

**Design Review & Historic Preservation Board
Agenda
August 22, 2019**

HISTORIC PRESERVATION DISCUSSION

LANDMARK DESIGNATION – PUBLIC HEARING

- **191 Long Meadow**

Applicant is requesting design and review to designate the above address as a Historic Landmark in accordance with Article XXX, Section 185-195.3 of the Pittsford Town Code. The property is zoned (RN) Residential Neighborhood.

RESIDENTIAL APPLICATION FOR REVIEW

- **77 Meadow Cove Rd.**

Applicant is requesting design review for the addition of livable space above an existing garage. The addition will be approximately 768 sq. ft. and include two bedrooms and two bathrooms. The materials will match the existing home.

- **28 Kirklees Rd.**

Applicant is requesting design review for the renovation of a garage into livable space. The garage will be renovated into a master suite and living room and will be approximately 570 sq. ft. The garage door will be filled in and new windows will be added to the front facade as well as the side and rear of the existing garage.

- **5 Krislynn Dr.**

Applicant is requesting design review for the two-story addition. The addition will be located to the west side of the home and will be approximately 1000 sq. ft. Included on the south side of the addition will also be a 120 sq. ft. attached shed.

- **91 Maywood Ave.**

Applicant is requesting Design Review for an addition to a garage and a new front porch. The garage addition will be located to the front and side of the current garage and will be approximately 150 sq. ft. The front porch addition will be approximately 45 sq. ft. The home will receive exterior refacing, new siding and stone.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **2179 W. Jefferson Rd.**

Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2431 sq. ft. and will be located on a now empty lot. The previous house was demolished in 2018.

- **17 Coventry Ridge**

Applicant is requesting design review for a new single-family one story home. The new home will be approximately 2,302 sq. ft. and will be located in the Coventry Ridge subdivision.

- **26 Hawkstone Way**

Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2290 sq. ft. in the Coventry Ridge Subdivision.

- **26 Escena Rise**

Applicant is requesting design and review for the construction of a new 3475 sq. ft. two-story single family home. The first floor will be 1926 sq. ft. and the second floor will be 1549 sq. ft. This home will be located in the Wilshire Hills Development.

COMMERCIAL APPLICATION FOR REVIEW

- **3050 Monroe Ave.**
Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 24 Sq. Ft. and will identify "Wells Fargo Home Mortgage". The applicant was approved for a business identification sign at the April 11th meeting but has come back for a change to the design.
- **3400 Monroe Ave.**
Applicant is requesting design review for the renovation that will include the addition of windows to the side of a commercial building. The windows will match the existing windows in the front. The attached picture is for reference of the windows only.
- **3040 Monroe Ave.**
Applicant is requesting design review for the addition of a business identification sign. The sign will be for the business "Code Ninjas" and will be approximately 20.65 sq. ft. located on the front of the building.

OTHER – REVIEW OF 6/27/2019 MINUTES

Draft
Design Review and Historic Preservation Board
Minutes
July 25, 2019

PRESENT

Dirk Schneider, Chairman; Kathleen Cristman, Paul Whitbeck, David Wigg, John Mitchell

ALSO PRESENT

Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Bonnie Salem, Leticia Fornataro

RESIDENTIAL APPLICATION FOR REVIEW

• **305 West Bloomfield Road**

The Applicant is requesting design review for the construction of an oversize accessory structure. The structure will be approximately 2400 sq. ft. and will be located south west of the home. The applicant has received approval from the Zoning Board on 7/15/19 for the size and height of the structure.

The Applicants, Mike Krenzer and Leigh Van Ostrand, were present.

The Board had many questions regarding the structures appearance. The structure will be 25 ft. tall with the cupola. The structure will be sided with a hickory moss and burgundy color. The posts will be trimmed in hickory moss and the roof will be burgundy. However, the applicants have not decided if they will use metal or asphalt for the roof. The garage doors will be dark to complement the structure. The home will have new windows that will match the proposed structures windows. Color samples were presented to the Board.

Dirk Schneider moved to accept the application as submitted with the clarifications presented on 7/25/19 with the following conditions.

1. The eave overhang will be a minimum of 12"
2. The body of the pole barn will be hickory Moss (870 on the color chart presented.)
3. The base and the roof will be classic burgundy (853 on the color chart presented.)
4. The garage doors will be a dark color to complement the burgundy on the pole barn.
5. Shutters will match the house.
6. The window trim will be close to the hickory moss color.

Kathleen Cristman seconded.

All Ayes.

• **1762 Calkins Road**

The Applicant is requesting design review for an oversize accessory structure. The structure is already located on the property and will be moved behind the home to be utilized as a pool house. The garage doors will be replaced with sliding glass doors but the windows will remain.

Justin Kellogg of Meagher Engineering was present. He stated that the existing detached garage currently nearest Calkins Road will be moved and repurposed as a pool house. There will be a new concrete floor, possibly new windows and the siding will match the home.

John Mitchell moved to accept the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **42 Arbor Creek Drive**

The Applicant is requesting design review for an addition of an indoor swimming pool. The addition will be approximately 480 sq. ft. and will be located to the rear of the home.

The contractor, Craig Kota, and homeowner, Jennifer Funderburk, were present.

Mr. Kota indicated that all features on the additions will match the existing on the home. John Mitchell seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **7 Aden Hill**

The Applicant is requesting design review for the construction of a one story single family home. The home will be 1835 sq. ft. and will be located in the Wilshire Hills Subdivision.

Jeff Brokaw of Morrell Builders was present.

The Board noted that the 4/1 pattern in the windows will be in the front only. There will be no shutters. David Wigg moved to accept the application as submitted. Paul Whitbeck seconded.

All Ayes.

- **17 Aden Hill**

The Applicant is requesting design review for the construction of a one story single family home. The home will be 1809 sq. ft. and will be located in the Wilshire Hills Subdivision.

Jeff Brokaw of Morrell Builders was present.

The Board was pleased to see a side load garage on this model. There will be no man door on the garage.

Kathleen Cristman moved to approve the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **7 Windscape Park**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2372 sq. ft. and located in the Windscape Park Subdivision.

The contractor, Tony Bingo, was present.

The new will be a ranch style home with earth tone colors. The siding on the front elevation will be Hardie panel board with synthetic stone knee wall. The other elevations will be vinyl siding.

The Board made recommendations that all elevations be finished in Hardie board that the corner boards be 5/4" x 6" Hardie board as well.

Dirk Schneider moved to approve the application as submitted. Kathleen Cristman seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **2300 West Jefferson Road**

The Applicant is requesting design review for the change to a business identification sign. The sign originally submitted (A 201-7) at the 6/27/2019 Design Review meeting will now read "SKALNY CHILDCARE CENTER." The letters will be a brushed aluminum stud mounted and pin back-lit.

Deb Herb of Image 360 and Mike Stevens of the YMCA of Greater Rochester were present.

The Applicant is returning to modify a previously approved sign. The new sign will be placed on the stone above the doorway to the Child Care Center instead of on the gable. The font will be the same as the font on the other signs that have already been approved. Also the timing of the lighting will be the same as the approved timing at the June 27, 2019 meeting.

John Mitchell moved to approve the application as submitted with the condition that the timing of the lighting of this sign follow the previously approved application on June 27, 2019. Dirk Schneider seconded.

All Ayes.

- **3349 Monroe Avenue**

The Applicant is requesting design review for the change to a business identification sign. The business "J. Crew Mercantile" would like to change their sign to 1 1/2" deep aluminum backlit channel letters with face and returns painted matte black. The new sign will read "J. Crew Factory."

Laura Baranes of Premier Signs was present to discuss the application with the Board. She indicated the new size would be less square footage as the previous sign.

David Wigg moved to approve the application as submitted. Dirk Schneider seconded.

All Ayes.

INFORMAL REVIEW

- **Clover Street Lot #8**

The Applicant is requesting an informal design review for the construction of a two story single family home. The home will be approximately 6800 sq. ft. and will be located on an empty lot on Clover Street.

No representative was present.

This application requires an area variance for height.

The topography of the lot goes up hill necessitating the appearance of three stories on the east elevation.

The Board made the following comments:

1. The position of the house which does not face the road is contrary to the design guidelines.
2. A forward facing home would be more in keeping with the guidelines and more attractive to the community.
3. A structure that is angled towards the road would be more acceptable.
4. The Board felt that the home is missing a large masonry element.

5. The dormer on the west elevation is a distraction from the design.
6. The front door should be more pronounced.

OTHER – REVIEW OF 7/11/2019 MINUTES

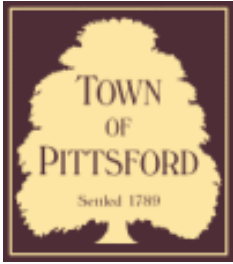
John Mitchell moved to approve the minutes of the 7/11/19 meeting as amended. Kathleen Cristman seconded. All Ayes.

The meeting adjourned at 8:20 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
LD19-000001

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 191 Long Meadow Circle PITTSFORD, NY 14534

Tax ID Number: 150.20-2-17

Zoning District: RN Residential Neighborhood

Owner: Straw, Kimball

Applicant: Straw, Kimball

Application Type:

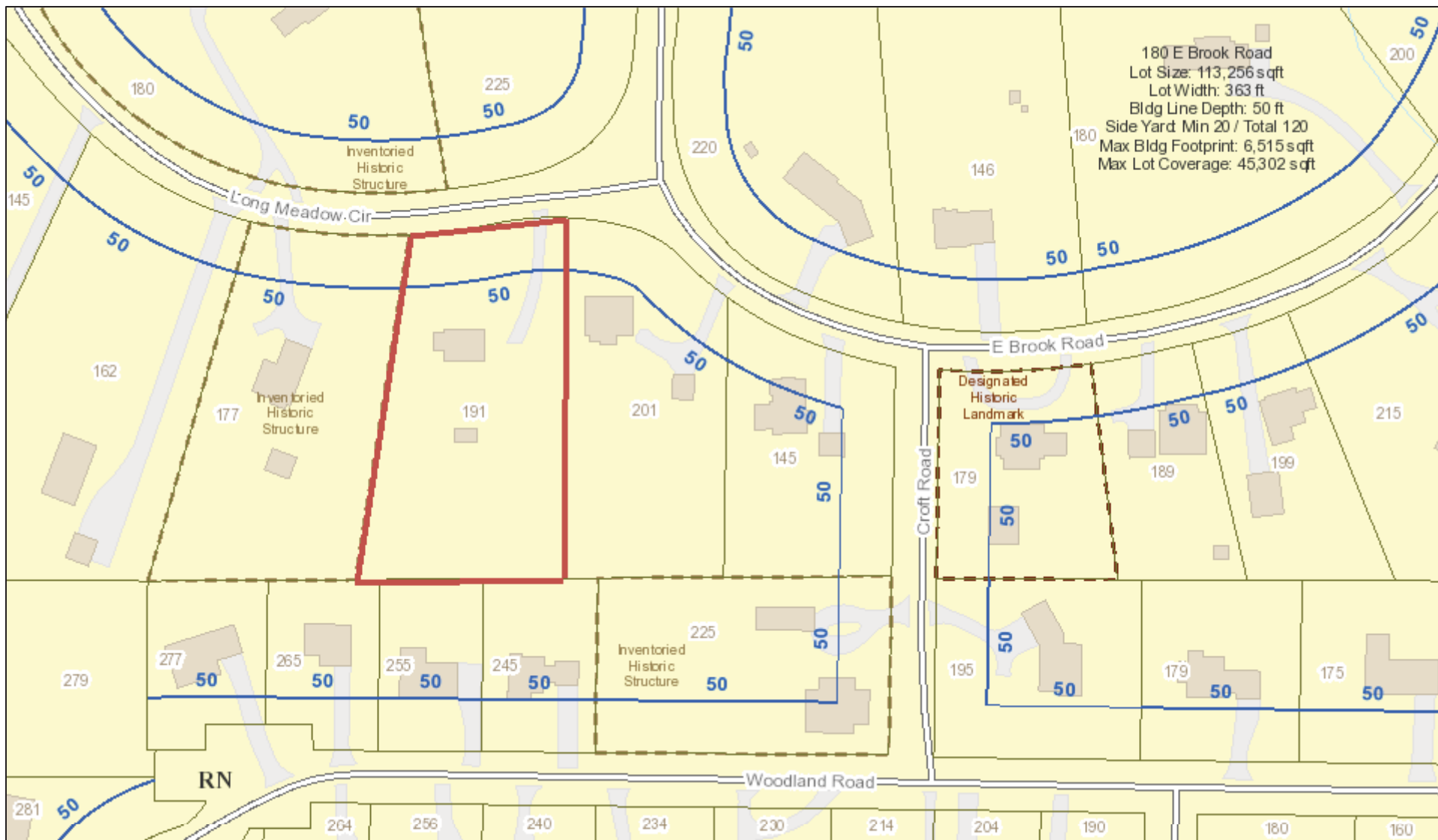
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input checked="" type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design and review to designate the above address as an Historic Landmark in accordance with Article XXX, Section 185-195.3 of the Pittsford Town Code. The property is zoned (RN) Residential Neighborhood.

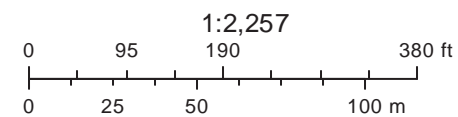
Meeting Date: August 22, 2019



RN Residential Neighborhood Zoning

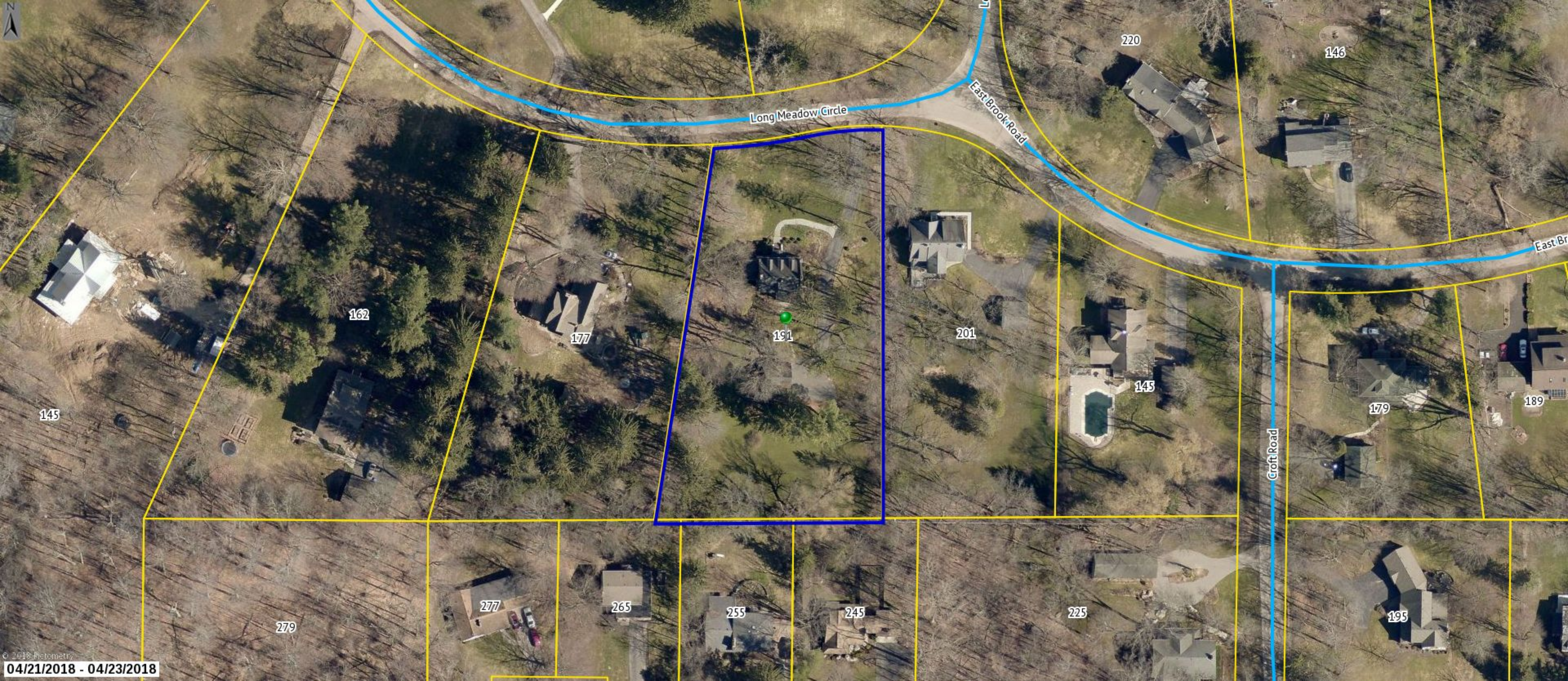


Printed August 15, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Long Meadow Circle

East Brook Road

Croft Road

145

162

177

191

201

145

179

189

279

277

265

255

245

225

195

220

146

Lot No.

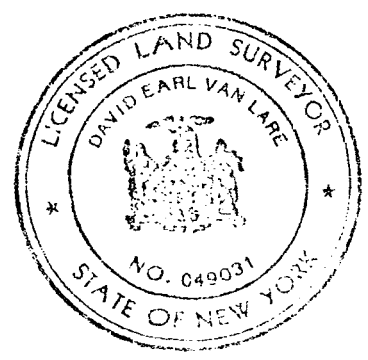
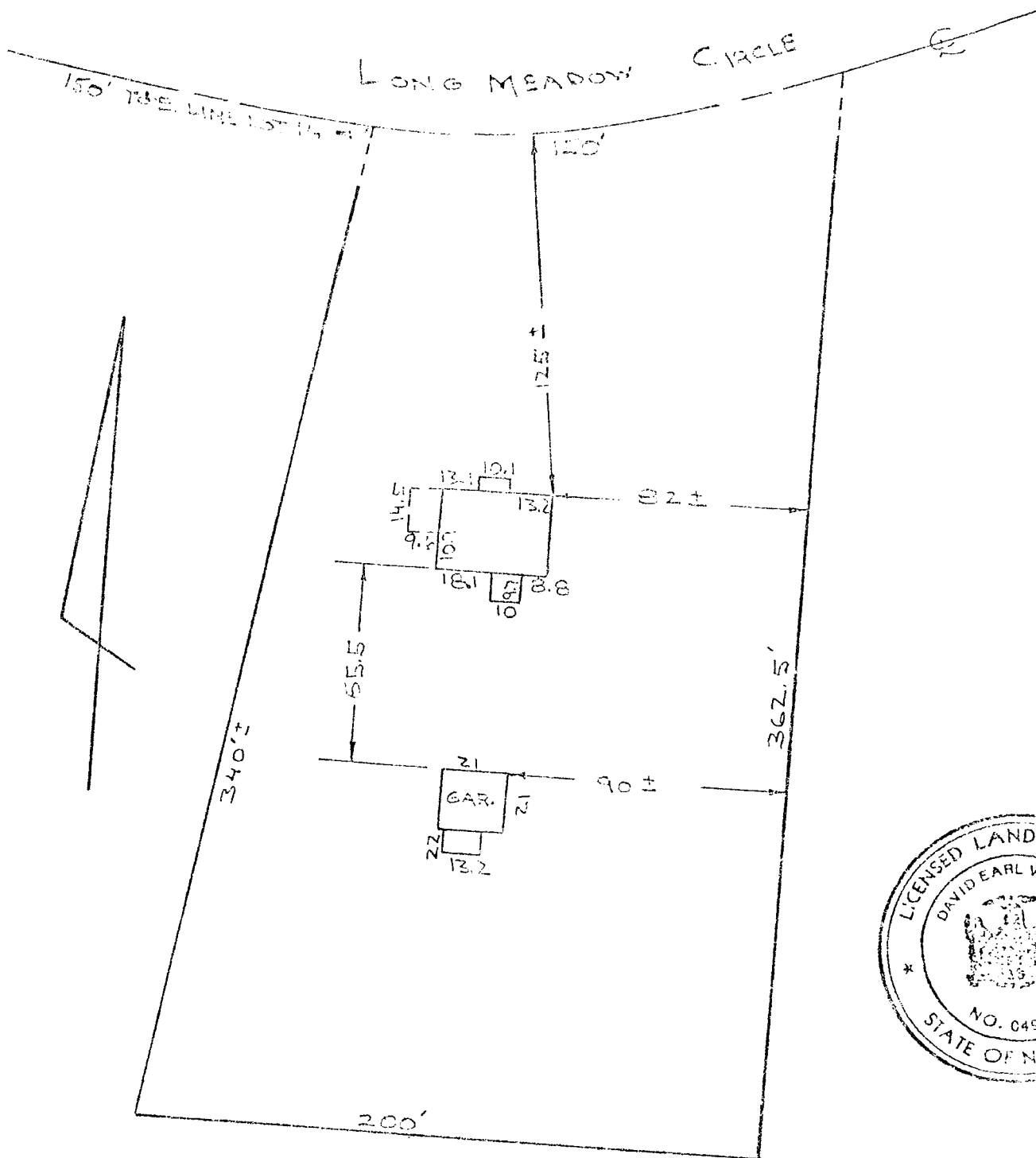
Reference Data, Liber of Maps, Page; Liber of Deeds, Page

Showing Story Dwelling; Garage (Not) Attached.

Distance as Shown From Property Line Actually Measured.

Monuments Used: YES NO

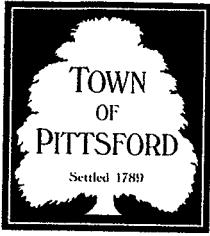
All buildings on premises and any apparent encroachment by or on premises are shown.
Main front wall is (is not) on apparent uniform set-back line.



Scale 1" = 50'

Date: JUNE 8, 1977

Remarks: This information is for
This is not an instrument survey and information should not be used for building purposes or exact location of



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Landmark Designation

Case # _____

1. Property Address: 191 Long Meadow Circle
 2. Tax Account Number: 264689 150.20-2-17
 3. Applicant's Name: Kimball Straw
Address: 191 Long Meadow Cir Phone: 586-8588

<u>Pittsford</u>	<small>Street</small>	<u>NY</u>	<u>14534</u>	E-mail: <u>kballstraw@aol.com</u>
<small>City</small>		<small>State</small>	<small>Zip Code</small>	
 4. Applicant's Interest in Property:
Owner: Lessee: Holding Purchase Offer:
Other (explain): _____
 5. Owner (if other than above): _____
Address: _____ Phone: _____

<small>Street</small>				E-mail: _____
<small>City</small>		<small>State</small>	<small>Zip Code</small>	
- Has the Owner been contacted by the Applicant? Yes No
6. Application prepared by: K Straw
Address: 191 Long Meadow Cir Phone: 586-8588

<u>Pittsford</u>	<small>Street</small>	<u>NY</u>	<u>14534</u>	E-mail: <u>kballstraw@aol.com</u>
<small>City</small>		<small>State</small>	<small>Zip Code</small>	
 7. Present use of Property: Residential
 8. Zoning District of Property: Residential Neighborhood Zoning (RN)

9. **STATEMENT OF SIGNIFICANCE:** Use the discussion items below to explain why the structure should be considered for designation as a Landmark. Include reference sources used to address each item (attach additional sheets if necessary):

A. **Summary Statement:** Provide a brief Summary Statement describing why this Application should be considered for designation as a Landmark.

This home, built in 1918, is an example of Georgian Revival architecture. It is located in Long Meadow, an early 20th century real estate development recognized as the first major residential tract development in the Town of Pittsford and one of the first Rochester suburbs. Long Meadow was designed by Alling DeForest, noted landscape architect, and is distinguished by its winding streets and park-like settings. This home is sited on a hill and is unusual in the neighborhood for its architectural style and material.

B. **Description of Property's History:**

i. Chronologically identify the original and subsequent property owners (include dates, if possible):

John Wright - 1918
Beyland - 1920
Dewey Crittenden - 1935
Stephen E & A.N. Monohan - 1959
Robert W and Barbara K Drake - 1971
Stephen L and Rosemarie Olsen - 1977
Kimball and Judith Straw - 1978

ii. **Date of Initial Construction:** 01/01/1918

Architect: unknown

Builder: unknown

iii. **Facts/Information on original plan and construction of building(s):**

iv. **Facts/Information on known alterations and additions, with dates, architects, and/or builders:**

Town property file contains information on 1935 permit for work on a garage, back porch and remodeling of front entrance. Dewey Crittenden owner.

C. Statement of Architectural Significance:

i. Architecture style or period:

Fine example of Georgian Revival style. Notable features include strong classical symmetry, brick exterior, pedimented entry, two-story side porch. symmetrical chimneys at each end of house. 2 1/2 story center entrance. 3 roof dormers.

ii. Architecture interest and merit:

This home is rated G+ in the 2017 Historic Resource Survey indicating high architectural and/or historic significance and high physical integrity. It's architectural style is unusual in Long Meadow. It may be the only brick home in Long Meadow.

iii. Current exterior condition (describe construction, finishes, and state of repair):

All brick exterior. Wooden, louvered shutters with hinges and dog closures. Structurally solid.

D. Significance of any additional on-site buildings and property surroundings:

i. Describe natural features of parcel:

Original garage bricked up in 1935.

ii. Outbuildings (list existing outbuildings with associated state of repair and describe their significance):

iii. Describe surrounding structures and neighborhood:

Long Meadow neighborhood is one of Rochester's first suburbs. Designed by Alling DeForest, designer of George Eastman gardens. The 1991 Pittsford survey considered houses on each side of 191 to be historically significant.

E. Statement of Historic Importance:

i. Historical events associated with the property and dates:

[Empty box for historical events]

ii. Well-known persons associated with the property:

Long Meadow was designed by Alling DeForest, the same noted landscape architect who designed George Eastman's gardens. Mr. DeForest worked with the natural setting by designing meandering roads and large lots. Long Meadow is important for its landscape scheme.

F. Statement of Other Significance (if any):

[Empty box for other significance]

10. Provide a List of Documents and Publications that relate directly to this application.

2017 Town of Pittsford Historic Resource Survey Update
1991 Town of Pittsford Architectural and Historical Survey Report
1980 Historic Pittsford Survey Building Structure Inventory Form
Town of Pittsford Assessor Records

11. Additional materials submitted with this application (if available):

- Parcel map
- Photographs
- Other materials
- Architectural elevations
- Architectural plans
- Tape location map

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Kimball Straw

Signature of applicant





6/20/19
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____

	<p>G+</p>	<p>✓ 191 Long Meadow Circle, 1918</p>	<p>Unusual in the neighborhood; notable features include strong classical symmetry, brick exterior, pedimented entry, two-story side porch, sitting on a hill. 1991 survey: contributing in Long Meadow potential district.</p>
	<p>G+</p>	<p>✓ 201 Long Meadow Circle, ca. 1900</p>	<p>Good example of the Craftsman style; some replacement windows. 1991 survey: contributing in Long Meadow potential district.</p>
	<p>G+</p>	<p>✓ 355 Mendon Center Road, ca. 1868</p>	<p>Good integrity except for front chimney, added since 1980. Appears to be a fairly typical farmhouse. Associated with Schoen family. 1991 survey: not rated.</p>
	<p>G+</p>	<p>✓ 44 Parker Drive, 1950-51 (Robert Brown House) <i>off South Main near Sunset</i></p>	<p>Designed by Don Hershey. Notable as a modernist interpretation of the Ranch form with long, low profile, large and varied windows, overhanging eaves with exposed rafter tails. This was written up in a book called Quality Budget Houses. Garage (attached by a roof) is not original; original garage appears to have been converted to living space. 1991 survey: not rated.</p>

2017



191 Long Meadow Circle

Comments on application for landmark designation

This home is significant for its architectural style and integrity. It is a 2 ½ story, 3 bay, center entrance home that embodies the distinguishing characteristics of the Georgian Revival architectural style. Its notable features include classical symmetry, a brick exterior, an entrance porch with columns and a pediment, and a two-story side porch. Built in 1918, the home has been maintained with a high level of architectural integrity. No significant exterior architectural elements have been altered or removed. It retains its original brick exterior, many of the original windows including the original glass, and original shutter hardware.

The 2017 Historic Resource Survey Update placed this home in the category of high architectural and/or historic significance and high physical integrity (G+), eligible for consideration as a local historic landmark.

Many homes in Long Meadow, particularly those of craftsman or bungalow style, were built by local builders and craftsmen and did not include an architect's plan. Research did not uncover an architect's name or plans for the construction of 191 Long Meadow Circle. However, the classic architectural features of this home such as a symmetrically balanced façade with center door, windows with double hung sashes, and a front door with pediment and sidelights, would indicate the involvement of an architect. The fact that it is a unique style in the Long Meadow neighborhood also points to an architectural plan.

Historically, this home is distinguished by its location in Long Meadow, the first major residential tract development in Pittsford. Designed by noted landscape architect Alling DeForest who worked with the natural setting, Long Meadow is characterized by winding streets, large lots, and homes set well back from the road and often situated on a rise. Since its development in the early 1900's, Long Meadow has retained its historic architectural and landscape characteristics and consequently has the potential to be designated as a historic district.

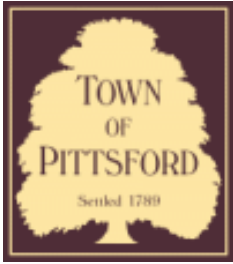
Like most homes in Long Meadow, the home at 191 Long Meadow Circle is sited on a rise on a typically large lot and is set well back from the narrow, winding street. A landscape of mature trees and plantings enhance the appearance of the home and buffer it from its neighbors. Because this home retains its original architectural integrity, including materials, it is further distinguished by being considered "contributing" to the potential Long Meadow historic district.

Bonnie Salem

Bonnie Salem, Member

Design Review and Historic Preservation Board

July 1, 2019



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000114

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 77 Meadow Cove Road PITTSFORD, NY 14534

Tax ID Number: 164.12-2-67

Zoning District: RN Residential Neighborhood

Owner: Refermat, Mary

Applicant: Refermat, Mary

Application Type:

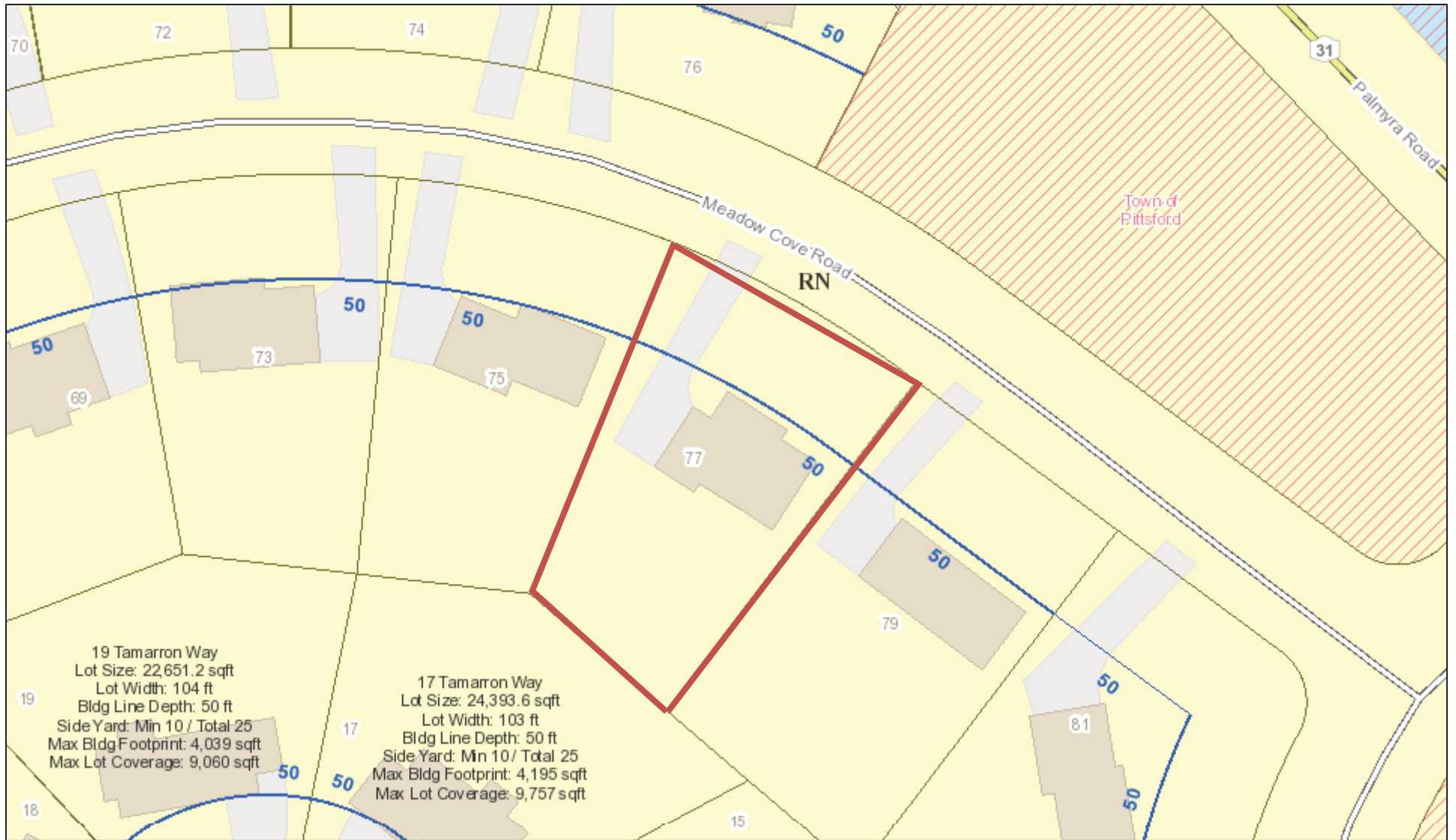
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of livable space above an existing garage. The addition will be approximately 768 Sq. Ft. and include two bedrooms and two bathrooms. The materials will match the existing home.

Meeting Date: August 22, 2019



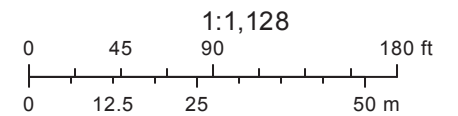
RN Residential Neighborhood Zoning



19 Tamarron Way
Lot Size: 22,651.2 sqft
Lot Width: 104 ft
Bldg Line Depth: 50 ft
Side Yard: Min 10 / Total 25
Max Bldg Footprint: 4,039 sqft
Max Lot Coverage: 9,060 sqft

17 Tamarron Way
Lot Size: 24,393.6 sqft
Lot Width: 103 ft
Bldg Line Depth: 50 ft
Side Yard: Min 10 / Total 25
Max Bldg Footprint: 4,195 sqft
Max Lot Coverage: 9,757 sqft

Printed August 14, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



INSTRUMENT SURVEY

RECEIVED
MAR - 9 2000



REFERENCES:

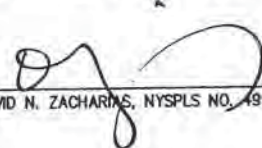
1. A PLAN ENTITLED "KOLANEKA FARMS, FINAL SUBDIVISION PLAN," PREPARED BY BONCKE MUELLER ELDRED ASSOCIATES, PC., AND FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 296 OF MAPS, PAGE 25.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. PARCEL MAY BE SUBJECT TO A UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
2. SETBACK REQUIREMENTS:
FRONT YARD: 50'
SIDE YARD: 10'
REAR YARD: 10'

WE, BONCKE MUELLER ELDRED ASSOCIATES, PC CERTIFY TO: CITICORP MORTGAGE, INC., ITS SUCCESSORS AND/OR ASSIGNS; REMINGTON, GIFFORD, WILLIAMS & COLICCHIO LLP; V. ANTHONY AND ANDREA M. QUERCIA; BOYLAN, BROWN, CODE, VIGDOR & WILSON, LLP; AND MONROE TITLE INSURANCE CORPORATION THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON SEPTEMBER 17, 1999, A FIELD EDIT ON MARCH 3, 2000 AND FROM THE REFERENCES NOTED HEREON.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE NOTED HEREON.

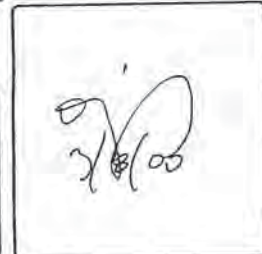
BY:  DATE: 3/7/00
DAVID N. ZACHARIAS, NYSPLS NO. 49940

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**BONCKE
MUELLER
ELDRED**
ASSOCIATES, P.C.
ENGINEERS, SURVEYORS, PLANNERS

6 NORTH MAIN STREET
FAIRPORT, NEW YORK 14450
716-377-7369
FAX 716-377-7309
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Associates, P.C.

LOT 29 KOLANEKA FARMS SUBDIVISION
TOWN OF PITTSFORD MONROE COUNTY NEW YORK
DRAWN BY: GDB
DATE: 9-20-99
SCALE: 1"=50'
DWG NO: 9504-47



REVISED PER FIELD EDIT 3/7/00 DNZ



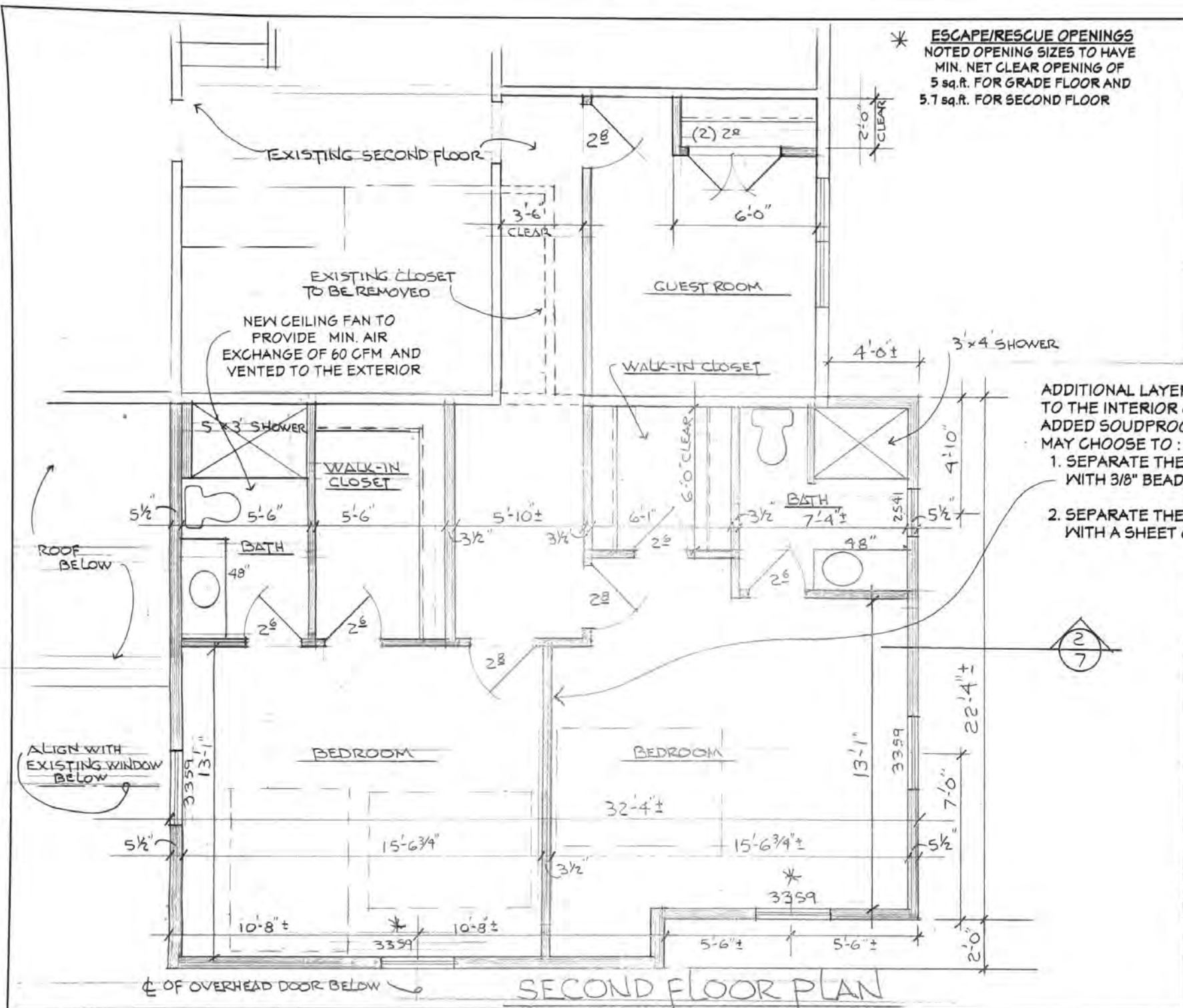




* ESCAPE/RESCUE OPENINGS
 NOTED OPENING SIZES TO HAVE
 MIN. NET CLEAR OPENING OF
 5 sq.ft. FOR GRADE FLOOR AND
 5.7 sq.ft. FOR SECOND FLOOR

THOMAS R. DOUGHTY
 ARCHITECT, P.C.

4 WOODBRIAR LANE
 ROCHESTER, NY 14624
 (505) 247-6480
 doughty.t@gmail.com



ADDITIONAL LAYER OF 1/2" GYP. BD. ADDED TO THE INTERIOR OF THESE WALLS. AS AN ADDED SOUDPROOFING DETAIL THE OWNER MAY CHOOSE TO:

1. SEPARATE THE TWO LAYERS OF GYP. BD. WITH 3/8" BEADS OF ACOUSTICAL CAULK OR
2. SEPARATE THE TWO LAYERS OF GYP. BD. WITH A SHEET OF MASS-LOADED VINYL

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DATE: 10-9-18
SCALE: 1/4"=1'-0"
REVISIONS
PROJECT Residential Addition/Renovation for: The Refermat Family 77 Meadow Cove Pittsford, New York 14534
DRAWING TITLE SECOND FLOOR PLAN
SHEET NUMBER 1 OF 7

SECOND FLOOR PLAN



WINDOW NOTE: WINDOW SIZES AND LOCATIONS ARE PRELIMINARY. IN THE EVENT THAT THE OWNER REVISES WINDOW SIZES, QUANTITY OR LOCATION THE AREA OF TOTAL GLASS MUST REMAIN AT 8% OF THE AREA OF THE ROOM. ATTENTION MUST ALSO BE MADE THAT WINDOWS COMPLY WITH EGRESS, ENERGY CONSERVATION AND SAFETY GLASS REQUIREMENTS REFERED TO IN THIS DRAWING SET.

CONTRACTOR/OWNER TO CONTACT ARCHITECT (585 247-6480) IF ANY CLARIFICATION IS NEEDED.

FRONT ELEVATION

THOMAS R. DOUGHTY
ARCHITECT, P.C.

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(585) 247-6480
doughty.t@gmail.com

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DATE: 10-9-18

SCALE: 1/4"=1'-0"

REVISIONS

PROJECT

Residential Addition/Renovation for:
The Refermat Family
77 Meadow Cove
Pittsford, New York 14534

DRAWING TITLE

FRONT ELEVATION

SHEET NUMBER

2 OF 7



**THOMAS R. DOUGHTY
ARCHITECT, P.C.**

4 WOODBRIAR LANE
ROCHESTER, NY 14624
(585) 241-6480
doughty.t@gmail.com

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DATE: 10-9-18

SCALE: 1/4" = 1'-0"

REVISIONS

PROJECT

Residential Addition/Renovation for:
The Refermat Family
77 Meadow Cove
Pittsford, New York 14534

DRAWING TITLE

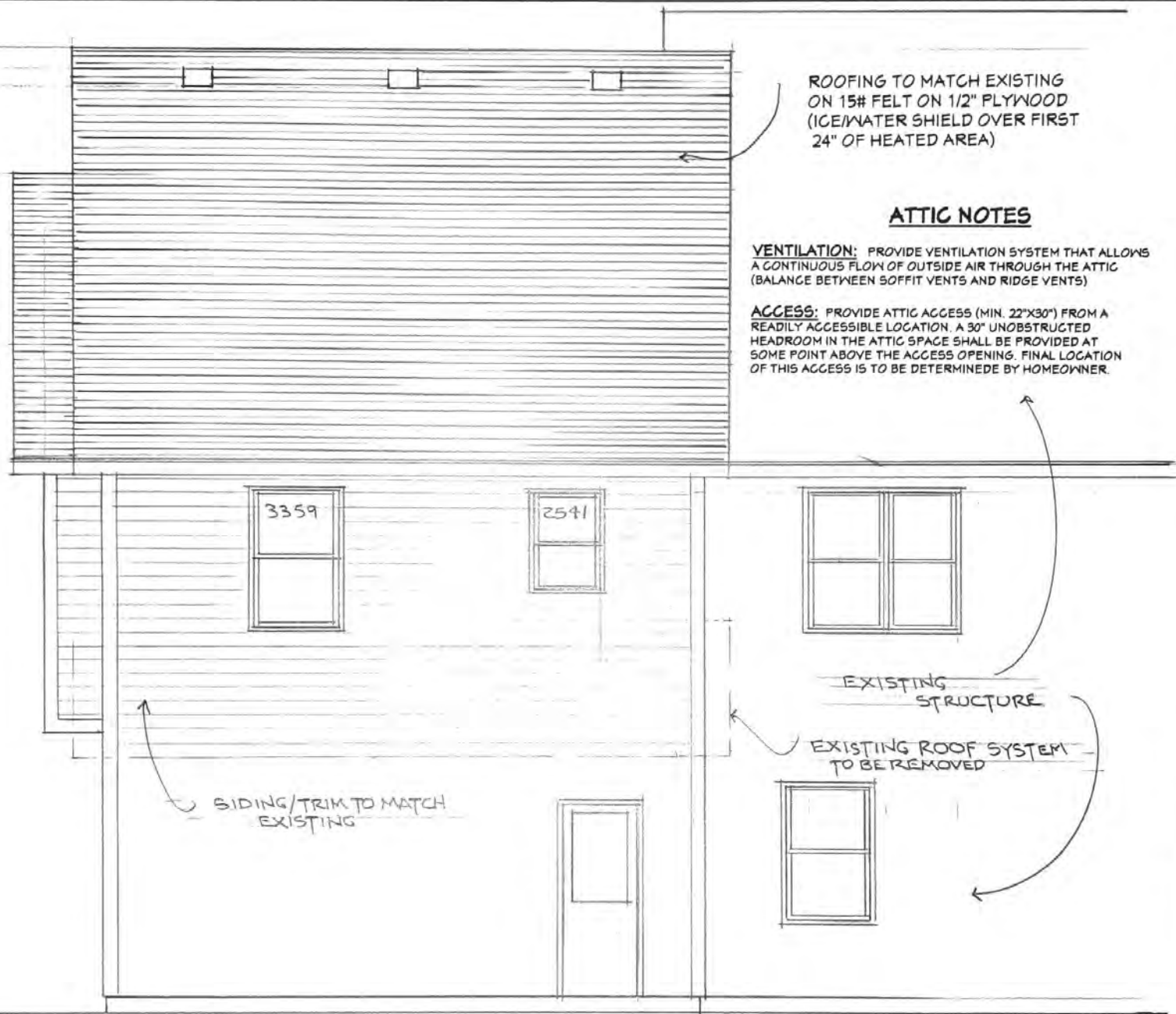
SIDE ELEVATION

SHEET NUMBER

3 of 7

SIDE ELEVATION

* ESCAPE/RESCUE OPENINGS
NOTED OPENING SIZES TO HAVE
MIN. NET CLEAR OPENING OF
5 sq.ft. FOR GRADE FLOOR AND
5.7 sq.ft. FOR SECOND FLOOR



ROOFING TO MATCH EXISTING
ON 15# FELT ON 1/2" PLYWOOD
(ICE/WATER SHIELD OVER FIRST
24" OF HEATED AREA)

ATTIC NOTES

VENTILATION: PROVIDE VENTILATION SYSTEM THAT ALLOWS
A CONTINUOUS FLOW OF OUTSIDE AIR THROUGH THE ATTIC
(BALANCE BETWEEN SOFFIT VENTS AND RIDGE VENTS)

ACCESS: PROVIDE ATTIC ACCESS (MIN. 22"x30") FROM A
READILY ACCESSIBLE LOCATION. A 30" UNOBSTRUCTED
HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT
SOME POINT ABOVE THE ACCESS OPENING. FINAL LOCATION
OF THIS ACCESS IS TO BE DETERMINED BY HOMEOWNER.

**THOMAS R. DOUGHTY
ARCHITECT, P.C.**

4 WOODBRIAR LANE
ROCHESTER, NY 14624

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DATE: 10-9-18

SCALE: 1/4"=1'-0"

REVISIONS

PROJECT

Residential Addition/Renovation for:
The Refemat Family
77 Meadow Cove
Pittsford, New York 14534

DRAWING TITLE

REAR ELEVATION

SHEET NUMBER

4 of 7

REAR ELEVATION

EXISTING CONDITIONS

THESE DRAWINGS HAVE BEEN DEVELOPED FROM OWNER INPUT AND READILY VISIBLE EXISTING CONDITIONS. EXISTING CONDITIONS THAT WERE NOT VERIFIED SUCH AS FOUNDATIONS, ROOF STRUCTURE, HEADERS, ETC. HAVE BEEN ASSUMED TO BE DESIGNED AND INSTALLED AS PER BUILDING CODES AT THE TIME OF INSTALLATION AND AS PER COMMON CONSTRUCTION PRACTICES.

VALUE ENGINEERING

ARCHITECT WELCOMES INPUT FROM CONTRACTOR(S) ON OPPORTUNITIES FOR VALUE ENGINEERING (ANALYZING COST VS VALUE AND ALTERNATIVE MATERIALS / METHODS). ALL CONTRACTOR INPUT SHALL BE IN WRITING AND APPROVED BY ARCHITECT BEFORE REVISION MAY BE IMPLEMENTED

SMOKE DETECTORS

SMOKE DETECTORS SHALL BE INSTALLED IN THE ADDITION AS WELL AS IN THE EXISTING STRUCTURE AS FOLLOWS: IN EACH BEDROOM, OUTSIDE THE BEDROOM AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN THE BASEMENT AND ADDITIONAL AREAS AS REQUIRED SO EACH STORY SHALL HAVE AT LEAST ONE SMOKE DETECTOR. IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT.

CARBON MONOXIDE ALARMS

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE EXISTING STRUCTURE AS FOLLOWS: IN EVERY STORY (INCLUDING BASEMENT). IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT. ALARMS SHALL NOT BE LOCATED IN OR NEAR LOCATIONS SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**THOMAS R. DOUGHTY
ARCHITECT, P.C.**

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DATE: 10-9-18

SCALE:

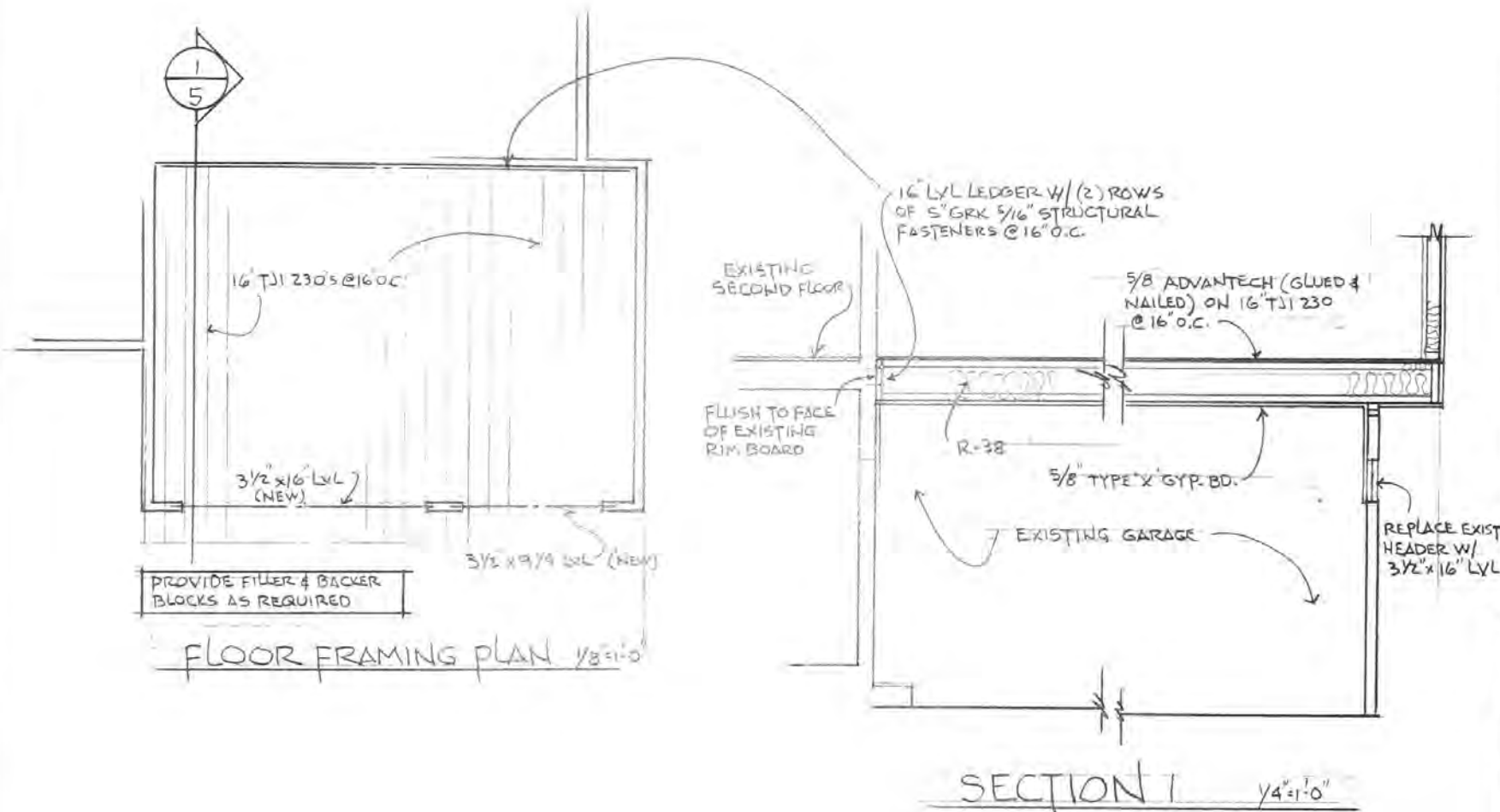
REVISIONS

PROJECT

Residential Addition/Renovation for:
The Refemat Family
77 Meadow Cove
Pittsford, New York 14534

DRAWING TITLE
**FLOOR FRAMING
& SECTION**

SHEET NUMBER
5 of 7



ENERGY EFFICIENCY

TABLE N1102.4.1.1 (402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall down to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing; and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Duct shafts, utility penetrations, and fire shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.



REScheck Software Version 4.6.5
Compliance Certificate

Project Residential Addition

Energy Code: **2015 IECC**
Location: **Pittsford, New York**
Construction Type: **Single-family Addition**
Project Type: **Addition**
Climate Zone: **5 (6734 HDD)**
Permit Date:
Permit Number:

Construction Site:
77 Meadow Cove
Pittsford, NY 14534

Owner/Agent:
Mary and Dave Refermat
77 Meadow Cove
Pittsford, NY 14534

Designer/Contractor:
Thomas Doughty
Thomas R. Doughty, Architect
4 Woodbriar Lane
Rochester, NY 14624
585 247-6480

Compliance: Passes using UA trade-off

Compliance: **3.8% Better Than Code** Maximum UA: **105** Your UA: **101**
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	748	38.0	0.0	0.030	22
Wall 1: Wood Frame, 16" o.c.	765	19.0	0.0	0.060	42
Window 1: Vinyl/Fiberglass Frame: Double Pane with Low-E	61			0.290	18
Floor 1: All-Wood Joist/Truss: Over Unconditioned Space	704	38.0	0.0	0.026	18
Floor 2: All-Wood Joist/Truss: Over Outside Air	44	38.0	0.0	0.026	1

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.6.5 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

**THOMAS R. DOUGHTY
ARCHITECT, P.C.**

4 WOODBRIAR LANE
ROCHESTER, NY 14624

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DATE: 10-9-18

SCALE:

REVISIONS

PROJECT

Residential Addition/Renovation for:

The Refermat Family
77 Meadow Cove
Pittsford, New York 14534

DRAWING TITLE

ENERGY NOTES &
REScheck

SHEET NUMBER

6 of 7

GENERAL NOTES

The intent of the final design is to match all existing materials
Contractor to verify all existing conditions and dimensions for compliance with construction documents
Codes govern over drawings

All construction as per the 2015 International Residential Code and 2017 NYS Supplement
In the event of conflict between pertinent codes, regulations and referenced standards of these drawings and specifications, the most stringent provisions shall govern

Structural Design Loads:

First Floor Living Space	40 PSF
Second Floor Living Space	30 PSF
Snow Load	40 PSF
Wind Speed	110 MPH

Thomas R. Doughty Architect has not been engaged for construction supervision and assumes no responsibility for construction conformance, means, methods, techniques or procedures of on-site work relating to the construction plans

Contractor to be responsible for all materials, construction methods, craftsmanship, procedures and conditions (including safety)

Design of electric, plumbing and HVAC systems by others. Verify location of existing utilities/services prior to construction.

Dimensions govern over scale

It is the responsibility of the contractor to notify the Architect of any discrepancies or deviations from these drawings

It is the responsibility of the contractor to obtain all permits

All materials shall be installed in strict accordance with manufacturer's instructions and recommendations

FRAMING NOTES

Verify all mechanical requirements before framing

Provide double studs (min) under beams w/ solid blocking to foundation (w/ solid CMU cores at point load) for proper support and load transfer

All structural lumber to be #2 hem fir or equal and pressure treated lumber to be #2 yellow pine or equal

Maximum header spans unless otherwise specified:

(2) 2 X 6	4'-0"	(2) 2X10	8'-0"
(2) 2 X 8	6'-0"	(2) 2X12	10'-0"

Note: Double jack studs required for openings over 4'-6" in bearing walls

Hurricane clips at all rafters/trusses

MISC. NOTES

Owner to specify interiors as required (floor covering, wall covering, moldings, interior doors, etc.)

All penetrations in the building envelope shall be sealed (caulked, weather-stripped, etc.)

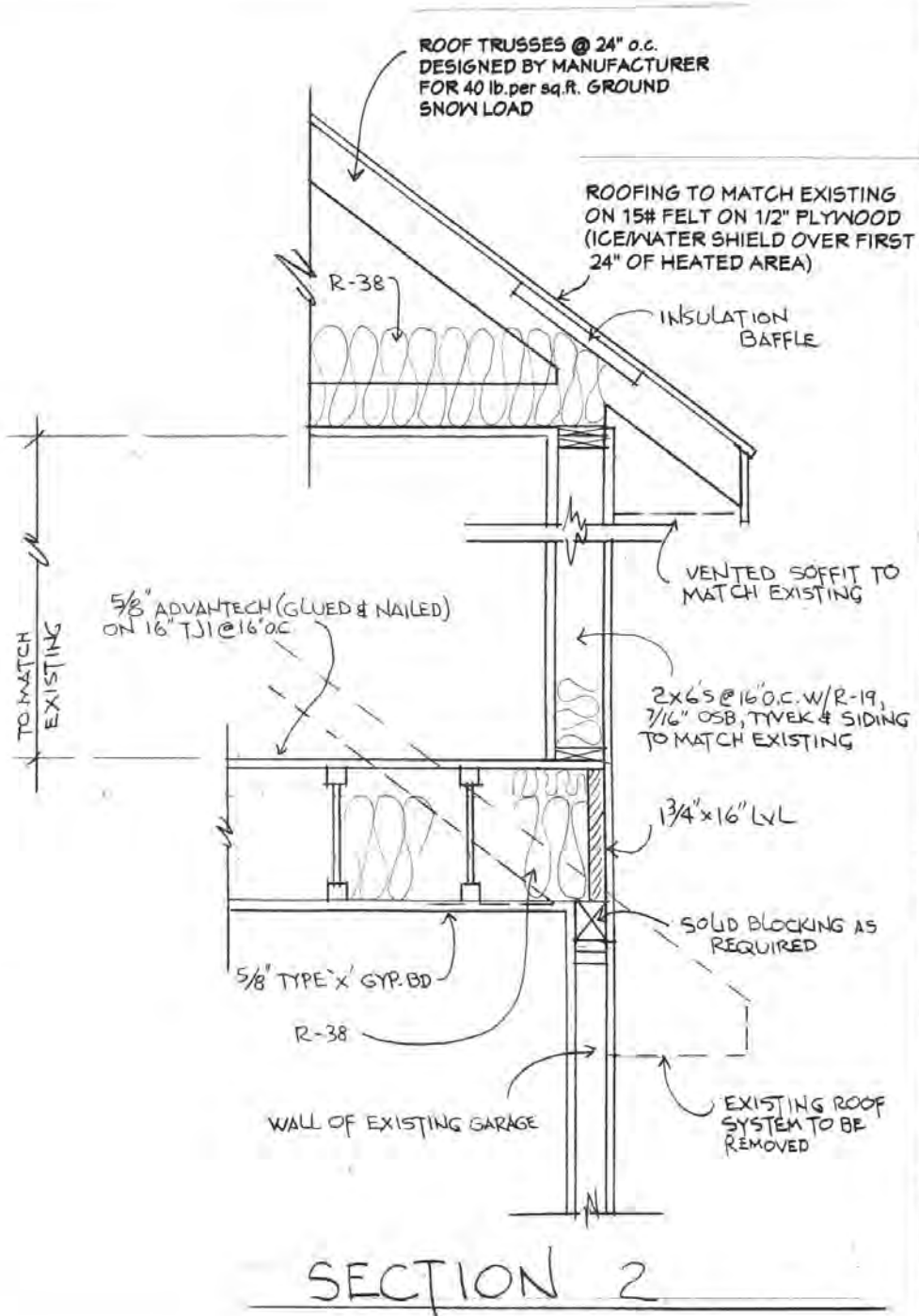
Seamless aluminum gutters and downspouts to be provided for positive drainage away from foundation

Provide required flashing to meet or exceed acceptable common building practice where required and at roof changes, horizontal abutments, projections, valleys, openings, etc.

All glass located within 18" of floor, 24" of door swing or located within 60" off floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered

All exposed insulation shall have a flame spread rating less than 25 and a smoke density rating less than 450

Contractor to coordinate all closet shelving and cabinetry requirements



SECTION 2

**THOMAS R. DOUGHTY
ARCHITECT, P.C.**

4 WOODBRIAR LANE
ROCHESTER, NY 14624

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doughty.t@gmail.com

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DATE: 10-9-18

SCALE:

REVISIONS

PROJECT

Residential Addition/Renovation for:

The Refermat Family
77 Meadow Cove
Pittsford, New York 14534

DRAWING TITLE

WALL SECTION
& NOTES

SHEET NUMBER

7 of 7









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000108

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 28 Kirklees Road PITTSFORD, NY 14534

Tax ID Number: 151.16-1-24

Zoning District: RN Residential Neighborhood

Owner: Meredith Utman

Applicant: MDM Construction of Rochester

Application Type:

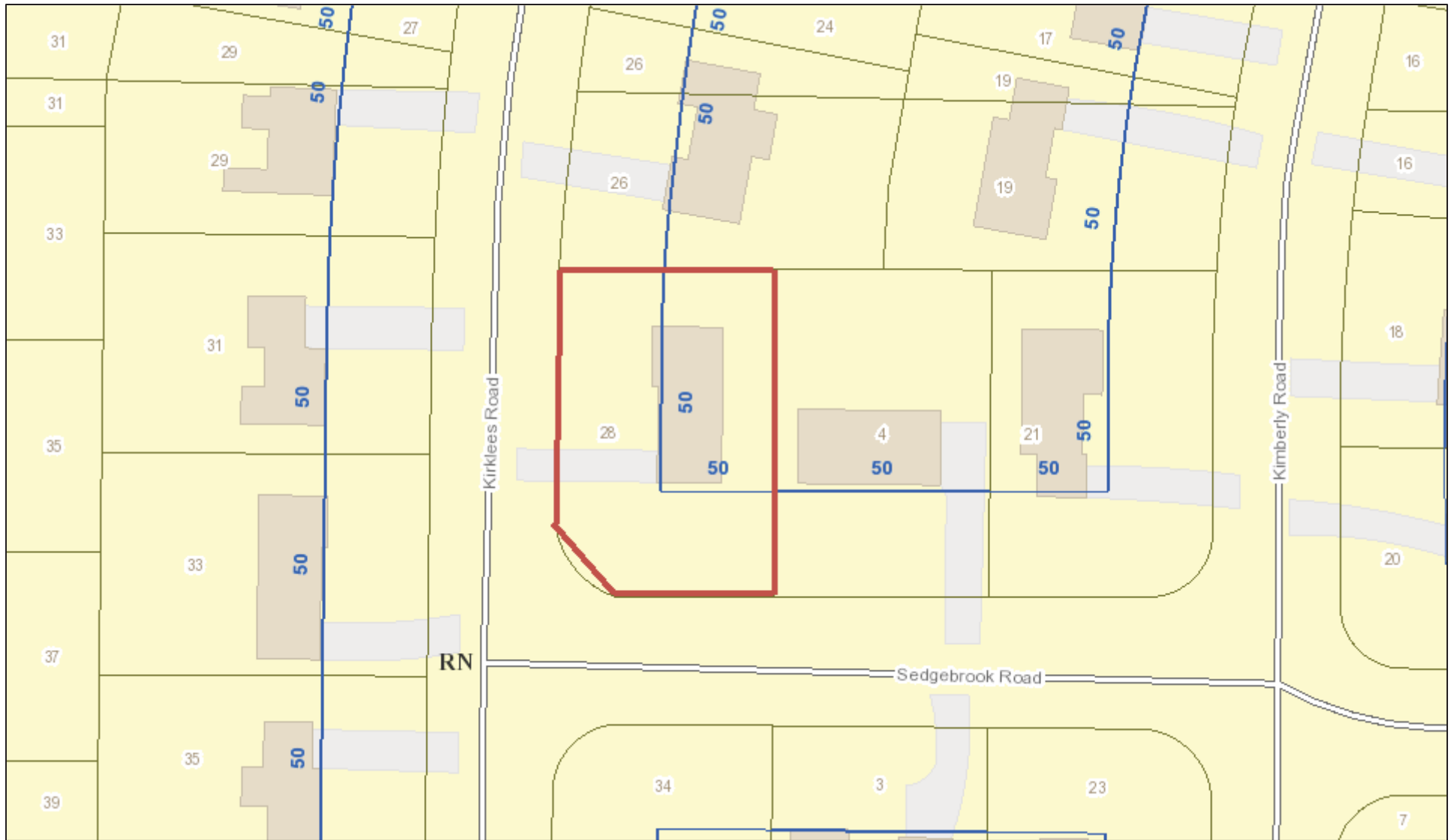
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the renovation of a garage into livable space. The garage will be renovated into a master suite and living room and will be approximately 570 sq. ft. The garage door will be filled in and new windows will be added to the front facade as well as the side and rear of the existing garage.

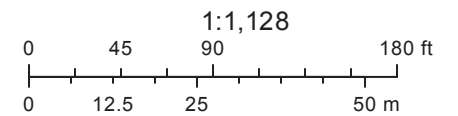
Meeting Date: August 22, 2019



RN Residential Neighborhood Zoning

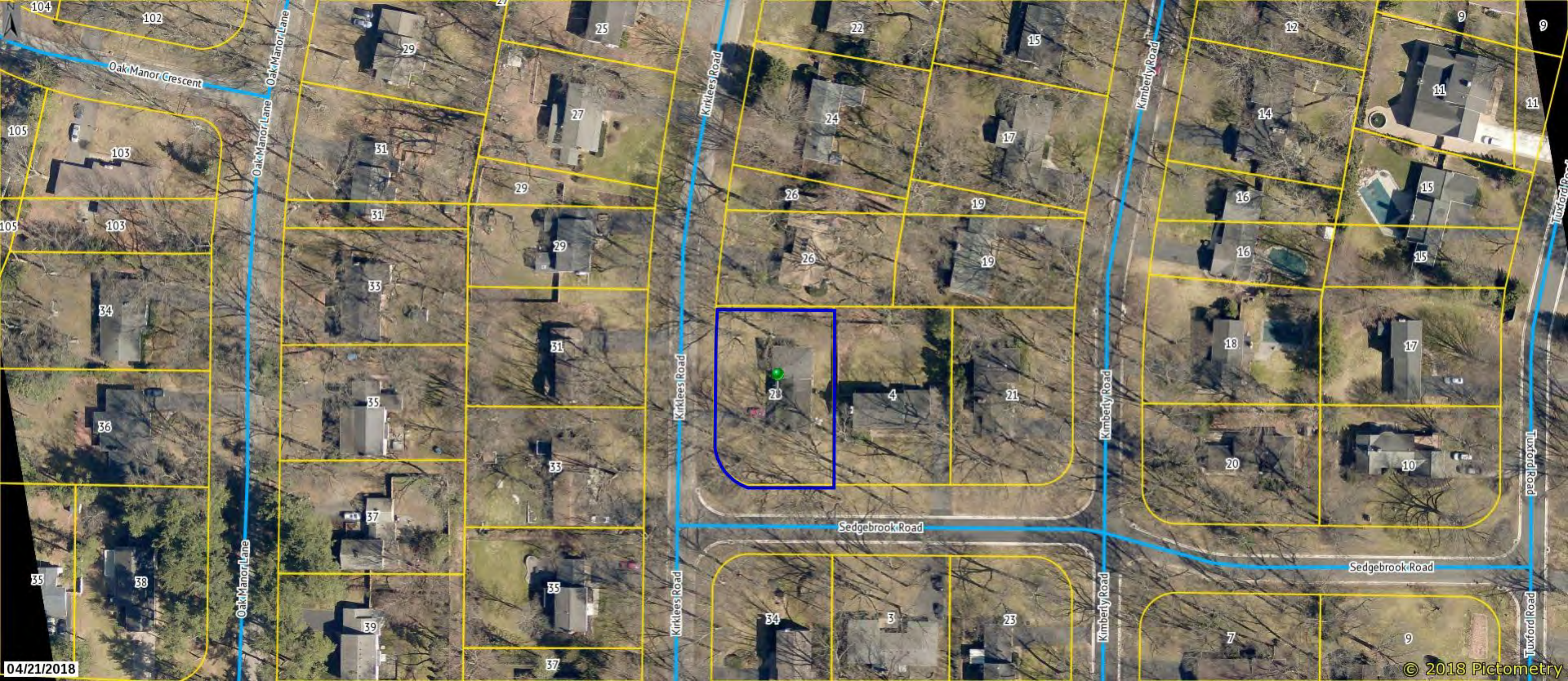


Printed August 15, 2019



Town of Pittsford GIS

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Oak Manor Crescent

Oak Manor Lane

Kirklees Road

Kirklees Road

Kirklees Road

Sedgebrook Road

Kimberly Road

Kimberly Road

Kimberly Road

Tuxford Road

Tuxford Road

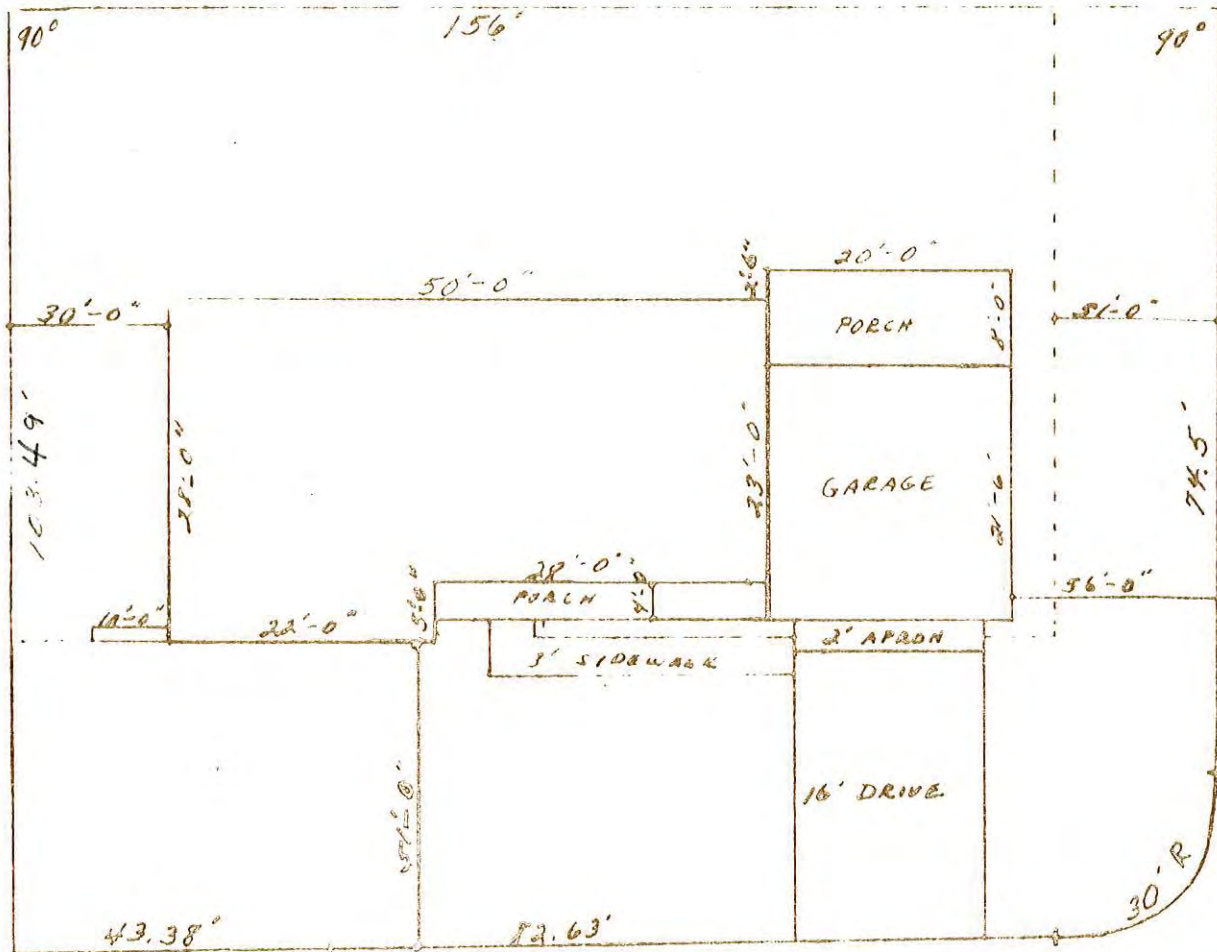
Tuxford Road

04/21/2018

© 2018 Pictometry

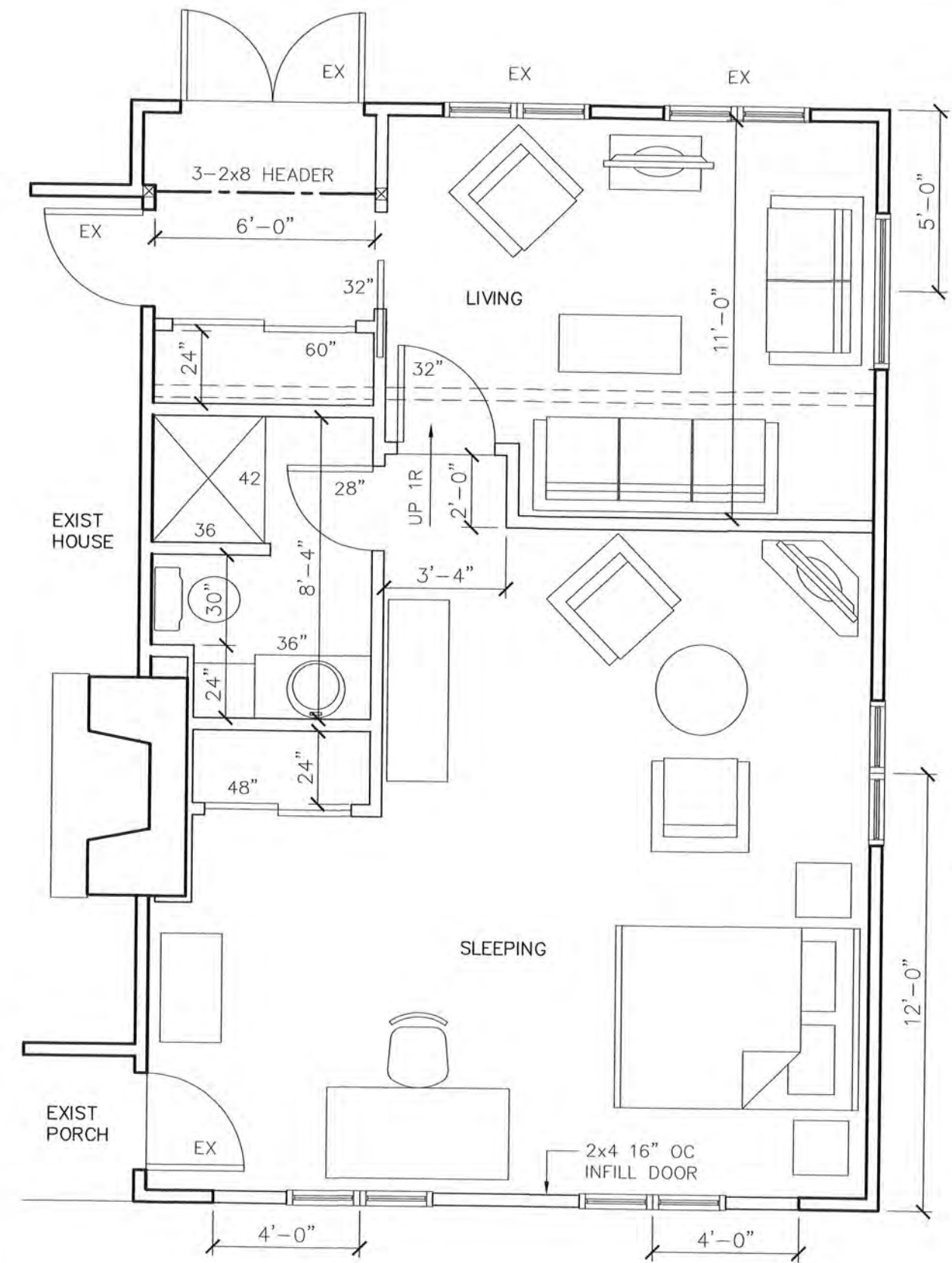
PLAT PLAN # 179 KIRKLEBS RD, PITTSFORD, N.Y.

(NOT TO SCALE)

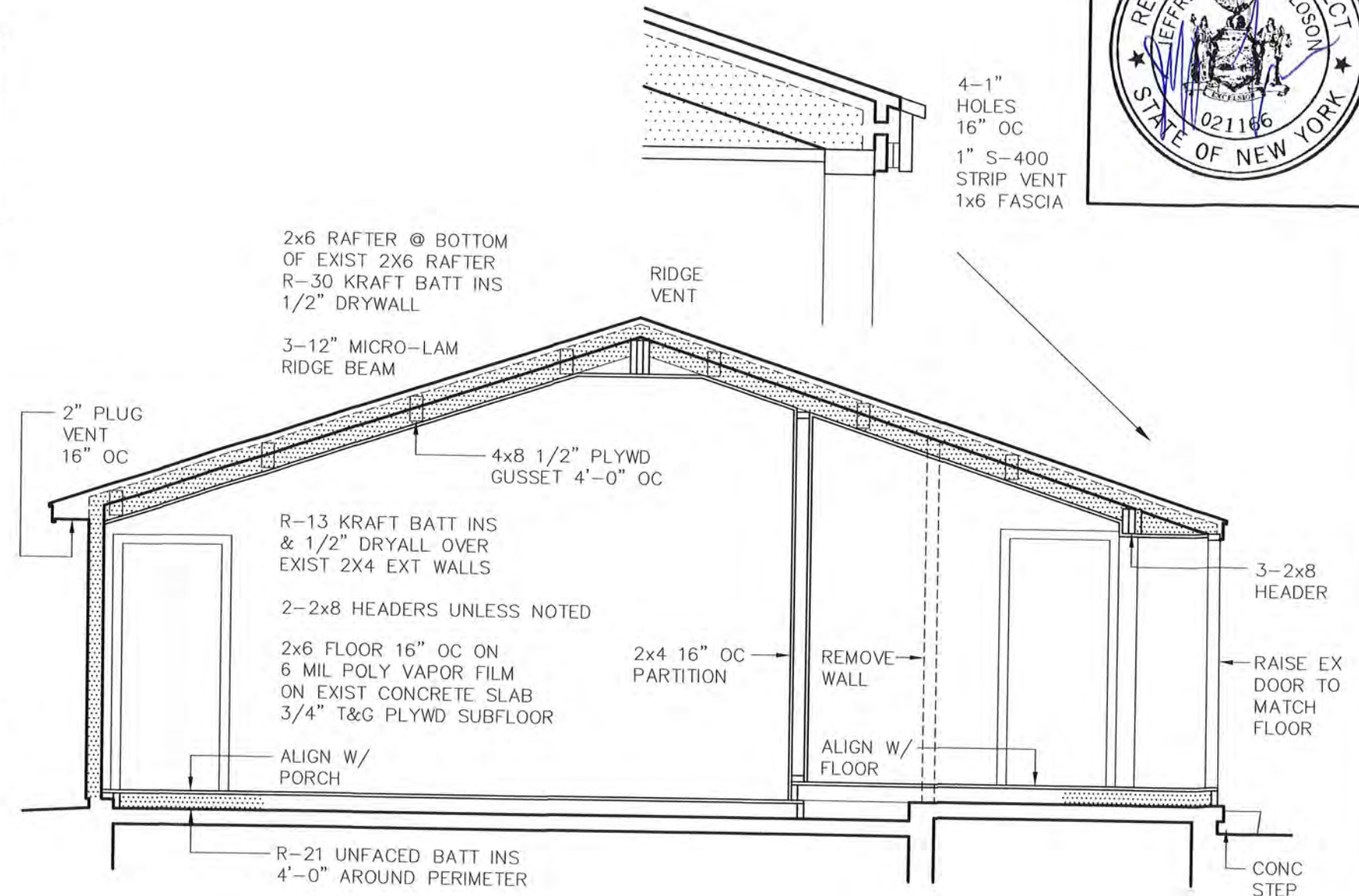


SEDGEBROOK RD.

