

**Design Review & Historic Preservation Board  
Agenda  
July 11, 2019**

**HISTORIC PRESERVATION DISCUSSION**

**NOMINATION FOR LANDMARK DESIGNATION**

- **191 Long Meadow Circle**

The Applicant has submitted an application for landmark designation of the home located at 191 Long Meadow Circle.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **3326 Clover Street**

The Applicant is requesting design review for a second story addition. The addition will be approximately 1026 sq. ft. and will be located on the south section of the home.

- **17 Coventry Ridge**

The Applicant is requesting design review for a new single family one story home. The new home will be approximately 2,232 sq. ft. and will be located in the Coventry Ridge subdivision.

**COMMERCIAL APPLICATION FOR REVIEW**

- **3122 Monroe Avenue**

The Applicant is requesting design and review for the addition of a business identification sign and awnings. The AT&T store would like to replace their sign with a new updated sign and change the color of the awnings. The size of the sign was approved by the planning board on November 11, 2015.

**OTHER – REVIEW OF 6/27/2019 MINUTES**

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**June 13, 2019**

**PRESENT**

Dirk Schneider, Chairman; Leticia Fornataro, Kathleen Cristman, Paul Whitbeck, Bonnie Salem, David Wigg, John Mitchell

**ALSO PRESENT**

Stephanie Townsend, Town Board Liaison; Robert Koegel, Town Attorney; Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem discussed an application she has received for landmark designation for a home on Long Meadow Circle. Bonnie agreed to be point person on this application.

The Board discussed they would like to propose a budget to the Town Board to provide historic plaques for any homeowners who did not request them last year and banners for the historic district. Prices will be confirmed and this item will be carried over to the next meeting for discussion.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **47 Stonington Drive**

The Applicant is requesting design review for a dining room addition. The addition will be approximately 320 sq. ft. and will be replacing a screened porch located to the rear of the home.

Pratnap James was present to discuss this application with the Board.

The Board had questions about the windows and appreciated the fact that the headers all lined up.

The siding will match the rest of the home.

Kathleen Cristman moved to accept the application as submitted. Bonnie Salem seconded.

All Ayes.

- **25 Bromsgrove Hill**

The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 5163 sq. ft. and will be located in the Malvern Hills subdivision.

Marie Kenton of Ketmar Development Corporation was present. She indicated that this is the last home in the development.

The Board made mention the finial on the third peak is not centered on the drawings. Marie indicated that it will be centered on the construction.

John Mitchell moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **16 Ravenna Crescent**

The Applicant is requesting design review for the construction of a new two story home. The home will be approximately 3096 sq. ft. and will be located in the Coventry Ridge subdivision.

Jim Connaughton of Coventry Ridge Corporation was present.

He indicated this will be similar to other homes on the street finished with stone and siding.

The Board appreciated the shutter width, as it is appropriate for windows.

The Board did not feel it was necessary for brackets to be put on the bump out on this particular home.

Bonnie Salem moved to approve the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **5 Coventry Ridge**

The Applicant is requesting design review for the construction of a new single story home. The home will be approximately 2086 sq. ft. and will be located in the Coventry Ridge subdivision.

Steve Maynard of Rockdale Meadows Construction Corp. was present.

Mr. Maynard indicated that this house will be similar to others in the development in the same monochromatic color palette.

Paul Whitbeck moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

## **COMMERCIAL APPLICATION FOR REVIEW**

- **123 South Main Street (Verizon)**

The Applicant is requesting design review for the change in building material of a previously approved material for the new cell tower. The Applicant is seeking approval for faux foam brick to be placed on the tower legs and the equipment screen wall.

Tom Greiner of Nixon Peabody, Brett Buggeln of Tarpon Towers, Jim Herschell with Verizon, David Weisenreder of Costich Engineering and Kathy Pomponio, Verizon Project Manager were present.

Mr. Greiner addressed the Board. His purpose is to amend the materials originally approved for the cell tower. He discussed the brick wall and outlined the reasons the why a brick wall will not work. The proposed wall will be a masonry wall covered in faux brick materials cantilevered over to the tower leg footings to allow for movement. He pointed out the revised drawing has two cut out portions on the bottom left and right to allow access to anchor bolts. In addition, he discussed that the wall cap will be a faux material.

Mr. Greiner addressed an email sent by Mark Lenzi regarding the joints, weathering, maintenance, faux brick attachment and colors. Mr. Greiner stated the foam will be inserted into a recessed channel to

create a seamless joint. The materials are coated to address weather issues and will be glued with a strong adhesive. The colors will match as closely as possible to the older section of the church. The tower will be inspected by Tarpon Towers once a year.

The Board addressed the fact that some members went to the site with the color samples supplied by the applicant. The Board still had concerns about the samples matching the church's brick color and the grout color. They found the samples were "too perfect" and requested that the company work on a better match for the older section of the church.

Photographs of the cell tower at Christ the King church in Irondequoit, submitted to the Town by a resident, and were reviewed. It was noted that the connections can be seen. The Board does not want this to be a factor. This led to a discussion of the brick wall. The Board was assured by Jim Herschell with Verizon that the faux wall can be made in one panel and will not show a seam.

Brett Bruggln also stated Mark Lenzi will be called to the site to inspect the color match upon delivery. It was discussed that if the materials, work or upkeep are unsatisfactory the Planning Board can revoke the special permit. In addition, the cell tower must still meet the condition of approval in order to get a building permit and a certificate of compliance.

Dirk Schneider moved to approve the application for the submission of revised materials with the following conditions:

1. Regarding the brick color and mortar joint:
  - a. Samples will be developed to allow for more range in the brick color and a better mortar match.
2. Regarding the brick wall:
  - a. The maximum expansion joint of the inlay will be no more than 1 ½ inch.
  - b. The precast concrete cap will be made out of the faux materials.
  - c. There will be no vertical joint in the wall length of 10'.

Leticia Fornataro seconded.

All Ayes

- **2300 West Jefferson Road (YMCA of Greater Rochester)**

The Applicant is requesting design review for the proposed placement of business identification signs. Some of the signs will be mounted on the building and two of the signs will be freestanding signs. Some of the signs are proposed to be illuminated. The sign locations and sizes have been approved as part of the Tobey PUD approval as well as authorizing the Design Review Board to set hours during which the signs may be illuminated.

Deb Herb of Image 360 and Paul Gardner of HB Cornerstone were present.

Dirk Schneider disclosed that he does business with Mr. Gardner but does not feel that it would affect his vote. Mr. Gardner expressed that he feels the same as Mr. Schneider.

Deb Herb reviewed the signs with the Board.

One monument sign will be placed at the Jefferson Road entrance and will be two sided. The other sign will be located at the Clover Street entrance will be one sided with the sign facing north. Only the lettering will be illuminated.

A brushed aluminum dimensional YMCA logo and lettering will be placed on the building facing Clover Street and Jefferson Road. These signs will be pin back lit.

An additional YMCA logo main entrance sign will be brushed aluminum dimensional stud mounted letters and pin back-lit on the north elevation. A non-illuminated sign for the University of Rochester will

be placed below. A sign for the Early Education Center will be on the North Elevation and will not be illuminated.

Following this discussion, upon hearing that the illuminated signage will face the proposed Cloverwood project across the street on Jefferson Road, Leticia Fornataro recused herself as she is presently working with that project.

The Board followed this presentation with discussion. An additional role of the Board in this particular sign package application is to determine the times the signs can be lit.

David Wigg moved to approve the lighting of the illuminated signs during the following times:

The monument signs can be lit 24/7.

The building signs can be lit from 5 am to 10:30 pm.

John Mitchell seconded.

Ayes – David Wigg, John Mitchell

Nays – Bonnie Salem, Dirk Schneider, Kathleen Cristman & Paul Whitbeck

The motion was defeated.

Dirk Schneider moved to approve the lighting of the illuminated sign during the following times:

The monument signs can be lit 4:30 am – 10:30 pm

The building signs can be lit from 5 am to 10:30 pm.

Dave Wigg seconded.

Ayes – David Wigg, John Mitchell, Dirk Schneider

Nays – Bonnie Salem, Paul Whitbeck, Kathleen Cristman

The motion was defeated.

Bonnie Salem moved to approve the lighting of the illuminated signs during the following times:

The monument signs can be lit 4:30 am – 10:30 pm

The building signs can be lit from 6 am to 10:30 pm.

Kathleen Cristman seconded.

Ayes – Kathleen Cristman, Bonnie Salem, Paul Whitbeck

Nays – Dirk Schneider, David Wigg, John Mitchell

The motion was defeated.

Dirk Schneider moved to approve the lighting of the illuminated signs during the following times:

The monument signs can be lit 4:30 am – 10:30 pm.

The building signs can be lit from Monday – Friday 5 am to 10:30 pm, Saturday 6 am – 10:30 pm and Sunday 7 am – 10:30 pm.

Bonnie Salem seconded.

Ayes – Paul Whitbeck, Dirk Schneider, Bonnie Salem  
Nays – John Mitchell, David Wigg, Kathleen Cristman

The motion was defeated.

More discussion followed.

Kathleen Cristman moved to approve the lighting of the illuminated signs during the following times:

The monument signs can be lit from 4:30 am – 10:30 pm

The building signs can be lit from Monday – Friday 5 am – 10:30 pm, Saturday 6 am – 10:30 pm and Sunday 7 am – 10:30 pm.

Dirk Schneider seconded.

Ayes – Paul Whitbeck, Dirk Schneider, Bonnie Salem, John Mitchell, David Wigg, Kathleen Cristman

The motion carried.

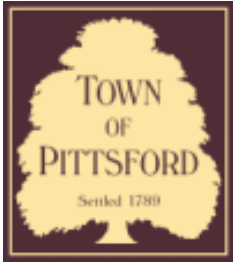
**OTHER – REVIEW OF 6/13/2019 MINUTES**

Bonnie Salem moved to approve the minutes of the 6/13/19 meeting as written.

The meeting adjourned at 10:00 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000098**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3326 Clover Street PITTSFORD, NY 14534

**Tax ID Number:** 177.04-1-3.21

**Zoning District:** RN Residential Neighborhood

**Owner:** Mendola, Stephen L

**Applicant:** O'Brien Construction

### Application Type:

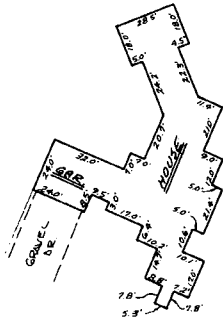
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a second story addition. The addition will be approximately 1026 sq. ft. and will be located on the south section of the home.

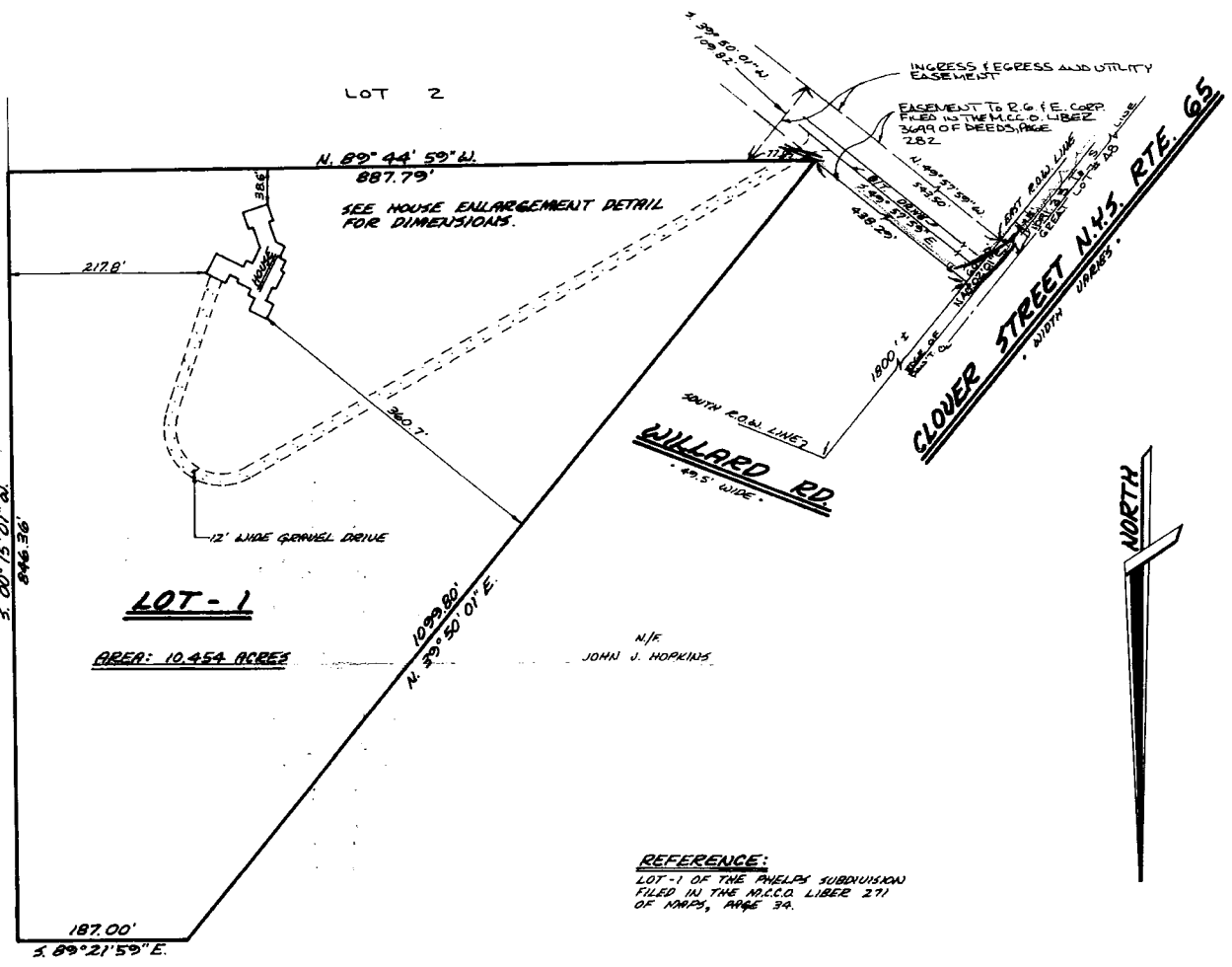
**Meeting Date:** July 11, 2019







HOUSE ENLARGEMENT DETAIL  
1" = 40'



N/A  
JOHN J. HOPKINS

N/A  
JOHN J. HOPKINS

REFERENCE:  
LOT-1 OF THE PHELPS SUBDIVISION  
FILED IN THE M.C.C. LIBER 271  
OF MAPS, PAGE 34.

3326 Clove St

ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF ARTICLE 145, SECTION 1109 OF THE NEW YORK STATE EDUCATION LAW.

WE, D.J. PARRONE & ASSOCIATES P.C., HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON OCTOBER 16, 1992. IT IS FURTHER CERTIFIED TO CHANGE LINCOLN FURNACE BANK N.A. ITS SUCCESSORS AND/OR MEMBERS, CLITTON, DUBELBIN, CLARK & DANCY, CHARLES E. AND DALE L. PHELPS, THEN TITLE INSURANCE AND FIDELITY, LITTLE, HITCHCOCK, BLAINE & HUBBARD.

*Domini Parrone*  
DOMINIC J. PARRONE P.E., L.S., L.I.C. No. 13838  
D.J. PARRONE & ASSOCIATES, P.C.



REVISIONS:	DATE:
ADD CERTIFICATION	10/29/92

**D. J. PARRONE & ASSOCIATES, P.C.**  
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS  
400 WHITNEY ROAD, P.O. BOX C, PENFIELD, NEW YORK 14526 (716) 586-0200

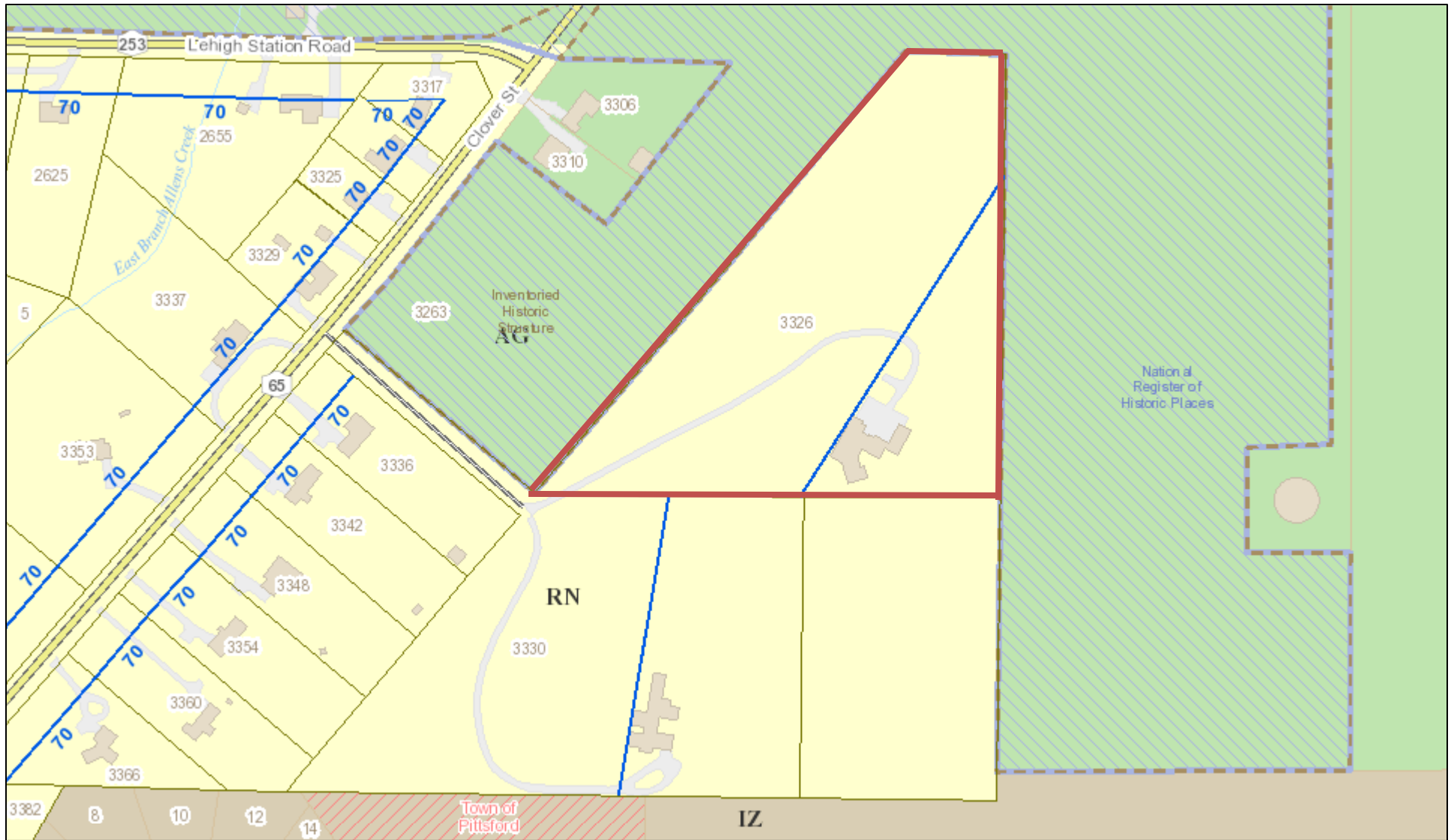
MAP OF AN INSTRUMENT SURVEY  
FOR

**LOT-1 OF THE PHELPS SUBDIVISION**

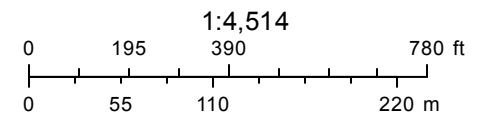
SITUATE IN:  
TOWN OF PITTSFORD • MONROE COUNTY • NEW YORK

DESIGNED BY:	
DRAWN BY:	M.J.B.
CHECKED BY:	
DATE:	OCTOBER 29, 1992.
SCALE:	1" = 100'
JOB NO.:	4152
SHEET NO.:	1 OF 1

# RN Residential Neighborhood Zoning



Printed July 2, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Lehigh Station Road

