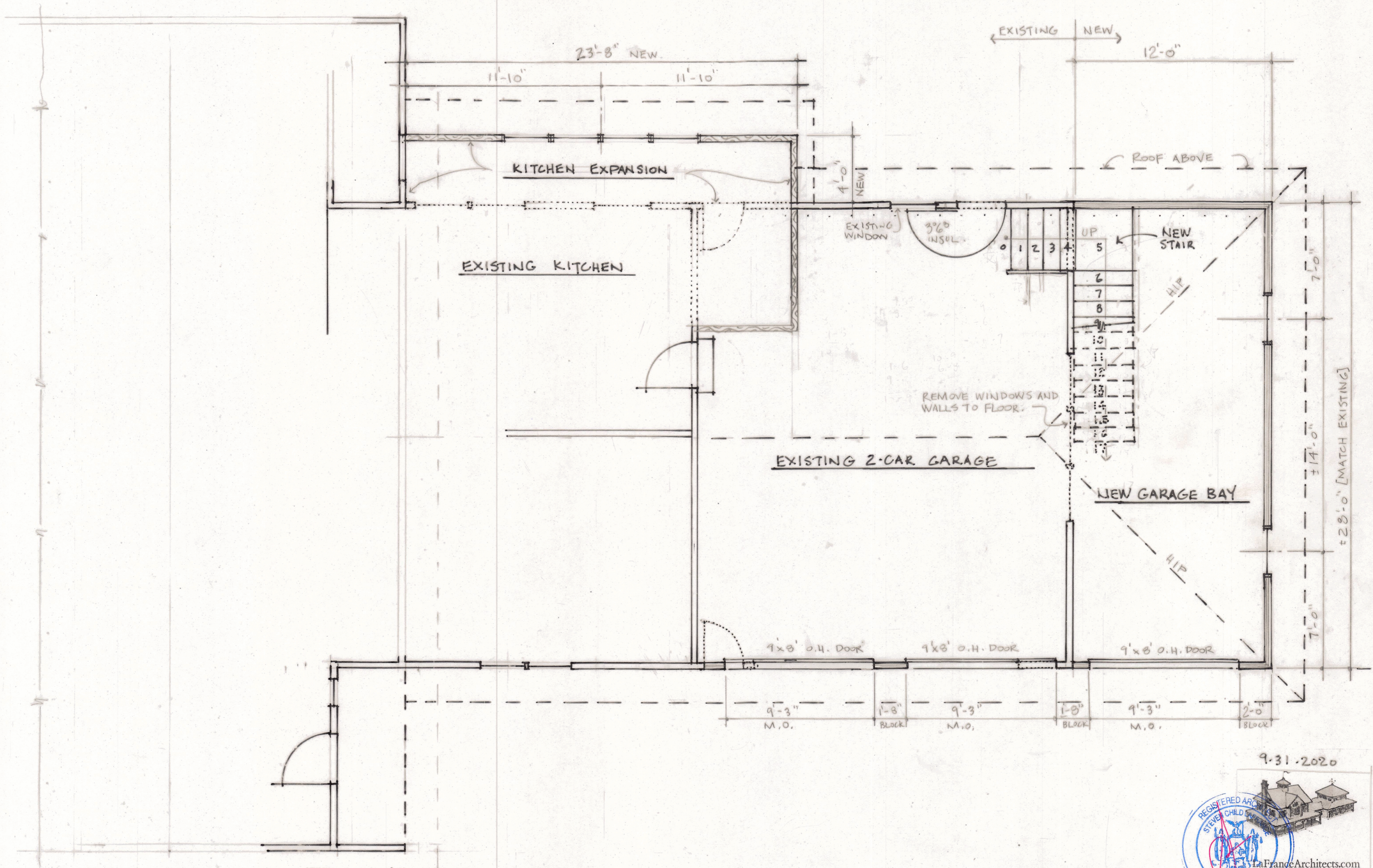


**EAST ELEVATION**  
 1/4" = 1'-0"

9-31-2020

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 Whole House Remodels - Facelifts  
 Family Rooms - Sunrooms  
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 Garages - Workshops - Poolhouses  
 Examples at LaFranceArchitects.com  
 585 - 739 - 5039





**FLOOR PLAN**  
1/4" = 1'-0"

9.31.2020

LaFranceArchitects.com  
Design Counseling at Your Home  
019083  
STEVEN LaFrance - Architect

We design and build:  
Cottages - Camps - Studios - Homes  
Whole House Remodels - Facelifts  
Family Rooms - Sunrooms  
Bedroom Suites - Kitchens - Baths  
Garages - Workshops - Poolhouses  
Examples at LaFranceArchitects.com  
585 - 739 - 5039

55 N Country Club



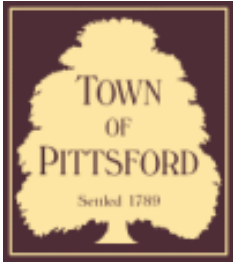












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000130**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 66 Ellingwood Drive ROCHESTER, NY 14618

**Tax ID Number:** 138.18-1-83

**Zoning District:** RN Residential Neighborhood

**Owner:** Salafia, Nunzio

**Applicant:** Salafia, Nunzio

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

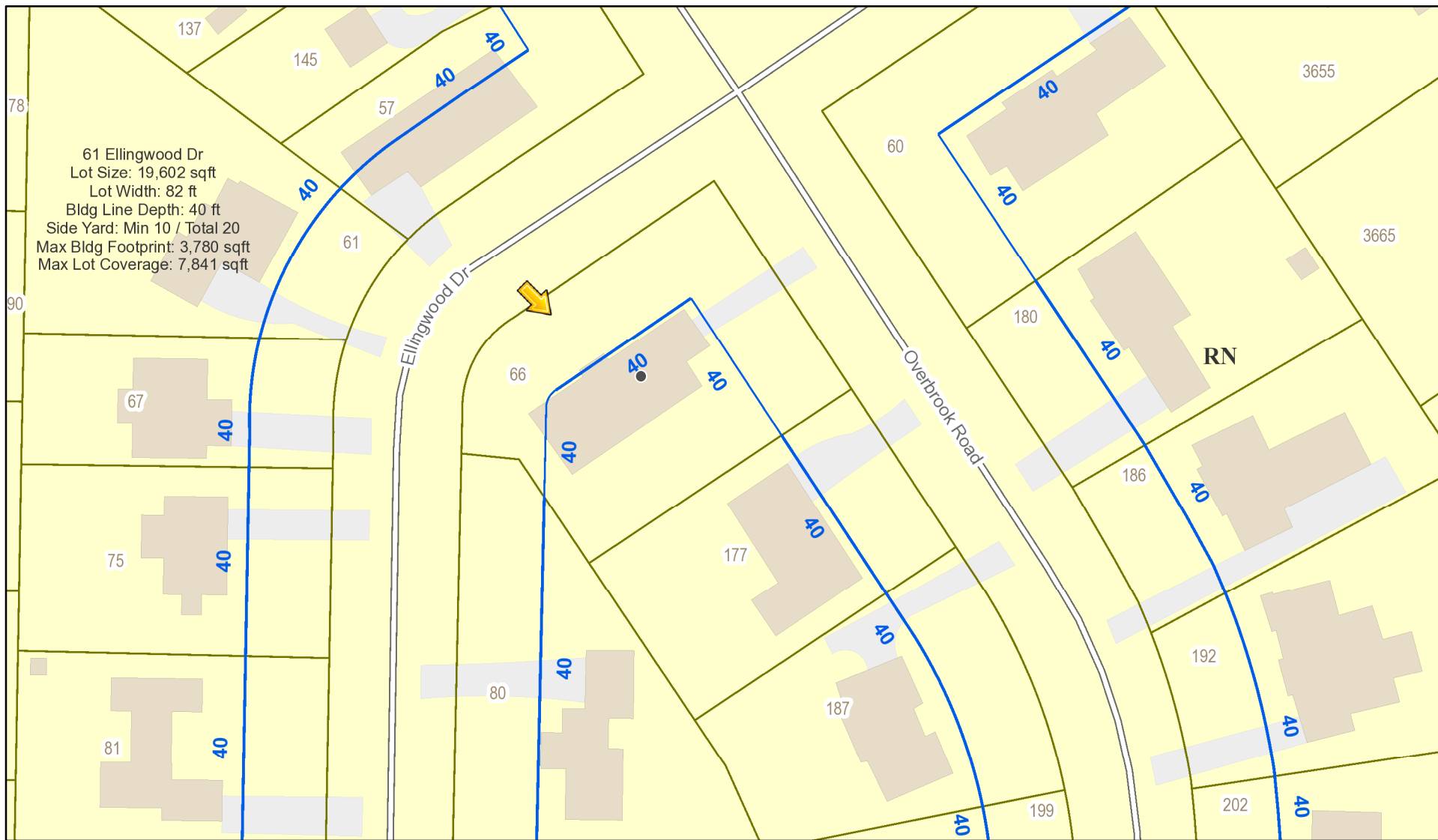
**Meeting Date:** September 10, 2020



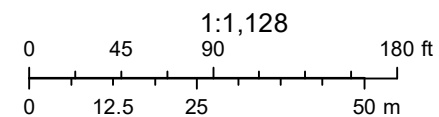


66

# RN Residential Neighborhood Zoning



Printed September 3, 2020

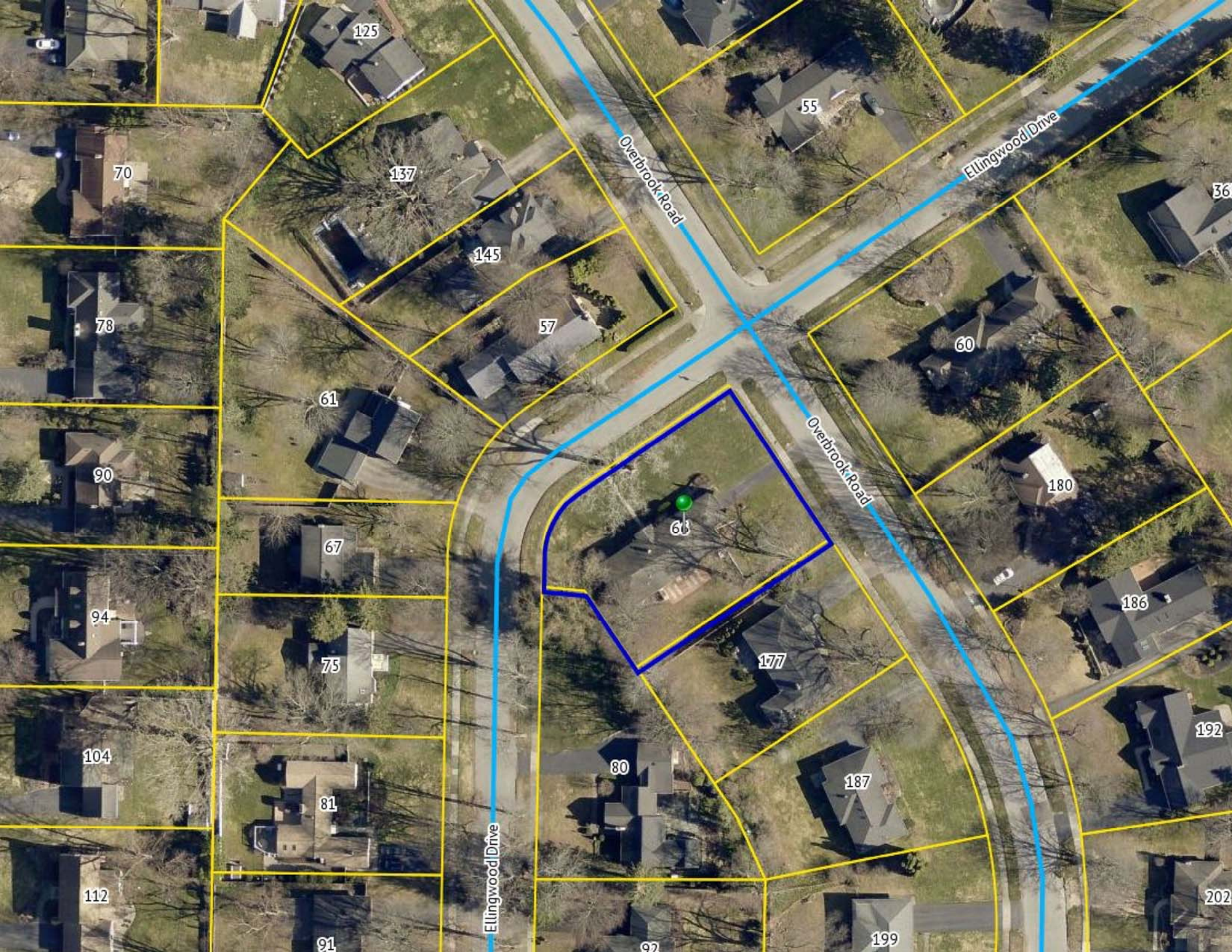


1:1,128

Town of Pittsford GIS

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125

55

70

137

Ellingwood Drive

36

78

145

57

60

61

Overbrook Road

90

180

67

66

186

94

75

177

192

104

81

80

187

112

Ellingwood Drive

91

97

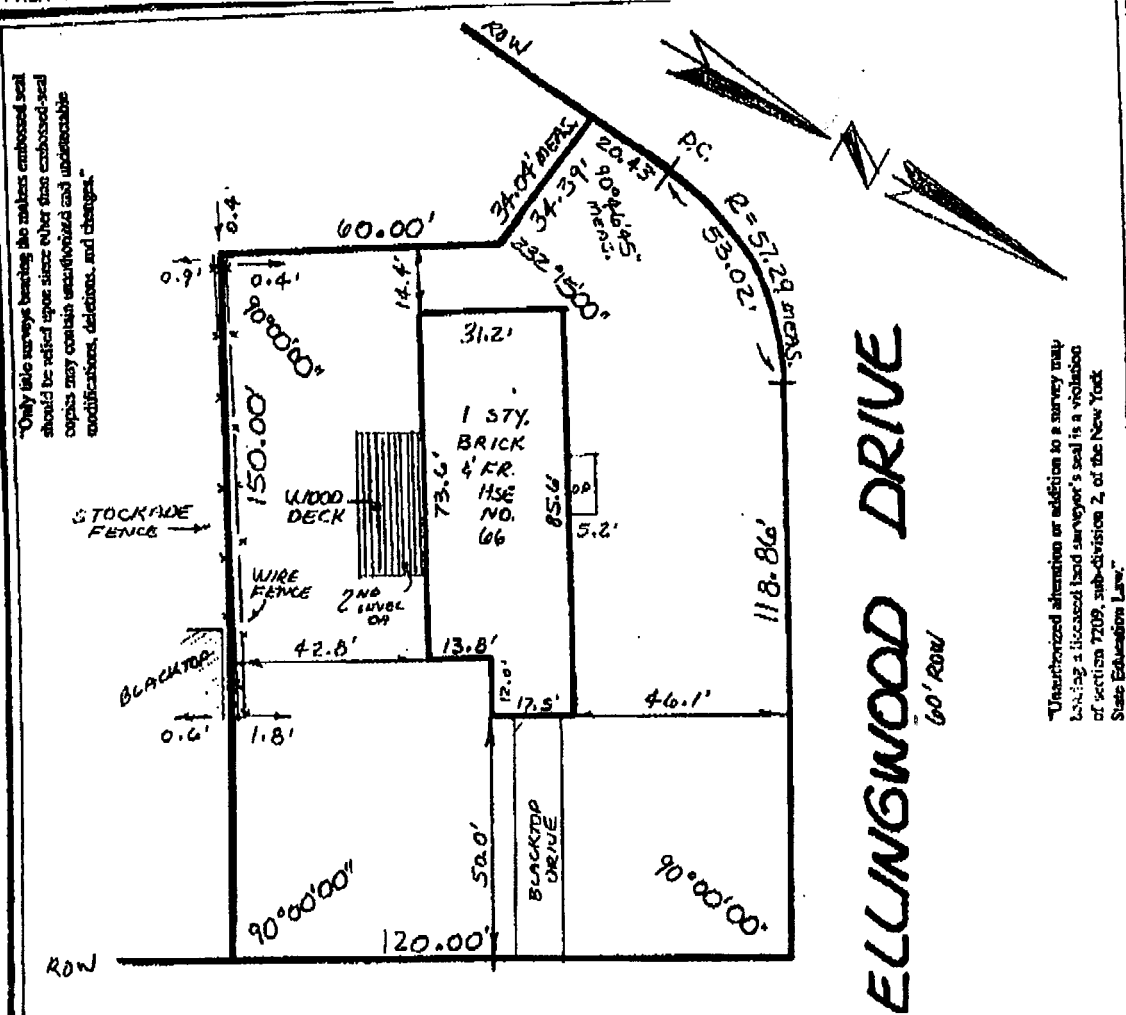
199

202



"Only this survey bearing the embossed seal should be relied upon since other than embossed seal copies may contain unauthorized and undetectable modifications, deletions, and changes."

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."



# OVERBROOK ROAD

60' ROW

### REFERENCES

- 1. L. 109 MAPS P. 15
- 2. L. 2652 DEEDS, P. 83

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS MADE ON OCT. 23, 2003 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON OCT. 24, 2003,

*James M. Leoni*  
**JAMES M. LEONI NYS.R.L.S. 49225**  
 SUITE 390 A-1 COUNTRY CLUB ROAD  
 EAST ROCHESTER, N.Y. 14445

- CERTIFIED TO:
1. PORTFOLIO ENTERPRISES, J.N.C.
  2. ....
  3. ....
  4. ....
  5. ....

## INSTRUMENT SURVEY

### 66 ELLINGWOOD DRIVE

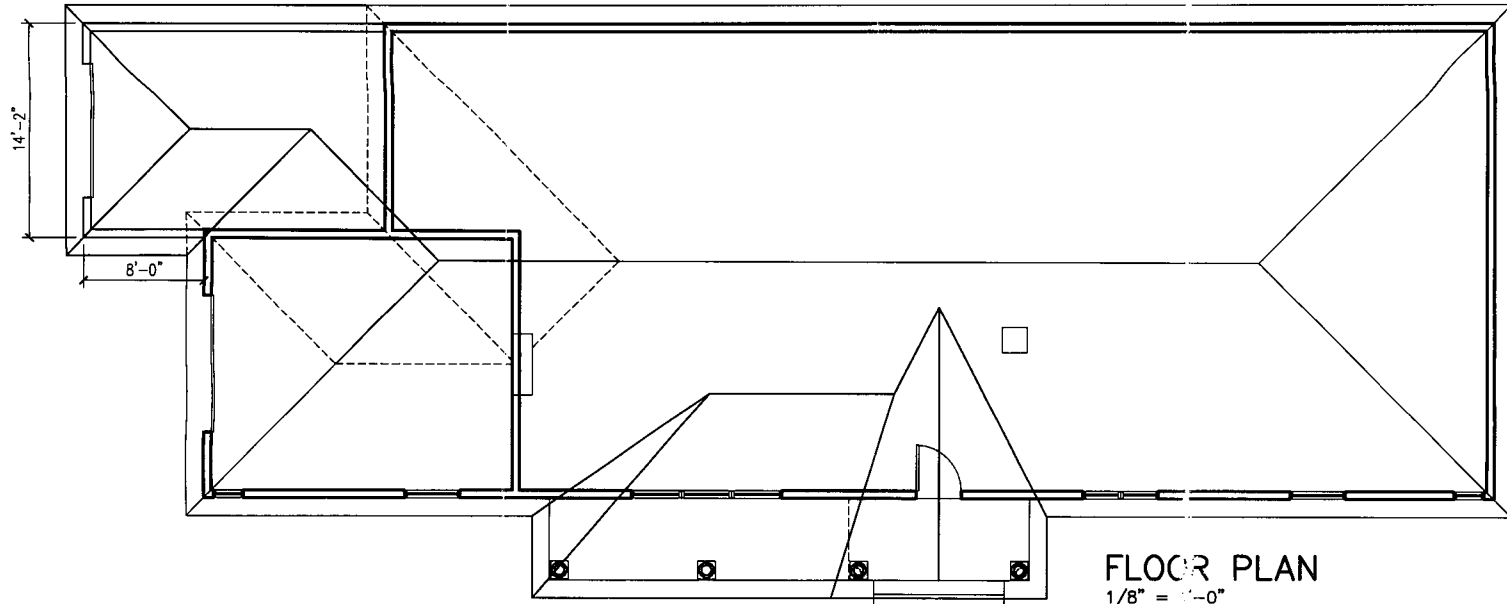
### LOT R-137 EAST AVE. ESTATES RESUB.

SITUATE IN  
**TOWN OF PITTSFORD**  
**MONROE CO.**  
**NEW YORK**

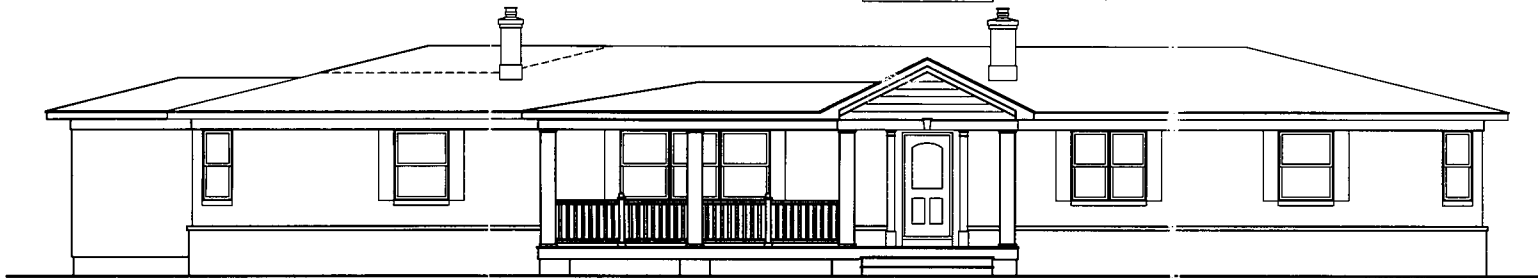
SCALE: 1" = 30'

OCT 23 2003





FLOOR PLAN  
1/8" = 1'-0"



WEST ELEVATION  
1/8" = 1'-0"

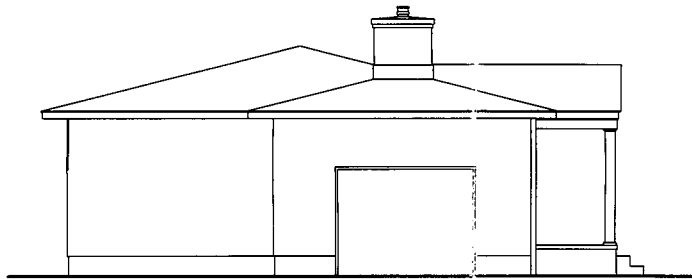


HOUSE PLANS  
FOR  
66 ELLINGWOOD DRIVE  
PITTSFORD, NEW YORK

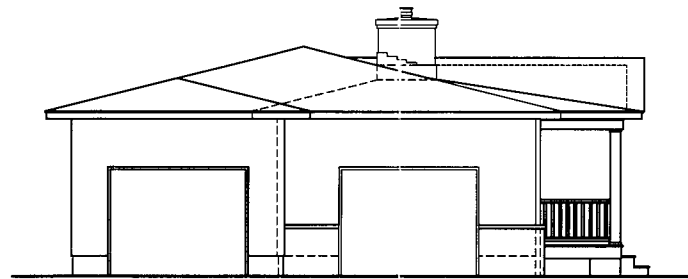
LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

DATE	DW'G NO.
10/21/16	A-1

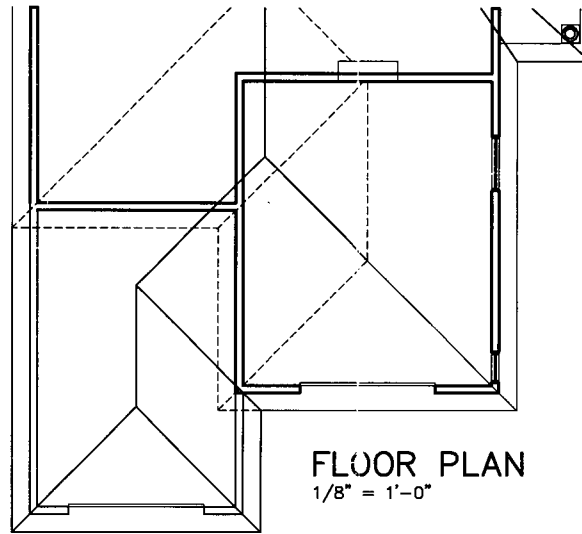




EXISTING ELEVATION  
1/8" = 1'-0"



NORTH ELEVATION  
1/8" = 1'-0"



FLOOR PLAN  
1/8" = 1'-0"

HOUSE PLANS  
FOR  
66 ELLINGWOOD DRIVE  
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

DATE  
10/21/16

DW'G NO.  
A-2

















# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B20-000143**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 25 Hawkstone Way PITTSFORD, NY 14534

**Tax ID Number:** 178.03-4-17

**Zoning District:** RN Residential Neighborhood

**Owner:** Anderson, Glenn

**Applicant:** Josh Lawn Care & Landscaping Co.

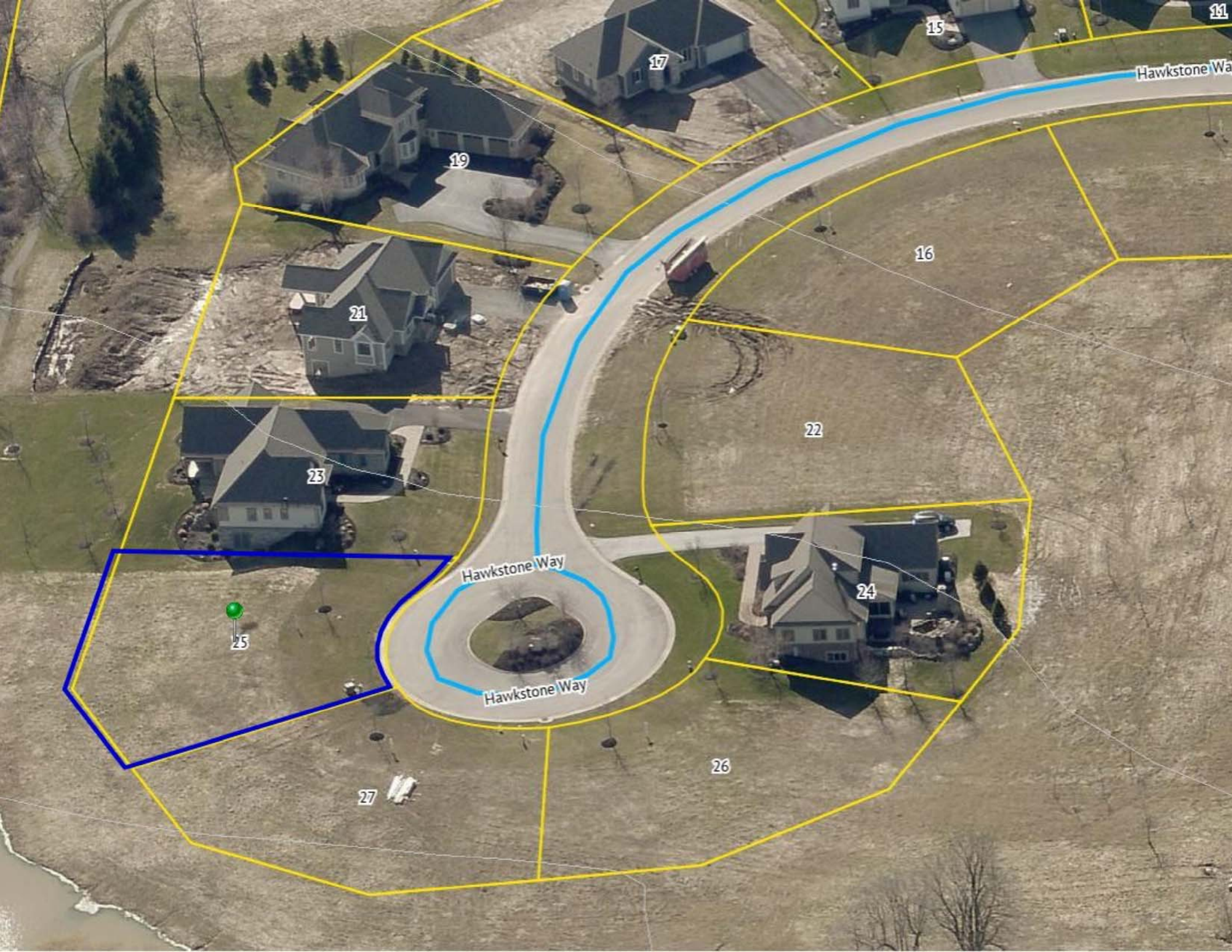
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of a covered porch. The porch will be approximately 210 square feet and will be located to the rear of the home.

**Meeting Date:** September 10, 2020





Hawkstone Way

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Hawkstone Way

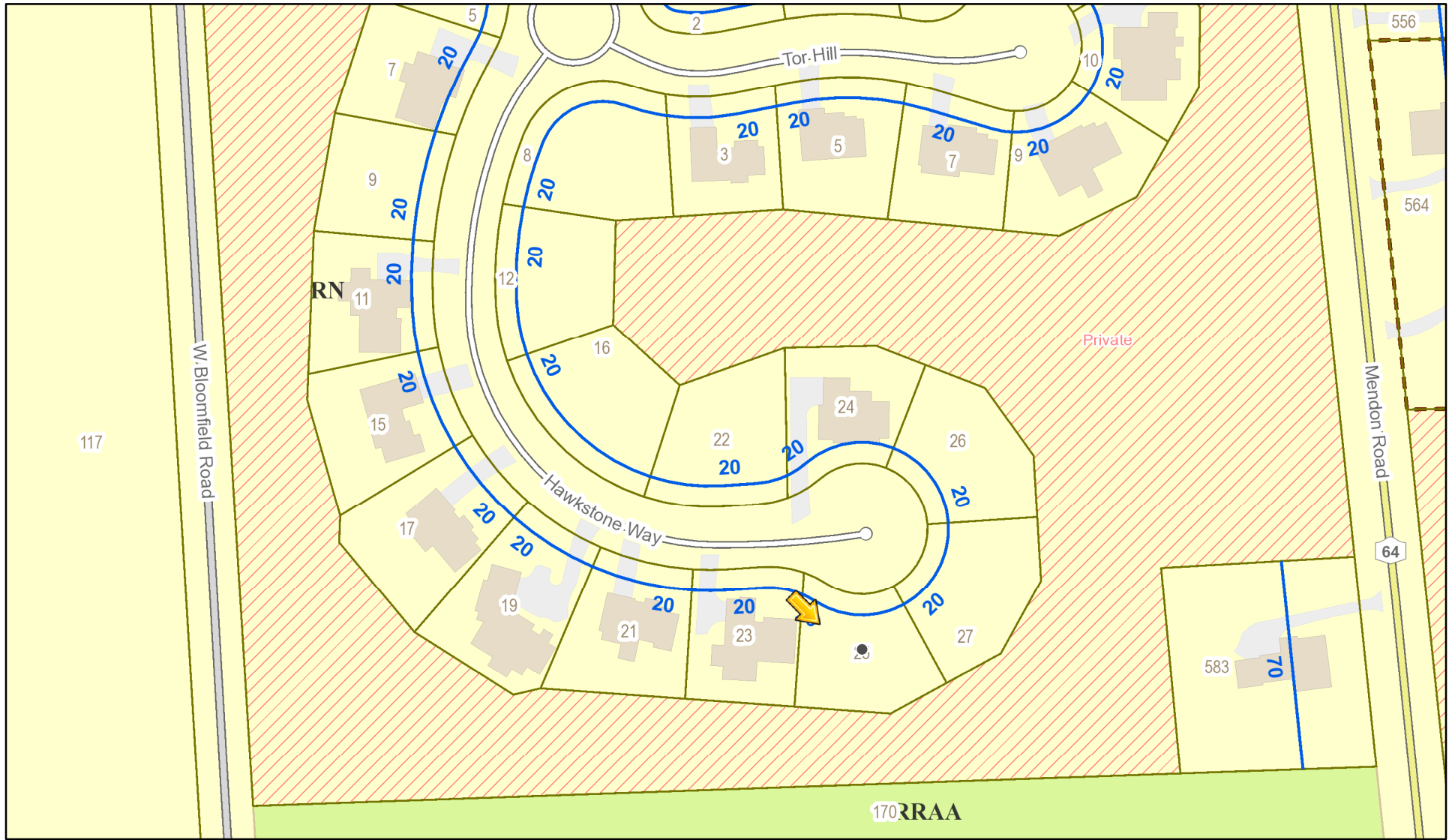
Hawkstone Way

26

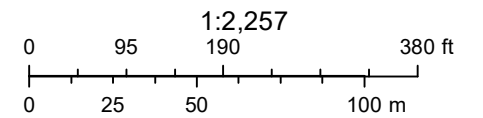
27



# RN Residential Neighborhood Zoning



Printed September 3, 2020



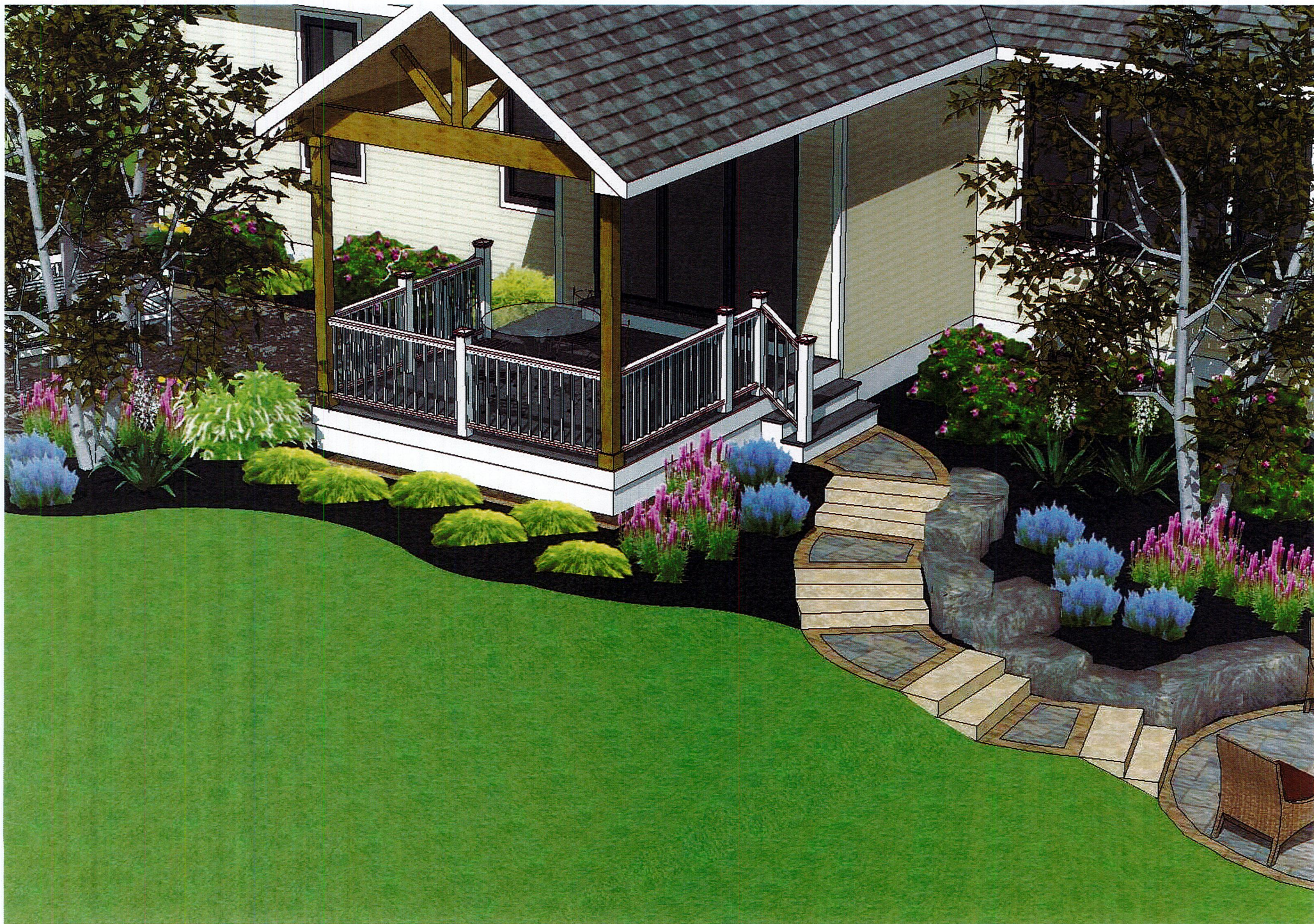
Town of Pittsford GIS

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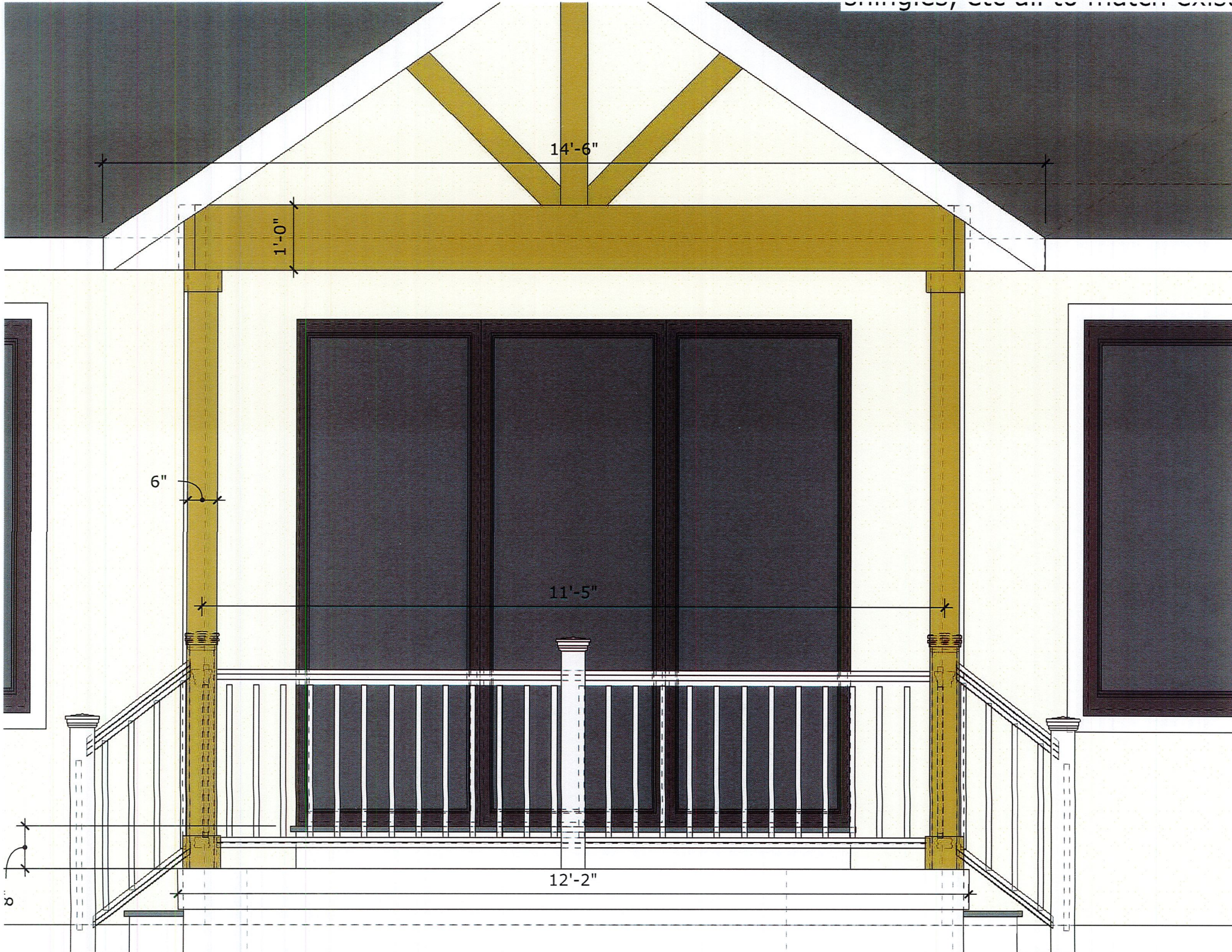




