

**Design Review & Historic Preservation Board
Agenda
July 23, 2020**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **323 East Street**
The Applicant is requesting design review for a kitchen and bath addition. The addition will be approximately 340 sq. ft. and will be located to the rear of the existing home.
- **355 East Street**
The Applicant is requesting design review for the garage extension. The extension will be approximately 72 sq. ft. and will be located behind the 3rd bay of the garage.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **16 Ravenna Crescent**
The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2800 sq. ft. and will be located in the Coventry Ridge Subdivision.
- **4 San Rafael Drive**
The Applicant is requesting design review for the construction of a new single family home. The home will be approximately 6440 sq. ft. of livable space and will be located on a vacant lot in the San Rafael Drive neighborhood.
- **23 & 25 Skylight Trail**
The Applicant is returning to request design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 40 (23 Skylight Trail) will be approximately 2013 sq. ft. and Lot 39 (25 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.
- **40 Skylight Trail**
The Applicant is requesting design review for the construction of a community building. The building will be approximately 820 sq. ft. and will be located in the Alpine Ridge Subdivision.
- **25 Parker Drive**
The applicant is requesting Design Review for the proposed construction of an addition and an oversized accessory structure. The proposed construction is a 2 story 1,007 Sq. Ft. addition and a 468 Sq. Ft. workshop/Storage structure. The addition will create living space and a new garage. The Zoning Board of Appeals has heard these applications on July 20, 2020.

COMMERCIAL APPLICATION

- **3001 Monroe Avenue**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 10.5 sq. ft. and will identify "Blonsky Family Chiropractic".

OTHER – REVIEW OF 7/9/2020 MINUTES

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/81368200858?pwd=QmNRMFIYOGczSjlxUmZsc2lzRVZMz09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **813 6820 0858**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

Draft
Design Review and Historic Preservation Board
Minutes
July 9, 2020

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, Bonnie Salem, Kathleen Cristman, John Mitchell

ALSO PRESENT

Mark Lenzi, Building Inspector; Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, June 25 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

ABSENT

Leticia Fornataro, David Wigg

Dirk Schneider opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The Board discussed the reception for inventoried homeowners. A tentative date of November 5 is now preferred. This is a good date for the speaker Wayne Goodman to attend. Letters should be sent out a month in advance in October.

Bonnie Salem discussed the banners for the historic district. Although Mr. Beckford was not in attendance at this meeting, it was reported by Dirk Schneider that he sent communication to the Town finance director regarding approval for the funds to purchase them. Dirk indicated that he will forward this communication from Kevin Beckford to Allen Reitz and Mark Lenzi.

RESIDENTIAL APPLICATION FOR REVIEW

- **60 Falcon Trail**

The Applicant is requesting design and review for a kitchen addition. The addition will be approximately 95 sq. ft. and will be located to the rear of the home.

The homeowner, Kristin Dawe was present to discuss the application with the Board.

The proposed project will be to add an addition to expand the kitchen to include a 10' x 9 ½' kitchen nook. The roof will be a hip roof.

The Board felt this was a fitting addition to the home.

Kathleen Cristman moved to accept the application as submitted.

Paul Whitbeck seconded.

Dirk Schneider called for a roll call vote.

Schneider voted aye.

Salem voted aye.

Mitchell voted aye.

Cristman voted aye.

Whitbeck voted aye.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **23 & 25 Skylight Drive**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 40 (23 Skylight Trail) will be approximately 2013 sq. ft. and Lot 39 (25 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

Jeff Brokaw of Morrell Builders was present to discuss this application.

The submission from the applicant provided provided much confusion with the Board.

In general it was determined that it was difficult for the Board to discern given the submission of many different colors of X's and no key to those X's which unit was proposed to be built.

Once this was determined which unit would be built and after lengthy discussion, it was determined that the color rendering provided did not reflect the windows, garage doors or orientation of the garage that are proposed to be built and was only intended as a color representation of one of the units. Mr. Brokaw indicated that the blueprint drawing with front facing garages is the unit proposed to be built. However, the "color rendering" provided showed only the Booth Bay Blue coloration and not the Light Mist coloration of the second unit as Mr. Brokaw indicated that this townhouse unit would be two toned as indicated in the key plan. There was additional confusion from the key as to what the building step color meant. Mr. Brokaw explained the assigned color indicates which unit is to be stepped.

Several Board members indicated again that the use of three materials is overkill and "too busy". When the Board inquired what type of stone is going to be used Mr. Brokaw indicated he did not know that it is drawn on the blueprint to represent that stone is present. Mr. Brokaw stated three materials are what customers want and the Board has approved this at other locations. The Board indicated that it is time to put

something in place as multiple materials are counter to the recommendations of the Design Guidelines. The Board feels this is a concern and it is not too late to correct the situation at this subdivision.

Bonnie Salem noted her concerns about the lack of front door diversity. She quoted from the meeting minutes of October 19, 2019 where Jeff Morrell indicated that the design of the front doors could be “tweaked” to provide greater diversity. Bonnie asked if this is going to happen. Jeff Brokaw indicated he had no knowledge of this conversation with Mr. Morrell. Bonnie also inquired whether the same garage door would be used for all garages and Mr. Brokaw indicated yes. Bonnie Salem indicated that this lends to excessive similarity which is also discouraged in the guidelines. It was also noted that an overwhelming majority of the homes (34) have front loaded garages also discouraged in the guidelines. Mark Lenzi indicated that this parcel is approved as a subdivision and the number of units limits the amount of side load garages which can be used. The Board noted that the approval goes against what is outlined in the guidelines.

The Board further asked for further clarification of exactly what they being asked to approve by the Applicant. It was determined that the building with the red X with submitted blueprint drawing A-1 and A-2 and the two toned colors Booth Bay Blue and Light Mist are the colors submitted.

Finally, it was noted that corbels should be added under the right and left side fireboxes.

Dirk Schneider moved to approve the application for 23 & 25 Skylight Trail as submitted with the following conditions:

1. Corbels or brackets to be added under the right and left side fireboxes.
2. The colors of the units are two toned: Booth Bay Blue and Light Mist.

John Mitchell seconded.

Dirk Schneider moved for a roll call vote.

Mitchell voted aye
Schneider voted aye
Whitbeck voted nay
Cristman voted nay
Salem voted nay

The motion did not carry.

Jeff Brokaw asked what the problem is with the submission.

Dirk Schneider noted the following concerns:

The Board requires clearer documentation and clarification in the renderings they are asked to approve – the submission is not cohesive. He feels the renderings need to be clearly labeled and a better presentation of what is meaningful needs to be given.

Kathleen Cristman referenced the monotony of the design and the expectation that the Design Guidelines would be taken into account into the drawings and plans. This expectation has not been met. She also expressed difficulty understanding the renderings.

Robert Koegel stated that the rendering needs to reflect what the Board is being asked to approve.

Mark Lenzi expressed to Mr. Brokaw that one of the largest concerns of this development was that of excessive similarity of design. He indicated that this was made clear to Jeff Morrell. He indicated to Mr. Brokaw is that the burden of proof of what was going to be built in on the builder and the Board needs to be able to visualize in no uncertain terms what they are being asked to approve.

INFORMAL REVIEW – DEMOLITION OF STORAGE BUILDING

Mark Lenzi shared with the Board a request from Oak Hill Country Club for the demolition of a storage shed building in 1986. The building is not over 50 years old but Oak Hill Country Club clubhouse is an inventoried structure.

Bonnie Salem indicated that it is a dilemma because the materials of the storage shed matches the clubhouse and is one of the outbuildings of a historic building but the age does not justify keeping it.

Kathleen Cristman stated that the shed can be seen from the clubhouse. She felt that Oak Hill is removing trees and sinking down garage cans for a better view of the course and that the removal of this building which is not in use may be part of that.

Dirk Schneider added that this structure was not part of the original design of the Club and the removal of this shed may be part of an effort to return the course back to its original luster.

Mark Lenzi stated that this building was added for storage and bathroom facilities for tennis courts which are no longer in use. In addition, a tree has fallen on the porch of the structure.

Bonnie Salem supported the removal as a way of preserving the original look of the course. Paul Whitbeck indicated that Oak Hill Country Club is an important historic structure and it is important to pay attention to any changes. It was requested that a picture be taken before demolition to document what was there.

OTHER – REVIEW OF 6/25/2020 MINUTES

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

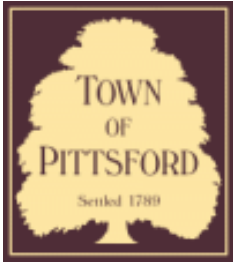
All Ayes.

The meeting adjourned at 7:15 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000091

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 323 East Street PITTSFORD, NY 14534

Tax ID Number: 178.16-1-12

Zoning District: RN Residential Neighborhood

Owner: Hamann, Karl W

Applicant: The Unlimited Enterprise

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a kitchen and bath addition. The addition will be approximately 340 sq. ft. and will be located to the rear of the existing home.

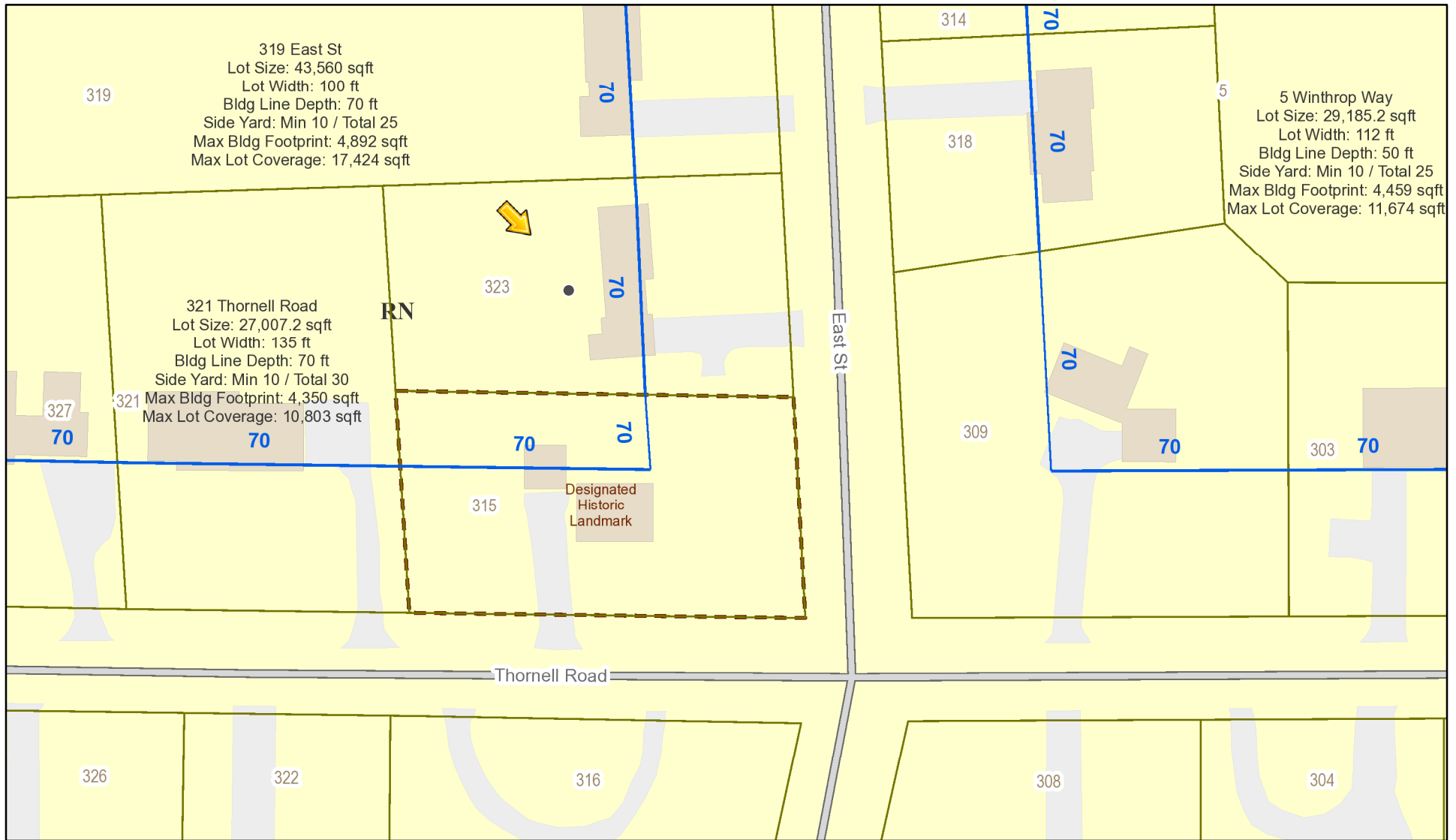
Meeting Date: July 23, 2020



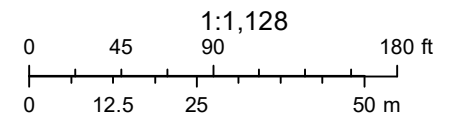
323



RN Residential Neighborhood Zoning



Printed July 16, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

315

319

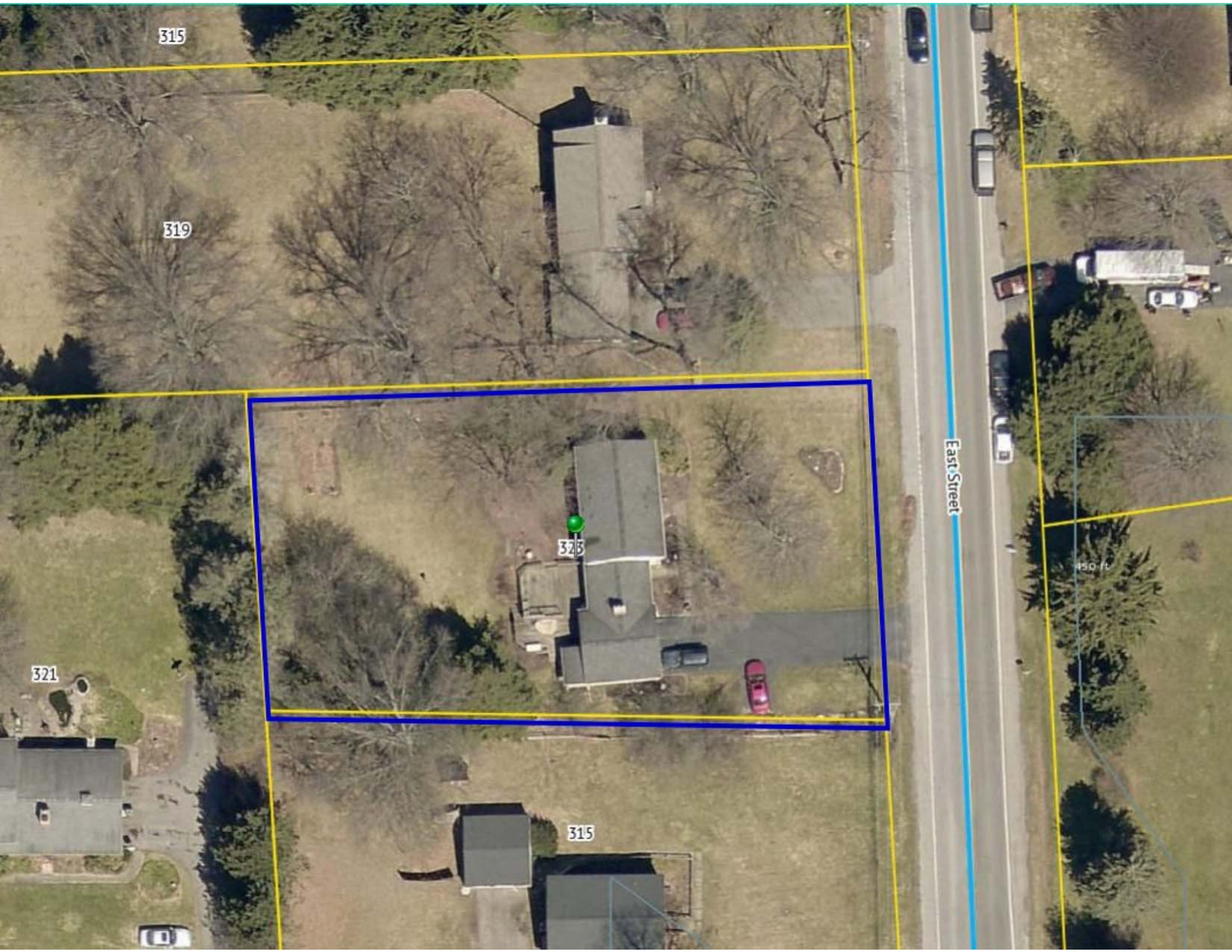
321

323

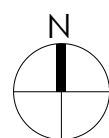
315

East Street

150 ft



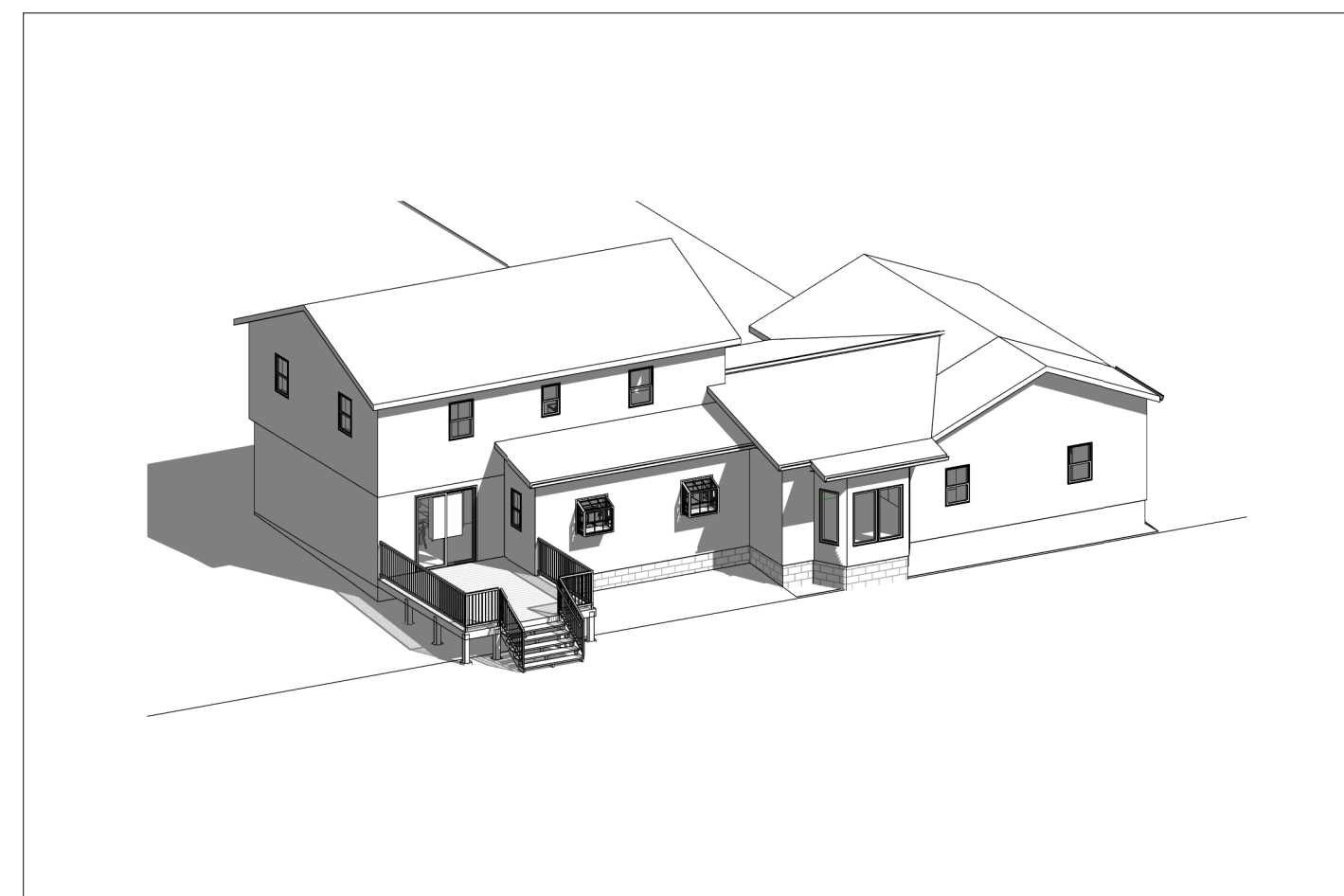
SITE MAP
NOTE: NOT TO SCALE



HAMANN RESIDENCE

JULY 20, 2020

PERMIT DRAWINGS



ARCHITECT:
WOLFE ARCHITECTURE
3 NORTH MAIN ST. SUITE 2
HONEOYE FALLS, NEW YORK 14472
(585)-582-6277

CONTRACTOR:
SHAWN MCHUGH
52 NORTH MAIN ST.
HONEOYE FALLS, NEW YORK 14472
(585)-903-1819

OWNER:
HAMANN FAMILY
323 EAST ST.
PITTSFORD, NY 14534

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 146, SECTION 7209, SPECIAL PROVISIONS, AND APPLIES TO THIS DRAWING. IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE

DEFINITIONS

NOTE: ALL DEFINITIONS NOT NECESSARILY USED

"SUPPLY" OR ITS DERIVATIVE, MEANS: PURCHASE PRODUCT OR MATERIAL AS PART OF THE PROJECT FOR INSTALLATION BY OTHERS

"INSTALL" OR ITS DERIVATIVE, MEANS: FOLLOWING MANUFACTURERS RECOMMENDATIONS, INCORPORATE PRODUCT OR MATERIAL SUPPLIED BY OTHERS, ALLOWING PRODUCT OR MATERIAL TO PERFORM FULLY AS MANUFACTURER OF PRODUCT OR MATERIAL INTENDED.

"PROVIDE" MEANS: SUPPLY AND INSTALL

"REPAIR": TO STABILIZE, CONSOLIDATE, OR CONSERVE; TO RETAIN EXISTING MATERIALS AND FEATURES WHILE EMPLOYING AS LITTLE NEW MATERIAL AS POSSIBLE. REPAIR INCLUDES PATCHING, PIECING-IN, SPlicing, CONSOLIDATING, OR OTHERWISE REINFORCING OR UPGRADING MATERIALS. WITHIN RESTORATION, REPAIR ALSO INCLUDES LIMITED REPLACEMENT OF MATERIALS IN KIND, REHABILITATION, AND RECONSTRUCTION, WITH COMPATIBLE SUBSTITUTE MATERIALS FOR DETERIORATED OR MISSING PARTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES.

"REPLACE": TO DUPLICATE AND REPLACE ENTIRE FEATURES WITH NEW MATERIAL IN KIND. REPLACEMENT INCLUDES THE FOLLOWING CONDITIONS:

DUPLICATION: INCLUDES REPLACING ELEMENTS DAMAGED BEYOND REPAIR OR MISSING. ORIGINAL MATERIAL IS INDICATED AS THE PATTERN FOR CREATING NEW DUPLICATED ELEMENTS.

REPLACEMENT WITH NEW MATERIALS INCLUDES REPLACEMENT WITH NEW MATERIAL WHEN ORIGINAL MATERIAL IS NOT AVAILABLE AS PATTERNS FOR CREATING NEW DUPLICATED ELEMENTS.

REPLACEMENT WITH SUBSTITUTE INCLUDES REPLACEMENT WITH COMPATIBLE SUBSTITUTE MATERIALS. SUBSTITUTE MATERIALS ARE NOT ALLOWED, UNLESS SPECIFICALLY INDICATED.

"REMOVE": TO DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.

"REMOVE AND SALVAGE": TO DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO OWNER READY FOR REUSE.

"REMOVE AND REINSTALL": TO DETACH ITEMS FROM EXISTING CONSTRUCTION, REPAIR AND CLEAN THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED.

"EXISTING TO REMAIN" OR "RETAIN": EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

"MATERIAL IN KIND": MATERIAL THAT MATCHES EXISTING MATERIALS, AS MUCH AS POSSIBLE, IN SPECIES, CUT, COLOR, GRAIN AND FINISH.

ABBREVIATIONS

NOTE: ALL ABBREVIATIONS NOT NECESSARILY USED

A.F.F.	ABOVE FINISH FLOOR	H.M.	HOLLOW METAL
ABSORB.	ABSORPTIVE	HORIZ.	HORIZONTAL
A.P.	ACCESS PANEL	H.W.	HOT WATER
ACOUST.	ACOUSTICAL	HR.	HOUR
A.C.T.	ACOUSTICAL CEILING TILE	H.S.	HOSPITAL STOP
ADH.	ADHESIVE	IN.	INC
ADJUST.	ADJUSTABLE	I.M.	INSULATED METAL
AGGR.	AGGREGATE	INSUL.	INSULATION OR INSULATED
A.C.	AIR	INT.	INTERIOR
ALT.	ALTERATION	INVT.	INVERT
ALTN.	ALTERNATE	ISO.	ISOLATION
ALUM.	ALUMINUM	JAN.	JANITOR'S CLOSET
APPD.	APPROVED	JOINT.	JOINT
APPROX.	APPROXIMATE	LAM.	LAMINATE
ARCH.	ARCHITECTURAL	LAV.	LAVATORY
ASB.	ASBESTOS	LG.	LON
ASPH.	ASPHALT	M.D.H.	MAGNETIC DOOR HOLDER
AUTO.	AUTOMATIC	M.H.	MANHOLE
AVG.	AVERAGE	MFR.	MANUFACTURER
BLK.	BLOCK	MAX.	MAXIMUM
BD.	BOARD	MECH.	MECHANICA
C.I.P.	CAST IRON PIPE	MET.	METAL
C.B.	CATCH BASIN	MIN.	MINIMUM
CEM.	CEMENT	MISC.	MISCELLANEOUS
C.M.T.	CERAMIC MOSAIC TILE	N.I.C.	NOT IN CONTRACT
CT.	CERAMIC TILE	N.T.S.	NOT TO SCALE
C.O.	CLEANOUT	O.C.	ON CENTER
CLO.	CLOSET	OPP.	OPPOSITE
C.W.	COLD WATER	O.H.	OVERHEAD
COL.	COLUMN	PR.	PAIR
CONC.	CONCRETE	PLAS.	PLASTER
C.M.U.	CONCRETE MASONRY UNIT	PLAS.LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	P.	PLUMBING CONTRACTOR
COORD.	COORDINATE	P.W.D.	PLYWOOD
CORR.	CORRIDOR	POLY.	POLYETHYLENE
C.M.P.	CORRUGATED METAL PIPE	P.V.C.	POLYVINYL CHLORIDE
CRS.	COURSES	PRE-FAB.	PREFABRICATED
DIA.	DIAMETER	REF.	REFRIGERATOR
DIM.	DIMENSION	R.C.P.	REINFORCED CONCRETE PIPE
DR.	DOWNPOUT	REINF.	REINFORCEMENT
D.S.	DRAWING	ROO.	ROOF
DWG.	DRAWING	R.O.B.	RUN OF BANK
D.F.	DRINKING FOUNTAIN	SCHED.	SCHEDULE
D.I.P.	DUCTILE IRON PIPE	SIM.	SIMILAR
EA.	EACH	S.C.	SOLID CORE
E.W.	EACH WAY	SQ.	SQUARE
ELEC.	ELECTRICAL	S.F.	SQUARE FOOT
E.C.	ELECTRICAL CONTRACTOR	SS.	STAINLESS STEEL
EL.	ELEVATION	STL.	STEEL
ELEV.	ELEVATION	STOR.	STORAGE
EQUIP.	EQUIPMENT	STR.	STRUCTURAL
E.F.	EXHAUST FAN	TEL.	TELEPHONE
EXIST.	EXISTING	T&G	TONGUE & GROOVE
EXP.	EXPANSION	T.O.	TOP OF
E.J.	EXPANSION JOINT	T.G.	TOP OF GRATE
EXP.	EXPOSED	T.O.S.	TOP OF STEEL
EXT.	EXTERIOR	TYP.	TYPICAL
F.F.	FINISH FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
F.A.C.P.	FIRE ALARM CONTROL PANEL	V.B.	VAPOR BARRIER
FE.	FIRE EXTINGUISHER CABINET	VERT.	VESTIBULE
FT.	FOOT	V.C.T.	VINYL COMPOSITION TILE
FTG.	FOOTING	W.H.	WATER HEATER
GA.	GAUGE	W.W.F.	WELDED WIRE FABRIC
G.C.	GENERAL CONTRACTOR	W/.	WITH
G.F.I.	GROUND FAULT INTERRUPTER	WD.	WITHOUT
GYP.	GYPSEUM		WOOD
G.W.B.	GYPSEUM WALL BOARD		
H.C.	HEATING CONTRACTOR		
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING		

DRAWING INDEX

STRUCTURAL / ARCHITECTURAL

GENERAL	COVER SHEET
CS	
STRUCTURAL	STRUCTURAL NOTES AND DETAILS
S001	FIRST FLOOR FRAMING PLAN
S002	ROOF FRAMING PLAN
S003	WALL DETAILS AND NOTES
S004	
ARCHITECTURAL	DEMOLITION FLOOR PLANS AND ROOF PLAN
D100	DEMOLITION ELEVATIONS
D200	FOUNDATION PLAN
A100	FIRST FLOOR PLAN
A101	SECOND FLOOR PLAN
A102	ROOF PLAN
A103	EXTERIOR ELEVATIONS
A200	BUILDING SECTIONS
A300	WALL SECTIONS
A301	WALL DETAILS
A303	STAIR & DECK DETAILS
A304	FIRST FLOOR REFLECTED CEILING PLAN
A401	ENLARGED PLANS AND ELEVATIONS
A701	DOOR & WINDOW SCHEDULES
A800	

GENERAL CONTRACTOR NOTES

- GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR ALL REQUIREMENTS FOR LOCAL CODES & ORDINANCES. ALL GENERAL CONSTRUCTION WORK SHALL COMPLY WITH GOVERNING CODES AS ADMINISTERED BY THE LOCAL BUILDING OFFICIALS AND SHALL BE CONSIDERED AS A PART OF THESE CONSTRUCTION DOCUMENTS.
- G.C. SHALL INVESTIGATE SITE AND VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
G.C. SHALL INVESTIGATE SITE AND NOTIFY ARCHITECT & OWNER OF ANY FIELD CONDITIONS NOT NOTED ON THE DRAWINGS.
- LANDLORD, G.C. AND EACH SUBCONTRACTOR SHALL NOT COMMENCE WORK UNDER THIS CONTRACT UNTIL THEY HAVE PROVIDED PROOF OF INSURANCE IN SUCH AMOUNTS AS WILL PROVIDE ADEQUATE PROTECTION FOR THE OWNER, THE ARCHITECT, THE MEMBERS THEREOF AND THEIR SUCCESSORS, ALL AGENTS, OFFICERS AND SERVANTS OF THE OWNER AND THE G.C. AND SUBCONTRACTOR AGAINST ALL CLAIMS, LIABILITIES, DAMAGES AND ACCIDENTS. SUCH INSURANCE SHALL REMAIN IN FORCE THROUGHOUT THE LIFETIME OF THIS CONTRACT. SEE PROJECT MANUAL FOR MORE INFORMATION.
- ALL WORK PERFORMED AS A PART OF THIS CONTRACT IS TO BE GUARANTEED BY THE G.C. AND SUBCONTRACTORS TO BE FREE FROM DEFECTS ON MATERIAL AND WORKSMANSHIP FOR A PERIOD OF (1) YEAR FROM THE DATE OF COMPLETION OF THE WORK. THE G.C. AND SUBCONTRACTORS AGREE TO RETURN TO THE JOB AND MAKE REPAIRS AND REPLACEMENTS TO SUCH DEFECTS AT NO COST TO THE OWNER.
- ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS FOR THE COORDINATION OF THEIR WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER BEFORE FINALIZING BIDS AND COMMENCING ANY WORK.
- THE G.C. SHALL ASSUME FULL RESPONSIBILITY FOR THE COORDINATION OF ALL PARTS OF THE WORK AND SHALL CROSS-CHECK ALL SHOP DRAWINGS, SPECIFICATIONS AND INSTALLATIONS. EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND SHALL COORDINATE WITH ALL TRADES. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK AND FOR THE STORAGE OF THEIR MATERIAL. EACH TRADE SHALL BE FAMILIAR WITH THE ENTIRE PROJECT AND HAVE THEIR WORK RELATE TO THE JOB IN TOTAL.
- MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES. FIRE ALARM AND SMOKE DETECTOR SYSTEMS SHALL REMAIN OPERATIONAL. PROTECT SMOKE DETECTORS AS REQUIRED.
- PROVIDE TEMPORARY PARTITIONS/ DUST PROTECTION AT THE DOORS.
- G.C. SHALL KEEP PROJECT SITE FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER. G.C. SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.
- G.C. IS RESPONSIBLE FOR SECURING ALL PERMITS REQUIRED BY THE LOCAL GOVERNING JURISDICTIONS.
- G.C. TO PROVIDE SUBMITTALS FOR ALL FINISHES, AND SHOP DRAWINGS, FOR REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
- COLLECT WASTE DAILY AND DISPOSE OF WASTE OFF-SITE ACCORDING TO LOCAL ORDINANCES. WHEN CONTAINERS ARE FULL, IT IS NOT KNOWN WHETHER HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF SUCH MATERIALS ARE ENCOUNTERED, DISPOSE OF THE MATERIALS ACCORDING TO APPLICABLE LAWS AND REGULATIONS.
- PROVIDE PRODUCTS OF SAME KIND FROM A SINGLE SOURCE. DELIVER, STORE AND HANDLE PRODUCTS ACCORDING TO THE MANUFACTURERS WRITTEN INSTRUCTIONS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS.
- TYPICAL CAULKING - CLEAN & PRIME SUBSTRATE PER MFR'S RECOMMENDATIONS, INSTALL CLOSED CELL BACKER ROD & MASK JOINT. APPLY SILICONE CAULK TO MFR'S INSTRUCTIONS. RECOMMENDED DEPTH TO BONDING RATIO. ALL JOINTS SHALL BE TOOLED CONCAVE, TYPICAL AT ALL CAULK APPLICATIONS.
- CONTRACTOR(S) WILL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO THE GROUNDS OR THE BUILDING CAUSED BY THEIR PERSONNEL OR EQUIPMENT.

SYMBOLS & MATERIAL LEGEND

DRAWING NO. DRAWING TITLE	DOOR NO. DOOR MARK	BRICK
DRAWING SCALE PAGE NO.	WINDOW NO. WINDOW MARK	CONCRETE
SECTION NO. SECTION MARK	WALL I.D. WALL TYPE (INTERIOR)	CONCRETE MASONRY UNIT
DETAIL MARK PAGE NO.	ROOM NAME ROOM IDENTIFICATION	EARTH
ELEVATION NO. INTERIOR ELEVATION MARK	ROOM NO. ROOM NO.	GRAVEL (COMPACTED)
ELEVATION MARK PAGE NO.	DATUM ELEVATION MARK	GYPSEUM WALL BOARD (G.W.B.)
ELEVATION NO. ELEVATION MARK	AREA # DRAWING MATCH LINE	INSULATION - BATT
		INSULATION - RIGID
		WOOD FRAMING
		WOOD BLOCKING
		STEEL
		UNDISTURBED EARTH/STONE
		EXISTING CONSTRUCTION

ALL INTELLECTUAL AND OTHER RIGHTS ARE RESERVED, INCLUDING BUT NOT LIMITED TO COPYRIGHT.

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:07 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

19-20 - Hamann Residence.rvt

DRAWING:

COVER SHEET

SHEET NUMBER:

CS

GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE - 2020
- LIVE LOADS: ALL ELEVATED FLOORS = 40PSF
- SNOW LOADS:
 $P_g = 40\text{psf}$ $C_e = 1.0$ $I_s = 1.0$
 $P_{sloped} = 31\text{psf}$ $C_t = 1.1$
- WIND LOADS
 $V = 115\text{mph}$

FOUNDATION AND FLOOR SLAB NOTES:

- FOOTING DESIGN IS BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 1,500psf. VERIFY SOIL CONDITION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EXISTING BELOW GRADE UTILITIES.
- EXCAVATION FOR FOUNDATION SHALL BE TAKEN TO FIRM UNDISTURBED SOIL, DRY AND FREE FROM FROST OR LOOSE MATERIAL.
- BACKFILL BELOW GRADE SHALL BE WELL GRADED SAND AND GRAVEL OR CRUSHER RUN STONE HAVING A MAXIMUM SIZE OF 3" AND NO MORE THAN 10% PARTICLES PASSING THE #20 SIVE. BACKFILL SHALL BE PLACED IN 6" TO 8" LIFTS. EACH LIFT SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR METHOD.
- ALL PIPING SLEEVES THROUGH FOUNDATION WALLS AND FOOTING STEPS TO ACCOMMODATE PIPING SHALL BE COORDINATED WITH THE PLUMBING CONTRACTOR/DRAWINGS.
- CONCRETE COVER FOR REINFORCEMENT:
 CONCRETE CAST AGAINST EARTH.....3"
 CONCRETE EXPOSED TO WEATHER OR EARTH.....2"
- BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 4'-0" BELOW GRADE EXCEPT WHERE FIELD CONDITIONS REQUIRE AN ADJUSTMENT.
- REFERENCE ARCHITECTURAL AND PLUMBING PLANS FOR SLOPED FLOOR SLABS. ALL SLABS TO MAINTAIN FULL THICKNESS.
- NO BACKFILLING OF FOUNDATION WALLS TO BE DONE UNLESS WALLS ARE ADEQUATELY BRACED OR FILLING IS BALANCED.
- PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN ALL WALLS AND FOOTINGS.

MASONRY NOTES:

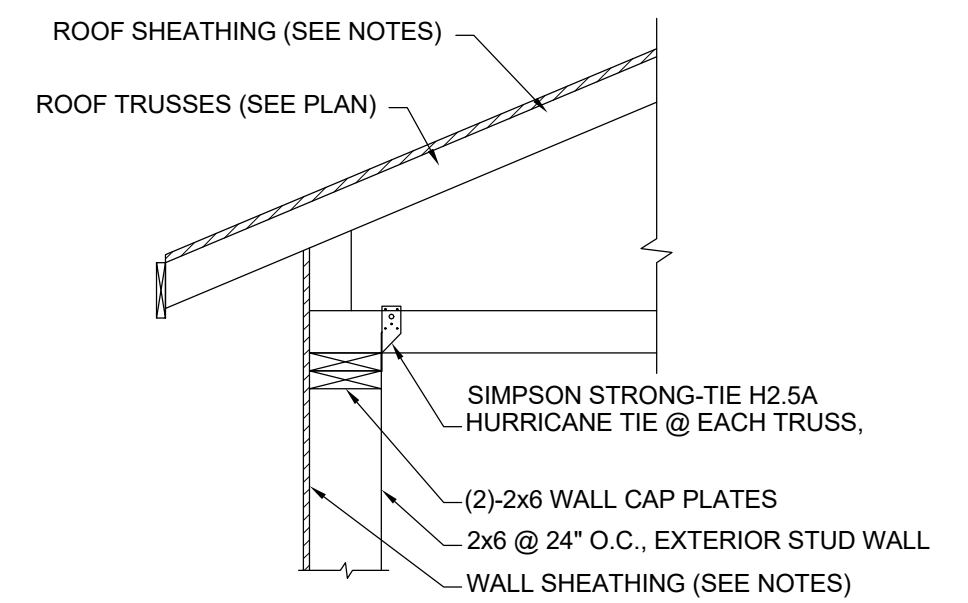
- CONCRETE MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ACI 530-05, AND ACI 350.1-50
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90, TYPE 1, GRADE N, MOISTURE CONTROLLED UNITS. MORTAR SHALL BE TYPE M OR S. PROVIDE GALVANIZED HORIZONTAL JOINT REINFORCING AT 16" O.C. UNLESS NOTED OTHERWISE.
- GROUT FOR FILLING BLOCK CORES SHALL CONFORM TO ASTM C476 WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000psi AT 28 DAYS. GROUT SHALL BE PLACED IN LIFTS NOT EXCEEDING 7 COURSES IN HEIGHT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- LAP SPLICES IN VERTICAL REINFORCING FOR CONCRETE BLOCK MASONRY WALLS AND PILASTERS SHALL BE A MINIMUM OF 48 BAR DIAMETERS UNLESS DETAILED OTHERWISE ON THE DRAWINGS.

CONCRETE NOTES:

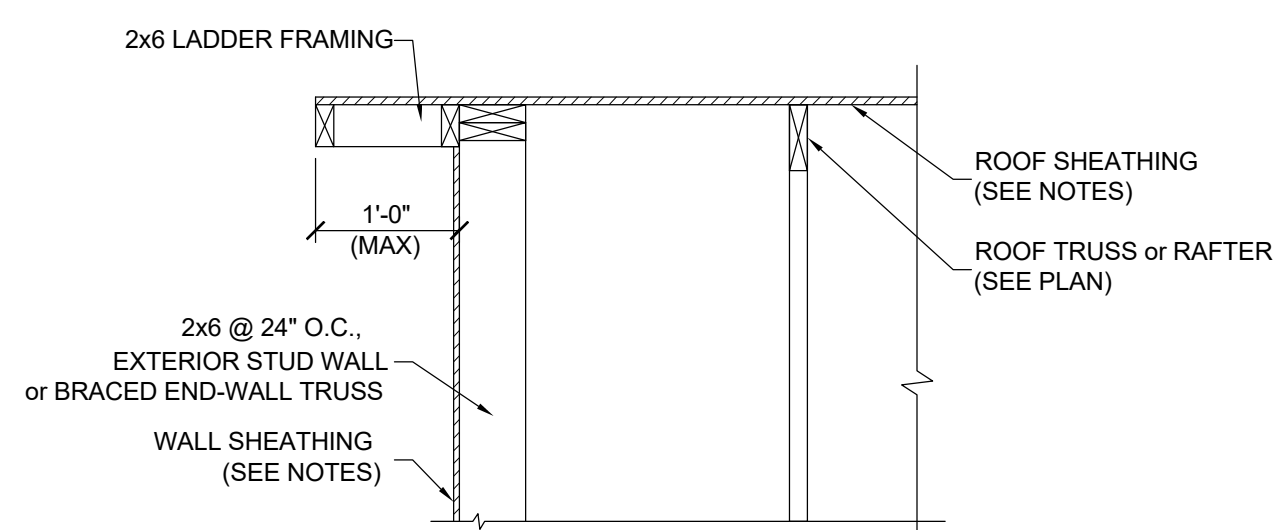
- CONCRETE DESIGN AND CONSTRUCTION SHALL CONFORM TO ACI 318-05 AND ACI 301-05.
- MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE: 4000PSI
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, AND SHALL BE SUPPLIED IN SHEETS ONLY.
- THE REINFORCING STEEL CONTRACTOR SHALL FABRICATE ALL REINFORCEMENT AND FURNISH ALL ACCESSORIES, CHAIRS, SPACER BARS AND SUPPORTS NECESSARY TO SECURE THE REINFORCEMENT UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

WOOD NOTES:

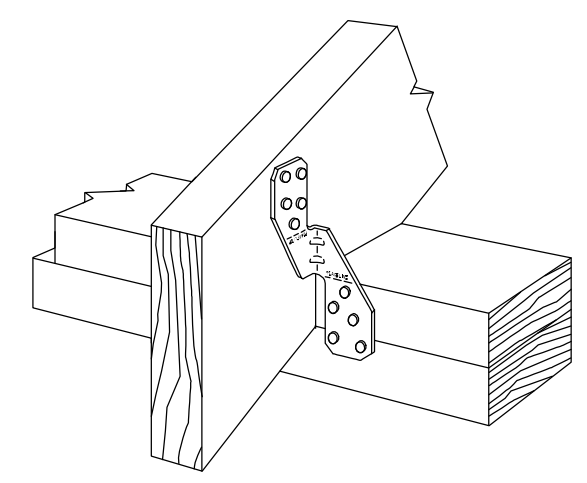
- WOOD CONSTRUCTION SHALL CONFORM TO THE AMERICAN FOREST and PAPER ASSOCIATION'S (AF&PA) NATIONAL DESIGN SPECIFICATIONS. LUMBER SHALL BE #2 HEM-FIR OR BETTER WITH $F_b=850\text{ psi}$, $F_v=150\text{ psi}$ AND $E=1,300,000\text{ psi}$.
- WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH, OR WITHIN 1'-0" OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE PRESERVATIVE TREATED.
- MICRO-LAM LUMBER AND TRUSS-JOISTS SHALL BE AS MANUFACTURED BY "TRUSS-JOIST, ILEVEL by Weyerhaeuser". BEAMS SHALL BE PROPERLY FASTENED TOGETHER WITH A MINIMUM OF (2)-ROWS OF 16d NAILS PER FOOT. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- FRAMING ANCHORS AND MISCELLANEOUS METAL DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 16 GAGE THICKNESS INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUFACTURER.
- ROOF TRUSSES, INCLUDING DESIGN, CONNECTIONS, BRACING ERECTION AND QUALITY SHALL CONFORM TO THE SPECIFICATIONS AND RECOMMENDATIONS OF NFPA AND THE TRUSS PLATE INSTITUTE (TPI). TEMPORARY AND PERMANENT BRACING SHALL BE IN STRICT ACCORDANCE WITH TPI BWT-76. BRACING WOOD TRUSSES. TRUSS MANUFACTURER'S REPRESENTATIVE SHALL BE ON SITE AS NECESSARY TO INSURE THAT TRUSSES AND BRACING IS INSTALLED PER MANUFACTURER'S SHOP DRAWINGS.
- SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR ROOF TRUSSES, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK, TO THE ARCHITECT FOR REVIEW BEFORE BEGINNING FABRICATION.
- SHEATHING NOTES:
 A. ROOF SHEATHING: 1/2" ADVANTECH SHEATHING FASTEN w/ 10dx214"Lg. NAILS, SPACED @6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELDS.
 B. FLOOR SHEATHING: 3/4" TONGUE & GROOVE PLYWOOD FASTEN w/ 8dx212"Lg. NAILS, SPACED @6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELDS.
 C. EXTERIOR WALL SHEATHING: 1/2" PLYWOOD, FASTEN w/ 16ga x 3" STAPLES (716" CROWN), SPACED @ 3" O.C. ALONG PANEL EDGES AND 6" O.C. IN PANEL FIELDS. PROVIDE SOLID 2x WOOD BLOCKING AT ALL HORIZONTAL PANEL JOINTS.



SECTION A
SCALE: 3/4" = 1'-0"

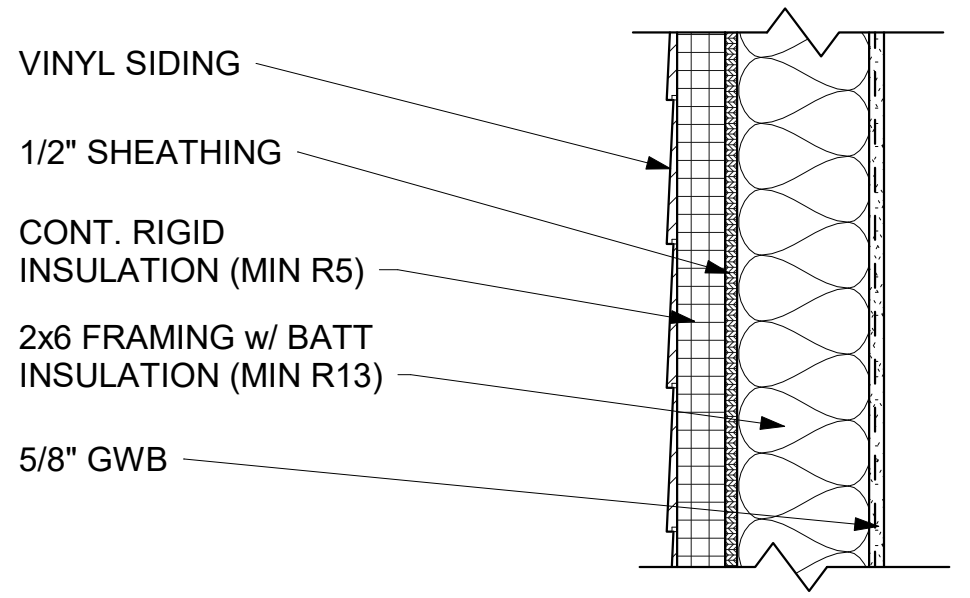


SECTION B
SCALE: 3/4" = 1'-0"



SIMPSON STRONG-TIE H2.5A HURRICANE TIE DETAIL C
SCALE: N.T.S.

1 S001 TYPICAL FRAMING DETAILS
3/4" = 1'-0"



2 S001 TYP. EXTERIOR WALL DETAIL
1 1/2" = 1'-0"

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
 3 N. Main St, Suite #2
 Honeoye Falls, NY 14472
 Phone: (585) 582-6277
 www.WolfeArchitecture.com

SEAL

OWNER:
MR & MRS HAMANN

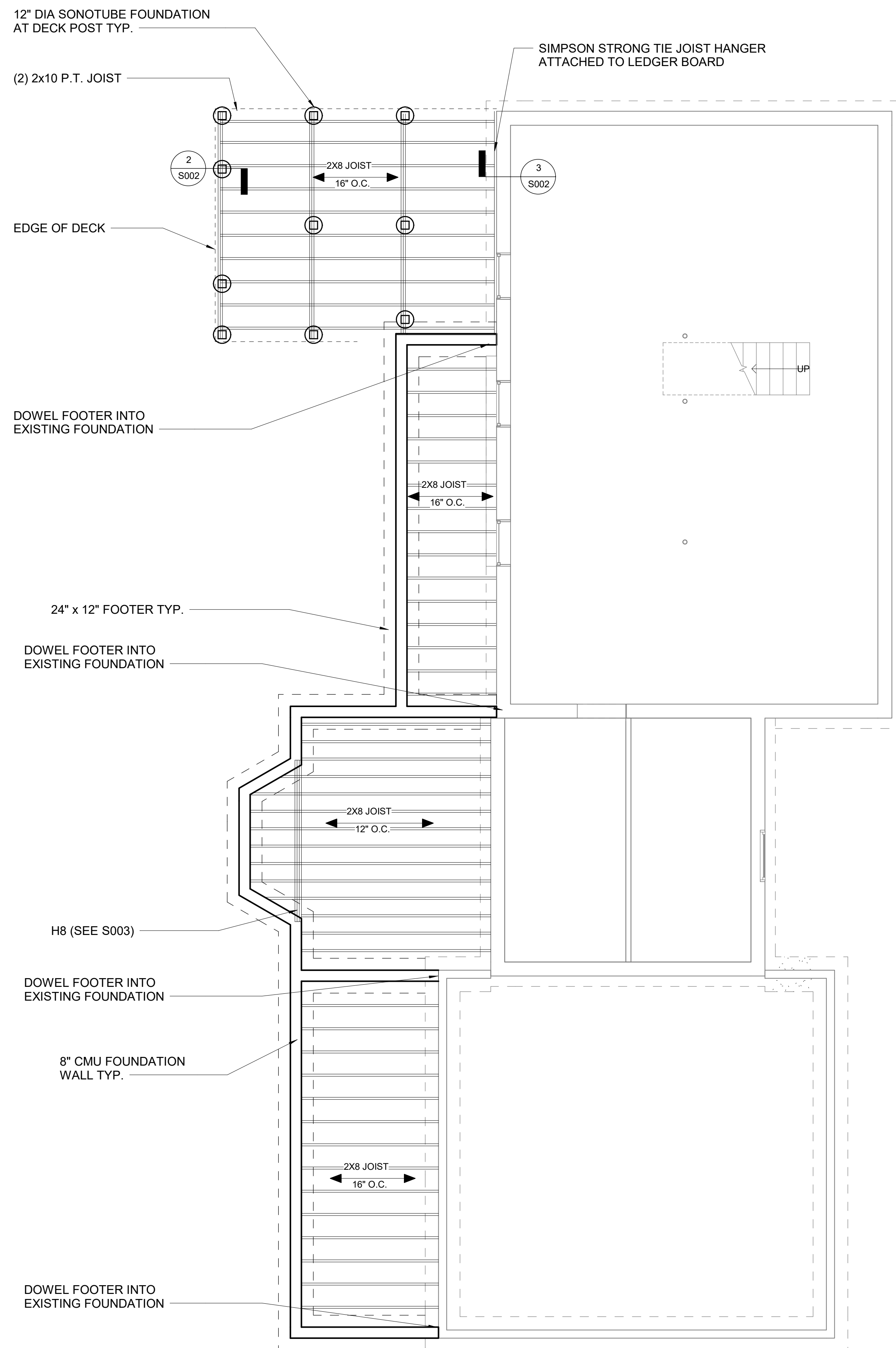
PROJECT:
Hamann Residence

LOCATION:
323 EAST ST.
PITTSFORD, NY 14534

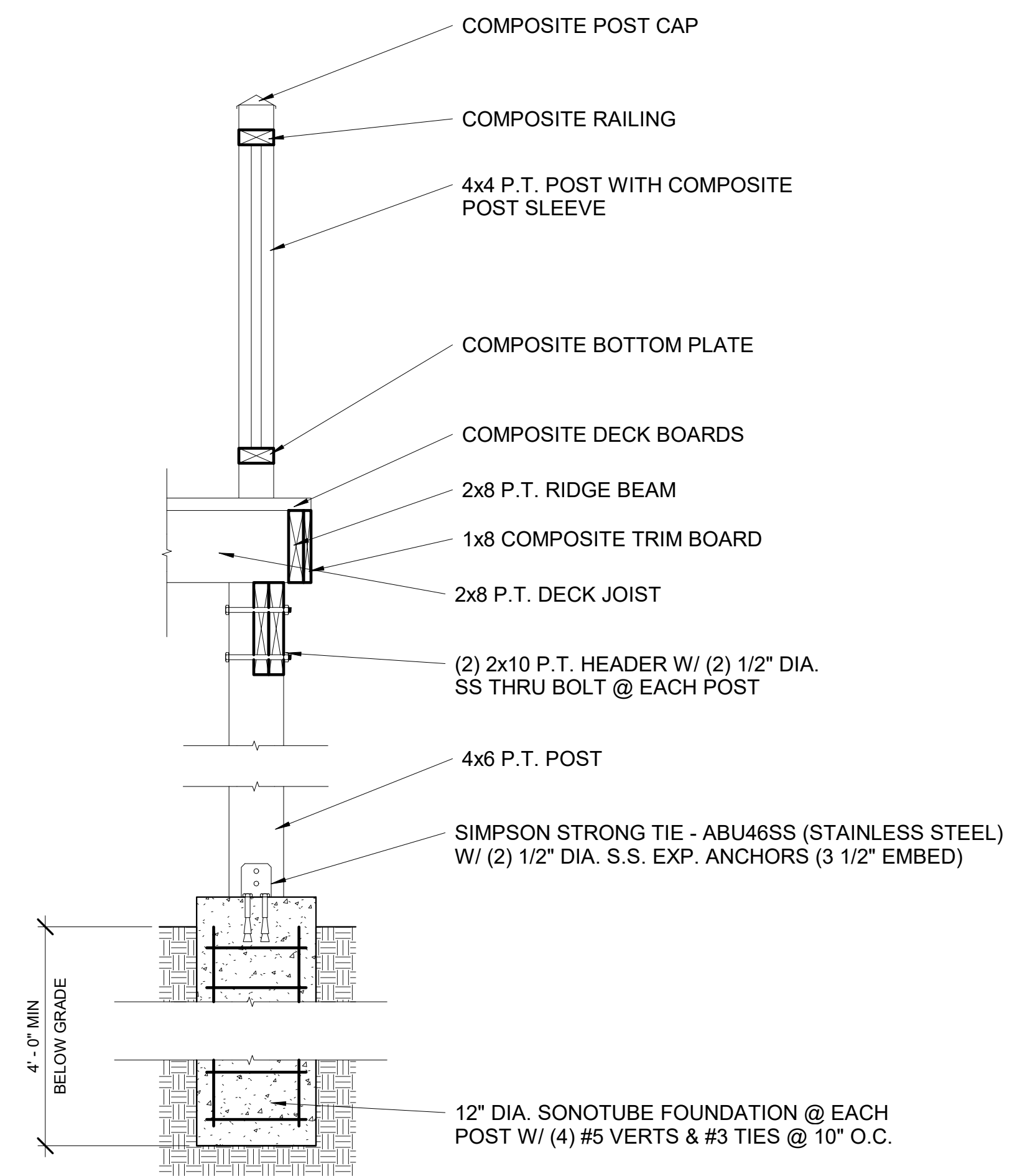
DATE: 7/20/2020 1:53:10 PM
ARCHITECT: RHW
DRAWING BY: Author
JOB NUMBER: 19-117
 FILE: W:\Projects\19-117 Hamann Residence\Drawings\20 07 - 20 - Hamann Residence.rvt
DRAWING:

STRUCTURAL NOTES AND DETAILS

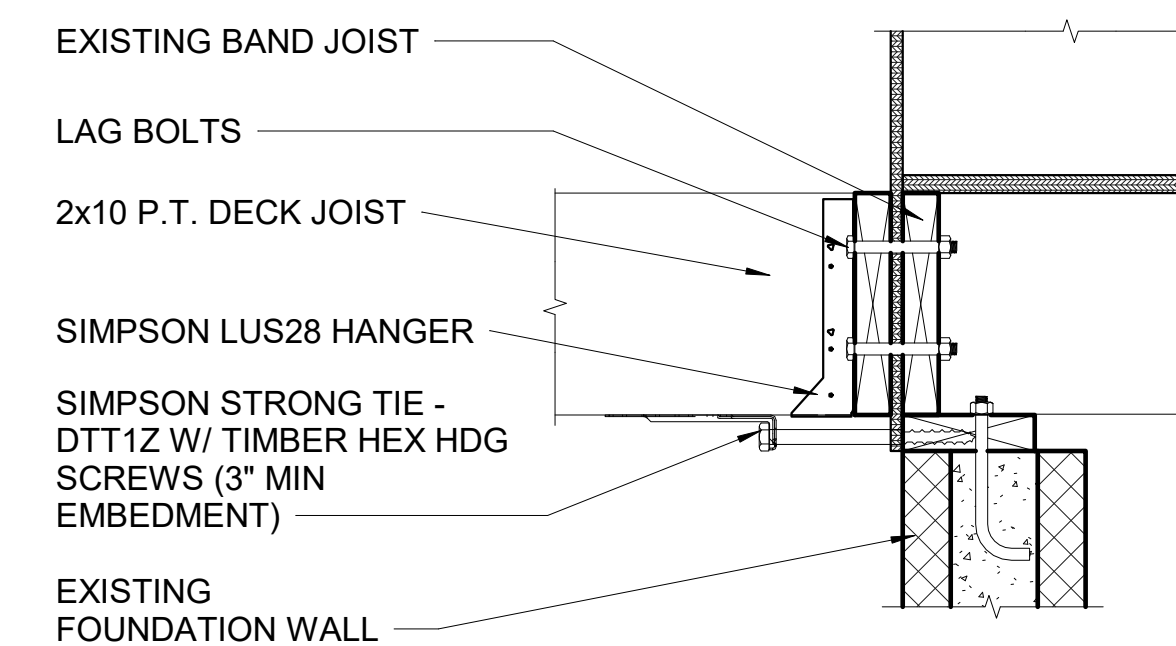
SHEET NUMBER:
S001



1 BASEMENT / FOUNDATION PLAN
1/4" = 1'-0"



2 TYP DECK POST DETAIL
1" = 1'-0"



3 LEDGER BOARD DETAIL
1 1/2" = 1'-0"

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS, AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

Hamann Residence

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:10 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

20 - 20 - Hamann Residence.rvt

DRAWING:

FIRST FLOOR FRAMING PLAN

SHEET NUMBER:

S002

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:
MR & MRS HAMANN

PROJECT:
Hamann Residence

LOCATION:
323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:11 PM
ARCHITECT: RHW
DRAWING BY: Author
JOB NUMBER: 19-117
FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

DRAWING:
ROOF FRAMING PLAN

SHEET NUMBER:
S003

ROOF FRAMING NOTES:

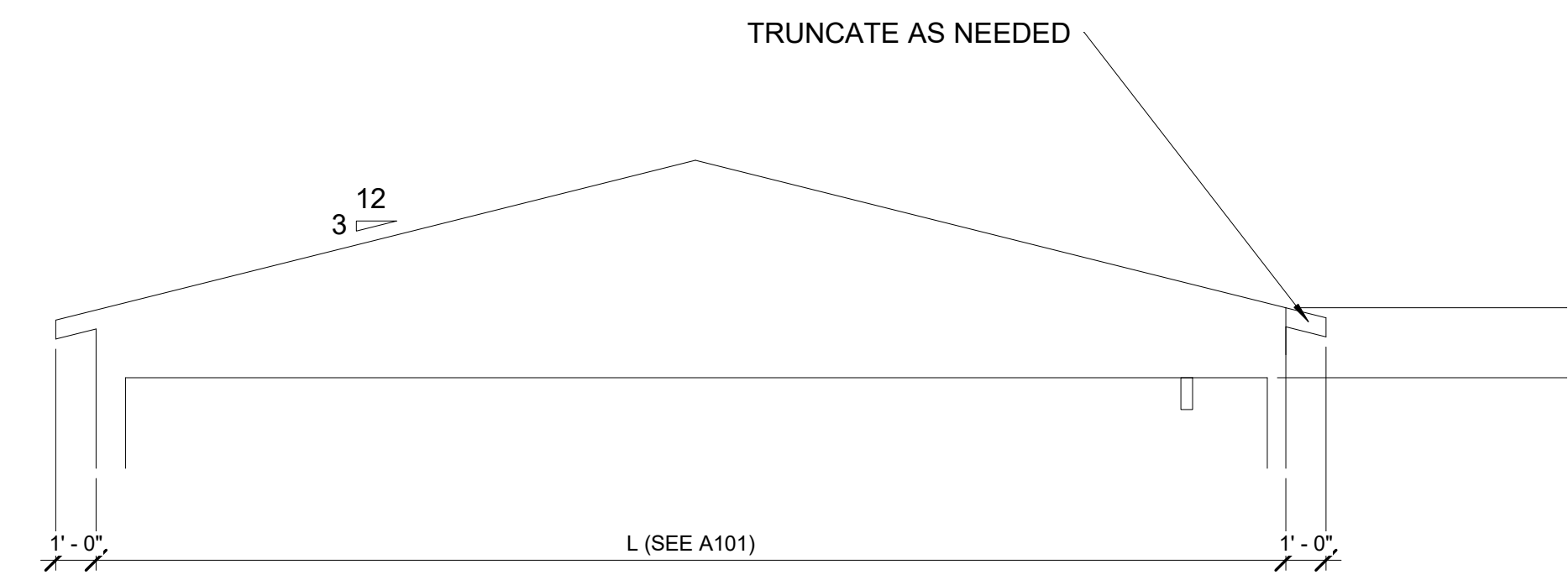
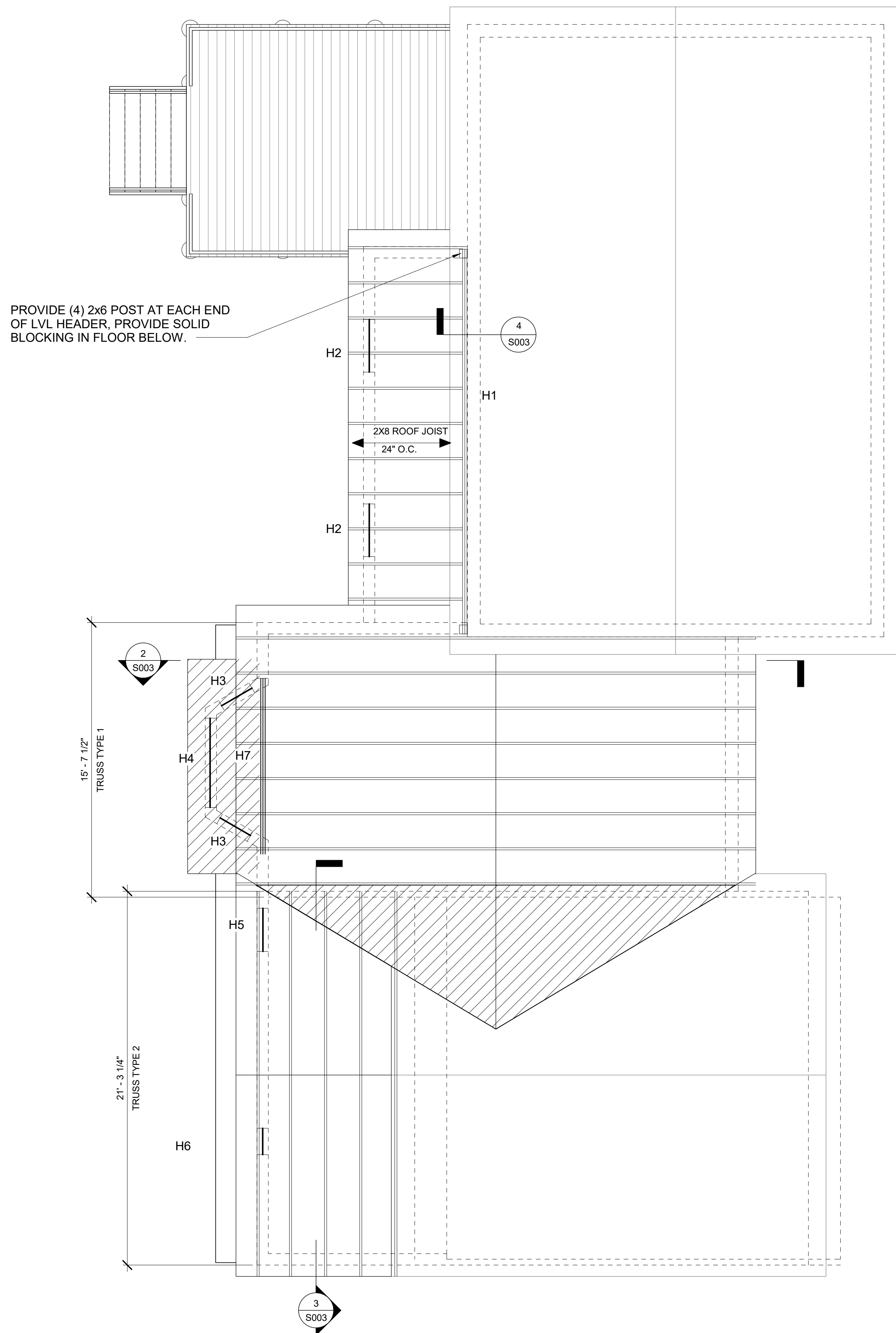
- ROOF TRUSS LOADS:
TOP CHORD DEAD LOADS: 10psf
TOP CHORD LIVE LOADS: 31 psf (SNOW)
BOTTOM CHORD DEAD LOADS: 10psf
BOTTOM CHORD LIVE LOADS: 0psf
TOP CHORD WIND UPLIFT LOADS: END ZONE: 15.5psf, INT. ZONE: 13psf
- ALL ROOF TRUSSES SHALL BE DESIGNED FOR AN UNBALANCED SNOW LOAD CONDITION PER ASCE 7-16
- SEE S001 FOR ROOF, FLOOR AND WALL SHEATHING REQUIREMENTS.
- SEE S001 FOR STANDARD FLOOR AND ROOF FRAMING DETAILS
- PROVIDE MINIMUM (1) 2X JACK STUD AND (1) 2X KING STUD AT EACH END OF ALL INTERIOR AND EXTERIOR BEARING WALL HEADERS, UNLESS NOTED OTHERWISE ON PLAN.
- TRUSS SPACING 2' - 0" O.C.