STREET
KIRKLEBS ROAD



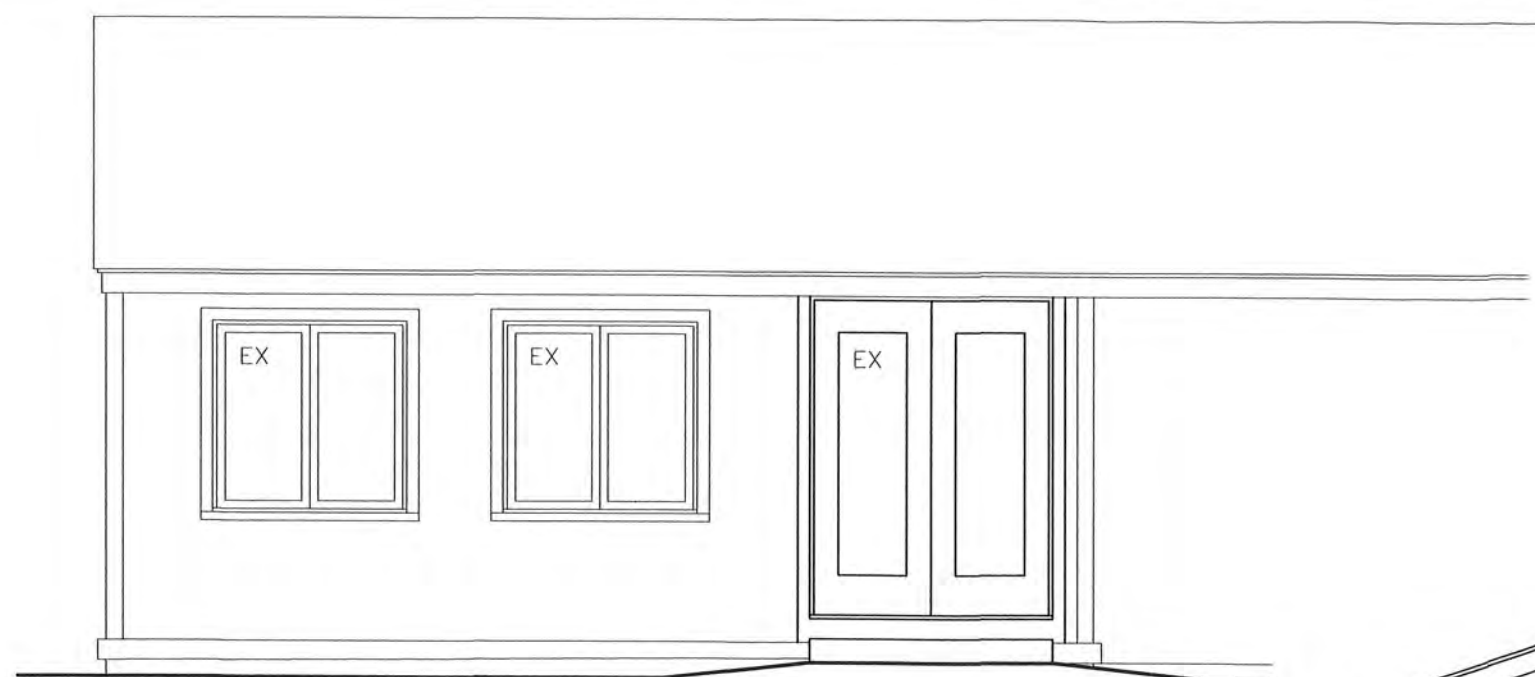
FLOOR PLAN
1/4" = 1'-0"



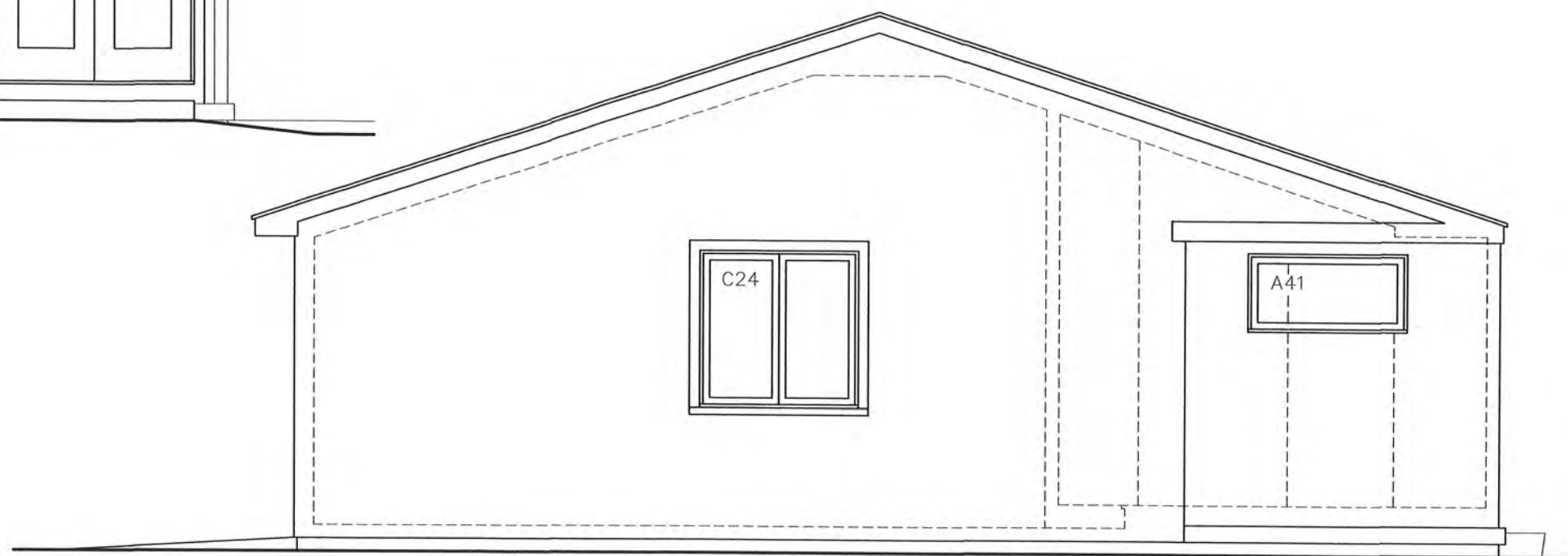
HOUSE PLANS
FOR
28 KIRKLEES ROAD
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC
284 THORNTON ROAD
ROCHESTER NY 14617
585-406-4757

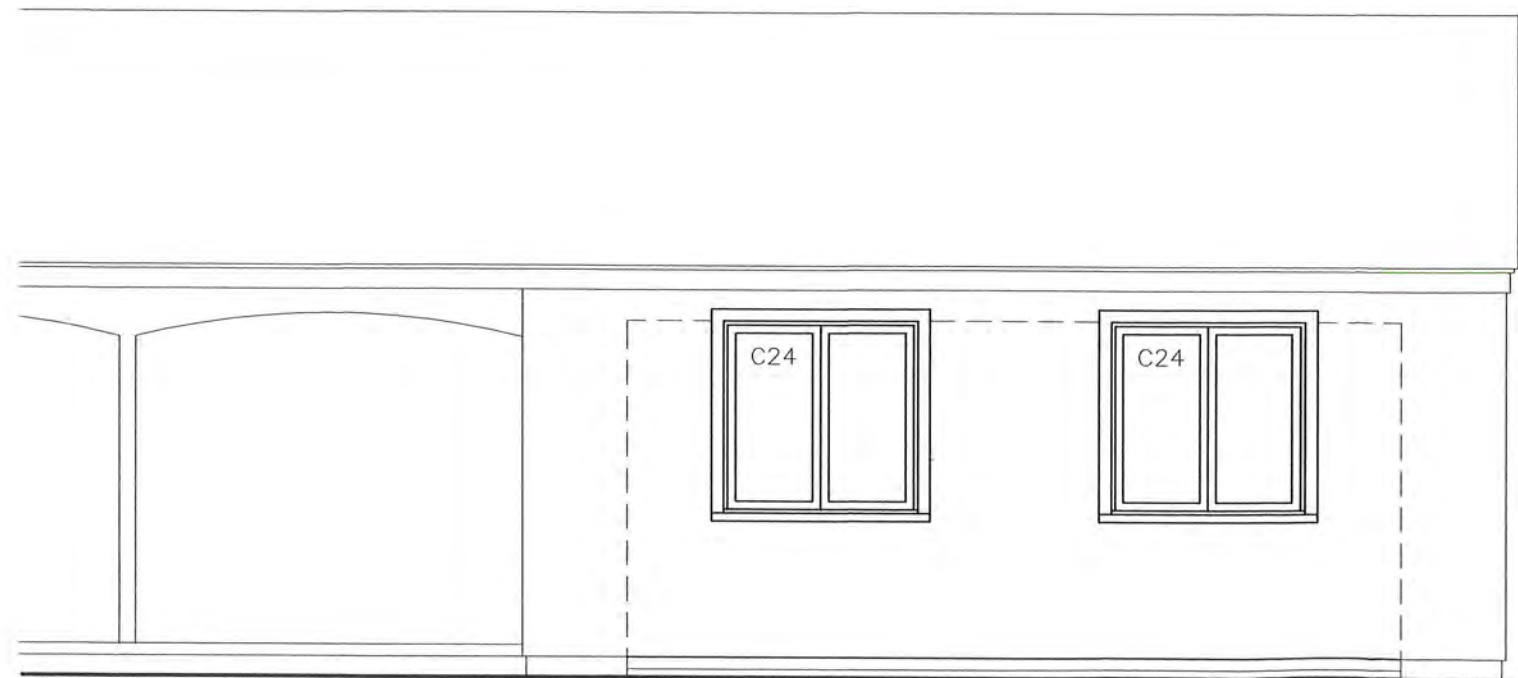
DATE 7/21/19	DW'G NO. A-1
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EAST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

HOUSE PLANS
FOR
28 KIRKLEES ROAD
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC
284 THORNTON ROAD
ROCHESTER NY 14617
585-406-4757

DATE	DW'G NO.
7/21/19	A-2









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000087

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5 Krislynn Drive PITTSFORD, NY 14534

Tax ID Number: 177.03-2-49

Zoning District: RN Residential Neighborhood

Owner: Gurell, Michael N

Applicant: Christa Construction

Application Type:

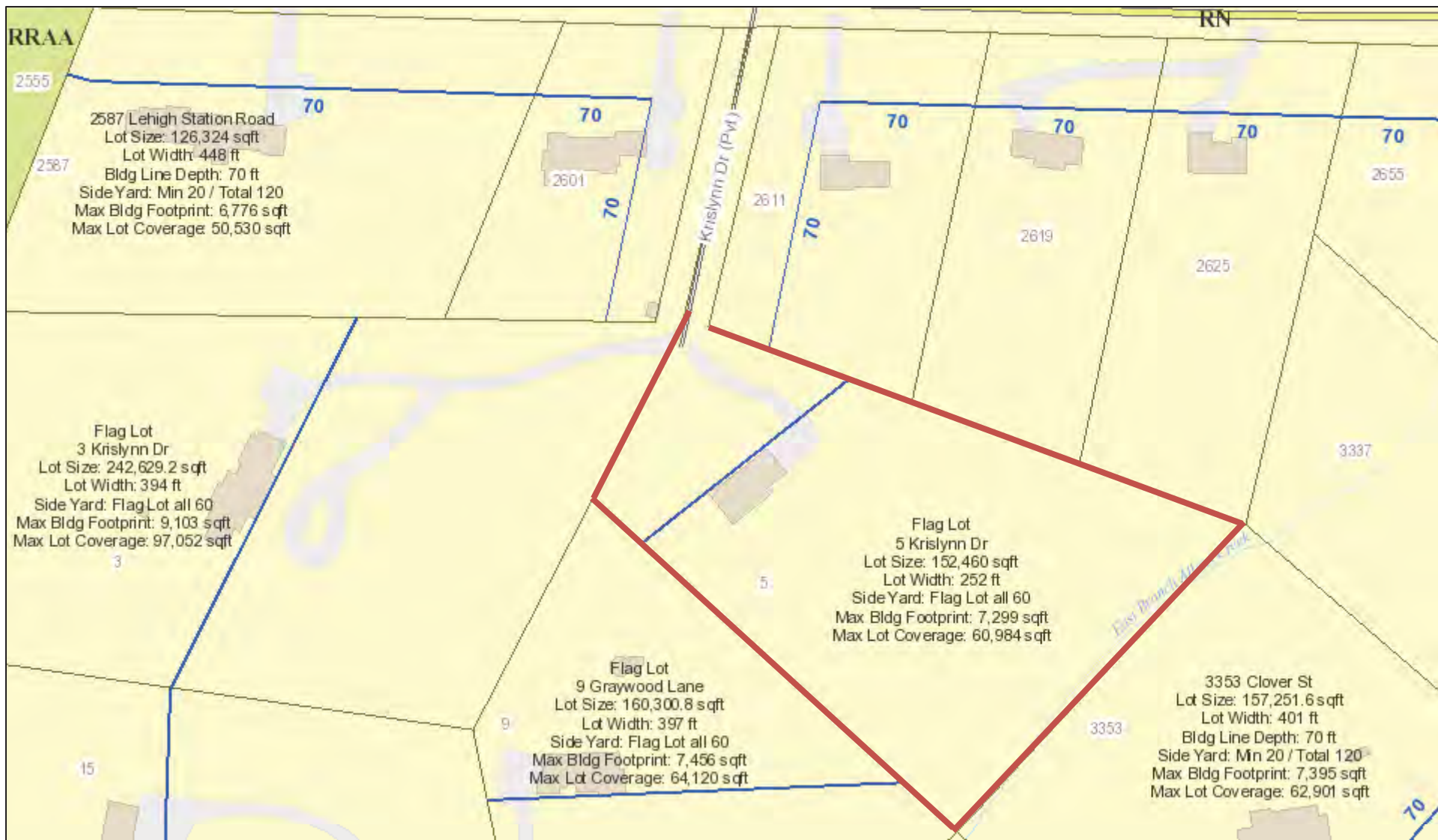
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
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§185-17 (M) |
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| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the two story addition. The addition will be located to the west side of the home and will be approximately 1000 Sq. Ft. Included on the south side of the addition will also be a 120 Sq. Ft. attached shed.

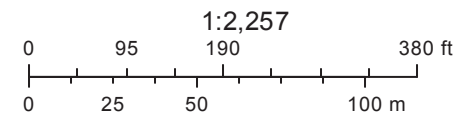
Meeting Date: August 22, 2019



RN Residential Neighborhood Zoning

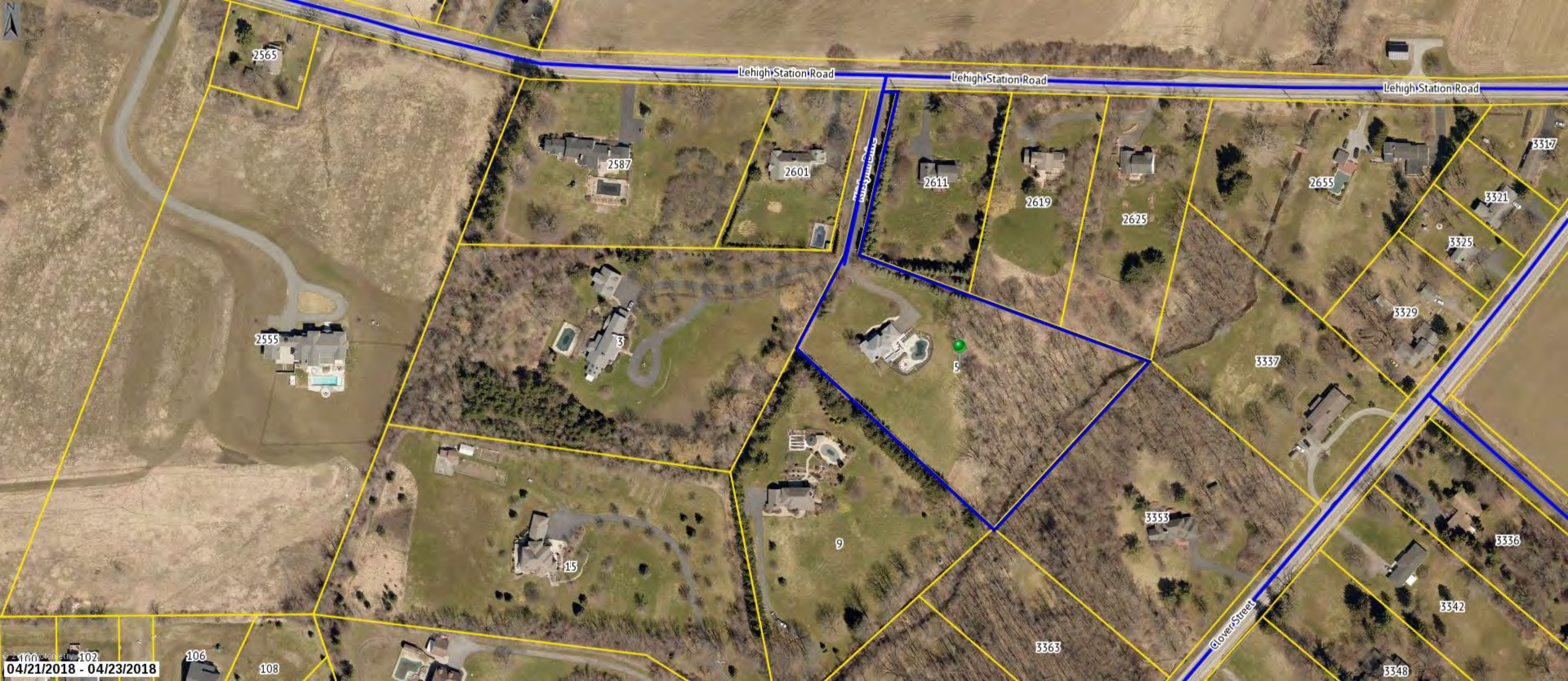


Printed August 13, 2019



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2565

Lehigh Station Road

Lehigh Station Road

Lehigh Station Road

2587

2601

2611

2619

2625

2655

3317

3321

3325

2555

3

5

3329

3337

15

9

3353

3336

3342

106

108

3363

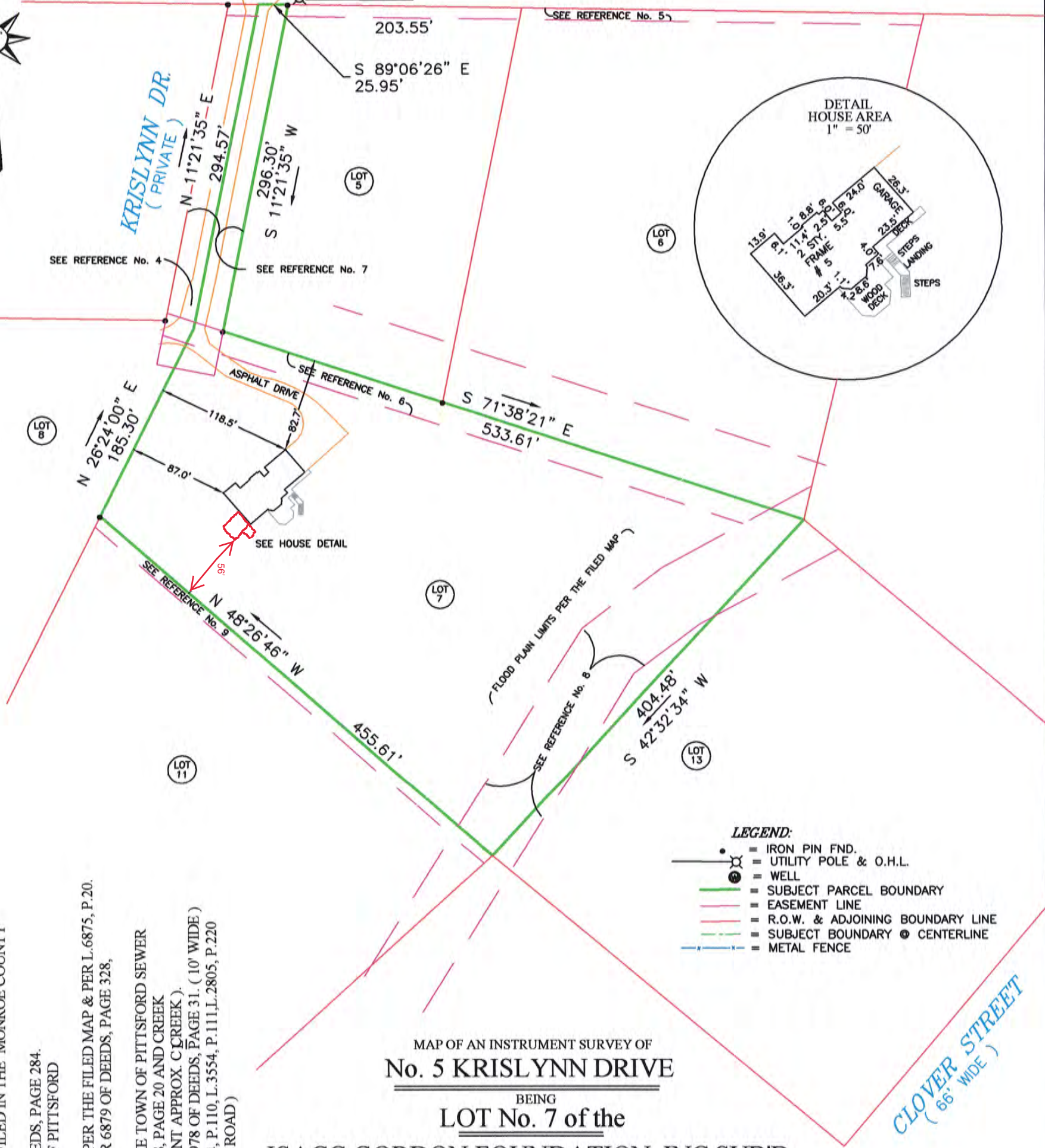
3348

Clover Street

04/21/2018 - 04/23/2018

LEHIGH STATION ROAD

(66.00' WIDE)
(RTE. 253)



- LEGEND:**
- = IRON PIN FND.
 - = UTILITY POLE & O.H.L.
 - ⊙ = WELL
 - (green) — = SUBJECT PARCEL BOUNDARY
 - (red) — = EASEMENT LINE
 - (blue) — = R.O.W. & ADJOINING BOUNDARY LINE
 - (dashed) — = SUBJECT BOUNDARY
 - ⊙ = CENTERLINE
 - (dotted) — = METAL FENCE

MAP OF AN INSTRUMENT SURVEY OF
No. 5 KRISLYNN DRIVE
BEING
LOT No. 7 of the
ISACC GORDON FOUNDATION, INC SUB'D.

SITUATE IN
PART OF TOWN LOT 48, TOWNSHIP 12, RANGE 5
TOWN OF PITTSFORD
COUNTY OF MONROE STATE OF NEW YORK
SCALE 1 INCH = 100 FEET DATE: OCTOBER 31, 2012

GROVER & BATES ASSOCIATES
406 WEST SPRUCE STREET
EAST ROCHESTER, NEW YORK
585-301-0021

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. CERTIFICATIONS LISTED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE G.V.L.S.A. AND THE MONROE COUNTY BAR ASSOCIATION.

WE, GROVER & BATES ASSOCIATES DO HEREBY CERTIFY TO THE FOLLOWING:

1. OLVER KORTS LLP;
2. M & T BANK, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR;
3. FIRST AMERICAN TITLE INSURANCE COMPANY;
4. MICHAEL N. GURELL;
5. UNDERBERG & KESSLER, LLP; and
6. ROBERT C. GROSSMAN, ATTORNEY,

THAT THIS MAP WAS MADE FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON OCTOBER 31, 2012.

James E. Bates, Jr.
JAMES E. BATES, Jr. LICENSE No. 49464



- REFERENCES:
1. CHICAGO TITLE INSURANCE CO., SEARCH No. 1216-02471, LAST DATED ON OCTOBER 18, 2012.
 2. LIBER 10918 OF DEEDS, PAGE 567.
 3. MAP OF THE ISAAC GORDON FOUNDATION, INC. SUBDIVISION FILED IN THE MONROE COUNTY CLERK'S OFFICE IN LIBER 236 OF MAPS, PAGE 67.
 4. SUBJECT TO A DRIVEWAY AGREEMENT PER LIBER 10835 OF DEEDS, PAGE 284.
 5. SUBJECT TO A 10' WIDE SIDEWALK EASEMENT TO THE TOWN OF PITTSFORD PER LIBER 6868 OF DEEDS, PAGE 54.
 6. 20' WIDE SAN. SEWER EASEMENT TO THE TOWN OF PITTSFORD PER THE FILED MAP & PER L. 6875, P. 20.
 7. SUBJECT TO A 51' WIDE COMMON ACCESS EASEMENT PER LIBER 6879 OF DEEDS, PAGE 328, LIBER 6875 OF DEEDS, PAGE 15 AND THE FILED MAP.
 8. SUBJECT TO A 60' WIDE DRAINAGE & UTILITY EASEMENT TO THE TOWN OF PITTSFORD SEWER DISTRICT #1 PER THE FILED MAP AND PER LIBER 6875 OF DEEDS, PAGE 20 AND CREEK EASEMENT PER LIBER 6874 OF DEEDS, PAGE 321. (Q.O.F. EASEMENT APPROX. CREEK).
 9. SUBJECT TO AN EASEMENT TO R.G. & E. AND R.T.C. PER LIBER 6978 OF DEEDS, PAGE 31. (10' WIDE)
 10. SUBJECT TO EASEMENTS TO R.G. & E. PER L. 3554, P. 109, L. 3554, P. 110, L. 3554, P. 111, L. 2805, P. 220 & L. 3472, P. 387. (ALONG THE SOUTH SIDE OF LEHIGH STATION ROAD)

GENERAL NOTES

- Construction shall conform to the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Code.
- All work shall conform with all Local City / Town Zoning Ordinances. Contractor shall be responsible for obtaining all required permits.
- All Exterior and Interior Finish Material selections shall be made by the Owner and Contractor, unless otherwise specified.
- The Contractor shall check and verify all dimensions in the field. Do not scale any dimensions. In cases of omitted dimensions, contact the Architect for information. All materials, products and finishes shall be installed in accordance with the manufactures printed recommendations.
- This plan has been reviewed for Structural design and is not valid for permit without original "wet seal" placed in the title block area.
- Bearing capacity of soil is assumed to be 3000 PSF. Actual soil capacity of the soil shall be verified at the site prior to commencement of the work. Footings to bear on firm, level undisturbed natural soil, free of frost or loose material.
- Concrete design and construction shall conform to ACI 318-14 and ACI 301-16
- Concrete strength at 28 days: Footings: 2,500 PSI
All other: 3,000 PSI
- General Contractor is to set all grades. Layout of building on the Site to be coordinated between the Owner and Contractor.
- At all concrete slab on grade areas, Contractor shall strip and stockpile all topsoil and unsuitable material. Subgrade to be proofrolled prior to placement and compaction of crushed stone base.
- Beam pockets are to be grouted solid with 3,000 PSI concrete.
- Structural steel shall conform to 2011 American Institute of Steel Construction [AISC] Specification and Code of Standard Practice. Structural steel to be ASTM A36. Steel pipe to be ASTM A501 or ASTM A53, Type E or S, Grade B. Bolts shall be ASTM A325 unless otherwise noted. Anchor bolts shall be ASTM A307 or ASTM A36.
- Wood construction shall conform to the National Forest Product's Association's [NFPA] 2015 NDS. Structural lumber shall be No. 2 Hem - Fir or better: Fb = 850 psi [BASE]
E = 1,300,000 psi

DIMENSION LUMBER:

#2 HEM-FIR
Fb=850 psi
Fv=150 psi
E = 1,300 ksi

POSTS AND TIMBERS:

HEM-FIR SELECT STR
Fb=1200 psi
Fc=975 psi
E = 1,300 ksi

LAMINATED VENEER LUMBER (LVL):

Fb = 2,600 psi
Fc = 2,510 psi
Fv = 285 psi
E = 1,900 ksi

PARALLEL STRAND LUMBER (PSL):

Fb = 2,900 psi
Fc = 2,900 psi
Fv = 290 psi
E = 2,000 ksi

- Openings in exterior or interior bearing walls shall be as indicated on the drawings. In absence of header notation, provide as follows:

Up to 5'-0" [3] 2x8
Up to 6'-6" [3] 2x10
Up to 8'-0" [3] 2x12
Beyond 8'-0", consult with the Architect in cases where header size is not indicated.

- Floors shall be designed for the following loads:

Live Load - Living Areas:	40 PSF
Live Load - Sleeping Areas:	30 PSF
Dead Loads:	
Structure:	7 PSF
Floor:	3 PSF
Ceiling:	3 PSF
Mechanical:	2 PSF
Total Dead Load:	15 PSF
Total Design- Living Areas	55 PSF
Total Design- Sleeping Areas:	45 PSF

- Roof rafters / trusses shall be designed for the following loads:

Snow load:	35 PSF
Dead loads:	15 PSF
Total Design Load:	50 PSF

Note: Shop drawings for all roof trusses shall be submitted, prepared and sealed by a Professional Engineer licensed in the State of New York to the Architect for review prior to beginning fabrication.

- Plywood roof and wall sheathing shall be exterior grade, APA rated. Wood in contact with masonry, concrete or earth shall be pressure preservative treated.
- Framing anchors, joist hangers and miscellaneous connecting devices for wood framing shall be galvanized steel of at least 16 gauge thickness. Install in strict accordance with manufacturers instructions for the specific load generated at each location. Use nail size and nailing pattern supplied by or recommended by the manufacturer.
- Double all joists under parallel walls, plumbing fixtures, and at floor openings. Provide bridging at all framing midspans beyond 8'-0". Wood plates shall be secured to top flanges of steel beams at 4'-0" O.C. with Ramset or equal.
- Unless otherwise noted, Roofing shall be 25 yr. min. fiberglass shingles and roofing underlayment, installed in accordance with manufacturers printed requirements for installation. Roof venting shall equal 1 SF Net / 300 SF Attic Space.
- Design of Plumbing, Mechanical and Electrical systems is by others.
- Window unit manufacture T.B.D. Verify with Owner and Contractor actual unit types, sizes, miscellaneous window accessories (such as window grill patterns) and manufacturer prior to ordering. G.C. shall verify with owner all window unit selections and final locations.
- Smoke Detectors & Carbon Monoxide Detectors shall be provided at all living and sleeping areas per N.Y.S. Code requirements.

Gurell Residence Addition

5 Krislynn Drive
Pittsford, New York

NOTES:

- THE CONTRACTOR SHALL CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND NOTIFY THE PROJECT ARCHITECT OF ANY INCONSISTENCIES OR INADEQUATE DESCRIPTIONS OF WORK PRIOR TO THE SUBMITTAL OF BIDS.
- ALL WORK OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE STATE ENERGY CONSERVATION CODE, AND ALL OTHER APPLICABLE STATE AND FEDERAL CODES AND REGULATIONS.
- CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO LAYING OUT NEW WORK.
- NOTIFY PROJECT ARCHITECT IMMEDIATELY IF EXISTING CONDITIONS, DIMENSIONS, ETC., VARY FROM THOSE SHOWN ON THE DRAWINGS.
- MATERIALS, DETAILS, AND WORK PRACTICES INDICATED ON ONE PORTION OF CONTRACT DOCUMENTS SHALL BE OF THE SAME NATURE AT SAME OR SIMILAR SITUATIONS SHOWN ON THE DRAWINGS, EXCEPT AS OTHERWISE NOTED.
- WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING, PAINTING AND MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH EXISTING ADJACENT SURFACES. REFINISH SURFACES AS NECESSARY TO PROVIDE AN EVEN CONTIGUOUS FINISH.
- DURING CUTTING, PATCHING AND REMOVAL OF WORK, CLEAN AND PROTECT WORK IN PROGRESS, ADJOINING WORK, AND EXISTING CONSTRUCTION ON A BASIS OF CONTINUOUS MAINTENANCE.
- ALL SALVAGEABLE ITEMS NOTED ON DRAWINGS SHALL BE DELIVERED TO THE FACILITIES AREA, EXCEPT AS OTHERWISE DIRECTED BY OWNER. ITEMS THAT ARE NOTED ON THE DRAWINGS FOR REUSE SHALL BE PROTECTED, HANDLED, STORED, AND REINSTALLED IN LOCATIONS INDICATED AND OPERATE CONSISTENT WITH THAT PRIOR TO WORK.
- REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER WASTE MATERIALS RESULTING FROM WORK OF THIS PROJECT.
- PROVIDE ALL BLOCKING, FURRING, AND SHIMMING NECESSARY FOR INSTALLATION AND COMPLETION OF WORK.
- ALL NEW WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ARCHITECT, PRIOR TO THE SUBMISSION OF BID, OF ANY ITEMS OR QUANTITY OF ITEMS NOT SPECIFIED OR REFERENCED ON THE DRAWINGS BUT REQUIRED FOR THE COMPLETION OF THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK AS REQUIRED TO COMPLETE PROJECT REQUIREMENTS.

ENERGY CODE COMPLIANCE:

THE ENERGY CODE COMPLIANCE IS BY PRESCRIPTIVE METHOD OF THE INTERNATIONAL ENERGY CONSERVATION CODE - 2015, AND SHALL MEET OR EXCEED THE TABLED VALUES WHERE APPLICABLE:

IECC TABLE R402.1.2:

FENESTRATION-	U-0.32
WOOD FRAME WALL-	R-20
BASEMENT WALL-	R-19 CAVITY
SLAB-	R-10 TO 24" DEPTH

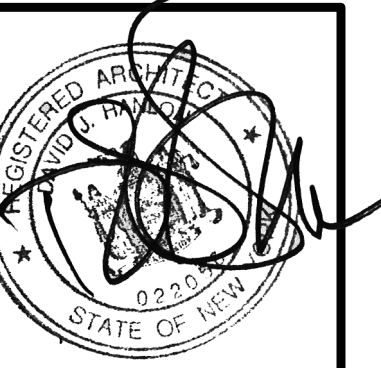
IECC R402.2.2

CEILING WITHOUT ATTIC SPACES- R-30 MIN.

BUILDING THERMAL ENVELOPE TO MEET AIR LEAKAGE REQUIREMENTS PER IECC R402.4.

DRAWING INDEX

CS	COVER SHEET
A1	BASEMENT & FIRST FLOOR PLAN
A2	ROOF PLAN & SECTIONS
A3	ELEVATIONS & 3D VIEWS
A4	TYP. WALL SECTION



HANLON ARCHITECTS
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ROCHESTER, NY 14607
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P: 585.223.8440
F: 585.865.6571

Gurell Residence
Addition
5 Krislynn Drive
Pittsford, New York

REVISED:

DATE: 5-29-19

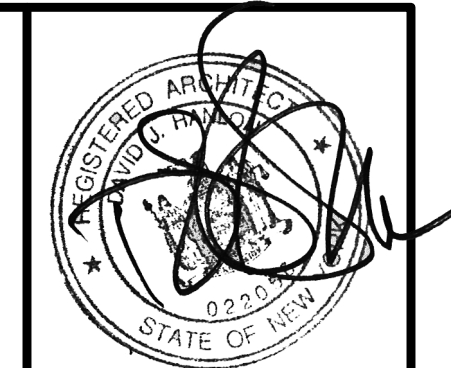
COVER SHEET

DRAWING TITLE:

CS

SHEET NO:

PROJECT NO: 18-134



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Gurrell Residence Addition
 5 Krislym Drive
 Pittsford, New York

REVISED:
 DATE: 5-29-19
 BASEMENT & FIRST FLOOR PLAN
 DRAWING TITLE:
 SHEET NO.: A1
 PROJECT NO.: 18-134

FLOOR PLAN KEY NOTES:

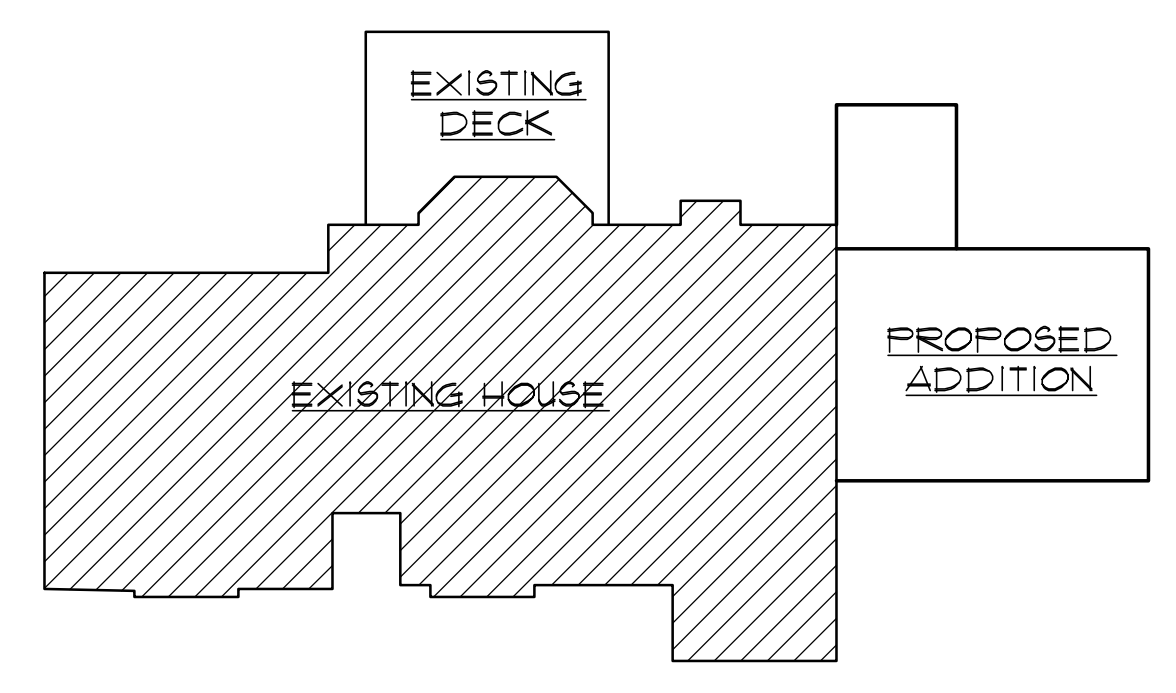
- 1 WINDOW HEAD SHOWN AT +6'-6" AFF. VERIFY HEAD HEIGHT OF EXISTING BASEMENT WINDOWS AND MATCH.
- 2 REFER TO 2/A2 FOR SILL & HEAD HEIGHT.
- 3 TRANSOM WINDOWS ABOVE, 84"x32". HEAD HEIGHT @ +10'-0" AFF.
- 4 STAIRS TO REMAIN, WALL TO BE REMOVED AT T.O. LANDING, REMOVE SECOND FLOOR HALF WALL, NEW RAILING TO BE INSTALLED IN PLACE @ +36", MEASURED FROM SLOPED PLANE ADJOINING TREAD NOSING. RAILING STYLE AND DESIGN TBD BY OWNER. CONTINUE RAILING ALONG SECOND FLOOR TO EXISTING MASTER BEDROOM WALL.
- 5 TRANSOM WINDOWS ABOVE, SIZE AND STYLE TO MATCH EXISTING GREAT ROOM WINDOWS, APPROX. DIMENSIONS 58"x18". VERIFY IN FIELD, HEAD HEIGHT TO MATCH EXISTING, APPROX. +8'-10" AFF.
- 6 STEP MASONRY WALL BACK 3/4" TO ALLOW FOR FURRING & SIDING INSTALLATION TO FOLLOW GRADE. VERIFY FURRING / STRAPPING NEEDS PER SELECTED SIDING MANUFACTURER AND ADJUST AS NECESSARY.
- 7 RELOCATION OR ADJUSTMENT OF SUMP CROCK OR ASSOCIATED PLUMBING TBD IN FIELD BY QUALIFIED PROFESSIONAL.
- 8 REMOVE EXISTING WOOD STOVE. EXTEND / MODIFY EXISTING GAS LINE TO SERVICE NEW GAS FIREPLACE INSERT ON FIRST FLOOR.

GENERAL NOTES:

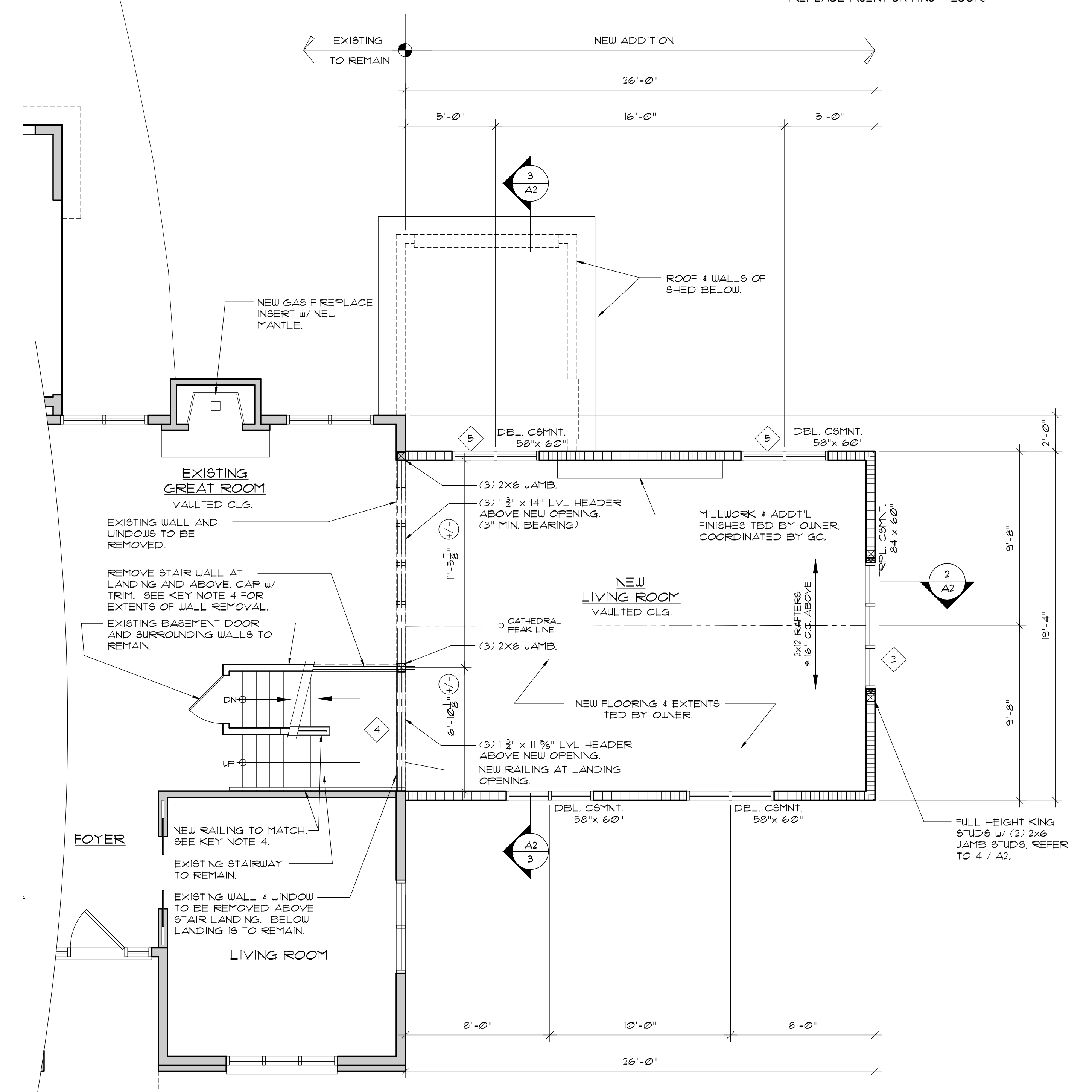
1. COORDINATE WITH EXISTING SITE CONDITIONS (EXISTING UTILITIES, STORM COLLECTION PIPING, ETC.). MODIFY TO EXTENTS NECESSARY.
2. FULL FOUNDATION WATERPROOFING TO BE PROVIDED.
3. ALL FINISHES & HARDWARE TO BE COORDINATED WITH OWNER.
4. ALL NEW WINDOWS SHALL MATCH STYLE OF EXISTING. MANUFACTURER TBD. DIMENSIONS & PLACEMENT TO BE VERIFIED IN FIELD AND ADJUSTED AS NECESSARY.
5. ALL EXTERIOR HEADERS, (UNLESS NOTED OTHERWISE), (3) 2x8.
6. ALL SIZING OF HEADERS, FOOTINGS, AND POSTS MAY CHANGE PENDING STRUCTURAL REVIEW.
7. WINDOW HEAD HEIGHTS @ +7'-0" AFF UNLESS NOTED OTHERWISE.

LEGEND

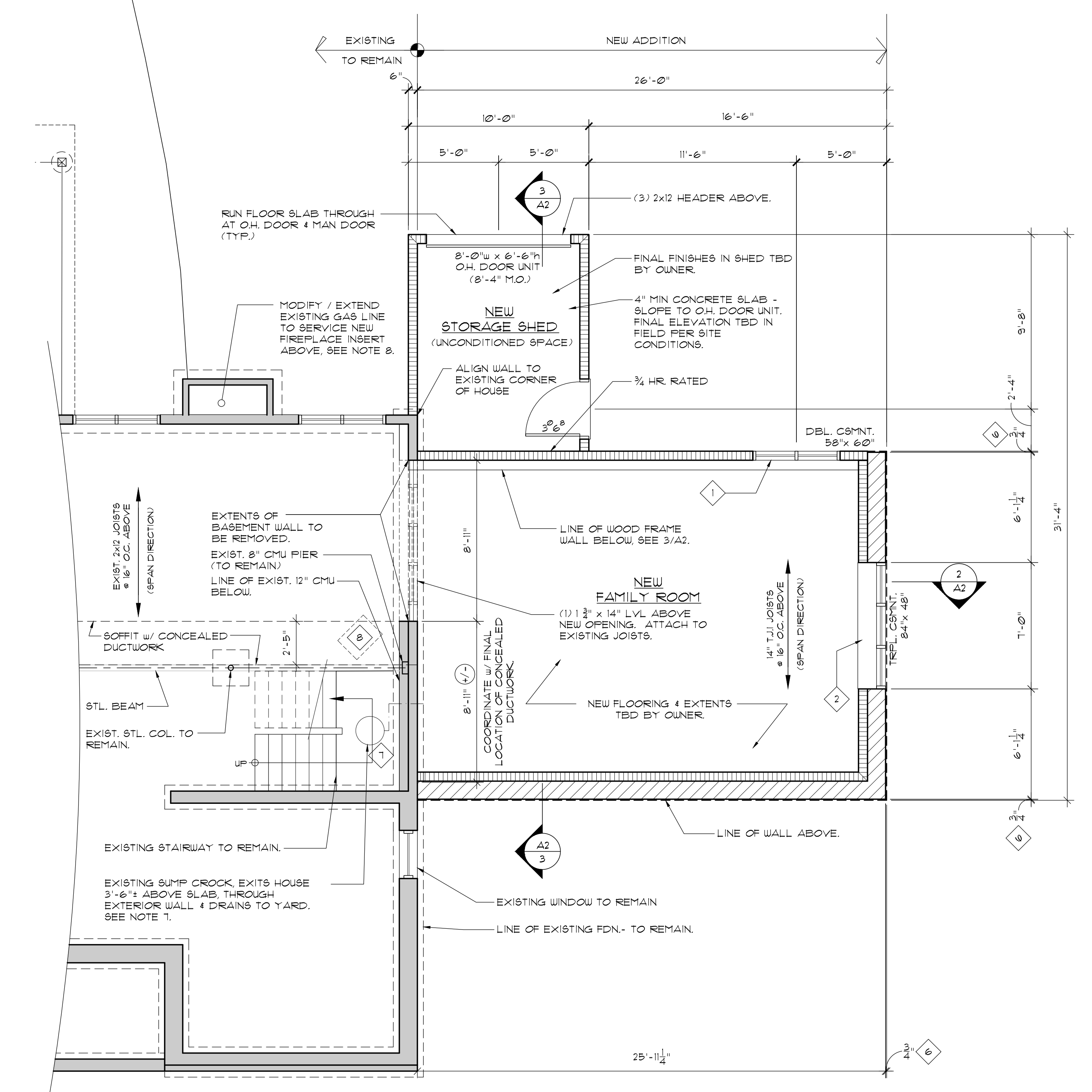
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-
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-



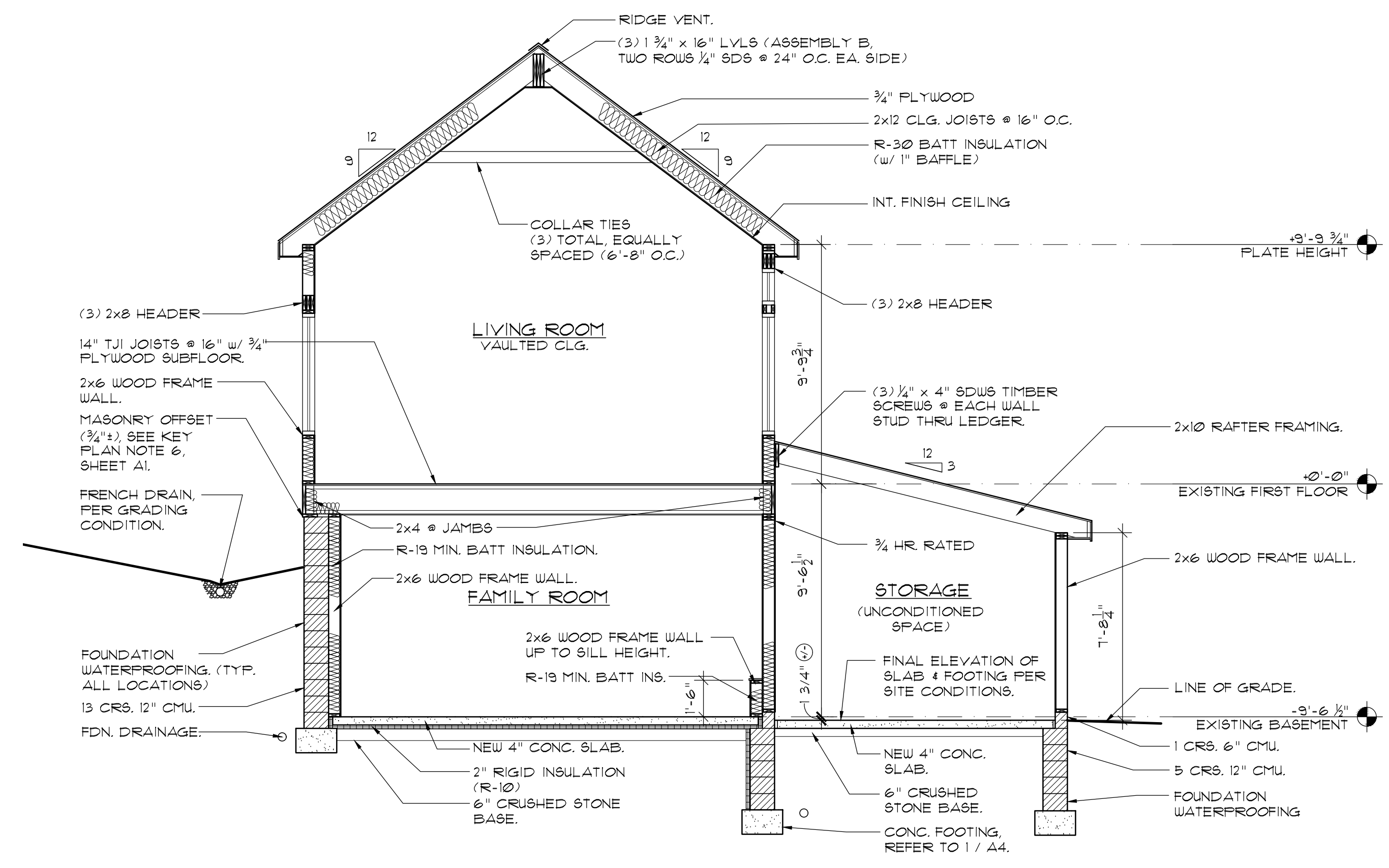
KEY PLAN
 1/4" = 1'-0"
 NORTH



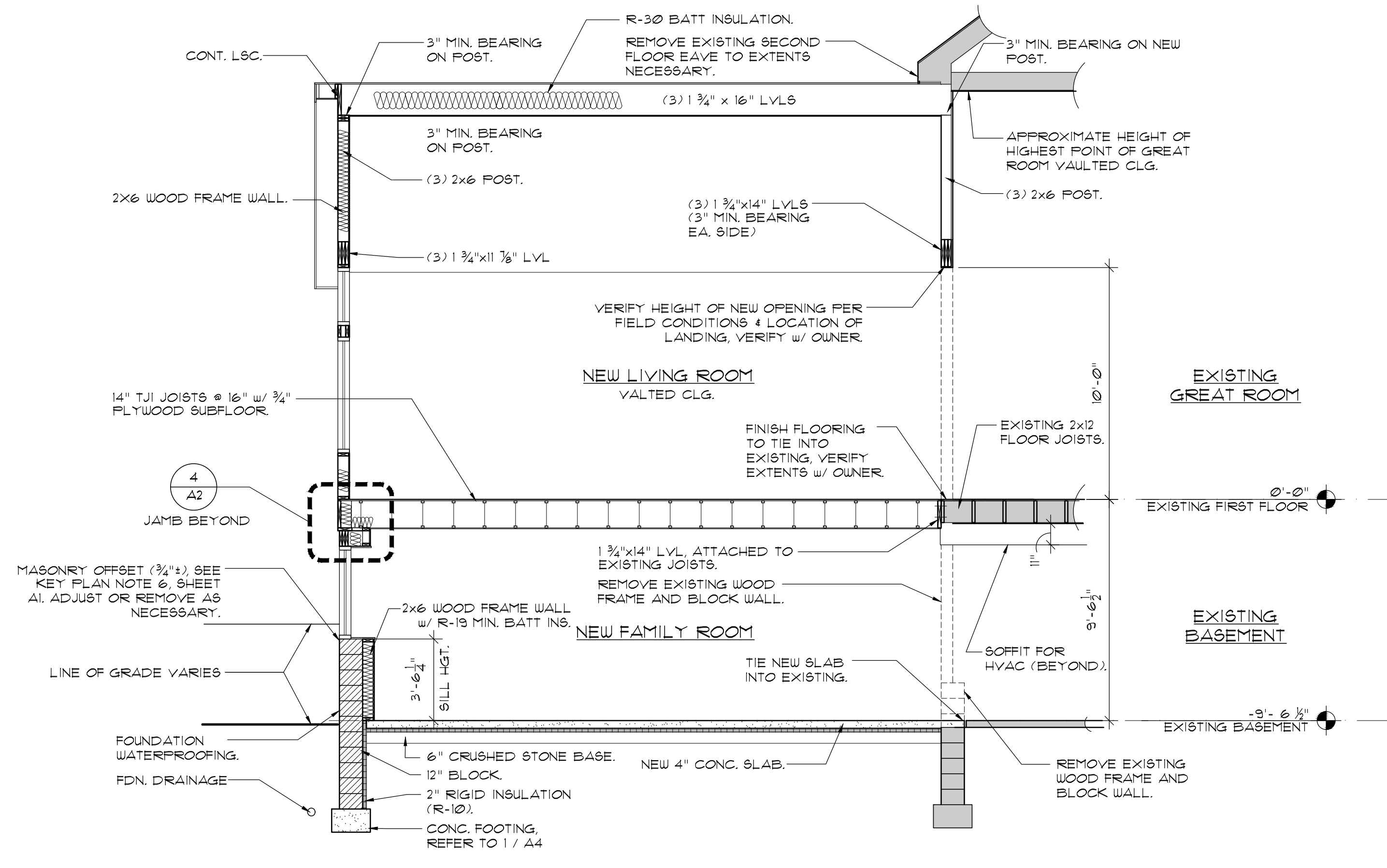
FIRST FLOOR PLAN
 1/4" = 1'-0"
 NORTH



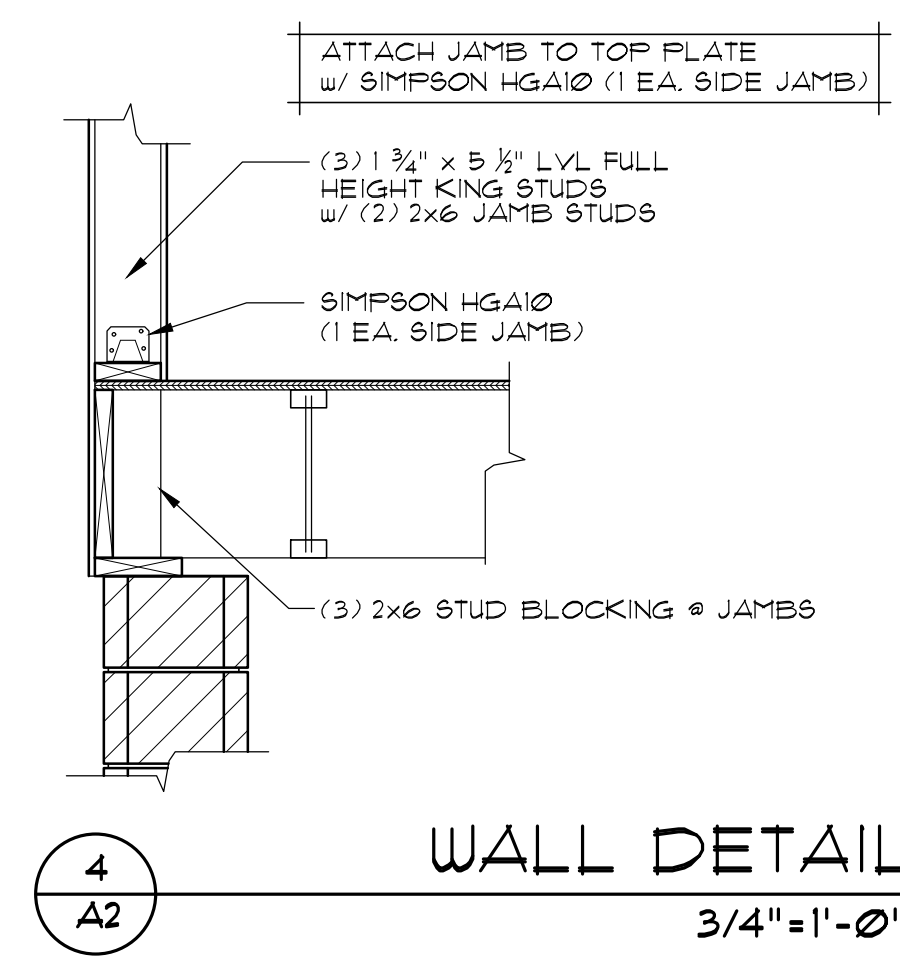
BASEMENT FLOOR PLAN
 1/4" = 1'-0"
 NORTH



3
A2
FIRST FLOOR PLAN
1/4" = 1'-0"



2
A2
BUILDING SECTION
1/4" = 1'-0"



UNLESS NOTED OTHERWISE:

PROVIDE (3) 2x6 COLLAR TIES, EQUALLY SPACED.

RAKE PROJECTIONS- 12" UNLESS NOTED OTHERWISE. GC & OWNER TO VERIFY DIMENSIONS @ EACH LOCATION.

OVERHANGS- 12" UNLESS NOTED OTHERWISE. GC & OWNER TO VERIFY DIMENSIONS @ EACH LOCATION.

FINAL GUTTER AND DOWN SPOUT LOCATIONS TO BE COORDINATED WITH OWNER.

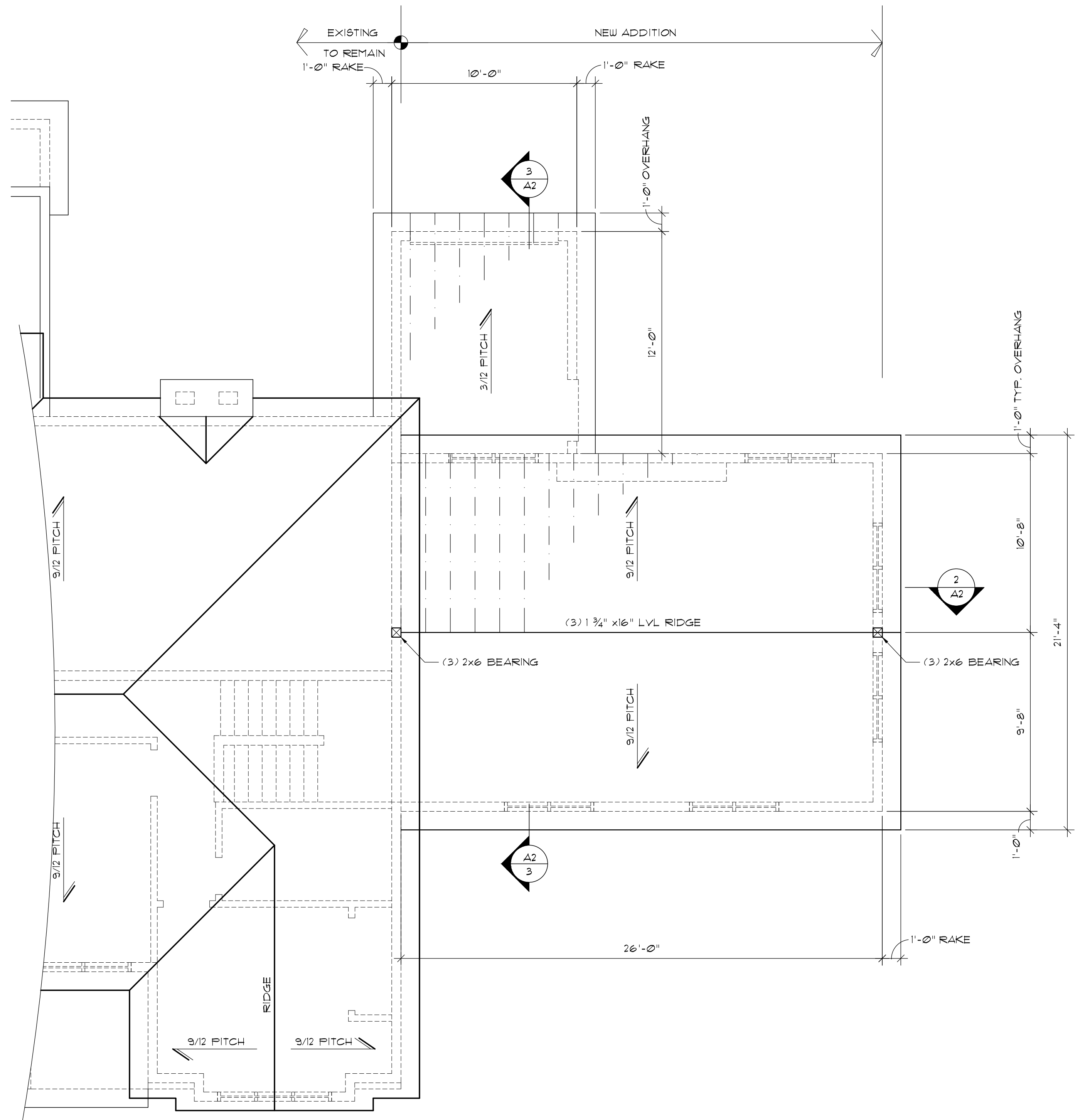
ROOF VENTING: 1 s.f. NET PER 300 s.f. ATTIC SPACE. COORDINATE WITH OWNER FINAL VENTING STYLES AND LOCATIONS. PROVIDE RIDGE VENTING @ RIDGE LINES.

ROOF DESIGN LOADS:

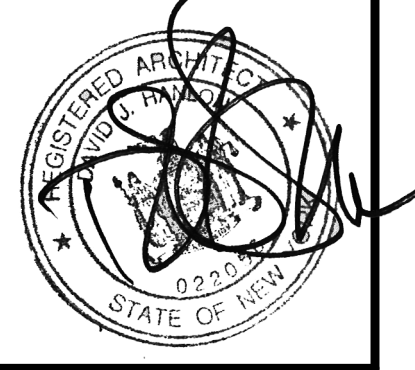
GROUND SNOW LOAD-----50 psf

SLOPED ROOF UNF. LOAD-----38 psf

UNBAL. SNOW LOAD-----51 PSF



1
A2
ROOF PLAN
1/4" = 1'-0"



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Gurrell Residence Addition
5 Krislym Drive
Pittsford, New York

REVISED:

DATE: 5-29-19
BASEMENT & FIRST FLOOR PLAN

DRAWING TITLE:

A2

SHEET NO:

PROJECT NO: 18-134

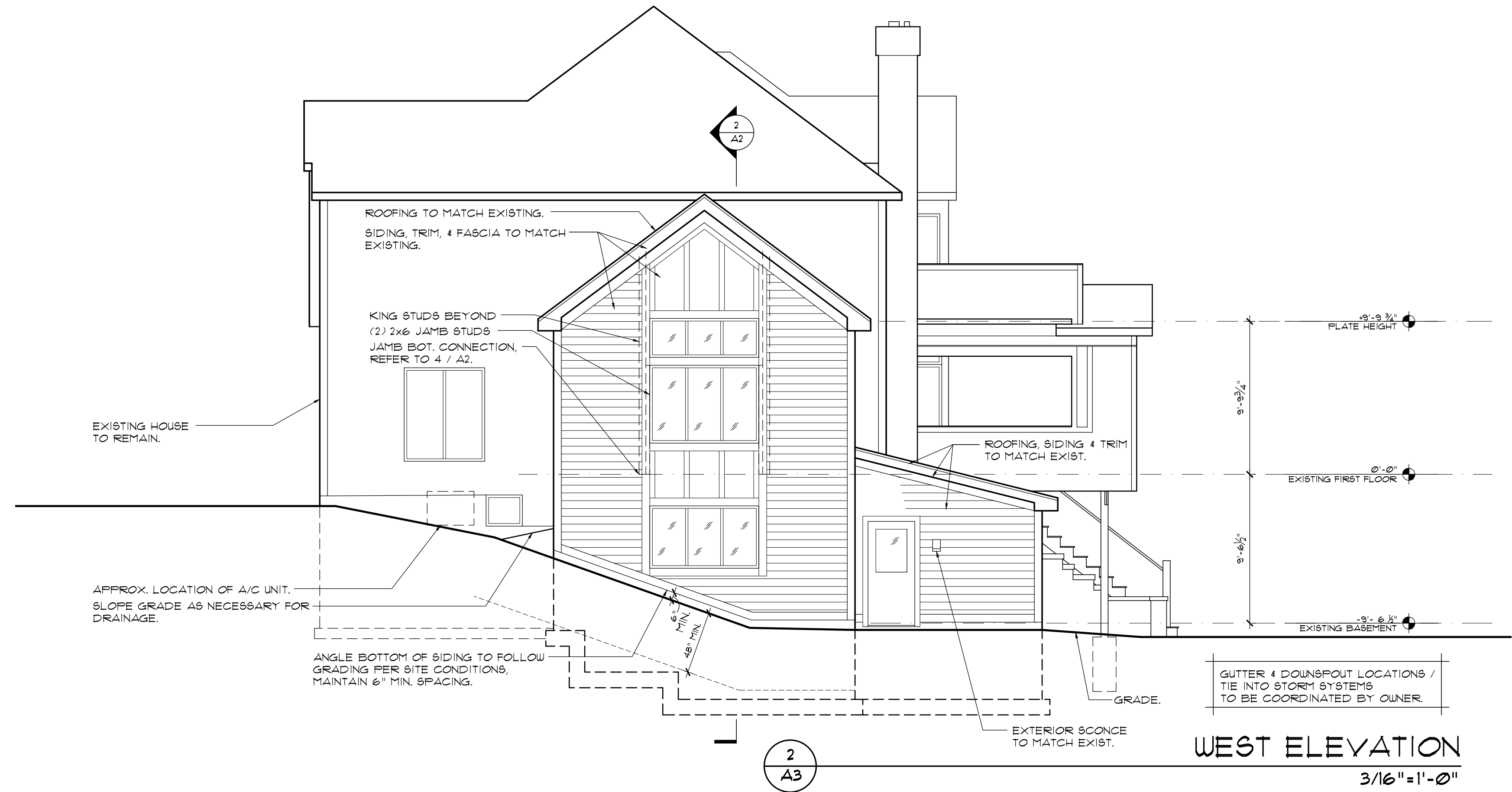




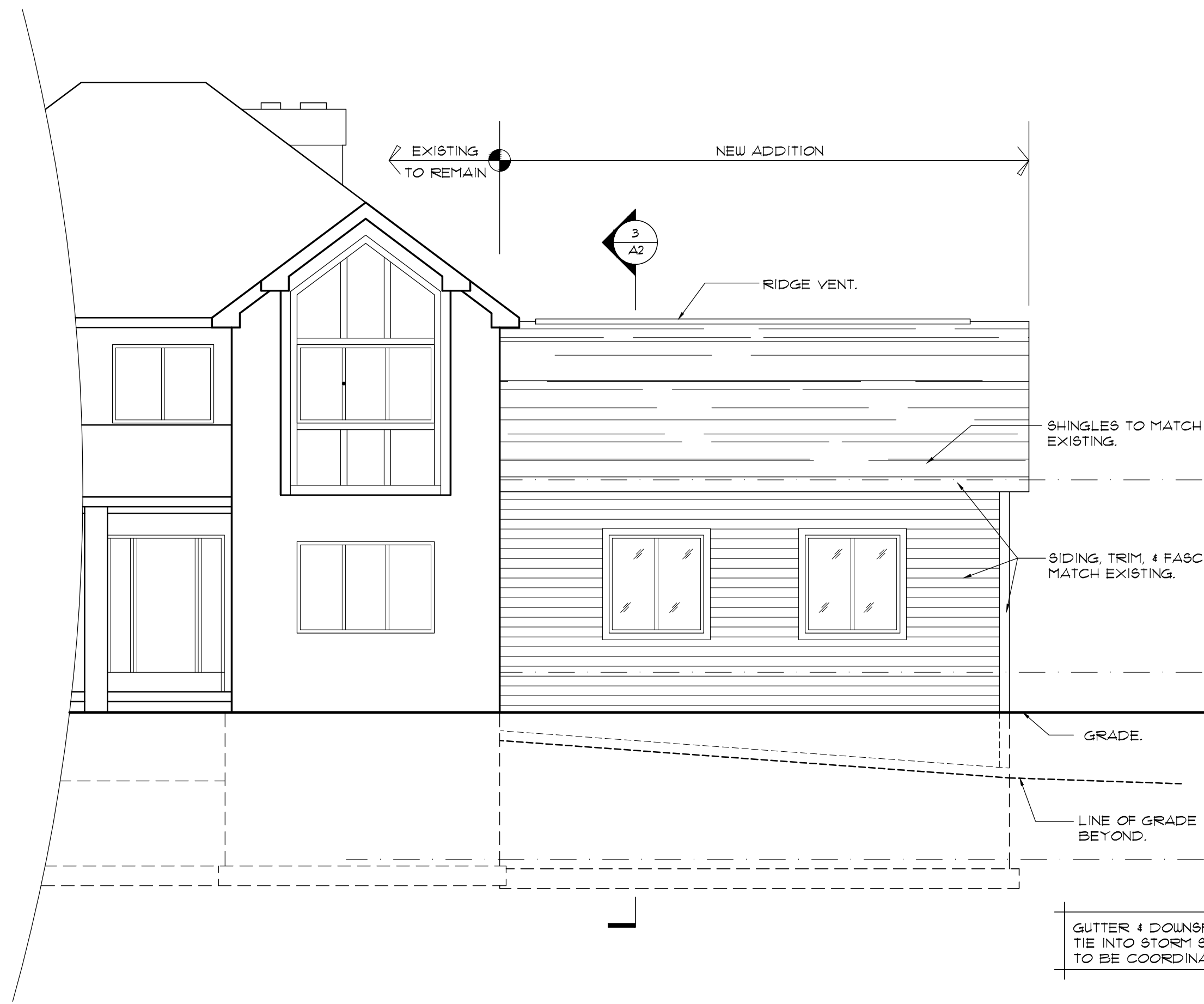
5
A3 3D VIEW 2
n.t.s.



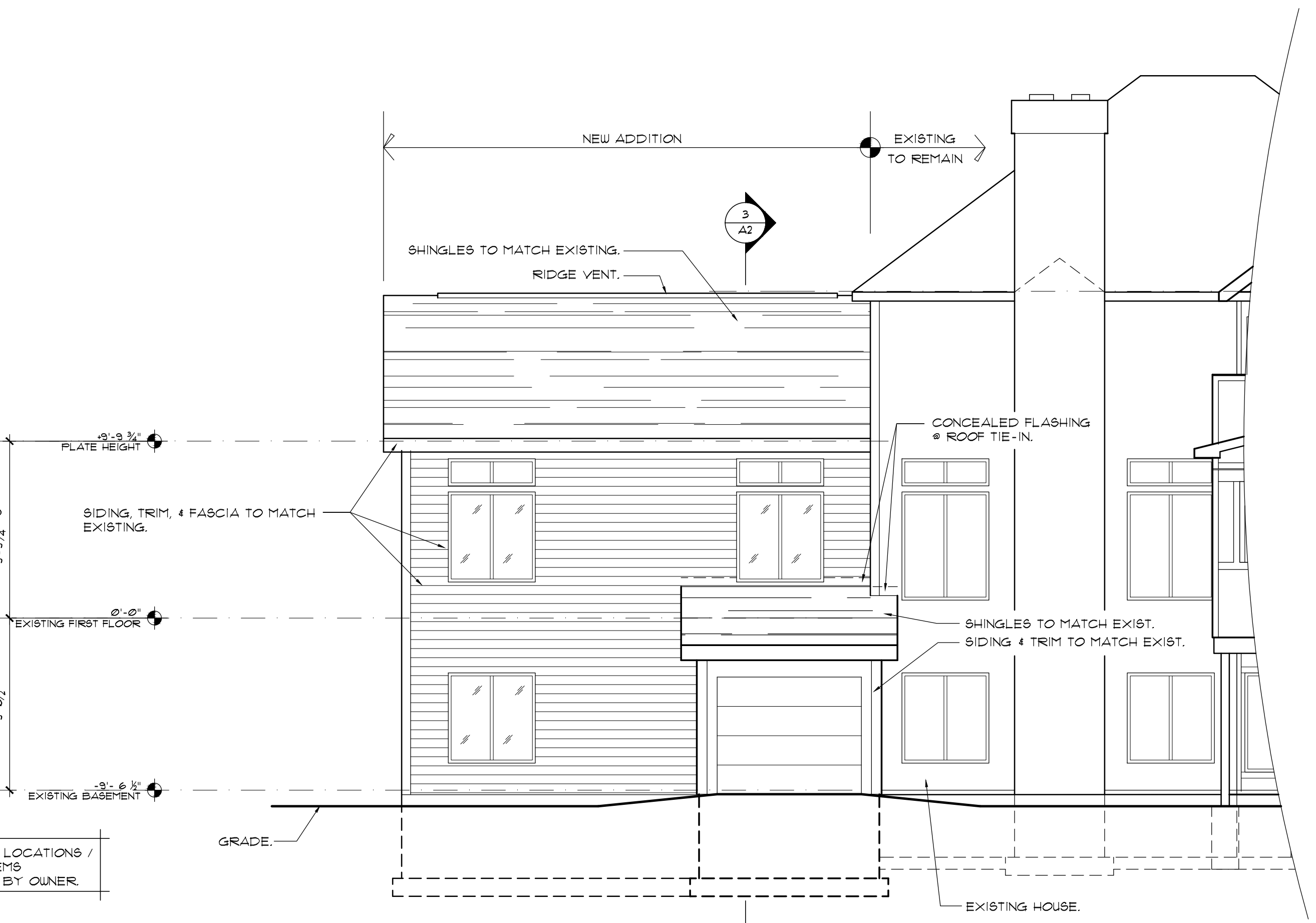
4
A3 3D VIEW 1
n.t.s.



2
A3 WEST ELEVATION
3/16"=1'-0"



3
A3 PARTIAL NORTH ELEVATION
3/16"=1'-0"



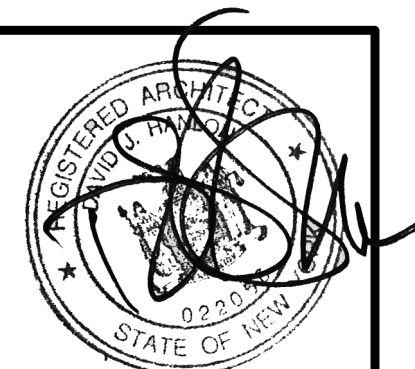
1
A3 PARTIAL SOUTH ELEVATION
3/16"=1'-0"



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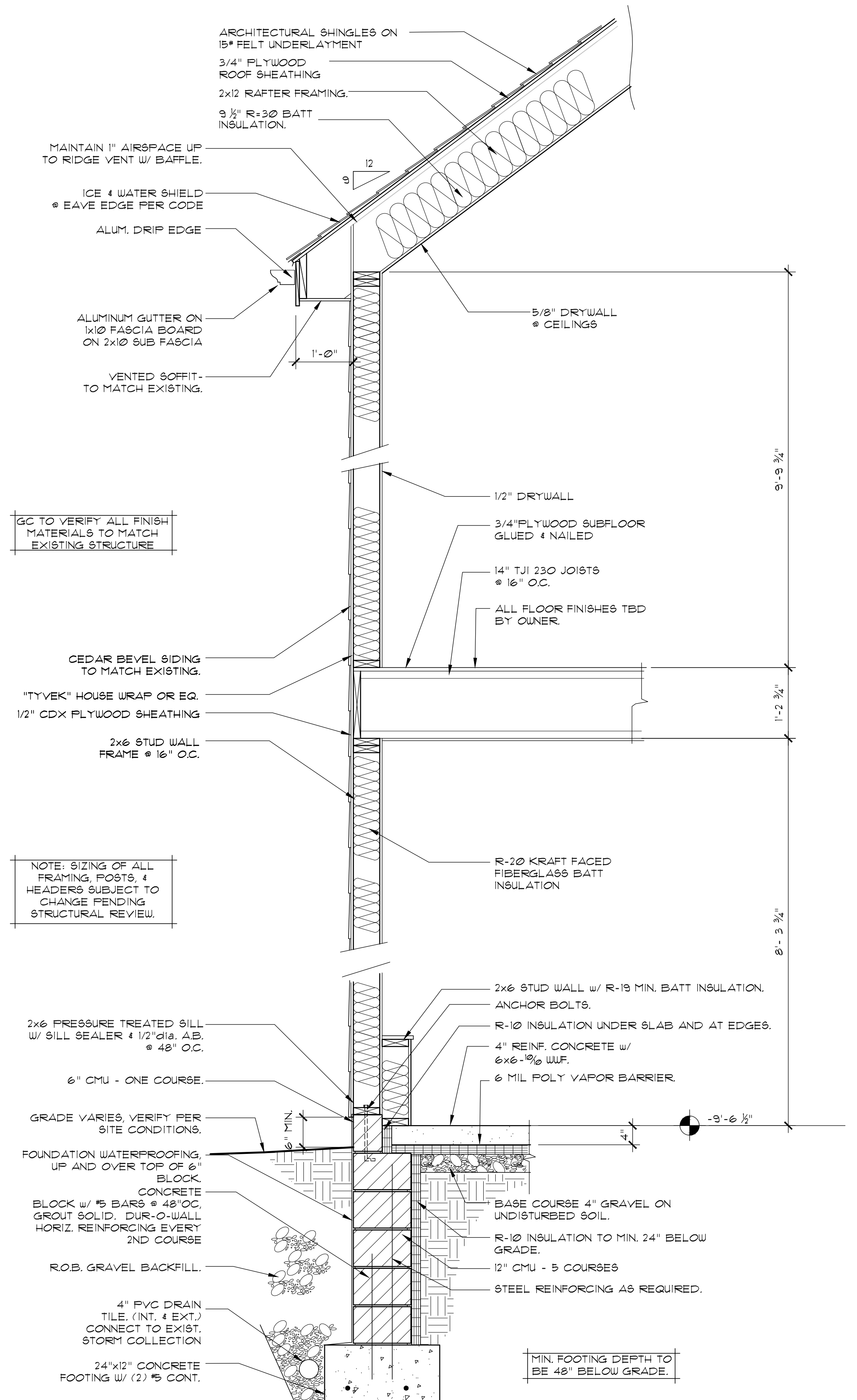
REVISED:
DATE: 5-29-19
ELEVATIONS & 3D VIEWS
DRAWING TITLE:
A3
SHEET NO:
PROJECT NO: 18-134



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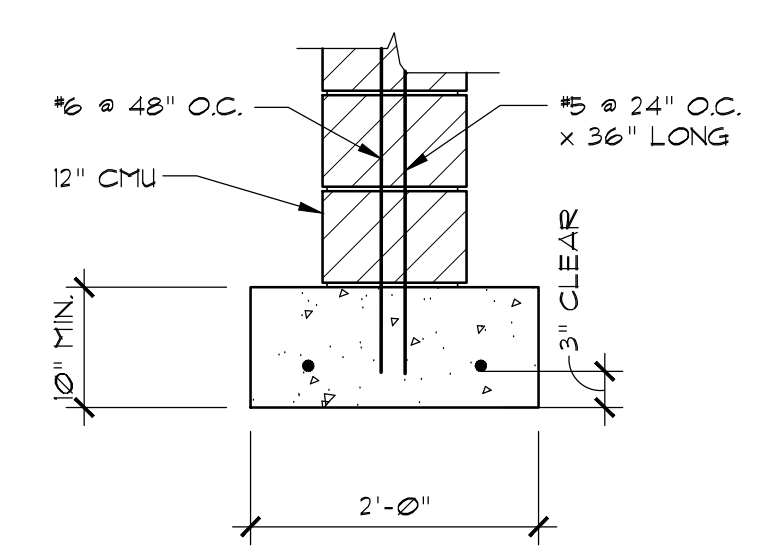
Gurrell Residence Addition
 5 Krislym Drive
 Pittsford, New York

REVISED:
 DATE: 5-29-19
 TYP. WALL SECTION
 DRAWING TITLE:
 A4
 SHEET NO:
 PROJECT NO: 18-134



GC TO VERIFY ALL FINISH MATERIALS TO MATCH EXISTING STRUCTURE

NOTE: SIZING OF ALL FRAMING, POSTS, & HEADERS SUBJECT TO CHANGE PENDING STRUCTURAL REVIEW.