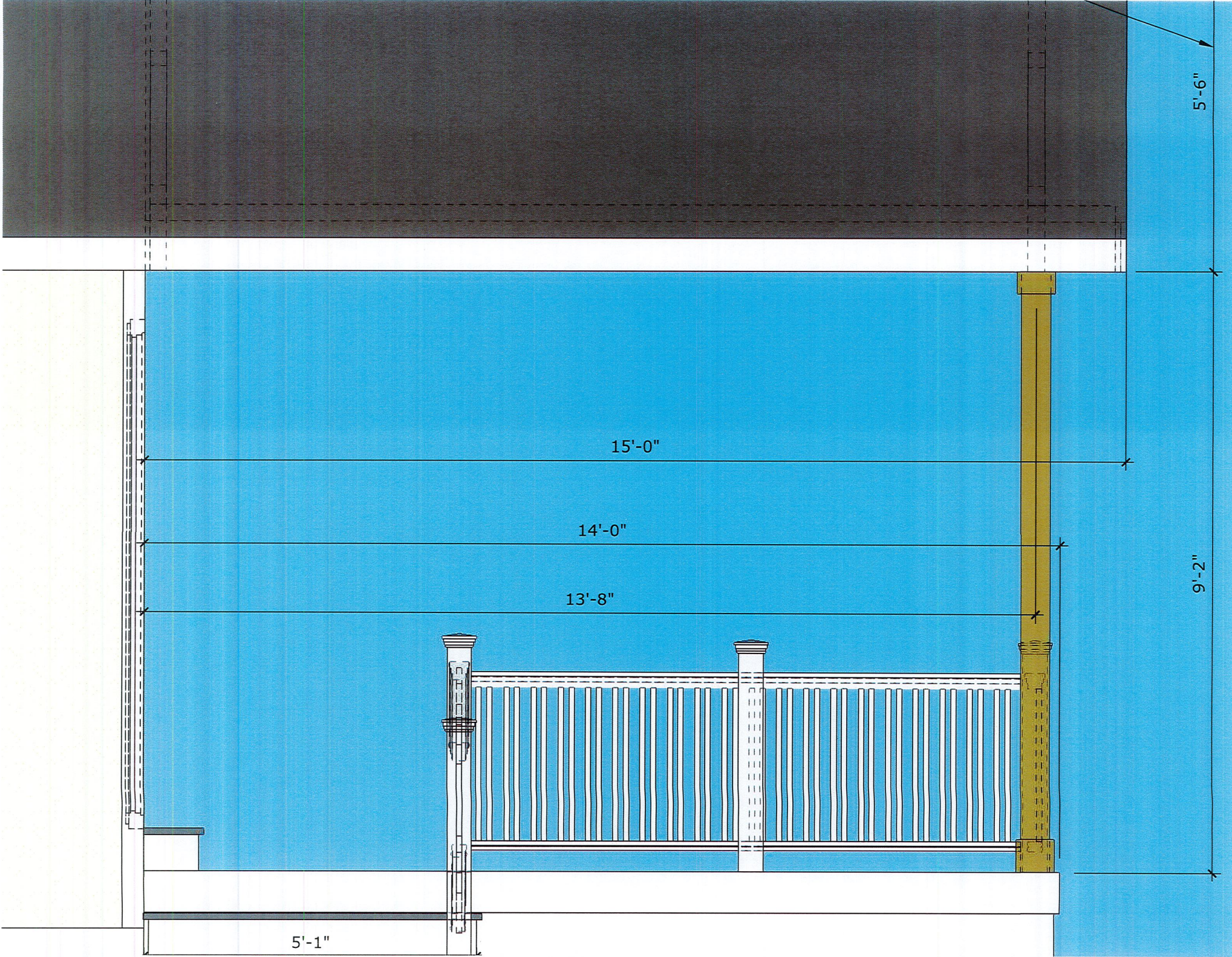




Dimensions, see all to match exist



















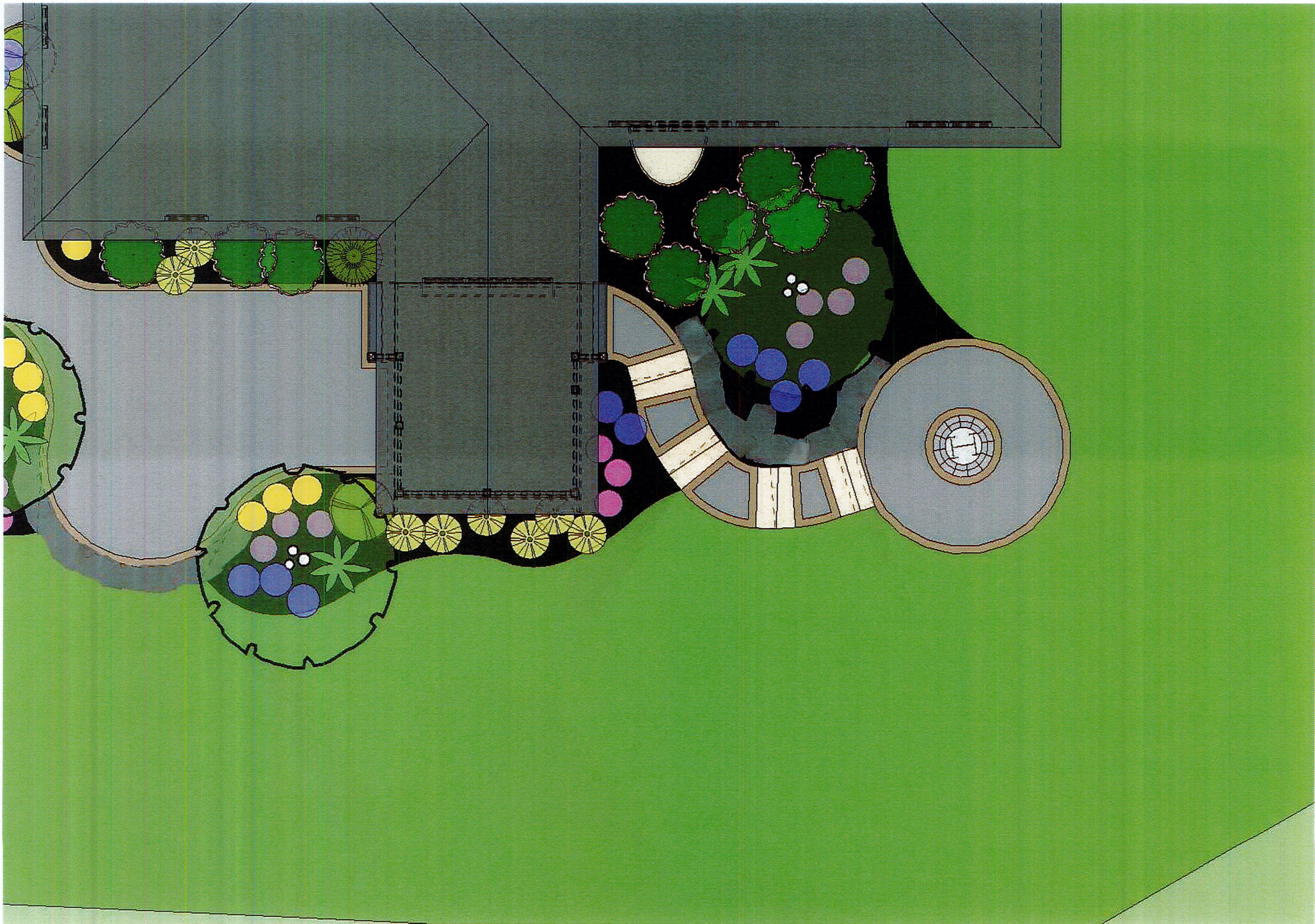




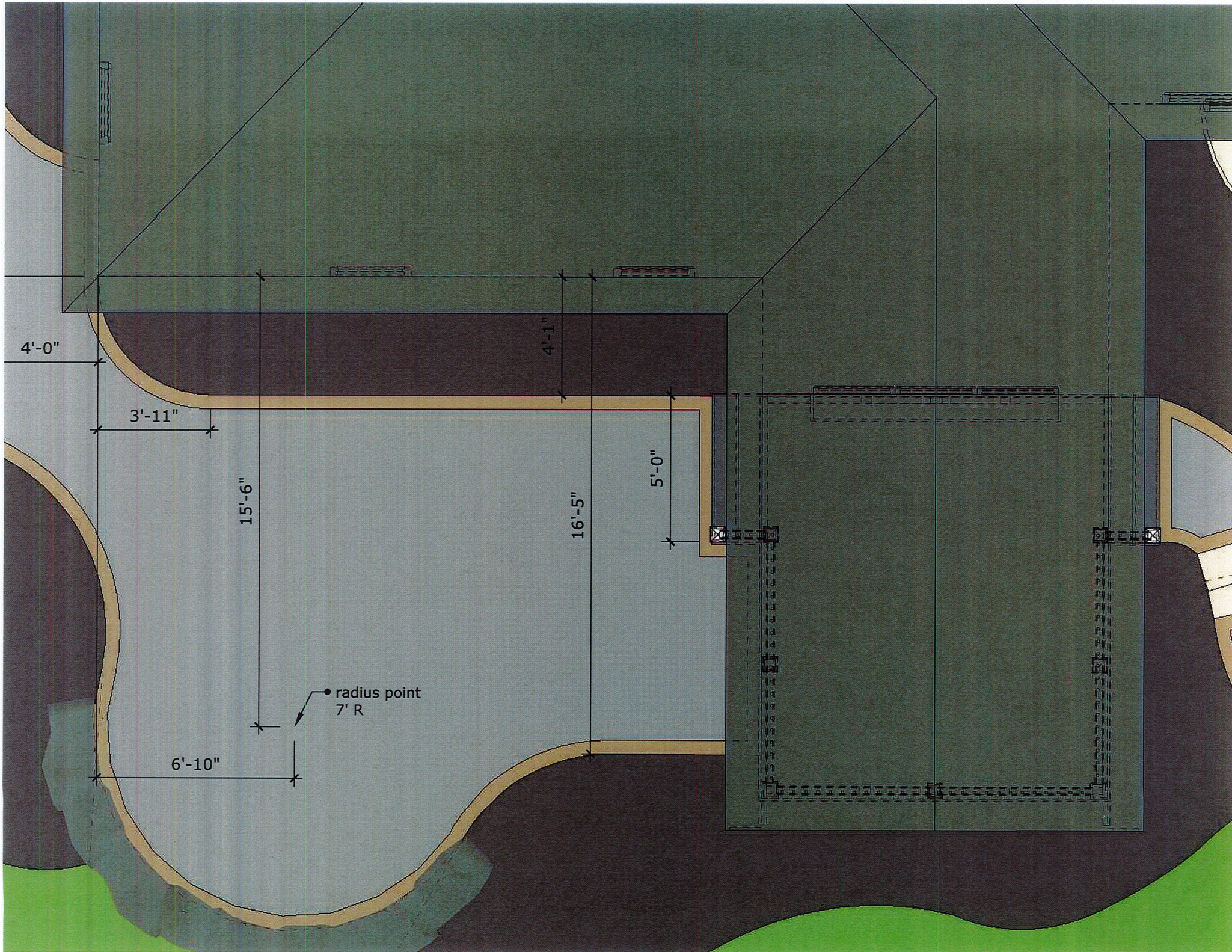




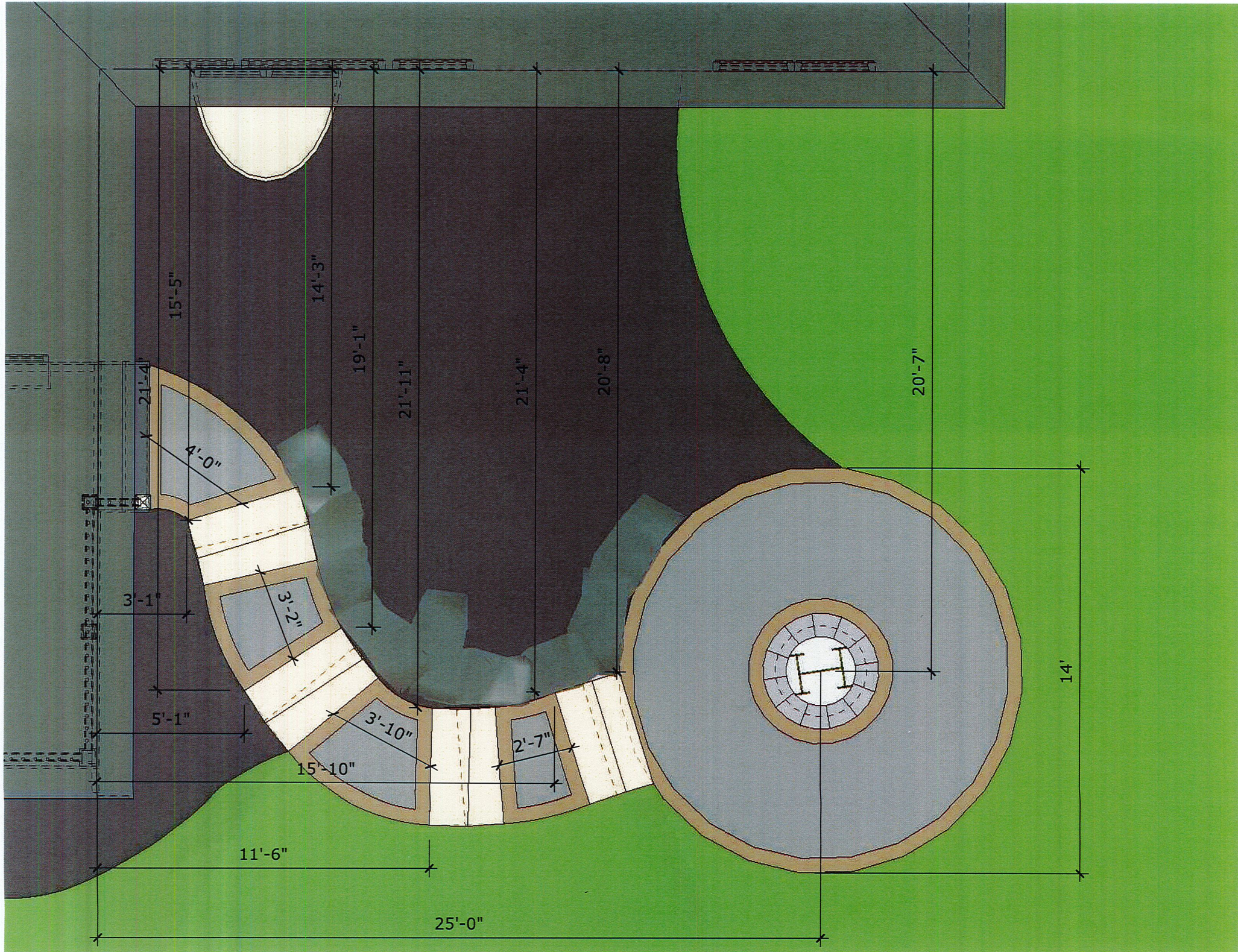














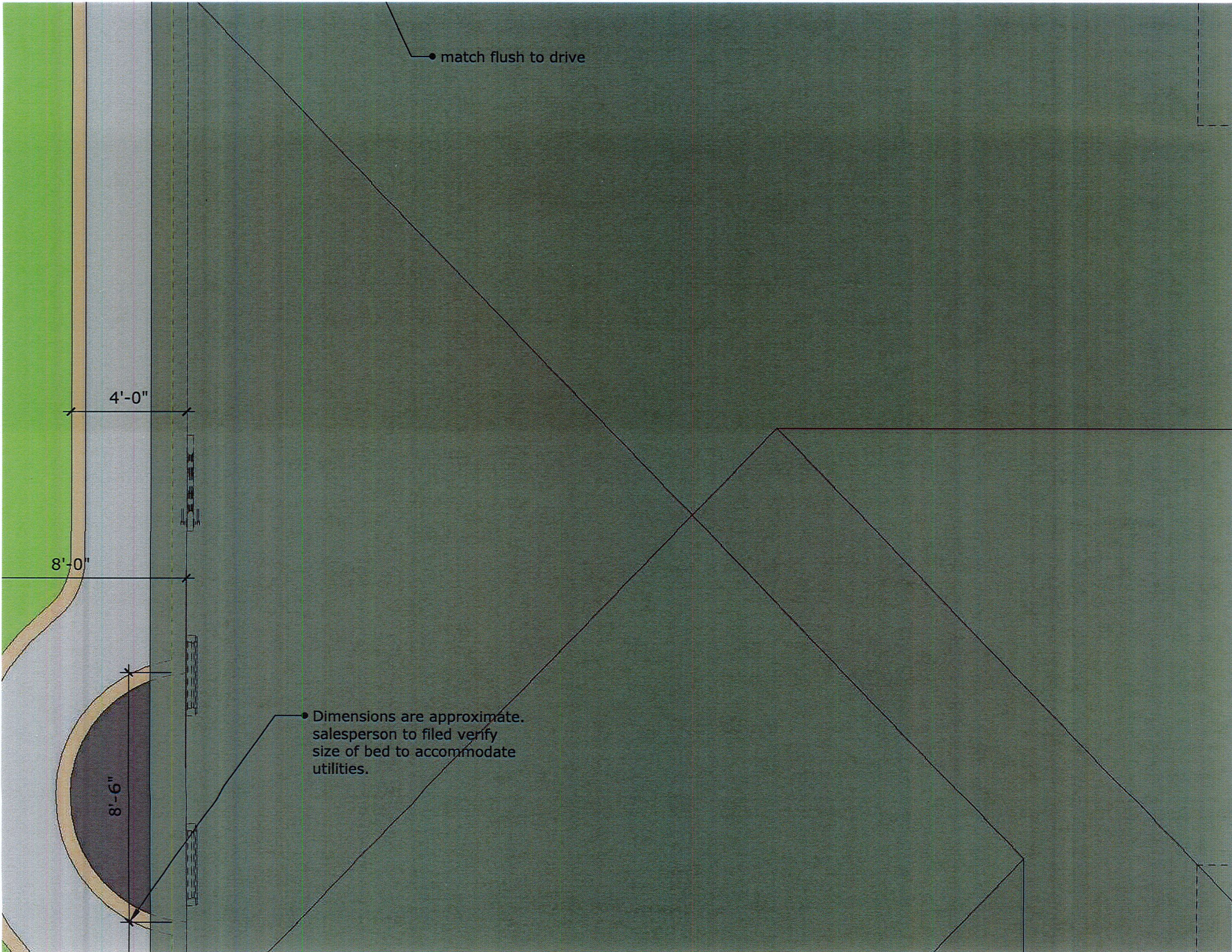
● match flush to drive

4'-0"

8'-0"

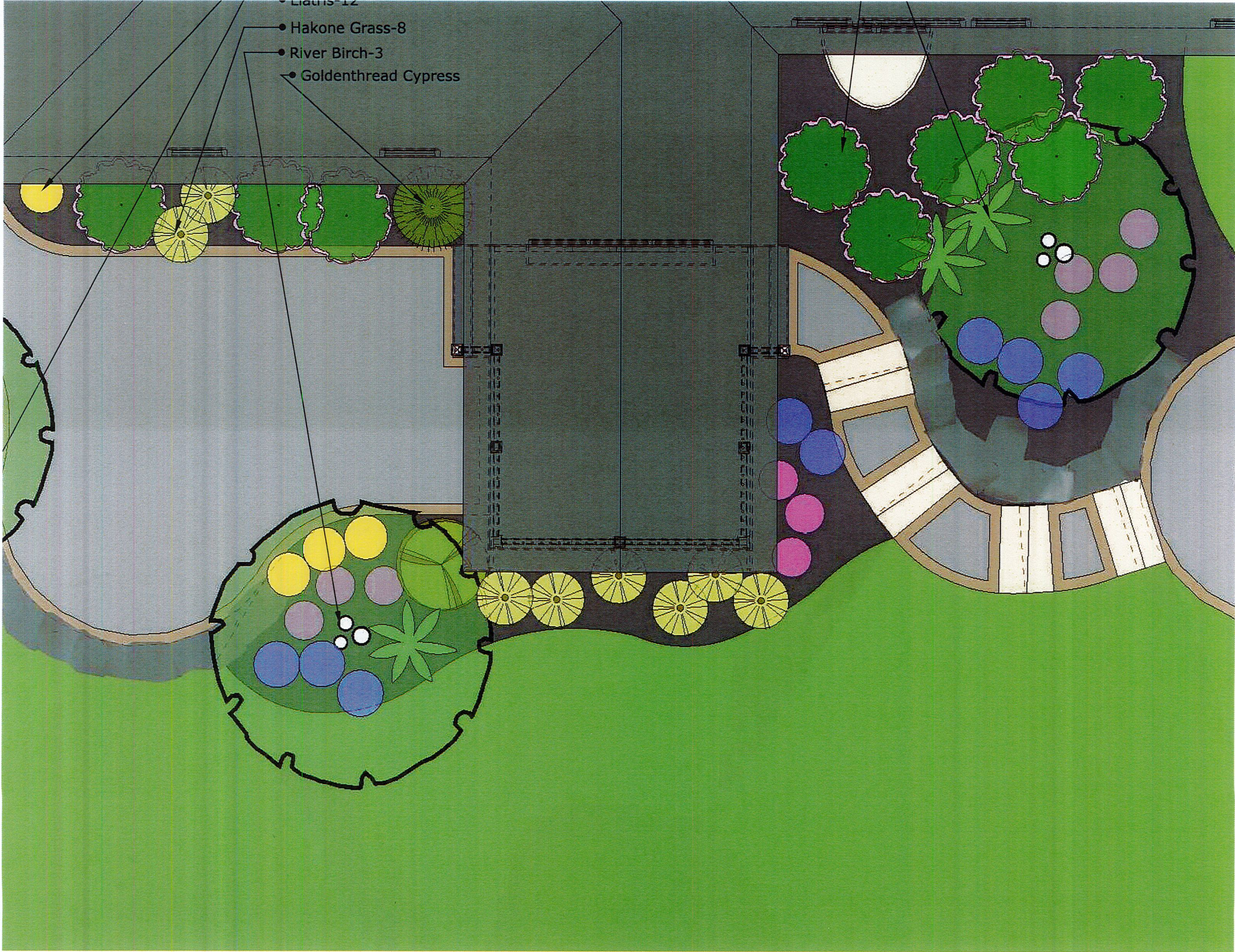
8'-6"

● Dimensions are approximate.  
salesperson to filed verify  
size of bed to accommodate  
utilities.





- Liatris-12
- Hakone Grass-8
- River Birch-3
- Goldenthread Cypress







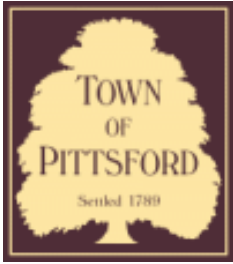












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000139**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 42 Coventry Ridge PITTSFORD, NY 14534

**Tax ID Number:** 177.03-5-32

**Zoning District:** IZ Incentive Zoning

**Owner:** Clover Street Development

**Applicant:** Clover Street Development

#### Application Type:

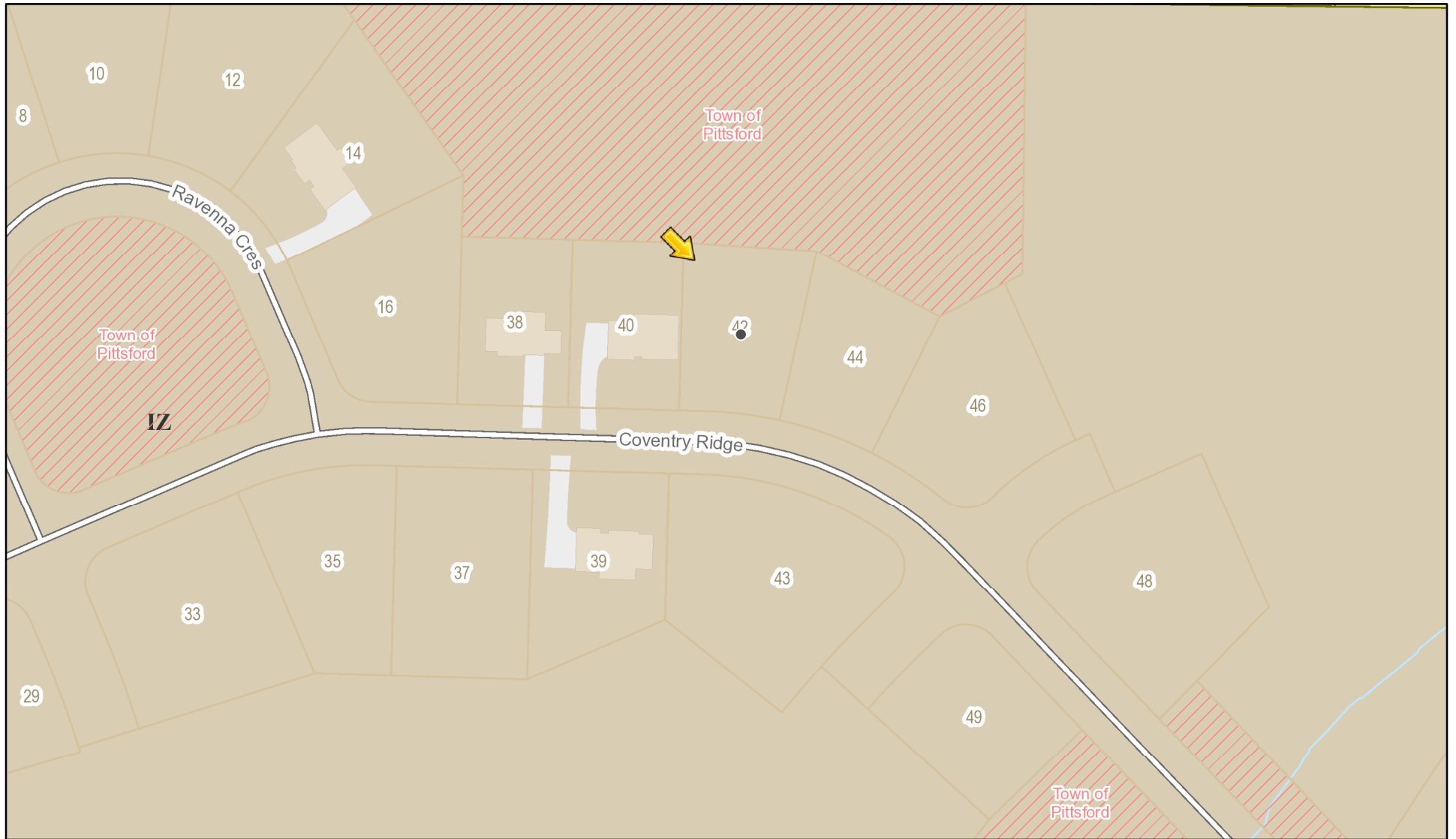
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have 1581 square feet on the first floor and 1589 square feet on the second floor. The home will be located in the Coventry Ridge Subdivision.

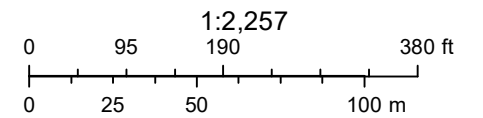
**Meeting Date:** September 10, 2020



# RN Residential Neighborhood Zoning



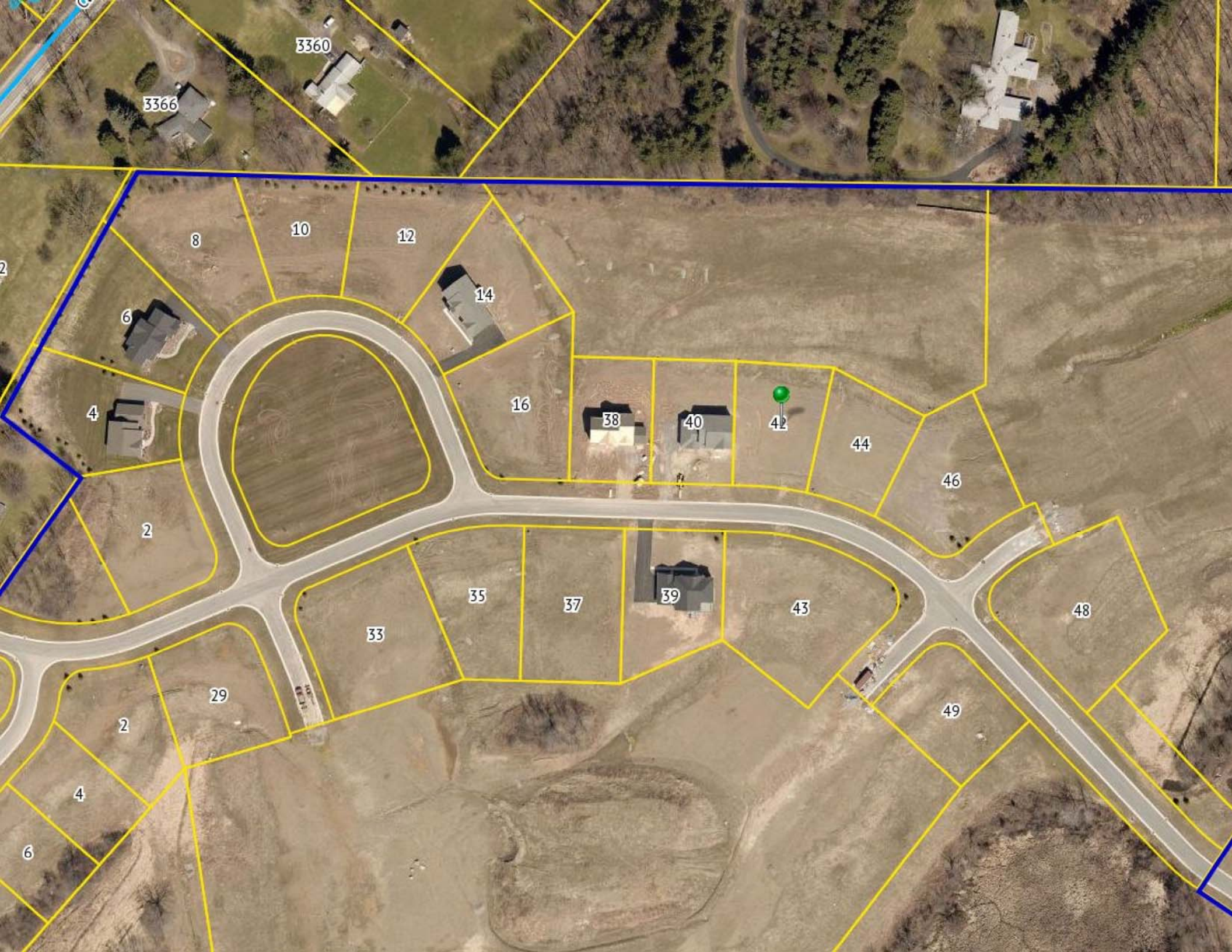
Printed September 3, 2020



Town of Pittsford GIS

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3366

3360

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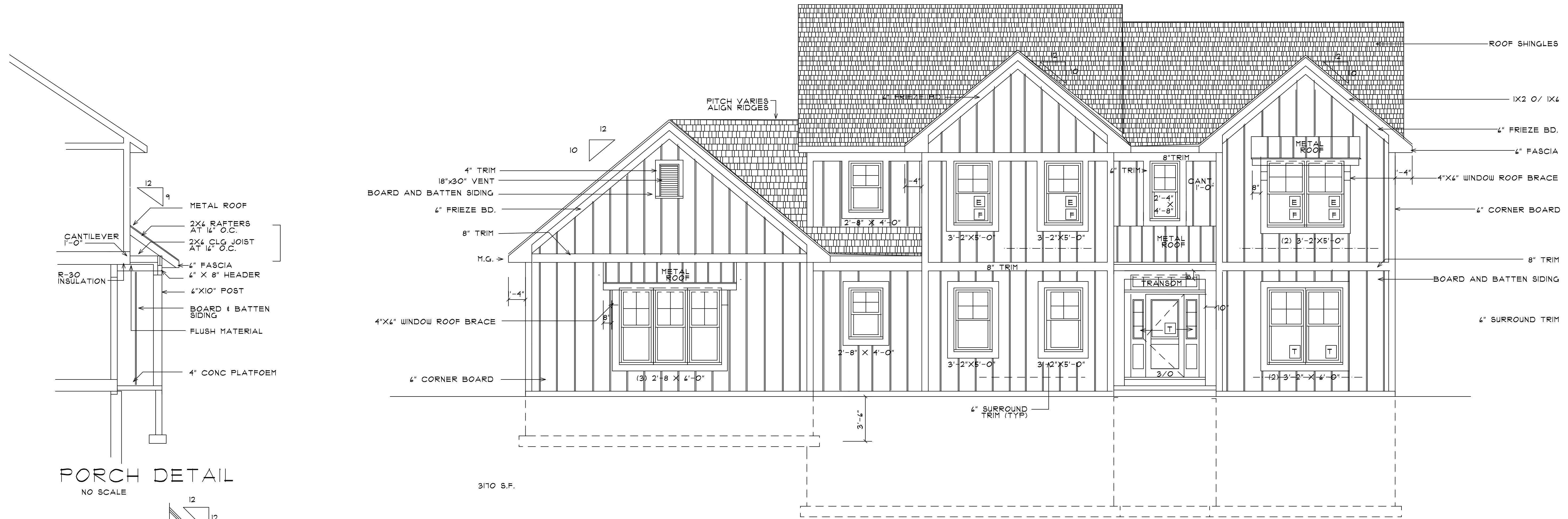
49

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GENERAL NOTES

SCALE : 1/4" = 1'-0" WINDOWS TO BE "VWD" VINYL SERIES 210

1. ALL SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO R314.3 OF THE N.Y.S. CODE
2. ALL CARBON MONOXIDE ALARMS SHALL BE PROVIDED ON EACH FLOOR ACCORDING TO FRIE.3.11 OF THE N.Y.S. CODE
3. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R-314 OF THE N.Y.S. CODE
4. THE LENGTH OF EXHAUST AND SUPPLY DUCTS SHALL COMPLY WITH M504.2 AND TABLE M504.2 OF THE N.Y.S. CODE
5. FOUNDATION DESIGN SHALL COMPLY WITH R-403.1.5
6. ROOF VENTILATION SHALL COMPLY WITH R804. THE VENTILATION SYSTEM SHALL HAVE CONTINUOUS SOFFIT AND RIDGE VENTS
7. ALL DUCTS SHALL BE IN INSIDE WALLS
8. THESE PLANS COMPLY TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT WITH THE ENERGY CODE
9. NOT LESS THAN 15% OF THE LAMPS IN PRESENTLY INSTALLED LIGHTING SHALL BE HIGH EFFICACY LAMPS
10. ACCESS HATCHES AND DOORS SHALL BE INSTALLED ACCORDING TO COMPLY WITH N.Y.S. CODE NR 404.3.1
11. PROGRAMMABLE THERMOSTATS SHALL BE INSTALLED ACCORDING TO N.Y.S. CODE NR 403.1.1
12. ALL DUCTS AIR HANDLER AND FILTER BOXES SHALL BE SEALED
13. ALL HEAVY WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS SHALL COMPLY WITH NR403.5.1 OF THE N.Y.S. CODE
14. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTION N102.4.1 OF THE N.Y.S. CODE.

THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT BE LOANED, REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION. IF THESE PLANS ARE USED FOR ANY OTHER PROJECT, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND PROGRAMS AND SPECIFICATIONS SET FORTH IN THESE PLANS.

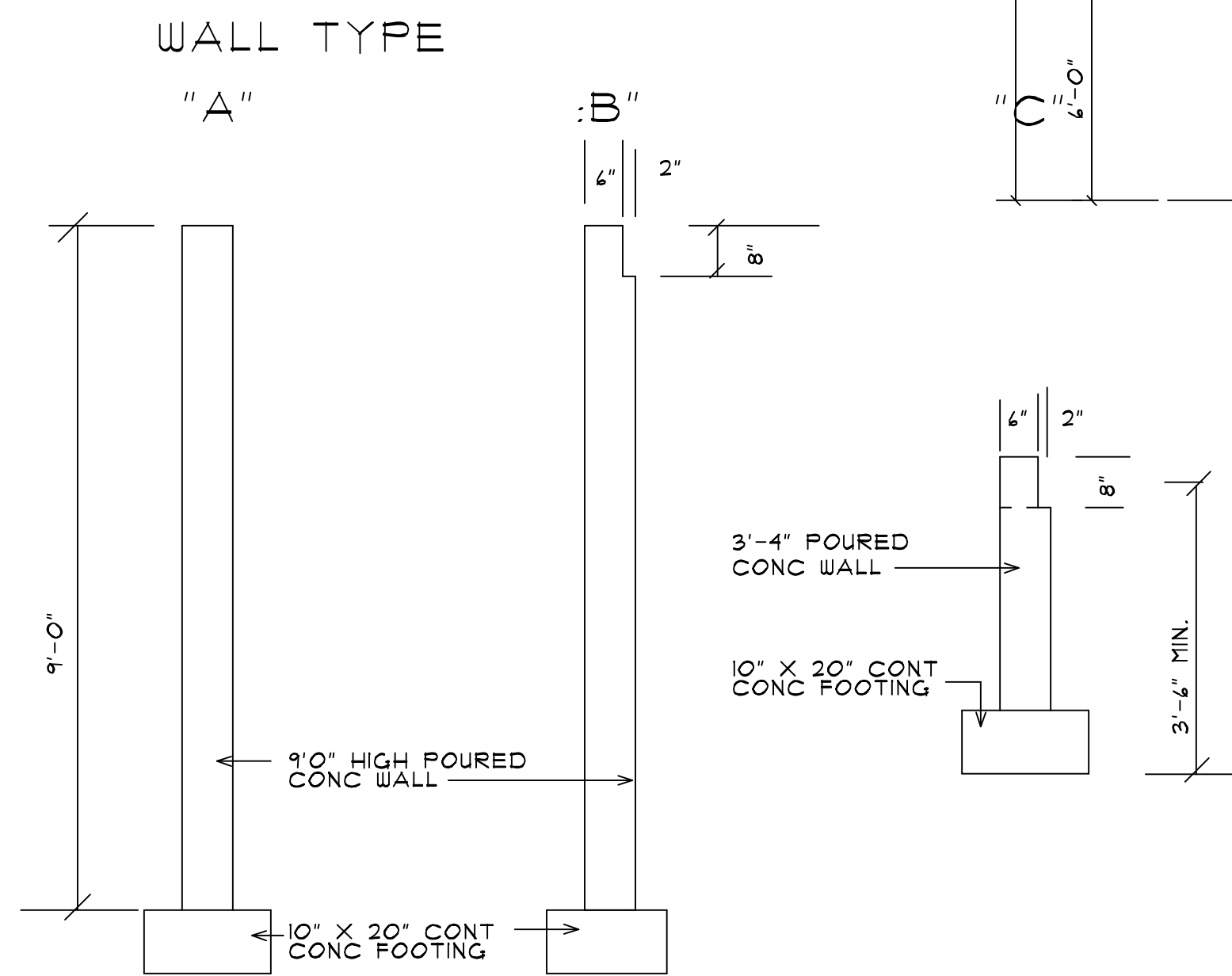
NO	REVISION	DATE	BY

ARCHITECTURAL INNOVATIONS  
99 SHOREHAM DRIVE  
ROCHESTER, NEW YORK 14618  
585-385-5540 E-MAIL AIPC@AOL.COM

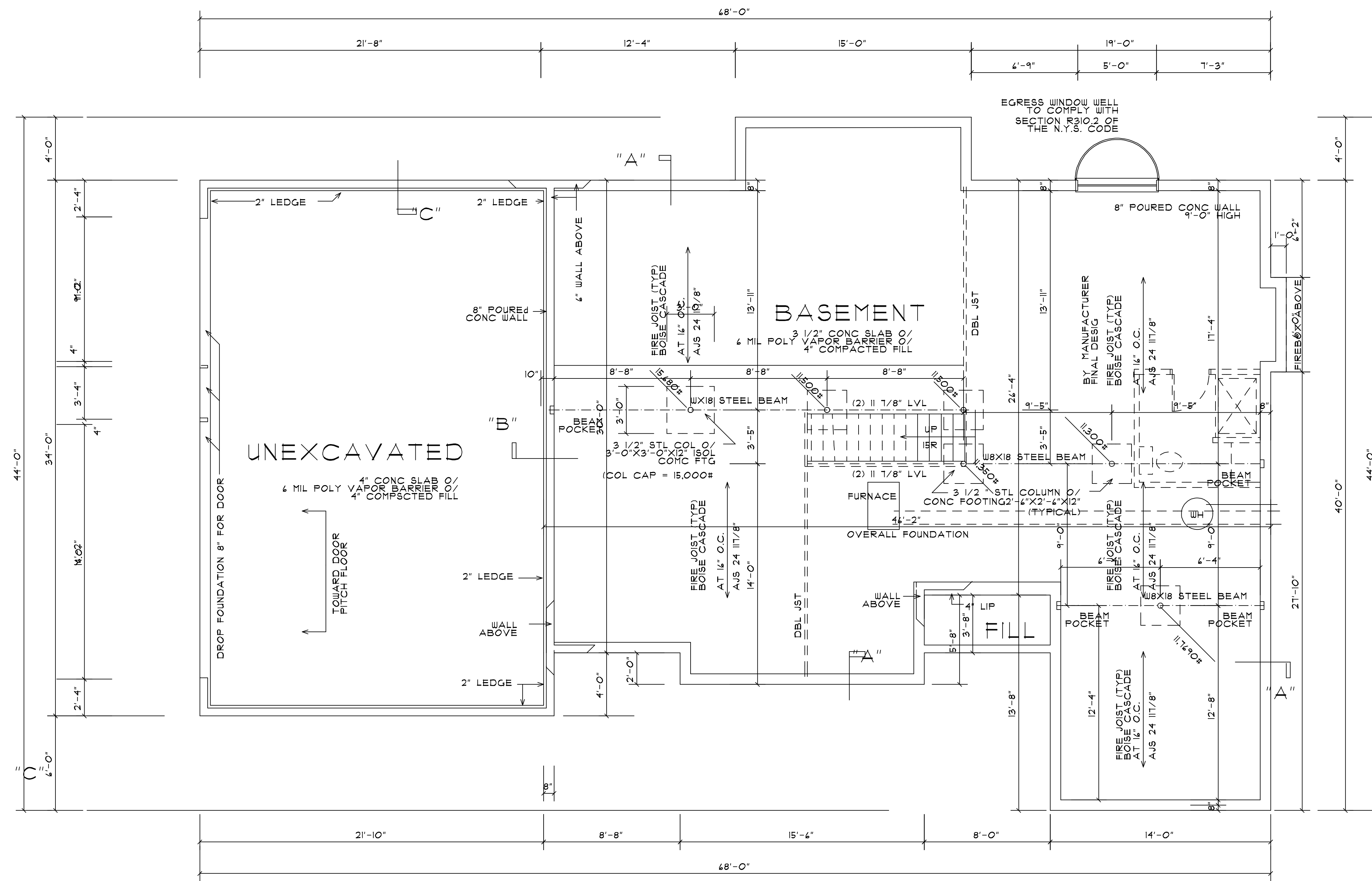
PROJECT	DRAWING TITLE	PROJECT LOCATION	CLIENT
			SPALL HOMES CORP

SHEET NUMBER	1 of 6
DRAWN BY	JHS
PROJECT NUMBER	20-005





FOUNDATION DETAILS  
SEE TYPICAL SECTION FOR WALL REINFORCING DETAILS



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT. IF THESE PLANS ARE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT, THE REPRODUCER SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE REPRODUCER SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE REPRODUCER SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE REPRODUCER SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

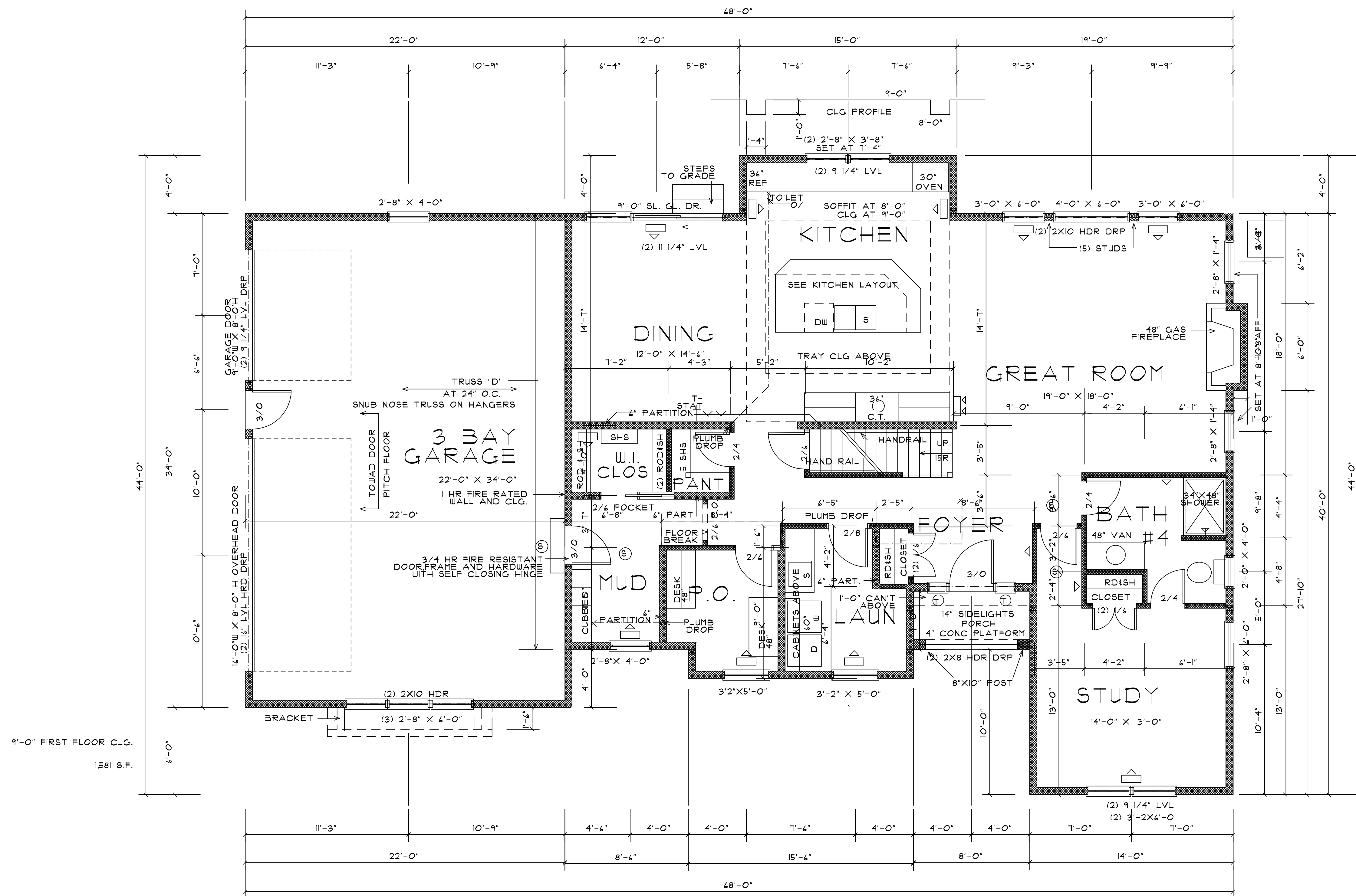
NO	REVISION	DATE	BY

ARCHITECTURAL INNOVATIONS  
99 SHOREHAM DRIVE  
ROCHESTER, NEW YORK 14618  
585-385-5540 E-MAIL AIPC@AOL.COM

PROJECT  
DRAWING TITLE  
PROJECT LOCATION  
CLIENT  
SPALL HOMES CORP

SHEET NUMBER  
2 of 6  
DRAWN BY  
JHS  
PROJECT NUMBER  
20-005





# FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION. IF THESE PLANS ARE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE PLANS.