HEADER SCHEUDLE

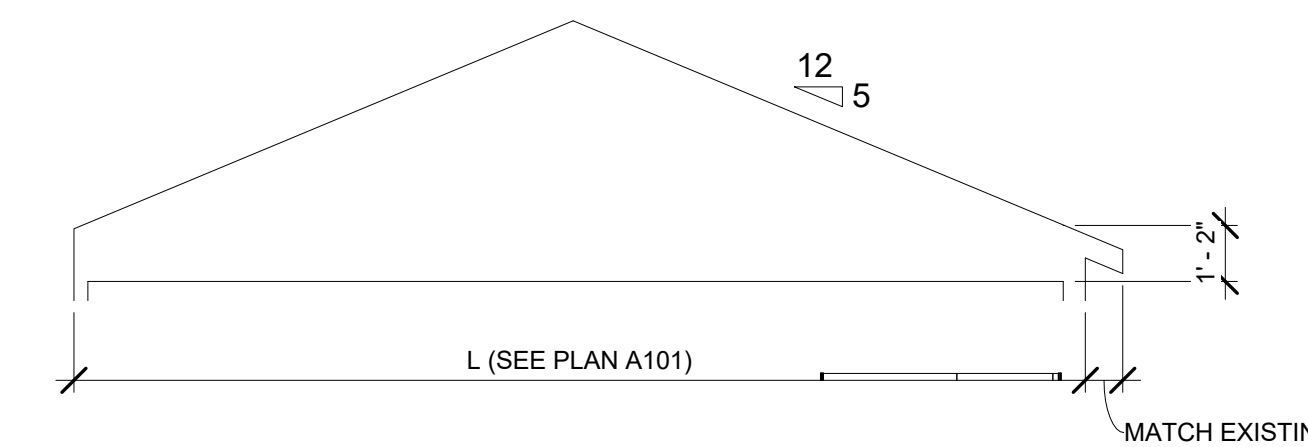
BEAM	LENGTH	MEMBER
H1	19' - 0"	(3) 1 3/4 X 18 LVL
H2	3' - 0"	(2) 2x6
H3	2' - 0"	(2) 2x6
H4	5' - 1"	(2) 2x8
H5	2' - 6"	(2) 2x6
H6	1' - 6"	(2) 2x6
H7	9' - 0"	(2) 9 1/2" LVL
H8	9' - 2"	(3) 7 1/4" LVL

LEDGEND

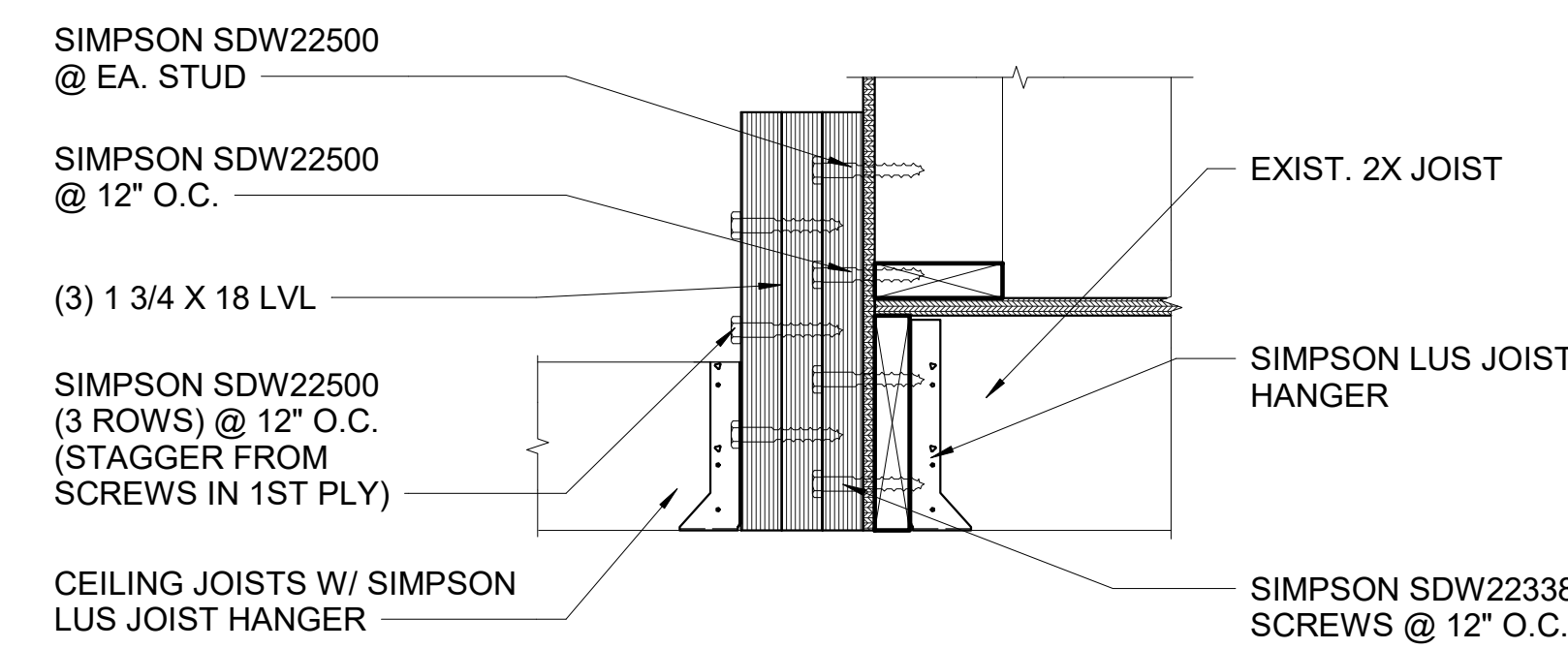
- - - - - = EXISTING ROOF EDGE
- - - - - = ROOF EDGE
- [Hatched Box] = OVER BUILD AREA



2 TRUSS TYPE 1
S003 1/4" = 1'-0"



3 TRUSS TYPE 2
S003 1/4" = 1'-0"



4 BEAM DETAIL
S003 1 1/2" = 1'-0"

1 ROOF FRAMING PLAN
S003 1/4" = 1'-0"

WALL CONSTRUCTION

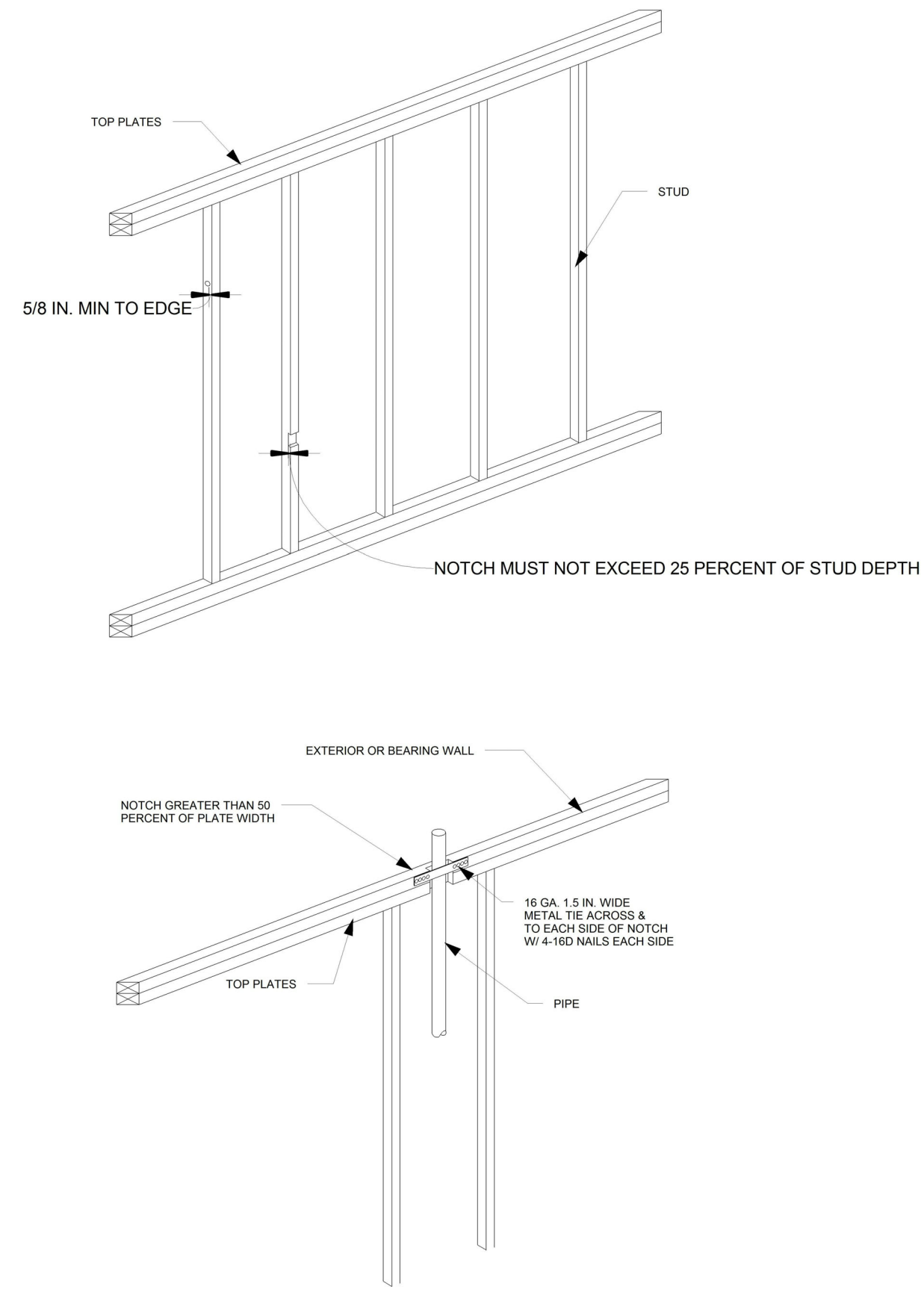
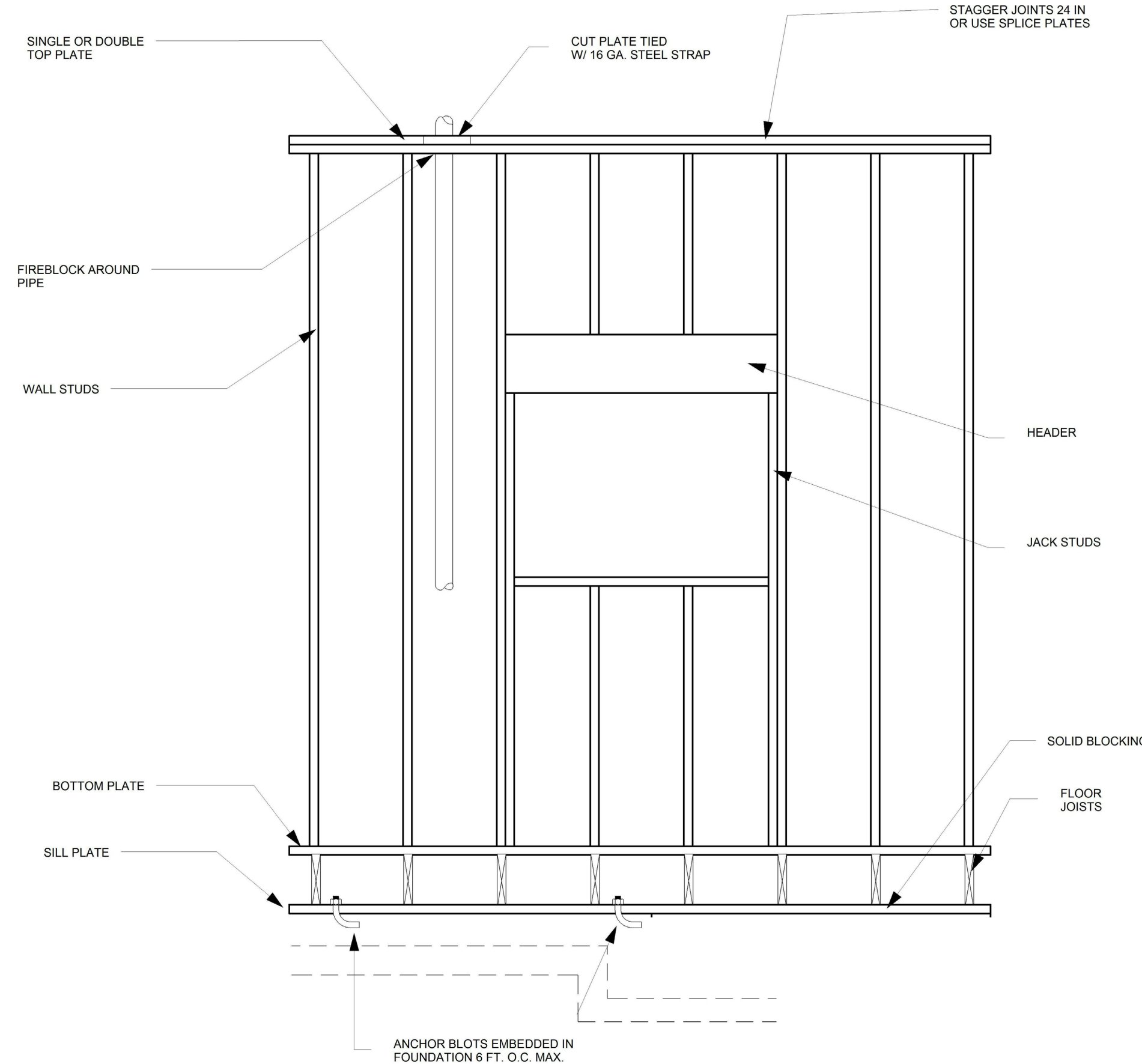


TABLE R602.3(2)
ALTERNATE ATTACHMENTS

NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION ^a OF FASTENER AND LENGTH (inches)	SPACING ^b OF FASTENERS (inches)	
		Edges (inches)	Intermediate supports (inches)
Wood structural panels subfloor, roof and wall sheathing to framing and particleboard wall sheathing to framing ^c			
3/16	0.097 - 0.099 Nail 1 1/2	6	12
	Staple 15 ga. 1 1/2	6	12
1/8	0.097 - 0.099 Nail 1 1/2	4	10
	Staple 15 ga. 1 1/2	6	12
1/2 and 1/2	0.097 - 0.099 Nail 1 1/2	6	12
	Staple 15 ga. 1 1/2	3	6
3/16 and 3/16	0.113 Nail 1 1/2	6	12
	Staple 15 and 16 ga. 1 1/2	3	6
3/16 and 3/16	0.097 - 0.099 Nail 1 1/2	6	12
	Staple 14 ga. 1 1/2	5	10
1	0.097 - 0.099 Nail 1 1/2	3	6
	Staple 16 ga. 2	4	8
1	0.113 Nail 2 1/4, Staple 15 ga. 2	4	8
	0.097 - 0.099 Nail 2 1/4	3	6
NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION ^a OF FASTENER AND LENGTH (inches)	SPACING ^b OF FASTENERS (inches)	
		Edges (inches)	Body of panel ^d (inches)
Floor underlayment: plywood-hardboard-particleboard ^e			
Plywood			
1/4 and 3/16	1/4 ring or screw shank nail—minimum 12 1/4 ga. (0.099") shank diameter	3	6
	Staple 18 ga. 1 1/2 crown width	2	5
3/16, 3/16, 3/16 and 1/2	1/4 ring or screw shank nail—minimum 12 1/4 ga. (0.099") shank diameter	6	8"
	1 1/2 ring or screw shank nail—minimum 12 1/4 ga. (0.099") shank diameter	6	12
0.200	1 1/2 ring or screw shank nail—minimum 12 1/4 ga. (0.099") shank diameter	6	12
	Staple 16 ga. 1 1/2	6	8
Hardboard ^f			
0.200	1 1/2 ring-grooved underlayment nail	6	6
	4d cement-coated sinker nail	6	6
	Staple 18 ga. 1 1/2 long (plastic coated)	3	6
Particleboard ^g			
1/4	4d ring-grooved underlayment nail	3	6
	Staple 18 ga. 1 1/2 long, 1/2 crown	3	6
3/8	6d ring-grooved underlayment nail	6	10
	Staple 16 ga. 1 1/2 long, 1/2 crown	3	6
1/2, 3/4	6d ring-grooved underlayment nail	6	10
	Staple 16 ga. 1 1/2 long, 1/2 crown	3	6

For SE: 1 inch = 25.4 mm.
 a. Nail is a general description and may be "F-head, modified round head or round head."
 b. Staples shall have a minimum crown width of 1/2 inch on diameter except as noted.
 c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.
 d. Fasteners shall be placed in a grid pattern throughout the body of the panel.
 e. For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.
 f. Hardboard underlayment shall conform to ANSI/AHA A135.4.



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS, AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
 3 N. Main St, Suite #2
 Honeoye Falls, NY 14472
 Phone: (585) 582-6277
 www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

Hamann Residence

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:24 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

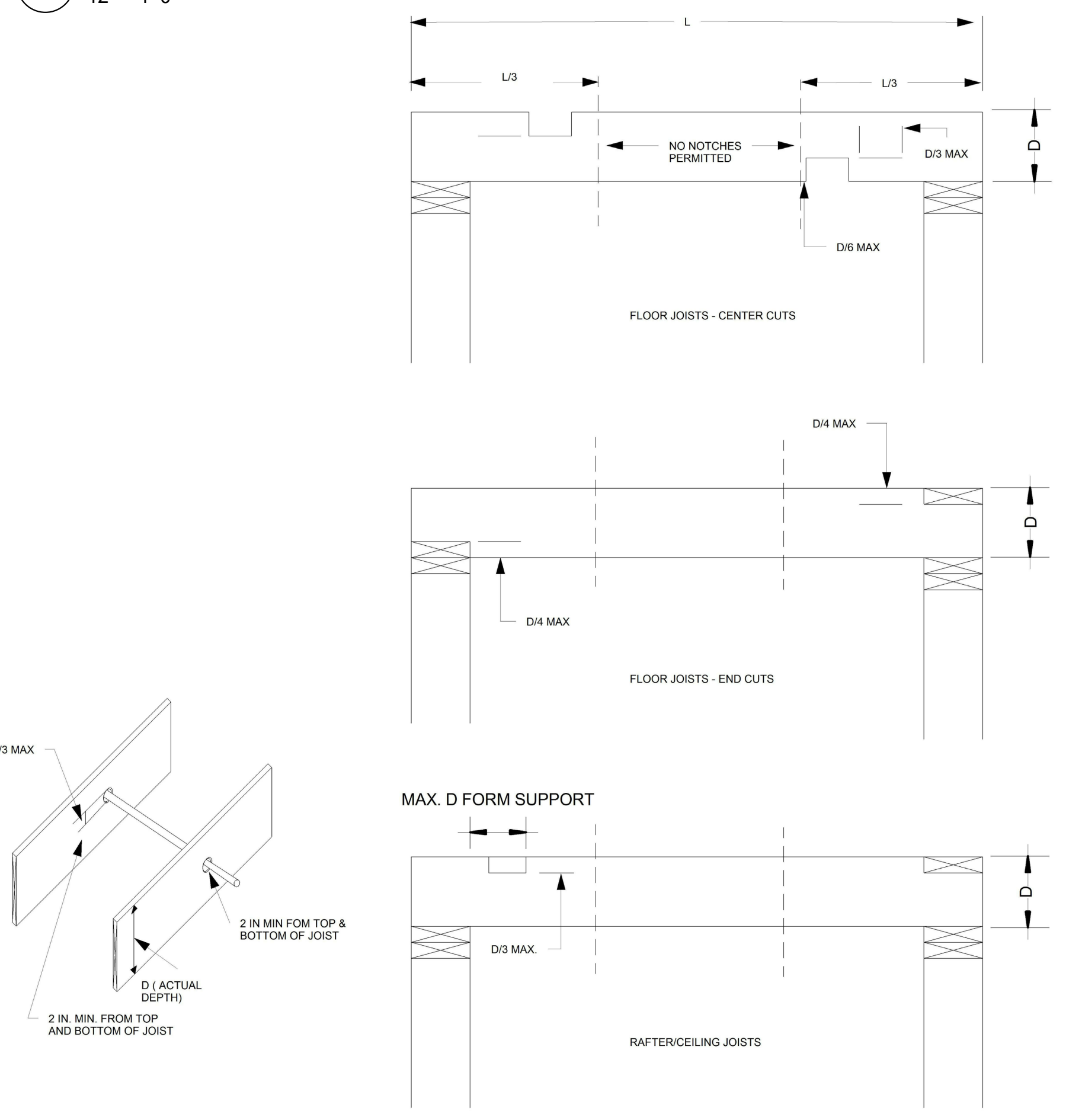
FILE: W:\Projects\19-117 Hamann Residence\Drawings\200 07

DRAWING: WALL DETAILS AND NOTES

SHEET NUMBER:

S004

1 S004 WALL NOTCHES
12" = 1'-0"



2 S004 WALL FRAMING DETAIL
12" = 1'-0"

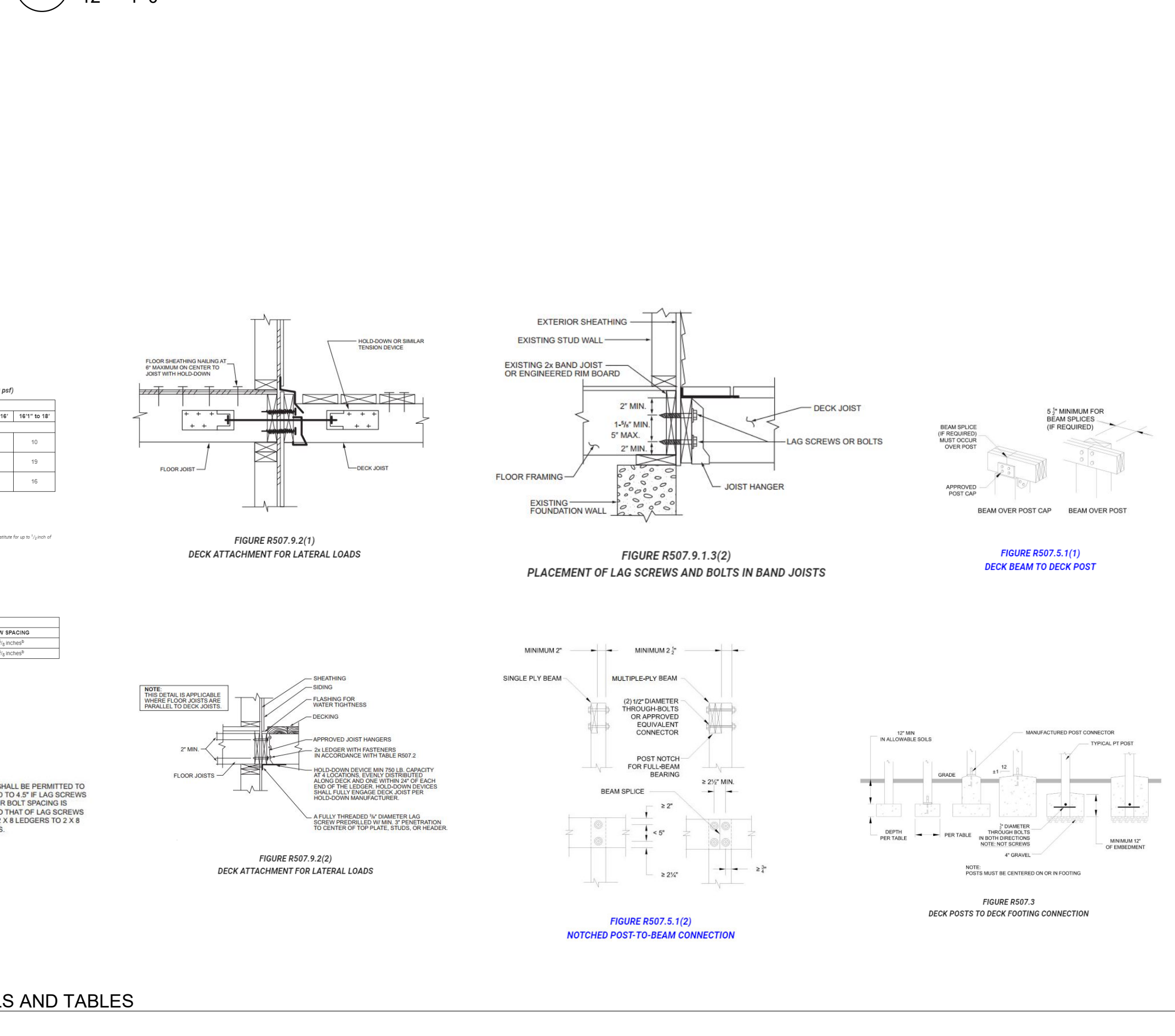


TABLE RS07.9.1.3(1)
DECK LEDGER CONNECTION TO BAND JOIST^a (Deck top load = 40 psf, deck dead load = 10 psf, steel head = 40 psf)

CONNECTION DETAILS	JOIST SPAN					
	8' max	8'11" to 9'	10' to 10'11"	11' to 11'11"	12' to 12'11"	13' to 13'11"
1" x 4" blocking (top edge only, Type 1) Fasteners (spacing) ^b	30	23	18	15	13	11
1" x 4" blocking (bottom edge only, Type 1) Fasteners (spacing) ^b	36	36	34	29	24	21
1" x 4" blocking (both ends with 1/2" x 4" blocking) Fasteners (spacing) ^b	36	36	29	24	21	18

TABLE RS07.9.1.3(2)
PLACEMENT OF LAG SCREWS AND BOLTS IN BAND JOISTS

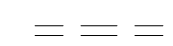
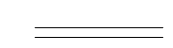
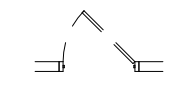
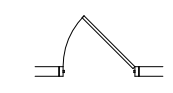
SPACING	MINIMUM END AND EDGE SPACING AND SPACING BETWEEN ROWS		BOLT SPACING
	TOP EDGE	BOTTOM EDGE	
2" O.C. ^a	1 1/2" MIN.	2" O.C. ^a	12" O.C. ^a
4" O.C. ^a	1 1/2" MIN.	2" O.C. ^a	12" O.C. ^a

FIGURE RS07.9.1.3(1)
PLACEMENT OF LAG SCREWS AND BOLTS IN LEDGERS

3 S004 CUTTING, NOTCHING & DRILLING FLOOR/ROOF FRAMING
12" = 1'-0"

4 S004 DECK/POST LEDGER CONNECTION DETAILS AND TABLES
6" = 1'-0"

DEMOLITION LEGEND

-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO BE DEMOLISHED
-  EXISTING DOOR TO REMAIN

NOTE:
1) ALL BEARING WALLS MUST BE SHORED PRIOR TO DEMOLITION

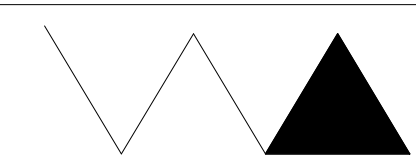
DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS, AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		



Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:
MR & MRS HAMANN

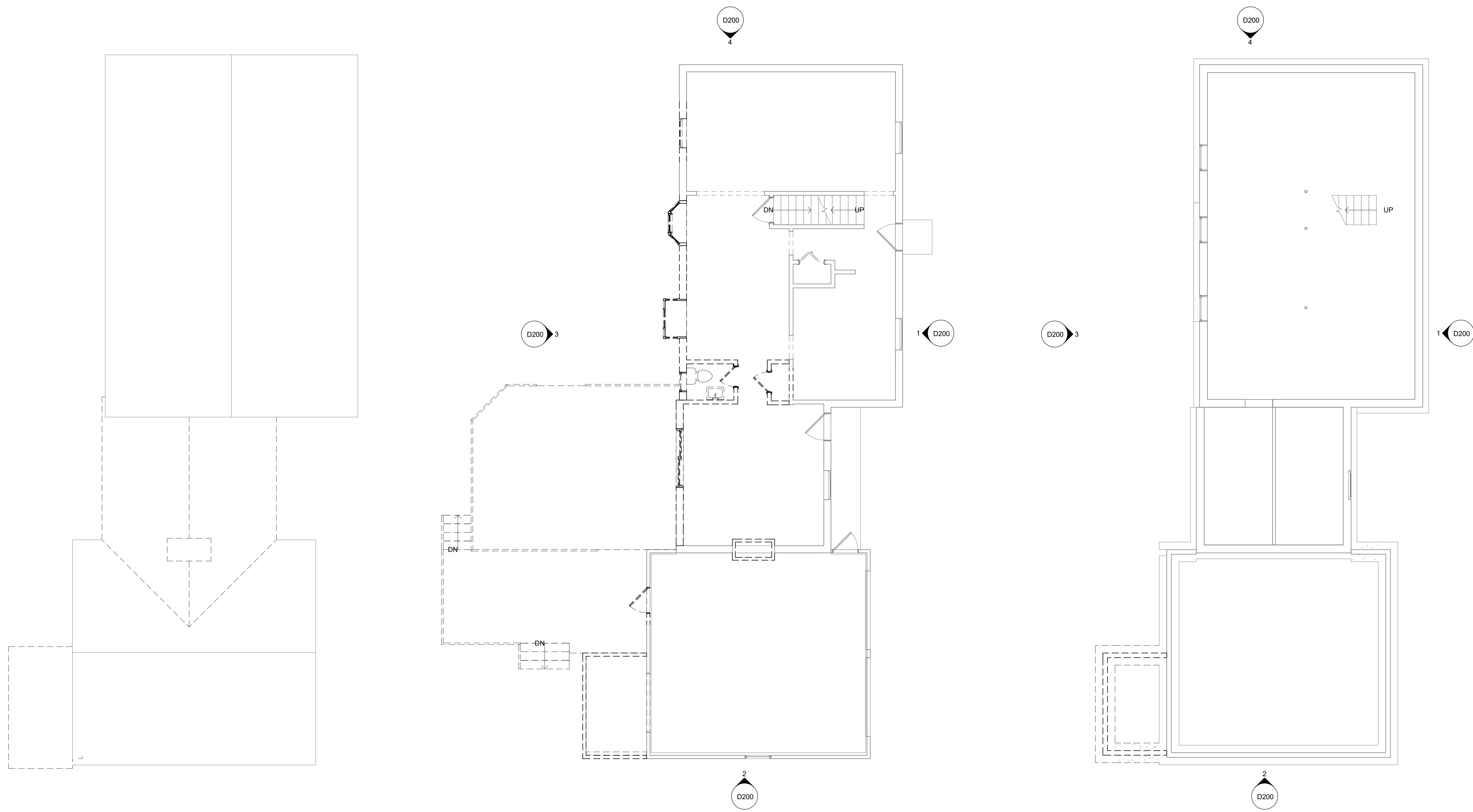
PROJECT:
Hamann Residence

LOCATION:
323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:08 PM
ARCHITECT: RHW
DRAWING BY: Author
JOB NUMBER: 19-117
FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07 - 20 - 20 - Hamann Residence.rvt

DEMOLITION FLOOR PLANS AND ROOF PLAN

SHEET NUMBER:
D100

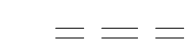
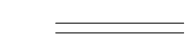
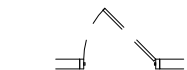



3 ROOF DEMOLITION PLAN
D100 3/16" = 1'-0" 

2 FIRST FLOOR DEMOLITION PLAN
D100 3/16" = 1'-0" 

1 FOUNDATION DEMOLITION PLAN
D100 3/16" = 1'-0" 

DEMOLITION LEGEND

-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN
-  EXISTING DOOR TO BE DEMOLISHED
-  EXISTING DOOR TO REMAIN

NOTE:
1) ALL BEARING WALLS MUST BE SHORED PRIOR TO DEMOLITION

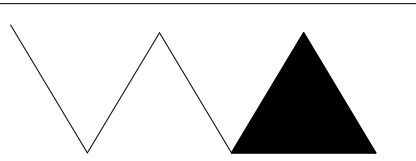
DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS, AND APPLIES TO THIS DRAWING: "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION 'ALTERED BY' FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		



Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

Hamann Residence

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:10 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

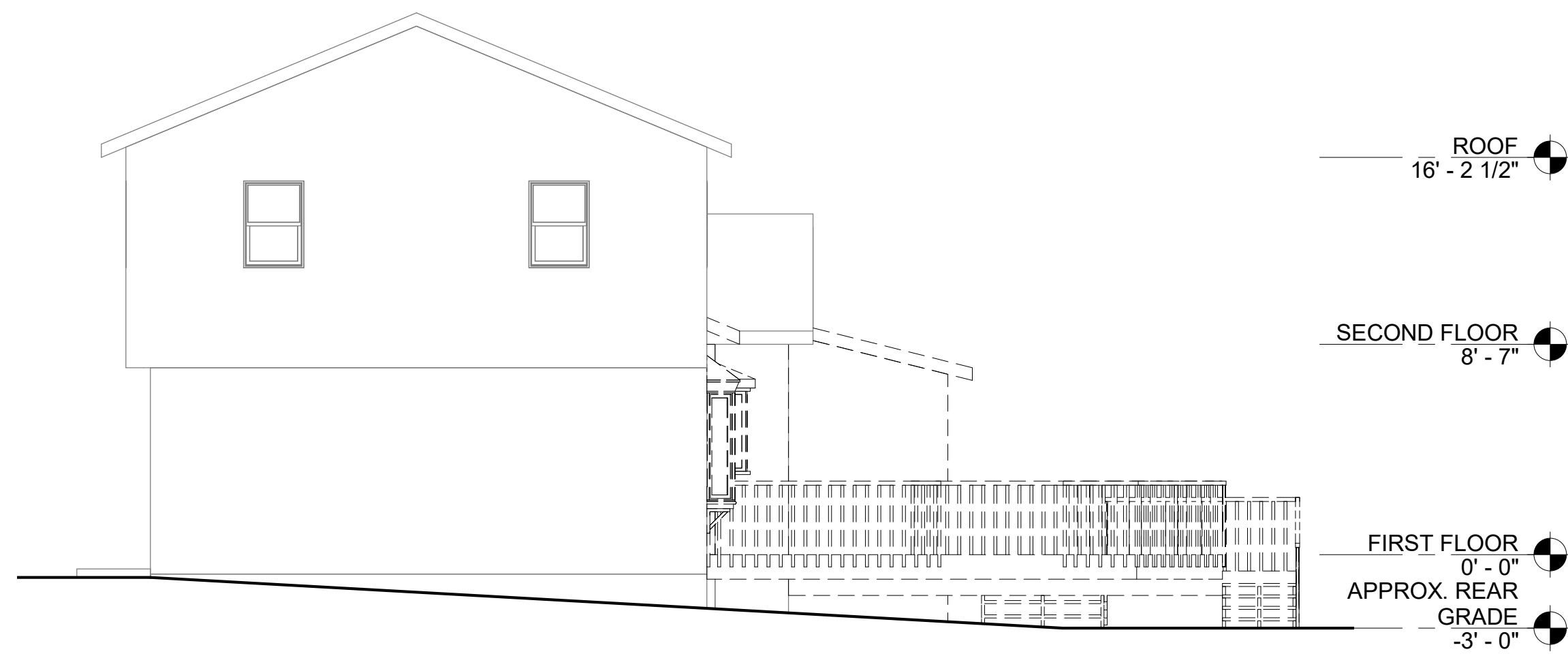
FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07 - 20 - Hamann Residence.rvt

DRAWING:

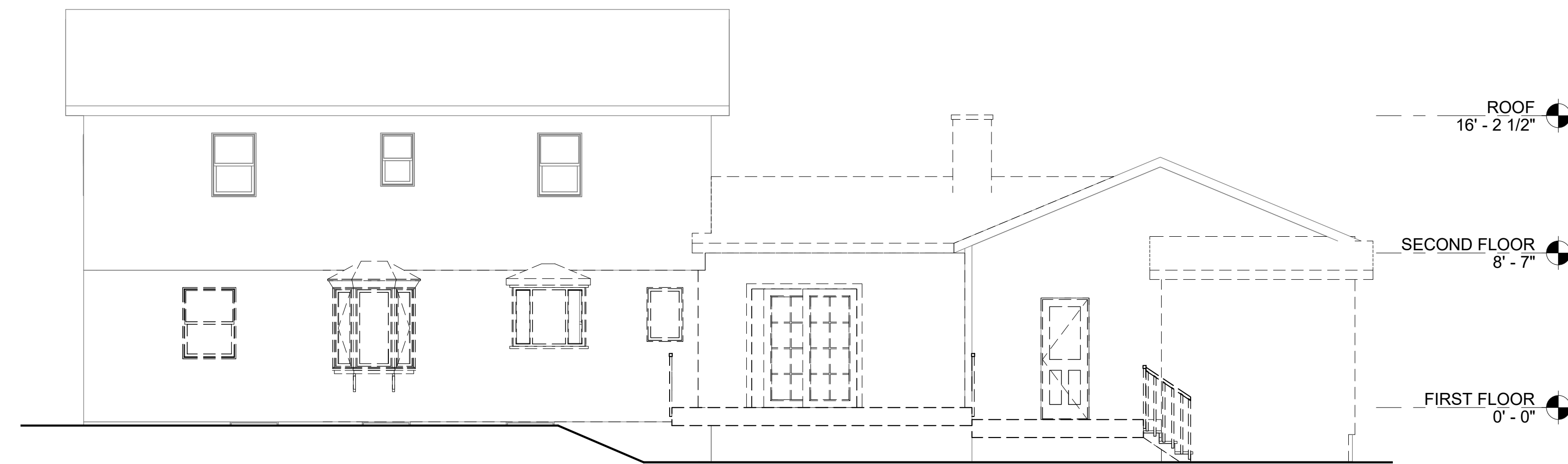
DEMOLITION ELEVATIONS

SHEET NUMBER:

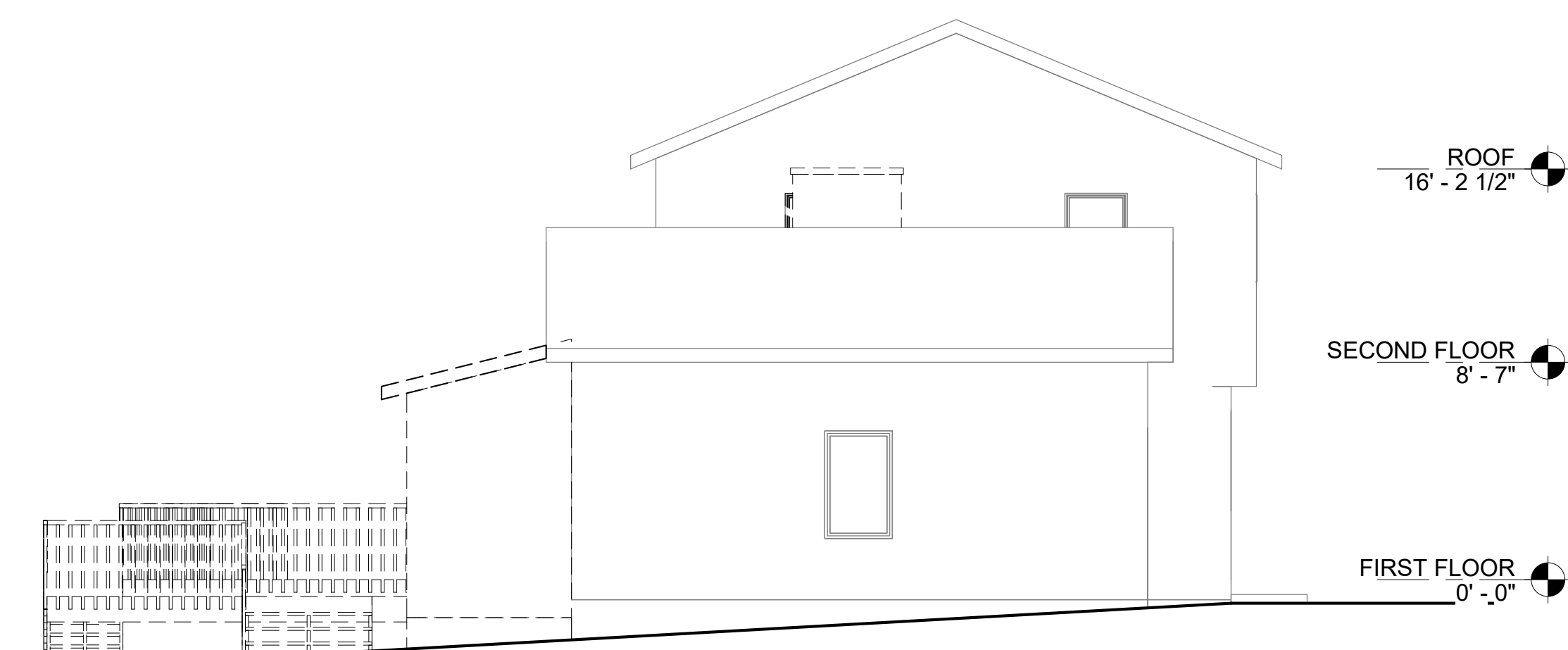
D200



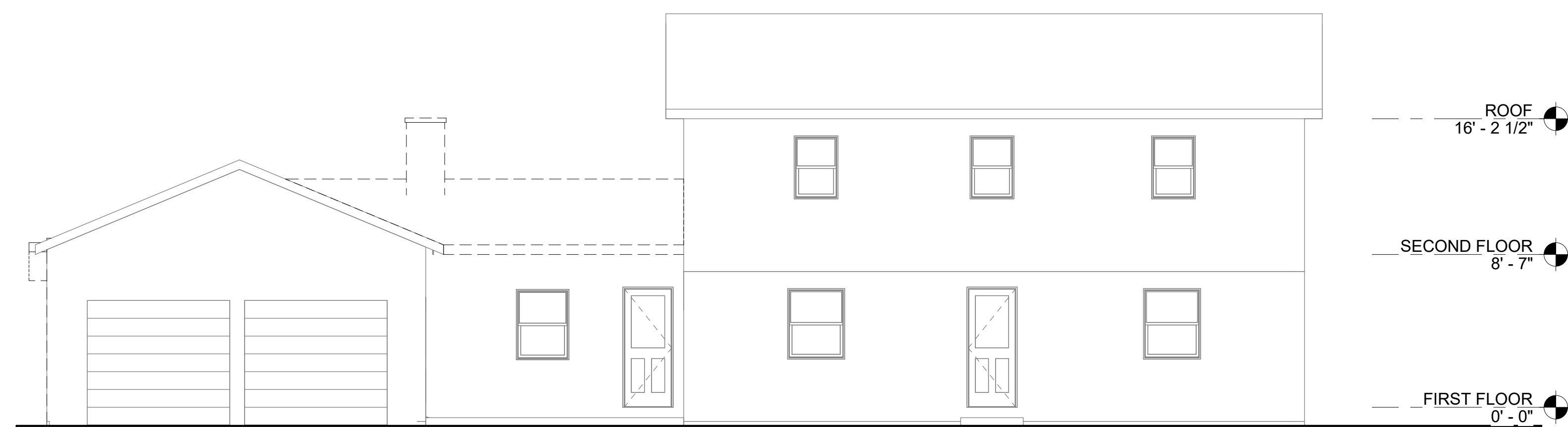
4 DEMOLITION NORTH ELEVATION
D200 3/16" = 1'-0"



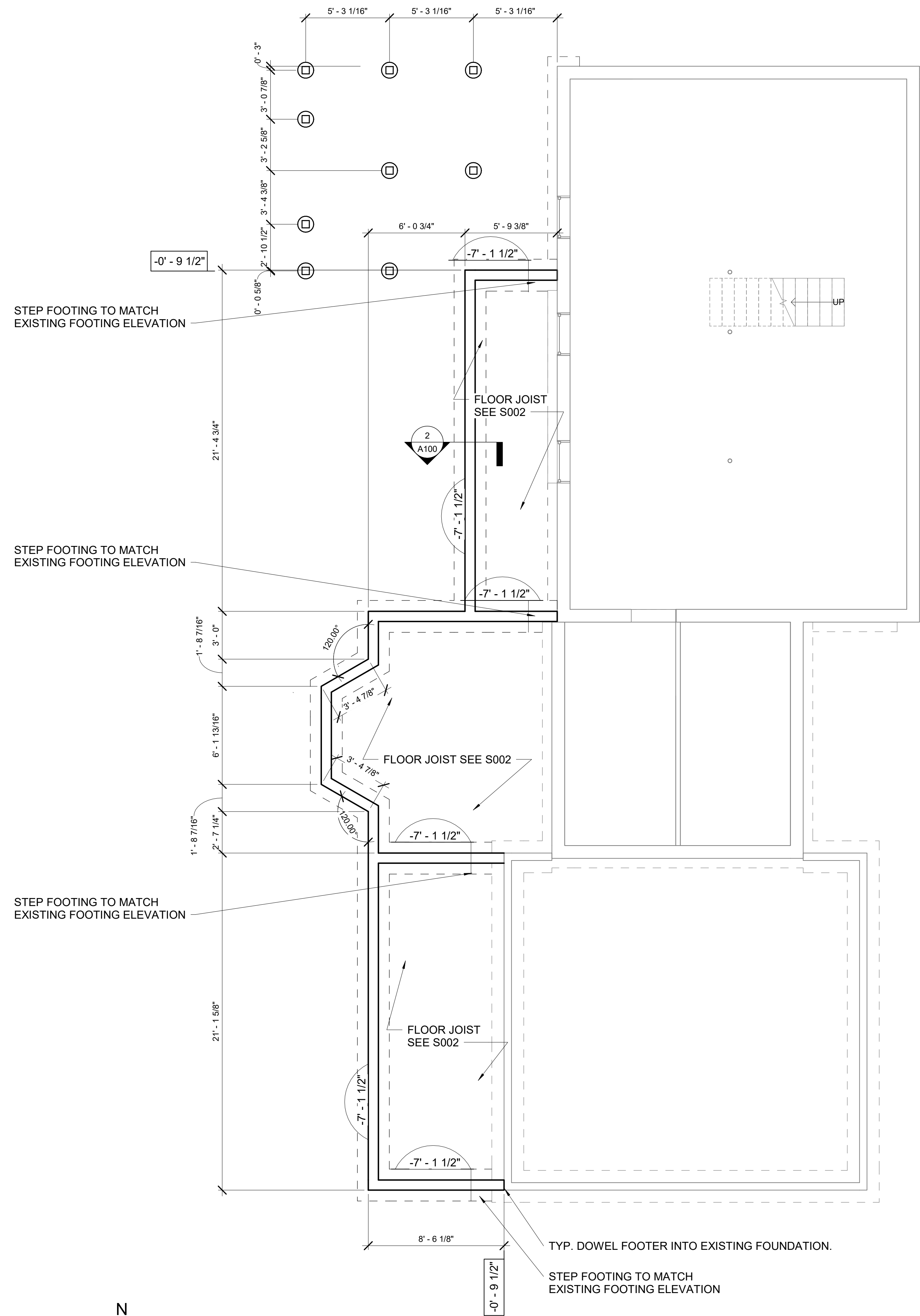
3 DEMOLITION WEST ELEVATION
D200 3/16" = 1'-0"



2 DEMOLITION SOUTH ELEVATION
D200 3/16" = 1'-0"



1 DEMOLITION EAST ELEVATION
D200 3/16" = 1'-0"



-0' - 9 1/2"

-0' - 9 1/2"

-0' - 9 1/2"

-0' - 9 1/2"

5' - 3 1/16" 5' - 3 1/16" 5' - 3 1/16"

0' - 3"

3' - 0 7/8"

3' - 2 5/8"

3' - 4 3/8"

2' - 10 1/2"

0' - 0 5/8"

6' - 0 3/4"

5' - 9 3/8"

-7' - 1 1/2"

21' - 4 3/4"

1' - 8 7/16"

3' - 0"

6' - 1 13/16"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

1' - 8 7/16"

2' - 7 1/4"

2

A100

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

-7' - 1 1/2"

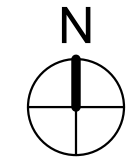
-7' - 1 1/2"

-7' - 1 1/2"

TYP. DOWEL FOOTER INTO EXISTING FOUNDATION.

STEP FOOTING TO MATCH EXISTING FOOTING ELEVATION

1 PROPOSED BASEMENT / FOUNDATION PLAN
1/4" = 1'-0"



CONT. RIGID INSULATION (R10 MIN, 4LF MIN)

DAMP/WATER PROOFING

CMU FOUNDATION WALL w/ #5 VERTS. @ 48" O.C. (LAP 30") GROUT WALL SOLID

STONE PAD W/ FILTER FABRIC (NO FINES)

DOWELS TO MATCH VERTS

4" DIA. PERFORATED DRAIN PIPE

(2) #5 BAR

B.O. FOOTER -4' - 0" MIN BELOW GRADE

2 TYPICAL WALL SECTION
1" = 1'-0"

PLAN NOTE:
1. 8" CMU FOUNDATION WALL UNLESS NOTED OTHERWISE.
2. 24 X 12 FOOTER TYP.
3. ALL DIMENSIONS TAKEN TO FACE OF FOUNDATION U.N.O.

FOUNDATION PLAN LEGEND

- = MATCH EXISTING, STEP FOOTING AS NECESSARY
- = TOP OF FOOTING ELEVATION
- = TOP OF FOUNDATION WALL ELEVATION CHANGE

NOTE: TOP OF FOUNDATION WALL TO ALIGN WITH EXISTING.

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION 'ALTERED BY' FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

Hamann Residence

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE:

7/20/2020 1:52:51 PM

ARCHITECT:

RHW

DRAWING BY:

Author

JOB NUMBER:

19-117

FILE:

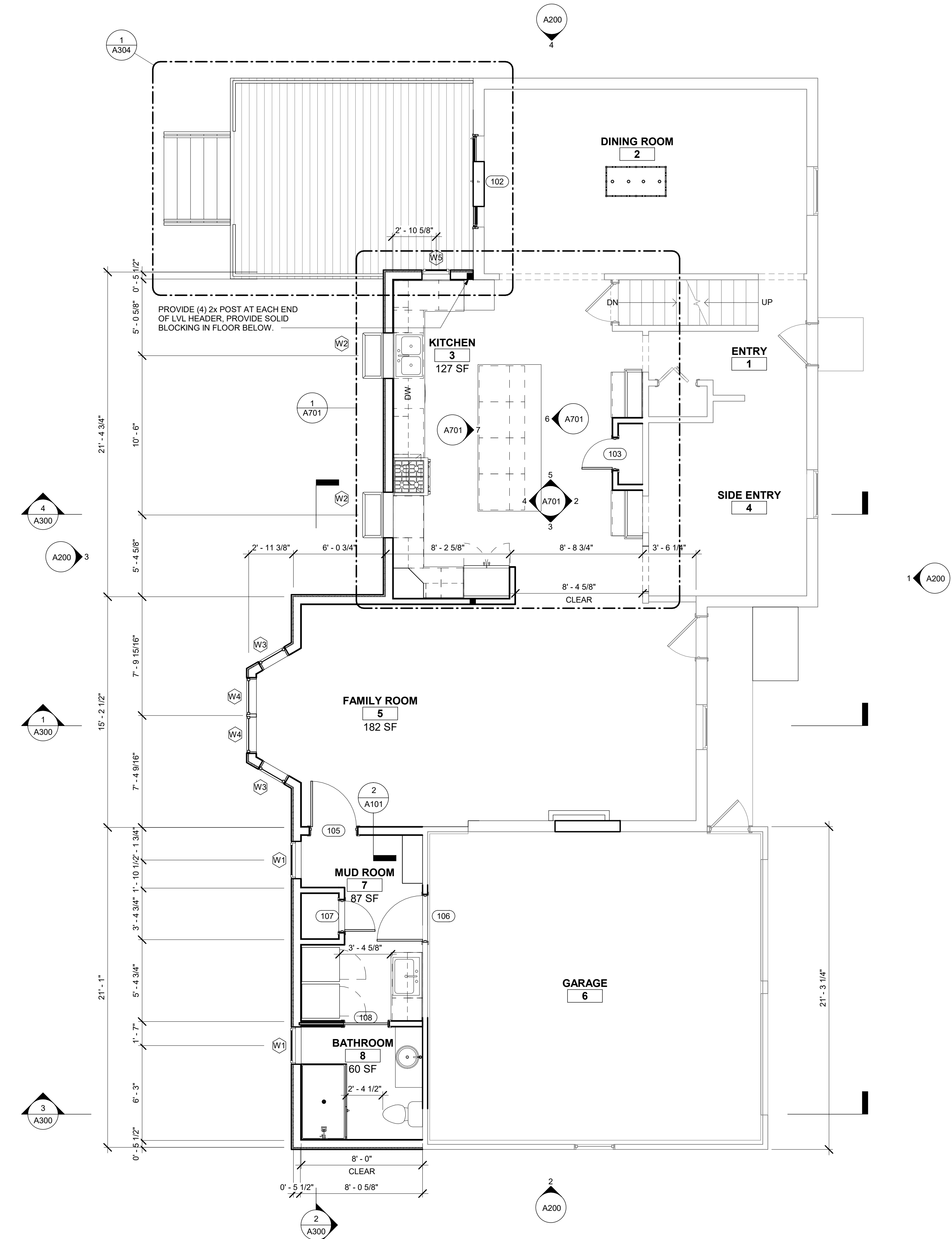
W:\Projects\19-117 Hamann Residence\Drawings\20 07 - 20 - Hamann Residence.rvt

DRAWING:

FOUNDATION PLAN

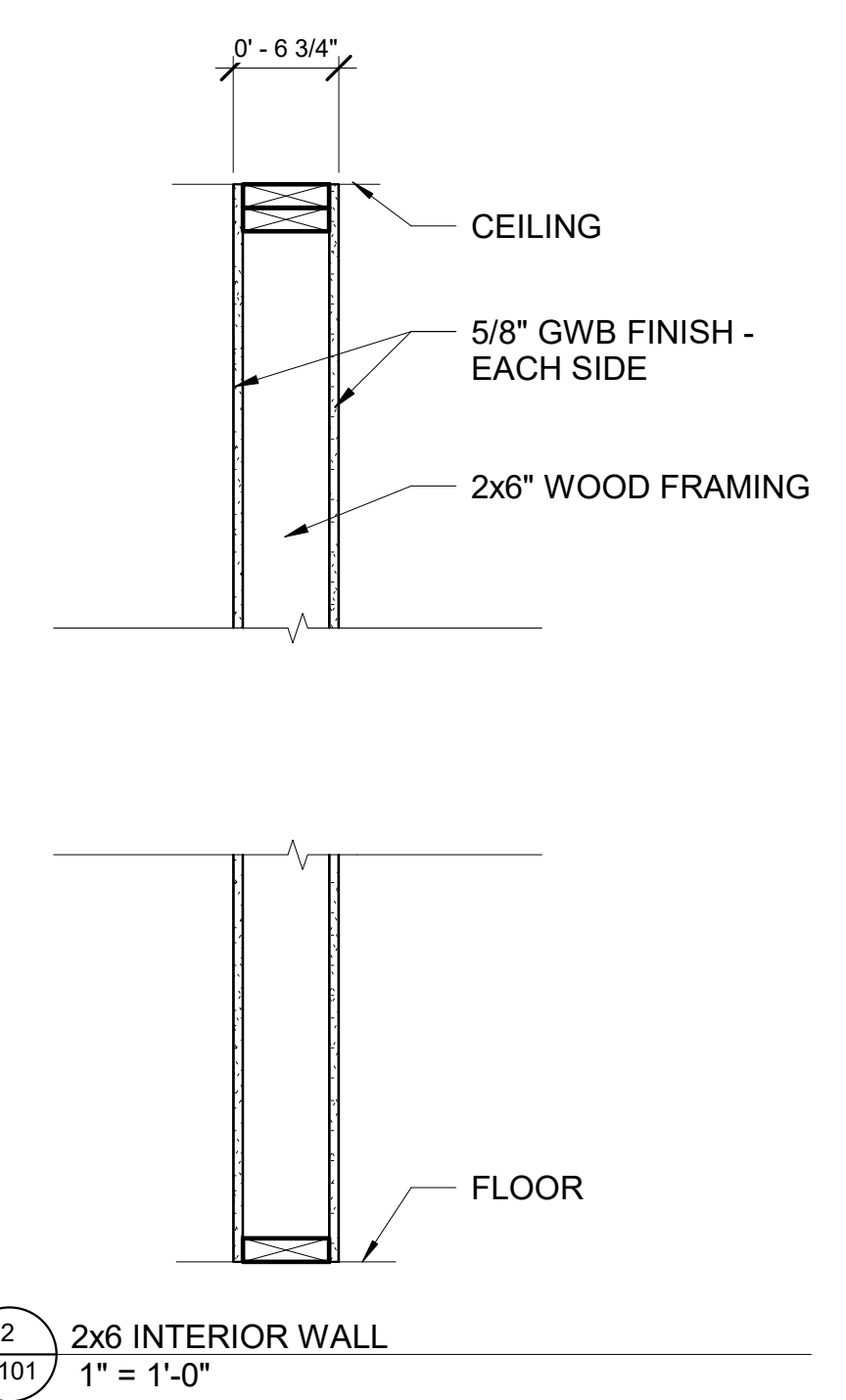
SHEET NUMBER:

A100



- GENERAL FIRST FLOOR SCOPE OF WORK:**
- EXTERIOR WALLS TO BE 2X6 WD. STUD CONSTRUCTION W/ R-13 MIN. CAVITY INSULATION, R-5 MIN CONTINUOUS INSULATION, AND VAPOR BARRIER. U.N.O. SEE STRUCTURAL DRAWINGS.
 - PROVIDE WINDOWS AS INDICATED - REFER TO HEADER SCHEDULE FOR SIZING
 - COORDINATE NEW ELECTRICAL WIRING & FIXTURE DIAGRAM W/ ELECTRICAL CONTRACTOR
 - UPON WIRING COMPLETION, CONTACT BUILDING OFFICIAL FOR INSPECTION
 - PROVIDE 1/2" GYP. WALLS/ CEILINGS
 - COORDINATE FINISHES W/ OWNER
 - PROVIDE WALL PAINT - COORDINATE W/ OWNER
 - PROVIDE FLOORING - COORDINATE W/ OWNER
 - PROVIDE CASING AND TRIM - COORDINATE W/ OWNER

- PLAN NOTES:**
1. ALL NEW WALL DIMENSIONS, TO FACE OF DRYWALL FOR LAYOUT PURPOSES.
 2. ALL BEARING WALLS TO BE 2X6 WOOD CONSTRUCTION U.N.O. SEE STRUCTURAL PLANS.
 3. ALL NON-BEARING WALLS TO BE 2X4 WOOD CONSTRUCTION U.N.O.
 4. ALL CABINET DIMENSIONS TO BASE UNITS.
 5. ALL HINGE SIDE DOOR JAMBS TO BE 9" FROM ADJACENT FINISHED WALL MIN. U.N.O. SEE A800.
 6. ALL CLOSET DOORS TO BE CENTERED ON CLOSET AREA U.N.O.
 7. REF. 2/A301 FOR WALL TYPES
 8. REF. HEADER SCHEDULE FOR DOOR AND WINDOW HEADER SIZING. SEE STRUCTURAL DRAWINGS FOR DETAILS.



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:
MR & MRS HAMANN

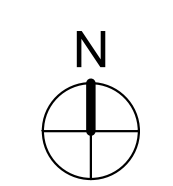
PROJECT:
Hamann Residence

LOCATION:
323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:52 PM
ARCHITECT: RHW
DRAWING BY: Author
JOB NUMBER: 19-117
FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07 - 20 - Hamann Residence.rvt

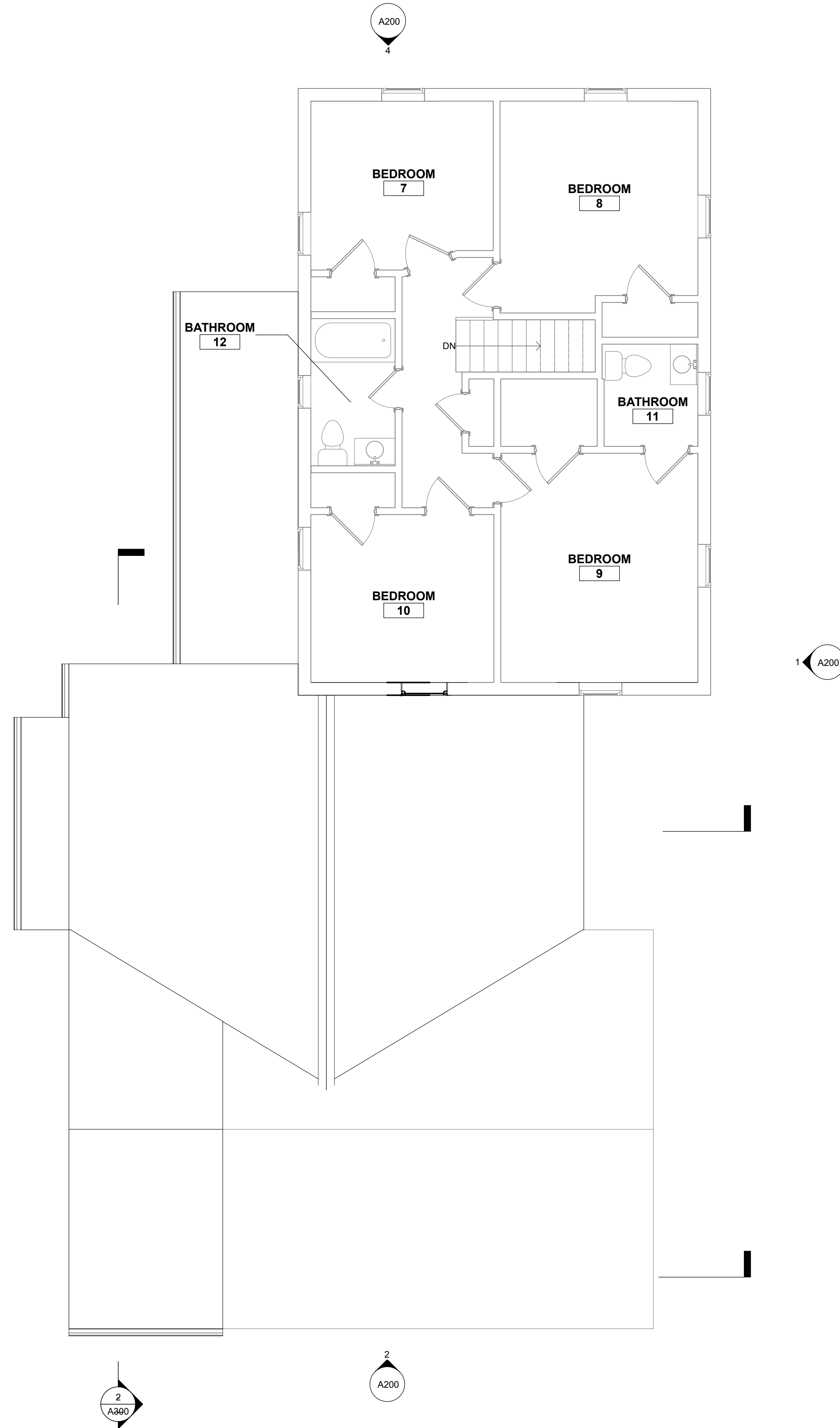
FIRST FLOOR PLAN

SHEET NUMBER:
A101



1
A101
FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE: PROPOSED ADDITION NET AREA (USEABLE) SF = 456
BAY WINDOW = 21 SF



1
A102 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:53 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

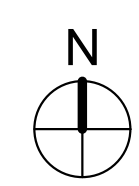
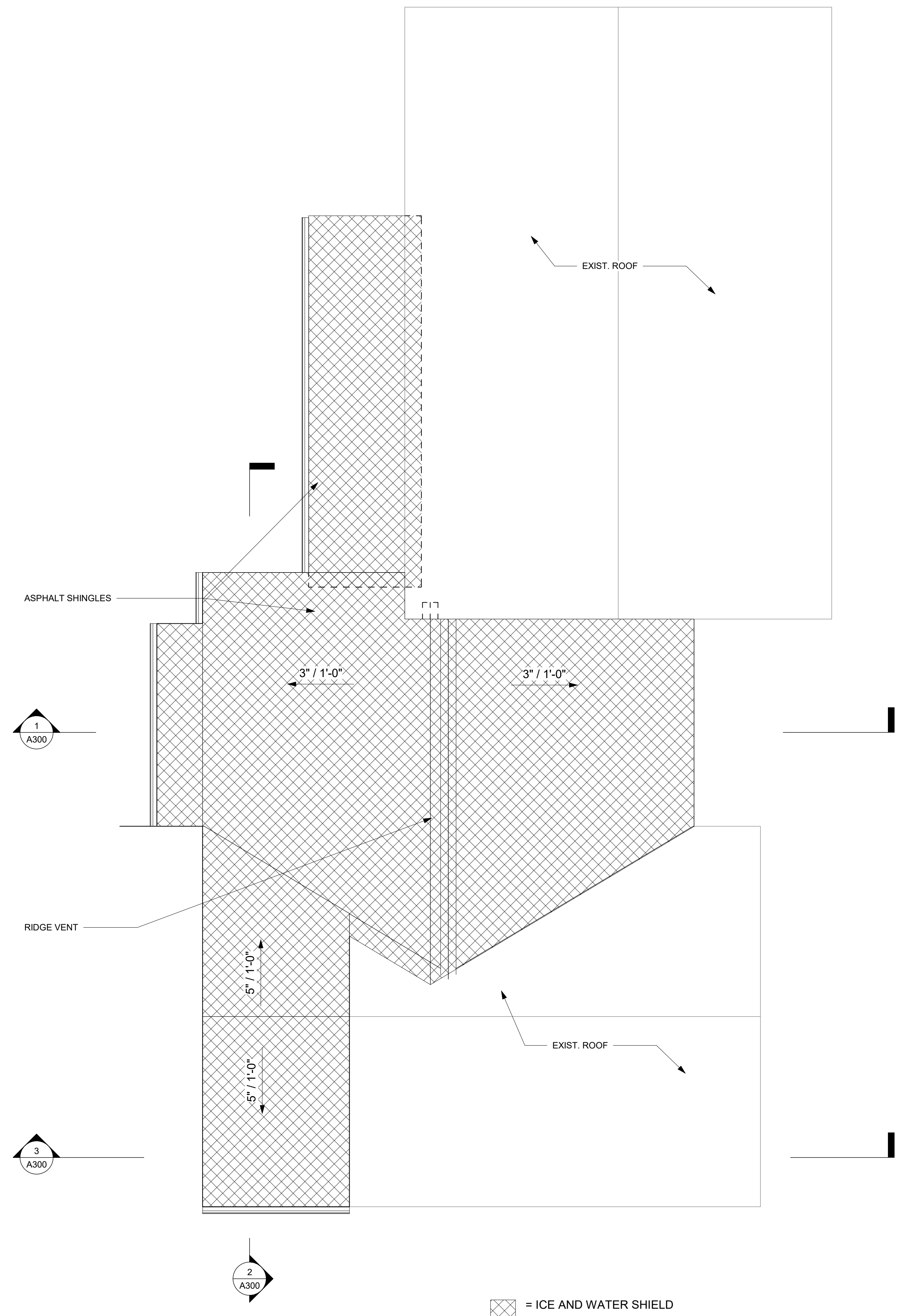
20 - 20 - Hamann Residence.rvt

DRAWING:

**SECOND FLOOR
PLAN**

SHEET NUMBER:

A102



1
A103
PROPOSED ROOF PLAN
1/4" = 1'-0"

= ICE AND WATER SHIELD

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:53 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07 - 20 - Hamann Residence.rvt

DRAWING:

ROOF PLAN

SHEET NUMBER:

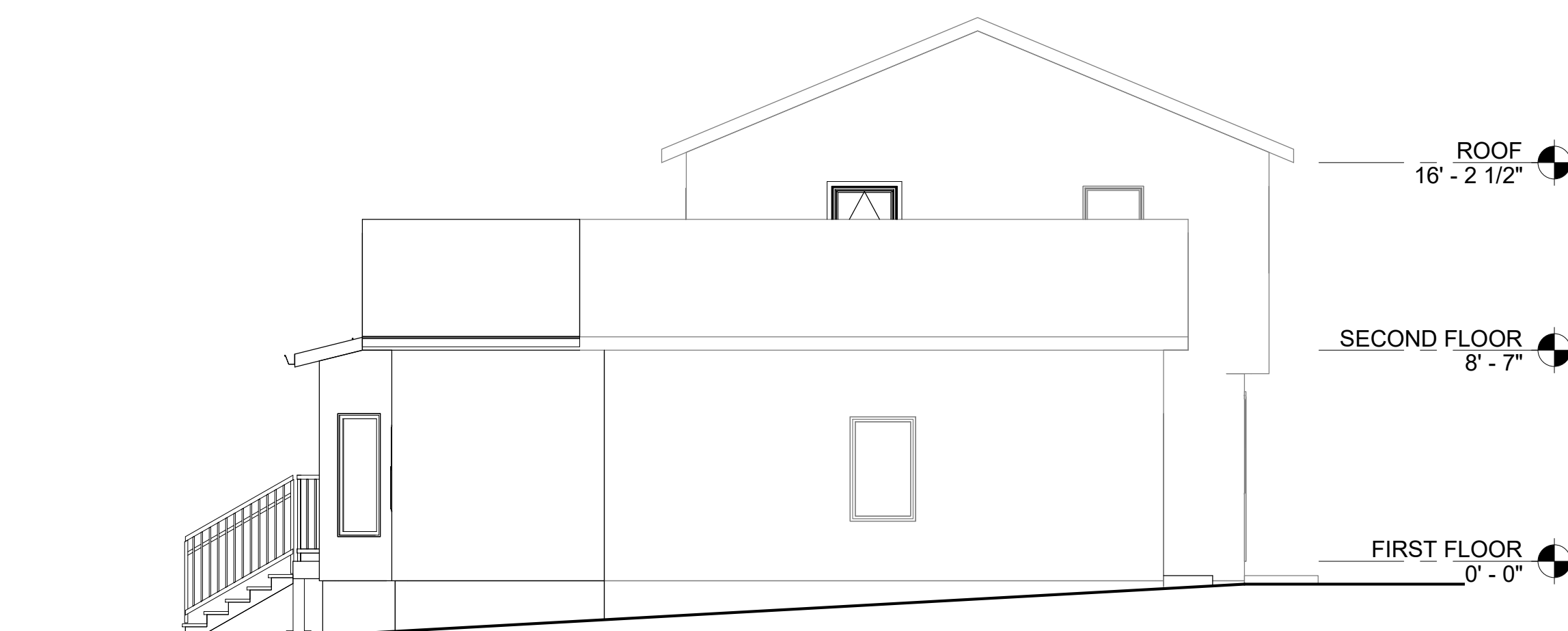
A103



4 PROPOSED NORTH ELEVATION
A200 3/16" = 1'-0"



3 PROPOSED WEST ELEVATION
A200 3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A200 3/16" = 1'-0"



1 PROPOSED EAST ELEVATION
A200 3/16" = 1'-0"

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		



Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:55 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

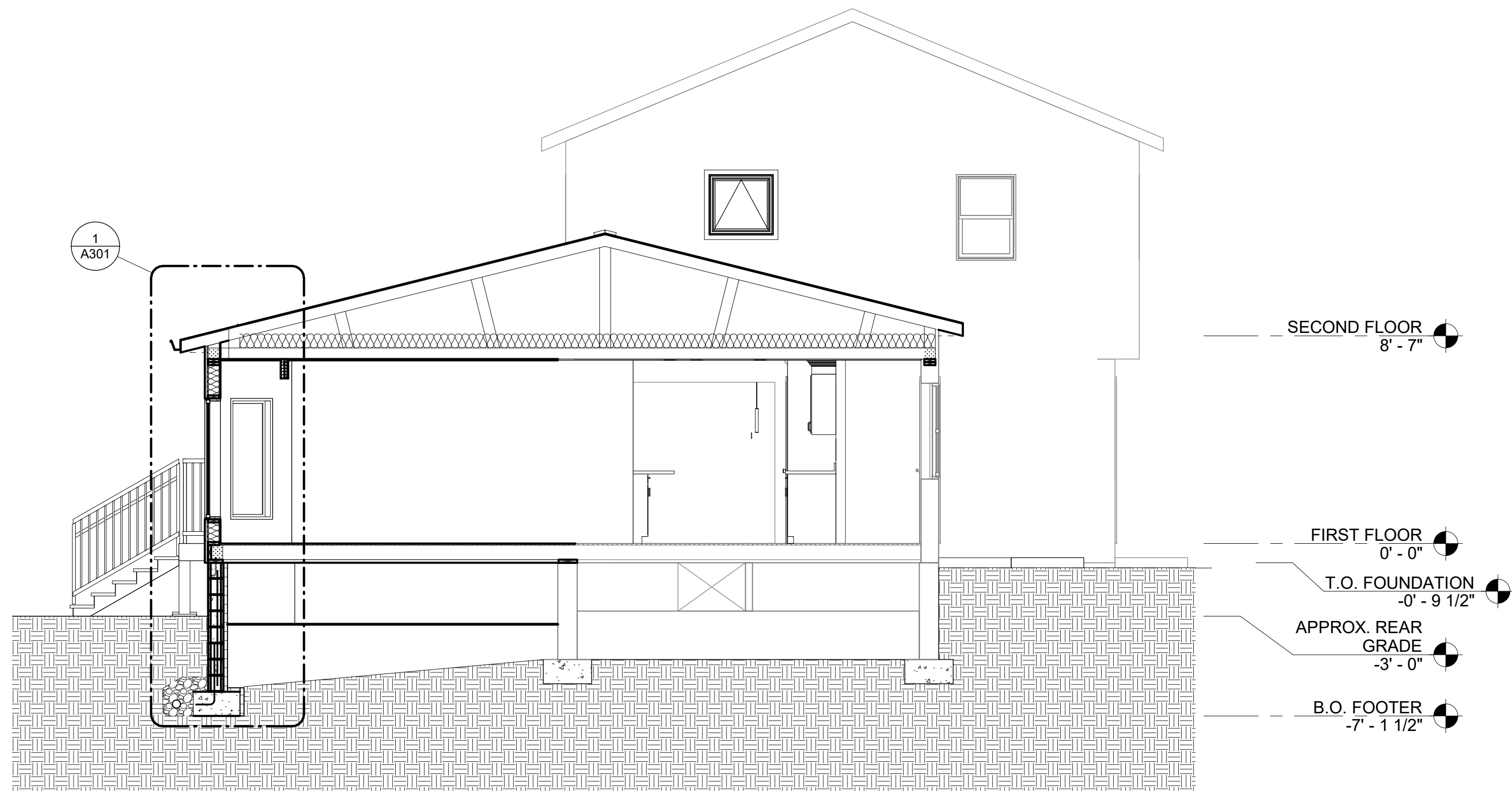
20 - 20 - Hamann Residence.rvt

DRAWING:

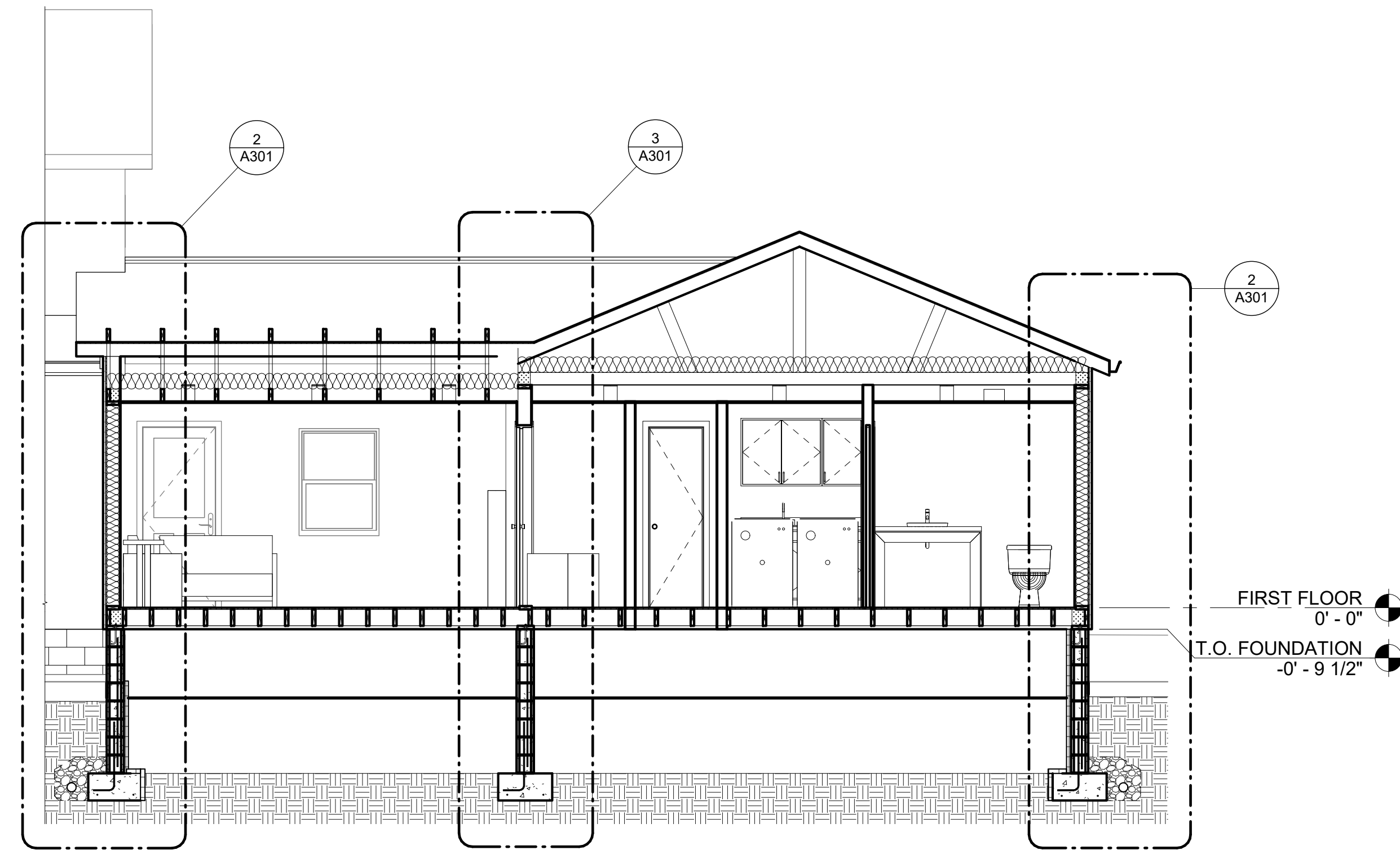
**EXTERIOR
ELEVATIONS**

SHEET NUMBER:

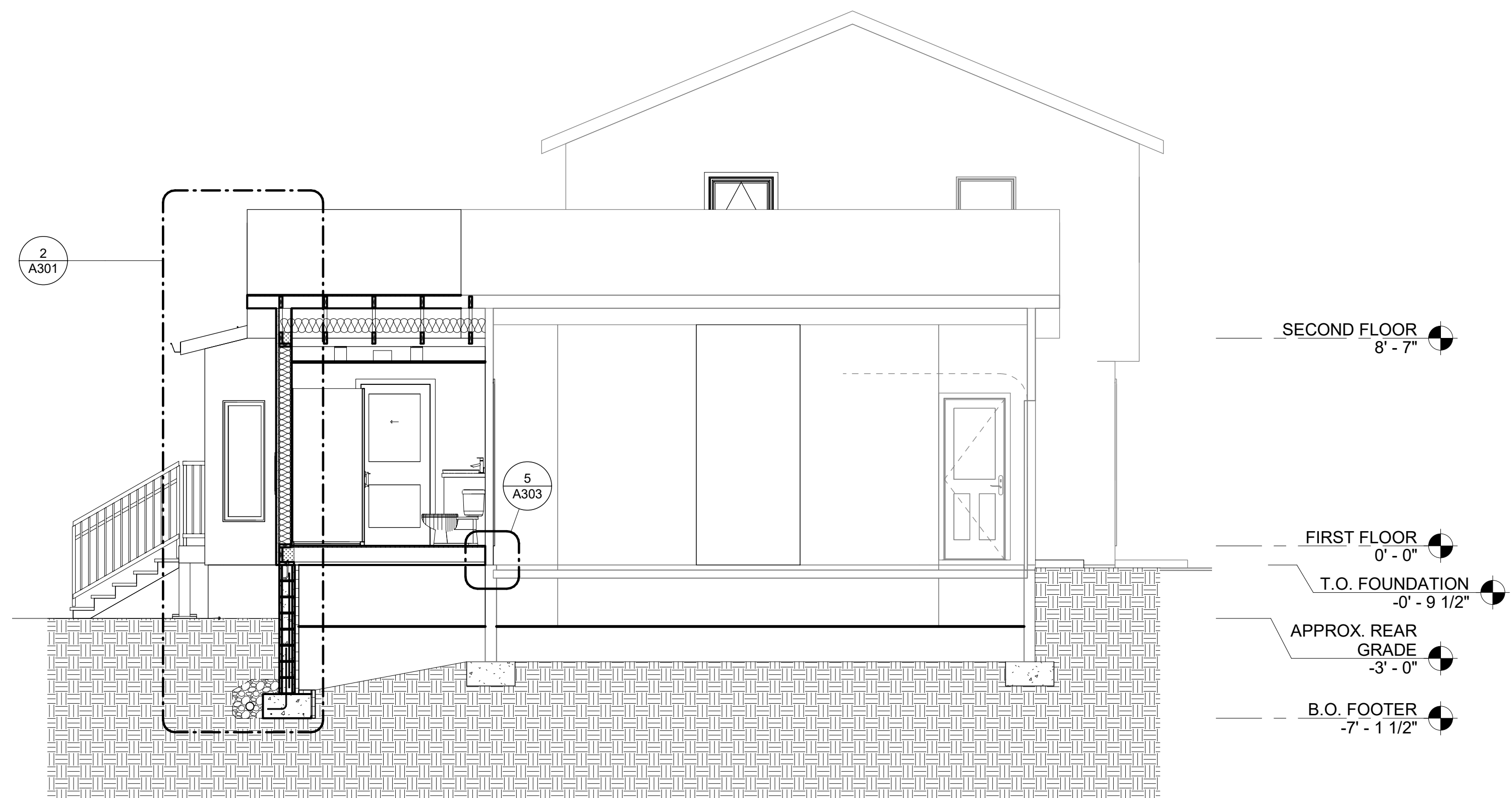
A200



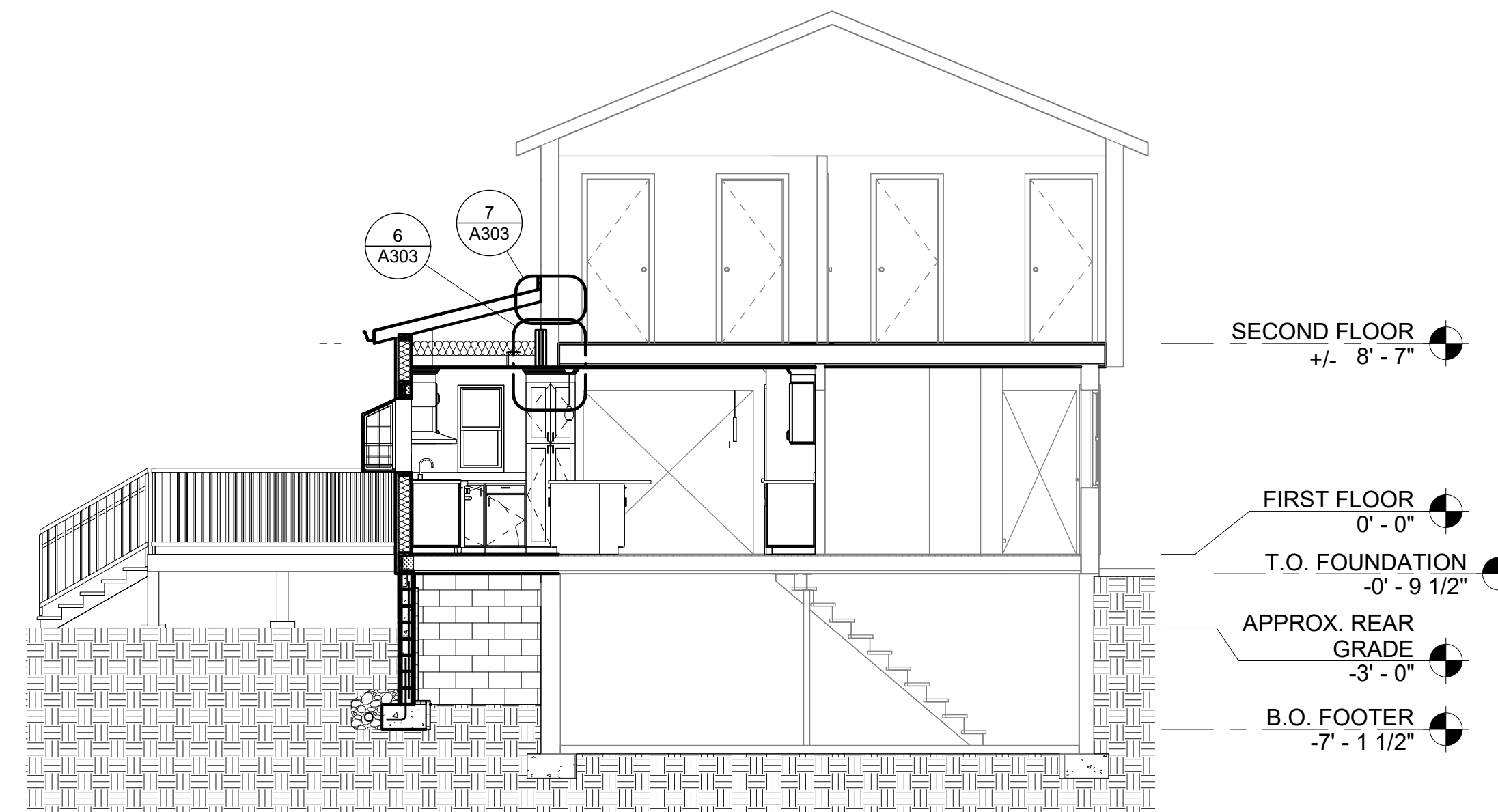
1 BUILDING SECTION 1
A300 1/4" = 1'-0"