2
 A4
 TYP. FOUNDATION SECTION
 3/4" = 1'-0"

1
 A4
 TYPICAL WALL SECTION
 3/4" = 1'-0"









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000118

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 91 Maywood Avenue ROCHESTER, NY 14618

Tax ID Number: 138.18-1-29

Zoning District: RN Residential Neighborhood

Owner: Burton, Caroline A

Applicant: Danrich Homes Inc.

Application Type:

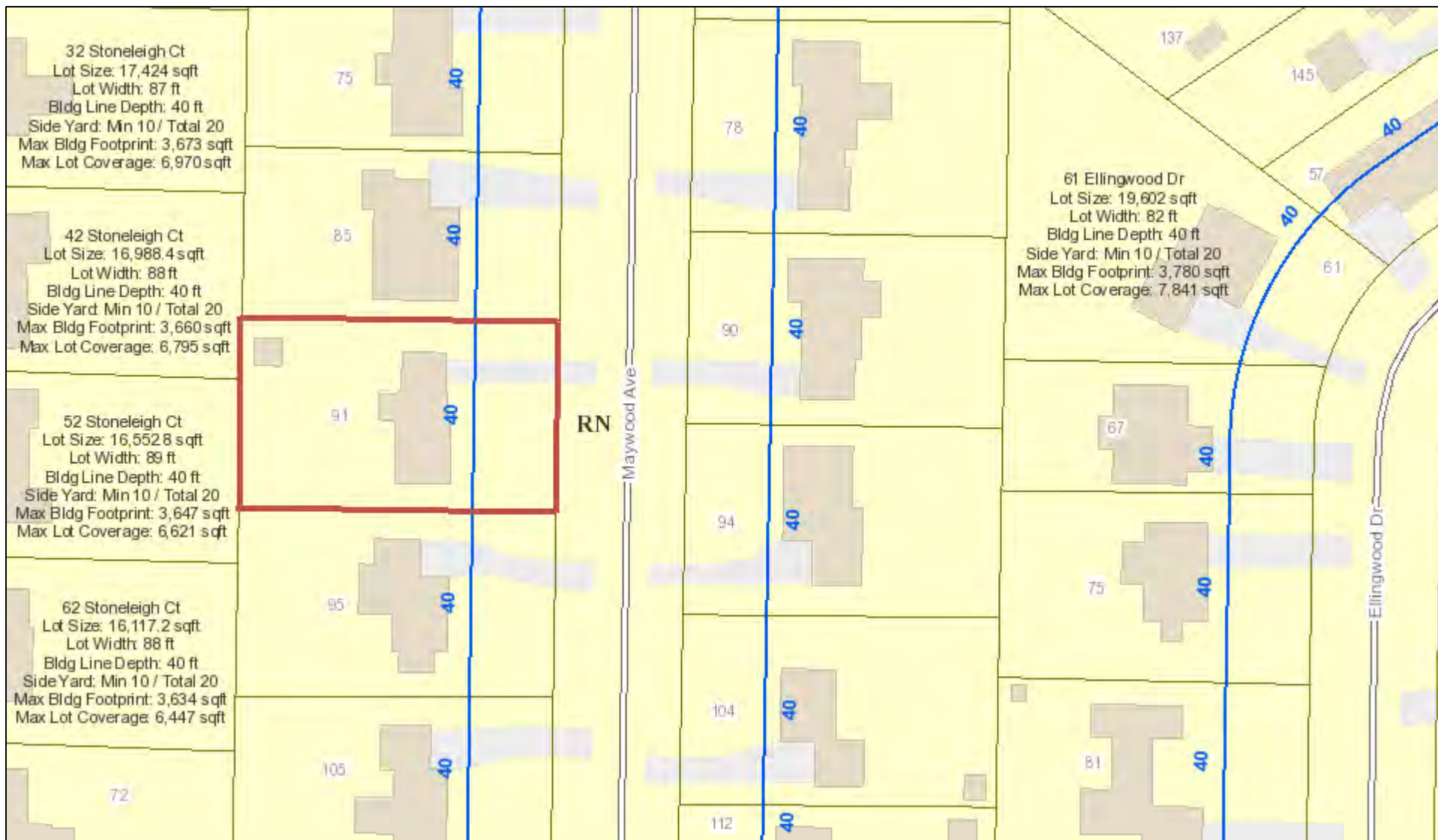
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting Design Review for an addition to a garage and a new front porch. The garage addition will be located to the front and side of the current garage and will be approximately 150 sq. ft. The front porch addition will be approximately 45 sq. ft. The home will receive exterior refacing, new siding and stone.

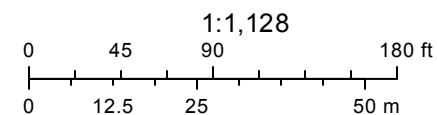
Meeting Date: August 22, 2019



RN Residential Neighborhood Zoning

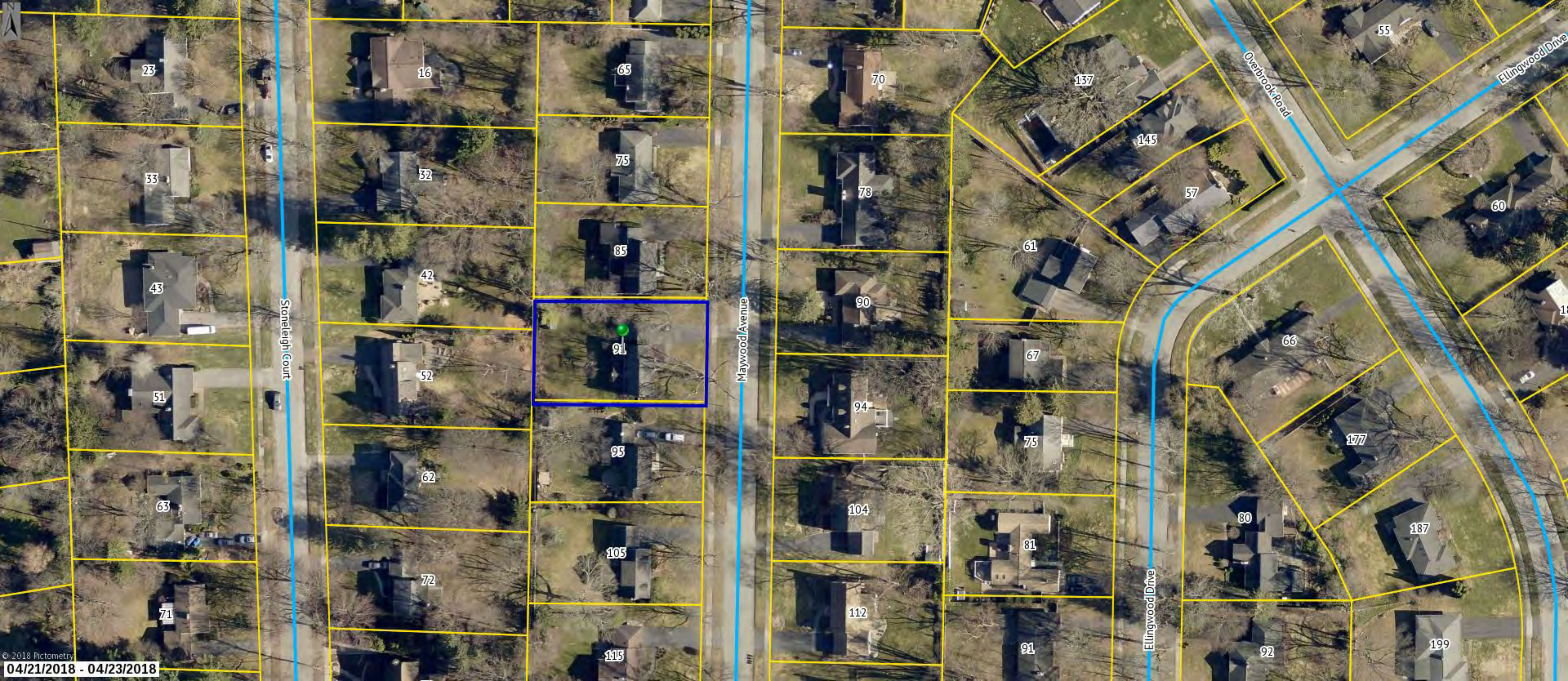


Printed August 15, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Stoneleigh Court

Maywood Avenue

Ellingwood Drive

Overbrook Road

Ellingwood Drive

23

16

65

70

137

55

33

32

75

78

145

57

60

43

42

85

90

61

66

51

52

91

94

67

177

63

62

95

104

75

80

187

71

72

105

112

81

92

199

115

91













MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

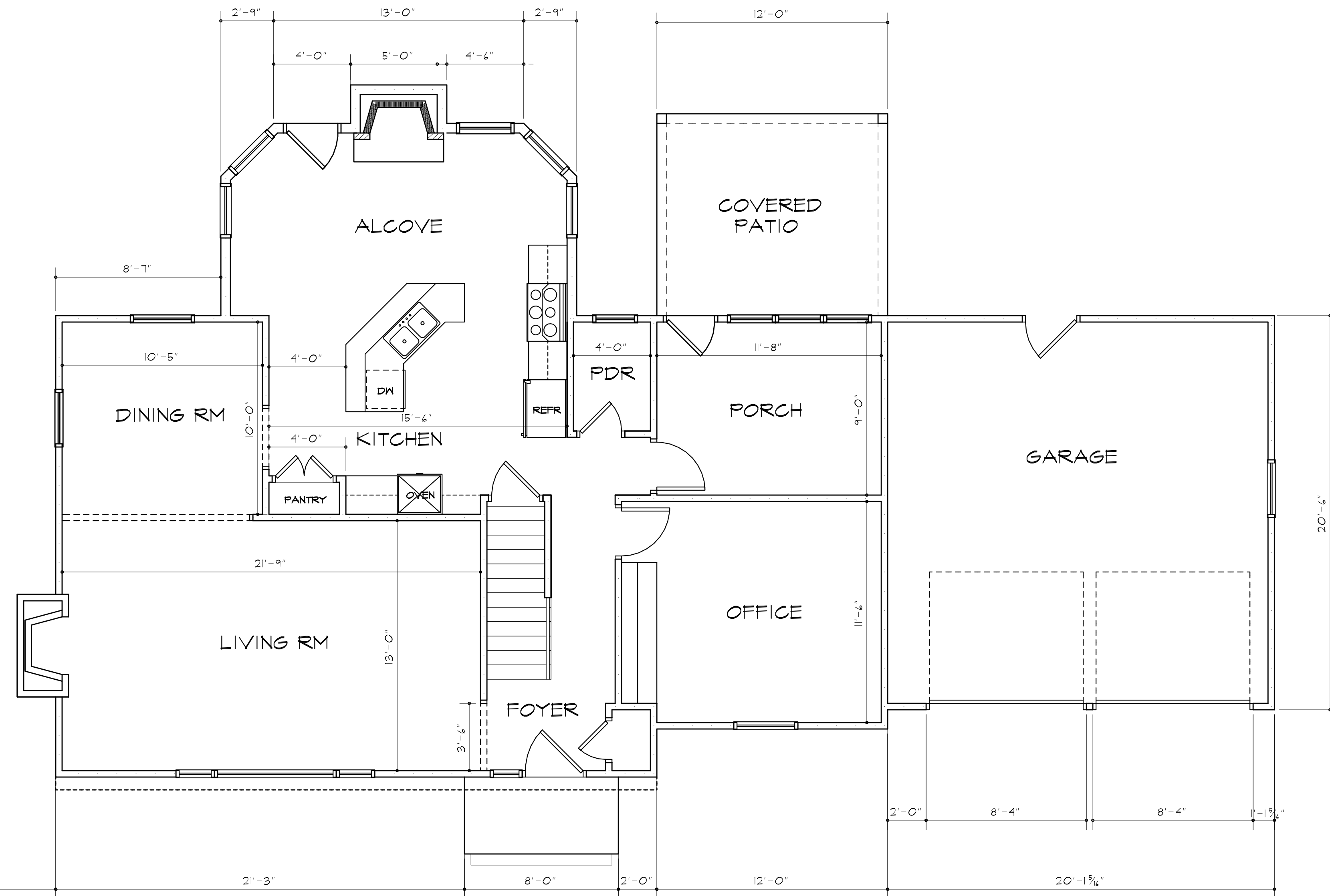
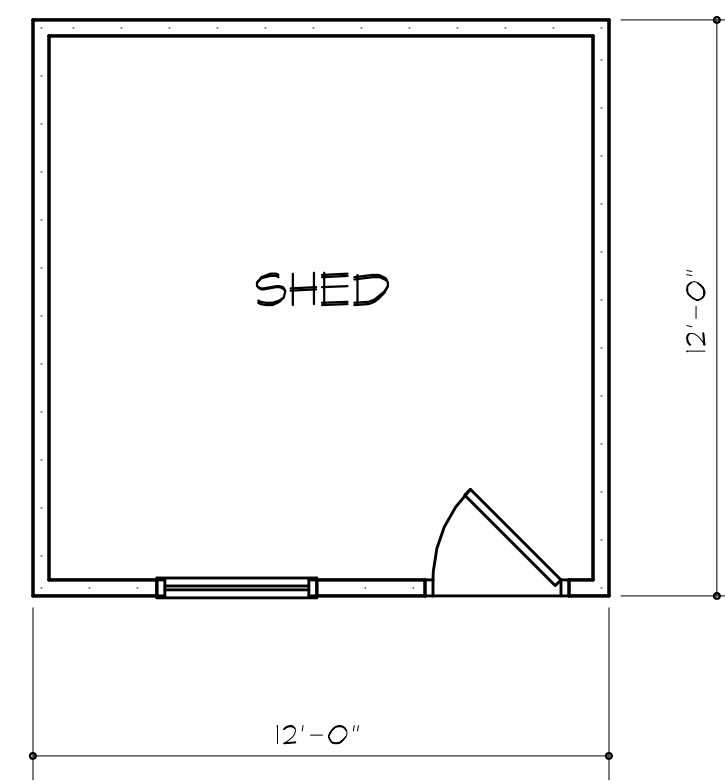
121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

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BUILDING LINE AT 40' OFF R.O.W.

FIRST FLOOR/ EXISTING

PROJECT:
RESIDENTIAL RENOVATION
41 MAYWOOD AVE
TOWN OF PITTSFORD, NEW YORK

CLIENT:
MOBY & CAROLINE BURTON
41 MAYWOOD AVE
TOWN OF PITTSFORD, NEW YORK

DRAWING:
FIRST FLOOR PLAN
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MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
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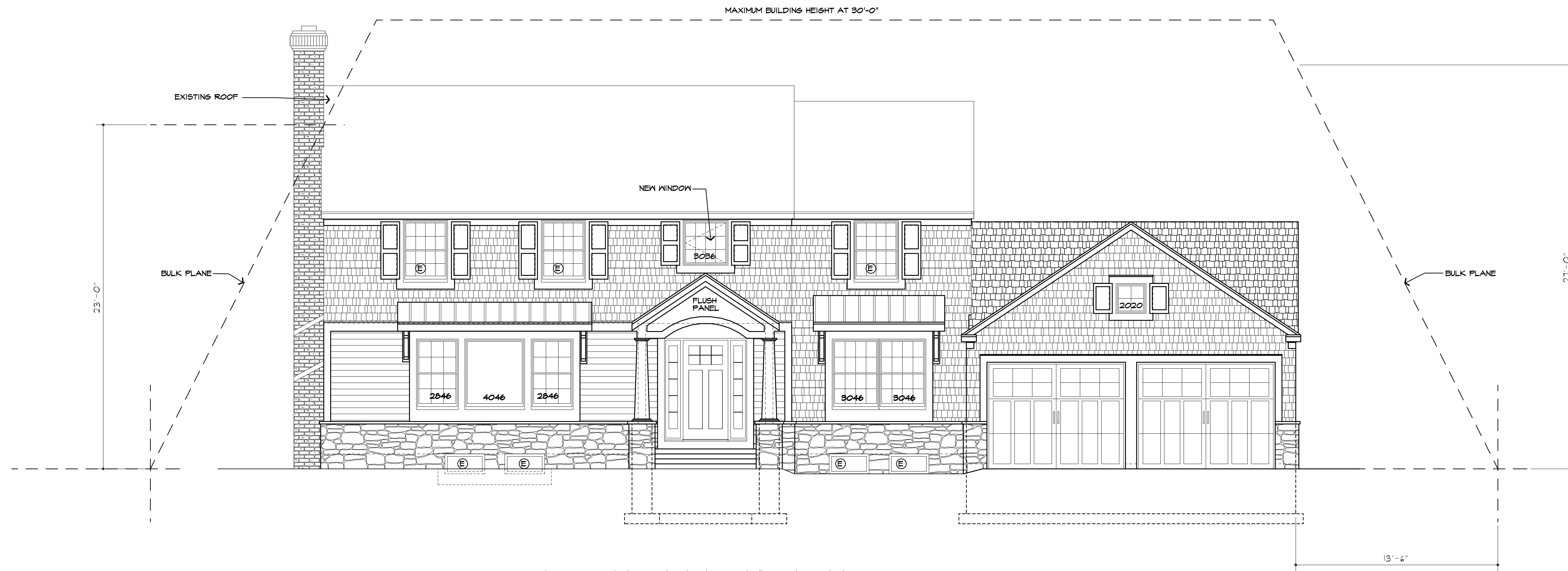
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FRONT ELEVATION
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LEFT SIDE ELEVATION
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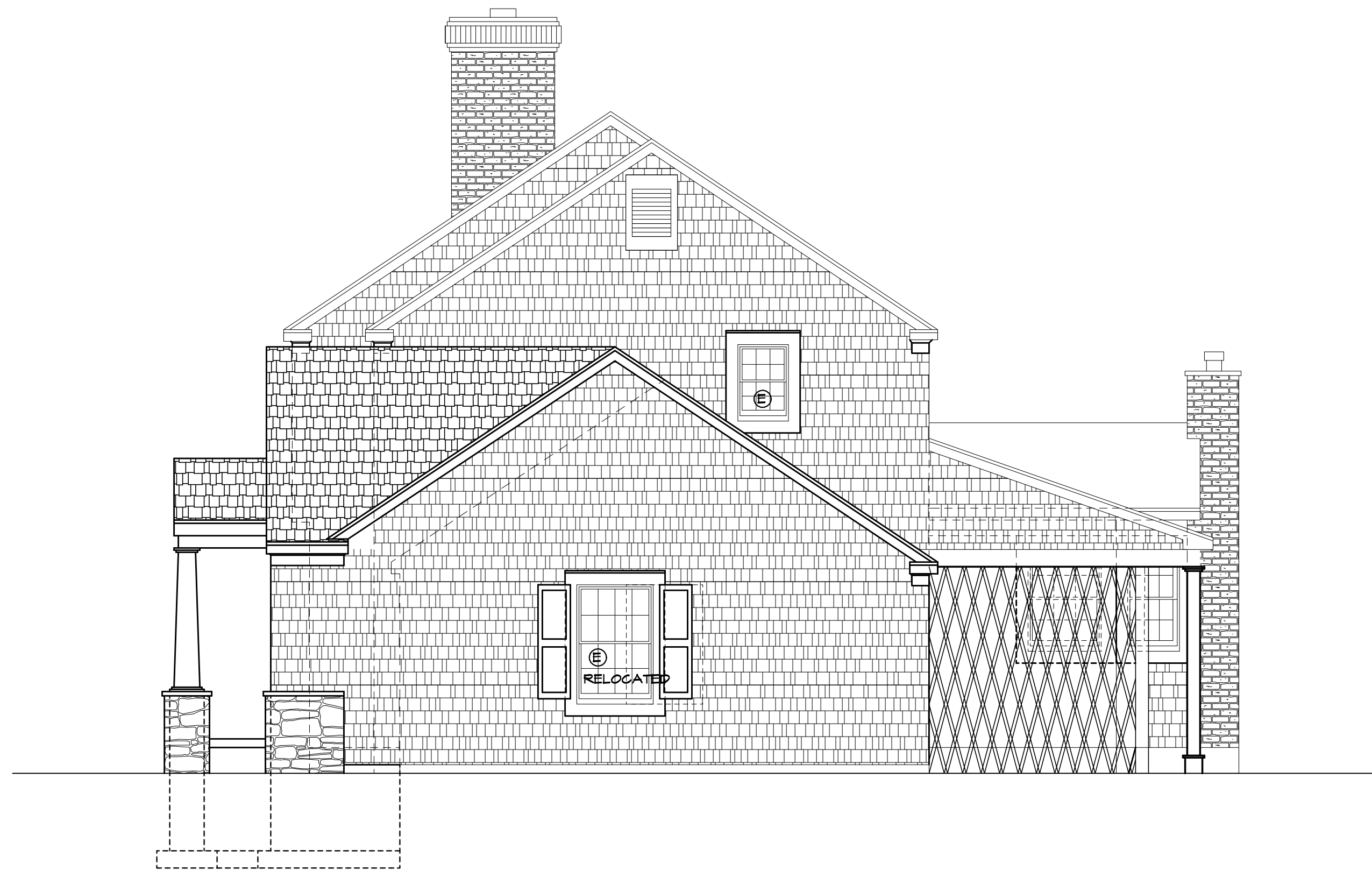
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REAR ELEVATION
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RIGHT SIDE ELEVATION
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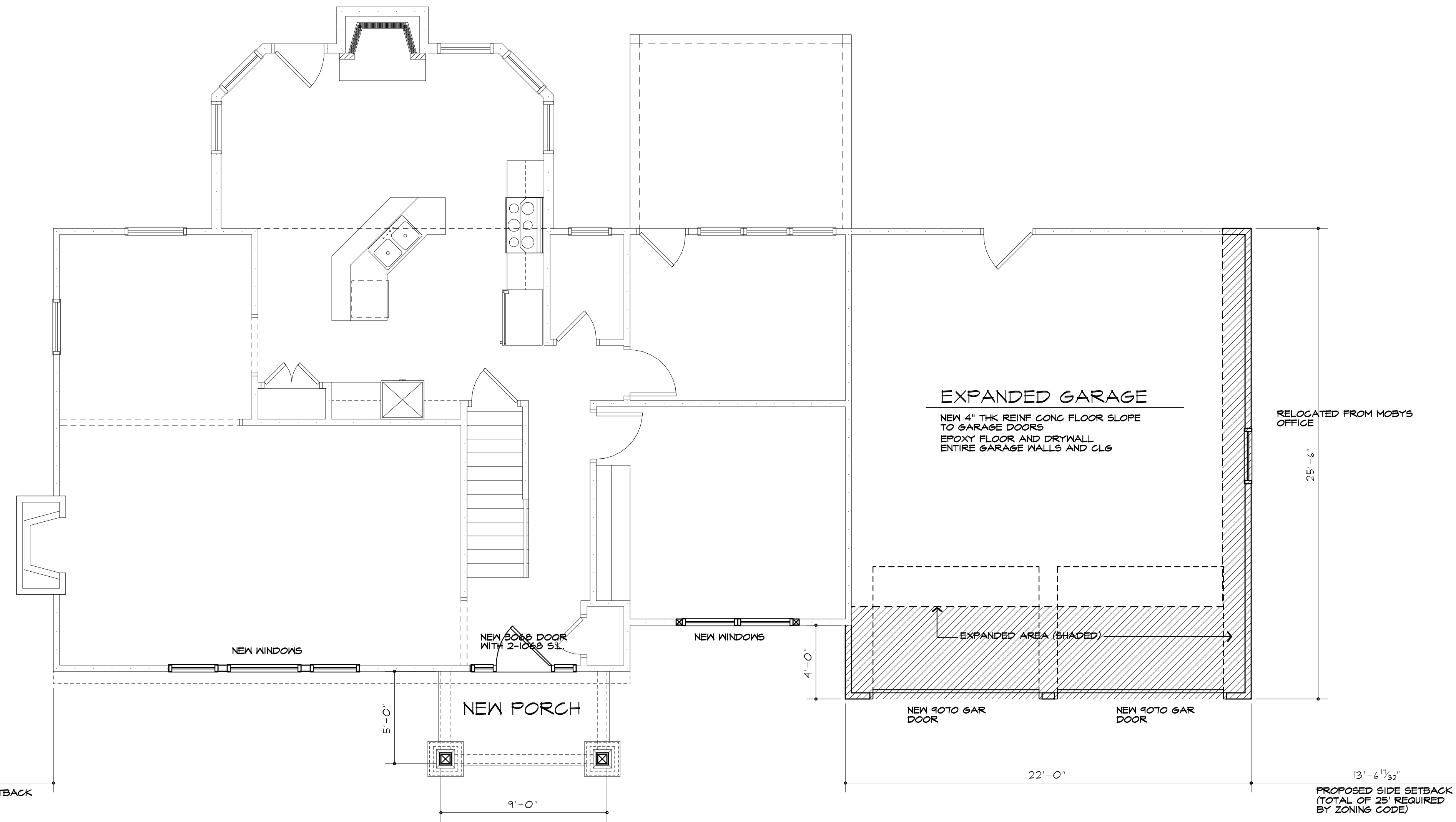
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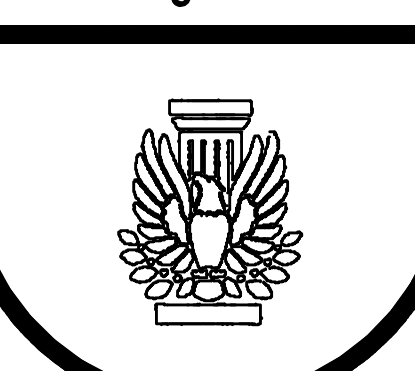
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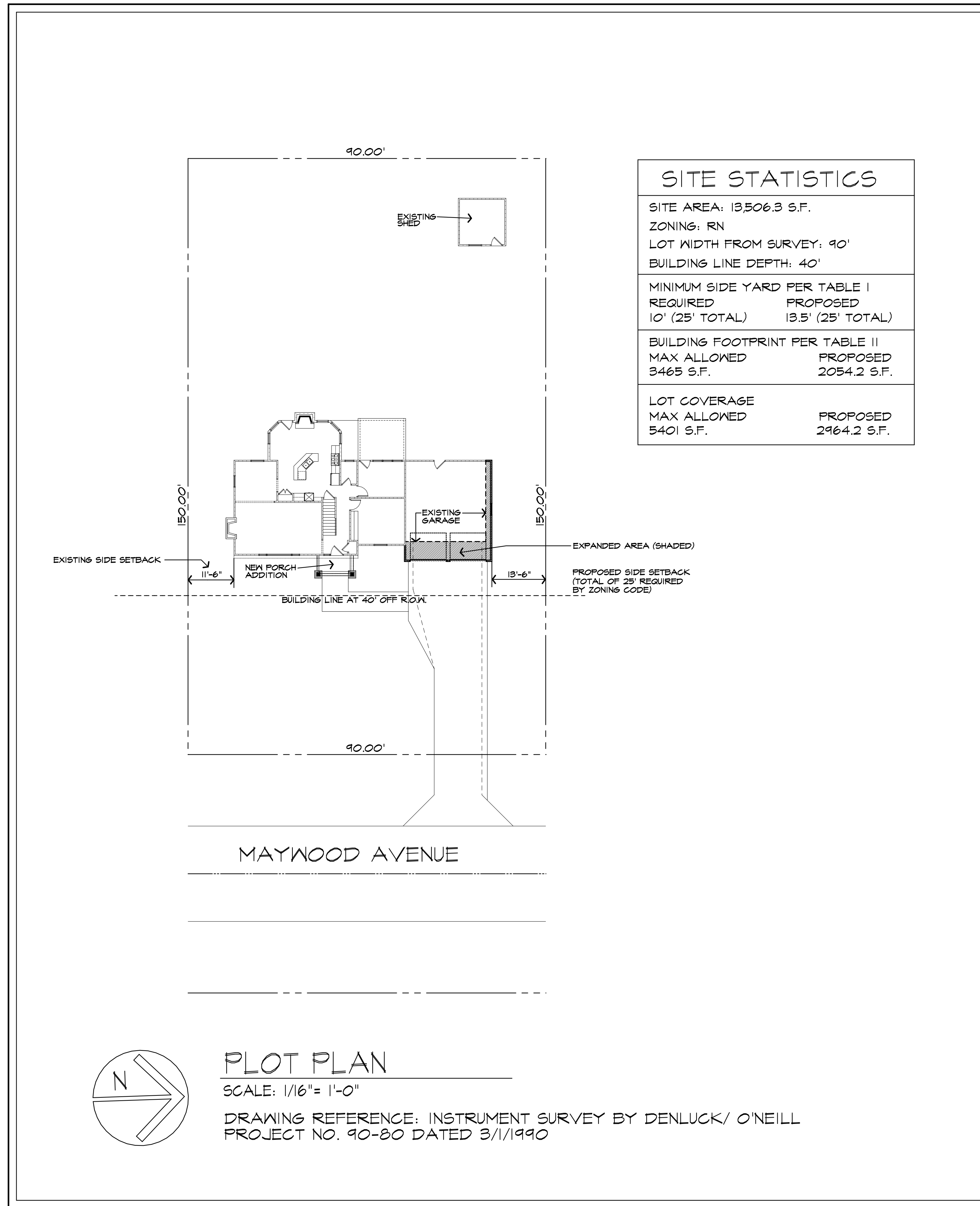
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GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2000 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A62. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-86. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 103.8 OF THE RESIDENTIAL CODE OF NEW YORK (2015).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL, AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015).
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015).
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



SITE STATISTICS	
SITE AREA: 13,506.3 S.F.	
ZONING: RN	
LOT WIDTH FROM SURVEY: 90'	
BUILDING LINE DEPTH: 40'	
MINIMUM SIDE YARD PER TABLE I	
REQUIRED	PROPOSED
10' (25' TOTAL)	13.5' (25' TOTAL)
BUILDING FOOTPRINT PER TABLE II	
MAX ALLOWED	PROPOSED
3465 S.F.	2054.2 S.F.
LOT COVERAGE	
MAX ALLOWED	PROPOSED
5401 S.F.	2964.2 S.F.

PLOT PLAN

SCALE: 1/16" = 1'-0"

DRAWING REFERENCE: INSTRUMENT SURVEY BY DENLUCK/ O'NEILL
PROJECT NO. 90-80 DATED 3/1/1990

PROPOSED EXTERIOR RENOVATION

BURTON RESIDENCE

91 MAYWOOD AVE, TOWN OF PITTSFORD NY

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
5	1ST FLOOR PLAN
6	2ND FLOOR PLAN
7	ROOF PLAN
8	BUILDING SECTIONS
9	BUILDING SECTIONS
10	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.32	.30
2. CEILING R-FACTOR	44	44
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 19+5	HIGH DENSITY 21 21/BAND .15TS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 14 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30
6. SLAB R-VALUE & DEPTH	R-10 @ 24" DEEP	R-10 @ 24" DEEP

2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 15% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1108.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1108.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1108.2.1
- MECHANICAL VENTILATION PER SECTION 1108.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1107.3.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1108.6.1
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1108.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1



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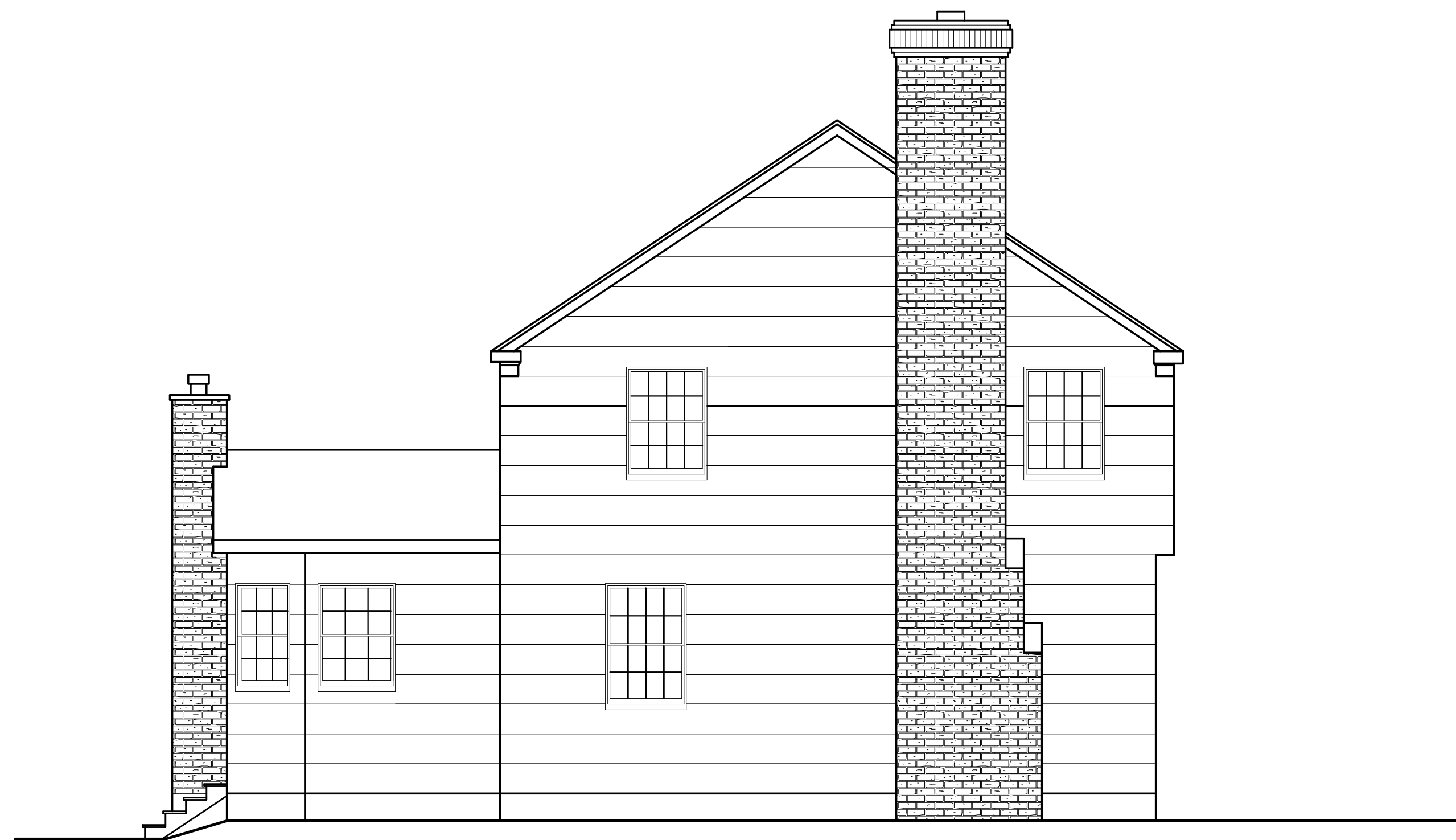
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EXISTING



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PROJECT:
RESIDENTIAL RENOVATION
41 MAYWOOD AVE
TOWN OF PITTSFORD, NEW YORK

CLIENT:
MOBY & CAROLINE BURTON
41 MAYWOOD AVE
TOWN OF PITTSFORD, NEW YORK

DRAWING:

DRAWN:	CHECKED:
VM	PM
PM	PM

DATE: 8/7/2019

SCALE: 1/4"=1'-0"

JOB NO.: 19MB051

SHEET:

OF 9 SHEETS











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000115

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2179 West Jefferson Road PITTSFORD, NY 14534

Tax ID Number: 163.02-1-53

Zoning District: RN Residential Neighborhood

Owner: Sur, Sandip

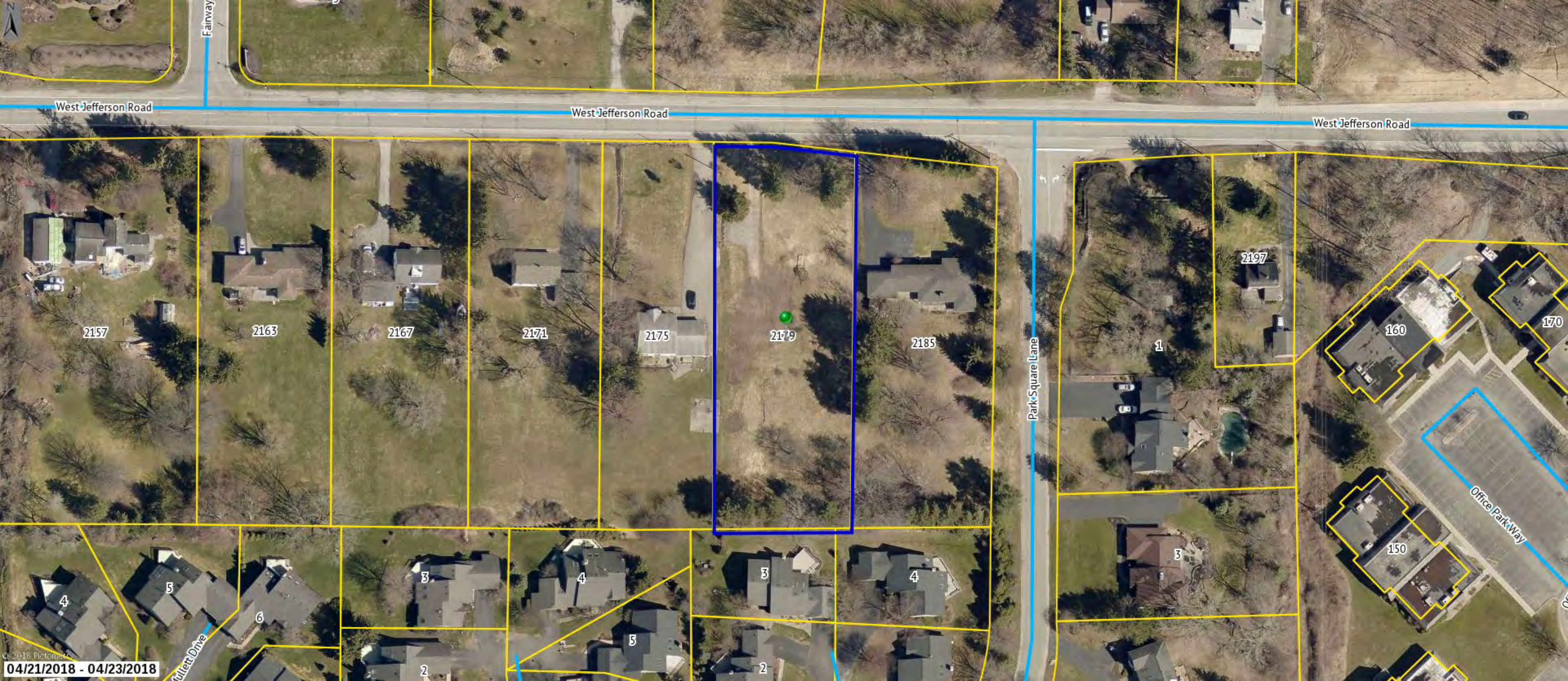
Applicant: Sur, Sandip

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2431 sq. ft. and will be located on a now empty lot. The previous house was demolished in 2018.

Meeting Date: August 22, 2019



Fairway

West Jefferson Road

West Jefferson Road

West Jefferson Road

2157

2163

2167

2171

2175

2179

2185

2197

160

170

150

4

5

6

3

4

3

4

5

2

3

Office Park Way

04/21/2018 - 04/23/2018

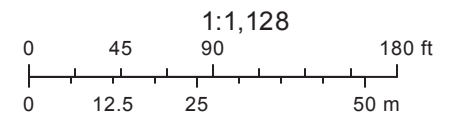
Fullert Drive

Park Square Lane

RN Residential Neighborhood Zoning



Printed August 14, 2019



Town of Pittsford GIS

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SUR RESIDENCE

2179 WEST JEFFERSON RD.
PITTSFORD, NY

PLAN 2431 R / PROJECT 2501 C

SHEET INDEX

- C-1 COVER SHEET
- 1/6 ELEVATIONS
- 2/6 FOUNDATION PLAN
- 3/6 FIRST FLOOR PLAN
- 4/6 SECTIONS
- 5/6 ROOF PLAN
- 6/6 ELEVATIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE EFFECTIVE OCTOBER 2016.
COMPLIANCE METHOD: RES CHECK CERTIFICATE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED
R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS), WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

- DURING TESTING:
1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK :

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2015 IRC AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION :

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES :

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING :

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 312.1.1 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2015 IRC.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2015 IRC.

GARAGE FIREPROOFING :

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E = 10 ⁶ - 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

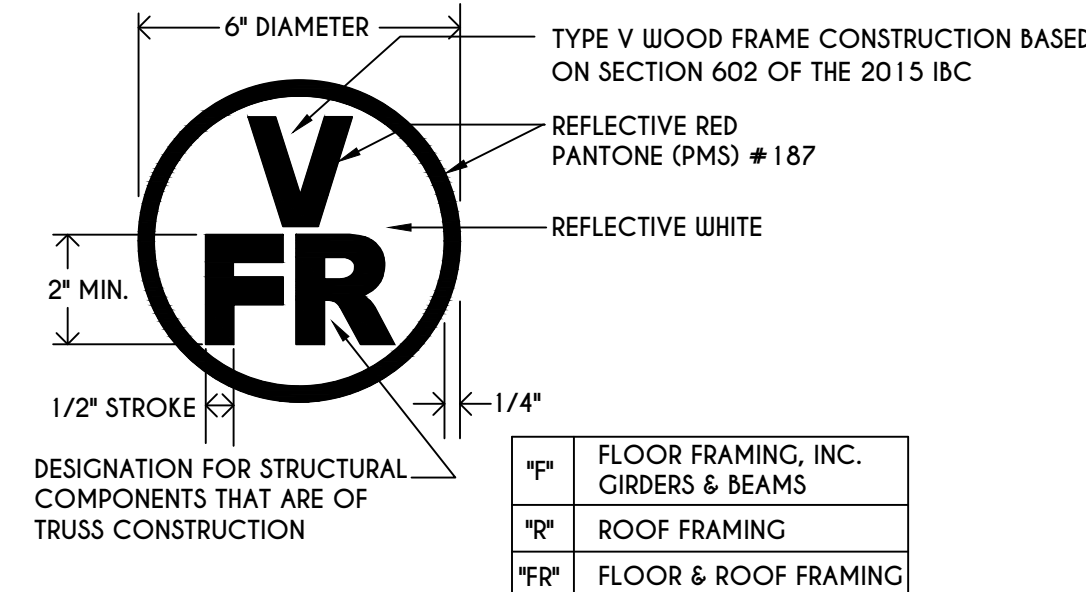
DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262

www.greaterviving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SUR RESIDENCE
2179 W. JEFFERSON RD.
PITTSFORD, NY

BUILDER:

COVER PAGE

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scale: AS NOTED	date: 7 / 19
PROJECT: 2501 C	sheet: C-1

WINDOWS: ANDERSEN 200 OR EQUAL
 U-FACTOR 0.30
 SHGC 0.32

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SLIDING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2015 IECC

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
 [FD] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R3.12.2 OF 2015 IRC

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1507.3 OF 2015 IRC (SEE TABLES M1507.3.3(1) & M1507.3.3(2) PG 1)

TABLE M1507.3.3(1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

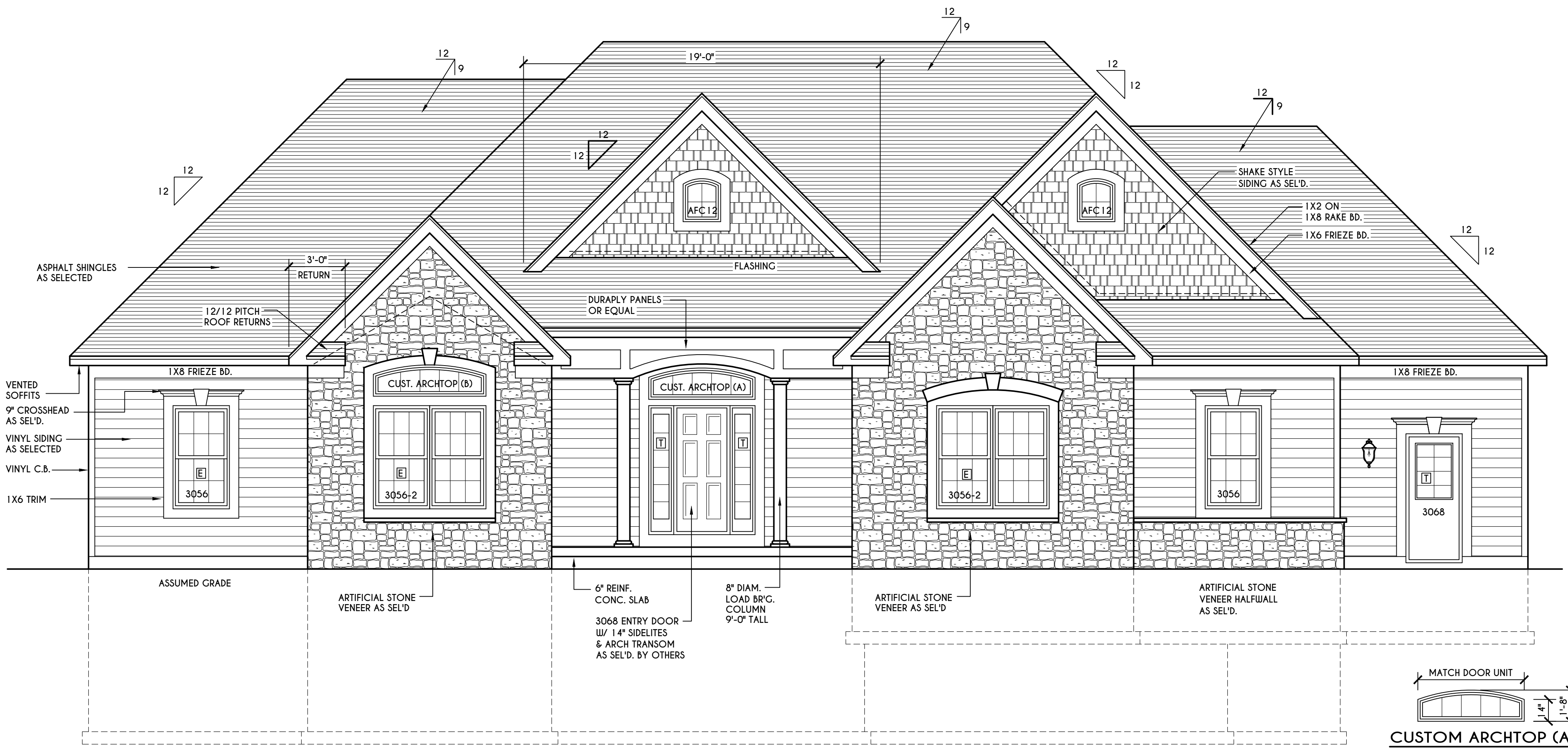
DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

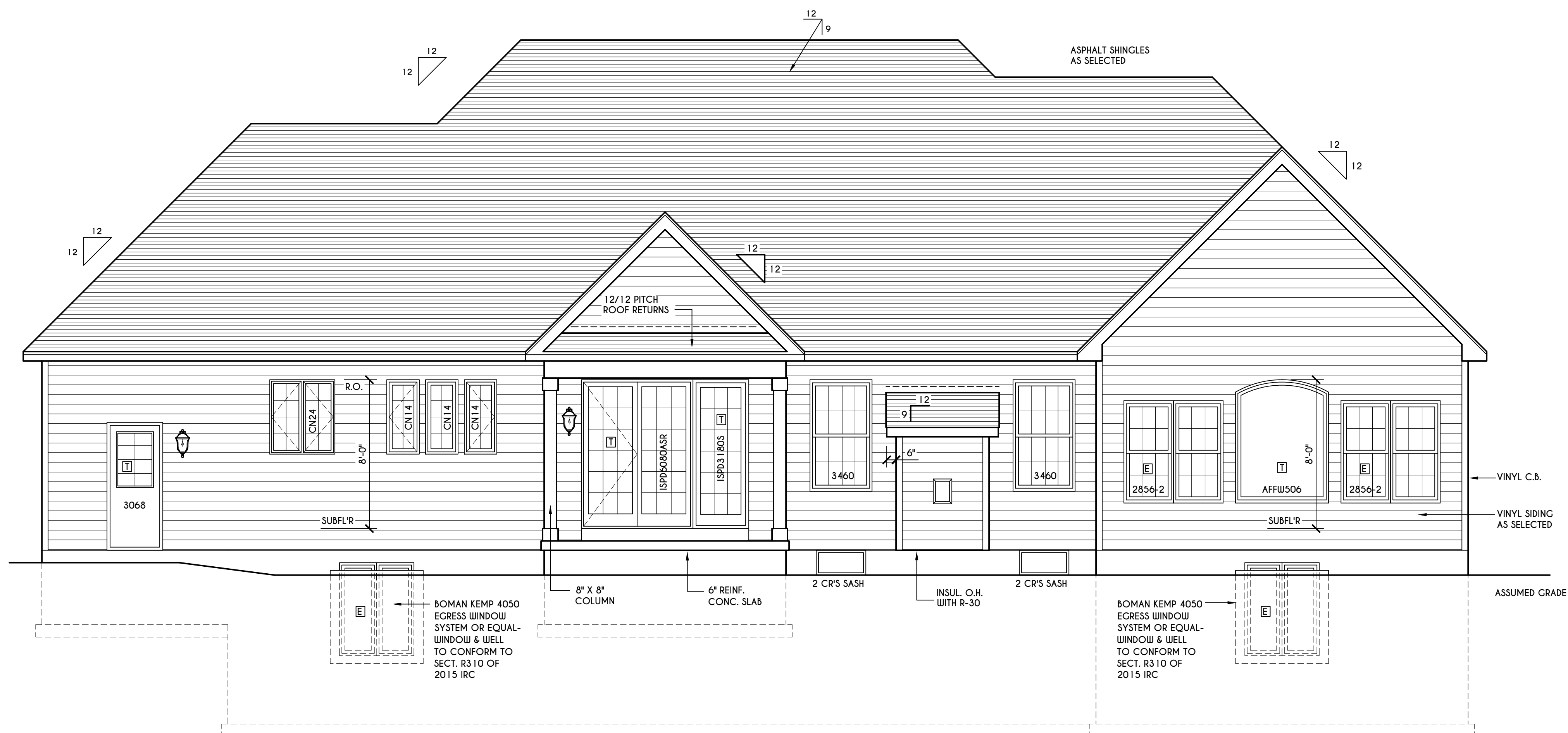
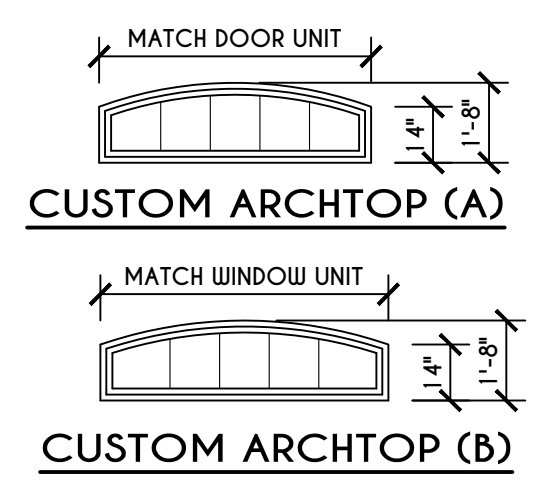
TABLE M1507.3.3(2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25x	33x	50x	66x	75x	100x
FACTOR ^a	4	3	2	1.5	1.3	1.0

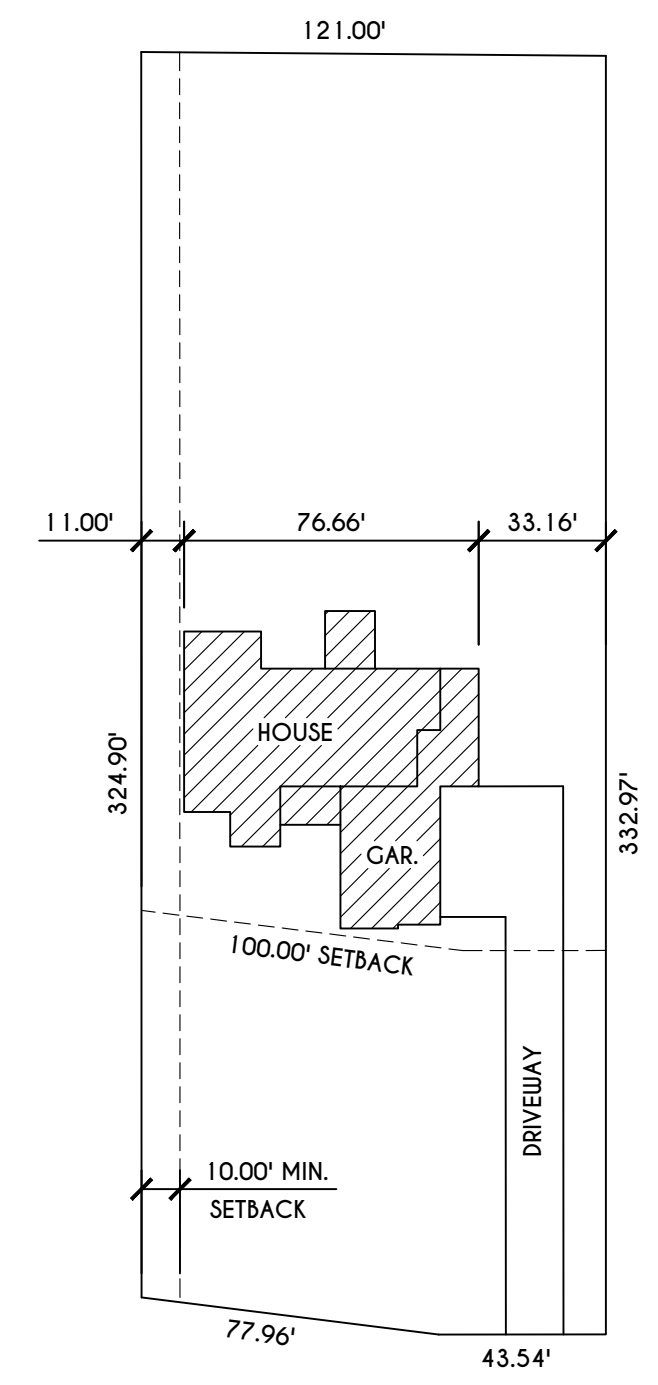
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"
 TOTAL LIVING AREA = 2431 SQ.FT.
 TOTAL CONDITIONED VOLUME = 47,830 CU.FT.



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



SITE MAP
 SCALE: 1" = 50'
 2179 WEST JEFFERSON ROAD

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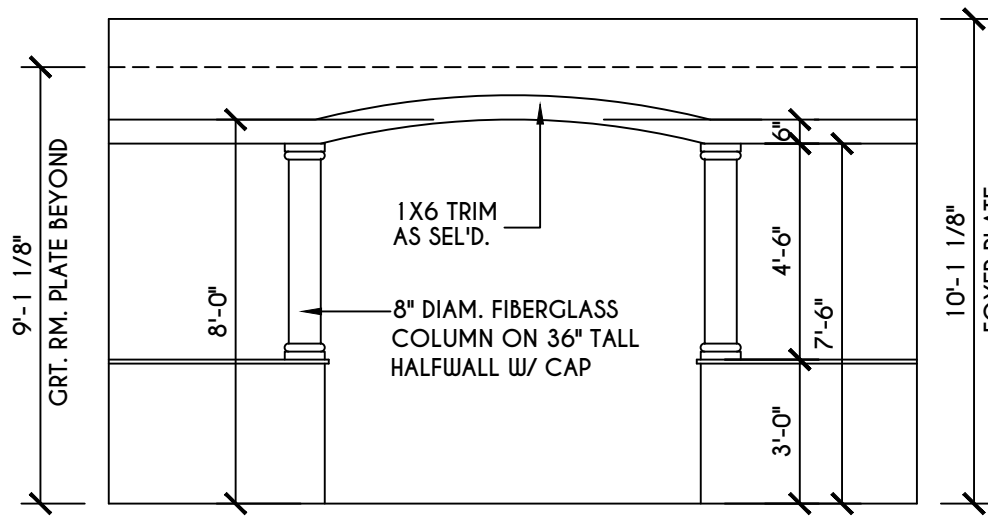
DATE	BY	DESCRIPTION

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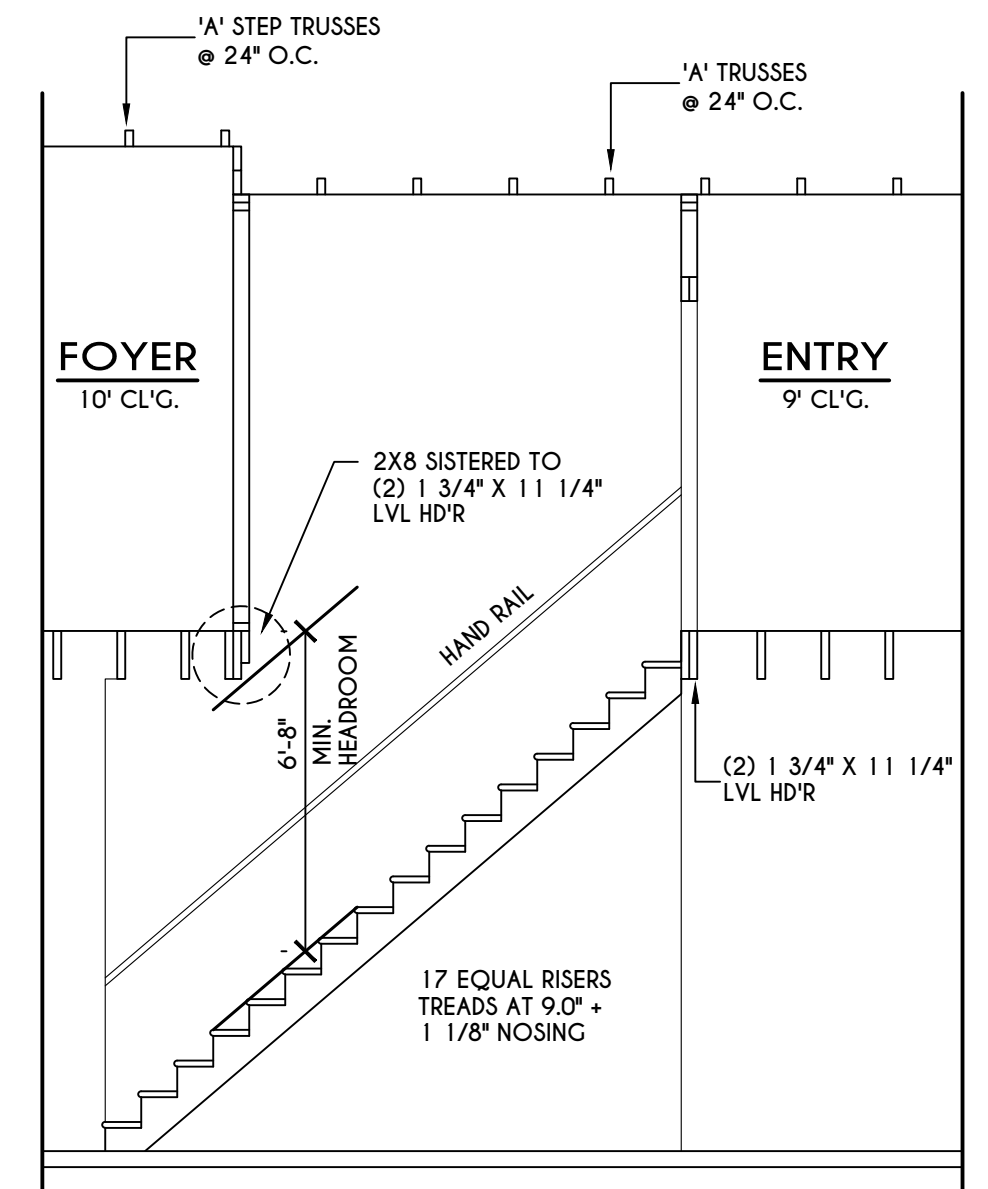
BUILDER:

ELEVATIONS
 GLA PLAN 2431 R

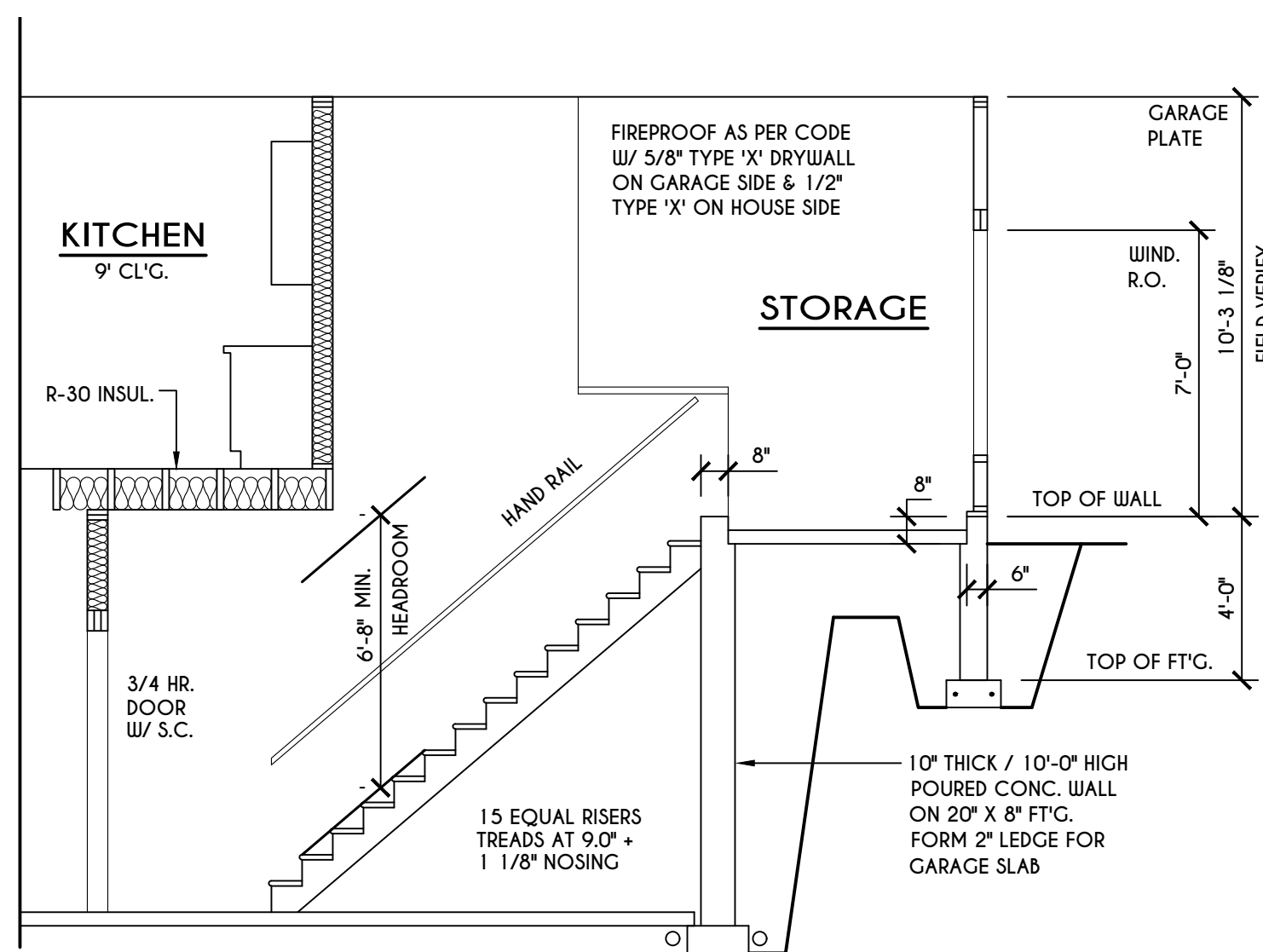
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scale: AS NOTED	date: 7 / 19
PROJECT: 2501 C	sheet: 1 / 6



ID-1 DETAIL
SCALE: 1/4" = 1'-0"



HOUSE STAIR SECTION
SCALE: 1/4" = 1'-0"



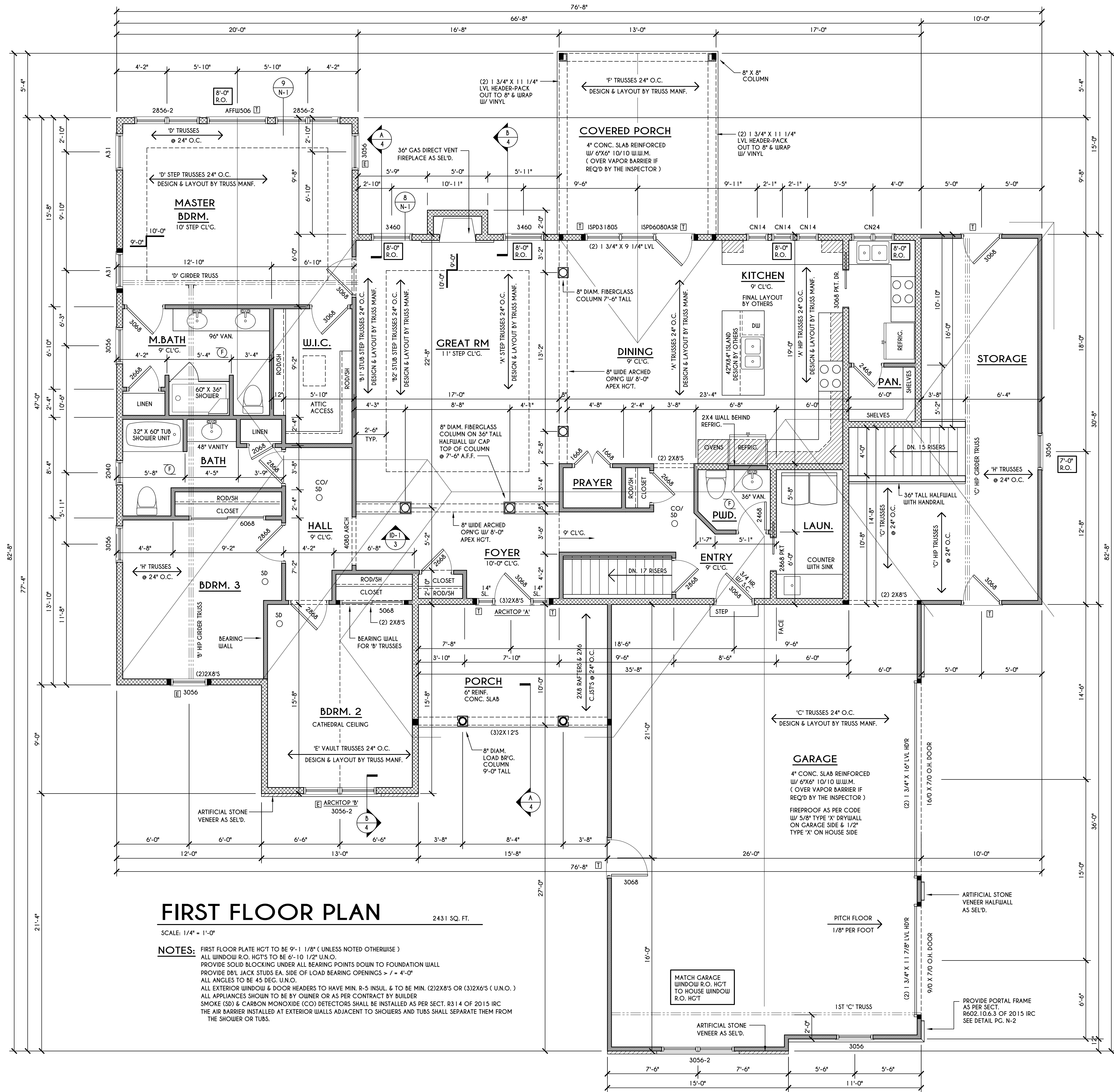
GARAGE STAIR SECTION
SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING - GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED - UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:
FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

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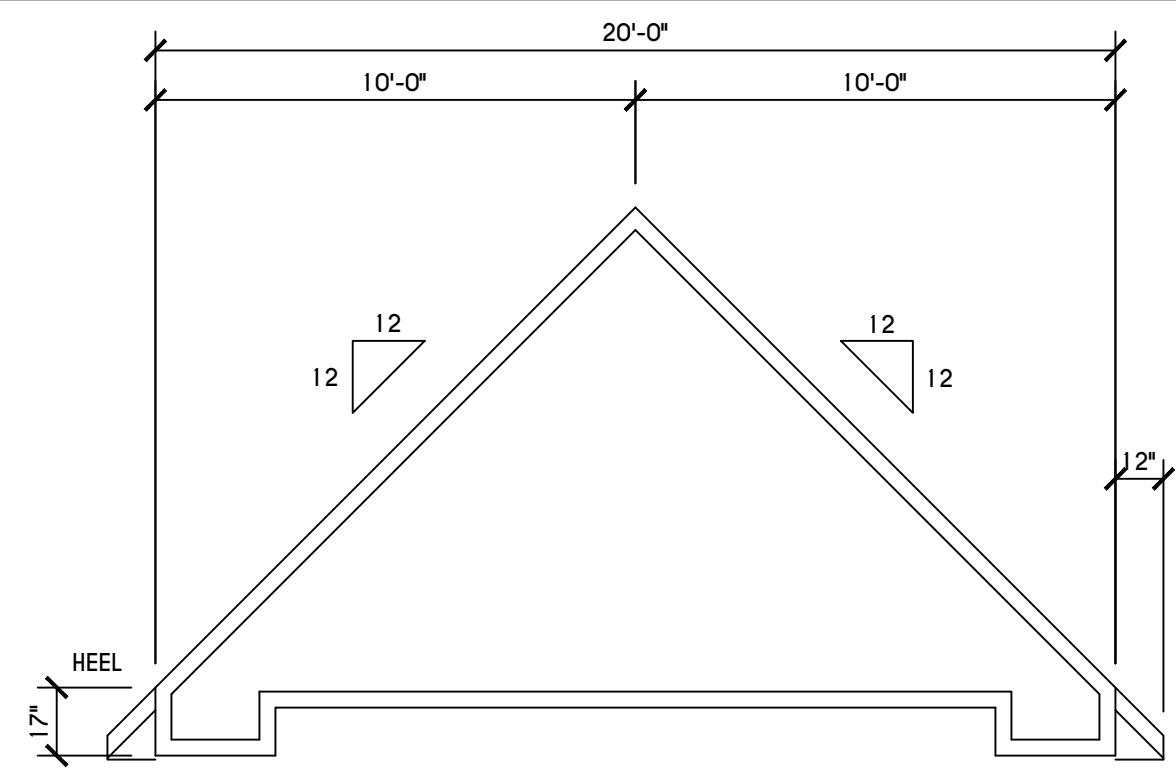
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BUILDER:

FIRST FLOOR PLAN

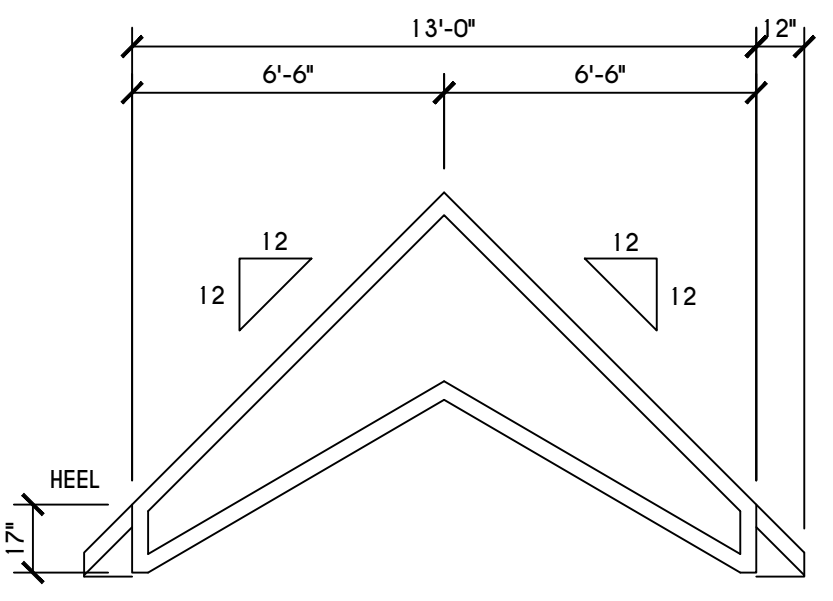
GLA PLAN 2431 R

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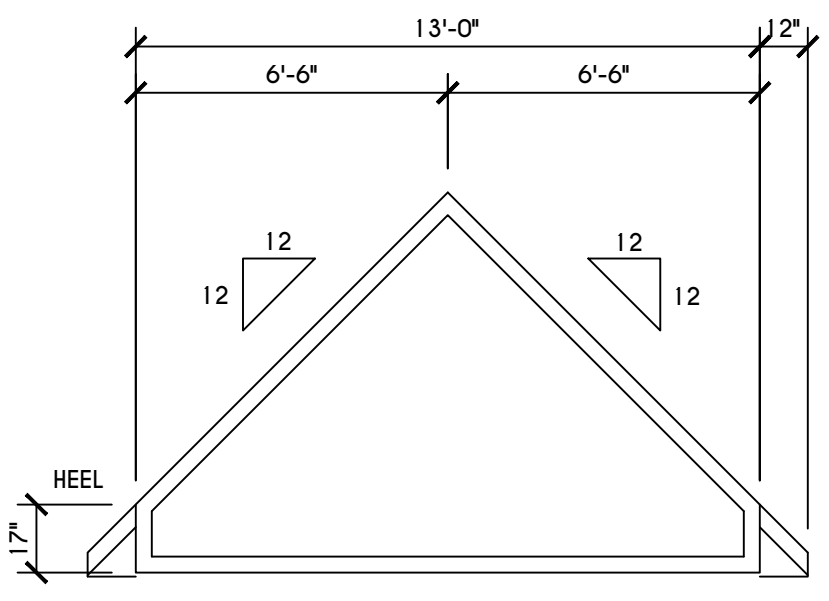
'D' STEP TRUSS PROFILE

SCALE: 1/4" = 1'-0"



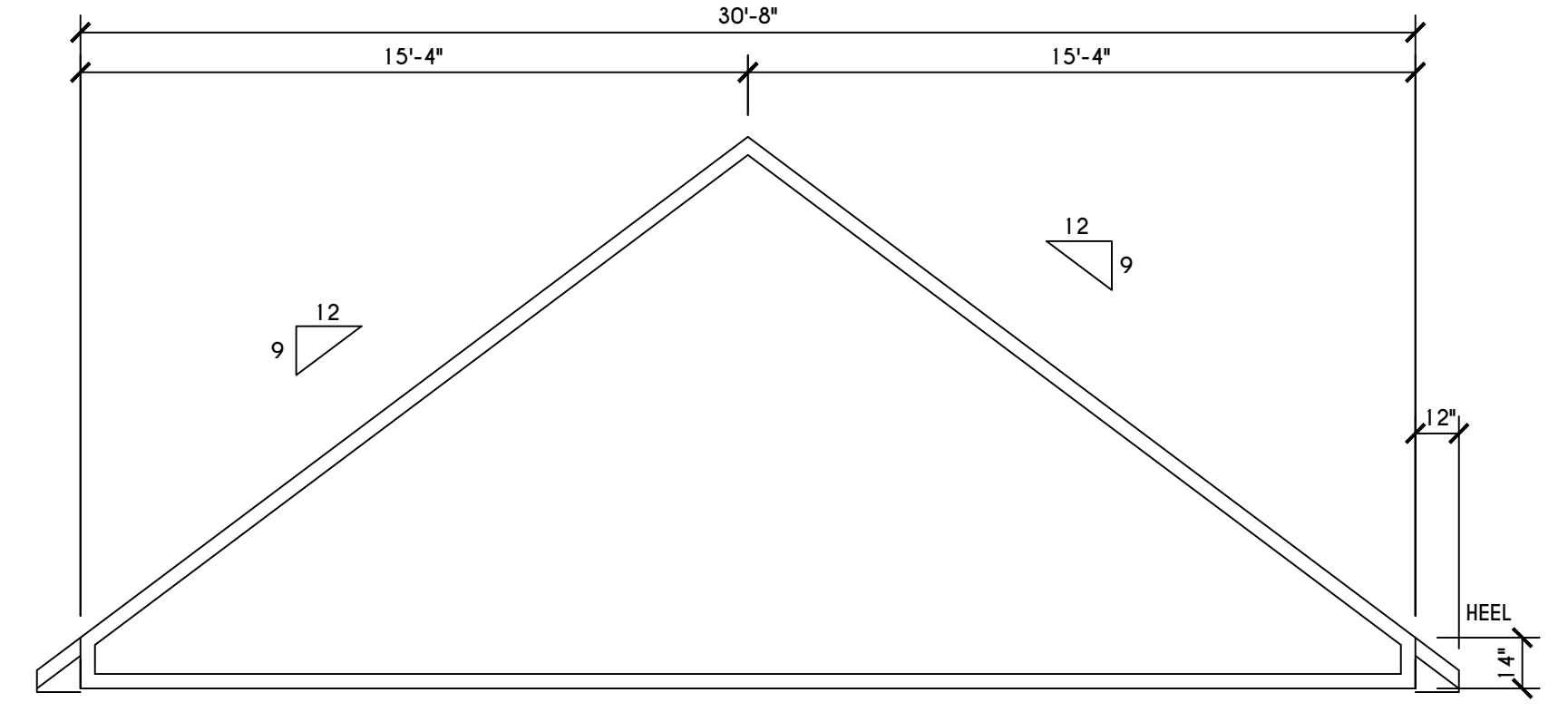
'E' VAULT TRUSS

SCALE: 1/4" = 1'-0"



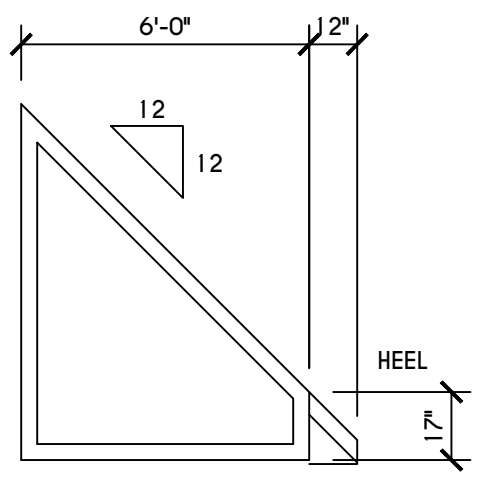
'F' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