NO.	REVISION	DATE	BY

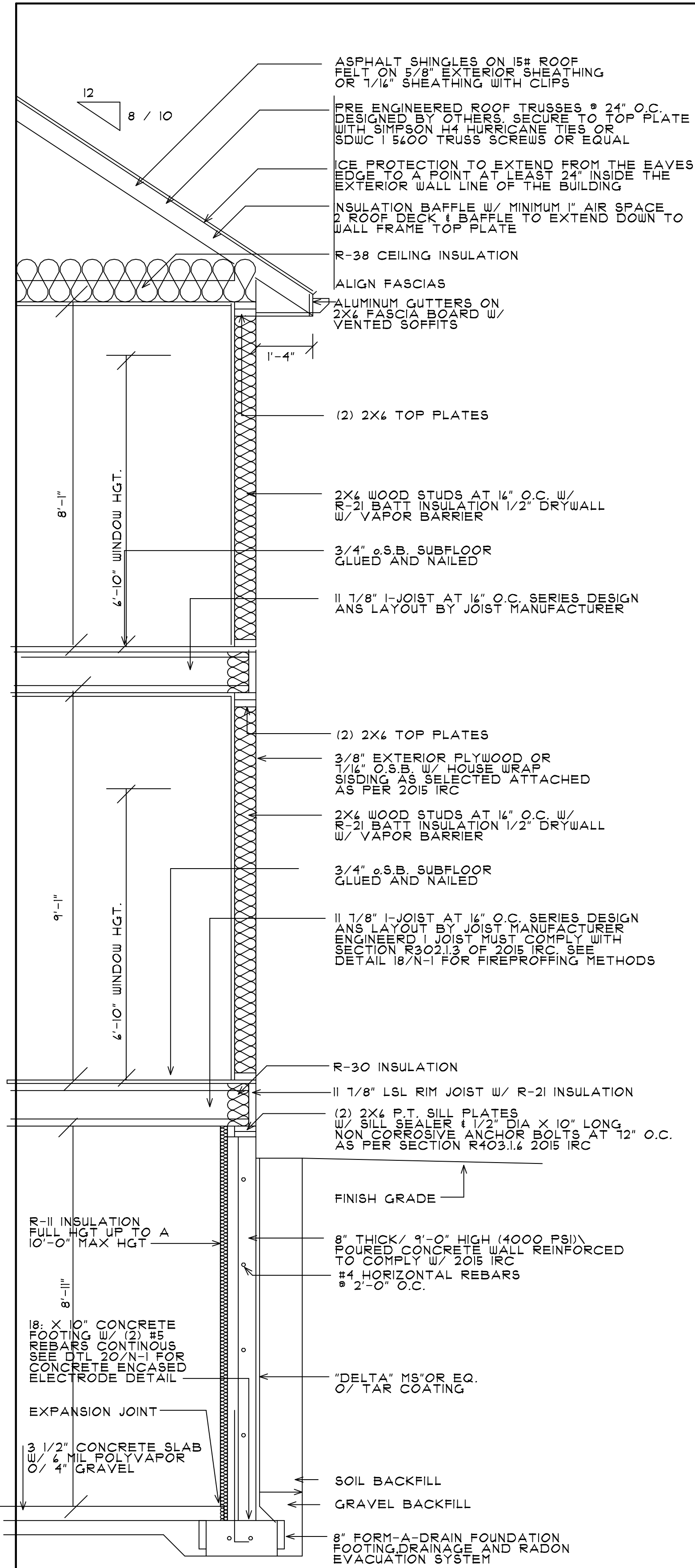
PROJECT	DRAWING TITLE	PROJECT LOCATION	CLIENT

**ARCHITECTURAL INNOVATIONS**  
 99 SHOREHAM DRIVE  
 ROCHESTER, NEW YORK 14618  
 585-385-5540 E-MAIL AIPC@AOL.COM

SHEET NUMBER
3 of 6
DRAWN BY
JHS
PROJECT NUMBER
20-005

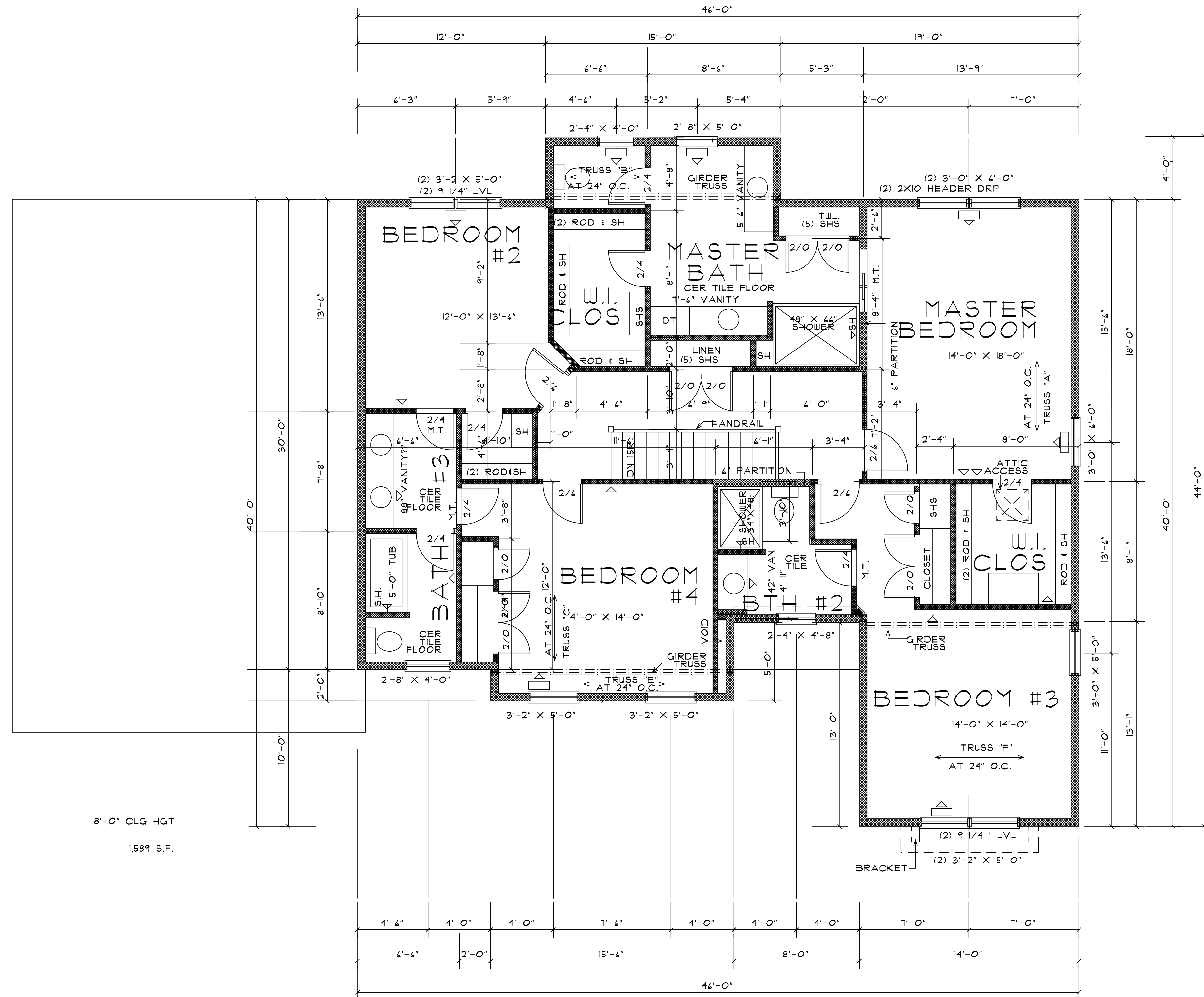
PROJECT	DRAWING TITLE	PROJECT LOCATION	CLIENT





TYPICAL SECTION

SCALE : 1/2" = 1'-0"



SECOND FLOOR PLAN

SCALE : 1/4" 1'-0"

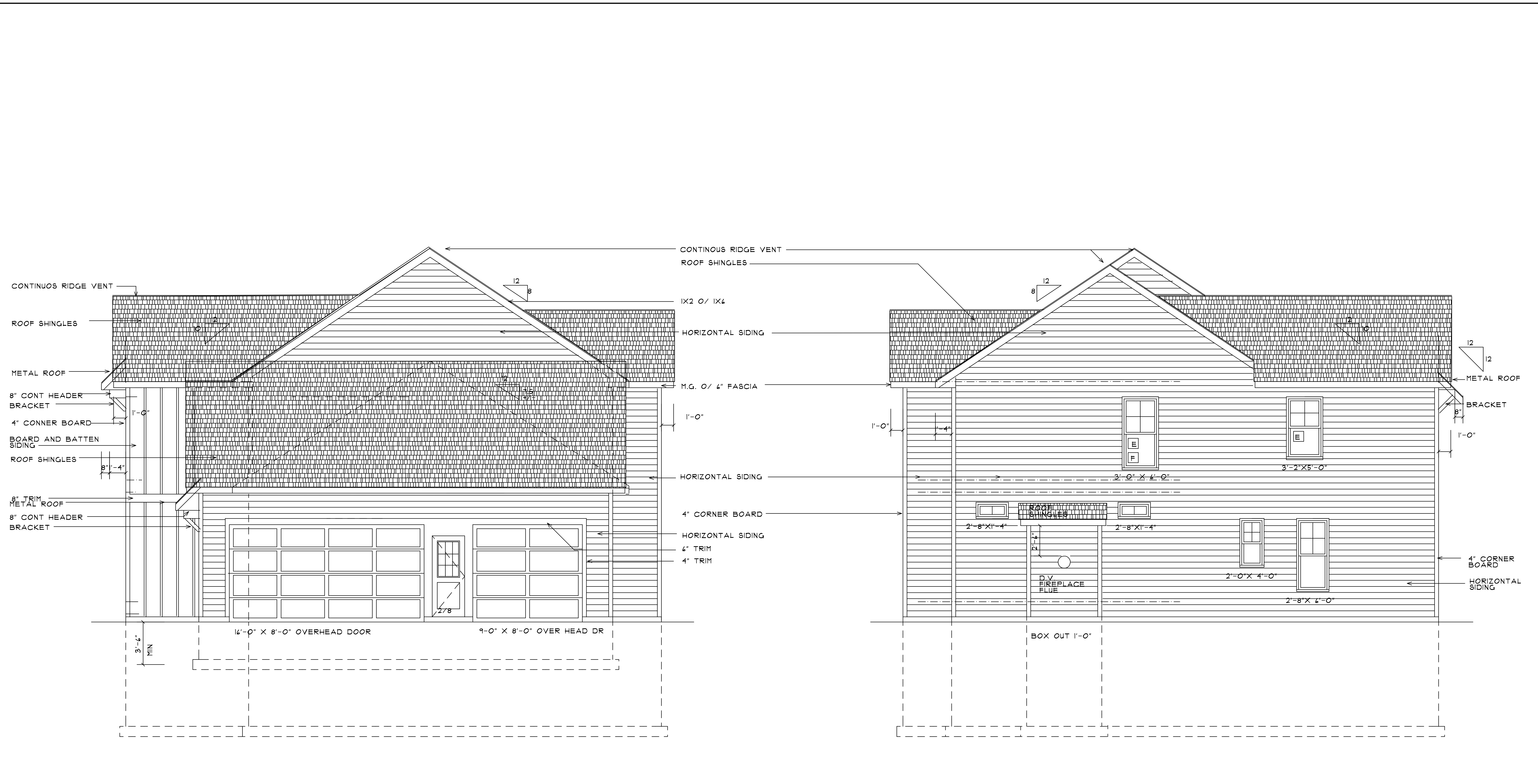
THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT. IF THESE PLANS ARE REPRODUCED OR COPIED WITHOUT WRITTEN CONSENT, THE REPRODUCER SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES, INCLUDING ATTORNEY'S FEES, COSTS AND REASONABLE ATTORNEY'S FEES, AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES, INCLUDING ATTORNEY'S FEES, COSTS AND REASONABLE ATTORNEY'S FEES, AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES, INCLUDING ATTORNEY'S FEES, COSTS AND REASONABLE ATTORNEY'S FEES.

ARCHITECTURAL INNOVATIONS			
NO.	REVISION	DATE	BY

**ARCHITECTURAL INNOVATIONS**  
 99 SHOREHAM DRIVE  
 ROCHESTER, NEW YORK 14618  
 585-385-5540 E-MAIL AIPC@AOL.COM

PROJECT	SPALL HOMES CORP
DRAWING TITLE	SECOND FLOOR PLAN
PROJECT LOCATION	
CLIENT	
SHEET NUMBER	4 of 6
DRAWN BY	JHS
PROJECT NUMBER	20-005





LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION. IF THESE PLANS ARE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE WORK PROVIDED UNDER THESE PLANS AND PROGRAMS IN CONNECTION WITH THE WORK.

ARCHITECTURAL INNOVATIONS		NO.	REVISION	DATE	BY

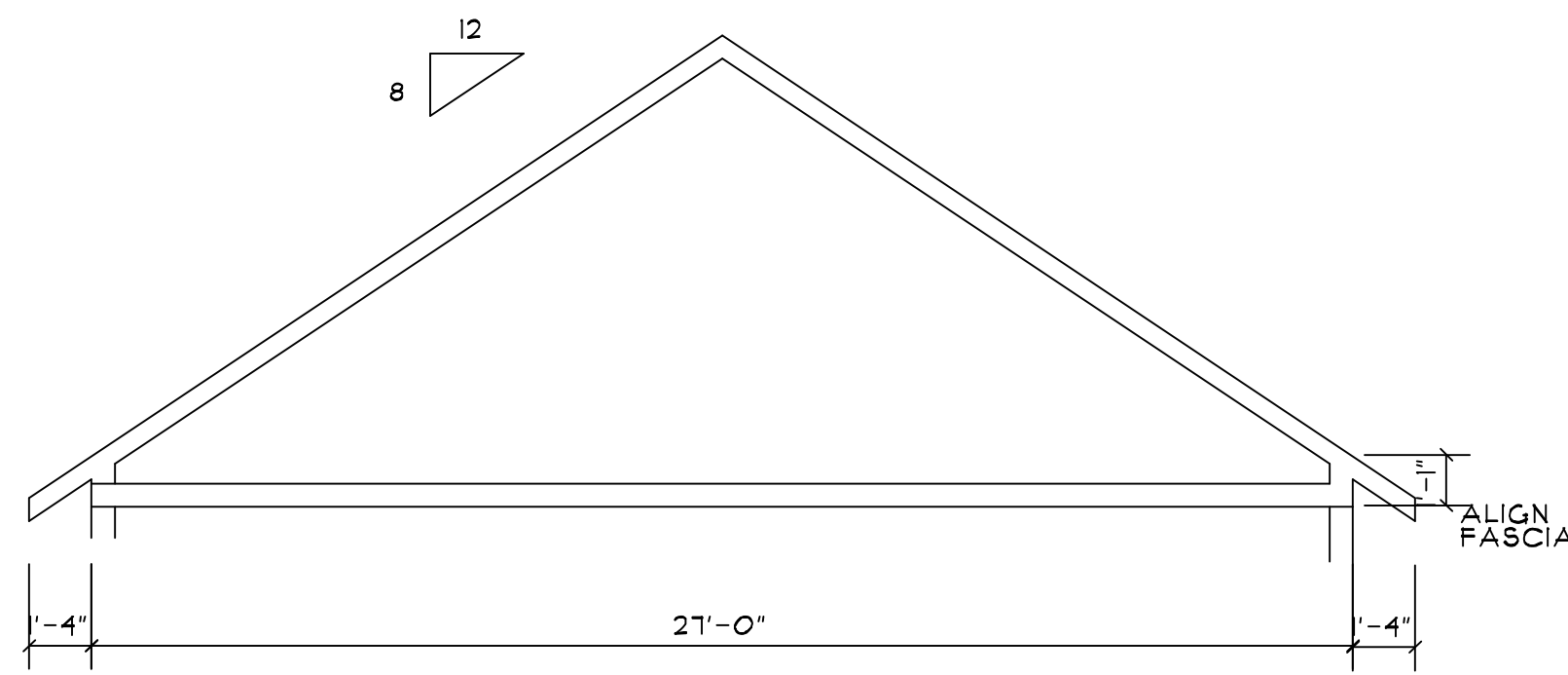

**ARCHITECTURAL INNOVATIONS**

99 SHOREHAM DRIVE  
ROCHESTER, NEW YORK 14618  
585-385-5540 E-MAIL AIPC@AOL.COM

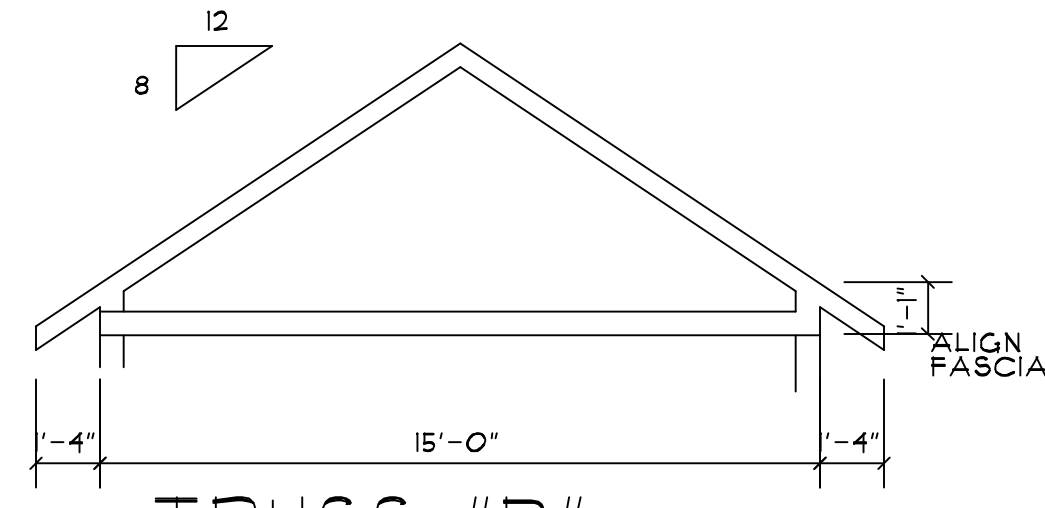
PROJECT	
DRAWING TITLE	
PROJECT LOCATION	
CLIENT	SPALL HOMES CORP

SHEET NUMBER	5 of 6
DRAWN BY	JHS
PROJECT NUMBER	20-005

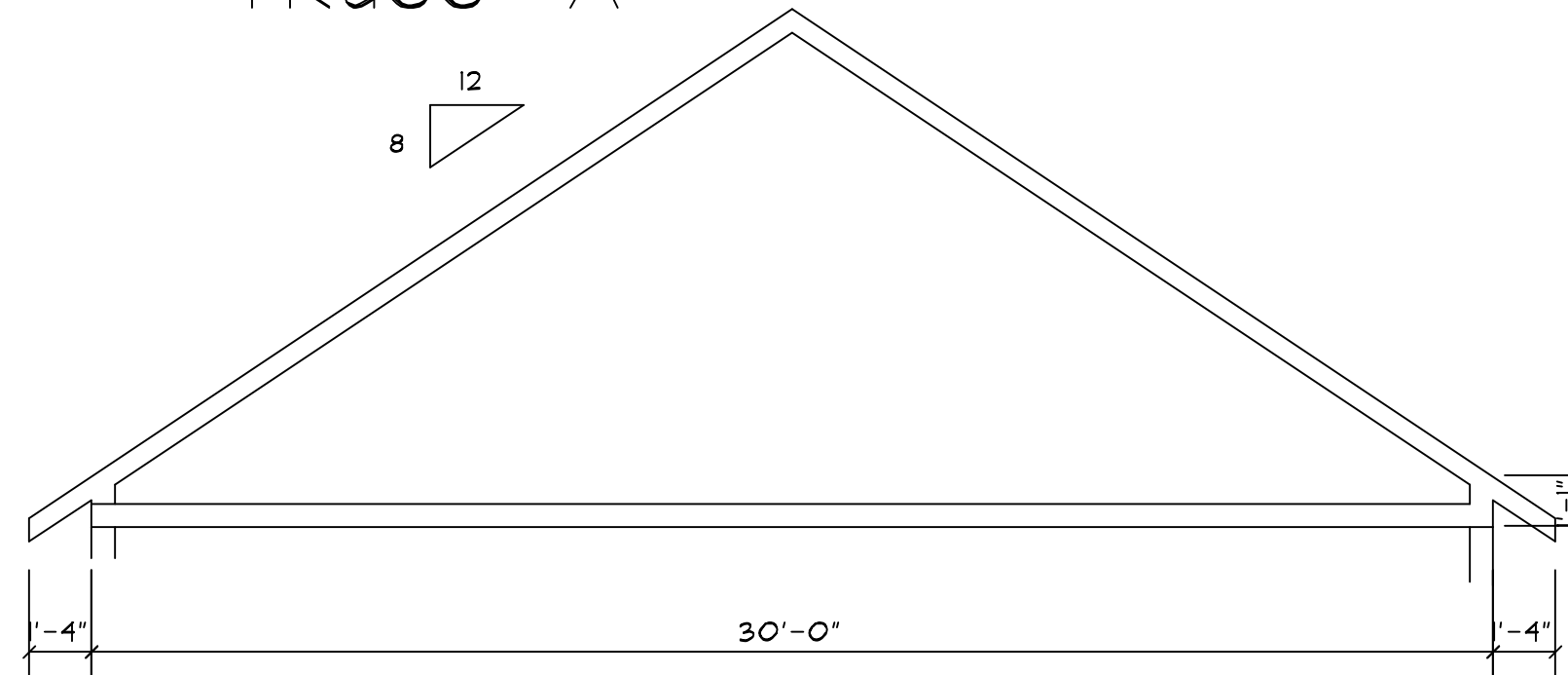




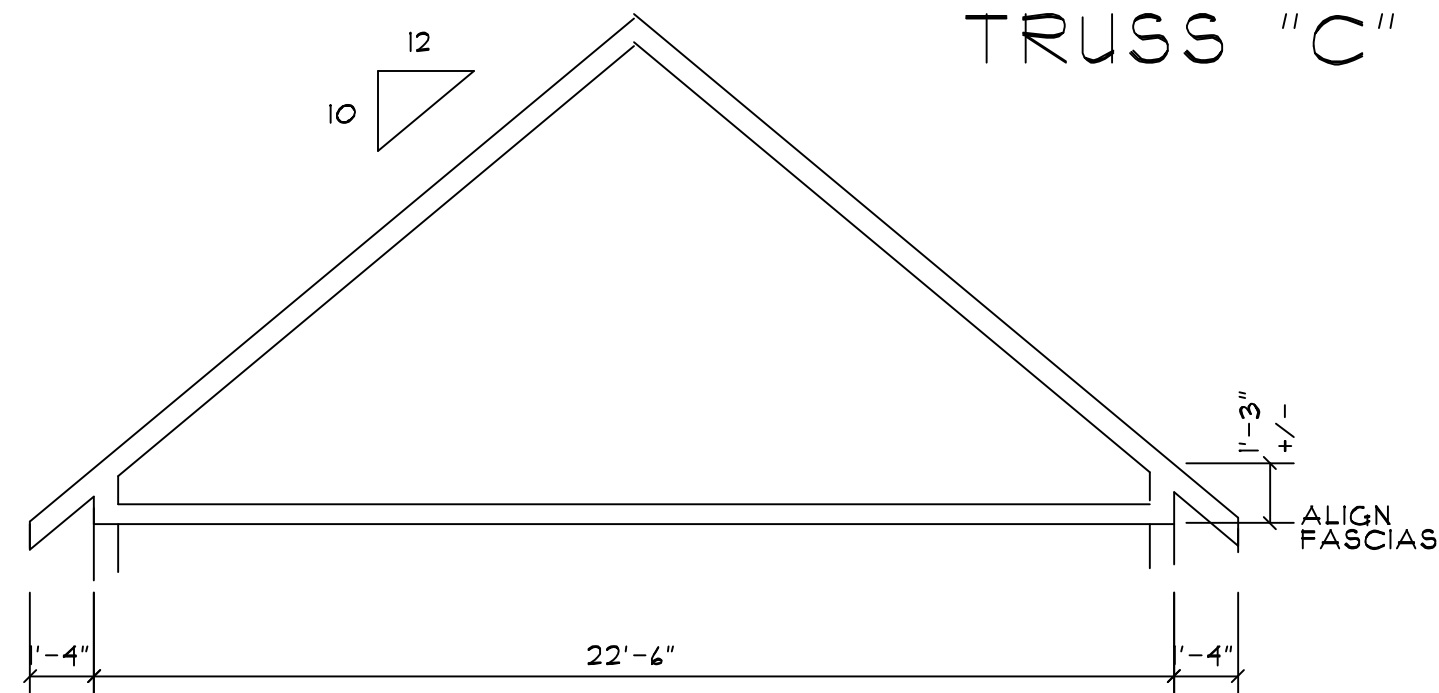
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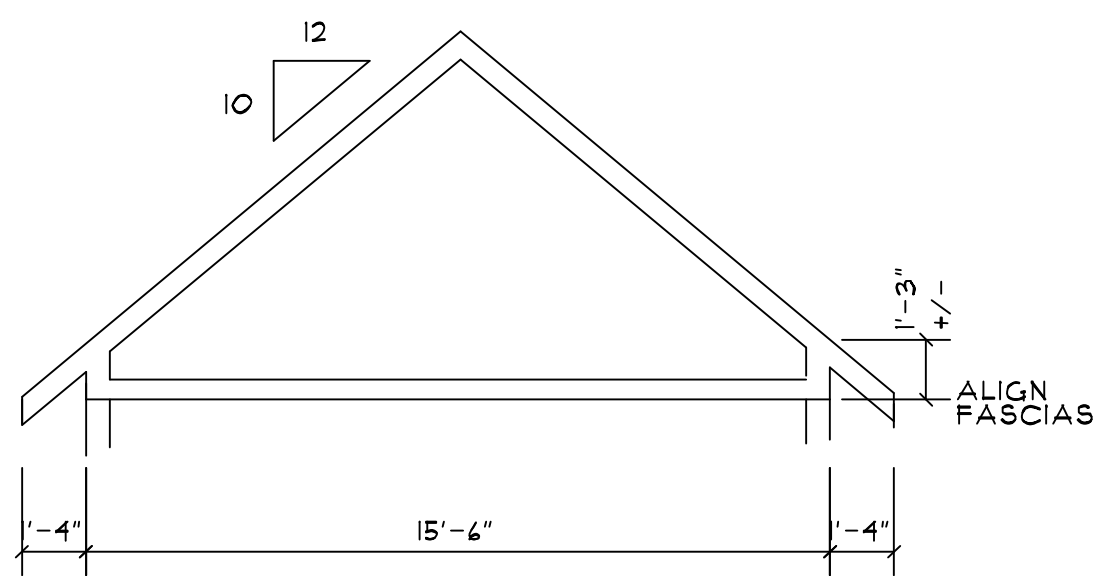
TRUSS "B"



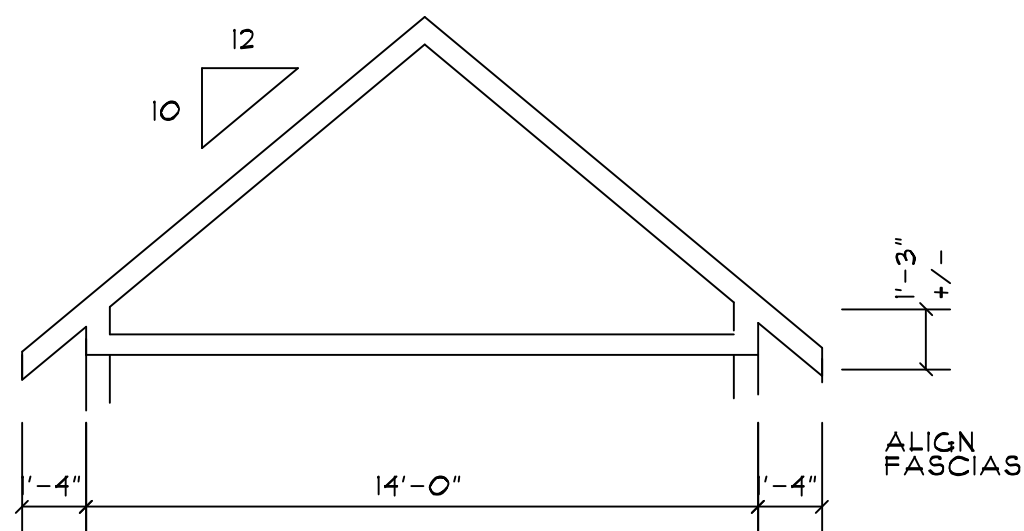
TRUSS "C"



TRUSS "D"



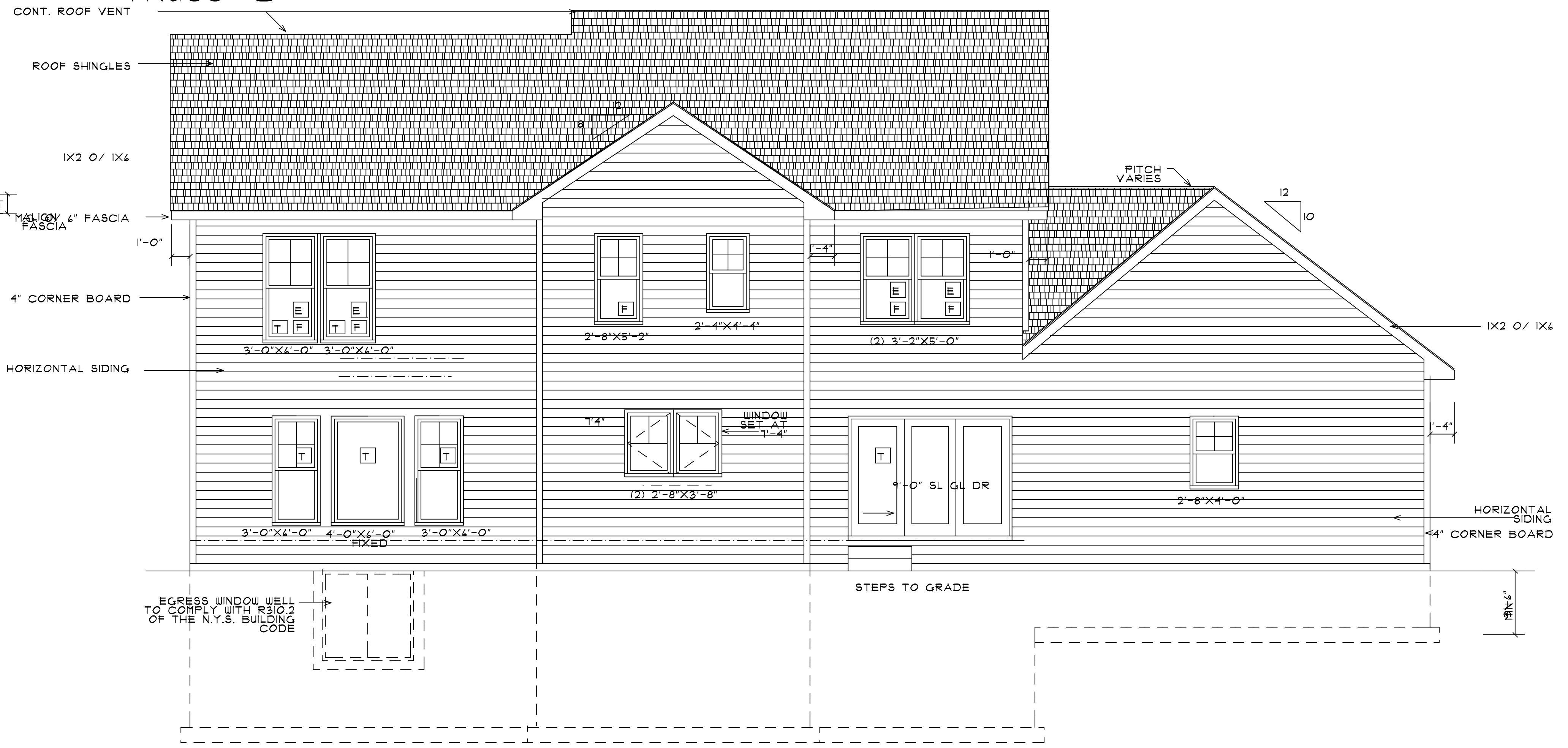
TRUSS "E"



TRUSS "F"

TRUSS DIAGRAMS

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE : 1/4" = 1'-0"

THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION. IF THESE PLANS ARE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

NO	REVISION	DATE	BY

ARCHITECTURAL INNOVATIONS  
 99 SHOREHAM DRIVE  
 ROCHESTER, NEW YORK 14618  
 585-385-5540 E-MAIL AIPC@AOL.COM

PROJECT: SPALL HOMES CORP  
 DRAWING TITLE: REAR ELEVATION  
 PROJECT LOCATION: ROCHESTER, NY  
 CLIENT: SPALL HOMES CORP

SHEET NUMBER	6 of 6
DRAWN BY	JHS
PROJECT NUMBER	20-005





11

  
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# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B20-000134**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 9 Rockdale Meadows PITTSFORD, NY 14534

**Tax ID Number:** 177.03-5-11

**Zoning District:** IZ Incentive Zoning

**Owner:** Clover Street Development

**Applicant:** Clover Street Development

### Application Type:

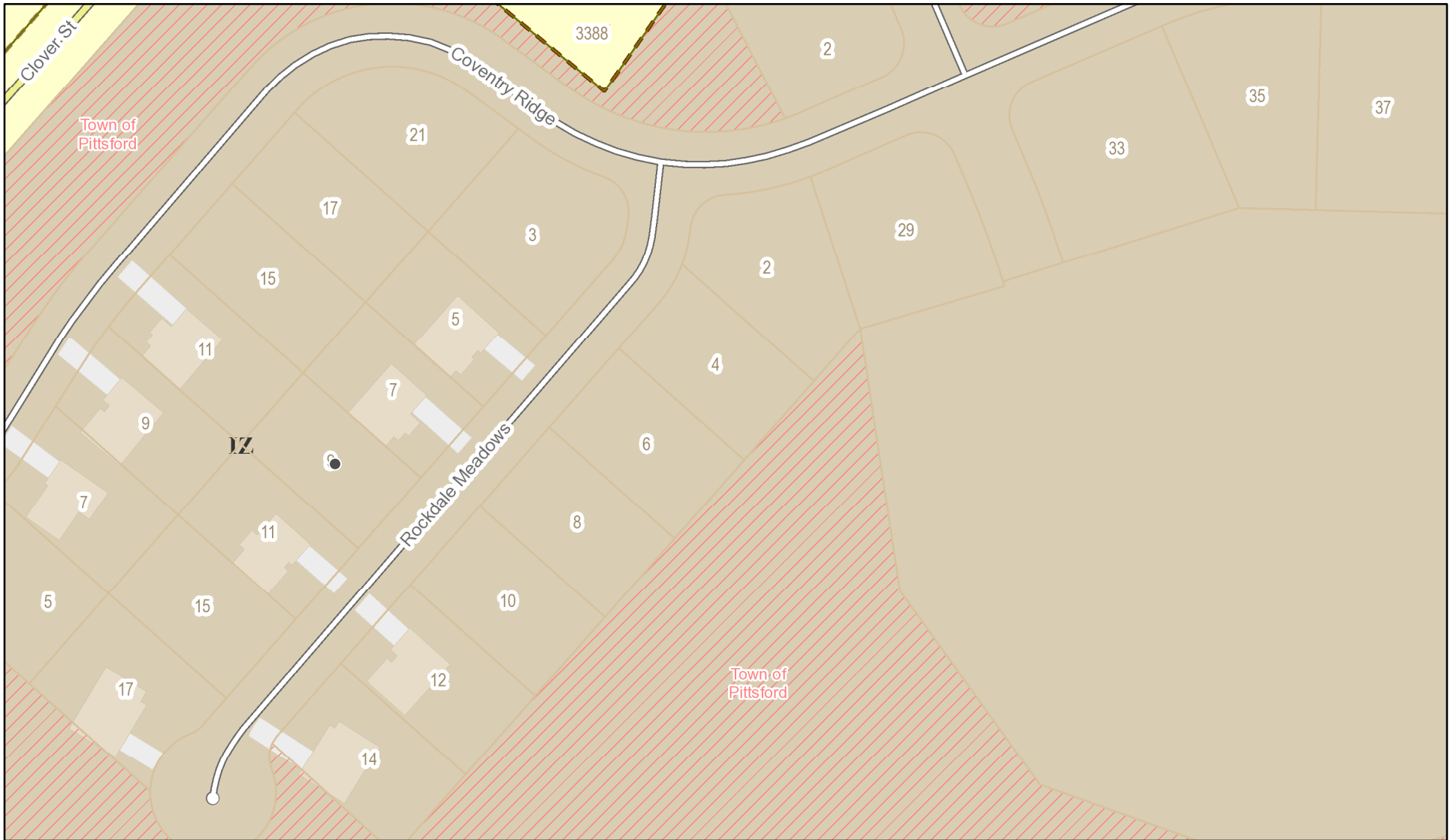
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The Applicant is requesting design review for the proposed construction of a 2224 Sq. Ft. one story home.

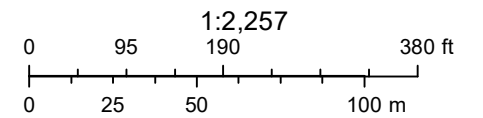
**Meeting Date:** September 10, 2020



# RN Residential Neighborhood Zoning



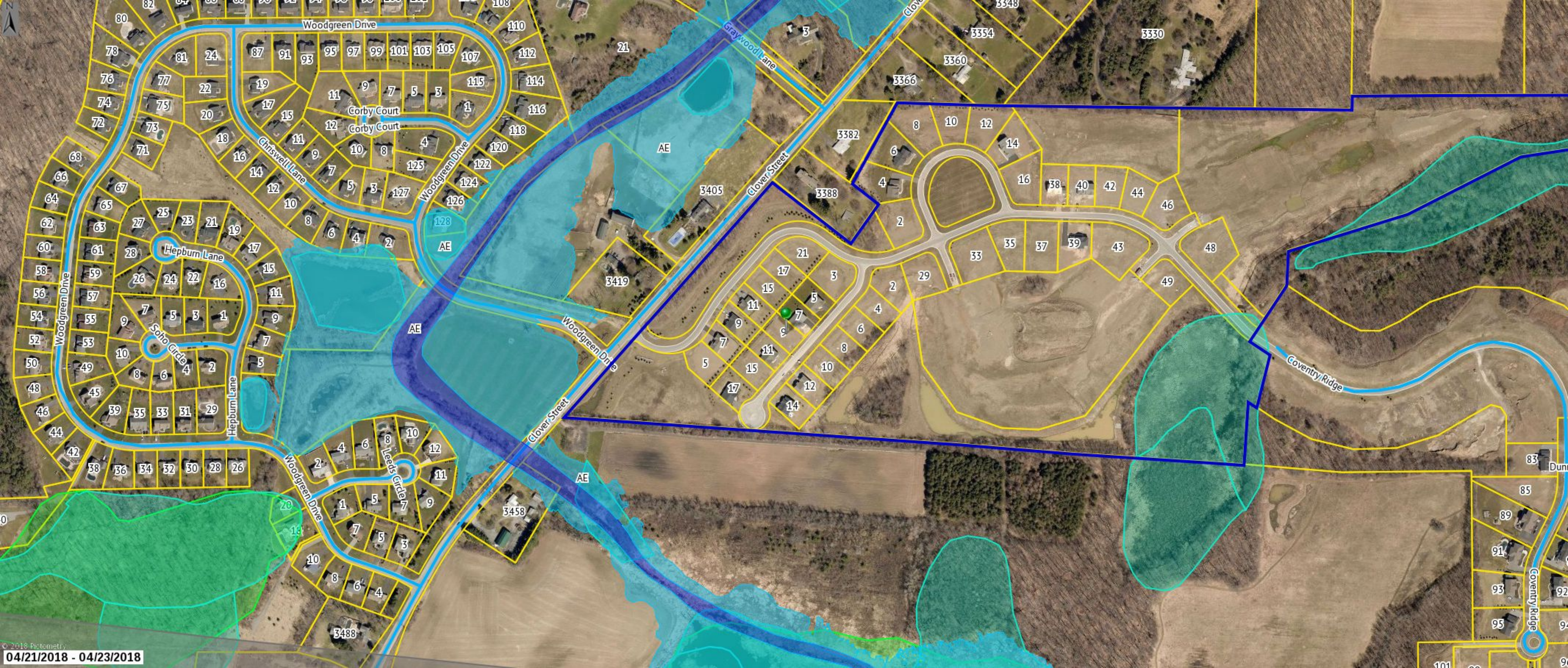
Printed September 3, 2020



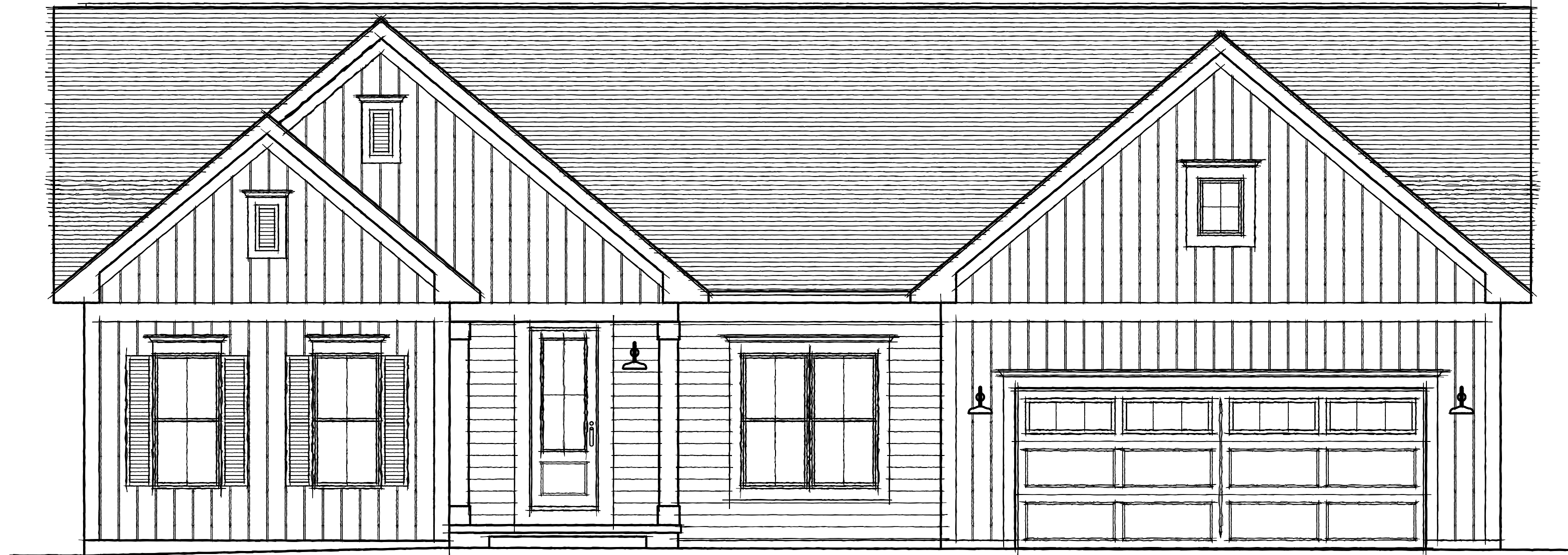
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.









# SPEC HOUSE

LOT 11 COVENTRY RIDGE  
PITTSFORD, NY  
COVENTRY RIDGE BUILDING CORP.

## PLAN 2224 R / PROJECT 2551 F

### SHEET INDEX

- C-1 COVER SHEET
- 1/7 FRONT & REAR ELEVATIONS
- 2/7 SIDE ELEVATIONS & ROOF PLAN
- 3/7 FOUNDATION PLAN
- 4/7 FOUNDATION ELECTRICAL PLAN
- 5/7 FIRST FLOOR PLAN
- 6/7 FIRST FLOOR ELECTRICAL PLAN
- 7/7 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNYS ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST. TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POST-CONSTRUCTION TEST. TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL 5 BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION:

ALL FOOTINGS TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES:

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

### STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 312.1.1 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

### GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

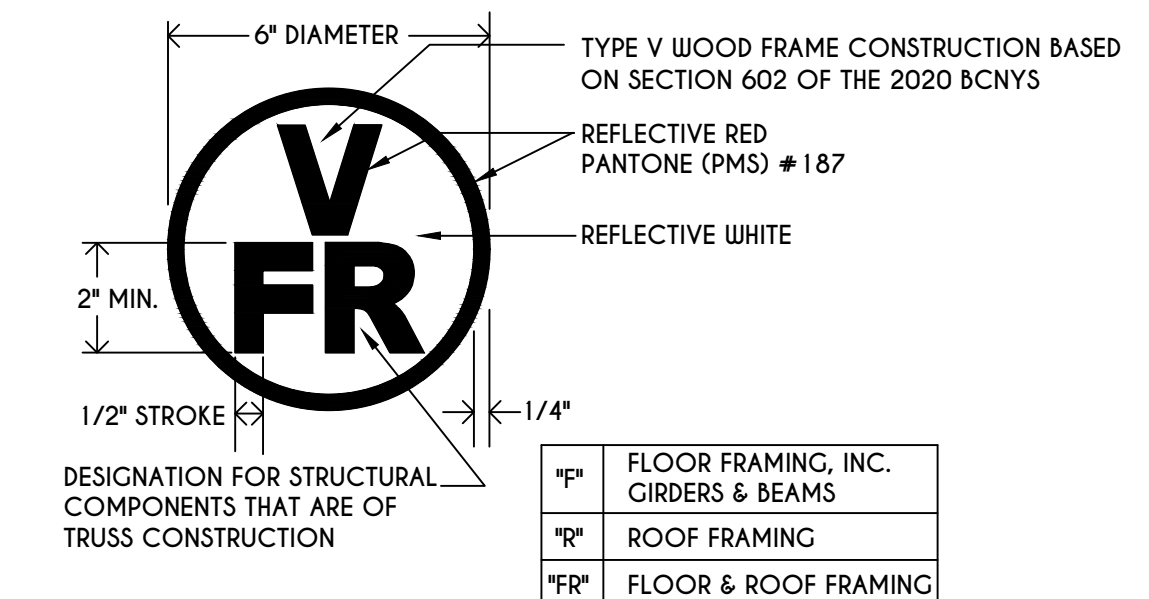
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>3</sup> = 1,9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy - 33 KSI

### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

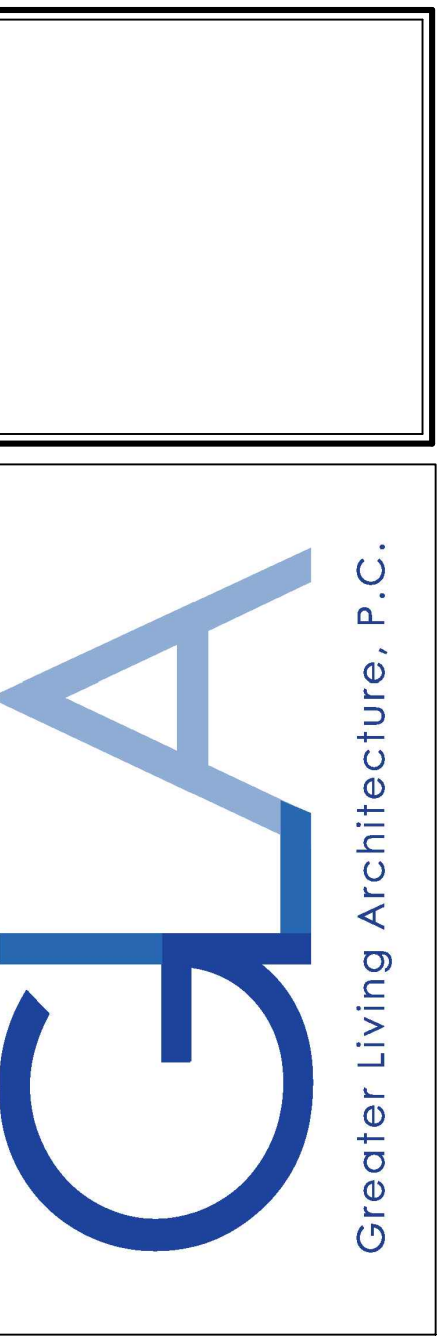
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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REVISIONS:		
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
  
LOT 11  
COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

### COVER PAGE

GLA PLAN 2224 R

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TABLE M 1505.4.3 (1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION  
SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m<sup>2</sup>, 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

TABLE M 1505.4.3 (2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4  
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** VIVID SOLARGAIN GLASS W/ ARGON

U-FACTOR ..... 0.29  
SHGC ..... 0.56

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

**WINDOW / DOOR LEGEND:**

**[E]** = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ.FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS

**[T]** = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING  
PER SECT. R308.4 OF 2020 RCNYS

**[FP]** = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

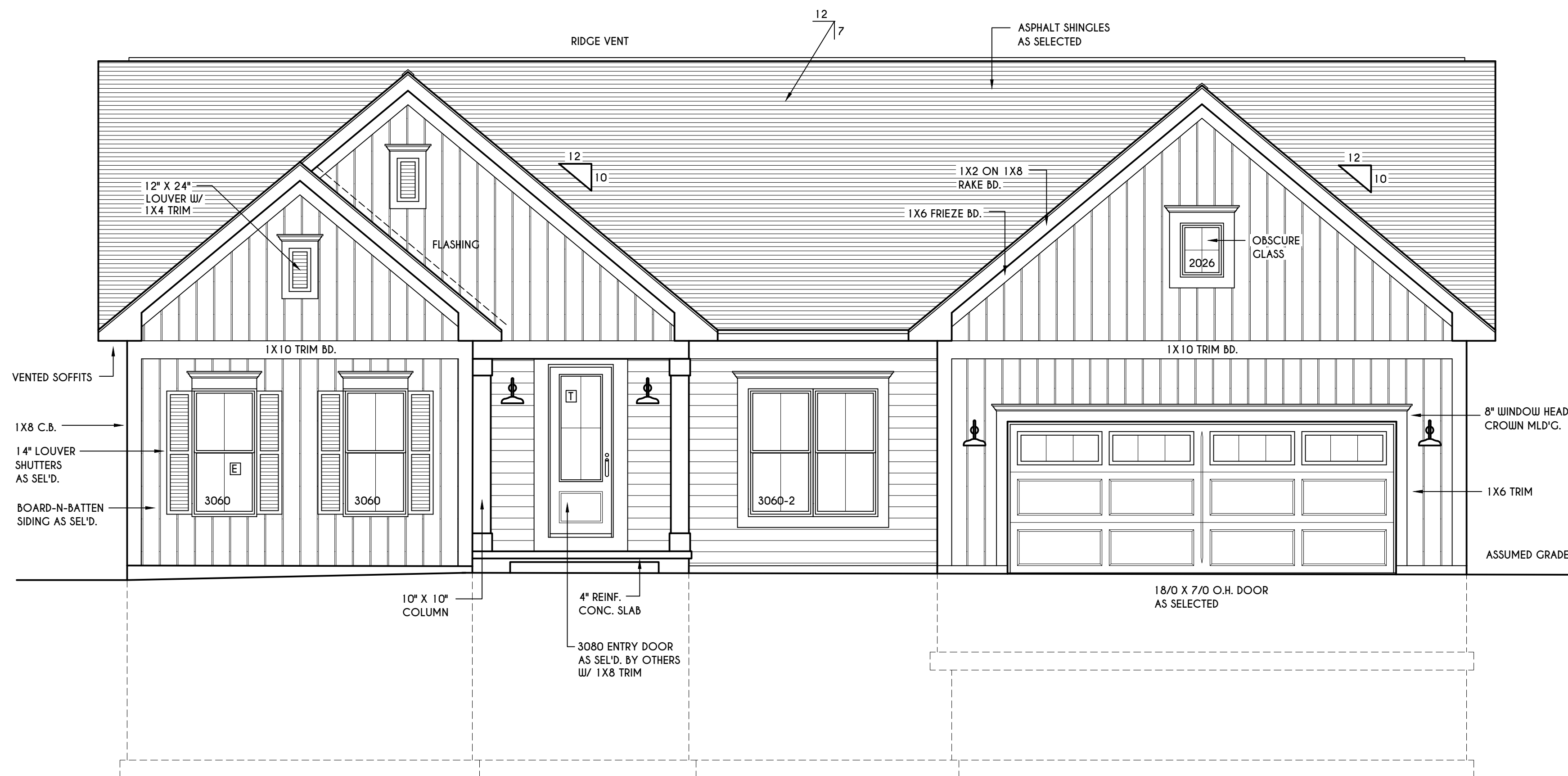
ALL RAKES & OVERHANGS ARE TO BE 1'-4" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)

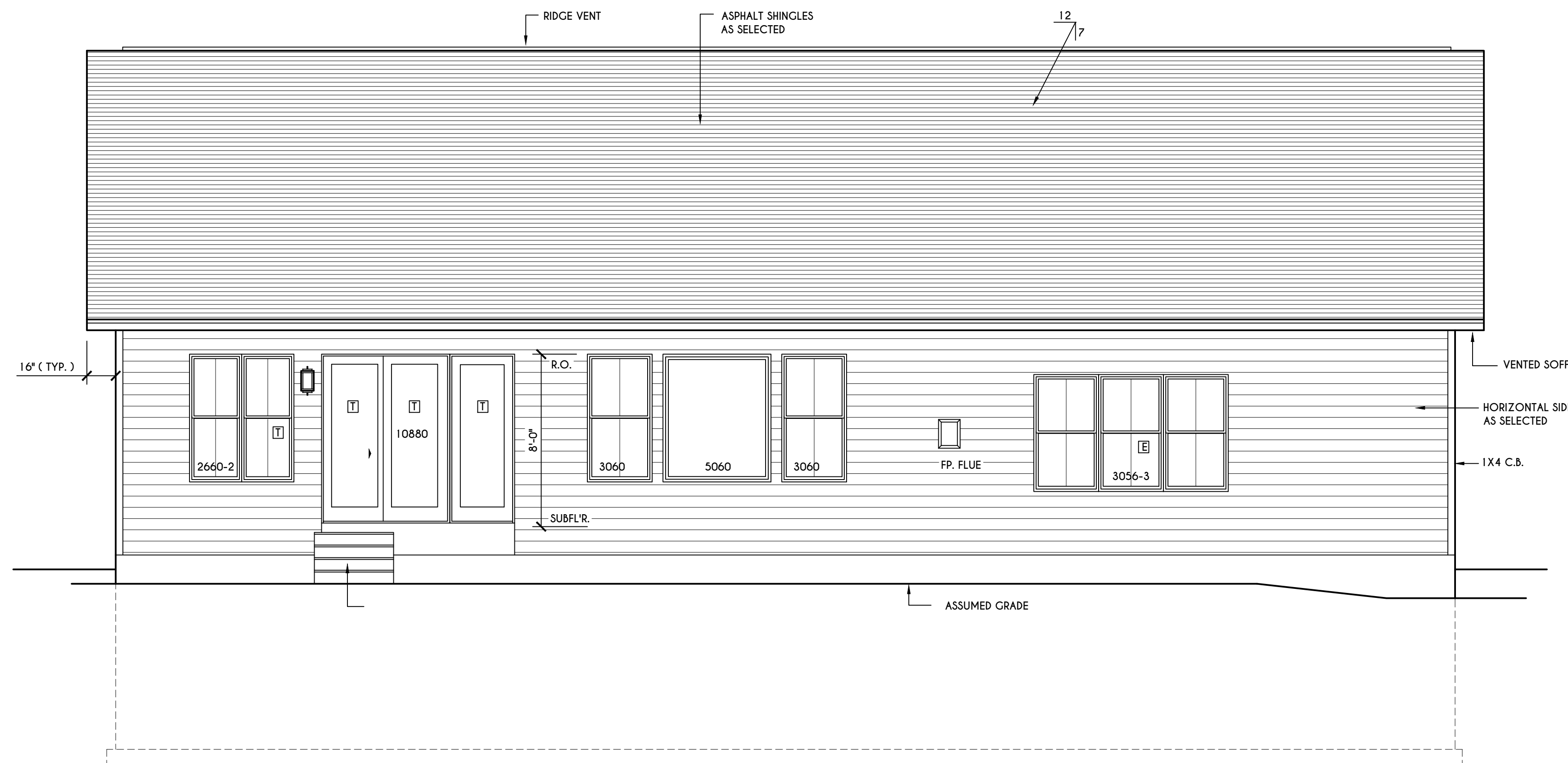


**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

TOTAL LIVING AREA = 2224 SQ.FT.