2 ADDITION BUILDING SECTION
A300 1/4" = 1'-0"



3 BUILDING SECTION 2
A300 1/4" = 1'-0"



4 BUILDING SECTION
A300 3/16" = 1'-0"

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

Hamann Residence

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:57 PM
ARCHITECT: RHW
DRAWING BY: Author
JOB NUMBER: 19-117
FILE: W:\Projects\19-117 Hamann Residence\Drawings\20 07 -20 -20 -Hamann Residence.rvt

DRAWING:

BUILDING SECTIONS

SHEET NUMBER:

A300

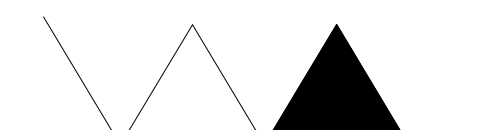
DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		



Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

Hamann Residence

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:58 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\Drawings\20 07

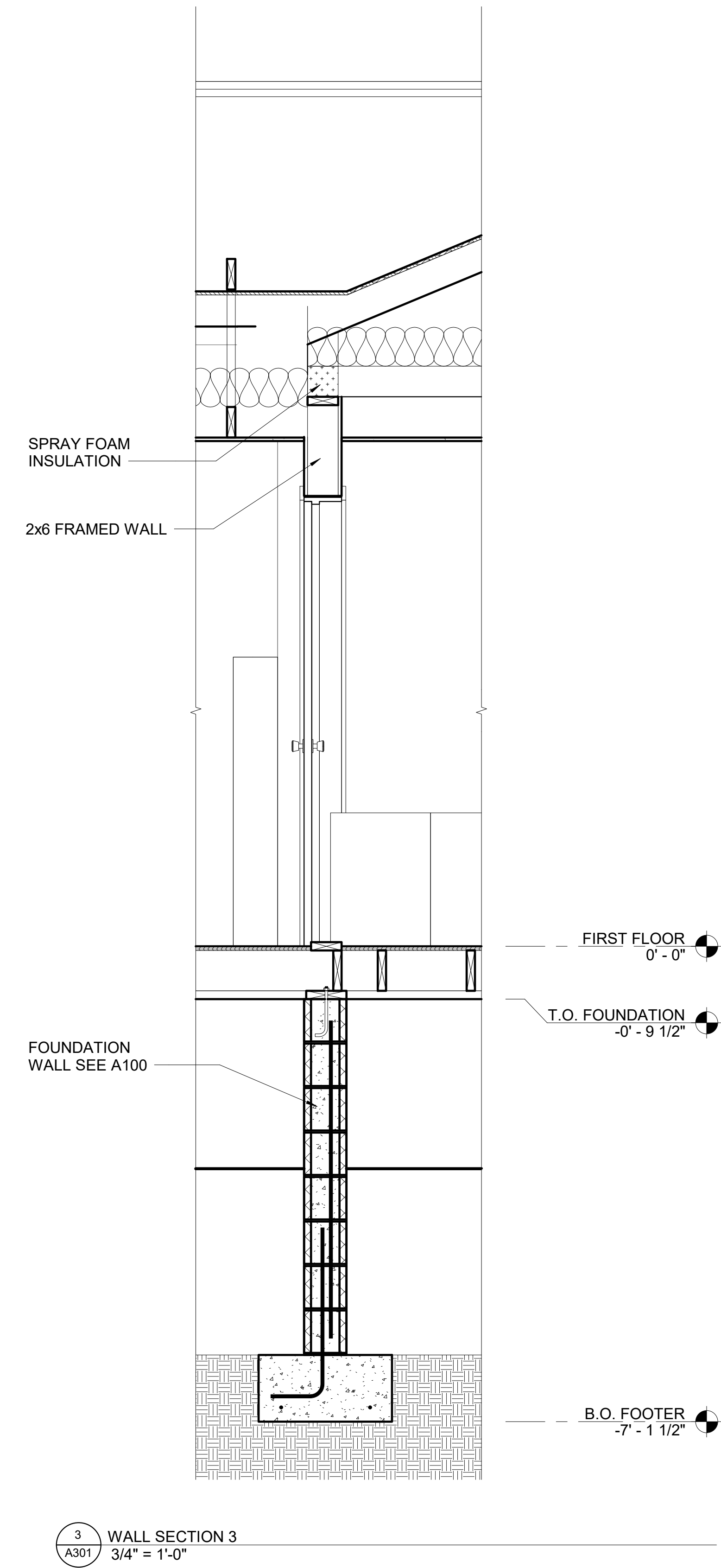
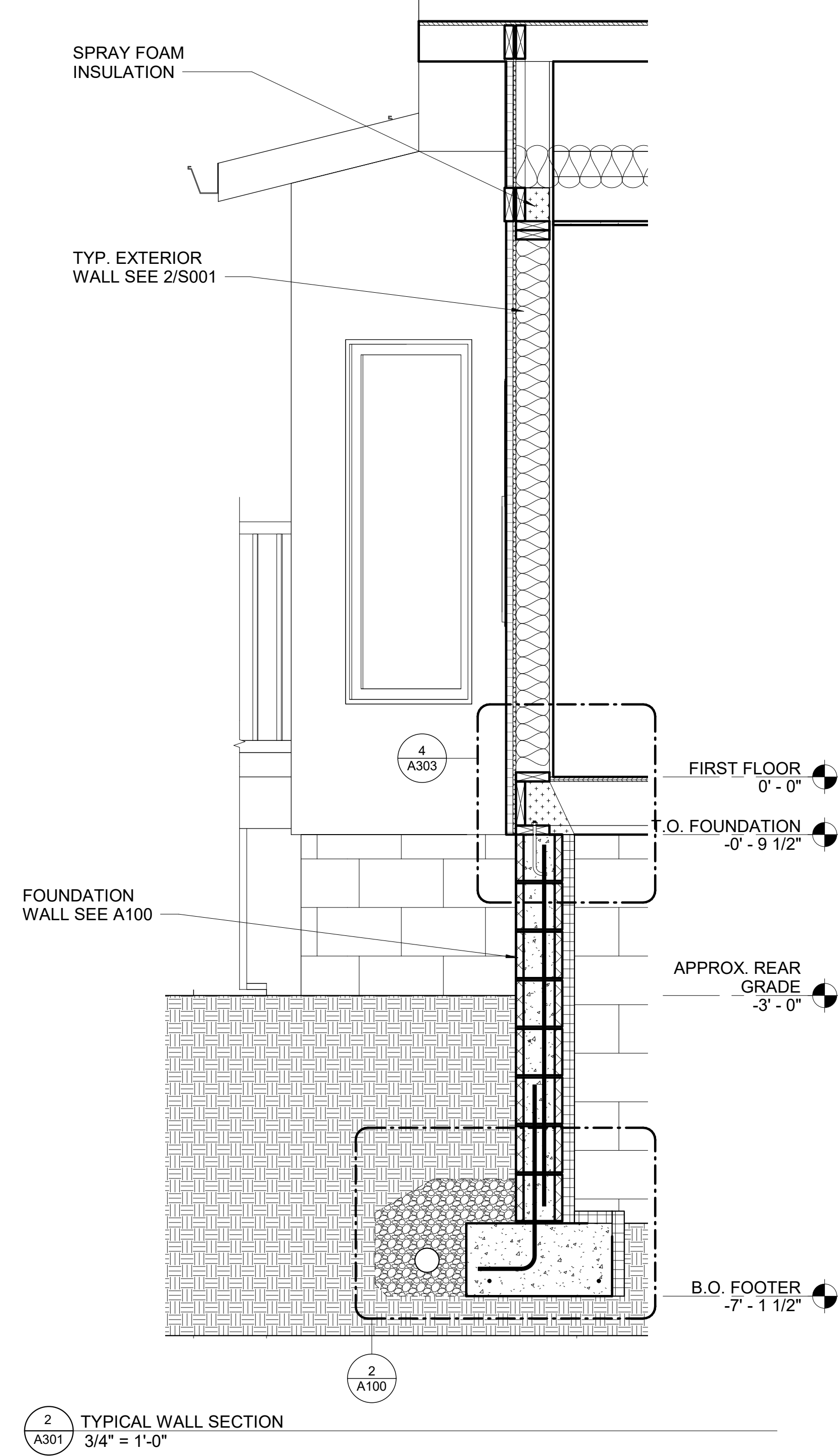
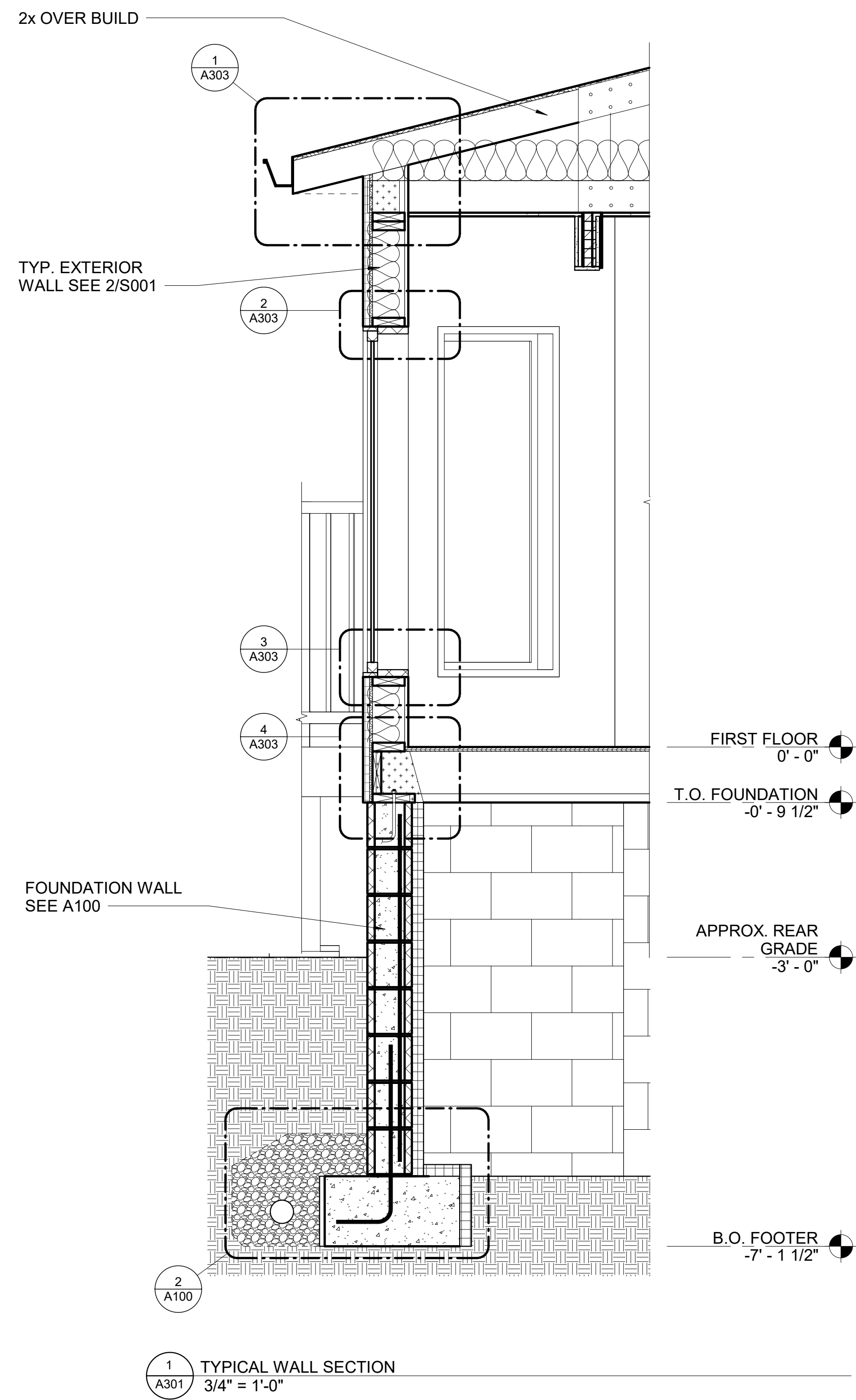
-20 - Hamann Residence.rvt

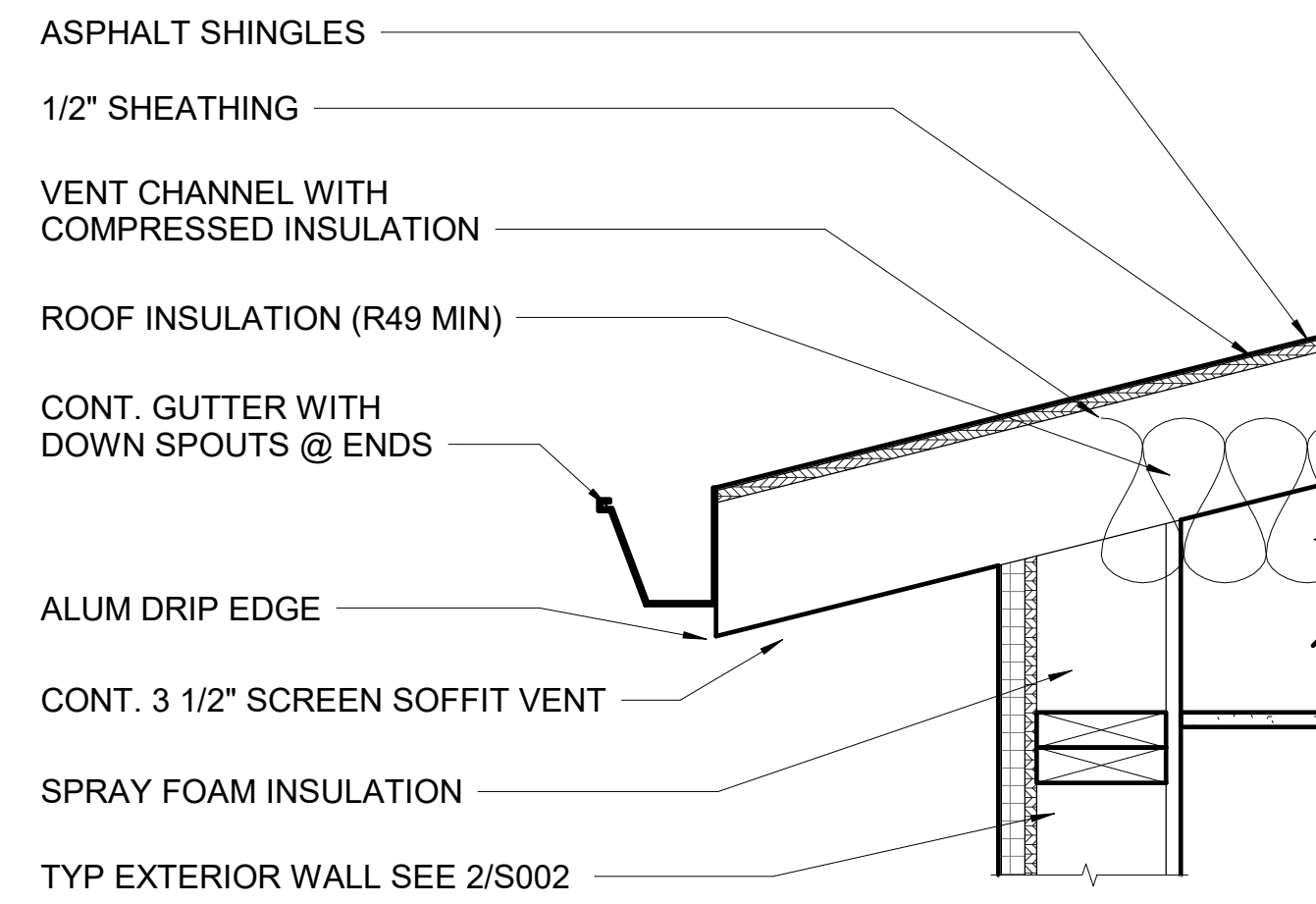
DRAWING:

WALL SECTIONS

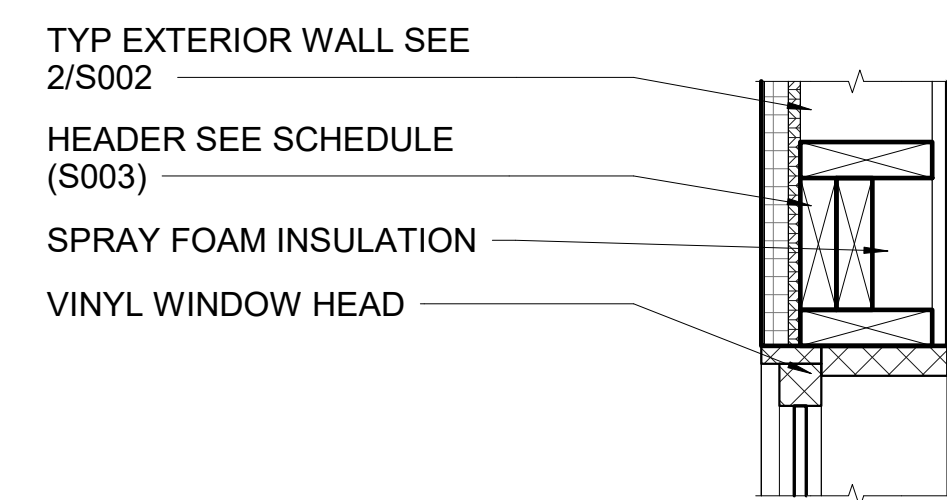
SHEET NUMBER:

A301

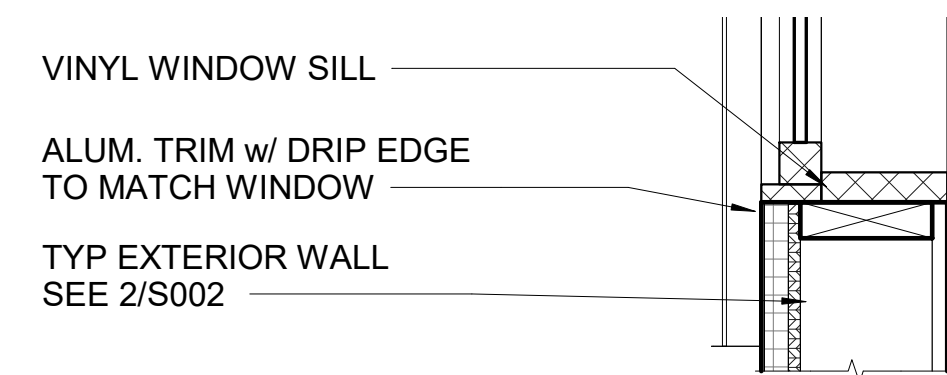




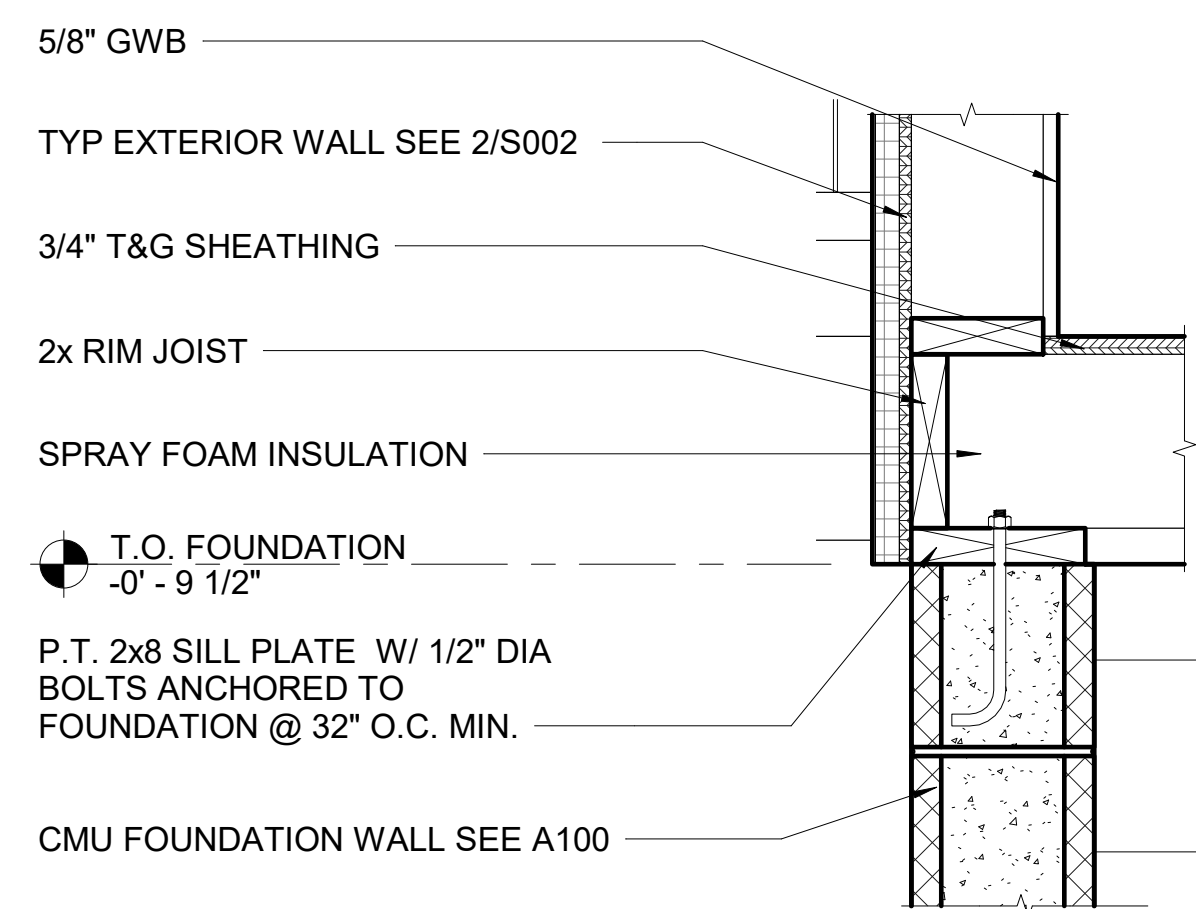
1 TYPICAL WALL SECTION
A303 1 1/2" = 1'-0"



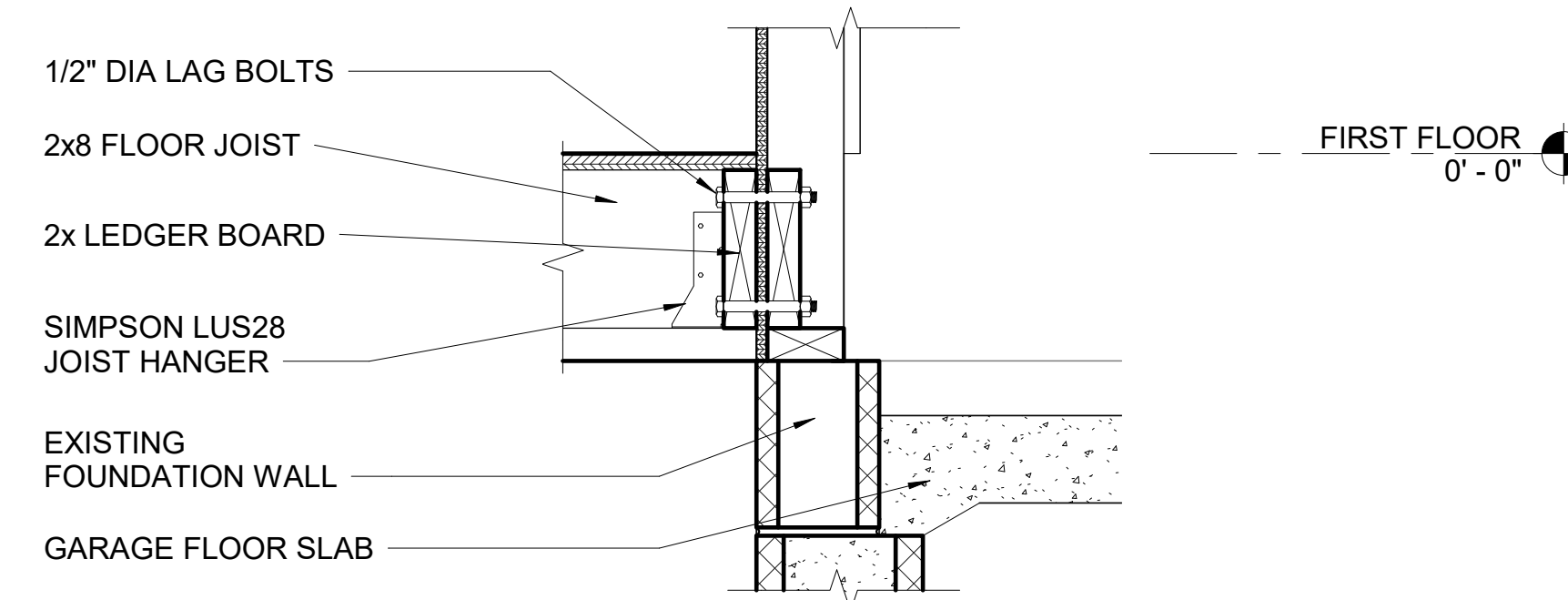
2 TYPICAL WALL SECTION
A303 1 1/2" = 1'-0"



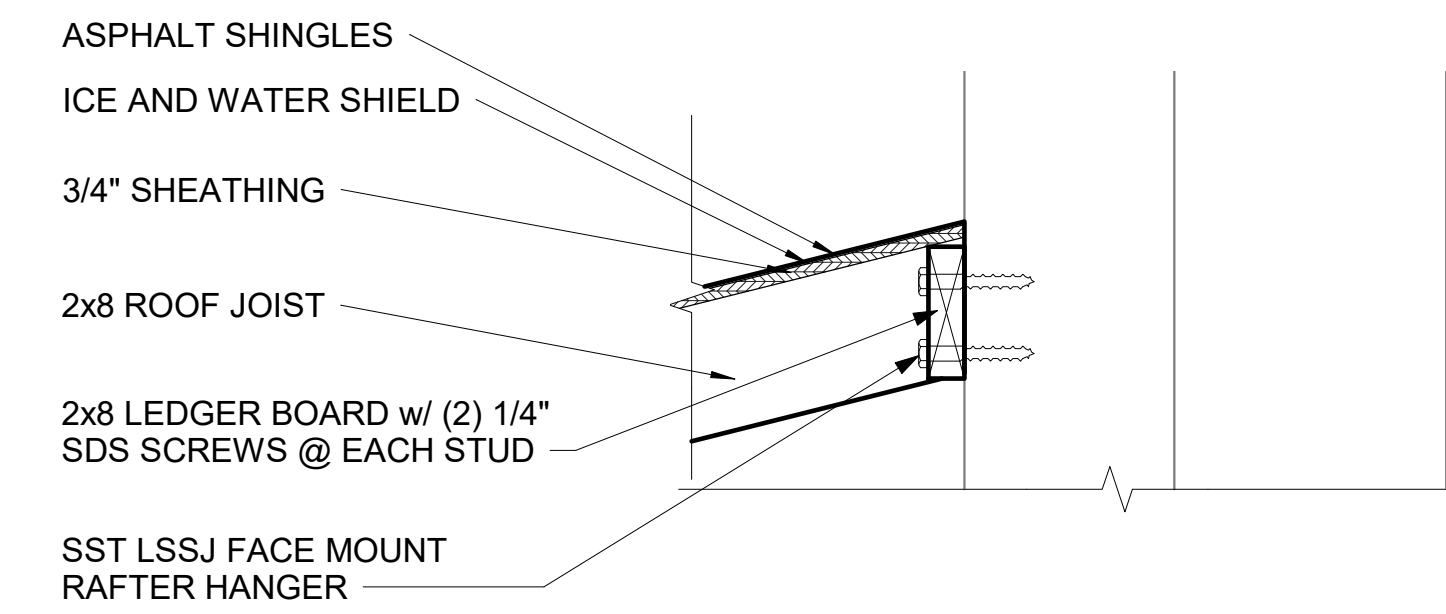
3 TYPICAL WALL SECTION
A303 1 1/2" = 1'-0"



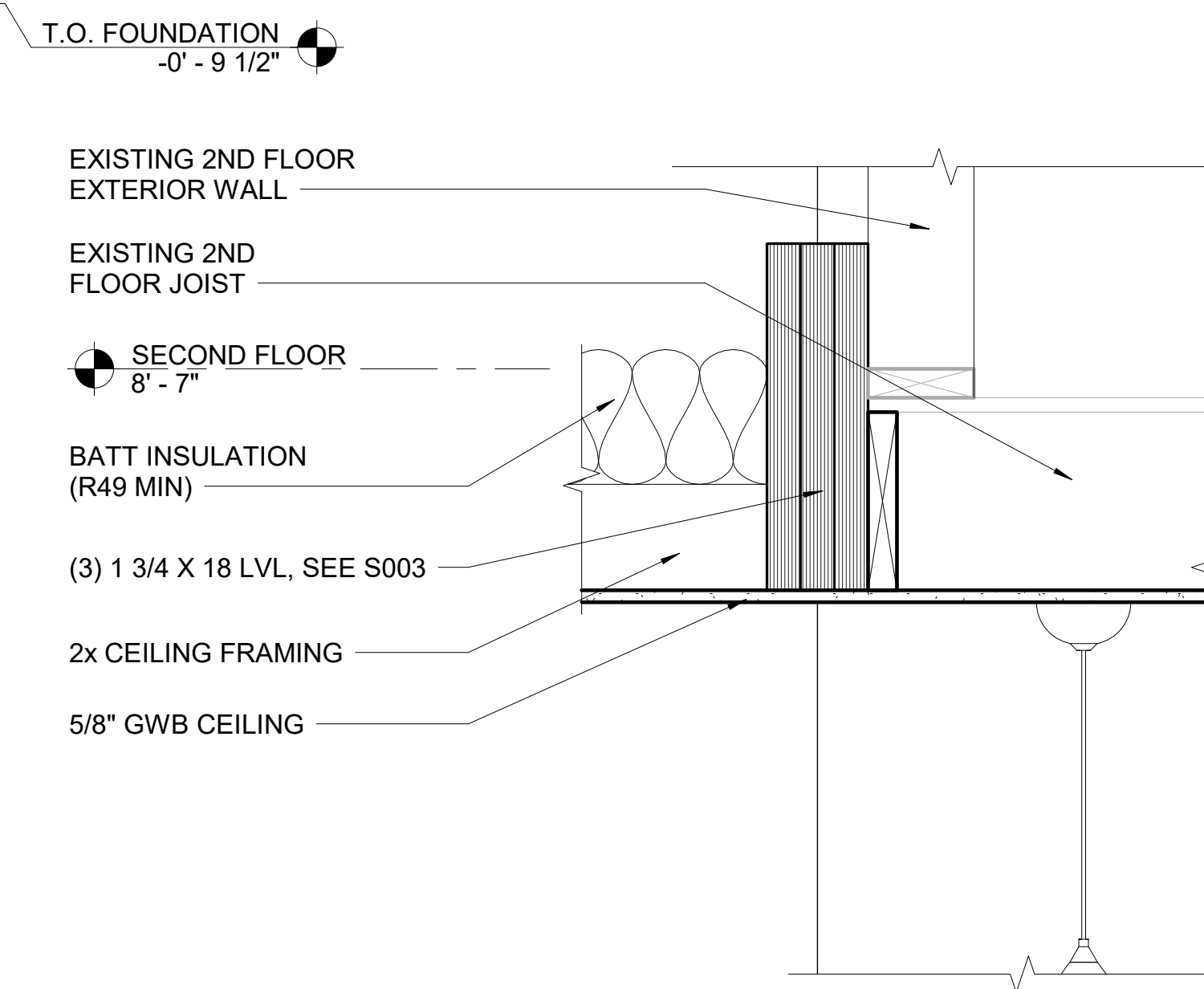
4 TYPICAL WALL SECTION
A303 1 1/2" = 1'-0"



5 GARAGE WALL LEDGER DETAIL
A303 1 1/2" = 1'-0"



7 ROOF LEDERBOARD DETAIL
A303 1 1/2" = 1'-0"



6 H1 BEAM DETAIL
A303 1 1/2" = 1'-0"

NOTE: ASSUMING PLATFORM FRAMING VERIFY IN FIELD.

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:52:59 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

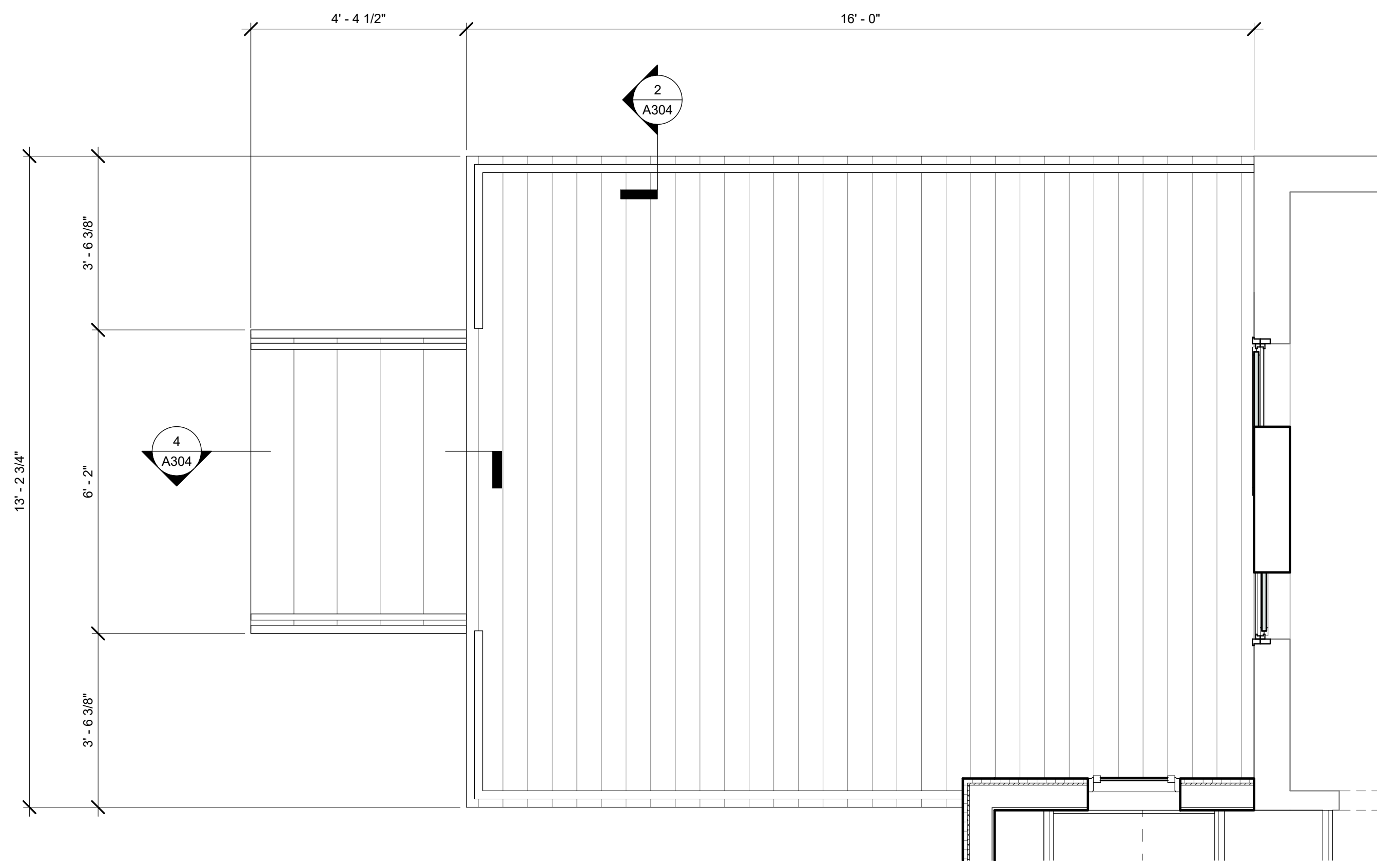
-20 - Hamann Residence.rvt

DRAWING:

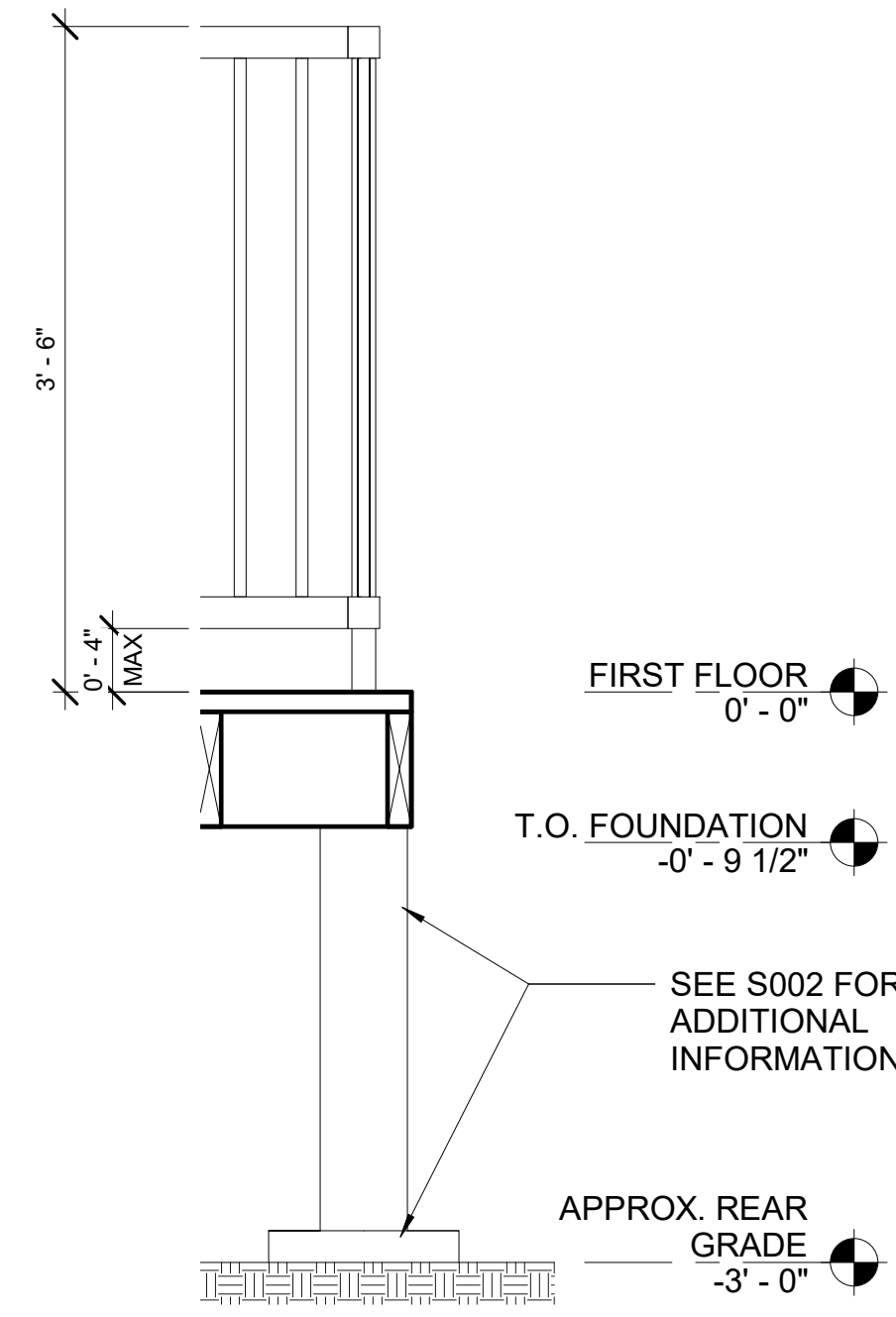
WALL DETAILS

SHEET NUMBER:

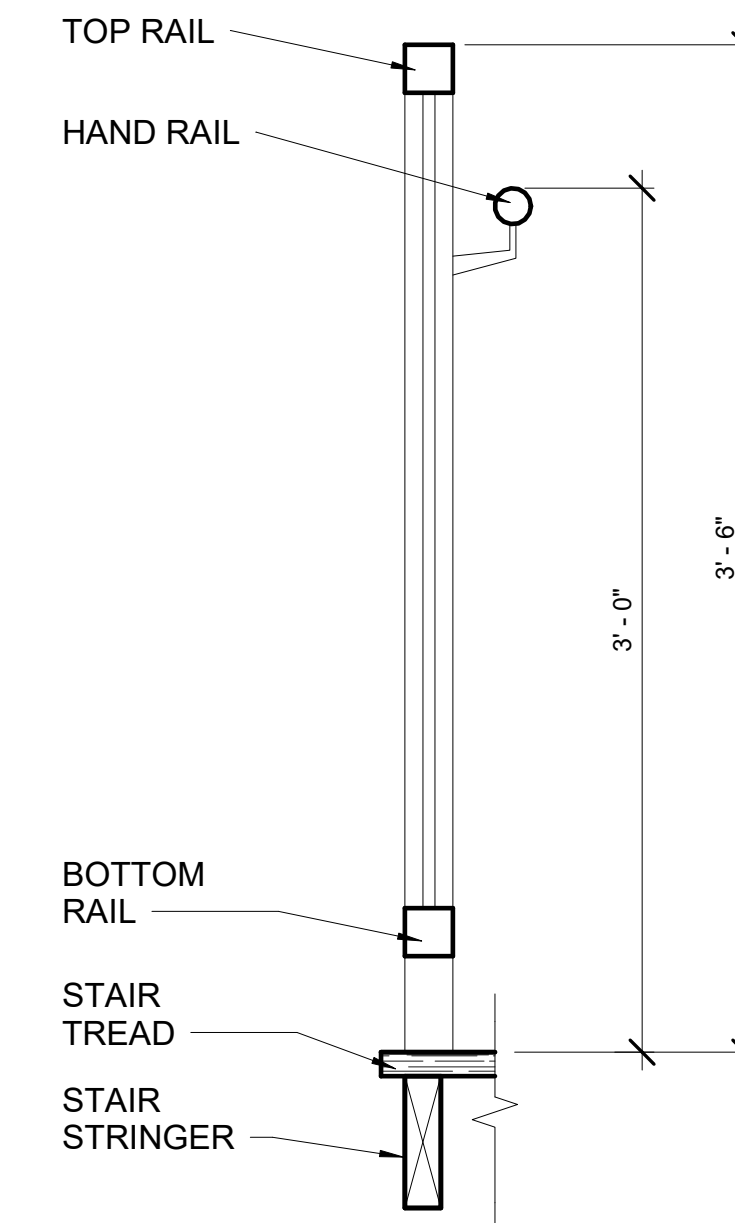
A303



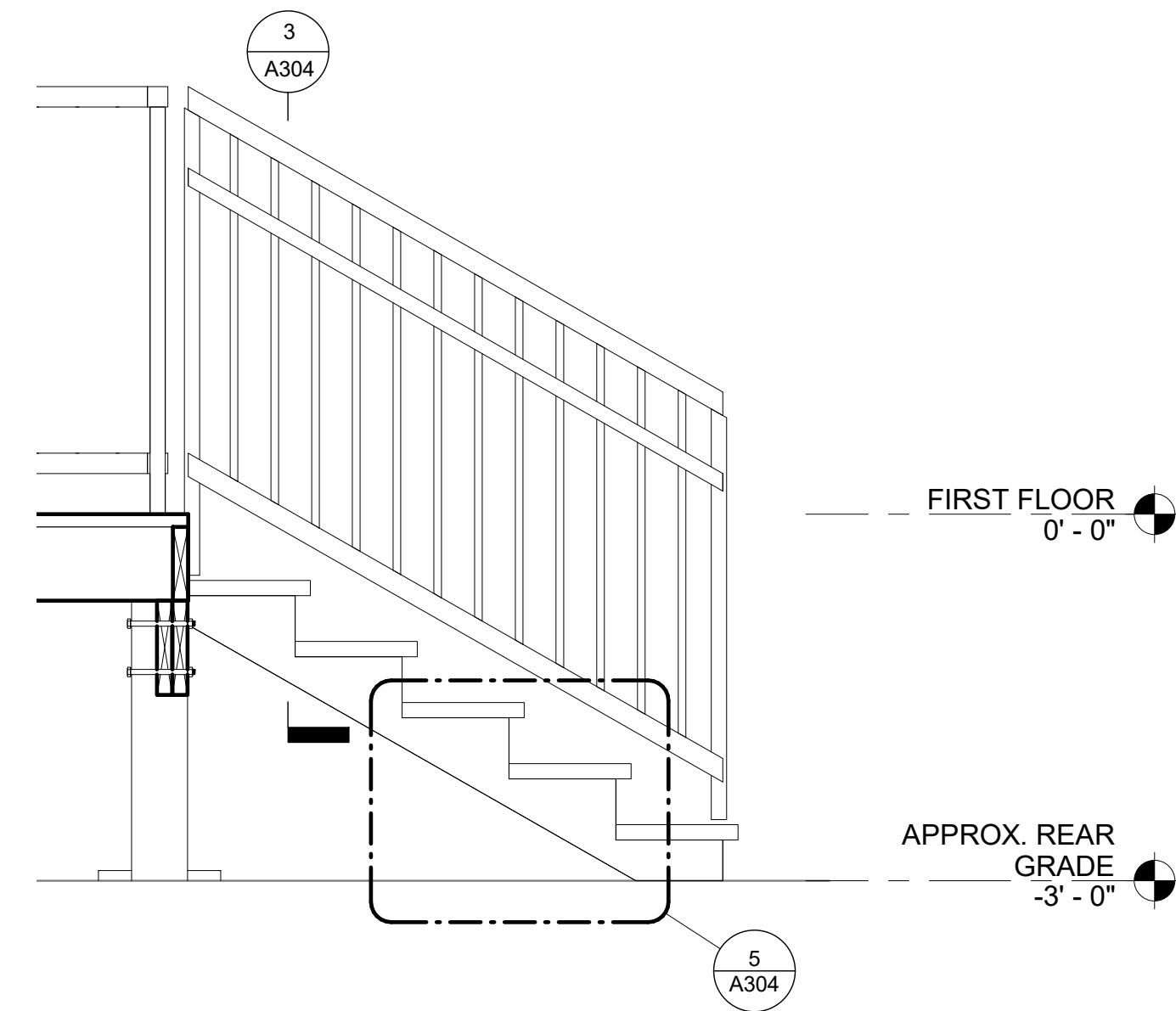
1 DECK PLAN
A304 1/2" = 1'-0"



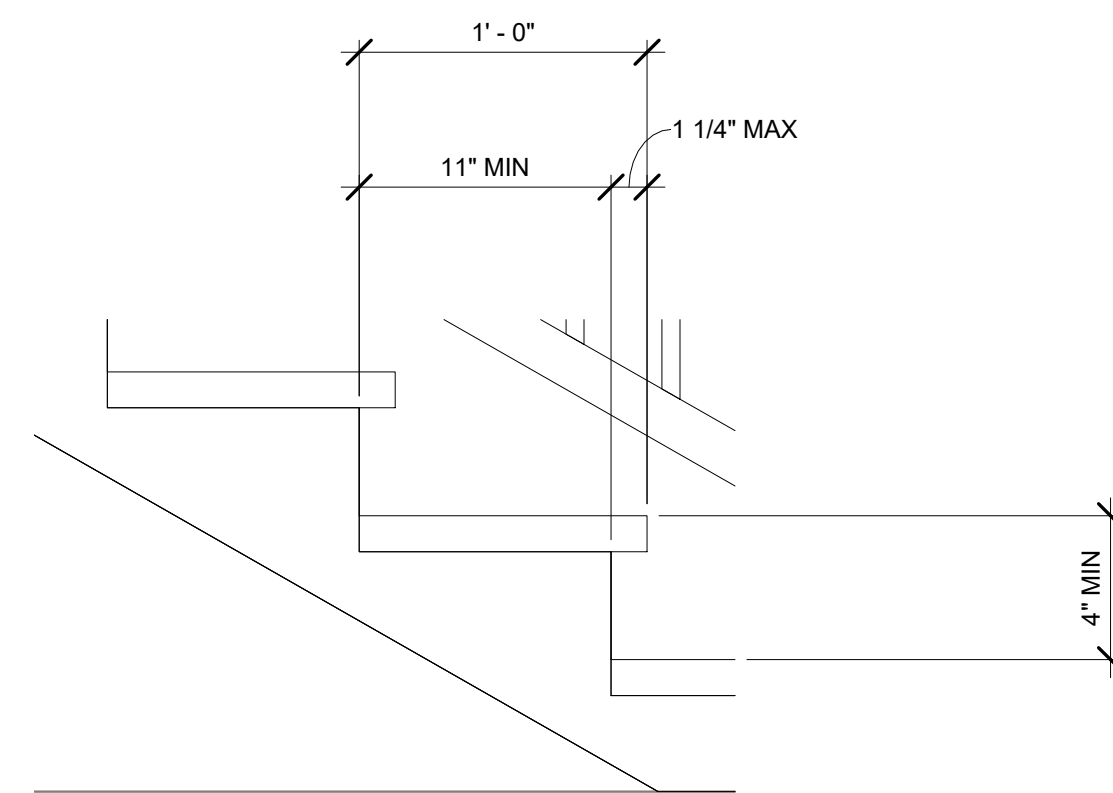
2 DECK RAIL DETAIL
A304 1" = 1'-0"



3 STAIR RAILING DETAIL
A304 1 1/2" = 1'-0"



4 DECK STAIR SECTION
A304 3/4" = 1'-0"



5 TYPICAL TREAD DETAIL
A304 1 1/2" = 1'-0"

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:00 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

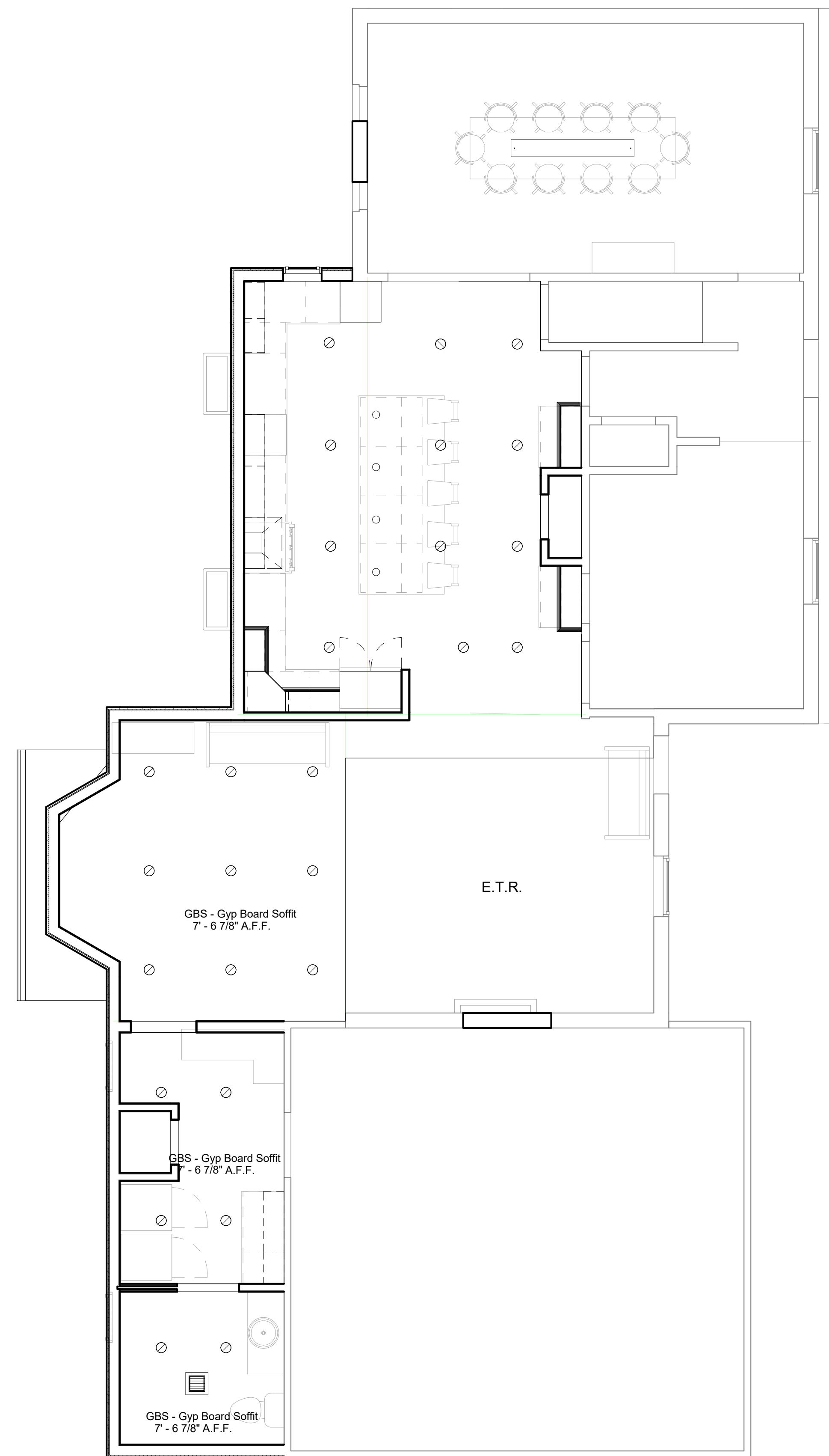
20 - 20 - Hamann Residence.rvt

DRAWING:

**STAIR & DECK
DETAILS**

SHEET NUMBER:

A304



REFLECTED CEILING KEY

- ⊙ = 6" RECESSED DOWN LIGHT
- = PENDENT LIGHT
- ☐ = EXHAUST FAN
- ▬ = LINEAR PENDENT

NOTE: COORDINATE LIGHTING WITH OWNER

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:00 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\Drawings\20 07 - 20 - Hamann Residence.rvt

DRAWING:

**FIRST FLOOR
REFLECTED
CEILING PLAN**

SHEET NUMBER:

A401

1 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
A401 1/4" = 1'-0"

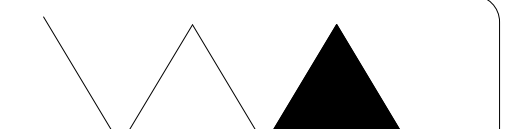
DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		



Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:02 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07

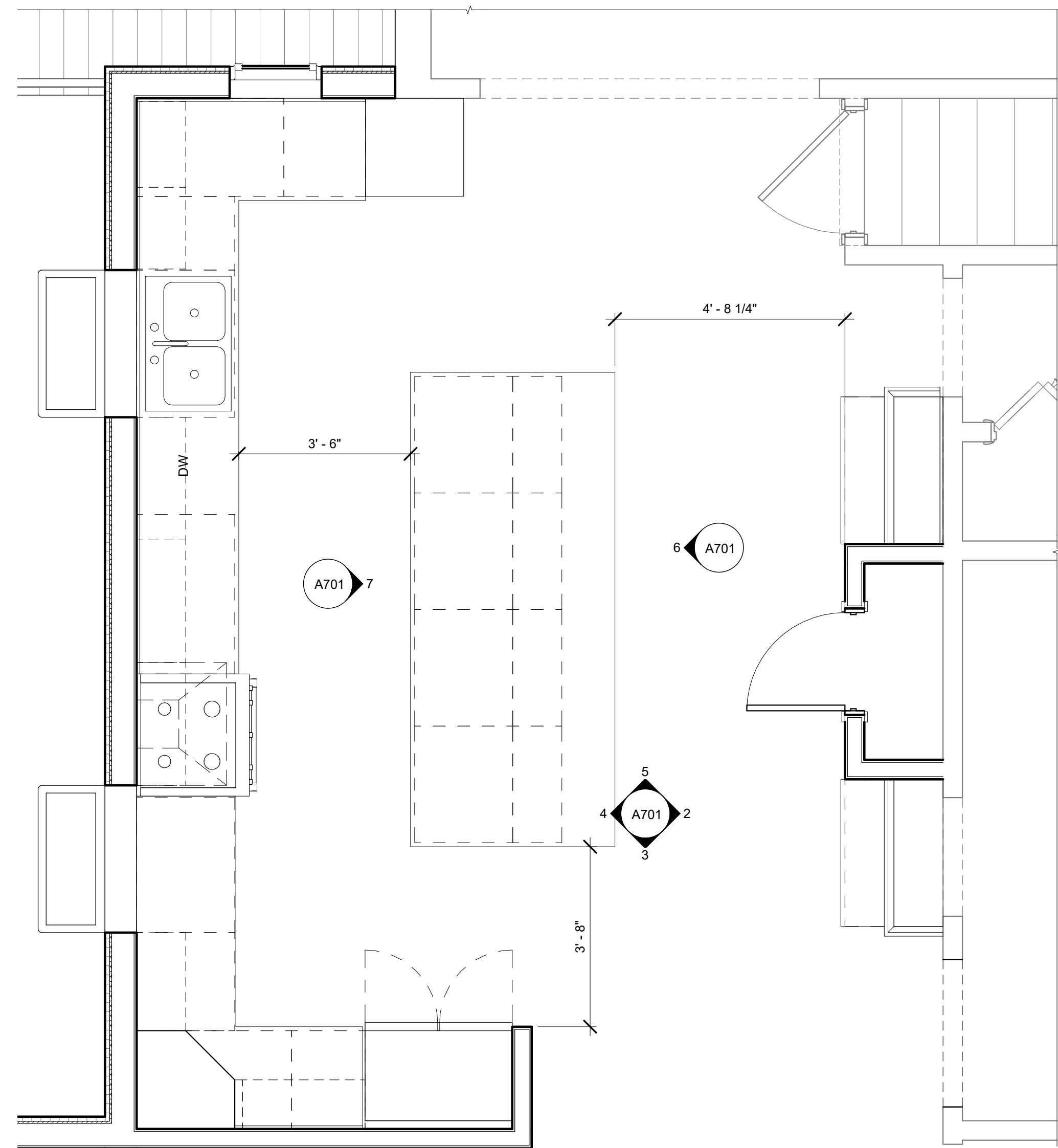
20 - 22 - Hamann Residence.rvt

DRAWING:

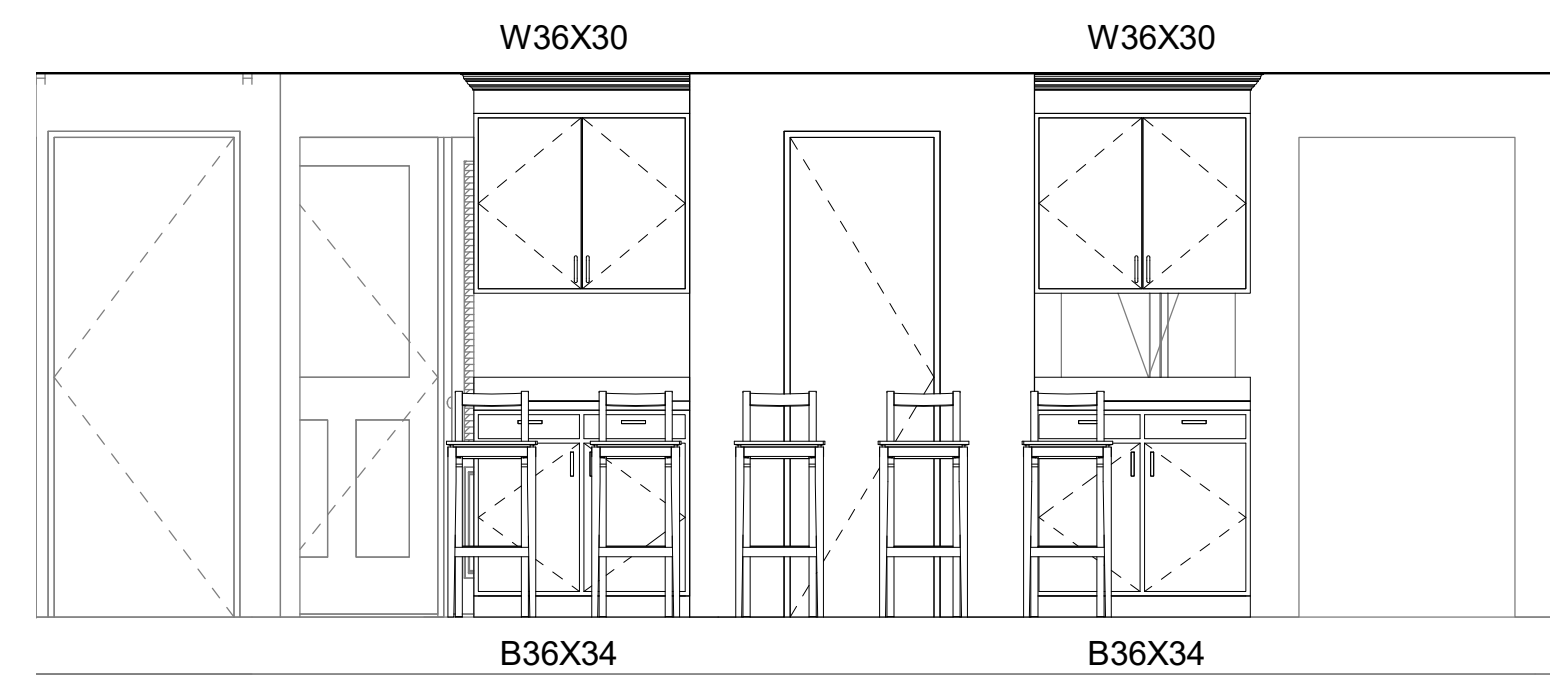
**ENLARGED
PLANS AND
ELEVATIONS**

SHEET NUMBER:

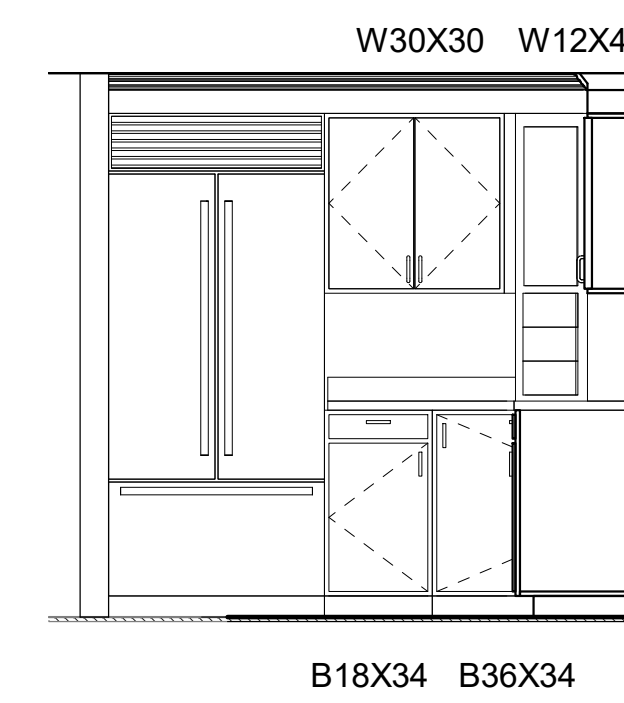
A701



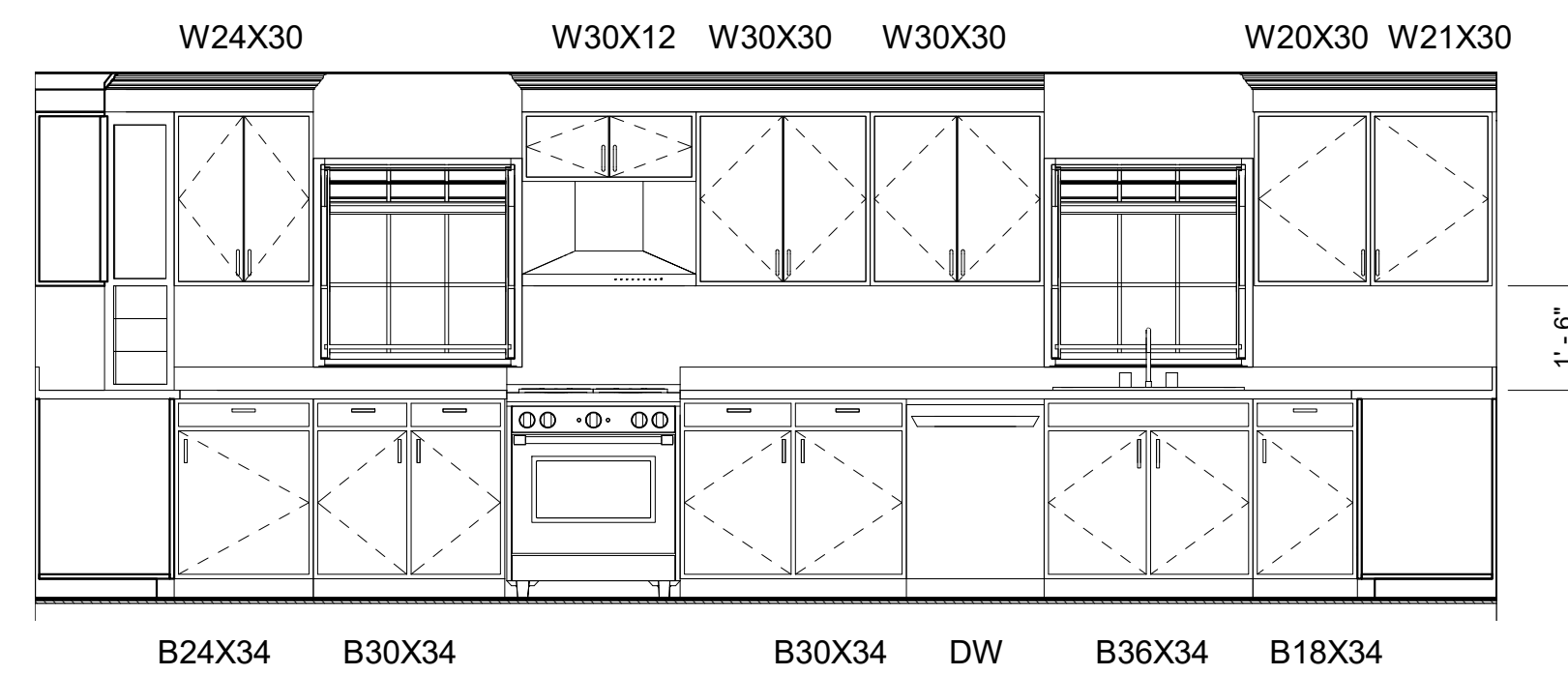
1 ENLARGED KITCHEN PLAN
A701 1/2" = 1'-0"



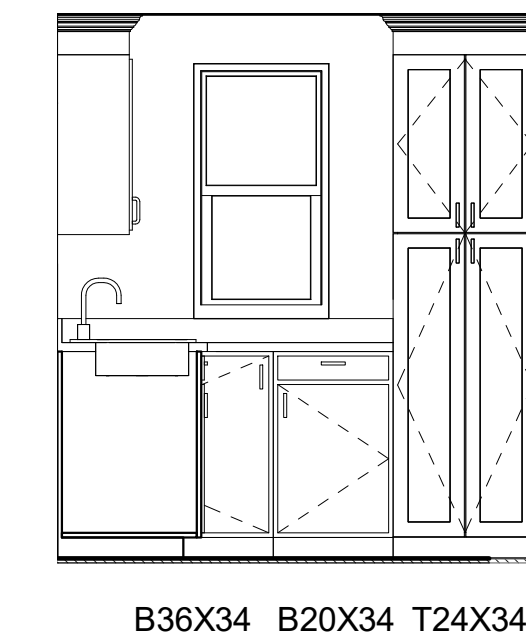
2 KITCHEN ELEVATION 1
A701 3/8" = 1'-0"



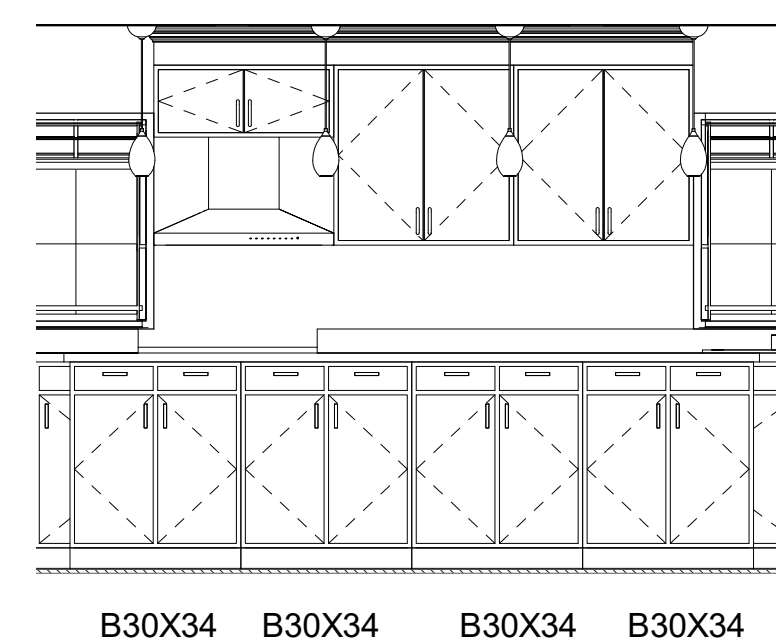
3 KITCHEN ELEVATION 2
A701 3/8" = 1'-0"



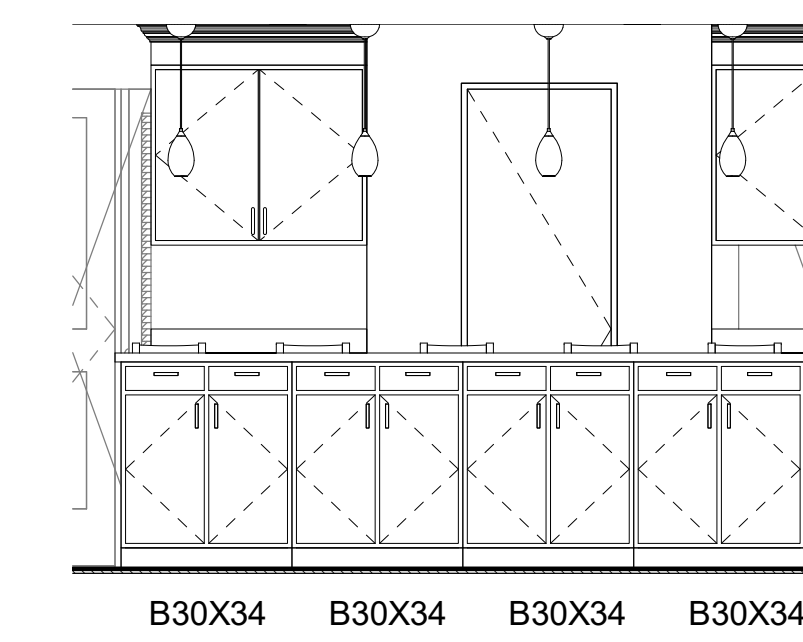
4 KITCHEN ELEVATION 3
A701 3/8" = 1'-0"



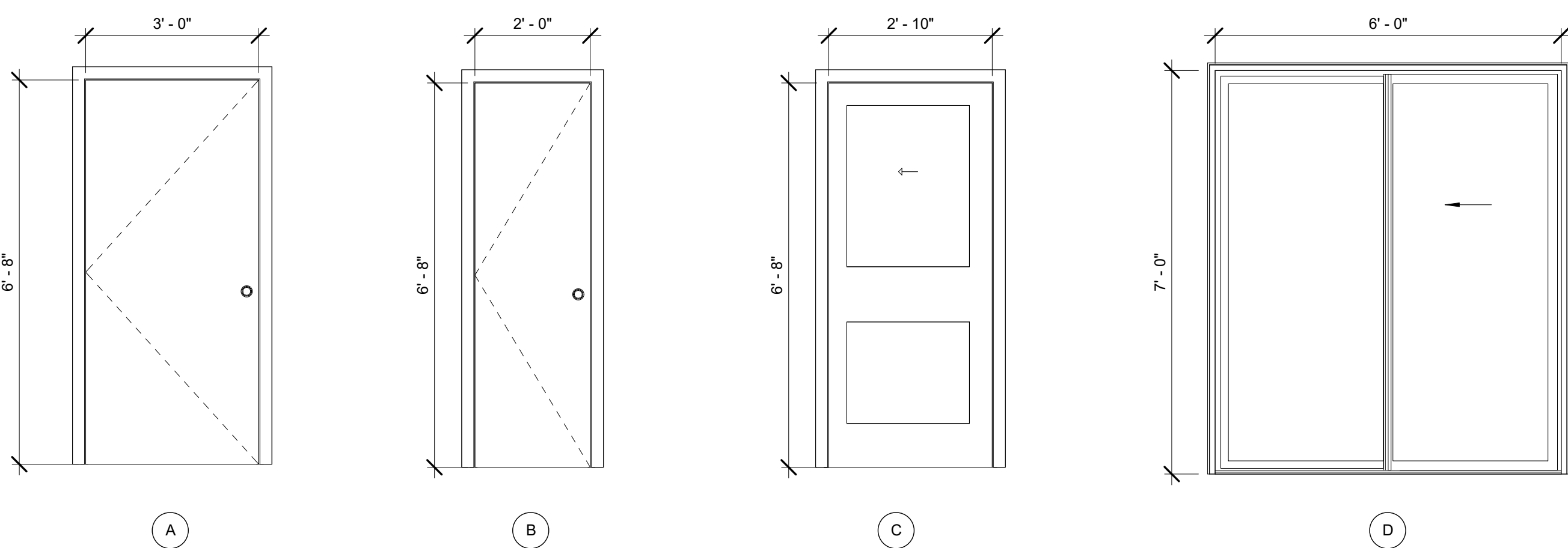
5 KITCHEN ELEVATION 4
A701 3/8" = 1'-0"



6 KITCHEN ISLAND ELEVATION 1
A701 3/8" = 1'-0"

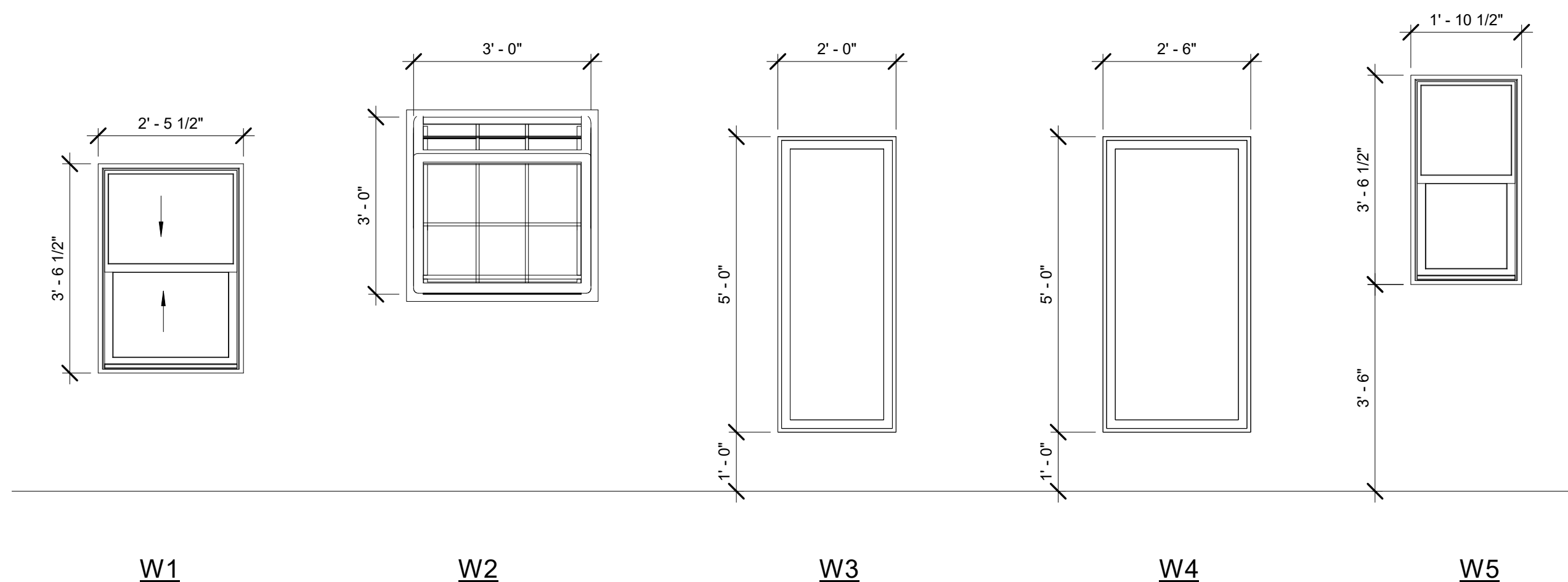


7 KITCHEN ISLAND ELEVATION 2
A701 3/8" = 1'-0"



DOOR TYPES
1/2" = 1'-0"

DOOR SCHEDULE					
MARK	ROOM NAME	WIDTH	HEIGHT	DOOR TYPE	REMARK
102	DINING ROOM	6' - 0"	7' - 0"	D	
103	KITCHEN	2' - 0"	6' - 8"	B	
105	FAMILY ROOM	3' - 0"	6' - 8"	A	
106	GARAGE	3' - 0"	6' - 8"	A	
107	MUD ROOM	2' - 0"	6' - 8"	B	
108	BATHROOM	2' - 10"	6' - 8"	C	Pocket Door



WINDOW TYPES
1/2" = 1'-0"

WINDOW SCHEDULE					
MARK	WINDOW TYPE	WIDTH	HEIGHT	QUANTITY	REMARK
W1	DOUBLE HUNG	2' - 5 1/2"	3' - 6 1/2"	3	
W2	GARDEN BOX	3' - 0"	3' - 0"	2	
W3	PICTURE	2' - 0"	5' - 0"	2	
W4	PICTURE	2' - 6"	5' - 0"	2	

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, SPECIAL PROVISIONS: AND APPLIES TO THIS DRAWING. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WOLFE ARCHITECTURE
ALL RIGHTS RESERVED

REVISIONS:

MARK	DESCRIPTION	DATE
△		
△		
△		
△		
△		
△		

Wolfe Architecture
3 N. Main St, Suite #2
Honeoye Falls, NY 14472
Phone: (585) 582-6277
www.WolfeArchitecture.com

SEAL

OWNER:

MR & MRS HAMANN

PROJECT:

**Hamann
Residence**

LOCATION:

323 EAST ST.
PITTSFORD, NY 14534

DATE: 7/20/2020 1:53:02 PM

ARCHITECT: RHW

DRAWING BY: Author

JOB NUMBER: 19-117

FILE: W:\Projects\19-117 Hamann Residence\3 Drawings\20 07 - 20 - Hamann Residence.rvt

DRAWING:

**DOOR &
WINDOW
SCHEDULES**

SHEET NUMBER:

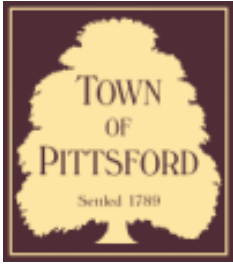
A800







DISTRICT No. 3
1846.