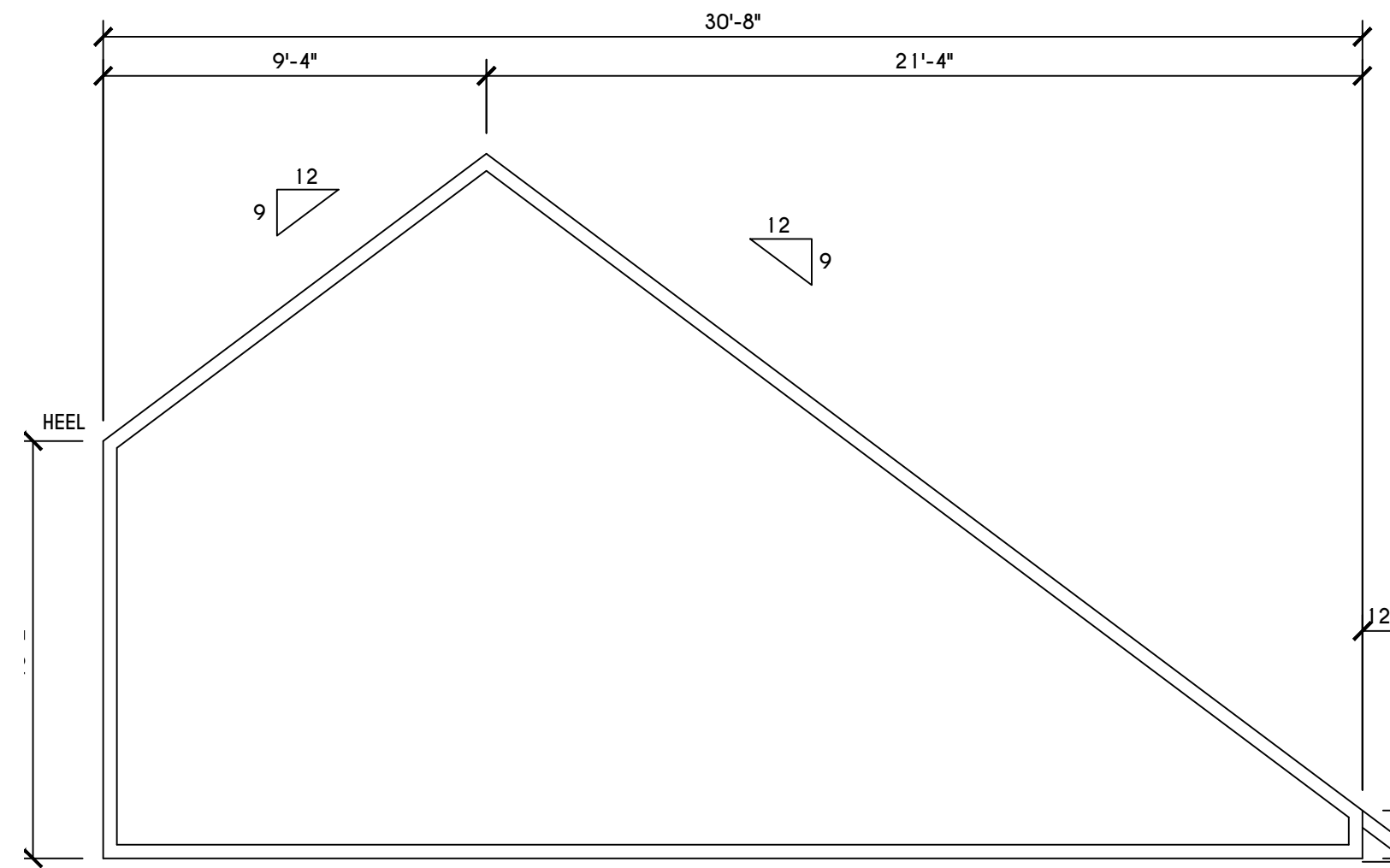
'G' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



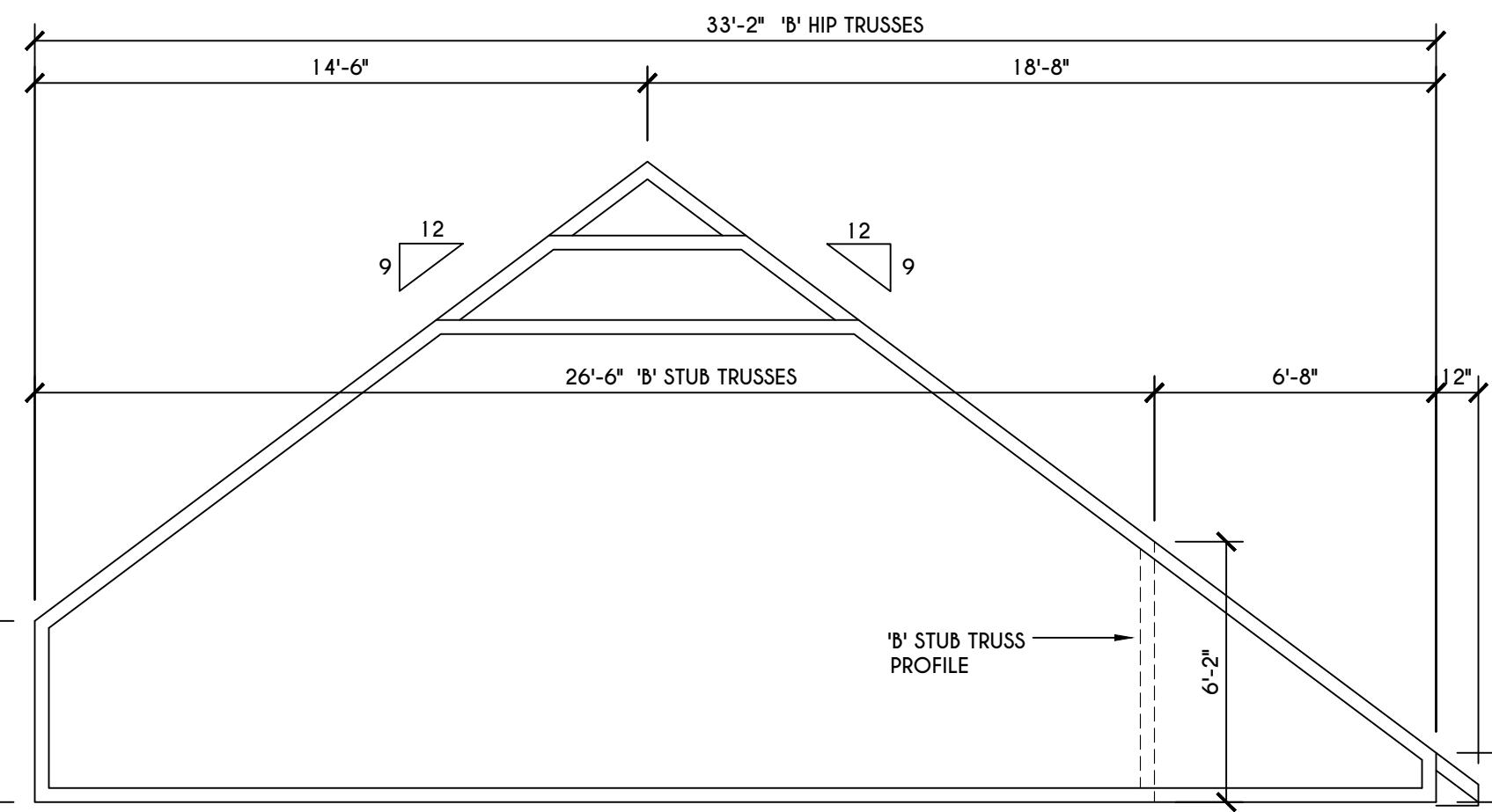
'H' TRUSS

SCALE: 1/4" = 1'-0"



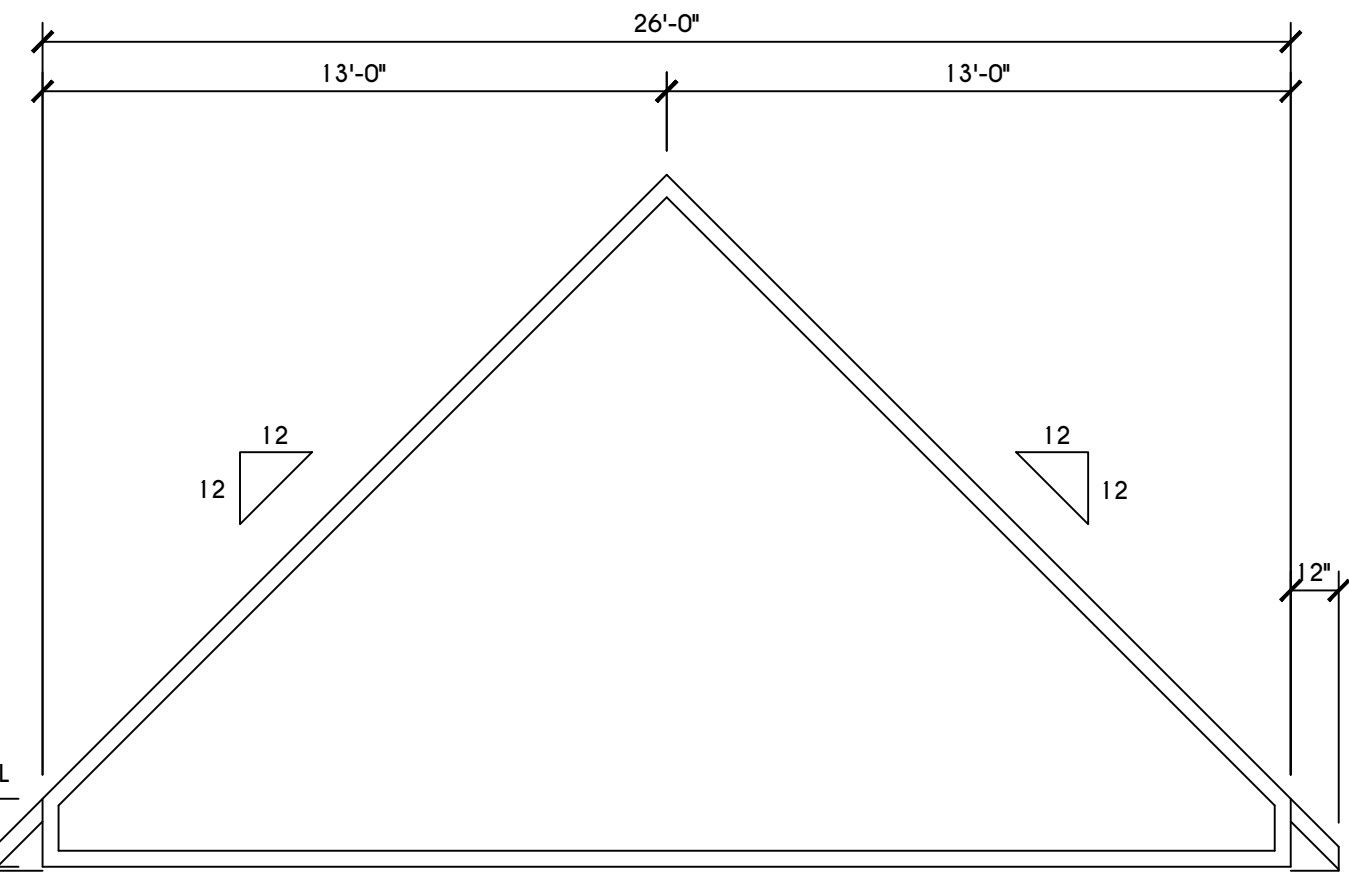
'A' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



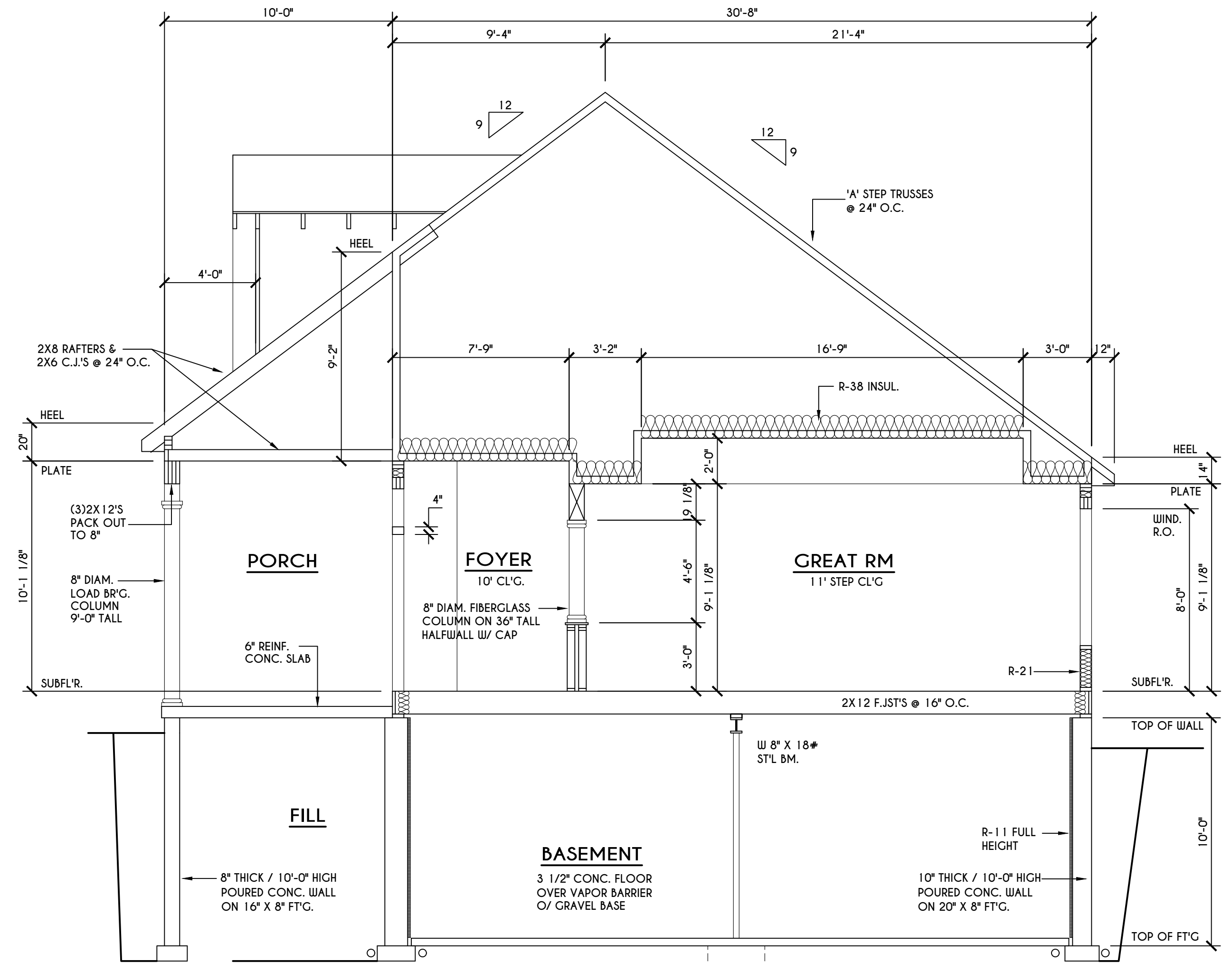
'B' HIP TRUSS PROFILE

SCALE: 1/4" = 1'-0"



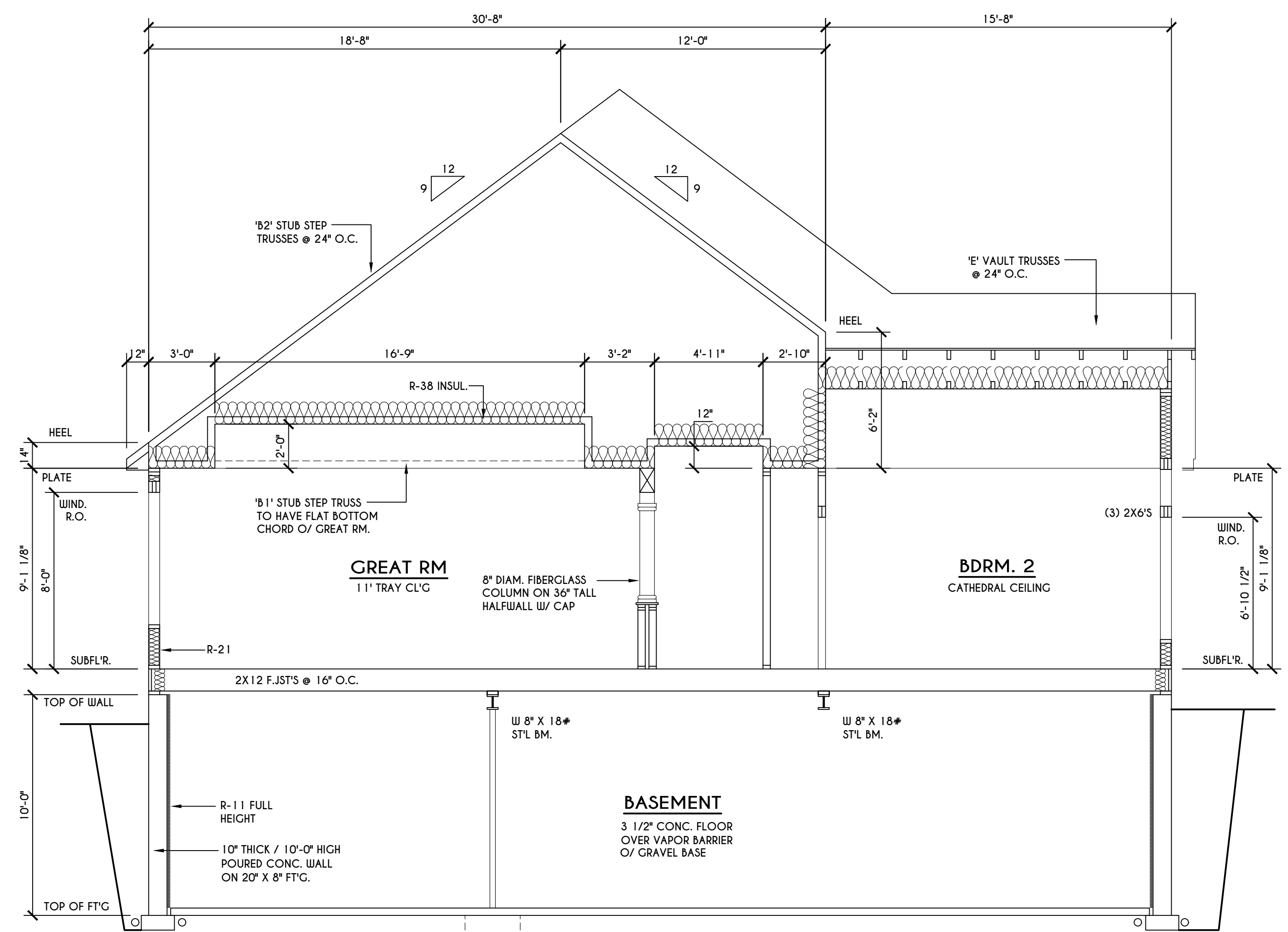
'C' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



A BUILDING SECTION

SCALE: 1/4" = 1'-0"



B BUILDING SECTION

SCALE: 1/4" = 1'-0"

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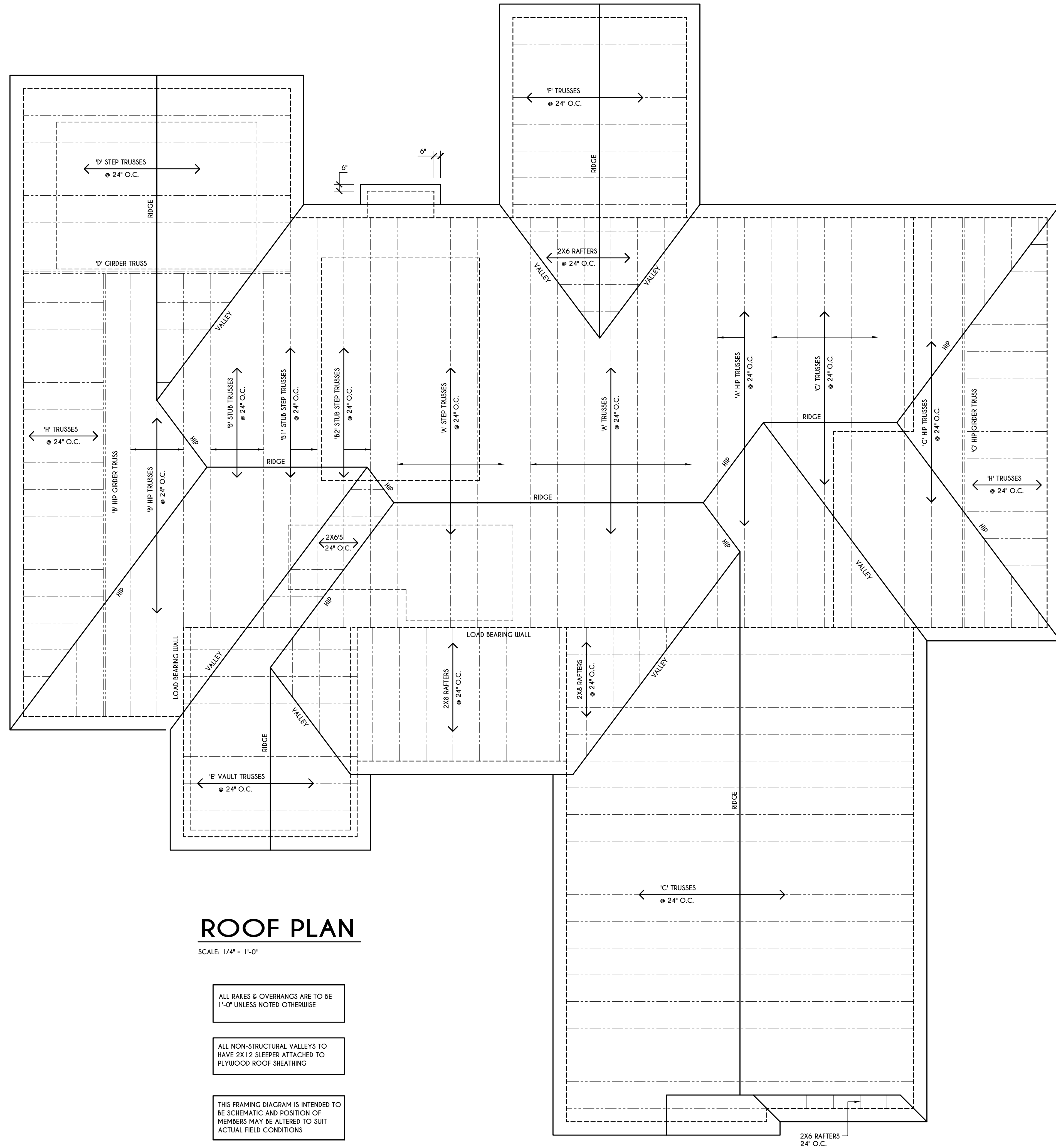
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BUILDER:

SECTIONS
 GLA PLAN 2431 R

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ROOF PLAN

SCALE: 1/4" = 1'-0"

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



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BUILDER:

ROOF PLAN

GLA PLAN 2431 R

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scale: AS NOTED	date: 7 / 19
PROJECT: 2501 C	sheet: 5 / 6

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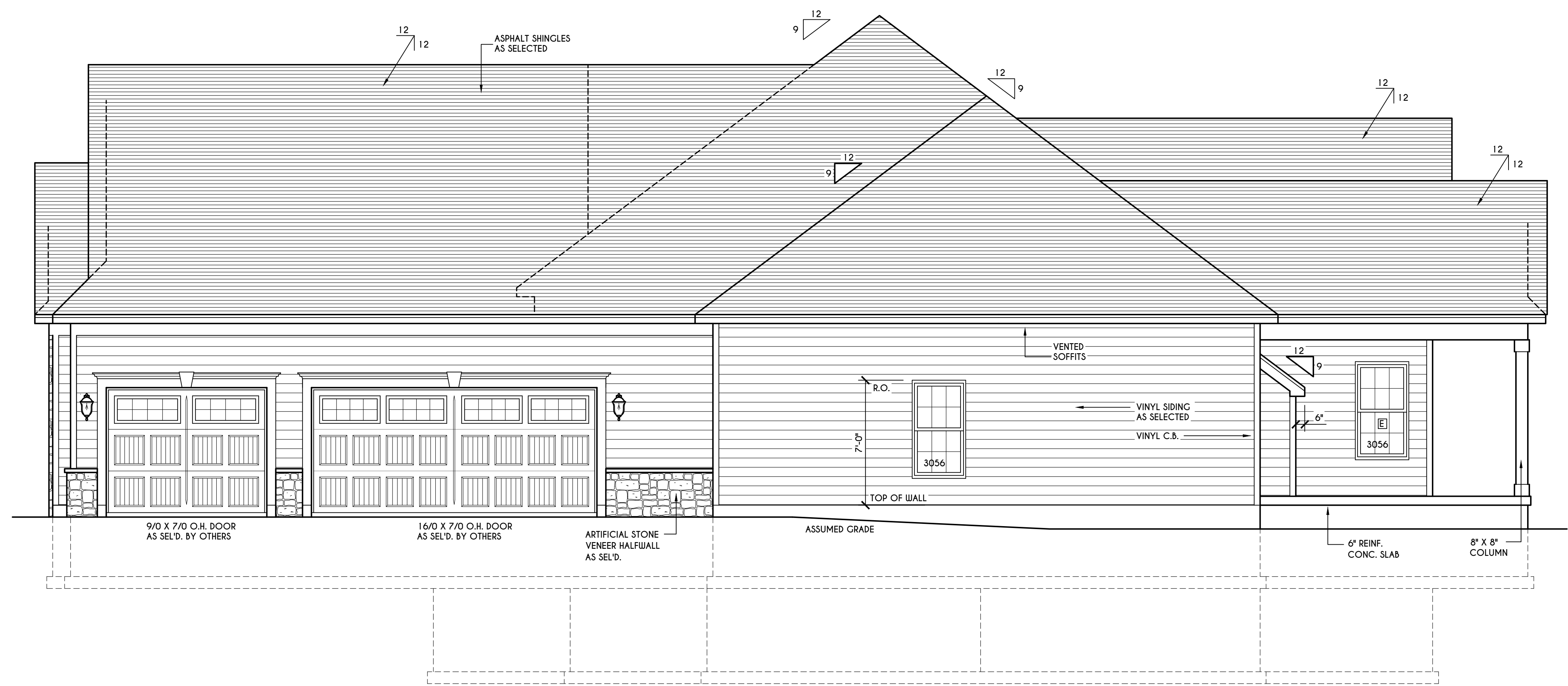
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BUILDER:

ELEVATIONS

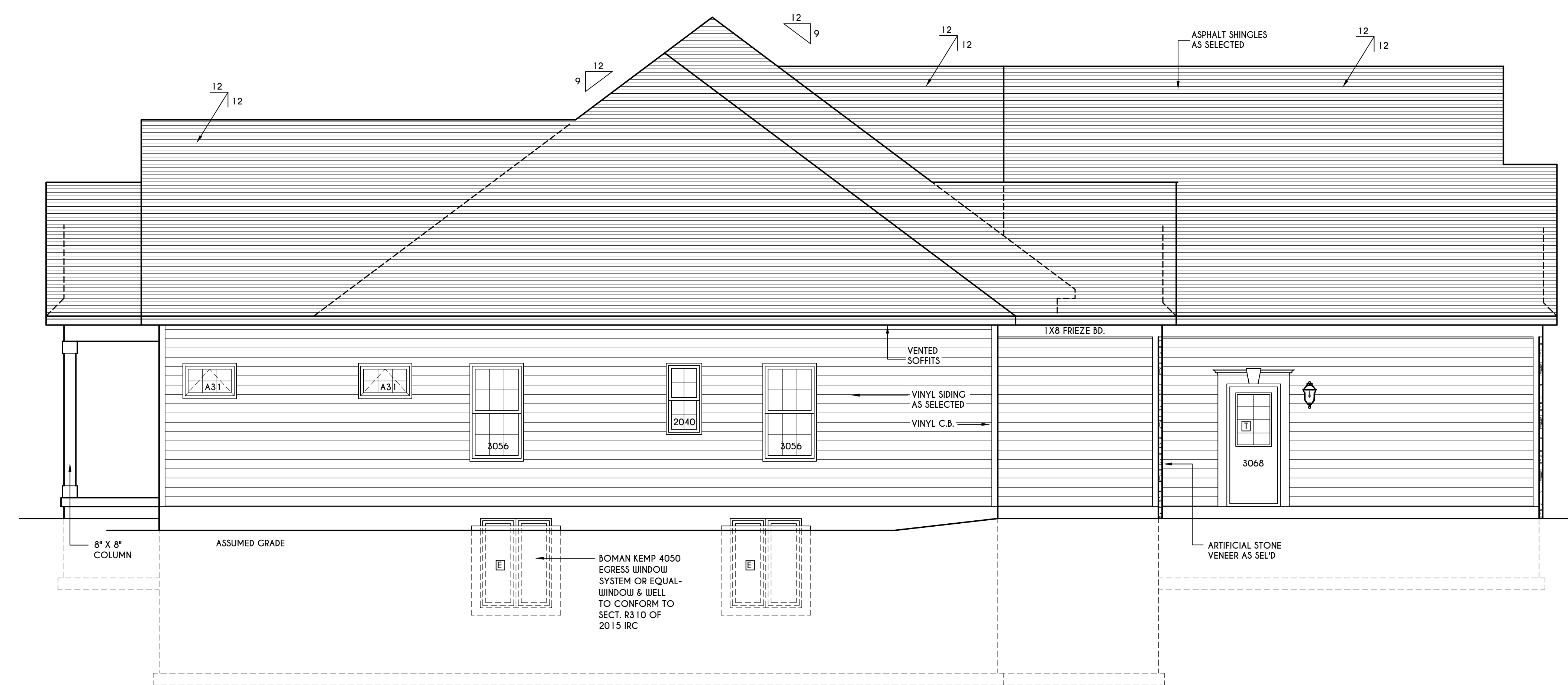
GLA PLAN 2431 R

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scale: AS NOTED	date: 7 / 19
PROJECT: 2501 C	sheet: 6/6



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1507.3.3(1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SL: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1507.3.3(2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

WINDOWS: ANDERSEN 200 OR EQUAL
 U-FACTOR 0.30
 SHGC 0.32

DOORS: SELECTION BY OWNER

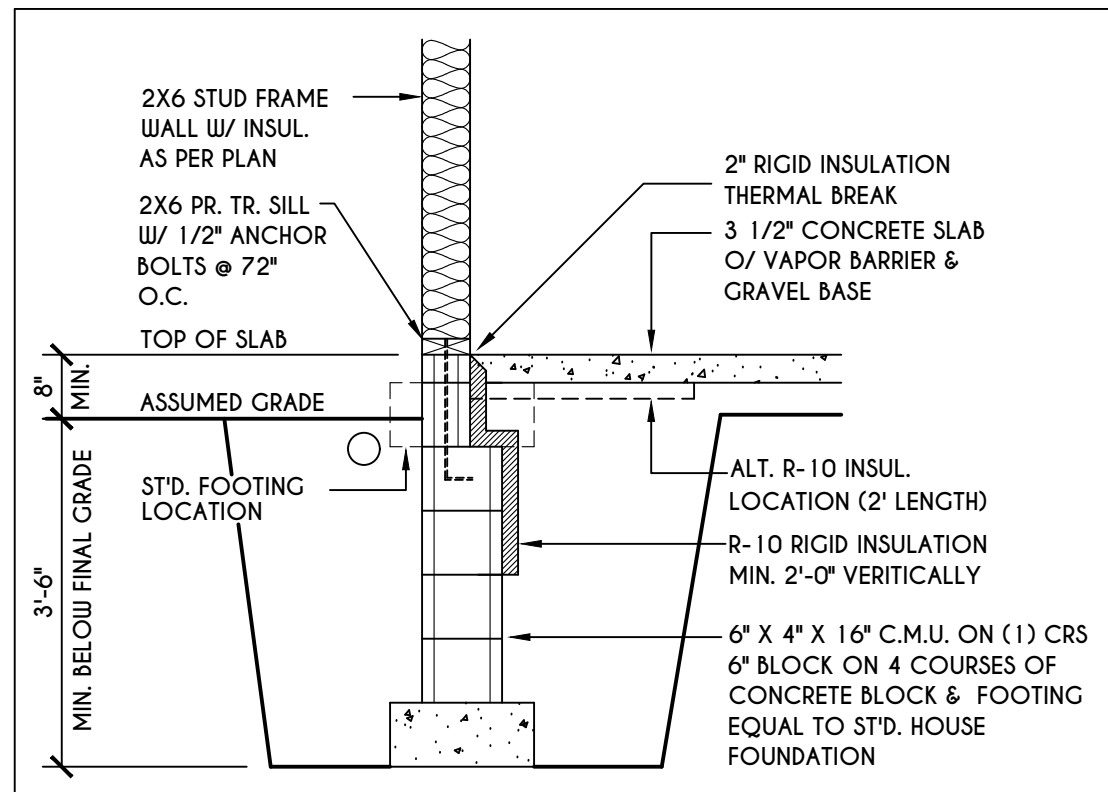
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SLIDING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2015 IECC

WINDOW / DOOR LEGEND:

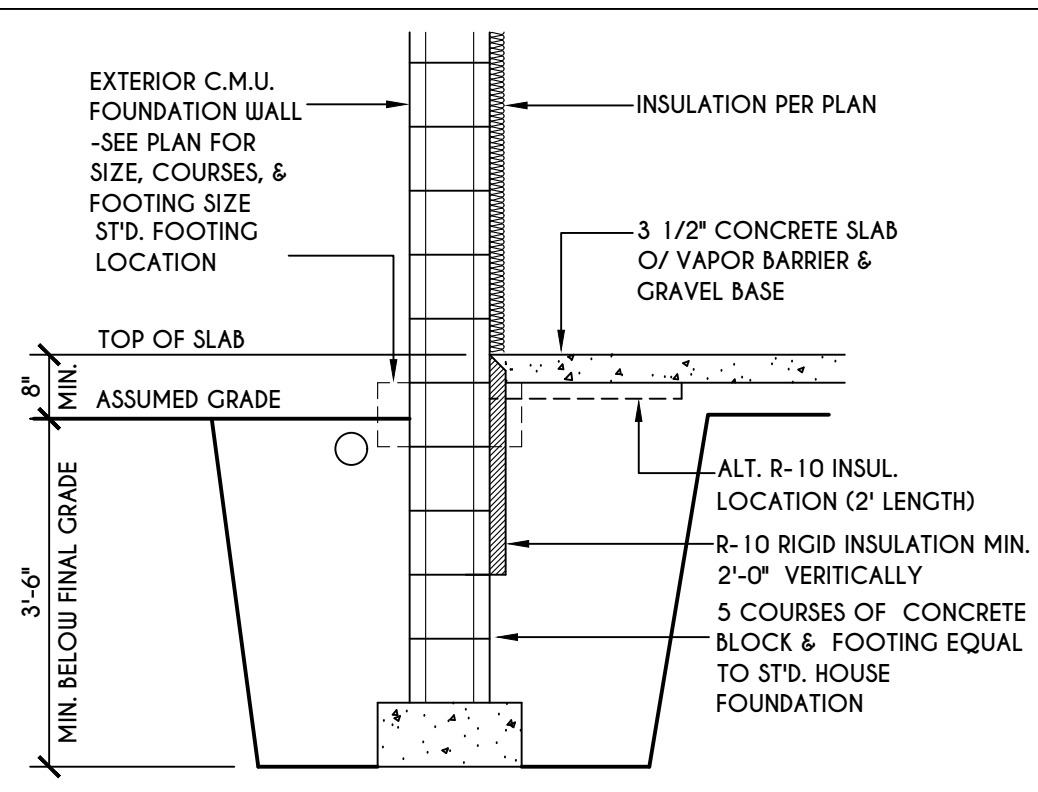
- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
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- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

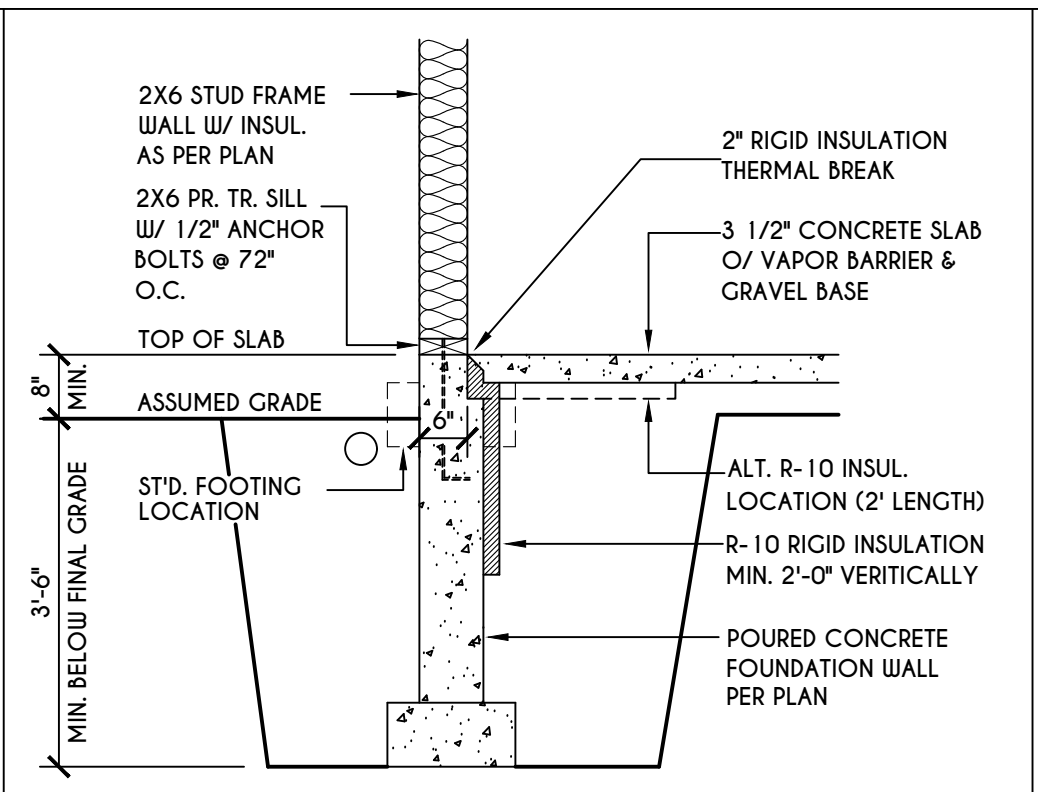
MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 cfm, WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1507.3 OF 2015 IRC (SEE TABLES M1507.3.3(1) & M1507.3.3(2) PG. 1)



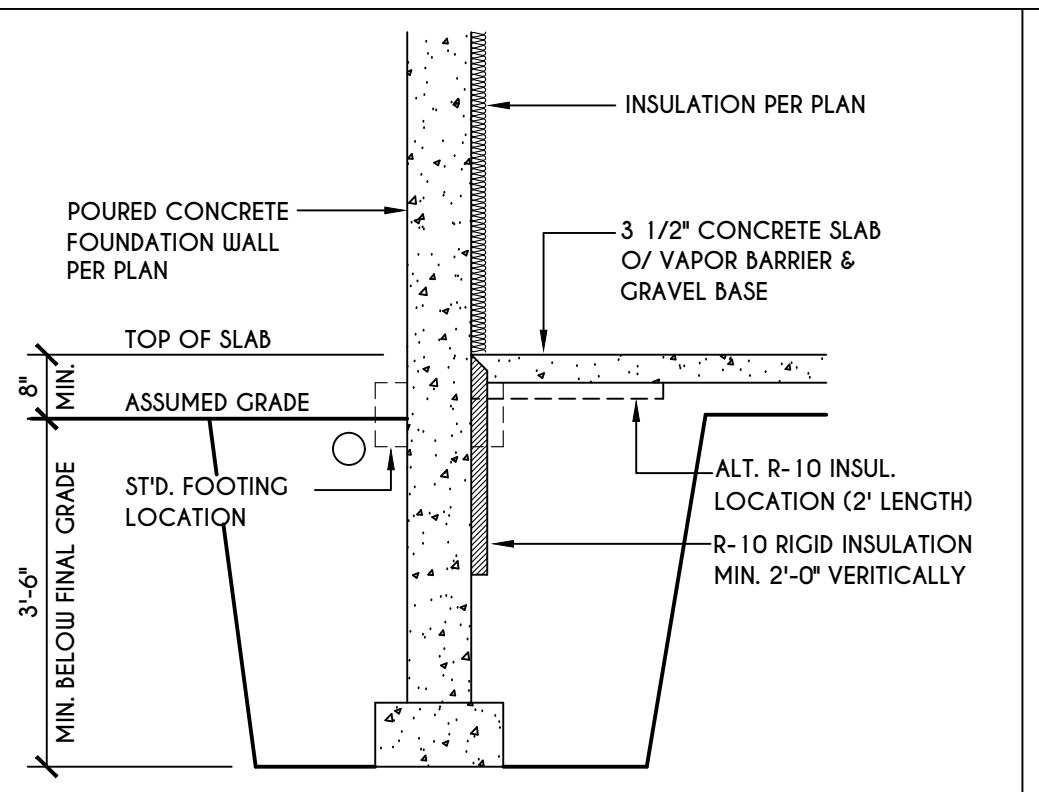
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



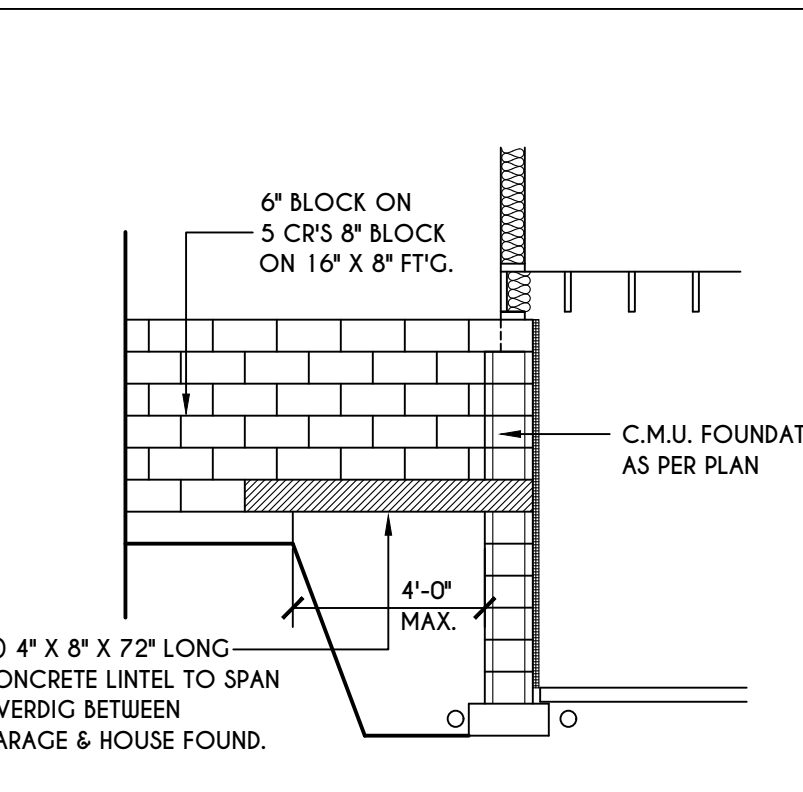
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N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



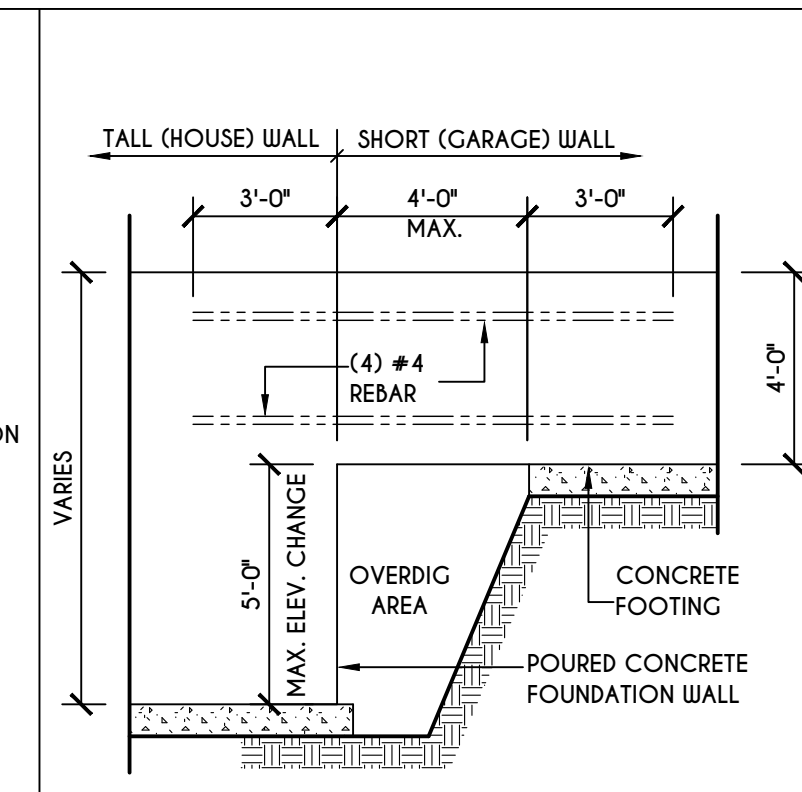
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



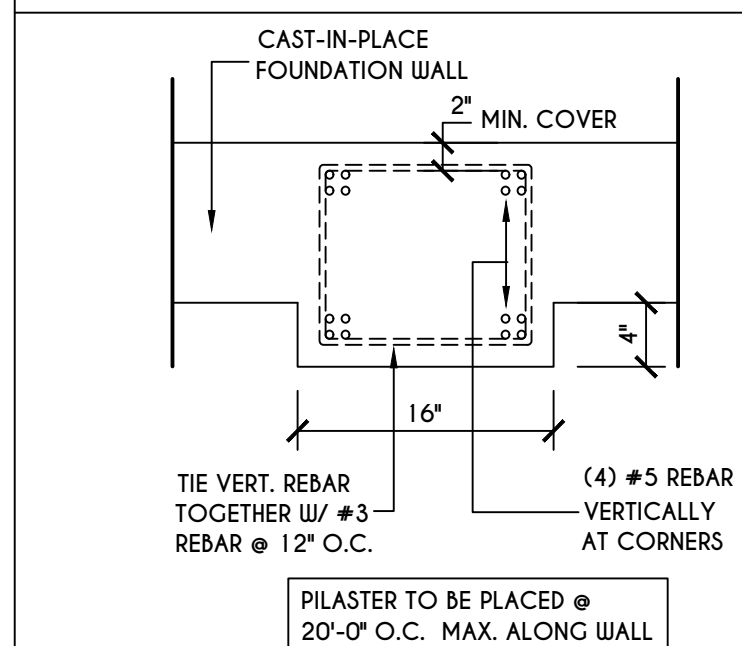
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



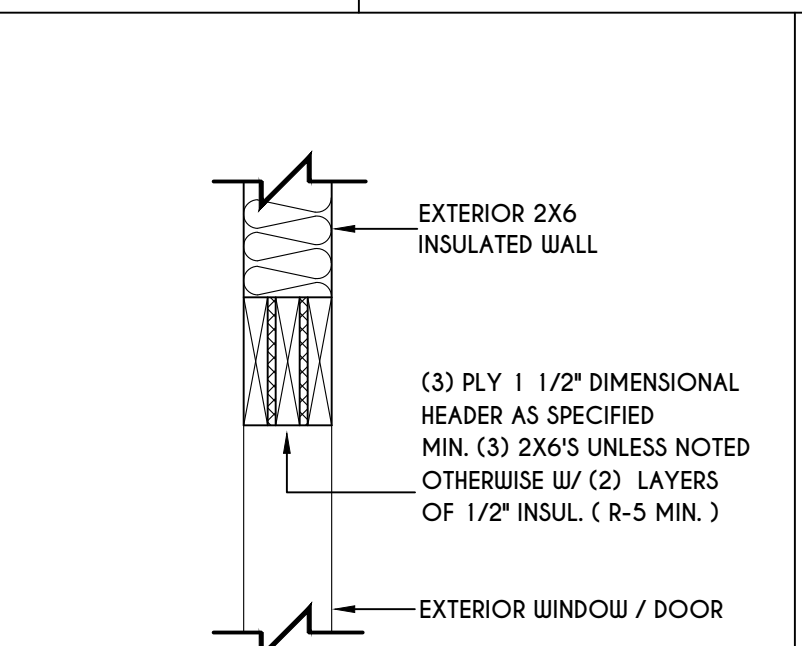
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



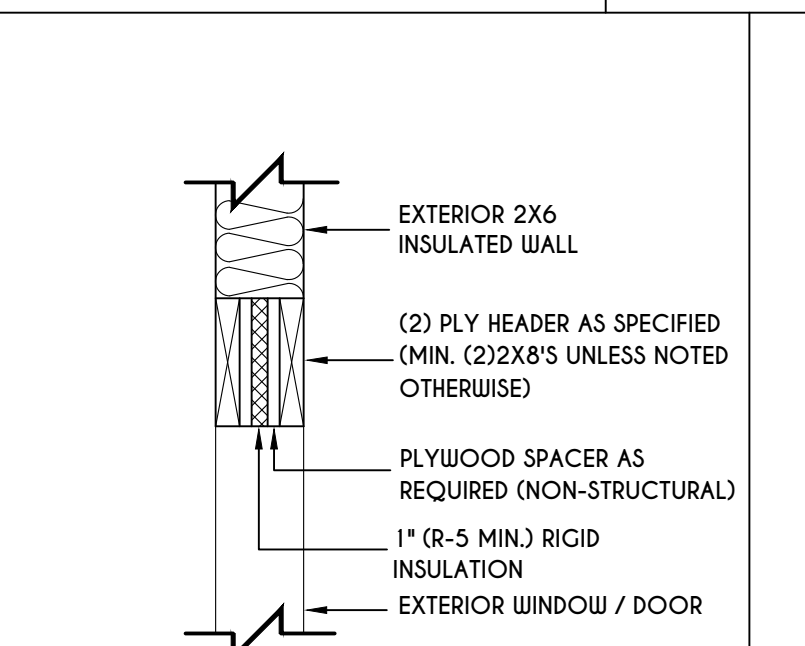
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



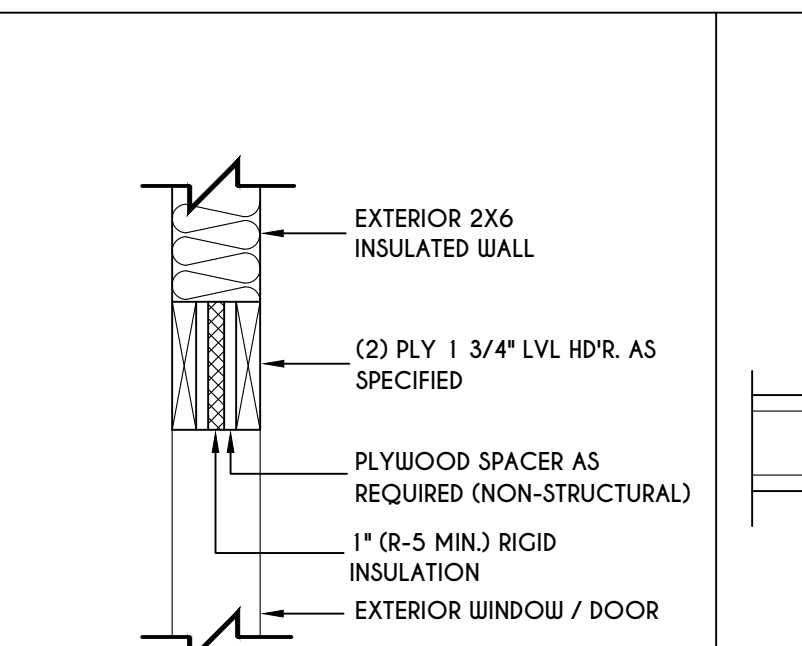
7
N-1
POURED WALL PLASTER DETAIL
SCALE: 1" = 1'-0"



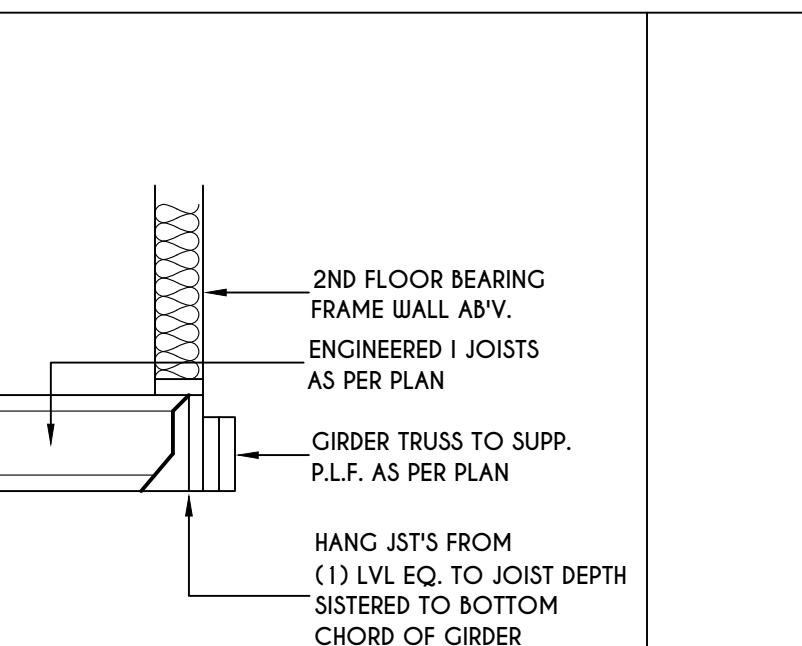
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



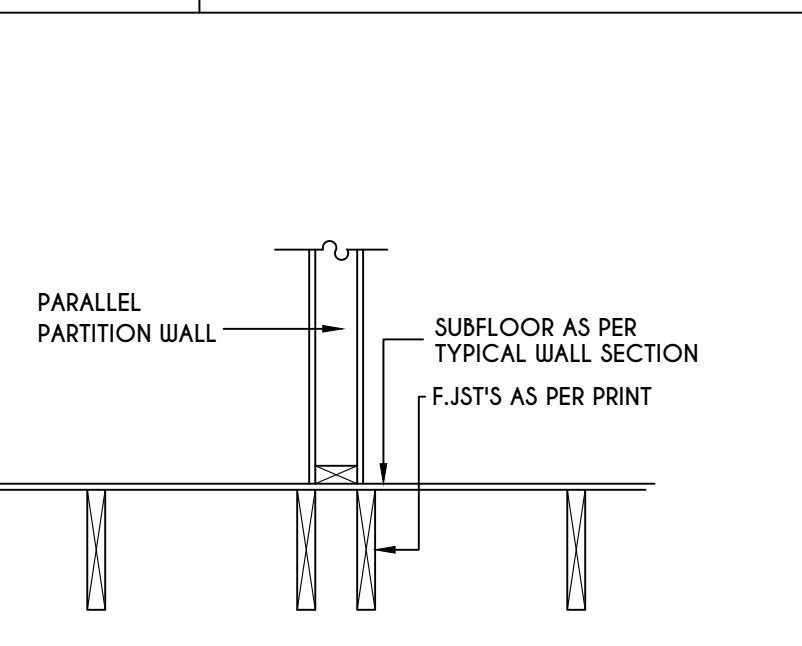
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N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



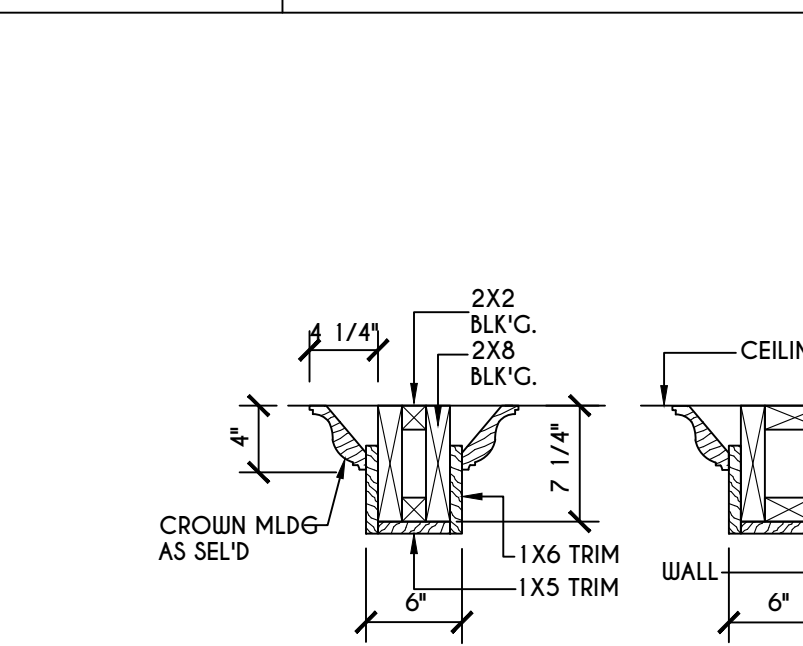
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N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



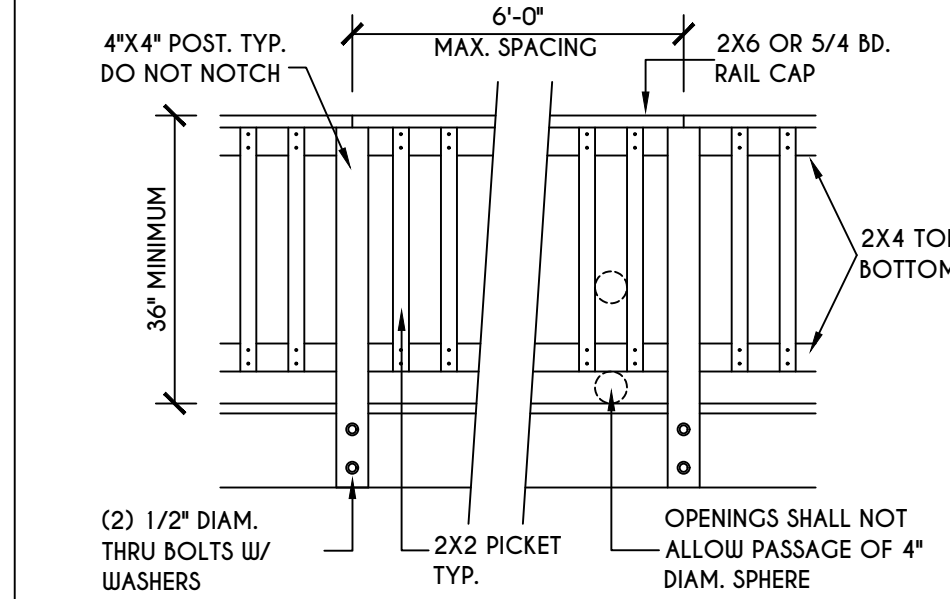
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



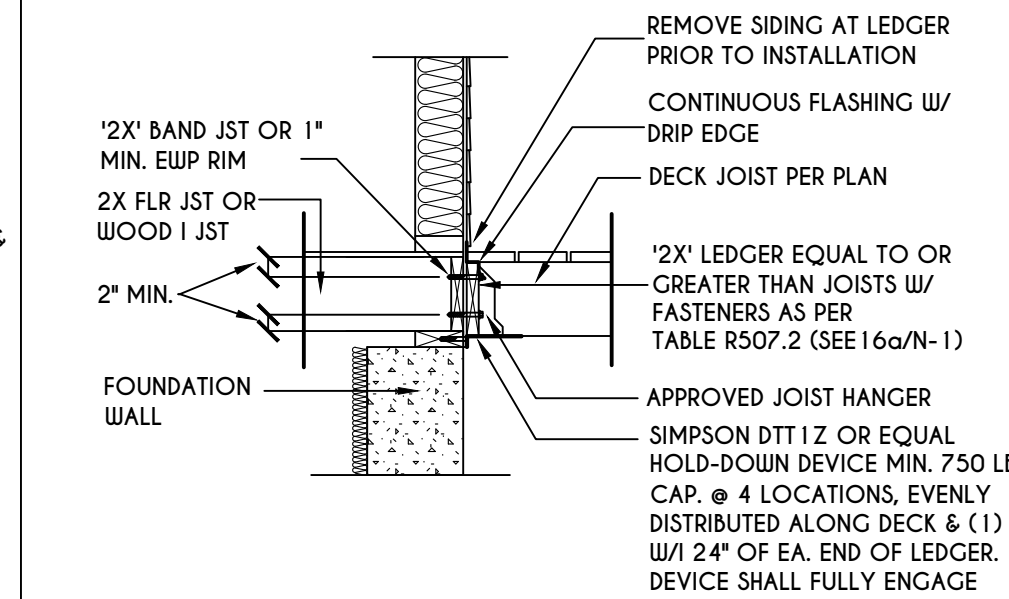
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



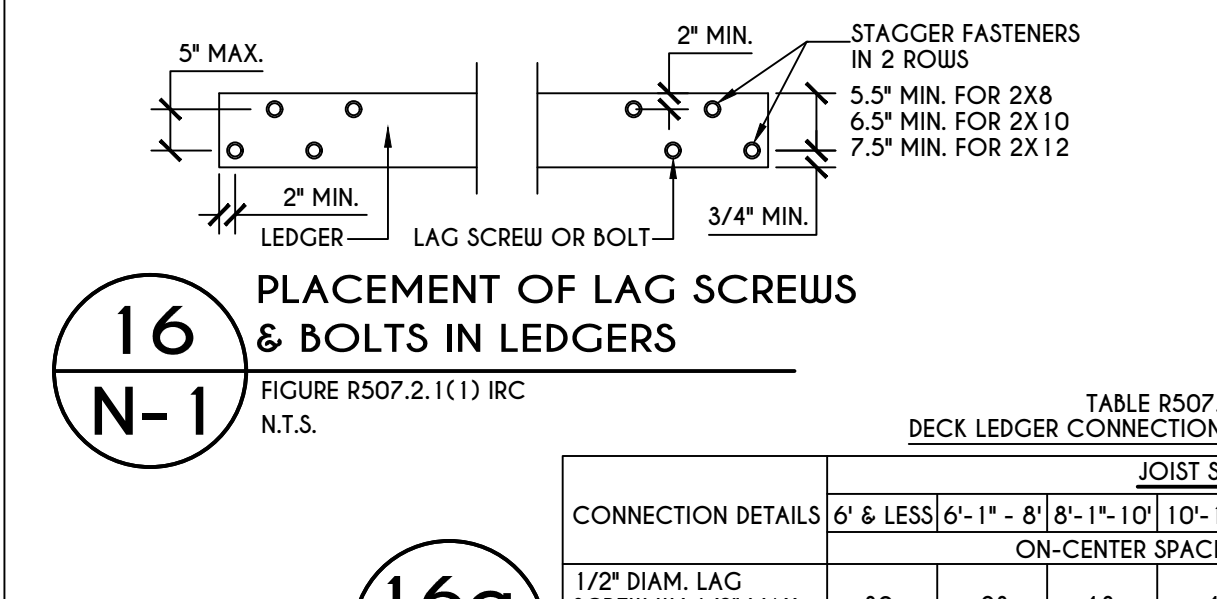
13
N-1
COFFERED BEAM DETAIL
N.T.S.



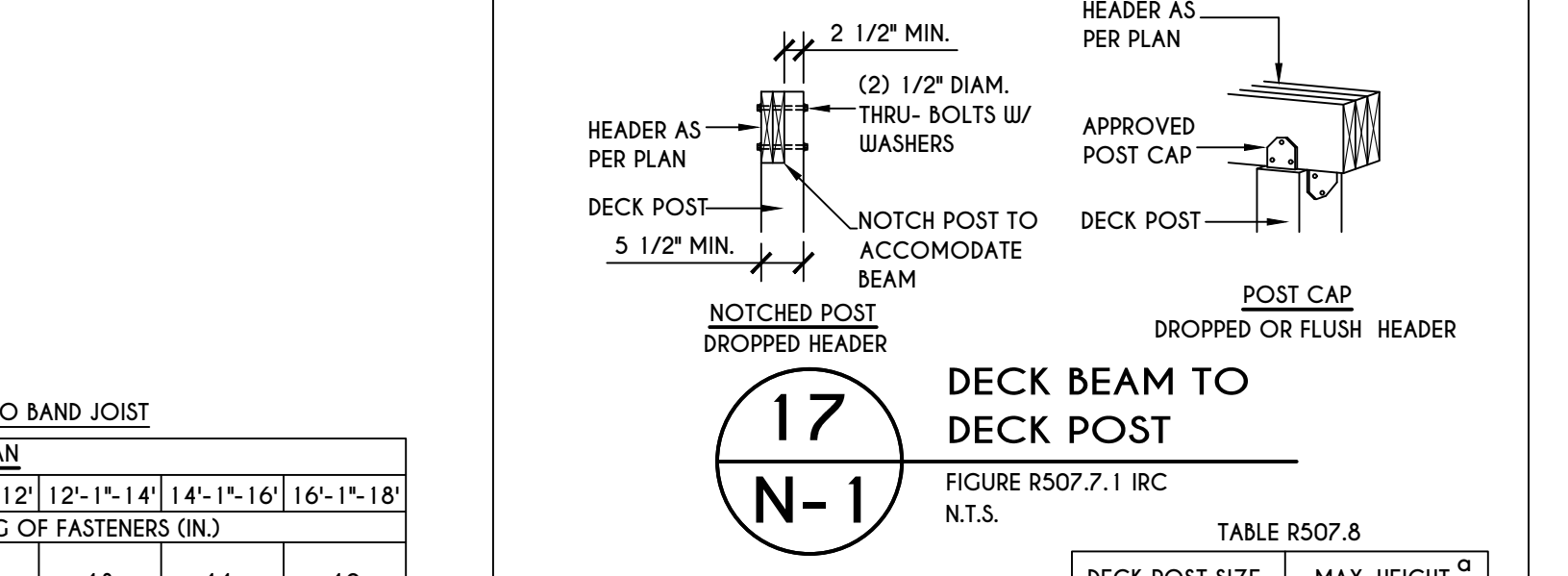
14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R3.12 OF 2015 IRC



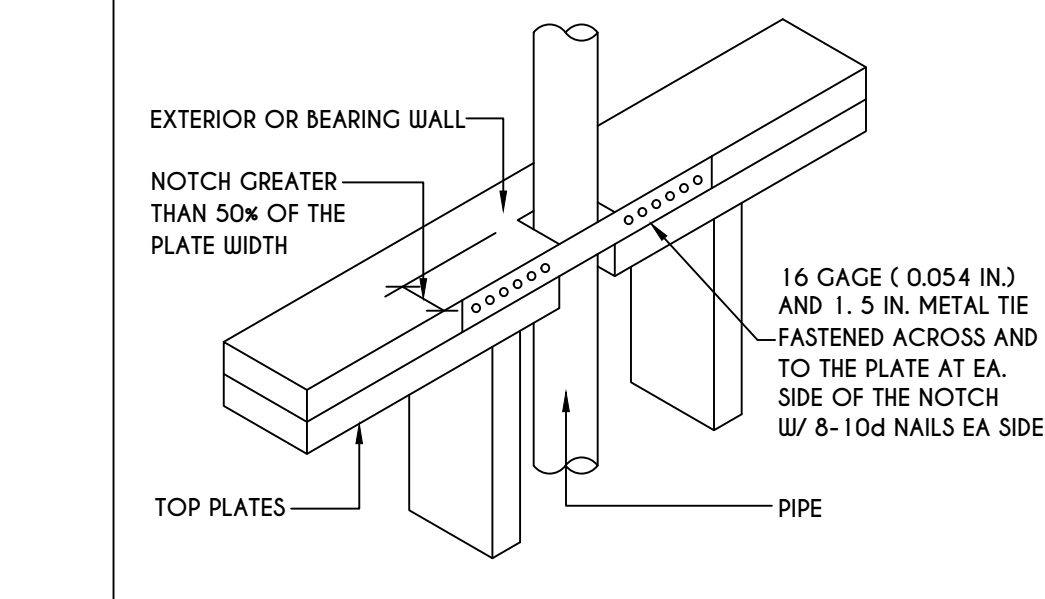
15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



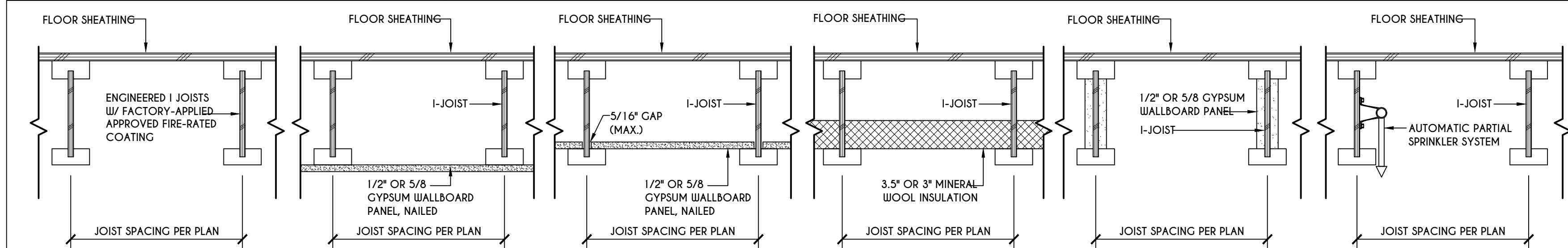
16
N-1
16a
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.2.1(1) IRC
N.T.S.



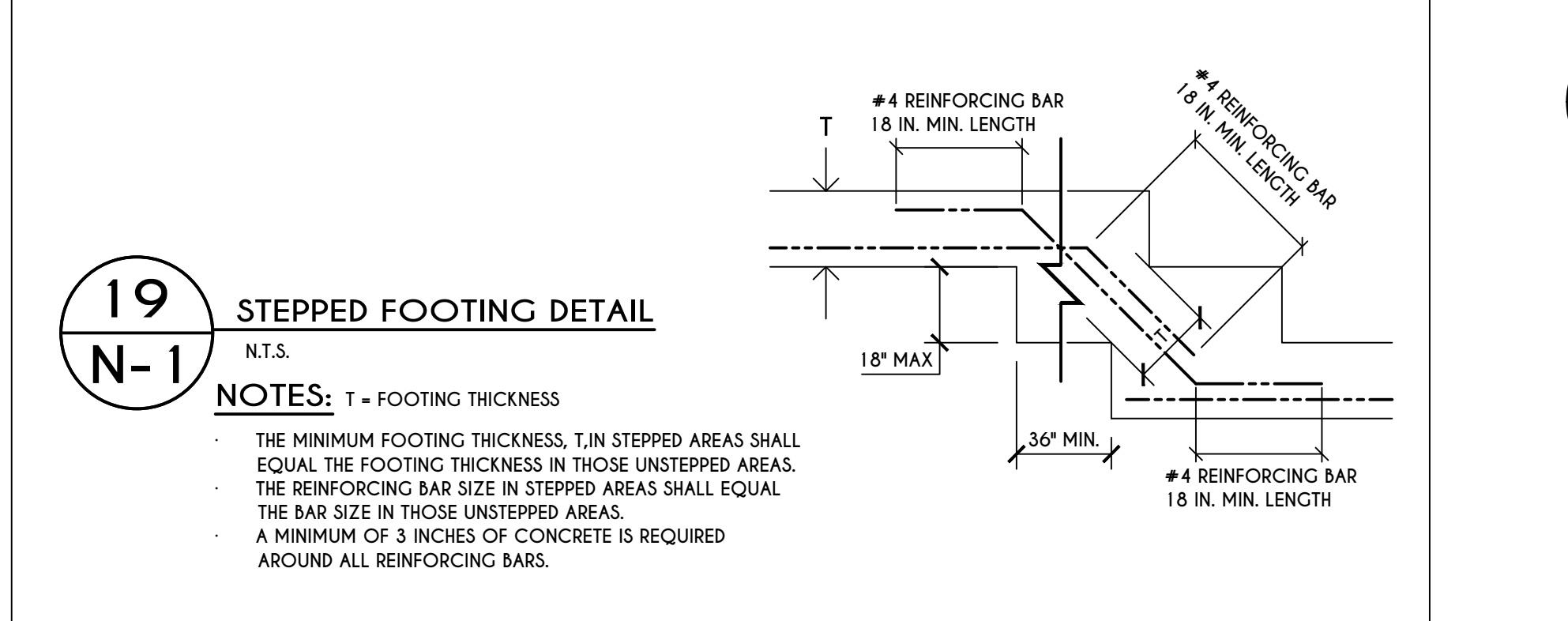
17
N-1
DECK BEAM TO DECK POST
FIGURE R507.7.1 IRC
N.T.S.



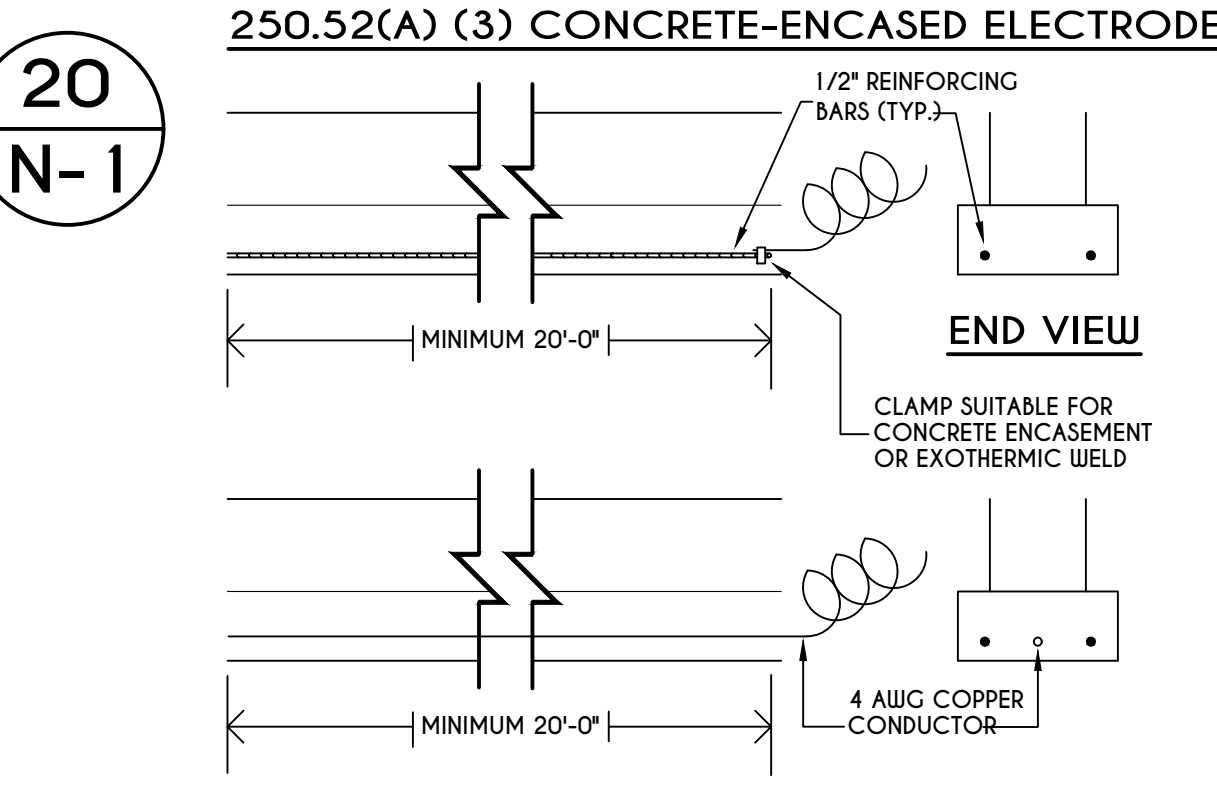
18
N-1
TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



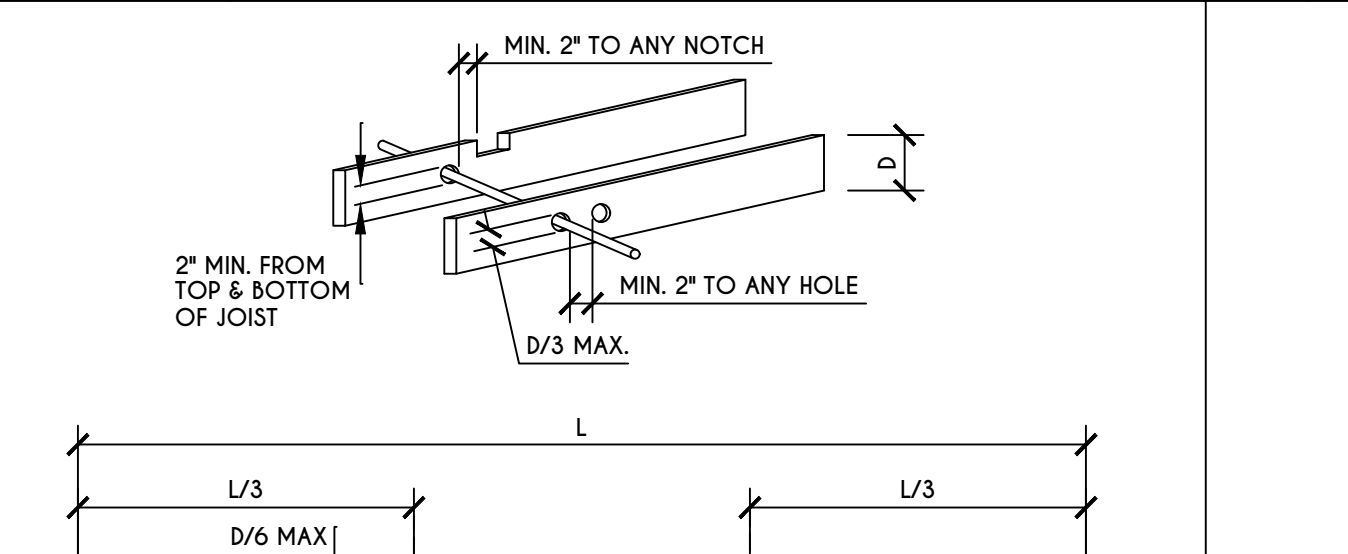
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER ADA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH 2015 IRC SECTION R302.13



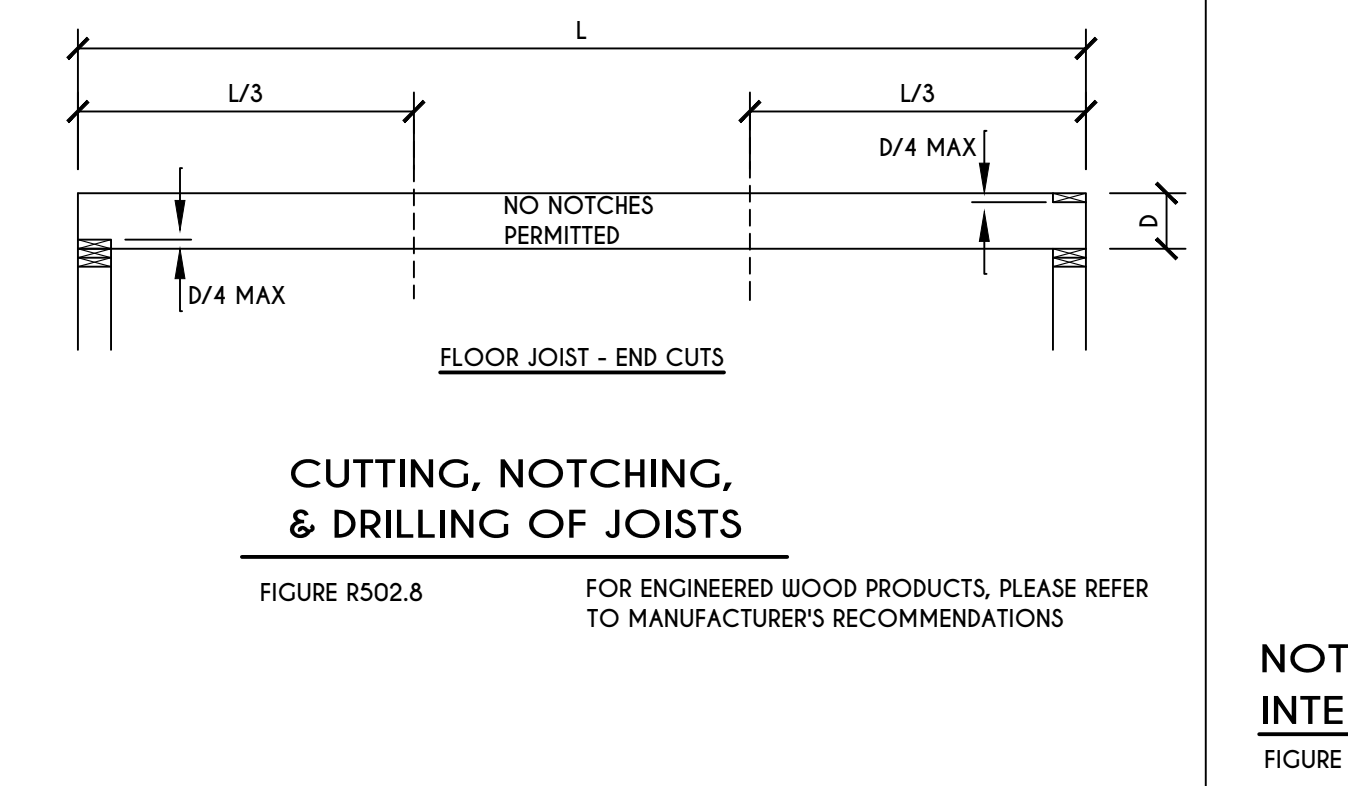
19
N-1
STEPPED FOOTING DETAIL
N.T.S.
NOTES: T = FOOTING THICKNESS
THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.
THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.
A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.