Clover Street

Driveway

2655

3317

3306

3321

3310

3325

3329

3337

3263

3316

3336

3342

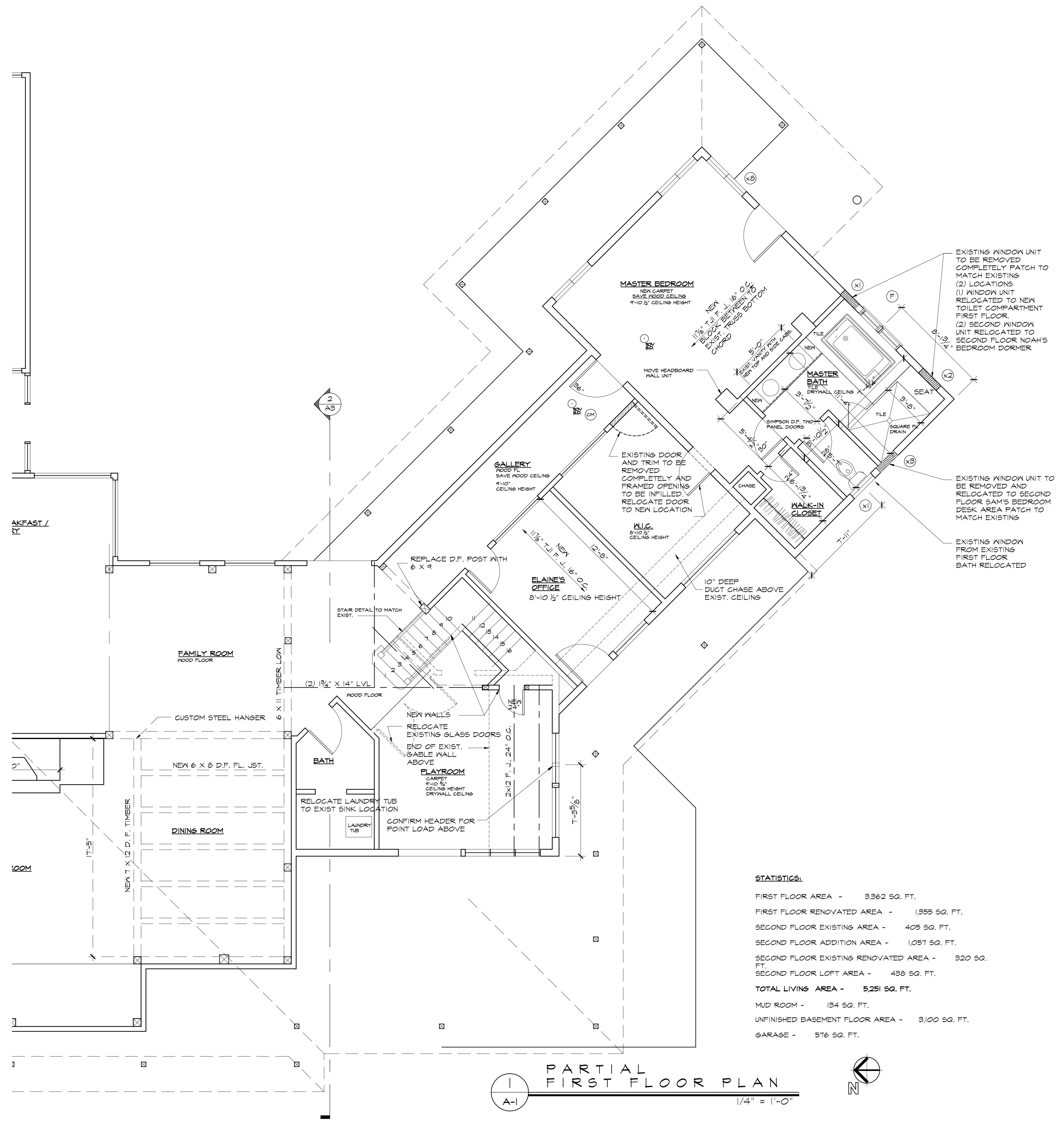
3348



**FLOOR PLAN NOTES:**

- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS UNLESS OTHERWISE NOTED.
- REFER TO EXTERIOR ELEVATION AND WINDOW SCHEDULE FOR MANUFACTURE AND WINDOW ROUGH OPENINGS.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 24" OF A DOOR OR LOCATED WITHIN 60" OFF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETS REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC.. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.

- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING TAPE, FLOAT AND SAND, (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM WALL BOARD. ALL WALLS TO RECEIVE TILE SHALL BE CEMENTITIOUS BACKER BOARD.
- WALLS COMMON TO GARAGE AND HOUSE SHALL HAVE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON GARAGE SIDE, PROVIDE 1/2" TYPE 'X' FIRE RATED GYPSUM BOARD ON THE HOUSE SIDE OF WALL.



EXISTING WINDOW UNIT TO BE REMOVED COMPLETELY PATCH TO MATCH EXISTING  
 (2) WINDOW UNIT RELOCATED TO NEW TOILET COMPARTMENT FIRST FLOOR  
 (2) SECOND WINDOW UNIT RELOCATED TO SECOND FLOOR NOAH'S BEDROOM DORMER

EXISTING WINDOW UNIT TO BE REMOVED AND RELOCATED TO SECOND FLOOR SAM'S BEDROOM DESK AREA PATCH TO MATCH EXISTING

EXISTING WINDOW FROM EXISTING FIRST FLOOR BATH RELOCATED

**STATISTICS:**

FIRST FLOOR AREA -	3,362 SQ. FT.
FIRST FLOOR RENOVATED AREA -	1,355 SQ. FT.
SECOND FLOOR EXISTING AREA -	405 SQ. FT.
SECOND FLOOR ADDITION AREA -	1,051 SQ. FT.
SECOND FLOOR EXISTING RENOVATED AREA -	320 SQ. FT.
SECOND FLOOR LOFT AREA -	438 SQ. FT.
<b>TOTAL LIVING AREA -</b>	<b>5,251 SQ. FT.</b>
MUD ROOM -	134 SQ. FT.
UNFINISHED BASEMENT FLOOR AREA -	3,100 SQ. FT.
GARAGE -	576 SQ. FT.

No.	Date	Description

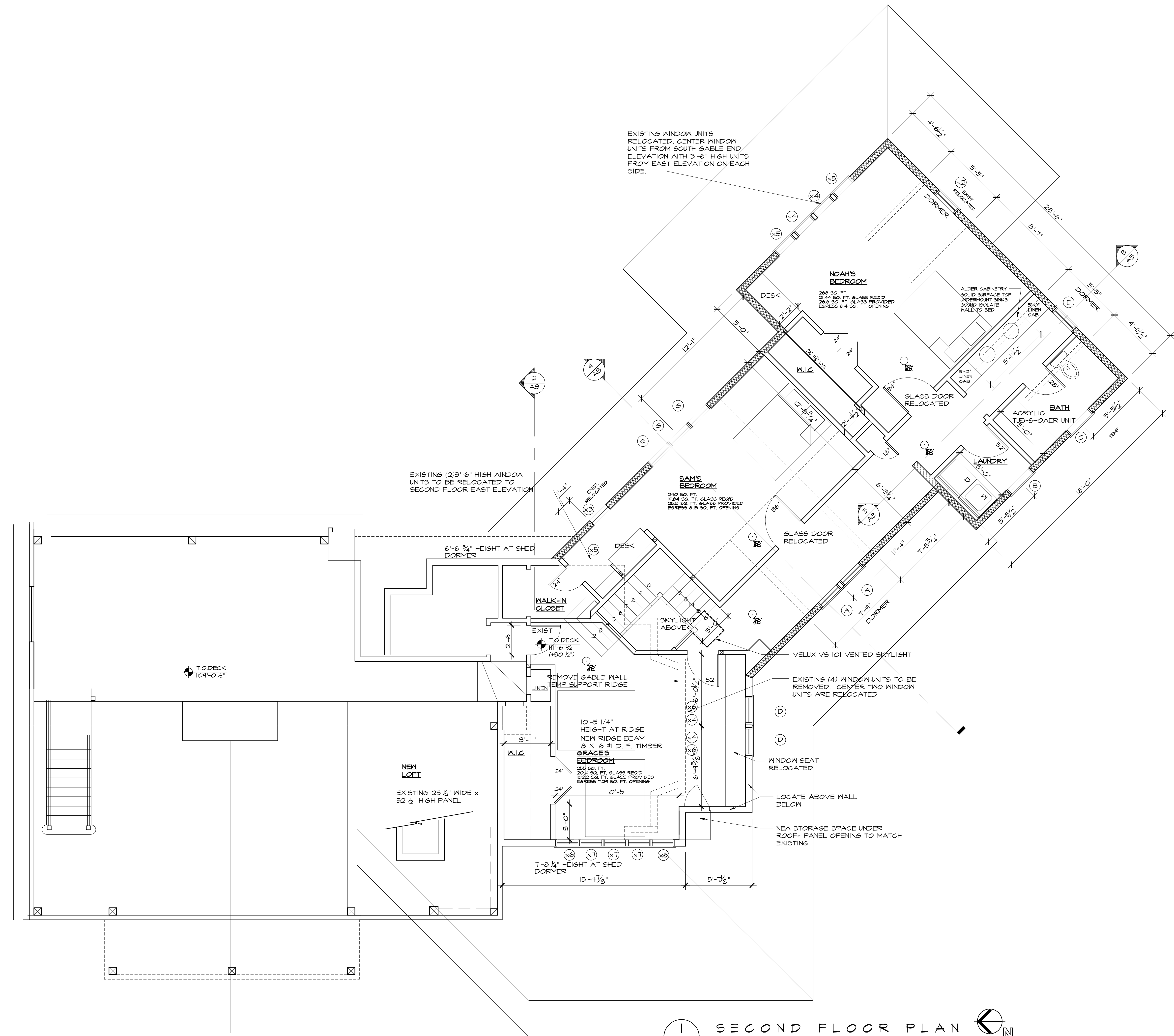
**DESIGN WORKS ARCHITECTURE**  
 16 South Main Street :: Pittsford, New York 14534  
 Phone: 585-369-4090 :: www.newdesignworks.com  
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Elaine and Steve  
**MENDOLA RESIDENCE**  
 3326 Clover Street  
 Town of Pittsford, NY

Project No.	0904
Date	05/27/09
Scale	AS NOTED
Drawn by	MIB
Checked by	CBS

Construction Document  
 FIRST FLOOR PLAN

**A-1**



1 SECOND FLOOR PLAN  
A-2 1/4" = 1'-0"

No.	Date	Description

**DESIGN WORKS**  
ARCHITECTURE

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Elaine and Steve  
**MENDOLA RESIDENCE**

3326 Clover Street  
Town of Pittsford, NY

Project No. 0904  
Date: 05/27/09  
Scale: AS NOTED  
Drawn by: MIB  
Checked by: CBS

Construction Document  
SECOND FLOOR PLAN

**A-2**

**CONSTRUCTION AND FRAMING NOTES:**

1. JOISTS, HEADERS, AND BEAMS SHALL BE EASTERN HF NO. 2 OR BETTER UNLESS NOTED OTHERWISE  
 HF: Fb=1100 PSI, Fv=75 PSI, E=1,300,000  
 LVL: Fb=2600 PSI, Fv=285 PSI, E=1,900,000  
 DOUG FIR: Fb=1400 PSI, Fv=85 PSI, E=1,400,000

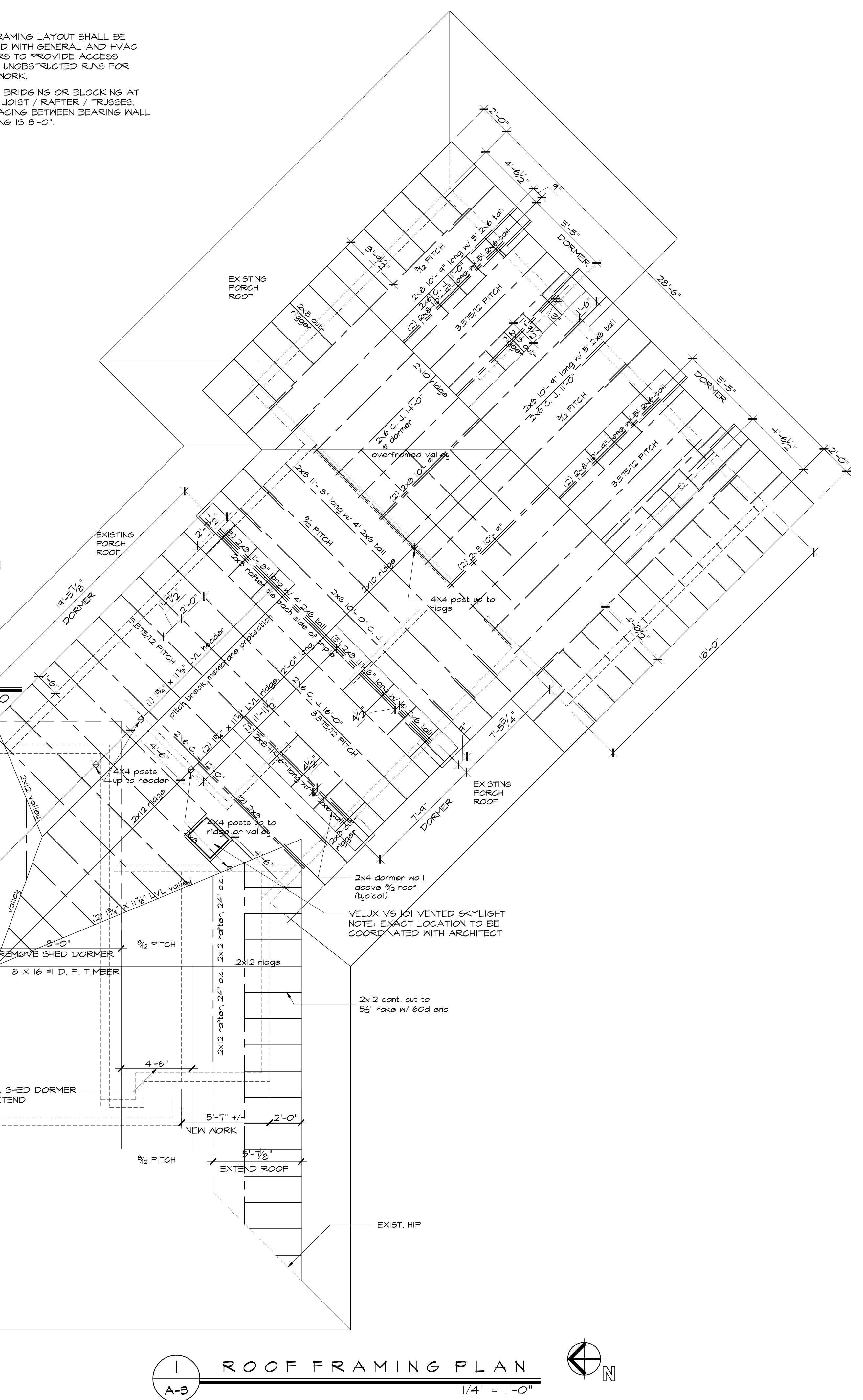
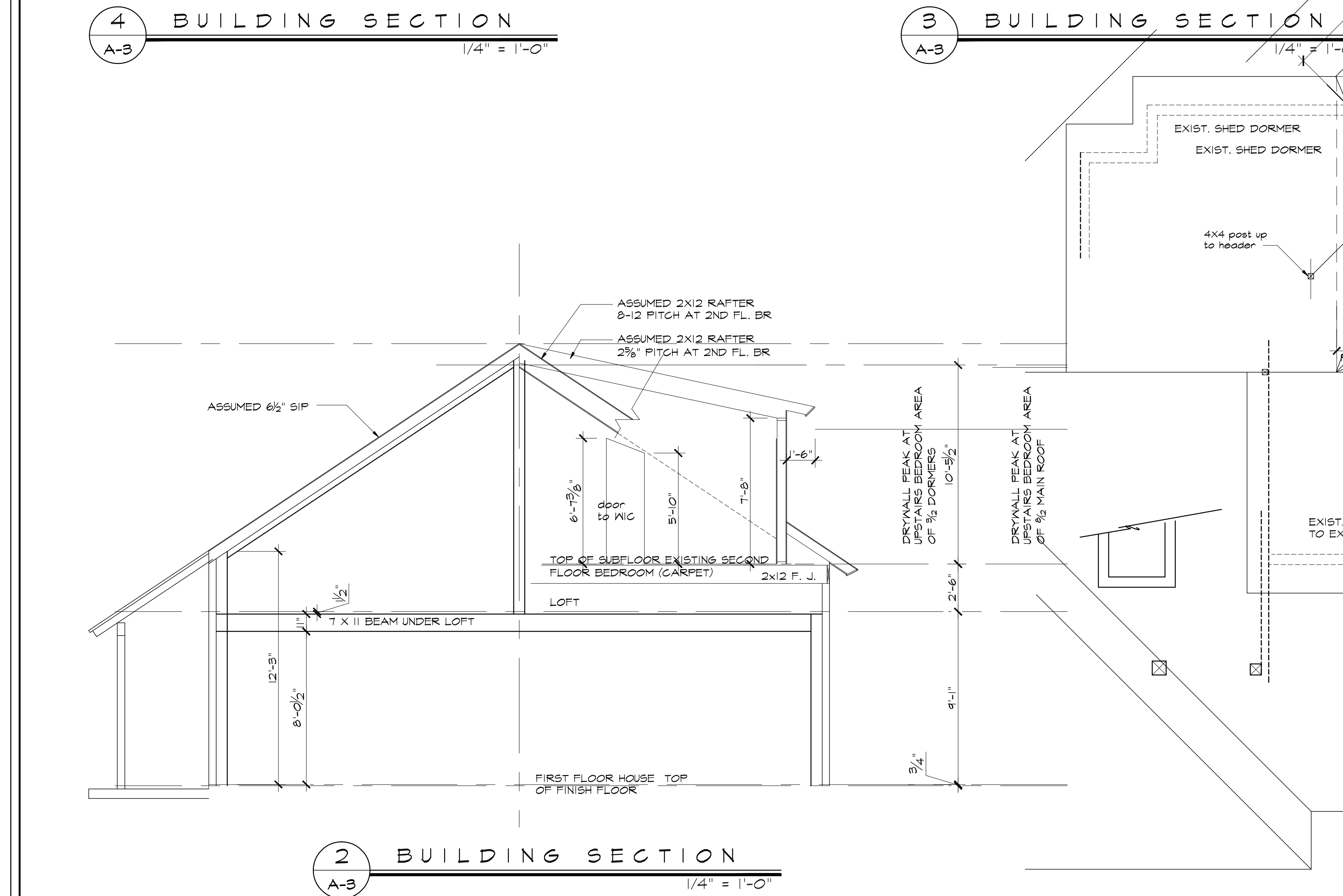
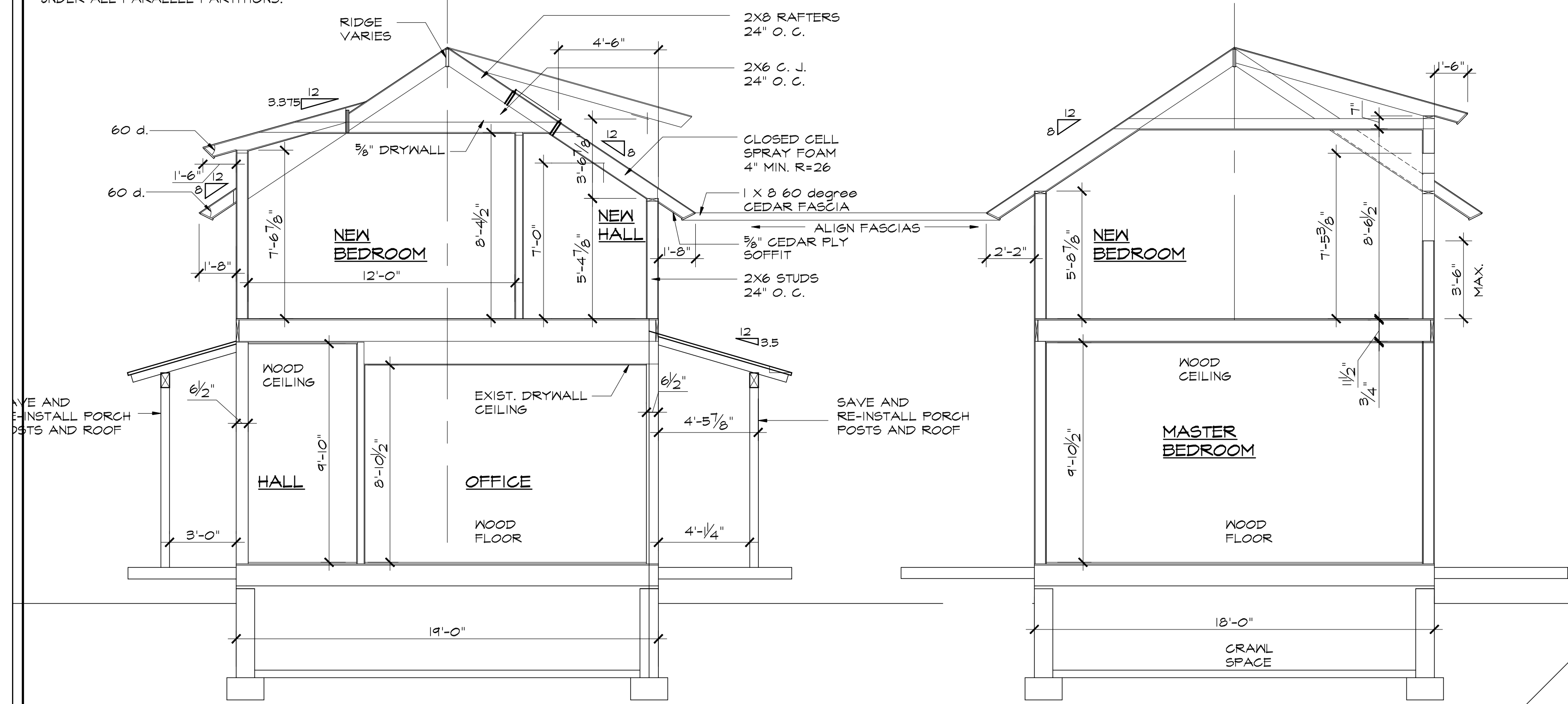
2. ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.  
 3. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, AND DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

4. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISHED MATERIAL OVER AT NON-TIMBER FRAMED AREAS.  
 5. STAIR CONSTRUCTION SHALL CONSIST OF 2x12 STRINGERS, 3/4" OR 2x THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.  
 6. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

7. "MICRO-LAM" BEAMS SHALL HAVE BENDING STRESS Fb=2,800 PSI. VERIFY WITH LOCAL CODES.  
 8. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.  
 9. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.

10. UNLESS OTHERWISE NOTED PROVIDE A 2x PLATE BOLTED TO TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 24" ON CENTER RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS OTHERWISE NOTED.

11. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK.  
 12. PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOIST / RAFTER / TRUSSES. MAXIMUM SPACING BETWEEN BEARING WALL AND BLOCKING IS 8'-0".



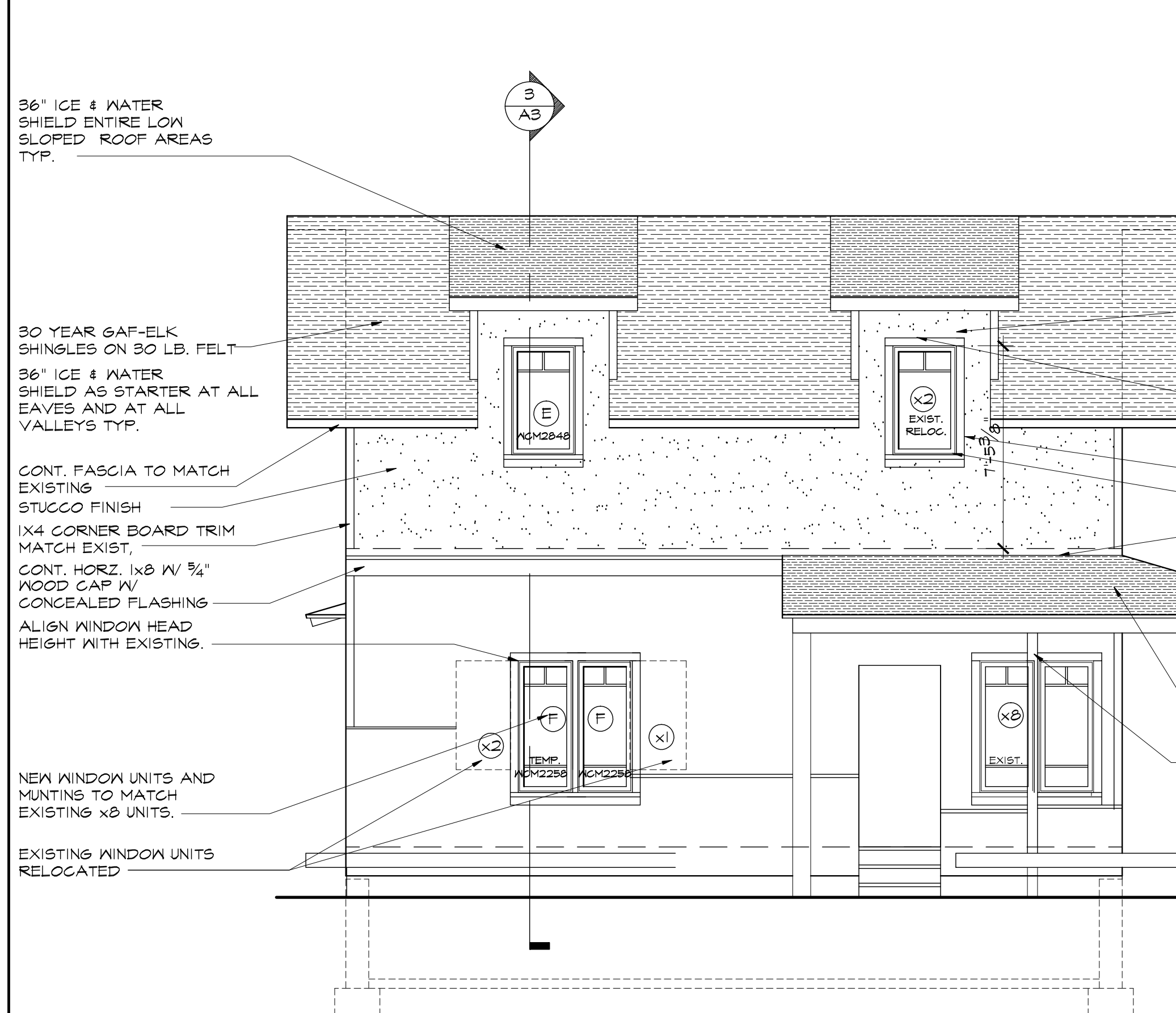
No.	Date	Description

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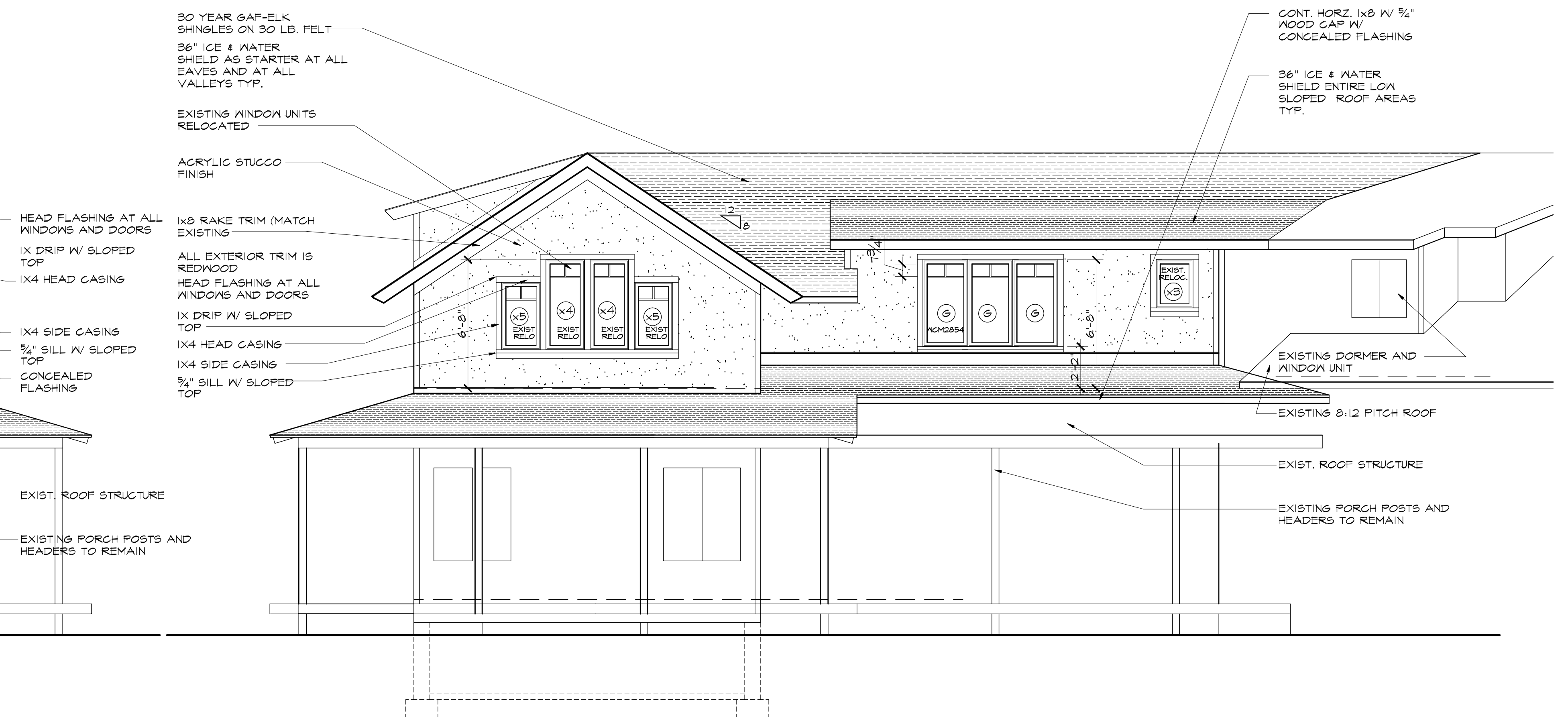
Elaine and Steve  
**MENDOLA RESIDENCE**  
 3326 Clover Street  
 Town of Pittsford, NY

Project No. 0904  
 Date: 05/27/09  
 Scale: AS NOTED  
 Drawn by: CBS  
 Checked by: CBS

Construction Document  
 ROOF PLAN &  
 BUILDING SECTIONS  
**A-3**



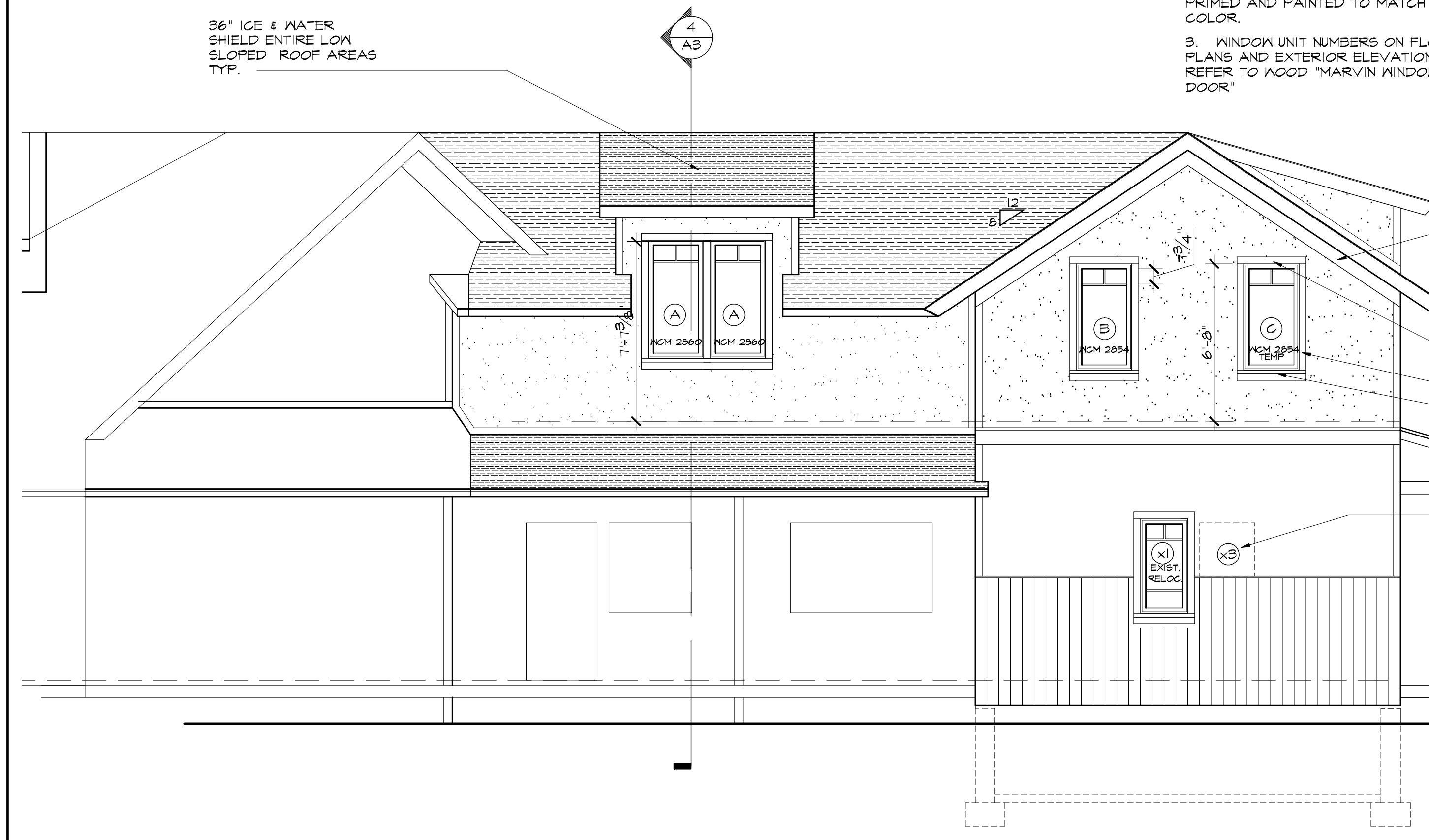
4 SOUTHEAST ELEVATION  
A-4 1/4" = 1'-0"



3 EAST ELEVATION  
A-4 1/4" = 1'-0"

**ELEVATION NOTES:**

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. WINDOW UNIT NUMBERS ON FLOOR PLANS AND EXTERIOR ELEVATIONS REFER TO WOOD 'MARVIN WINDOW AND DOOR'



2 WEST ELEVATION  
A-4 1/4" = 1'-0"



1 SOUTH ELEVATION  
A-4 1/4" = 1'-0"

No.	Date	Description

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Elaine and Steve  
**MENDOLA RESIDENCE**  
 3326 Clover Street  
 Town of Pittsford, NY

Project No. 0904  
 Date: 05/27/09  
 Scale: AS NOTED  
 Drawn by: MIB  
 Checked by: CBS

Construction Document  
 EXTERIOR ELEVATIONS

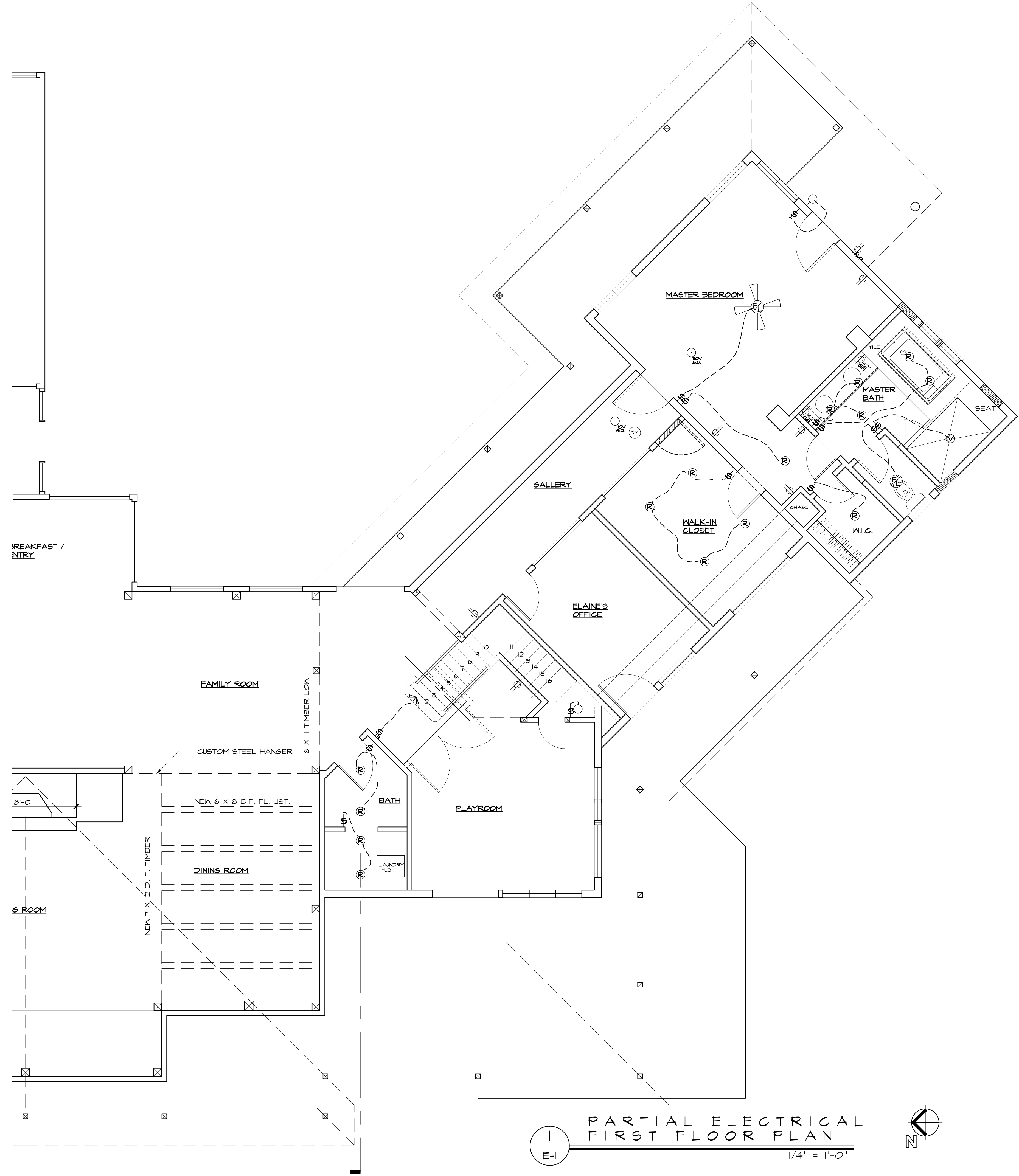
**A-4**



KEY TO ELECTRICAL SYMBOLS		NOTE: THESE SYMBOLS COMPRISE A STANDARD LIST, NOT ALL SYMBOLS MAY APPEAR IN THIS PROJECT.	
SWITCH	EXTERIOR LIGHT FIXTURE	FAN / LIGHT UNIT	RECESSED CAN FIXTURE
DIMMER SWITCH	SURFACE MOUNT FIXTURE	FAN / LIGHT / HEATER UNIT	DOOR CHIME
3-WAY SWITCH	WALL SCONCE	QUIET VENT UNIT	DOORBELL
4-WAY SWITCH	COMMUNICATIONS OUTLET	JUNCTION BOX SWITCHED	SATELLITE TV JACK
MOTION DETECTING SWITCH	TELEPHONE JACK	MIRROR LIGHT	TV OUTLET
DOOR ACTUATED SWITCH	110 QUADROPLEX OUTLET	METER LOCATION	SMOKE DETECTOR
110 DUPLEX OUTLET	MONOPOINT TRACK FIXTURE	CLOSET LIGHT	CARBON MONOXIDE DETECTOR
220 OUTLET	110 DUPLEX FLOOR OUTLET	EXT FLOOD LAMP DUAL SOCKET	STRIP FLUORESCENT
SWITCHED OUTLET	DOOR OPENER W/ LIGHT	THERMOSTAT CONTROL	POINTS REQUIRING ROUGH IN WIRING BEFORE S.I.P. OR FLOOR DECKING INSTALL
WATER PROOF EXT. OUTLET	SURFACE MOUNT LOW-VOLT.	RECESSED INSULATED	
GROUND FAULT INTERRUPT	PORCELAIN LAMP SOCKET	INSUL WALL WASHER	
		RECESSED NIGHT LIGHT	PADDLE FAN / LIGHT