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000092

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 355 East Street PITTSFORD, NY 14534

Tax ID Number: 178.16-2-23

Zoning District: RN Residential Neighborhood

Owner: Sashittal, Hemant C

Applicant: Sashittal, Hemant C

Application Type:

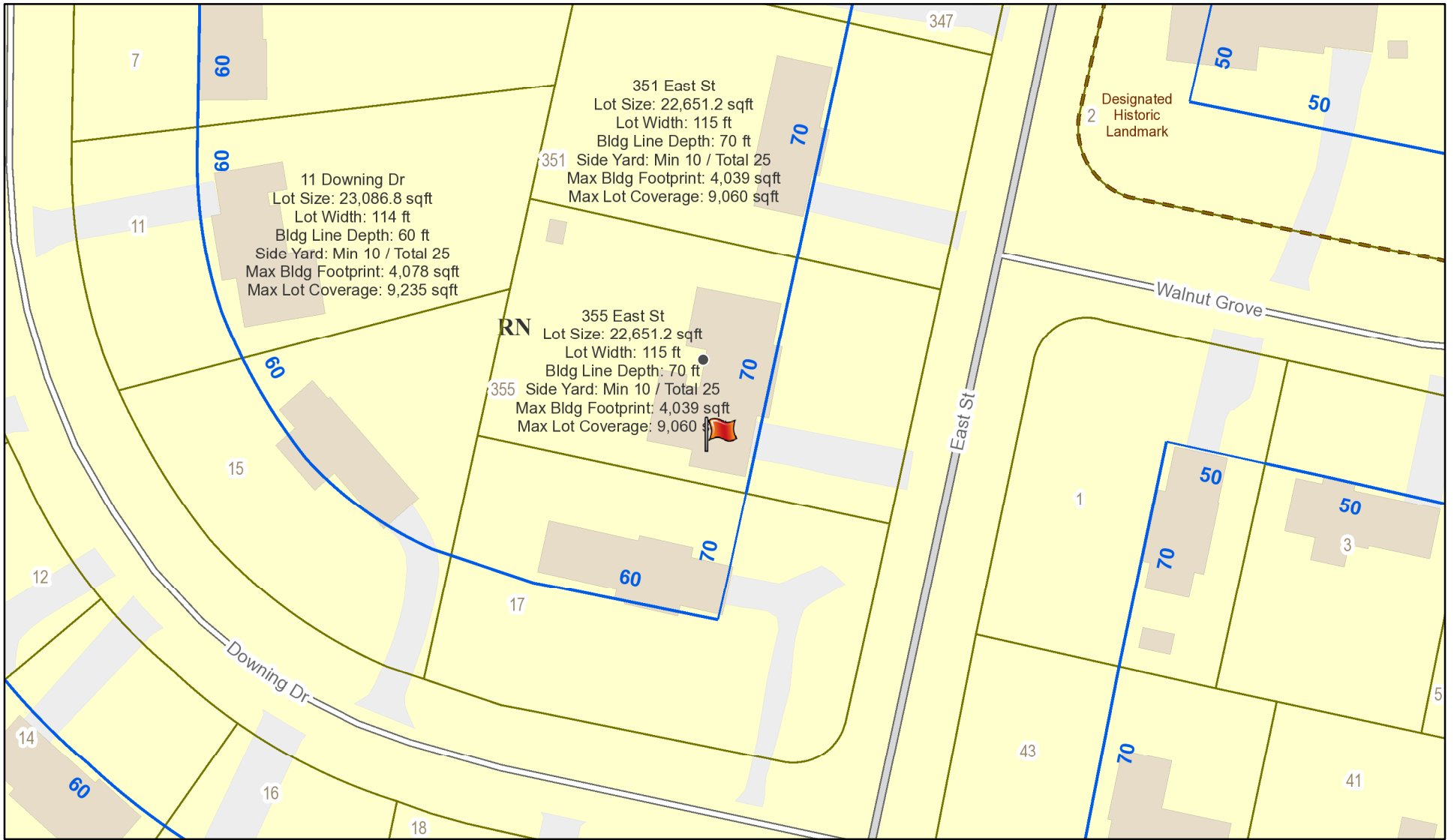
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the garage extension. The extension will be approximately 72 sq. ft. and will be located behind the 3rd bay of the garage.

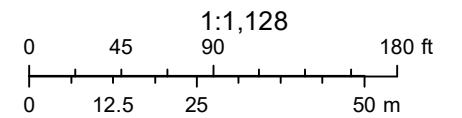
Meeting Date: July 23, 2020



RN Residential Neighborhood Zoning

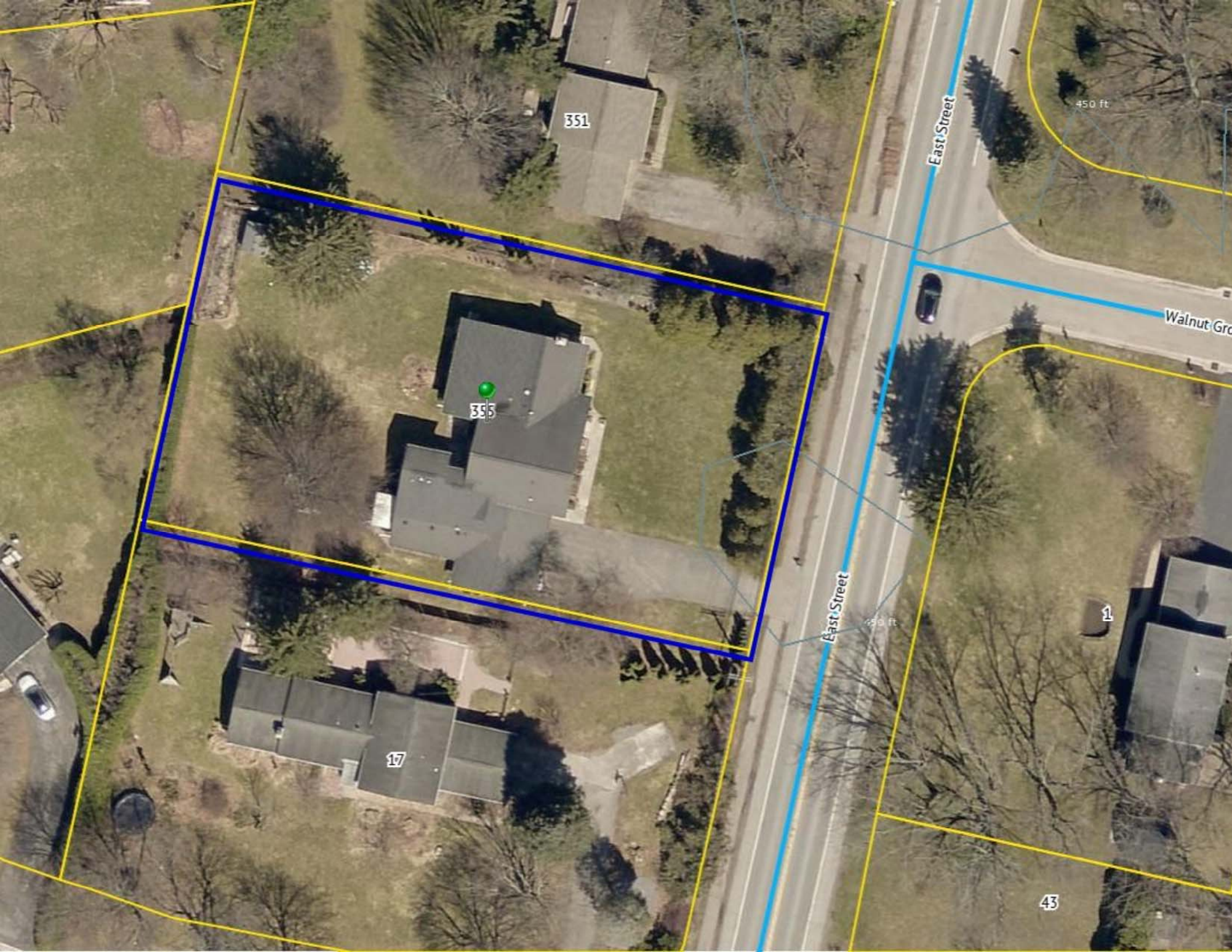


Printed July 16, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



351

355

17

1

43

East Street

East Street

Walnut Gro

450 ft

450 ft

From: Hemant C. Sashittal
355 East Street, Pittsford NY 14534
Tel: 585 218 0692
Email: sashi@sjfc.edu

To: Town of Pittsford
Application for Building Permit

Please consider this letter and the attached form as my application for a building permit.

I want to extend my garage; the best way to explain that is to show you the site map, and a few drawings.

Exhibit 1

Please see the hand drawn section. The extension will be *behind* the third car garage (to the left of the drawing, at the south end of the map). The garage wall is 9 feet broad; the extension will be 9 feet broad and will be flush with the south facing garage wall.

The drawing below shows the proposed footprint of the extension. There will be no outside access to the structure, it will be accessible from inside the garage. The floor will be poured concrete to integrate with current floor. The side walls will be framed by lumber, and covered with siding to integrate with siding outside (white color).

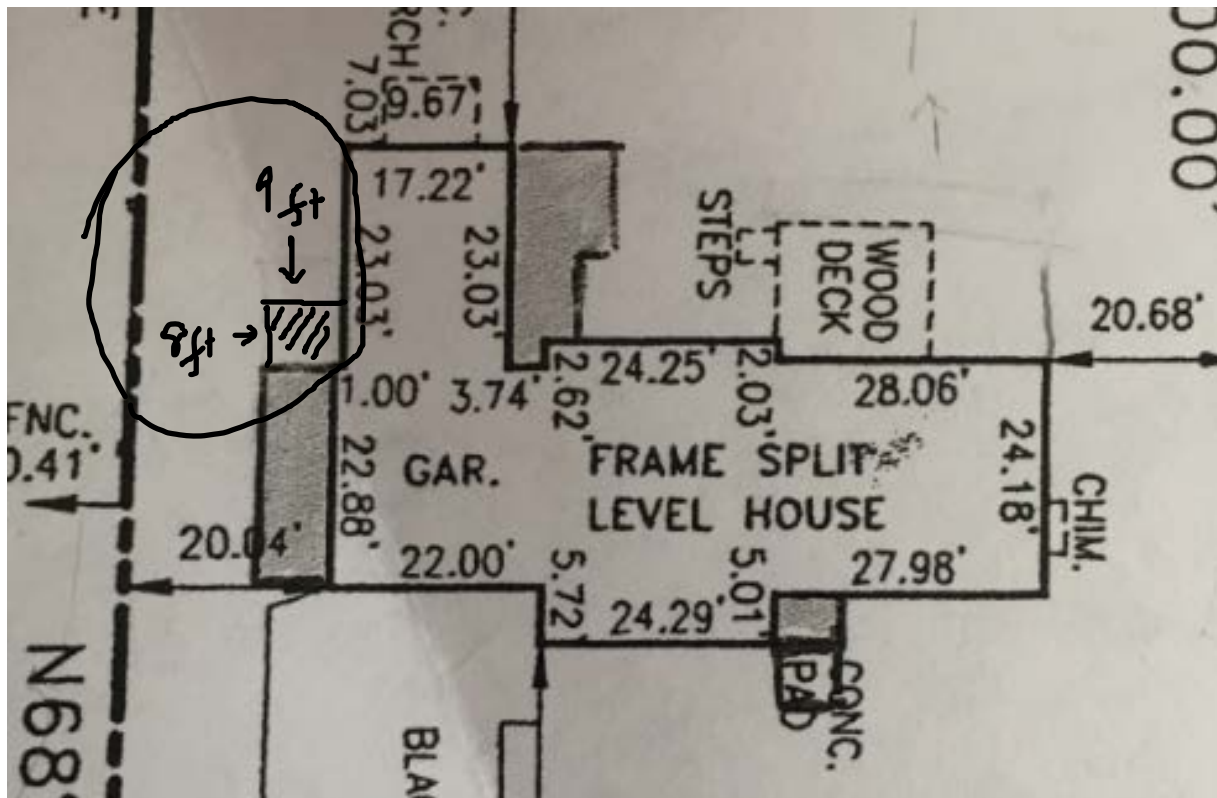


Exhibit 2

This is what it would look like if seen from the back.

The curved lines at the bottom and right are meant to signify gravel. The perimeter, shown later, is gravel, then two tiers of cinderblocks (placed partly in a trench along perimeter).



Exhibit 3: Back view

As can be seen, there is a privacy fence between our property and the immediate neighbor.

I am showing the footprint below.

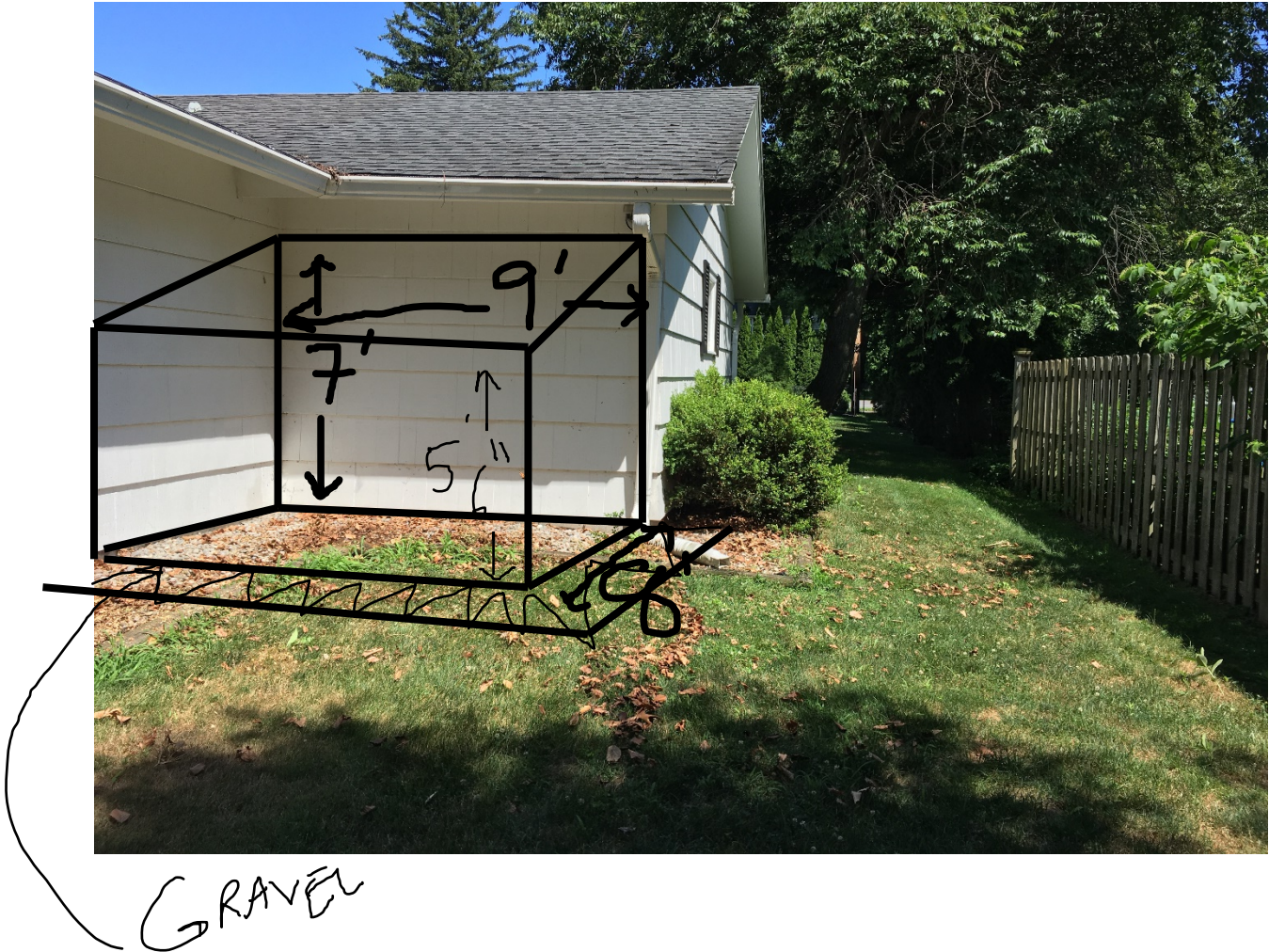
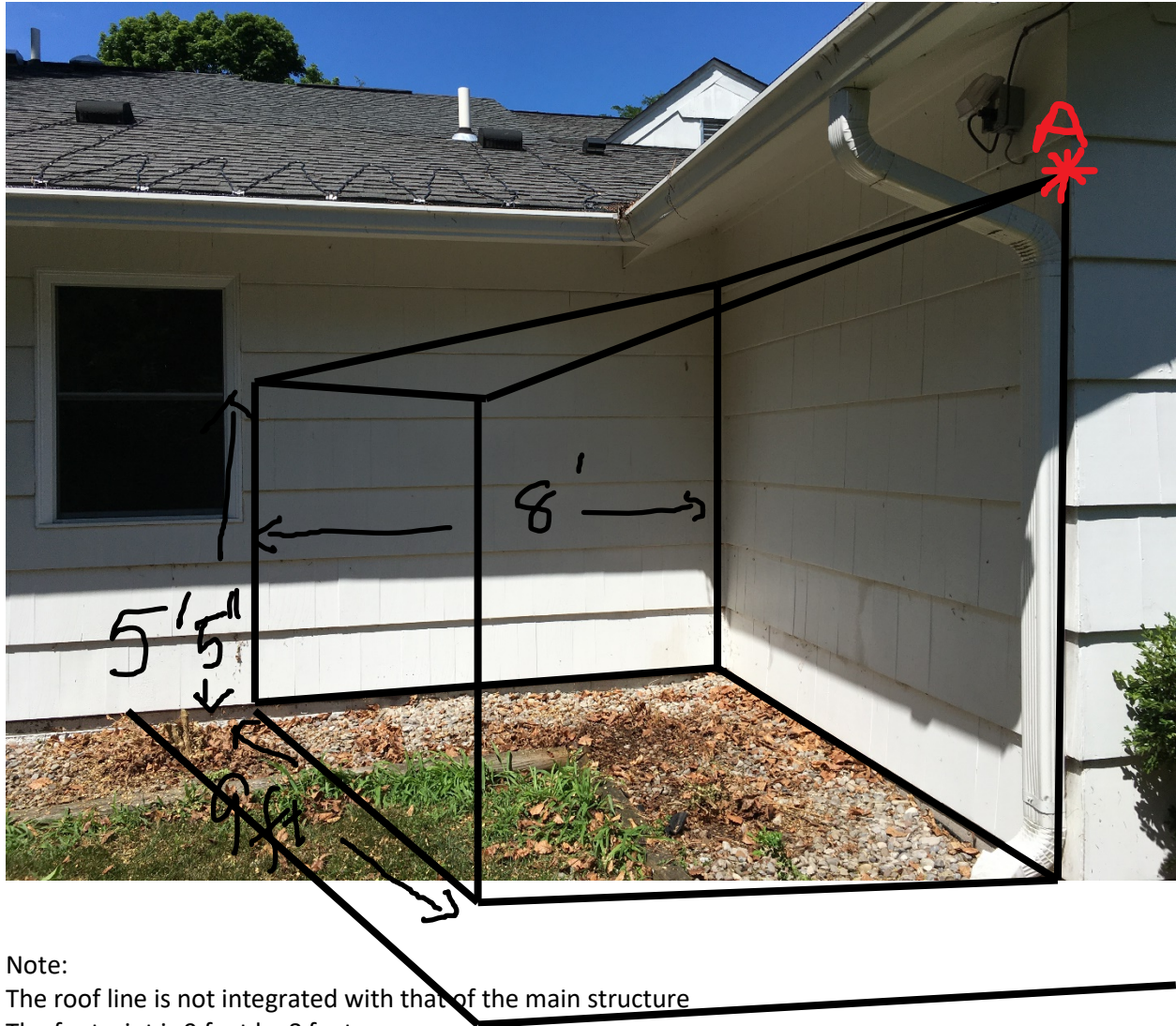


Exhibit 4



Note:

The roof line is not integrated with that of the main structure

The footprint is 9 feet by 8 feet.

Roof touching the existing structure at point A, is 7 feet high.

The roof at the other end is 5 feet 6 inches.

There are no windows. The siding shingles removed from the walls will be reused on the side, others added to match the finish and paint (I have shingles in stock).

All fire codes will be followed.

Exhibit 5

Ground Prep.

At the perimeter, a trench will be dug, cinder blocks placed.

Inside the perimeter, earth will be excavated, graveled, and cement poured to be flush with the floor of the garage.

The right end wall will be gone. A header (3 2x6s across on pillars of three 2x6s).



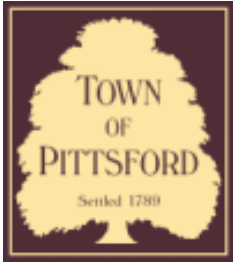
ONE ROW
BELOW
GROUND
IN TRENCH

CINDER
BLOCKS









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000093

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 16 Ravenna PITTSFORD, NY 14534

Tax ID Number: 177.03-5-29

Zoning District: IZ Incentive Zoning

Owner: Clover Street Development

Applicant: Clover Street Development

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2800 sq. ft. and will be located in the Coventry Ridge Subdivision.

Meeting Date: July 23, 2020



10

12

14

16

38

40

42

35

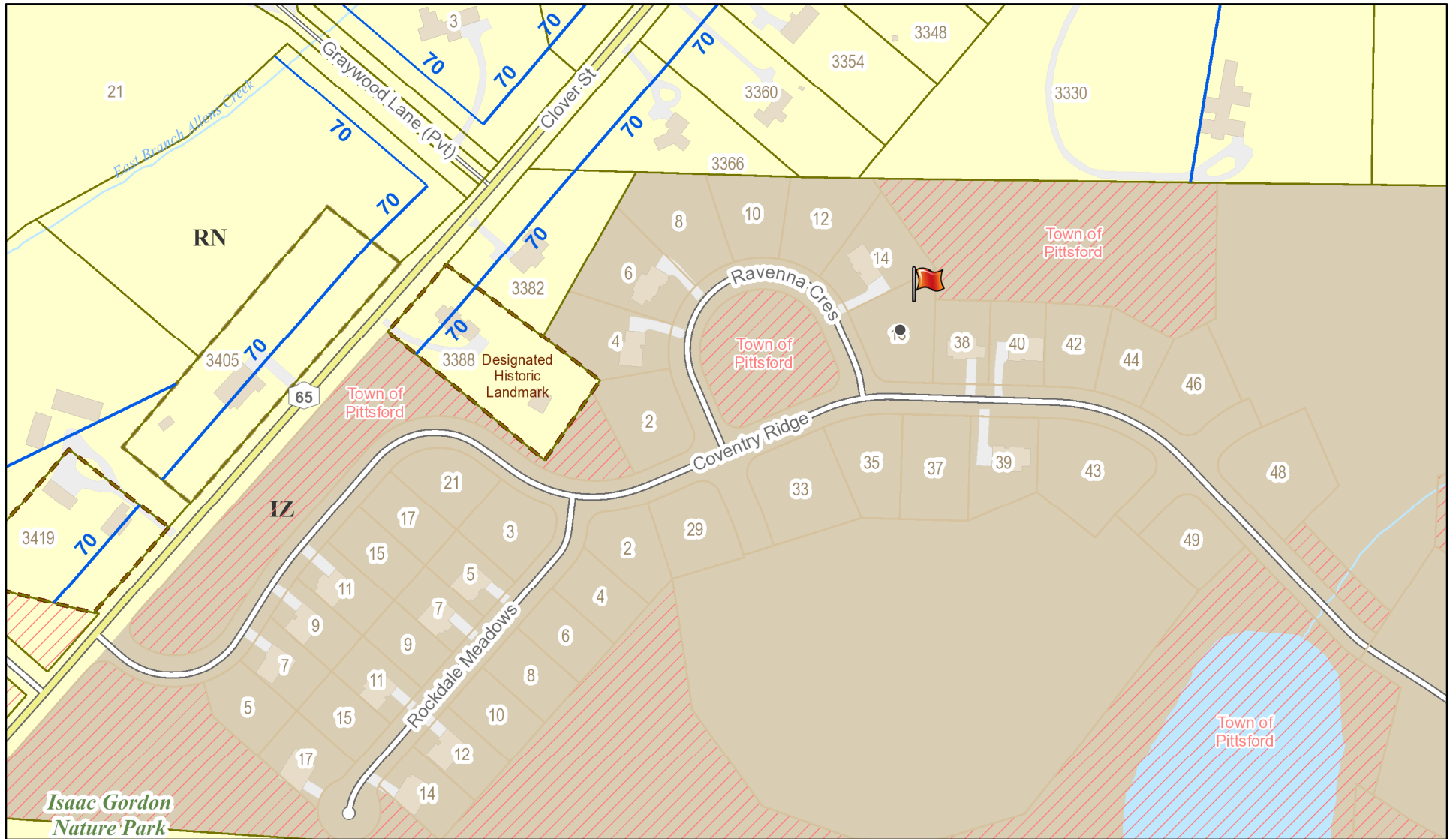
37

39

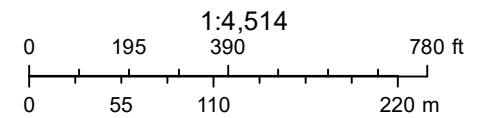
33

43

RN Residential Neighborhood Zoning



Printed July 16, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

LOT 29



1" = 50'

24,990 SQ. FT.

HOUSE
LOT
30

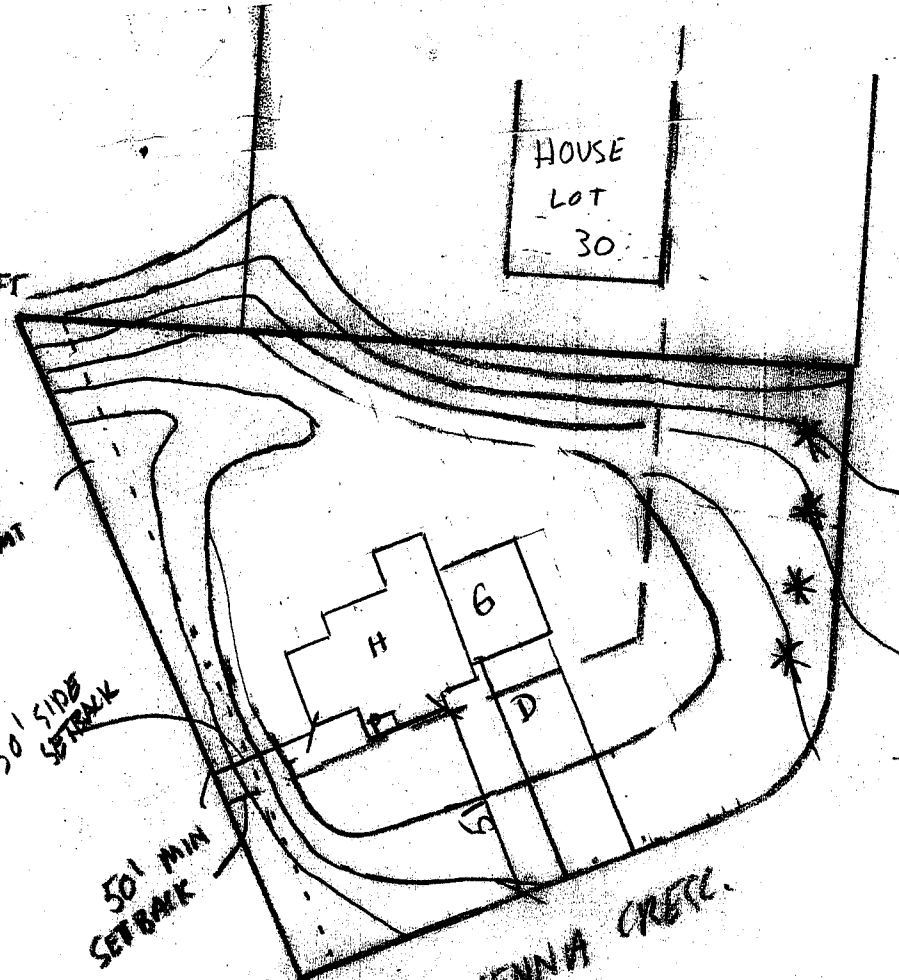
10' WIDE
UTILITY ESMT

30' SIDE
SETBACK

50' MIN
SETBACK

COVENTRY RIDGE

RAVENNA CREEK





SPEC HOUSE

LOT 29 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 2800 / PROJECT 15420

SHEET INDEX

- C- 1 COVER SHEET
- 1/6 FRONT & LEFT ELEVATIONS
- 2/6 RIGHT & REAR ELEVATIONS
- 3/6 BASEMENT & FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY). ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m. (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 ps.i. (7.5 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG., THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" & LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK :

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION :

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES :

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING :

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 3 12.1.1 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 3 12.1.2 OF THE 2020 RCNYS.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 3 12.1.2 OF THE 2020 RCNYS.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 3 12.1.2 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 3 12.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING :

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE-PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ⁶ = 1.9 Ec = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

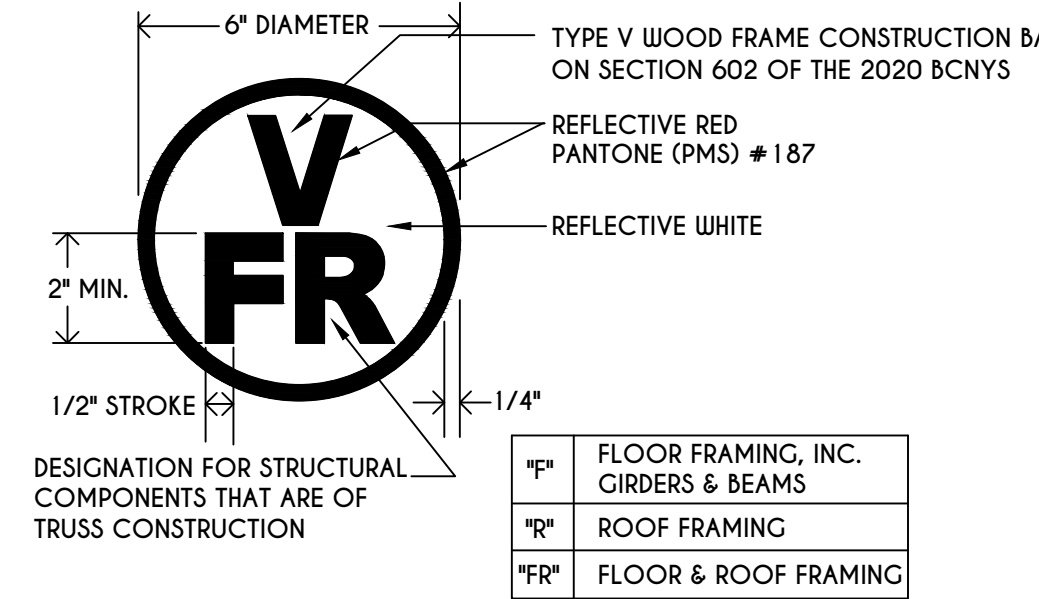
DESIGN CRITERIA:

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

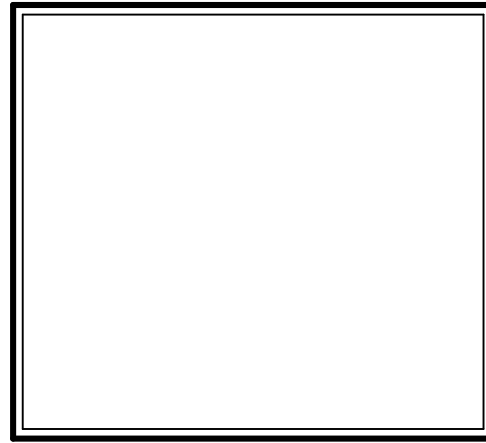
TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL

WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



COPYRIGHT NOTICE :
THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 29
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

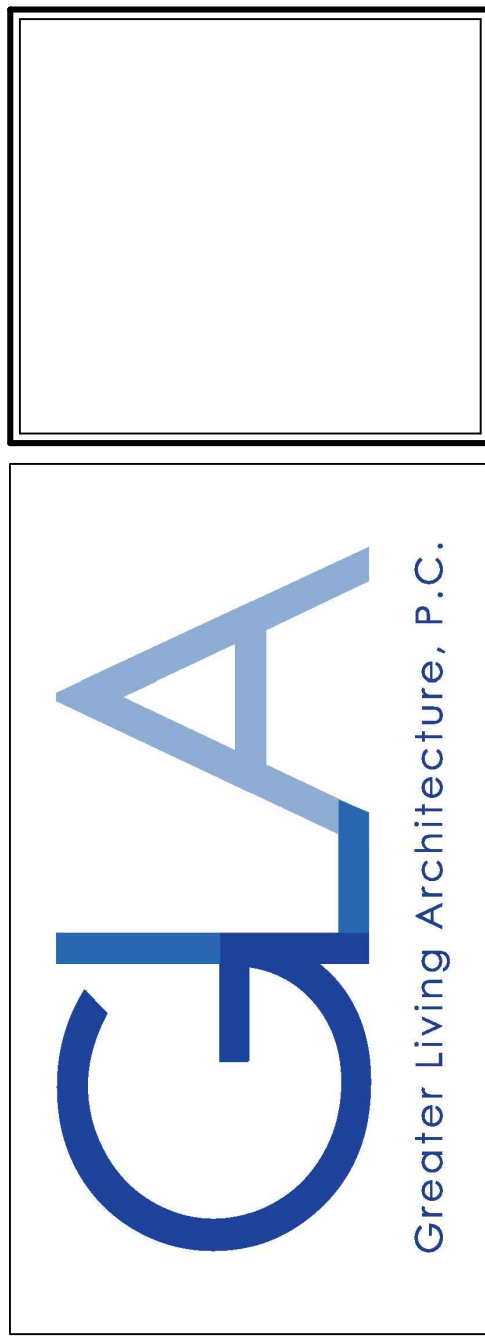
COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: C 1

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 29
 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 2800

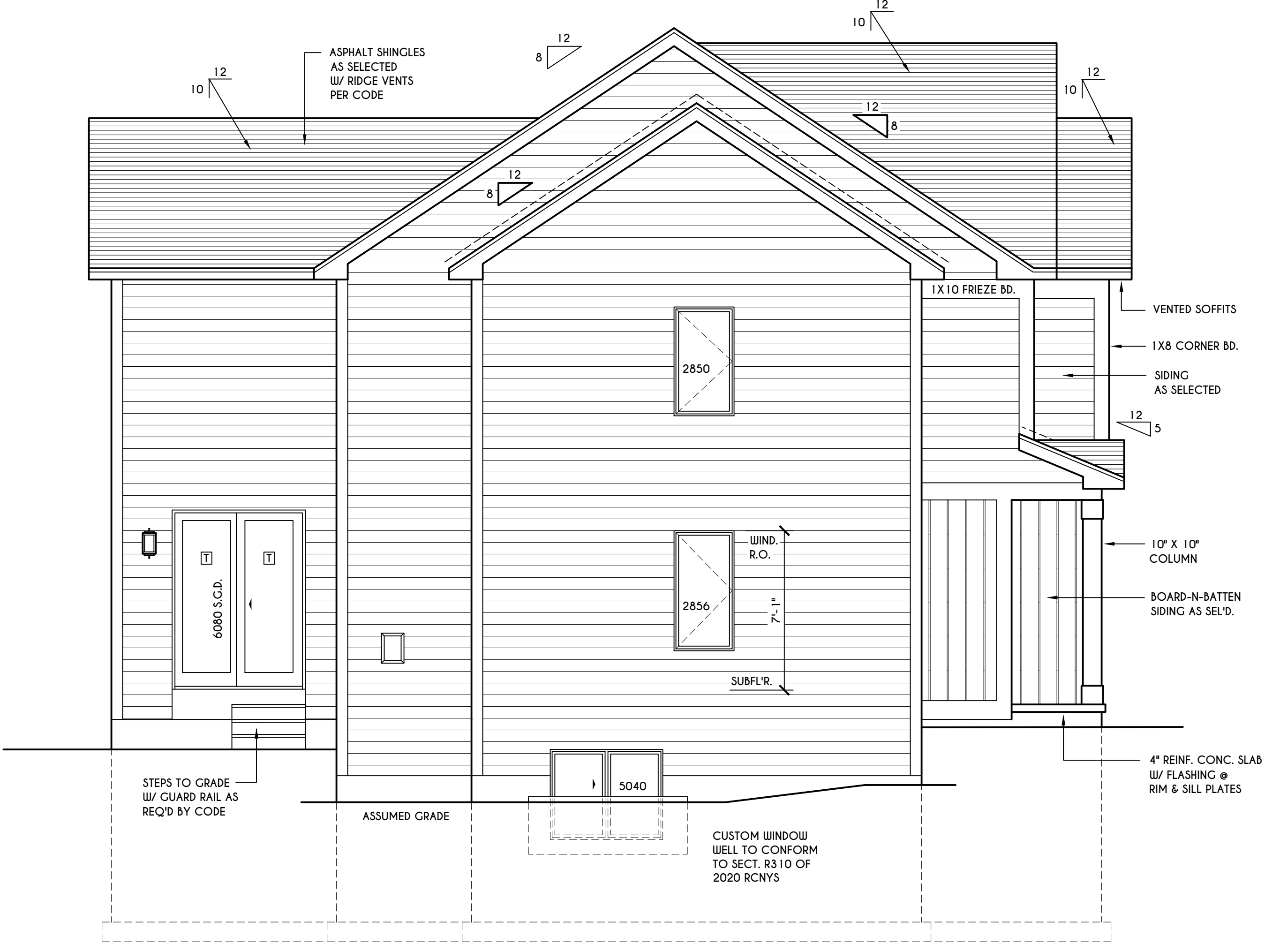
drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: 1 / 6



HOUSE FOOTPRINT
 SCALE: 1" = 50'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 1396 SQ.FT.
 SECOND FLOOR LIVING AREA = 1404 SQ.FT.
 TOTAL LIVING AREA = 2800 SQ.FT.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	105
3,001-4,500	60	75	90	120
4,501-6,000	75	90	105	135
6,001-7,500	90	105	120	150
> 7,500	105	120	135	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR ^a				
	25%	33%	50%	66%	100%
FACTOR ^a	4	3	2	1.5	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

WINDOWS: WIND 210C DH SOLAR GAIN W/ ARGON
 U-FACTOR 0.29
 SHGC 0.56

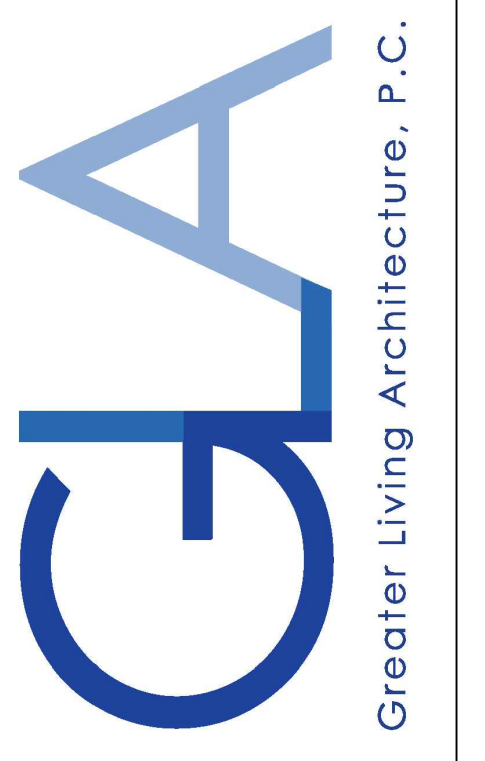
DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FB] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 29
 COVENTRY RIDGE
 PITTSFORD, NY

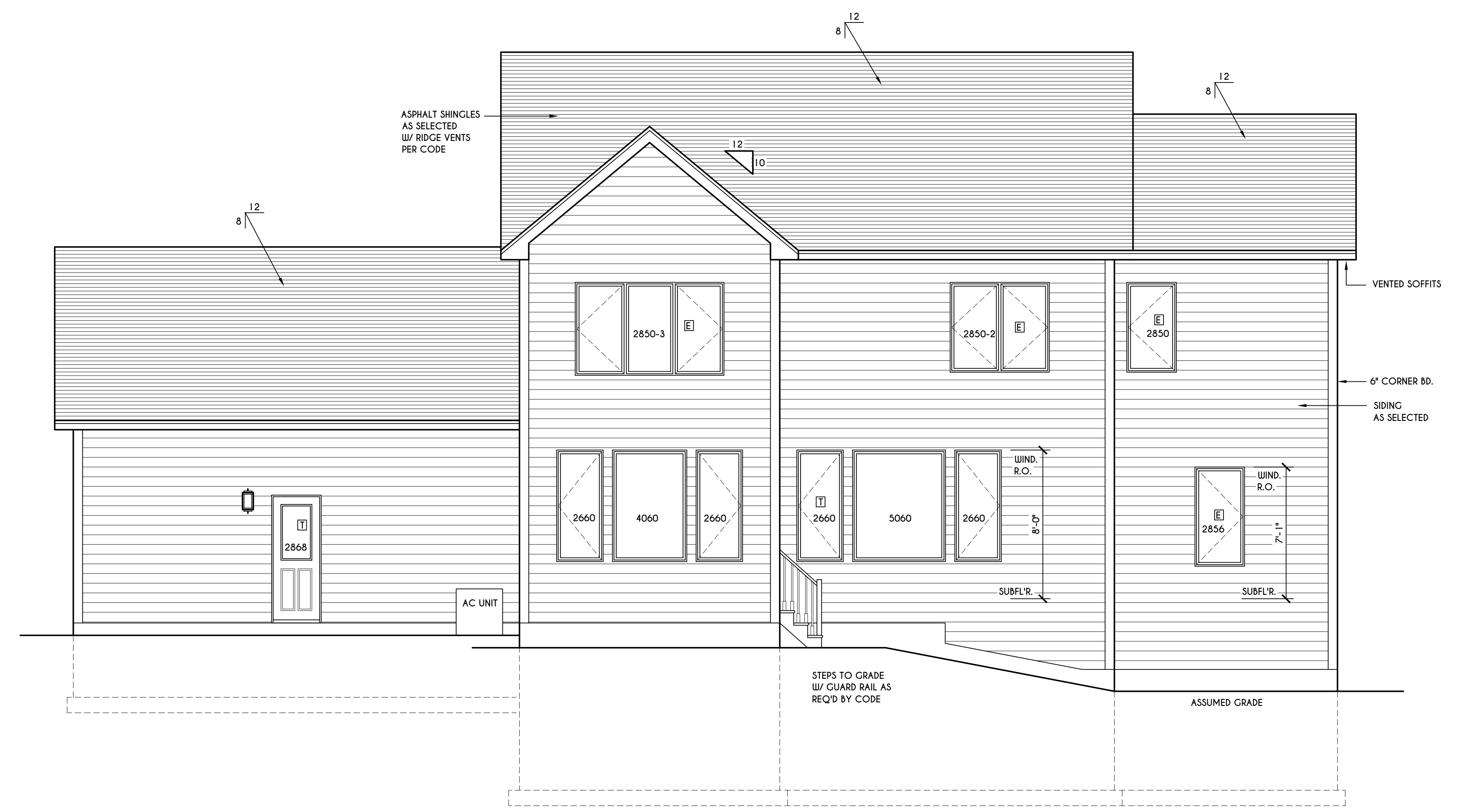
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

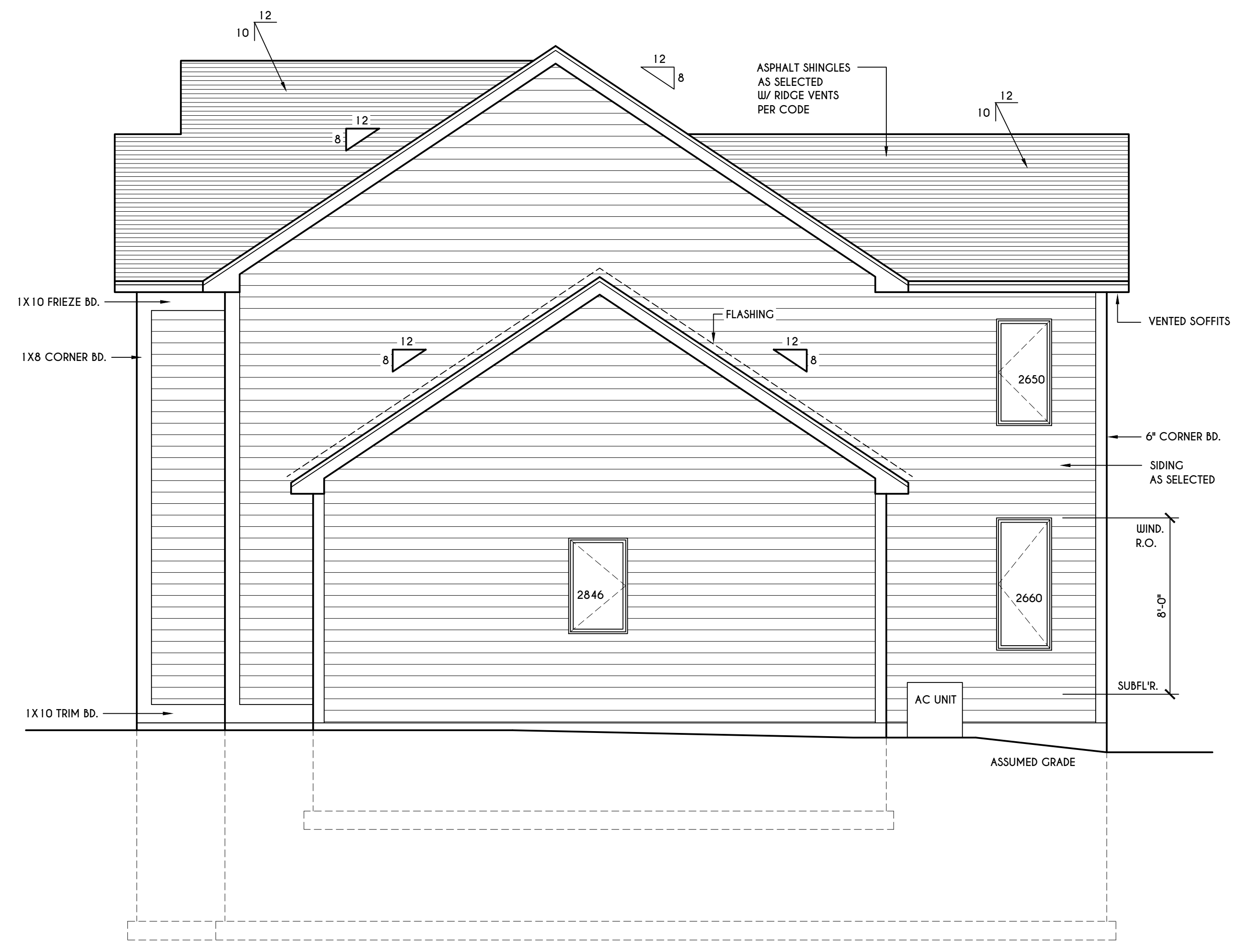
GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: 2 / 6



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

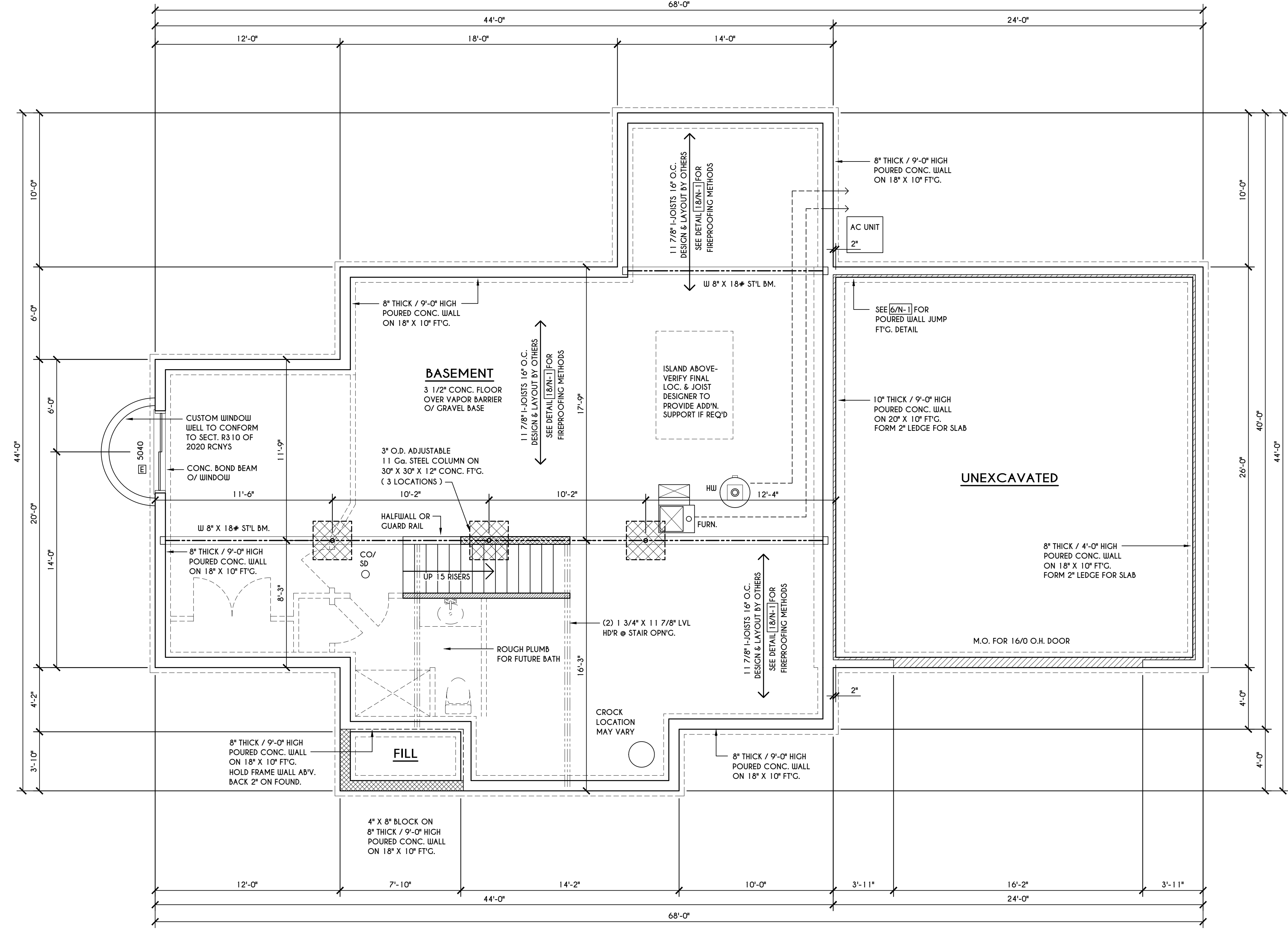
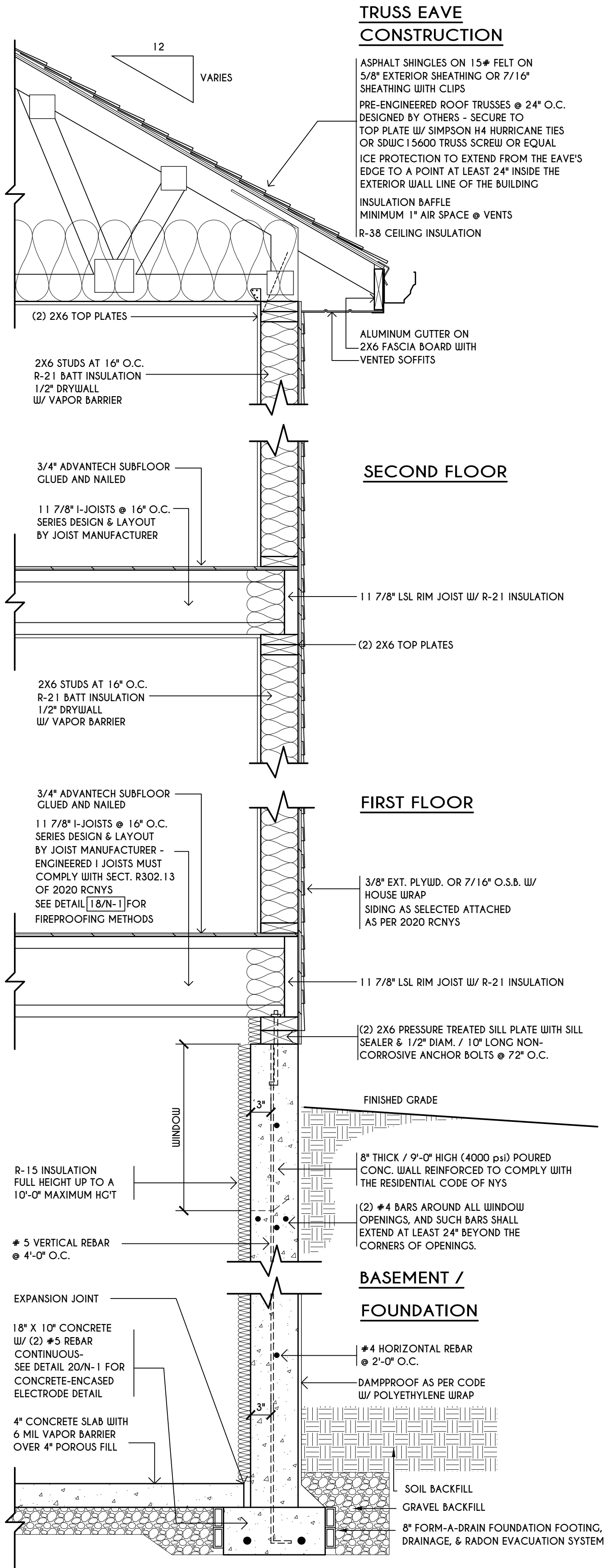
CLIENT/LOCATION:
 LOT 29
 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: 3 / 6



ENGINEERED FL'R JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

FRAMING LEGEND:
 - PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
 - DROPPED HEADER
 - FLUSH HEADER
 - 2X4 STUDS @ 16" O.C.
 - 2X6 STUDS @ 16" O.C.

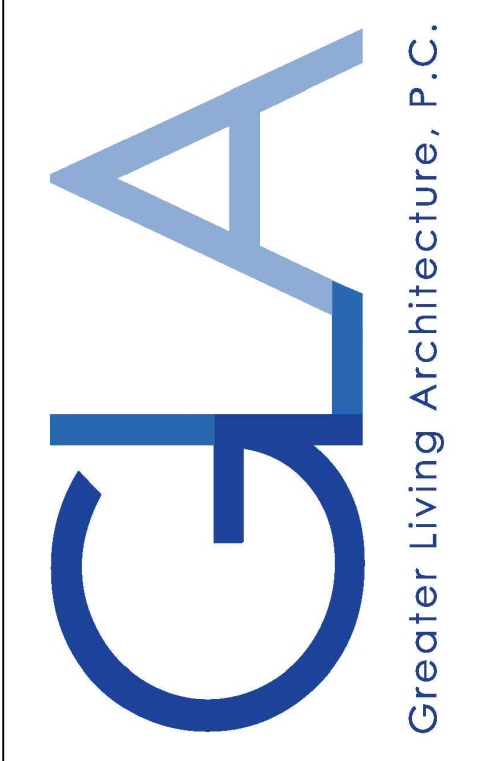
BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
NOTES:
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND /OR BEAMS PROVIDE DPL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [F] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

TYPICAL WALL SECTION
 SCALE: 1" = 1'-0"

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 29
 COVENTRY RIDGE
 PITTSFORD, NY

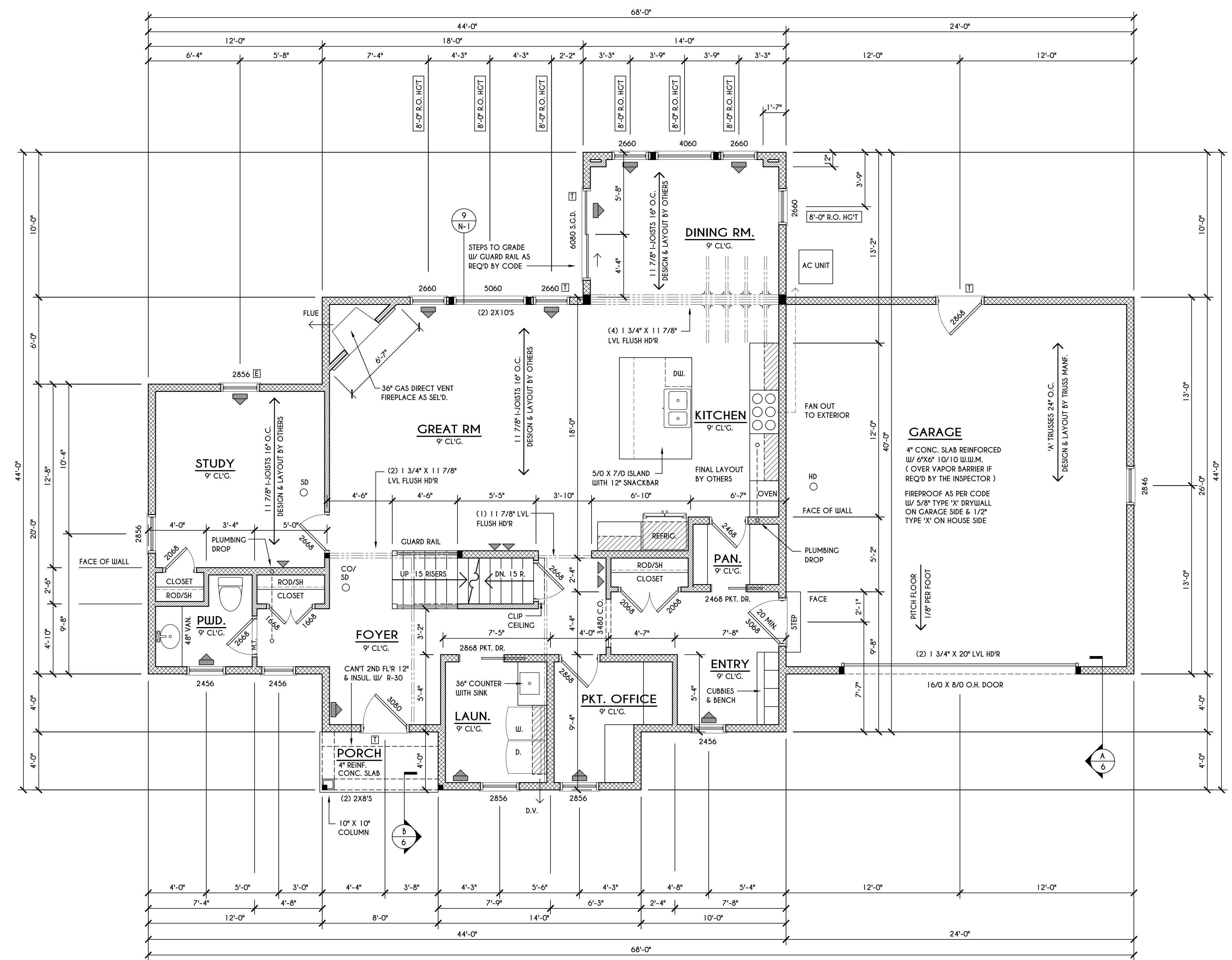
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: 4 / 6



FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

FIRST FLOOR PLAN 1396 SQ. FT.

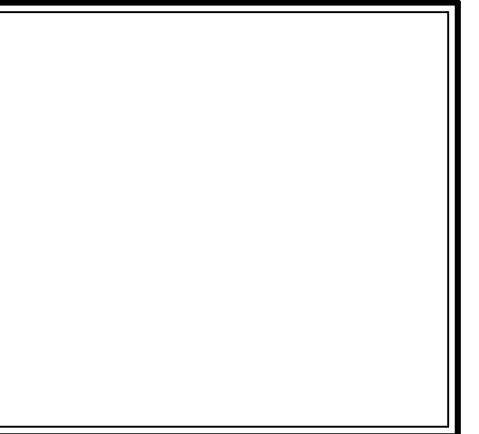
SCALE: 1/4" = 1'-0"

NOTES: FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 7'-1" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD), CARBON MONOXIDE (CO), & HEAT (HD) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 29
 COVENTRY RIDGE
 PITTSFORD, NY

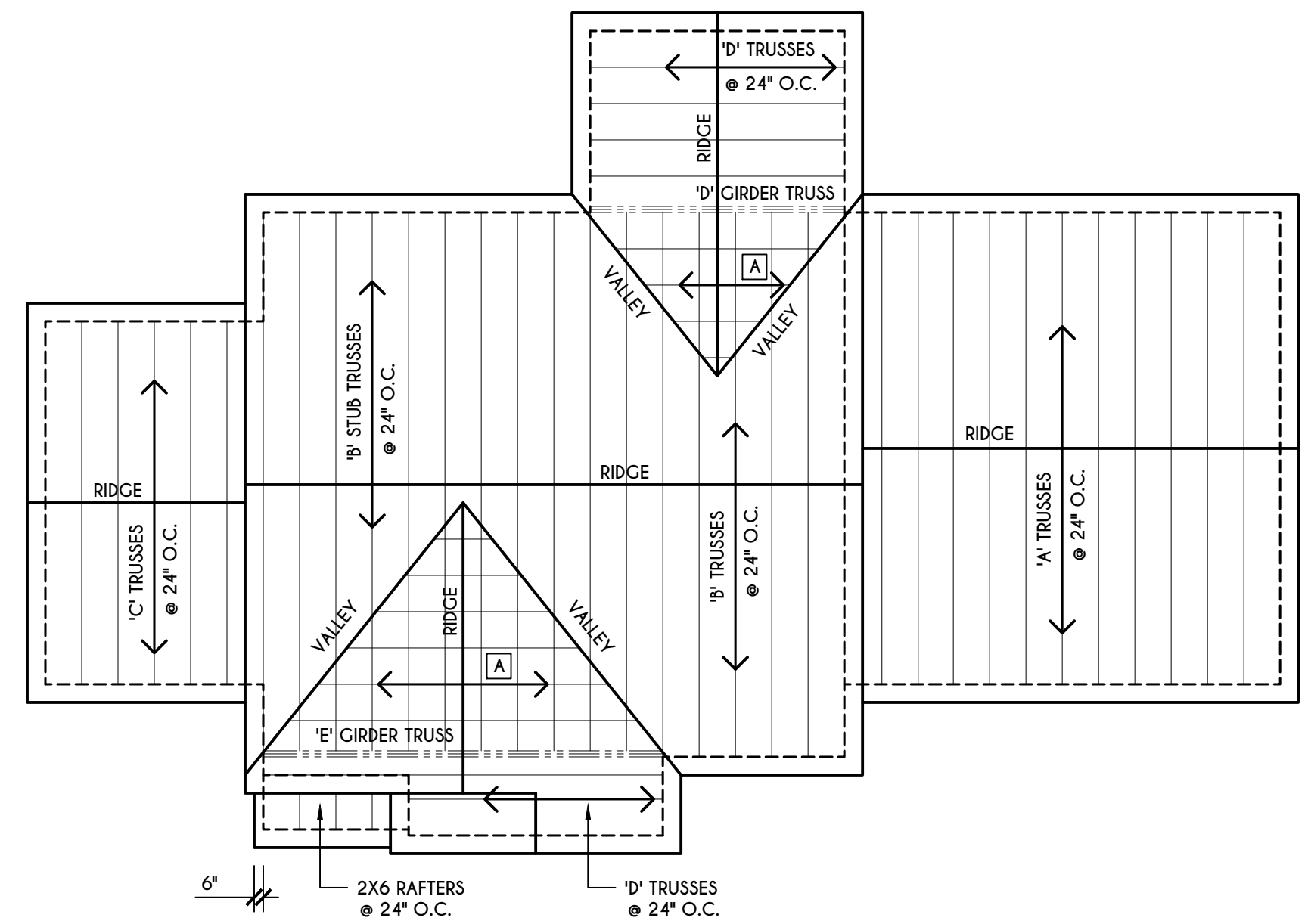
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: 5 6



ROOF PLAN

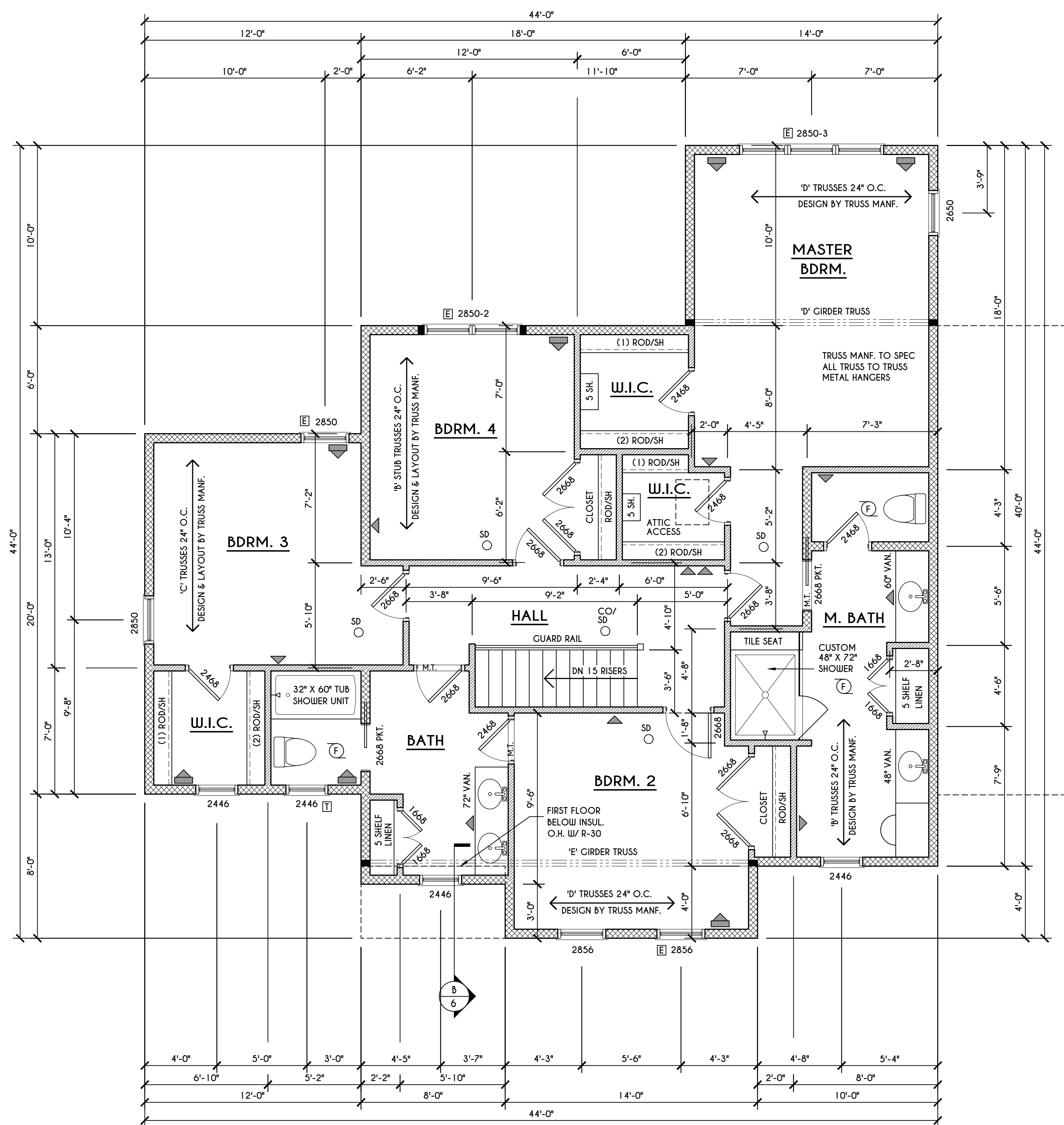
SCALE: 1/8" = 1'-0"

A - 2X8 LAYOVER RAFTERS 24" O.C.