20
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASUREMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR
MINIMUM 20'-0"



18
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



18
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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GLA PLAN 2431 R

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 19
PROJECT: 2501 C	sheet: N-1

TABLE R404.1.1(2)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^a	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SM, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^a	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SM, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^a	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SM, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT ^a (FEET)	MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}											
		MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SM, AND SP SOILS 30			GM, GS, SM-SC AND ML SOILS 45			SC, MH, ML-CL AND INORGANIC CL SOILS 60			SC, MH, ML-CL AND INORGANIC CL SOILS 60		
5	4	6	8	10	12	6	8	10	12	6	8	10	12
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	4	NR	NR	NR	4	NR	NR	NR	4	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	4	NR	NR	NR	4	NR	NR	NR	4	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	4	NR	NR	NR	4	NR	NR	NR	4	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	4	NR	NR	NR	4	NR	NR	NR	4	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	4	NR	NR	NR	4	NR	NR	NR	4	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.
- b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.5 AND TABLE R404.1.2(9).
- d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 4-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE UNO 4 #48 INCHES ON CENTER.
- e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNOUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
- f. INTERPOLATION IS NOT PERMITTED.
- g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
- h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL, THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
- i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
- j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
- k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c, OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.
- l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
- m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
- n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
- o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER SHALL BE SEALED.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	RIM JOISTS SHALL BE SEALED.
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE SEALED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOORING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED.
HVAC REGISTER BOOT	HVAC REGISTER BOOT THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	UNEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.
CONCEALED SPRINKLERS	UNEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHRINKING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (GU, SU, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
- b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

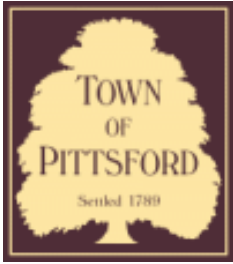
UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS; GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND,











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000097

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 17 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.03-5-6

Zoning District: IZ Incentive Zoning

Owner: Clover Street Development

Applicant: Clover Street Development

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

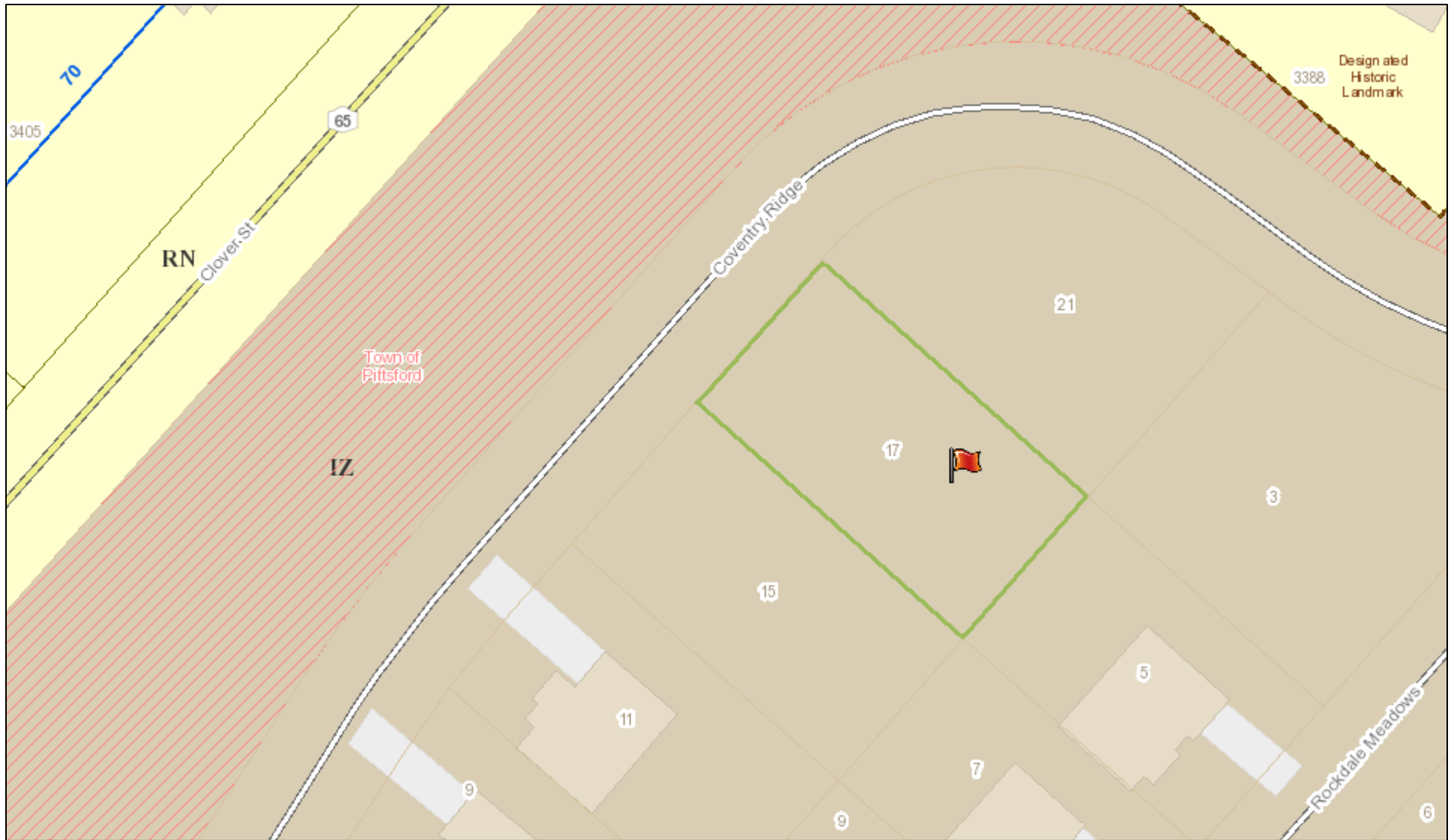
Project Description: Applicant is requesting design review for a new single family one story home. The new home will be approximately 2,302 sq ft and will be located in the Coventry Ridge subdivision.

Meeting Date: August 22, 2019

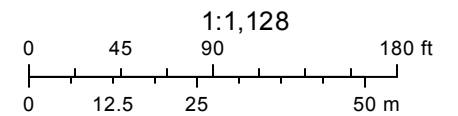


04/21/2018 - 04/23/2018

RN Residential Neighborhood Zoning



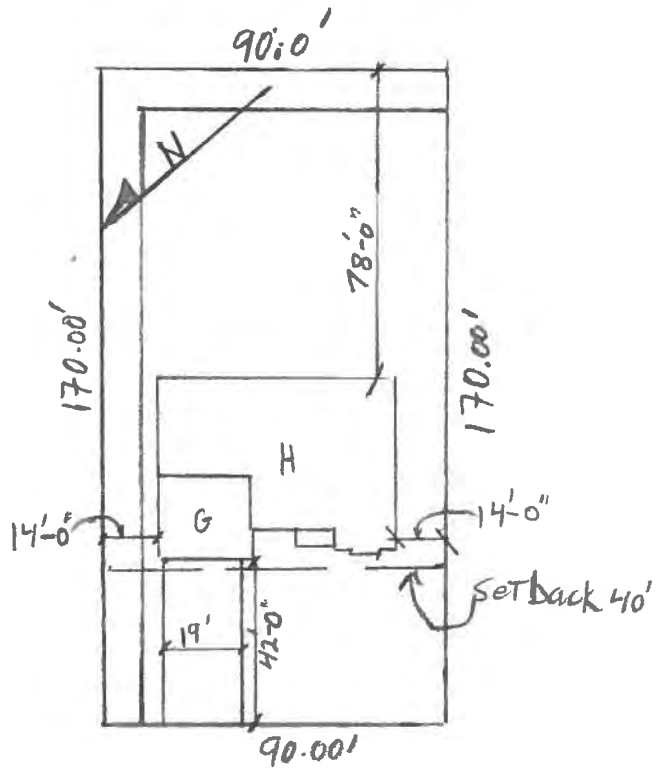
Printed July 2, 2019



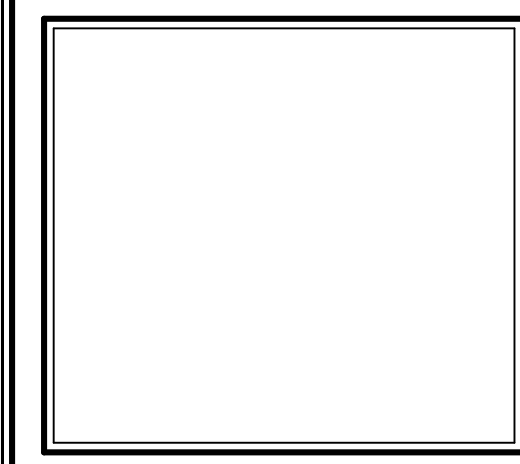
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

Lot 6 Coventry Ridge
Scale 1" = 50'-0"



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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 6
 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:

SPALL HOMES

COVER PAGE

drawn: CDK	checked: AMM
scale: AS NOTED	date: 7 / 19
PROJECT: 2538 G	sheet: C-1

SPEC HOUSE

LOT 6 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 2302 R / PROJECT 2538 G

SHEET INDEX

- C- 1 COVER SHEET
- 1/7 ELEVATIONS
- 2/7 FOUNDATION PLAN
- 3/7 BASEMENT ELECTRICAL PLAN
- 4/7 FIRST FLOOR PLAN
- 5/7 FIRST FLOOR ELECTRICAL PLAN
- 6/7 SECTIONS
- 7/7 ELEVATIONS & ROOF PLAN
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE EFFECTIVE OCTOBER 2016.
 COMPLIANCE METHOD: RES CHECK CERTIFICATE

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS), WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY, A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK :

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2015 IRC AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION :

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES :

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING :

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 312.1.1 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2015 IRC.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2015 IRC.

GARAGE FIREPROOFING :

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

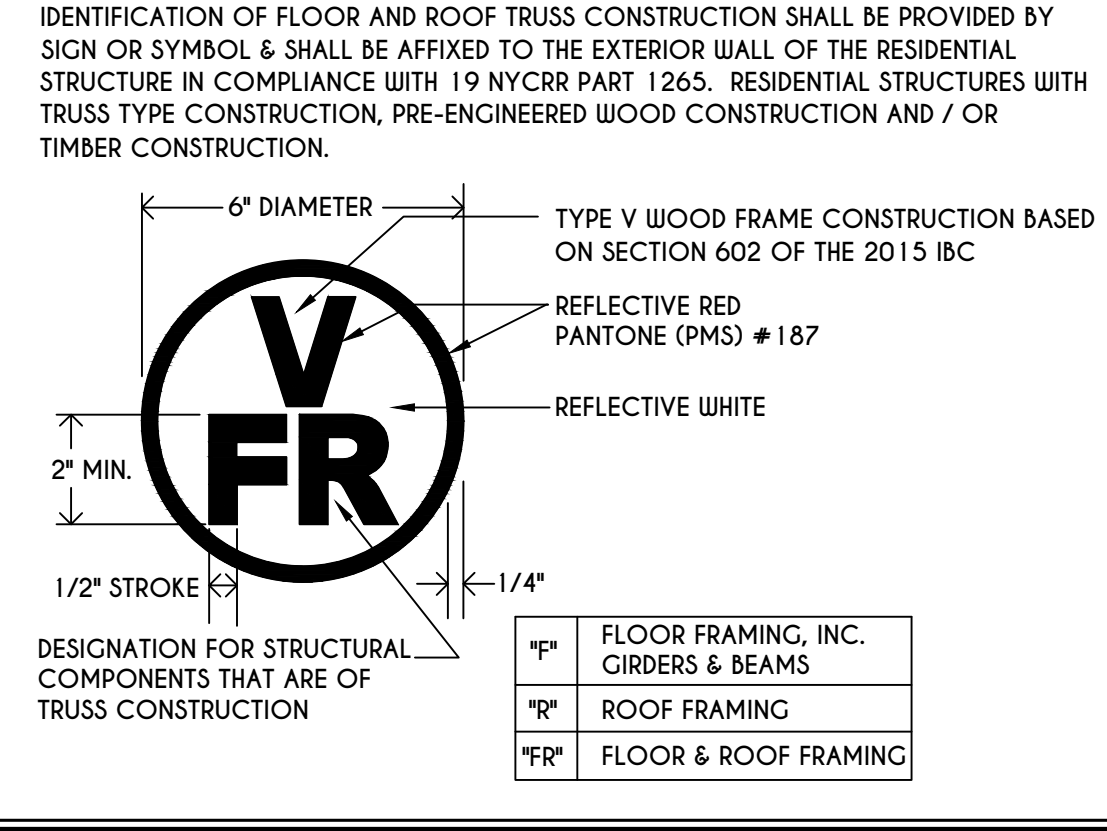
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ⁶ = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:



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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 6
 COVENTRY RIDGE
 PITTSFORD, NY

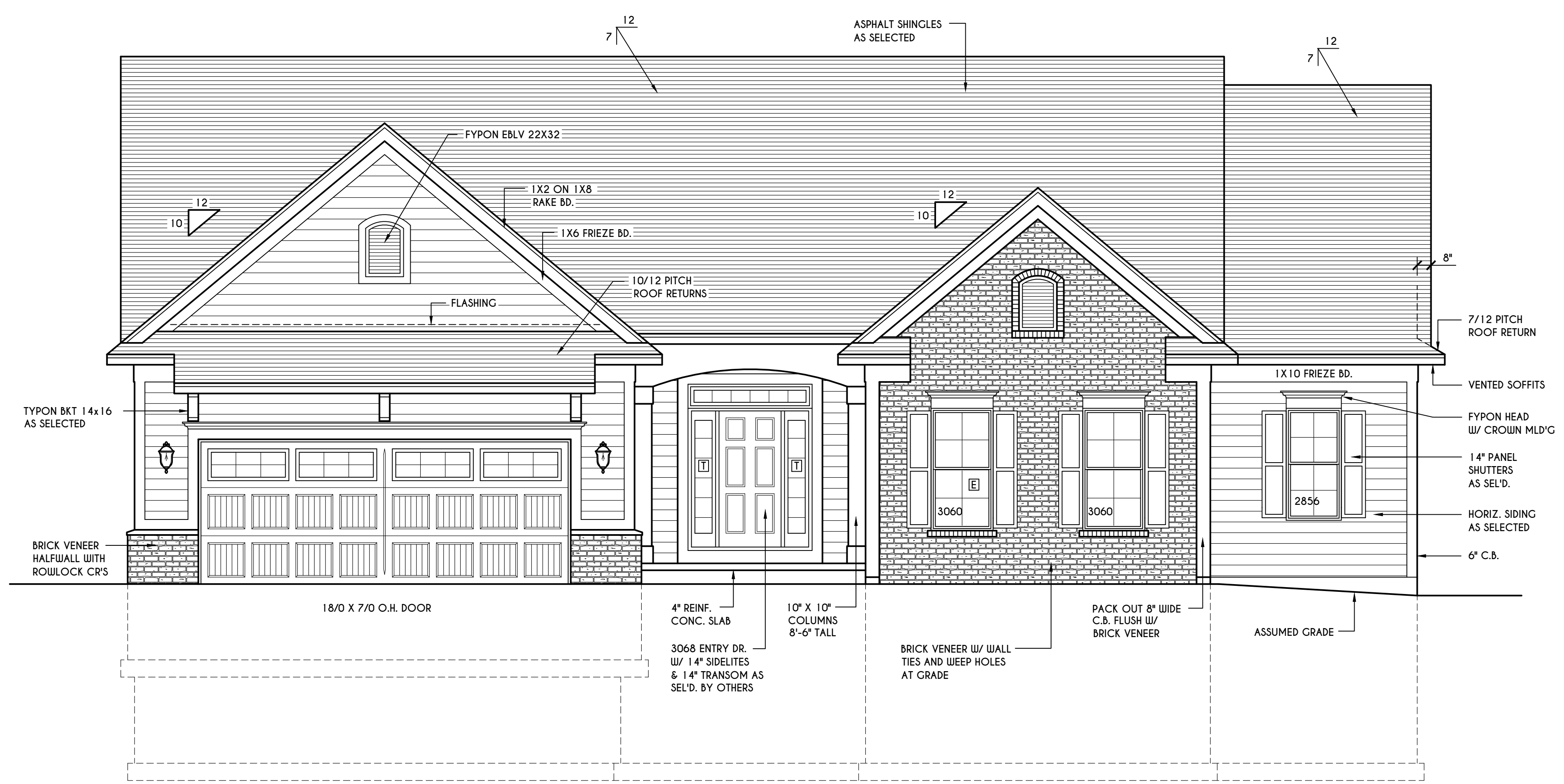
BUILDER:

SPALL HOMES

ELEVATIONS

GLA PLAN 2302 R

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scale: AS NOTED	date: 7 / 19
PROJECT: 2538 G	sheet: 1 / 7

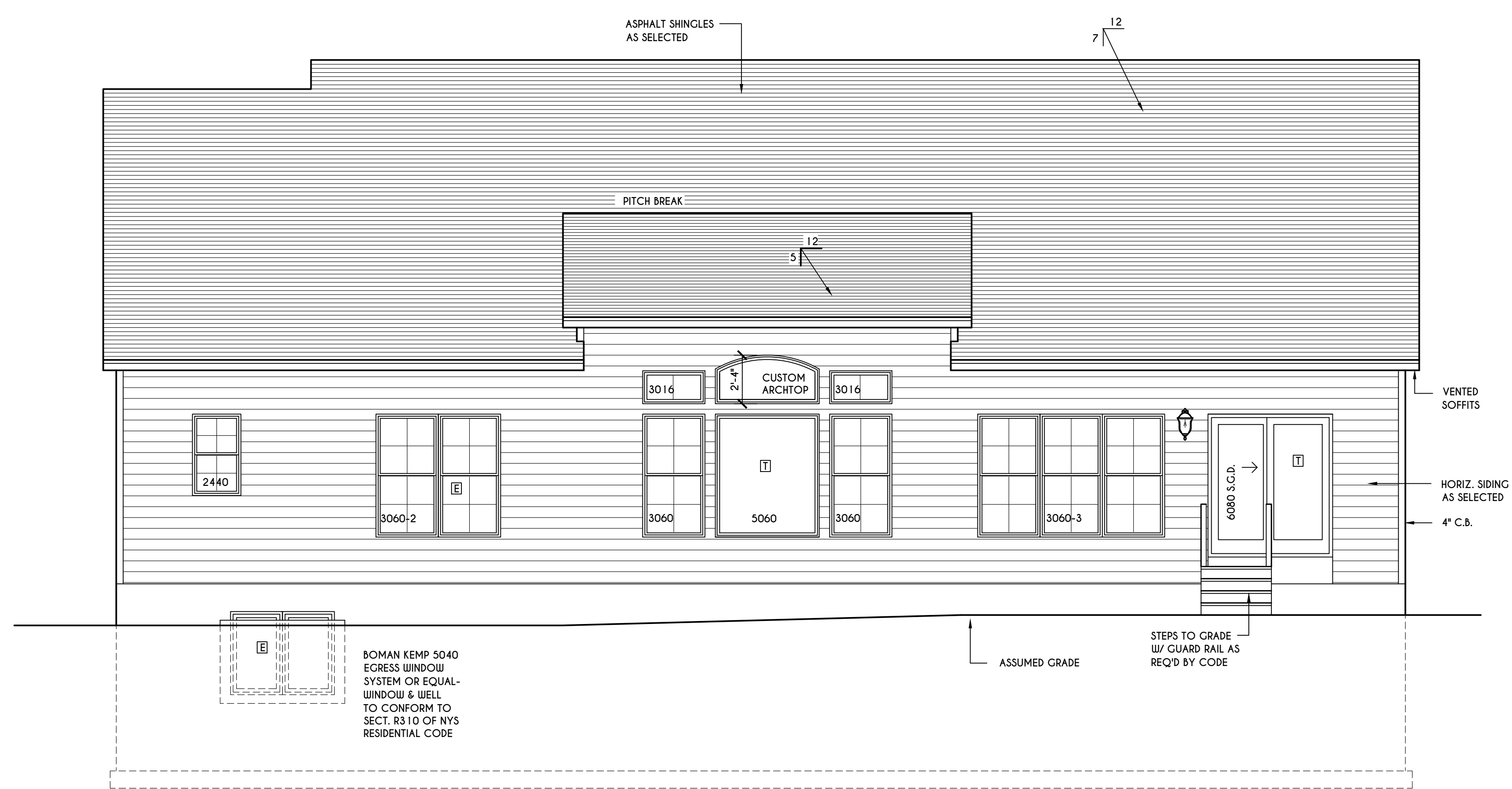


FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 TOTAL LIVING AREA = 2302 SQ.FT.
 TOTAL CONDITIONED VOLUME = 43,360 C.U.F.T.

HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1507.3.3(1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	3-4	5-6	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR S_i: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M1507.3.3(2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

^a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
^b. Extrapolation beyond the table is prohibited.

WINDOWS: VWD SOLARBAN GLASS W/ ARGON
 U-FACTOR 0.28
 SHGC 0.31

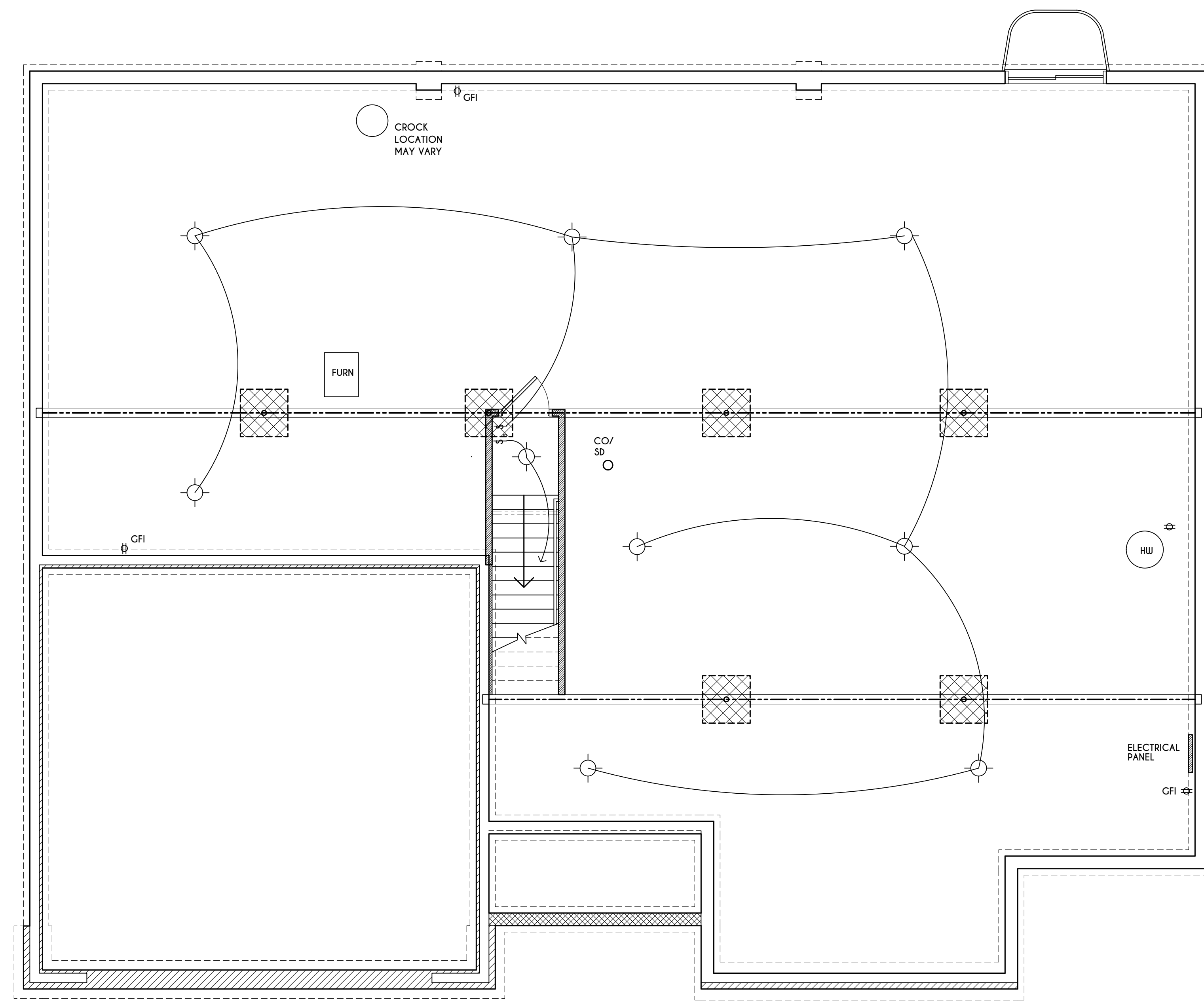
DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2015 IECC

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

GENERAL NOTES:
 ALL RAKES TO BE 8" & OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1507.3 OF 2015 IRC. (SEE TABLES M1507.3.3(1) & M1507.3.3(2) PG 1.)

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BASEMENT ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

PIR	= PASSIVE INFRARED	§	SINGLE SWITCH CONNECT TO LIGHT
CATV	= CABLE TV	§	TWO SWITCHES CONNECT TO ONE LIGHT
DATA	= CAT V / INTERNET	§	THREE SWITCHES CONNECT TO ONE LIGHT
KP	= KEY PAD	○	LIGHT
DC	= DOOR CONTACT	○	RECESSED LIGHT
CO	= CARBON MONOXIDE DET.	⊕	DUPLEX (2 OUTLET UNIT)
SD	= SMOKE DETECTOR	⊕	EXTERIOR DUPLEX (2 OUTLET UNIT)
SP	= SPEAKER	⊕	FLOURESCENT LIGHT IN CLOSET
VC	= VOLUMN CONTROL		
CH	= DOOR CHIME		
F	= BATHROOM FAN / LIGHT		

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 PITTSFORD, NY

BUILDER:

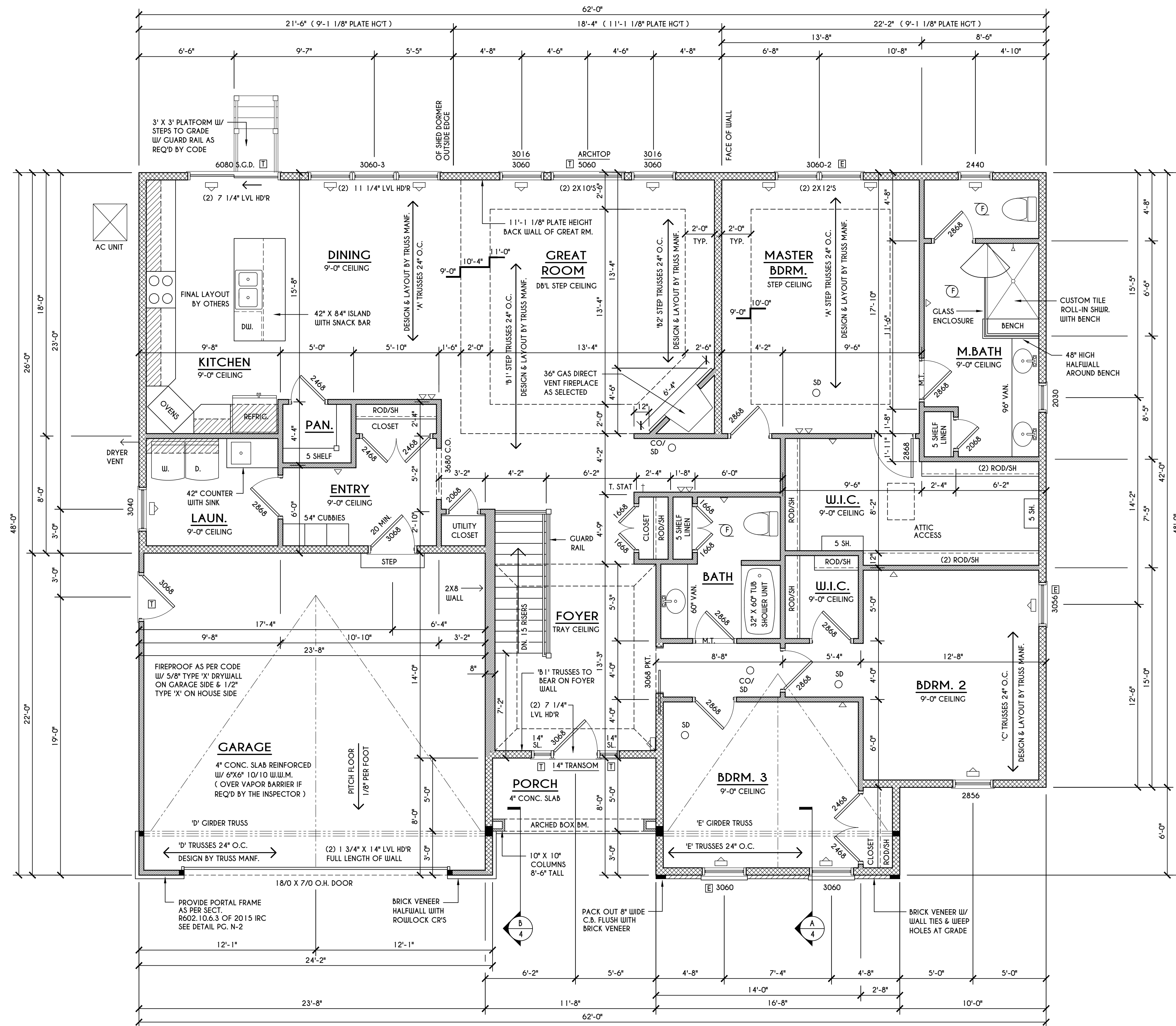
SPALL HOMES

BSM'T ELECTRICAL PLAN

GLA PLAN 2302 R

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scale: AS NOTED	date: 7 / 19
PROJECT: 2538 G	sheet: 3 / 7

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FIRST FLOOR PLAN

2302 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING - GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED - UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2x4 STUDS @ 16" O.C.
- 2x6 STUDS @ 16" O.C.

NOTES:

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

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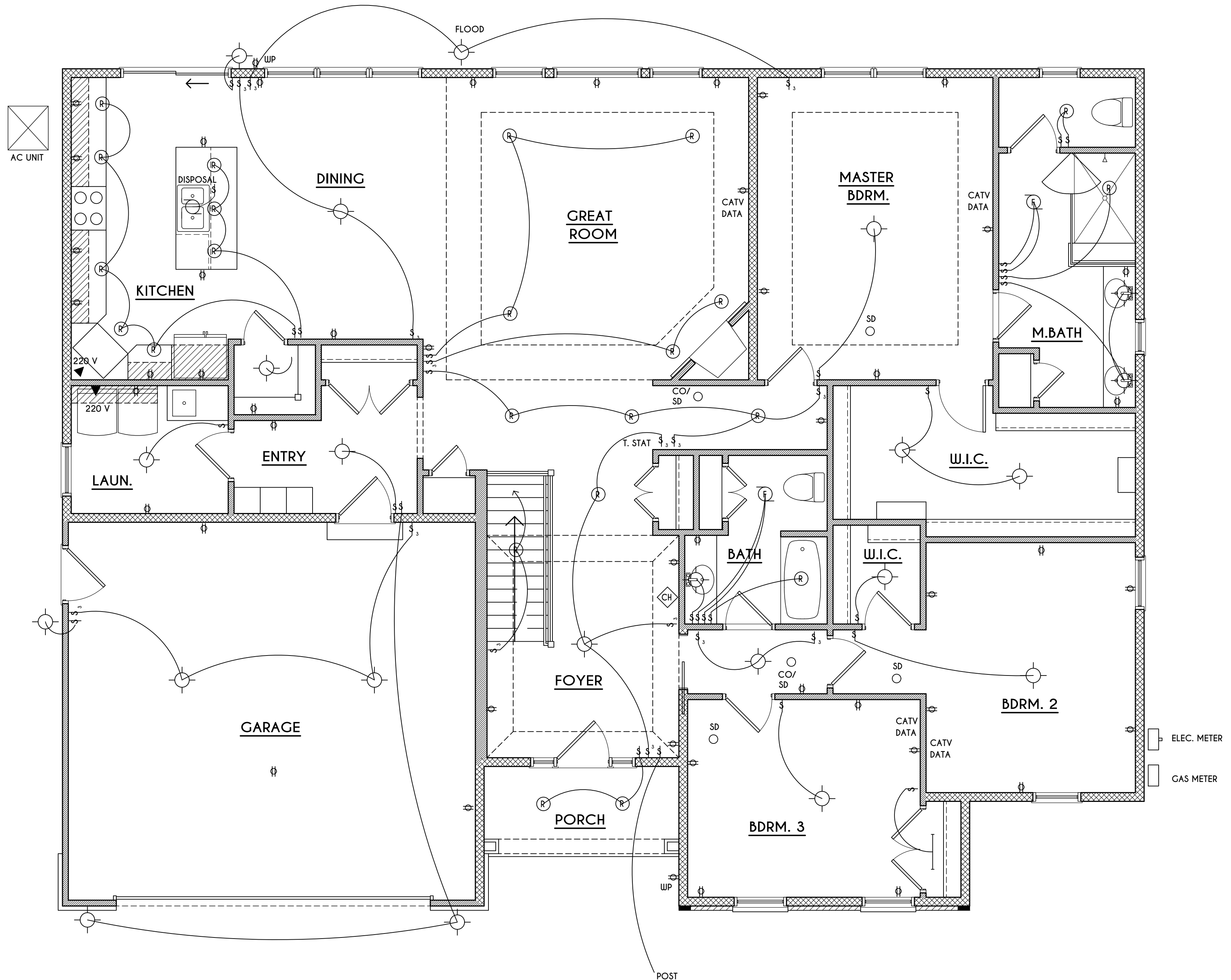
BUILDER:
 SPALL HOMES

FIRST FLOOR PLAN

GLA PLAN 2302 R

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FIRST FLOOR ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

- | | | |
|---------------------------|---------|-------------------------------------|
| PIR = PASSIVE INFRARED | § | SINGLE SWITCH CONNECT TO LIGHT |
| CATV = CABLE TV | §, § | TWO SWITCHES CONNECT TO ONE LIGHT |
| DATA = CAT V / INTERNET | §, §, § | THREE SWITCHES CONNECT TO ONE LIGHT |
| KP = KEY PAD | ⊕ | LIGHT |
| DC = DOOR CONTACT | ⊙ | RECESSED LIGHT |
| CO = CARBON MONOXIDE DET. | ⊕ | DUPLEX (2 OUTLET UNIT) |
| SD = SMOKE DETECTOR | ⊕ | EXTERIOR DUPLEX (2 OUTLET UNIT) |
| SP = SPEAKER | ⊕ | FLOURESCENT LIGHT IN CLOSET |
| VC = VOLUMN CONTROL | ⊕ | |
| ⊕ | | |
| ⊕ | | |

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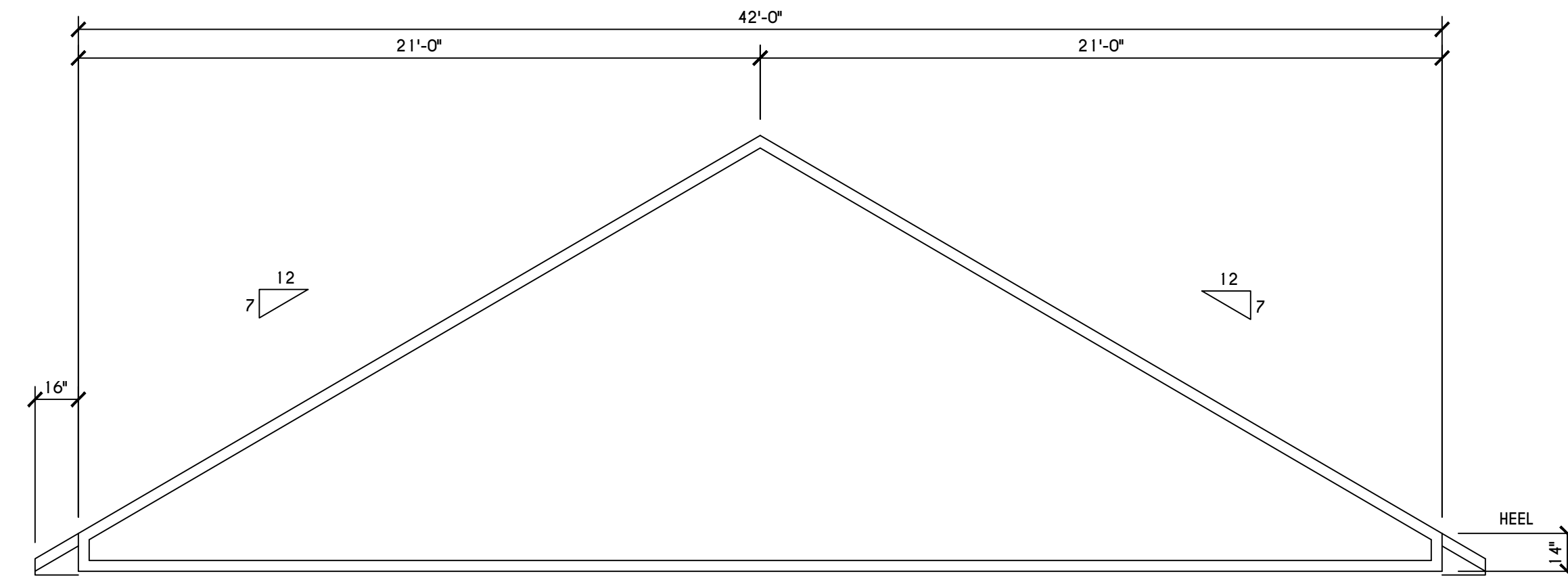
SPALL HOMES

1ST FLOOR ELEC. PLAN

GLA PLAN 2302 R

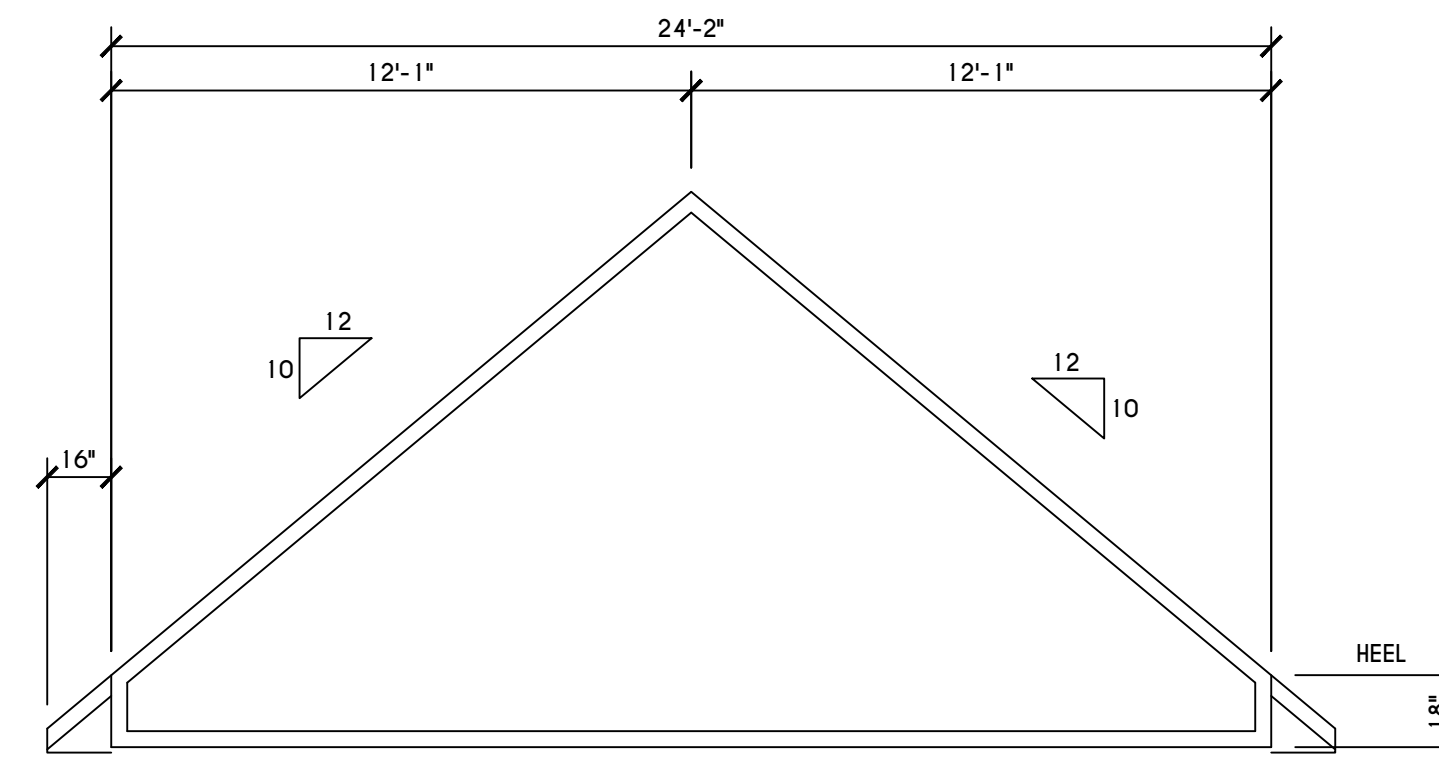
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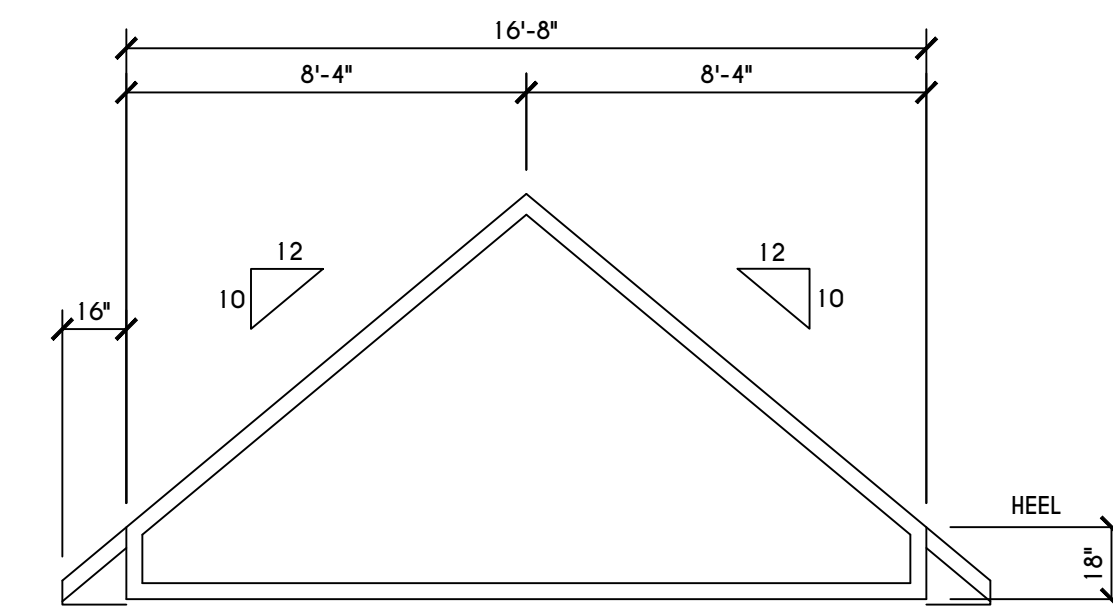
'C' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



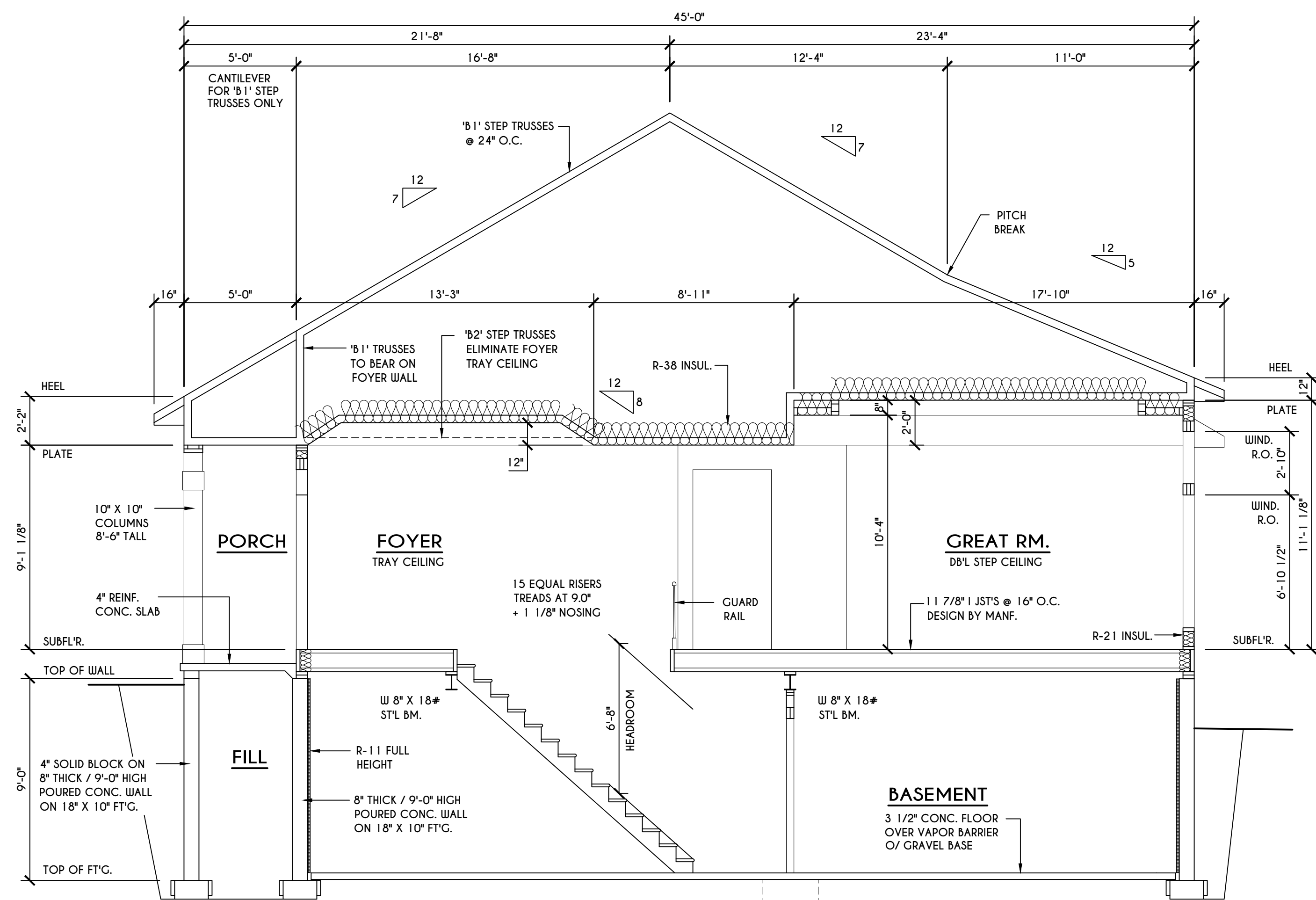
'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"

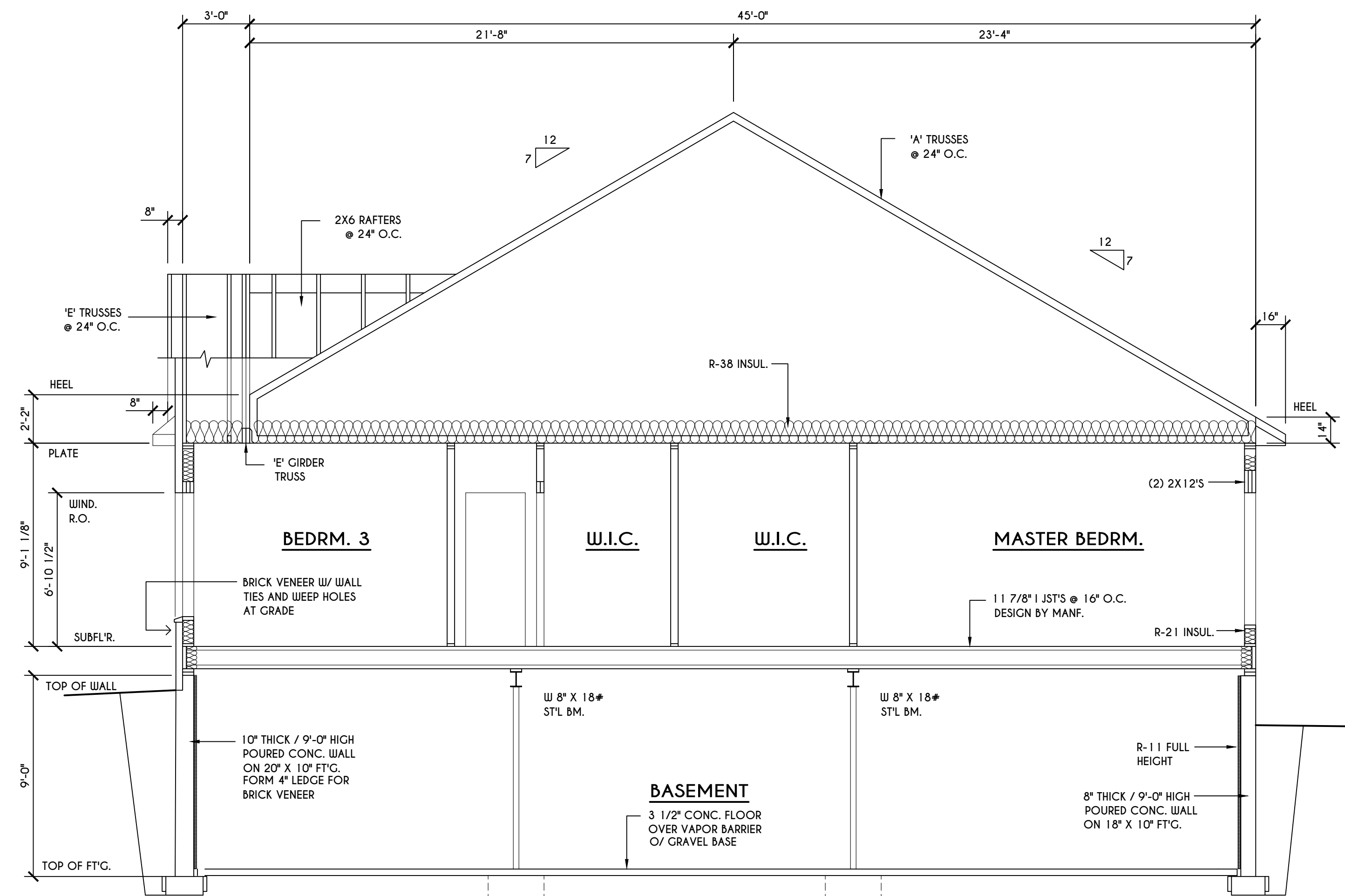


'E' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



A BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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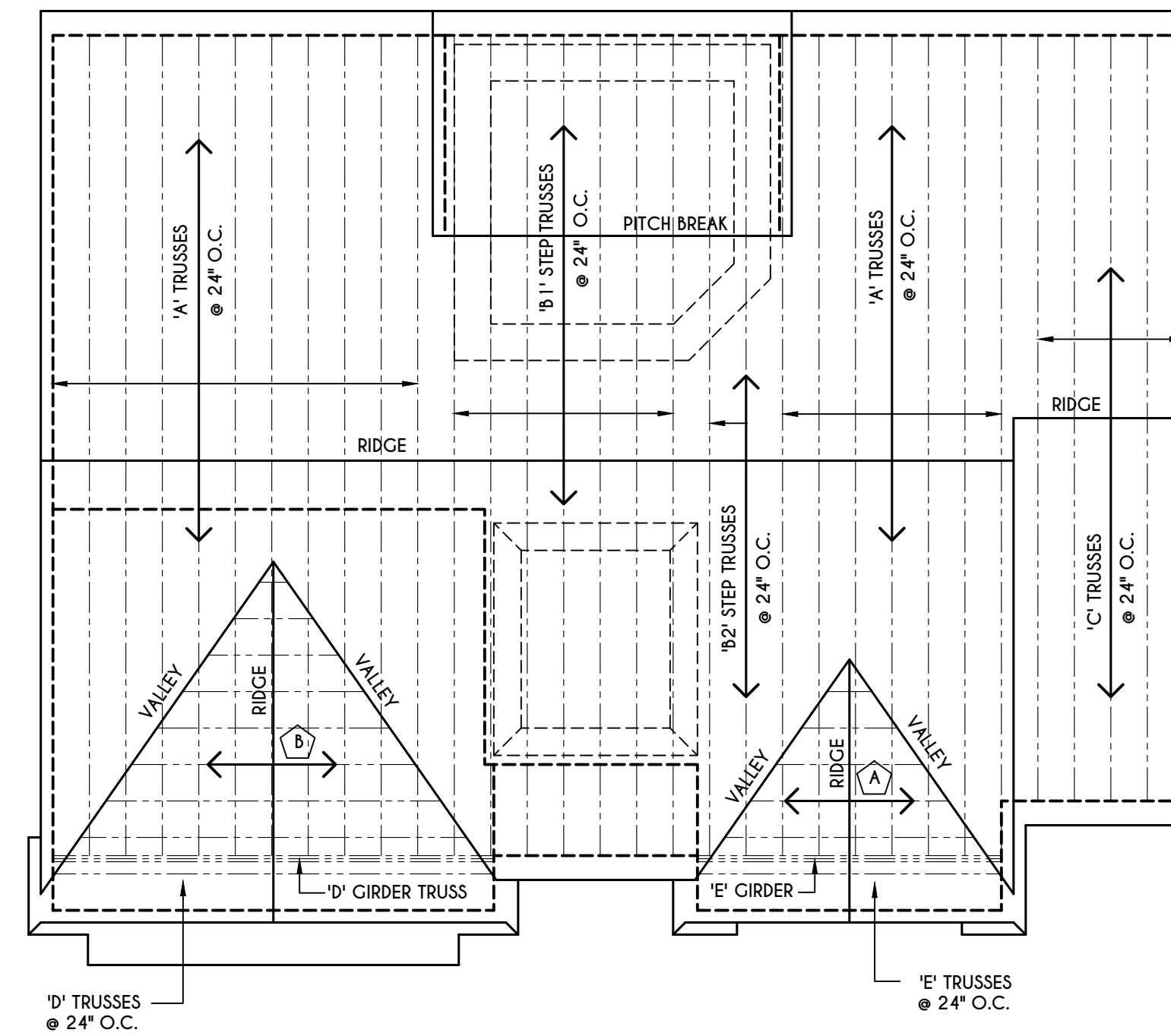
SECTIONS
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LEFT ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

ALL RAKES ARE TO BE 8" & OVERHANGS ARE TO BE 16" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

- A 2X6 LAYOVER RAFTERS 24" O.C.
- B 2X8 LAYOVER RAFTERS 24" O.C.

WINDOWS: VYLD SOLARBAN GLASS W/ ARGON
 U-FACTOR 0.28
 SHGC 0.31

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2015 IECC.

WINDOW / DOOR LEGEND:

- [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
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 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
- [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
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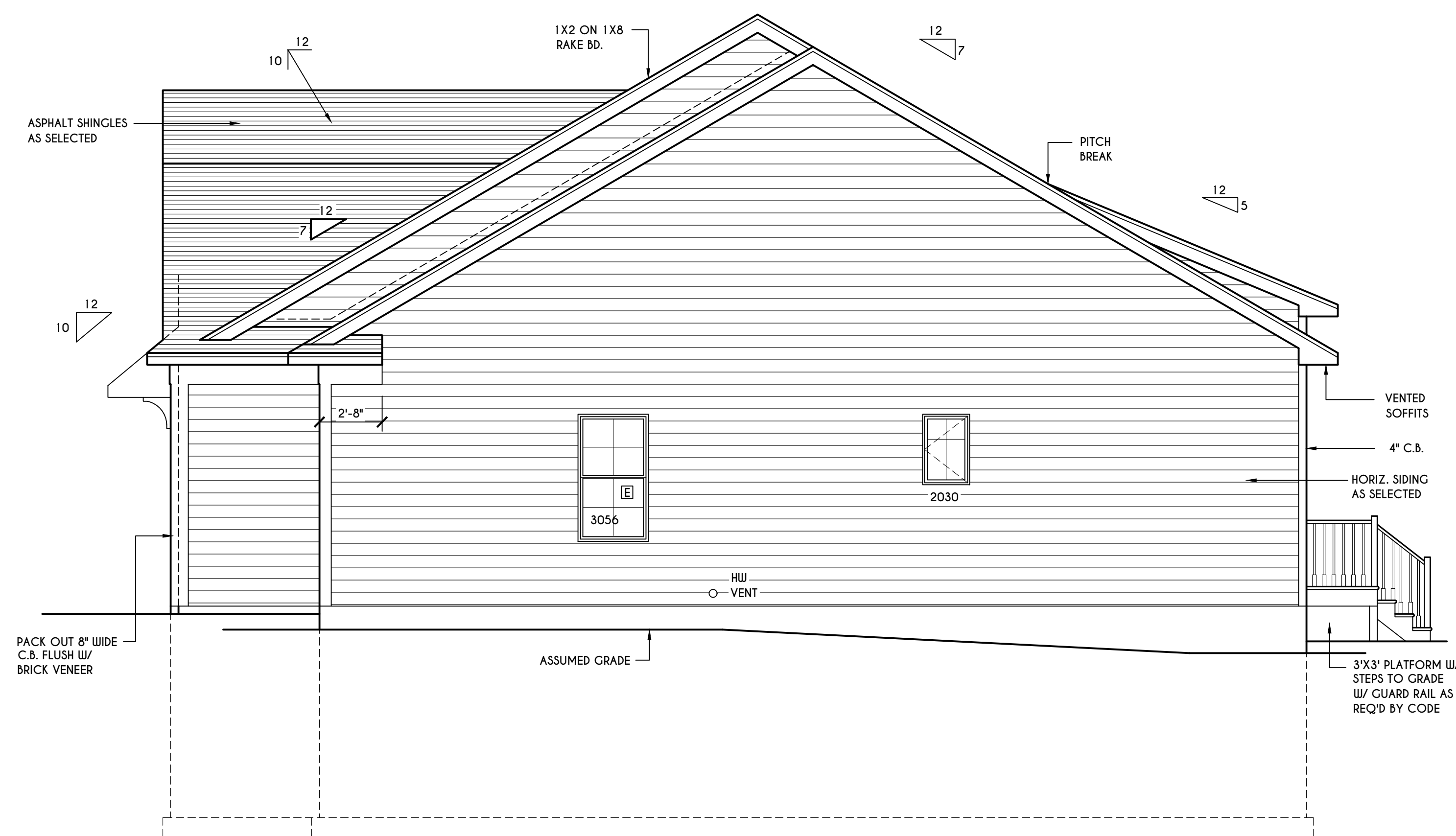
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BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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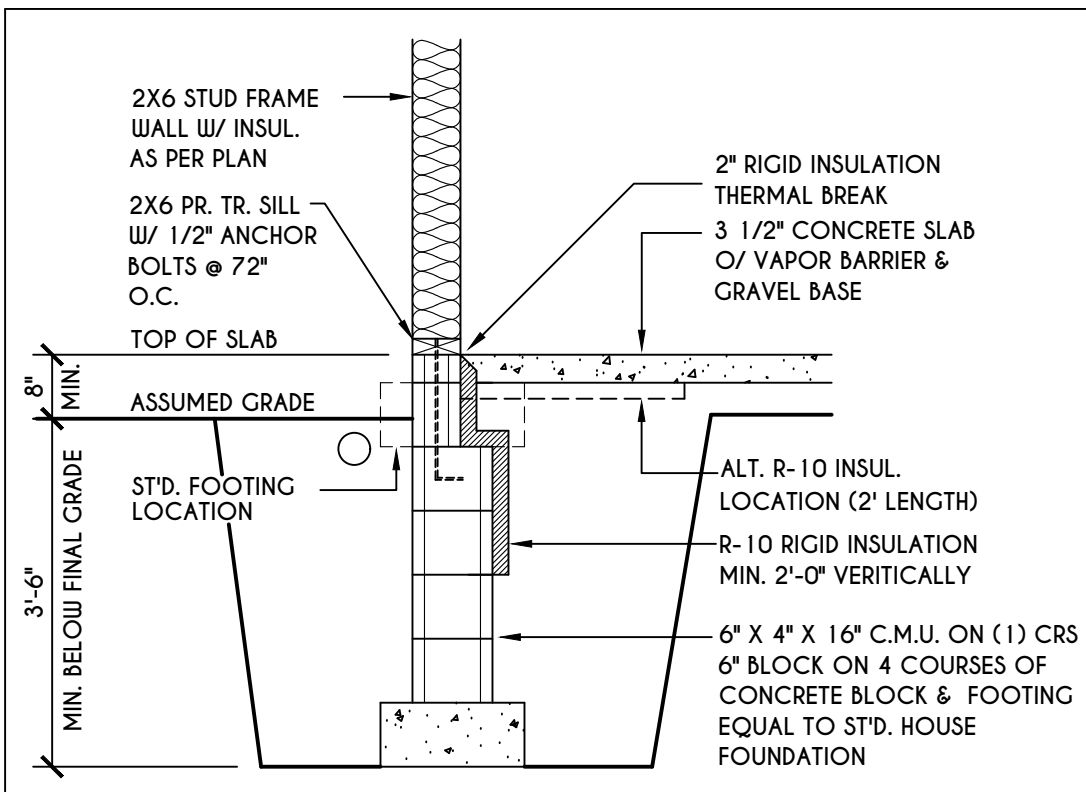
BUILDER:

SPALL HOMES

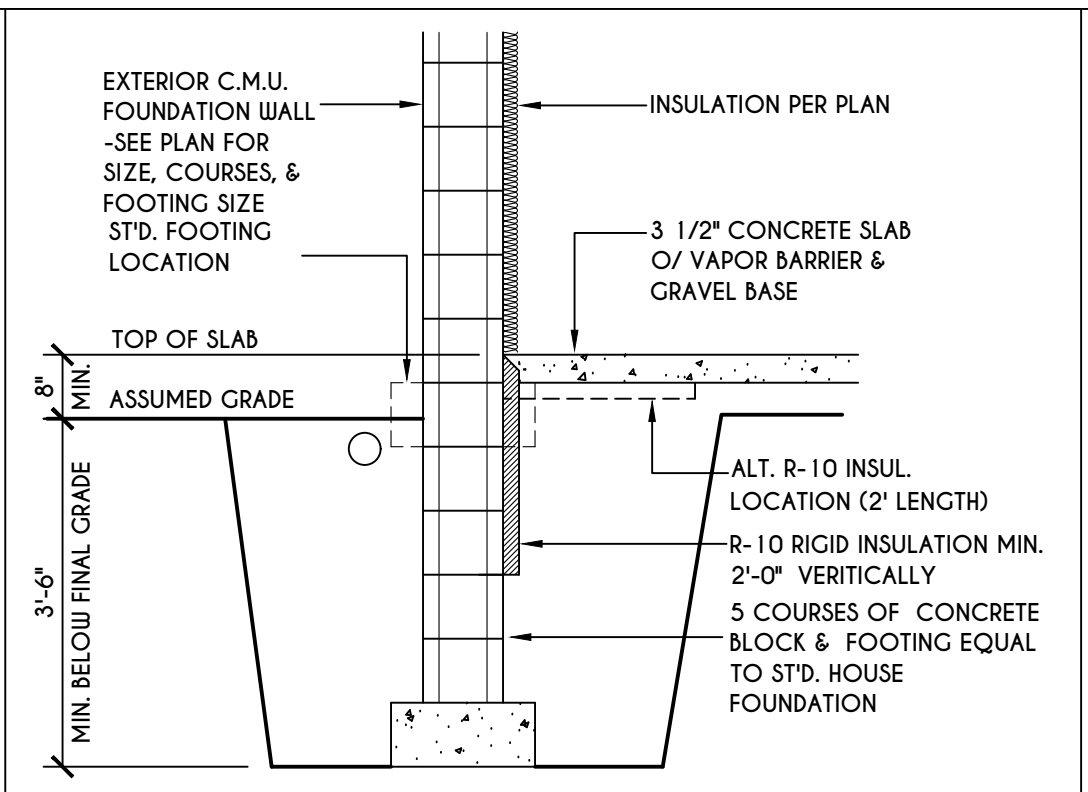
ELEVATIONS & ROOF

GLA PLAN 2302 R

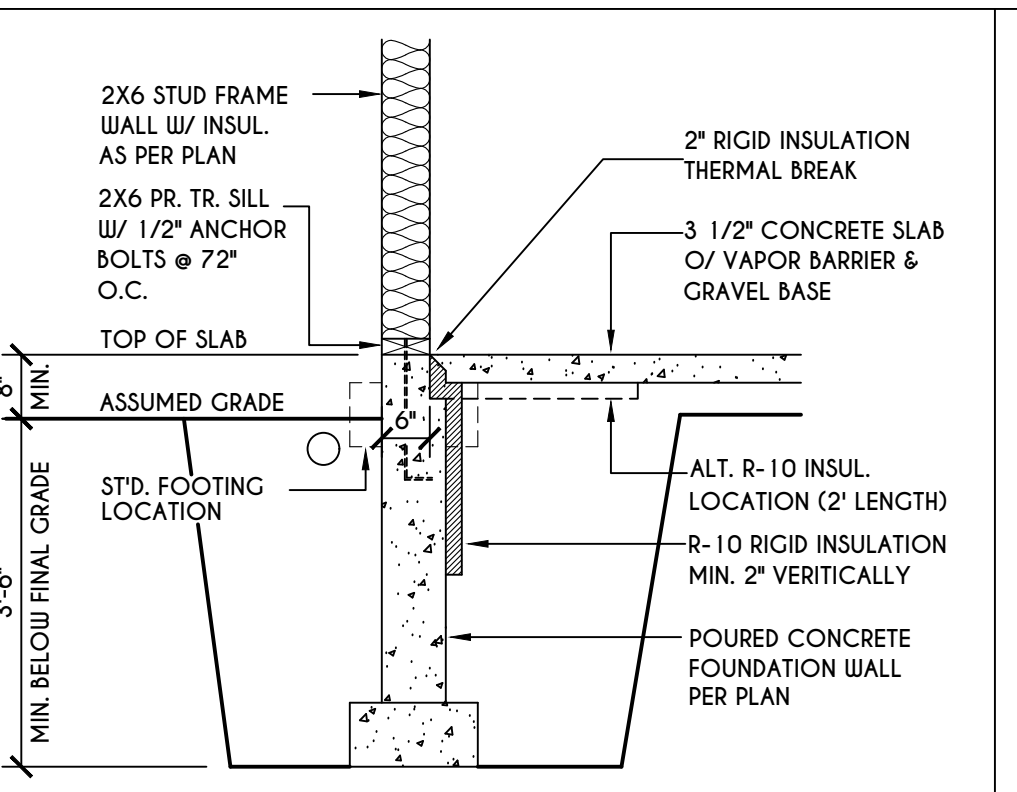
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scale: AS NOTED	date: 7 / 19
PROJECT: 2538 G	sheet: 7 / 7



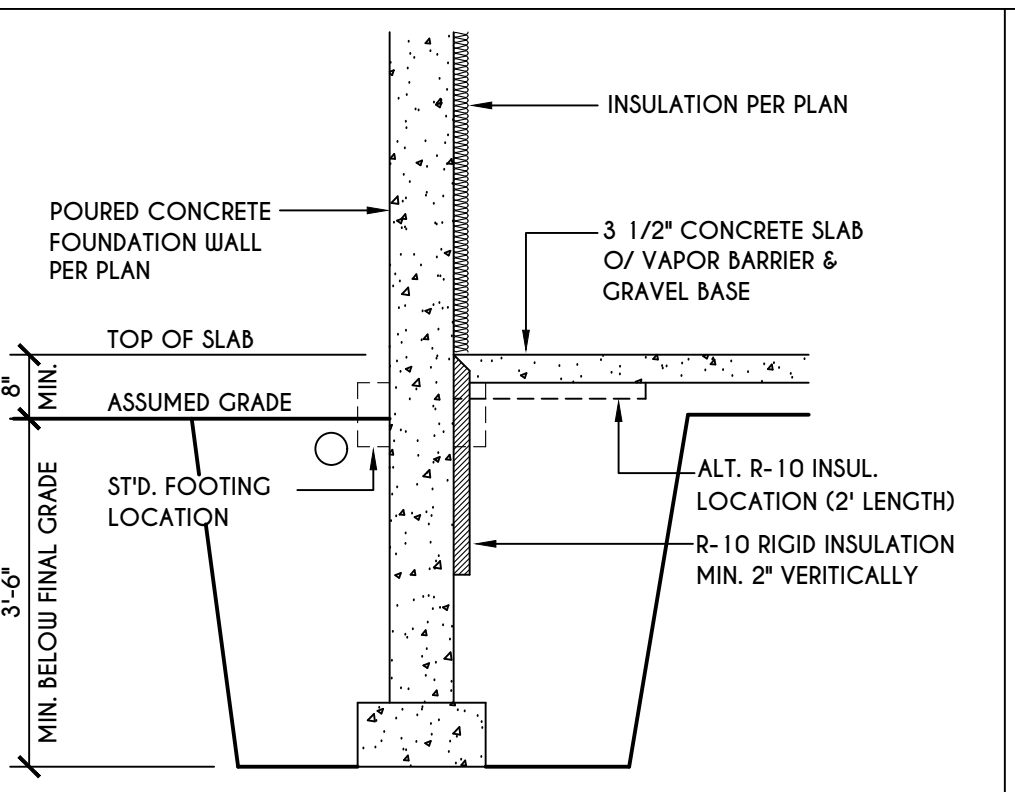
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



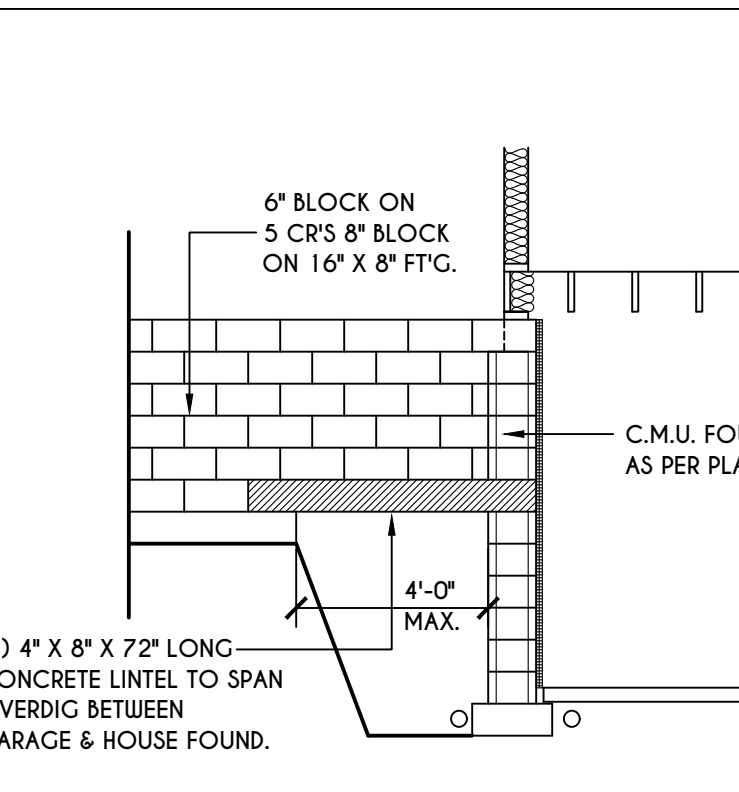
2
N-1
C.M.U. FOUNDATION WALL
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



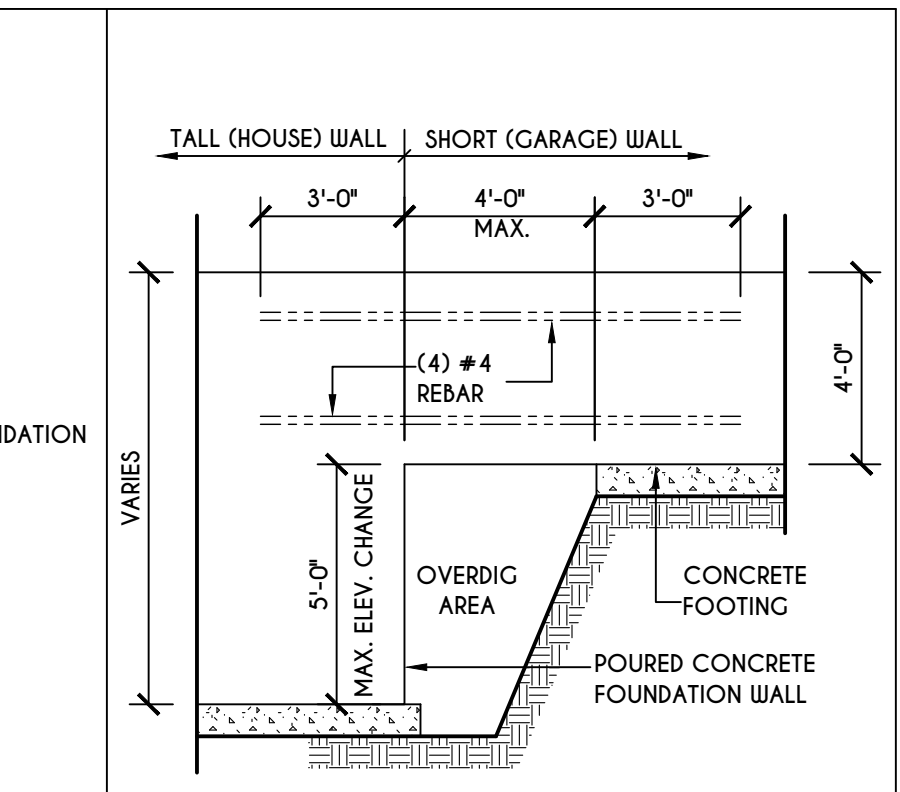
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N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



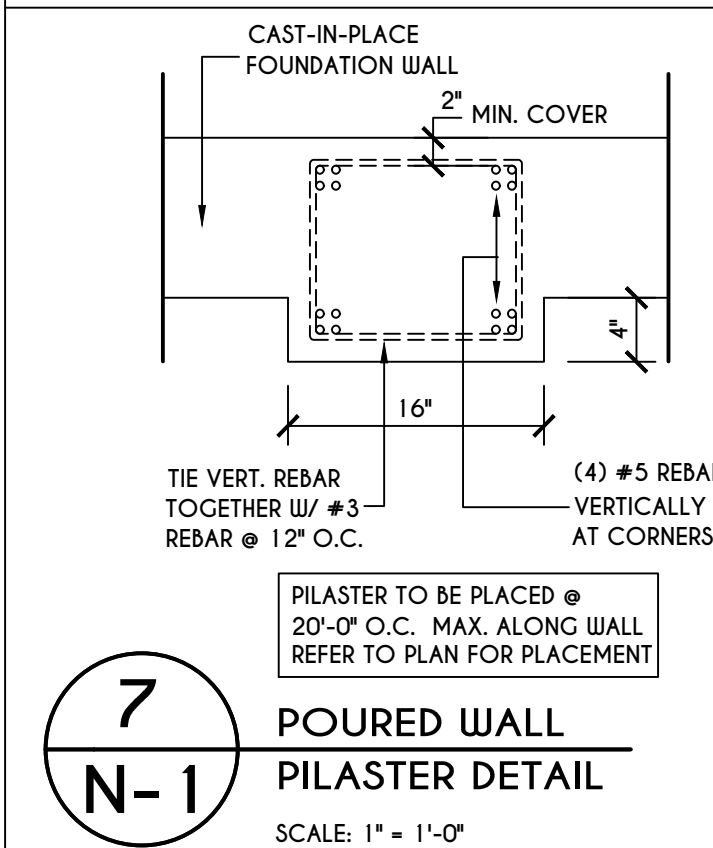
4
N-1
POURED CONC. FOUNDATION WALL
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



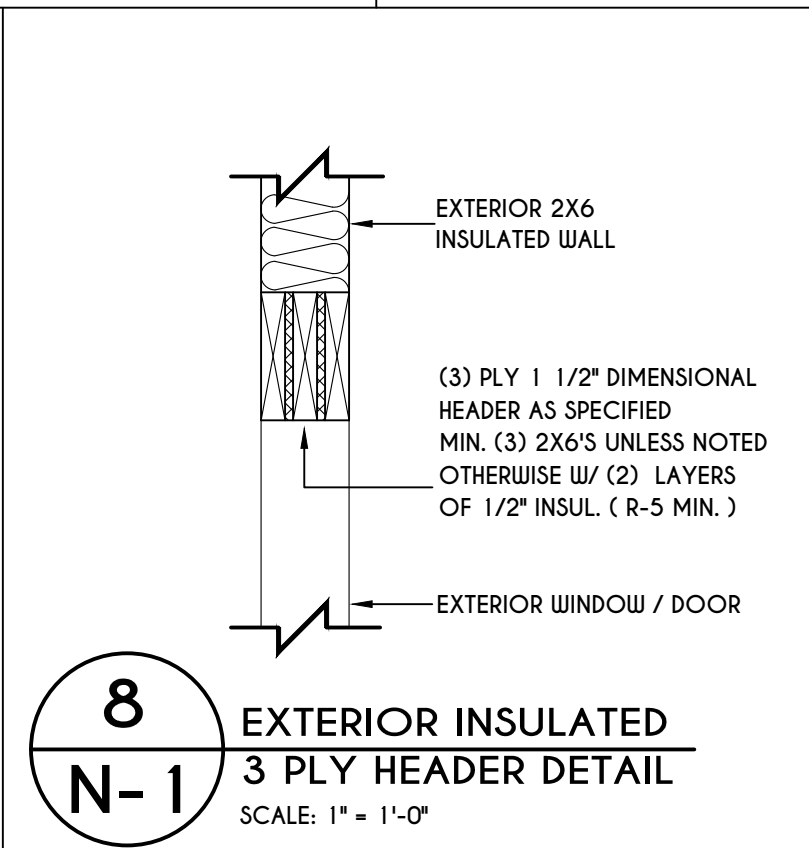
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



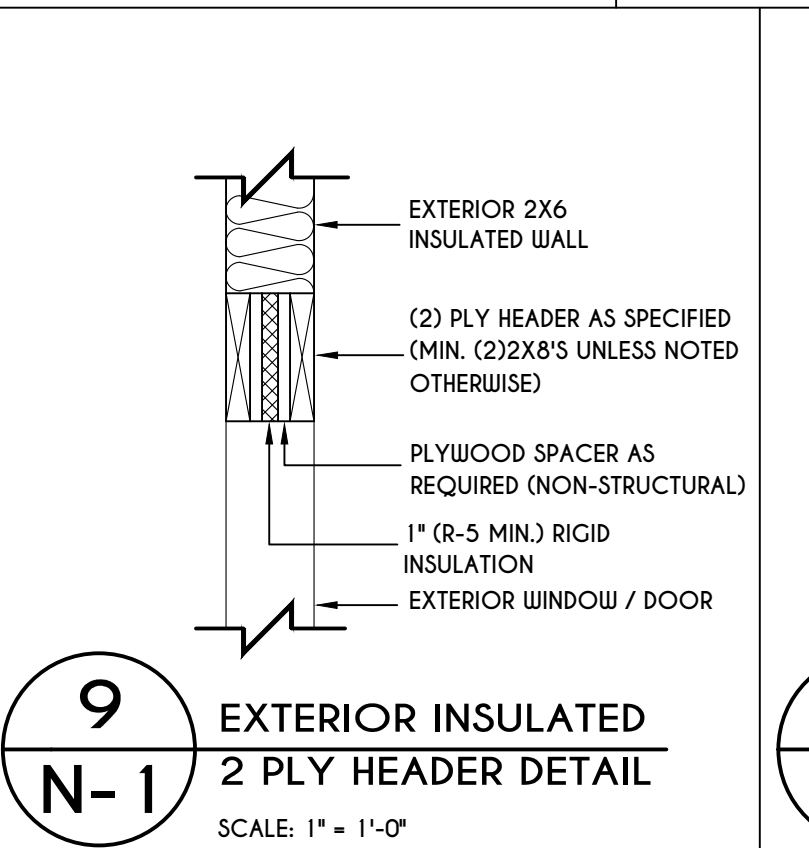
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