TOTAL CONDITIONED VOLUME = 41,456 CU.FT.



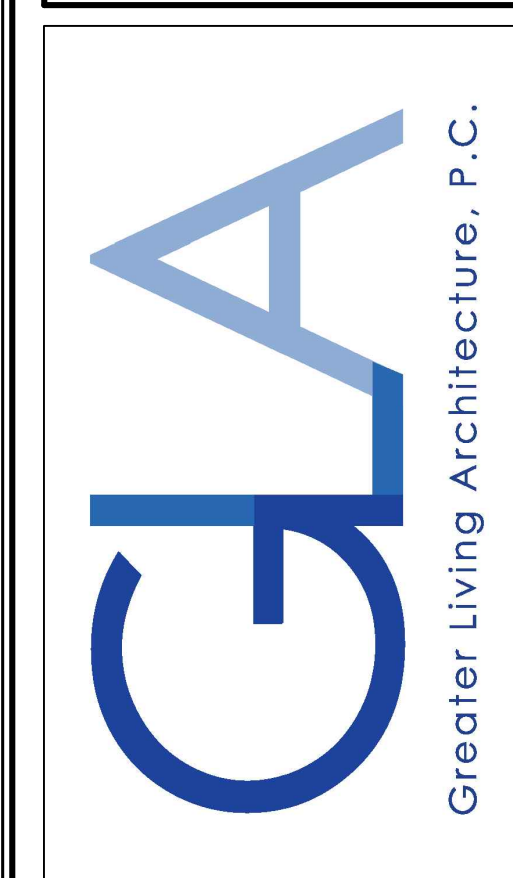
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**HOUSE FOOTPRINT**

SCALE: 1" = 50'-0"

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PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**  
GLA PLAN 2224 R

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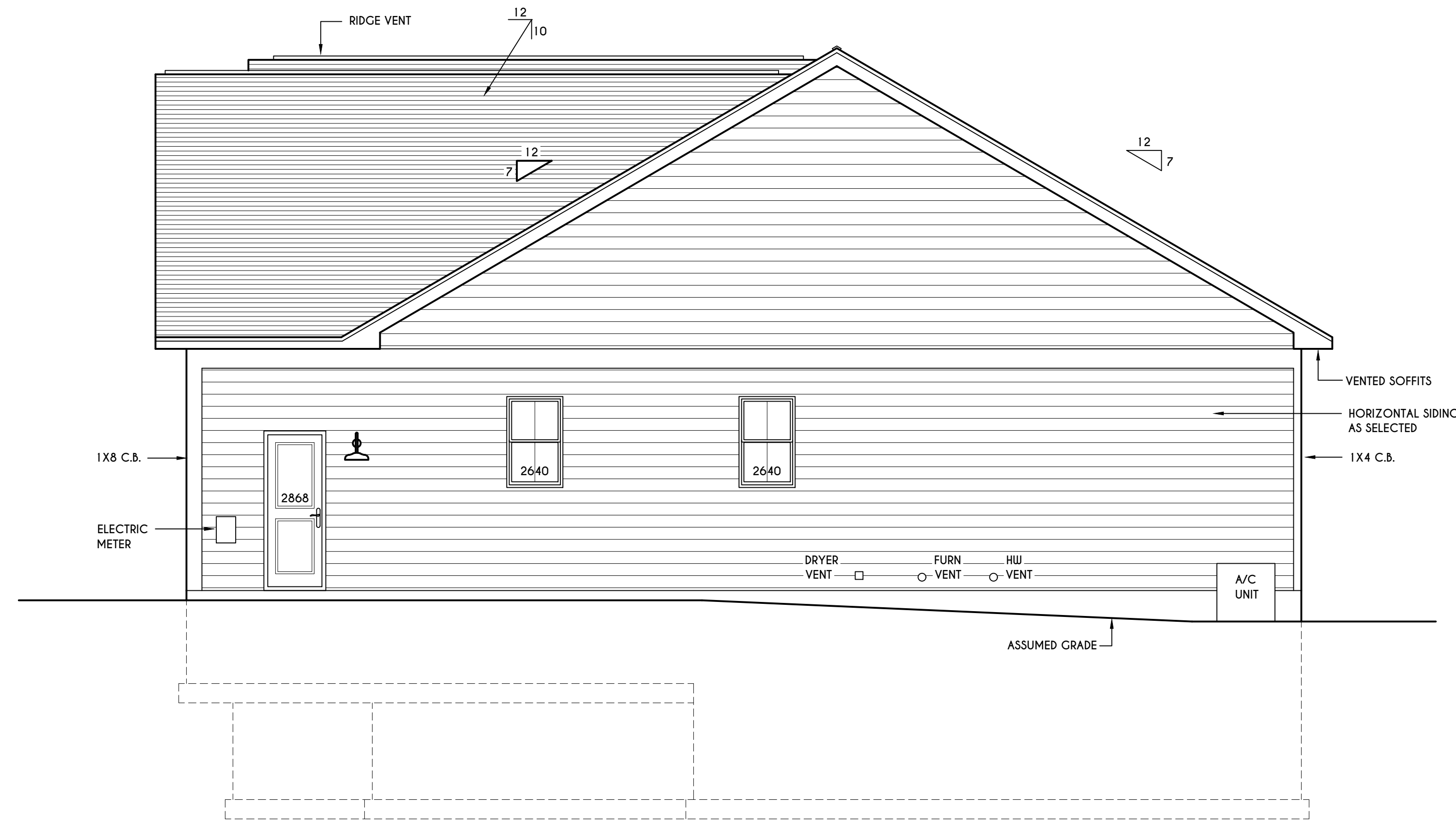
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**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

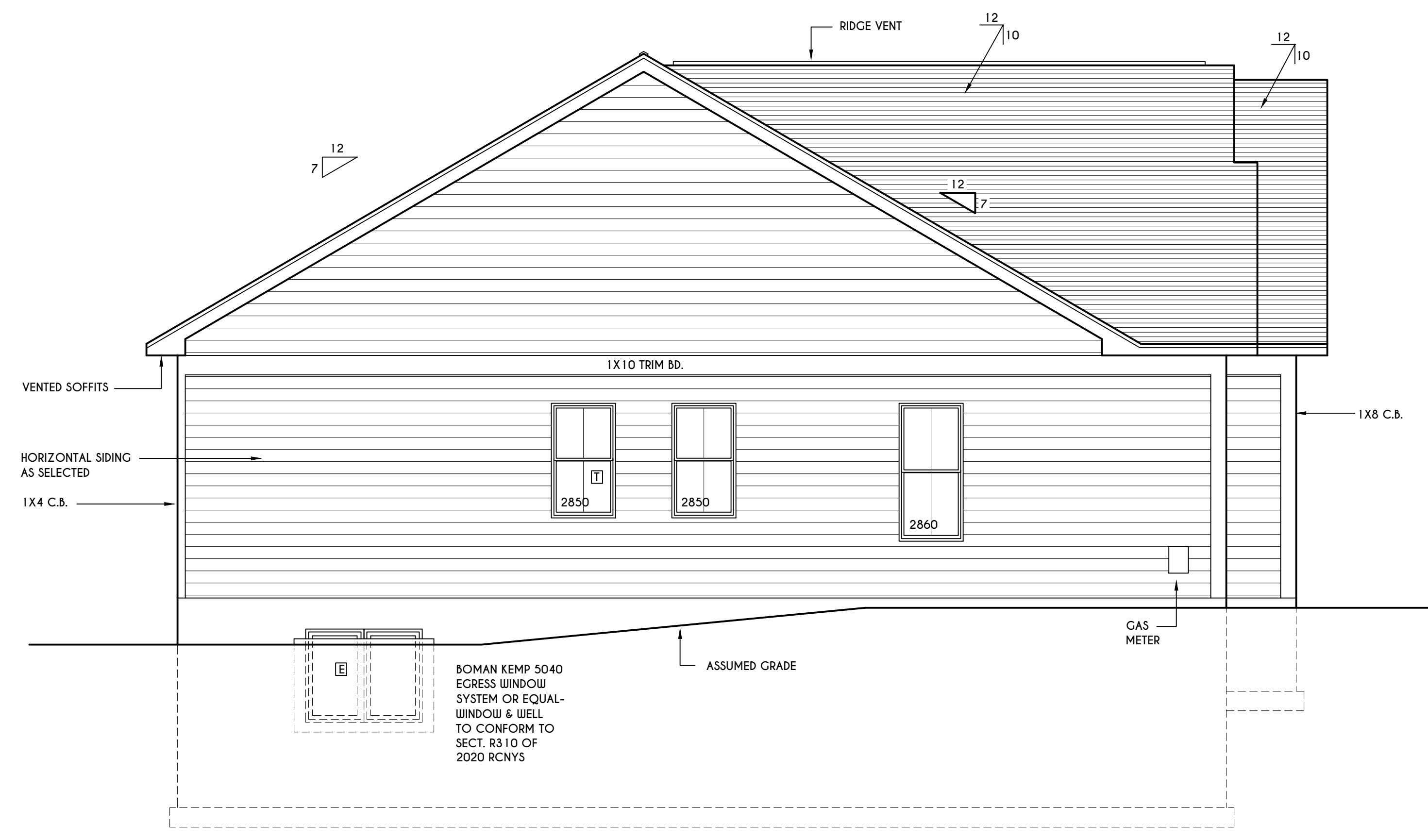
**ELEVATIONS**

GLA PLAN 2224 R

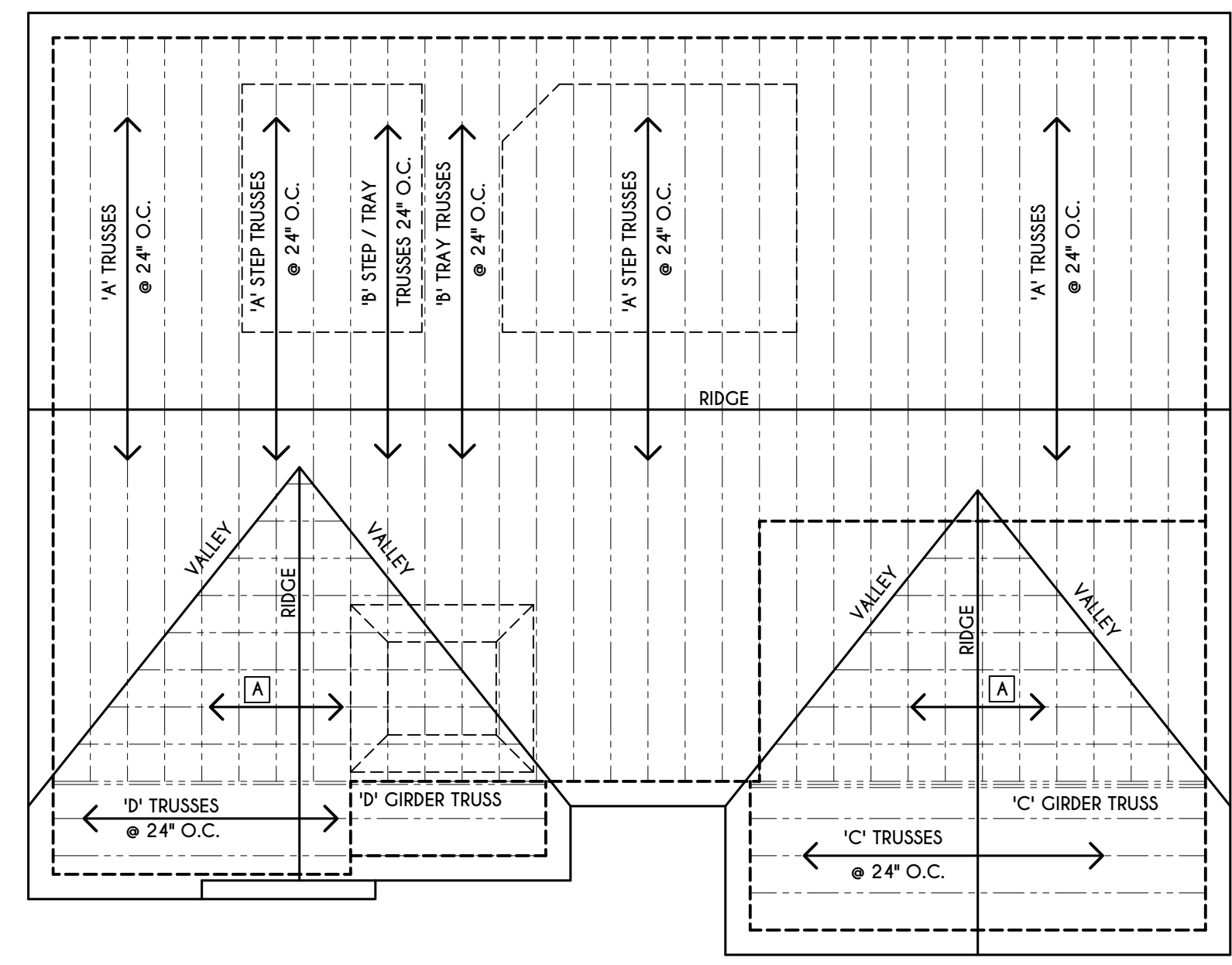
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PROJECT: 2551 F	sheet: 27



**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

ALL RAKES & OVERHANGS ARE TO BE 1'-4" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

[A] - 2X8 LAYOVER RAFTERS 24" O.C.

**WINDOWS:** VIVID SOLARGAIN GLASS W/ ARGON  
 U-FACTOR ..... 0.29  
 SHGC ..... 0.56

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

**WINDOW / DOOR LEGEND:**

[E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS

[T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FE] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-4" UNLESS NOTED OTHERWISE

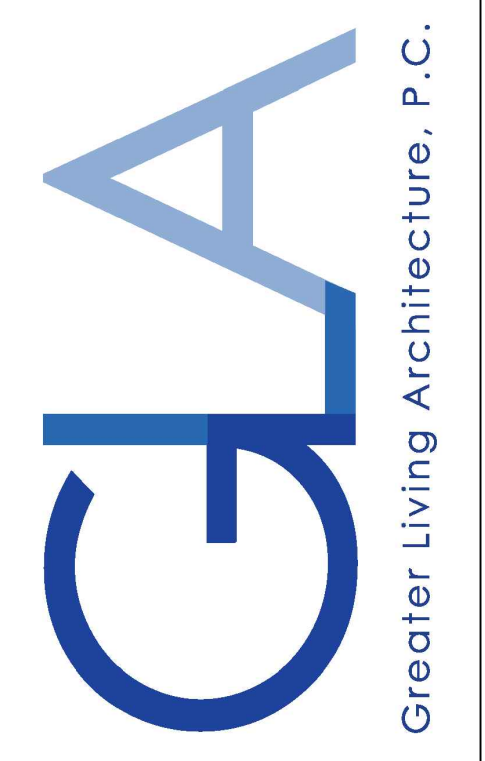
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 50 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



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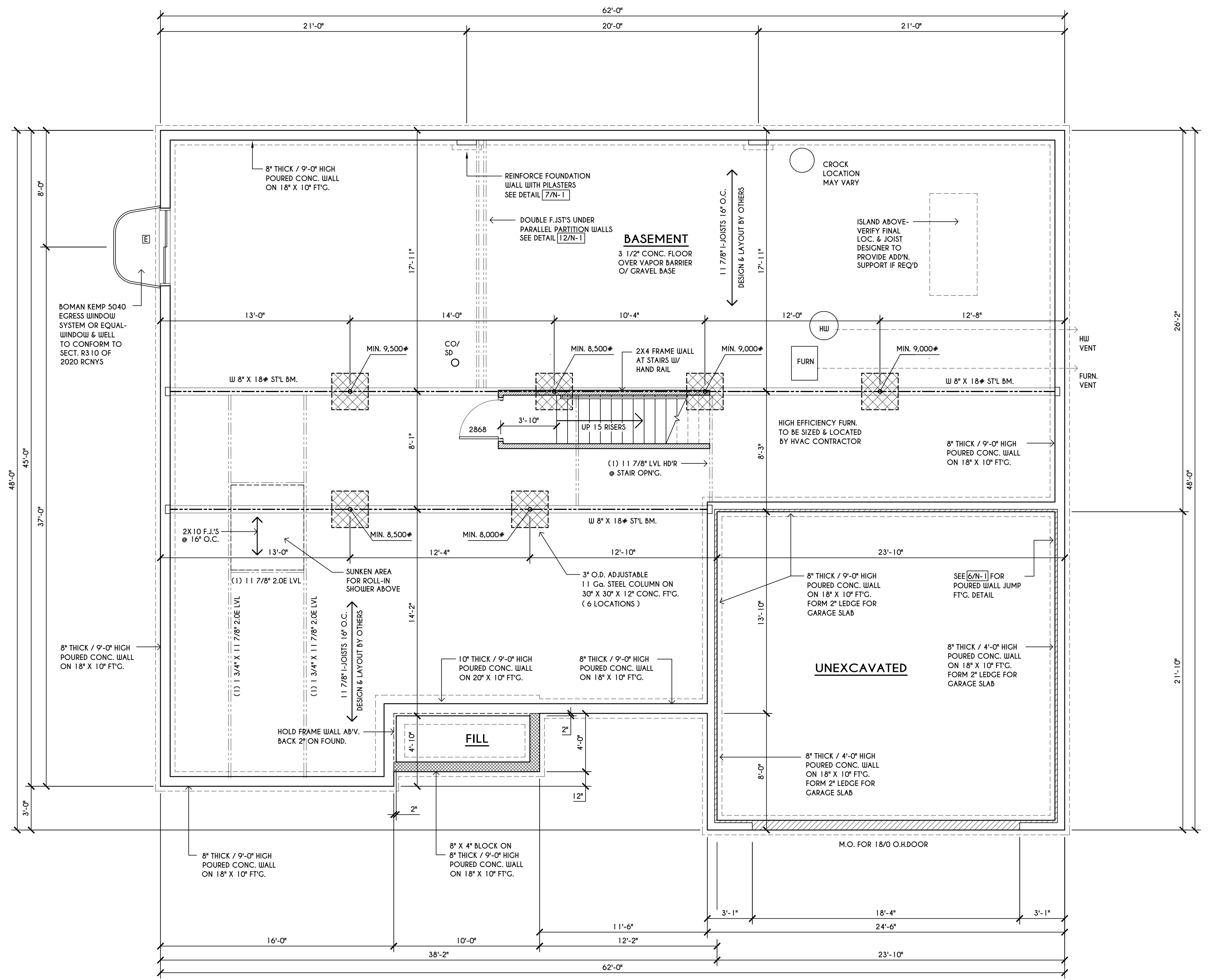
**CLIENT/LOCATION:**  
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 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FOUNDATION PLAN**

GLA PLAN 2224 R

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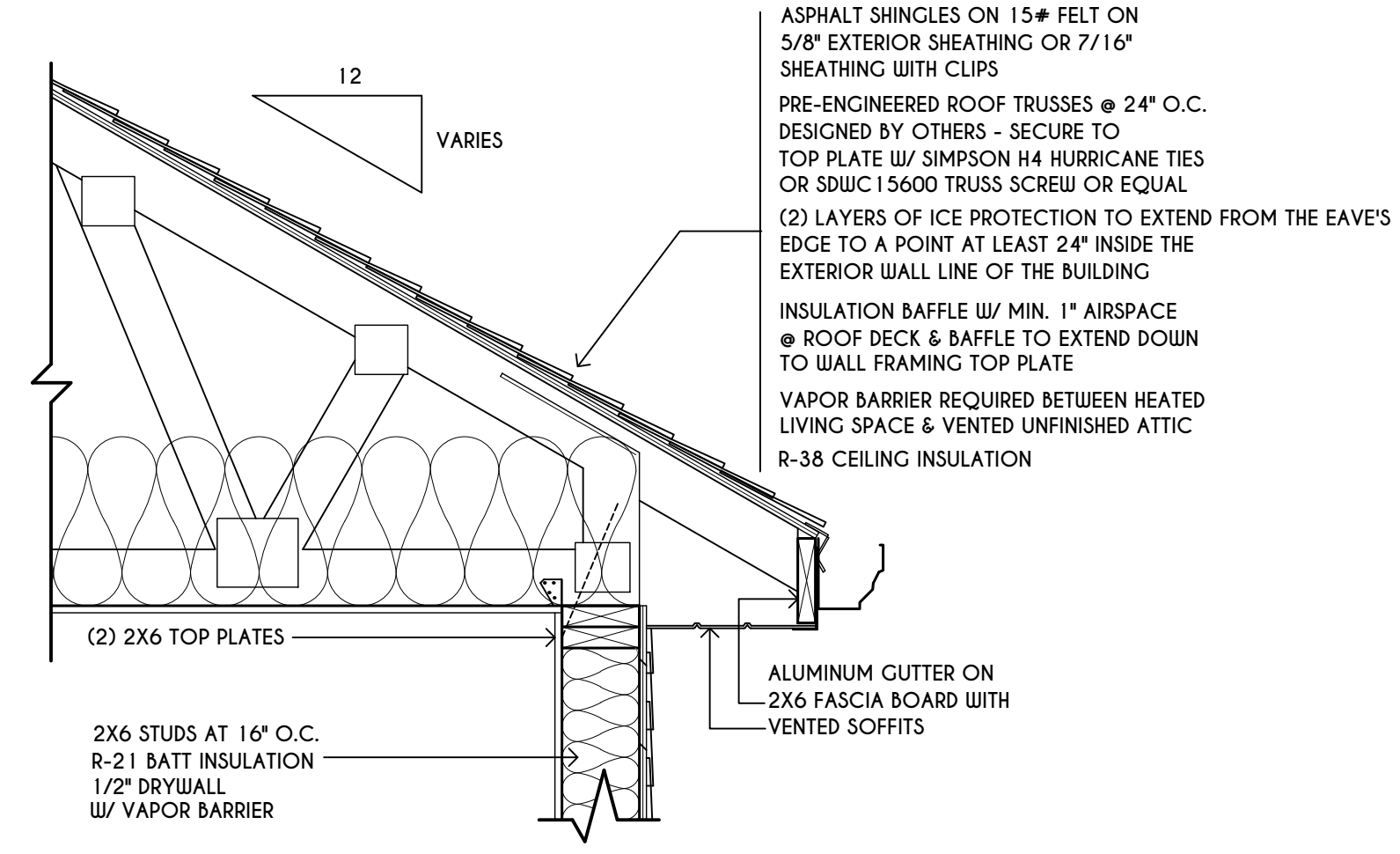
**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
**NOTES:** CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

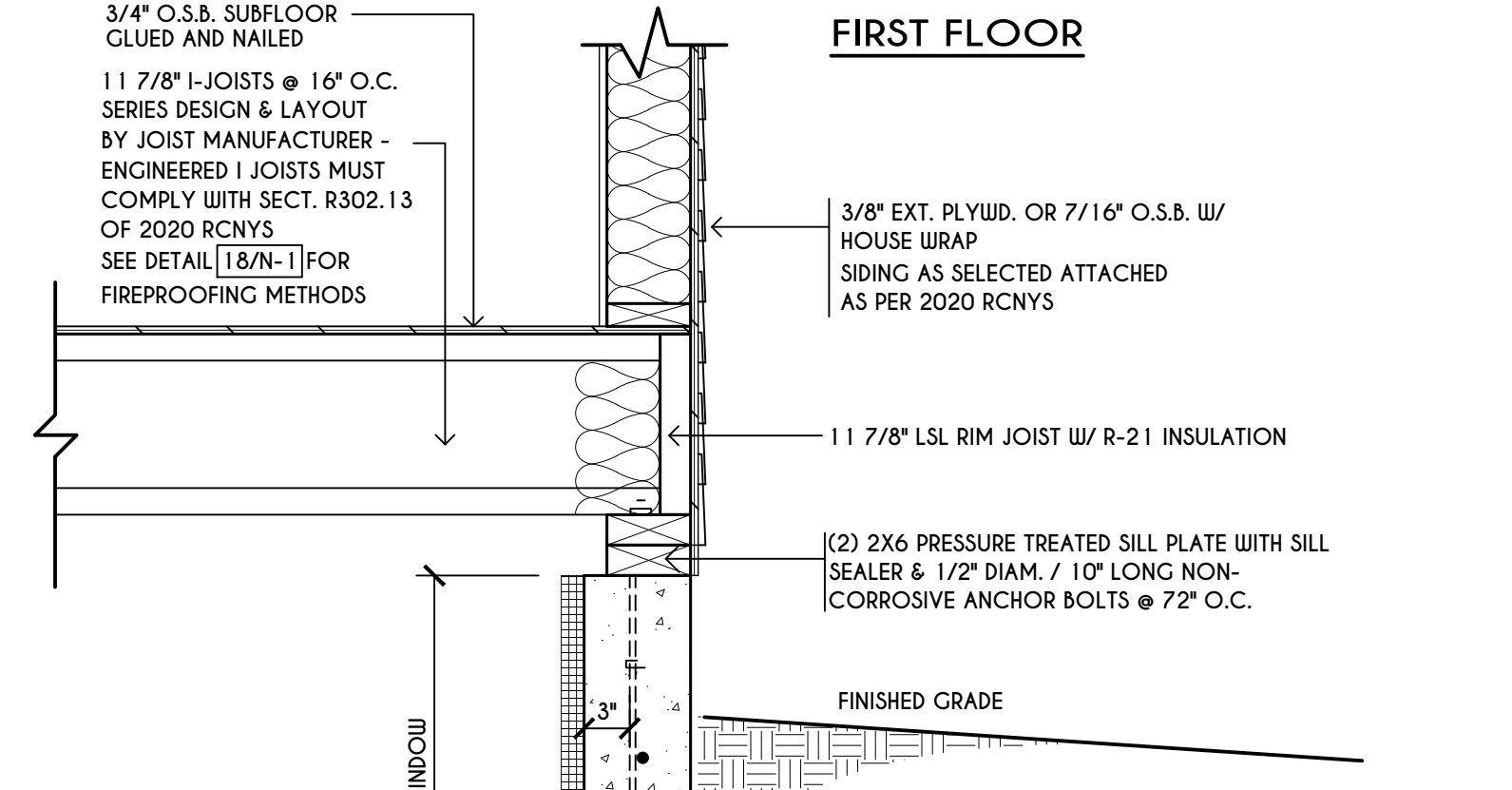
**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" - PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

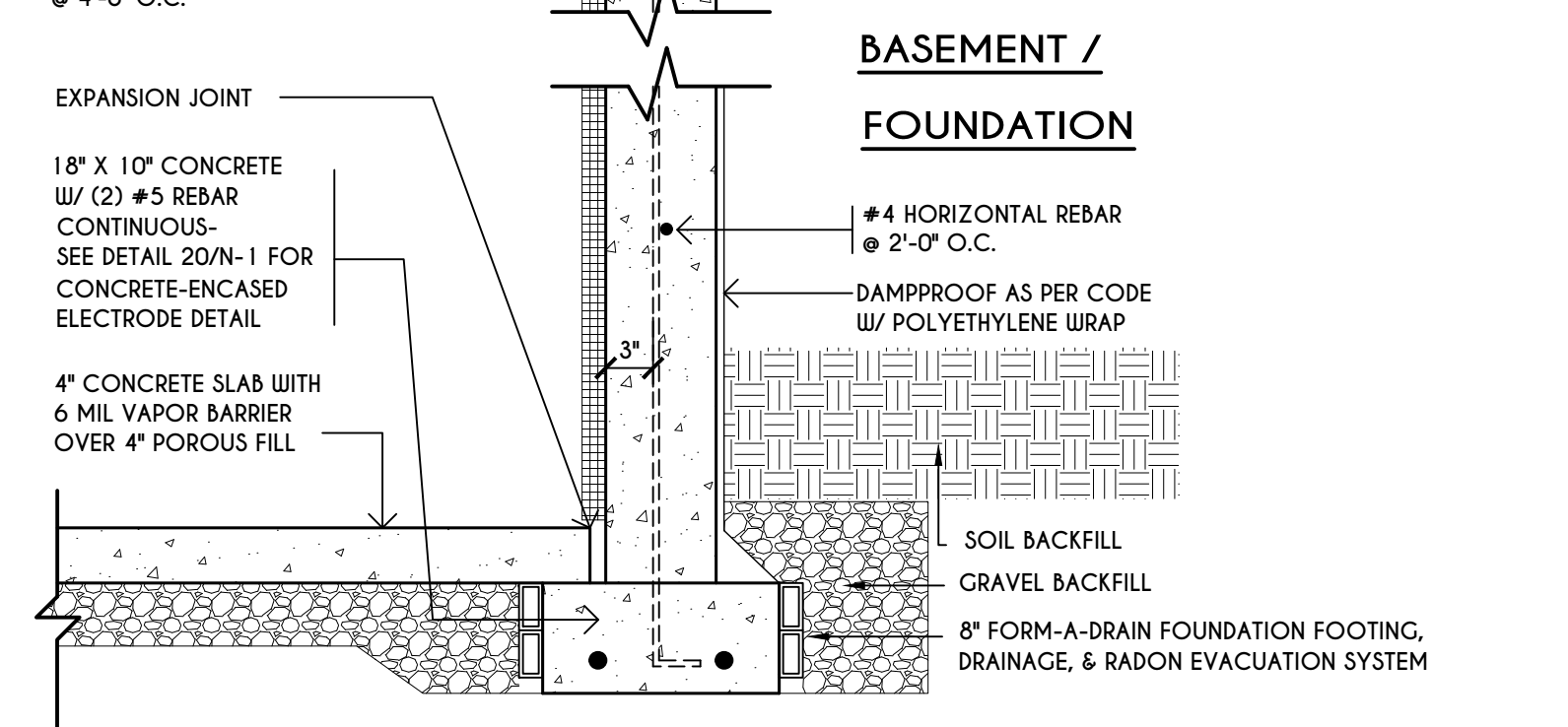
**TRUSS EAVE CONSTRUCTION**



**FIRST FLOOR**



**BASEMENT / FOUNDATION**



**TYPICAL WALL SECTION**

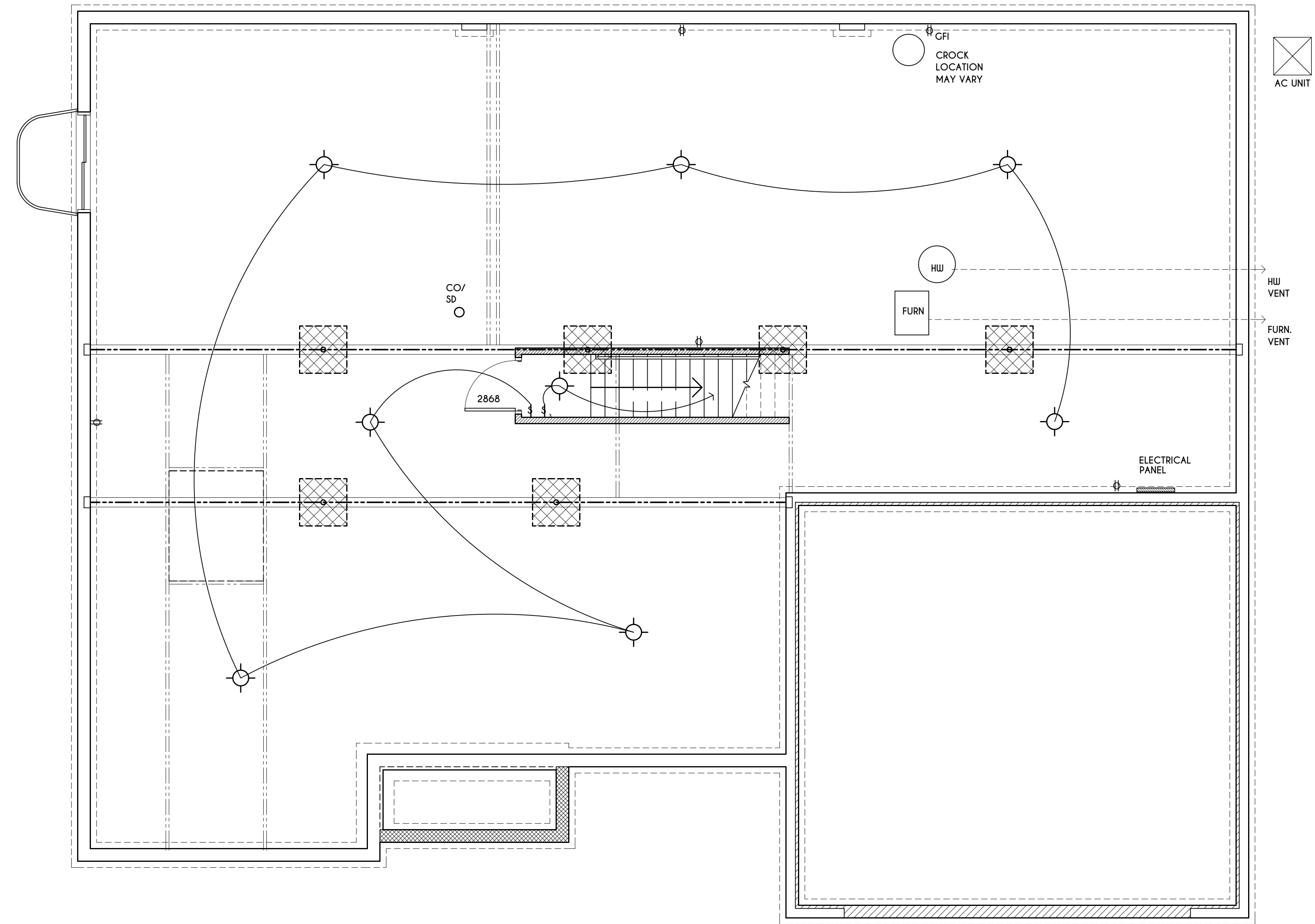
SCALE: 1" = 1'-0"

**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS



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## BASEMENT ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

PIR	= PASSIVE INFRARED	⎓	SINGLE SWITCH CONNECT TO LIGHT
CATV	= CABLE TV	⎓⎓	TWO SWITCHES CONNECT TO ONE LIGHT
DATA	= CAT V / INTERNET	⎓⎓⎓	THREE SWITCHES CONNECT TO ONE LIGHT
KP	= KEY PAD	○	LIGHT
DC	= DOOR CONTACT	○	RECESSED LIGHT
CO	= CARBON MONOXIDE DET.	⊕	DUPLEX ( 2 OUTLET UNIT)
SD	= SMOKE DETECTOR	⊕	EXTERIOR DUPLEX ( 2 OUTLET UNIT)
SP	= SPEAKER	⊕	FLOURESCENT LIGHT IN CLOSET
VC	= VOLUMN CONTROL	⊕	
⊕	= DOOR CHIME		
⊕	= BATHROOM FAN / LIGHT		

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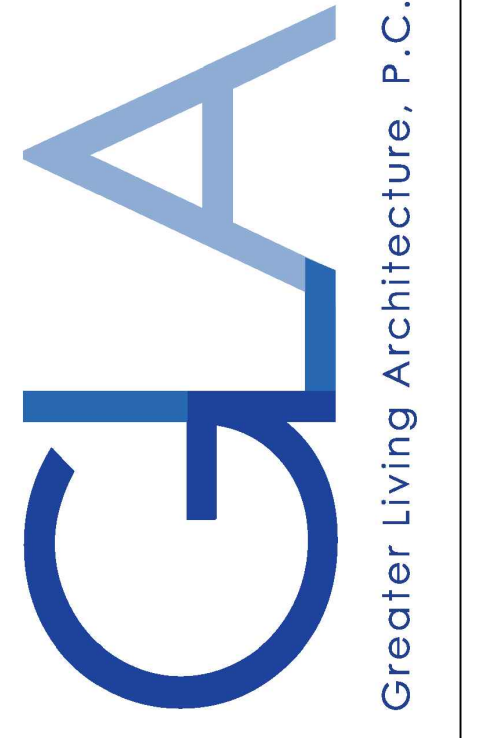
CLIENT/LOCATION:  
 LOT 11  
 COVENTRY RIDGE  
 PITTSFORD, NY

BUILDER:  
 COVENTRY RIDGE  
 BUILDING CORP.

FOUNDATION PLAN

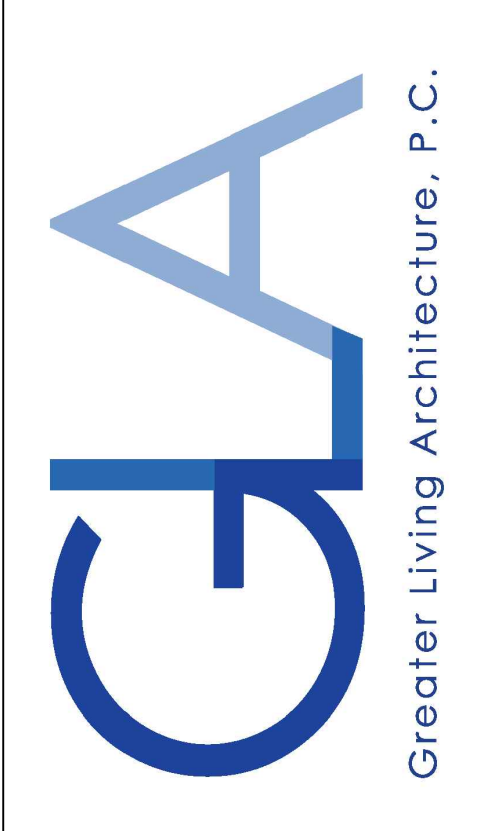
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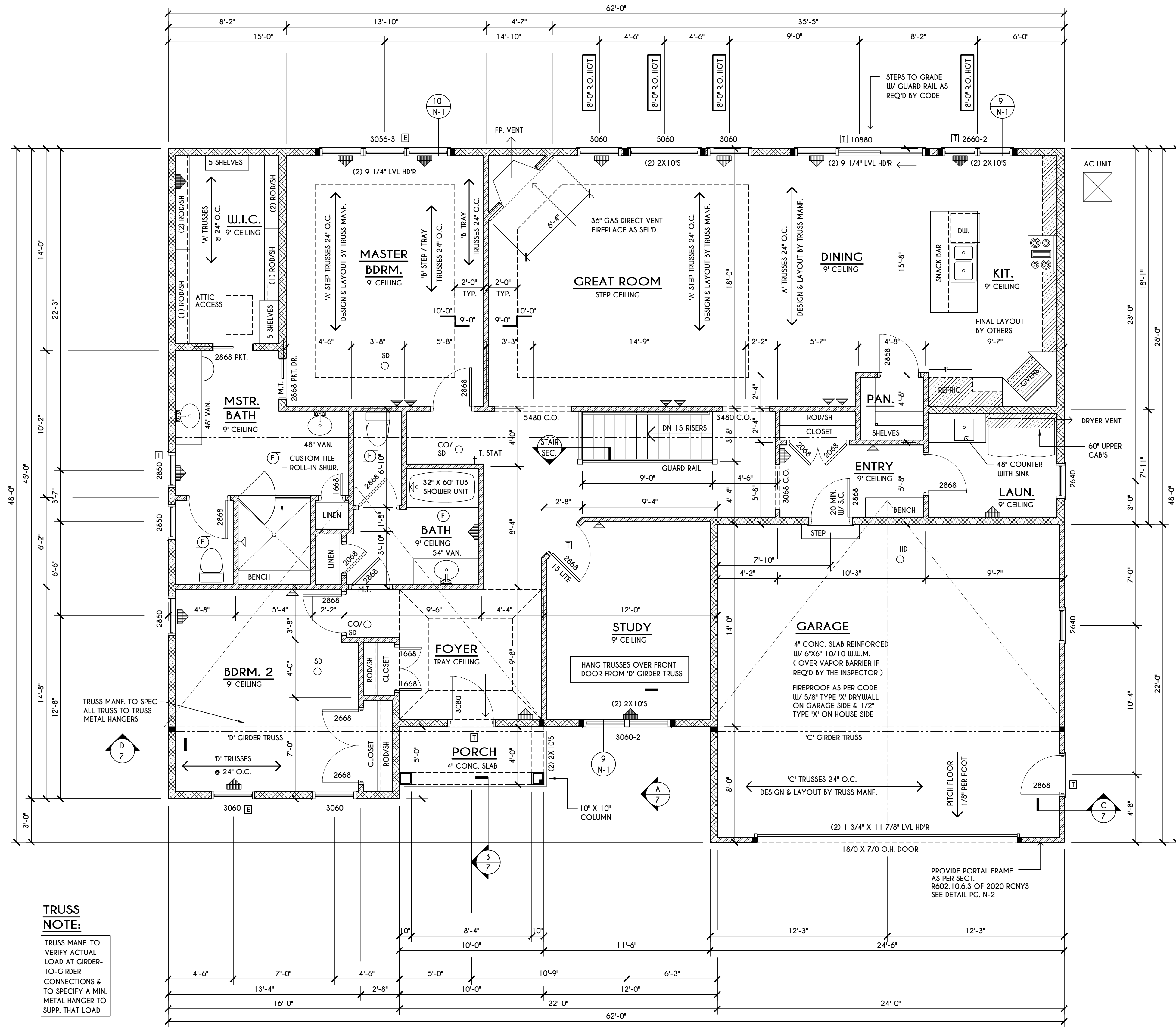
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 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FIRST FLOOR PLAN**

**GLA PLAN 2224 R**

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scale: AS NOTED	date: 8 / 20
PROJECT: 2551 F	sheet: 5 7



**TRUSS NOTE:**  
 TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD

**FRAMING LEGEND:**

	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2x4 STUDS @ 16" O.C.
	2x6 STUDS @ 16" O.C.