ALL BAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



SECOND FLOOR PLAN

1404 SQ.FT.

SCALE: 1/4" = 1'-0"

NOTES:
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

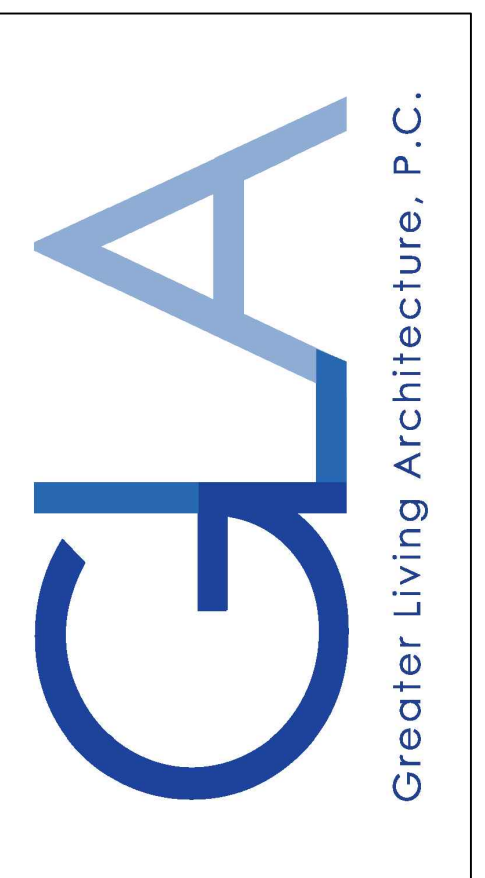
FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED
 GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA
 TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

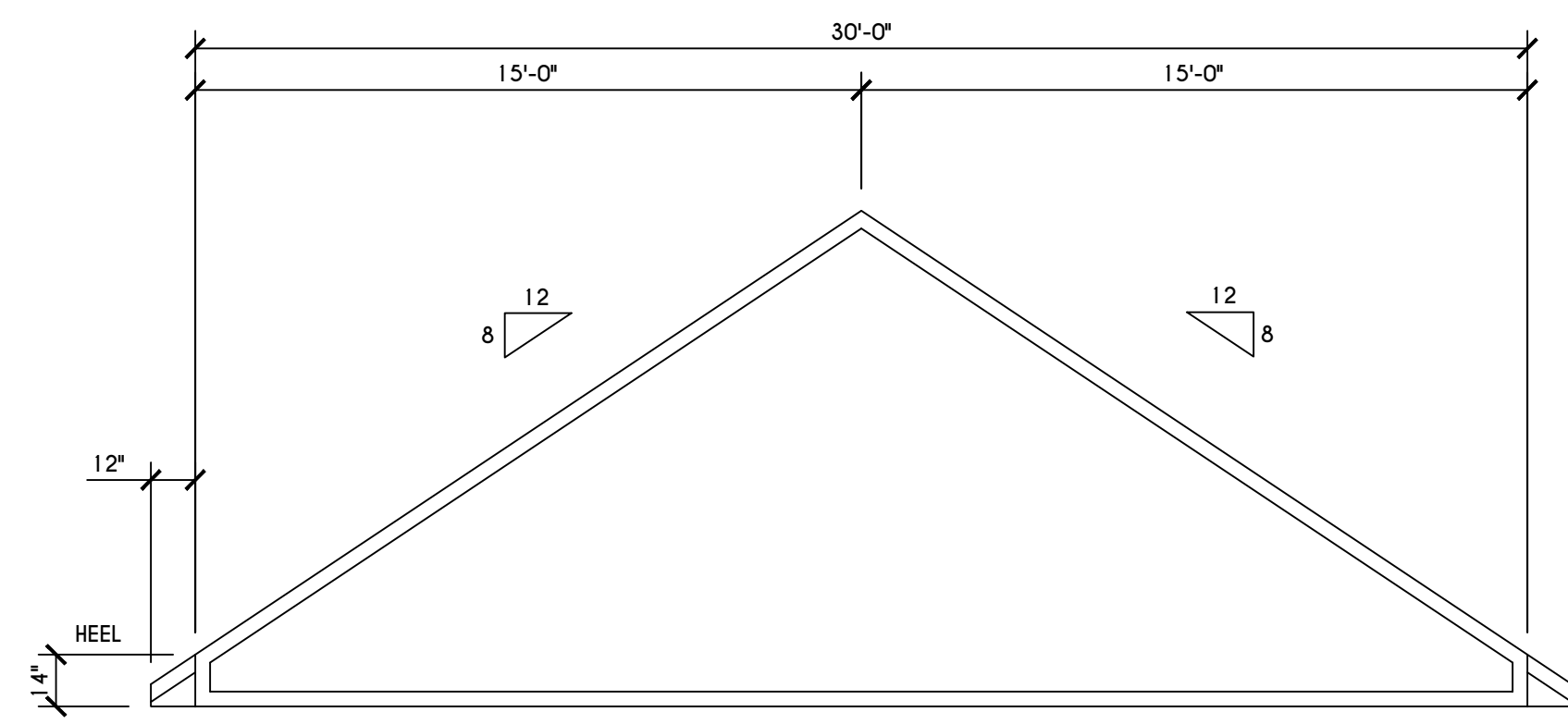
CLIENT/LOCATION:
 LOT 29
 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

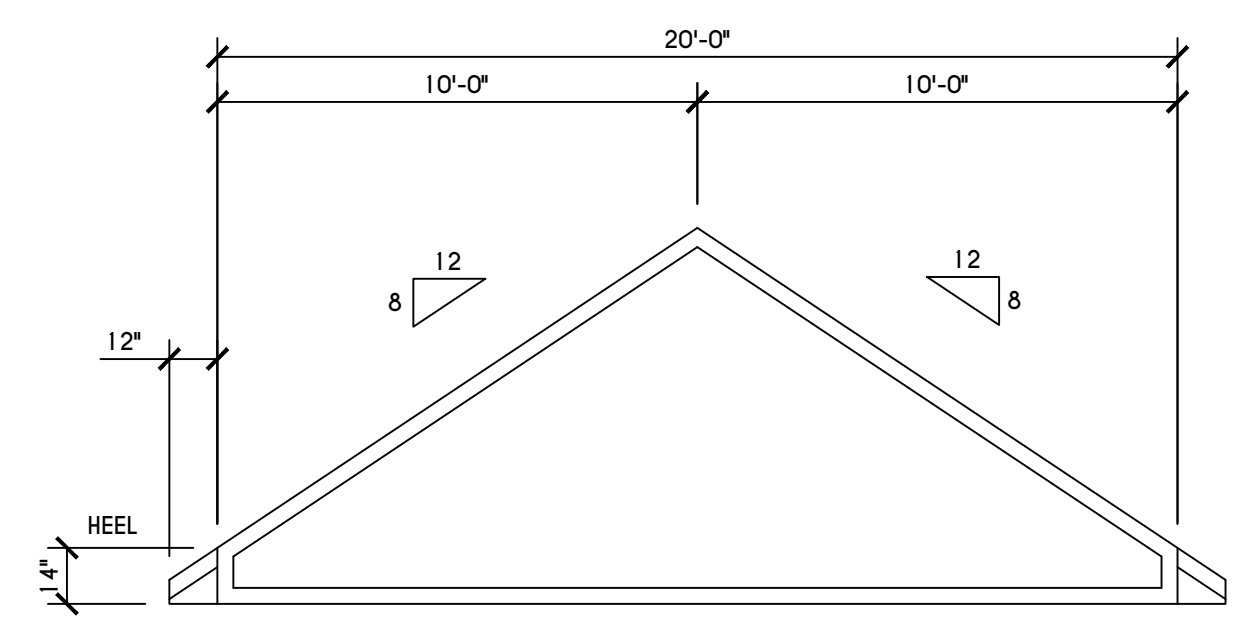
SECTIONS

GLA PLAN 2800

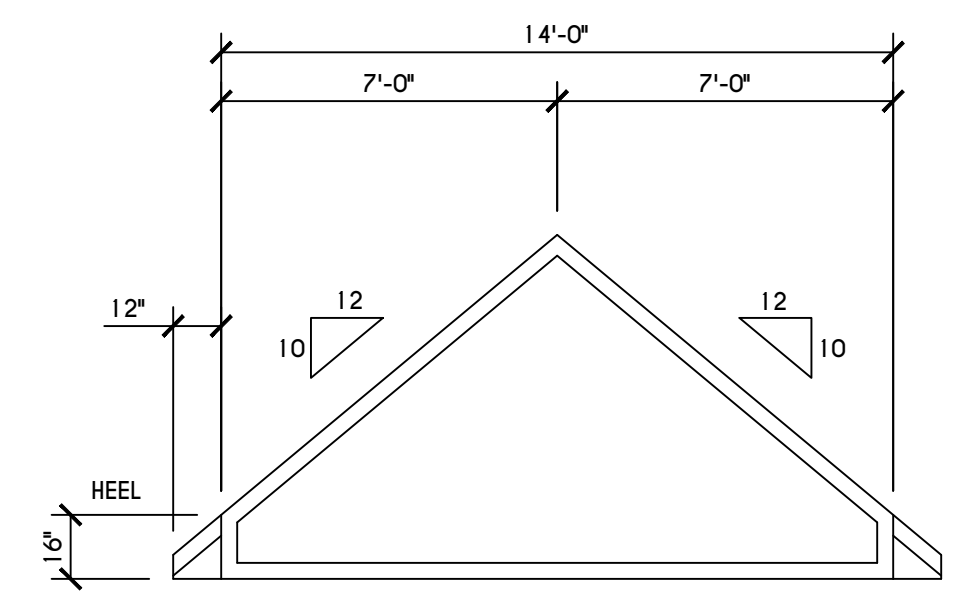
drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: 6 / 6



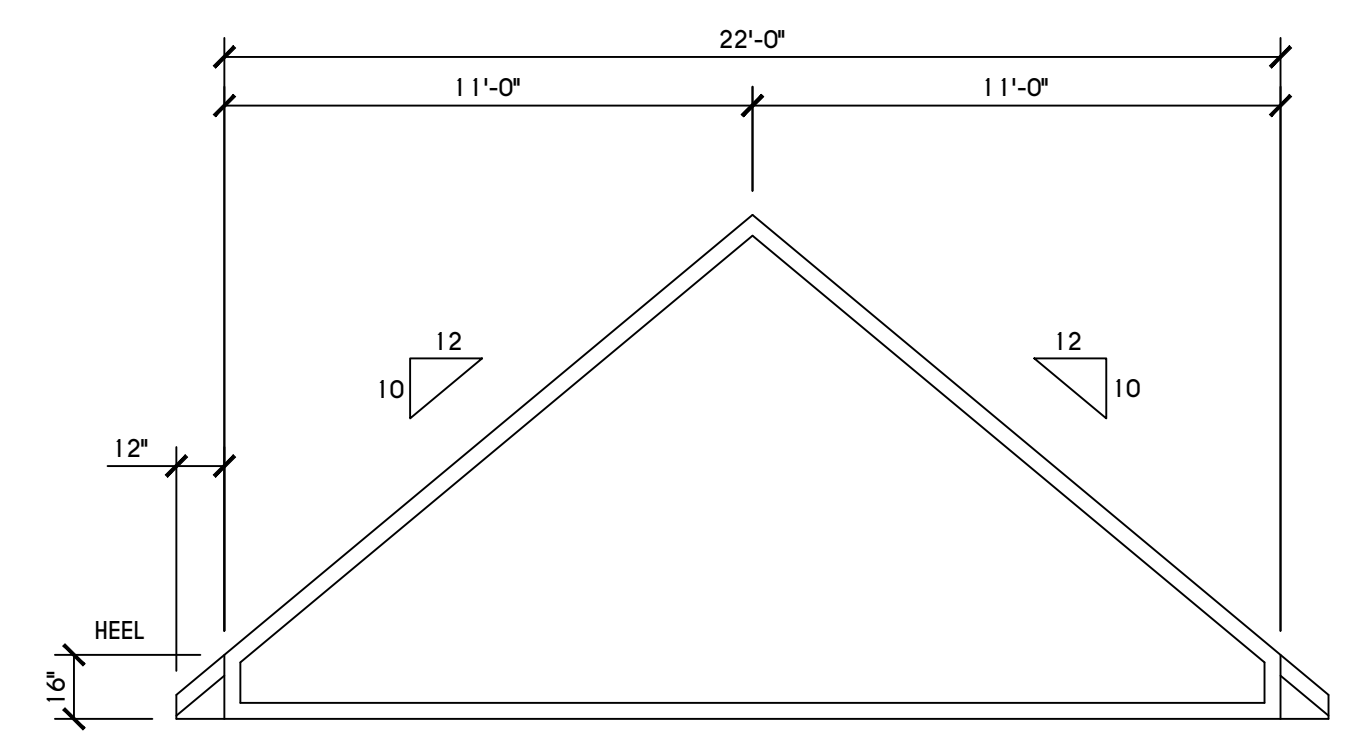
'B' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



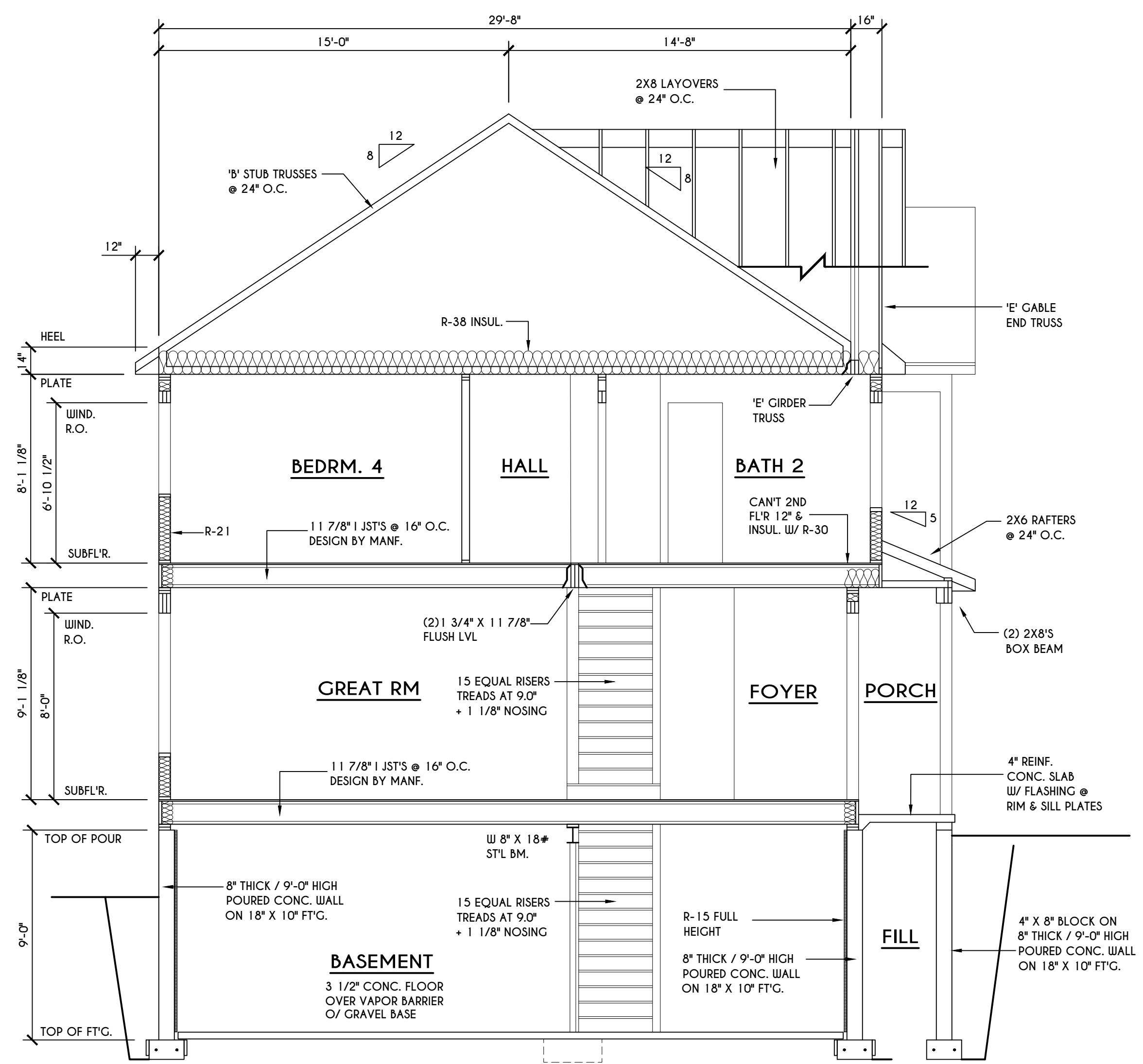
'C' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



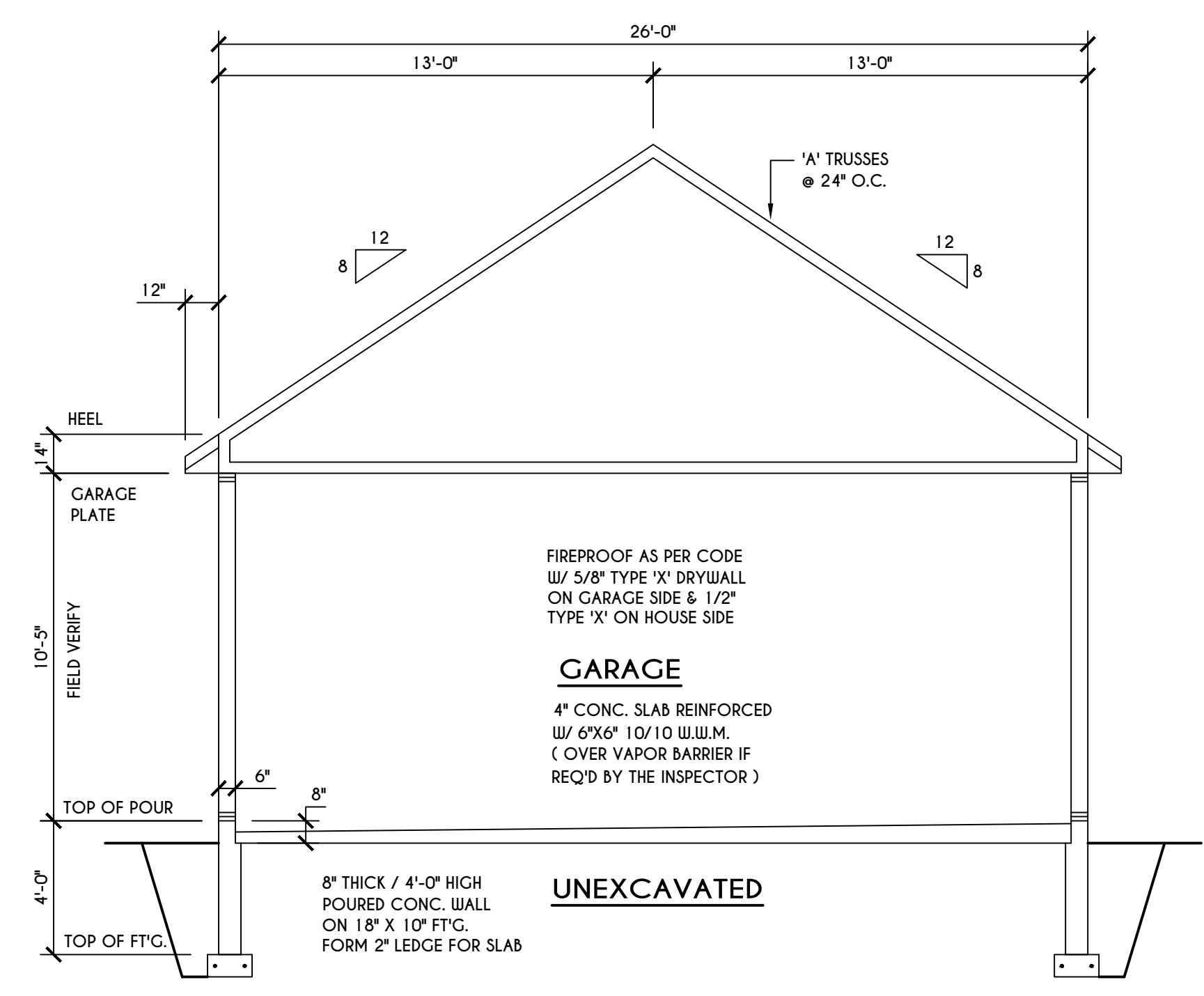
'D' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



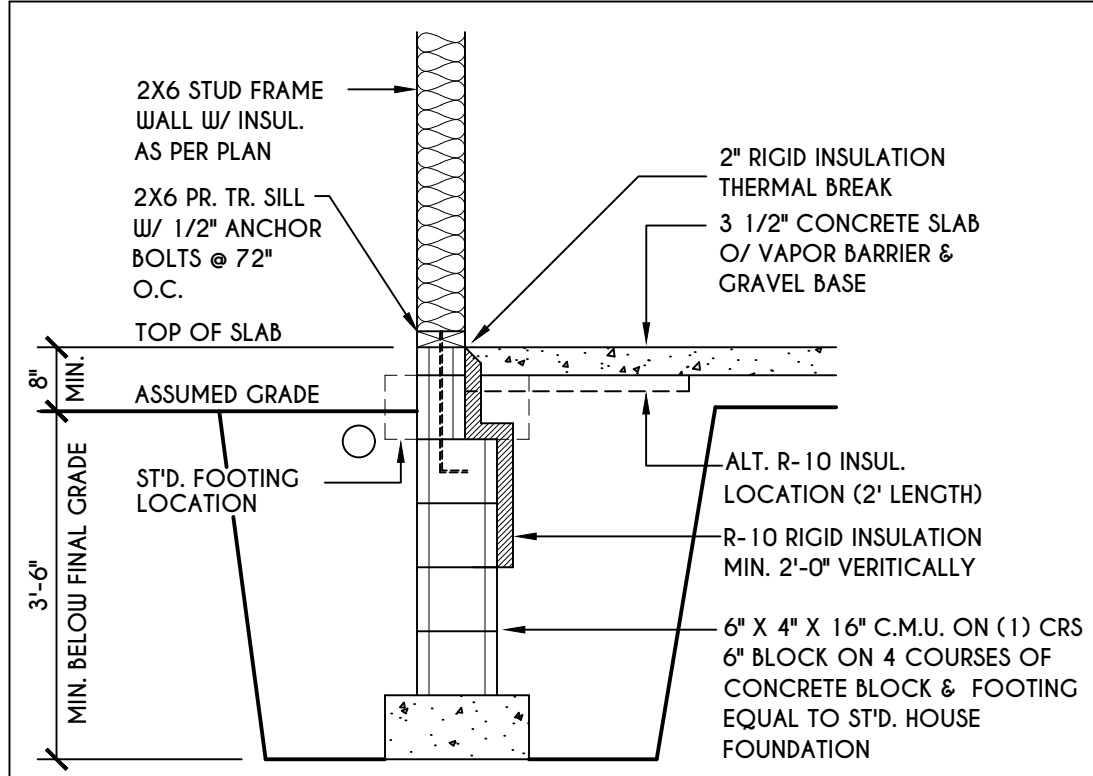
'E' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



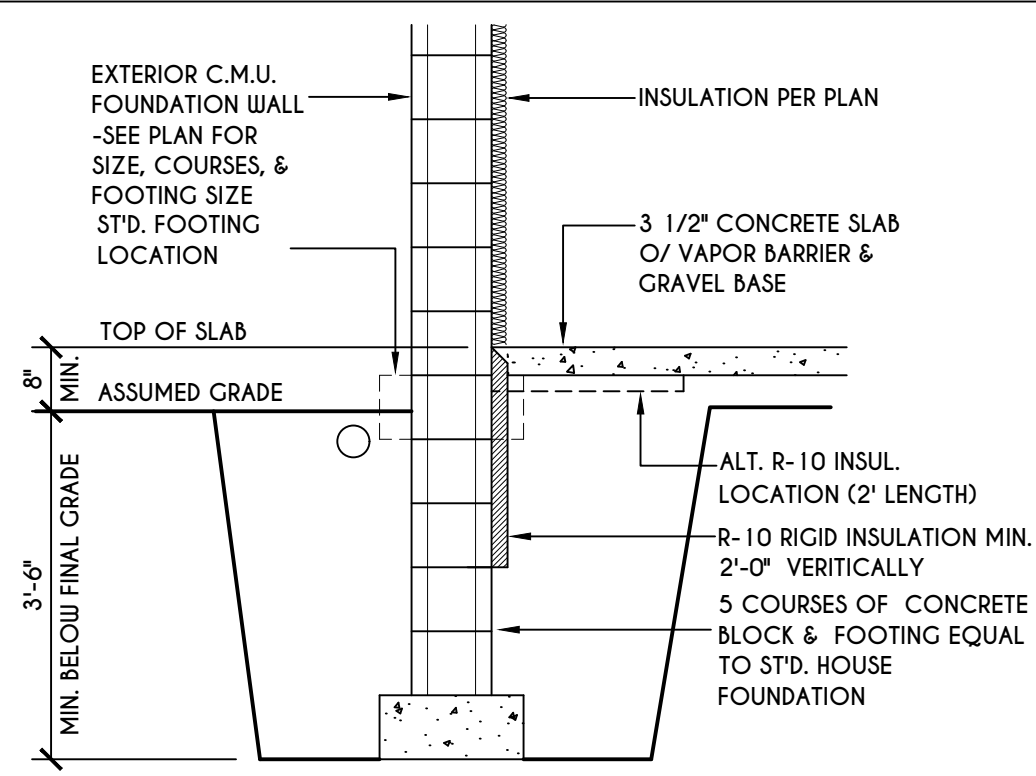
B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



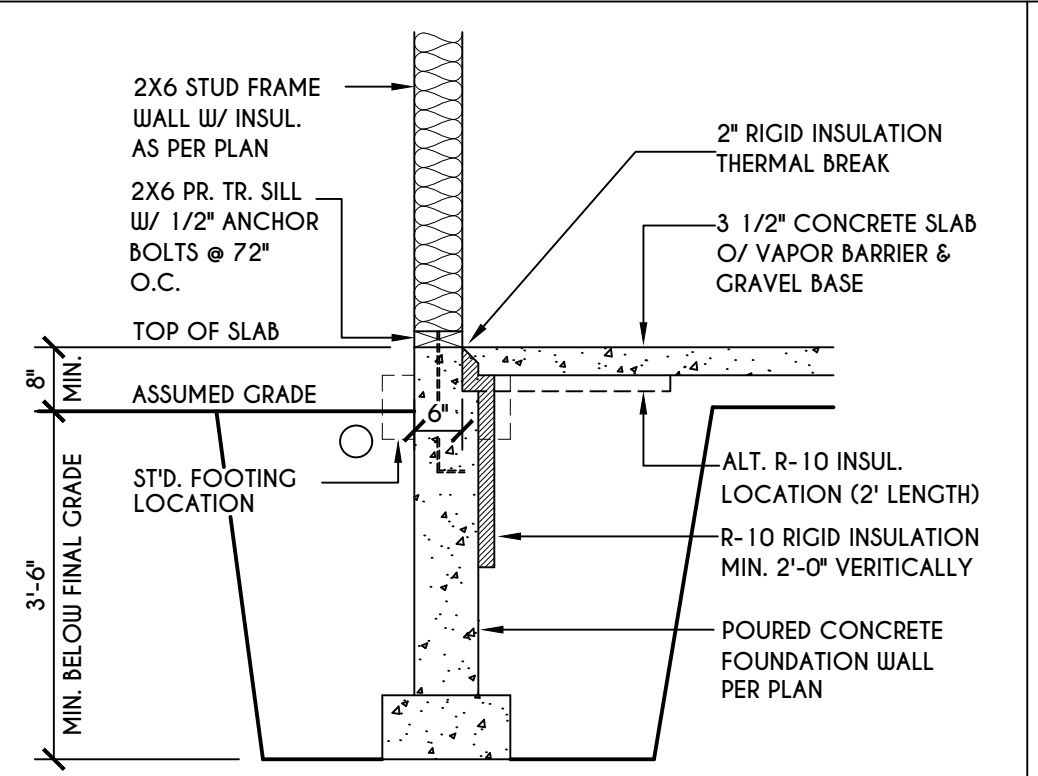
A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



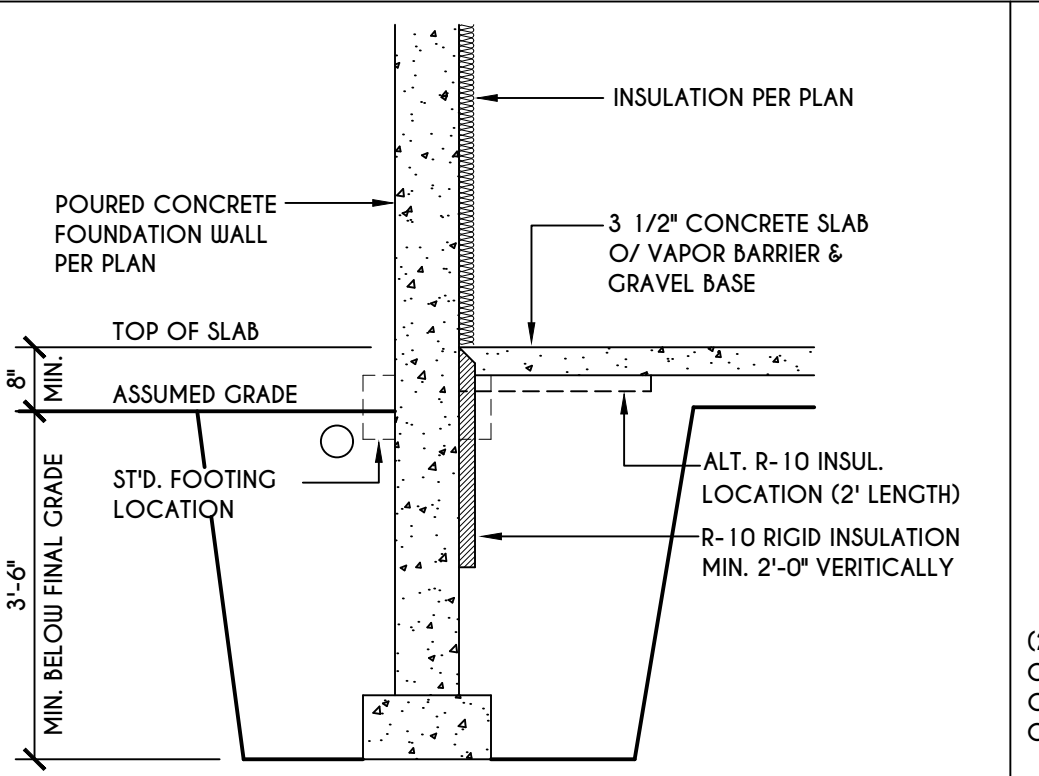
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



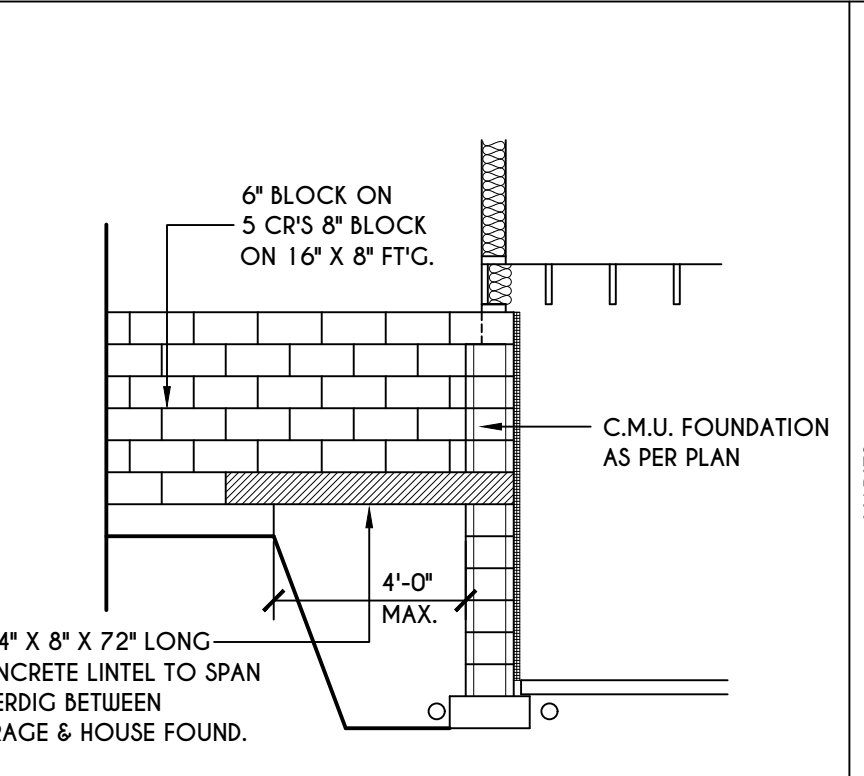
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



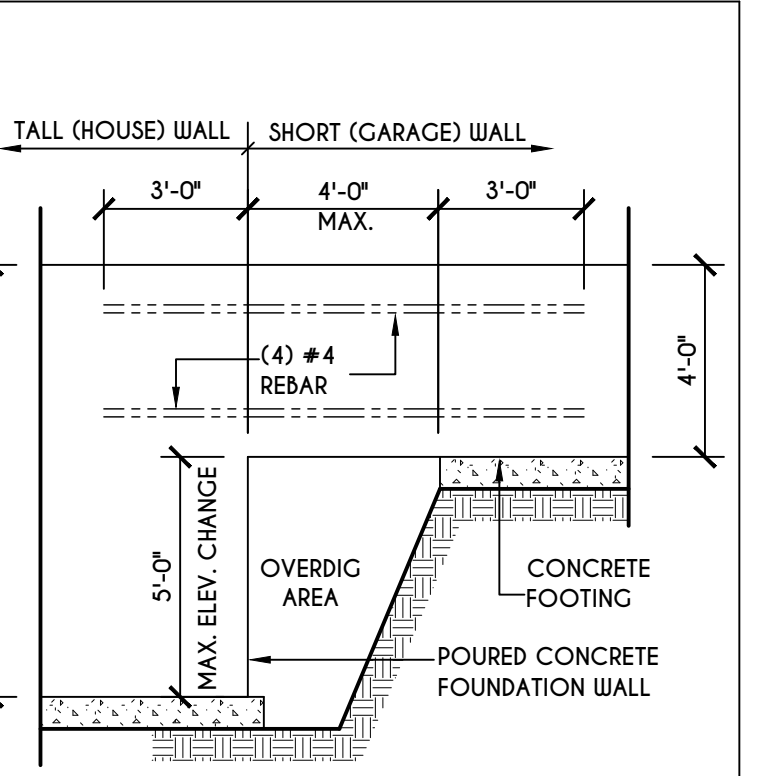
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



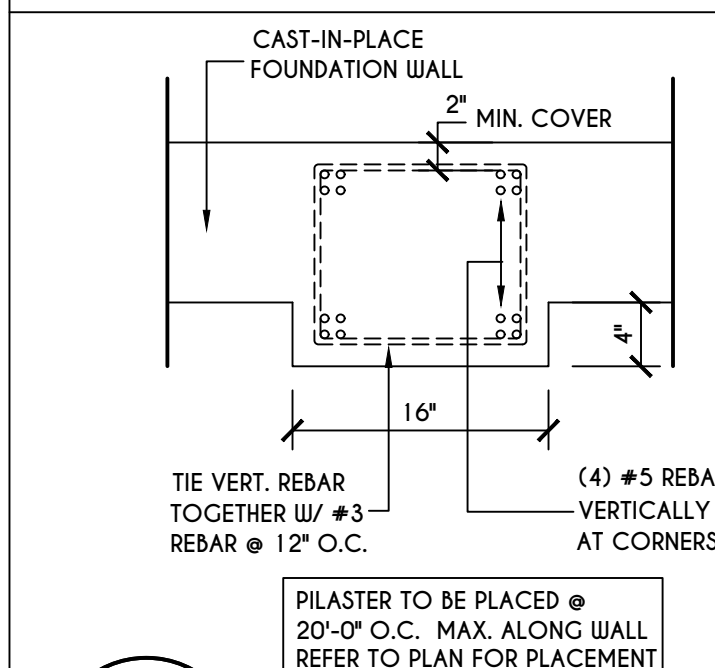
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



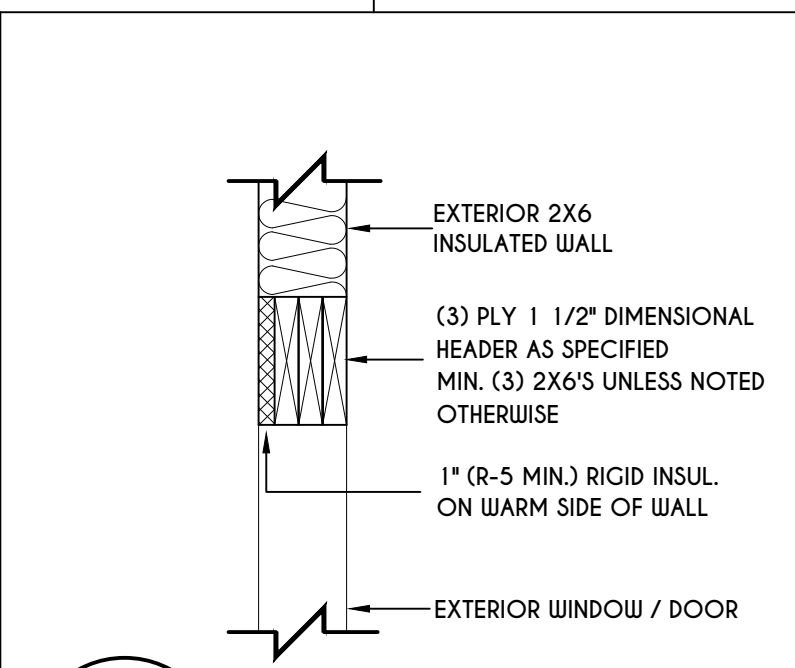
5
N-1
C.M.U. JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



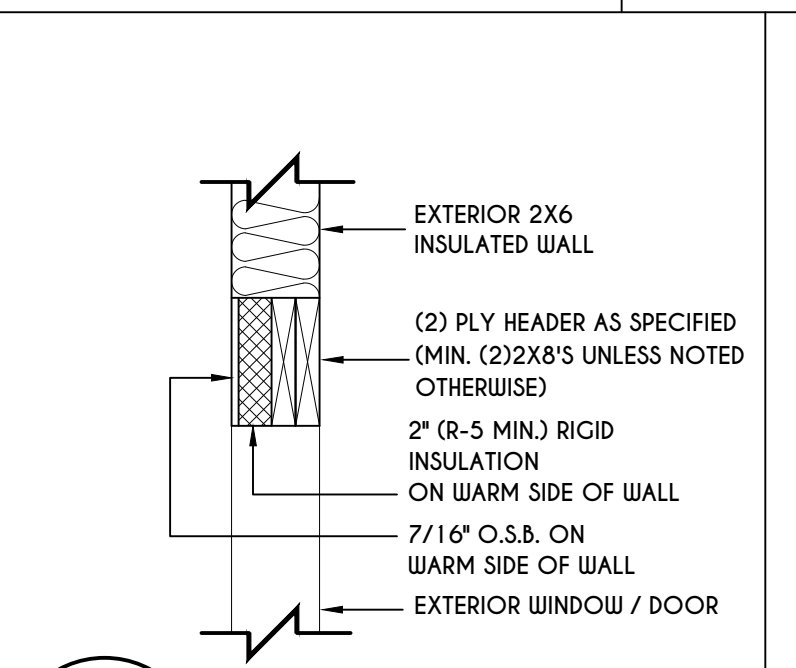
6
N-1
POURED WALL JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



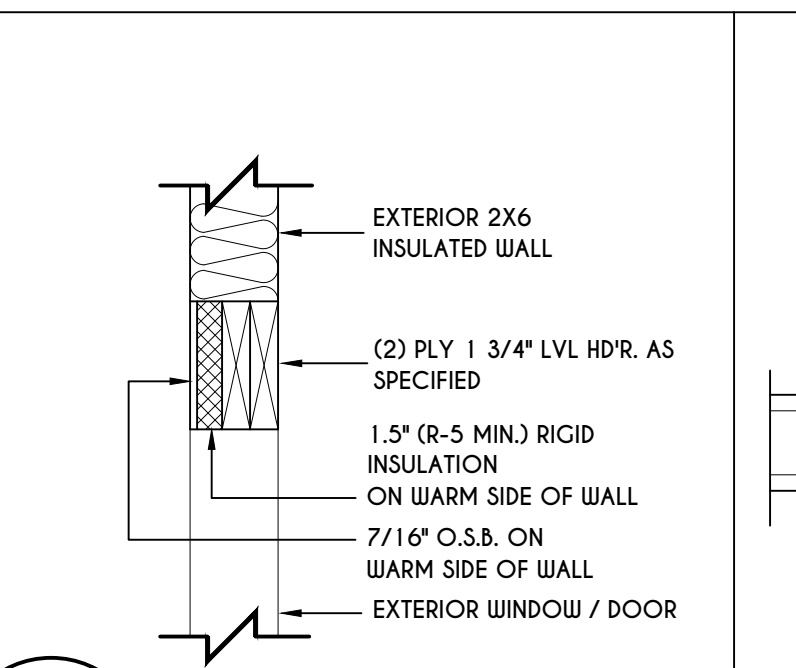
7
N-1
POURED WALL
PILASTER DETAIL
SCALE: 1" = 1'-0"



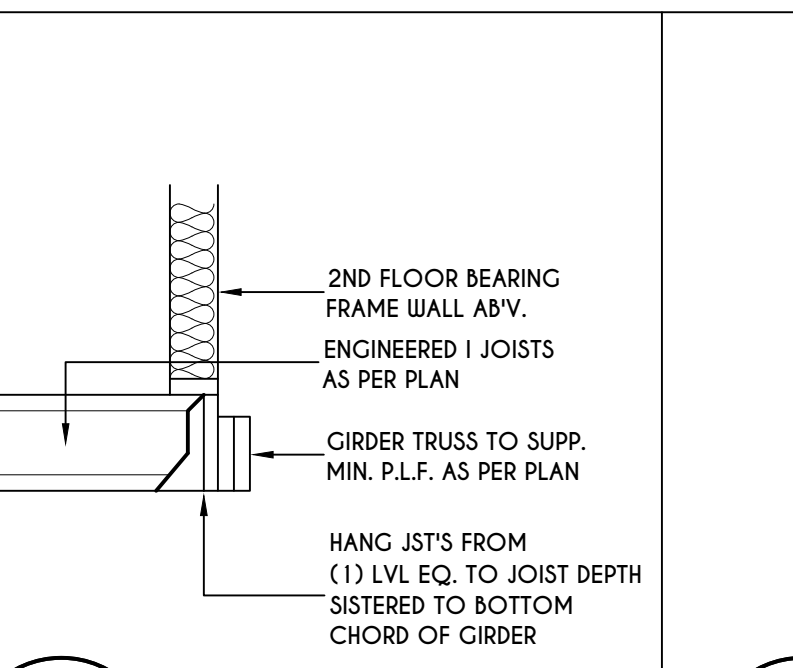
8
N-1
EXTERIOR INSULATED
3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



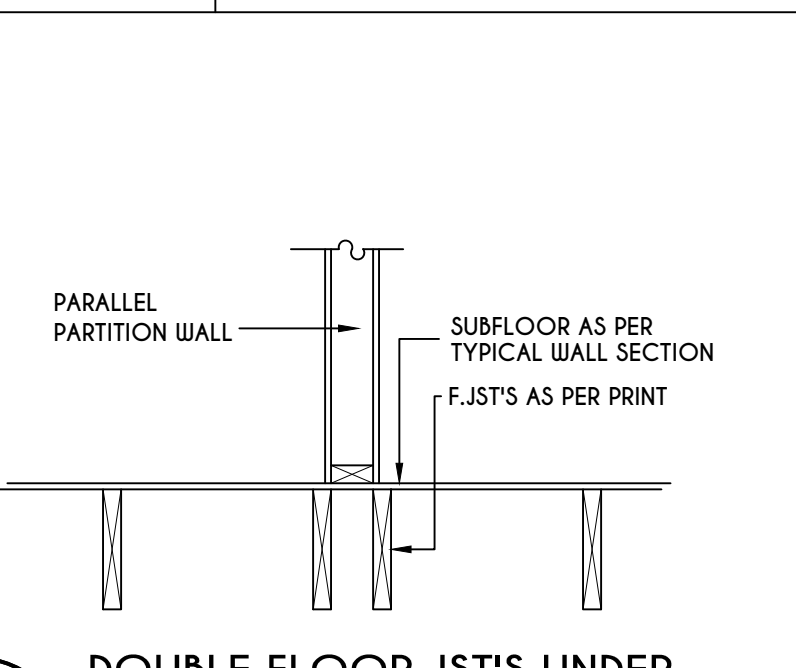
9
N-1
EXTERIOR INSULATED
2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



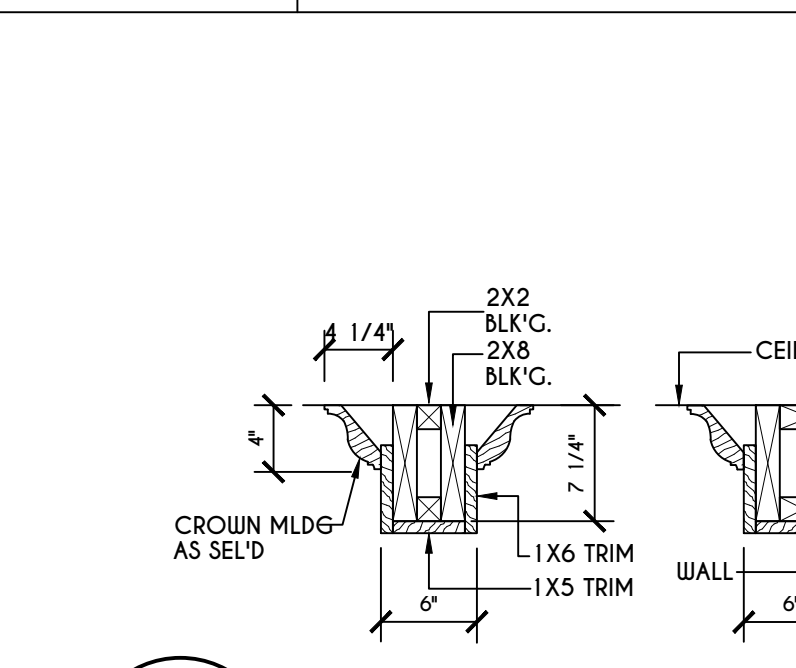
10
N-1
EXTERIOR INSULATED
2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



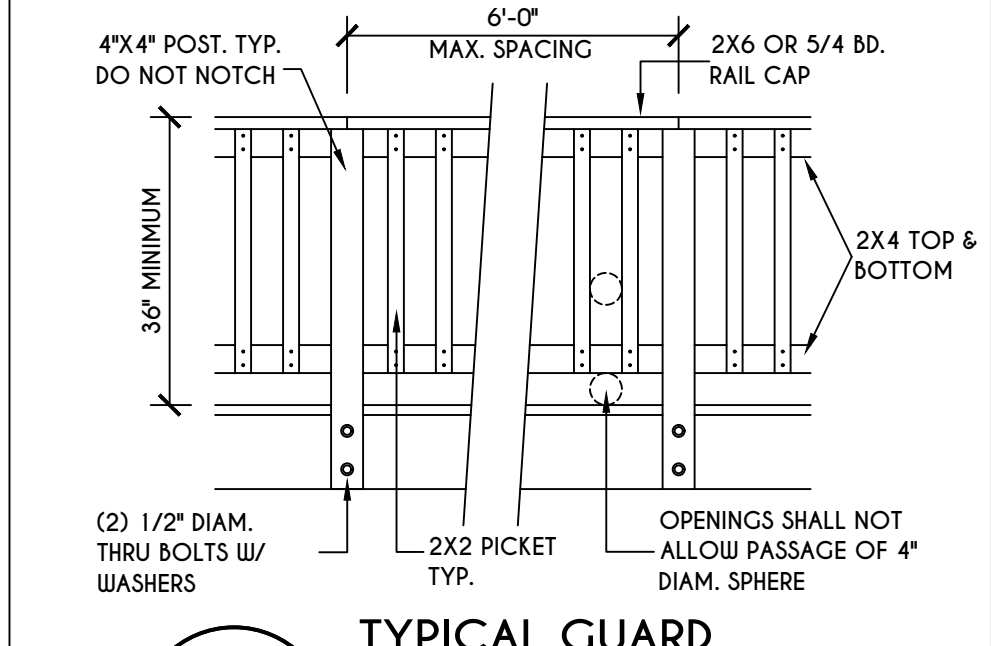
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



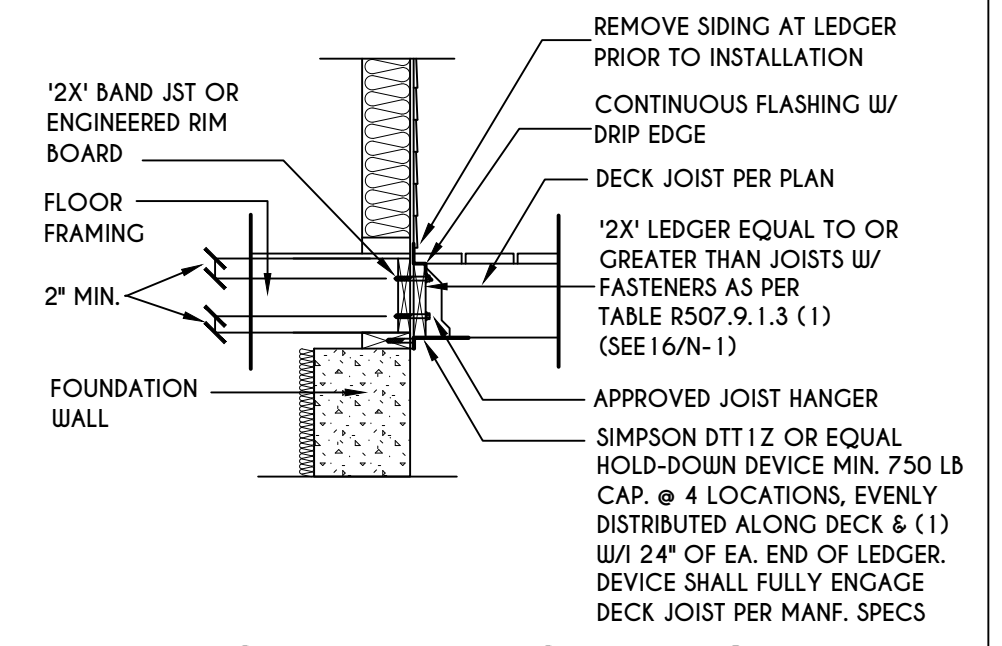
12
N-1
DOUBLE FLOOR JST'S UNDER
PARALLEL PARTITION WALL DETAIL
N.T.S.



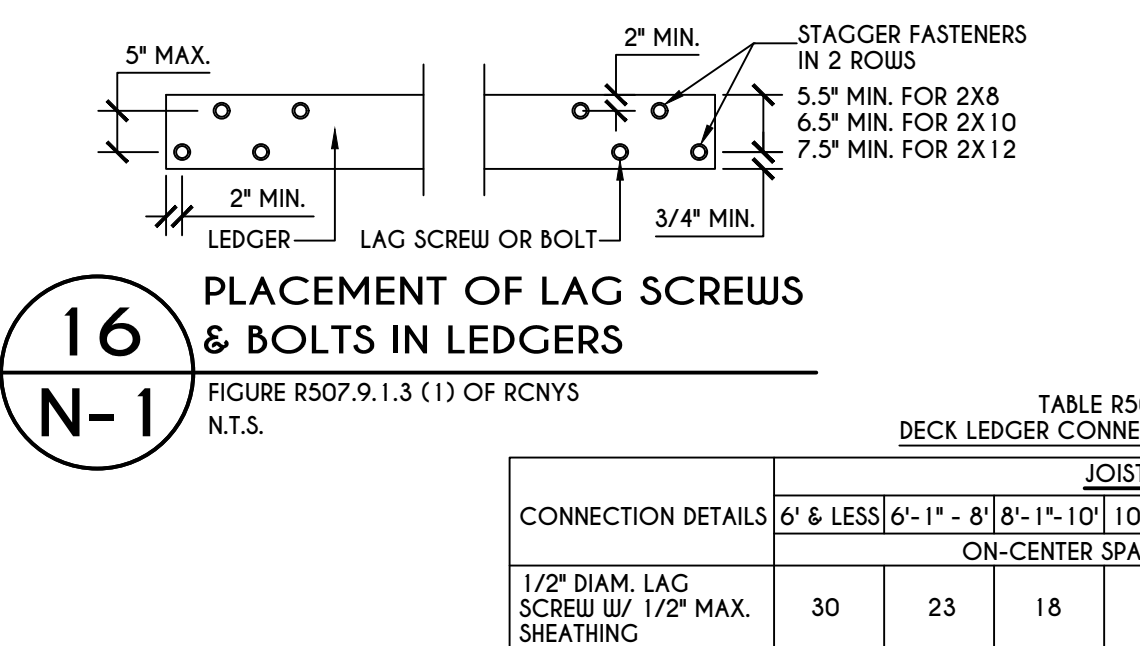
13
N-1
COFFERED BEAM DETAIL
N.T.S.



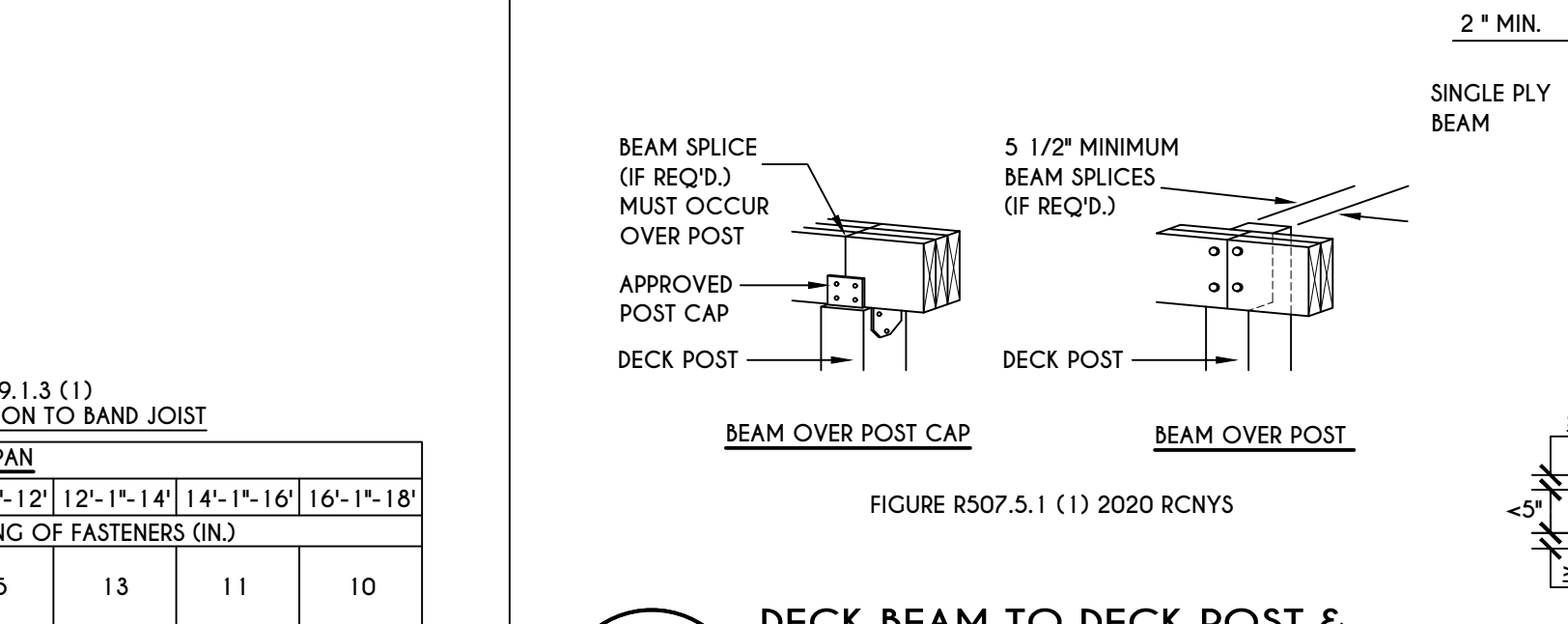
14
N-1
TYPICAL GUARD
RAIL DETAIL
SCALE: 1/2" = 1'-0"



15
N-1
GENERAL ATTACHMENT OF
DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16
N-1
PLACEMENT OF LAG SCREWS
& BOLTS IN LEDGERS
SCALE: 1/2" = 1'-0"

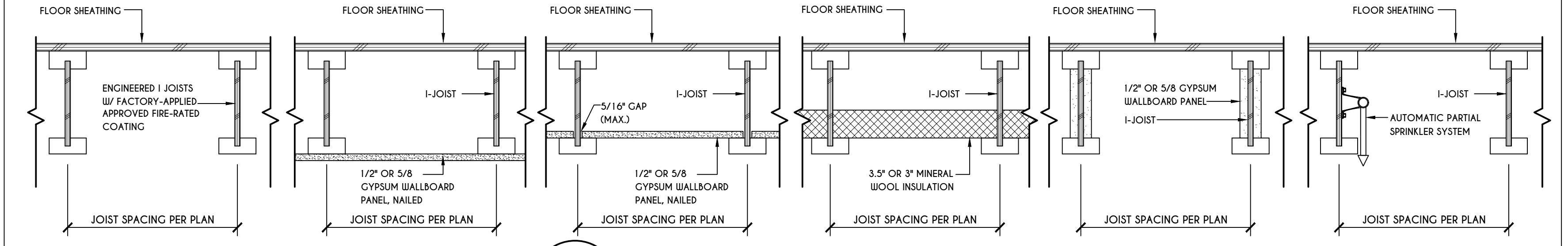


17
N-1
DECK BEAM TO DECK POST &
NOTCHED POST-TO-BEAM CONNECTION
SCALE: 1/2" = 1'-0"

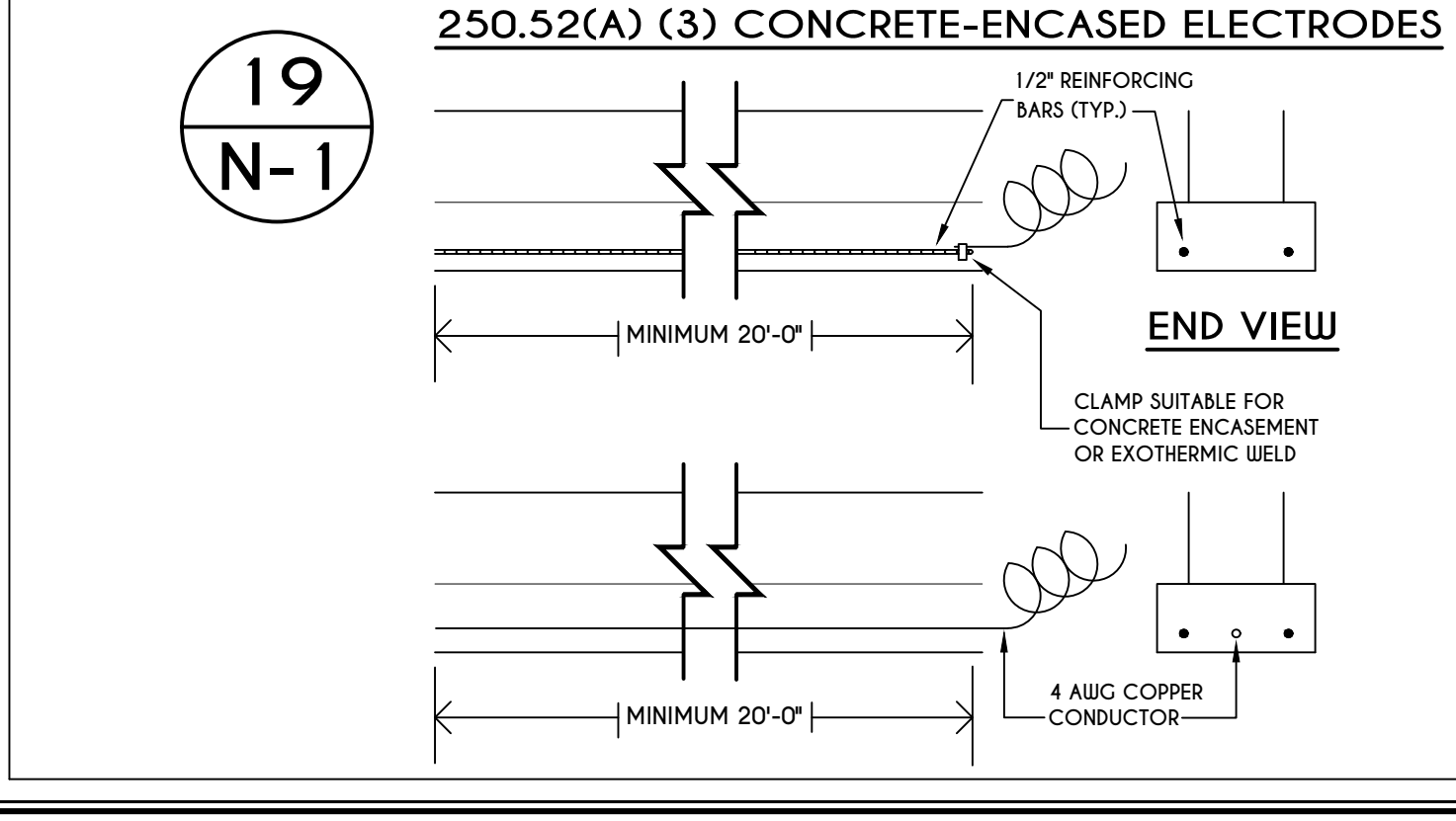
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

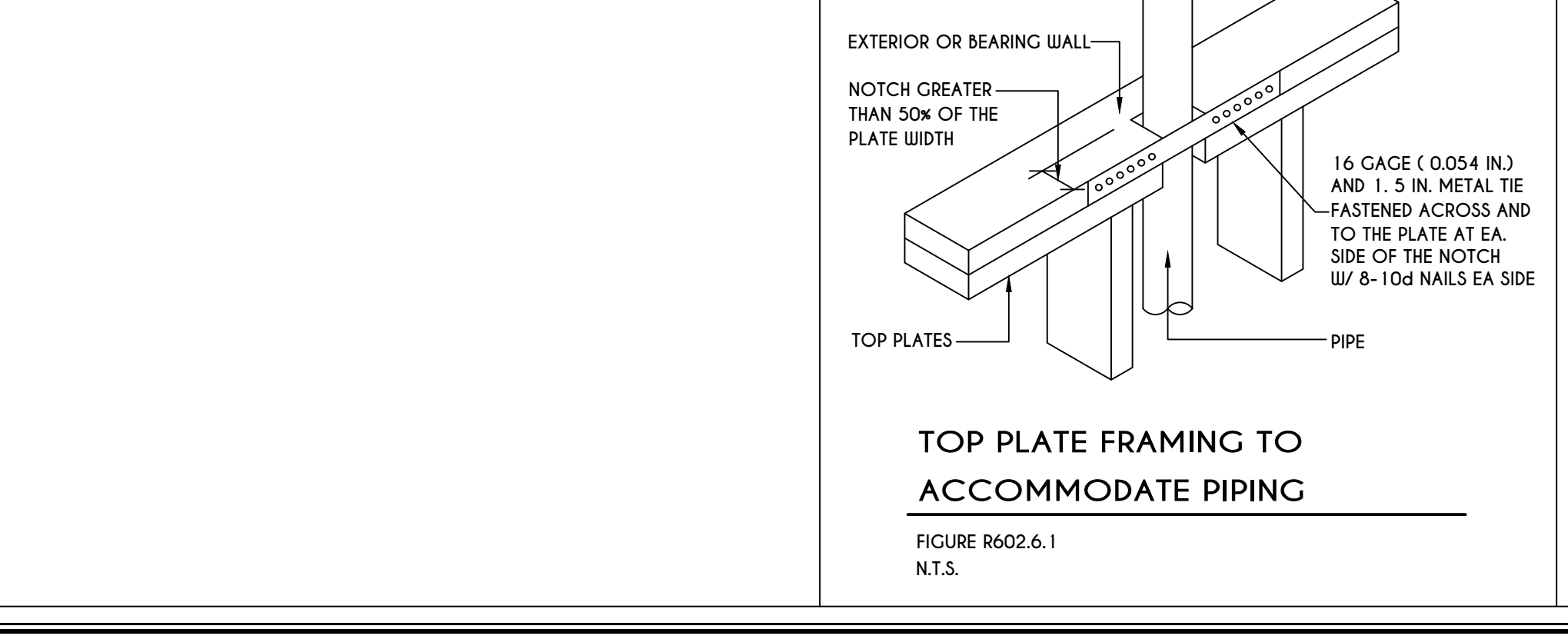
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



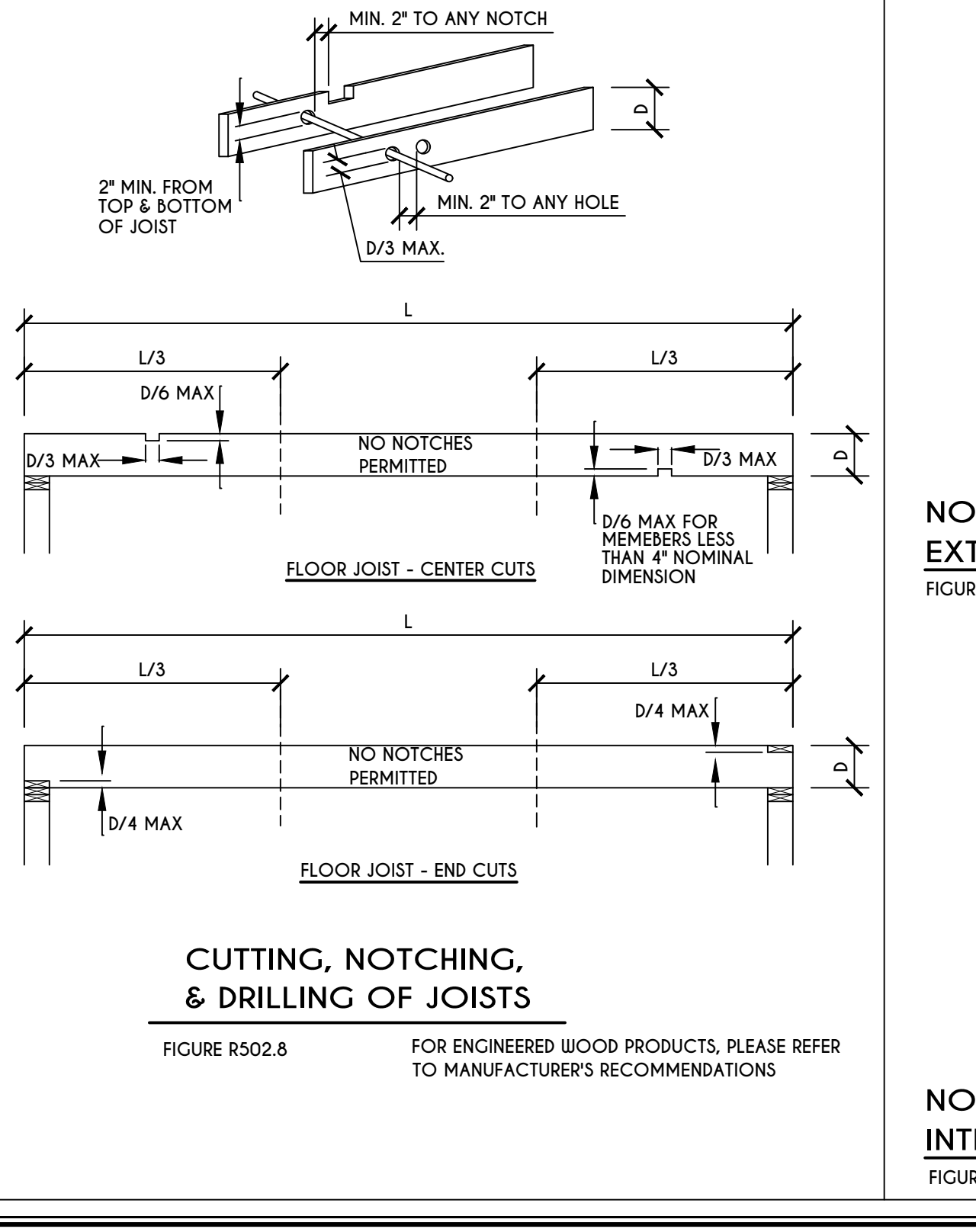
18
N-1
I-JOIST FLOOR SYSTEMS
FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER AIA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



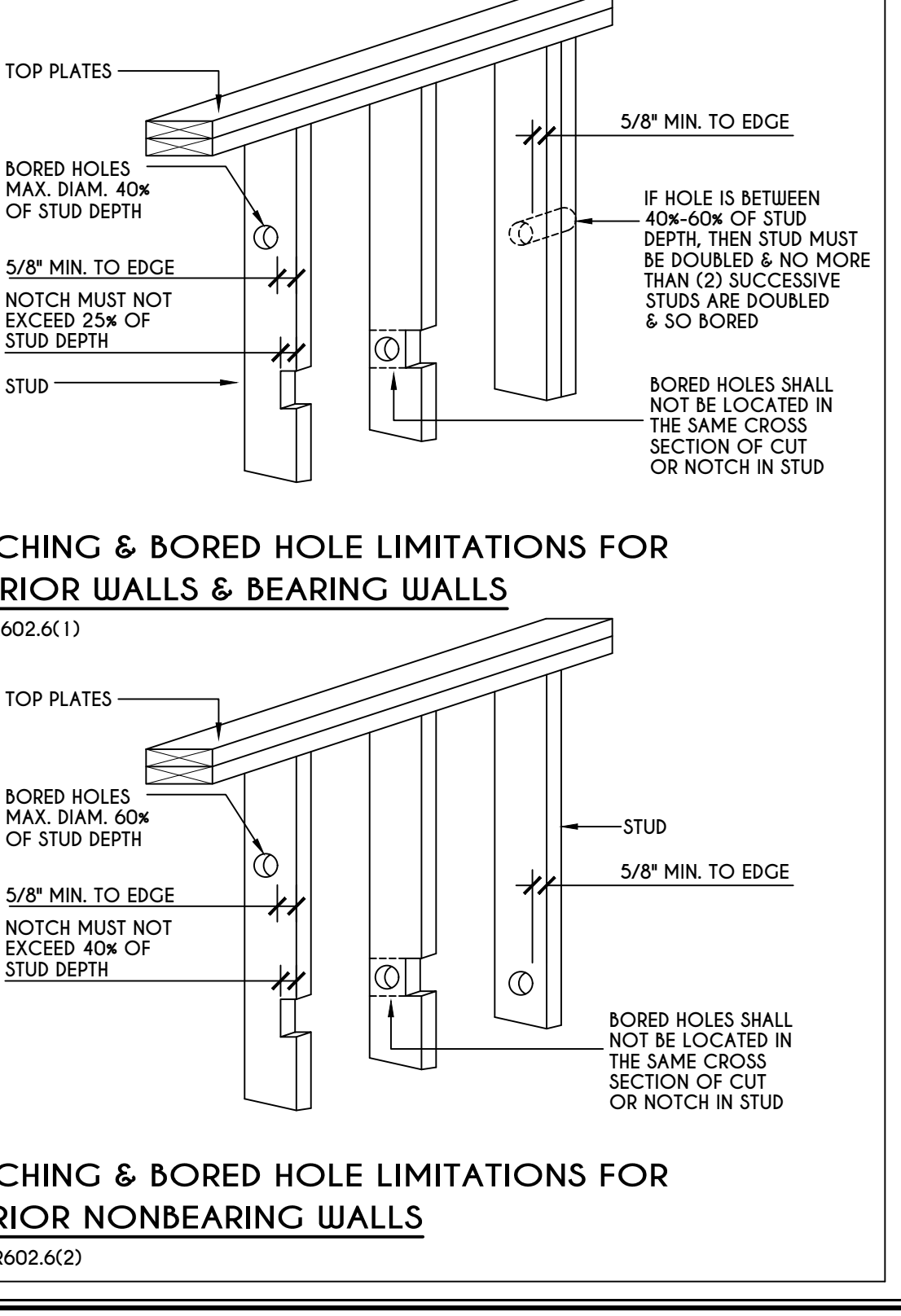
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
SCALE: 1/2" = 1'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



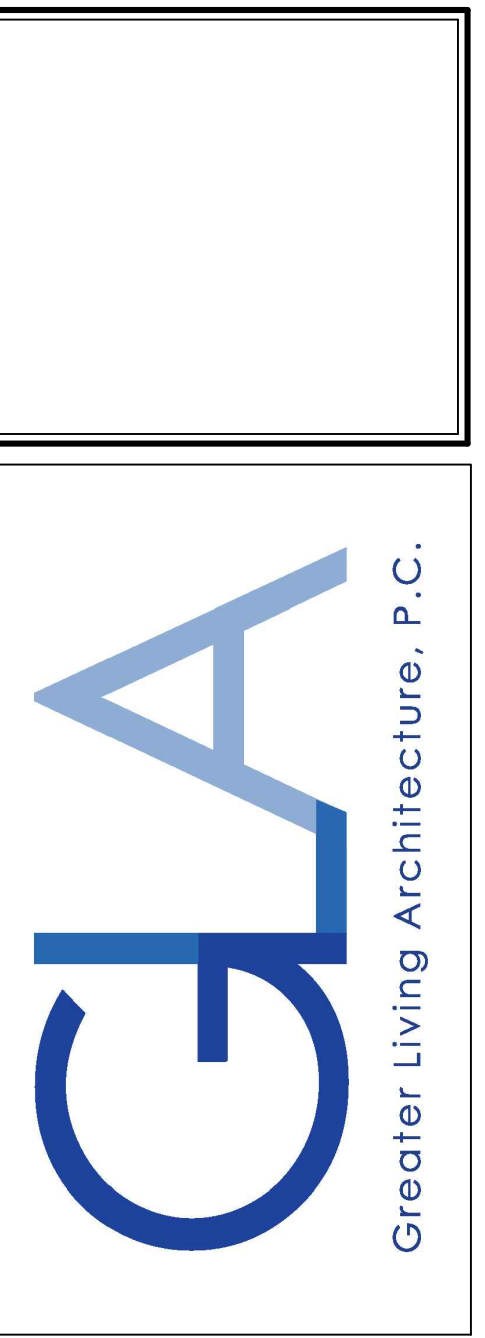
CUTTING, NOTCHING,
& DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR
EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)

NOTCHING & BORED HOLE LIMITATIONS FOR
INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

COPYRIGHT NOTICE :
THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209. COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA
TOWNLINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greatrliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 29
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

DETAILS
GLA PLAN 2800

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 20
PROJECT: 15420	sheet: N 1

TABLE R404.1.1(2)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^{a, c}	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) b, c			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, I AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^{a, c}	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) b, c			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, I AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^{a, c}	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) b, c			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48" IN SEISMIC DESIGN CATEGORIES D, I AND D2.
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS b, c, d, e, f, h, i, k, n, o											
		MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30			GM, GS, SM-SC AND ML SOILS 45			SC, MK, ML-CL AND INORGANIC CL SOILS 60					
4	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.
 b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
 c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9).
 d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
 e. ALLOWABLE DEFLECTION CRITERION IS 1/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
 f. INTERPOLATION IS NOT PERMITTED.
 g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
 h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
 i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
 j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
 k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c, OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 8.
 l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
 m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
 n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

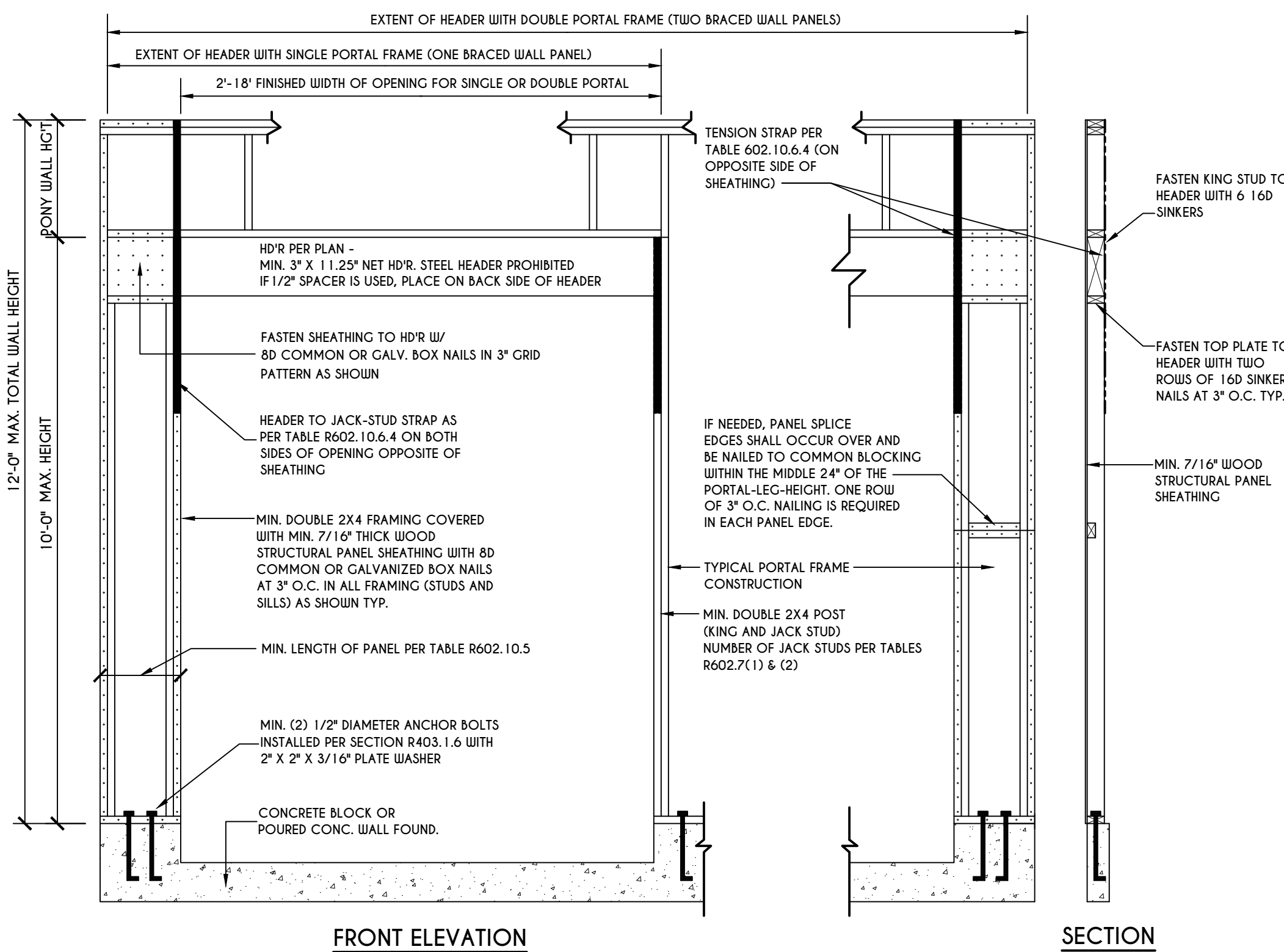
TABLE R401.4.1

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
 b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



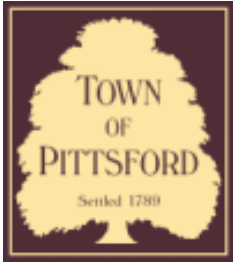


23
Spall Realty Corporation
585-586-4321
www.spallrealty.com



21
Spall Realty Corporation
Quality in Every Detail
585-586-4521
www.spallrealty.com





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000094

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 San Rafael Drive ROCHESTER, NY 14618

Tax ID Number: 151.06-1-17

Zoning District: RN Residential Neighborhood

Owner: Krapf, Christian

Applicant: Krapf, Christian

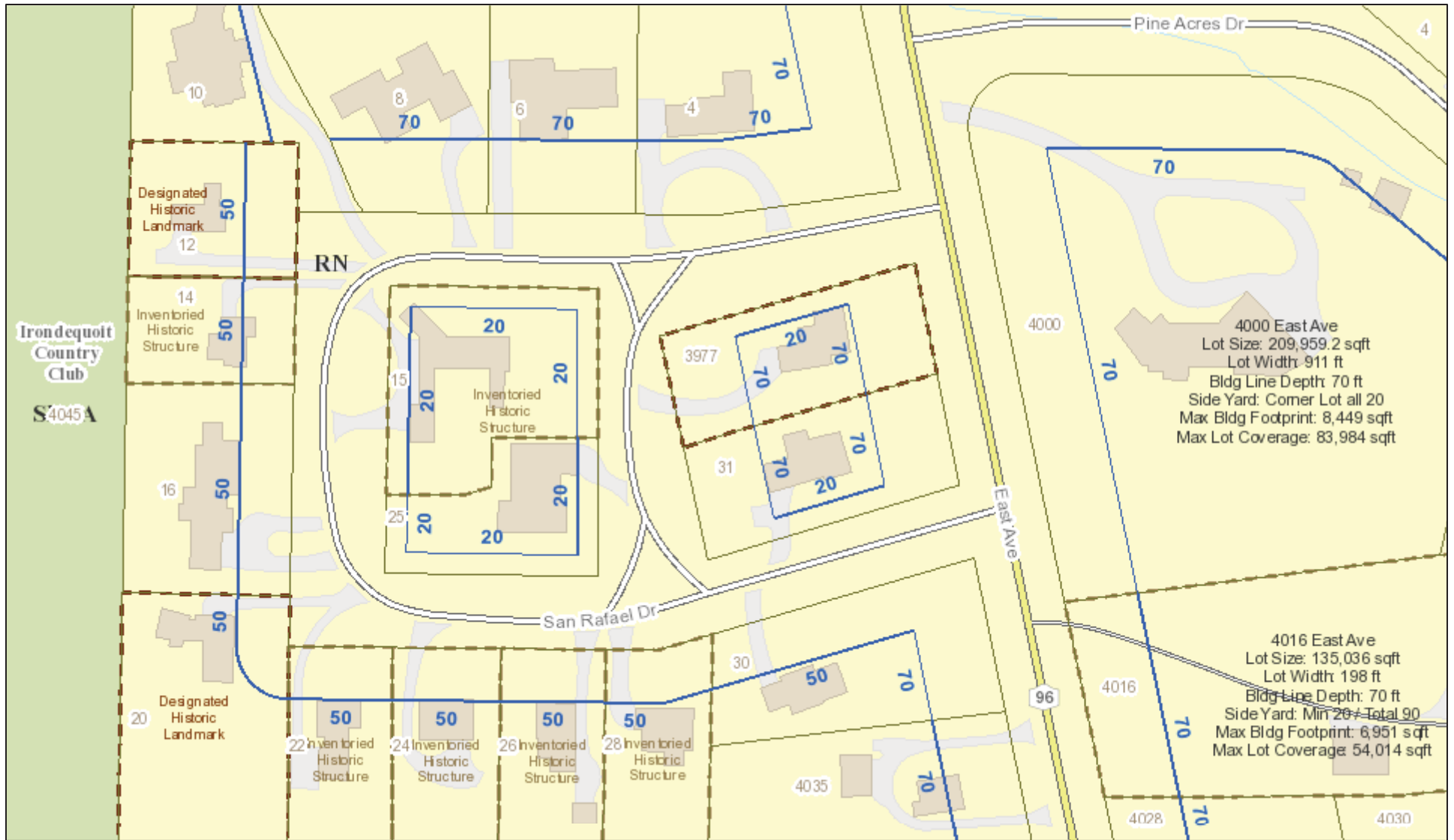
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

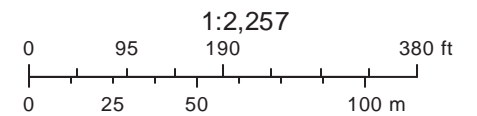
Project Description: Applicant is requesting design and review for the construction of a new single family home. The home will be approximately 6440 sq. ft. of livable space and will be located on a vacant lot in the San Rafael Drive neighborhood.