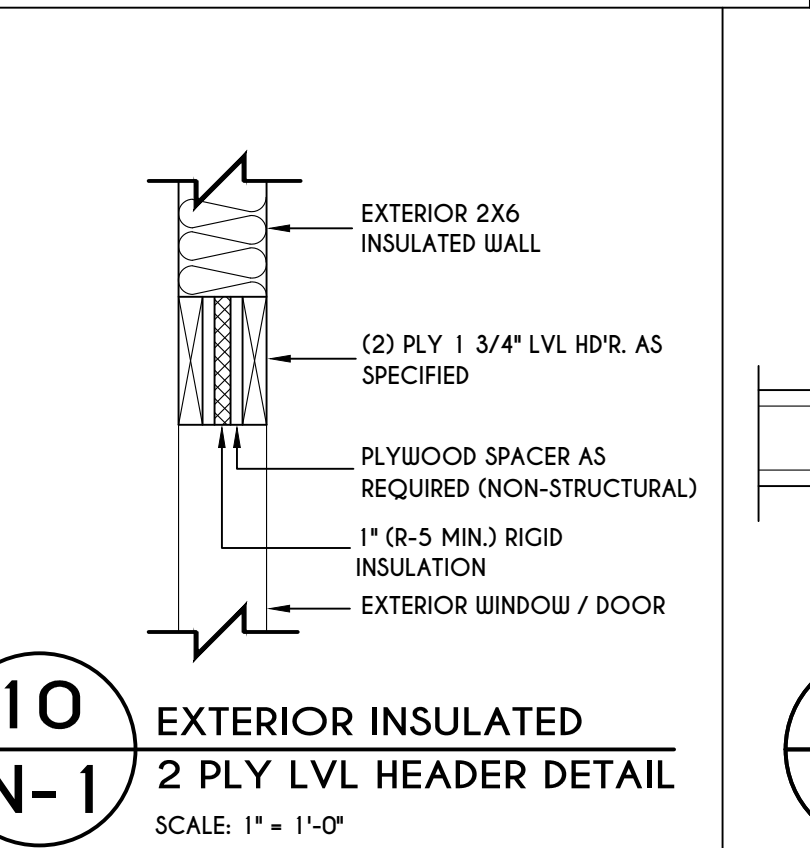
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



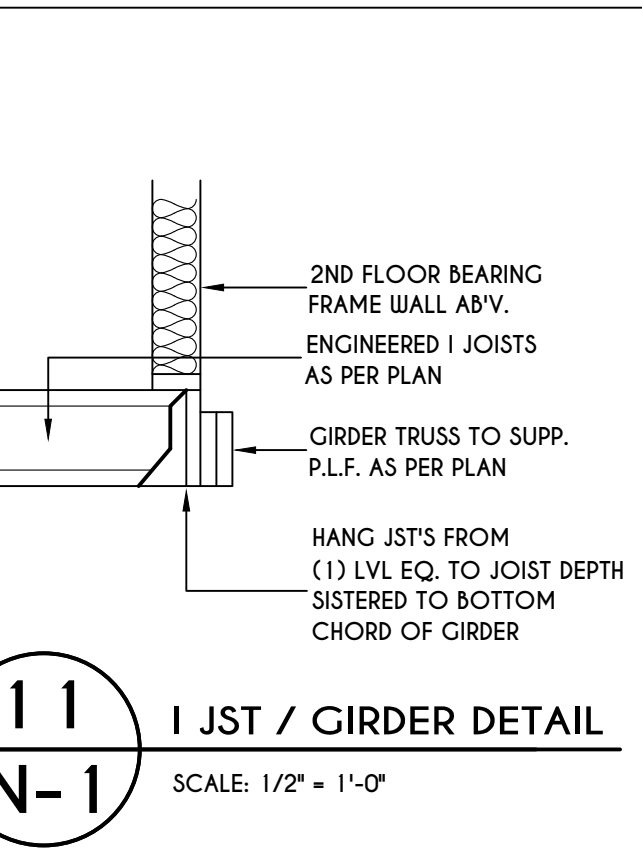
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



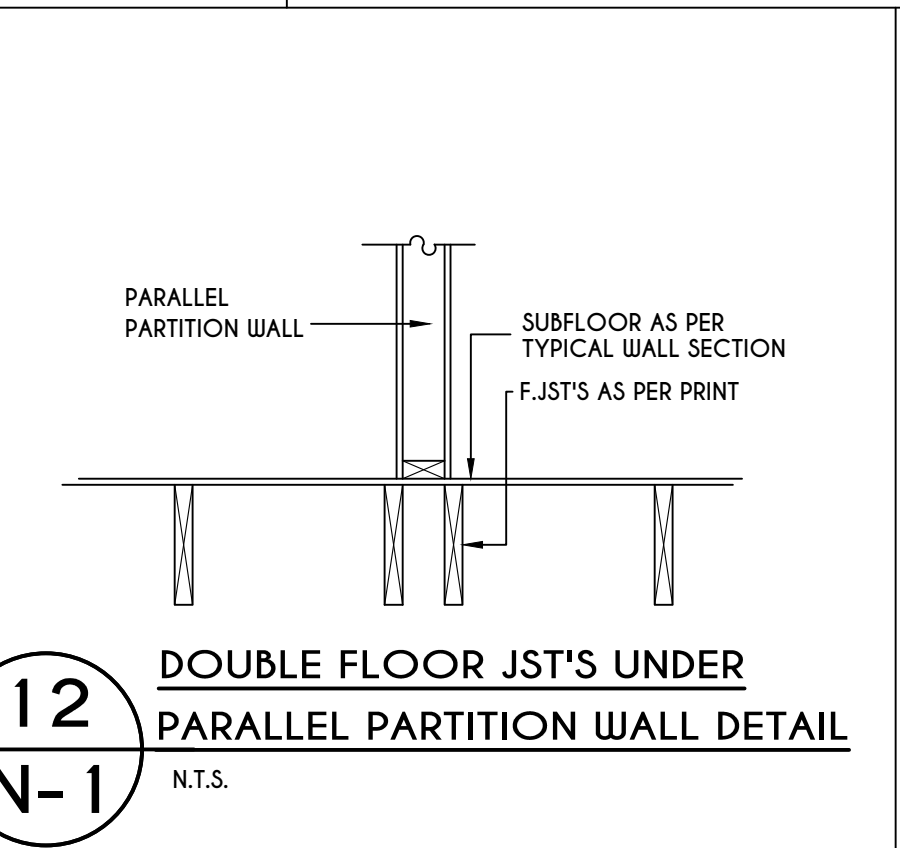
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



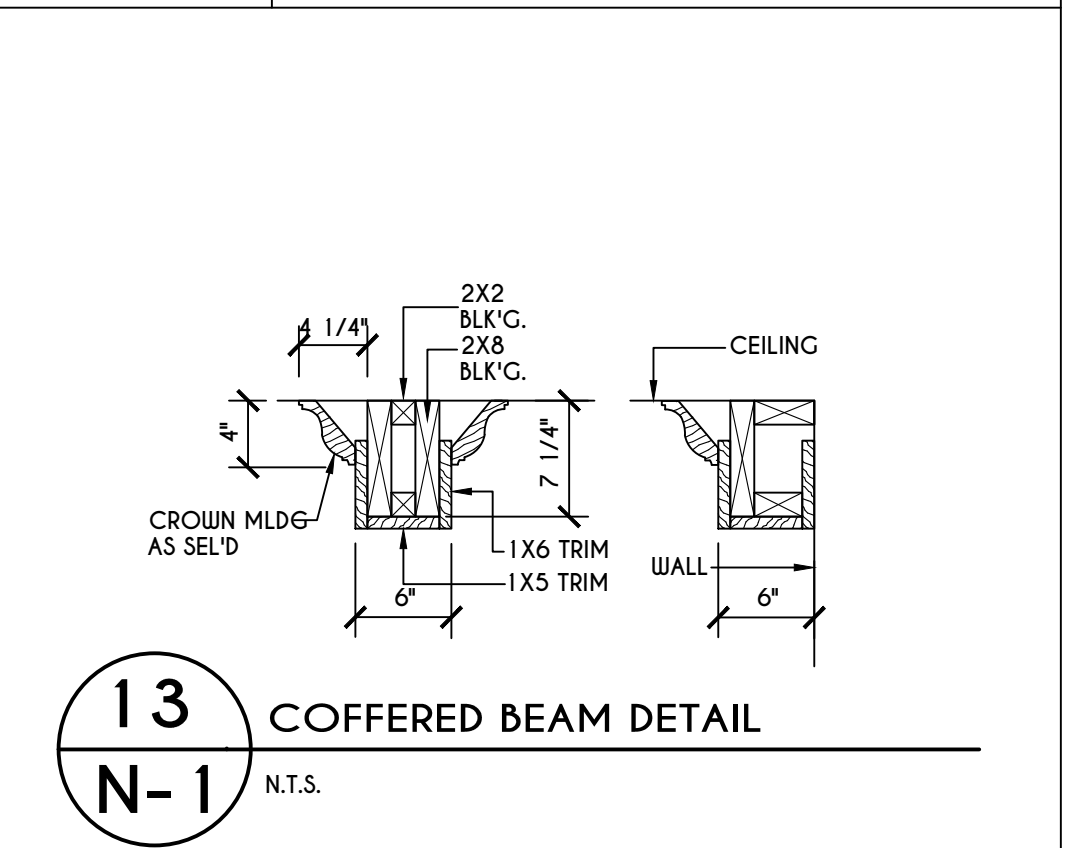
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



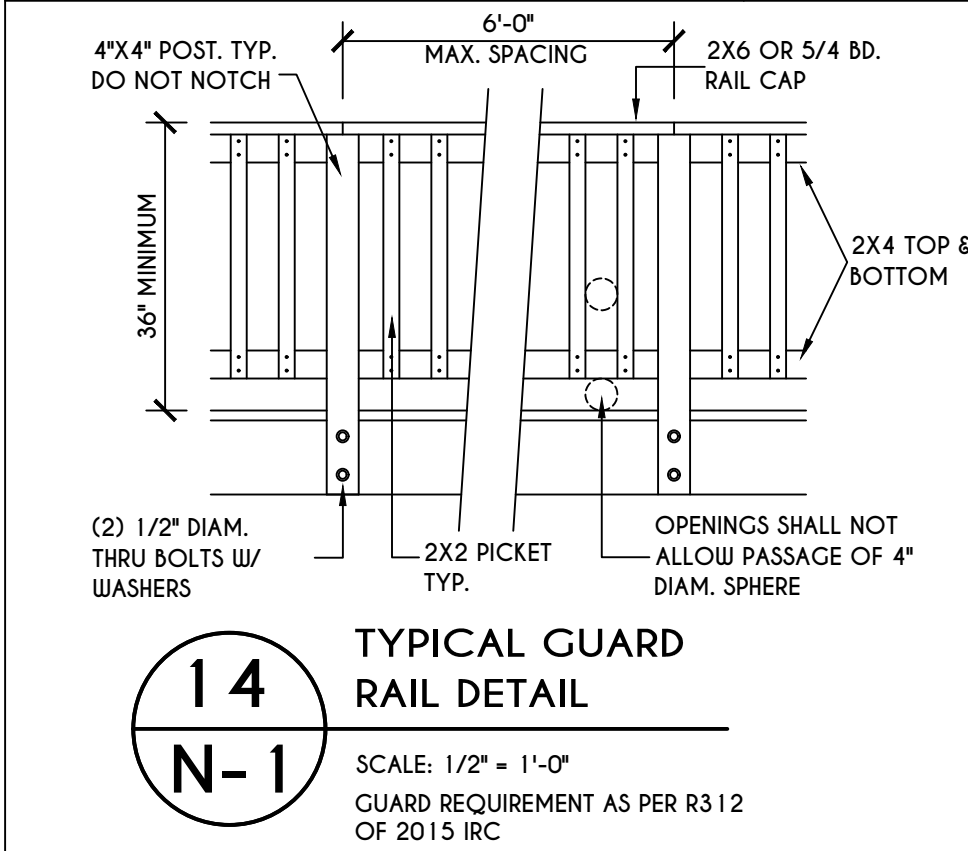
11
N-1
1ST JOIST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



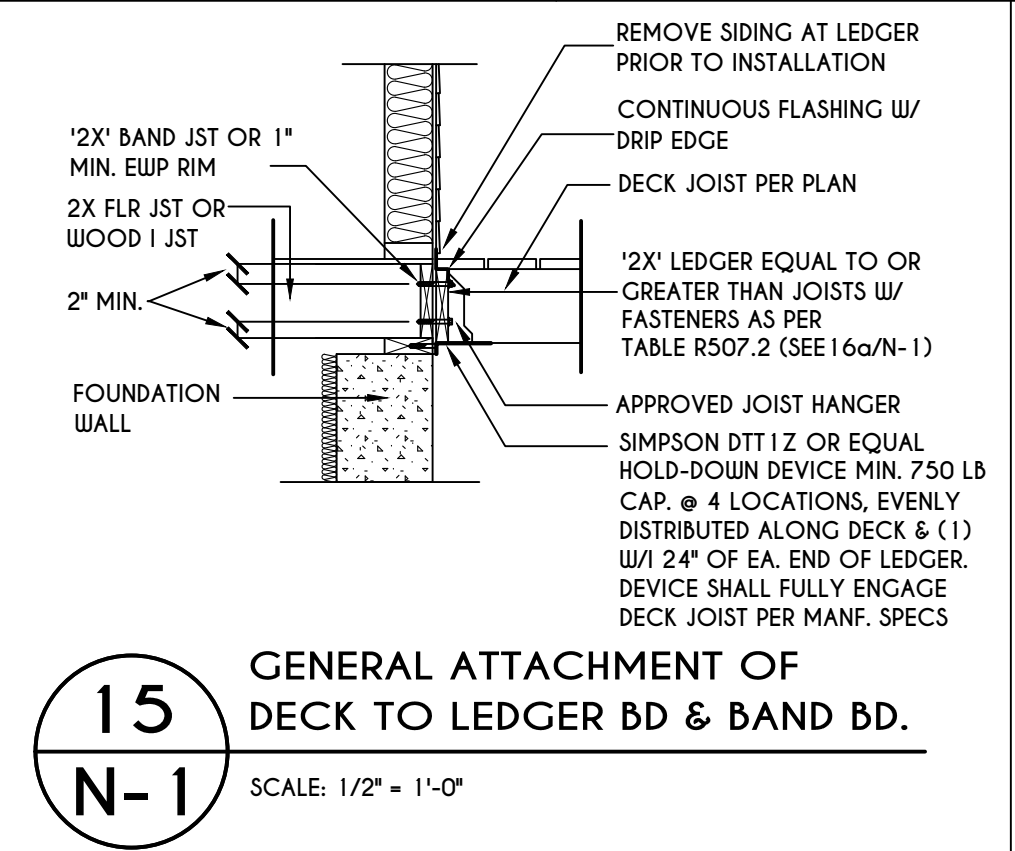
12
N-1
DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



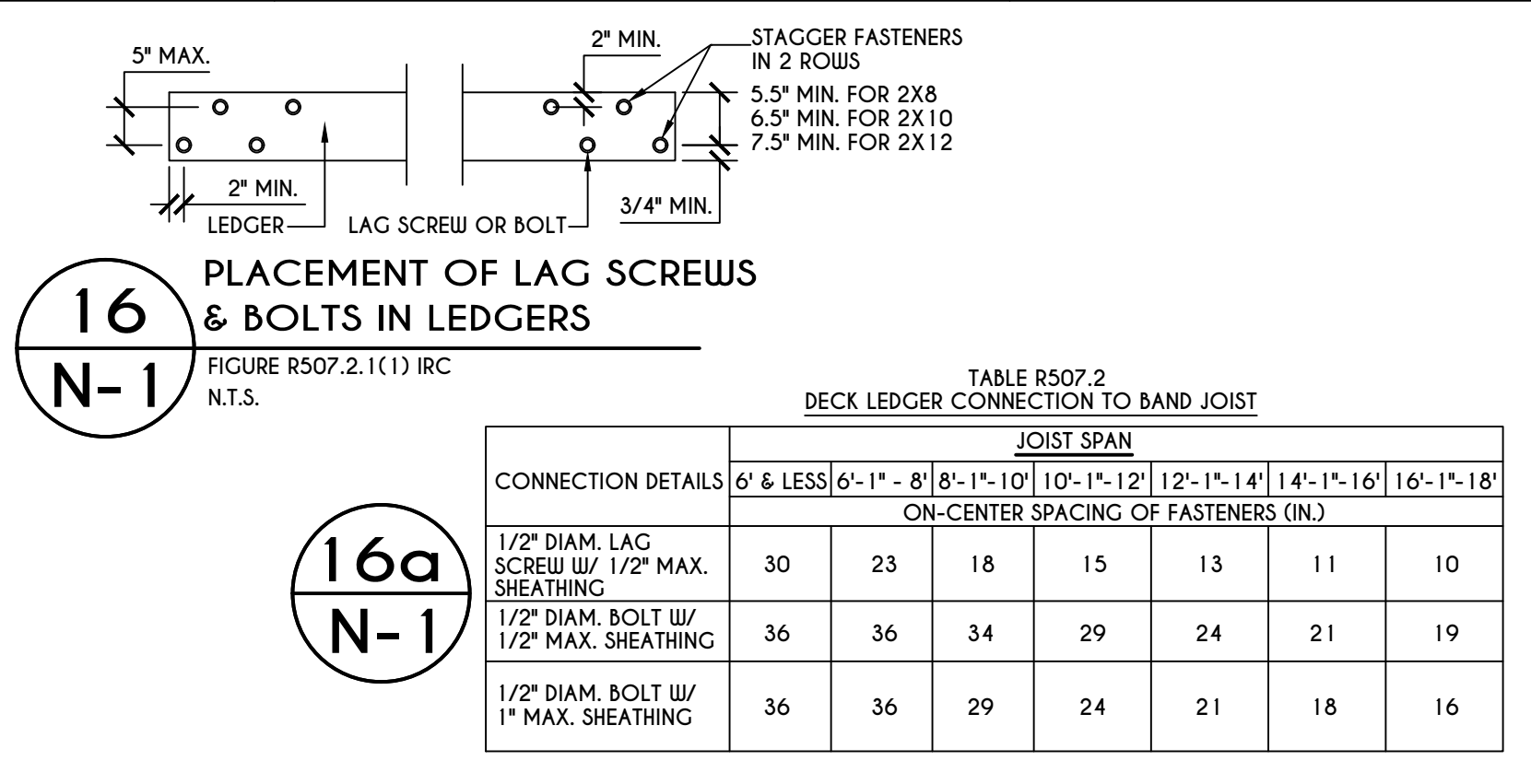
13
N-1
COFFERED BEAM DETAIL
N.T.S.



14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"

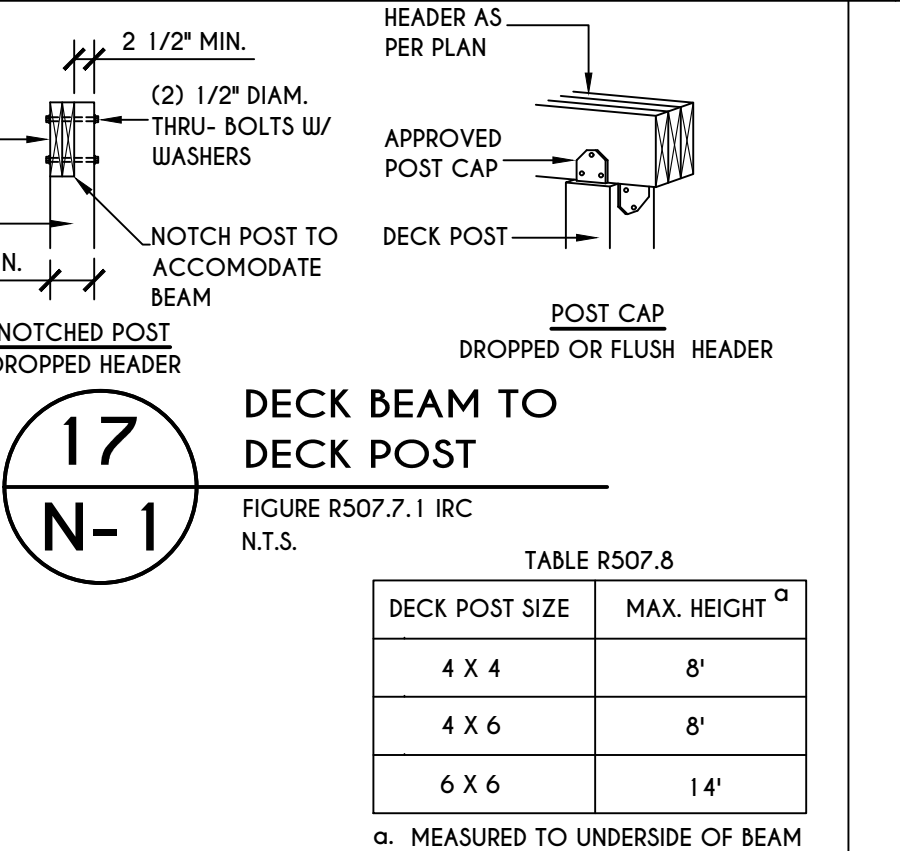


15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

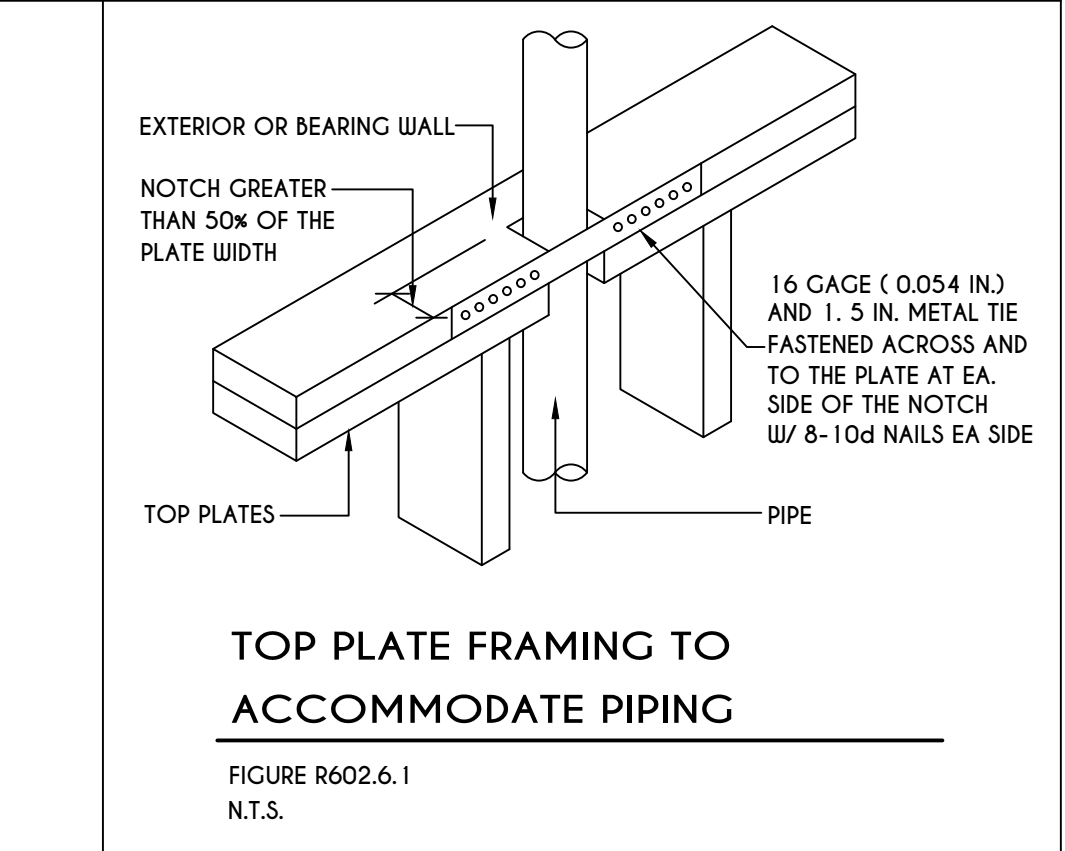


16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.2 (1) IRC
N.T.S.

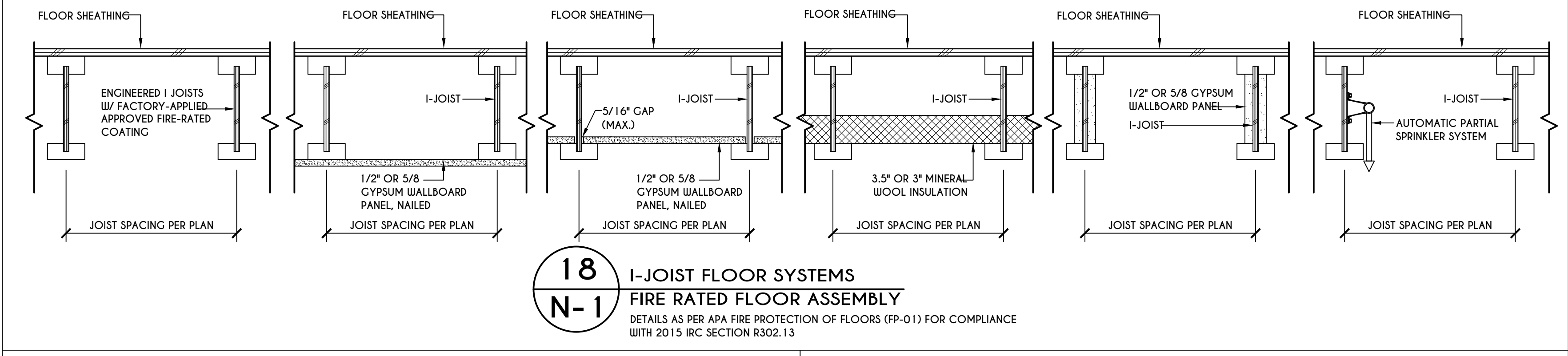
16a
N-1



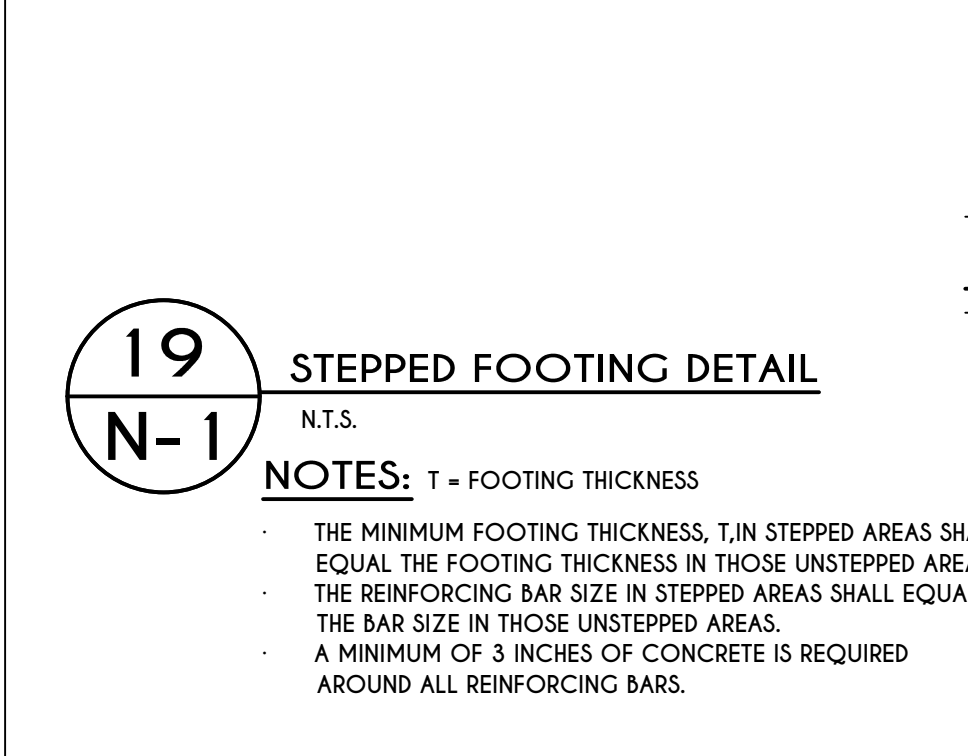
17
N-1
DECK BEAM TO DECK POST
FIGURE R507.7.1 IRC
N.T.S.



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

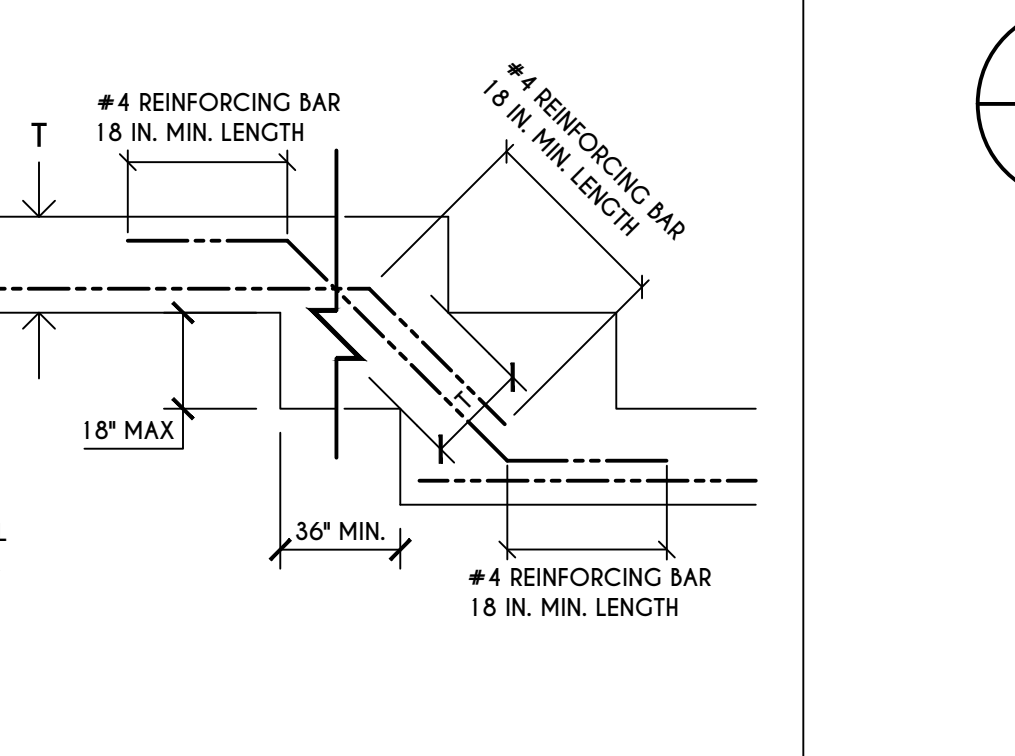


18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH 2015 IRC SECTION R302.13

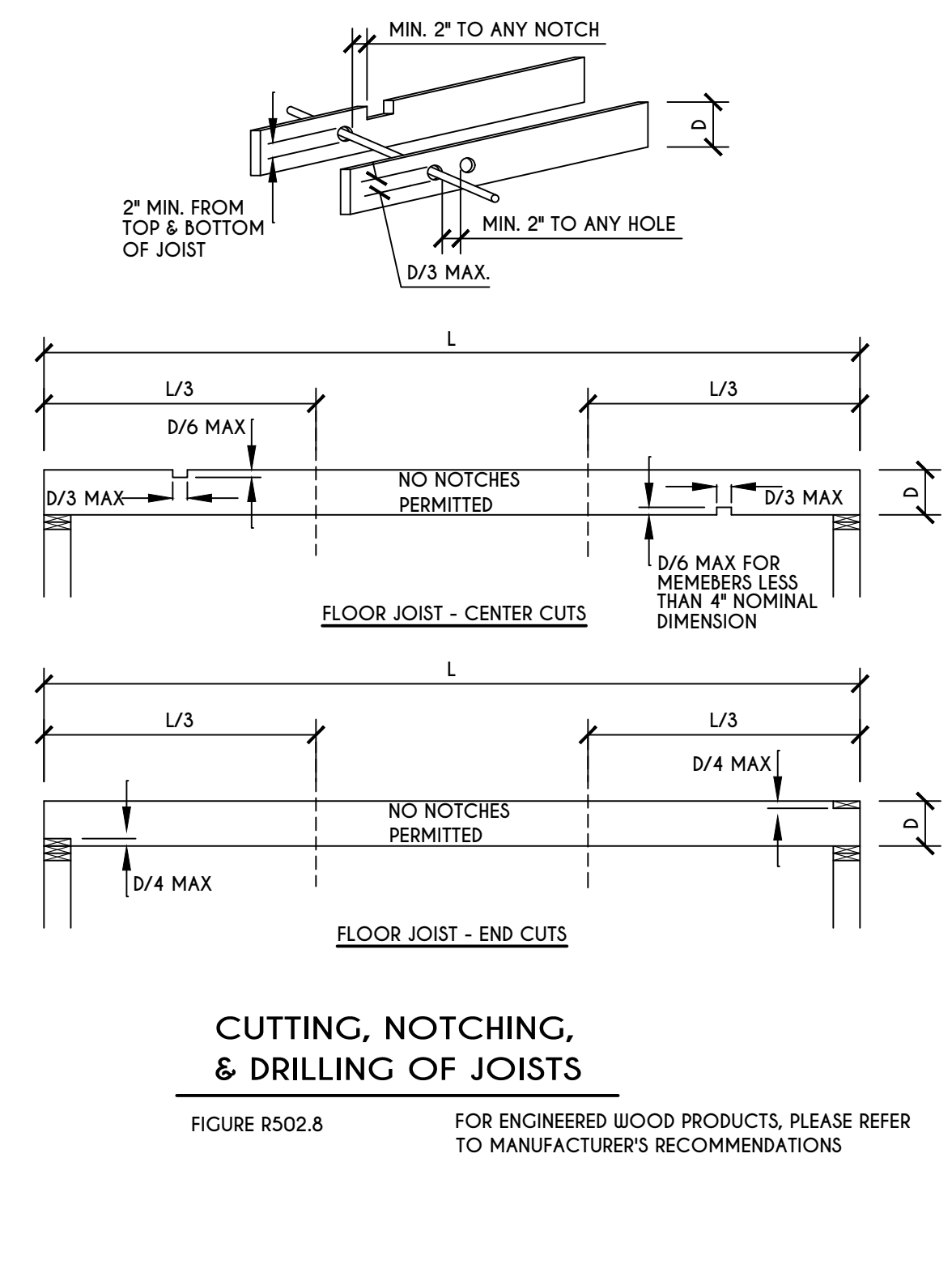


19
N-1
STEPPED FOOTING DETAIL
N.T.S.

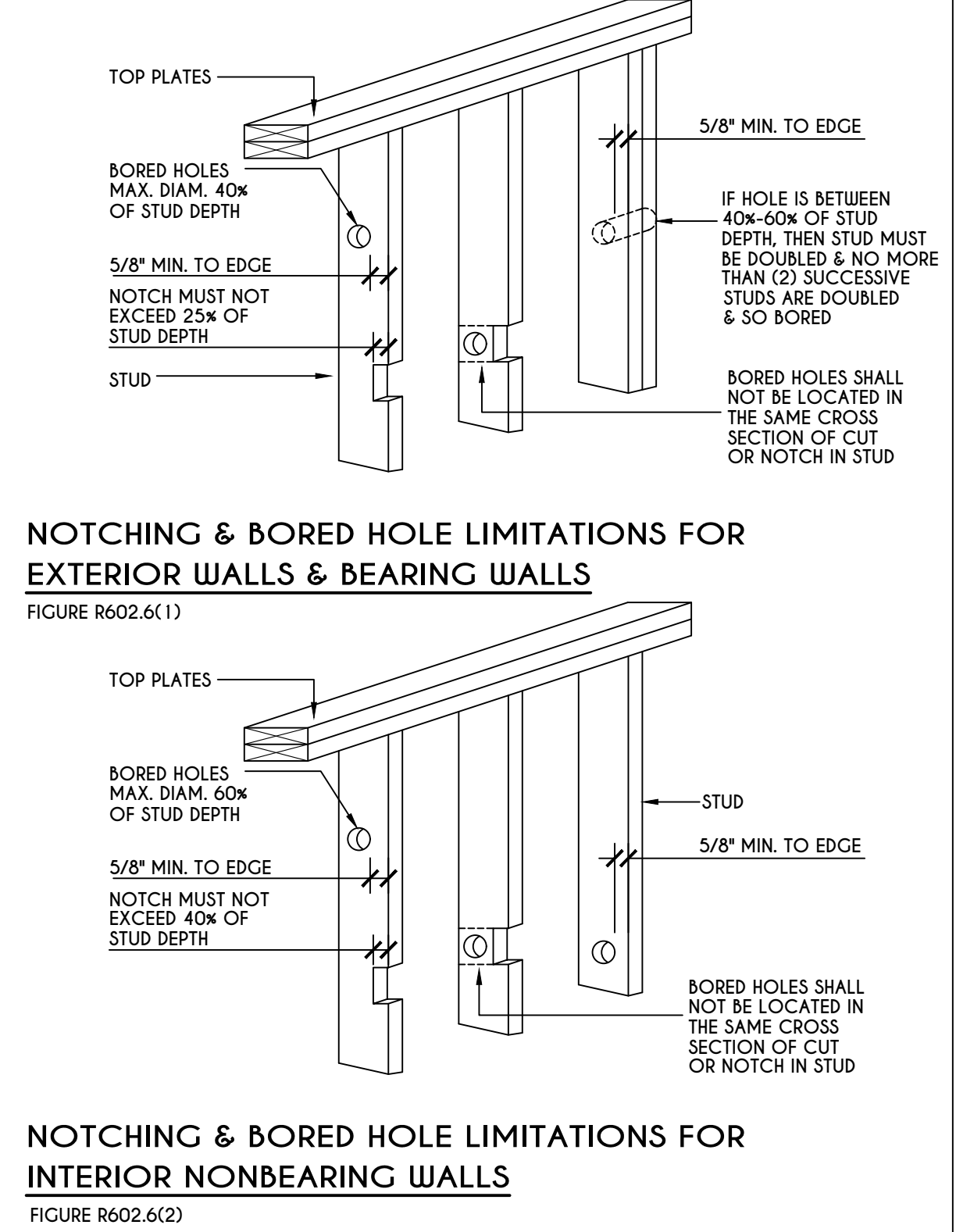
NOTES: T = FOOTING THICKNESS
THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.
THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.
A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.



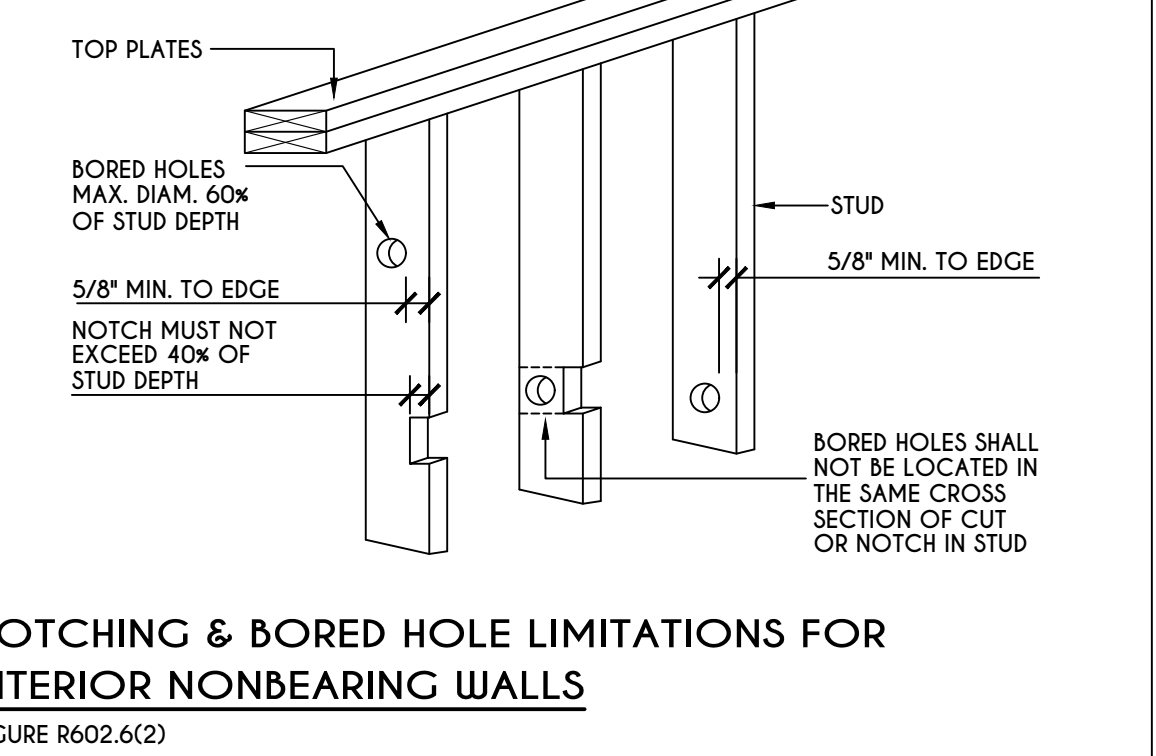
20
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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GLA PLAN 2302 R

drawn: CDK	checked: AMM
scale: AS NOTED	date: 7 / 19
PROJECT: 2538 G	sheet: N-1

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drawn: CDK	checked: AMM
scale: AS NOTED	date: 7 / 19
PROJECT: 2538 G	sheet: N-2

TABLE R404.1.2(8)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT 9' (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES AND DESIGN LATERAL SOIL LOAD (psf PER FOOT OF DEPTH)											
		GROUP 1, SU1 AND SP 30				GROUP 2, SU2 AND SP 45				GROUP 3, SU3 AND SP 60			
5	4	6	8	10	12	6	8	10	12	6	8	10	12
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.1.
 b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
 c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9).
 d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
 e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
 f. INTERPOLATION IS NOT PERMITTED.
 g. WALLS SHALL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL. THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
 h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
 i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 3 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
 j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
 k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.
 l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
 m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
 n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)											
		SOIL CLASSES AND LATERAL SOIL LOAD (psf PER FOOT BELOW GRADE)											
		GROUP 1, SU1 AND SP 30				GROUP 2, SU2 AND SP 45				GROUP 3, SU3 AND SP 60			
6'-8"	4' (OR LESS)	4	6	8	10	4	6	8	10	4	6	8	10
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7'-4"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-0"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-8"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9'-4"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10'-0"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)											
		SOIL CLASSES AND LATERAL SOIL LOAD (psf PER FOOT BELOW GRADE)											
		GROUP 1, SU1 AND SP 30				GROUP 2, SU2 AND SP 45				GROUP 3, SU3 AND SP 60			
6'-8"	4' (OR LESS)	4	6	8	10	4	6	8	10	4	6	8	10
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7'-4"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-0"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-8"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9'-4"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10'-0"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(2)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)											
		SOIL CLASSES AND LATERAL SOIL LOAD (psf PER FOOT BELOW GRADE)											
		GROUP 1, SU1 AND SP 30				GROUP 2, SU2 AND SP 45				GROUP 3, SU3 AND SP 60			
6'-8"	4' (OR LESS)	4	6	8	10	4	6	8	10	4	6	8	10
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7'-4"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-0"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-8"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9'-4"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10'-0"	4' (OR LESS)	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY CAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-FERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WALLS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED. RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
WINDOWS, SKYLIGHTS AND DOORS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
RIM JOISTS	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	BATT INSULATION SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
CRAWL SPACE WALLS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
SHAFTS, PENETRATIONS	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
NARROW CAVITIES	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXCEED BEHIND PIPING AND WIRING.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
GARAGE SEPARATION	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
RECESSED LIGHTING	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
PLUMBING AND WIRING	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
HVAC REGISTER BOOT	HVAC REGISTER BOOT THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER, CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

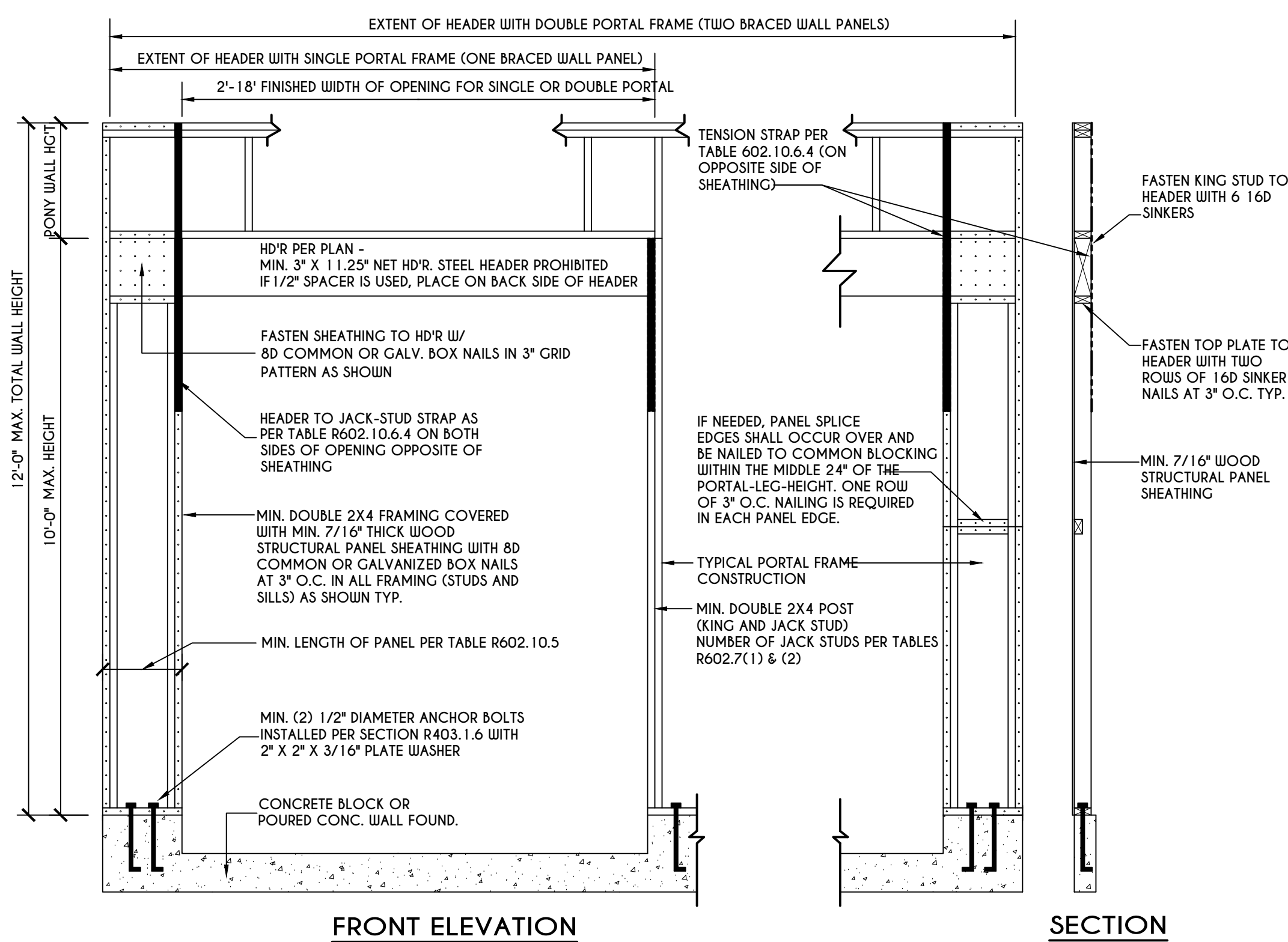
TABLE R401.4.1
 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GU & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, CM & CC)	2,000
CLAY, SILTY CLAY, SILTY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, MH & CH)	1,500 ^b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
 b. WHERE THE OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GU	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS, VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	ORGANIC SILTS, MUCKEY OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY
PT	PEAT & OTHER HIGHLY ORGANIC SOILS







9



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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000117

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 26 Hawkstone Way PITTSFORD, NY 14534

Tax ID Number: 178.03-4-15

Zoning District: RN Residential Neighborhood

Owner: Ketmar Development Corp

Applicant: Ketmar Development Corp

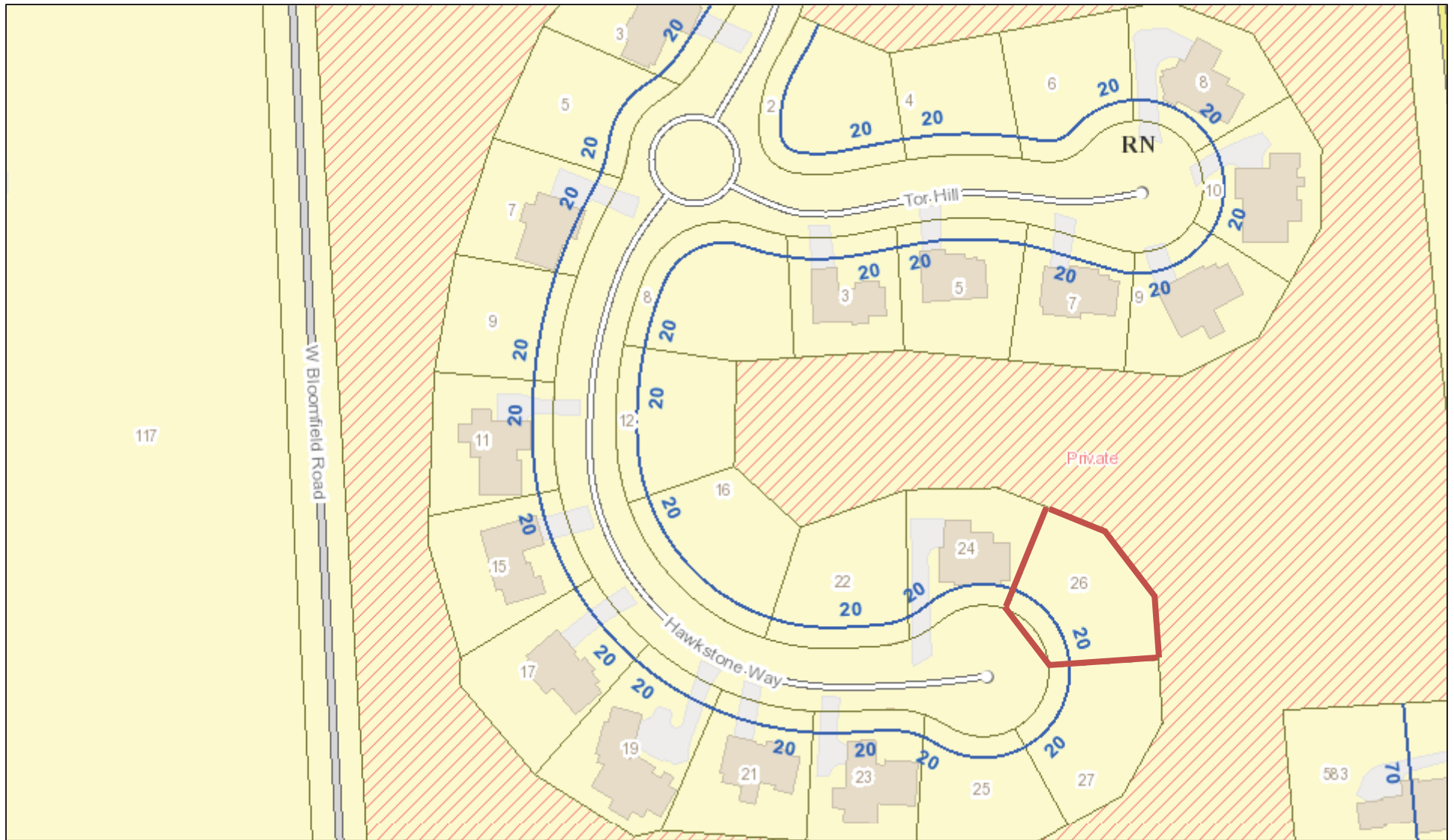
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

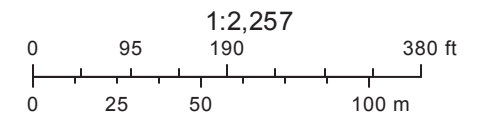
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2290 sq. ft. in the Coventry Ridge Subdivision.

Meeting Date: August 22, 2019

RN Residential Neighborhood Zoning

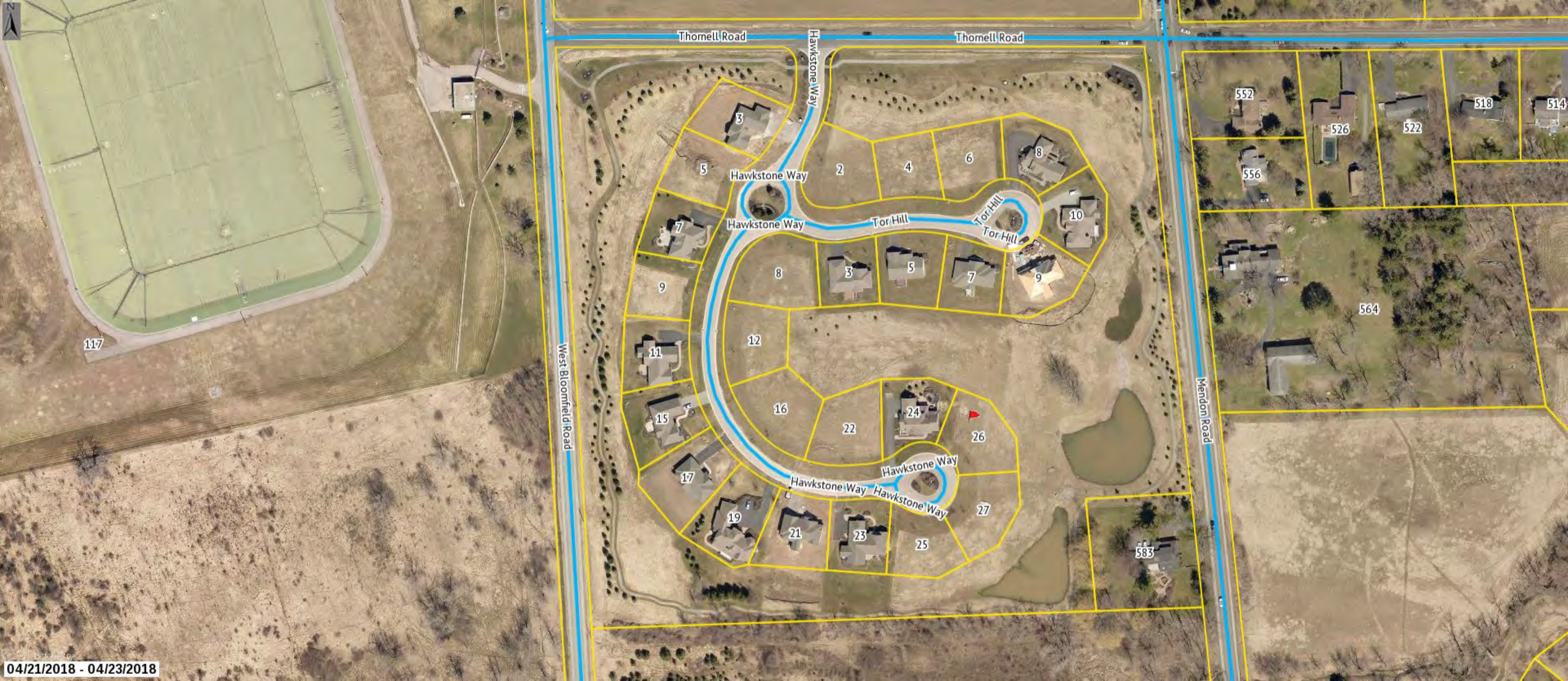


Printed August 15, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thornell Road

Thornell Road

Hawkstone Way

Hawkstone Way

Hawkstone Way

Tor Hill

Tor Hill

Tor Hill

West Bloomfield Road

Mendon Road

3

5

7

9

11

15

17

19

21

23

25

8

12

16

22

Hawkstone Way

Hawkstone Way

Hawkstone Way

Hawkstone Way

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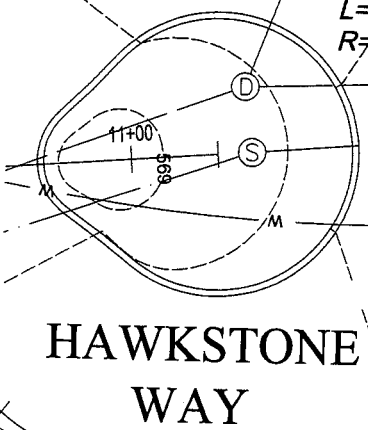
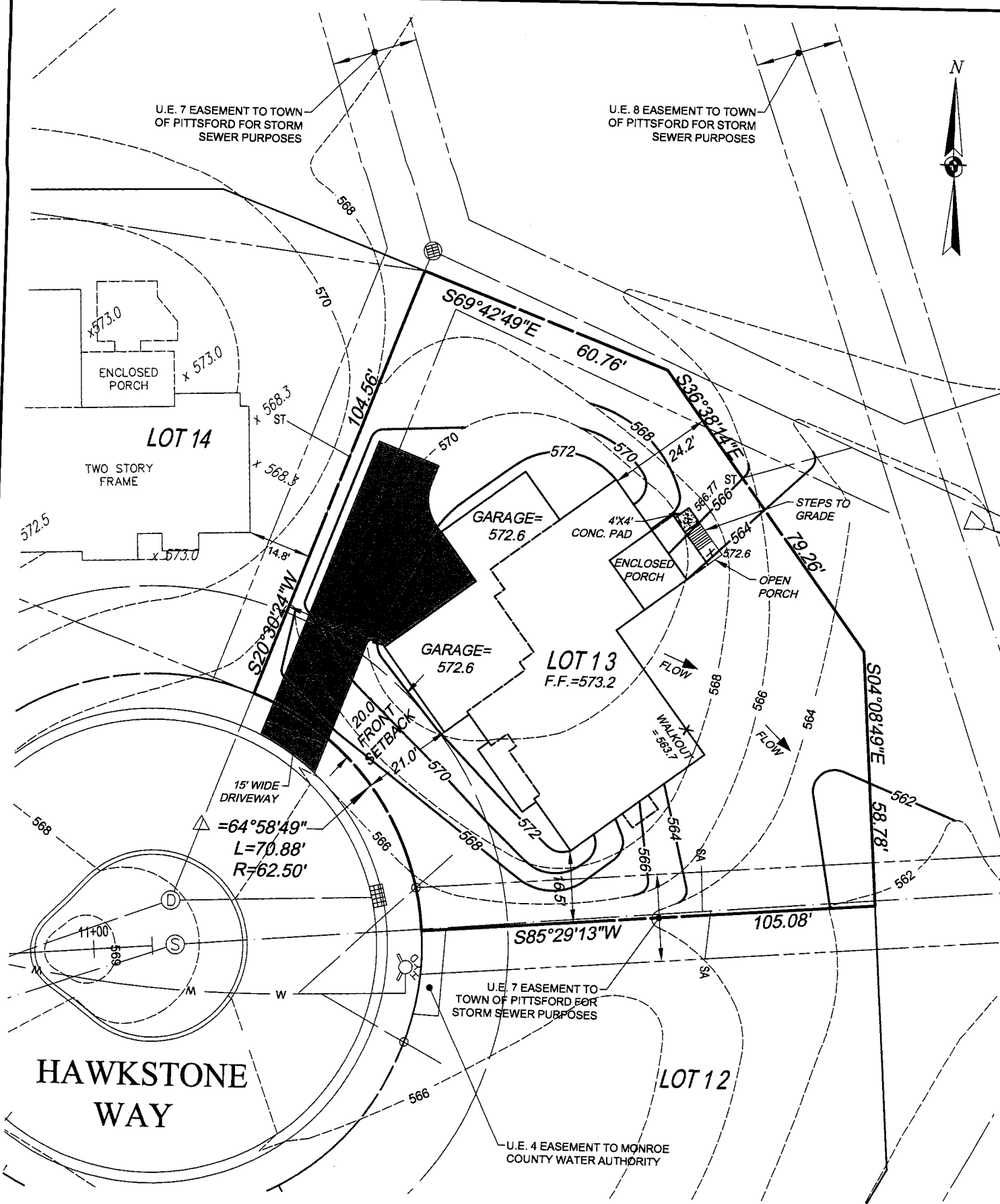
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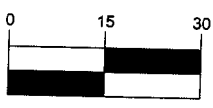


SITE DATA

PROPOSED UNDER SECTION 278

MINIMUM LOT AREA	=	11,952 SQ. FT.
MINIMUM FRONT SETBACK	=	20 FEET
FOR CORNER LOTS	=	20 FEET
MINIMUM REAR SETBACK	=	10 FEET
MINIMUM SIDE SETBACK	=	5 FEET WITH 20 FOOT MINIMUM BUILDING SEPARATION
MAXIMUM BUILDING HEIGHT	=	35 FEET AS MEASURED FROM FROM AVERAGE ELEVATION AT FRONT OF HOME

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

NOTE

CONTOURS SHOWN PER PROJECT DESIGN DRAWINGS

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, subdivision 2, of the New York State Education Law."

"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be a valid true copy."

APPROVED BY:
DWG FILE: H:\job\4219\Plot Plans\20190717_Cottages At Malvern_Lot 13_CE4219.dwg
PLOTTED: Aug 07, 2019 - 11:22AM



• CIVIL ENGINEERING
• LAND PLANNING
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217 LAKE AVENUE
ROCHESTER, NEW YORK
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PLOT PLAN

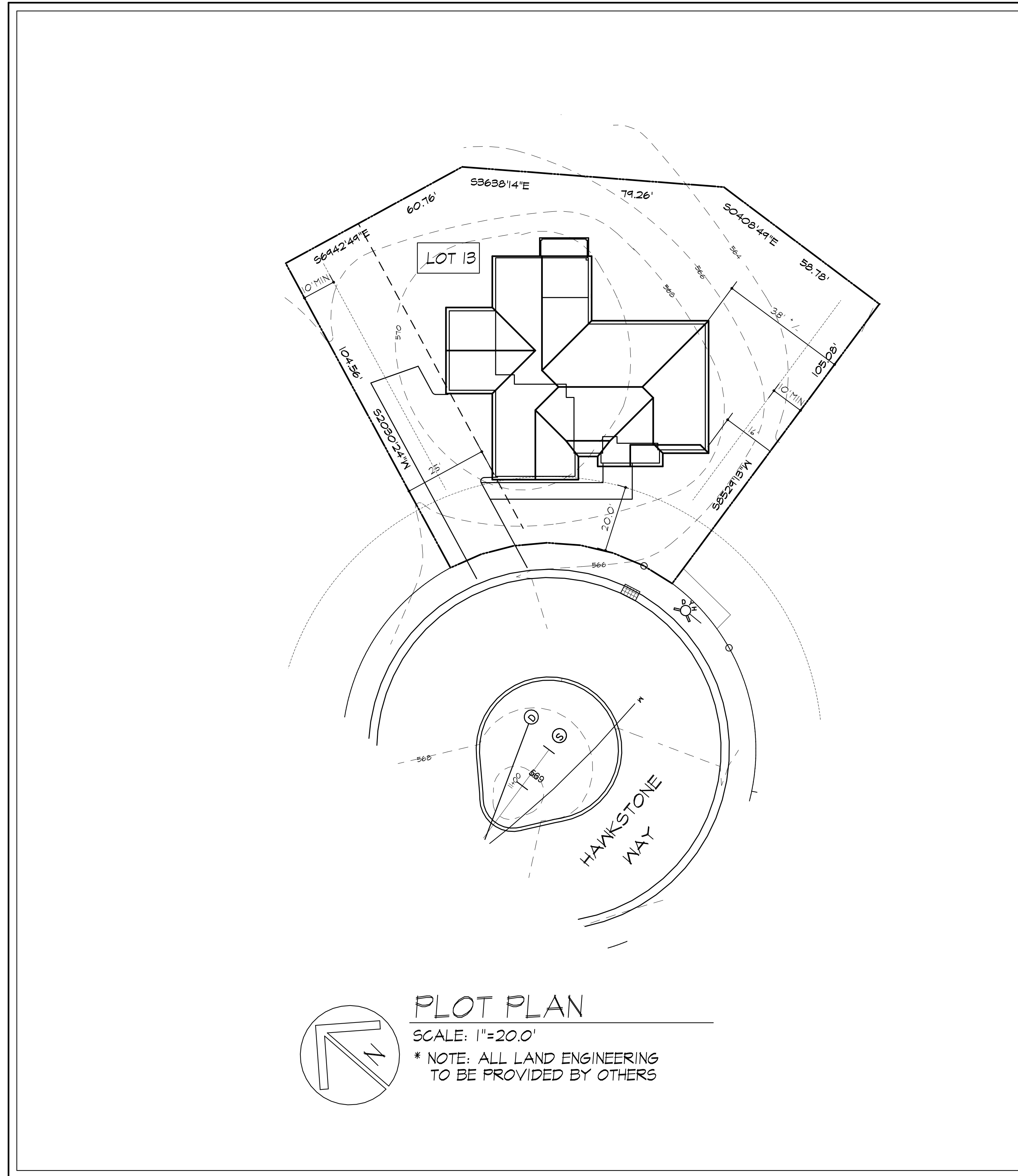
SUBDIVISION: COTTAGES AT MALVERN HILLS		LOT NUMBER: 13
TOWN: PITTSFORD	COUNTY: MONROE	STATE: NEW YORK
SCALE: 1"=30'	DATE: AUGUST 2019	DWG. NUMBER: 4219-13-PLOT

COSTICH ENGINEERING

H:\JOB\

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
3500 PSI FOOTINGS
3500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C40 N-1, WALL REINFORCING - ASTM A82, ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-35; FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 109.8 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR 'AS BUILT' DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R318.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R318.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



LAMAR RESIDENCE

LOT 13 THE COTTAGES AT MALVERN

KETMAR DEVELOPMENT CORP

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
4a	FINISHED LOWER LEVEL
5	1ST FLOOR PLAN
6	ROOF PLAN
7	BUILDING SECTIONS
8	BUILDING SECTIONS
9	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	32	30
2. CEILING R-FACTOR	44	44
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JISTS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30
6. SLAB R-VALUE & DEPTH	R-10 @ 24" DEEP	R-10 @ 24" DEEP

2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 5 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.9.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1

MORABITO ARCHITECTS
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(585) 264-1330
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www.MorabitoArchitects.com

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AUGUST 1, 2019

PROJECT:
THE COTTAGES AT MALVERN
LOT 13
LAMAR RESIDENCE

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
TITLE PAGE

DRAWN: MGM	CHECKED: PJM
----------------------	------------------------

DATE: MARCH 2019
SCALE: 1/4"=1'-0"
JOB NO.: 1918036

SHEET:
1
OF 9 SHEETS

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AUGUST 1, 2014

PROJECT:
THE COTTAGES AT MALVERN
LOT 15
LAMAR RESIDENCE

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
FRONT / LEFT SIDE ELEVATIONS

DRAWN: MCM
CHECKED: PJM

DATE: MARCH 2014

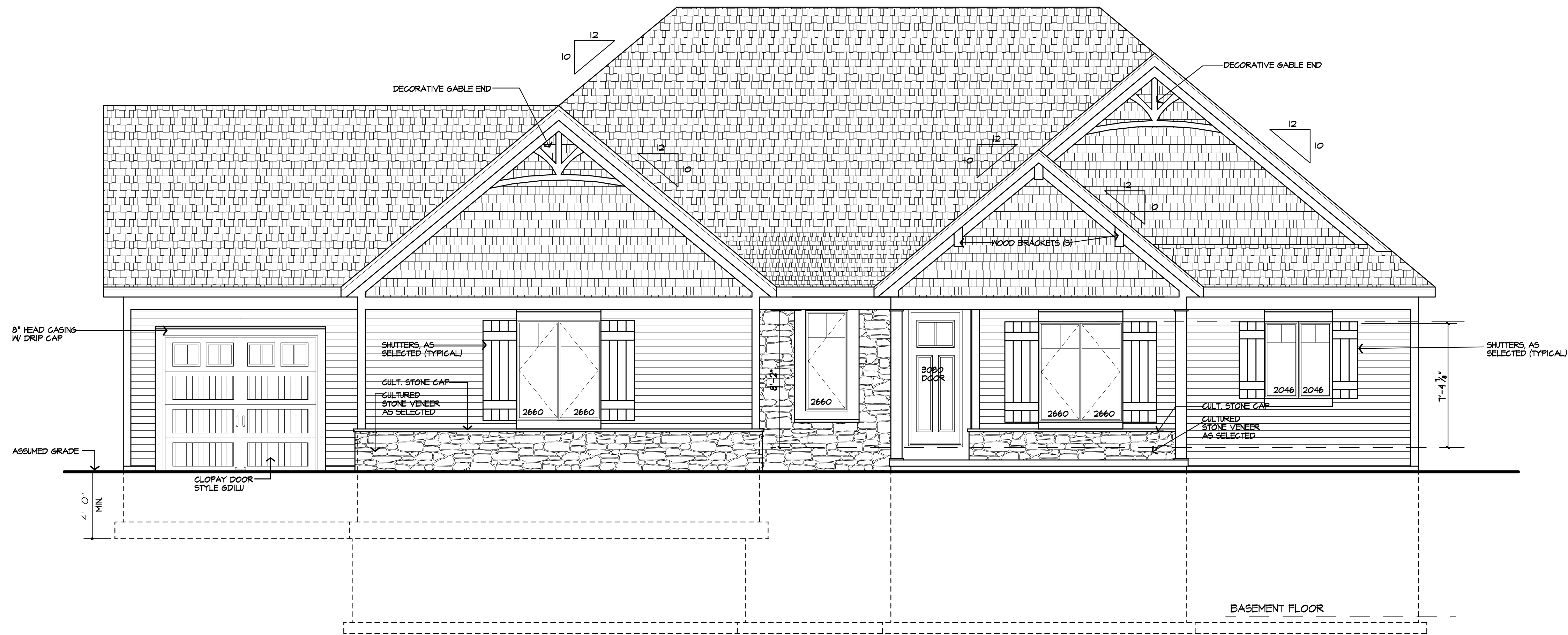
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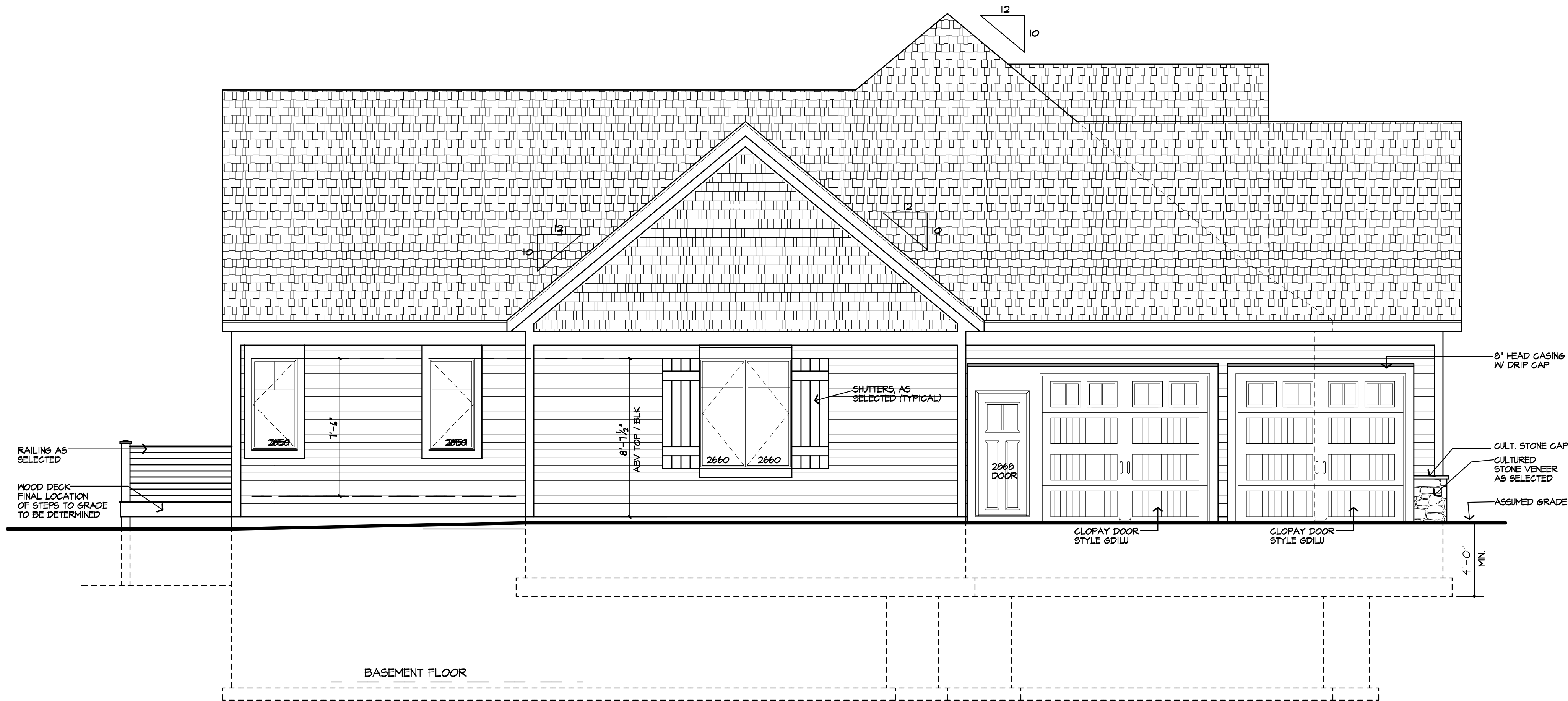
2

OF **9** SHEETS



FRONT ELEVATION - THE CHASTLETON 2

AREA: 2290 SQUARE FEET



LEFT SIDE ELEVATION

UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES

ROOF VENTING: CONTINUOUS RIDGE VENT

FASCIAS: 8"

FRIEZEBDS: 8"

CORNERBDS: 6"

CASINGS: 6"

SIDING: HORIZ, AS SELECTED

OVERHANGS: 1'-4"

RAKE OVERHANGS: 12"

MIN FTG. DEPTH: 4'-0"

CL6 HT:

1ST FLOOR: 9'-1 1/8"

WINDOW UNIT HT:

1ST FLOOR: 8'-2"

WINDOW MFR: VMD AS SELECTED (PROVIDE SAFETY GLAZING PER R308.4)

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AUGUST 1, 2019

PROJECT:
THE COTTAGES AT MALVERN
LOT 15
LAMAR RESIDENCE

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN: MGM
CHECKED: PJM

DATE: MARCH 2019

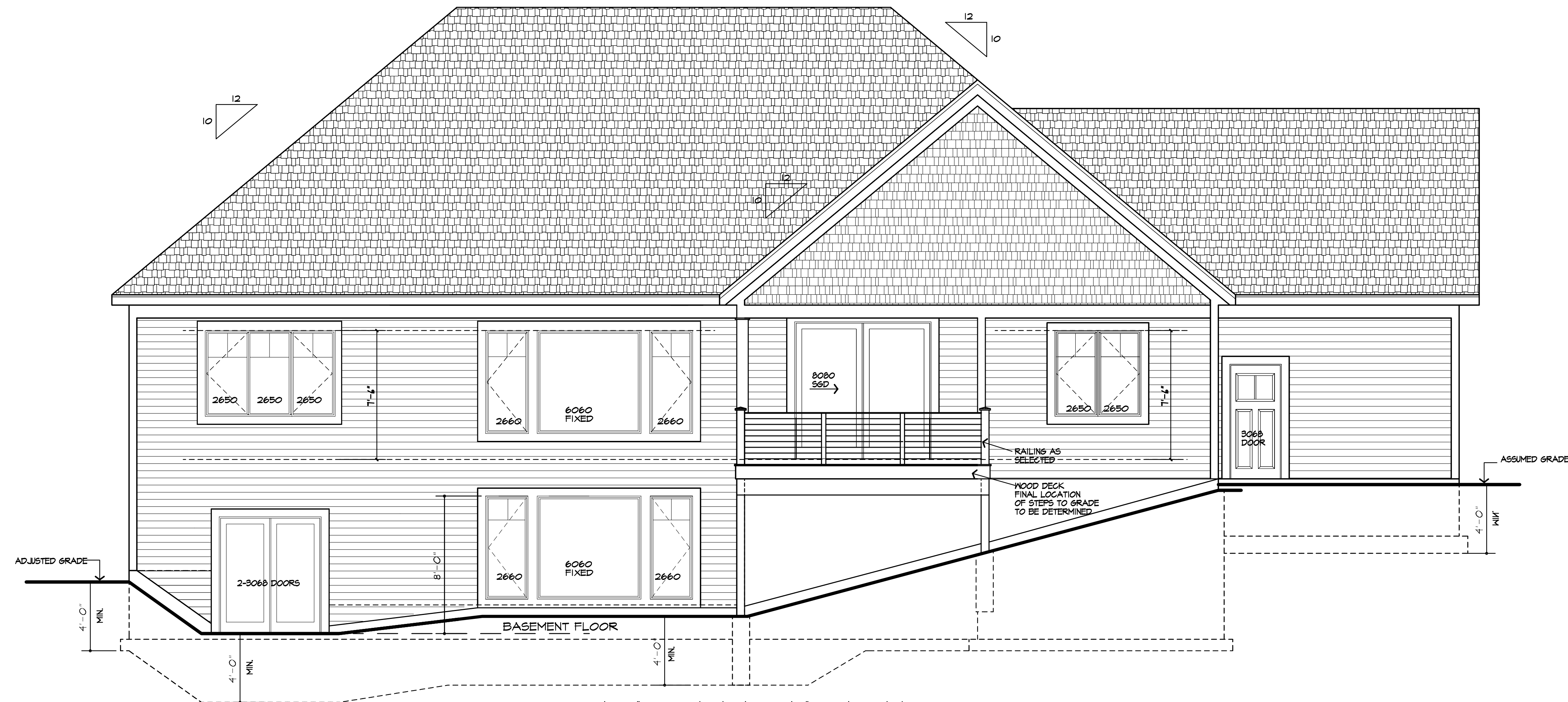
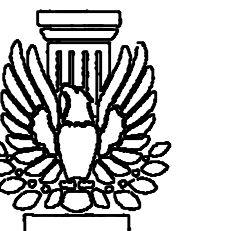
SCALE: 1/4"=1'-0"

JOB NO.: 19MB036

SHEET:

3

OF 9 SHEETS



REAR ELEVATION

UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES

ROOF VENTING: CONTINUOUS RIDGE VENT

FASCIAS: 0"

FRIEZEBDS: 0"

CORNERBDS: 6"

CASINGS: 6"

SIDING: HORIZ, AS SELECTED

OVERHANGS: 1'-4"

RAKE OVERHANGS: 12"

MIN FTG. DEPTH: 4'-0"

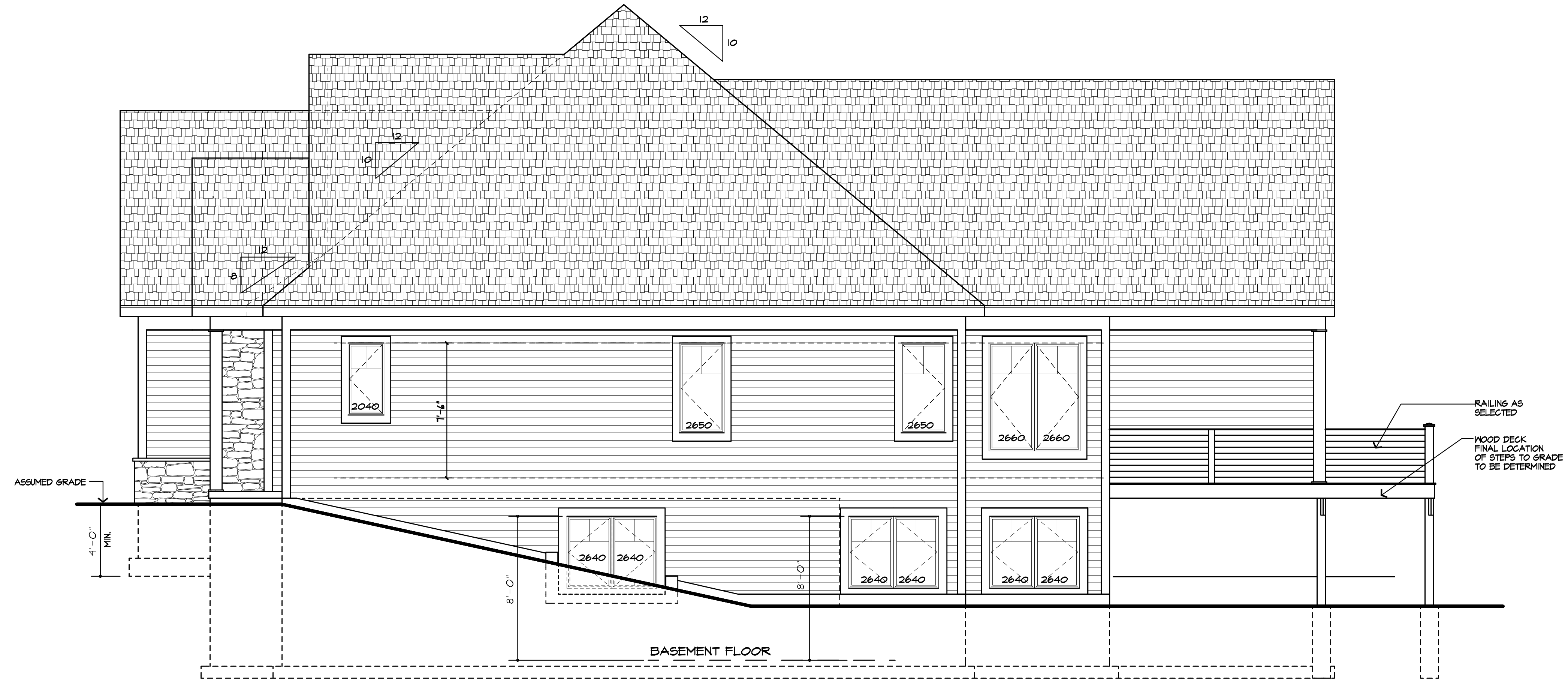
CLG HT:

1ST FLOOR: 9'-1 1/8"

WINDOW UNIT HT:

1ST FLOOR: 7'-6"

WINDOW MFR: VMD AS SELECTED
(PROVIDE SAFETY GLAZING PER R308.4)



RIGHT SIDE ELEVATION

TABLE R404.1.(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 7.5 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		SM, 6P, SM AND SP SOILS 30	SM, SC, SM, SH-SC AND H SOILS 45	SC, M-C, CL AND INORGANIC CL SOILS 60
6'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
7'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.