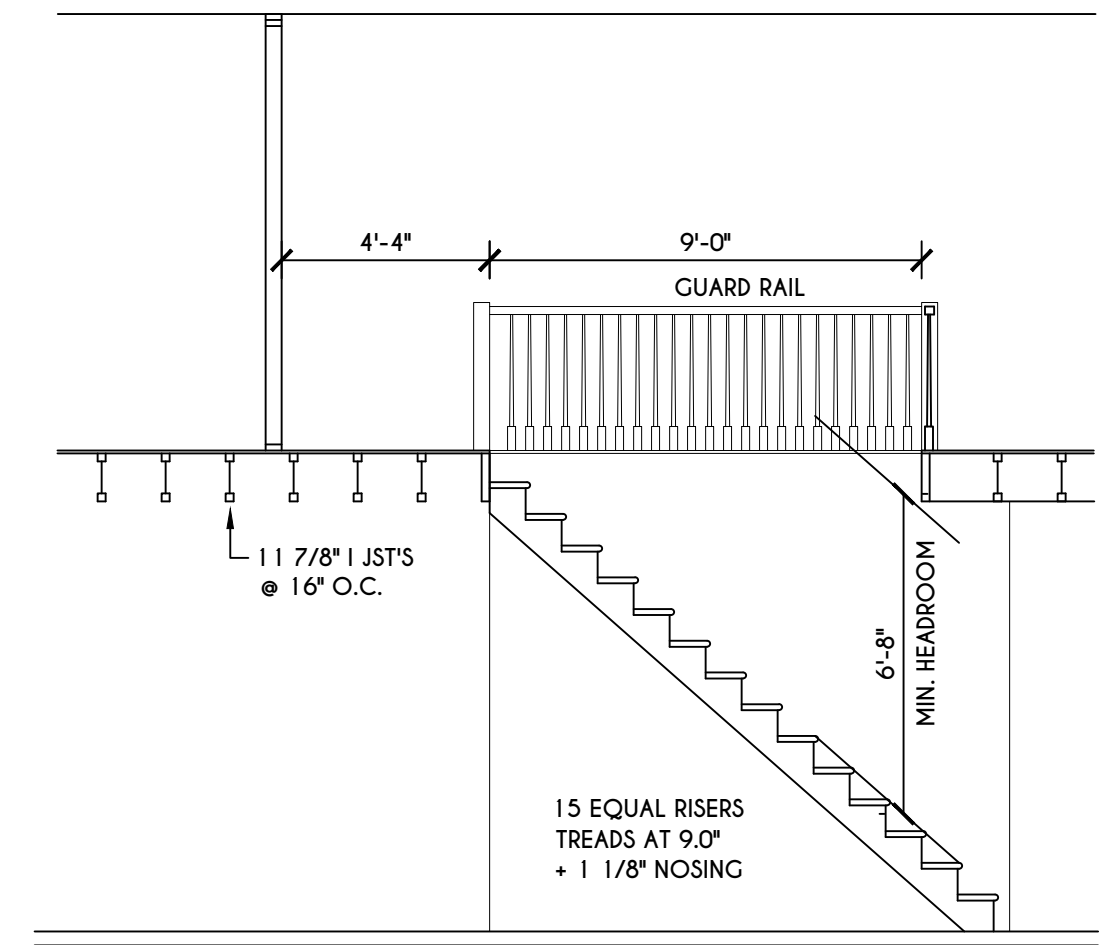
**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" 2224 SQ. FT.

**NOTES:** FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD), CARBON MONOXIDE (CO), & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

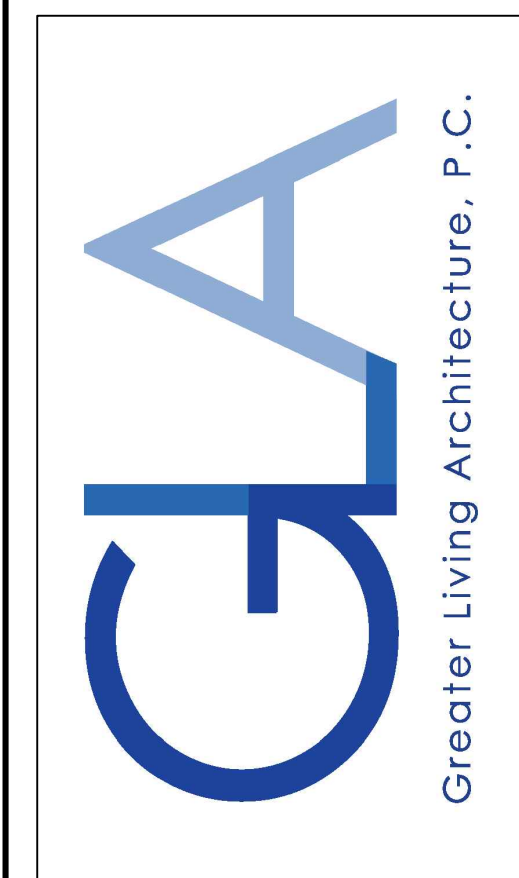
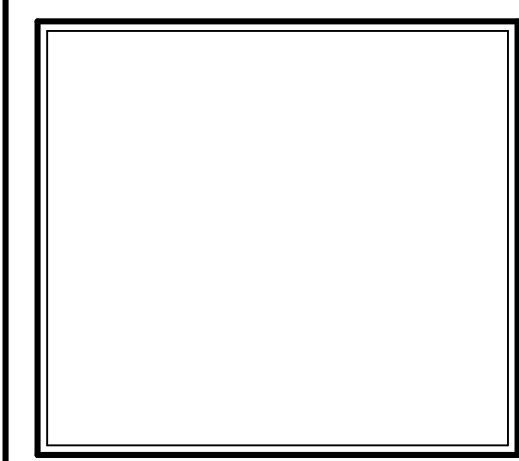


**STAIR SECTION**

SCALE: 1/4" = 1'-0"



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**CLIENT/LOCATION:**

LOT 11  
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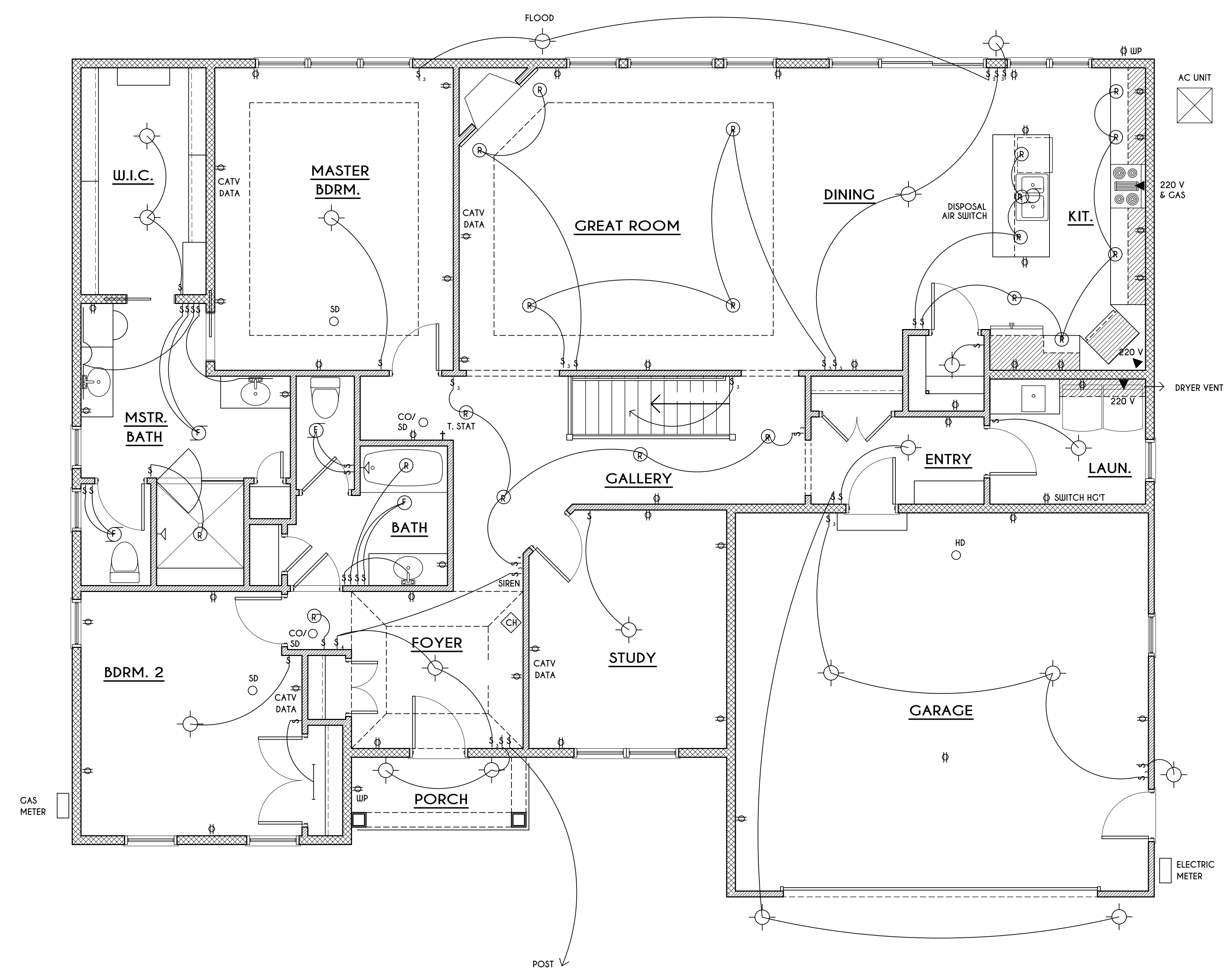
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**FIRST FLOOR PLAN**

**GLA PLAN 2224 R**

<b>drawn:</b> CDK	<b>checked:</b> CSB
<b>scale:</b> AS NOTED	<b>date:</b> 8 / 20
<b>PROJECT:</b> 2551 F	<b>sheet:</b> 6 7



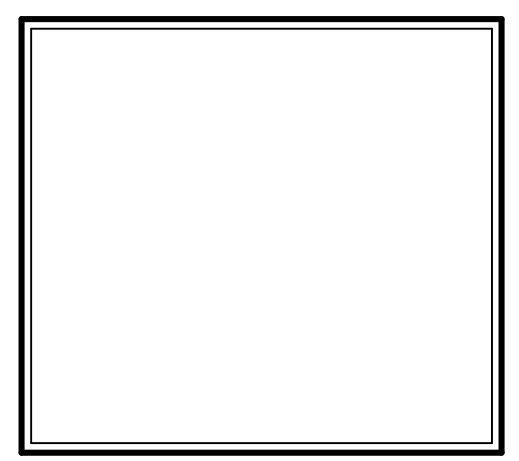
**FIRST FLOOR ELECTRICAL LAYOUT**

SCALE: 1/4" = 1'-0"

PIR = PASSIVE INFRARED	§	SINGLE SWITCH CONNECT TO LIGHT
CATV = CABLE TV	§§	TWO SWITCHES CONNECT TO ONE LIGHT
DATA = CAT V / INTERNET	§§§	THREE SWITCHES CONNECT TO ONE LIGHT
KP = KEY PAD	○	LIGHT
DC = DOOR CONTACT	○(R)	RECESSED LIGHT
CO = CARBON MONOXIDE DET.	⊕	DUPLEX ( 2 OUTLET UNIT)
SD = SMOKE DETECTOR	⊕	EXTERIOR DUPLEX ( 2 OUTLET UNIT)
SP = SPEAKER	⊕	FLOURESCENT LIGHT IN CLOSET
VC = VOLUMN CONTROL	⊕	
CH = DOOR CHIME		
F = BATHROOM FAN / LIGHT		



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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

LOT 11  
 COVENTRY RIDGE  
 PITTSFORD, NY

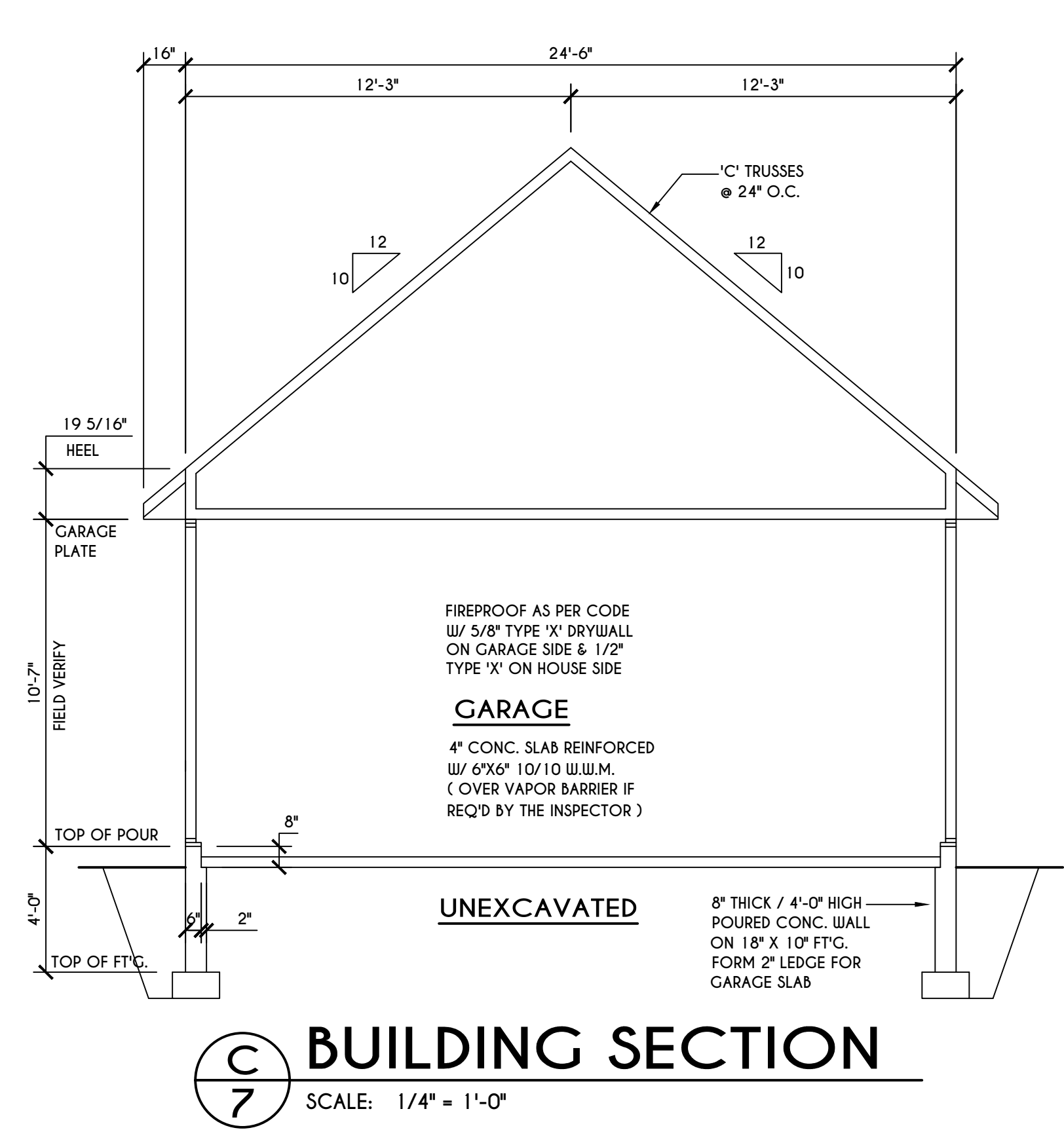
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

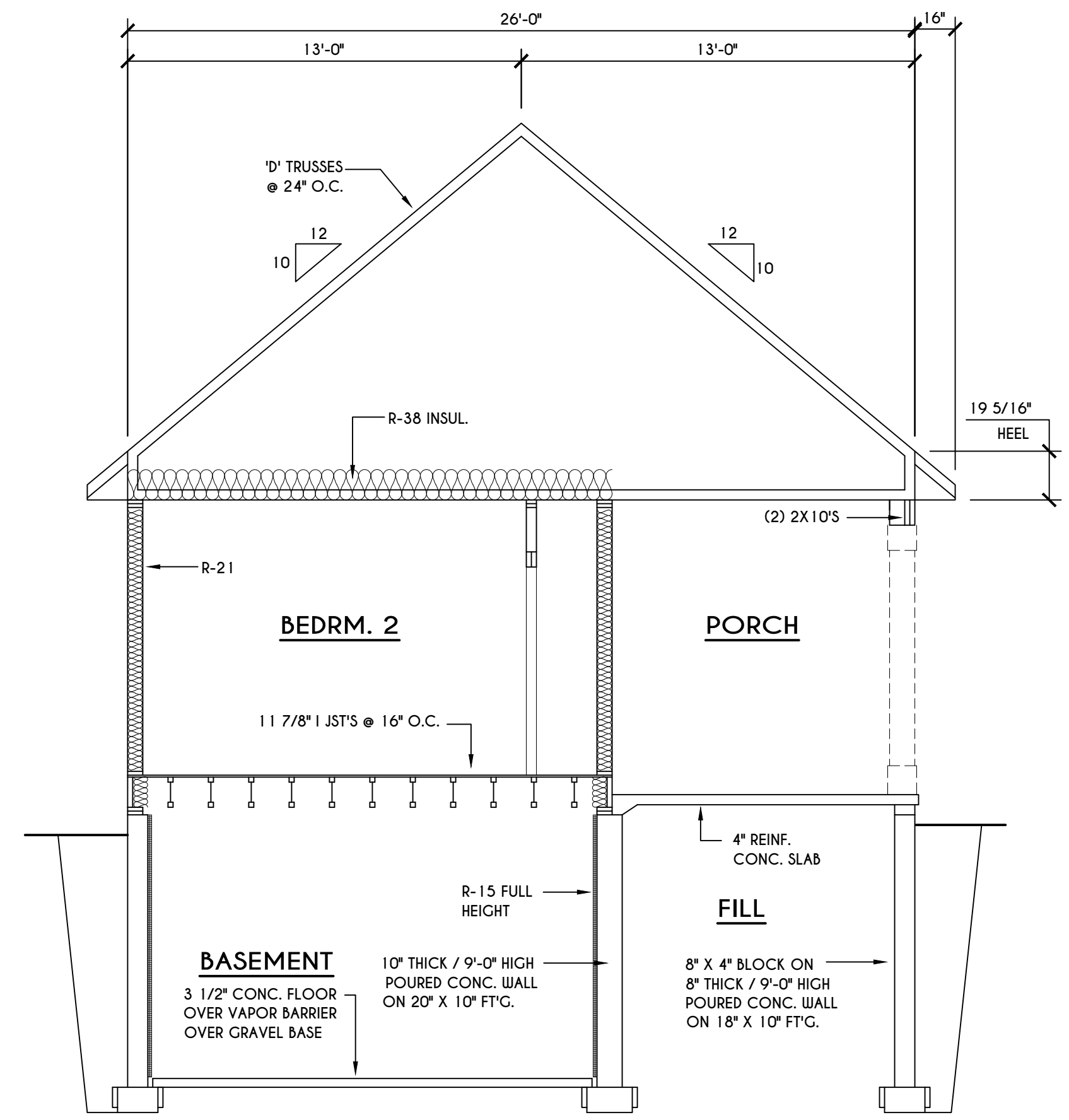
**SECTIONS**

GLA PLAN 2224 R

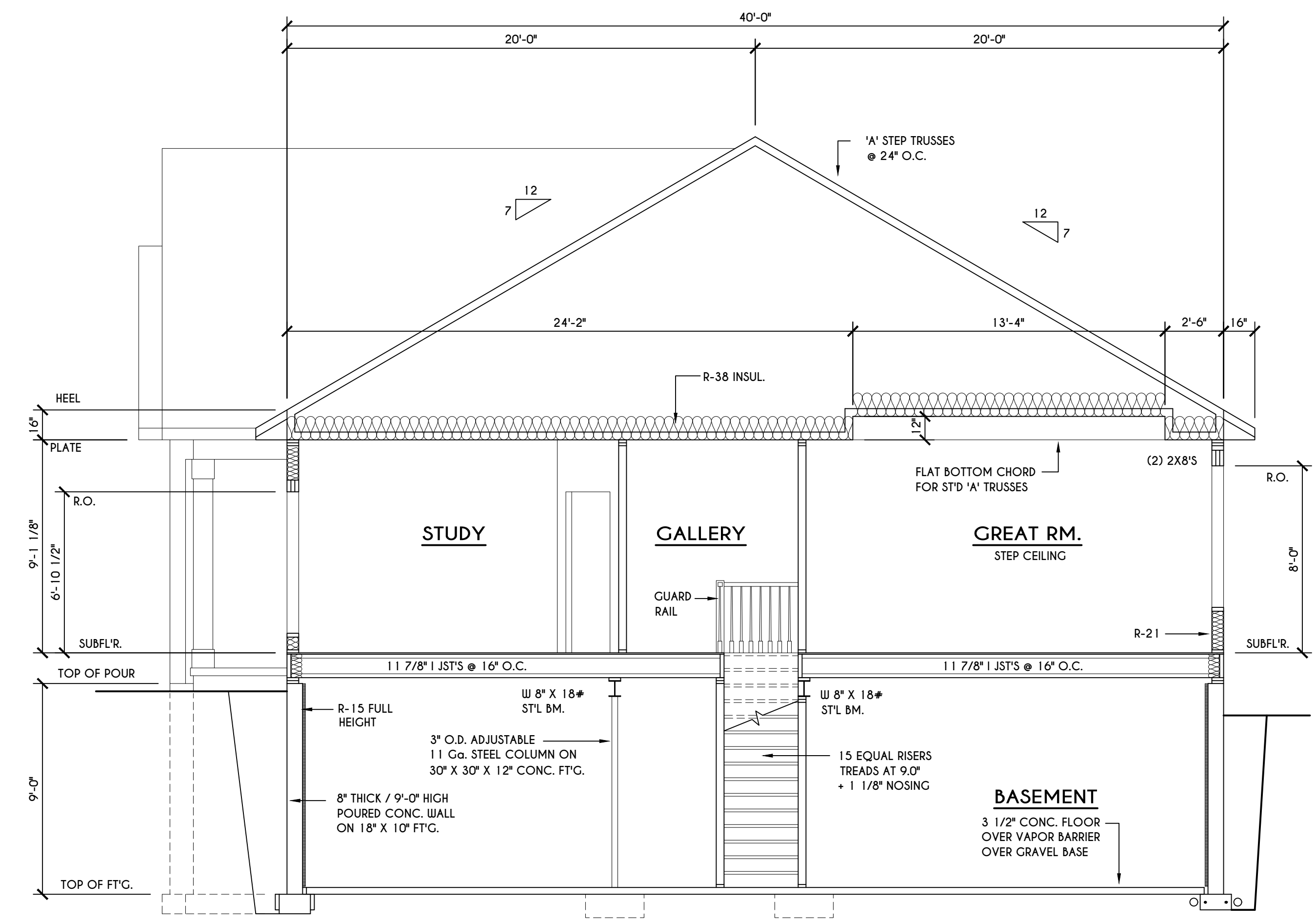
drawn: CDK	checked: CSB
scale: AS NOTED	date: 8 / 20
PROJECT: 2551 F	sheet: 7 / 7



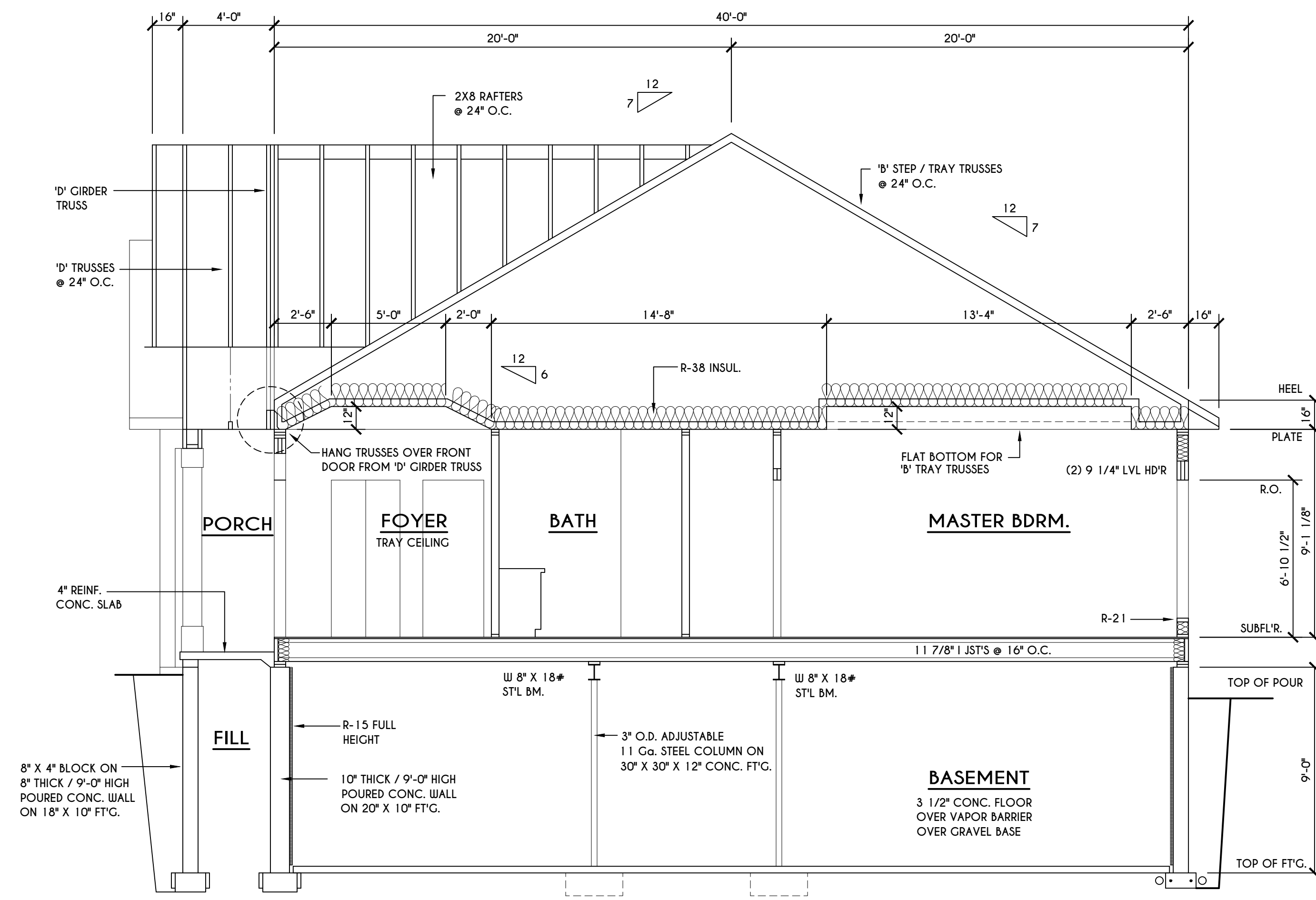
**C**  
**7**  
**BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**D**  
**7**  
**BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"

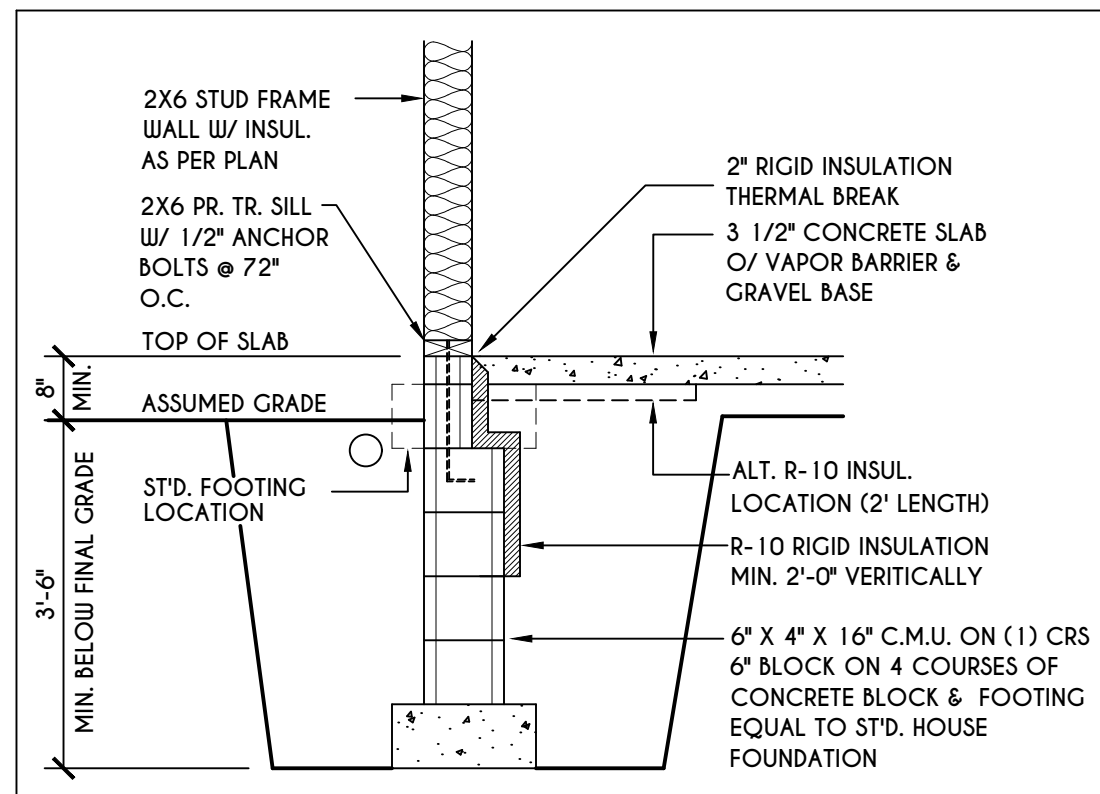


**A**  
**7**  
**BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"

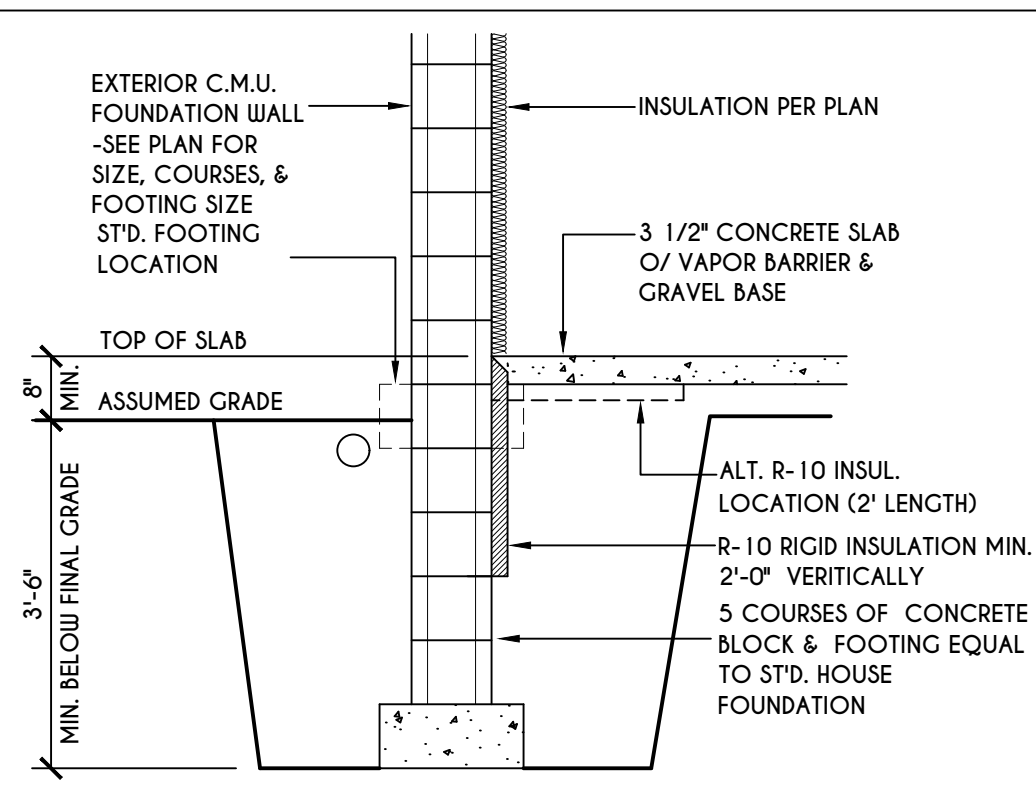


**B**  
**7**  
**BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"

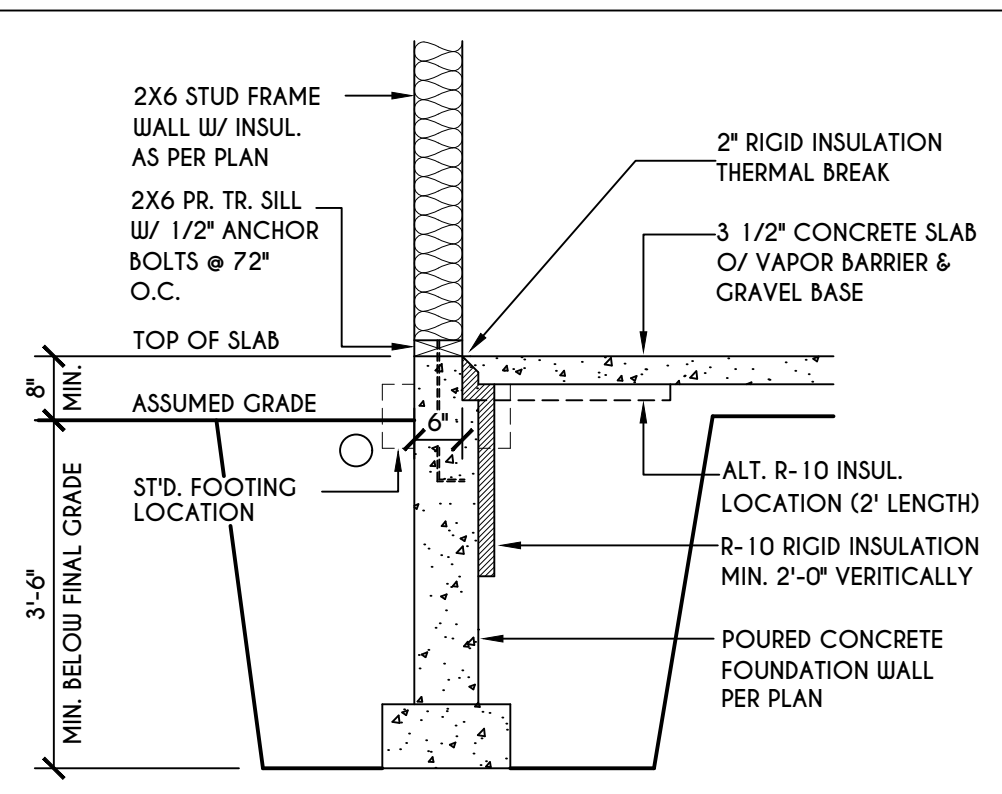




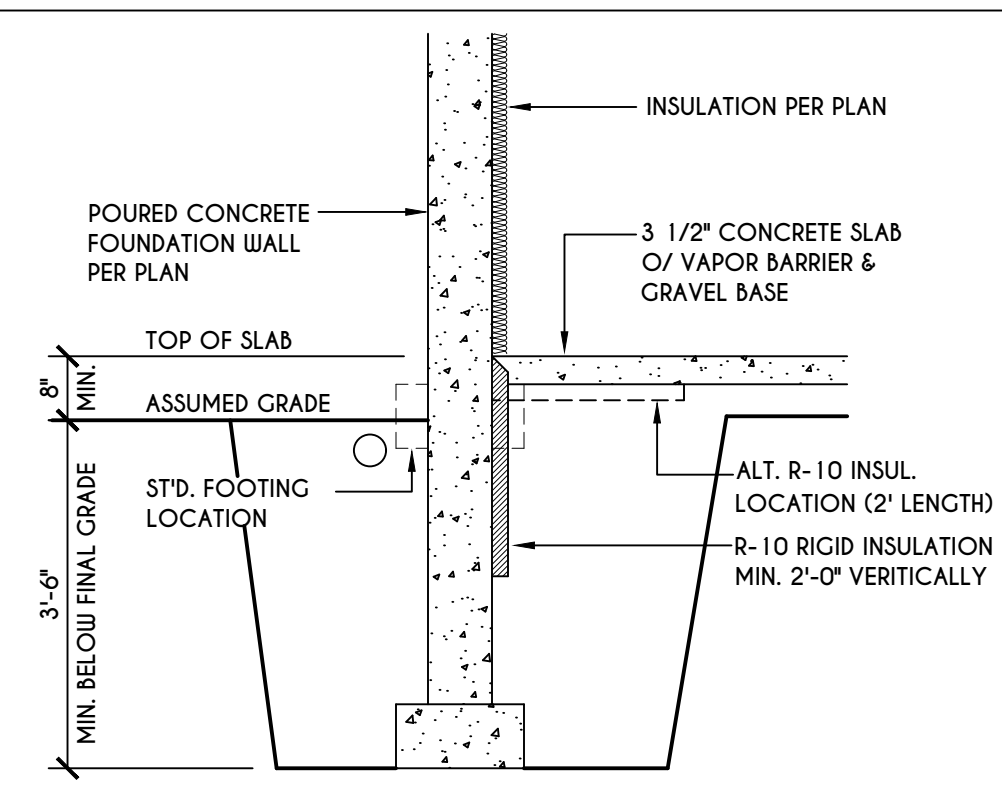
**1**  
**N-1**  
2X6 FRAME WALL ON C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



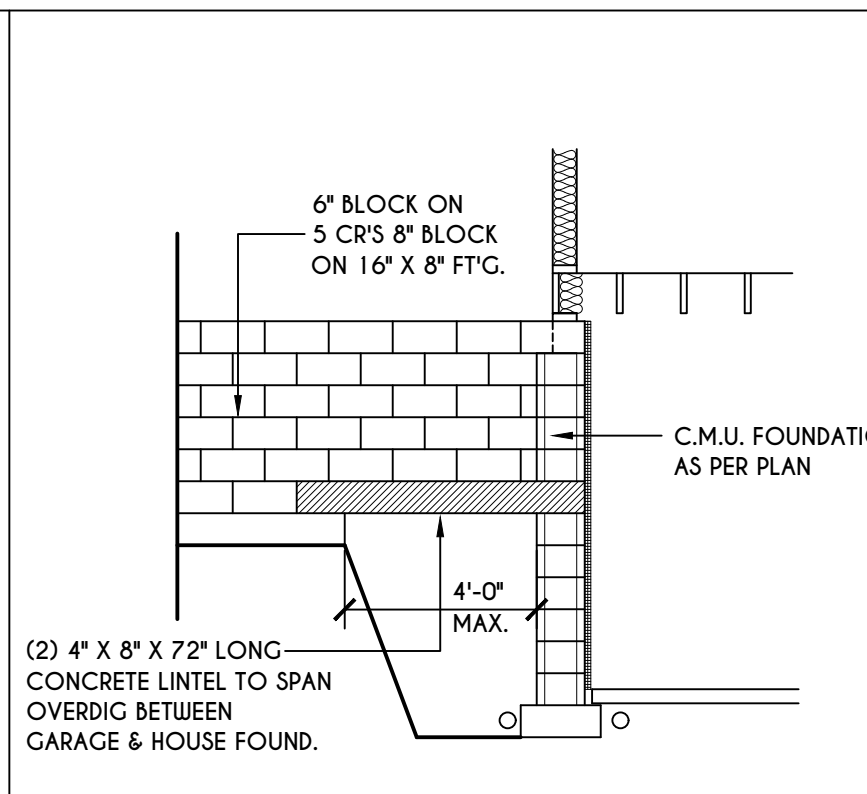
**2**  
**N-1**  
C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



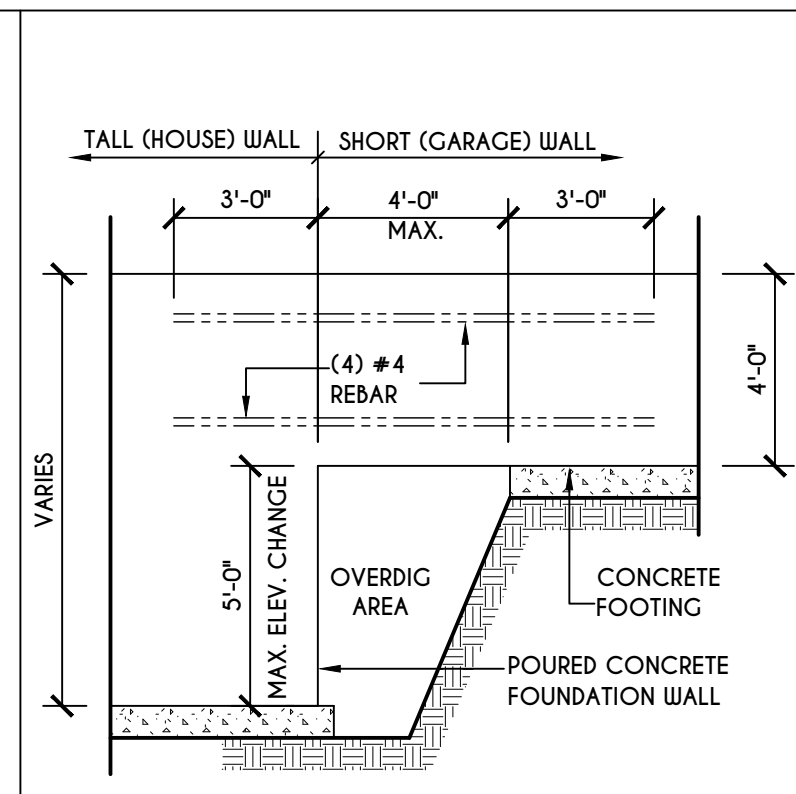
**3**  
**N-1**  
2X6 FRAME WALL ON POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



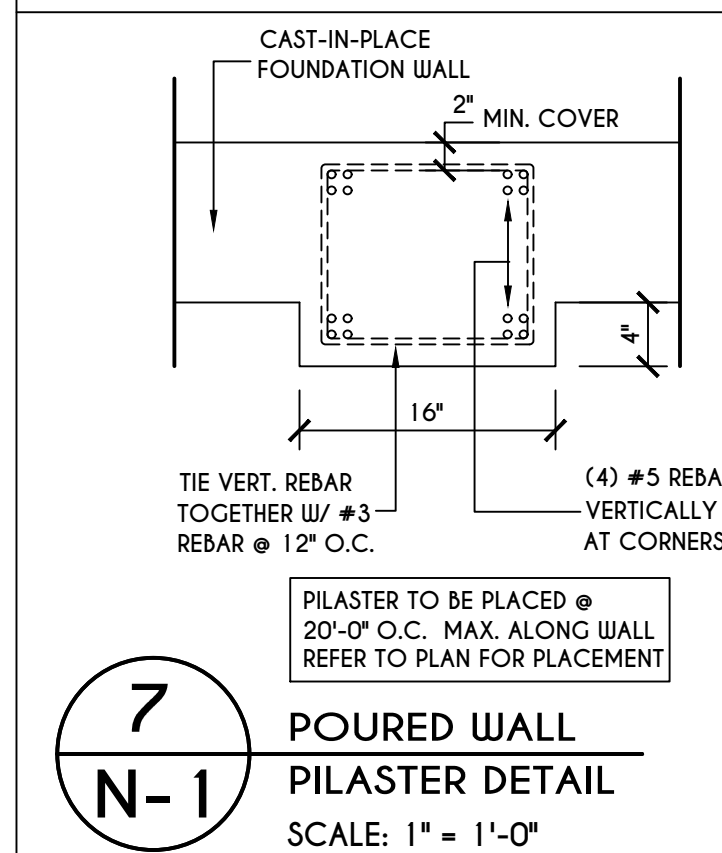
**4**  
**N-1**  
POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



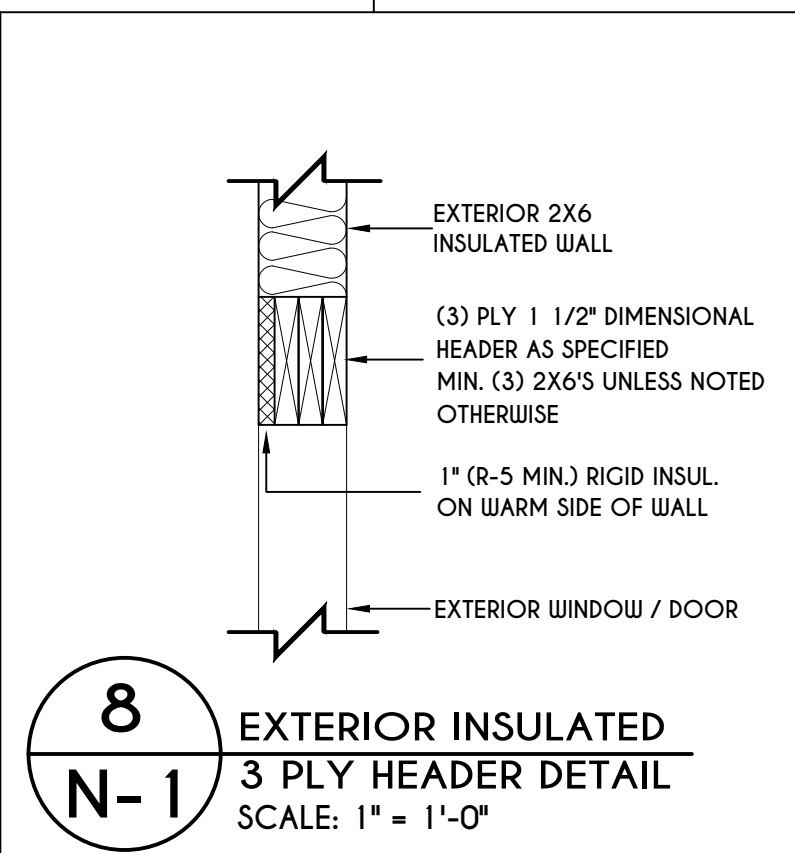
**5**  
**N-1**  
C.M.U. JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



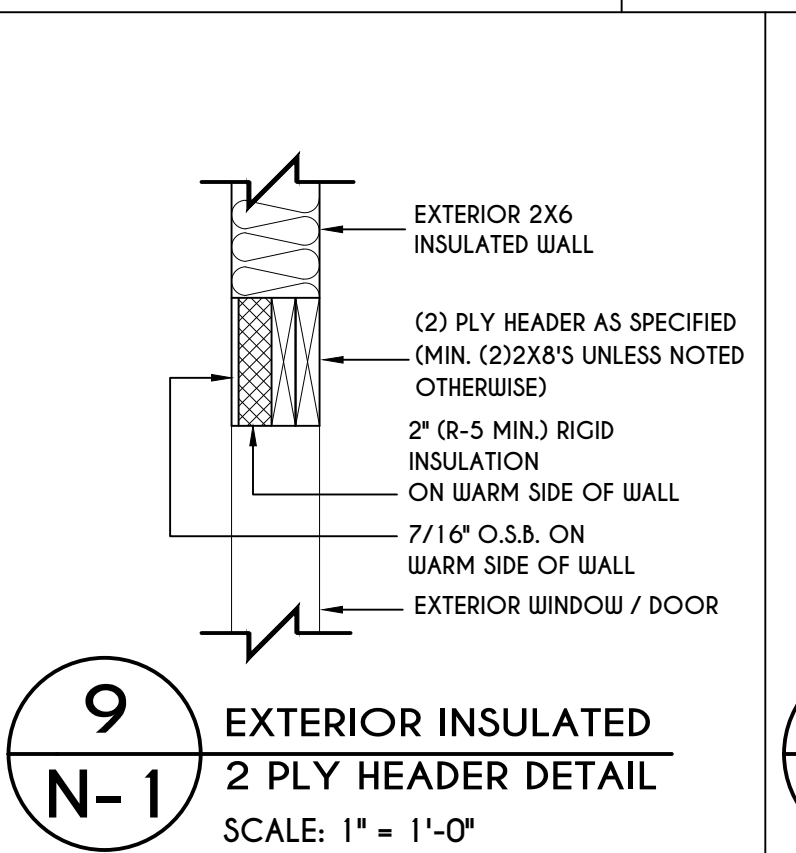
**6**  
**N-1**  
POURED WALL JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