Meeting Date: July 23, 2020

RN Residential Neighborhood Zoning

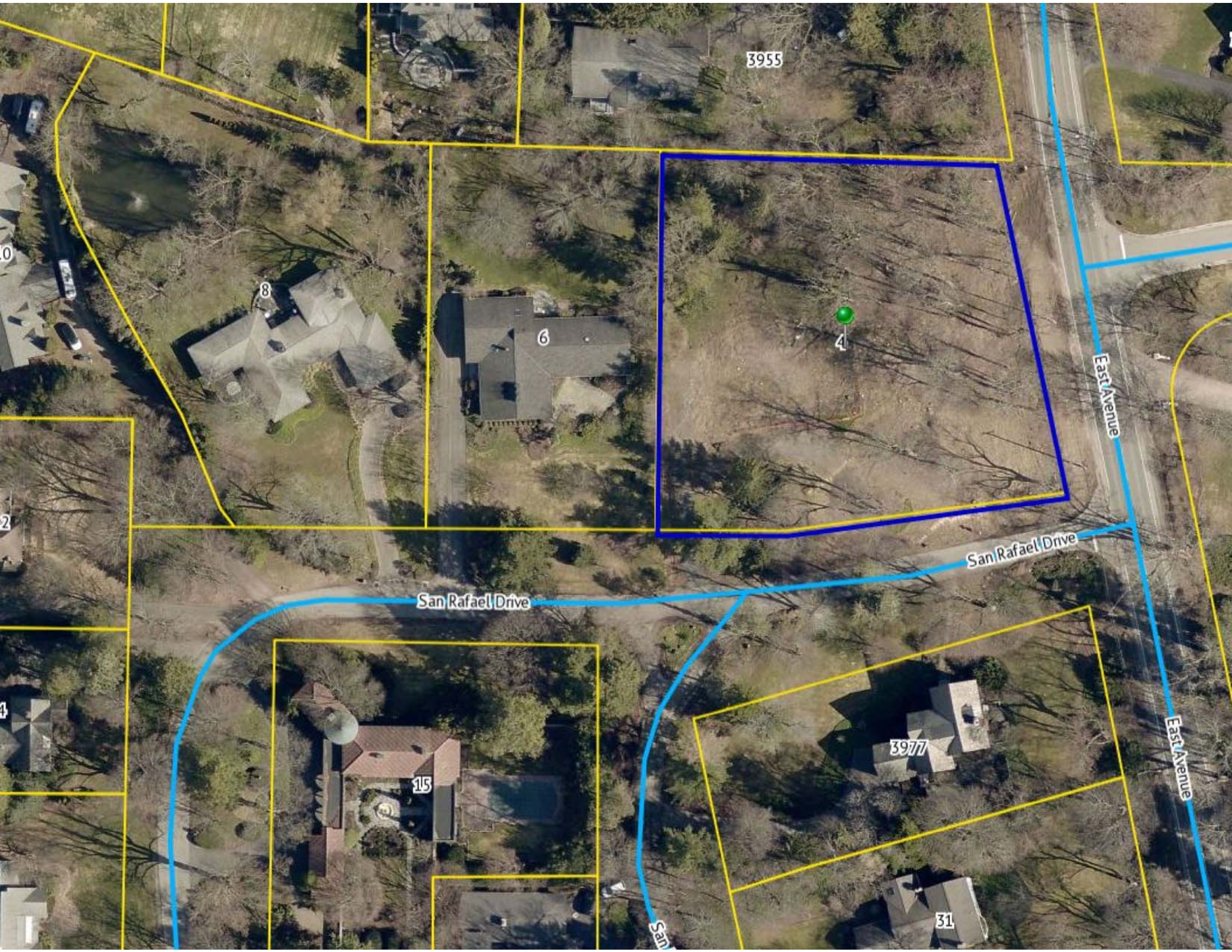


Printed July 30, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



3955

6

8

4

East Avenue

San Rafael Drive

San Rafael Drive

East Avenue

3977

15

31

C

CHRISTOPHER

ARCHITECTURE & INTERIORS

KRAPF RESIDENCE

Photos of Construction Site

June 12, 2020



VIEW FROM SOUTH EASTERN CORNER



VIEW FROM NORTH EASTERN CORNER

KRAPF RESIDENCE



VIEW FROM SOUTH WESTERN CORNER



VIEW DOWN SAN RAFAEL DRIVE

KRAPF RESIDENCE



VIEW DOWN EAST AVENUE

KRAPF RESIDENCE



Krapf Residence

Design Review and Historic Preservation Set

Issue: 06/12/2020

4 San Rafael Drive
Rochester, New York 14618

Drawing Index

A0.0	COVER SHEET
A1.0	SITE PLAN
A2.1	FIRST FLOOR PLAN
A2.2	BASEMENT & SECOND FLOOR PLANS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	ELEVATIONS
A3.4	ELEVATIONS
A4.1	SECTIONS

Project Information

Owner: Christian & Christina Krapf

Architect: Christopher Architecture & Interiors

Contact: Chris Reebals

Ria Neill

Interior Designer: Christopher Architecture & Interiors

Contact: Joanna Goodman

2601 Highland Avenue
Birmingham, Alabama 35205
(205)-413-8531

Square Footages	
Heated/Cooled Total:	6,440sf
Basement Level:	900 sf
Ground Level:	5,183 sf
Upper Level:	357 sf
Unconditioned Total:	1,133 sf
Patios:	644 sf
Trellis:	402sf
Spa:	98sf
Total Design SF:	7,574sf

Applicable Codes: 2017 International Residential Code

C
CHRISTOPHER
ARCHITECTURE & INTERIORS



C
CHRISTOPHER
ARCHITECTURE & INTERIORS



C

CHRISTOPHER
ARCHITECTURE & INTERIORS





NOT FOR CONSTRUCTION

Krapf Residence

4 San Rafael Drive
Rochester, New York 14618

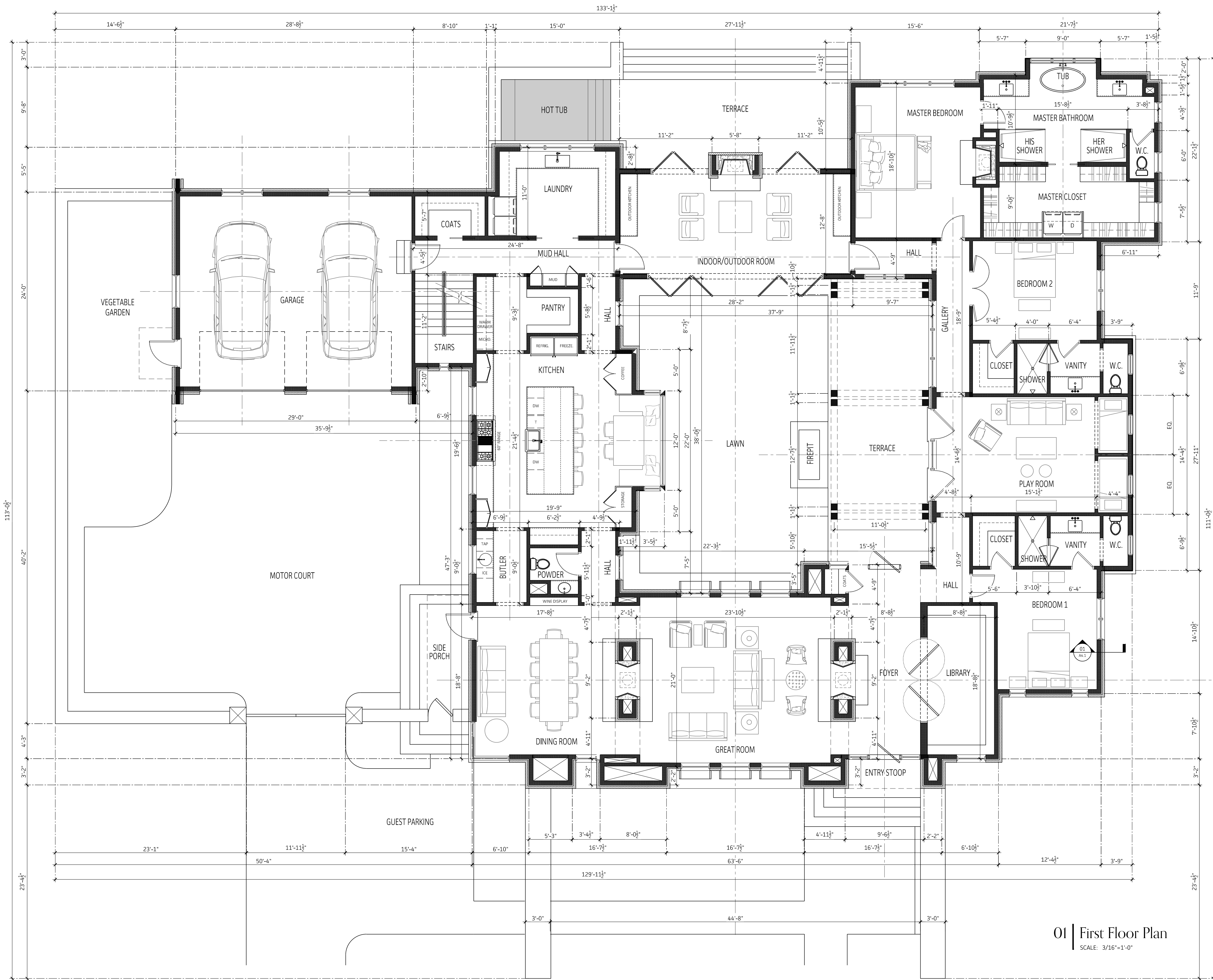
DATE: 06/12/2020
JOB NO.: 19014

DRAWN BY: RN
CHECKED BY: CR/JG

01 | Architectural Site Plan
SCALE: 1/16"=1'-0"

SHEET TITLE
SITE PLAN

A1.0



NOT FOR CONSTRUCTION

Krapf Residence

4 San Rafael Drive
Rochester, New York 14618

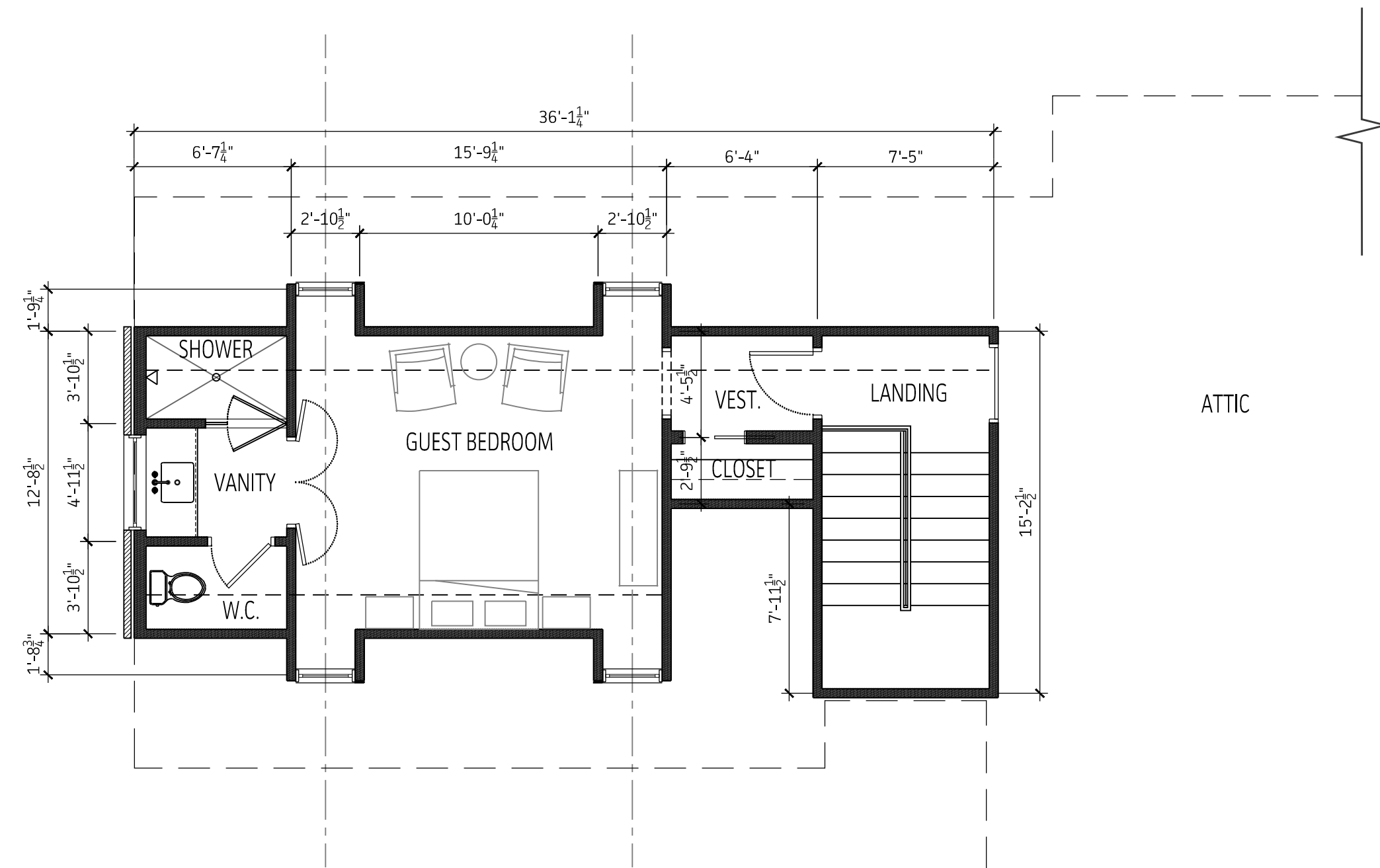
DATE 06/12/2020
JOB NO. 19014

DRAWN BY RN
CHECKED BY CR/JG

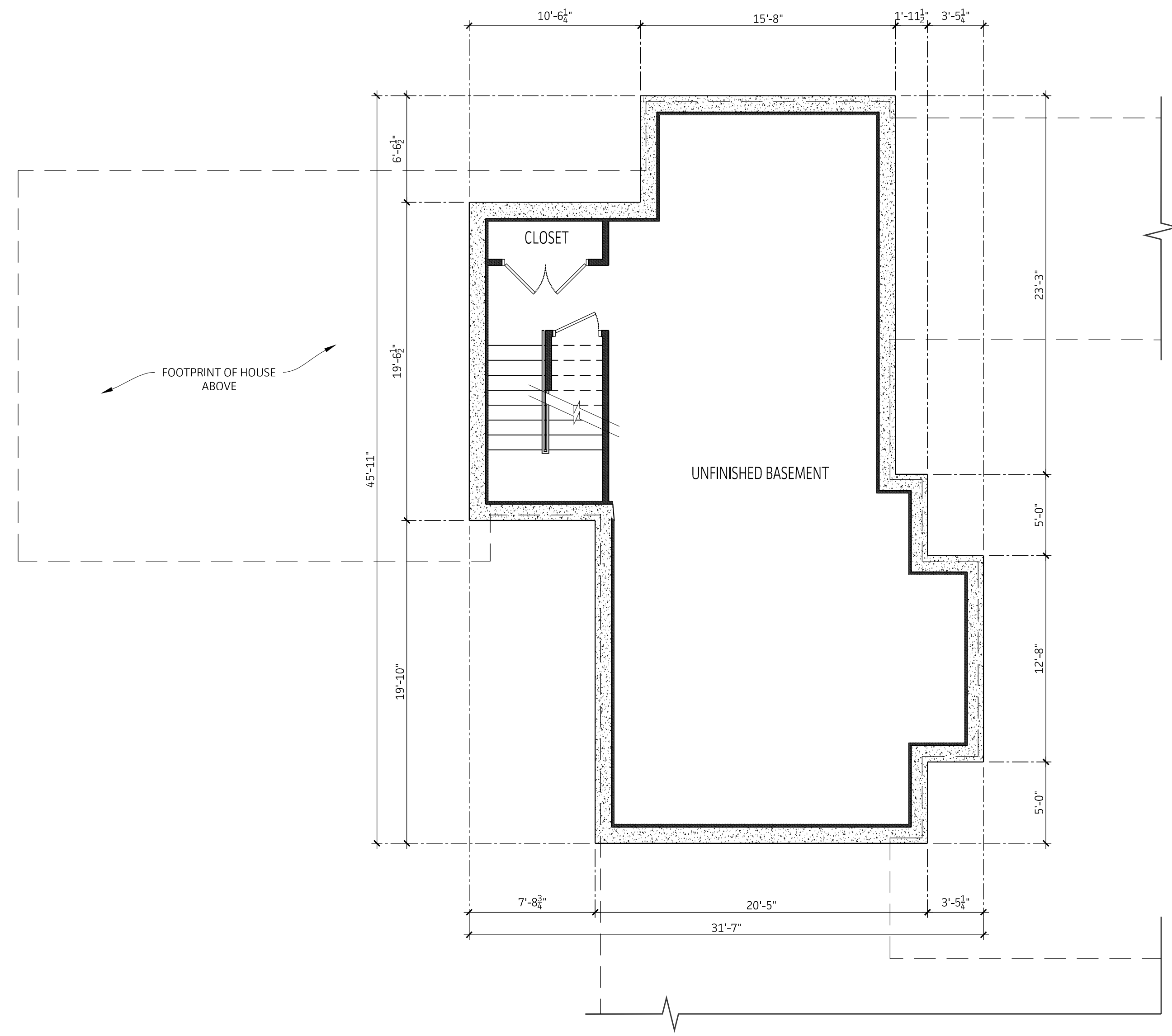
01 | First Floor Plan
SCALE: 3/16"=1'-0"

SHEET TITLE
FIRST FLOOR PLAN

A2.1



02 | Second Floor Plan
SCALE: 3/16"=1'-0"



01 | Basement Floor Plan
SCALE: 3/16"=1'-0"

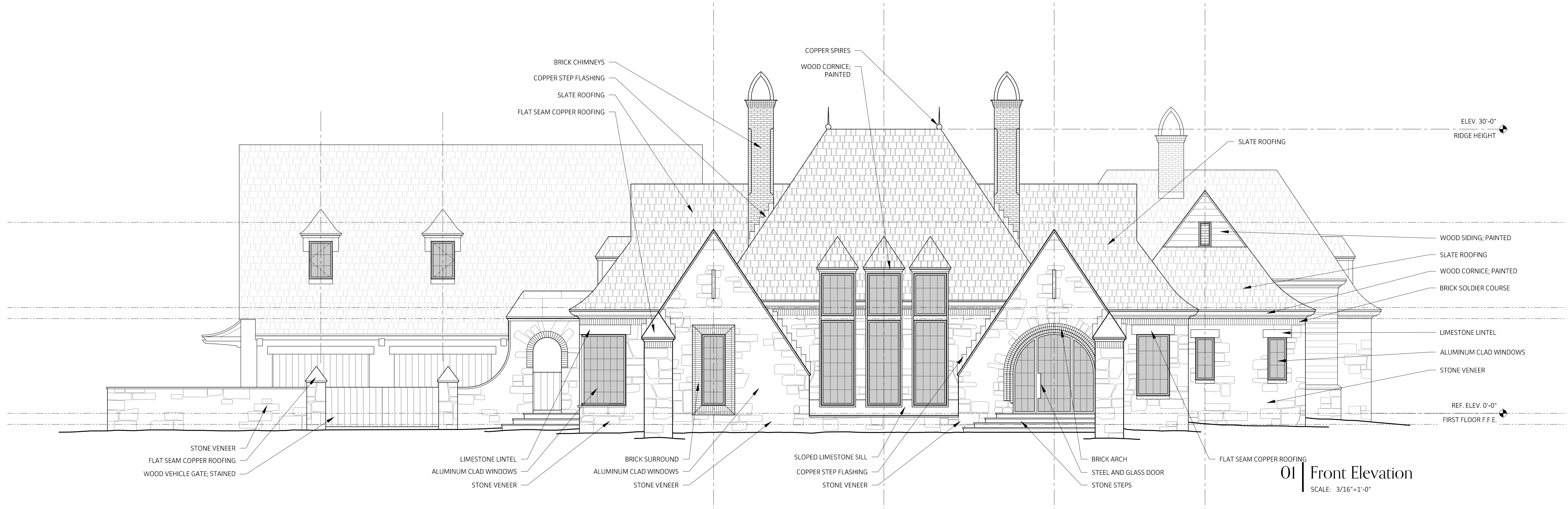
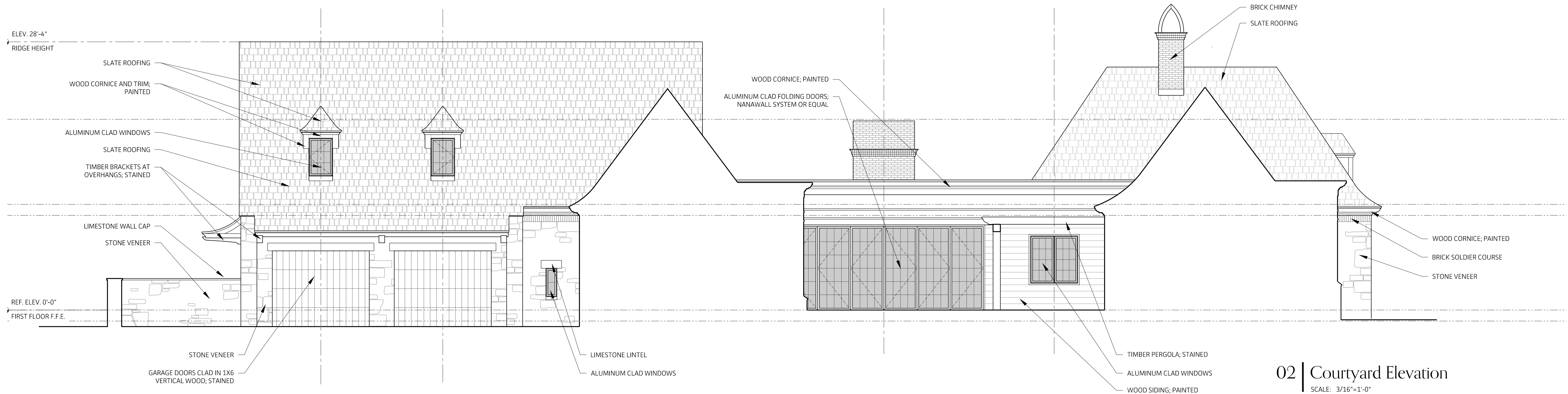
NOT FOR CONSTRUCTION

Krapf Residence
4 San Rafael Drive
Rochester, New York 14618

DATE: 06/12/2020
JOB NO.: 19014
DRAWN BY: RN
CHECKED BY: CR/JG

SHEET TITLE: BASEMENT & SECOND FLOOR PLAN

A2.2



NOT FOR CONSTRUCTION

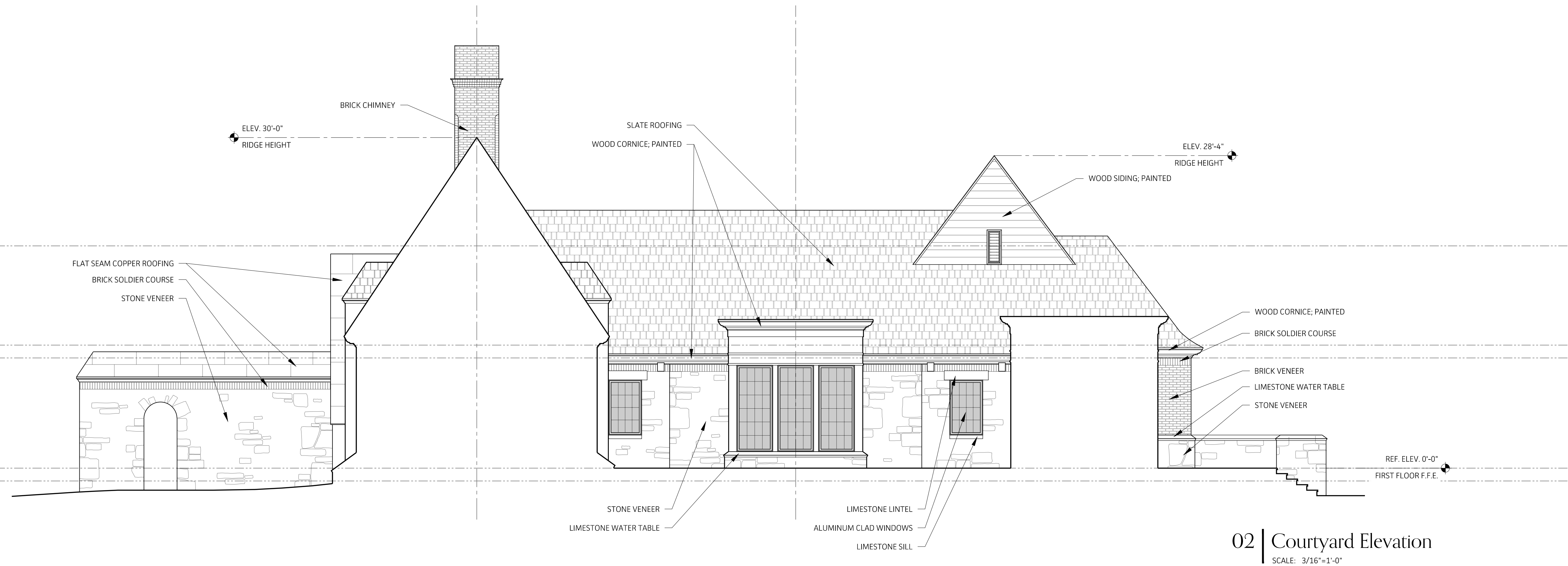
Krapf
Residence
4 San Rafael Drive
Rochester, New York 14618

DATE
06/12/2020
JOB NO.
19014

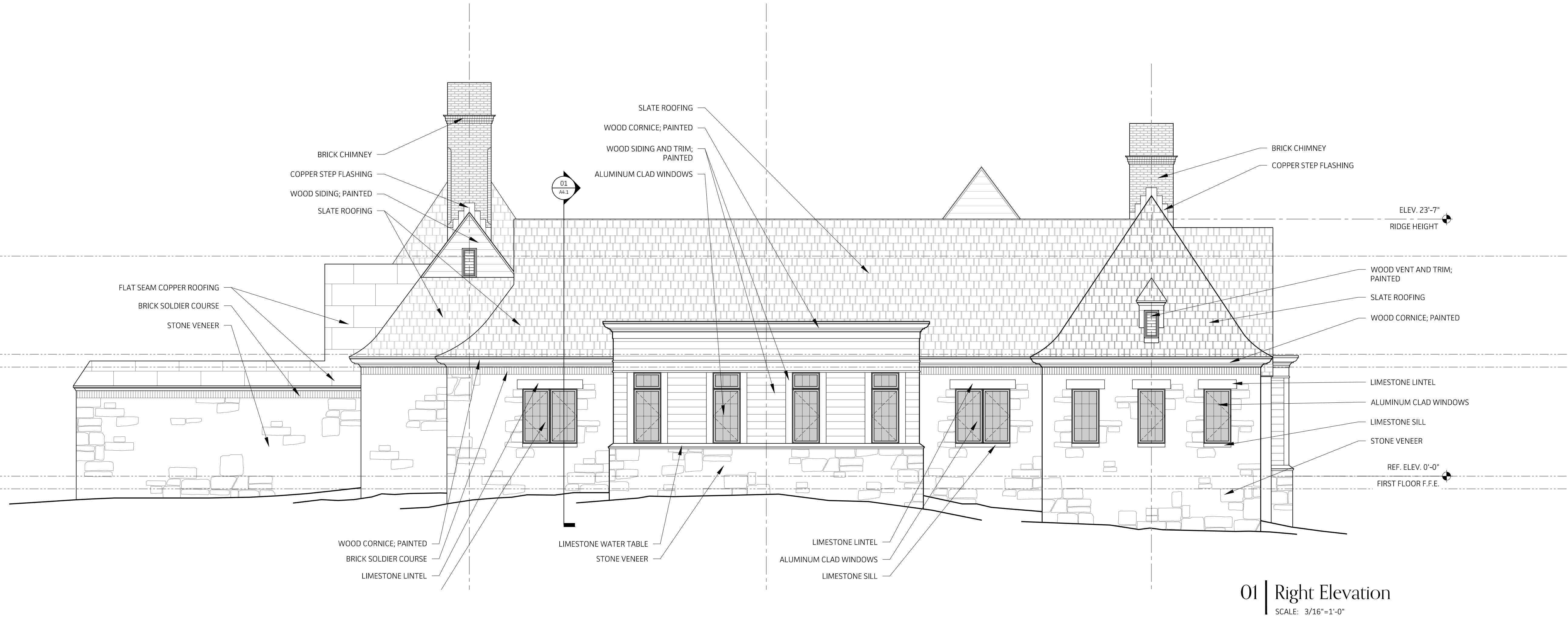
DRAWN BY
RN
CHECKED BY
CR/JG

SHEET TITLE
ELEVATIONS

A3.1



02 | Courtyard Elevation
SCALE: 3/16"=1'-0"



01 | Right Elevation
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION

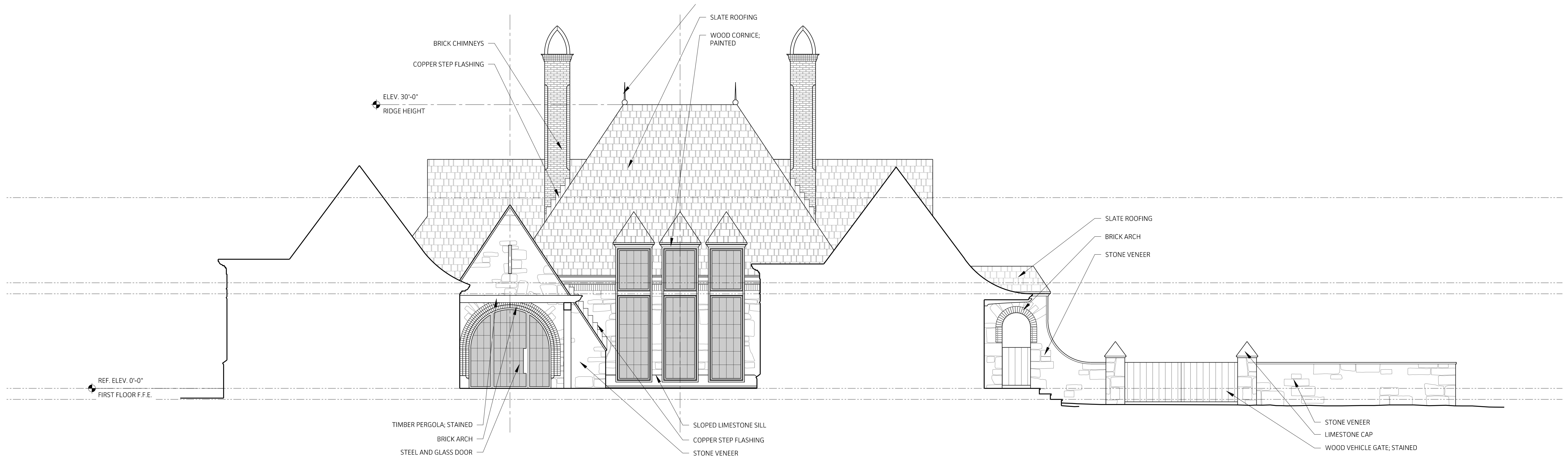
Krapf Residence
4 San Rafael Drive
Rochester, New York 14618

DATE 06/12/2020
JOB NO. 19014

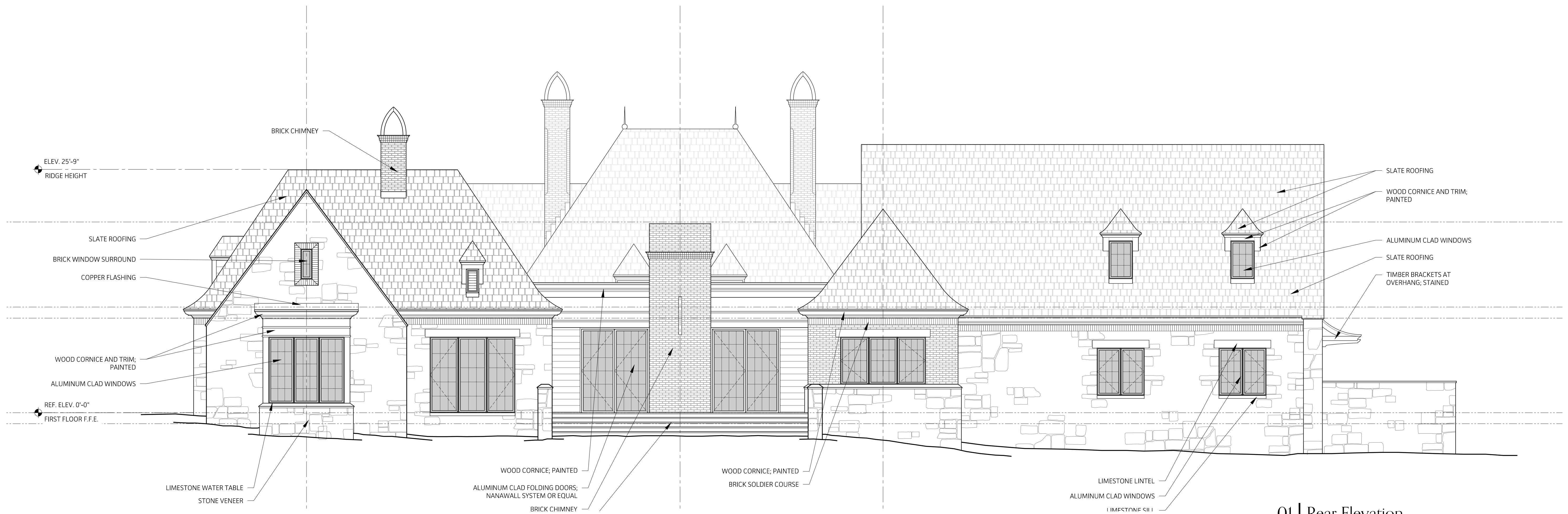
DRAWN BY RN
CHECKED BY CR/JG

SHEET TITLE
ELEVATIONS

A3.2



02 | Courtyard Elevation
SCALE: 3/16"=1'-0"



01 | Rear Elevation
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION

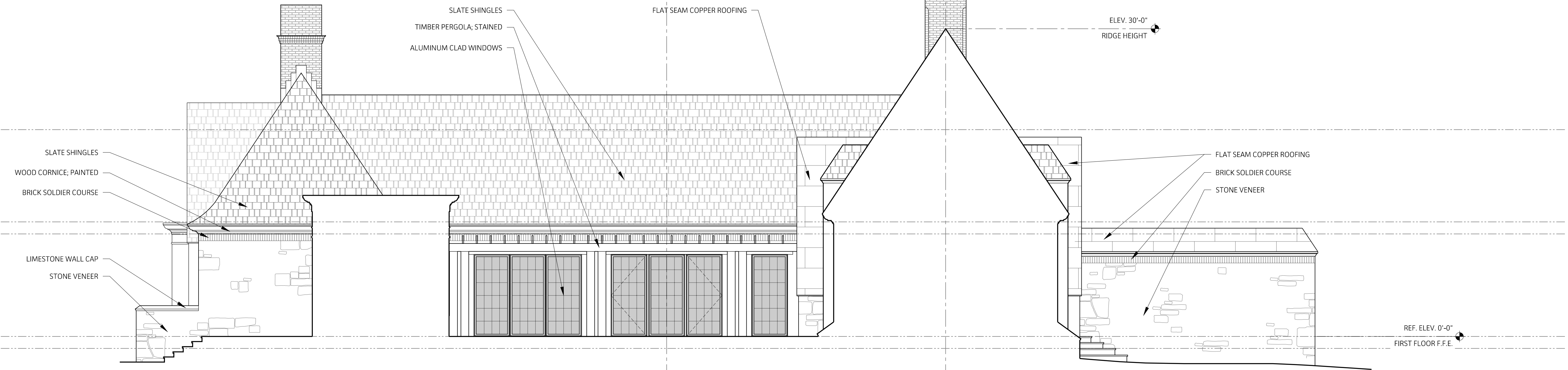
Krapf
Residence
4 San Rafael Drive
Rochester, New York 14618

DATE
06/12/2020
JOB NO.
19014

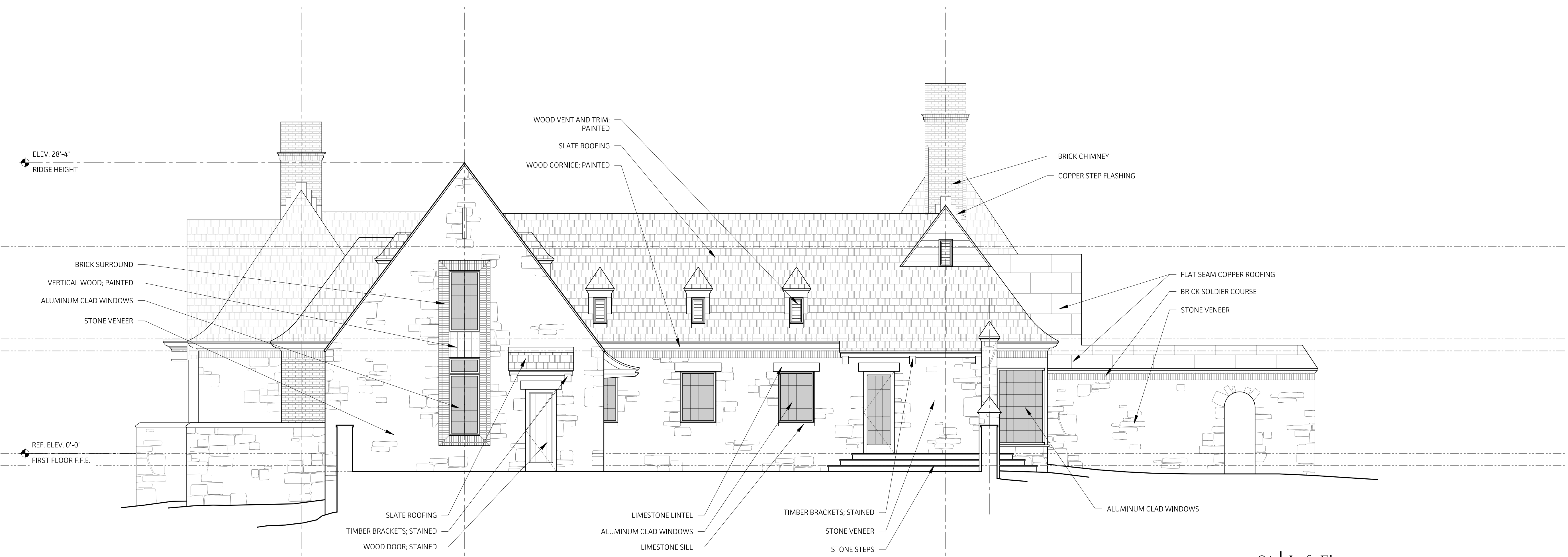
DRAWN BY
RN
CHECKED BY
CR/JG

SHEET TITLE
ELEVATIONS

A3.3



02 | Courtyard Elevation
SCALE: 3/16"=1'-0"



01 | Left Elevation
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION

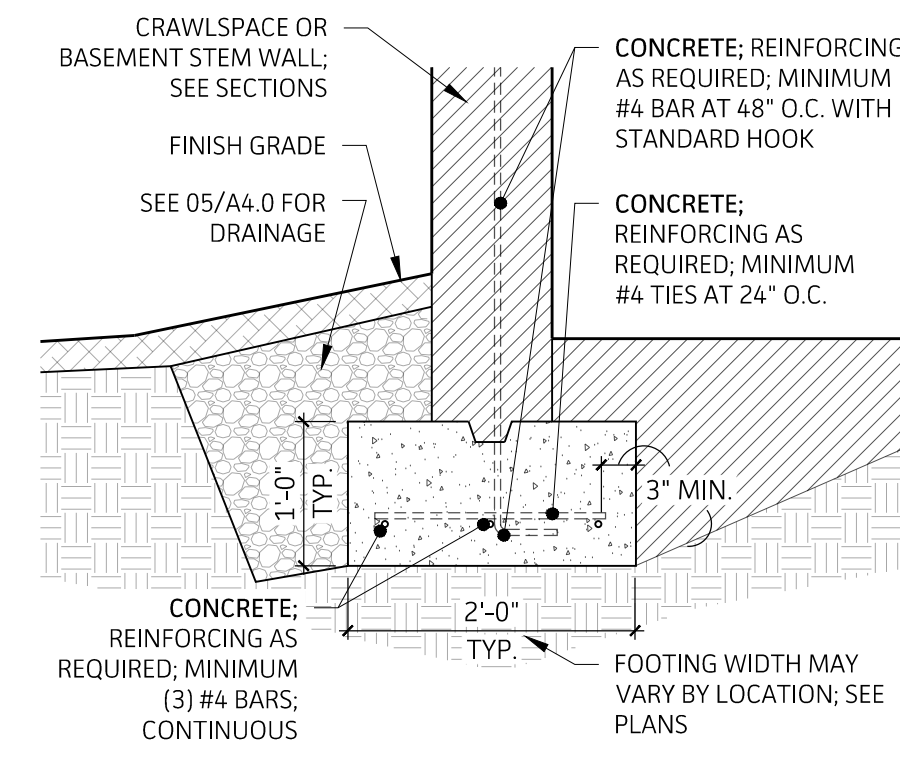
Krapf Residence
4 San Rafael Drive
Rochester, New York 14618

DATE 06/12/2020
JOB NO. 19014

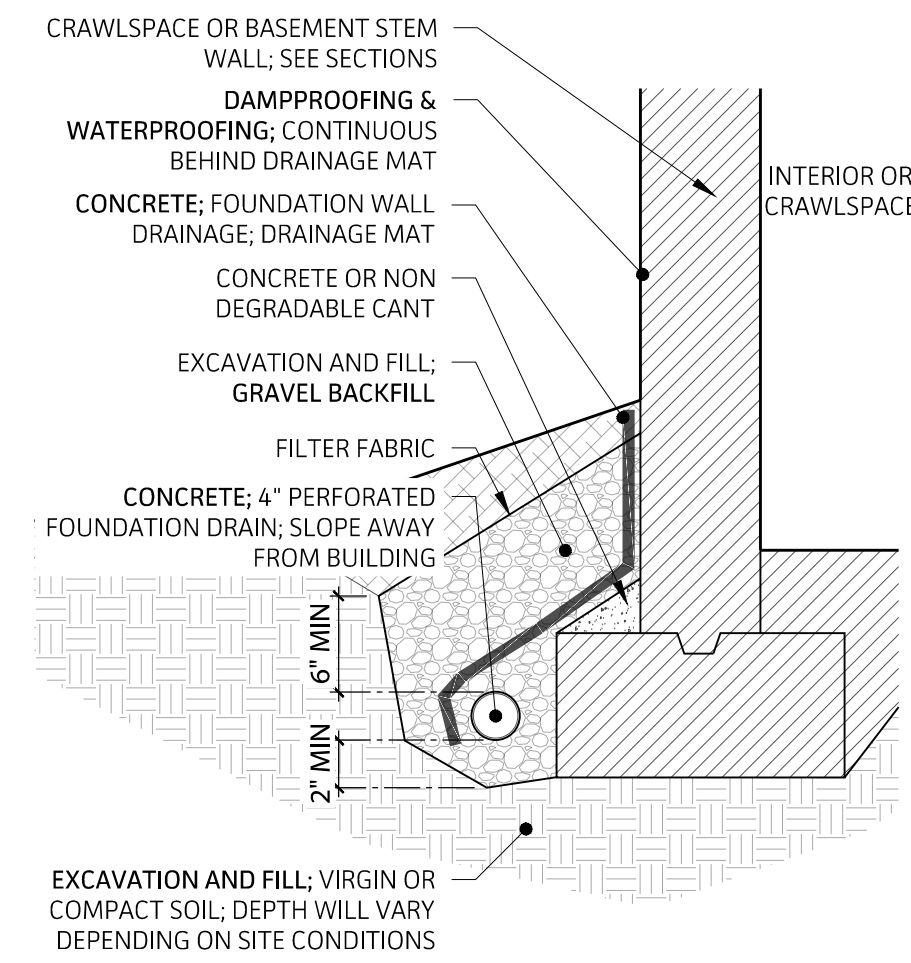
DRAWN BY RN
CHECKED BY CR/JG

SHEET TITLE
ELEVATIONS

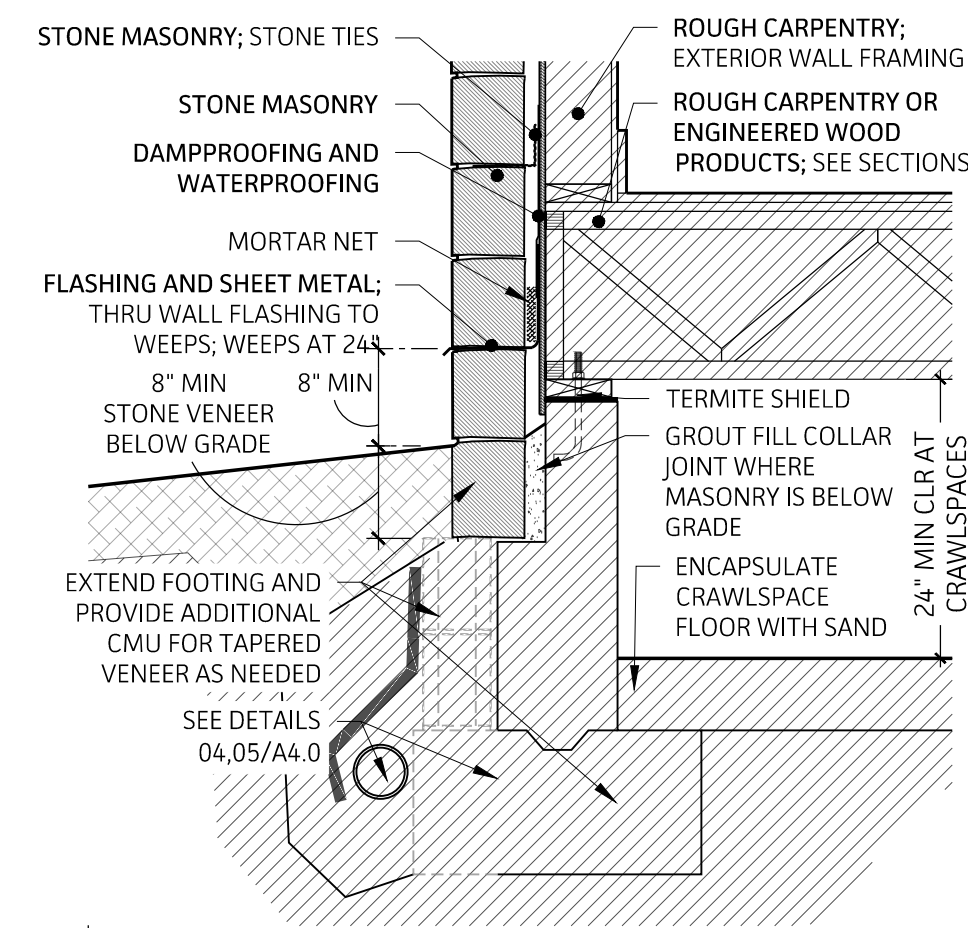
A3.4



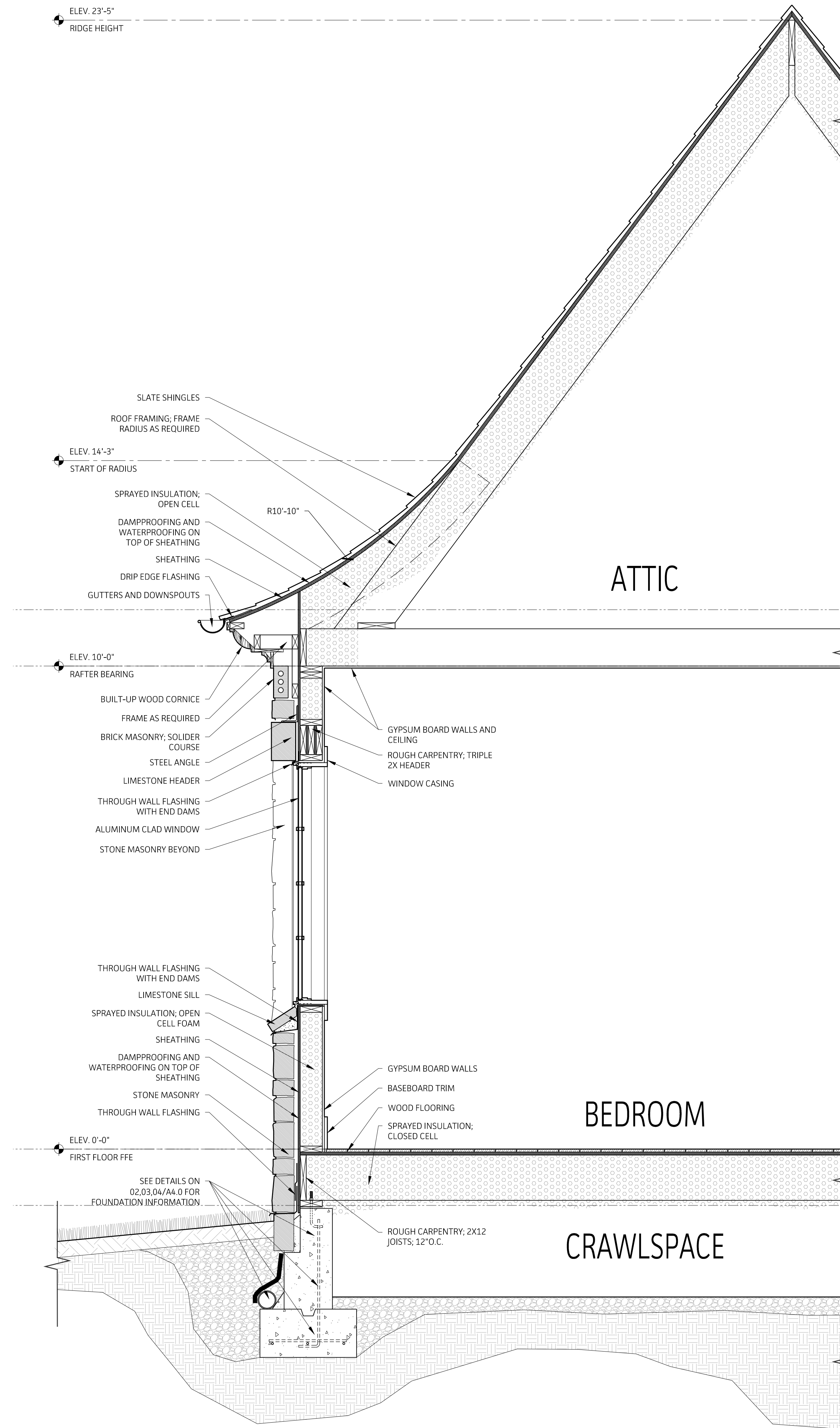
04 | Typical Footing
SCALE: 3/4"=1'-0"



03 | Foundation Drainage
SCALE: 3/4"=1'-0"



02 | Masonry Ledge
SCALE: 3/4"=1'-0"



01 | Typical Section
SCALE: 3/4"=1'-0"

NOT FOR CONSTRUCTION

Krapf Residence
4 San Rafael Drive
Rochester, New York 14618

DATE: 06/05/2020
JOB NO.: 19014
DRAWN BY: RN
CHECKED BY: CR/JG

SHEET TITLE
SECTIONS

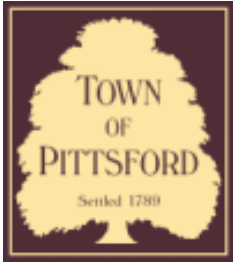
A4.1



3077







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000086

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 23 & 25 Skylight Trail Pittsford, NY 14534

Tax ID Number: 192.06-1-18, 192.06-1-17

Zoning District:

Owner: S&J Morrell Builders Inc.

Applicant: S&J Morrell Builders Inc.

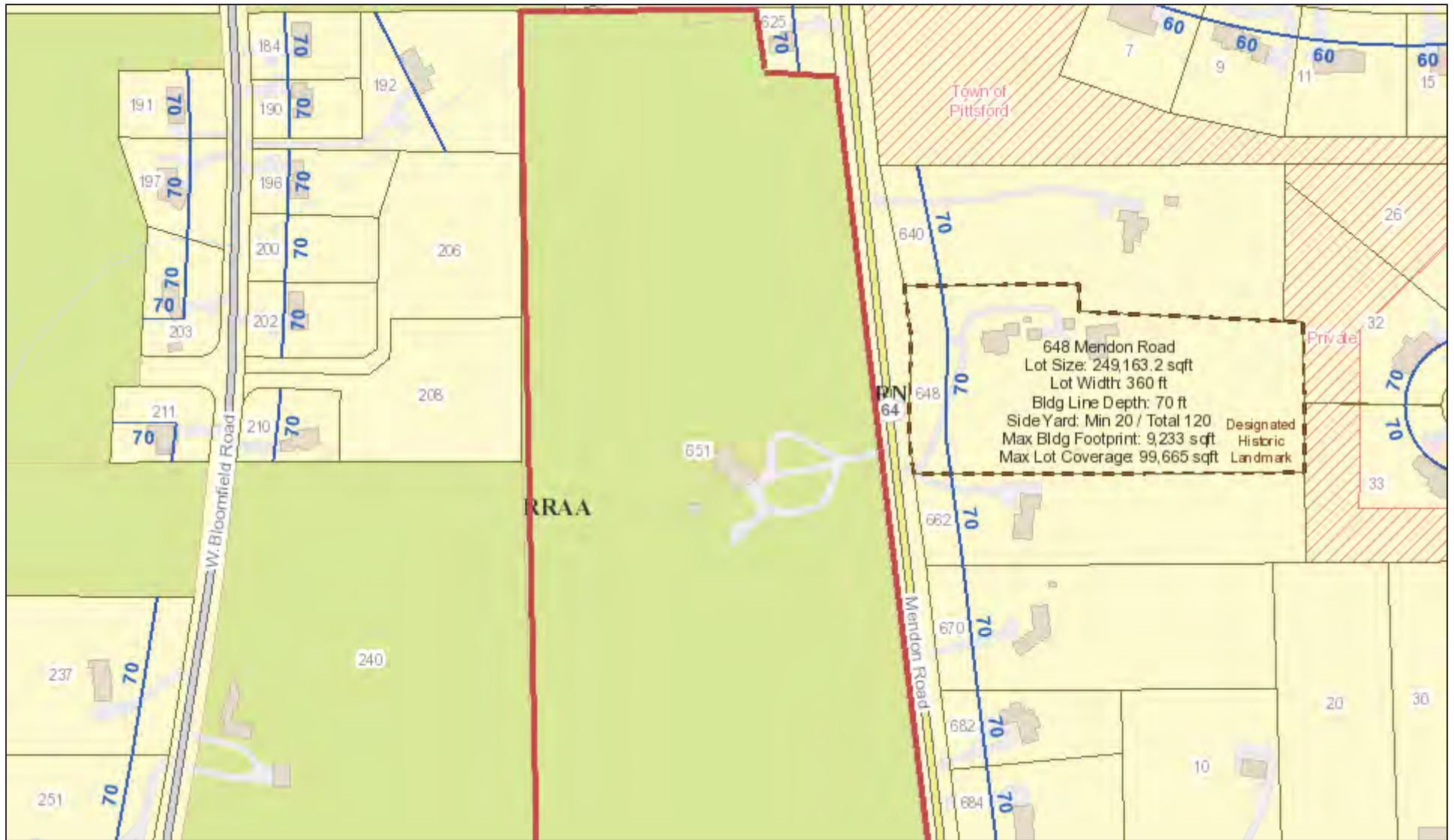
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

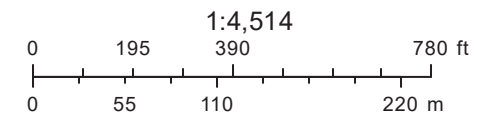
Project Description: Applicant is returning to request design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 40 (23 Skylight Trail) will be approximately 2013 sq. ft. and Lot 39 (25 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: July 23, 2020

RN Residential Neighborhood Zoning



Printed October 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



X= Proposed **X= Built**



⊗ = Side Load Garage

J / #!\$ aXTg[V[Y ZSeefa` W

Color

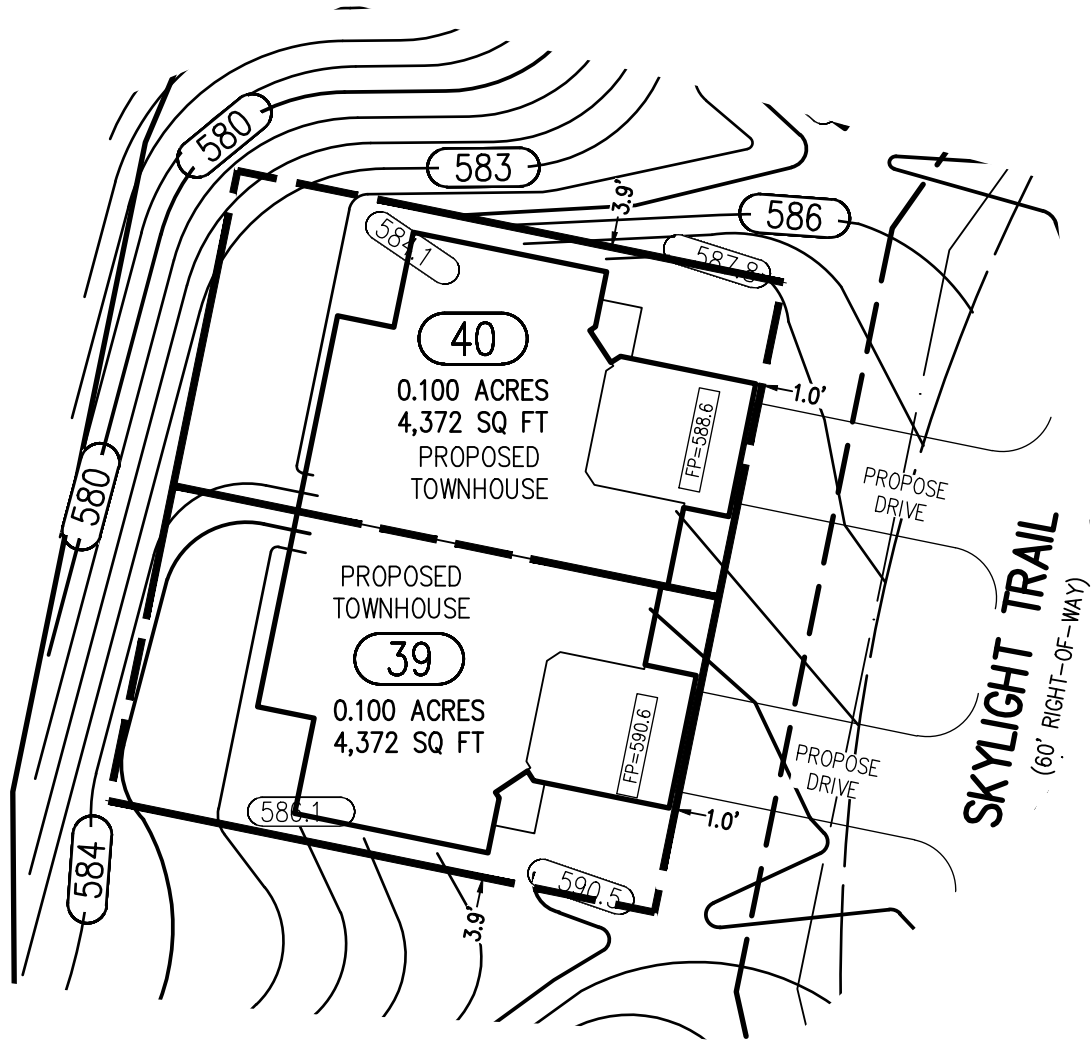
Building Step

	Cobblestone	Light Mist	Navajo Beige	Khaki Brown	Booth Bay Blue
Color	⊗	⊗	⊗	⊗	⊗
Building Step	⊗				

"X" MARKS LOCATION OF LOTS 39 & 40



PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," PREPARED BY DOUGLAS W. MAGDE, L.S. HAVING DRAWING NUMBER SV1.0 AND LAST REVISED JUNE 27, 2019.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
 FRONT 0' (LOT) 25' (R.O.W.)
 SIDE 0'
 REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2), PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 27, 2019.

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS." THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE." BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY, OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.
 COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW.

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 PHONE 585-377-7360
 FAX 585-377-7309

COPYRIGHT ©2020
 BME Associates

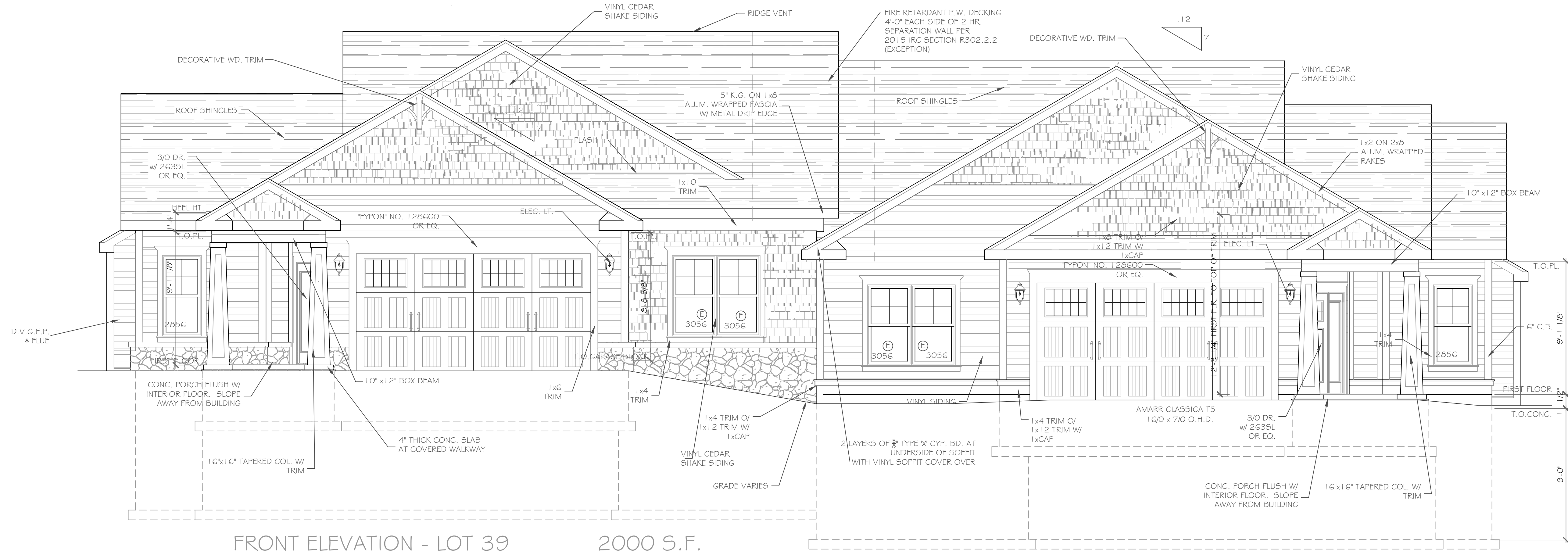
**LOTS 39 & 40 ALPINE RIDGE SUBDIVISION SECTION 1
 TOWN OF PITTSFORD MONROE COUNTY NEW YORK**



DRAWN BY: GDB
 DATE: 7-2-20

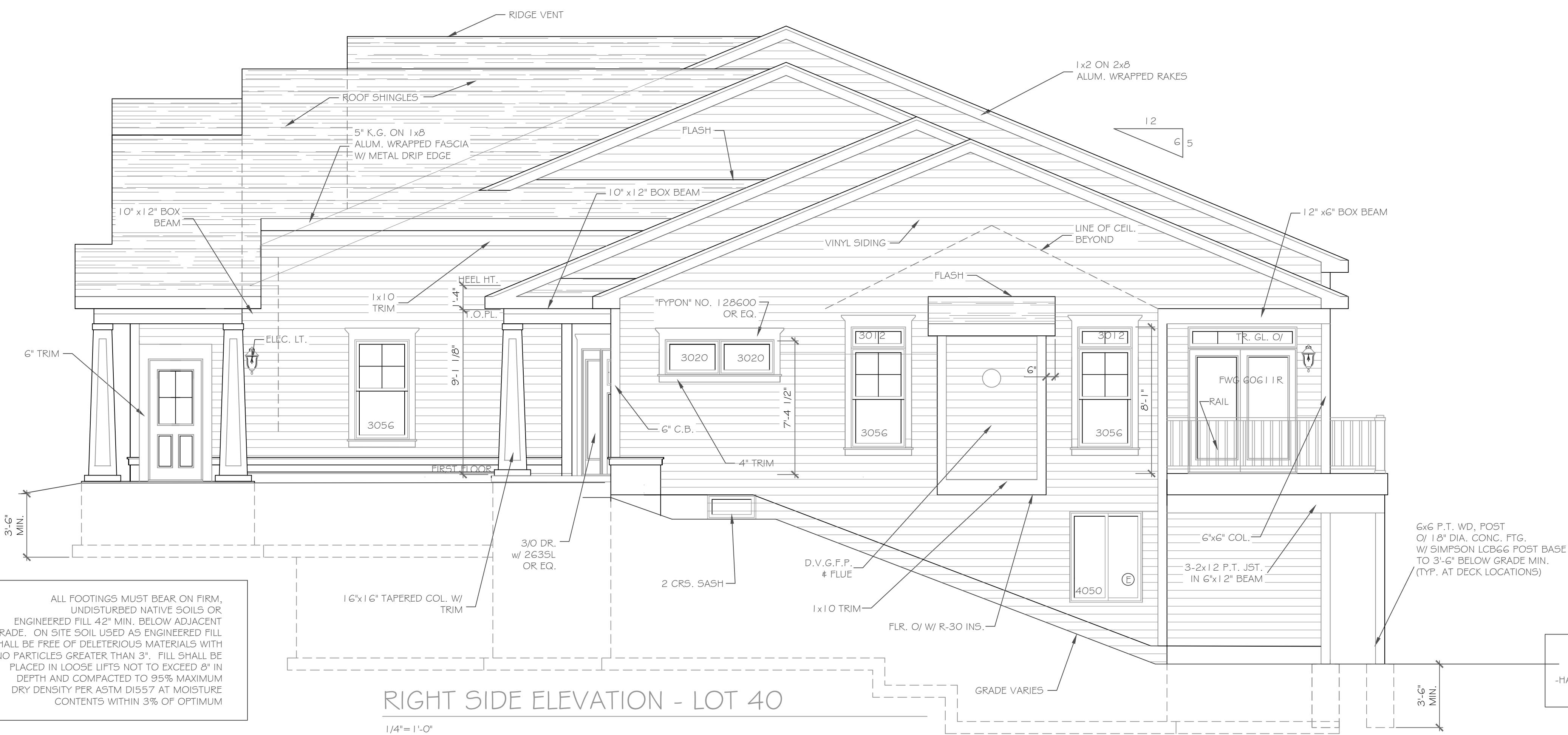
SCALE: 1"=30'
 DWG NO: 2688-04





FRONT ELEVATION - LOT 39 2000 S.F.