FOR SI: 1 INCH = 25.4 MM | FOOT = 304.8 MM | POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM

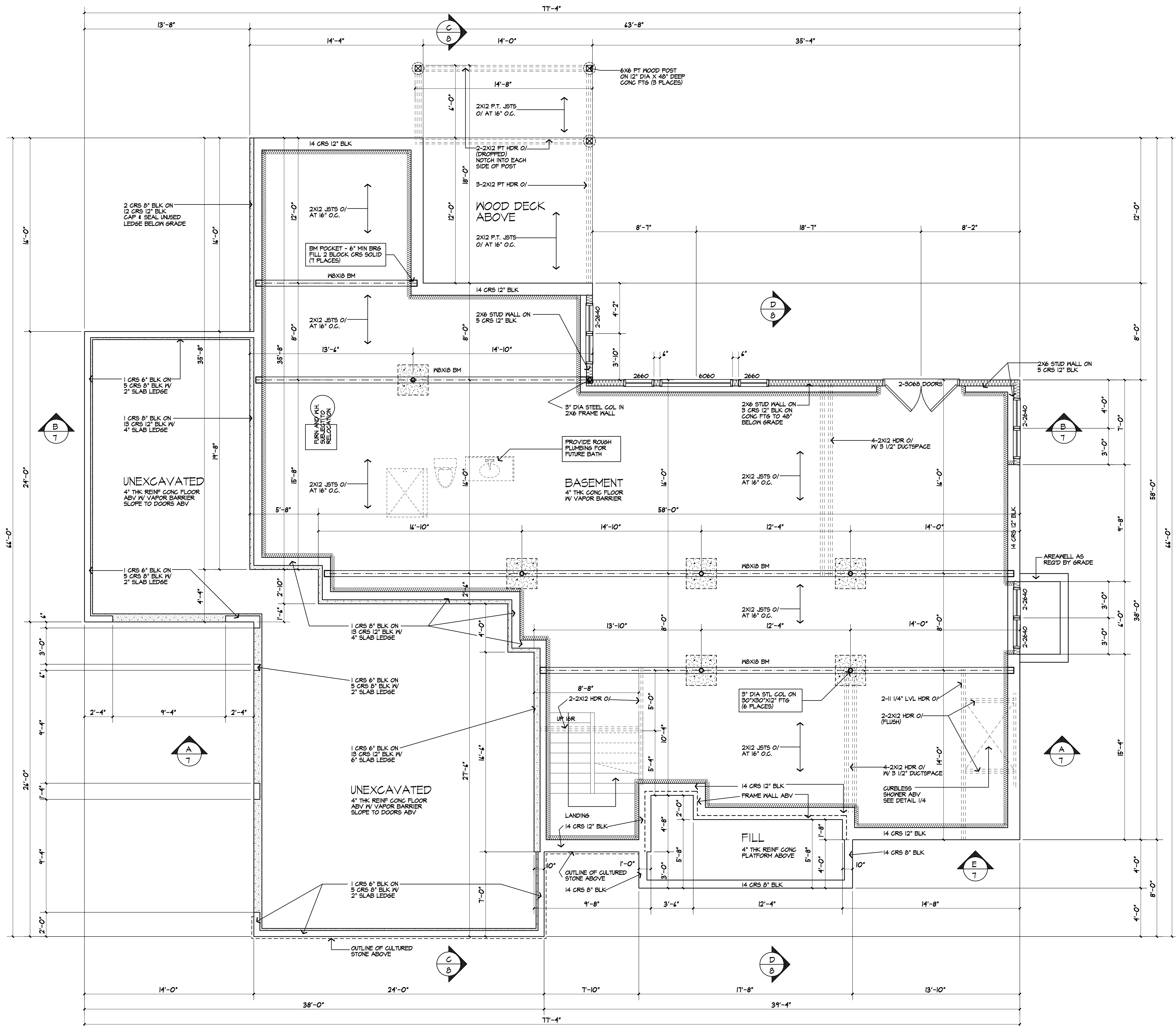
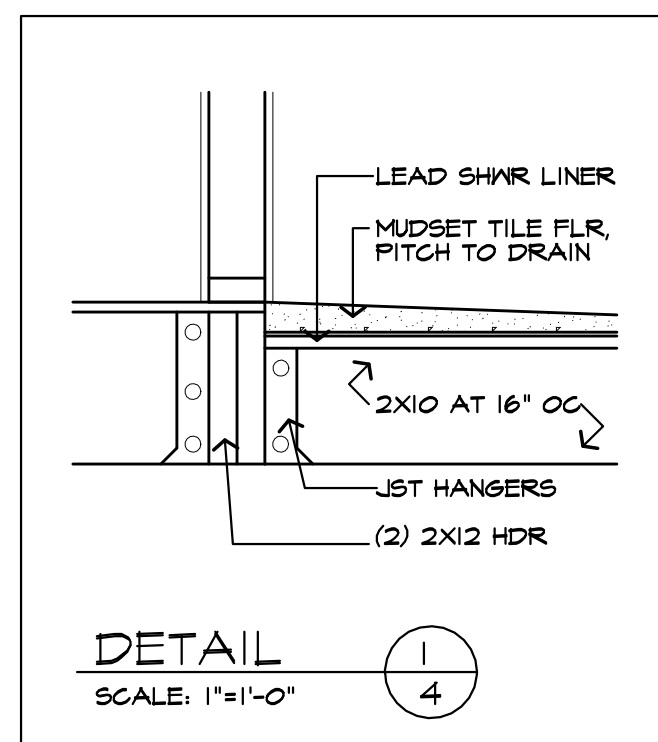
- MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.
- VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75 INCHES.
- SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R403.1.
- UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

STEPPED FOOTING NOTE:

R403.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)

NOTES:

- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
SIZES: 8" BLK - 16" WIDE X 8" THK.
12" BLK - 20" WIDE X 8" THK.
(GARAGE) 8" BLK - 16" WIDE X 12" THK.
- MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.
FLOOR SLABS: 2500 P.S.I.
PORCH: 2500 P.S.I.
GARAGE: 3500 P.S.I.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
- PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
- ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
- PROVIDE VERTICAL REINFORCING PER TABLE R404.1.1 (2015 IRC)



BASEMENT AND FOUNDATION PLAN

14 CRS 12" BLOCK / ALTERNATE FOUNDATION: 8" THICK X 9'-4" HIGH POURED CONCRETE



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AUGUST 1, 2019

PROJECT:
THE COTTAGES AT MALVERN
LOT 15
LAMAR RESIDENCE

CLIENT:
KETHMAR DEVELOPMENT CORP

DRAWING:
BASEMENT / FOUNDATION PLAN

DRAWN: M&M
CHECKED: PJM

DATE: MARCH 2019

SCALE: 1/4"=1'-0"

JOB NO.: 1918036

SHEET:

4

OF 9 SHEETS



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AUGUST 1, 2018

PROJECT:
THE COTTAGES AT MALVERN
LOT 15
LAMAR RESIDENCE

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
FINISHED BASEMENT PLAN

DRAWN: MJM
CHECKED: PJM

DATE: MARCH 2018

SCALE: 1/4"=1'-0"

JOB NO.: 18-0036

SHEET:

4a

OF 9 SHEETS

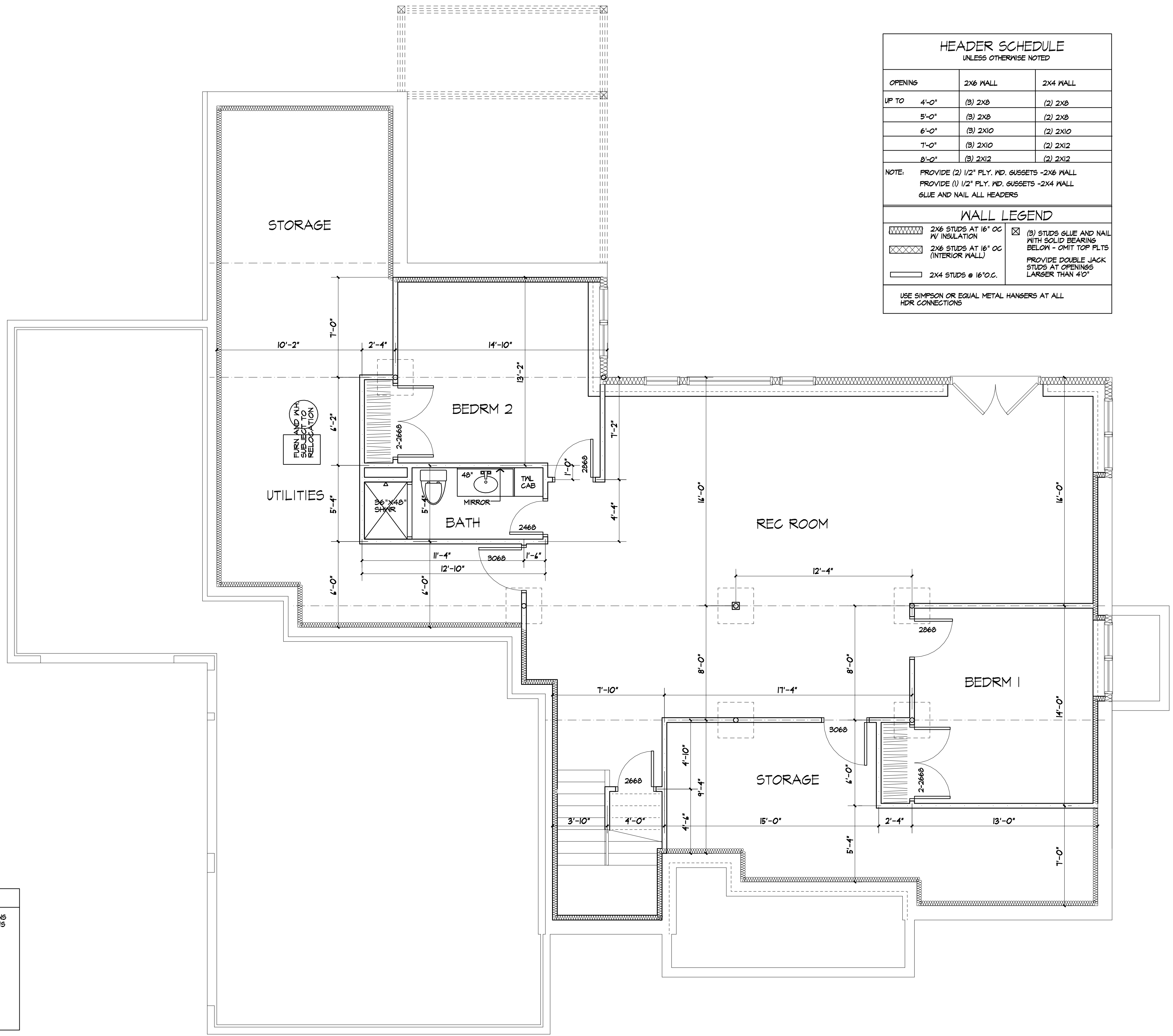


HEADER SCHEDULE UNLESS OTHERWISE NOTED		
OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. MD. GUSSETS -2X6 WALL
PROVIDE (1) 1/2" PLY. MD. GUSSETS -2X4 WALL
GLUE AND NAIL ALL HEADERS

WALL LEGEND	
	2X6 STUDS AT 16' O.C. W/ INSULATION
	2X6 STUDS AT 16' O.C. (INTERIOR WALL)
	2X4 STUDS @ 16' O.C.
	(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP PLTS
	PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS



WINDOW FALL PROTECTION
R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS
IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES
WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING
R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS
GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
EXCEPTIONS:
1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
2. DECORATIVE GLAZING

R308.4.1.1 GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS
GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
EXCEPTION:
THE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE PLANE OF THE GLASS IS MORE THAN 18" FROM THE GUARD

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

PER F18.2(1) & R314.3
LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

FIRE PROTECTION REQUIREMENTS PER R302.13

1/2" GYPSUM BOARD OR 5/8" THK STRUCTURAL PANEL APPLIED TO BOTTOM OF I-JOISTS. PENETRATIONS FOR DUCTWORK, PLUMBING OR ELECTRICAL OR OTHER SIMILAR PENETRATIONS ARE PERMITTED BY THIS CODE SECTION. APPLIED OVER ENGINEERED FLOOR JOISTS (I-JOISTS)

EXCEPTIONS:
1. FLOOR ASSEMBLIES LOCATED OVER BASEMENT PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH SECTION 2404 (2015 IRC) OR NFPA 13B
2. FLOOR ASSEMBLY IS DIMENSIONAL LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN NOMINAL 2X 10 SIZE.
ALTERNATE FIRST FLOOR JOISTS: 2X 12 AT 16' O.C. 1 3/4" X 11 7/8" LSL AT 16' O.C.
3. I JOISTS ARE PROVIDED WITH AN APPROVED COATING THAT DEMONSTRATES EQUIVALENT FIRE PROTECTION PERFORMANCE.

LOWER LEVEL PLAN
FINISHED AREA: 1288 SQ FT

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

PER 905.2.3.1.1 & 904.9
 LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

905.3 REQUIRED LOCATIONS: CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA. WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

FIRE SEPARATION REQUIREMENTS

WHERE PARTITIONS ARE USED TO SEPARATE AN ATTACHED GARAGE FROM A LIVING SPACE OR ITS ATTIC, THE PARTITION ASSEMBLY SHALL HAVE A 3/4-HOUR FIRE-RESISTANCE RATING.

IN LIEU OF PROVIDING PARTITIONS THAT HAVE A 3/4-HOUR FIRE-RESISTANCE RATING, ONE LAYER OF 5/8-INCH THICK, TYPE-X GYPSUM BOARD MAY BE INSTALLED ON THE GARAGE SIDE AND ONE LAYER OF 1/2-INCH TYPE-X GYPSUM BOARD MAY BE INSTALLED ON THE OPPOSITE SIDE. WHERE HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM THE LIVING SPACE OR ITS ATTIC, SUCH CONSTRUCTION SHALL BE PROTECTED WITH ONE LAYER OF 5/8-INCH THICK, TYPE-X GYPSUM BOARD, INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R802.1. OPENINGS IN HORIZONTAL SEPARATIONS SHALL NOT BE PERMITTED EXCEPT WHERE THE RESIDENCE IS OTHERWISE PROTECTED BY VERTICAL SEPARATIONS. WHERE THE HORIZONTAL SEPARATION IS A FLOOR-CEILING ASSEMBLY, STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8-INCH (58.81 MM) TYPE-X GYPSUM BOARD OR EQUIVALENT.

GAS F.P. NOTE:

TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.

PLUMBING NOTE:

THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS.

WINDOW FALL PROTECTION

R312.2 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.

R312.2.1 WINDOW SILLS IN DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GARAGE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES, WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING

R308 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308.

R308.4.1 GLAZING IN DOORS GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTIONS:

1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS.
2. DECORATIVE GLAZING.

R308.4.1.1 GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDINGS AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTION:

THE GLAZING IS PROTECTED BY A GUARD COMPLYING WITH SECTION R312 AND THE PLANE OF THE GLASS IS MORE THAN 18" FROM THE GUARD.

HEADER SCHEDULE

UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

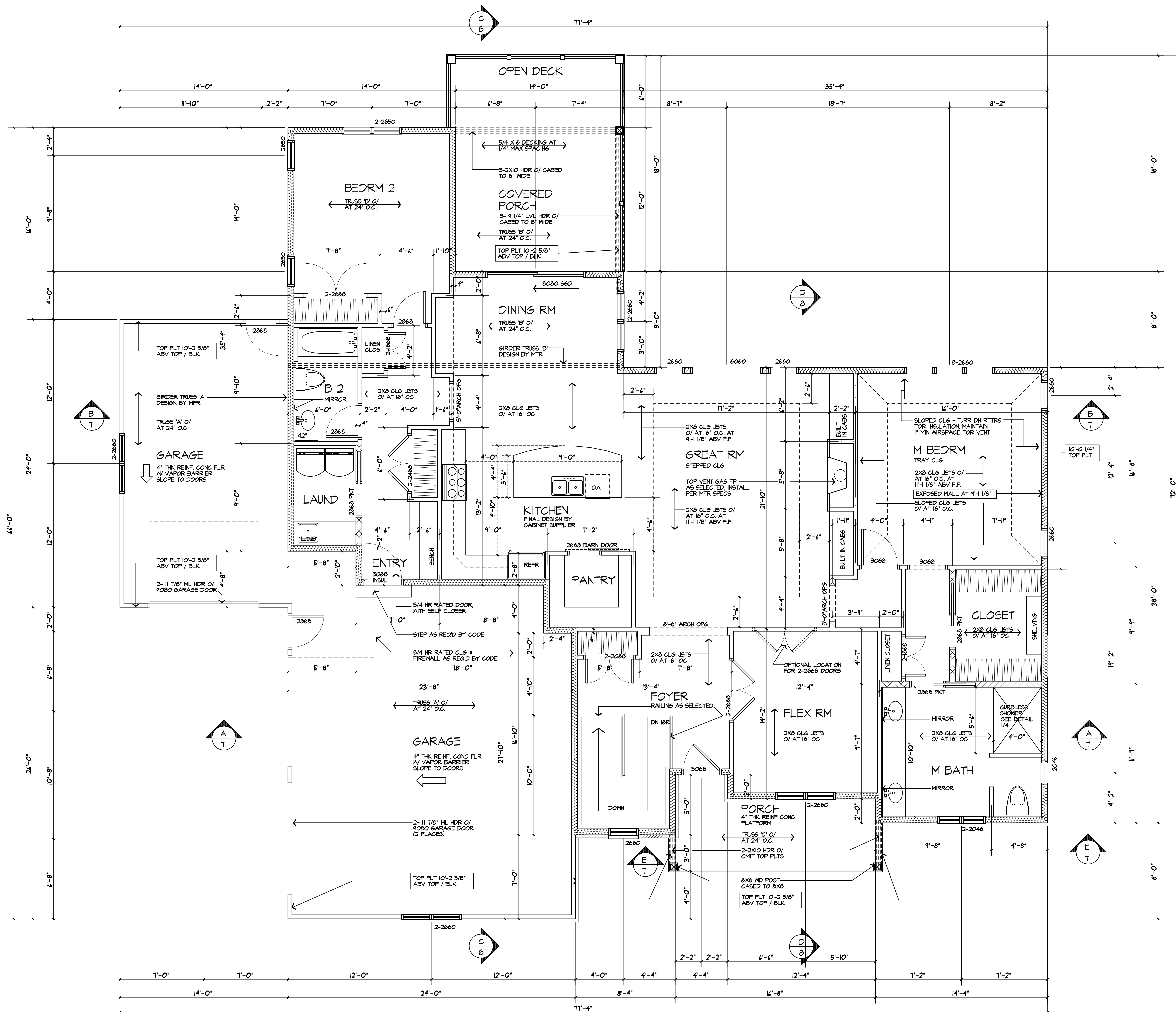
NOTE: PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 WALL
 PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 WALL
 GLUE AND NAIL ALL HEADERS

WALL LEGEND

	2X6 STUDS AT 16" O.C. W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARINGS BELOW - OMIT TOP PLTS
	2X6 STUDS AT 16" O.C. (INTERIOR WALL)		PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 40"
	2X4 STUDS @ 16" O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R807.1. LOCATION TO BE DETERMINED BY BUILDER/OWNER



FIRST FLOOR PLAN

AREA: 2290 SQUARE FEET



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AUGUST 1, 2019

PROJECT: THE COTTAGES AT MALVERN LOT 15 LAMAR RESIDENCE

CLIENT: KETMAR DEVELOPMENT CORP

DRAWING: 1ST FLOOR PLAN

DRAWN: M&M CHECKED: PJM

DATE: MARCH 2019

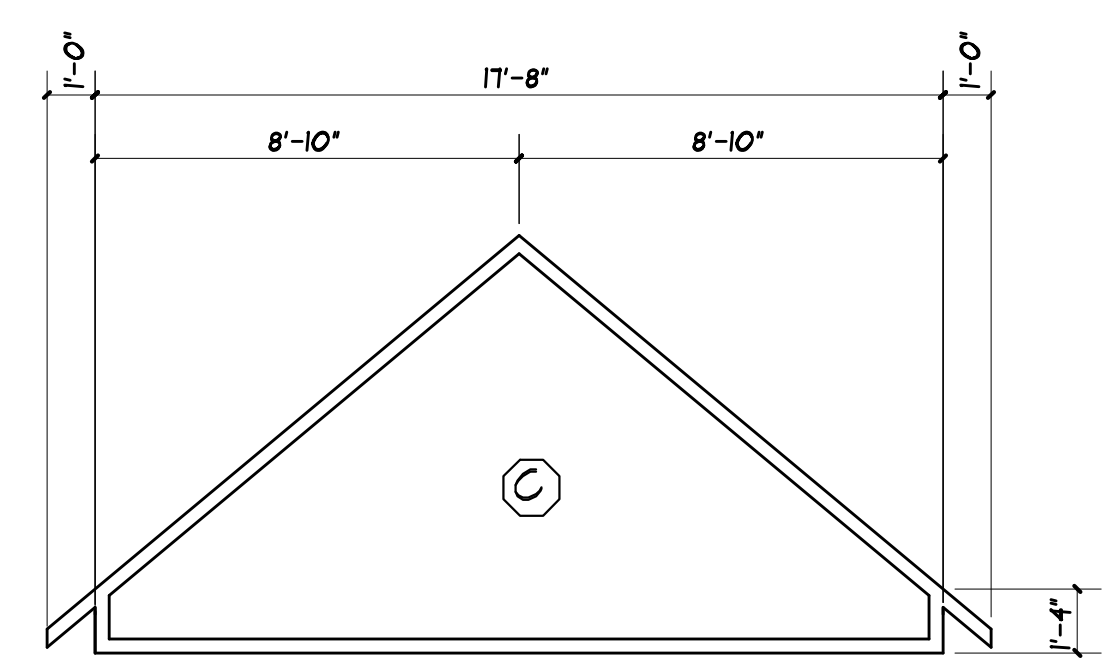
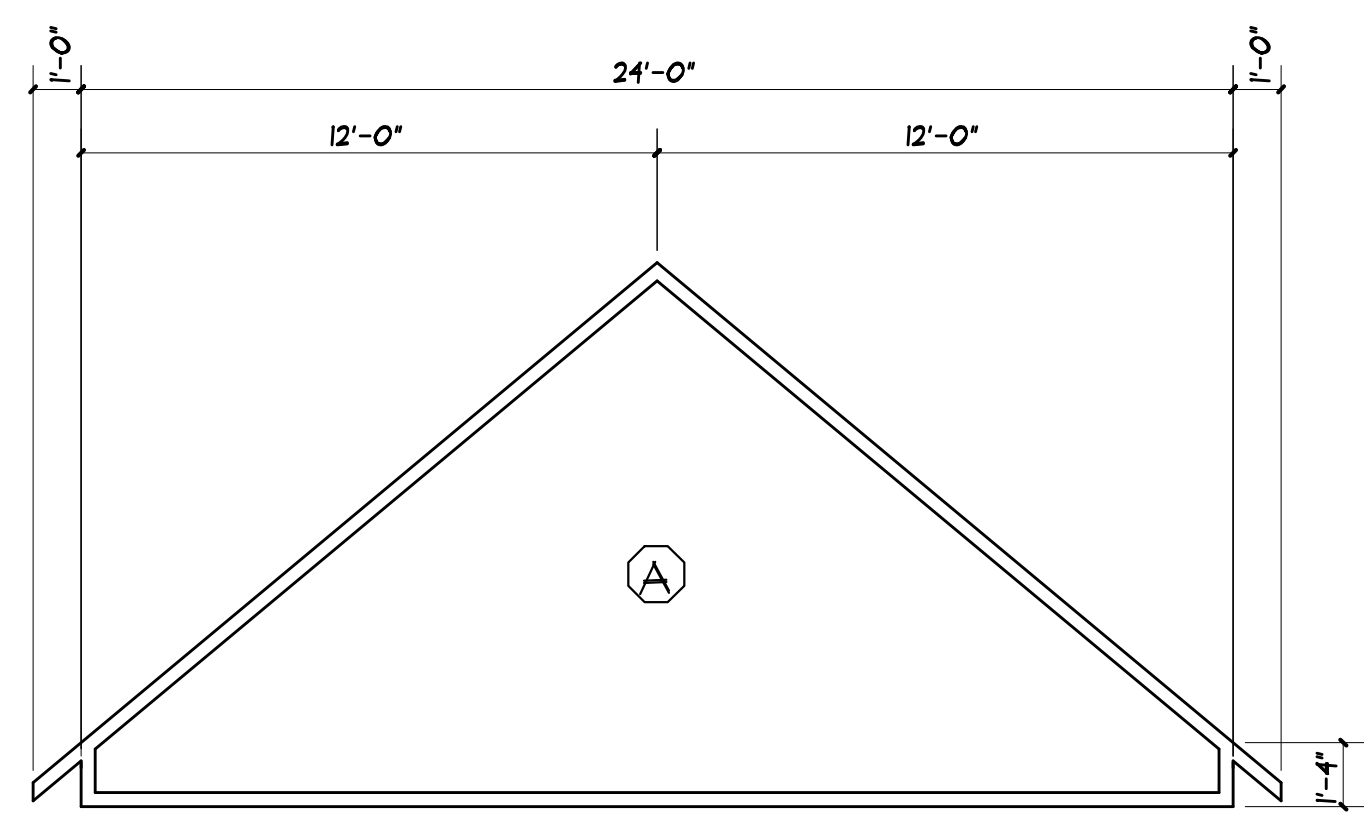
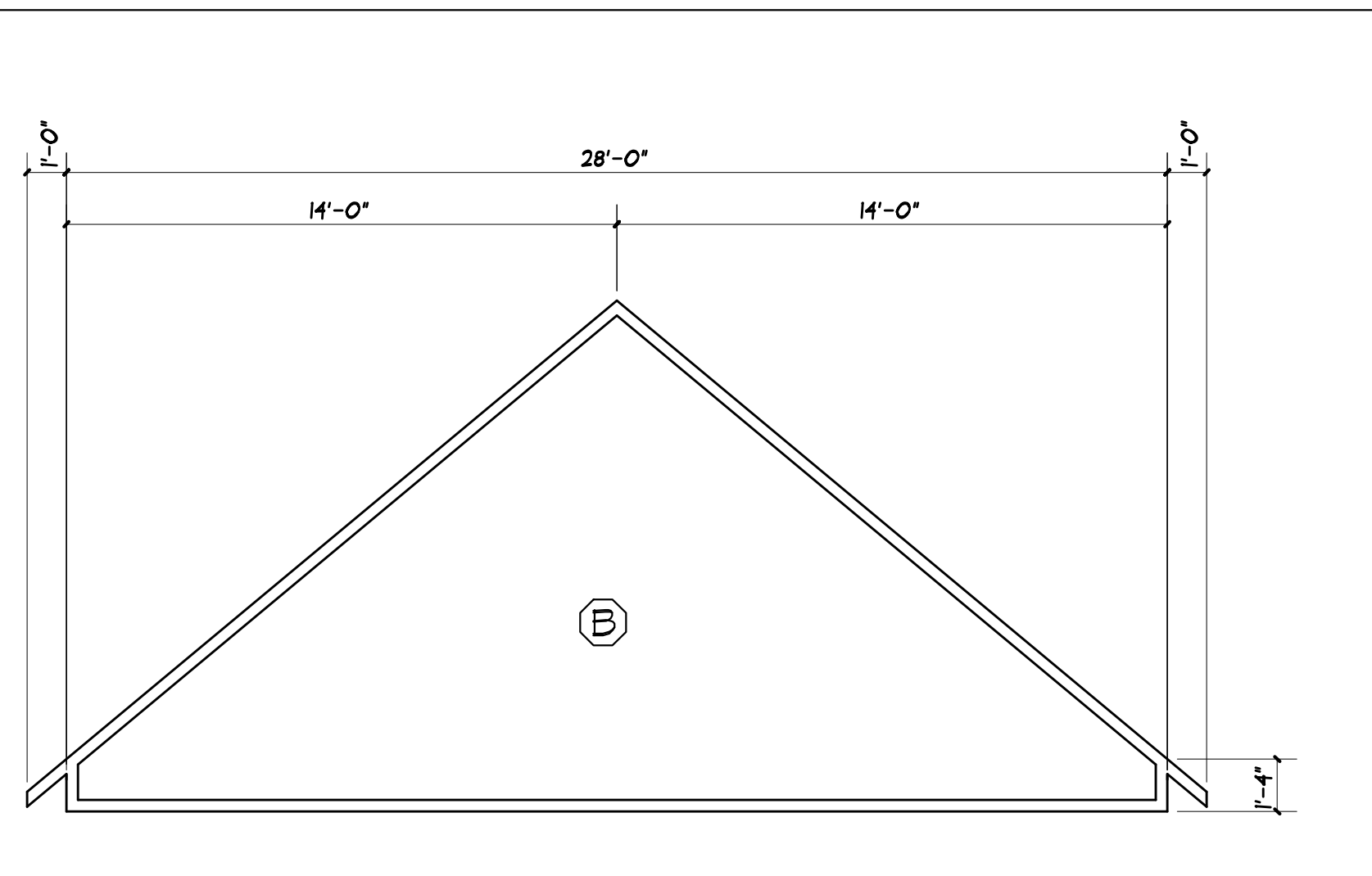
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JOB NO.: 19-0036

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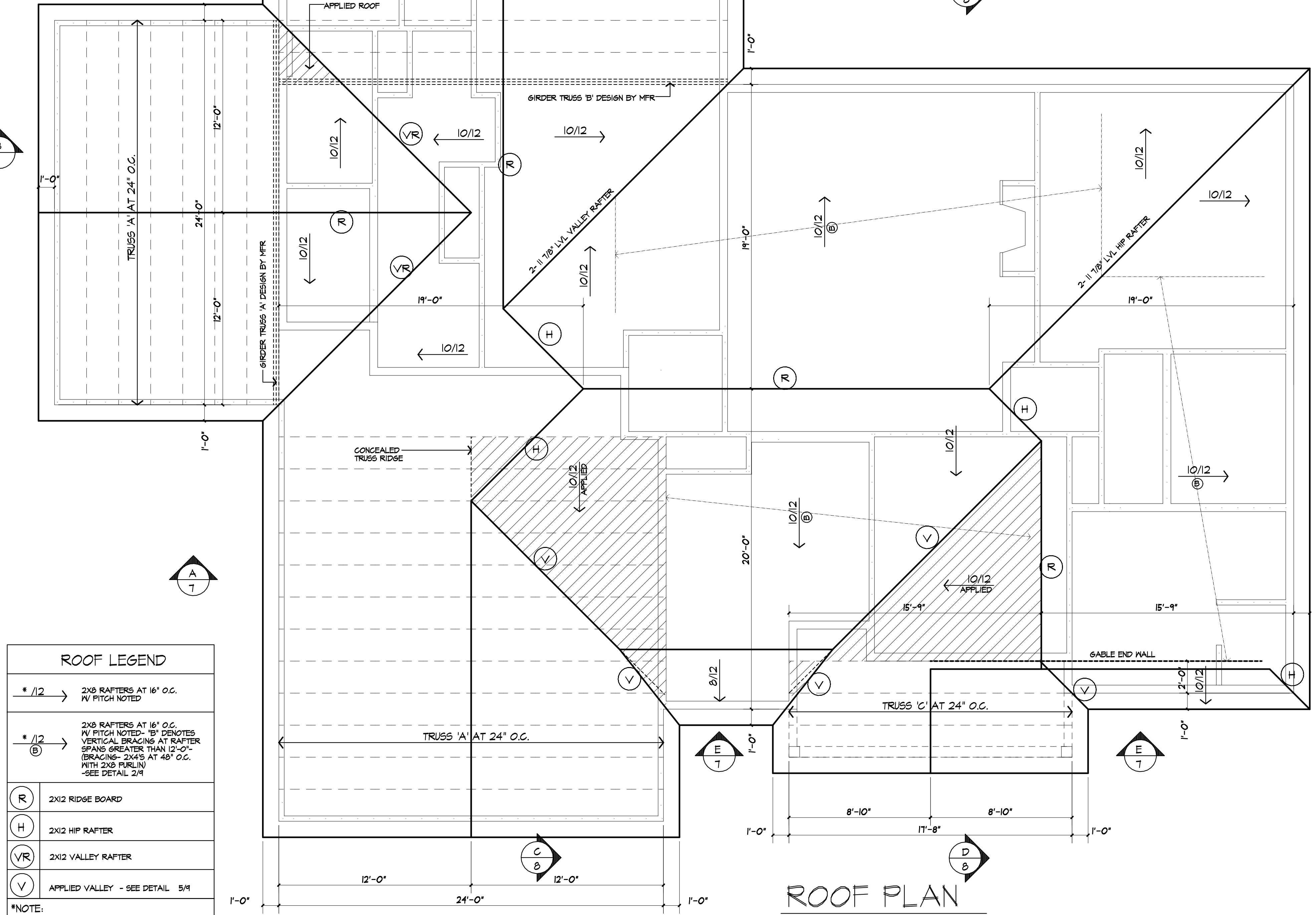
5 OF 9 SHEETS



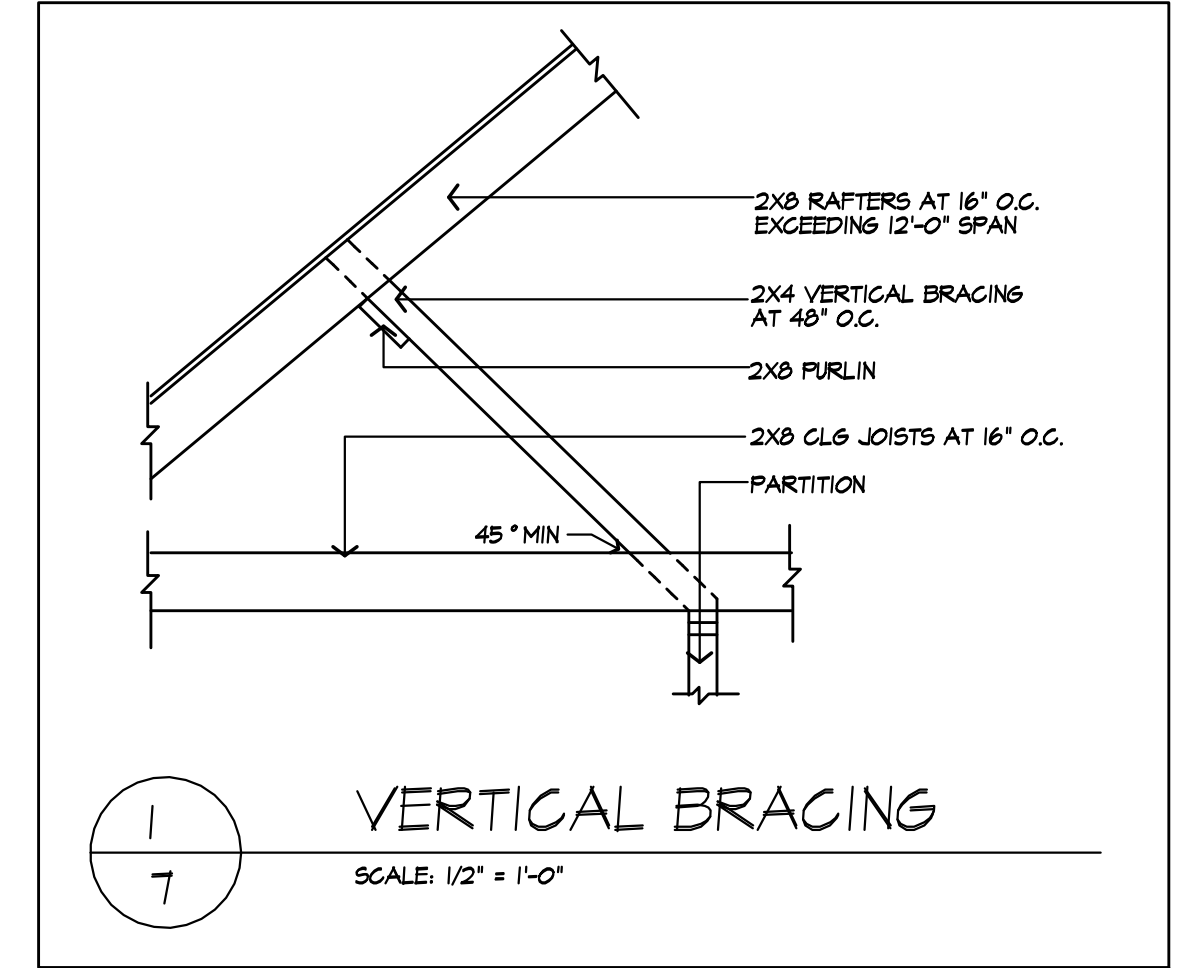


TRUSS DIAGRAMS

FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION



ROOF LEGEND	
* /12	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED
* /12 B	2x8 RAFTERS AT 16' O.C. W/ PITCH NOTED- 'B' DENOTES VERTICAL BRACING AT RAFTER SPANS GREATER THAN 12'-0". (BRACING- 2x4'S AT 48' O.C. WITH 2x8 PURLIN) -SEE DETAIL 2/4
R	2x12 RIDGE BOARD
H	2x12 HIP RAFTER
VR	2x12 VALLEY RAFTER
V	APPLIED VALLEY - SEE DETAIL 5/4
*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.1 (RESIDENTIAL CODE OF NEW YORK)	



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AUGUST 1, 2019

PROJECT:
THE GOTTAGES AT MALVERN
LOT 15
LAMAR RESIDENCE

CLIENT:
KETMAR DEVELOPMENT CORP

DRAWING:
ROOF PLAN

DRAWN: M6M
CHECKED: PJM

DATE: MARCH 2019

SCALE: 1/4"=1'-0"

JOB NO.: 1918036

SHEET:

6
OF 9 SHEETS



NOTICE:

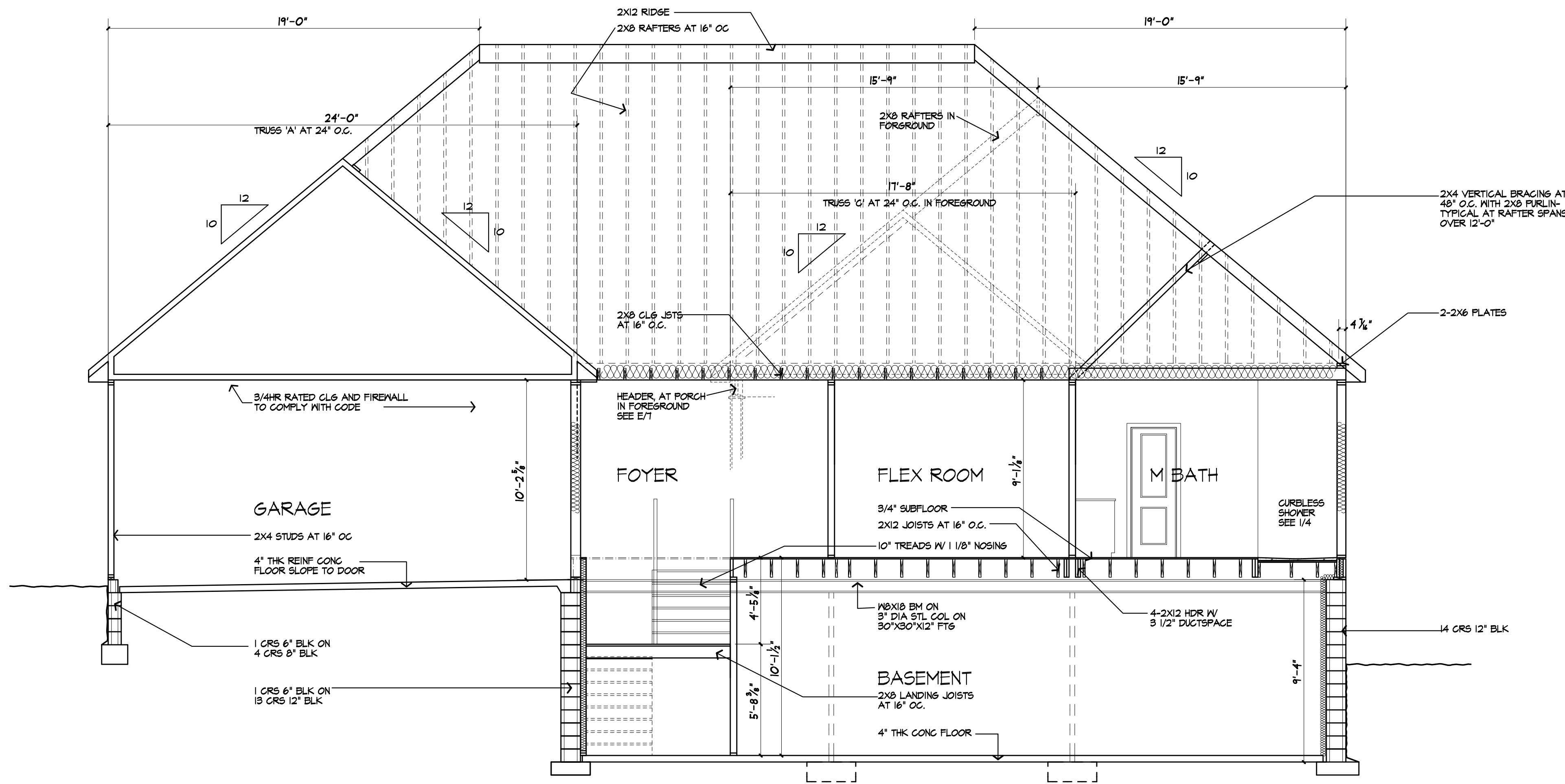
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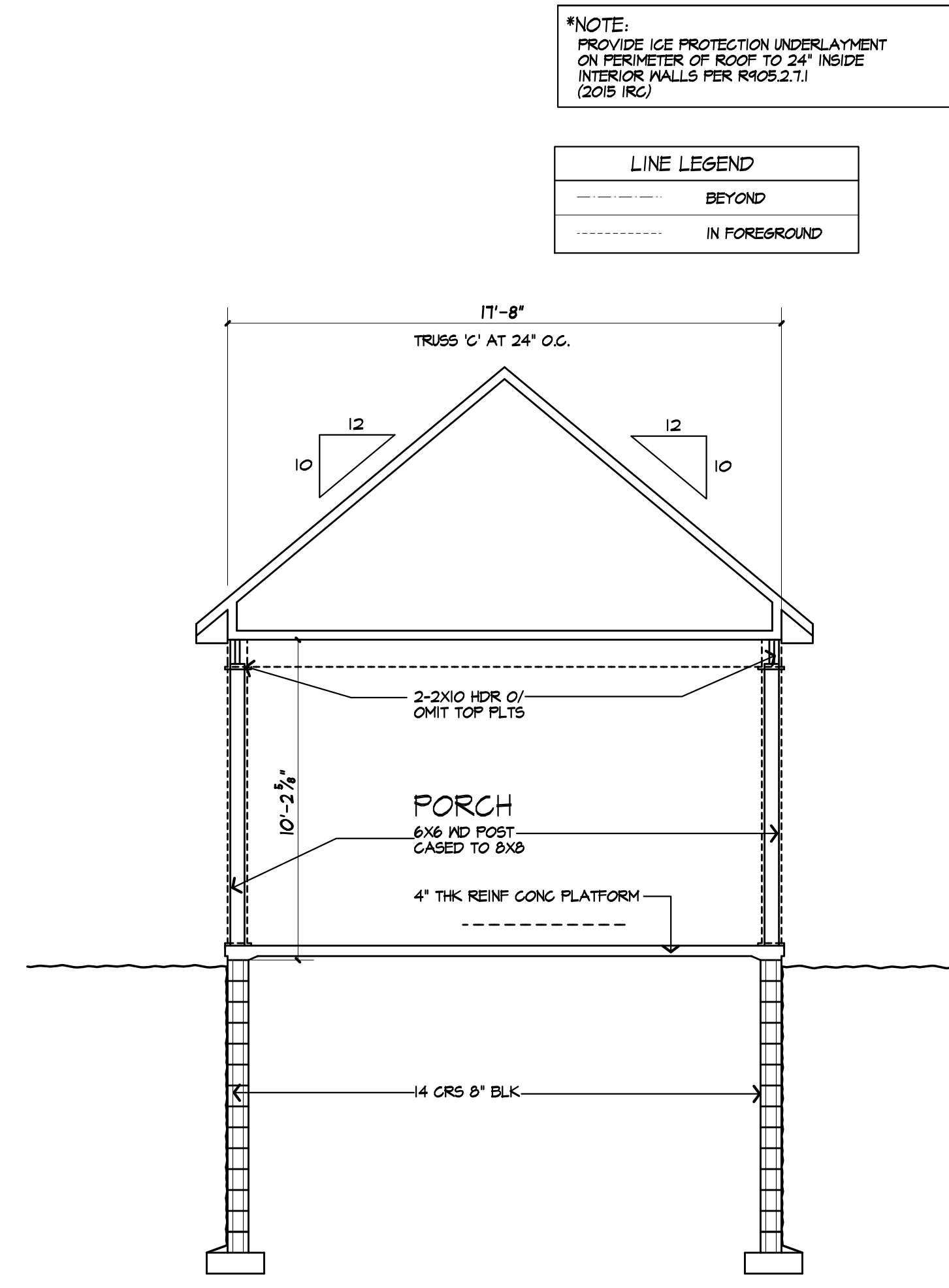
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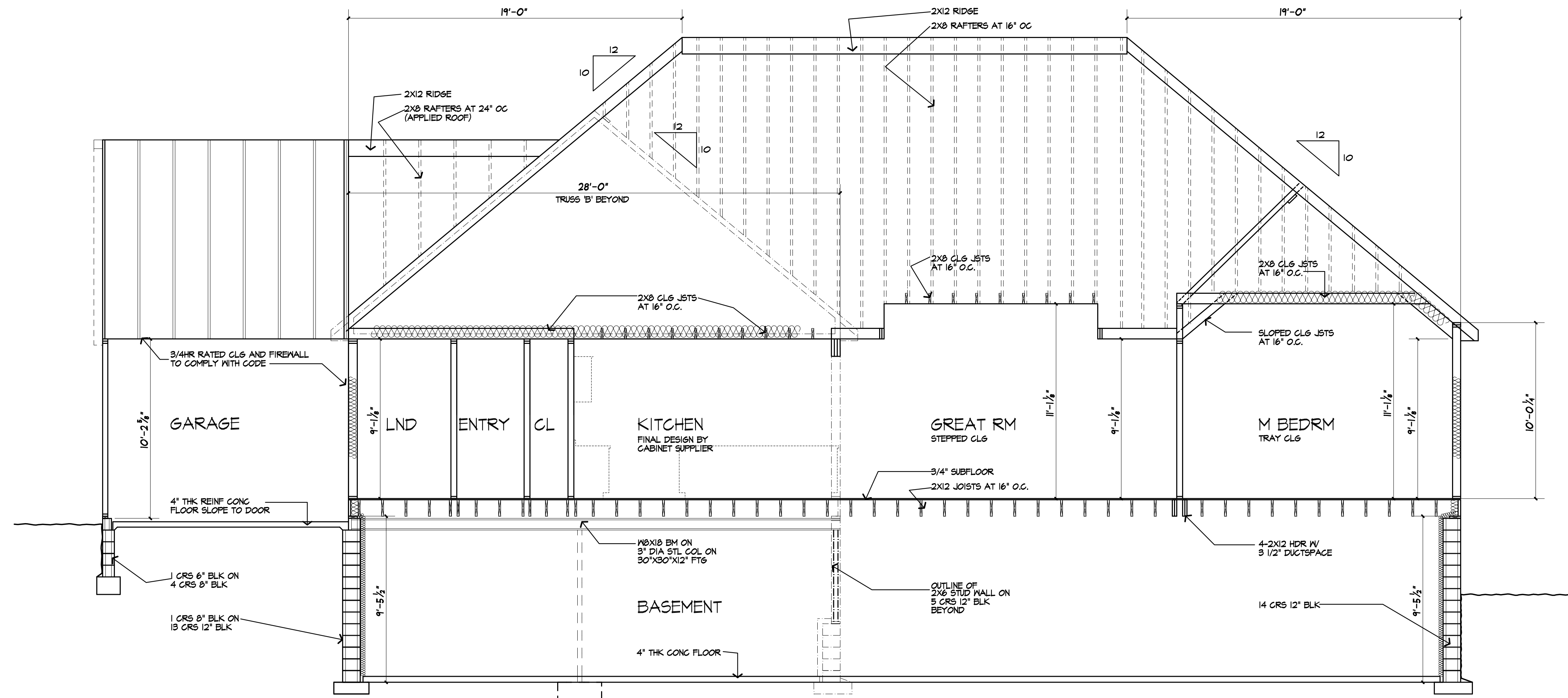
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SECTION A



SECTION E



SECTION B

*NOTE:
 PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R105.2.1 (2015 IRC)

LINE LEGEND	
---	BEYOND
----	IN FOREGROUND

AUGUST 1, 2019

PROJECT:
 THE COTTAGES AT MALVERN
 LOT 15
 LAMAR RESIDENCE

CLIENT:
 KETMAR DEVELOPMENT CORP

DRAWING:
 BUILDING SECTIONS

DRAWN: M&M
 CHECKED: PJM

DATE: MARCH 2019

SCALE: 1/4"=1'-0"

JOB NO.: 19MB036

SHEET:

7
 OF 9 SHEETS



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AUGUST 1, 2019

PROJECT:
 THE COTTAGES AT MALVERN
 LOT 15
 LAMAR RESIDENCE

CLIENT:
 KETMAR DEVELOPMENT CORP

DRAWING:
 BUILDING SECTIONS

DRAWN: M&M
CHECKED: PJM

DATE: MARCH 2019

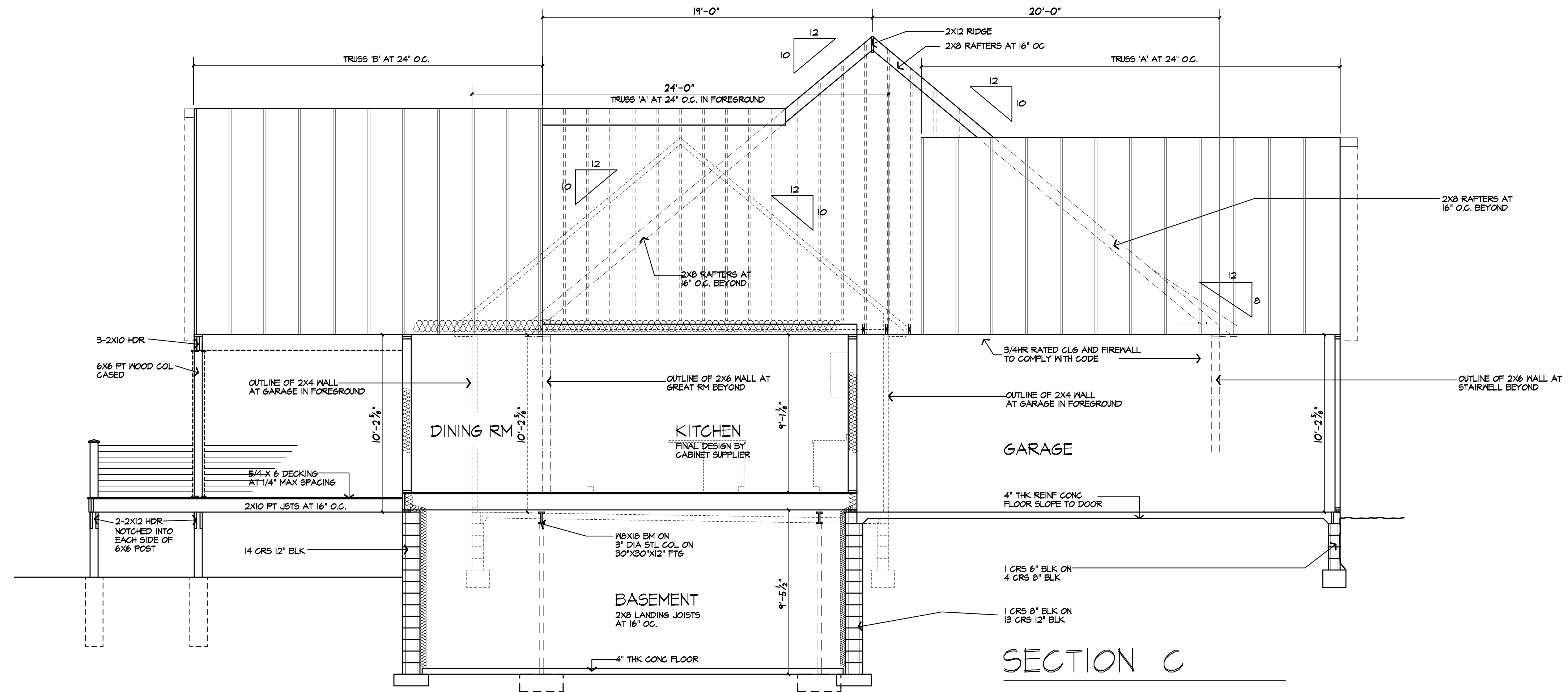
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JOB NO.: 19MB036

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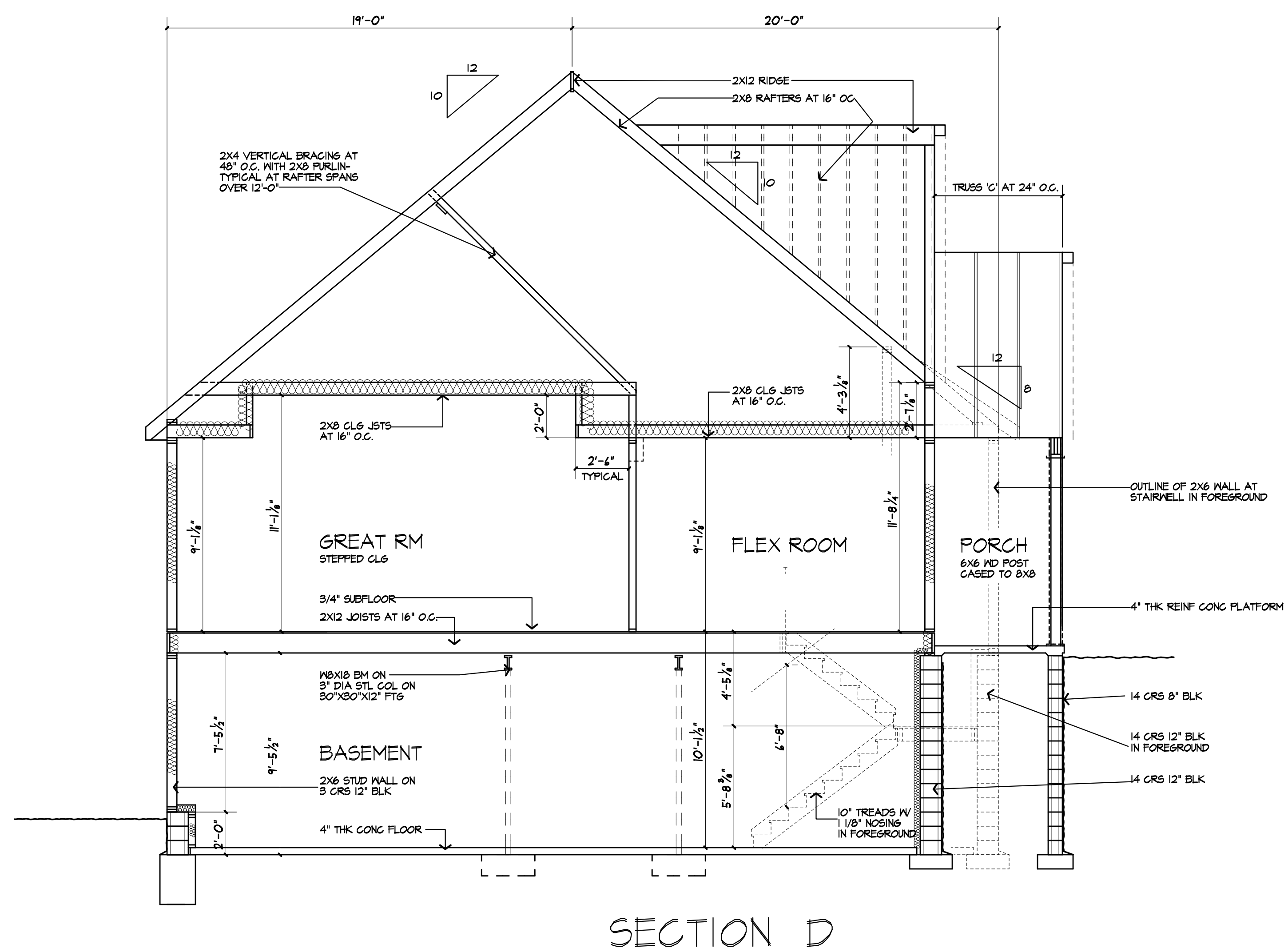
8

OF 9 SHEETS



*NOTE:
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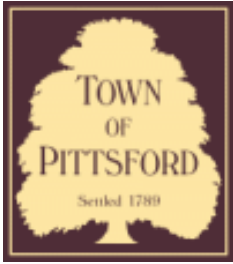
LINE LEGEND	
---	BEYOND
---	IN FOREGROUND











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000116

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 26 Escena Rise PITTSFORD, NY 14534

Tax ID Number: 178.03-5-4

Zoning District: IZ Incentive Zoning

Owner:

Applicant: S & J Morrell

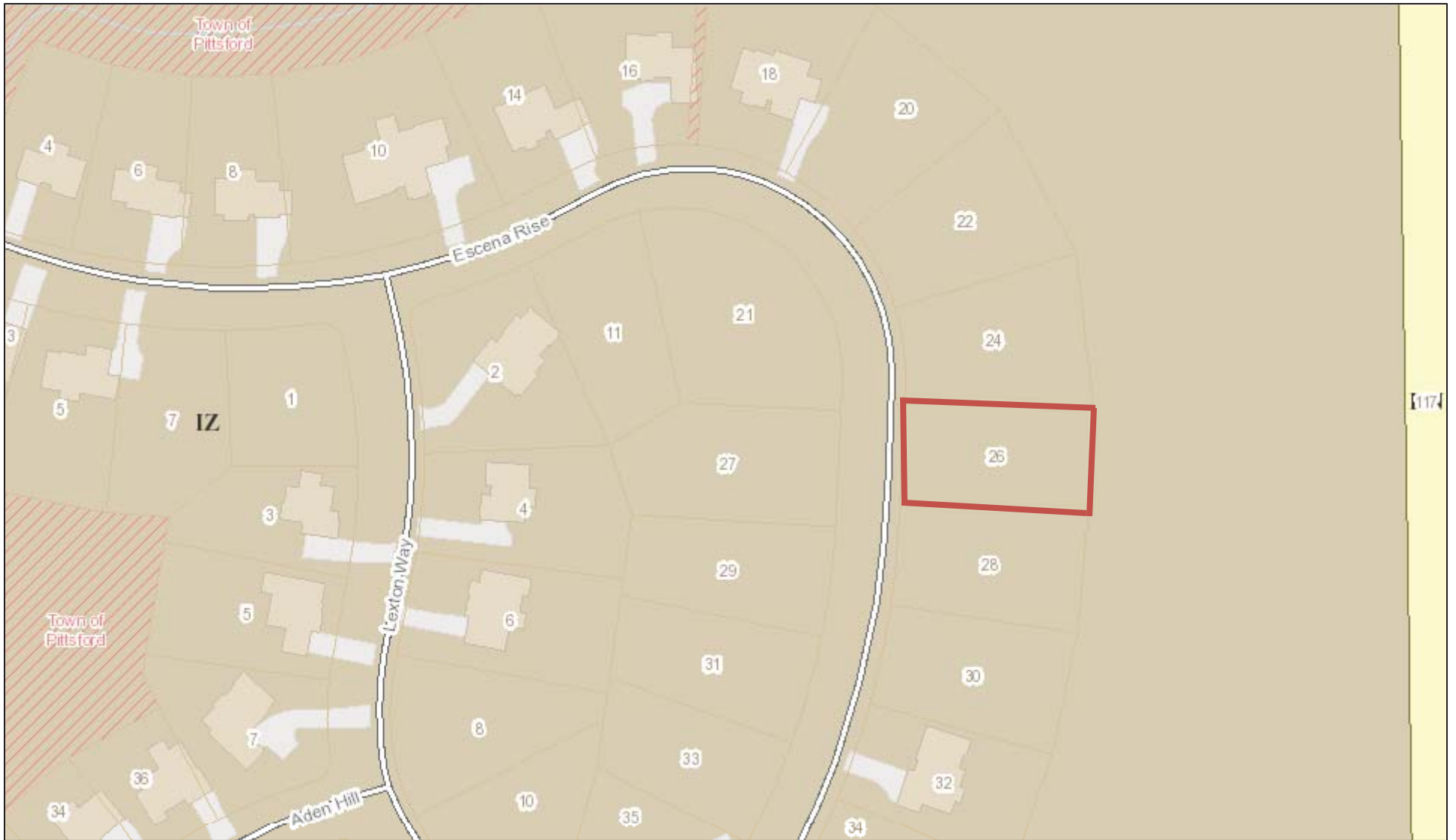
Application Type:

- | | |
|---|---|
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

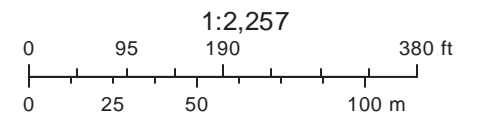
Project Description: Applicant is requesting design and review for the construction of a new 3475 sq. ft. two story single family home. The first floor will be 1926 sq. ft. and the second floor will be 1549 sq. ft. This home will be located in the Wilshire Hills Development.

Meeting Date: August 22, 2019

RN Residential Neighborhood Zoning



Printed August 14, 2019



Town of Pittsford GIS

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355

Escena Rise

Escena Rise

Lexton Way

Escena Rise

Escena Rise

Lexton Way

Lexton Way

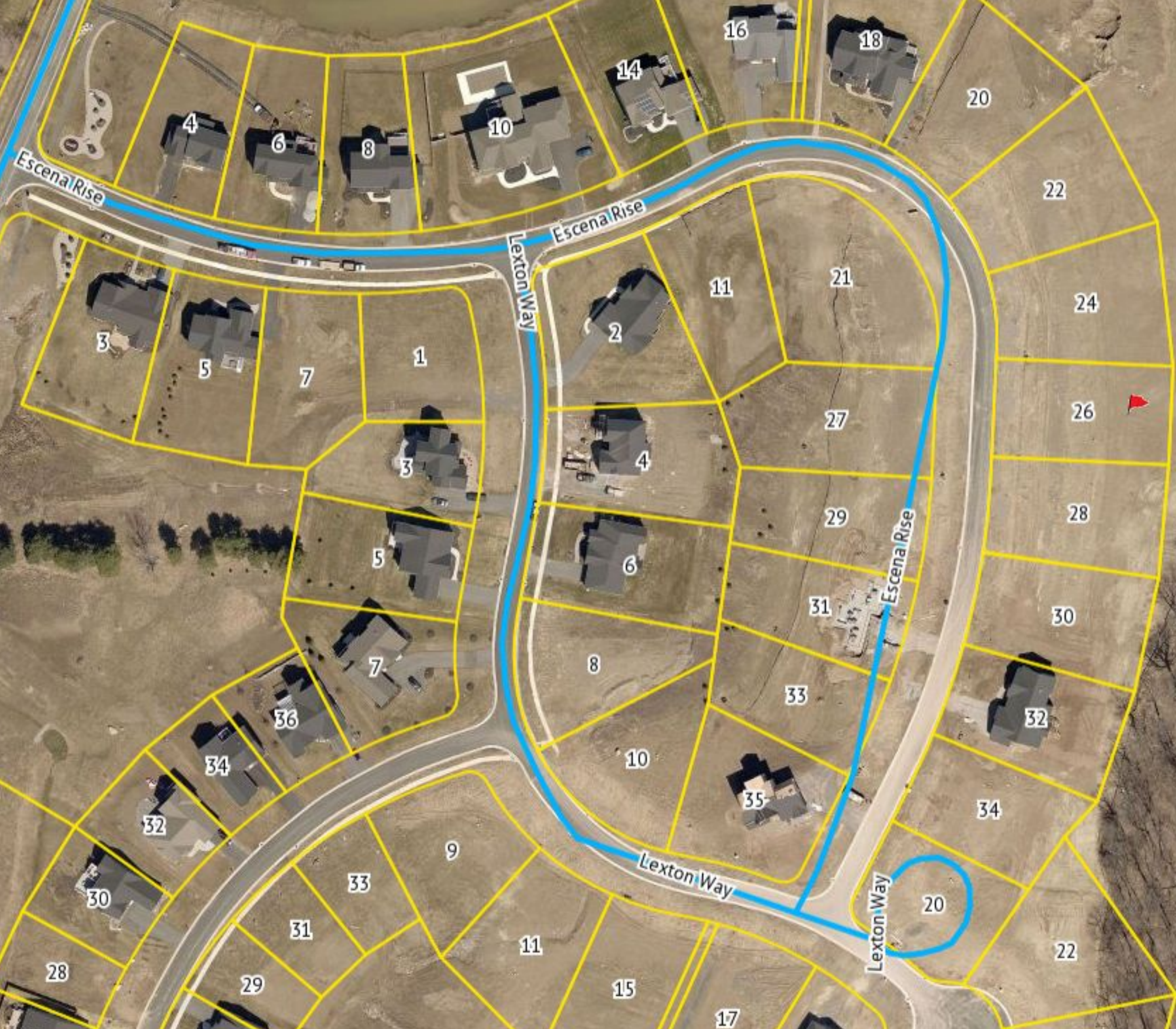
Mendon Center Road

393

Mendon Center Road

117

04/21/2018 - 04/23/2018



File: Z:\Engineering\Job Files\0423-12 Drawings\Section 3\Plot Plans\Lot P22\LOT P-22.dwg, Plot Date: 5/16/2019, By: RTI/ED



FRONT SETBACK

SETBACK	REQUIRED	PROVIDED
FRONT	35'	36.0'
SIDE	10'	10.5'±
REAR	20'	75' ±

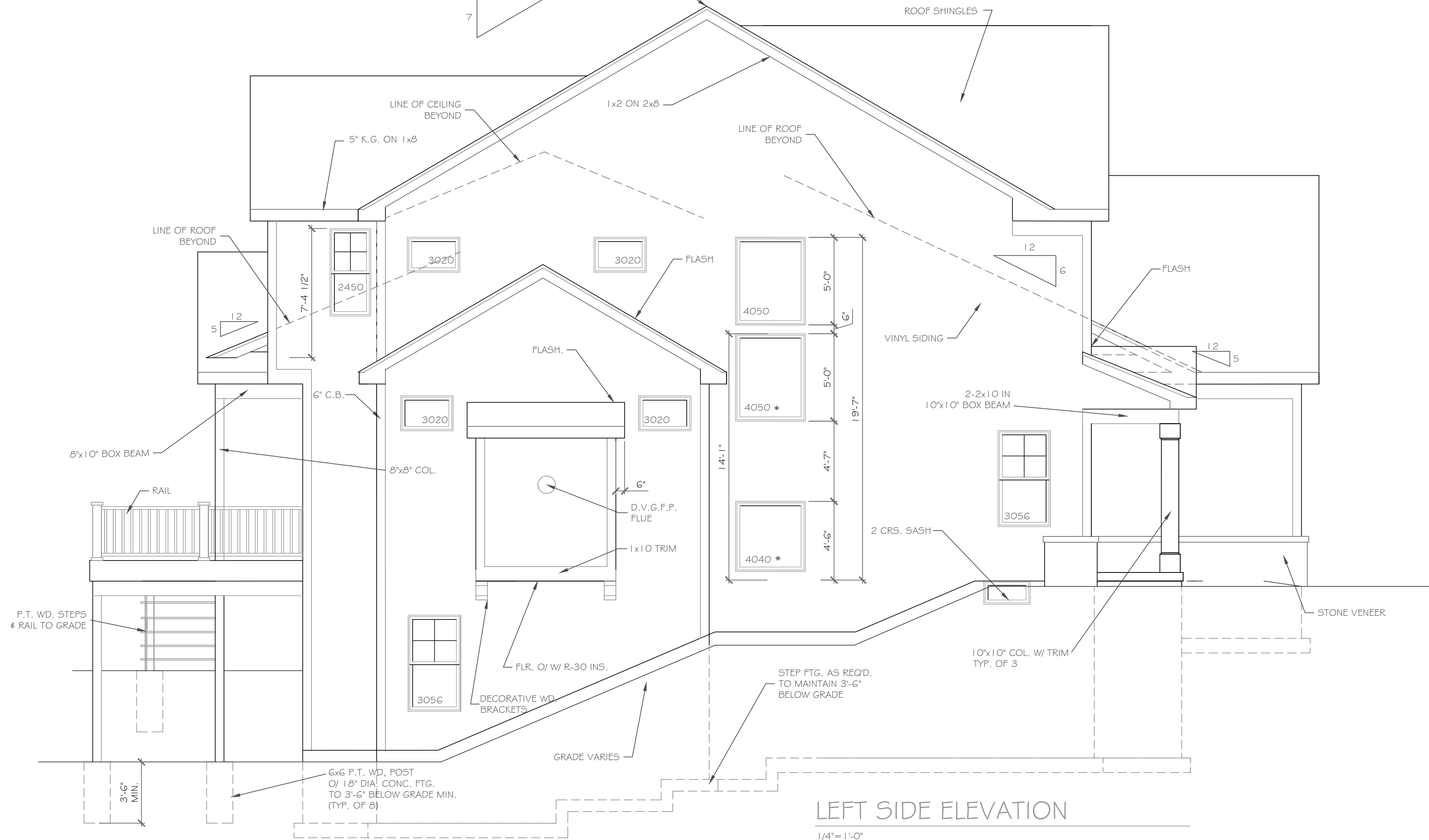
TITLE:

PLOT PLAN - LOT P22
WILSHIRE HILL - SECTION 3A



FRONT ELEVATION 3475 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R&O2.11, BASED UPON SPECIFIC ROOF DESIGN

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REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations
 PROJECT: Lot 22P, Wilshire Hill
 Pittsford, New York
 CLIENT: Morrell Builders
 PHASE: Construction Documents
 DATE: June 2019
 JOB NO.: A19-026

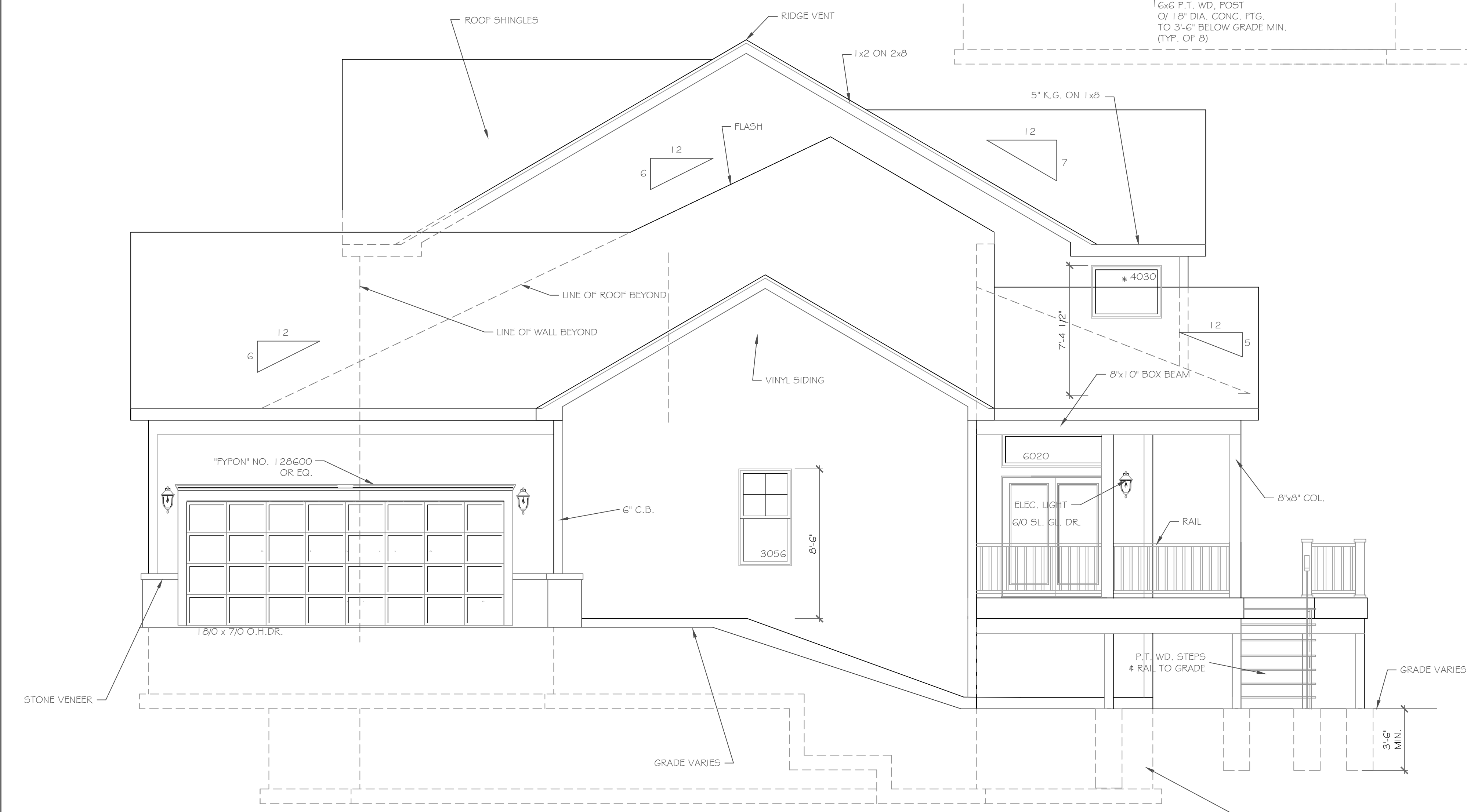
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 Pittsford, New York
 CLIENT: Morrell Builders
 PHASE: Construction Documents
 DATE: June 2019
 JOB NO.: A19-026

CKH architecture
 1501 Pittsford-Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 email: CKHennessey@frontiernet.net

DRAWING NO.: A-1



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations	PHASE- Construction Documents
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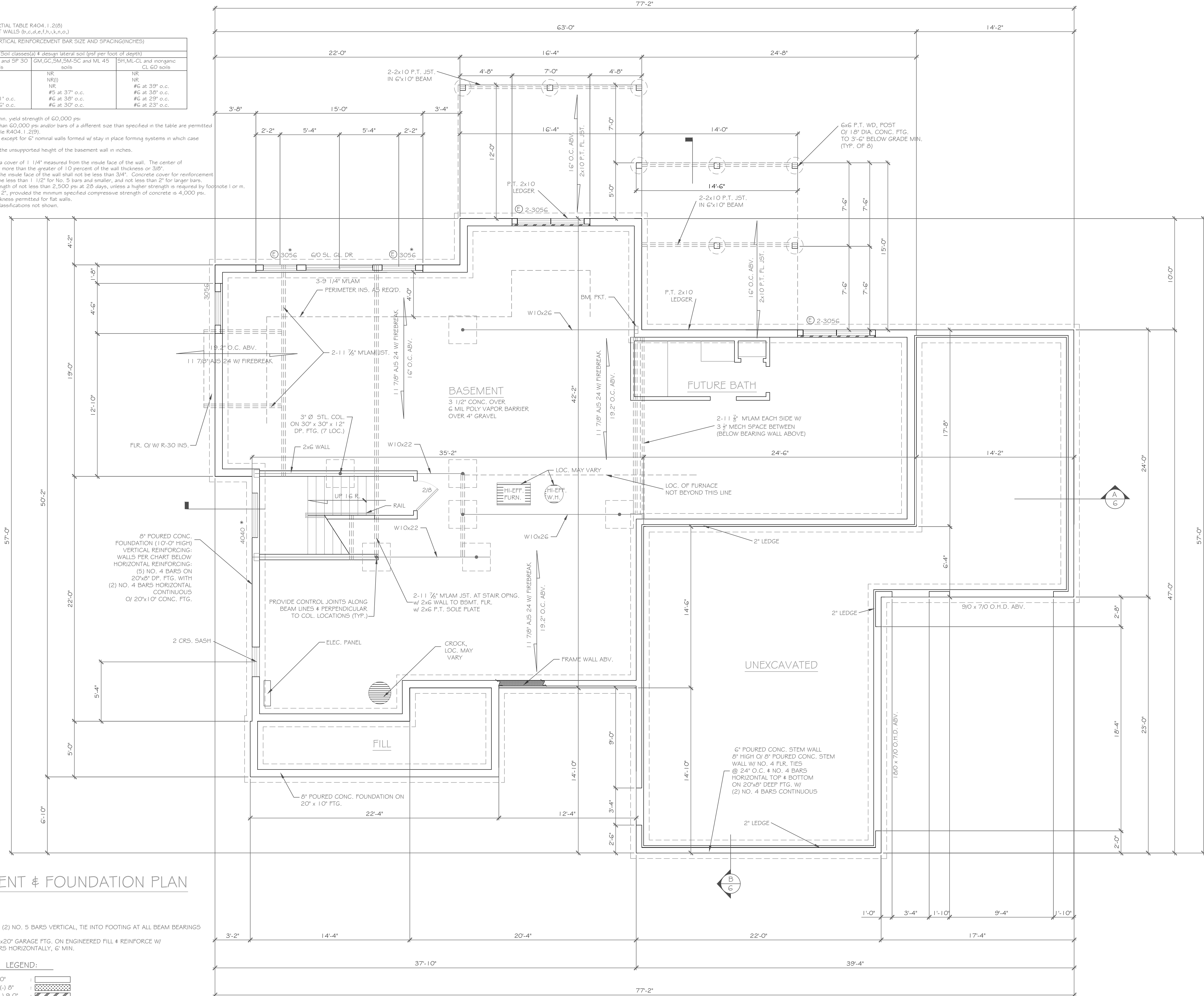
PROJECT- Lot 22P, Wilshire Hill Pittsford, New York	DATE- June 2019
CLIENT- Morrell Builders	JOB NO.- A 19-026

CKH
architecture
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Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKHennessey@frontier.net

DRAWING NO.- A-7

PARTIAL TABLE R404.1.2(b) NOMINAL FLAT BASEMENT WALLS (p,c,d,e,f,h,i,k,n,o.)				
MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING(INCHES)		
		Soil classes(a) & design lateral soil (psf per foot of depth)	Soil classes(a) & design lateral soil (psf per foot of depth)	Soil classes(a) & design lateral soil (psf per foot of depth)
9	4	NR	NR	NR
	5	NR	NR(I)	NR
	6	NR	NR	#6 at 39" o.c.
	7	NR	#5 at 37" o.c.	#6 at 39" o.c.
	8	NR	#5 at 41" o.c.	#6 at 29" o.c.
	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(b).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4@48" o.c.
e. Allowable deflection criterion is $L/240$, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
n. See Table R603.3 for tolerance from nominal thickness permitted for flat walls.
o. The use of this Table shall be prohibited for soil classifications not shown.