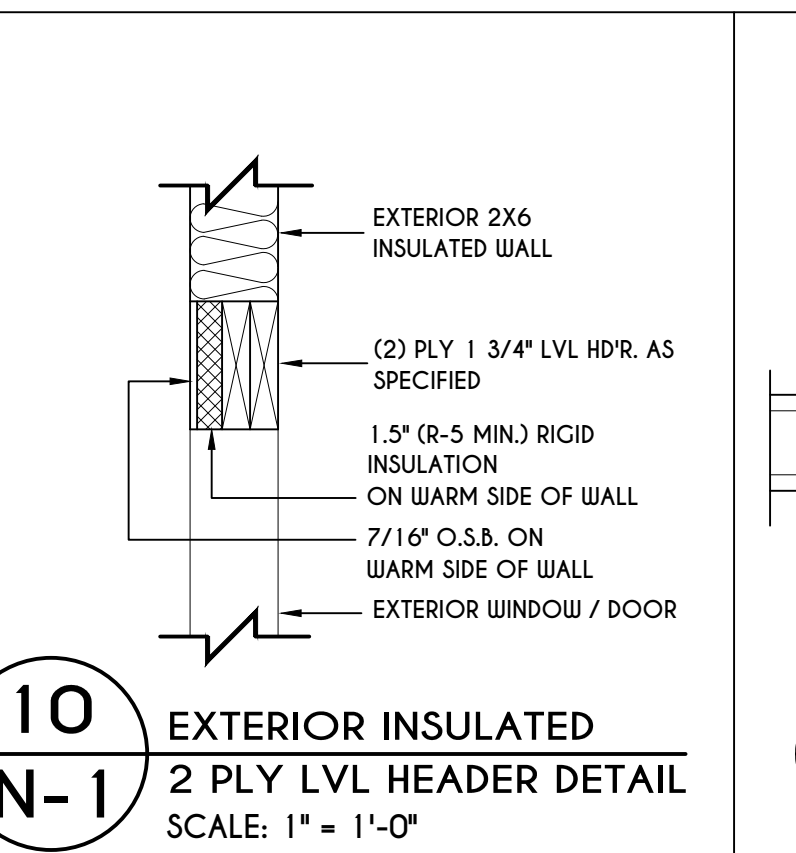
**7**  
**N-1**  
POURED WALL PILASTER DETAIL  
SCALE: 1" = 1'-0"



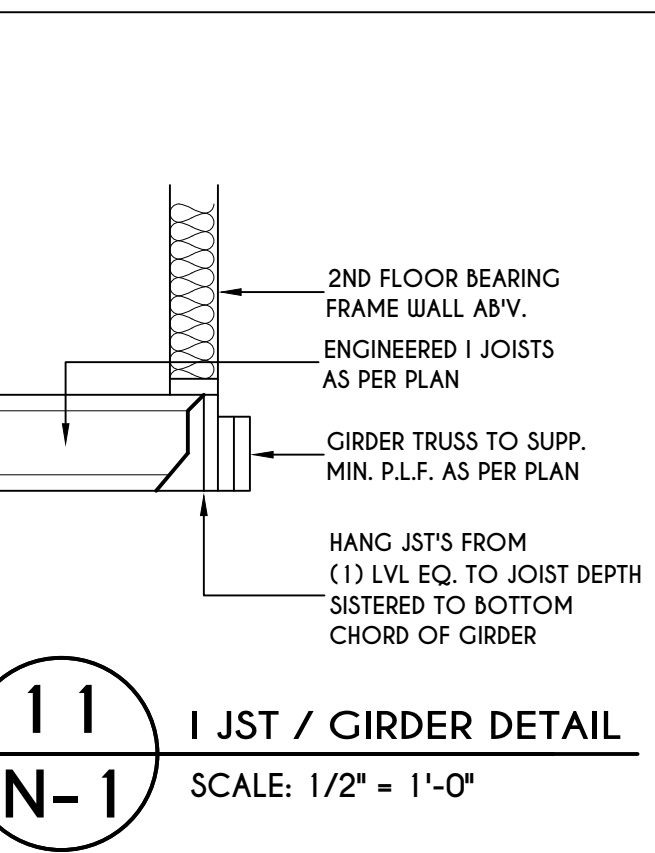
**8**  
**N-1**  
EXTERIOR INSULATED 3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



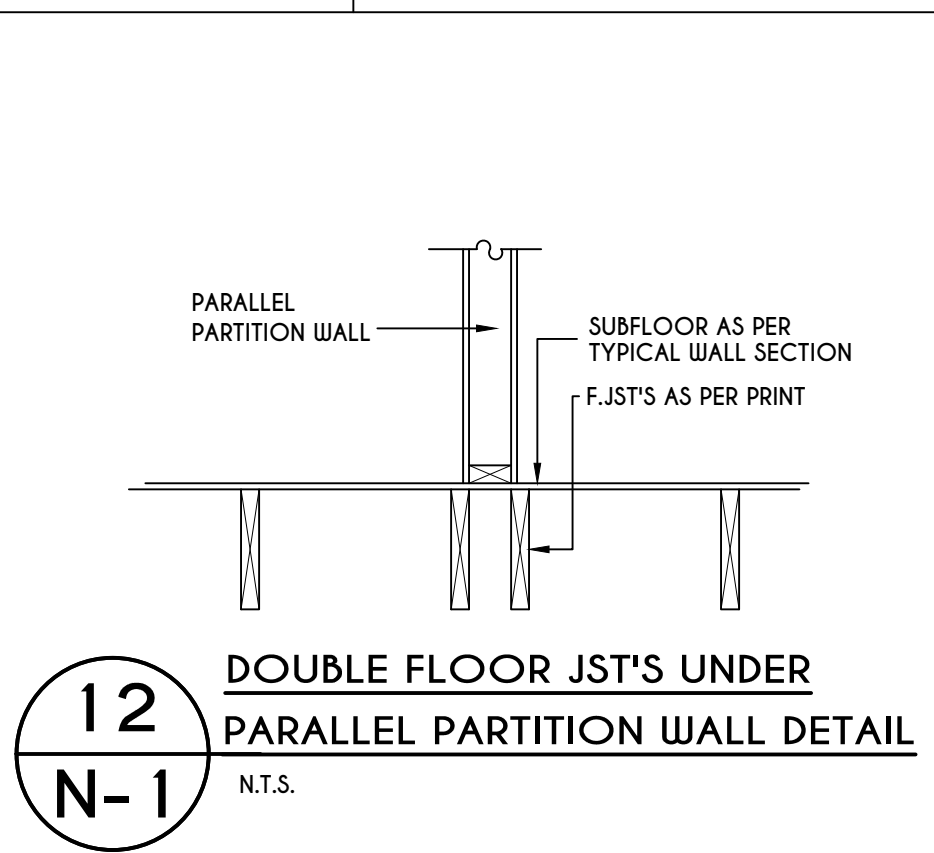
**9**  
**N-1**  
EXTERIOR INSULATED 2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



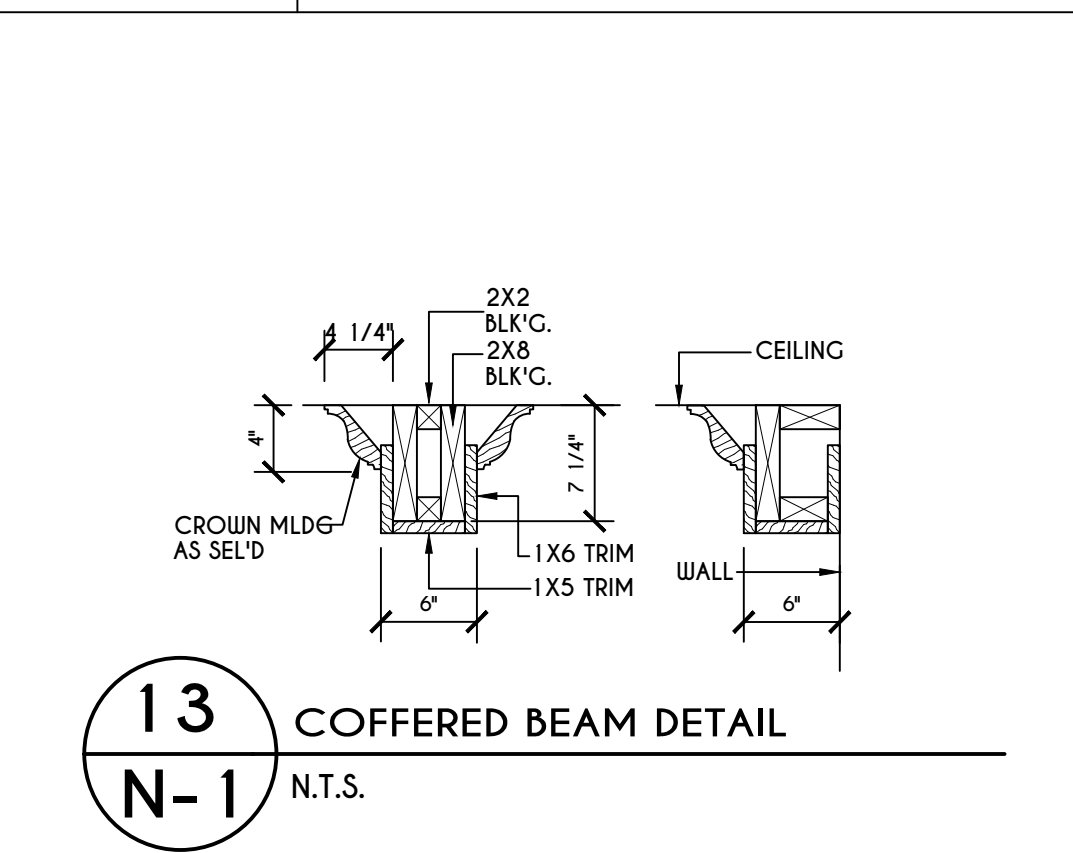
**10**  
**N-1**  
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



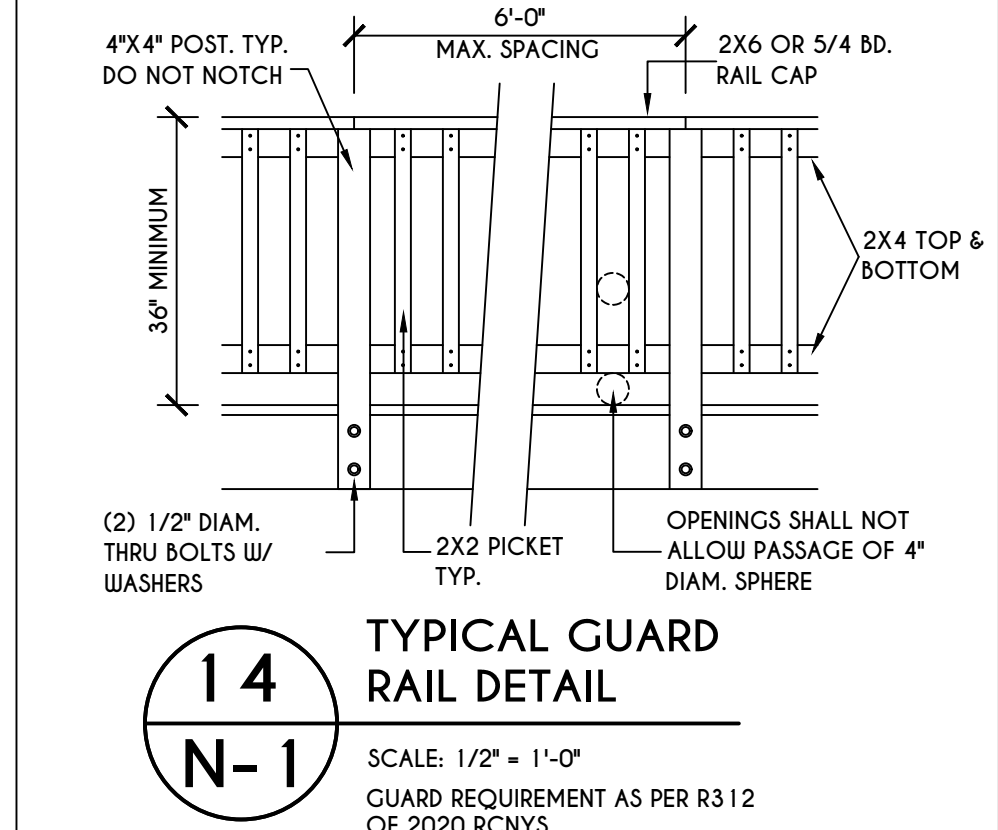
**11**  
**N-1**  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



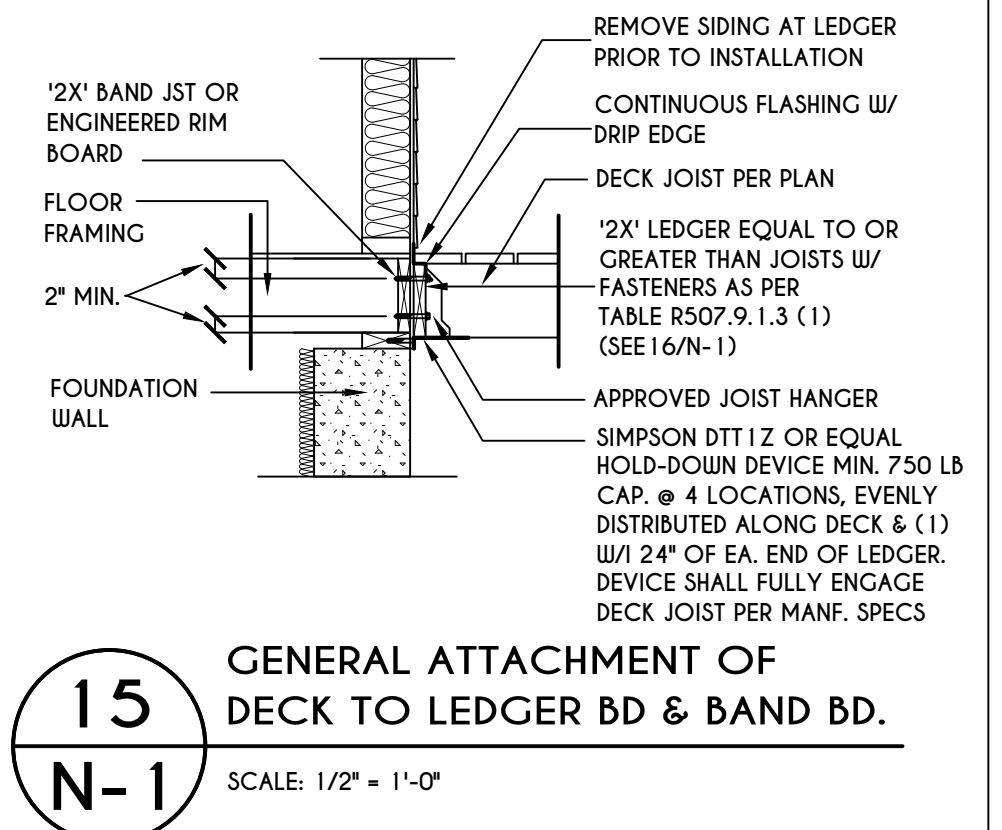
**12**  
**N-1**  
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL  
N.T.S.



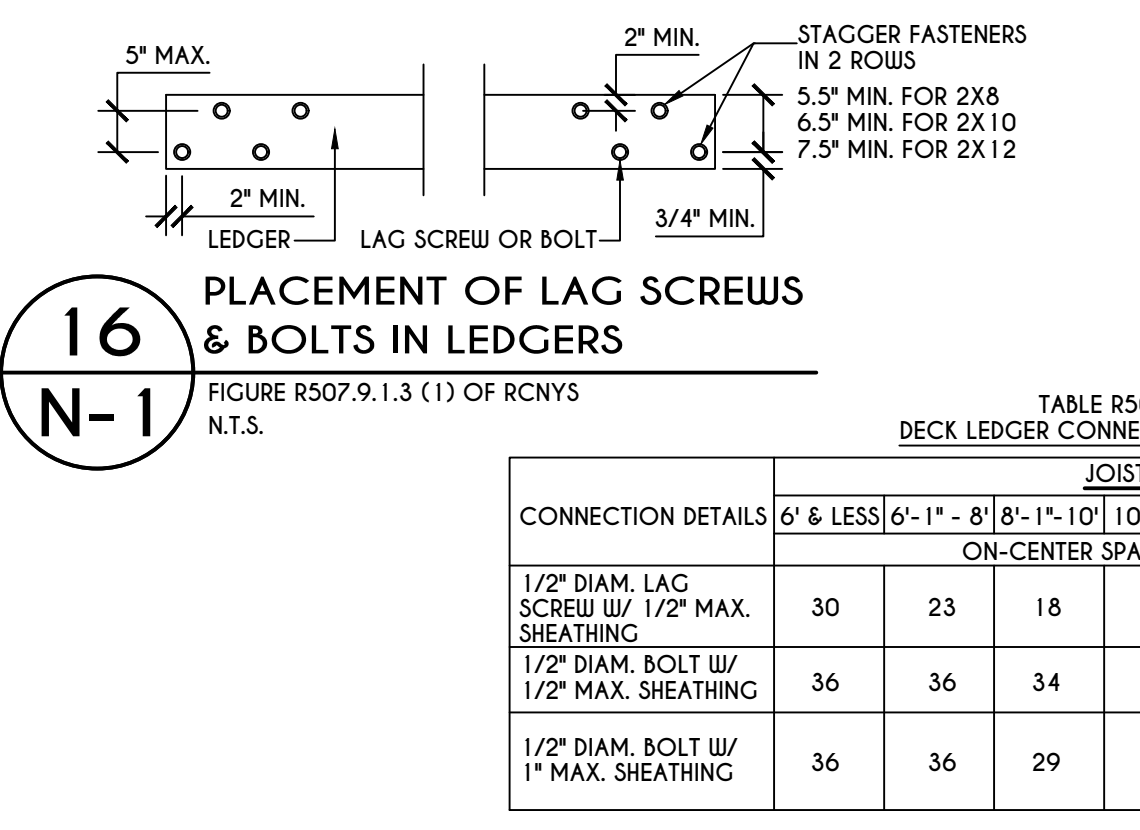
**13**  
**N-1**  
COFFERED BEAM DETAIL  
N.T.S.



**14**  
**N-1**  
TYPICAL GUARD RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



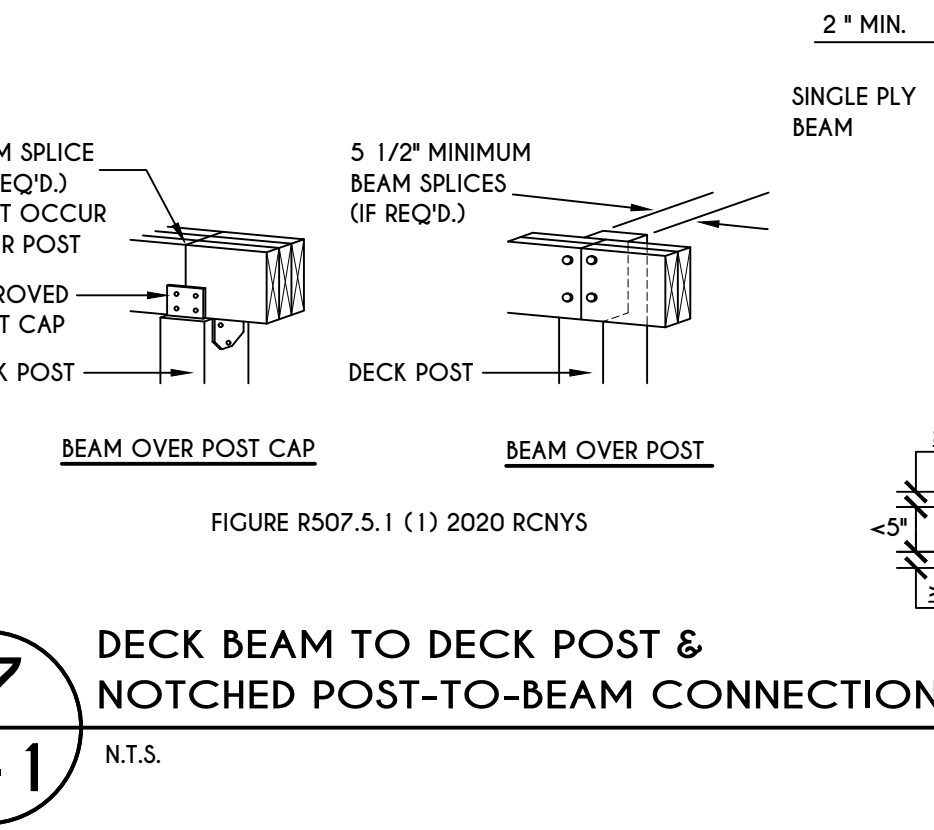
**15**  
**N-1**  
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



**16**  
**N-1**  
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS  
SCALE: 1/2" = 1'-0"

TABLE R507.9.1.3 (1) OF RCNYS  
DECK LEDGER CONNECTION TO BAND JOIST  
N.T.S.

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

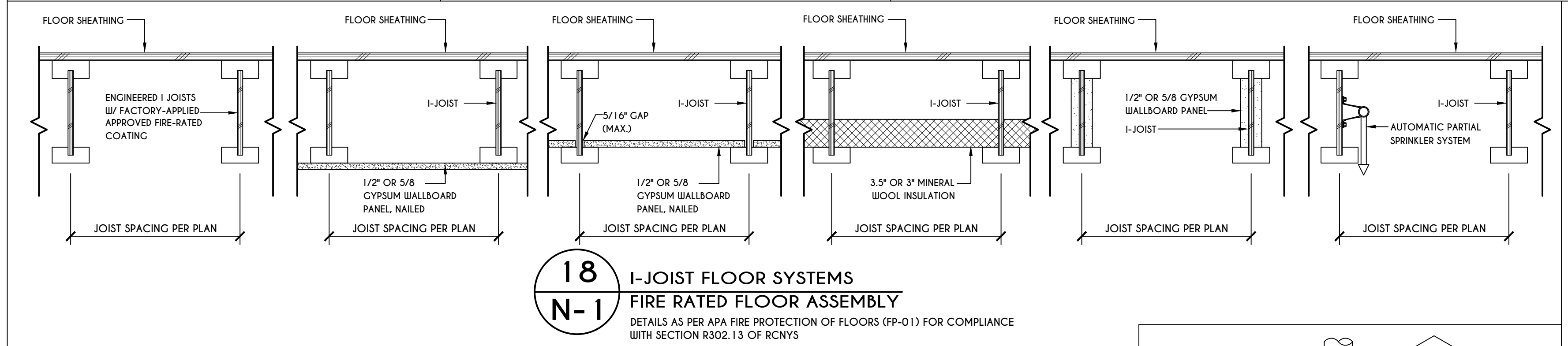


**17**  
**N-1**  
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION  
N.T.S.

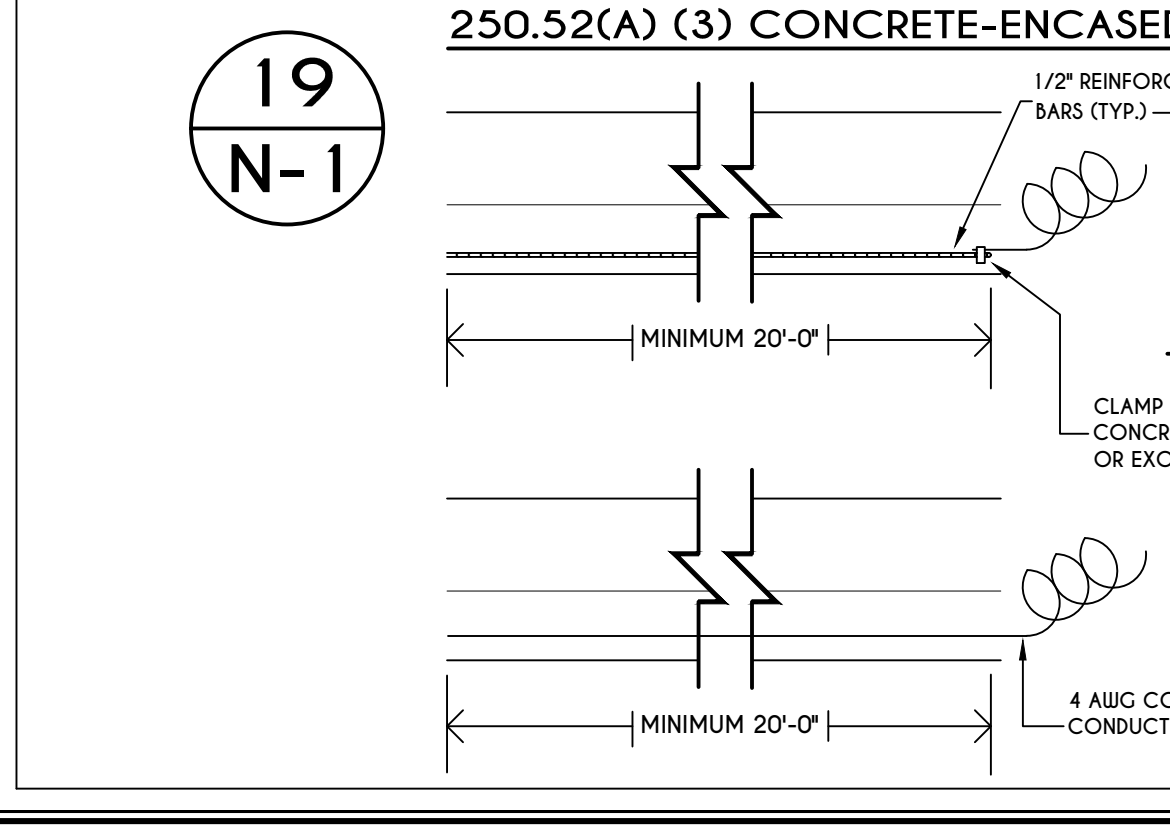
TABLE R507.4  
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT <sup>a,b</sup> (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

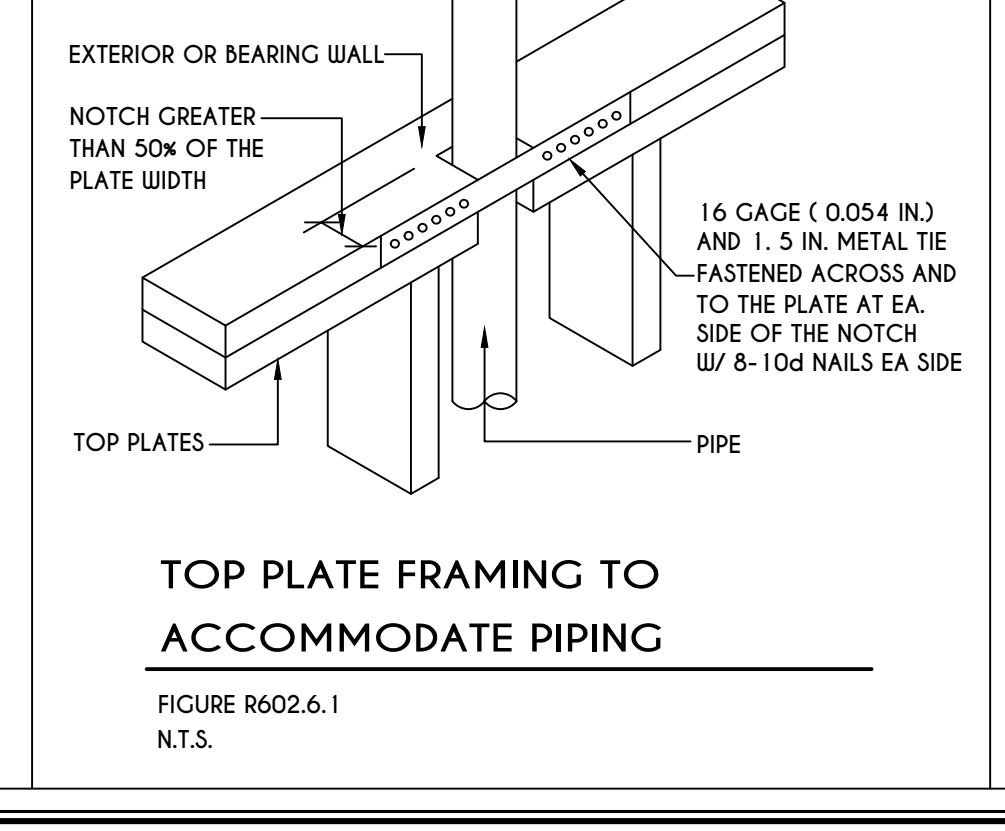
a. MEASURED TO UNDERSIDE OF BEAM  
b. BASED ON 40 psf LIVE LOAD  
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



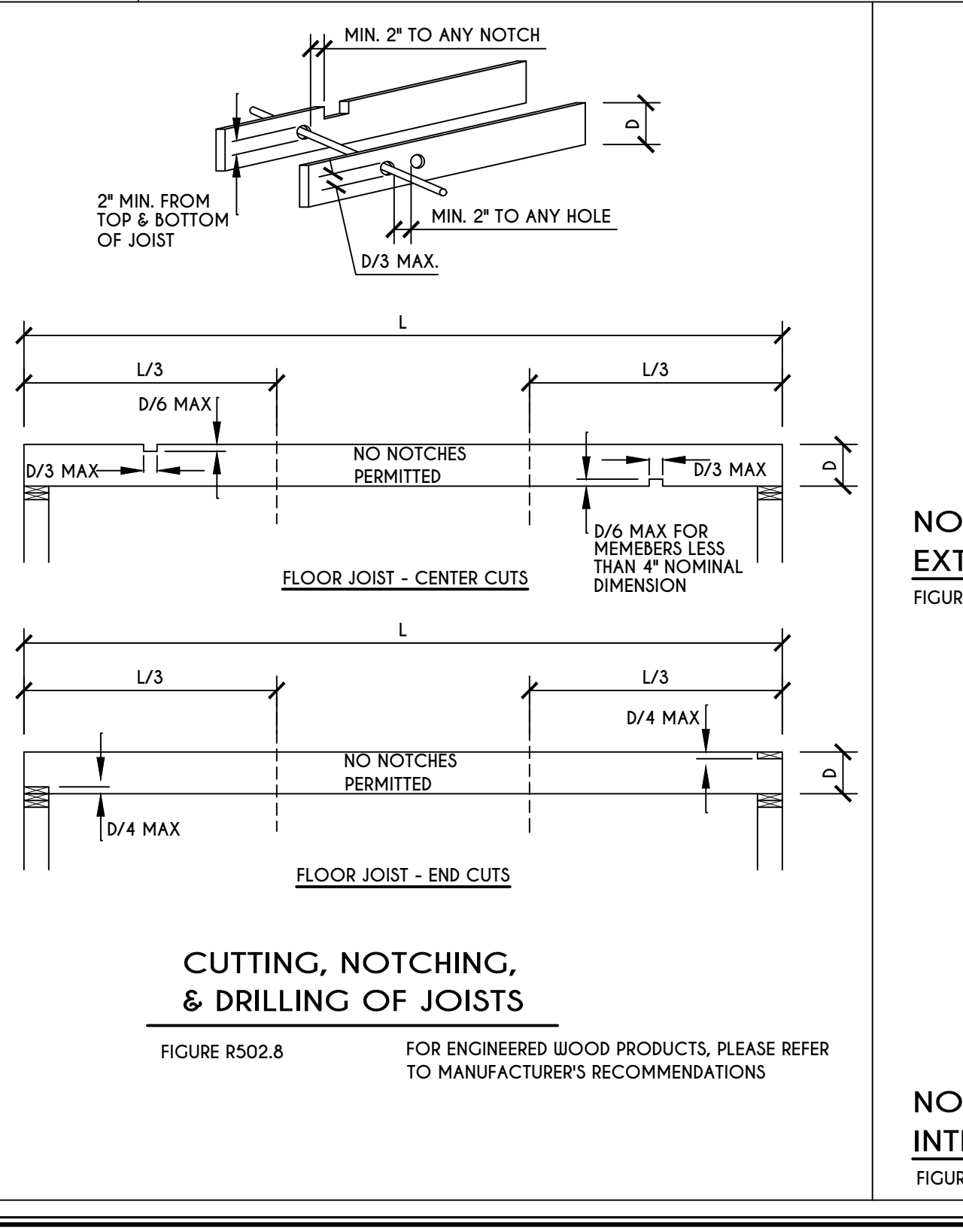
**18**  
**N-1**  
I-JOIST FLOOR SYSTEMS  
FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER AIA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



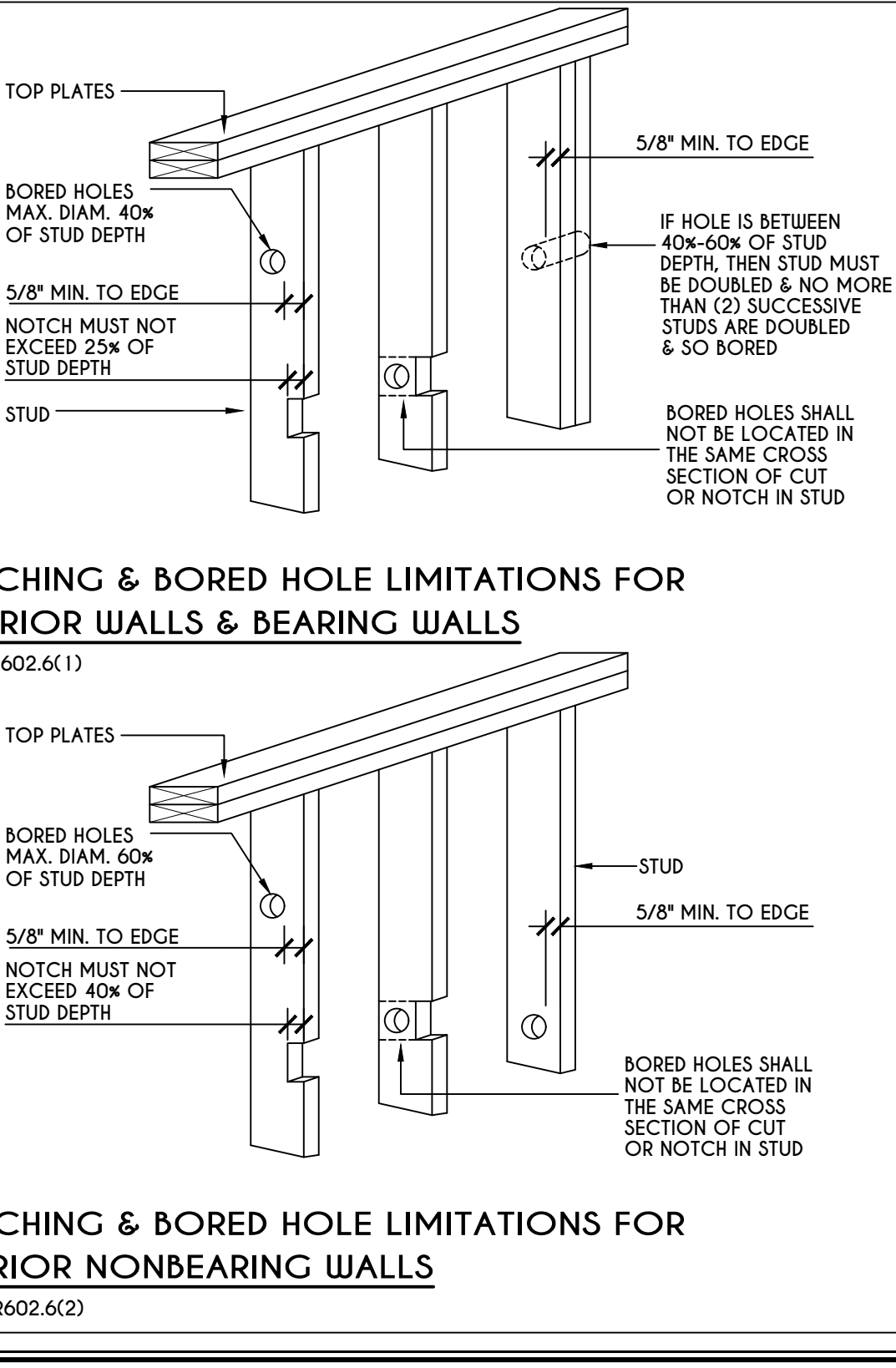
**19**  
**N-1**  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
SCALE: 1/2" = 1'-0"



**20**  
**N-1**  
TOP PLATE FRAMING TO ACCOMMODATE PIPING  
SCALE: 1/2" = 1'-0"

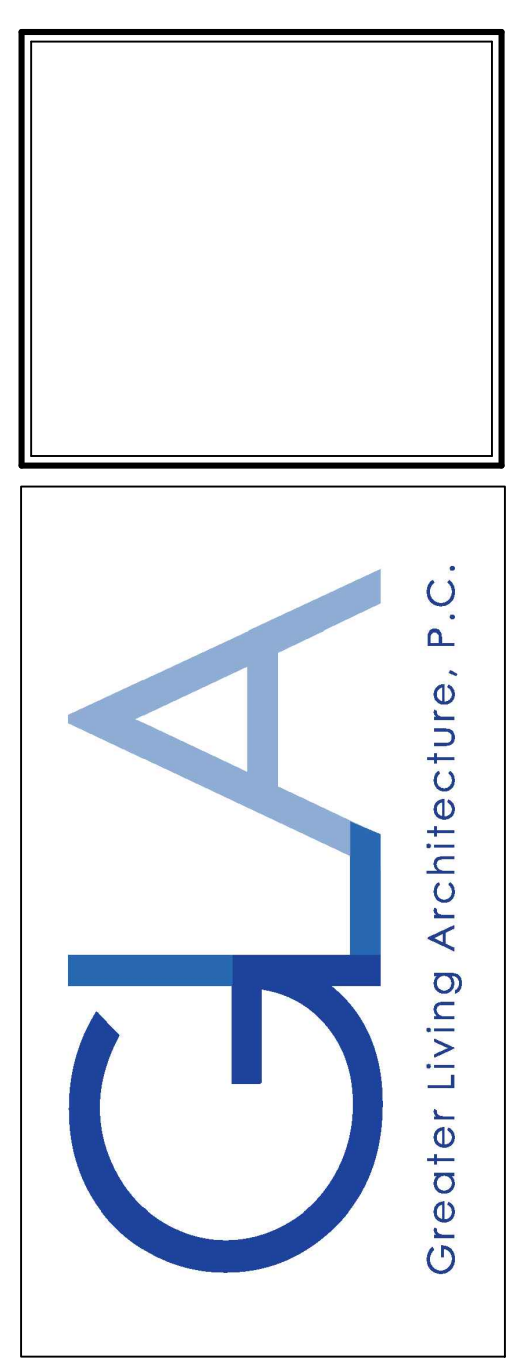


**21**  
**N-1**  
CUTTING, NOTCHING, & DRILLING OF JOISTS  
SCALE: 1/2" = 1'-0"



**22**  
**N-1**  
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS  
SCALE: 1/2" = 1'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
  
LOT 11  
COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**  
  
COVENTRY RIDGE  
BUILDING CORP.

**DETAILS**  
GLA PLAN 2224 R

drawn: CDK	checked: CSB
scale: AS NOTED	date: 8 / 20
PROJECT: 2551 F	sheet: N 1



TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d > 5$  INCHES <sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>g</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.  
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d > 6.75$  INCHES <sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>g</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.  
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d > 6.75$  INCHES <sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>g</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>			
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.  
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS <sup>b, c, d, e, f, h, k, n, o</sup>

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES <sup>a</sup> AND DESIGN LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.  
b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.  
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.  
e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.  
f. INTERPOLATION IS NOT PERMITTED.  
g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.  
h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.  
i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.  
j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.  
k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH,  $f_c$  OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 8.  
l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE,  $f_c$  IS 4,000 PSI.  
m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE,  $f_c$  IS 3,500 PSI.  
n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.  
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.  THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.  BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.  THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.  THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSTALLED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.  THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED.  KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC BATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

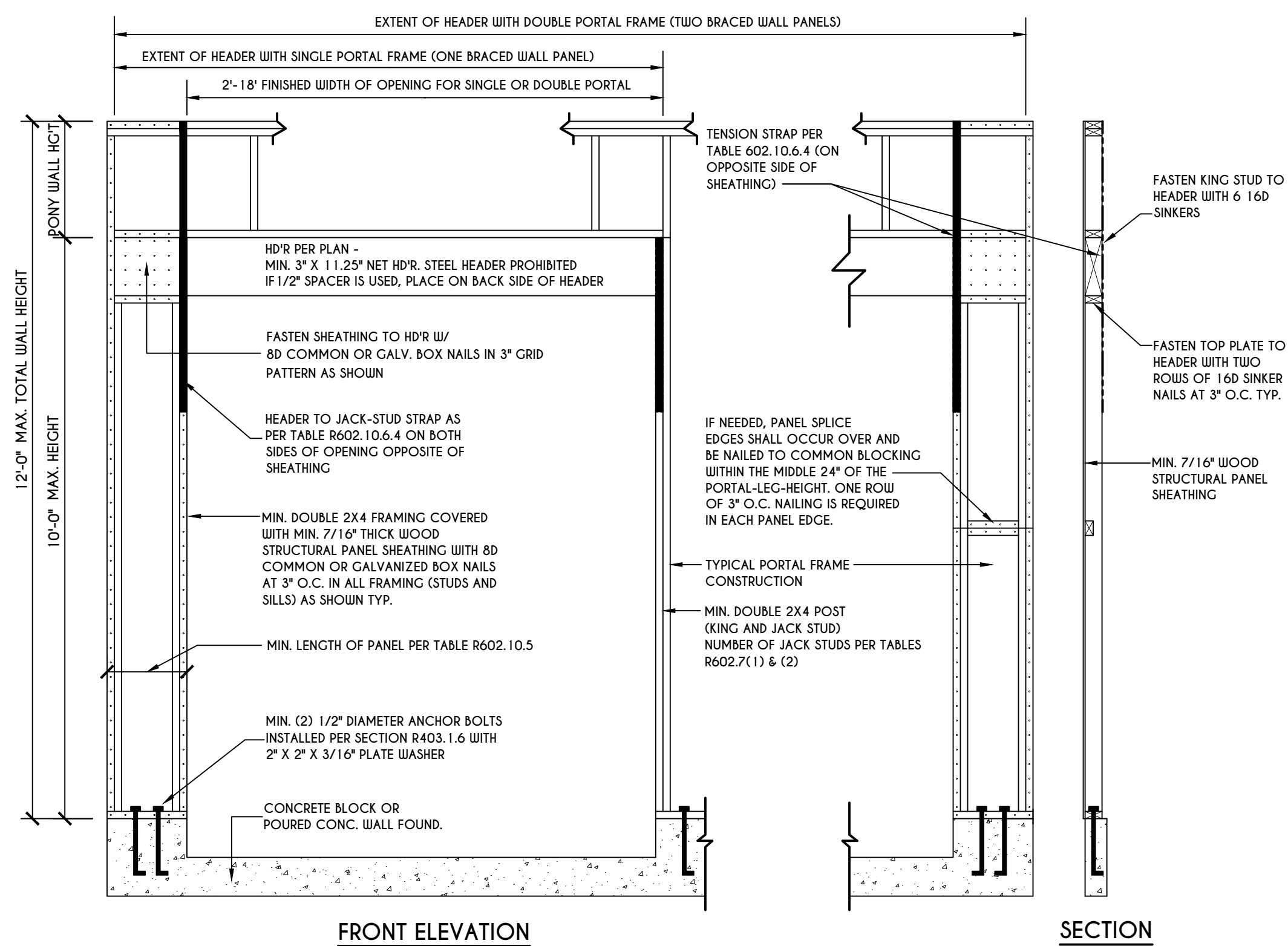
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 <sup>b</sup>

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.  
b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C  
SCALE: N.T.S. FIGURE R602.10.6.3

















# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000144**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 2 Harwood Lane ,

**Tax ID Number:** 151.07-1-11

**Zoning District:**

**Owner:** Castellano, Lawrence

**Applicant:** Al Arilotta (Architect)

### Application Type:

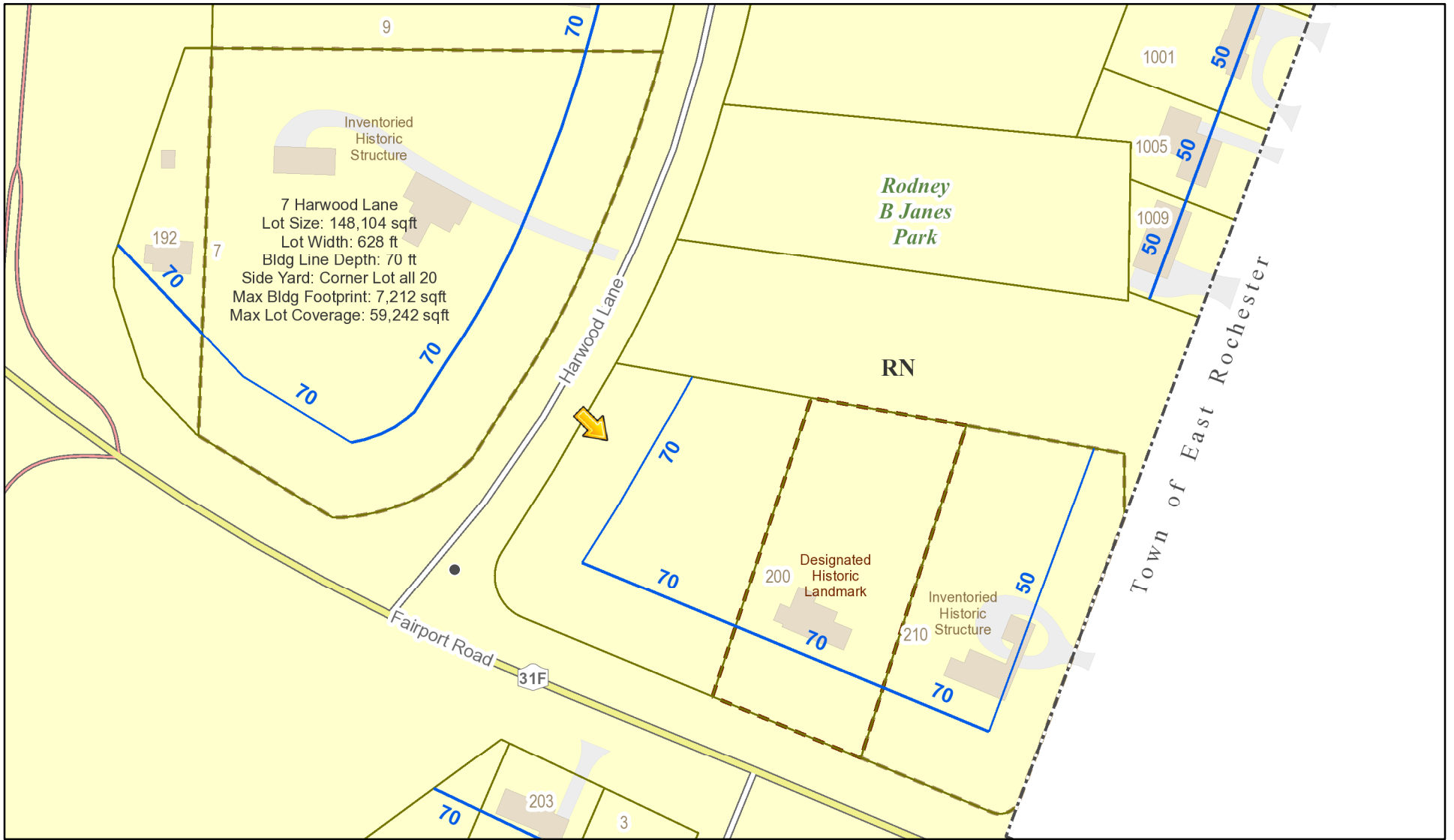
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design and review for the construction of a new single family one story home . The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.