**GENERAL NOTES:**

- ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE W/NEC.
  - ALL LIGHTING TO BE SELECTED BY OWNER.
  - PROVIDE DUCTING FOR ALL F/L COMBINATIONS TO EXTERIOR. (SOFFIT)
  - COORDINATE LOAD CENTER SIZE W/ TOTAL BLDG. LOAD AND PROVIDE AMPLE POWER TO HOUSE.
  - IF MORE THAN ONE GFI OUTLET IS NEEDED IN ONE ROOM, CONNECT THE REMAINING TO THE GFI OUTLET.
  - ALL CIRCUITS TO BE 20A.
- \*THIS ELECTRIC PLAN IS FOR BASIC LIGHTING, SWITCHING AND SPECIAL RECEPTACLES. ADDITIONAL RECEPTACLES MAY BE INSTALLED TO MEET CODE AND /OR OWNERS REQUIREMENTS.
- \*IT IS RECOMMENDED THAT A WHOLE HOUSE VENTILATION SYSTEM BE INSTALLED TO CONTROL INTERIOR HUMIDITY LEVELS. VENT BATHROOMS, LAUNDRY AND KITCHEN.



**PARTIAL ELECTRICAL FIRST FLOOR PLAN**  
1/4" = 1'-0"

No.	Date	Description

**DESIGN WORKS ARCHITECTURE**  
 16 South Main Street :: Pittsford, New York 14534  
 Phone: 585-369-4090 :: www.newdesignworks.com  
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Elaine and Steve  
**MENDOLA RESIDENCE**  
 3326 Clover Street  
 Town of Pittsford, NY

Project No.	0904
Date	05/27/09
Scale	AS NOTED
Drawn By	M.B.B.F.K.
Checked By	C.B.S.

Construction Document  
 ELECTRICAL  
 FIRST FLOOR PLAN

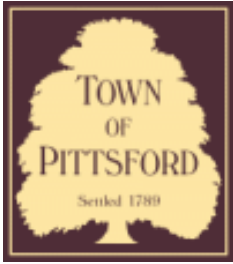
**E-1**











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000097**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 17 Coventry Ridge PITTSFORD, NY 14534

**Tax ID Number:** 177.03-5-6

**Zoning District:** IZ Incentive Zoning

**Owner:** Clover Street Development

**Applicant:** Clover Street Development

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

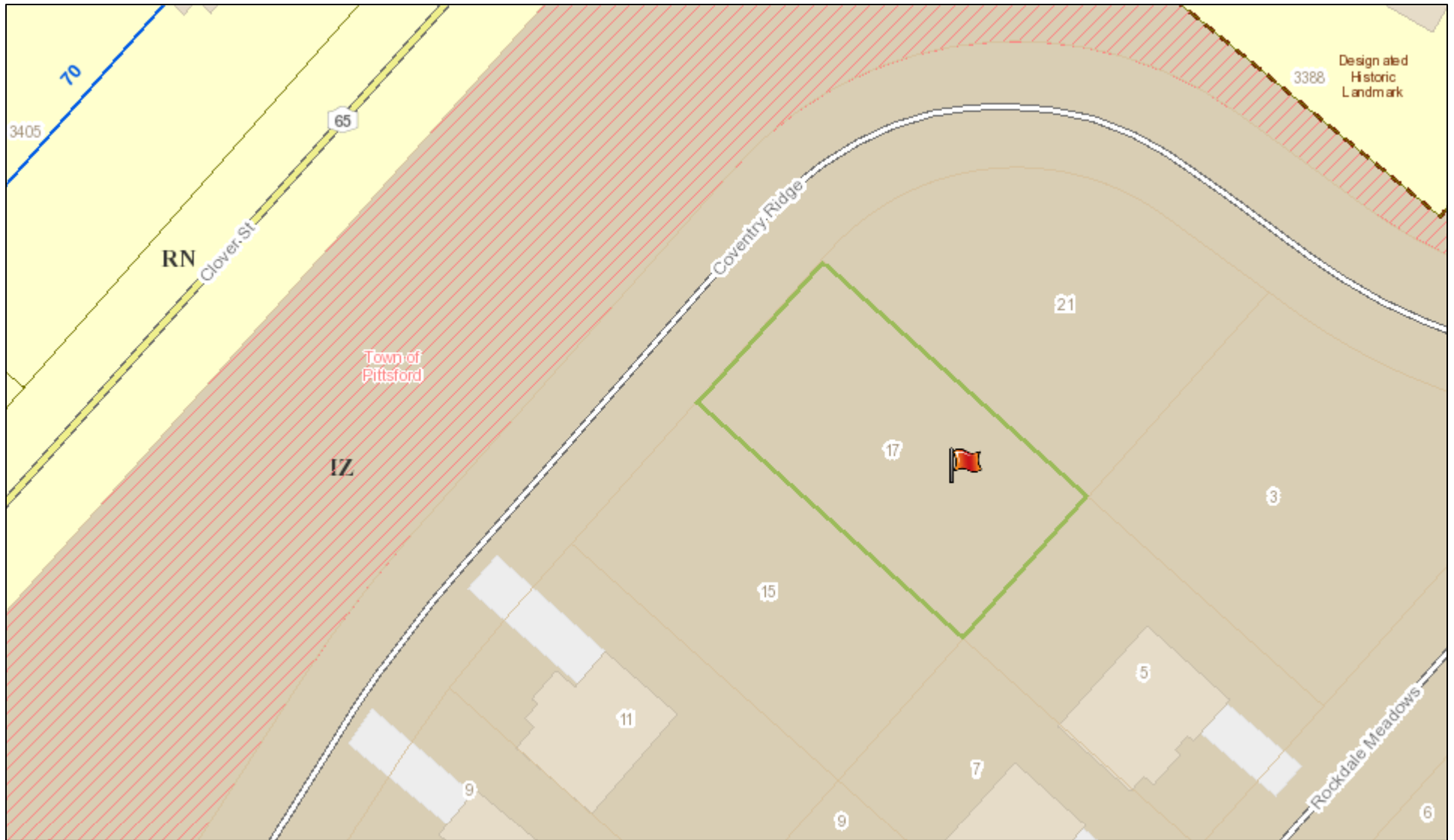
**Project Description:** Applicant is requesting design review for a new single family one story home. The new home will be approximately 2,232 sqft and will be located in the Coventry Ridge subdivision.

**Meeting Date:** July 11, 2019

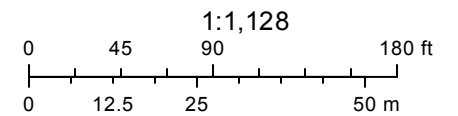


04/21/2018 - 04/23/2018

# RN Residential Neighborhood Zoning



Printed July 2, 2019

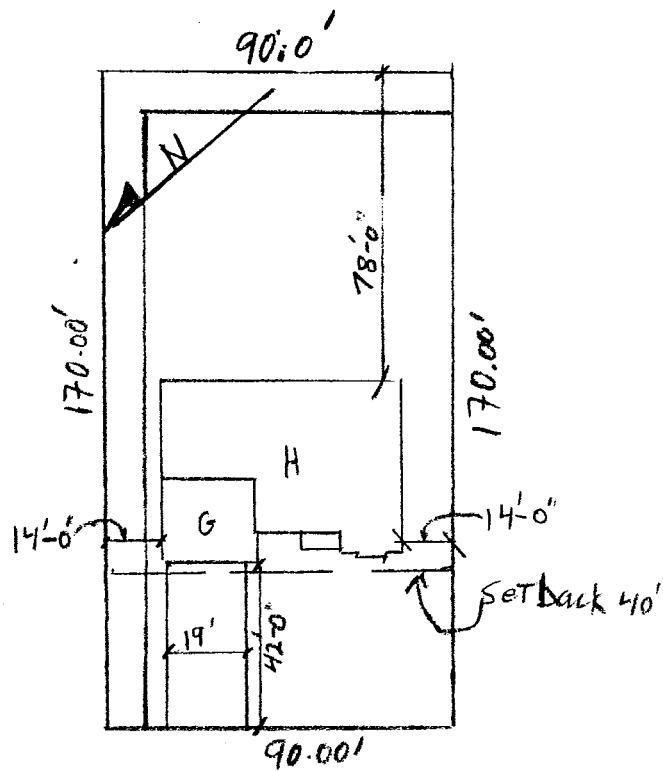


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Lot 6 Coventry Ridge  
Scale 1" = 50'-0"



### HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



# SPEC HOUSE

## LOT 6 COVENTRY RIDGE

### PITTSFORD, NY

#### COVENTRY RIDGE BUILDING CORP.

# PLAN 2232 R / PROJECT 2551 E

## SHEET INDEX

- C-1 COVER SHEET
- 1/7 FRONT & LEFT ELEVATIONS
- 2/7 FOUNDATION PLAN
- 3/7 FOUNDATION ELECTRICAL PLAN
- 4/7 FIRST FLOOR PLAN
- 5/7 FIRST FLOOR ELECTRICAL PLAN
- 6/7 SECTIONS
- 7/7 REAR, RIGHT ELEVATIONS & ROOF PLAN
- N-1 DETAILS
- N-2 REINFORCING NOTES

### GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE EFFECTIVE OCTOBER 2016.

COMPLIANCE METHOD: RES CHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE  $\frac{1}{30}$  OF THE AREA OF THE VENTED SPACE.

### ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

R402.4.1 BUILDING THERMAL ENVELOPE : THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY, A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

### SITE WORK :

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2015 IRC AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

### FOUNDATION :

ALL FOOTINGS TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

### FIREPLACES :

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

### FRAMING :

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

### STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 312.1.1 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2015 IRC.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2015 IRC.

### GARAGE FIREPROOFING :

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

### STRUCTURAL MATERIAL SPECIFICATIONS:

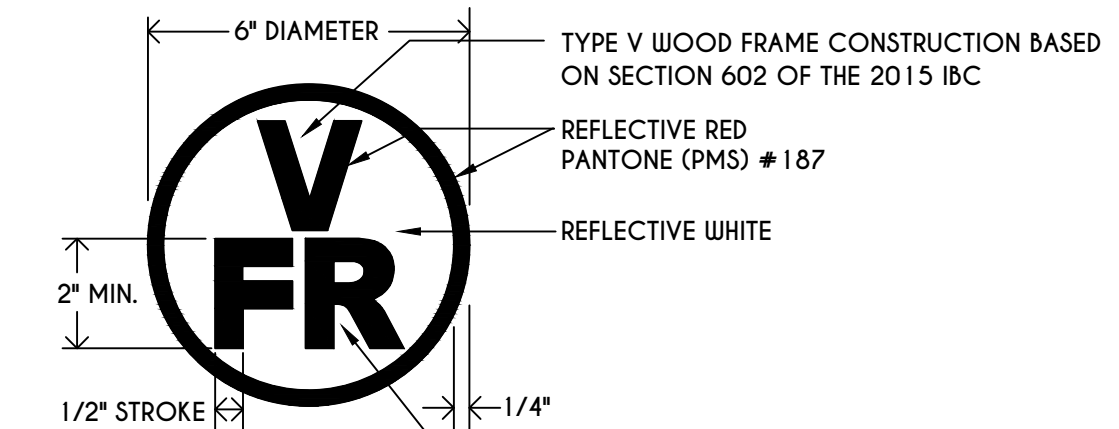
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 <sup>-6</sup> = 1.9 Fc <sup>1</sup> = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. ( FOOTINGS, BASEMENT SLAB ) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS )
BOLTS	ASTM A307, Fy - 33 KSI

### DESIGN CRITERIA: ( FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES )

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH. EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

### TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION OF FLOOR AND ROOF TRUSS CONSTRUCTION COMPONENTS THAT ARE OF TRUSS CONSTRUCTION	<table border="1"> <tr> <td>"V"</td> <td>FLOOR FRAMING, INC. GIRDERS &amp; BEAMS</td> </tr> <tr> <td>"FR"</td> <td>FLOOR FRAMING</td> </tr> <tr> <td>"FR"</td> <td>FLOOR &amp; ROOF FRAMING</td> </tr> </table>	"V"	FLOOR FRAMING, INC. GIRDERS & BEAMS	"FR"	FLOOR FRAMING	"FR"	FLOOR & ROOF FRAMING
"V"	FLOOR FRAMING, INC. GIRDERS & BEAMS						
"FR"	FLOOR FRAMING						
"FR"	FLOOR & ROOF FRAMING						

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REVISIONS:		
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

LOT 6  
ROCKDALE MEADOWS  
COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**

COVENTRY RIDGE  
BUILDING CORP.

### COVER PAGE

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scale:	date:
AS NOTED	3 / 19
PROJECT:	sheet:
2551 E	C-1

TABLE M1507.3.3(1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION  
SYSTEM AIRFLOW RATE REQUIREMENTS

DIWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1507.3.3(2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR c	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
b. Extrapolation beyond the table is prohibited.

**WINDOWS:** VIVID SOLARBAN GLASS W/ ARGON

U-FACTOR ..... 0.28  
SHGC ..... 0.31

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SLIDING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2015 IECC

**WINDOW / DOOR LEGEND:**

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
- [F] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

**GENERAL NOTES:**

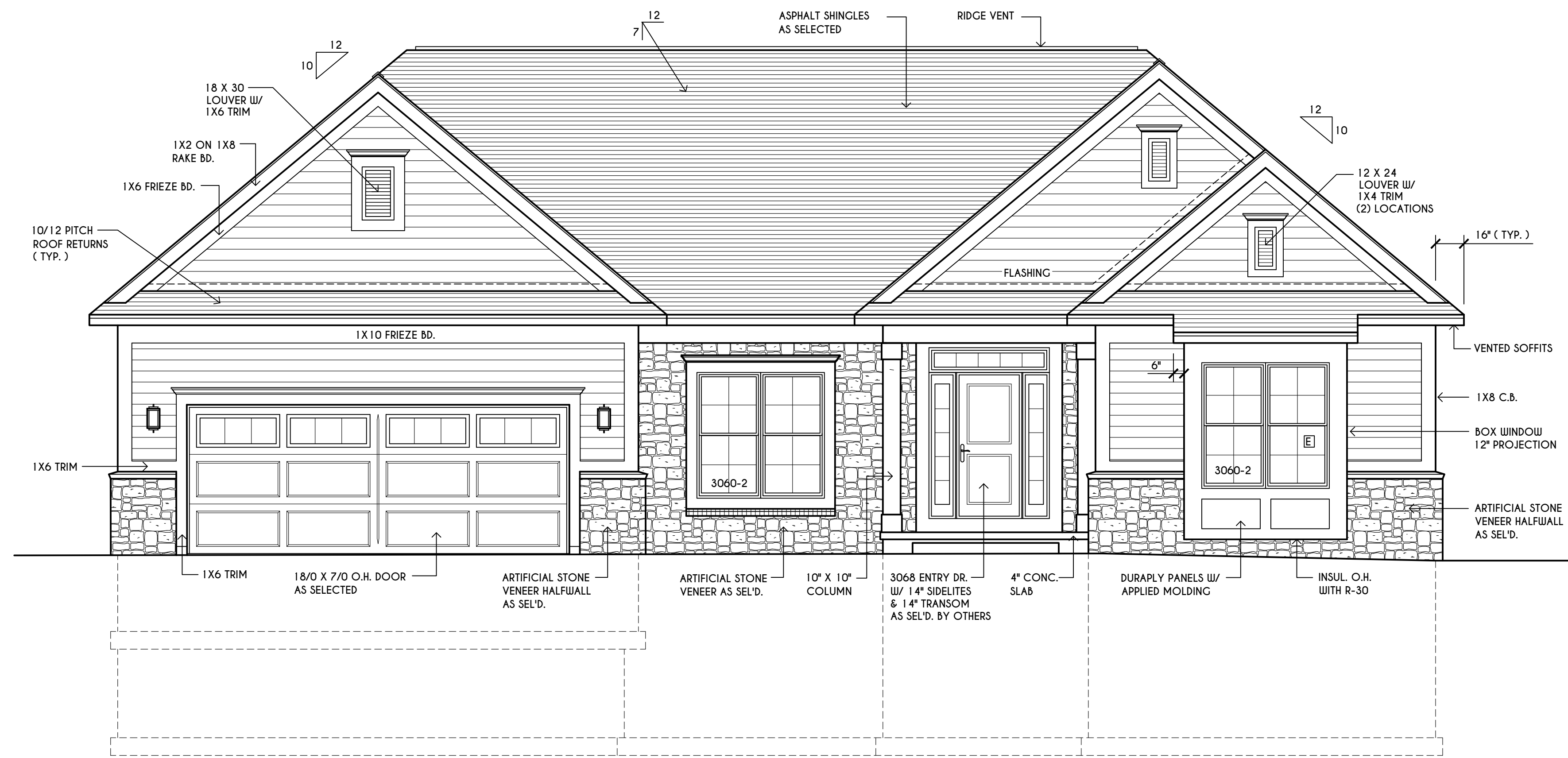
ALL RAKES TO BE 8" & OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