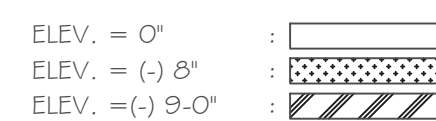
BASEMENT & FOUNDATION PLAN

1/4" = 1'-0"

NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING AT ALL BEAM BEARINGS

- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:



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REVISIONS:	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PROJECT:
**Lot 22P, Wilshire Hill
Pittsford, New York**

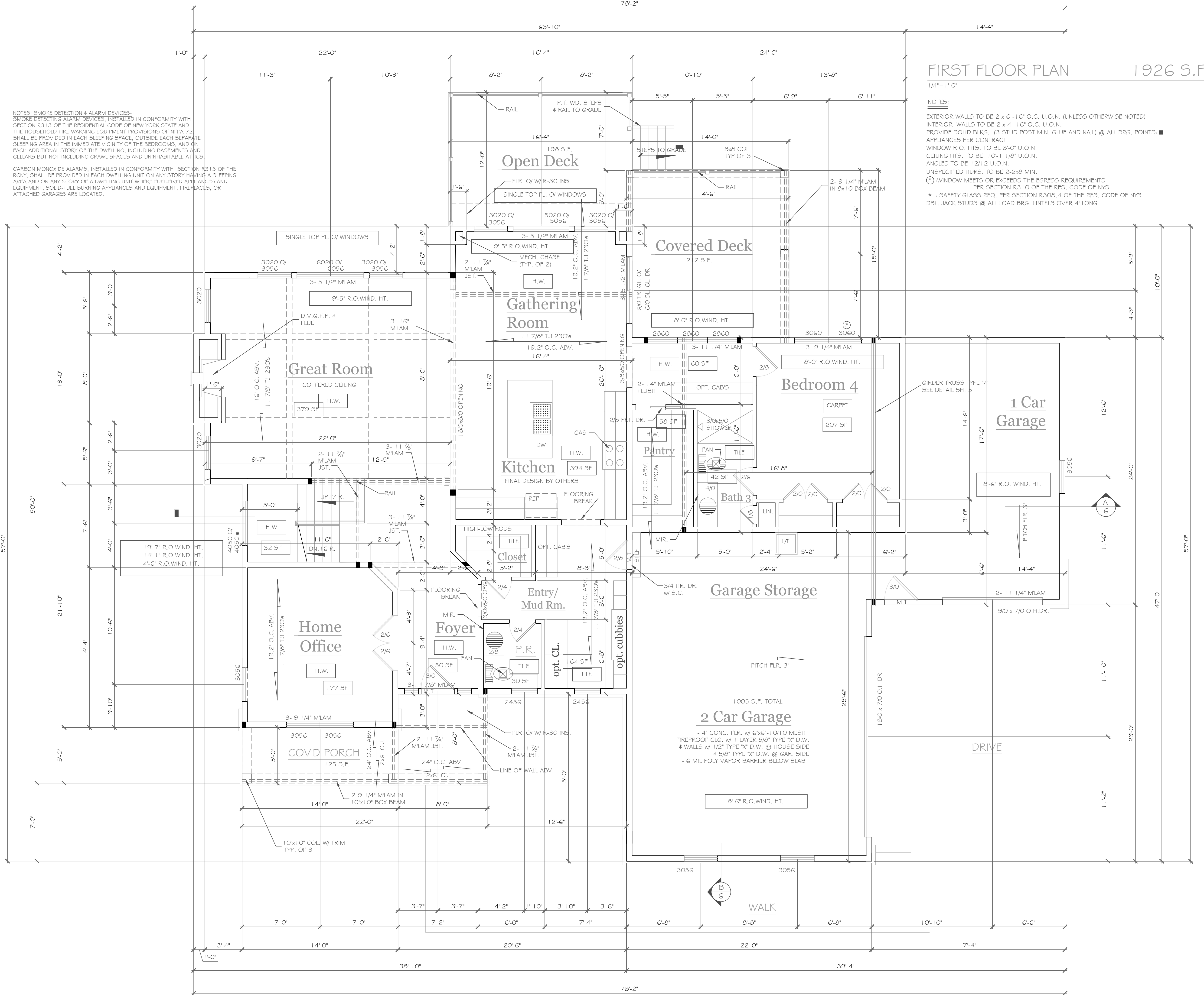
CLIENT:
Monrell Builders

DATE:
June 2019

PHASE:
Construction Documents

CKH
architecture
1501 Pittsford-Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKH@ckharch.com

DRAWING NO. -
A-2



NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72 SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

FIRST FLOOR PLAN 1926 S.F.

NOTES:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
PROVIDE SQUID BLDG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS ■
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 8'-0" U.O.N.
CEILING HTS. TO BE 10'-1 1/8" U.O.N.
ANGLES TO BE 1 2/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

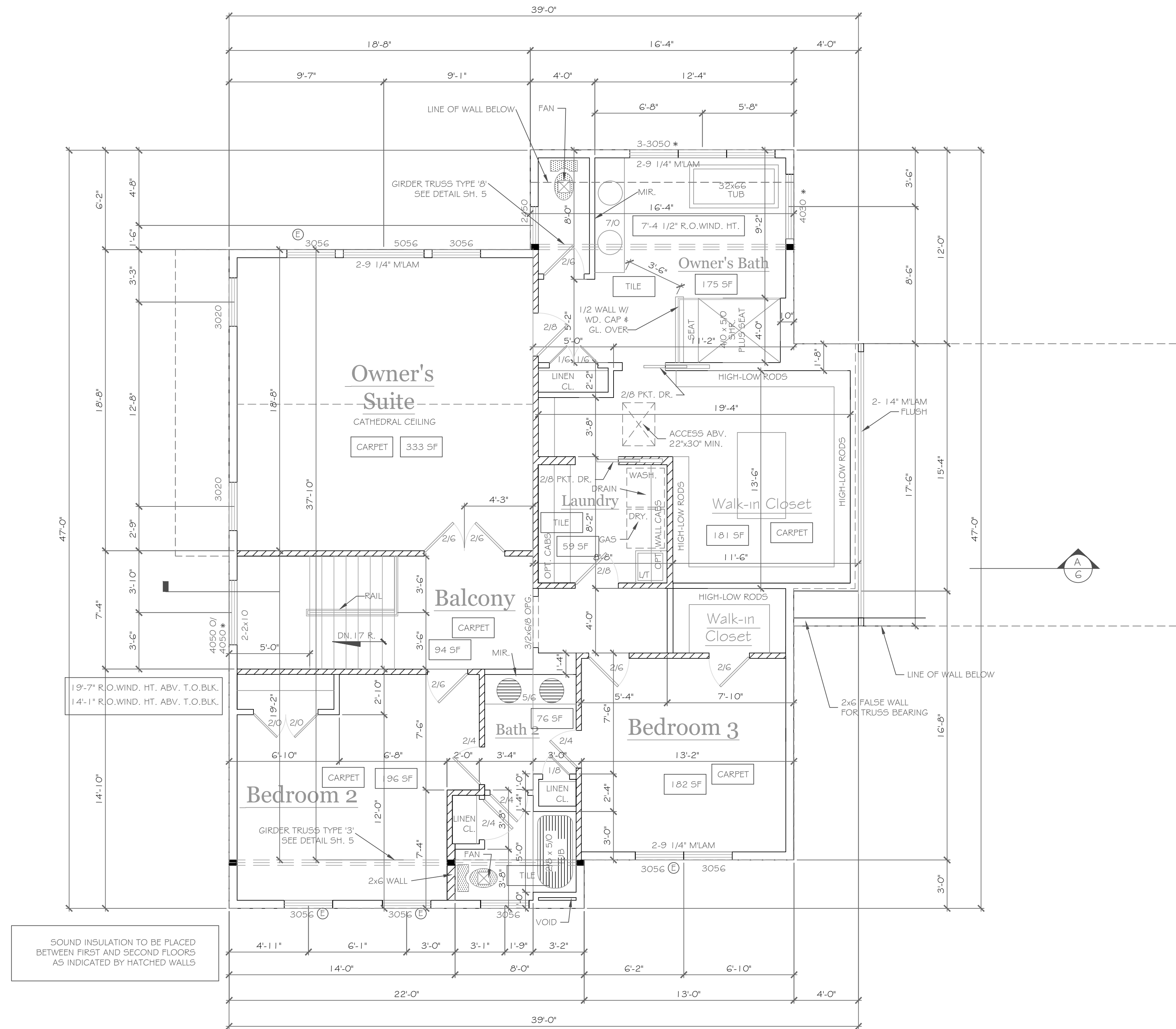
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REVISIONS- NO.	DATE	DESCRIPTION

PROJECT- Lot 22P, Wilshire Hill Pittsford, New York	DRAWING TITLE- First Floor Plan
CLIENT- Morrell Builders	PHASE- Construction Documents
JOB NO.- A 19-026	DATE- June 2019

1005 S.F. TOTAL
2 Car Garage
- 4" CONC. FLR. w/ 6"x6" I/O/I O MESH FIREPROOF CLG. w/ 1 LAYER 5/8" TYPE "X" D.W.
WALLS w/ 1/2" TYPE "X" D.W. @ HOUSE SIDE
5/8" TYPE "X" D.W. @ GAR. SIDE
- 6 MIL POLY VAPOR BARRIER BELOW SLAB

CKH
architecture
1501 Pittsford-Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKHennessey@frontiernet.net



SECOND FLOOR PLAN 1549 square feet

1/4" = 1'-0"

NOTE:

EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
 PROVIDE SOLID BLK. 13 STUD POST MIN. GLUE AND NAIL @ ALL BRG. POINTS ■
 APPLIANCES PER CONTRACT
 WINDOW R.O. HTS. TO BE 6'-10 1/2" U.O.N.
 CEILING HTS. TO BE 8'-1 1/8" U.O.N.
 ANGLES TO BE 12/12 U.O.N.
 UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
 (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES-
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

SOUND INSULATION TO BE PLACED BETWEEN FIRST AND SECOND FLOORS AS INDICATED BY HATCHED WALLS

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-
Second Floor Plan

PROJECT-
 Lot 22P, Wilshire Hill
 Pittsford, New York

CLIENT-
 Morrell Builders

JOB NO.-
 A19-026

DATE-
 June 2019

PHASE-
 Construction Documents

CKH
 architecture
 1501 Pittsford-Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.-
A-4

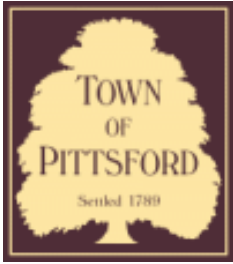






24 ESCENA RISE





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S19-000006

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3050 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-64.11

Zoning District: C Commercial

Owner: Oak Hill Commons LLC

Applicant: Batavia Sign Company

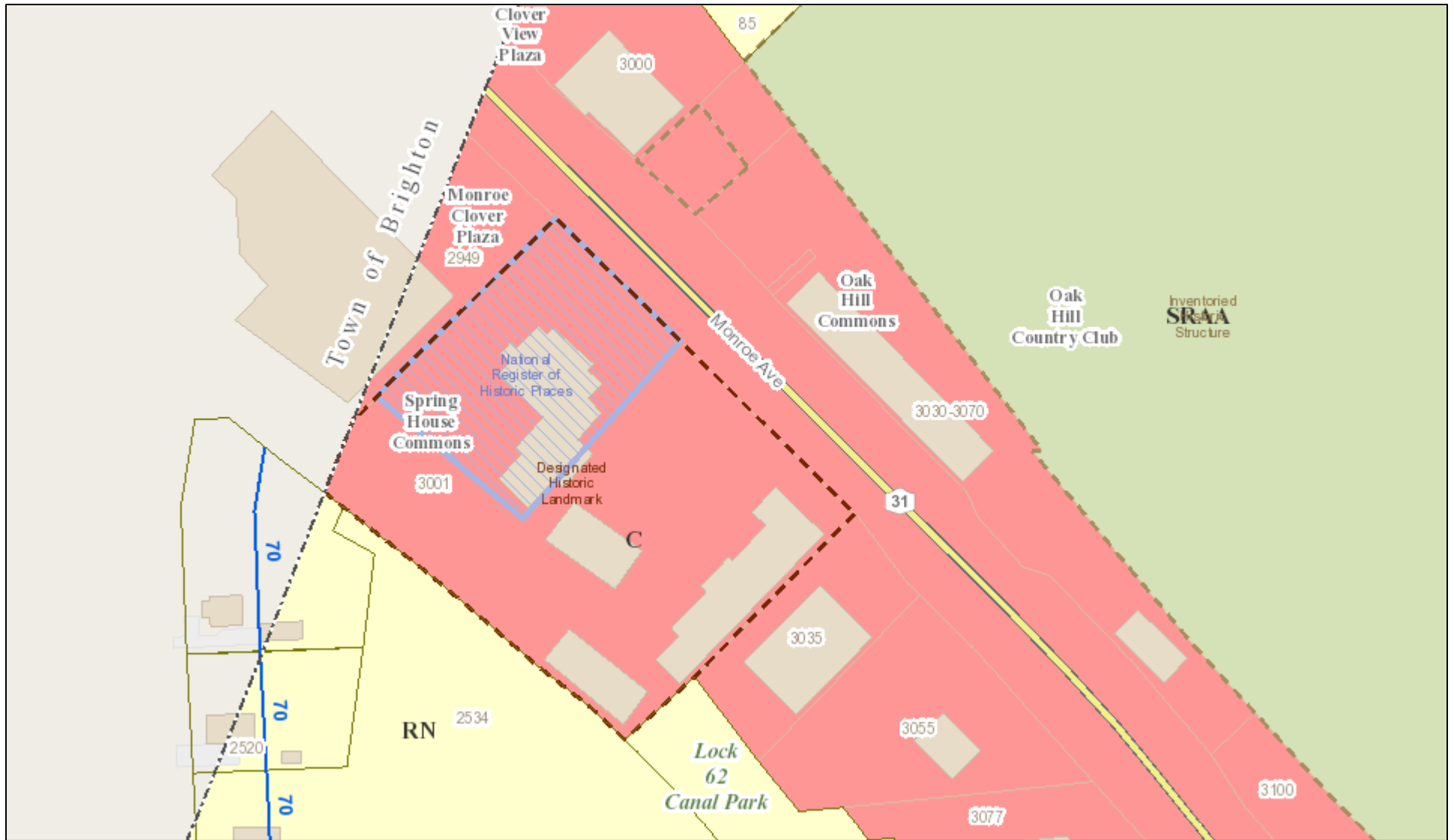
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

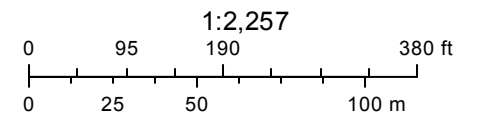
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 24 Sq. Ft. and will identify "Wells Fargo Home Mortgage". The applicant was approved for a business identification sign at the April 11th meeting but has come back for a change to the design.

Meeting Date: August 22, 2019

RN Residential Neighborhood Zoning

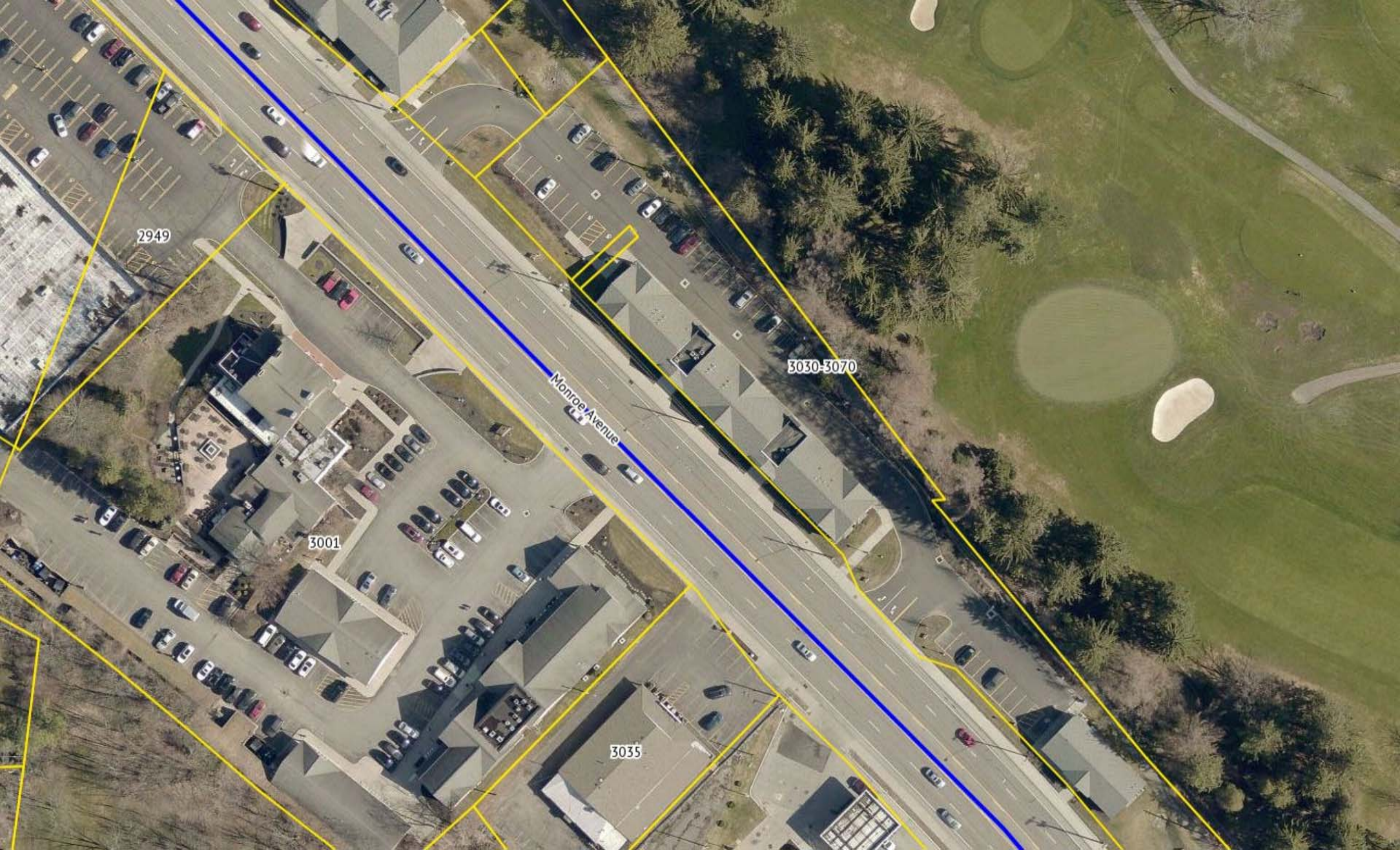


Printed April 4, 2019



Town of Pitsford GIS

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2949

Monroe Avenue

3030-3070

3001

3035



After



Before



110615
Wells Fargo Home Mortgage Pittsford, NY
3050 Monroe Ave
Rochester NY, 14618



AMERICAN / INTERSTATE
SIGNCRAFTERS

NEW YORK
327 New South Road
Hicksville, NY 11801

NEW JERSEY
47 Sindle Avenue
Little Falls, NJ 07424

FLORIDA
130 Commerce Road
Boynton Beach, FL 33426

NE01 WFHM - Pin-Mounted Letters

Scope Of Work: Manufacture and install (1) set of letters and logobox as shown below.
Remove existing WFHM letters, patch holes w/ silicon and paint inside raised area to left of address numbers.

NOTE: Existing sign plaque is a flat wooden sign with a 4" wide raised wood border. Existing letters and numbers are 1/8" plastic raised off the back on 1/4" standoffs. Outer dimensions 48" x 260" (4' 0" x 21' 8") Inside raised area is 3'-4" x 21'-0"

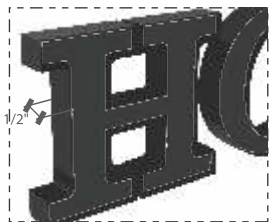


Composite image intended for visual representation only. Actual signage may differ slightly in color and size.

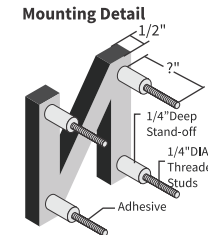
SQ. FT. 24



1 Front Elevation | Pin Mounted Letters
Scale: 1/2"=1'-0"



2 Detail | Cut Plate Letters "Home Mortgage"
Scale: NTS



NOTE: Threaded studs with TBD" minimum embedment and install with clear Adhesive



3 Front Elevation | Application
Scale: 1/4"=1'-0"

- P2** ■ **Black, Full-Gloss Finish**
Option 1: Matthews Paint MP90132
Option 1a: Ultra Low VOC MAP-LVG929
Option 2: AkzoNobel SIGN80597
Option 3: Sherwin Williams G4-5778846 or LV-1225481 (single stage)
- P4** ■ **White, Semi-Gloss Finish**
Option 1: Matthews Paint MP11477
Option 1a: Ultra Low VOC LVS11477
Option 2: AkzoNobel SIGN10328
Option 3: Sherwin Williams G4-5778845 or LV-1227866 (single stage)
- P10** ■ **Yellow, Satin Finish**
Option 1: Matthew Paint MP66985
Option 1a: (Field Paint Application Only)
Roll-On Additive: #47-444SP
Option 1b: Ultra Low VOC LVS66985-1
Option 2: AkzoNobel SIGN40087
Option 2a: (Field Paint Application Only)
Roll-On Additive: #390959
Option 3: Sherwin Williams G4-1401336 or LV-5776227 (Single Stage)
Option 3a: (First Paint Application Only)
Acrylic Roll-On Paint: SHER-CRYL HPA B66Y357
- M2** ■ **Aluminum**
- M6** ■ **Alpolic ACM #WRY**
Wells Fargo Red
4mm PE core
- M31** ■ **Alpolic ACM Mica**
Champagne 4-MCU-30



Revisions:	
BB - 05.29.19 - Change sign style	X
X	X
X	X

File Location:
G:\Box Sync\RENDERINGS\W\Wells Fargo\
INV110615_Rochester, NY_66588_68327\68327

Date: 05.13.19
Designer: BB PM: KN

Address: 3050 Monroe Ave
City/State: Rochester NY, 14618

Drawing # **NE01**
Site Name **110615**

Notes & Samples

1. Cut Plate Letters to be 1/2" thick painted aluminum, water jet cut. Letters to be pin mounted 1/4" off staging panels.
 - 1a. Wells Fargo Home Mortgage ACM staging panels to be flush mounted to existing wall surface.
2. **WELLS FARGO CUT PLATE LETTER FACE MATERIAL:** Letter face to be painted yellow with a painted black drop shadow.
3. **CUT PLATE LETTER FACE MATERIAL:** Letter face to be painted black.
4. **CUT PLATE LETTER RETURNS:** All letter returns to be painted black.
5. **BACKGROUND PANEL:** Cut Plate Letters on Alpolic ACM (as manufactured by Mitsubishi Plastics Composites America, Inc. (800) 422-7270, www.alpolic-usa.com).
 - 5a. WELLS FARGO cut plate letters mounted on custom red color, Alpolic ACM material for panel.
 - 5c. Sign contractor responsible for determining and providing internal structure for background panels where necessary. Shop drawings and pricing to reflect additional internal structure required.
 - 5d. No seaming necessary.
 - 5e. Internal framework to provide adequate support to panel, including returns. Wall mounting brackets to be spaced appropriately to ensure accurate support.
 - 5f. Bottom return of panel to be free of mechanical fasteners.
6. **MOUNTING:** Sign contractor responsible for field survey of existing conditions prior to shop drawing submittal to include appropriate mechanical fasteners and anchors in shop drawings for mounting lettering to ACM staging panels and ACM staging panels to existing wall surfaces.
 - 6a. Mounting pins to be painted to match Alpolic ACM staging panels.
 - 6b. ACM staging panel to be placed next to (butted up to) to one another and aligned (top and bottom) so visually both appear as one unit. Knuckle seam to be used on the right and left vertical sides of the ACM panel as necessary to create the appearance of one unit. To be created from rout and return of ACM panel.

Color & Materials

- P2** **Black, Full-Gloss Finish**
 Option 1:
 Matthews Paint MP30132
 Option 1a:
 Ultra Low VOC MAP-LVG929
 Option 2:
 AkzoNobel SIGN80597
 Option 3:
 Sherwin Williams G4-5778846 or LV-1225481 (single stage)
- P4** **White, Semi-Gloss Finish**
 Option 1:
 Matthews Paint MP11477
 Option 1a:
 Ultra Low VOC LVS11477
 Option 2:
 AkzoNobel SIGN10328
 Option 3:
 Sherwin Williams G4-5778845 or LV-1227868 (single stage)
- P10** **Yellow, Satin Finish**
 Option 1:
 Matthew Paint MP66985
 Option 1a:
 (Field Paint Application Only)
 Roll-On Additive: #47-444SP
 Option 1b:
 Ultra Low VOC LVS66985-1
 Option 2:
 AkzoNobel SIGN40087
 Option 2a: (Field Paint Application Only)
 Roll-On Additive: #390809
 Option 3:
 Sherwin Williams G4-1401336 or LV-5776227 (Single Stage)
 Option 3a:
 (First Paint Application Only)
 Acrylic Roll-on Paint: SHER-CRYL HPA B66Y357
- M2** **Aluminum**
- M6** **Alpolic ACM #WRY**
 Wells Fargo Red
 4mm PE core
- M31** **Alpolic ACM Mica**
 Champagne 4-MCU-30

Revisions:	
BB - 05.29.19 - Change sign style	X
X	X
X	X

NE01 WFHM - Pin-Mounted Letters

Scope Of Work: Manufacture and install (1) set of pin-mounted 1/2" thick FCO letters to existing wooden plaque.

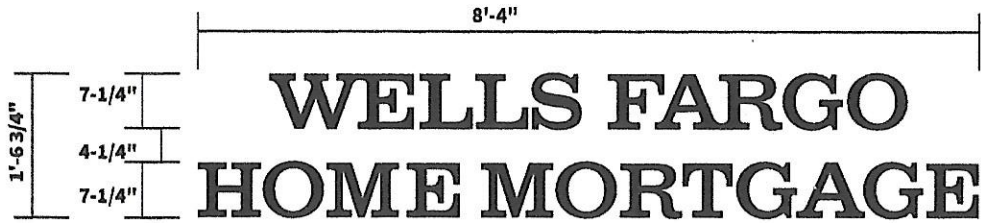
NOTE: Existing sign plaque is a flat wooden sign with a 4" wide raised wood boarder. Existing letters and numbers are 1/8" plastic raised off the back on 1/4" standoffs.



Composite image intended for visual representation only. Actual signage may differ slightly in color and size.

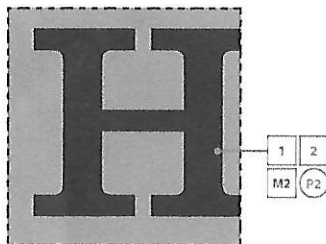
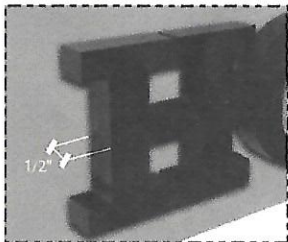
SQ. FT. 12.78

Previous Submittal
4/11/2019



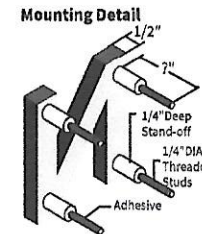
1 Front Elevation | Pin Mounted Letters

Scale: 1/2"=1'-0"



2 Detail | Cut Plate Letters "Home Mortgage"

Scale: NTS

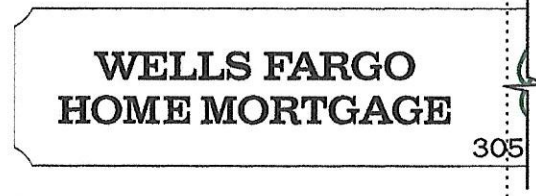


NOTE:
Threaded studs with TBD* minimum embedment and install with clear Adhesive

- P2** ■ Black, Full-Gloss Finish
- Option 1: Mathews Paint MP30132
- Option 1a: Ultra Low VOC MAP-LVG929
- Option 2: AkzoNobel SIGN8097
- Option 3: Showin Williams G4-5778546 or LV-1225481 (single stage)
- M2** ■ Aluminum

3 Front Elevation | Application

Scale: 1/4"=1'-0"



130 Commerce Road - Boynton Beach, FL 33426
TEL: (561) 547-3760 / FAX: (561) 547-3842

Revisions

- BB - 11.26.18 - Change site photo's proposed
- BB - 11.29.18 - Change details
- BB - 12.19.18 - Remove hours vinyl
- BB - 02.11.19 - Change NE01 sign type
- DB - 03.04.19 - Updated NE01
- DB - 03.05.19 - Change NE01 to black & enlarge
- X

File Location:
G:\Box Sync (RENDERING)\01\Wells Fargo\11\111919_19_Rochester_NY_64668

Date: 11.19.18

Address: 3050 Monroe Ave

Drawing #

NE01

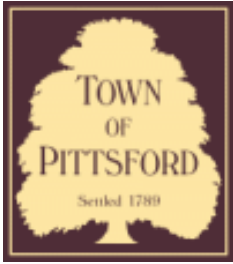
Designer: BB

PM: KN

City/State: Rochester NY, 14618

Site Name

110615



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C19-000034

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3400 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.16-2-3

Zoning District: C Commercial

Owner: Pittsford Colony LLC

Applicant: Heather Chance DMD

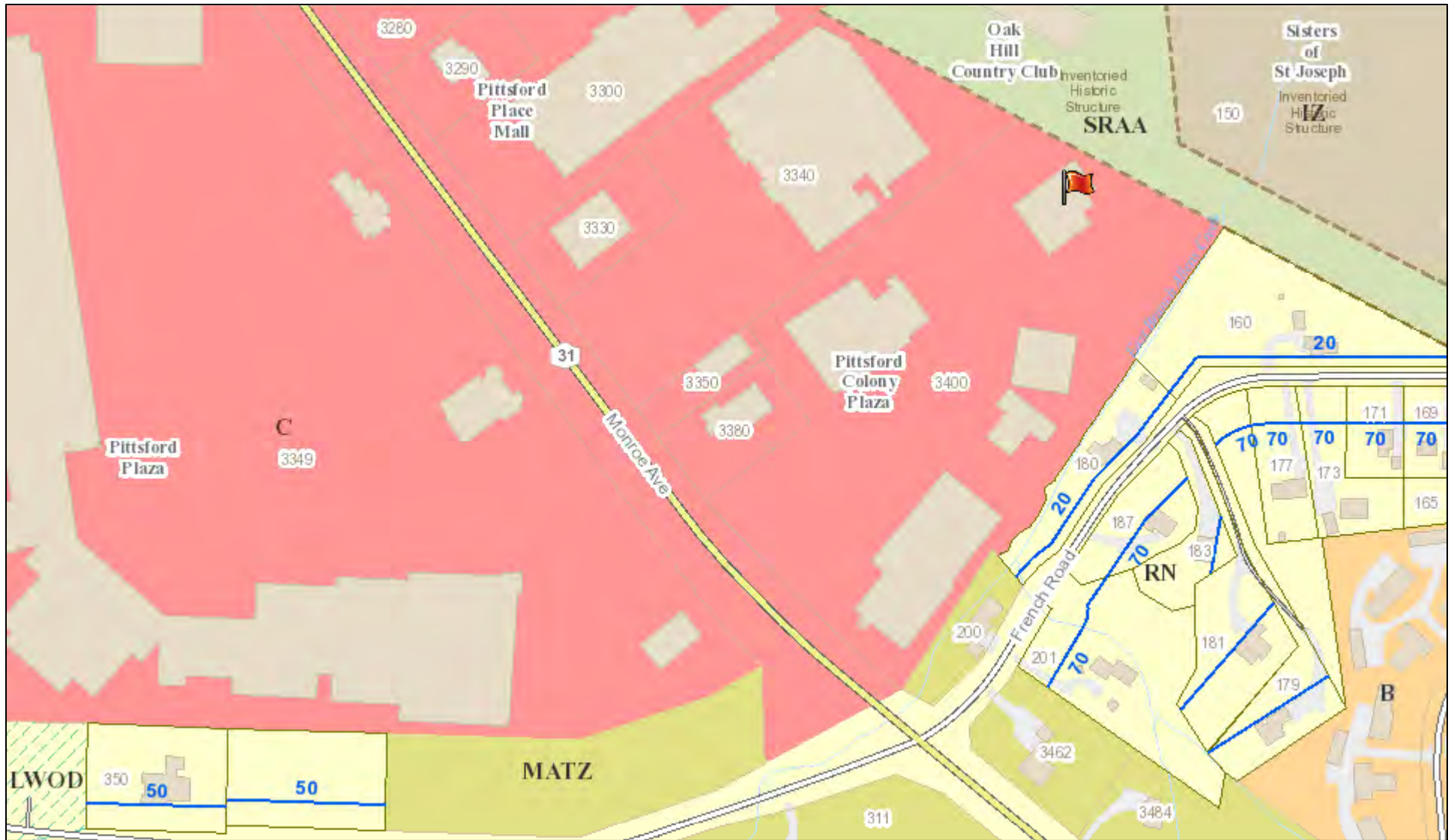
Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

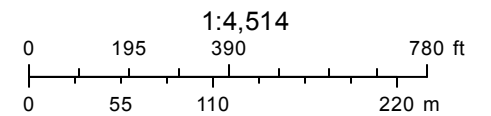
Project Description: Applicant is requesting design review for the renovation that will include the addition of windows to the side of a commercial building. The windows will match the existing windows in the front. The attached picture is for reference of the windows only.

Meeting Date: August 22, 2019

RN Residential Neighborhood Zoning

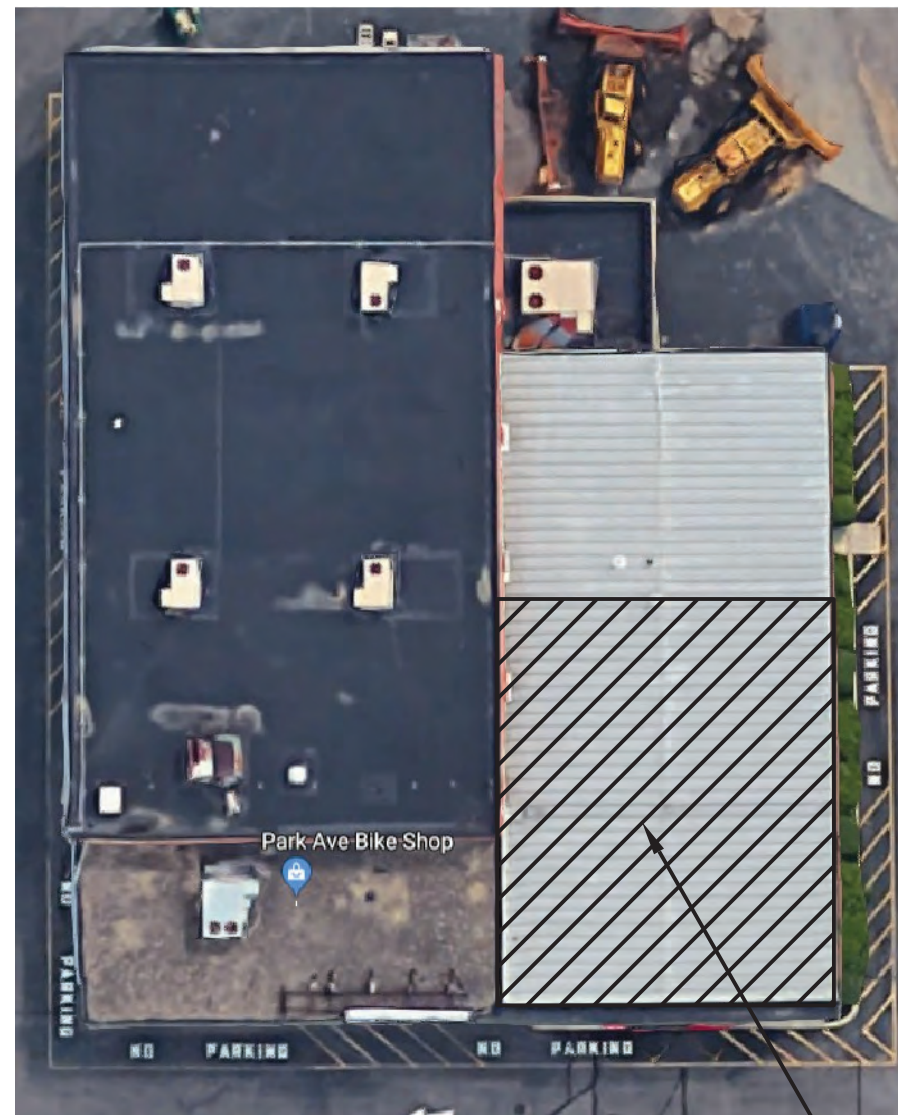


Printed August 13, 2019



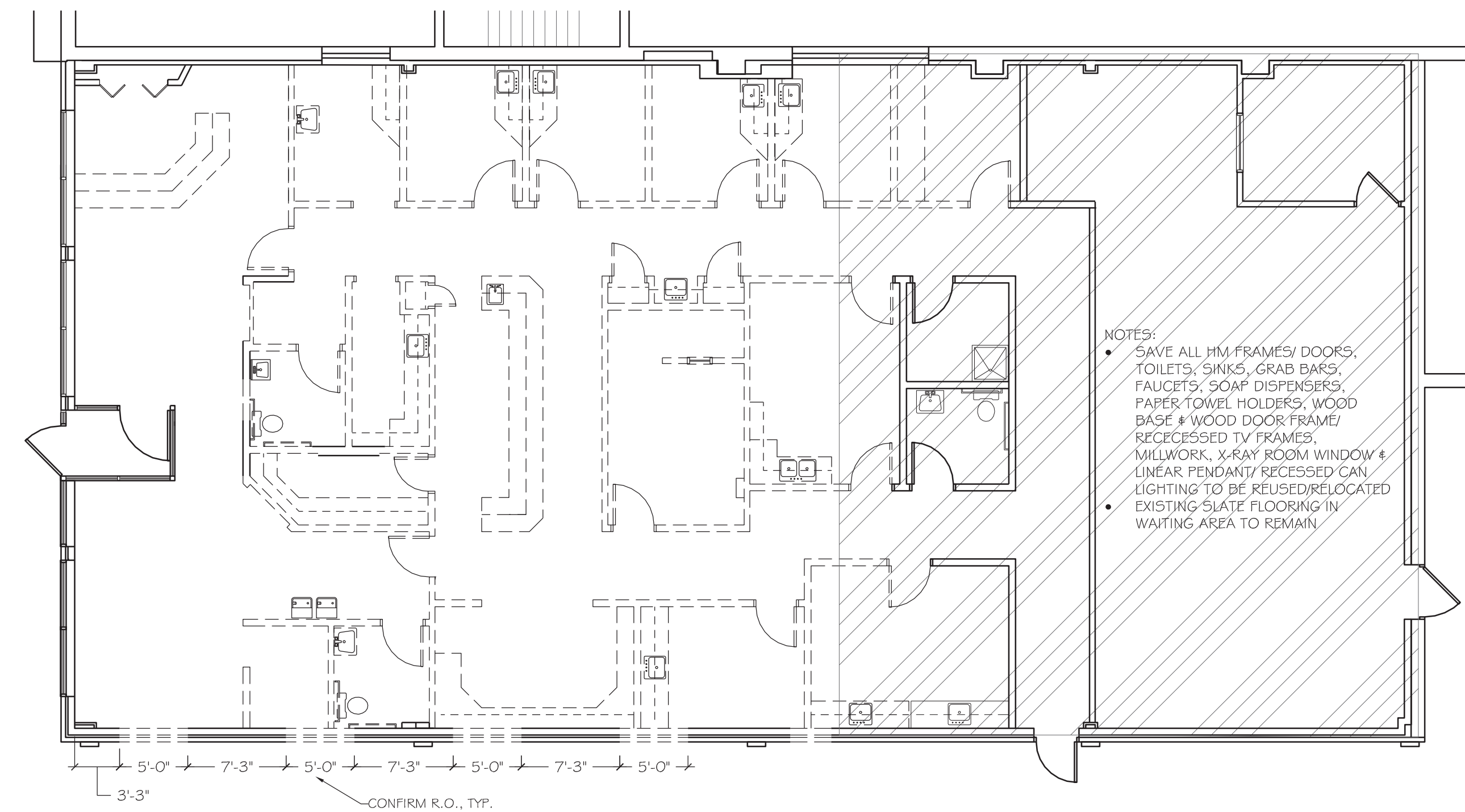
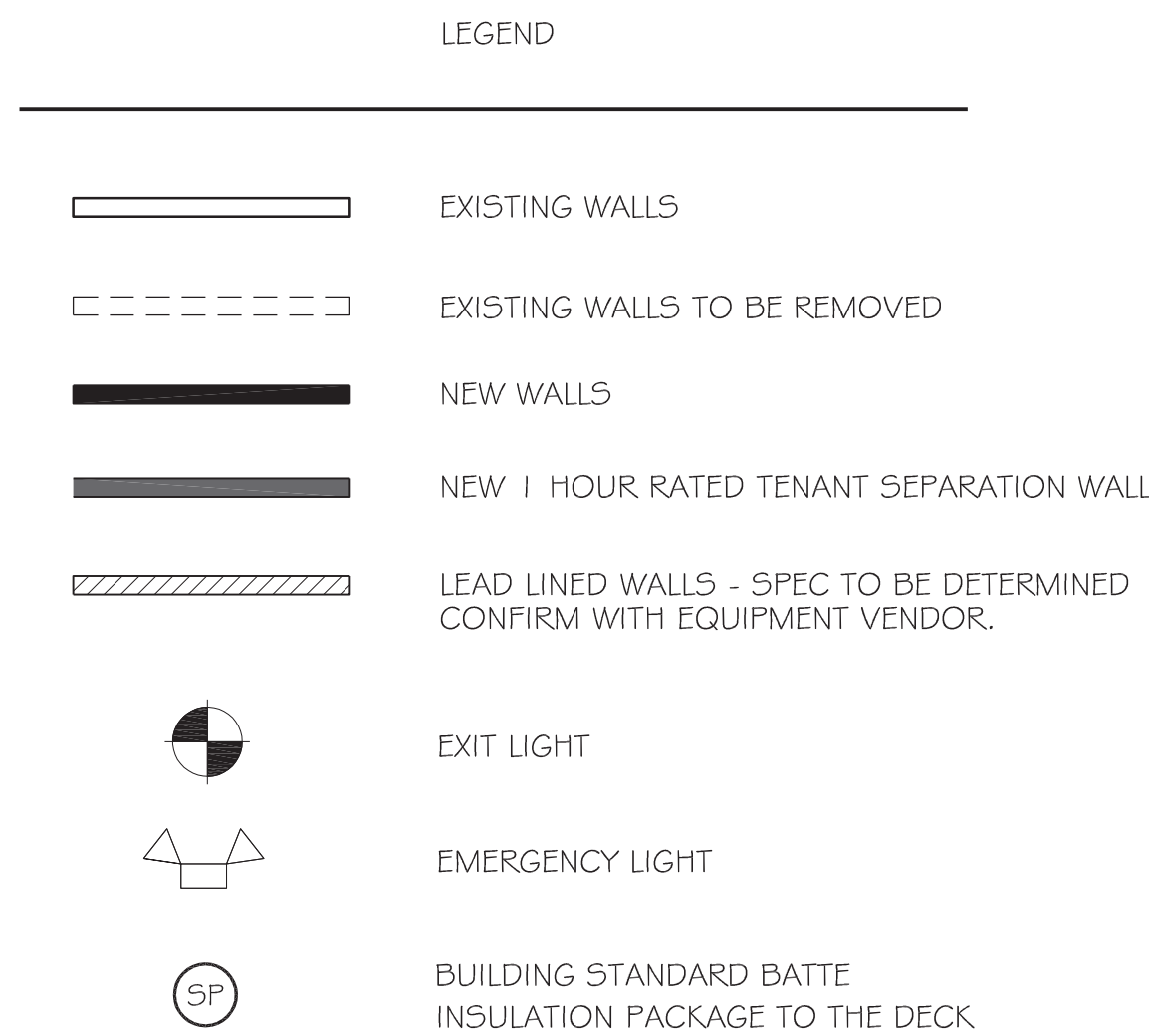
Town of Pittsford GIS

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KEY PLAN
NOT TO SCALE

AREA OF WORK



DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE 2015 BUILDING CODE OF NEW YORK STATE AND ALL APPLICABLE REFERENCED CODES AND REGULATIONS.
 - VERIFY DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITION AND THESE DRAWINGS.
 - ELECTRICAL AND LIGHTING DESIGN, PLUMBING DESIGN, HVAC DESIGN AND SPRINKLER SYSTEM DESIGN ARE BY OTHERS - MODIFY EXISTING SYSTEMS, AS REQUIRED, TO ALL APPLICABLE CODES.
 - THE SIGNING PROFESSIONAL OF THESE DOCUMENTS IS NOT UNDER CONTRACT FOR CONSTRUCTION ADMINISTRATION, AND THEREFORE ASSUMES NO RESPONSIBILITY FOR DEVIATIONS FROM THESE DRAWINGS.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF THIS WORK. THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH FROM THIS WORK, AND SHALL DISPOSE OF SUCH LEGALLY OFF SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE COMPLETION OF THIS WORK. THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS OF SAFETY AND SHALL PROVIDE REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO PERSONS AND PROPERTY AFFECTED BY THE EXECUTION OF THIS WORK.

- CONSTRUCTION NOTES:**
- NEW DOORS SHOWN ARE BUILDING STANDARD HEIGHT AND MATERIAL. PROVIDE LEVER LOCKSETS IN ACCORDANCE W/ ICC A117.1-2009
 - NEW WALLS SHOWN ARE 3 5/8" METAL STUDS AT 16" O.C. WITH MINIMUM 1/2" GYPSUM DRYWALL EACH SIDE OF STUD TO MINIMUM 6" ABOVE FINISHED CEILING (UNLESS NOTED OTHERWISE). CROSS BRACE TO STRUCTURE ABOVE AS REQUIRED.
 - ONE HOUR RATED WALLS SHOWN ARE MINIMUM 3 5/8" METAL STUDS AT 16" O.C. WITH ONE LAYER 5/8" FIRECODE GYPSUM DRYWALL EACH SIDE OF STUDS, ALL TO UNDERSIDE OF STRUCTURE ABOVE. CAULK PERIMETER AS REQUIRED.
 - IN ACCORDANCE WITH TABLE 1020.1 OF THE "BUILDING CODE OF NEW YORK STATE", THE WALLS SEPARATING THE EXIT CORRIDOR FROM THE TENANT SPACES ARE NOT REQUIRED TO BE FIRE-RATED.
 - PROOF OF COMPLIANCE WITH THE HANDICAPPED ACCESSIBILITY REQUIREMENTS: SEE GETSLOFF DESIGN GROUP "ID" DRAWINGS, COPIES OF WHICH ARE SUBMITTED FOR REFERENCE.
 - SAFETY GLAZING REQUIREMENTS FOR INTERIOR WINDOWS AND SIDELITES SHALL BE PER SECTION 2406 OF THE NEW YORK STATE BUILDING CODE.
 - THE AUTOMATIC SPRINKLER SYSTEM SHALL BE MODIFIED AS REQUIRED FOR CONTINUED COMPLIANCE WITH SECTION 903 OF THE BUILDING CODE OF NEW YORK STATE AND NFPA-13. DRAWINGS PREPARED AND STAMPED BY A NEW YORK STATE LICENSED ENGINEER OR ARCHITECT MAY BE REQUIRED BY THE FIRE MARSHAL FOR REVIEW AND ACCEPTANCE. A COPY OF THE CONTRACTOR'S TEST AND MATERIALS CERTIFICATE SHALL BE SUBMITTED TO THE FIRE MARSHAL PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTACT THE FIRE MARSHAL FOR ADDITIONAL REQUIREMENTS, REVIEW AND APPROVAL.
 - EXISTING EMERGENCY LIGHTING SHALL BE MODIFIED AS NECESSARY AS REQUIRED AND SHALL COMPLY WITH SECTION 1008 OF THE BUILDING CODE OF NEW YORK STATE. EMERGENCY LIGHTING SHALL BE PROVIDED IN THE MEANS OF EGRESS INCLUDING THE EXIT DISCHARGE. A LETTER OF TEST COMPLIANCE FOR THE EMERGENCY LIGHTING SYSTEM FROM THE ELECTRICAL CONTRACTOR OR LICENSED PROFESSIONAL OF RECORD SHALL BE SUBMITTED BEFORE THE CERTIFICATE OF OCCUPANCY OR LETTER OF COMPLETION IS ISSUED.
 - EXISTING EXIT SIGNS SHALL BE MODIFIED, IF NECESSARY TO COMPLY WITH SECTION 1013 OF THE BUILDING CODE OF NEW YORK STATE. SIGNS SHALL BE PROVIDED AT EACH EXIT AND EXIT ACCESS DOOR READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. NO POINT IN THE EXIT ACCESS CORRIDOR SHALL BE MORE THAN 100 FT. FROM AN EXIT OR DIRECTIONAL SIGN OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS.
 - THE EXISTING FIRE ALARM SYSTEM SHALL BE MODIFIED AS REQUIRED FOR CONTINUED COMPLIANCE WITH NFPA-72 AND ICC/ANSI A117.1-2009. ALL WORK SHALL BE PERFORMED BY A NEW YORK STATE LICENSED INSTALLER. A COPY OF THE CONTRACTOR'S TEST AND MATERIALS CERTIFICATE SHALL BE SUBMITTED TO THE FIRE MARSHAL PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTACT THE FIRE MARSHAL FOR ADDITIONAL REQUIREMENTS, REVIEW AND APPROVAL.
 - INTERIOR FINISHES, TRIM AND DECORATIVE MATERIAL SHALL COMPLY WITH CHAPTER 8 OF THE BUILDING CODE OF NEW YORK STATE.
 - FIRE EXTINGUISHERS SHALL BE INSTALLED BY SECTION 906 OF THE FIRE CODE OF NEW YORK STATE. TRAVEL DISTANCE TO THE NEAREST FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET, EXTINGUISHERS SHALL COMPLY WITH NFPA-10.

BUILDING CODE ANALYSIS

THE WORK COVERED IN THIS SET OF CONSTRUCTION DOCUMENTS IS FOR NEW INTERIOR WORK ONLY IN PART OF THE EXISTING BUILDING WHICH WAS BUILT UNDER SEPARATE PERMITS.

CLASSIFICATION OF WORK: ALTERATION - LEVEL 2

TENANT OCCUPANCY CLASSIFICATION (SECTION 302): OFFICE

BUILDING CONSTRUCTION CLASSIFICATION (SECTION 602): TYPE 2B, NON-COMBUSTIBLE

TENANT SPACE IS PART OF FULLY-SPRINKLERED BUILDING

BUILDING STORIES TOTAL: 1

TENANT SPACE SIZE (GROSS): 2840 SF

TENANT OCCUPANT LOAD (TABLE 1004.1.2): BUSINESS AREA - 100 SF/OCC.

OCCUPANCY CLASS: 2840 SF/ 100 SF/OCC 29 OCCUPANTS

TENANT EXIT REQUIREMENTS (SECTION 1006): REQUIRED NUMBER OF EXITS: 1 (TABLE 1006.2.1) ACTUAL NUMBER OF EXITS: 2

EXIT ACCESS DOOR ARRANGEMENT DISTANCE (SECTION 1007): MAXIMUM OVERALL DIAGONAL: 75 FT. 1/3 SEPARATION REQUIRED: 25 FT (MIN.) 1/3 SEPARATION ACTUAL: 58 FT.

EXIT ACCESS TRAVEL DISTANCE (SECTION 1017): MAXIMUM ALLOWED: 300 FT. ACTUAL: 78 FT.

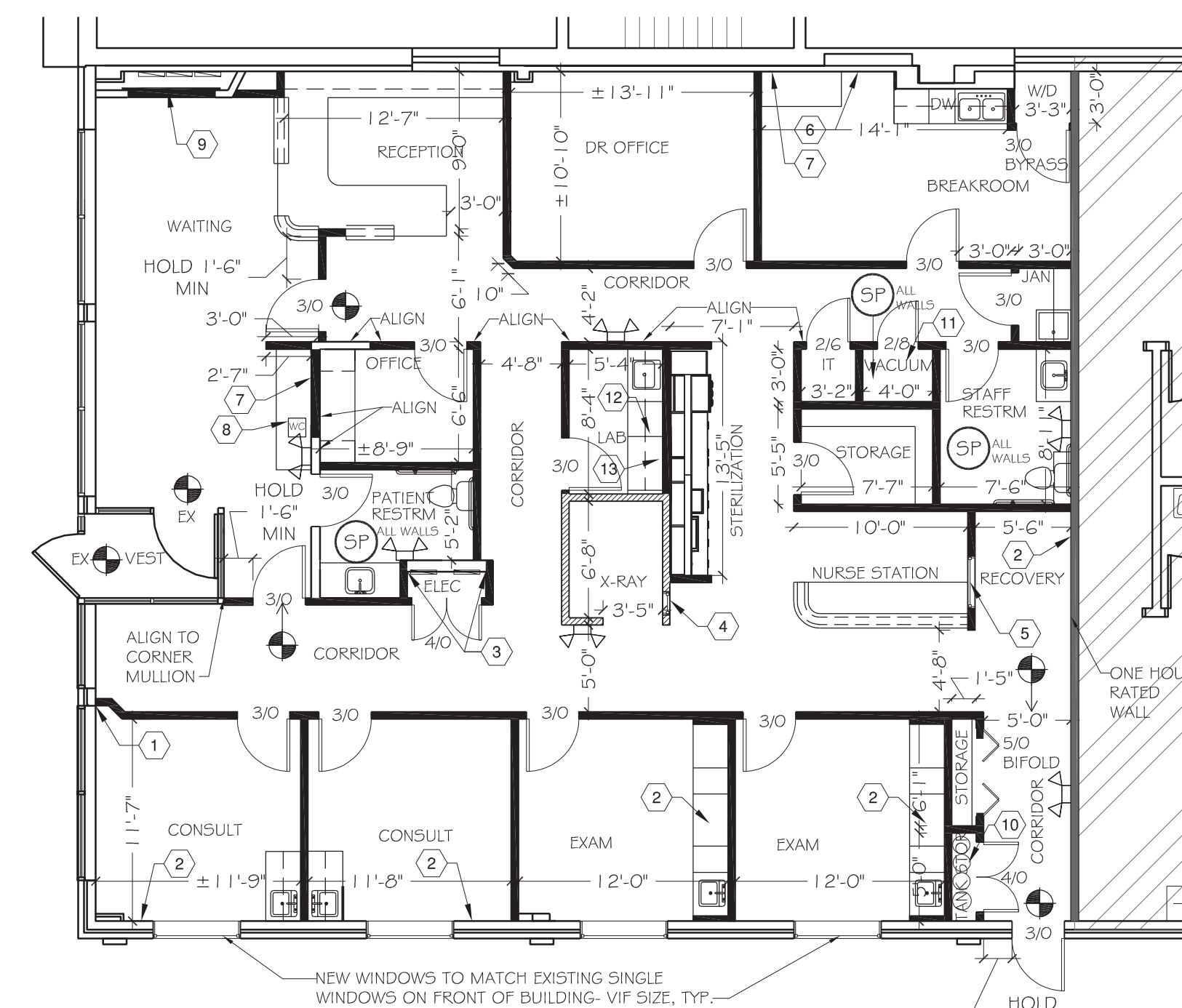
COMMON PATH OF TRAVEL (SECTION 1006.2.1): MAXIMUM ALLOWED: 100 FT. ACTUAL: 28 FT.

CORRIDORS (SECTION 1020): NO RATING REQUIRED

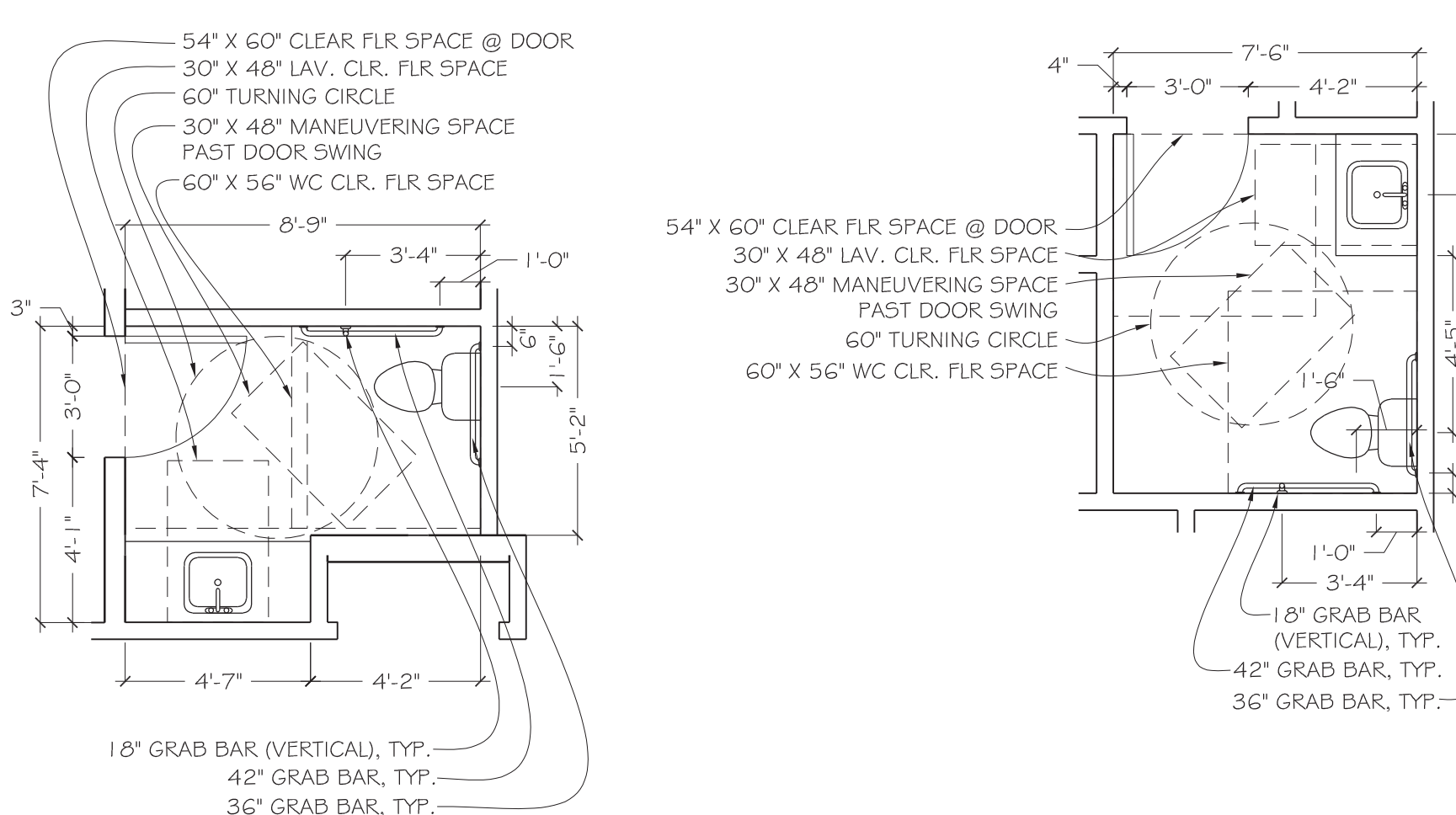
REQUIRED SEPARATION OF OCCUPANCIES (TABLE 508.4): ONE HOUR RATING PROVIDED. FUTURE ADJACENT TENANT IS UNKNOWN.

DEAD END CORRIDORS (SECTION 1020.4): MAXIMUM ALLOWED: 50 FT. ACTUAL: 23 FT.

OCCUPANT LOAD FOR RESTROOMS: OCCUPANT LOAD: 29 OCCUPANTS WATER CLOSET COUNT REQ: 1 MALE/ 1 FEMALE LAVATORY COUNT REQ: 1 MALE/ 1 FEMALE



NEW CONSTRUCTION FLOOR PLAN
SCALE: 1/8" = 1'-0"



NEW RESTROOM PLANS
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
- AIR, WATER, VACUUM, VENT AND DRAINAGE LINES PER AREA CODES.
 - MALE OR FEMALE ADAPTERS ON ALL DENTAL PLUMBING REQUIREMENTS.
 - TRAPS AND SUPPLIES FOR ALL SINK LOCATIONS.
 - DRAIN CONNECTIONS FOR MODEL TRIMMER AND INSTRUMENT WASHER.
 - ADDITIONAL BACKING MAY BE NEEDED FOR X-RAYS AND CABINETS IF METAL STUDS ARE USED FOR FRAMING

- (X) KEYNOTES**
- ALIGN NEW WALL AT CENTER OR EDGE OF EXISTING WALL AT WINDOW AS SHOWN
 - SURGICAL SUCTION @ 55" AFF. VERIFY LOCATION W/ TENANT. VACUUM - 1 1/4 COPPER TRUNK LINES REDUCED AT FIXTURES TERMINATIONS AND LOCATIONS TO BE DISCUSSED. PIPE CAN BE RUN ABOVE OR BELOW FLOOR. FACTORY SPECS WILL BE PROVIDED. THIS IS SURGICAL SUCTION NOT STANDARD DENTAL. MEDICAL GAS TO BE PLUMBED AND CONNECTED TO PROVIDED WALL OUTLET STATION VIA MED GAS PLUMBER.
 - ALIGN NEW WALLS TO OUTSIDE EDGE OF BUMP OUT
 - REUSE EXISTING LEAD LINED GLASS WINDOW. COORDINATE INSTALL HEIGHT WITH EQUIPMENT VENDOR.
 - PROVIDE HM FRAME 36"W X 48"H WINDOW. TOP OF FRAME TO ALIGN W TOP OF DOOR FRAMES
 - PROVIDE WATER LINE FOR REFRIGERATOR WITH BUILT-IN ICE MAKER
 - PROVIDE WATER LINE FOR COFFEE MACHINE BY TENANT, CONFIRM LOCATION W/ TENANT
 - WATER DISPENSER W/ FILTERED & SANITIZED WATER TO PREVENT DISEASE (IN LIEU OF REQUIRED DRINKING FOUNTAIN)
 - BLOCKING HERE FOR WALL MOUNTED TV.
 - MANIFOLD TO BE INSTALLED IN TANK STORAGE ROOM ALL LOCAL PLUMBING AND TANK STORAGE CODES BE FOLLOWED
 - SEPARATE VENT LINE IN VACUUM CLOSET FOR MEDICAL GAS EXHAUST
 - PLUMBER TO INSTALL PLASTER TRAP AND DRAIN
 - 90deg SHUT OFF VALVE TERMINATING WITH 3/8"

APPROVED: TENANT _____ DATE: _____
LANDLORD: _____ DATE: _____

MEEHAN ARCHITECTURE
ARCHITECTURE, PLANNING, & CONSULTING
10 Averbly Drive • Suite 107A • PO Box 591 • Mendon, NY • 14706
Tel: (585) 624-6700 • Fax: (585) 624-6654

REGISTERED ARCHITECT
ROBERT PATRICK MEEHAN
024248
STATE OF NEW YORK

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DRAWING ALTERATION

The following is an excerpt from the New York State Education Law Article 147 Section 7207 Part 69.5b and applies to this drawing.

"It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS

NO.	DATE	DESCRIPTION
1	8/6/19	PROGRESS PLOT
2	8/6/19	ISSUED FOR FINAL BIDDING
3	8/6/19	ISSUED FOR PERMIT
4	8/6/19	ISSUED FOR CONST.

PROJECT

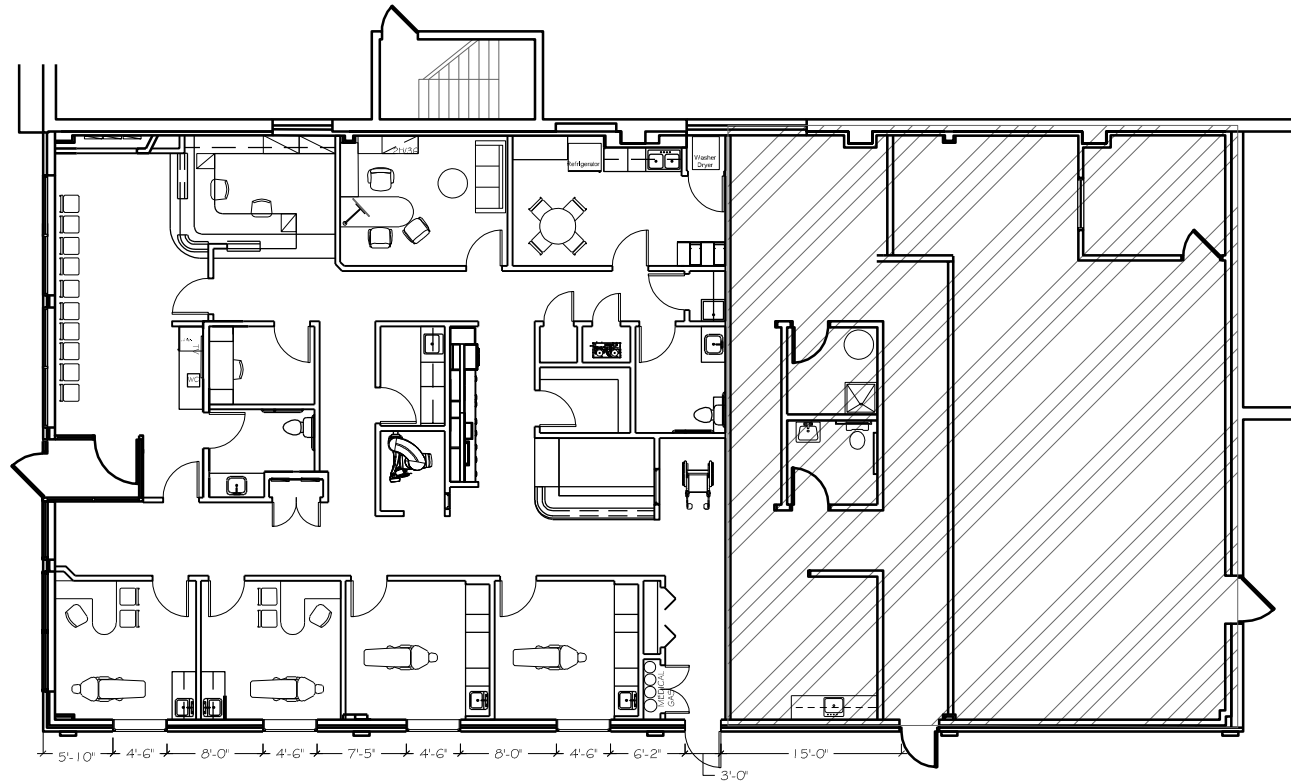
HEATHER CHANCE, DMD

LOCATION
3400 MONROE AVE.
PITTSFORD
NEW YORK STATE

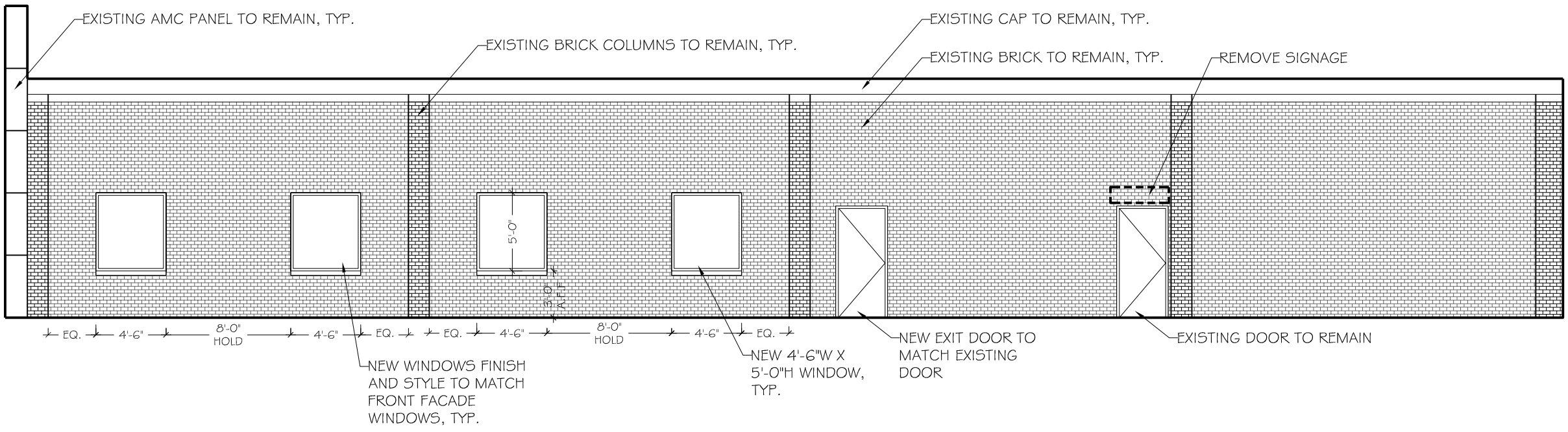
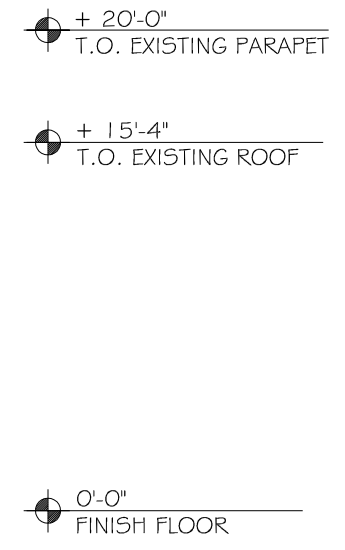
DRAWING TITLE
FLOOR PLAN

SHEET NO. **A-1**

SCALE: As Noted
DRAWN BY: CCC
CHECKED BY: RPM
DATE: 8/6/19
DRAWING: #4877



A ENLARGED FLOOR PLAN
SCALE: 1/16" = 1' - 0"



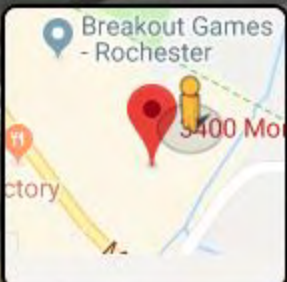
I EXTERIOR FACADE - NEW WINDOW PLACEMENT
SCALE: 1/8" = 1' - 0"

JOB NAME: HEATHER CHANCE, DMD		SK-1	PROJECT # #4677
TITLE: EXTERIOR FACADE			
SCALE: 1/8" = 1'-0"		DATE: 8/13/19	
<p>GETSLOFF Design Group</p> <p>6800 Pittsford-Palmyra Rd. - Fairport, New York 14450 Phone: 585.425.0932 - Fax: 585.425.1033</p>		<p>IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY WITHOUT THE WRITTEN RELEASE FROM GETSLOFF DESIGN GROUP. THESE DRAWINGS ARE THE PROPERTY OF GETSLOFF DESIGN GROUP AND ARE NOT TO BE USED, COPIED OR APPLIED WITHOUT WRITTEN CONSENT.</p>	

Collapse side panel

Google

Street View - Jun 2017



Google



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S19-000013

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3040 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-64.11

Zoning District: C Commercial

Owner: Oak Hill Commons LLC

Applicant: Signation Sign Group

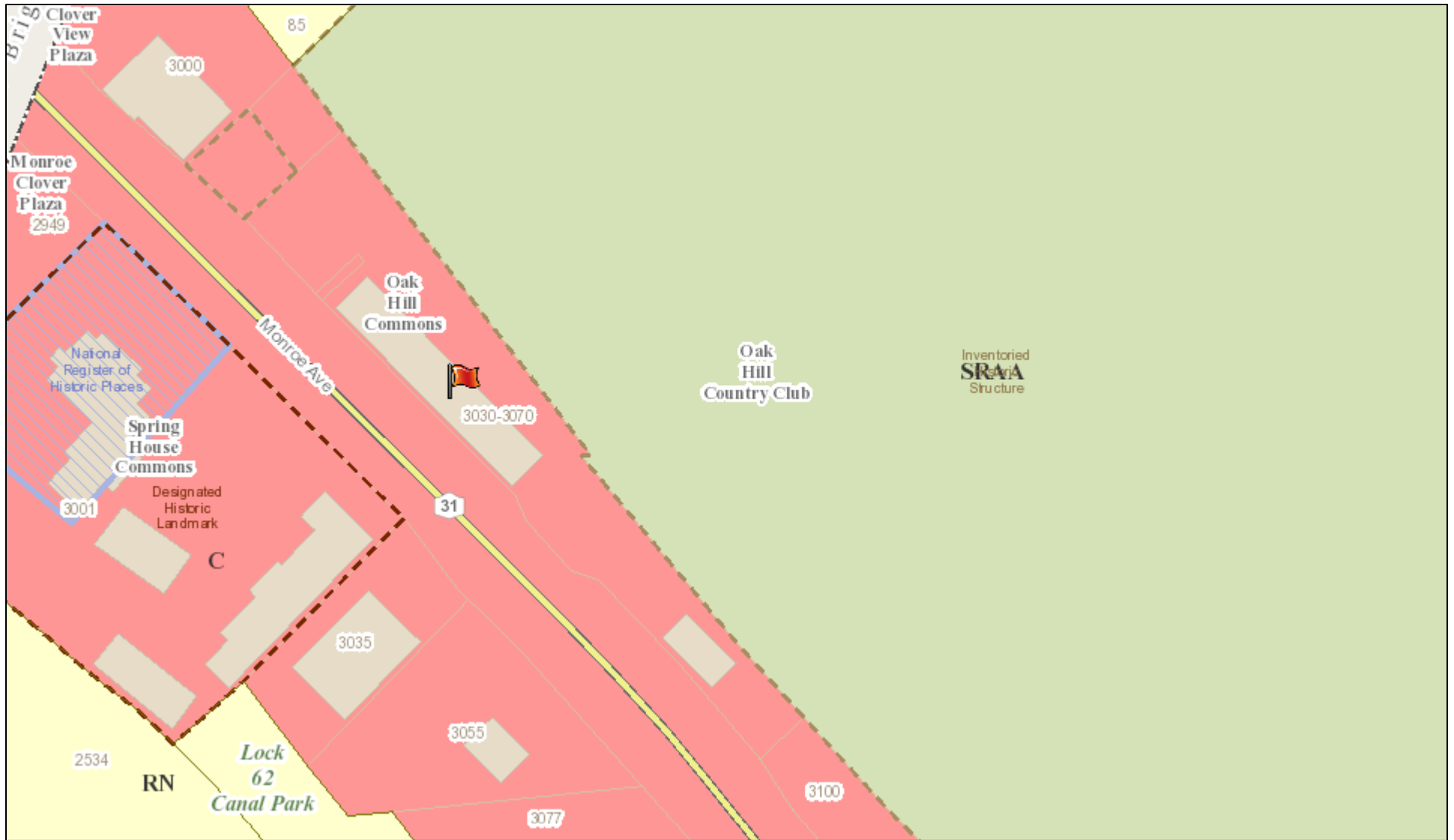
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

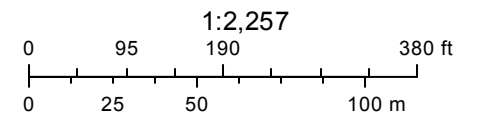
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be for the business "Code Ninjas" and will be approximately 20.65 sq. ft. located on the front of the building.

Meeting Date: August 22, 2019

RN Residential Neighborhood Zoning



Printed August 15, 2019



Town of Pitsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

6840 Shingle Creek Pkwy. #31
Brooklyn Center, MN 55430
PHONE (763) 561-1005
FAX (763) 561-1004

JOB NUMBER

13190

DATE

08/7/19

SALES/DESIGN

KJ/CMK

CLIENT

CODE NINJAS

PROJECT

NEW LETTERSET

FILE SAVED AS

CODE NINJAS PITTSFORD, NY

REVISION

08/14/19

**SIGN & DATE HERE IF
OK TO BEGIN PRODUCTION**

Approved

After Revisions

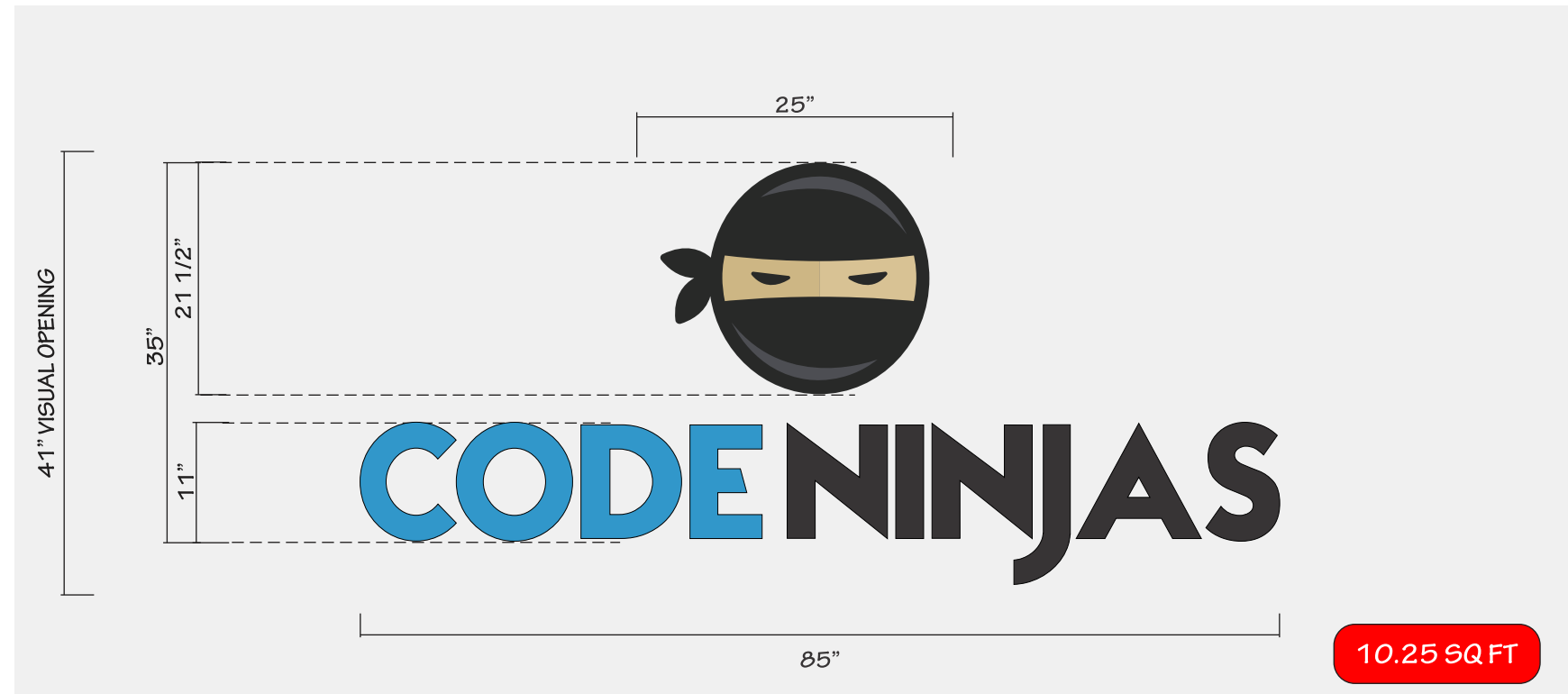
X

Date _____



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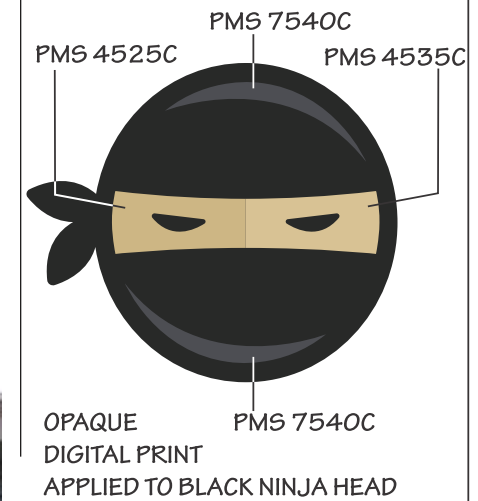


**NON-ILLUMINATED
LETTERS AND LOGO**

- 1/2" FCO PTD LOGO AND COPY
- STUD MOUNTED TO EXISTING FACE
- NINJA FACE = BLACK
- "CODE" = V1
- "NINJAS" = BLACK

FINISH SCHEDULE

V1 PMS 7688C



6840 Shingle Creek Pkwy. #31
Brooklyn Center, MN 55430
PHONE (763) 561-1005
FAX (763) 561-1004

JOB NUMBER
13190
DATE
08/7/19
SALES/DESIGN
KJ/CMK
CLIENT
CODE NINJAS

PROJECT
NEW LETTERSET
FILE SAVED AS
CODE NINJAS PITTSFORD, NY

REVISION
08/14/19

**SIGN & DATE HERE IF
OK TO BEGIN PRODUCTION**

- Approved
- After Revisions

X
Date _____

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**3040 MONROE AVE
PITTSFORD, NY 14618**