FRONT ELEVATION - LOT 40 2013 S.F.



RIGHT SIDE ELEVATION - LOT 40

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 4" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

COPYRIGHT NOTICE:
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. Unauthorised alterations to these plans is a violation of law. Section 7209 Article 145.
CKH Architecture, P.A.
Copyright ©
All rights reserved.

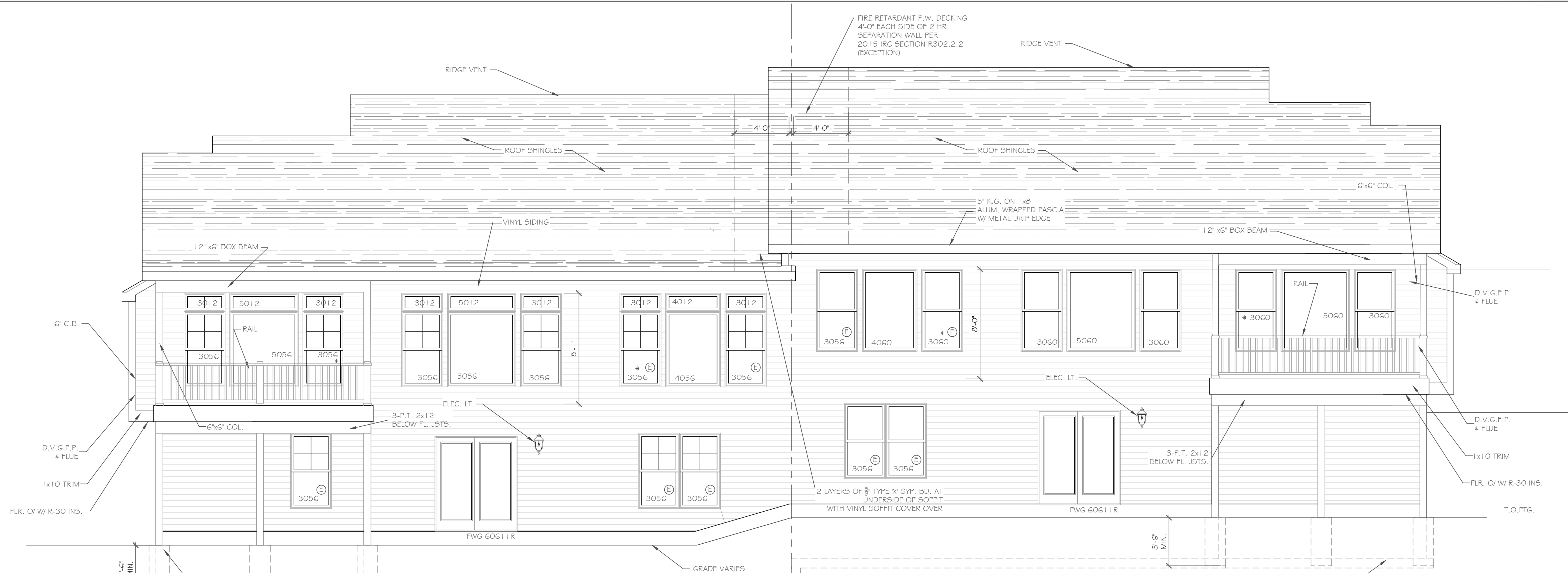
NO.	DATE	DESCRIPTION

PROJECT:	Alpine Ridge - Units 39 & 40
CLIENT:	Morrell Builders
PHASE:	Construction Documents
DATE:	July 2020

DRAWING TITLE:	Elevations
JOB NO.:	A20-021
DATE:	July 2020

CKH
architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKHennessey@frontiernet.net

DRAWING NO.:	A-1
--------------	-----

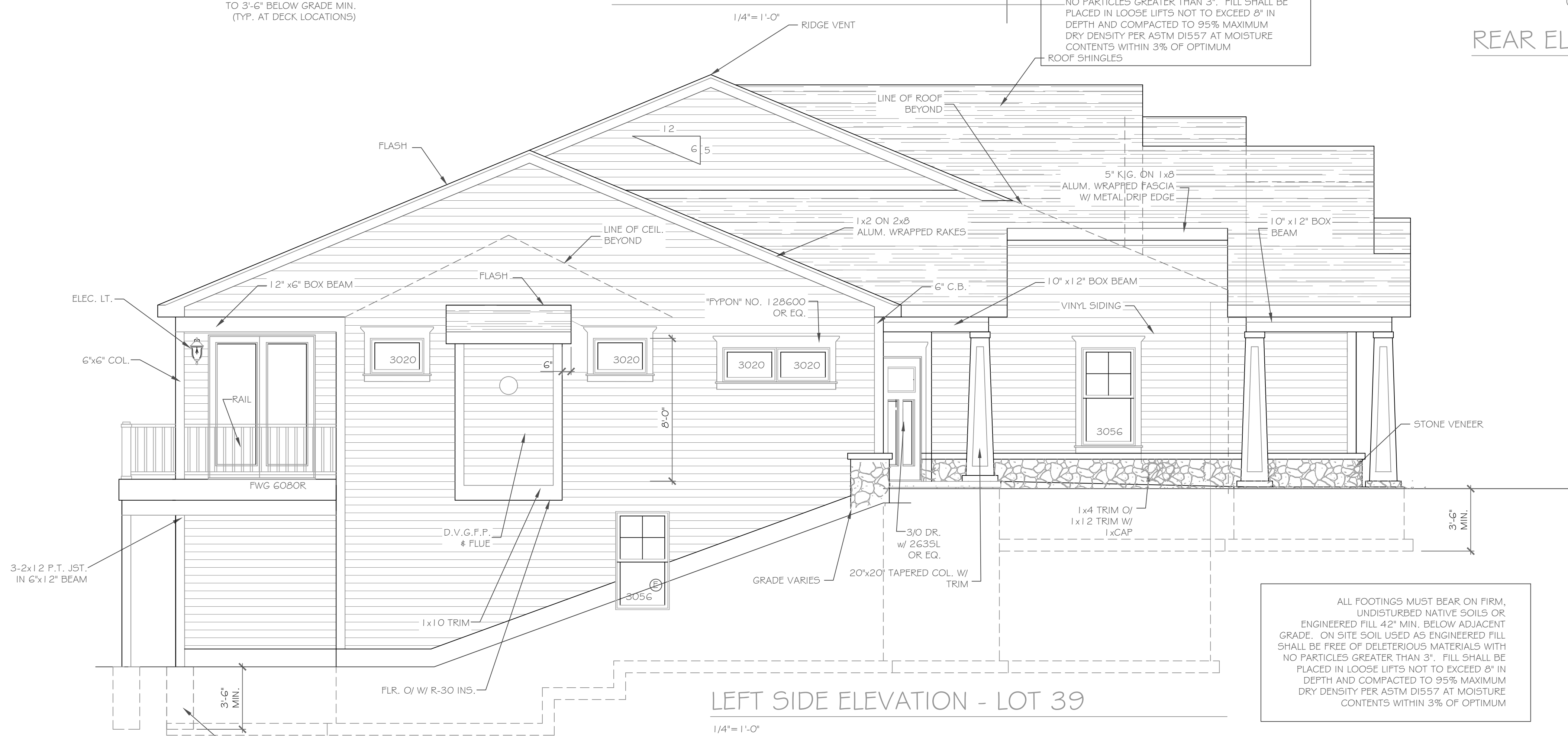


REAR ELEVATION - LOT 40

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REAR ELEVATION - LOT 39

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1



LEFT SIDE ELEVATION - LOT 39

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

COPYRIGHT NOTICE:
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. These plans are a violation of the Copyright Act of 1976, Section 107, Article 145.
CKH Architecture, P.A.
Copyright ©
All rights reserved.

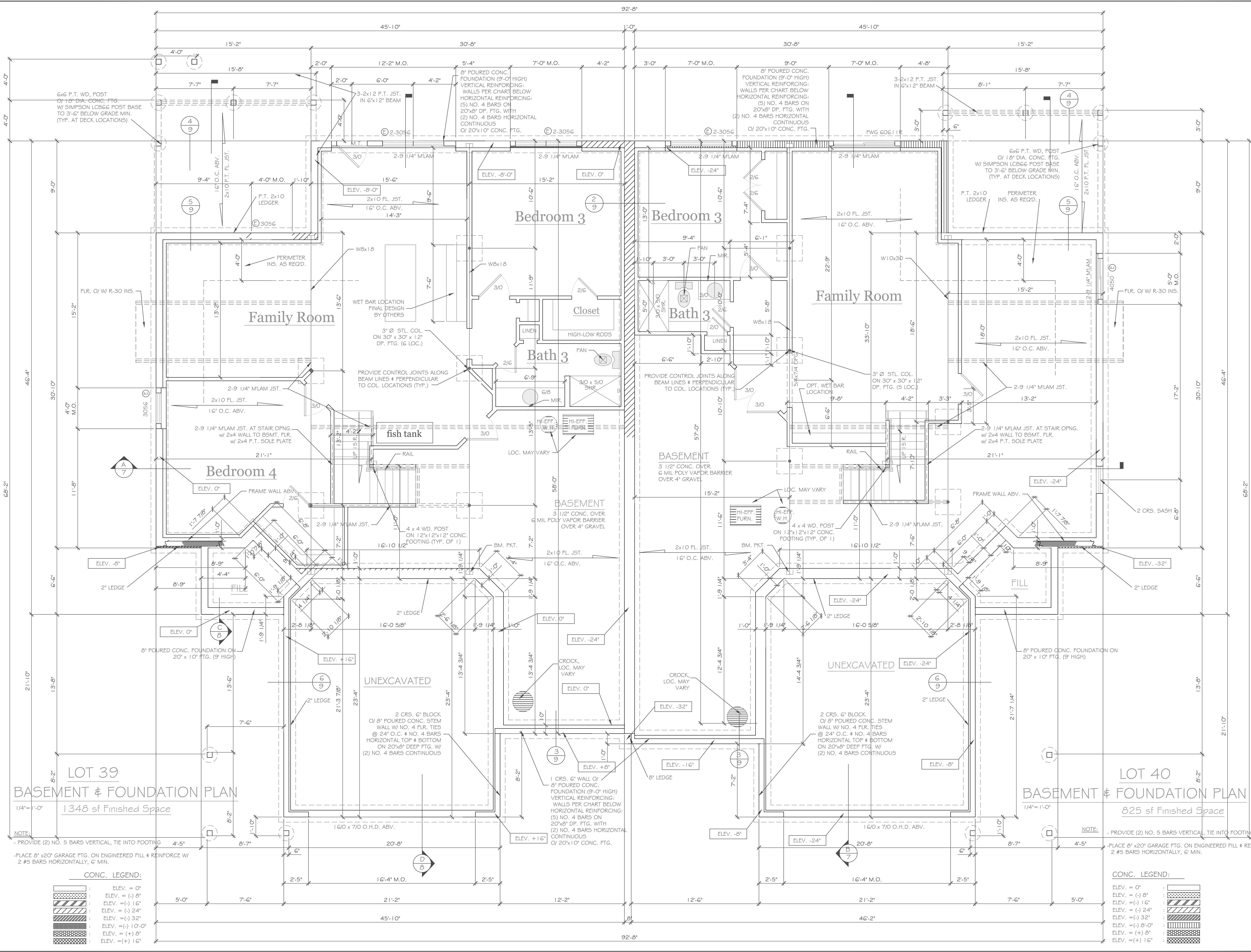
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE - Elevations	PHASE - Construction Documents

PROJECT - Alpine Ridge - Units 39 & 40 Pittsford, New York	CLIENT - Morrell Builders
JOB NO - A20-021	DATE - July 2020

CKH
architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone-(585) 249-1334
fax-(585) 249-1333
email-CKHennessey@frontier.net

DRAWING NO. - A-2



NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Symbol]	ELEV. = 0"
[Symbol]	ELEV. = (-) 8"
[Symbol]	ELEV. = (-) 16"
[Symbol]	ELEV. = (-) 24"
[Symbol]	ELEV. = (-) 32"
[Symbol]	ELEV. = (-) 10'-0"
[Symbol]	ELEV. = (+) 8"
[Symbol]	ELEV. = (+) 16"

CONC. LEGEND:

[Symbol]	ELEV. = 0"
[Symbol]	ELEV. = (-) 8"
[Symbol]	ELEV. = (-) 16"
[Symbol]	ELEV. = (-) 24"
[Symbol]	ELEV. = (-) 32"
[Symbol]	ELEV. = (-) 8'-0"
[Symbol]	ELEV. = (+) 8"
[Symbol]	ELEV. = (+) 16"

COPYRIGHT NOTICE:
 These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. These plans are a violation of law if used for any other project. Section 7209, Article 145, Copyright © CKH Architecture, P.A. All rights reserved.

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
 Basement & Foundation Plan

PROJECT:
 Alpine Ridge - Units 39 & 40
 Pittsford, New York

CLIENT:
 Morrell Builders

PHASE:
 Construction Documents

DATE:
 July 2020

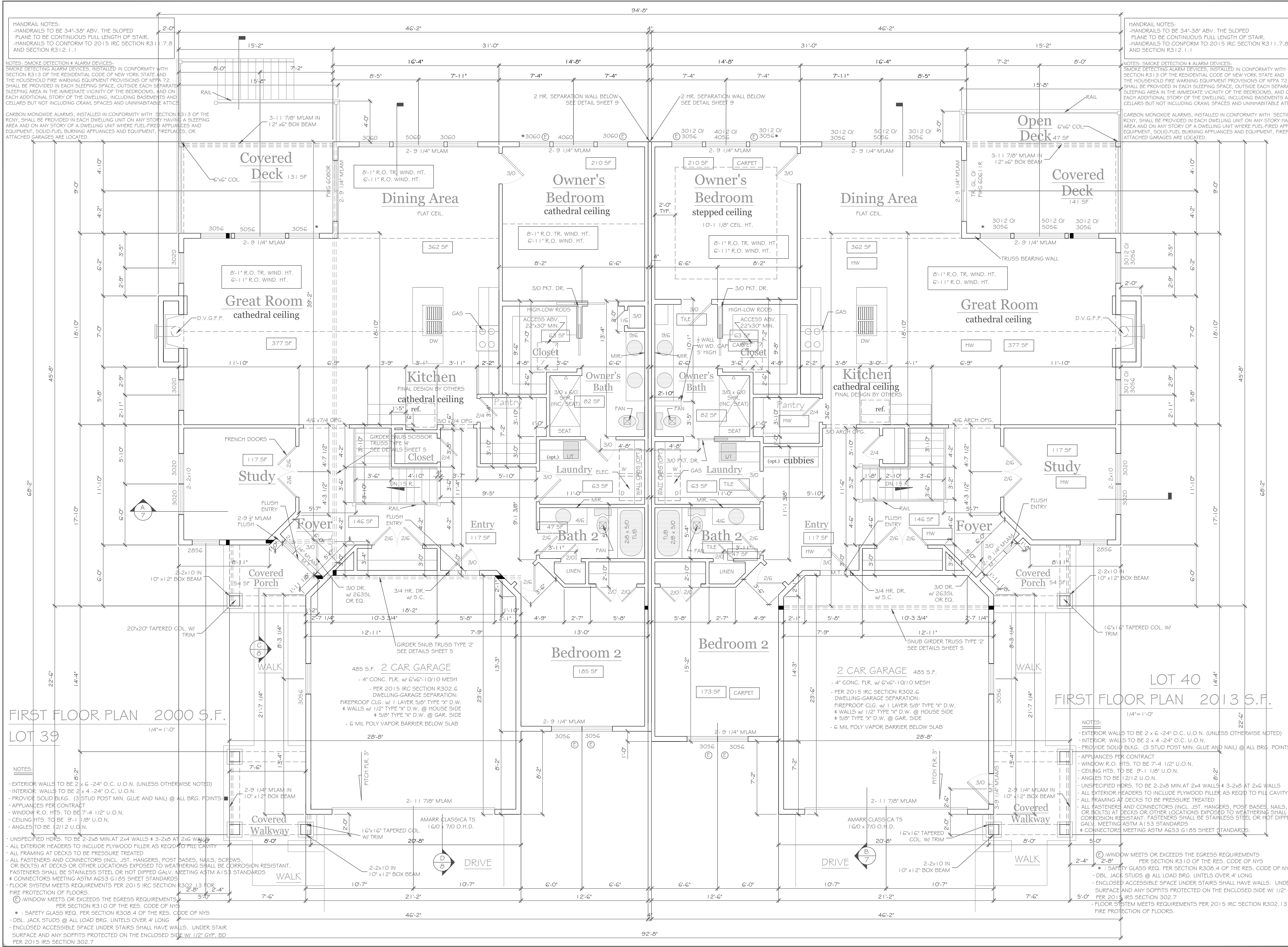
JOB NO.:
 A20-021

LOT 39
 BASEMENT & FOUNDATION PLAN
 1348 sf Finished Space

LOT 40
 BASEMENT & FOUNDATION PLAN
 825 sf Finished Space

CKH
 architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 email: CKH@ckharch.com

DRAWING NO.:
 A-3



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.6 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.6 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

FIRST FLOOR PLAN 2000 S.F.

LOT 39

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 1/2" U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQD TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
- CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2015 IRS SECTION 302.7

FIRST FLOOR PLAN 2013 S.F.

LOT 40

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 1/2" U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQD TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
- CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2015 IRS SECTION 302.7
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.

COPYRIGHT NOTICE:
 These plans are instruments of service and may not be altered, reproduced, or copied without the express written consent of CKH Architecture, P.A. UnAUTHORIZED alterations to these plans is a violation of the Copyright Act of 1976, Section 7209 Article 145.

CKH Architecture, P.A.
 Copyright ©
 All rights reserved.

NO.	DATE	DESCRIPTION

PROJECT: Alpine Ridge - Units 39 & 40
Pittsford, New York

CLIENT: Morrell Builders

DRAWING TITLE: First Floor Plan

PHASE: Construction Documents

DATE: July 2020

JOB NO.: A20-021

CKH architecture

1501 Pittsford Victory Rd.
 Suite 100
 Victor, New York 14564

phone: (585) 249-1334
 fax: (585) 249-1333
 e-mail: CKH@ckharch.com

DRAWING NO.: A-4

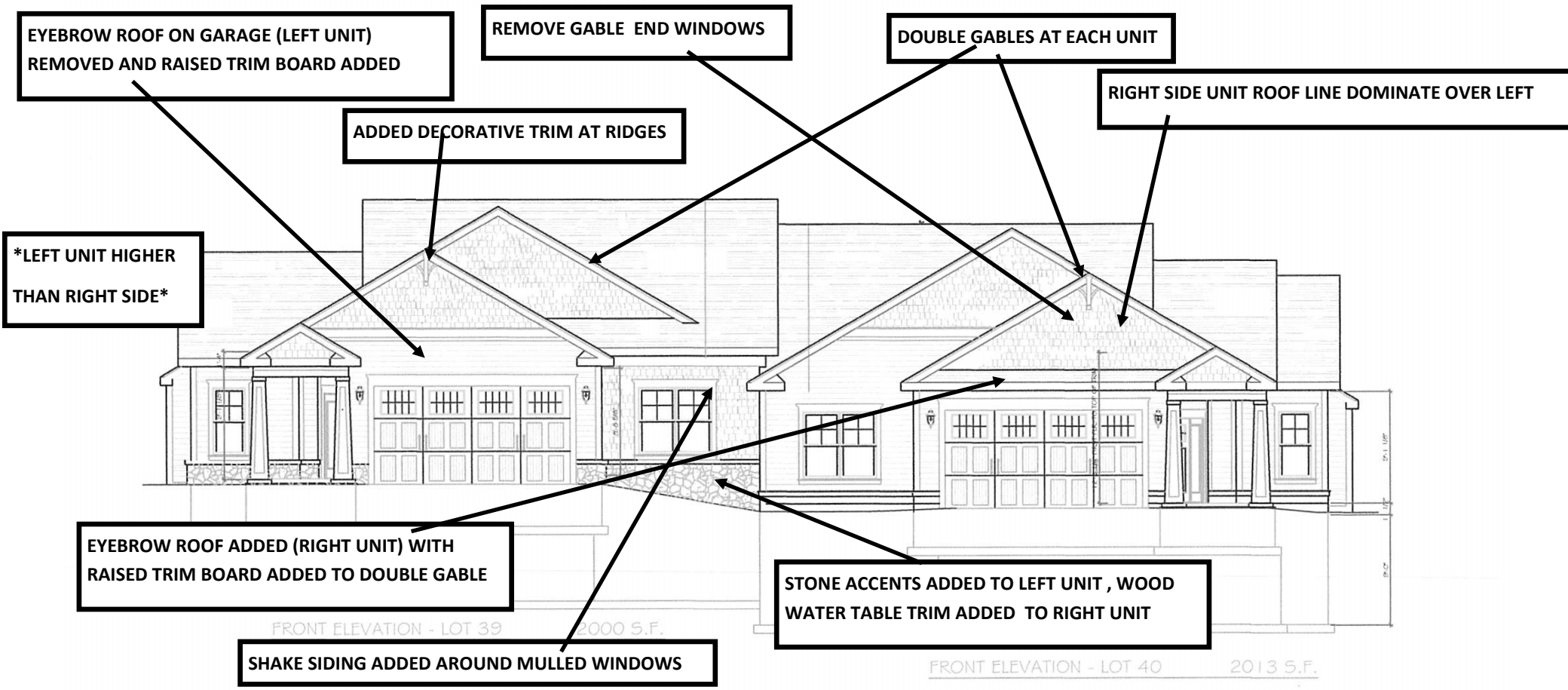
This rendering used to show color only.



THIS RENDERING USED TO SHOW GARAGE ORIENTATION ONLY



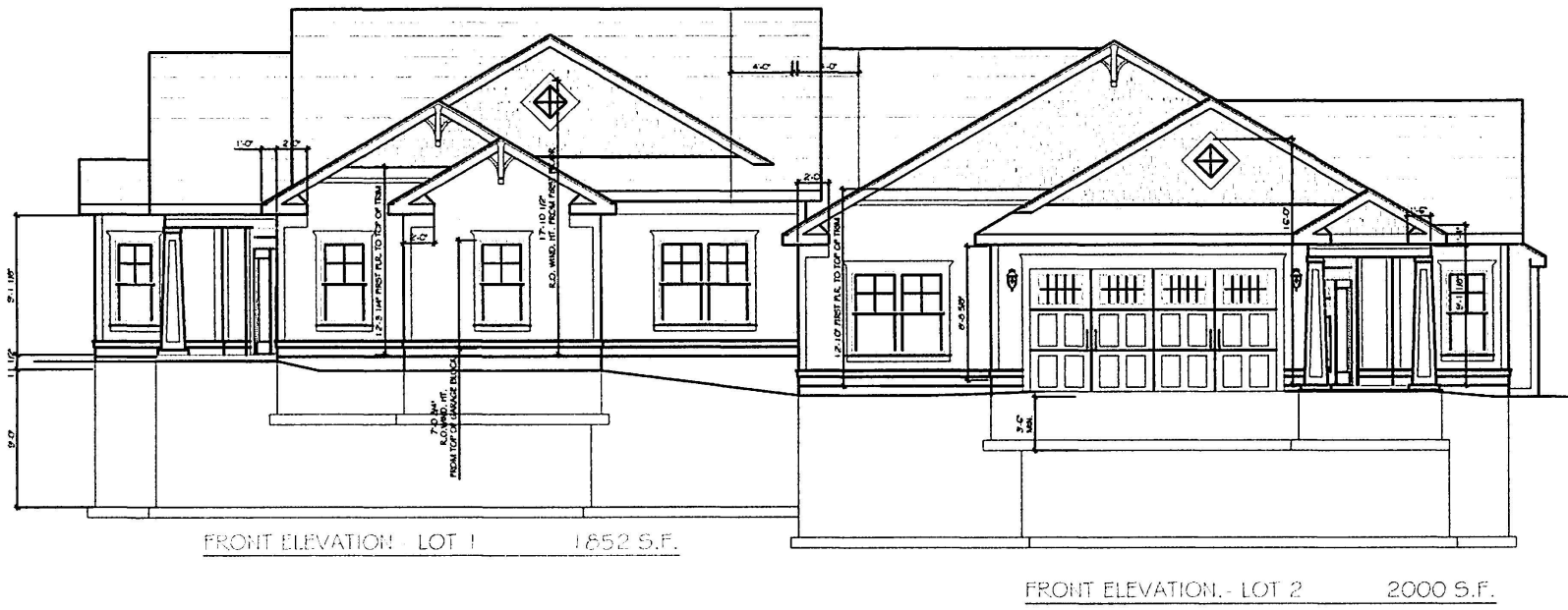
DIFFERENCES BETWEEN PROPOSED AND APPROVED UNITS



Front Elevation # 2

CONSTRUCTED

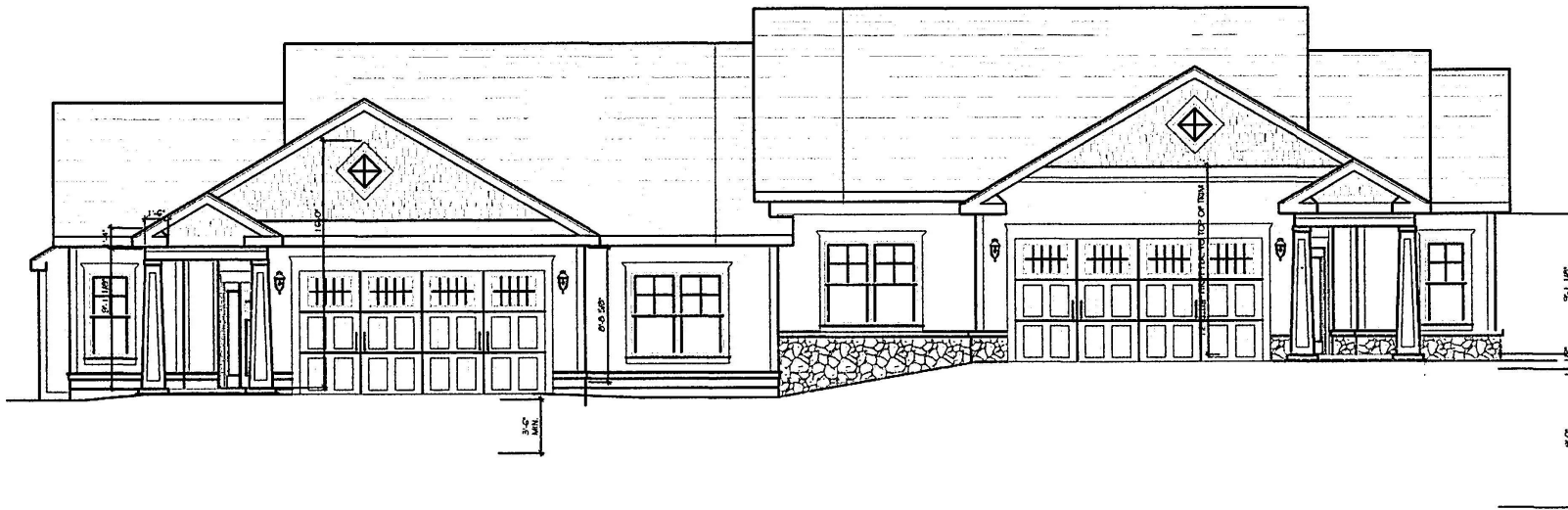
4&6 Skylight Trail



Front Elevation # 1

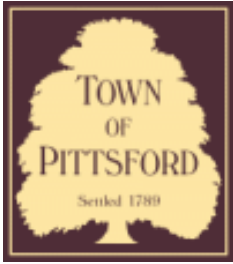
APPROVED & UNDER CONSTRUCTION

9&11 Skylight Trail



FRONT ELEVATION - LOT 46 1,987 S.F.

FRONT ELEVATION - LOT 45 2,000 S.F.



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000095

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 40 Skylight Trail Pittsford, NY 14534

Tax ID Number: 192.06-1-99

Zoning District:

Owner: S & J Morrell Builders

Applicant: S & J Morrell Builders

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a community building. The building will be approximately 820 sq. ft. and will be located in the Alpine Ridge Subdivision.

Meeting Date: July 23, 2020



oomfield Road

Bromsgrove Hill

Epping Wood Trail

Bromsgrove Hill

Mendon Road

Van Voorhis Road

Van Voorhis Road

Fawn Run

Pine Vista

Nature View

Driveway

Me

611

625

640

648

662

670

682

684

707

184

190

192

191

197

196

200

206

203

202

208

211

210

237

240

251

260

44

46

48

50

52

40

41

47

49

51

2

7

9

11

15

17

18

19

21

20

10

16

32

26

20

14

33

27

21

15

6

20

30

40

50

2

60

1

9

19

29

39

49

59

X= Proposed



⊗ = Side Load Garage

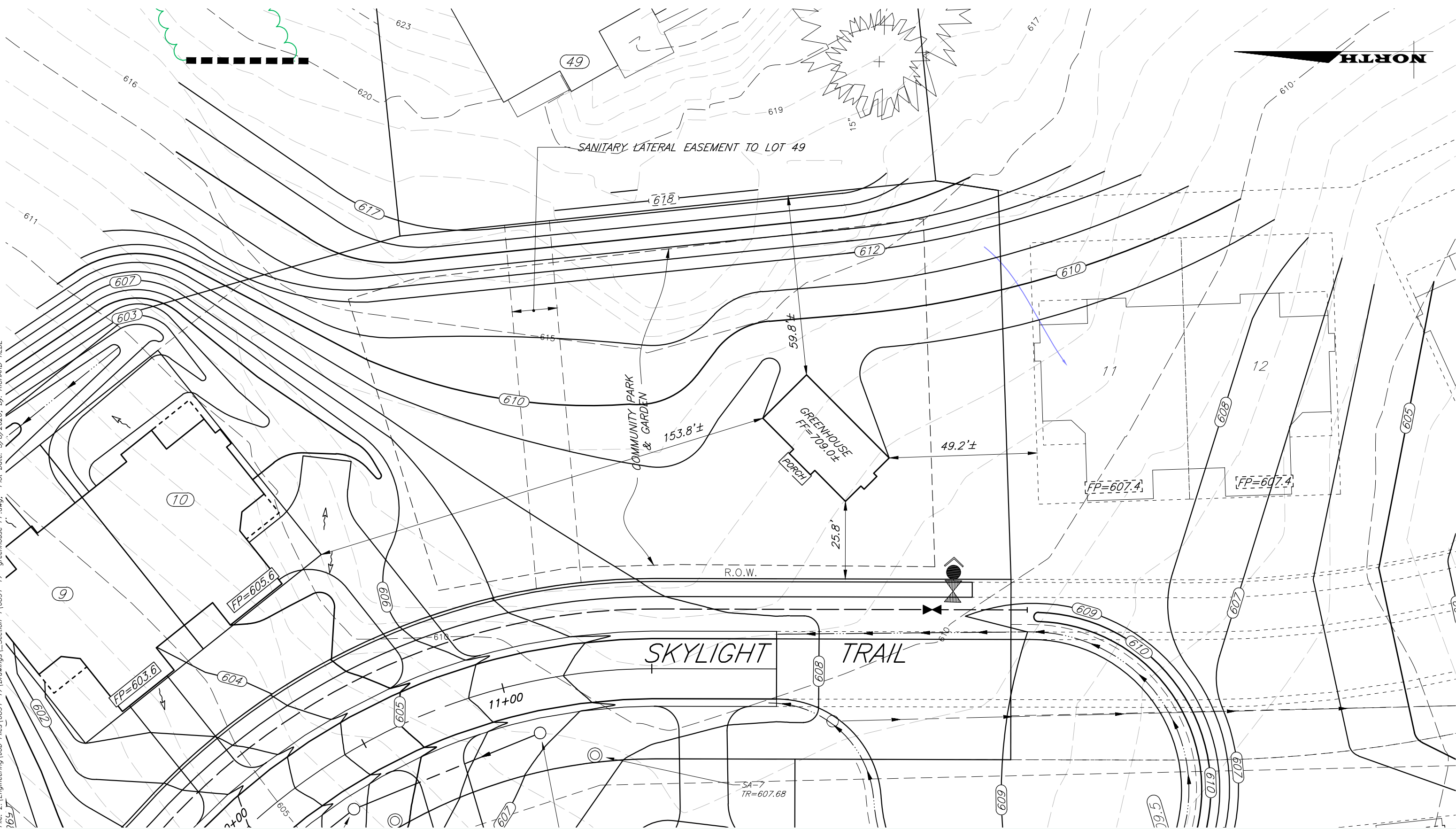
J / #!\$ aXTg[V[Y ZSeefa` W

Color

Building Step

	Cobblestone	Light Mist	Navajo Beige	Khaki Brown	Booth Bay Blue
Color	⊗	⊗	⊗	⊗	⊗
Building Step	⊗				

File: Z:\Engineering\Job Files\0891-17\Drawings\Section 1\0891-17 greenhouse FP.dwg, Plot Date: 5/18/2020, By: RICHARD TIEDE



JOB NO: 0891-18
 SCALE: 1" = 30'
 DRAWN: RJT
 DESIGNED: RJT
 DATE: 5/8/20

SETBACK	REQUIRED	PROVIDED
FRONT	25'	25.8'

TITLE: **PLOT PLAN - HOA GREENHOUSE**

ALPINE RIDGE - SECTION 1

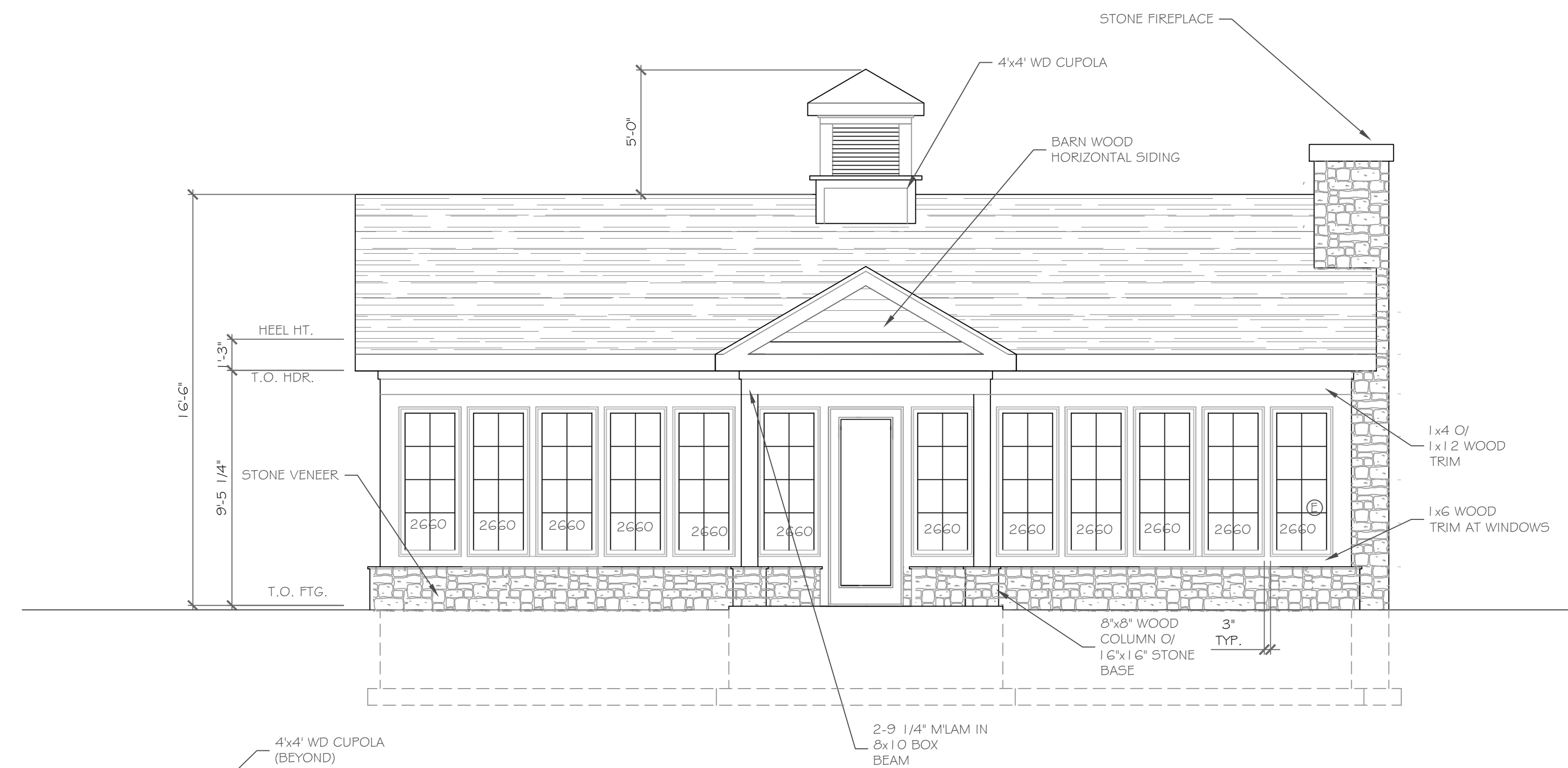
TOWN OF PITTSFORD MONROE COUNTY NEW YORK



DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

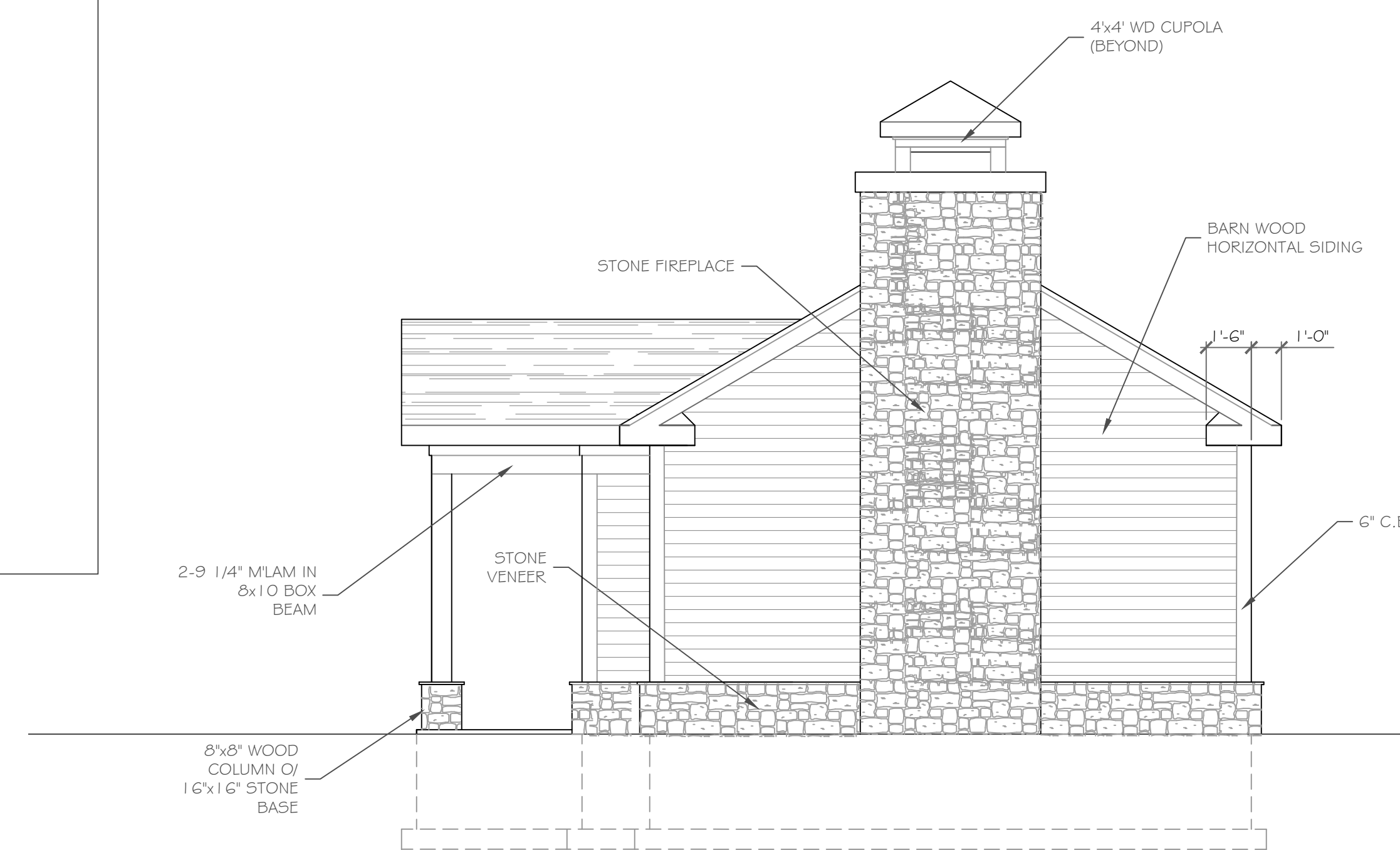


Front Elevation

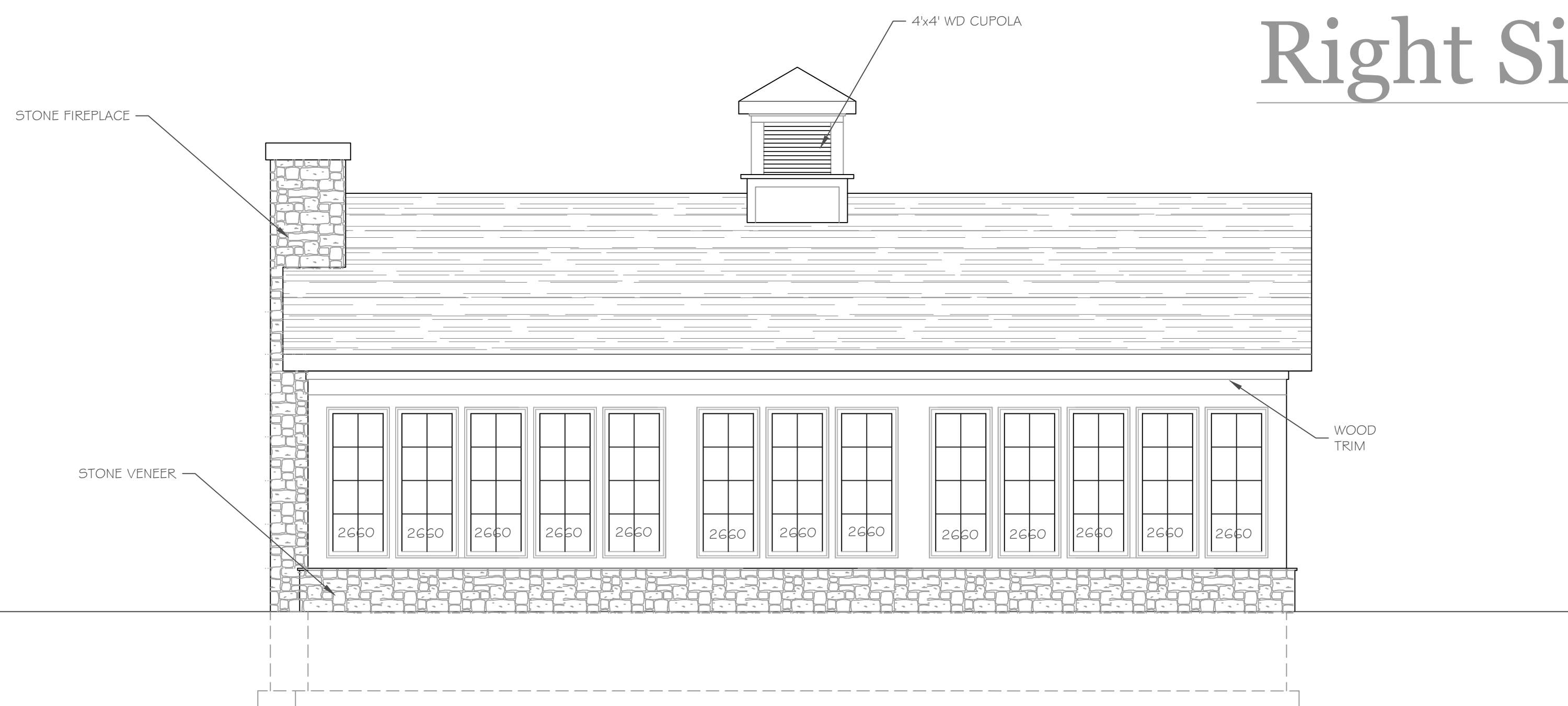
1/4" = 1'-0"

820 square feet

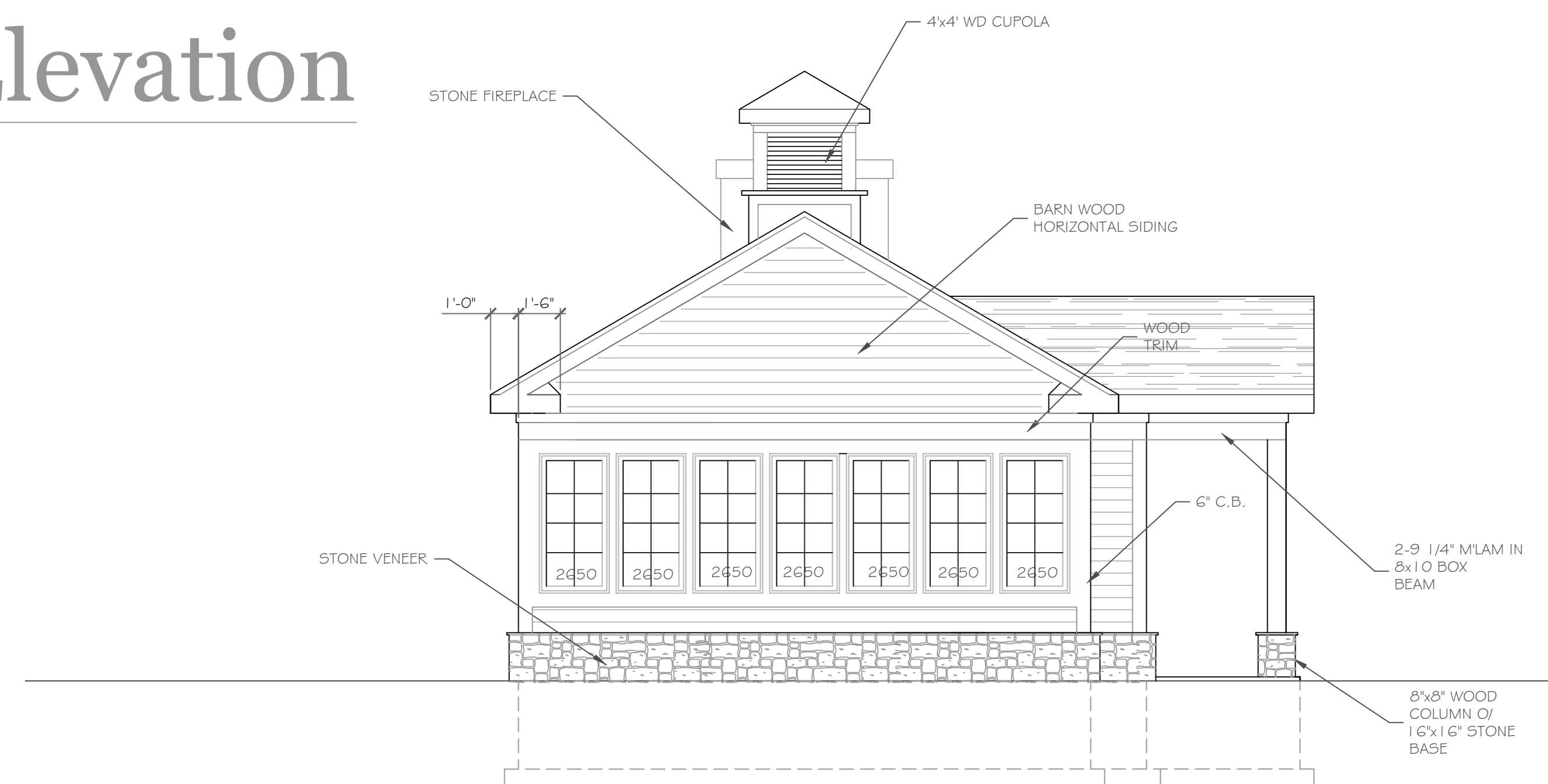
- NOTE:
- WINDOWS TO BE "WD 210 SERIES" CASEMENT, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



Right Side Elevation



Rear Elevation



Left Side Elevation

COPYRIGHT NOTICE:
These plans are instruments of service and may not be altered, reproduced, or copied without the express written consent of CKH Architecture, P.A. Any unauthorized alterations to these plans is a violation of the contract and may constitute a violation of Section 7209 Article 145, Chapter 145, Title 14, of the Pennsylvania Code.
CKH Architecture, P.A.
Copyright ©
All rights reserved.

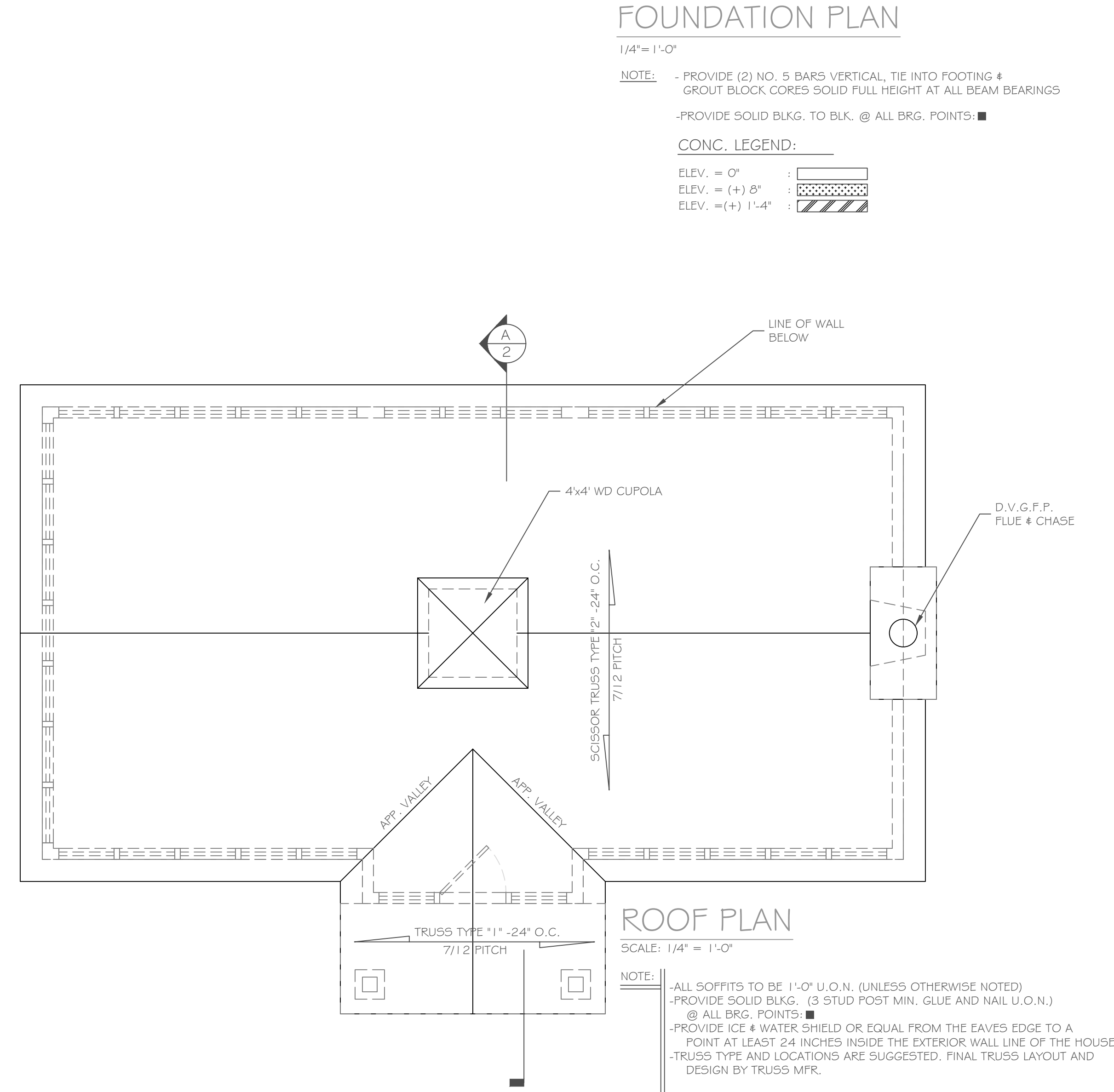
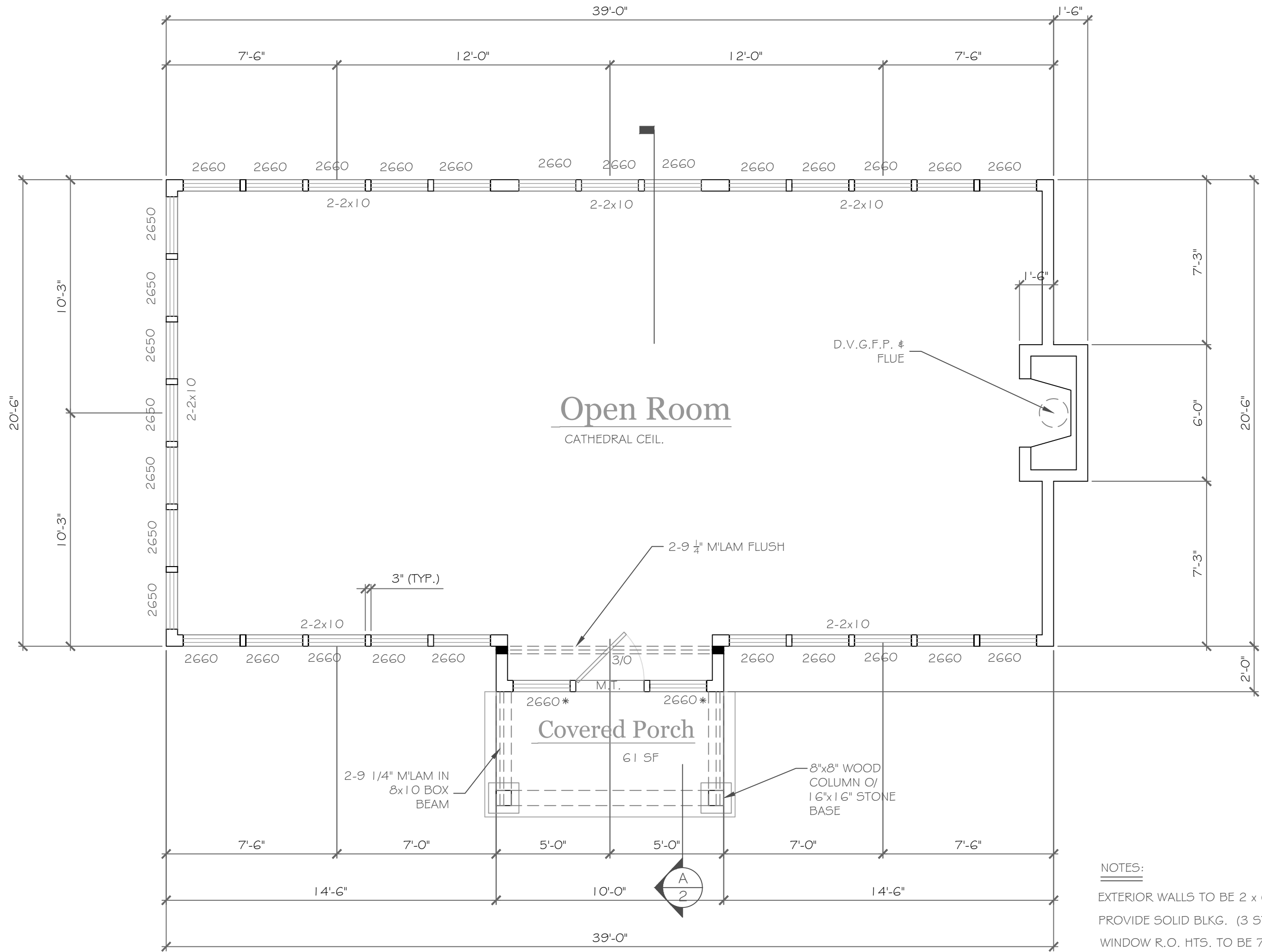
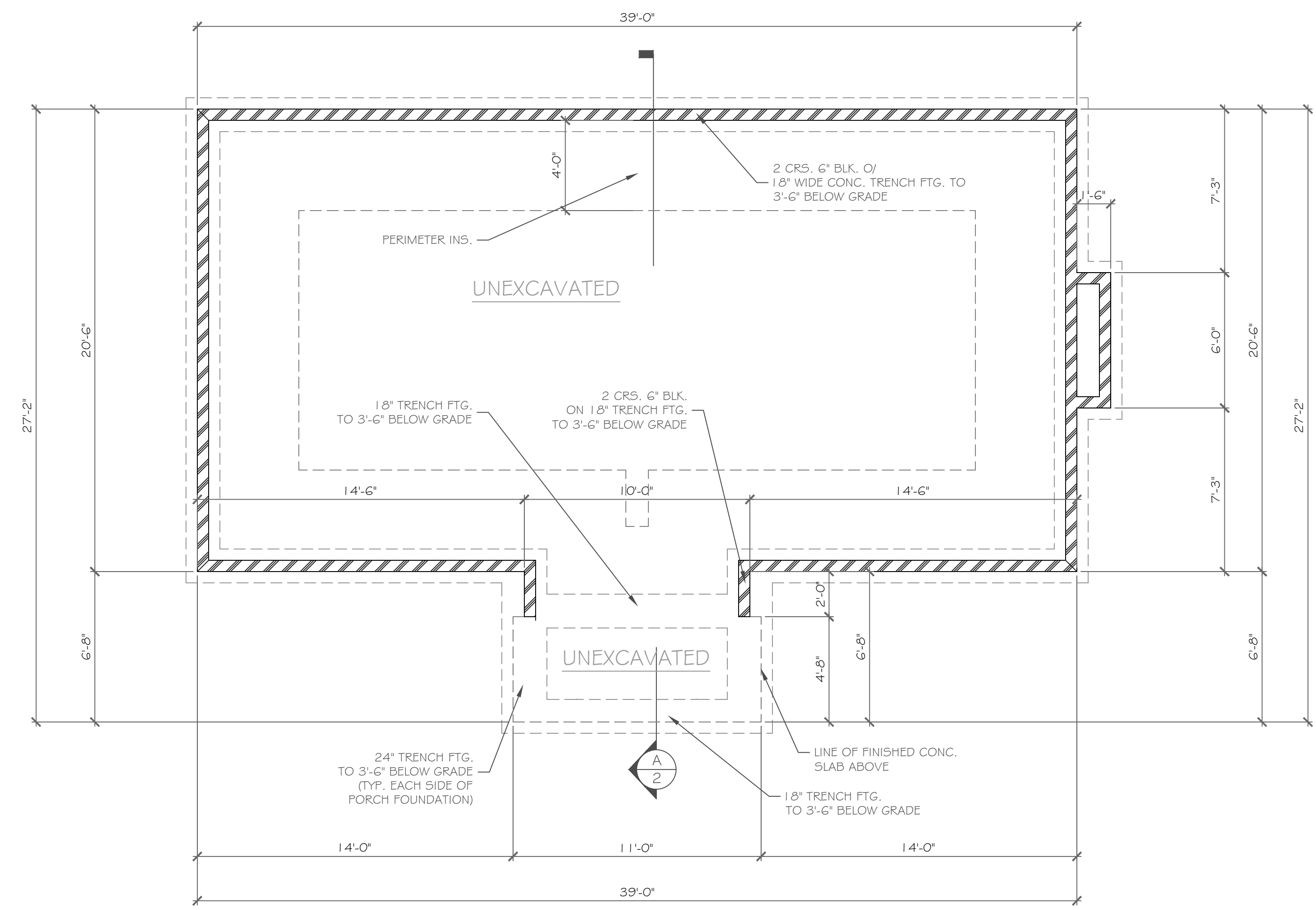
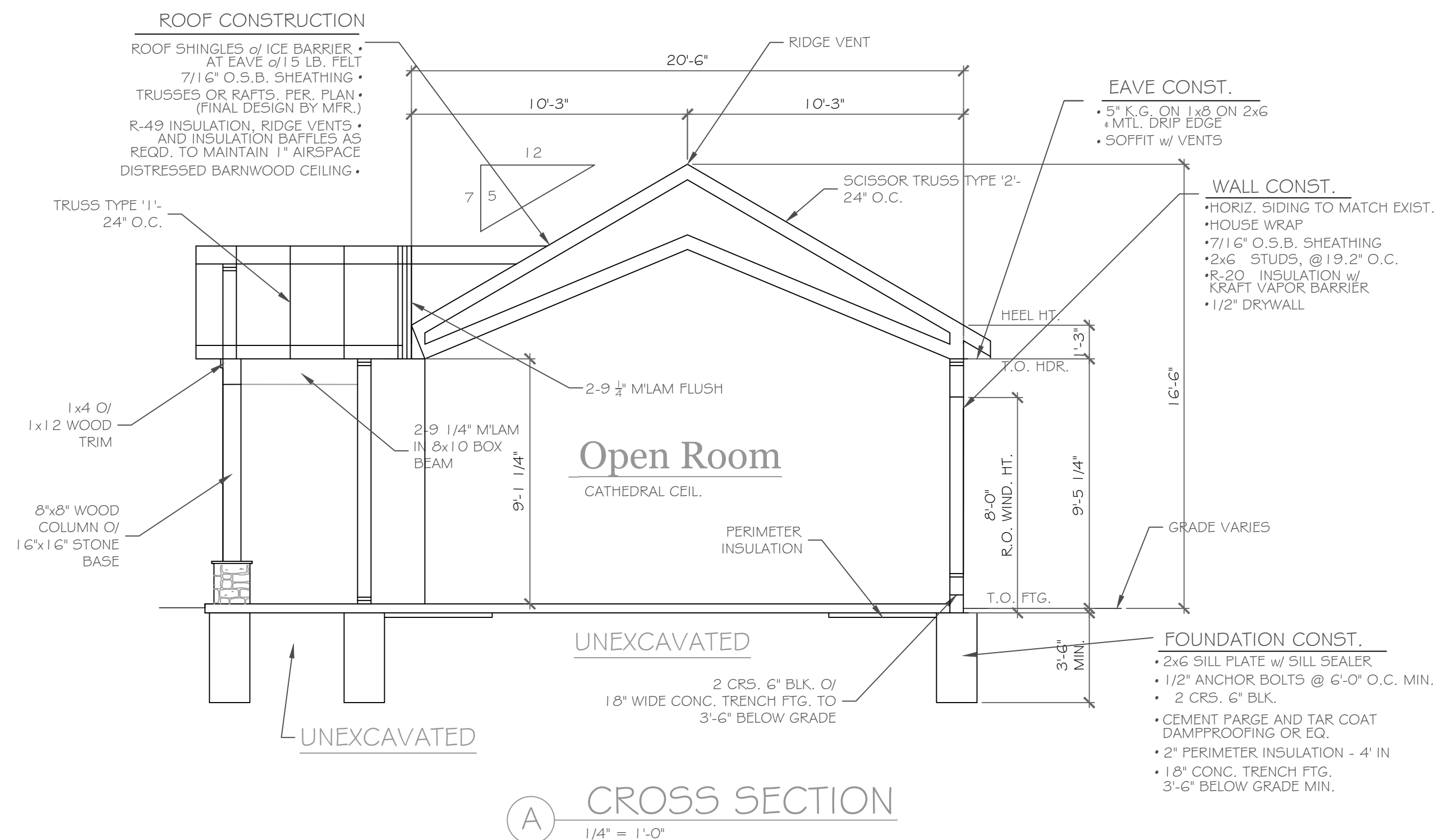
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	PHASE-
Elevations & Notes	Construction Documents

PROJECT-	CLIENT-	JOB NO.-	DATE-
Alpine Ridge Greenhouse Pittsford, N.Y.	Morrell Builders	A 18-004	May 2020

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York, 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKH@ckhpa.com

DRAWING NO.-
A-1



First Floor Plan

820 square feet

COPYRIGHT NOTICE:
 These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. Any unauthorized alterations to these plans is a violation of the Professional Service Agreement, Section 7.209 Article 1.45. CKH Architecture, P.A. Copyright © All rights reserved.

REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
 Foundation Plan, First Floor Plan, Roof Plan & Section

PROJECT:
 Alpine Ridge Greenhouse
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 May 2020

PHASE:
 Construction Documents

JOB NO.:
 A18-004

PROJECT:
 Alpine Ridge Greenhouse
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 May 2020

PHASE:
 Construction Documents

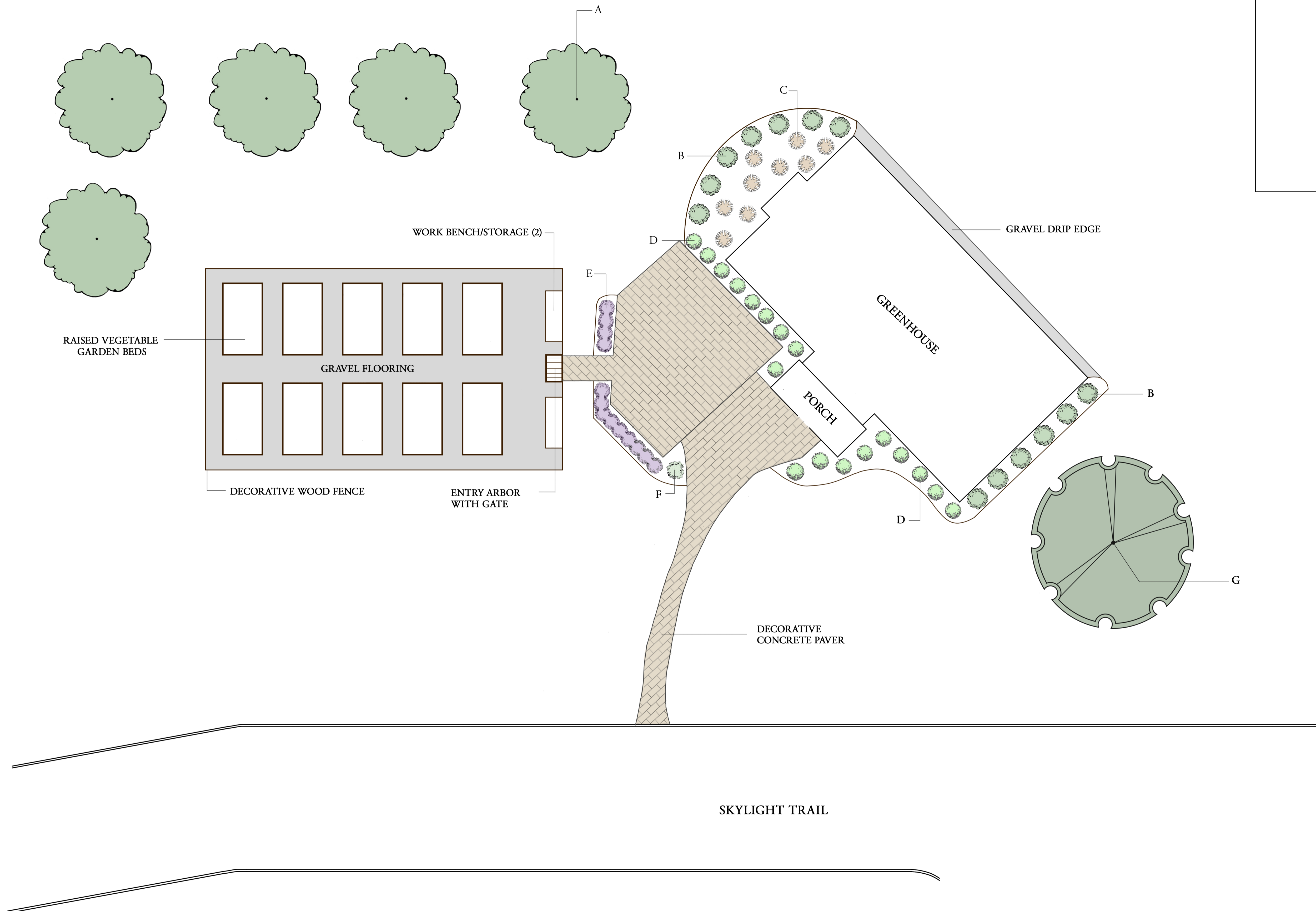
JOB NO.:
 A18-004

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 email: CKH@ckhny.com

DRAWING NO.:
 A-2

PLANT KEY

- A. (5) 1.5" APPLE TREES
- B. (13) 18-25" BOXWOOD 'WINTER GEM'
- C. (9) #3 KARL FOERSTER GRASS
- D. (18) 15-18" POTENTILLA 'MCKAY'S WHITE'
- E. (15) #1 LAVENDER
- F. (1) 15-18" OAKLEAF HYDRANGEA
- G. (1) 3" SCARLET OAK

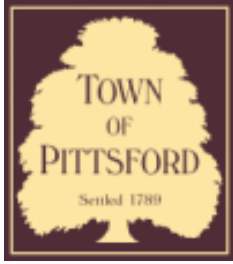


HOA GREENHOUSE - LANDSCAPE PLAN

ALPINE RIDGE

VAN PUTTE LANDSCAPE

6/24/2020



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA20-000113

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 25 Parker Drive PITTSFORD, NY 14534

Tax ID Number: 164.10-2-67

Zoning District: RN Residential Neighborhood

Owner: Hamilton, Justin K

Applicant: Hamilton Stern

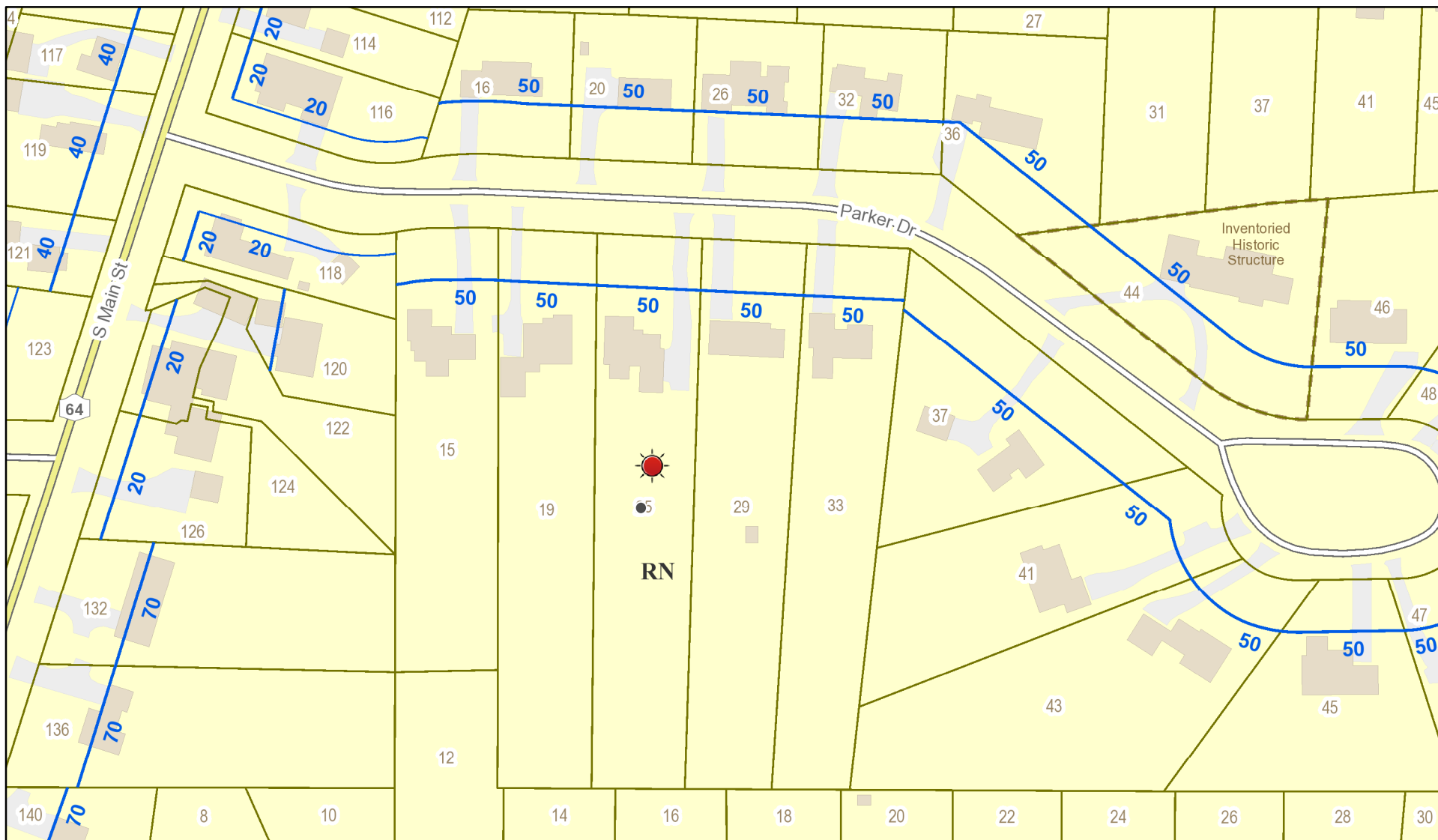
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

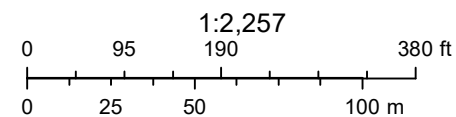
Project Description: The applicant is requesting Design Review for the Proposed construction of an addition and an oversized accessory structure. The proposed construction is a 2 story 1,007 Sq. Ft. addition and a 468 Sq. Ft. workshop/Storage structure. The addition will create living space and a new garage. The Zoning Board of Appeals has heard these applications on July 20, 2020.