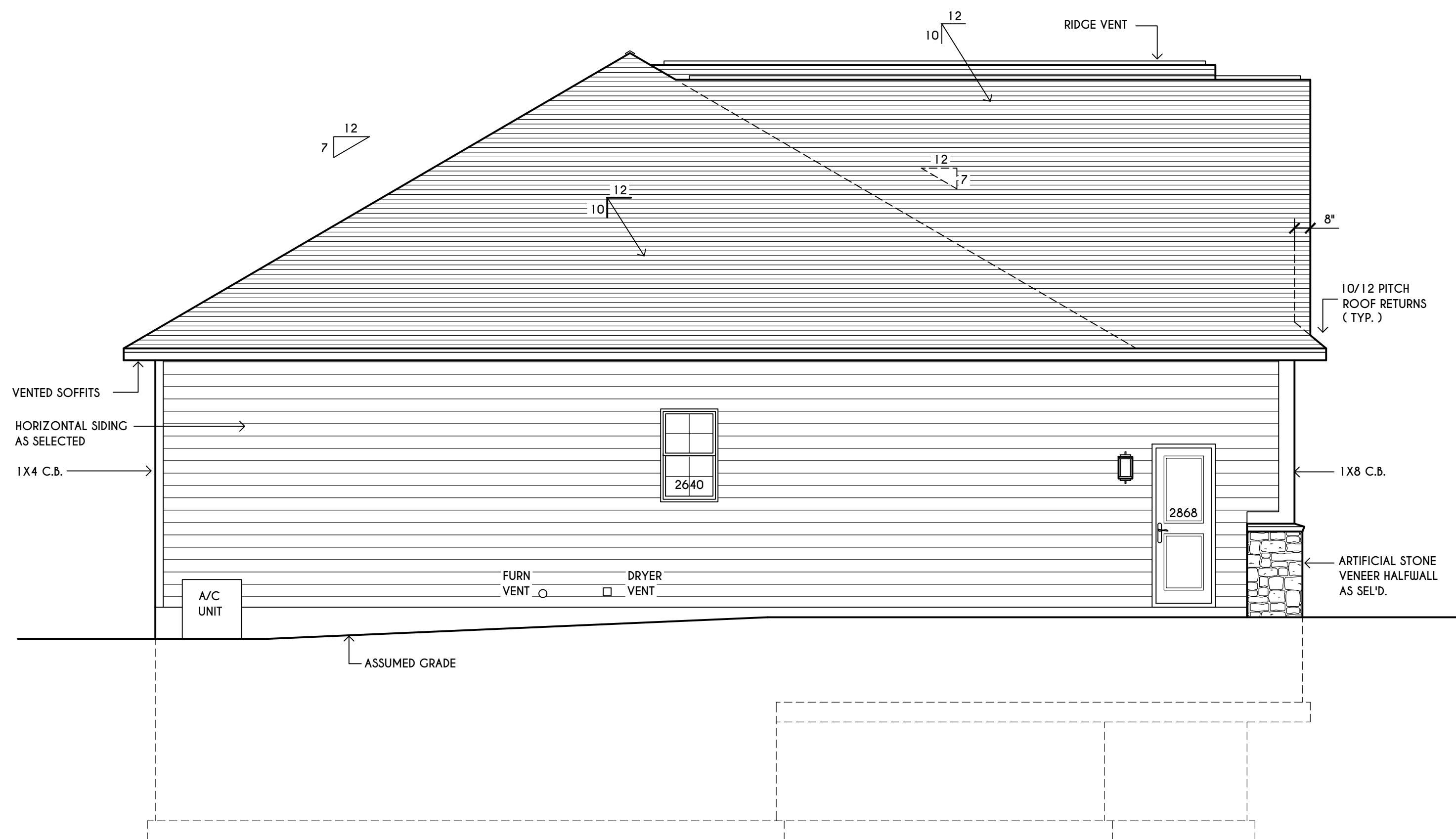
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1507.3 OF 2015 IRC (SEE TABLES M1507.3.3(1) & M1507.3.3(2) PG 1)



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

TOTAL LIVING AREA = 2232 SQ.FT.  
TOTAL CONDITIONED VOLUME = 41,543 CU.FT.



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

**HOUSE FOOTPRINT**

SCALE: 1" = 50'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

LOT 6  
ROCKDALE MEADOWS  
COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**

COVENTRY RIDGE  
BUILDING CORP.

**ELEVATIONS**

GLA PLAN 2232 R

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scale: AS NOTED	date: 3 / 19
PROJECT: 2551 E	sheet: 1 / 7



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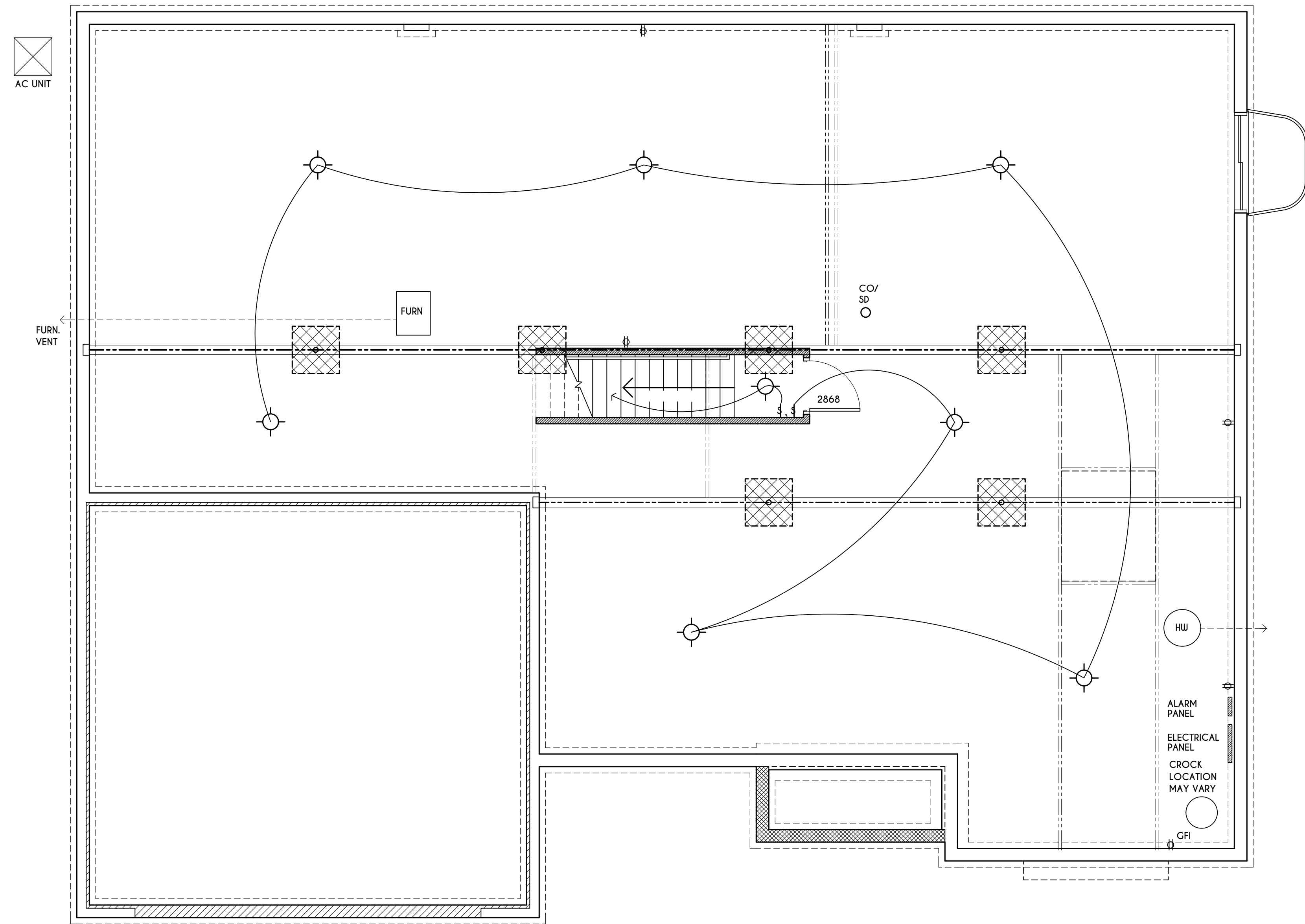
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**BSM'T ELECTRICAL PLAN**

**GLA PLAN 2232 R**

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PROJECT: 2551 E	sheet: 3 / 7

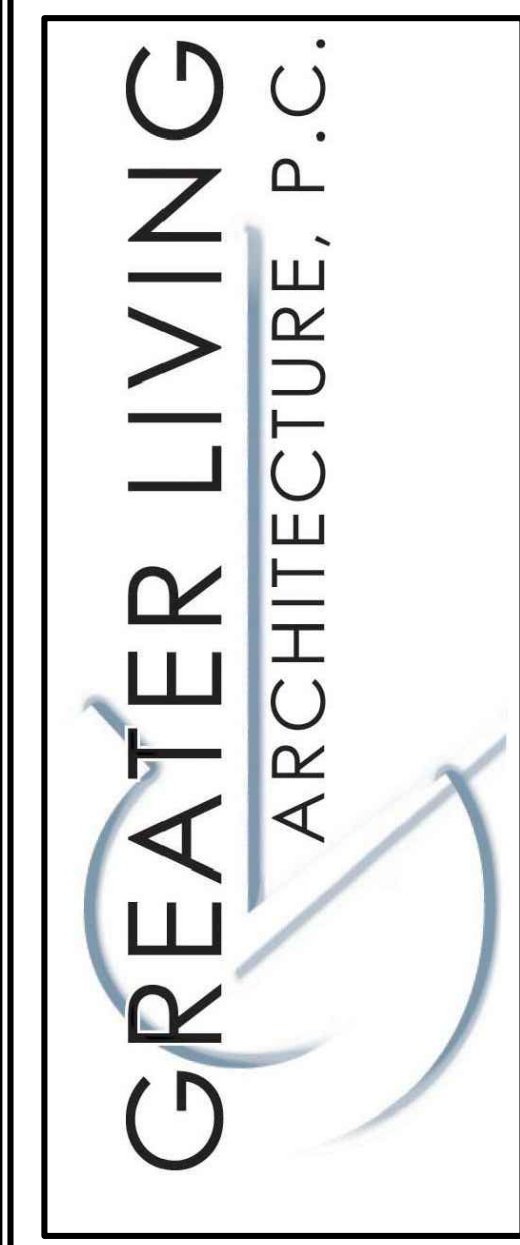


**BASEMENT ELECTRICAL LAYOUT**

SCALE: 1/4" = 1'-0"

PIR = PASSIVE INFRARED	⊥	SINGLE SWITCH CONNECT TO LIGHT
CATV = CABLE TV	⊥	TWO SWITCHES CONNECT TO ONE LIGHT
DATA = CAT V / INTERNET	⊥	THREE SWITCHES CONNECT TO ONE LIGHT
KP = KEY PAD	⊥	LIGHT
DC = DOOR CONTACT	⊥	RECESSED LIGHT
CO = CARBON MONOXIDE DET.	⊥	DUPLEX ( 2 OUTLET UNIT)
SD = SMOKE DETECTOR	⊥	EXTERIOR DUPLEX ( 2 OUTLET UNIT)
SP = SPEAKER	⊥	FLOURESCENT LIGHT IN CLOSET
VC = VOLUMN CONTROL	⊥	
⊥	⊥	
⊥	⊥	
⊥	⊥	

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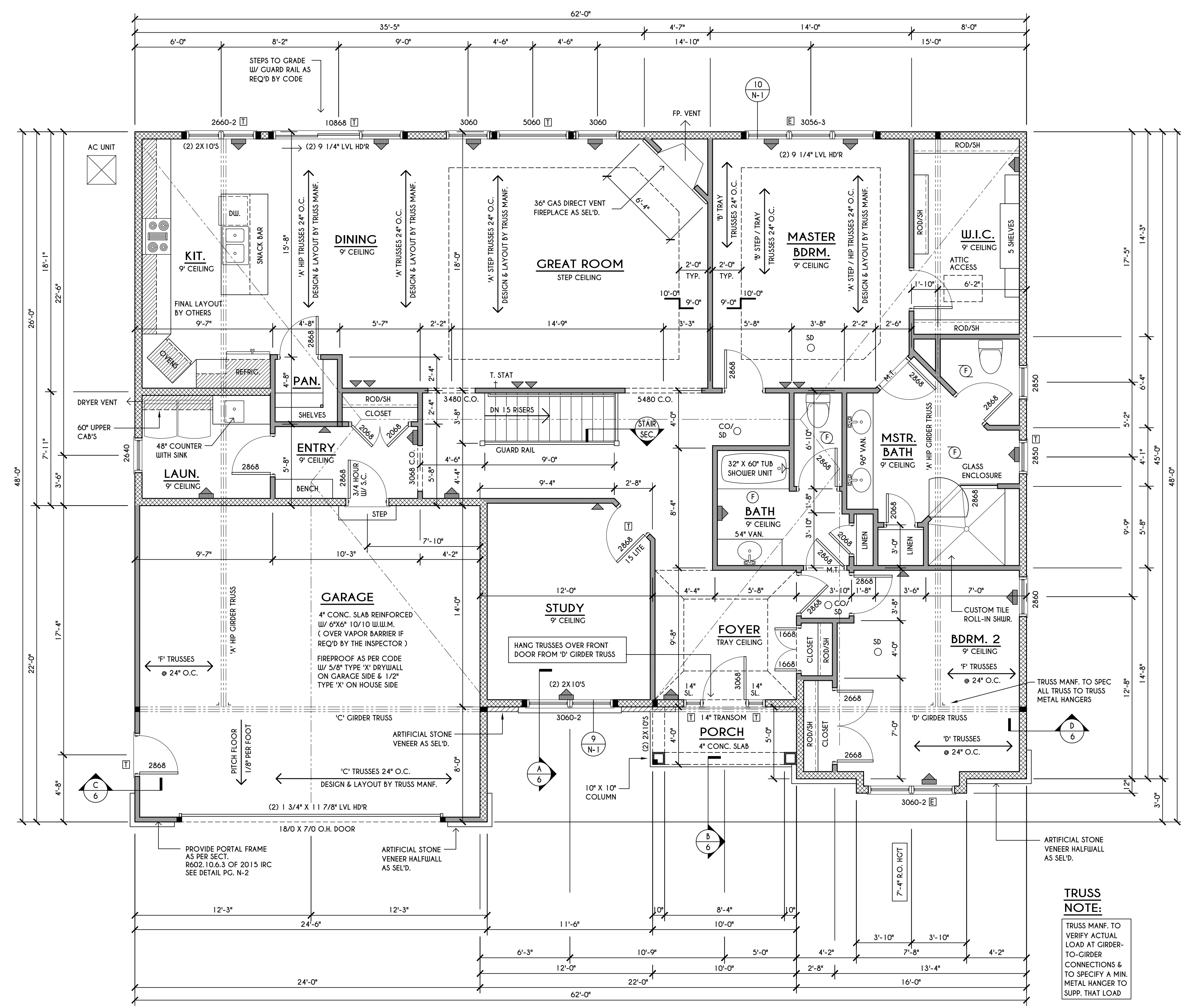
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 LOT 6  
 ROCKDALE MEADOWS  
 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FIRST FLOOR PLAN**  
 GLA PLAN 2232 R

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scale: AS NOTED	date: 3 / 19
PROJECT: 2551 E	sheet: 4 / 7



**FRAMING LEGEND:**

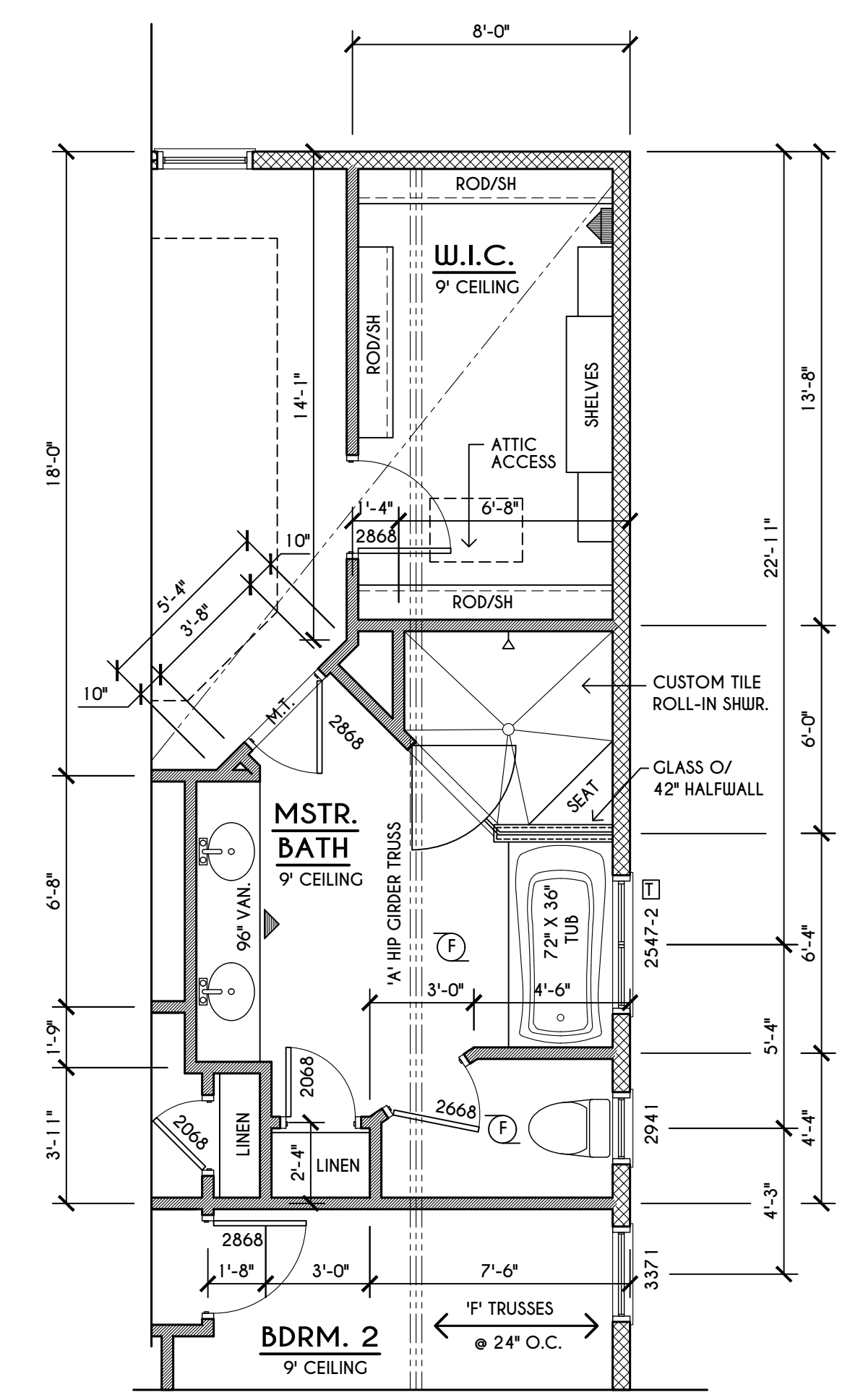
- PROVIDE SOLID POSTING- GLUED & NAILD, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 2232 SQ. FT.