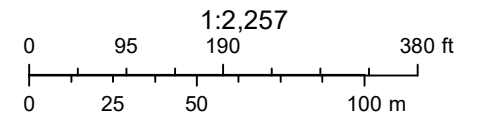
**Meeting Date:** September 10, 2020



# RN Residential Neighborhood Zoning



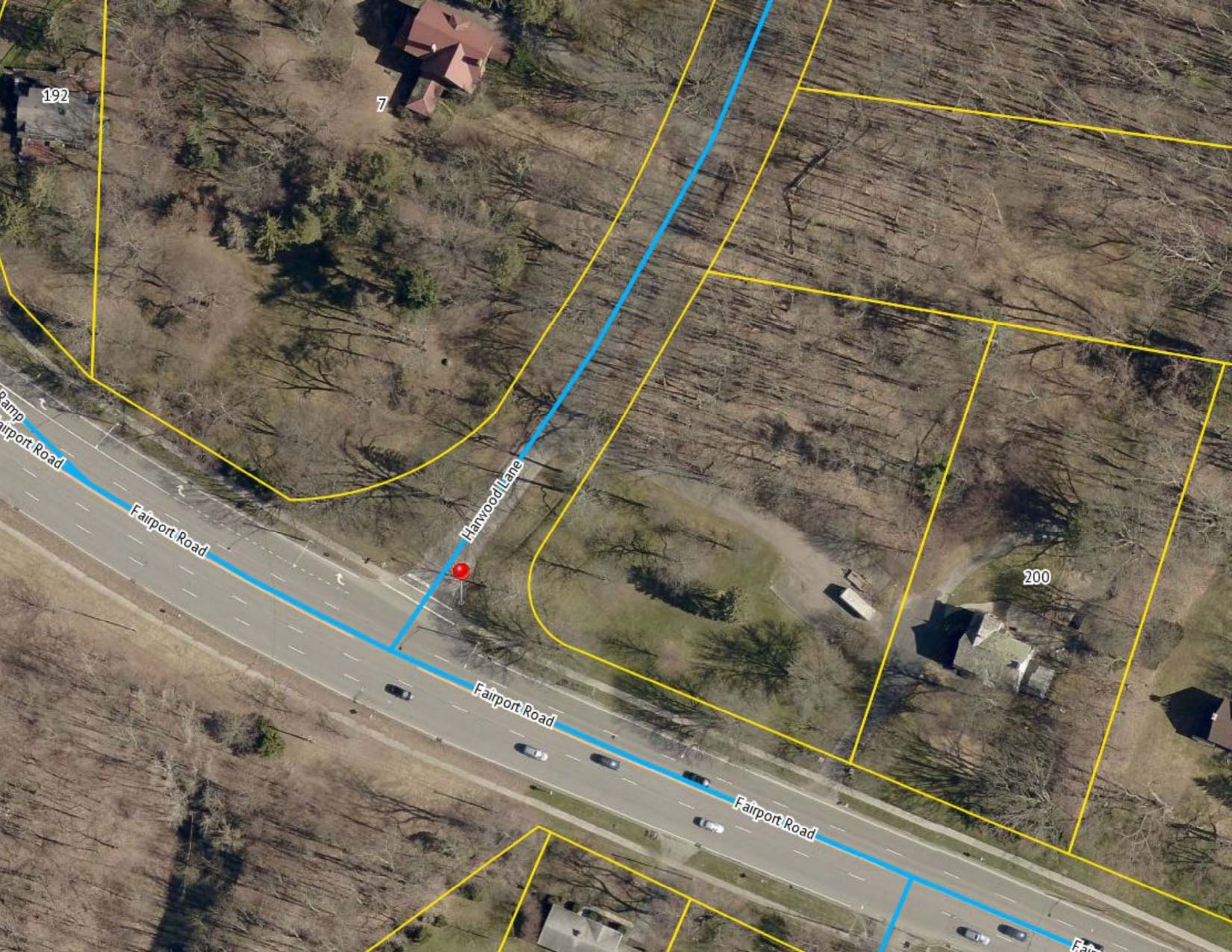
Printed September 3, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





192

7

200

Pamp  
Fairport Road

Fairport Road

Harwood Lane

Fairport Road

Fairport Road

Fairport Road



### LEGEND

LINETYPES	SYMBOLS
Centerline	Utility Pole
Property Line	Water Gate Valve
Resub. Prop. Line	Curb Box
Easement Line	Gas Valve
Existing Contour	Utility Box
Proposed Contour	Transformer
Chain Link Fence	Survey Monument
Wood Fence	Mailbox
Guide Rail	Sign
Wire Fence	Iron pipe/rebar
Overhead Wires	Traffic Control M.H.
Gas Line	Cleanout
Water Line	Catch basin
Forcemain	Fire hydrant
Sanitary Sewer	Signal span pole
Storm Sewer	Perc Hole
Electric	Deep hole
Edge of Woods	Benchmark
Floodzone	End section
Wetlands	Spot elev. x351.00'
Right-of-Way	Light pole
Landscaping & Retaining Walls	Well
Silt Fence	Utility manhole
Drainage Flow	Storm Sewer
Sump Pump Discharge	Manhole
	Sanitary Sewer
	Manhole
	Rebar (to be set)

### LINE STYLES

Feature to be removed (Gray Line)	Record Map Info, "R" Typical Style "Typ" To Be Removed "TBR" Proposed "Pr."
Existing Utility (Light Line Weight)	Proposed Utility (Heavier Line Weight)

### LOCATION MAP

NOT TO SCALE

TOWN OF PITTSFORD

- ### GENERAL NOTES
- Tax Account Number: 151.07-1-11
  - Owner: R. Hal Kemp
  - Site address: Fairport Road
  - Total Area: 1.4± Acres
  - This project is located in Lot 6 of the Blake Tract, Town Lot 30, Township 12, Range 5, of the Phelps and Gorham Purchase, Town of Pittsford, County of Monroe, State of New York.
  - This project is located within Other Areas-Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to Flood Insurance Rate Map Number 36055C03576, dated August 28, 2008.
  - Existing utilities were plotted from referenced survey and record maps.
  - Approval is for only those items identified as "new" or "proposed" as shown on the Plans.
  - The contractor shall be responsible for all damages and repairs to all existing facilities, public and private, including but not limited to: utilities, roadways, sidewalks, structures, and signs resulting from his operations.
  - Underground utility locations are approximate. All utilities shall be field staked before commencing work. Contractor is cautioned to notify Central Stakeout (1-800-962-7962) for the location of underground utilities prior to construction.
  - Proposed water services to be 1" copper from the main to the right-of-way and 2" polyethylene from the right-of-way to the house.
  - Roof leaders shall discharge on splash blocks.
  - House numbers shall be placed in a position that is plainly legible and visible from the road fronting the property.

NOTE: It is the Contractor's responsibility to verify location and elevation existing utilities PRIOR to the start of construction.

Any discrepancies between mapping and field conditions shall be brought to LandTech's attention as soon as possible.

- ### SURVEY REFERENCES
- This topographic survey was prepared from notes of an Instrument Survey completed on June 19, 2020 by Landtech Surveying & Planning, PLLC.
  - Site benchmark: Fire Hydrant North Bonnet Bolt Elevation = 438.27
  - Liber 11555 of Deeds, Page 137.
  - Liber 54 of Maps, Page 12.
  - The vertical datum is referenced to The North American Vertical Datum of 1988 (NAVD 88)

### ZONING NOTES

RN Residential Neighborhood District

Code	Existing	Proposed
Min lot area	60,984 sqft	
Min lot width	364 feet	
Min front setback	70 feet	80 feet
Min corner setback	70 feet	83 feet
Min side setback	20 feet	23 feet
Min rear setback	20 feet	133 feet
Max building footprint	5,470 sqft	3,040 sq.ft.
Max lot coverage	40%	12%
Max building height	30 feet	less than 30 feet

### MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL IS GRANTED ON CONDITION THAT:

- The proposed facilities for sewage disposal are installed in conformity with the approved plans.
- A copy of the plans approved this date shall be filed in the Office of the Clerk of Monroe County, if applicable.
- No lot or remaining land (if applicable) shall be subdivided without plans for such re-subdivision being submitted to and approved by the Monroe County Department of Public Health.
- This certificate is granted with the understanding that the approved plans are subject to review and reapproval after two years from date of approval, if installation is not completed by that time.
- Adequate erosion/siltation control measures shall be employed prior to and during construction. If the project will result in the disturbance of one acre or more, coverage under the NYSDEC SPDES General Permit GP-0-20-001 for Stormwater Discharges for Construction Activities will be obtained.
- Private wells and private sewage disposal systems shall no longer be constructed or used after public facilities become available.

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

### MCHD NOTES:

Standard Notes for Residential On-Site Wastewater Treatment System (OWTS)

- Laundry waste shall be piped to the septic tank. The line shall have a check valve if the wastewater is pumped to the system.
- Basement sump pumps, roof drains and footing drains shall not be connected to the OWTS.
- Unless approved for a special system design, no earthwork (cutting or filling) shall be allowed in the septic system area.
- Any change in house location and/or OWTS location or elevation shall require additional review and re-approval from the MCHD.
- The area of the proposed absorption field should be staked out to prevent vehicles and materials from entering. If this area is disturbed, new percolation tests may be required and septic system approval may be revoked.
- All wells and OWTS existing or approved within 200 feet of the proposed well(s) and OWTS shall be shown on this plan along with any other environmental hazards in the area that may affect the design and functional ability of the OWTS and well(s).

Additional Notes for Modified, Tight Soil or Marginal Soil Raised Fill Systems

- Heavy construction equipment shall not be allowed within the area of the system. The original soil must be left in place and plowed in conformance with procedures in the MCHD OWTS Design and Construction Standards. The soil must not be wet when plowed.
- No standing water in the fill area is allowed.
- Fill material must be placed on the edge of the prepared base and pushed into place by a bulldozer while maintaining at least six (6) inches of fill under the tracks.
- The absorption trenches shall be constructed in the fill material. To maintain the required 24-inch vertical separation between trench bottoms and seasonal high groundwater or impervious soil, trenches must not be deeper than twelve (12) inches in the fill. Trenches shall not be constructed if the frost has penetrated the fill more than three (3) inches.
- The entire surface of the fill system, except the taper, shall be covered with a minimum of six (6) inches of topsoil mounded to enhance runoff from the system and seeded to grass. Tapers shall be covered with three (3) to six (6) inches of topsoil.
- Swales shall be constructed to divert surface water around the system and provide drainage away from the system.

Additional Note for Tight Soil Raised Fill Systems

- The On-Site Wastewater Treatment System is designed for use in soils having a percolation rate of greater than 60 min/inch at the conventional depth. Successful operation of this system depends on exact conformance with the approved plans and construction and maintenance in accordance with Department of Public Health standards. System components are to be 100 feet from any property line.

Stabilization Measures Notes (NYS SPDES General Permit GP-0-20-001):

- In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment Control.
- All required Erosion & Sediment Control and Storm Water Pollution Prevention Water Quality & Quantity Control structures, permanent and temporary, are shown on the plans.

### CONSTRUCTION SEQUENCE & SWPPP SPECIFICATIONS:

Note: The approximate soil disturbance is 0.6 acres. Therefore, a NYSDEC GP-0-20-001 permit is NOT required from the New York State Department of Conservation. Coverage under GP-0-20-001 is applicable to Town, County and State of New York permits must be obtained prior to the start of construction. Soil disturbance cannot exceed 5 acres of any given time unless prior consent is given from the Building Inspector and NYSDEC.

- Obtain necessary permits and contact Dig Safe New York 811 at least 3 business days prior to construction for a utility stakeout.
- Hold a pre-construction meeting prior to commencement of construction.
- Flag the work limits.
- Install perimeter erosion control and the stabilized construction entrance as specified on the plans.
- Grade bio-retention area to within 12" of bottom elevations and utilize a sedimentation basin during construction.
- Strip topsoil from building and pavement areas and stockpile as shown. Topsoil to be used as fill in lawn areas.
- Grade the site & install stone pavement base.
- Install storm sewer system and utility services. Install stone pavement base over the remaining parking area.
- Restore soil to pre-development conditions in accordance with the Soil Restoration Requirements, which are included in the SWPPP.
- Seed, fertilize, mulch, and water lawn areas in accordance with supplier's specifications.
- Maintain erosion control as specified on plans. All erosion and sediment control practices must be inspected weekly by a qualified professional. Needed repairs must be made immediately.
- Once up-gradient areas are stabilized, re-seed and mulch and complete installation of bio-retention area.
- After the site has achieved final stabilization and all stormwater management practices are installed, remove all temporary erosion control measures.
- Submit a Notice of Termination (NOT) to the New York State Department of Environmental Conservation.

Additional Notes:

- The owner/developer/operator is responsible for complying with the NYSDEC GP-0-20-001 permit. This includes, but is not limited to, keeping the SWPPP on-site and available for review, posting the NOI in a publicly-accessible location, completion of inspection reports, and maintaining erosion control measures throughout the construction phase. The SWPPP includes this plan, the Notice of Intent (NOI), all correspondence with NYSDEC, the approved plans, and copies of all GP-0-20-001 inspection reports.
- The temporary sediment traps must be cleaned out when the level of sediment reaches 8 inches.
- Sediment must be removed from the check dams and block and gravel inlet protection devices when storage capacity has been approximately 50% filled. Gravel will be cleaned or replaced when the sediment pool no longer drains properly.
- Sediment must be removed from behind the sediment fence when it becomes about 0.5 ft deep at the fence. The sediment fence must be repaired as necessary to maintain a barrier between disturbance and down-slope areas.
- All seeded areas must be fertilized, re-seeded as necessary, and mulched according to manufacturer's specifications to maintain a vigorous, dense vegetative cover. If areas to be seeded have been compacted they should be disked or raked prior to placement of seed to allow greater contact with soil and provide greater opportunity for growth.
- In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment Control.

TOPSOIL MANAGEMENT

- Strip topsoil and stockpile where shown. Install silt fencing along backside of stockpile and allow for access on the front side. Once topsoil restoration is complete on-site, remove remaining topsoil from site.
- All topsoil under building and pavement shall be removed and replaced with structural fill compacted to 95% MDD per Modified Proctor Test.

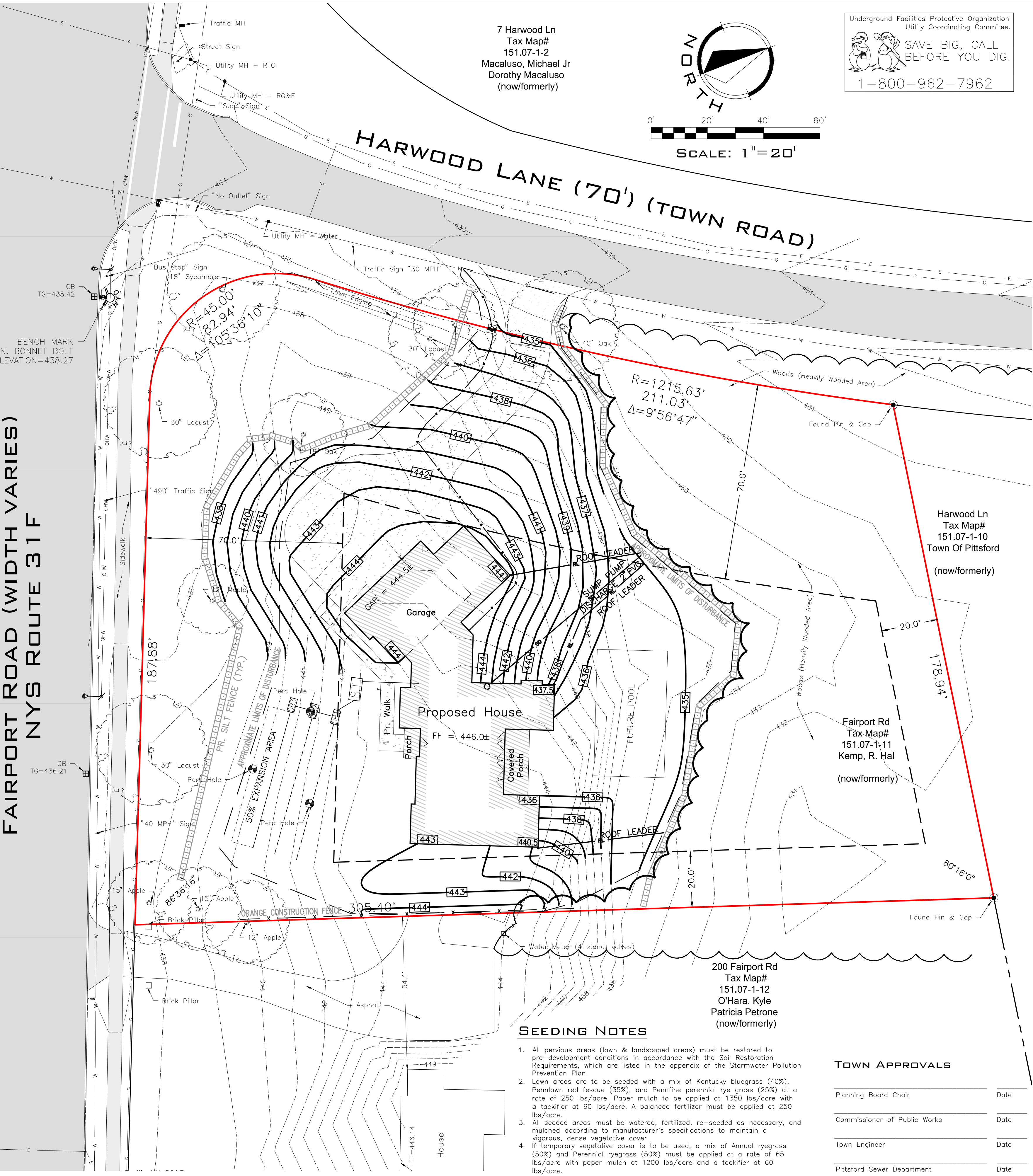
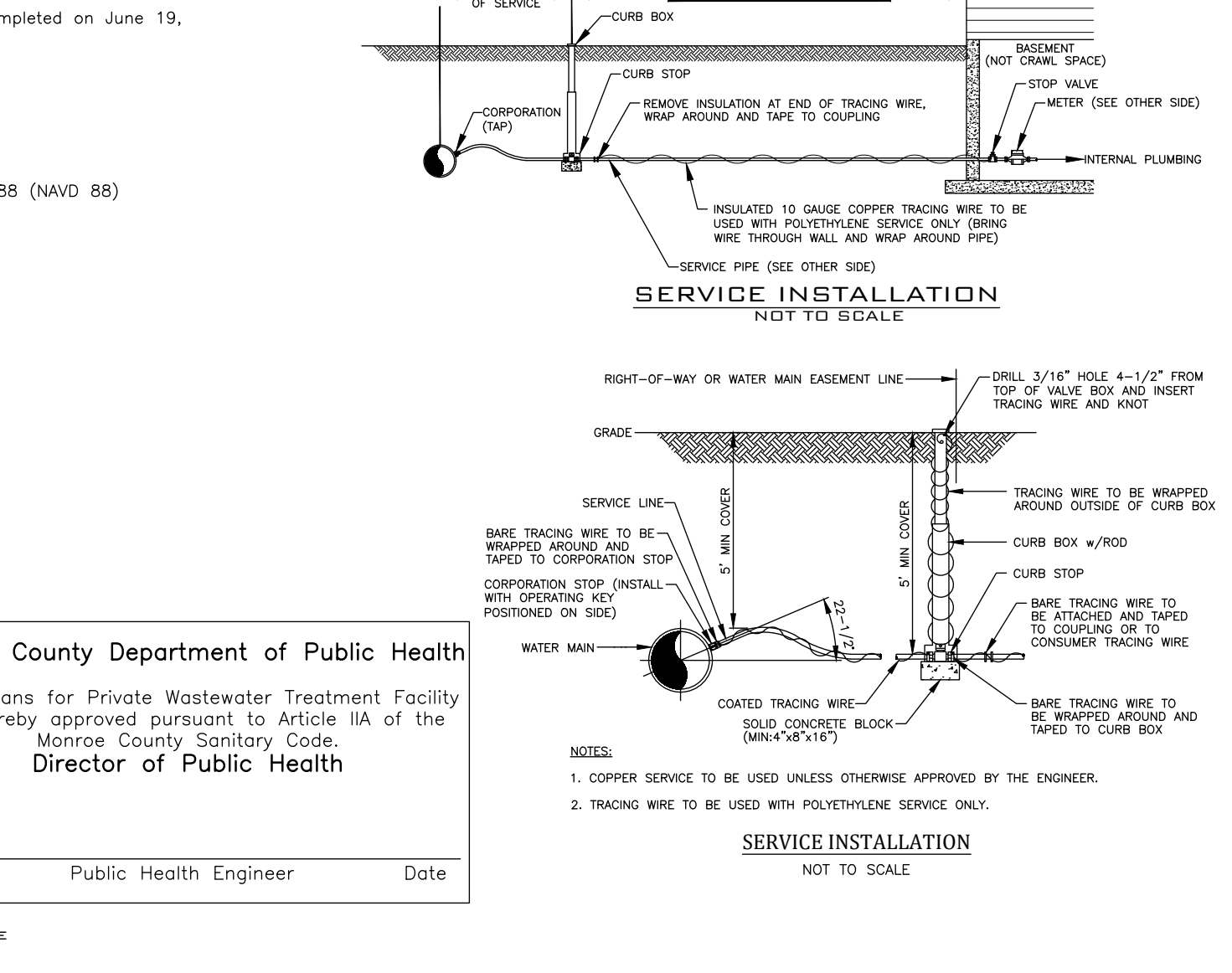
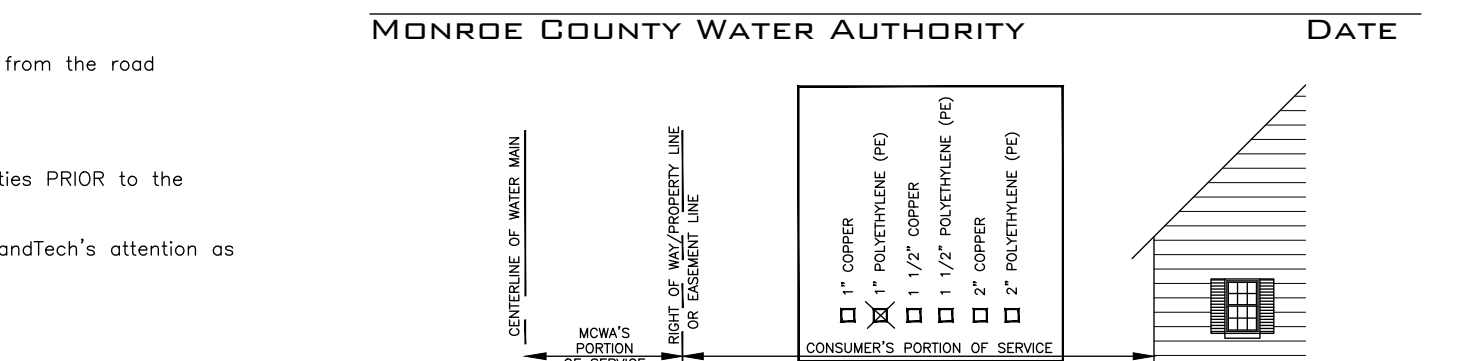
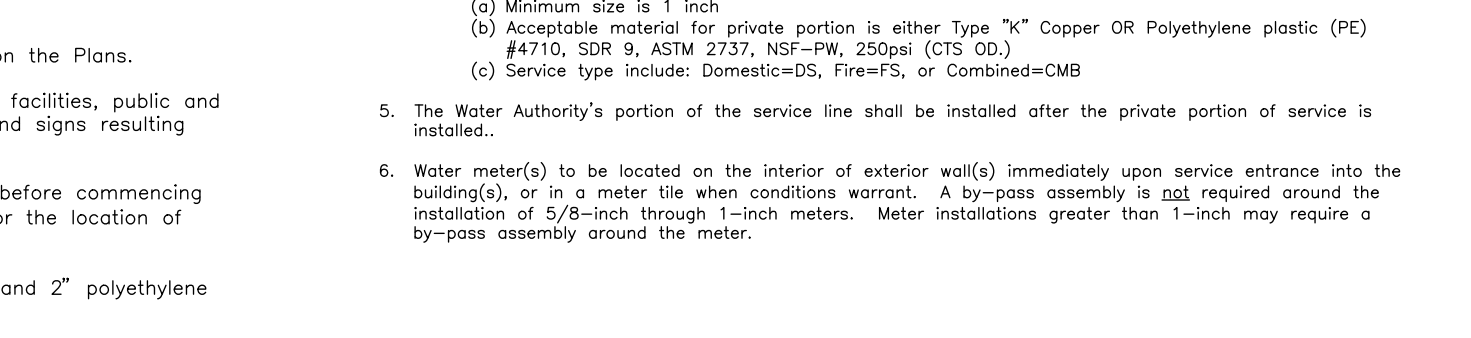
### MONROE COUNTY WATER AUTHORITY

- Water service lines (laterals) shall be constructed in accordance with the regulations and specifications of the Monroe County Water Authority.
- Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.
- Water service lines shall be separated by at least ten feet, measured from the outside of the pipes, from sewer mains or septic systems.
- Water service lines shall be identified as:

DESCRIPTION	LOT	SIZE (in)	MATERIAL (in)	TYPE (in)
MCHA Portion-from the water main to and including the control valve on the ROW/Property/Easement line	#13	1"	Type K Copper	DS
PRIVATE Portion-from the control valve to the meter	#13	1"	PE	DS

(a) Minimum size is 1 inch  
 (b) Acceptable material for private portion is either Type "K" Copper OR Polyethylene plastic (PE) #4710, SDR 9, ASTM 2737, NSF-FW, 250psi (CTS 003)  
 (c) Service type include: Domestic=DS, Fire=FS, or Combined=CMB

- The Water Authority's portion of the service line shall be installed after the private portion of service is installed.
- Water meter(s) to be located on the interior of exterior wall(s) immediately upon service entrance into the building(s), or in a meter tie when conditions warrant. A by-pass assembly is NOT required around the installation of 1/2-inch through 1-inch meters. Meter installations greater than 1-inch may require a by-pass assembly around the meter.



# LANDTECH

SURVEYING & PLANNING P.L.L.C.  
710 LATTA ROAD - ROCHESTER, NY - 14612  
PHONE (585) 442-9902 - FAX (585) 225-4819

Underground Facilities Protective Organization  
Utility Coordinating Committee.  
SAVE BIG, CALL BEFORE YOU DIG.  
1-800-962-7962

SCALE: 1" = 20'

DATE: 7/10/20  
DRAWN BY: KMS  
CHECKED BY: JHS  
PROJECT NUMBER: 20169

FAIRPORT ROAD  
LOT 13 HARWOOD FARMS,  
SECTION M

LOT 6 OF THE BLAKE TRACT, TOWN LOT 30, TOWNSHIP 12, RANGE 5, OF THE PHELPS AND GORHAM PURCHASE, TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

## SITE PLAN

SHEET 1 OF 3

REVISIONS

NO.	DATE	DESCRIPTION

TOWN APPROVALS

Approval	Date
Planning Board Chair	Date
Commissioner of Public Works	Date
Town Engineer	Date
Pittsford Sewer Department	Date

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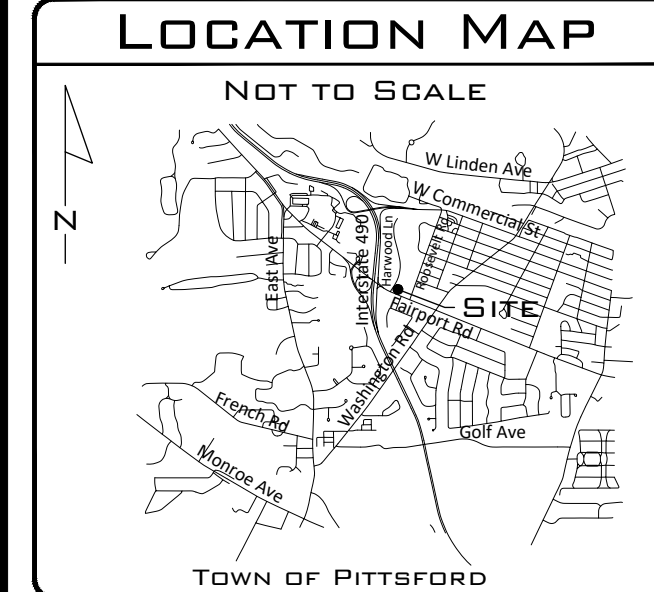
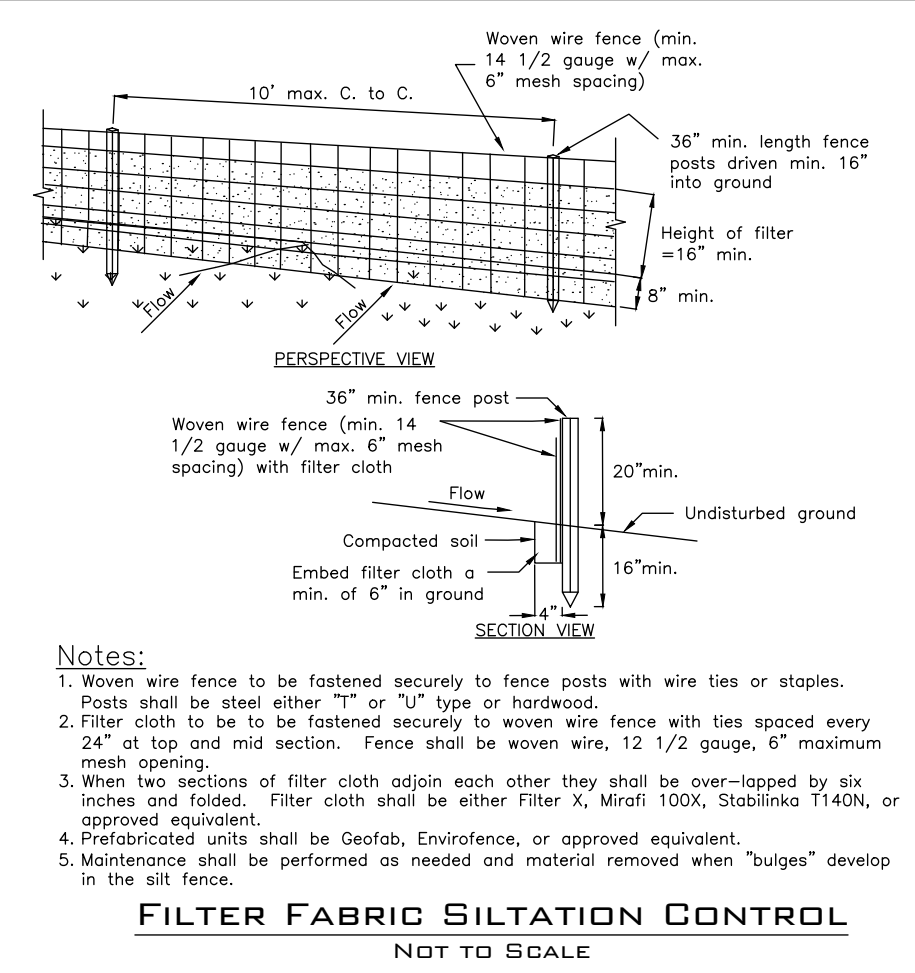


### LEGEND

LINETYPES	SYMBOLS
Centerline	Utility Pole
Property Line	Water Gate Valve
Resub. Prop. Line	Curb Box
Easement Line	Gas Valve
Existing Contour	Utility Box
Proposed Contour	Transformer
Chain Link Fence	Survey Monument
Wood Fence	Mailbox
Guide Rail	Sign
Wire Fence	Iron pipe/rebar
Overhead Wires	Traffic Control M.H.
Gas Line	Cleanout
Water Line	Catch basin
Forcemain	Fire hydrant
Sanitary Sewer	Signal span pole
Storm Sewer	Perc hole
Electric	Deep hole
Edge of Woods	Benchmark
Floodzone	End section
Wetlands	Spot elev. x351.00'
Right-of-Way	Light pole
Landscaping & Retaining Walls	Well
Silt Fence	Utility manhole
Drainage Flow	Storm Sewer
Sump Pump Discharge	Manhole
	Sanitary Sewer
	Manhole
	Rebar (to be set)

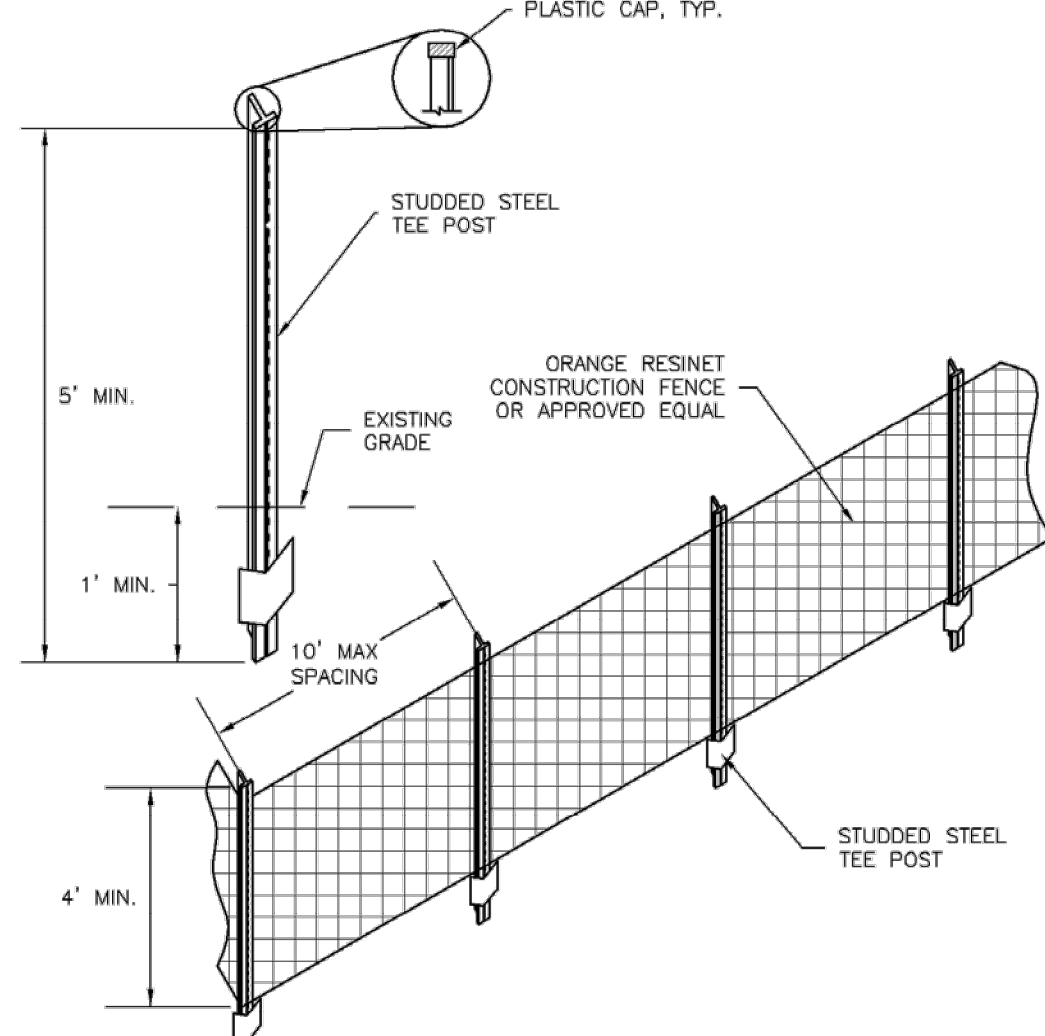
  

LINE STYLES	LABELS
Feature to be removed (Gray Line)	Record Map Info. "(R)"
Existing Utility (Light Line Weight)	Typical Style "Typ"
Proposed Utility (Heavier Line Weight)	To Be Removed "TBR"
	Proposed "Pr."



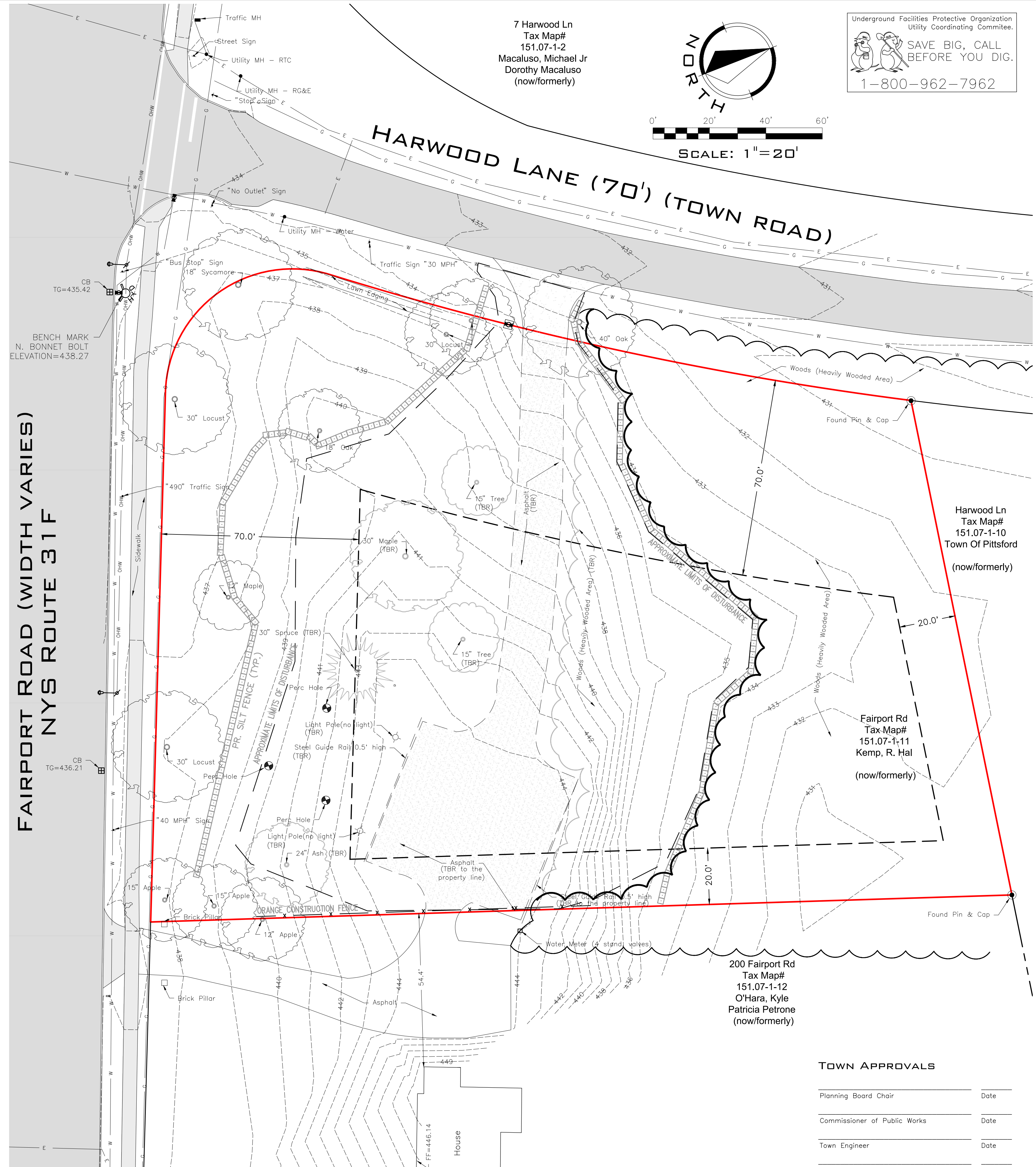
### DEMOLITION/CONSTRUCTION NOTES

- Obtain all necessary permits from the Town and/or other agencies prior to the start of work.
- The approximate soil disturbance is 0.6 acres. Therefore, a NYSDEC GP-0-20-001 permit is NOT required from the New York State Department of Conservation.
- Contact all utility companies to ensure that all services have been properly disconnected and/or shut off.
- Contact UFPO for a utility stake-out at least 48 hours before commencement of demolition activities for a utility stake-out.
- Install perimeter erosion control as shown and orange construction fence around trees that will remain. The contractor/owner is responsible for any damage to trees not designated for removal. Trees shall be pruned, watered, and fertilized prior to, during and after construction. Materials and equipment storage shall not be allowed in fenced areas.
- Commence demolition and removal of specified trees. Demolition debris must be removed from the site and disposed of in accordance with State and local regulations. Utilize stockpile/staging location as shown. No existing construction materials (concrete or other) shall remain on-site. The grade within the demolished footprint shall be restored to match adjoining, undisturbed grades. Backfill shall be suitable construction fill (subsoil free of organic material, or other structural fill acceptable to the Town) and compacted to at least 70% maximum density (Proctor).
- Completion of demolition area must be graded and seeded with a mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and Perennial ryegrass (25%) at a rate of 250 lbs/acre.
- Rough grading for preparation of house construction must utilize the temporary soil stockpile location as shown on plan. Stockpile to be surrounded by silt fence for erosion control.
- Excess soil to be transported off-site in a manner compliant with Code/Requirements.
- Stockpile area to be utilized for staging of construction materials. Contractor to take precautions to prevent the discharge of petroleum and other pollutants.
- Whether during demolition or construction, all disturbed areas shall be protected from erosion either by mulch or temporary seeding within two weeks of disturbance.
- Should excavation disturb any apparently archaeologically sensitive areas, or any environmental conditions or issues not previously identified, there shall be immediate cessation of work and notification to the Town, the Monroe County Department of Health, and the New York State Department of Environmental Conservation.
- Any excess spoil material not required for re-grading of the site must be removed from the site.



### CF-1. PLASTIC MESH CONSTRUCTION FENCE

- #### CONSTRUCTION FENCE INSTALLATION NOTES
- SEE PLAN VIEW FOR: -LOCATION OF CONSTRUCTION FENCE.
  - CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  - CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
  - STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
  - CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.



Underground Facilities Protective Organization  
Utility Coordinating Committee.

SAVE BIG, CALL BEFORE YOU DIG.

1-800-962-7962

7 Harwood Ln  
Tax Map# 151.07-1-2  
Macaluso, Michael Jr  
Dorothy Macaluso  
(now/formerly)

Harwood Ln  
Tax Map# 151.07-1-10  
Town Of Pittsford  
(now/formerly)

Fairport Rd  
Tax Map# 151.07-1-11  
Kemp, R. Hal  
(now/formerly)

200 Fairport Rd  
Tax Map# 151.07-1-12  
O'Hara, Kyle  
Patricia Petrone  
(now/formerly)

#### TOWN APPROVALS

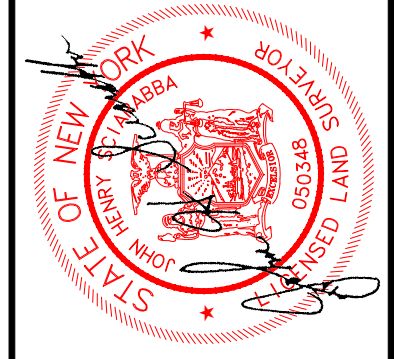
Planning Board Chair	Date
Commissioner of Public Works	Date
Town Engineer	Date
Pittsford Sewer Department	Date

# LAND4TECH

SURVEYING & PLANNING P.L.L.C.