Meeting Date: July 23, 2020

RN Residential Neighborhood Zoning

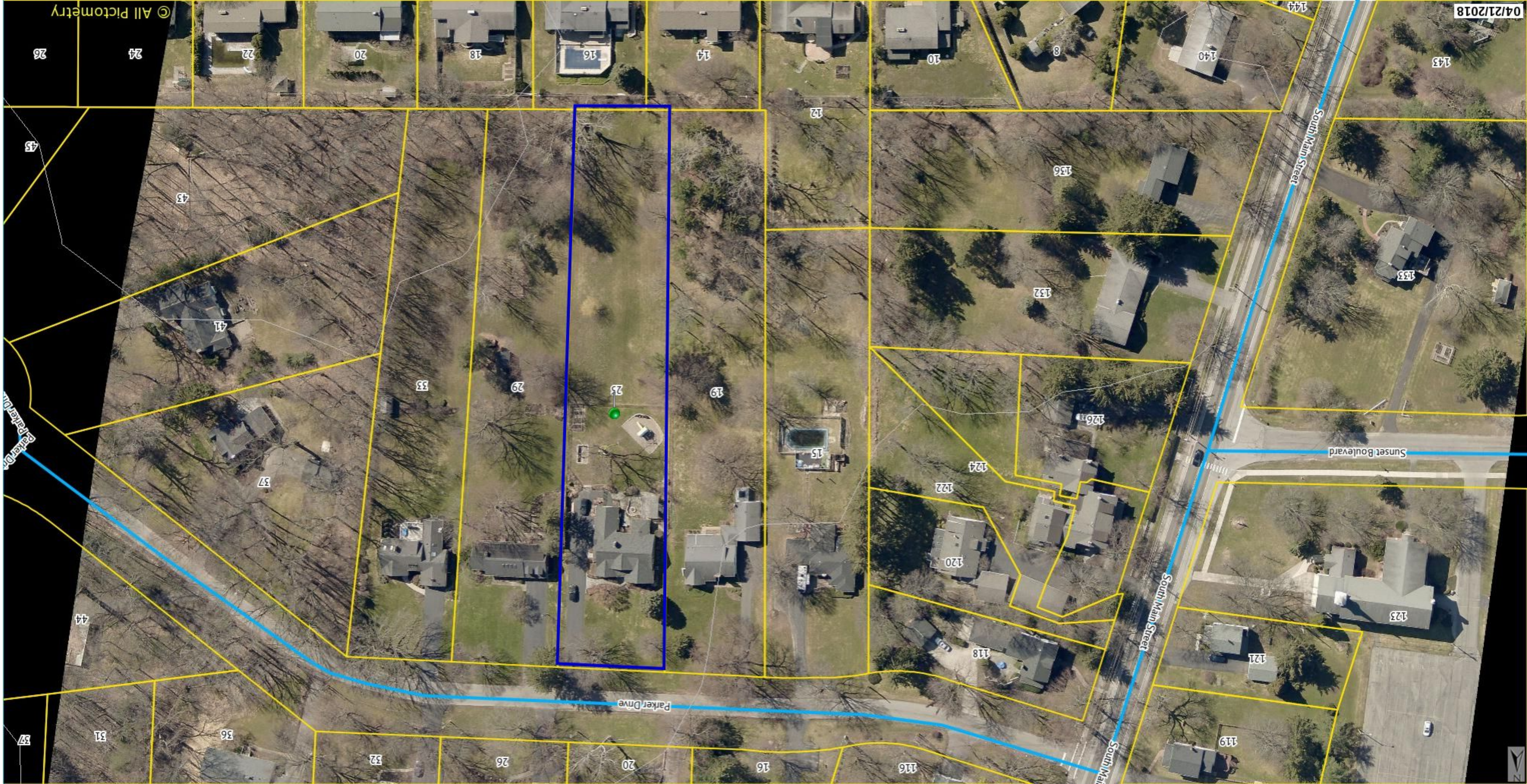


Printed June 19, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





PATRICK J. MORABITO
A.I.A.
ARCHITECT
P.C.

55 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.pjmarchitect.com

NOTICE:

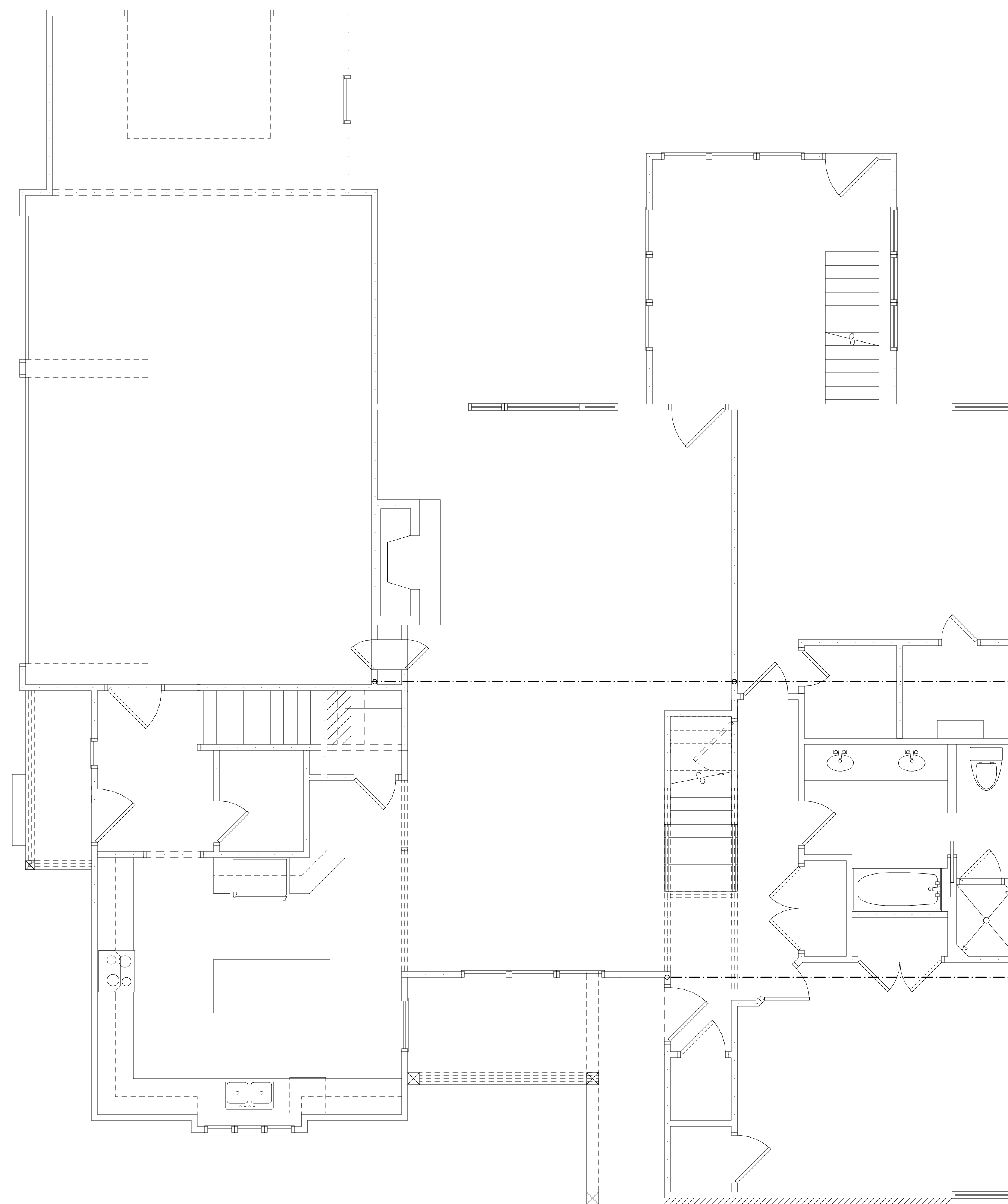
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



FIRST FLOOR PLAN/ EXISTING
 EXISTING AREA: 1596 SQ FT

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED
*NOTE: SAVE ALL DOORS / WINDOWS FOR POSSIBLE REUSE	

PROJECT:
 ADDITION TO
 HAMILTON RESIDENCE
 29 PARKER DRIVE

CLIENT:
 HAMILTON STERN
 BUILDERS

DRAWING:
 FIRST FLOOR PLAN
 EXISTING

DRAWN: MSM
CHECKED: PJM

DATE: MAY 2020

SCALE: 1/4"=1'-0"

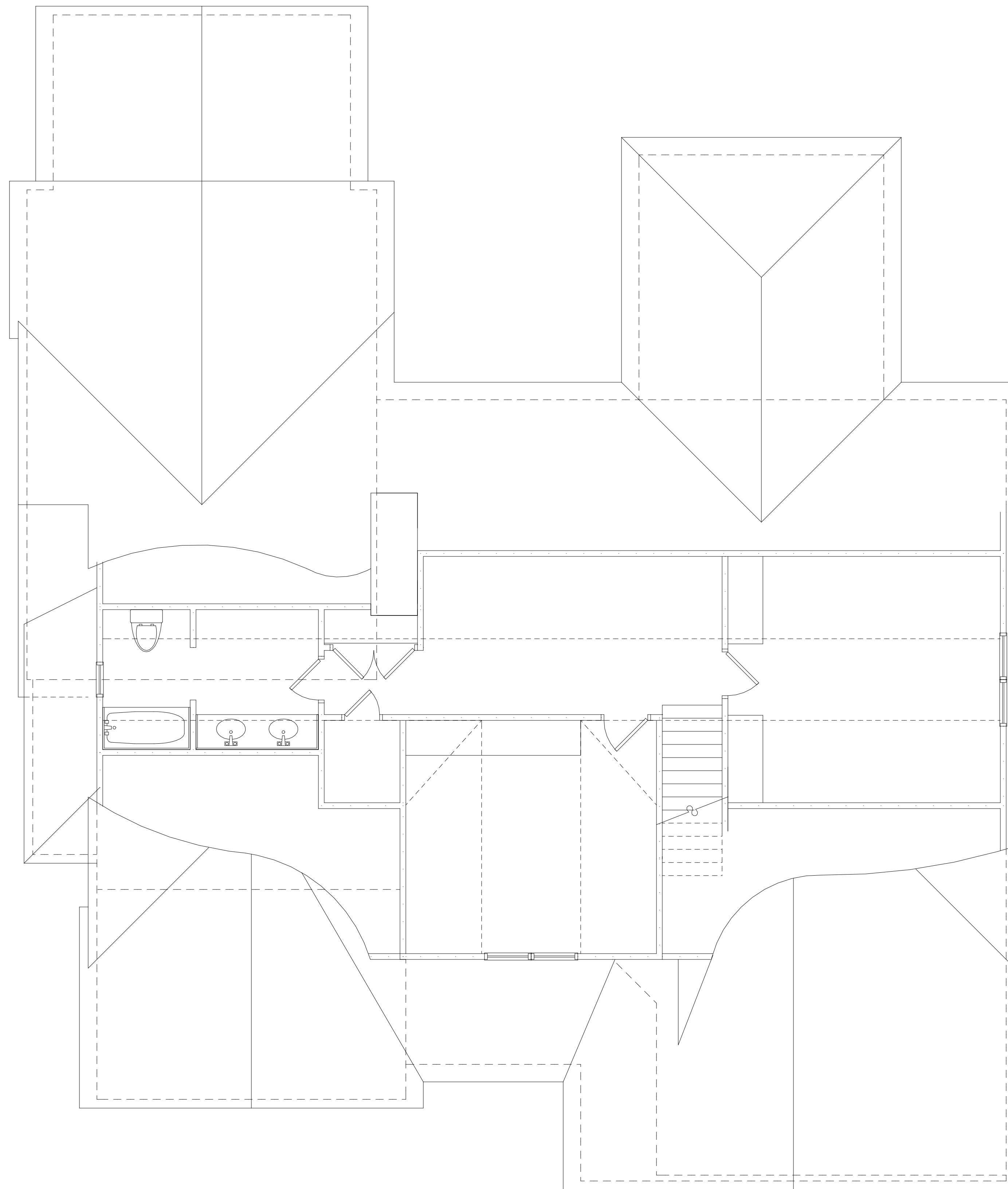
JOB NO.: 2020HAMILTON

SHEET:

E-3

OF 10 SHEETS





SECOND FLOOR PLAN/ EXISTING
 PROPOSED AREA: 795 SQ FT

**PATRICK J.
 MORABITO**
 A.I.A.
**ARCHITECT
 P.C.**

**55 Sully's Trail
 Pittsford, NY 14534**

**(585) 264-1330
 (585) 264-1333 Fax**

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:
 ADDITION TO
 HAMILTON RESIDENCE
 29 PARKER DRIVE

CLIENT:
 HAMILTON/ STERN
 BUILDERS

DRAWING:
 SECOND FLOOR PLAN
 EXISTING

DRAWN: MSM	CHECKED: PJM
----------------------	------------------------

DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

E-4

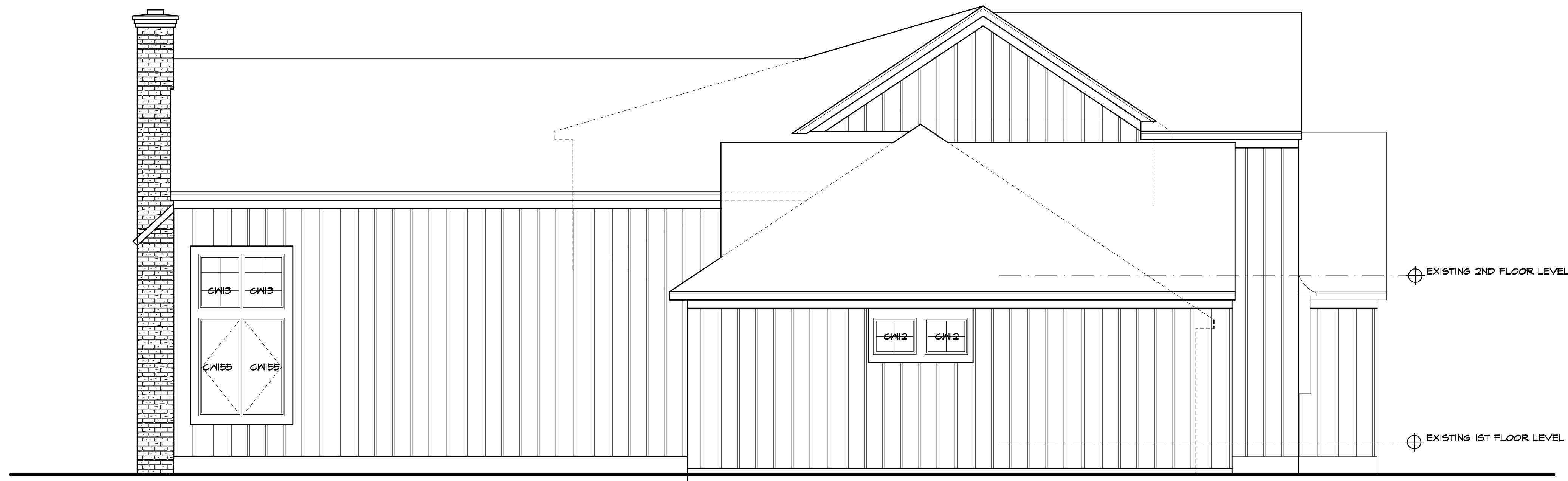
OF 10 SHEETS





FRONT ELEVATION/ PROPOSED

EXISTING AREA: 1596 SQ FT
 PROPOSED ADDITION:
 1ST FLR: 215 SQ FT
 2ND FLR: 795 SQ FT
 TOTAL PROPOSED AREA: 2606 SQ FT



LEFT SIDE ELEVATION/ PROPOSED

PROPOSED

PATRICK J. MORABITO
A.I.A.
ARCHITECT
P.C.

55 Sully's Trail
 Pittsford, NY 14534

(585) 264-1330
 (585) 264-1333 Fax

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:
 ADDITION TO
 HAMILTON RESIDENCE
 29 PARKER DRIVE

CLIENT:
 HAMILTON/ STERN
 BUILDERS

DRAWING:
 ELEVATIONS - PROPOSED

DRAWN: MSM	CHECKED: PJM
----------------------	------------------------

DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

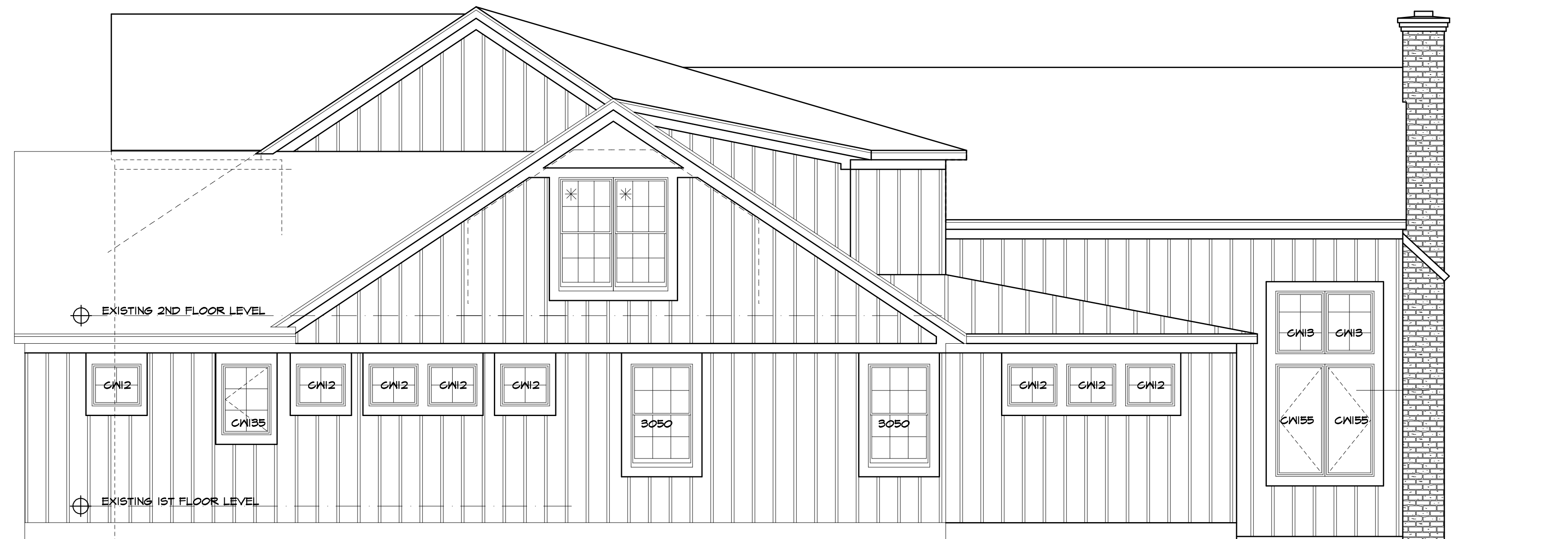
A-1

OF 10 SHEETS





REAR ELEVATION/ PROPOSED



RIGHT SIDE ELEVATION/ PROPOSED

**PATRICK J.
MORABITO**
A.I.A.
**ARCHITECT
P.C.**

55 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:
ADDITION TO
HAMILTON RESIDENCE
29 PARKER DRIVE

CLIENT:
HAMILTON/ STERN
BUILDERS

DRAWING:
ELEVATIONS - PROPOSED

DRAWN: MSM
CHECKED: PJM

DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

A-2

OF 10 SHEETS



PATRICK J. MORABITO
A.I.A.
ARCHITECT
P.C.

55 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SITED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A., ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A., ARCHITECT P.C.

COPYRIGHT 2008
 PATRICK J. MORABITO, A.I.A., ARCHITECT P.C.

PROJECT:
 ADDITION TO
 HAMILTON RESIDENCE
 29 PARKER DRIVE

CLIENT:
 HAMILTON STERN
 BUILDERS

DRAWING:
 1ST FLOOR PLAN
 PROPOSED

DRAWN: MSM
CHECKED: PJM

DATE: MAY 2020

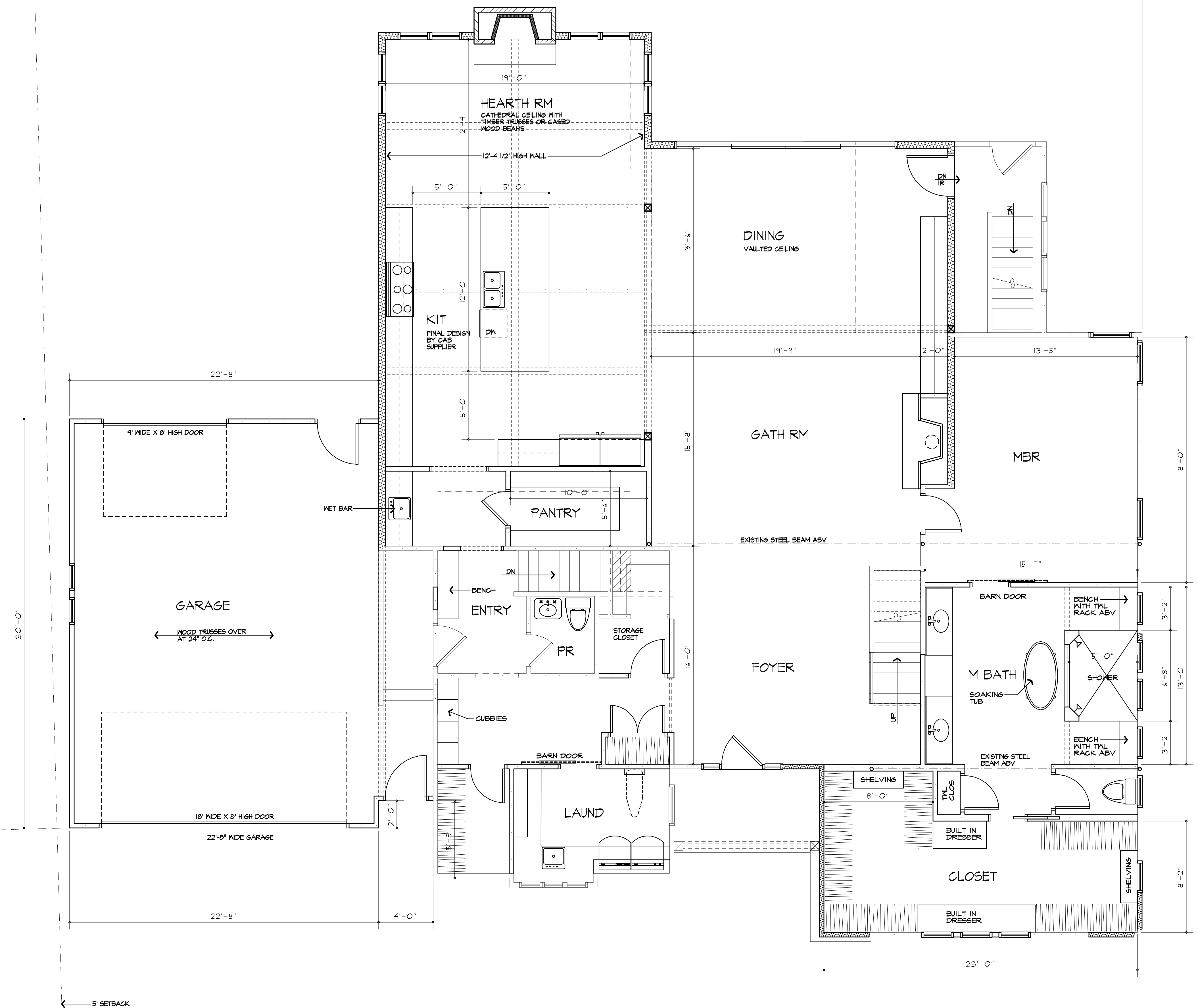
SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

A-3

OF 10 SHEETS



FIRST FLOOR PLAN/ PROPOSED

EXISTING AREA: 1806 SQ FT
 AREA OF ADDITION: 1200 SQ FT
 TOTAL AREA (FIRST FLOOR): 3006 SQ FT
 AREA OF NEW GARAGE: 897 SQ FT

5.9'

PATRICK J. MORABITO
A.I.A.
ARCHITECT
P.C.

55 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.pjmarchitect.com

NOTICE:

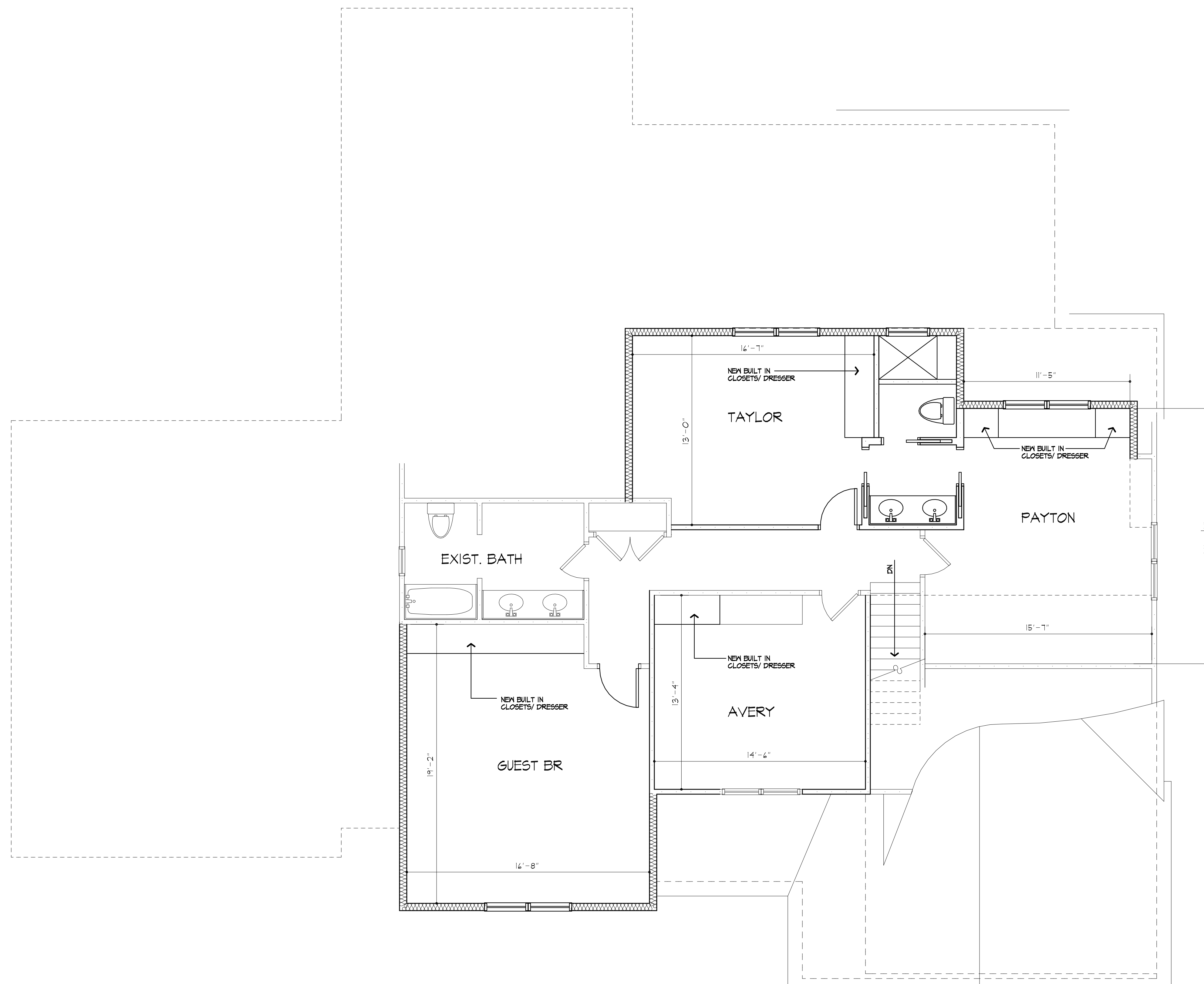
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



SECOND FLOOR PLAN/ PROPOSED

EXISTING AREA: 787 SQ FT
 AREA OF NEW ADDITION: 583 SQ FT
 TOTAL AREA: 1370 SQ FT

PROJECT:
 ADDITION TO
 HAMILTON RESIDENCE
 29 PARKER DRIVE

CLIENT:
 HAMILTON STERN
 BUILDERS

DRAWING:
 2ND FLOOR PLAN
 PROPOSED

DRAWN: MSM
CHECKED: PJM

DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

A-4

OF 10 SHEETS



PATRICK J. MORABITO
A.I.A.
ARCHITECT
P.C.

55 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SITED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS - EXISTING
3	1ST FLR PLAN - EXISTING
4	ROOF PLAN - EXISTING
5	F/L ELEVATIONS - PROPOSED
6	BSMT/FOUND PLAN - PROPOSED
7	1ST FLOOR PLAN - PROPOSED
8	2ND FLOOR PLAN - PROPOSED
9	ROOF PLAN - PROPOSED
10	BUILDING SECTIONS

DRAWING REFERENCE

THE FOLLOWING RESOURCES WERE USED BY THE ARCHITECT IN THE PREPARATION OF THESE DOCUMENTS.

1. ARCHITECTURAL DRAWINGS FOR THE RESIDENCE, LABELED "EASTMAN KODAK CO. DEVELOPMENT DEPARTMENT" - UNKNOWN DATE
2. FIELD MEASUREMENTS, OBSERVATION, AND DIGITAL PHOTOGRAPHY PROVIDED BY THE OWNER
3. SEVERAL ASSUMPTIONS WERE MADE BY THE ARCHITECT WITH REGARD TO THE CONSTRUCTION OF THE EXISTING STRUCTURE AND THE SIZE OF STRUCTURAL MEMBERS NOT EXPOSED TO VIEW. THEREFORE, THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION/ ADJUSTMENTS NEEDED

BASIC DESIGN CRITERIA

1. GROUND SNOW LOAD - 40 PSF R301.2 (5)
2. WIND SPEED - 90 MPH, EXPOSURE B R301.2 (4)
3. SEISMIC DESIGN CATEGORY - A R301.2 (2)
4. WEATHERING - SEVERE R301.2 (3)
5. FROST LINE DEPTH - 48"
6. TERMITE DAMAGE - NONE TO SLIGHT R301.2 (6)
7. DECAY DAMAGE - NONE TO SLIGHT R301.2 (7)
8. WINTER DESIGN TEMPERATURE - 1'
9. ICE SHIELD UNDERLAYMENT REQUIRED - YES
10. FLOOD HAZARD - FIRM - 1992
11. ROOF TIE DOWN REQUIREMENTS R302.11.1
12. ENERGY COMPLIANCE PATH - RESCHECK

PROJECT:
 ADDITION TO
 HAMILTON RESIDENCE
 25 PARKER DRIVE

CLIENT:
 HAMILTON/ STERN
 BUILDERS

DRAWING:
 TITLE PAGE

DRAWN: MSM	CHECKED: PJM
----------------------	------------------------

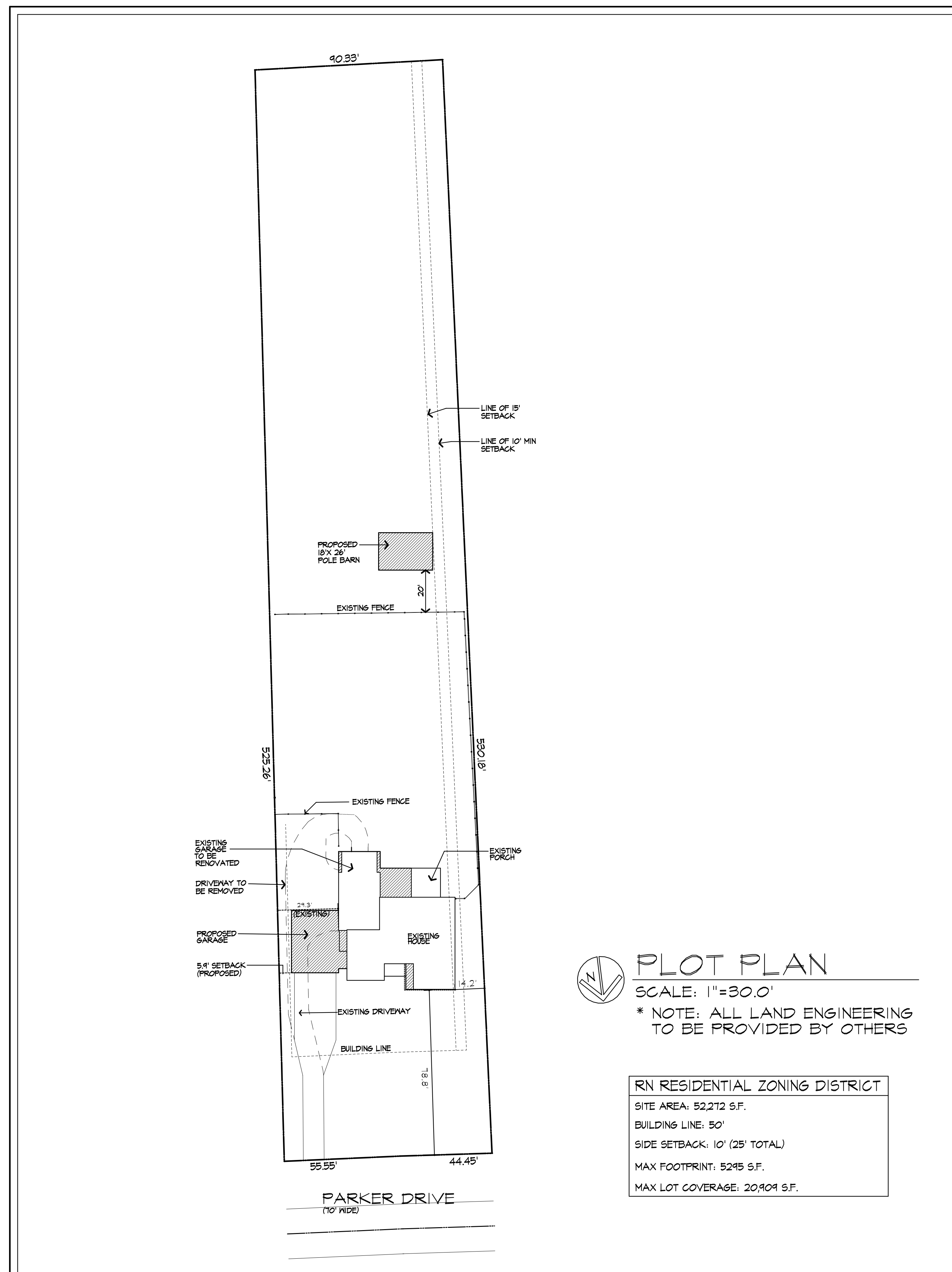
DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

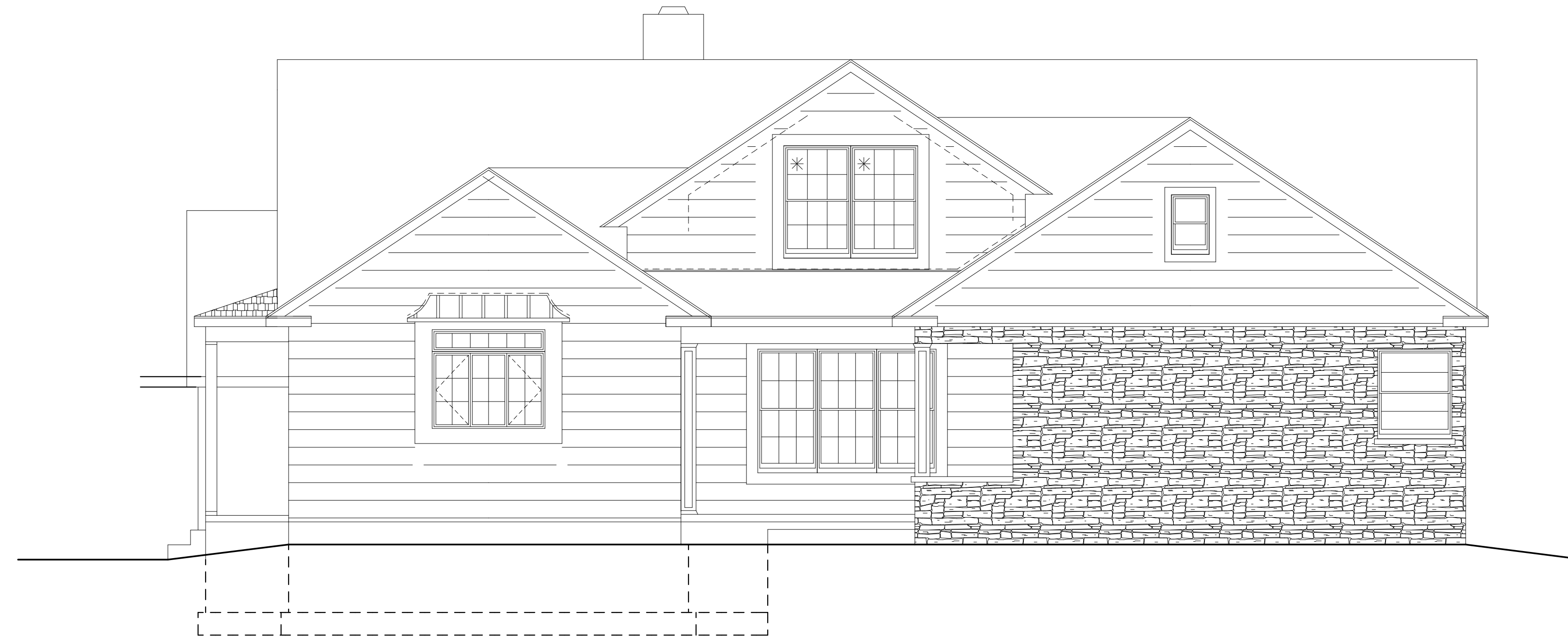
1
 OF 10 SHEETS



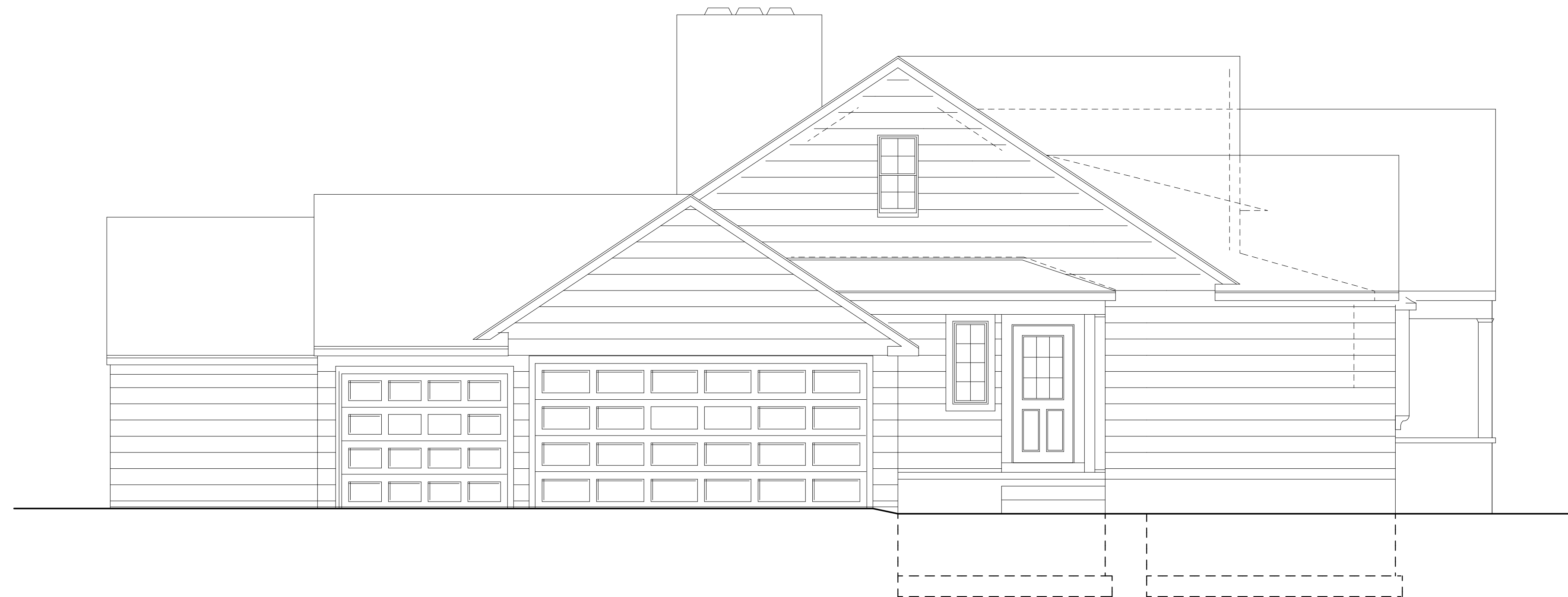
PLOT PLAN
 SCALE: 1"=30.0'
 * NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

RN RESIDENTIAL ZONING DISTRICT
 SITE AREA: 52,212 S.F.
 BUILDING LINE: 50'
 SIDE SETBACK: 10' (25' TOTAL)
 MAX FOOTPRINT: 5245 S.F.
 MAX LOT COVERAGE: 20,904 S.F.

ADDITION TO HAMILTON RESIDENCE
25 PARKER DR - PITTSFORD, NY
HAMILTON/ STERN/ BUILDER



FRONT ELEVATION/ EXISTING
WITH REMOVALS SHOWN



LEFT SIDE ELEVATION/ EXISTING
WITH REMOVALS SHOWN

**PATRICK J.
MORABITO**
A.I.A.
**ARCHITECT
P.C.**

**55 Sully's Trail
Pittsford, NY 14534**

**(585) 264-1330
(585) 264-1333 Fax**

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SITED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:
ADDITION TO
HAMILTON RESIDENCE
29 PARKER DRIVE

CLIENT:
HAMILTON STERN
BUILDERS

DRAWING:
ELEVATIONS - EXISTING

DRAWN: MSM	CHECKED: PJM
----------------------	------------------------

DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

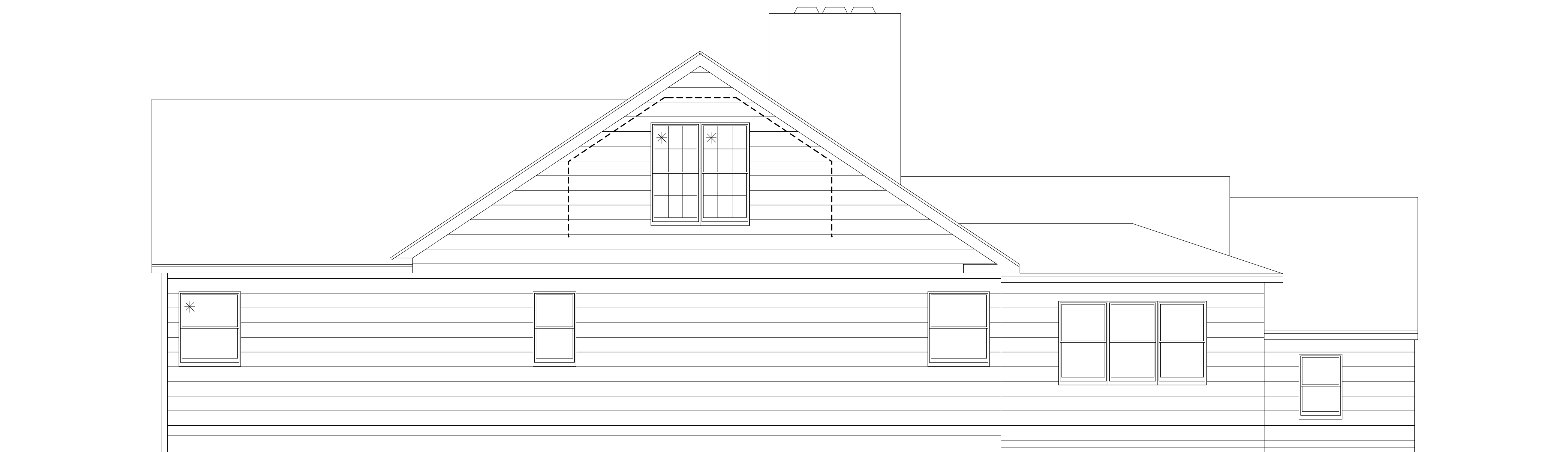
E-1

OF 10 SHEETS





REAR ELEVATION/ EXISTING
WITH REMOVALS SHOWN



RIGHT SIDE ELEVATION/ EXISTING
WITH REMOVALS SHOWN

**PATRICK J.
MORABITO**
A.I.A.
**ARCHITECT
P.C.**

**55 Sully's Trail
Pittsford, NY 14534**

**(585) 264-1330
(585) 264-1333 Fax**

www.pjmarchitect.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2008
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:
ADDITION TO
HAMILTON RESIDENCE
29 PARKER DRIVE

CLIENT:
HAMILTON STERN
BUILDERS

DRAWING:
ELEVATIONS/ EXISTING
WITH REMOVALS SHOWN

DRAWN: MSM	CHECKED: PJM
----------------------	------------------------

DATE: MAY 2020

SCALE: 1/4"=1'-0"

JOB NO.: 2020HAMILTON

SHEET:

E-2

OF 10 SHEETS





HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
25 PARKER DRIVE
PITTSFORD, NY 14534

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

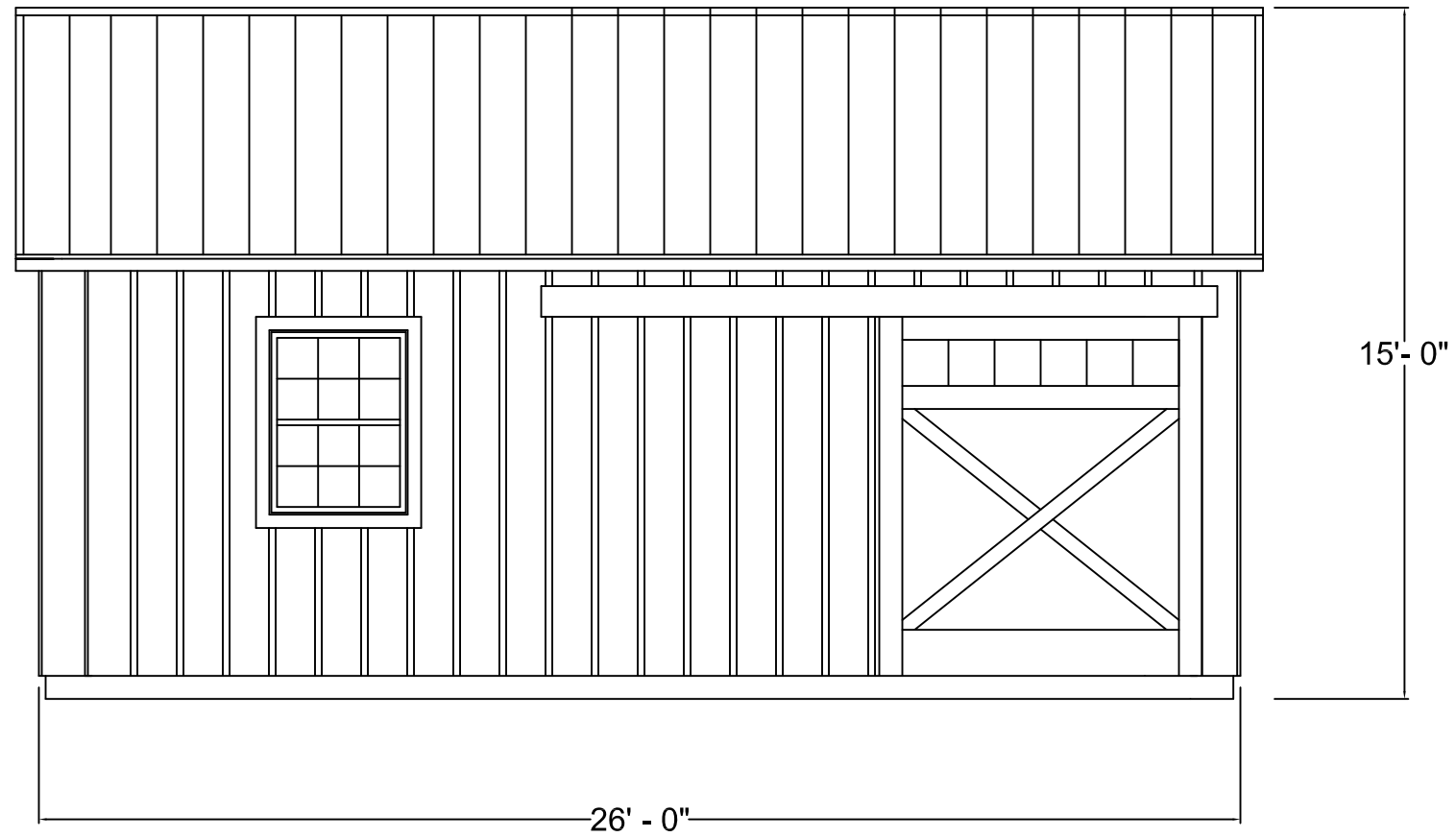
MARK	DATE	DESCRIPTION
△	2/12/19	ADD DOOR INTO OFFICE, CLIENT SEATING AREA

DATE: 6/25/20
DRAWN BY:

SHEET TITLE:

**NORTH
ELEVATION**

SHEET NUMBER



NORTH Elevation

Scale - $\frac{1}{4}$ " = 1'-0"



HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
25 PARKER DRIVE
PITTSFORD, NY 14534

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK:	2/12/19	ADD DOOR INTO OFFICE, CLIENT SEATING AREA

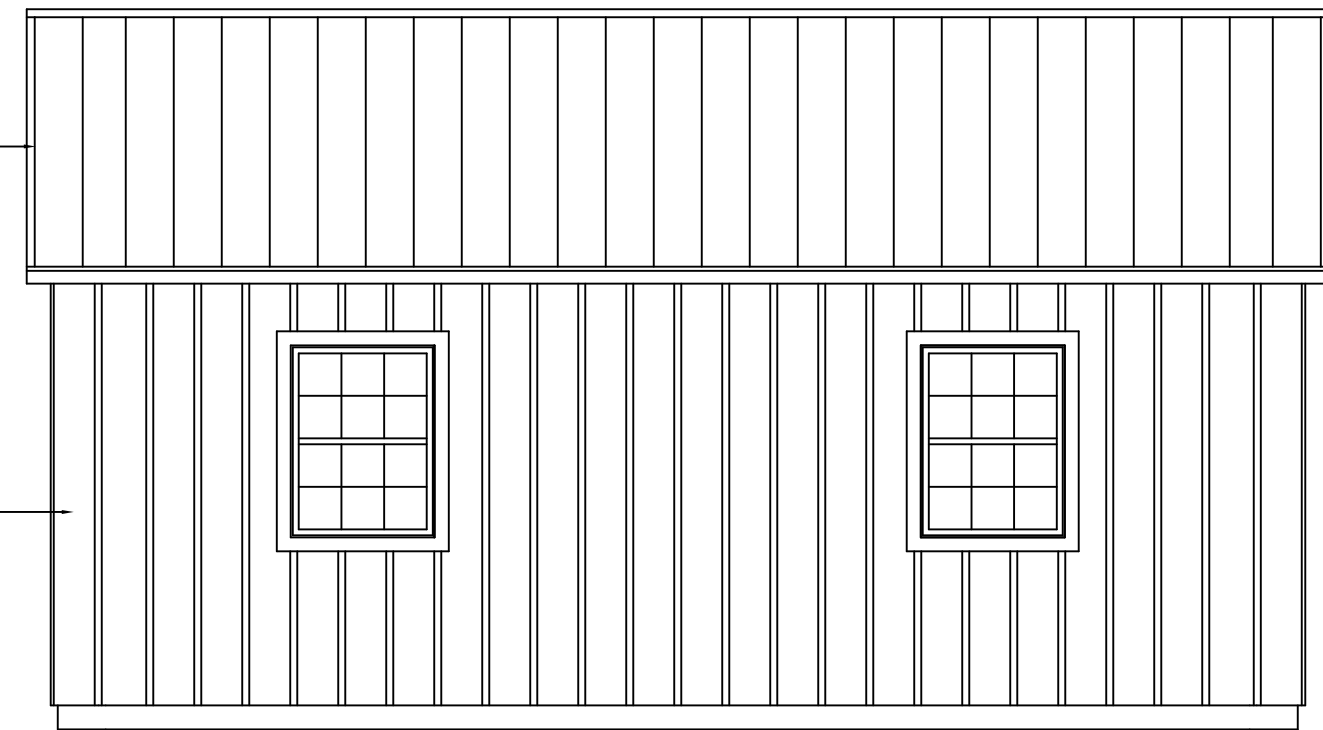
DATE: 6/25/20
DRAWN BY:

SHEET TITLE:
SOUTH ELEVATION

SHEET NUMBER

Black Metal Roof

White Pine Board and
Batten Siding with Semi
Transparent Stain



SOUTH Elevation

Scale - 1/4" = 1'-0"



HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534

PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
25 PARKER DRIVE
PITTSFORD, NY 14534

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

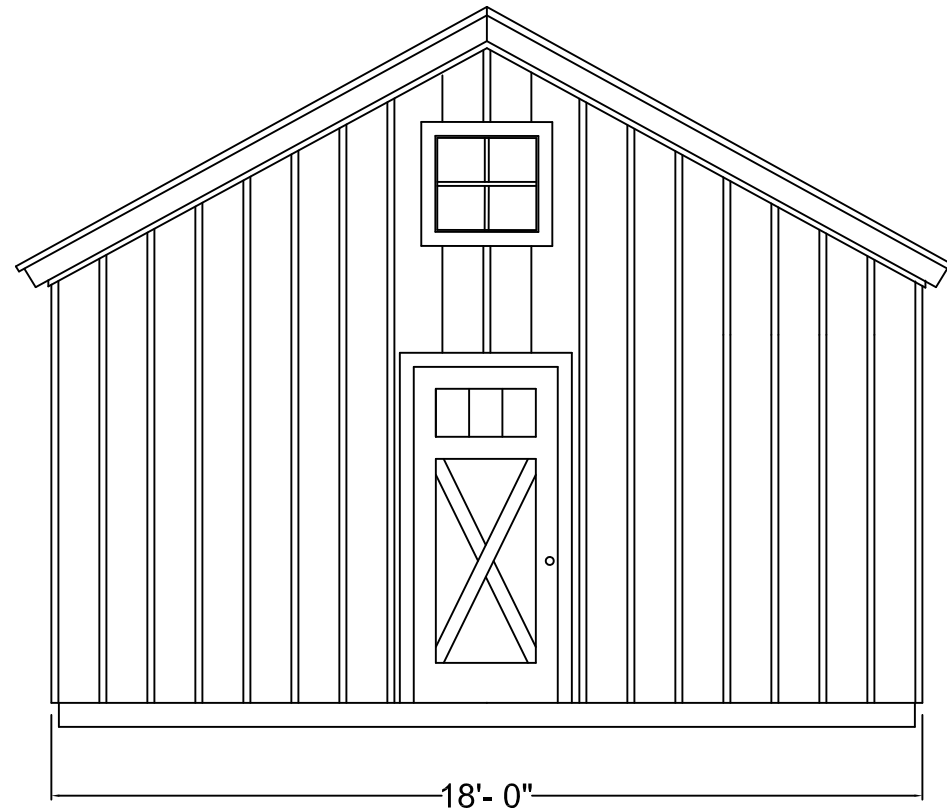
HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

DATE	DESCRIPTION
2/12/19	ADD DOOR INTO OFFICE, CLIENT SEATING AREA

DATE: 6/25/20
DRAWN BY:

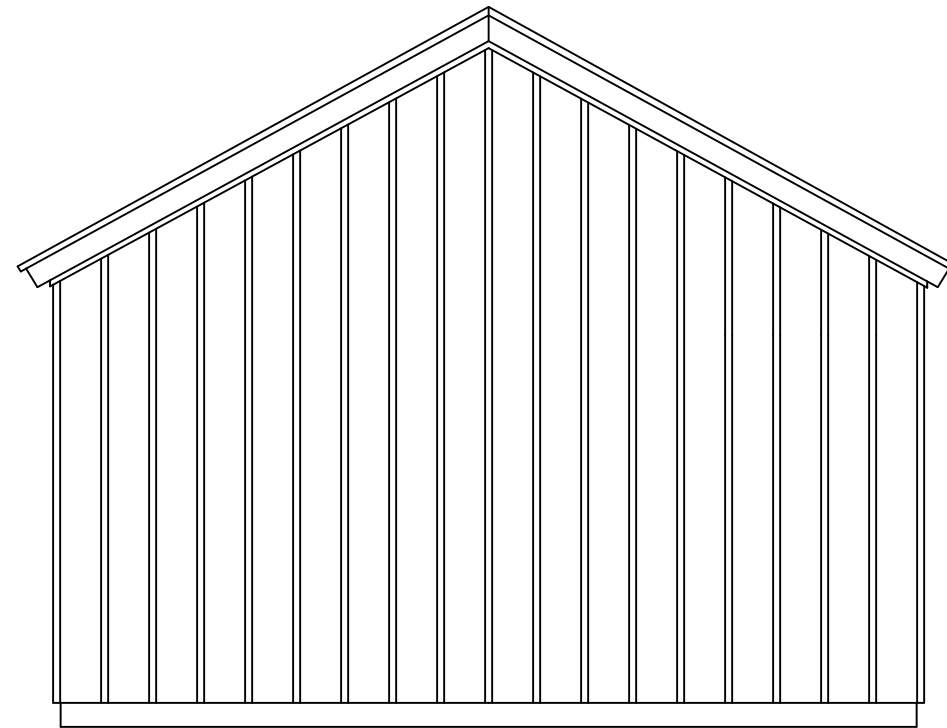
SHEET TITLE:
**EAST/WEST
ELEVATION**

SHEET NUMBER



EAST Elevation

Scale - 1/4" = 1'-0"



WEST Elevation

Scale - 1/4" = 1'-0"



HAMILTON|STERN
CONSTRUCTION

HAMILTON STERN CONSTRUCTION, LLC.
3850 MONROE AVENUE
PITTSFORD, NY 14534
PHONE: (585)-586-8101
FAX: (585)-586-8101

HAMILTON RESIDENCE
25 PARKER DRIVE
PITTSFORD, NY 14534

PARTNERING FIRM:
ARCHITECT OR CONTACT:
PHONE:
EMAIL:

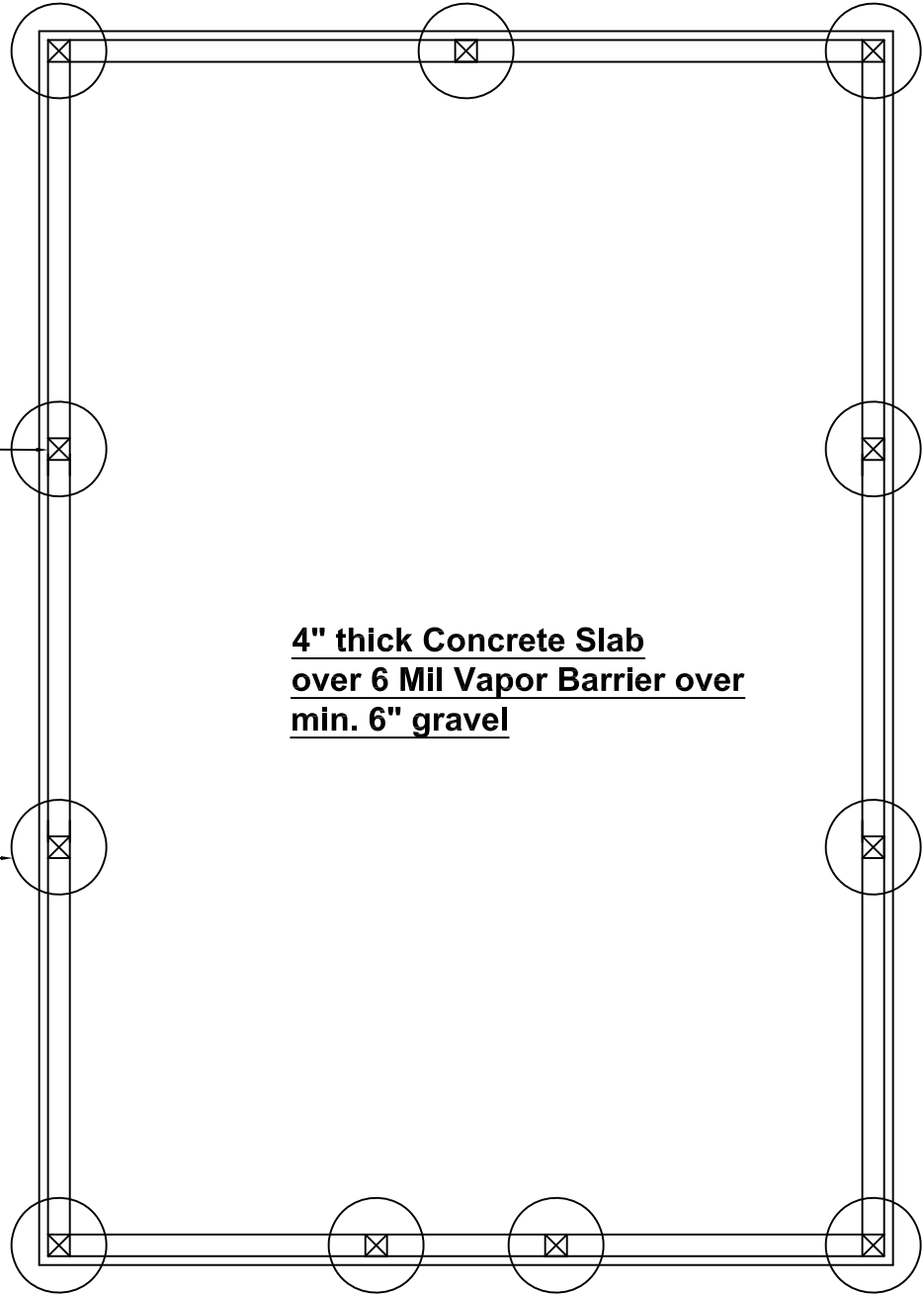
HAMILTON STERN CONSTRUCTION, LLC.
PROJECT CONTACT:
PHONE:
EMAIL:

DRAWING REVISIONS:	DATE:	DESCRIPTION:
MARK:	2/12/19	ADD DOOR INTO OFFICE, CLIENT SEATING AREA

DATE: 6/25/20
DRAWN BY:

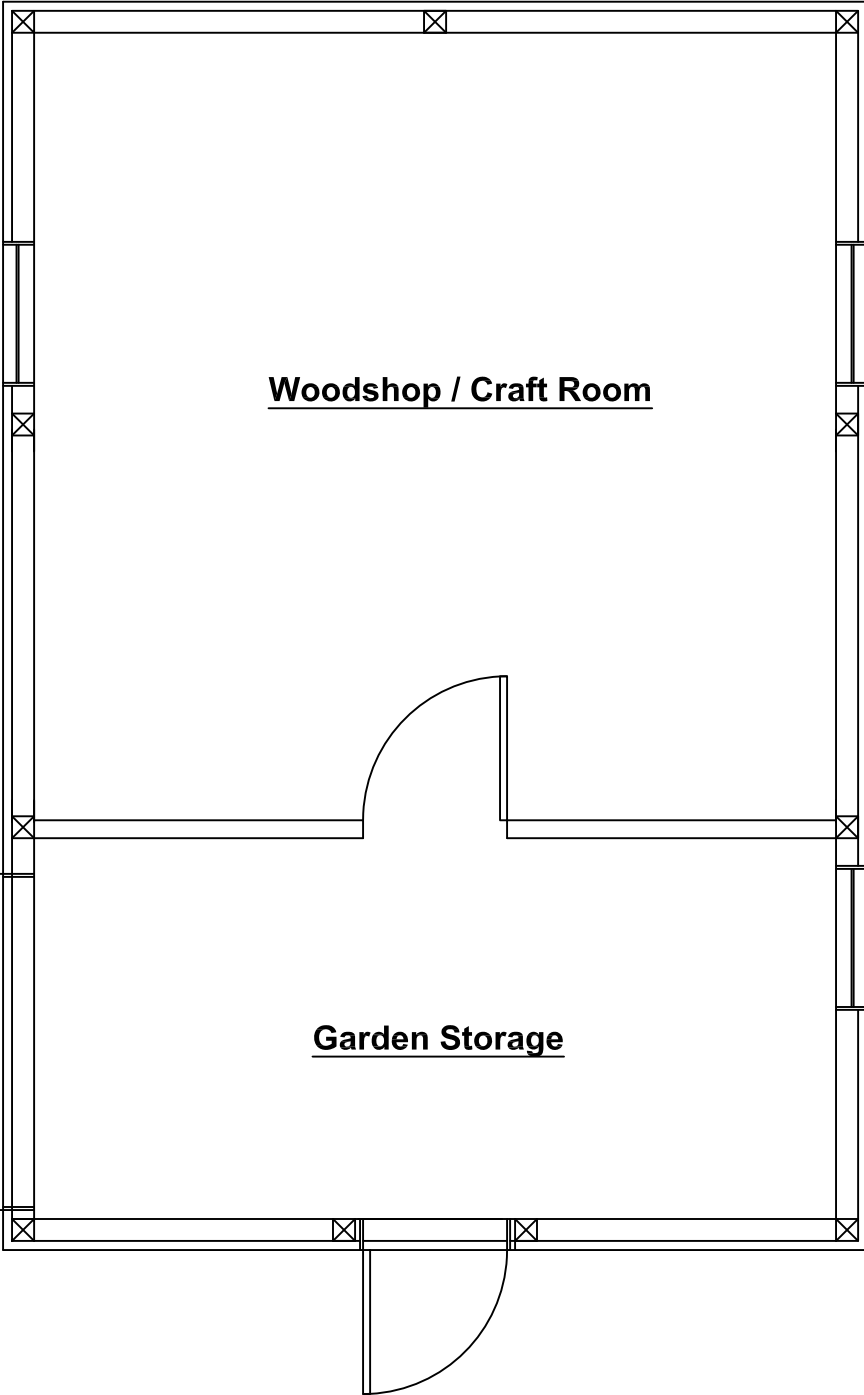
SHEET TITLE:
FOUNDATION AND FLOOR PLAN

SHEET NUMBER



Foundation Plan

Scale - 1/4" = 1'-0"



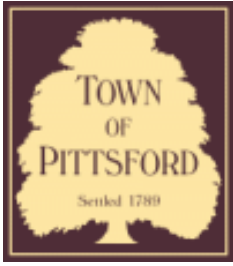
Floor Plan

Scale - 1/4" = 1'-0"









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S20-000012

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3001 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-71.1

Zoning District: C Commercial

Owner: Monroe Clover Plaza LLC (Blonsky Family Chiropractic)

Applicant: Mcallister Signs LLC

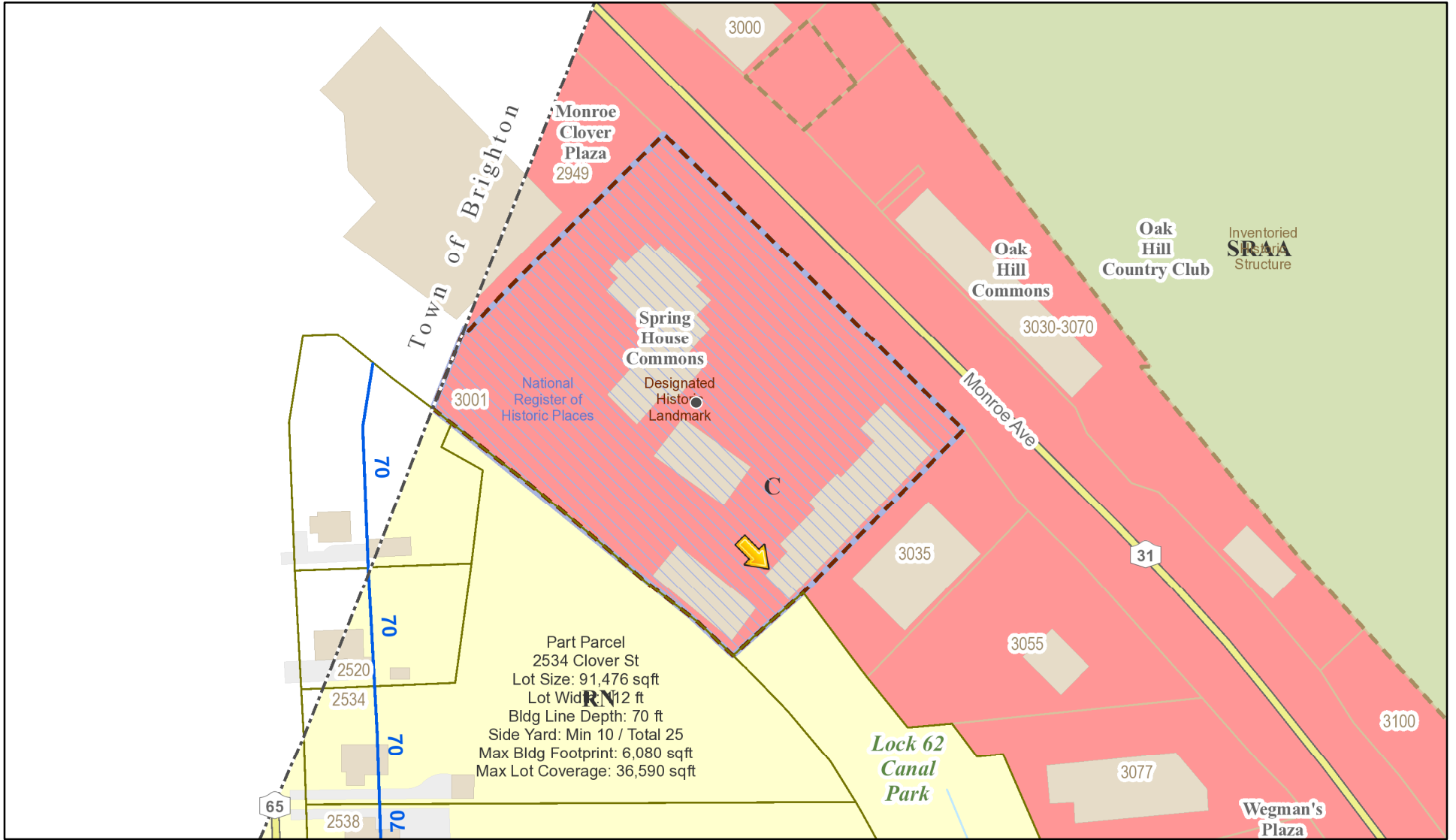
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 10.5 sq. ft. and will identify "Blonsky Family Chiropractic".

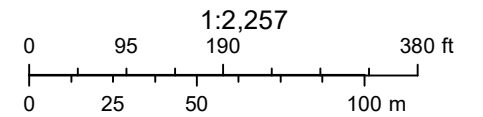
Meeting Date: July 23, 2020

RN Residential Neighborhood Zoning



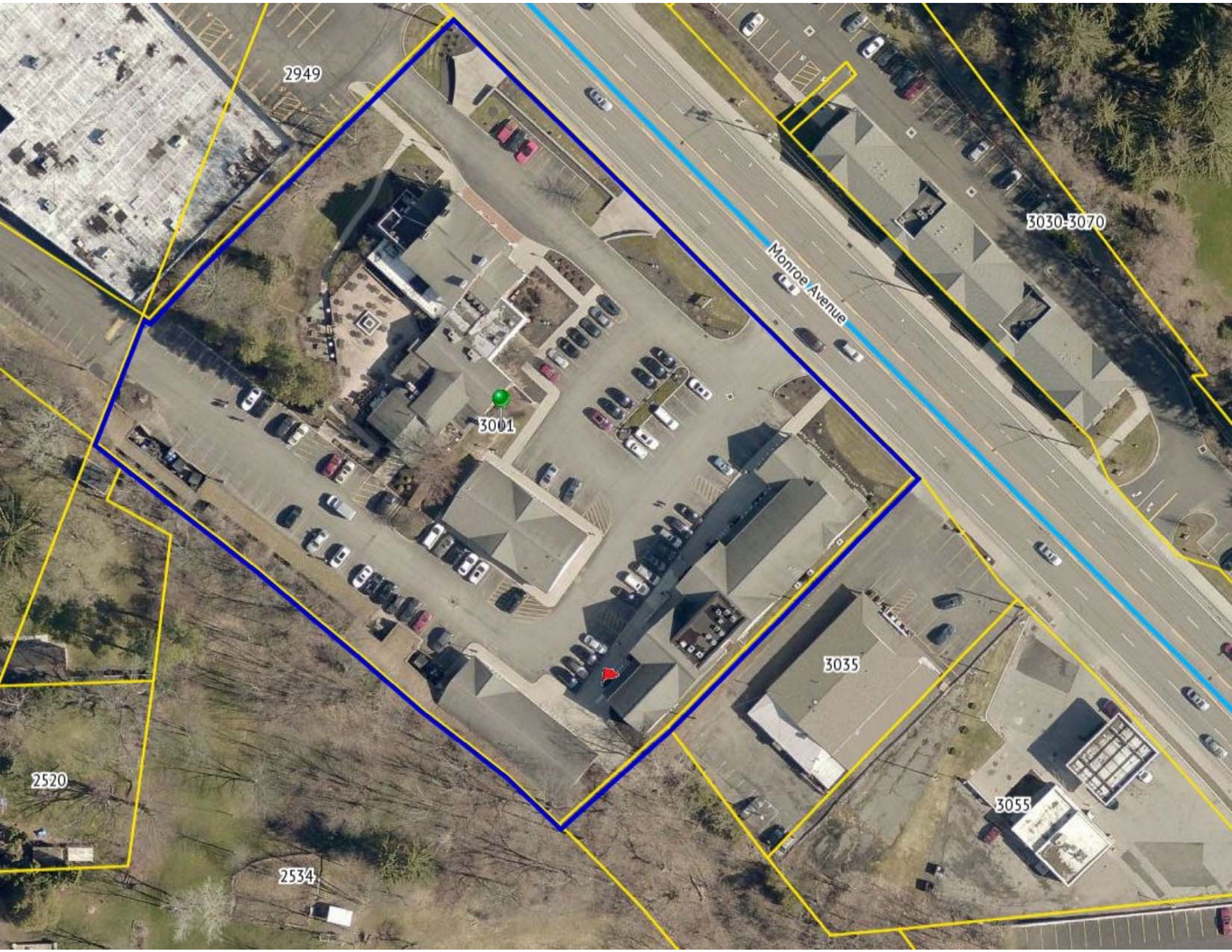
Part Parcel
 2534 Clover St
 Lot Size: 91,476 sqft
 Lot Width: 112 ft
 Bldg Line Depth: 70 ft
 Side Yard: Min 10 / Total 25
 Max Bldg Footprint: 6,080 sqft
 Max Lot Coverage: 36,590 sqft

Printed July 16, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



2949

3030-3070

Monroe Avenue

3001

3035

2520

2534

3055

23.0651" | Blonsky
Family Chiropractic | 66"

Dimensional
Exterior