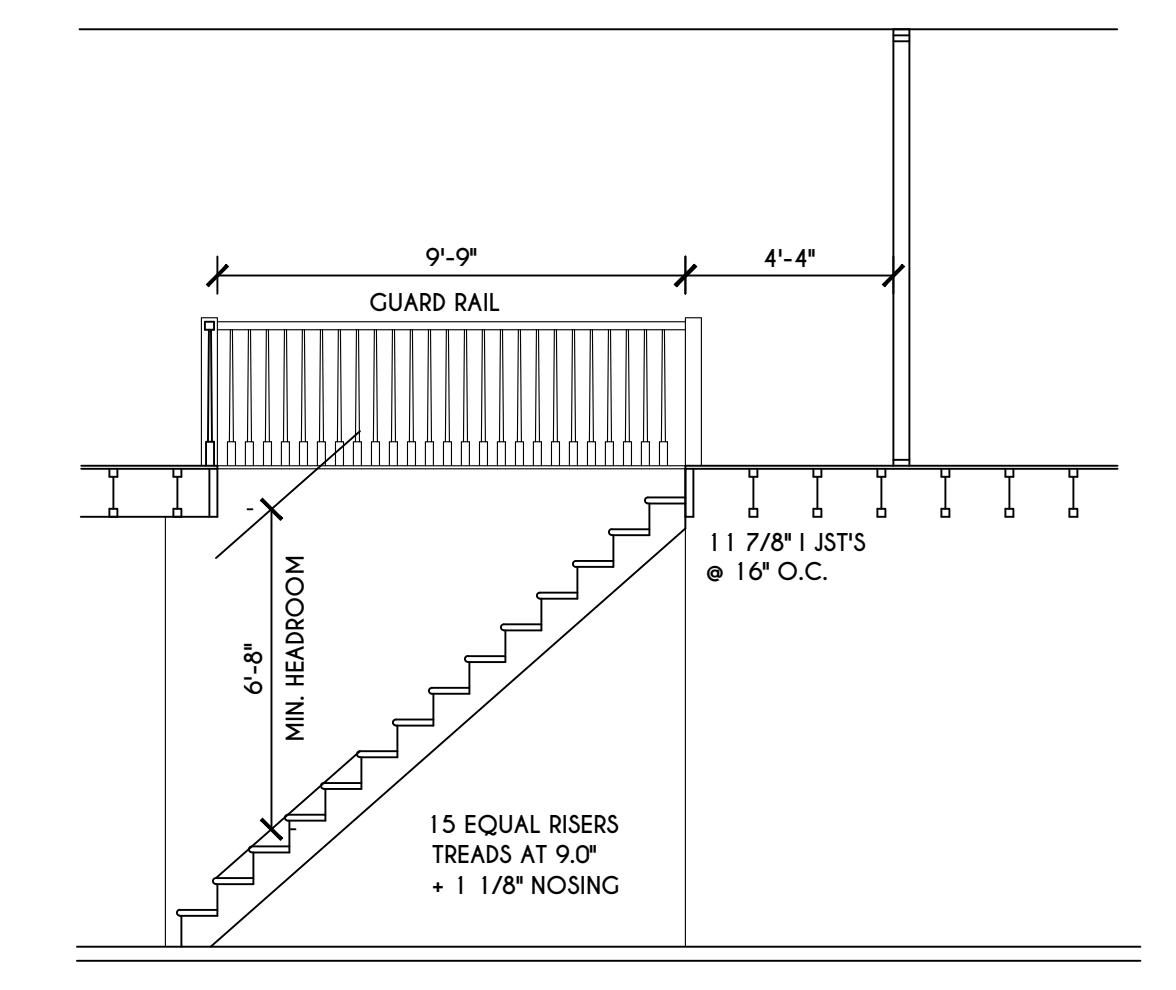
**NOTES:**  
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DRY JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2015 IRC
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
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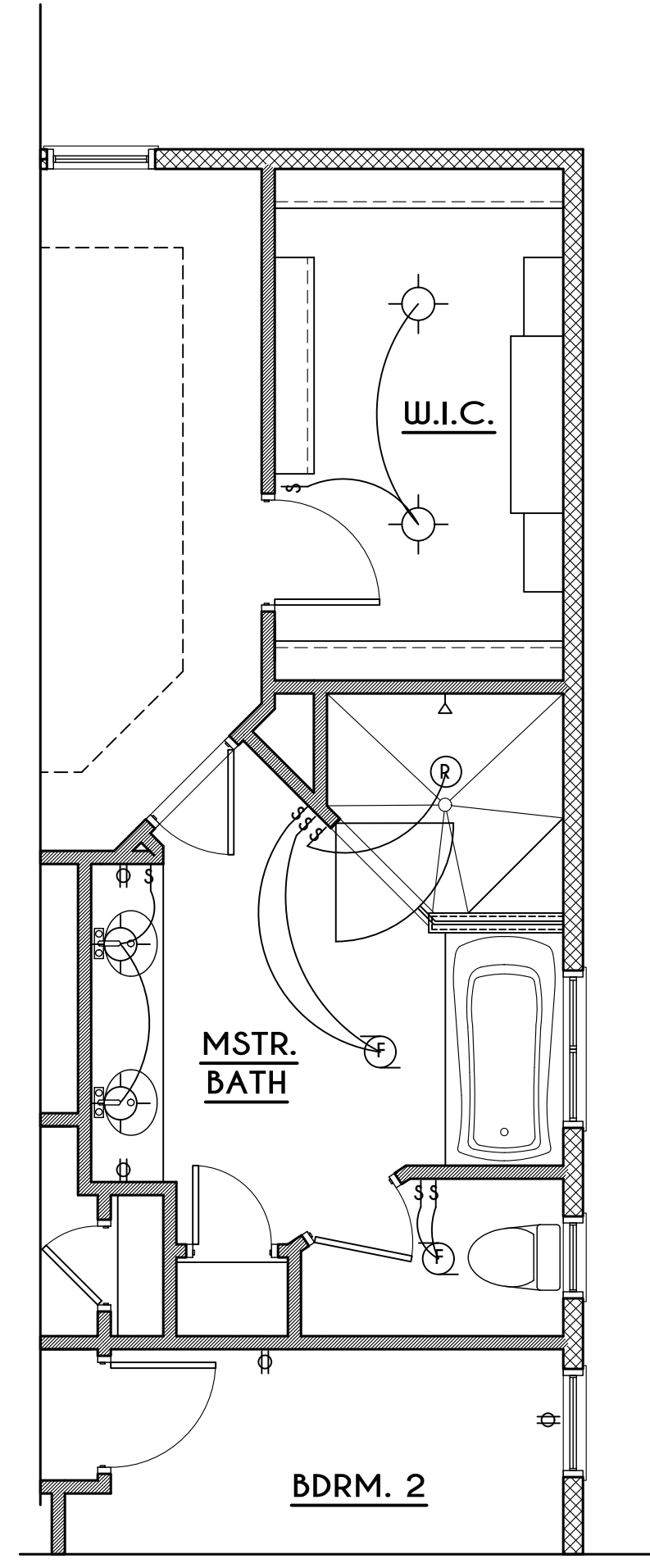
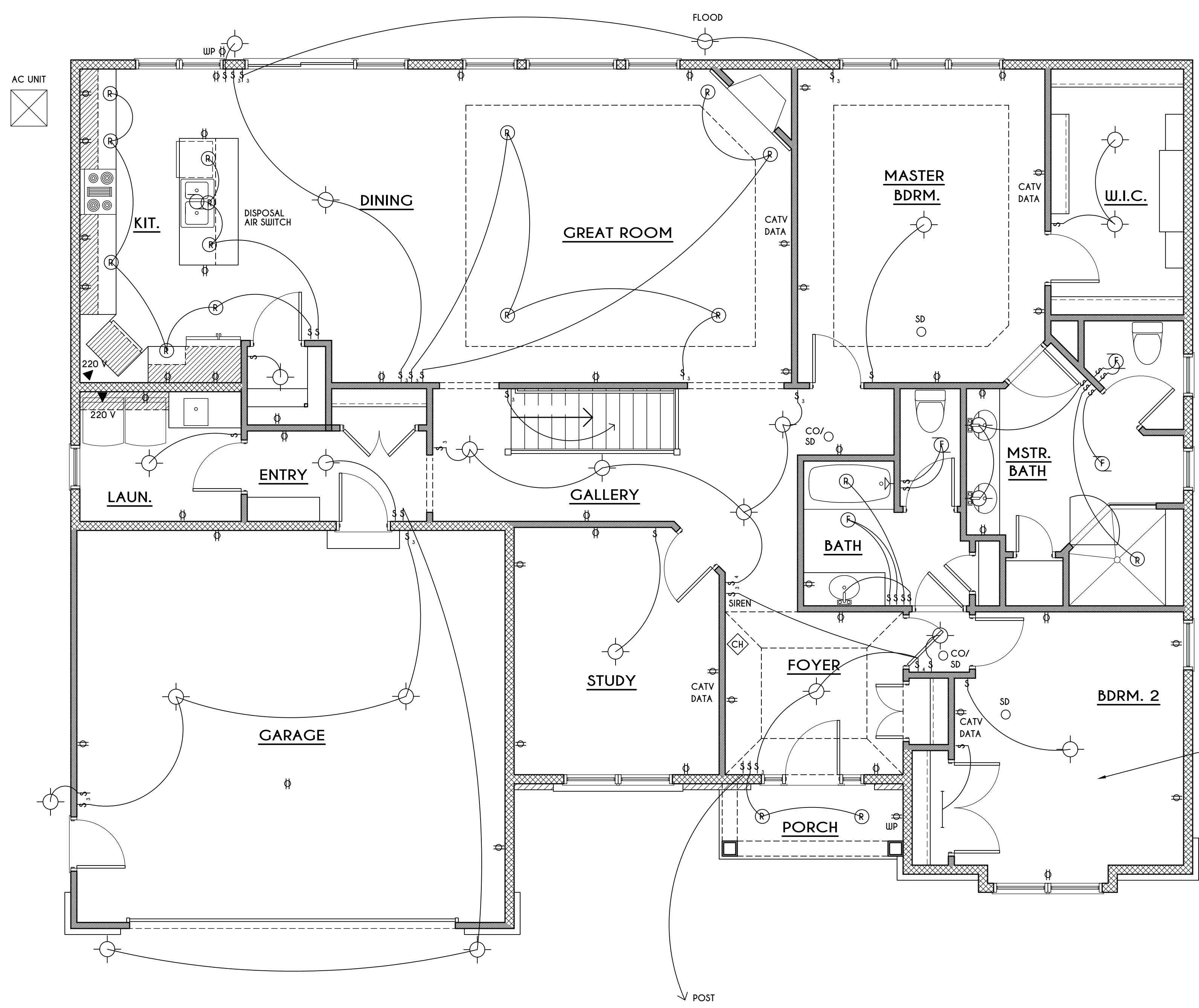


**ALT. MASTER BATH**  
 SCALE: 1/4" = 1'-0"



**STAIR SECTION**  
 SCALE: 1/4" = 1'-0"

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### FIRST FLOOR ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

PIR	= PASSIVE INFRARED	§	SINGLE SWITCH CONNECT TO LIGHT
CATV	= CABLE TV	§	TWO SWITCHES CONNECT TO ONE LIGHT
DATA	= CAT V / INTERNET	§	THREE SWITCHES CONNECT TO ONE LIGHT
KP	= KEY PAD	○	LIGHT
DC	= DOOR CONTACT	○	RECESSED LIGHT
CO	= CARBON MONOXIDE DET.	⊕	DUPLEX ( 2 OUTLET UNIT)
SD	= SMOKE DETECTOR	⊕	EXTERIOR DUPLEX ( 2 OUTLET UNIT)
SP	= SPEAKER	⊕	FLOURESCENT LIGHT IN CLOSET
VC	= VOLUMN CONTROL	⊕	
⊕	= DOOR CHIME		
⊕	= BATHROOM FAN / LIGHT		

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 COVENTRY RIDGE  
 PITTSFORD, NY

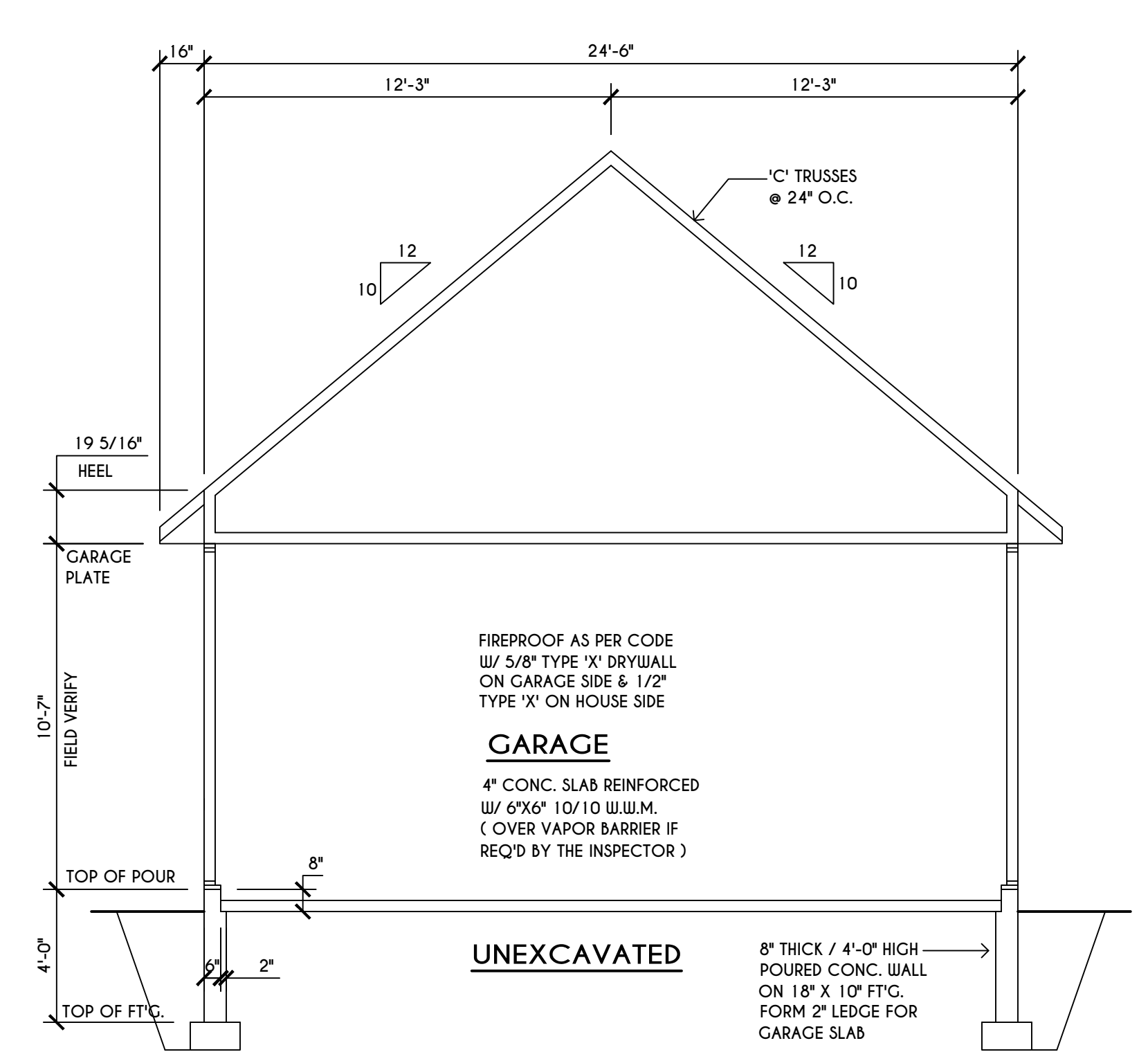
**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

1ST F'R ELEC. PLAN

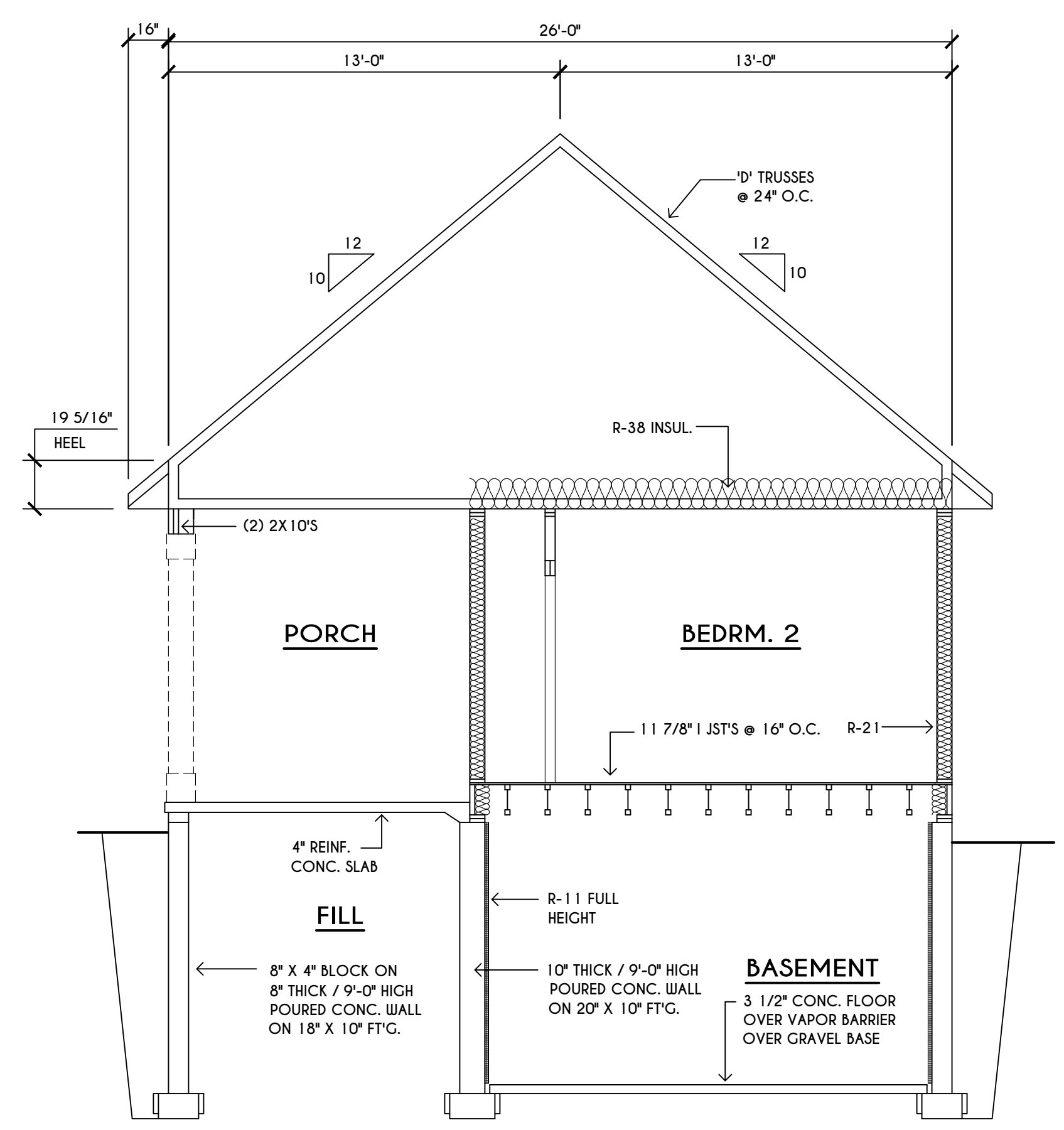
GLA PLAN 2232 R

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PROJECT: 2551 E	sheet: 5 / 7