710 LATTA ROAD - ROCHESTER, NY - 14612

PHONE (585) 442-9902 - FAX (585) 225-4819



SCALE: 1"=20'	DATE: 7/10/20	DRAWN BY: KMS	CHECKED BY: JHS	PROJECT NUMBER: 20169	REVISIONS

### FAIRPORT ROAD

LOT 13 HARWOOD FARMS, SECTION M

LOT 6 OF THE BLAKE TRACT, TOWN LOT 30, TOWNSHIP 12, RANGE 5, OF THE PHELPS AND BORHAM PURCHASE, TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

### EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET 2 OF 3

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

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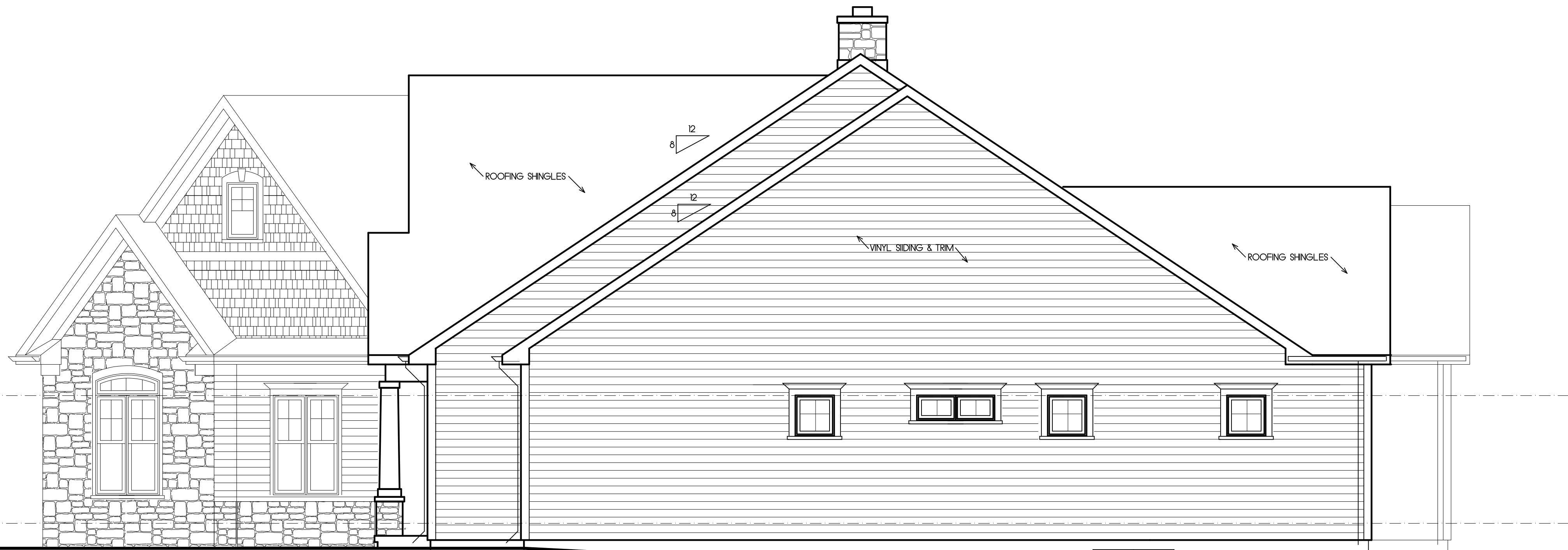


REVISIONS	DATE	DESCRIPTION
No.		

JOB NO. HARWD

**A-3**

AUG. 20, 2020



**east elevation**  
 1/4"=1'-0"

EGRESS WINDOW  
 20" MIN. CLEAR WIDTH  
 57 MIN. SF. CLEAR OPENING  
 SILL HGT. 44" MAX ABOVE FLOOR  
 NOTE: PROVIDE LADDER OUT OF WELL IF BOTTOM OF WELL IS MORE THAN 44" BELOW GRADE

WINDOW WELL DRAIN SHALL CONNECT TO FOUNDATION DRAINAGE SYSTEM OR DISCHARGE TO DAYLIGHT

EGRESSIBLE SLIDER  
 4'-8" X 4'-8" M.O.

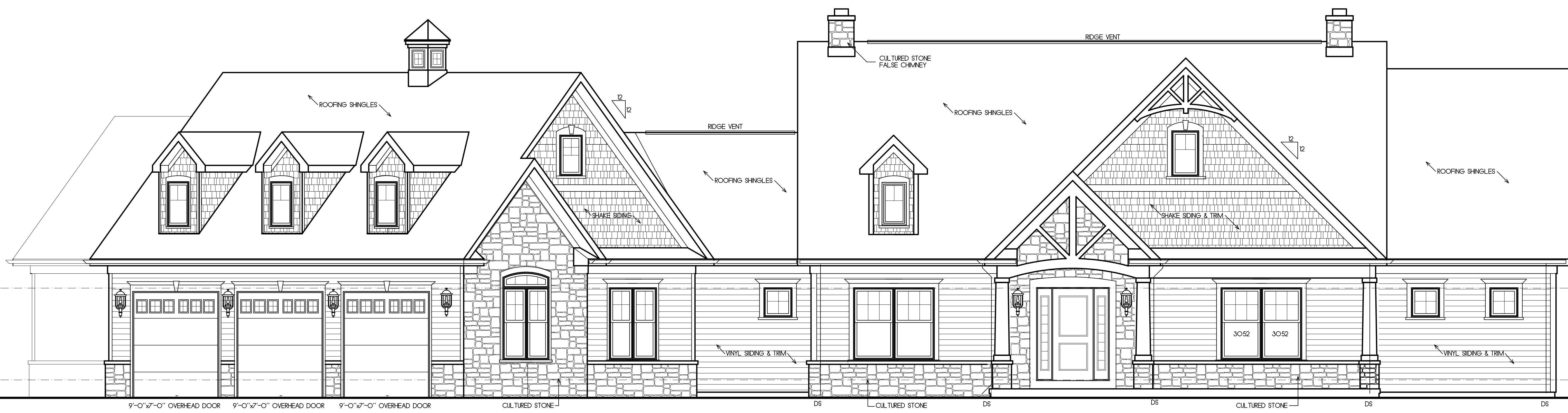
3'-0" MIN. DEPTH OF WELL



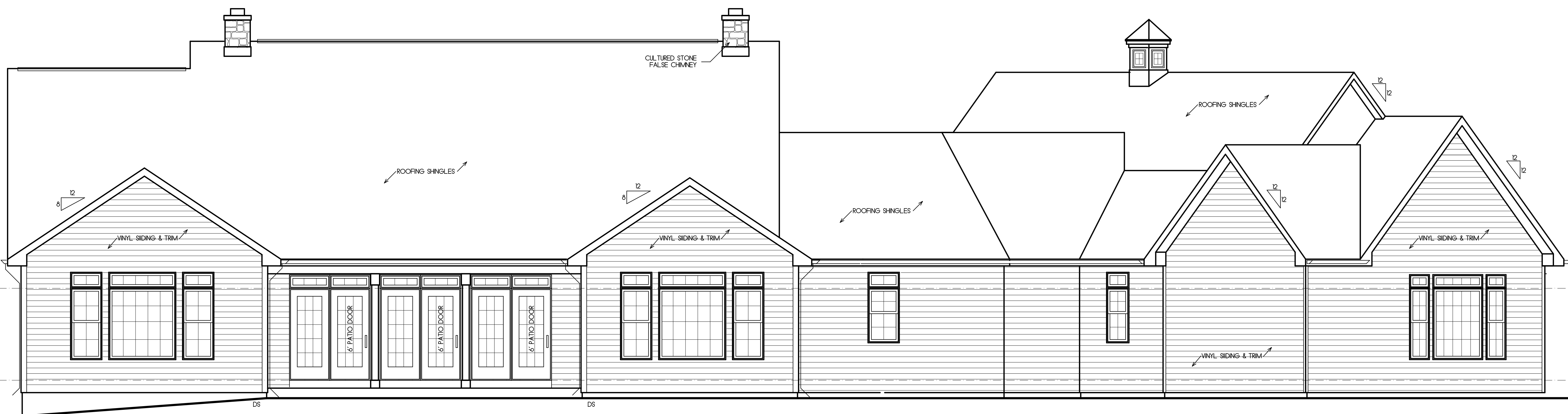
**west elevation**  
 1/4"=1'-0"

DS CULTURED STONE DS 9'-0" X 7'-0" OVERHEAD DOOR 9'-0" X 7'-0" OVERHEAD DOOR 9'-0" X 7'-0" OVERHEAD DOOR DS





**south elevation**  
 1/4"=1'-0"



**north elevation**  
 1/4"=1'-0"

REVISIONS

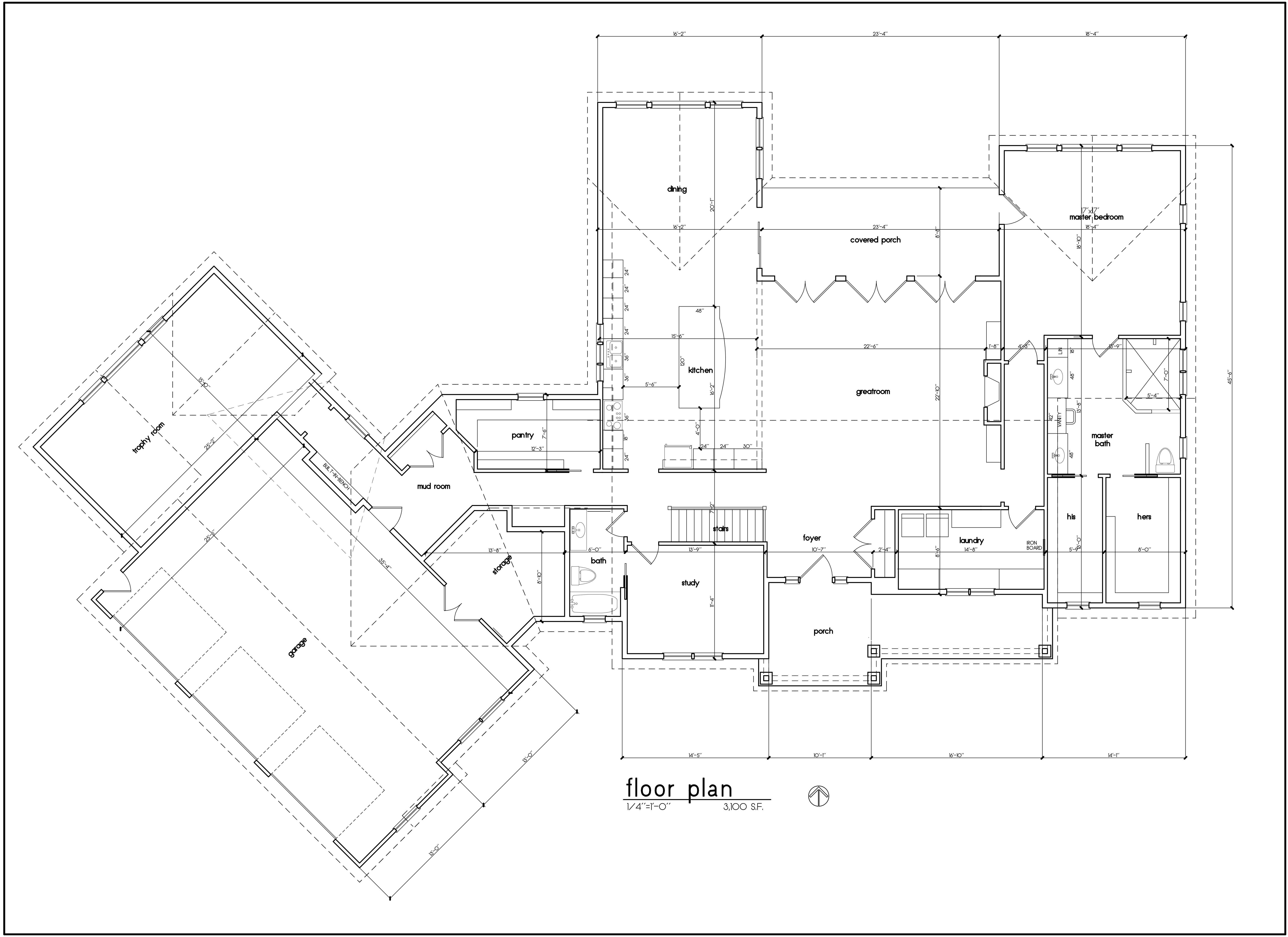
No.	DATE	DESCRIPTION

JOB NO. HARWD

A-2

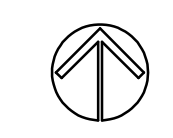
AUG. 20, 2020





**floor plan**

1/4"=1'-0" 3,100 S.F.



REVISIONS	DATE	DESCRIPTION

JOB NO. HARWD

**A-1**

AUG. 20, 2020





TOWN OF PITTSFORD  
JAMES BRANCH LIBRARY

















# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000145**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 30 Escena Rise PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-6

**Zoning District:** IZ Incentive Zoning

**Owner:**

**Applicant:** S&J Morrell Company Inc.

### Application Type:

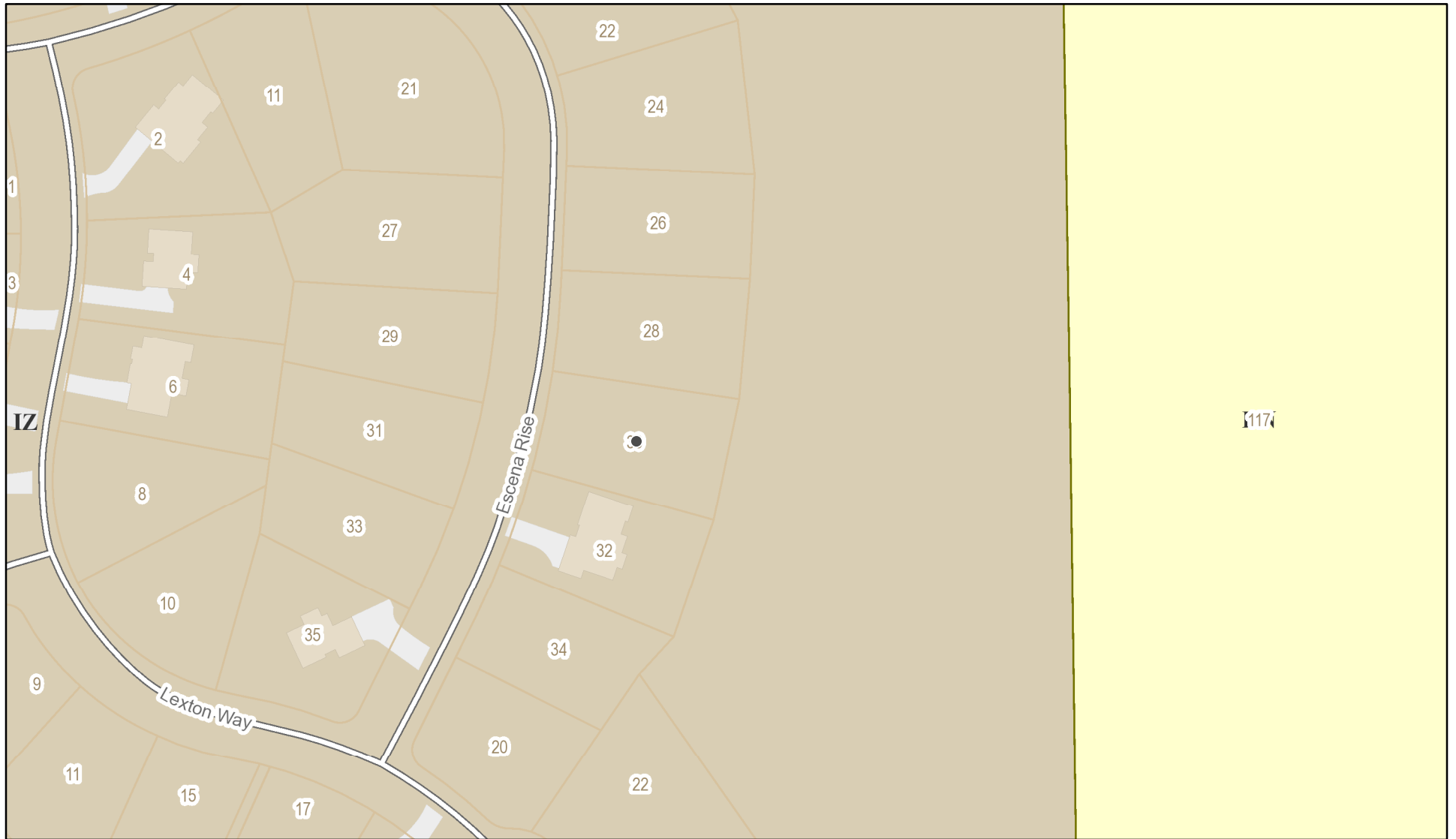
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting Design Review for the proposed construction of a 2949 Sq. Ft. 2 story dwelling with a 348 Sq. Ft.

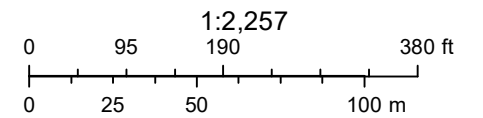
**Meeting Date:** September 10, 2020



# RN Residential Neighborhood Zoning



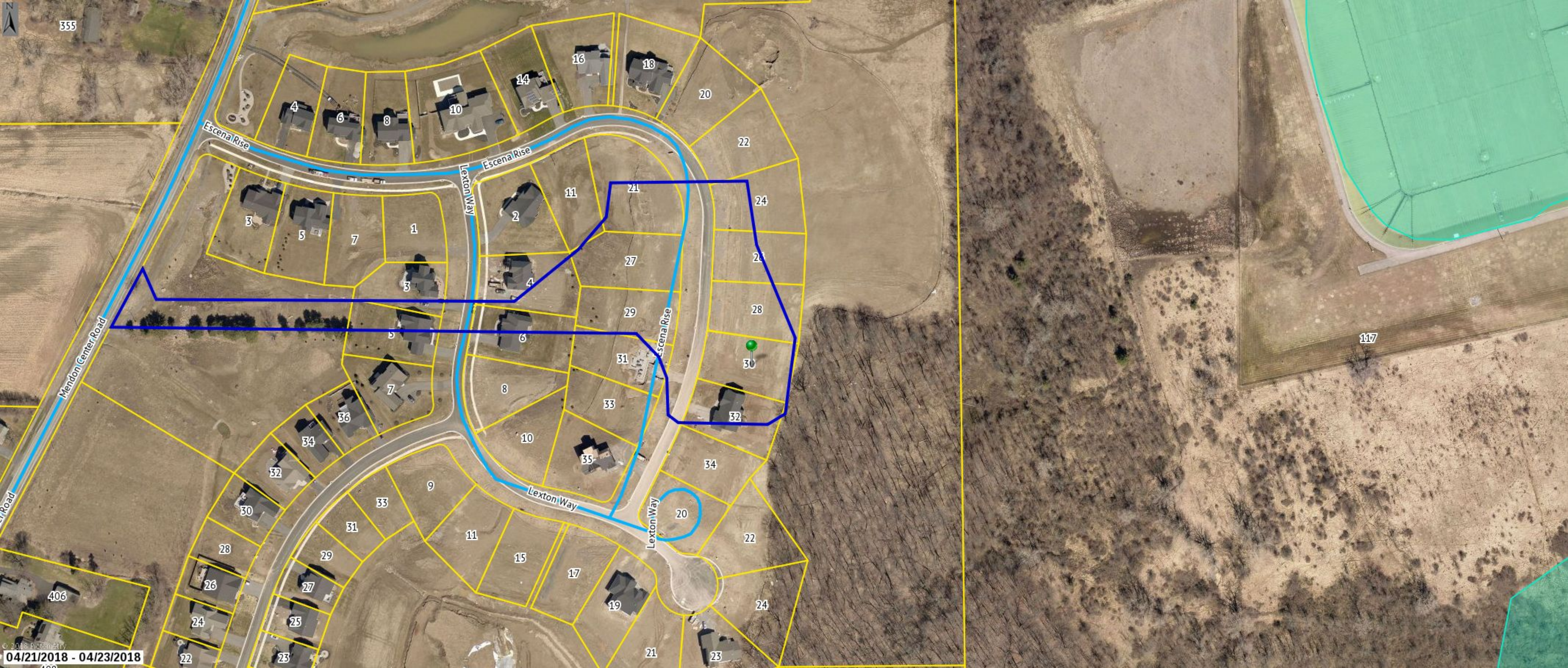
Printed September 3, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





355

Escena Rise

Lexton Way

Escena Rise

Escena Rise

Mendon Center Road

Lexton Way

Lexton Way

117









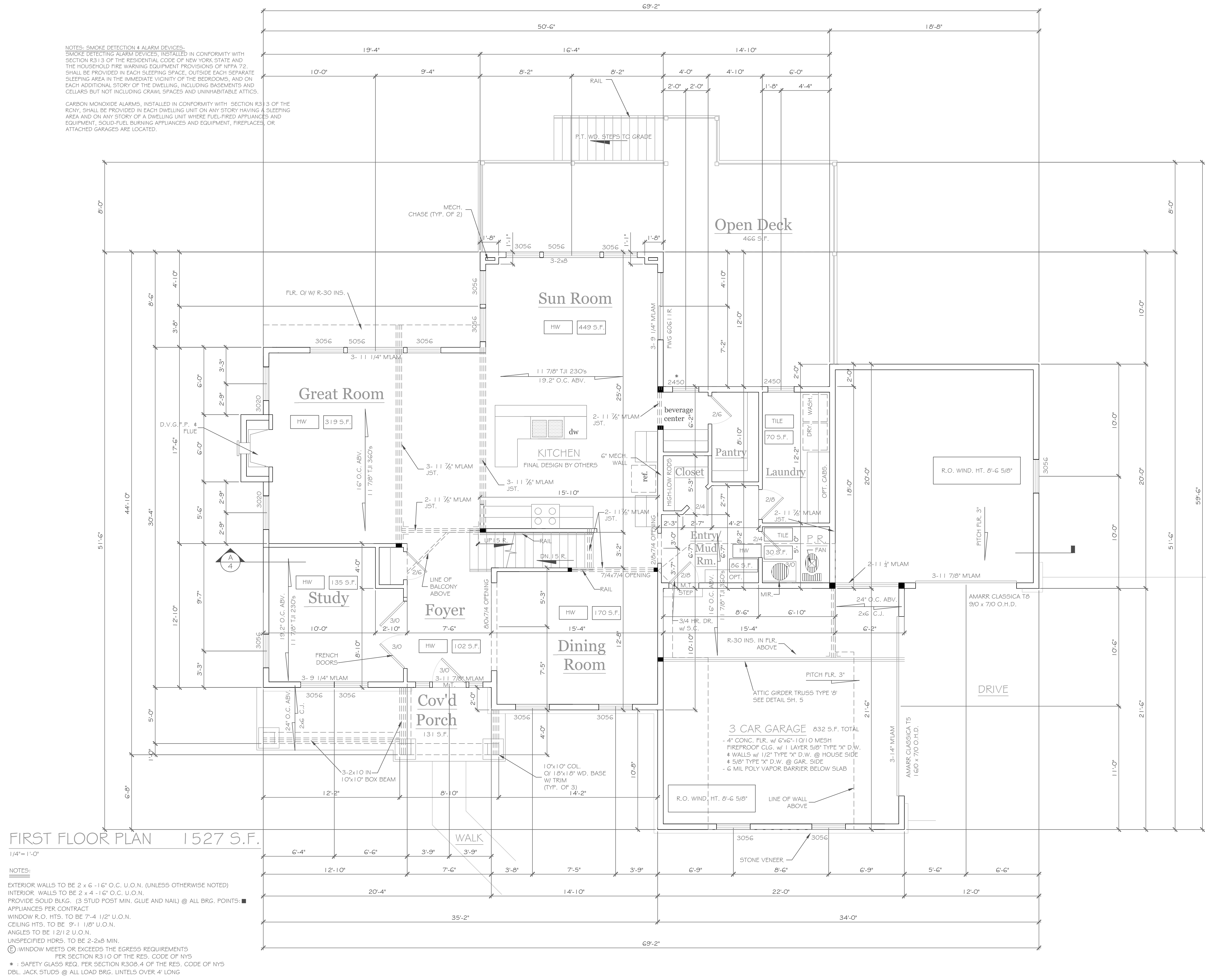






NOTES- SMOKE DETECTION & ALARM DEVICES-  
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72 SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



FIRST FLOOR PLAN 1527 S.F.  
1/4"=1'-0"

NOTES:  
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)  
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.  
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS ■  
APPLIANCES PER CONTRACT  
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.  
CEILING HTS. TO BE 9'-1 1/8" U.O.N.  
ANGLES TO BE 1/2" U.O.N.  
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.  
Ⓢ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
\* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-  
**First Floor Plan**

PHASE-  
Construction Documents

PROJECT-  
**Lot 20P, Wilshire Hill  
Pittsford, New York**

CLIENT-  
**Monrell Builders**

JOB NO.-  
A20-02G

DATE-  
August 2020

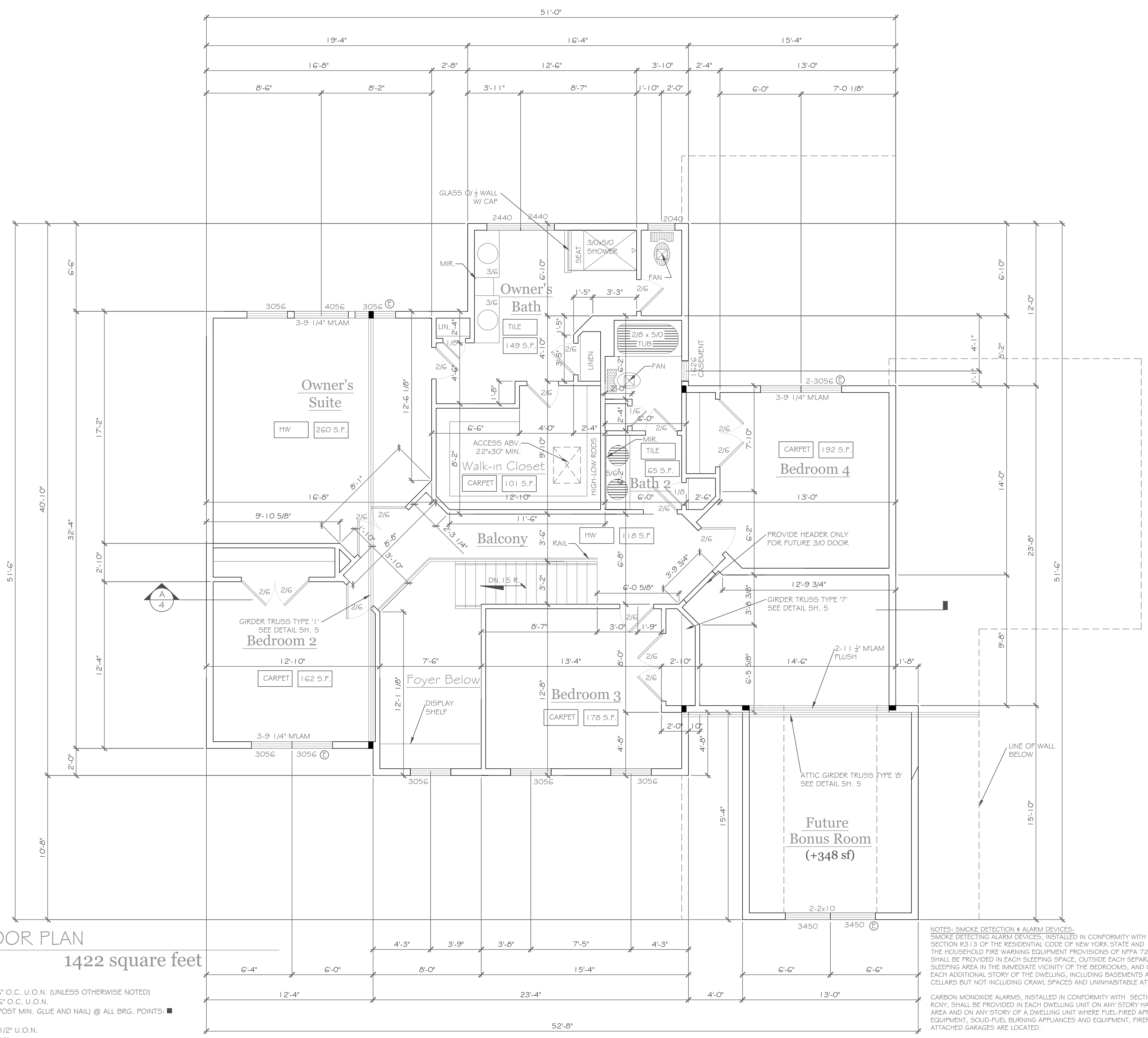
**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone-(585) 249-1334  
fax-(585) 249-1333  
e-mail-CKHennessey@frontiernet.net

DRAWING NO.-  
**A-3**



**SECOND FLOOR PLAN**  
 1/4" = 1'-0"  
 1422 square feet

**NOTE:**  
 EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)  
 INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.  
 PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS. ■  
 APPLIANCES PER CONTRACT  
 WINDOW R.O. HTS. TO BE 6'-10 1/2" U.O.N.  
 CEILING HTS. TO BE 8'-1 1/8" U.O.N.  
 ANGLES TO BE 1/2 U.O.N.  
 UNSPECIFIED HDRS. TO BE 2-2x8 MIN.  
 ○ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS  
 PER SECTION R310 OF THE RES. CODE OF NYS  
 \* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
 DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG



**NOTES:** SMOKE DETECTION & ALARM DEVICES:  
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.  
 CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

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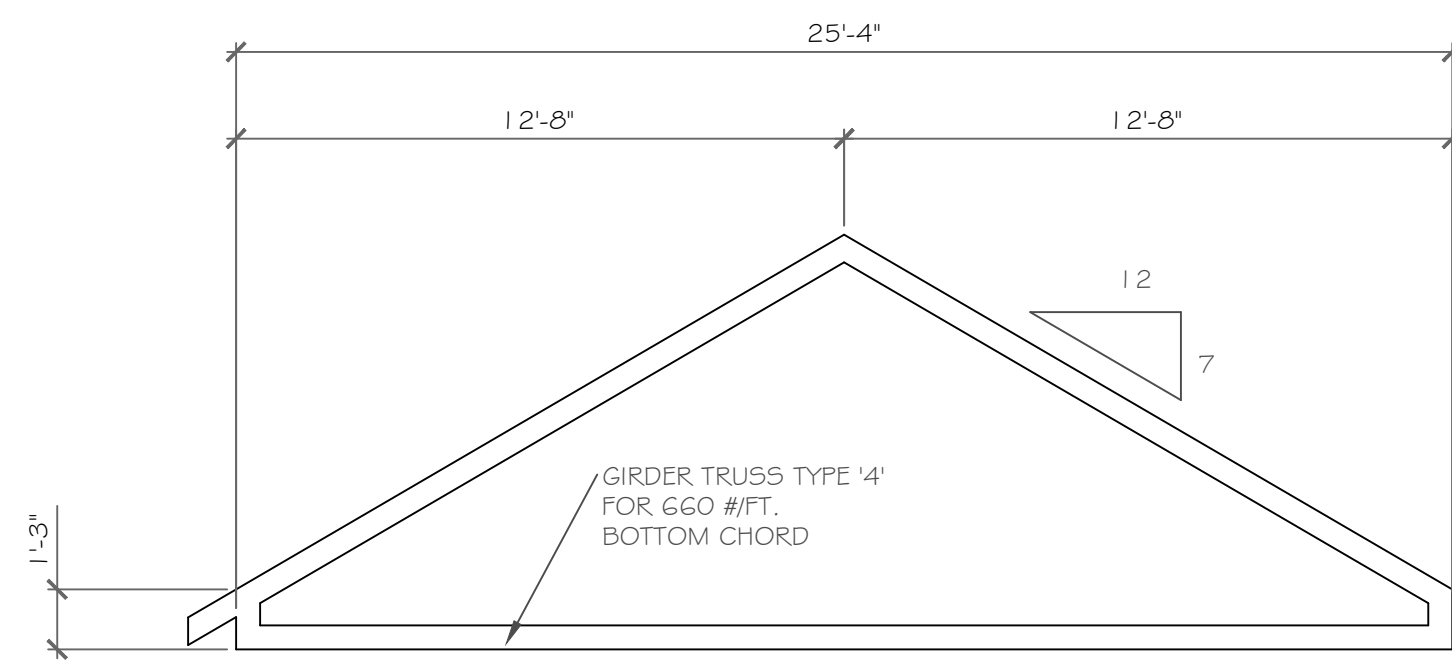
REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT - <b>Lot 20P, Wilshire Hill                  Pittsford, New York</b>	CLIENT - <b>Morrell Builders</b>	JOB NO. - A20-02G	DATE - August 2020	PHASE - Construction Documents
		DRAWING TITLE - <b>Second Floor Plan</b>		

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 fax: (585) 249-1333  
 email: CKHennessey@frontiernet.net

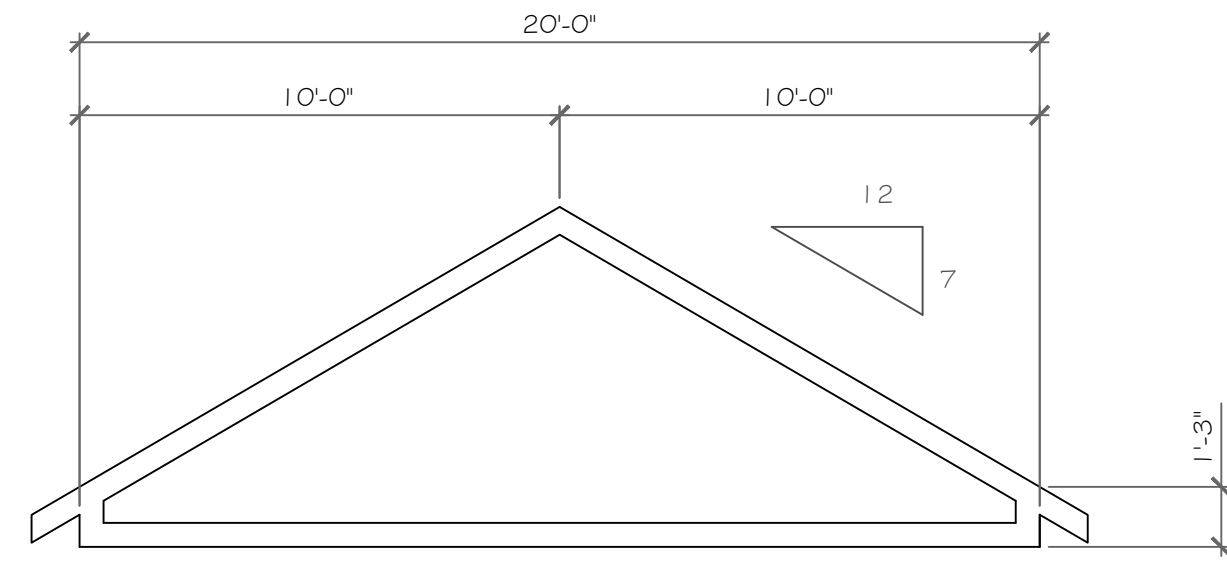
DRAWING NO. -  
**A-4**





TRUSS '4' DIAGRAM

1/4" = 1'-0"



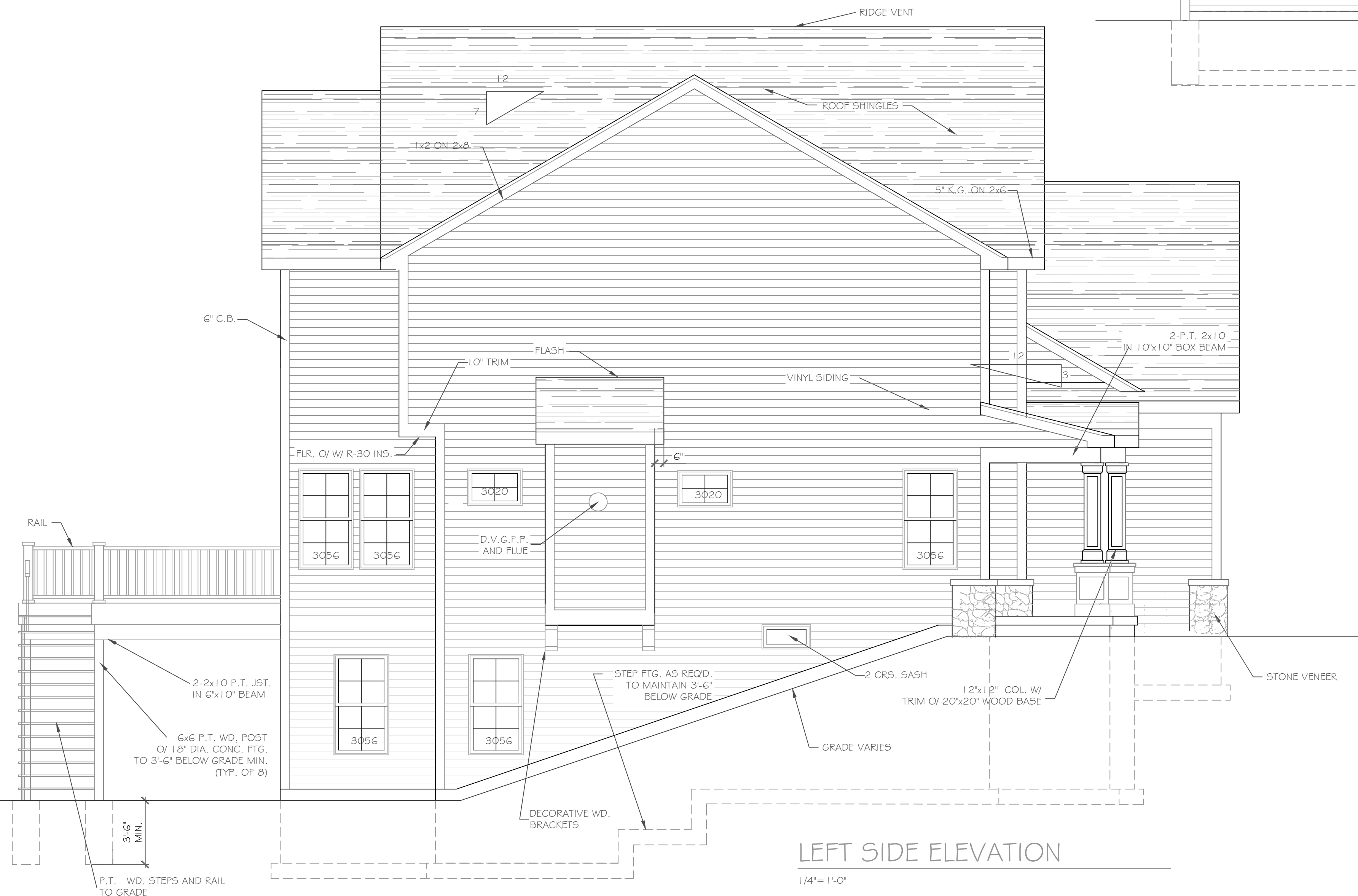
TRUSS '5' DIAGRAM

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	Elevations
	Construction Documents

PROJECT-	Lot 20P, Wilshire Hill Pittsford, New York
CLIENT-	Morrell Builders
JOB NO.-	A20-026
DATE-	August 2020

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
fax: (585) 249-1333  
e-mail: CKHennessey@frontiernet.net

DRAWING NO.-  
**A-6**

















## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**D20-000010**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 65 Pickwick Drive ROCHESTER, NY 14618

**Tax ID Number:** 150.08-1-51

**Zoning District:** RN Residential Neighborhood

**Owner:** Post, James D

**Applicant:** Post, James D

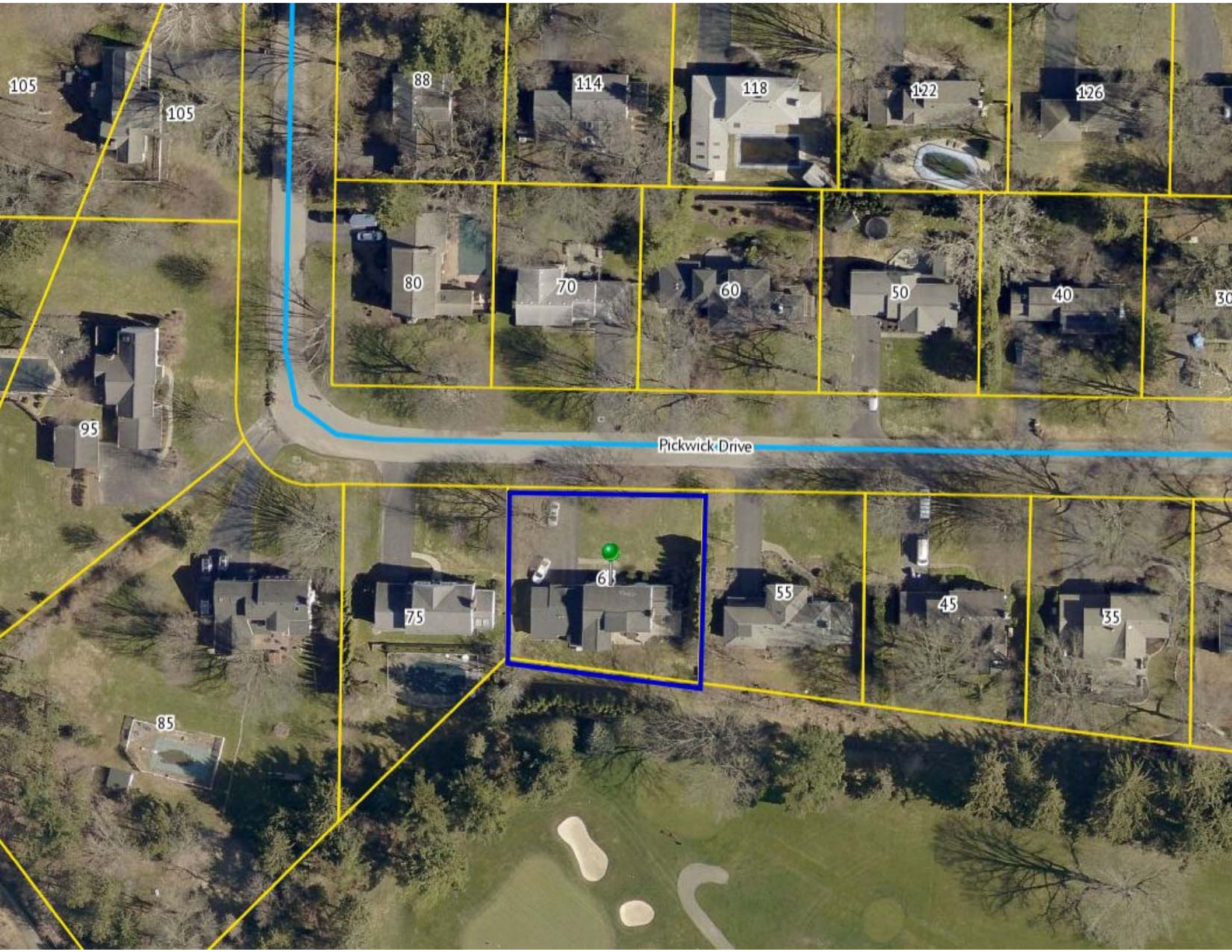
#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                    | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input checked="" type="checkbox"/> Informal Review                 |   |

**Project Description:** The owner of 65 Pickwick Dr., has applied for a demolition permit to allow the demolition of a single family dwelling at 65 Pickwick Drive. This property is Zoned Residential Neighborhood (RN). The Demolition permit is to be issued on or after October 16, 2020. Said structure is over 50 years old.

**Meeting Date:** September 10, 2020





105

105

88

114

118

122

126

80

70

60

50

40

30

95

Pickwick Drive

61

55

45

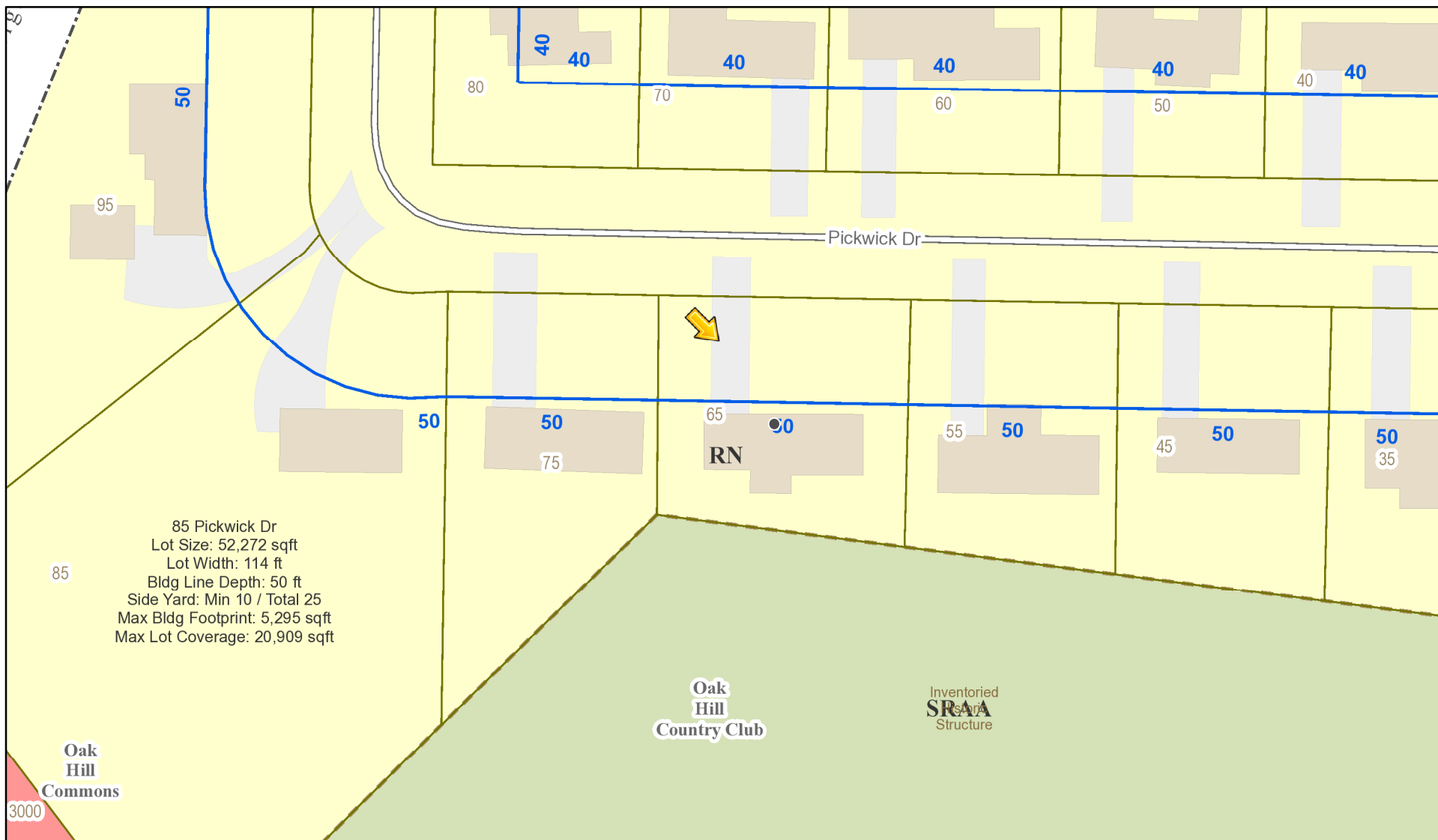
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85

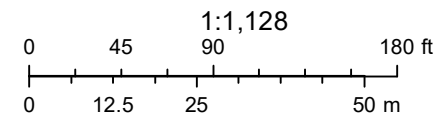
75



# RN Residential Neighborhood Zoning



Printed September 3, 2020



Town of Pittsford GIS

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