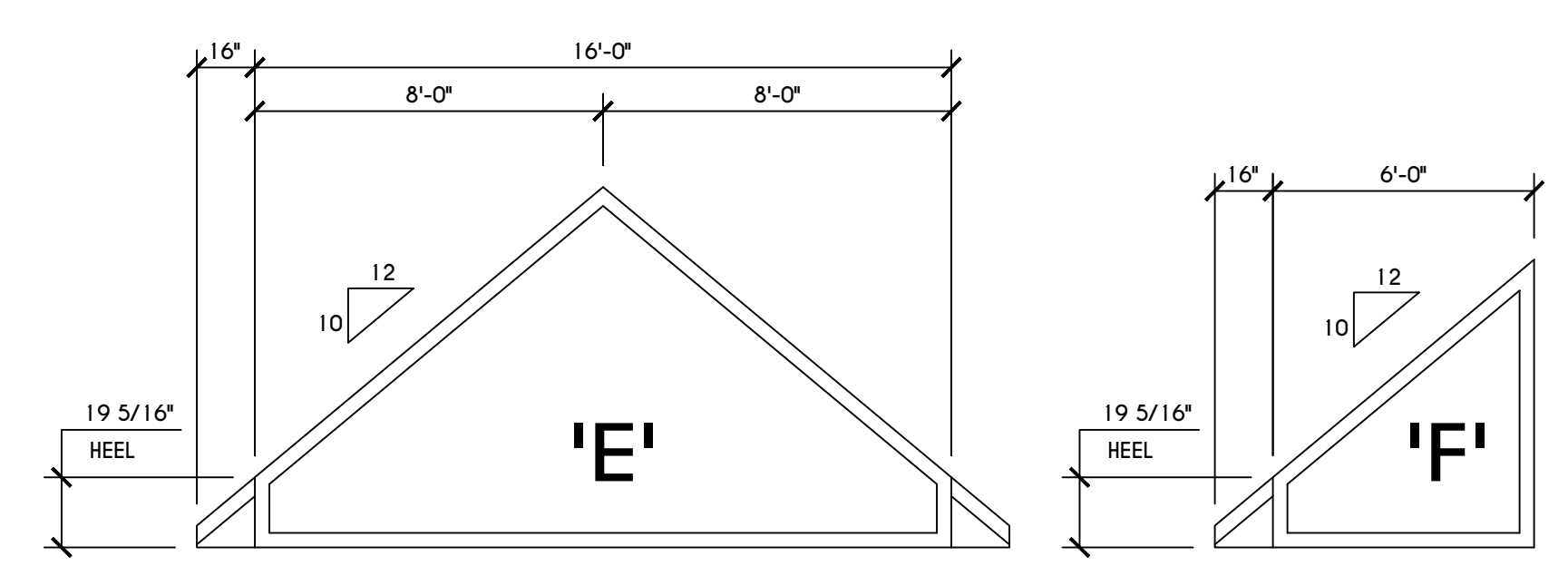
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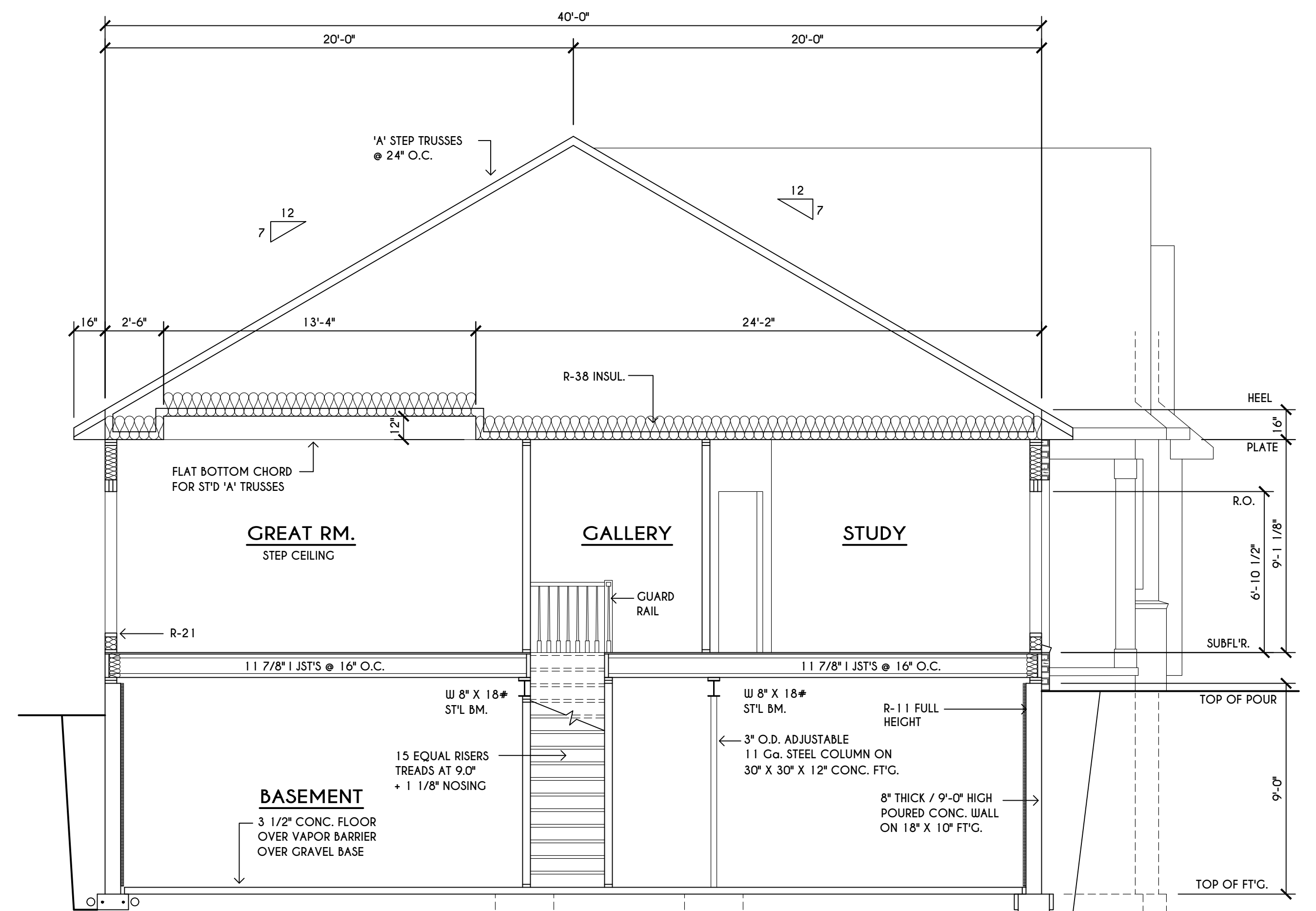
**C BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



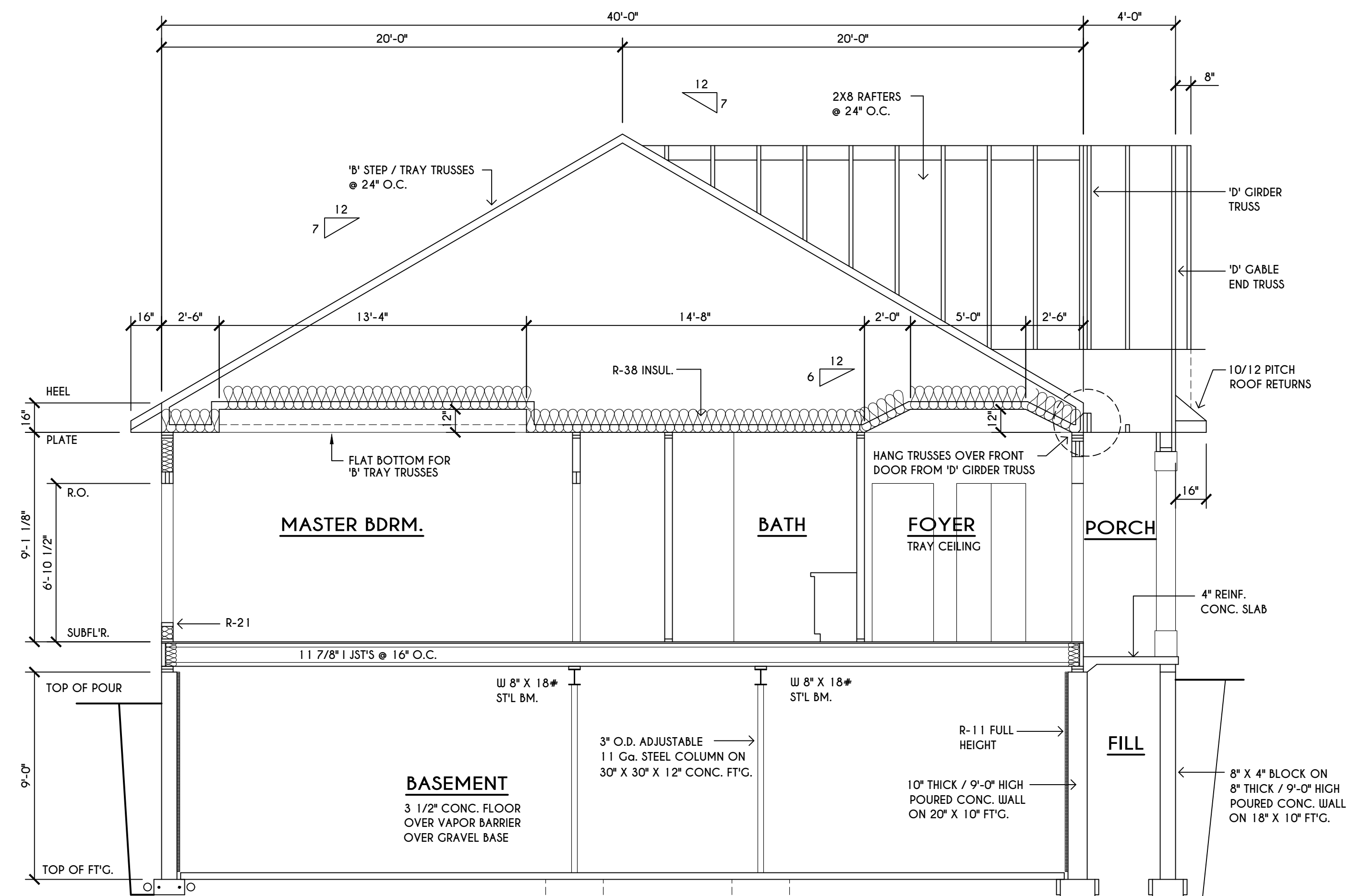
**D BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**'E' & 'F' TRUSS PROFILES**  
 SCALE: 1/4" = 1'-0"



**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"

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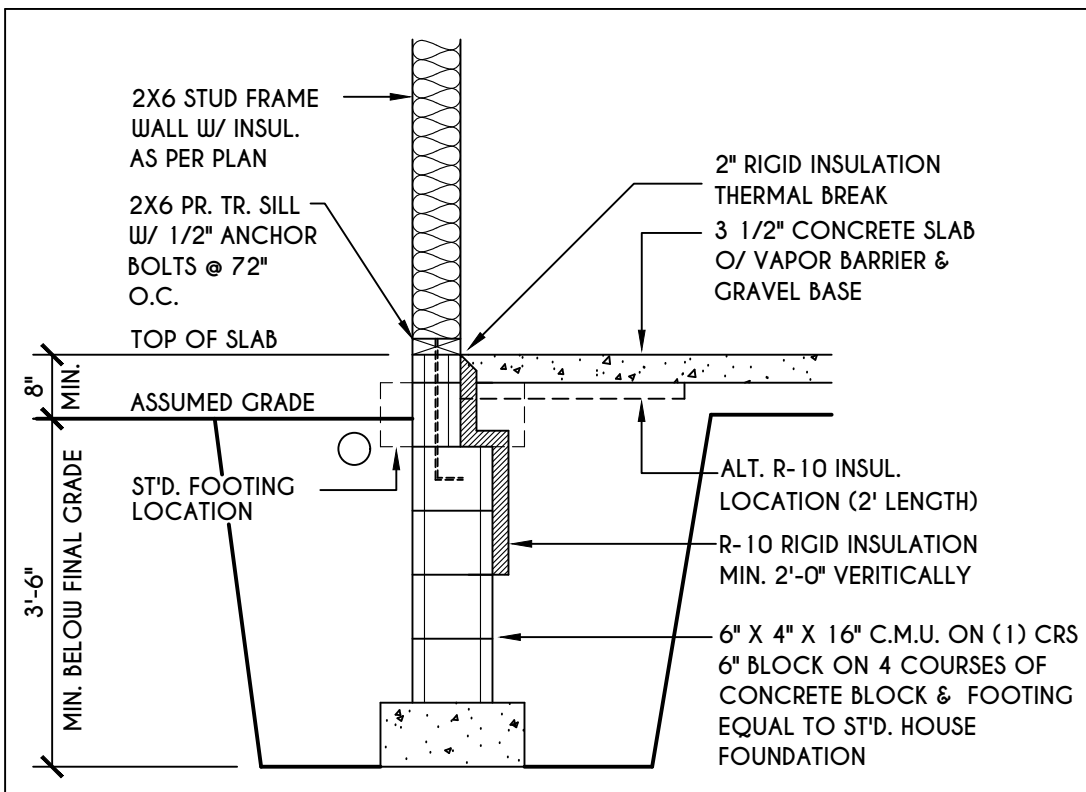
**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECTIONS & ROOF PLAN**  
 GLA PLAN 2232 R

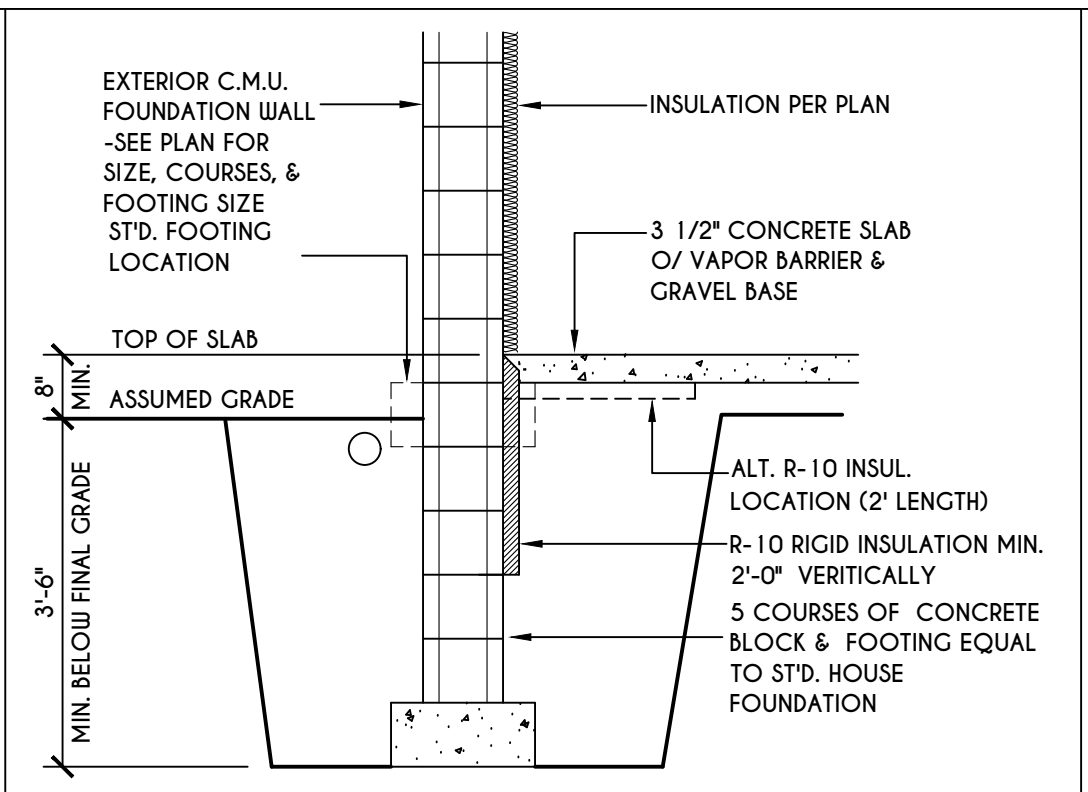
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PROJECT: 2551 E	sheet: 6 / 7



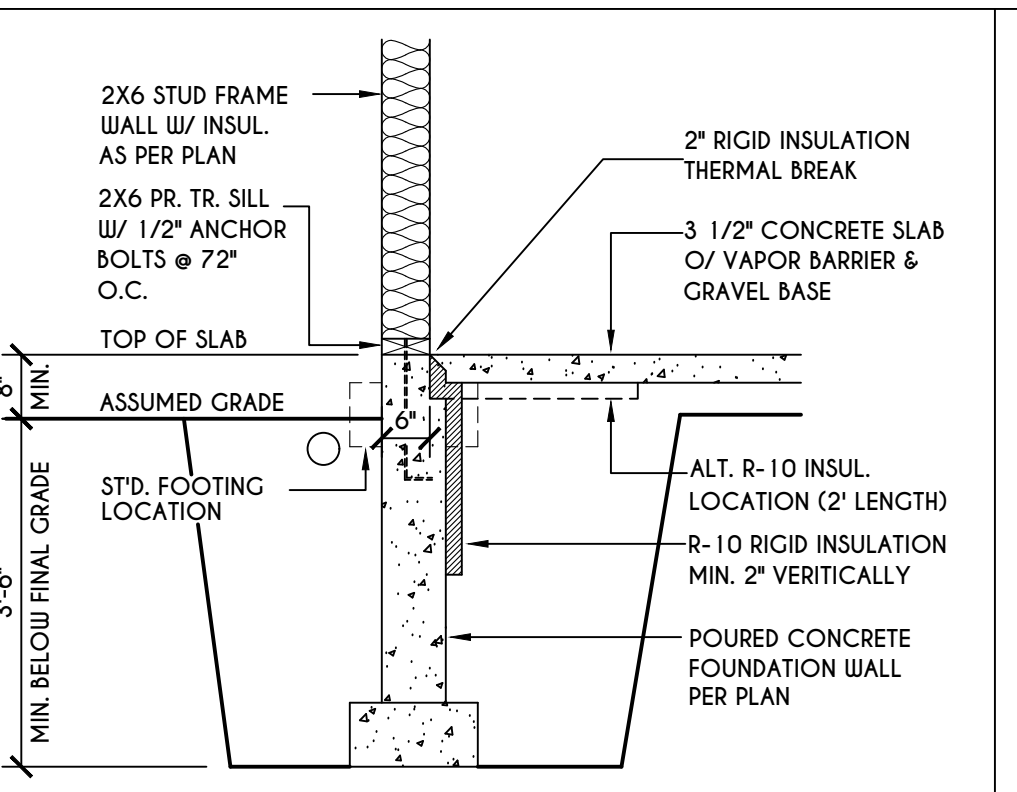




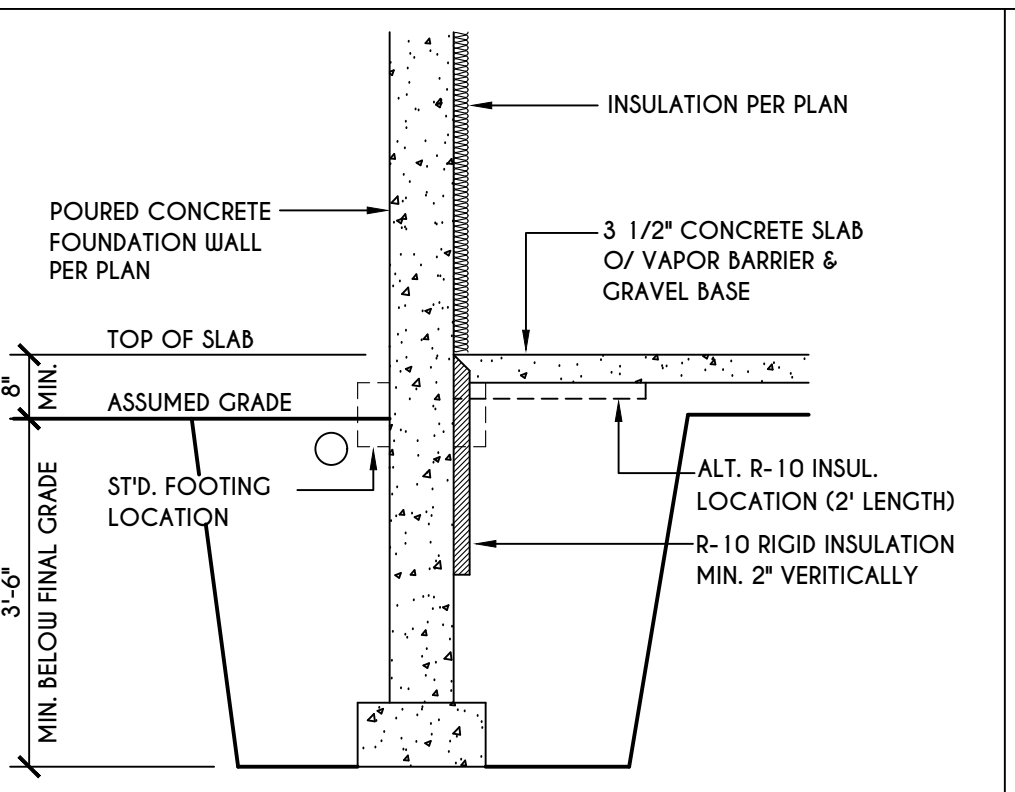
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**N-1**  
2X6 FRAME WALL ON C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



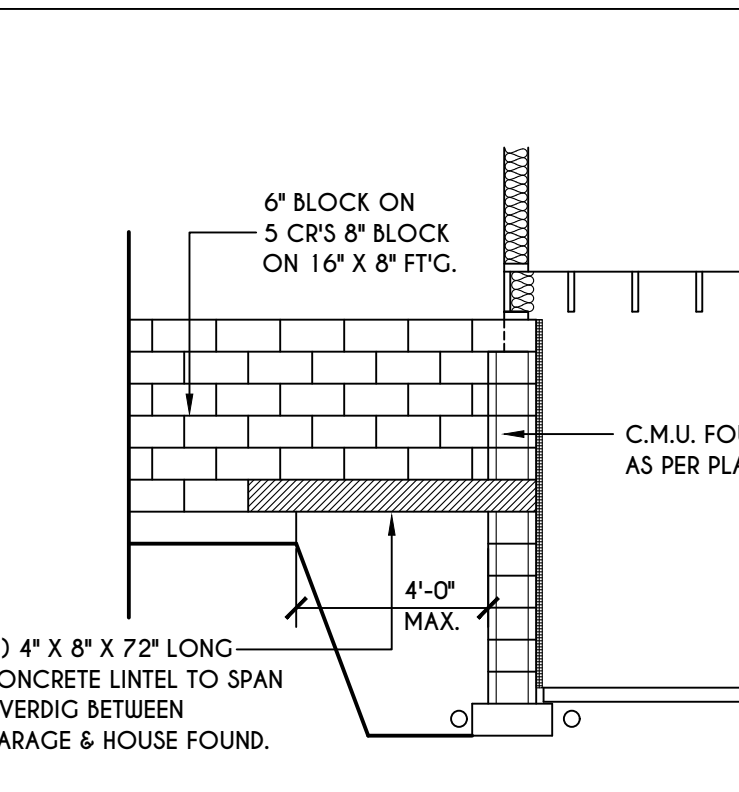
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**N-1**  
C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



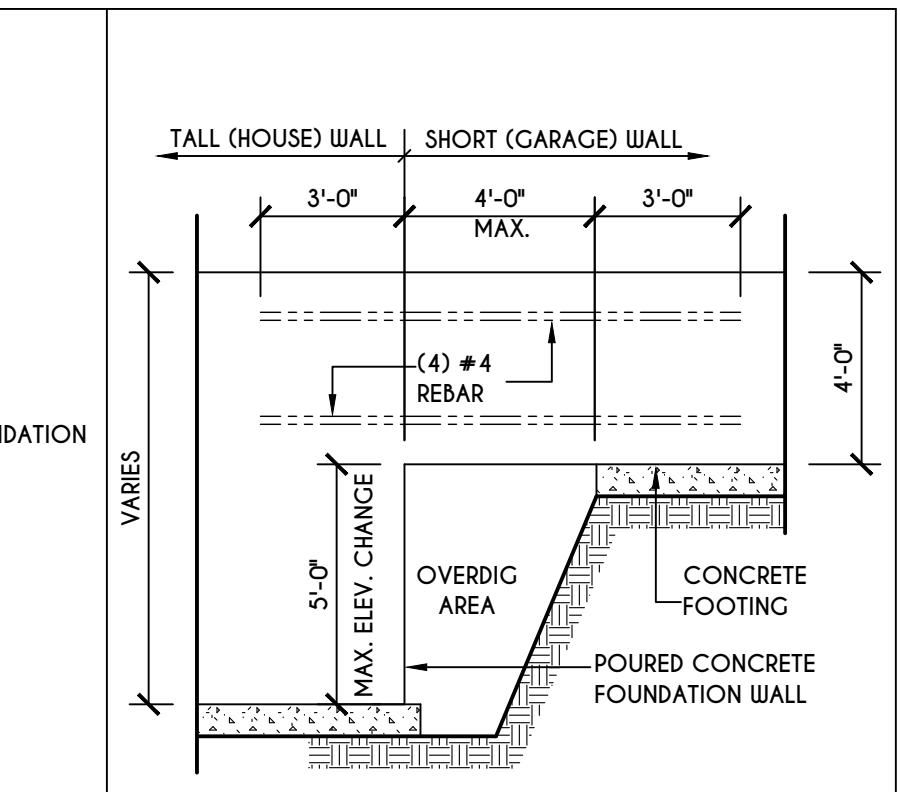
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**N-1**  
2X6 FRAME WALL ON POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



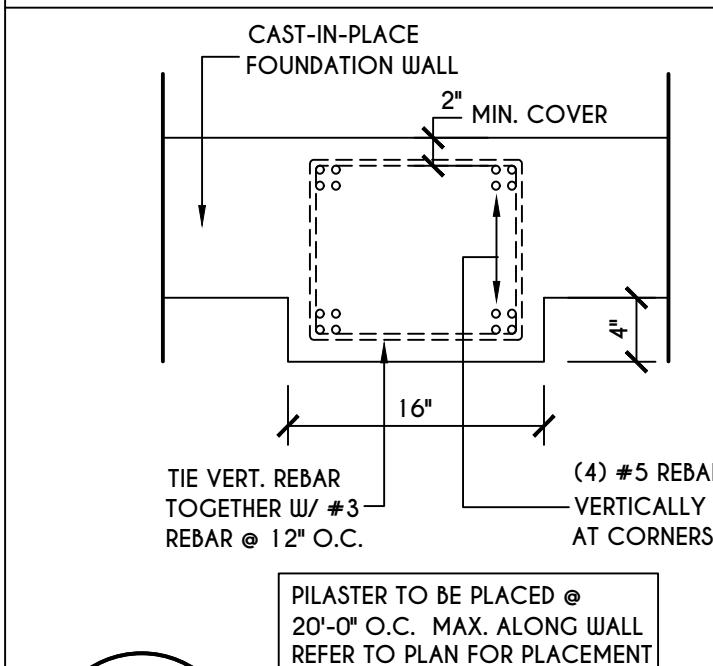
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POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



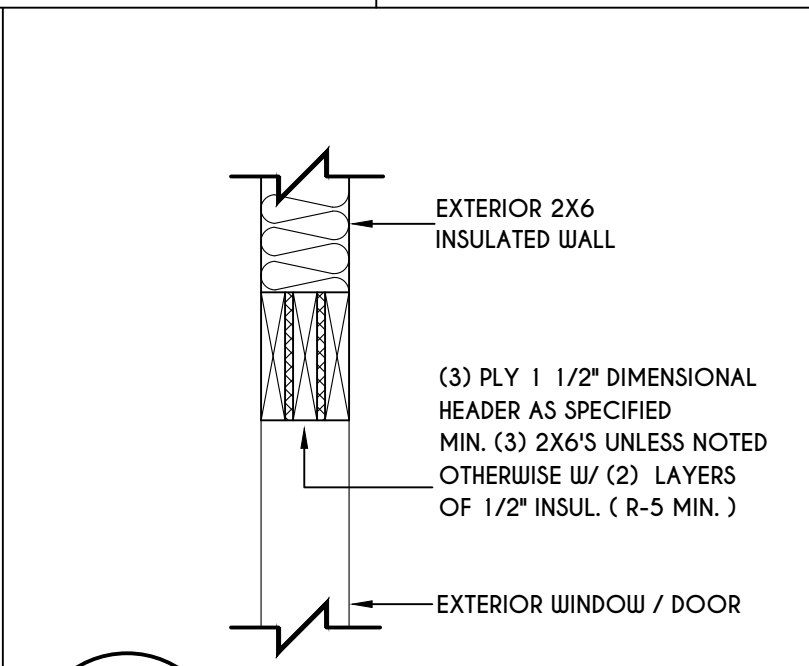
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C.M.U. JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



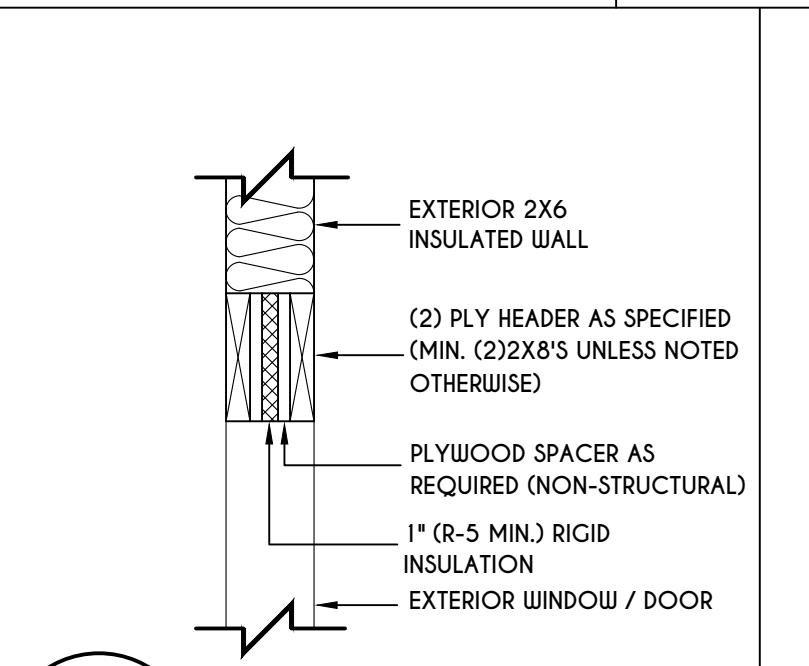
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POURED WALL JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



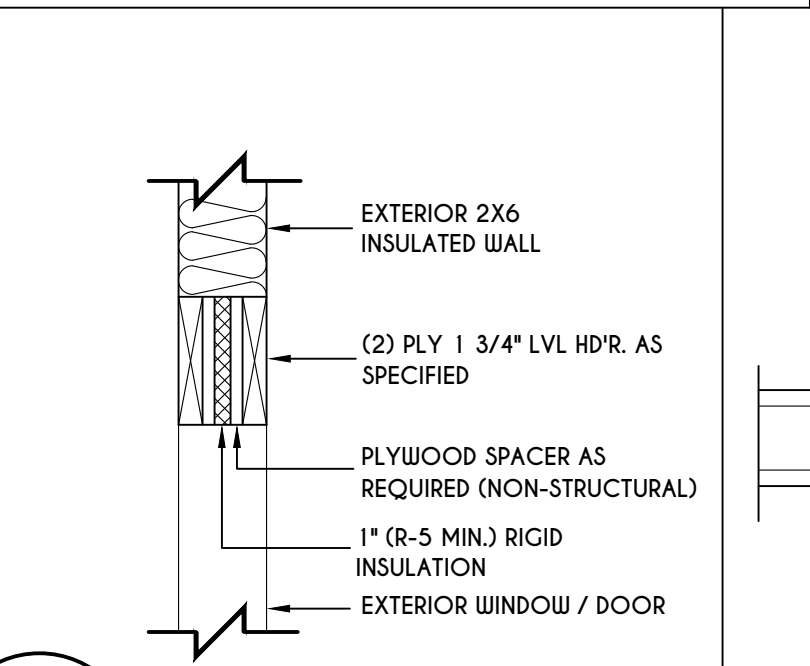
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POURED WALL PILASTER DETAIL  
SCALE: 1" = 1'-0"



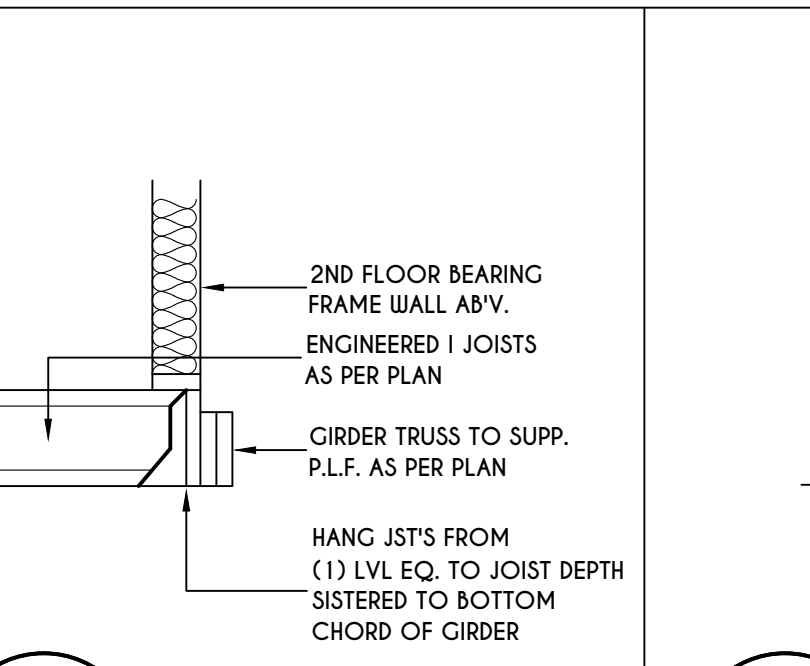
**8**  
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EXTERIOR INSULATED 3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



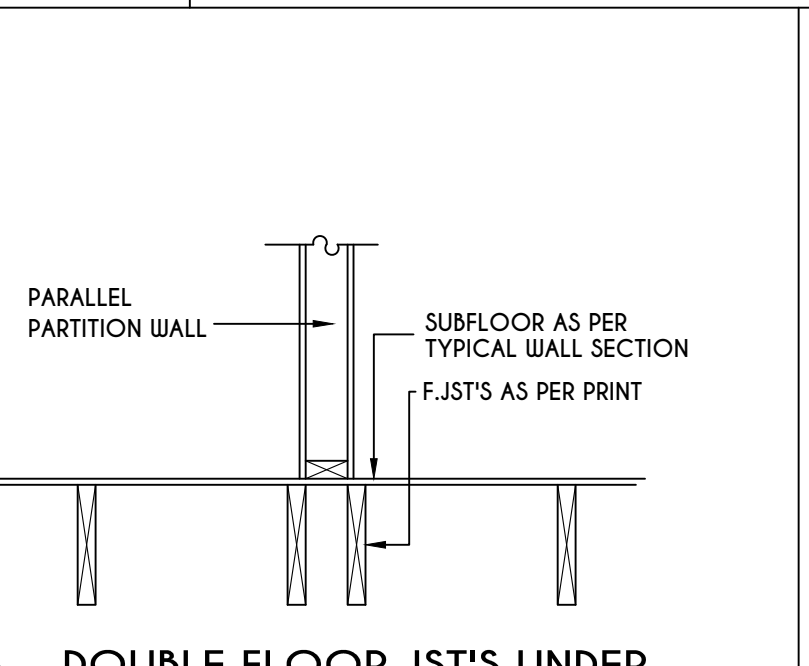
**9**  
**N-1**  
EXTERIOR INSULATED 2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



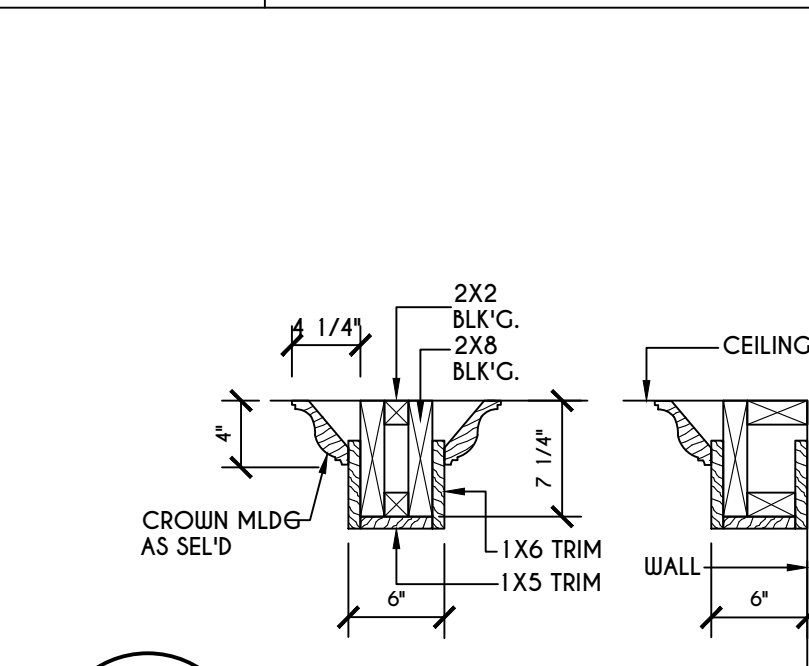
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EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



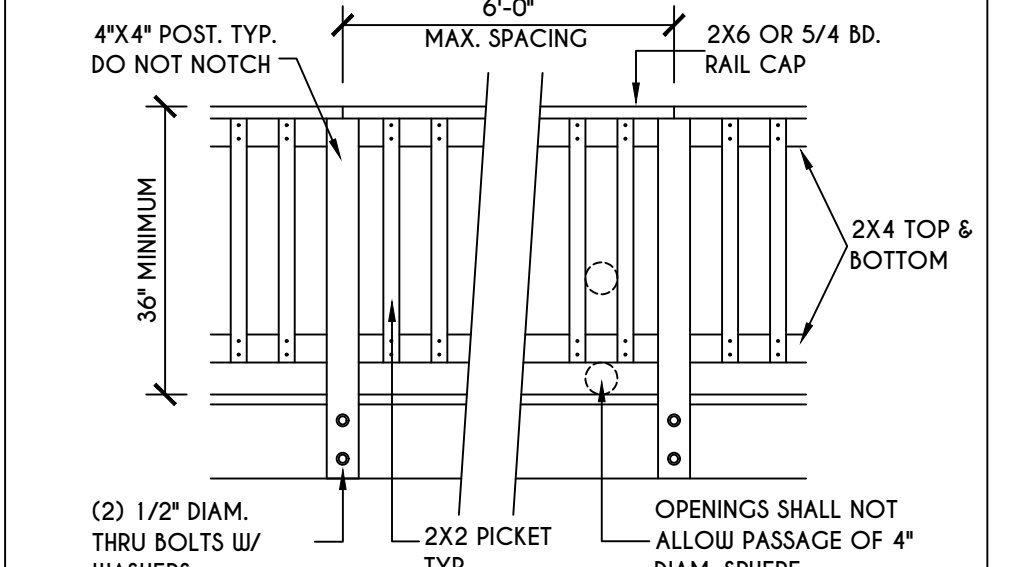
**11**  
**N-1**  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



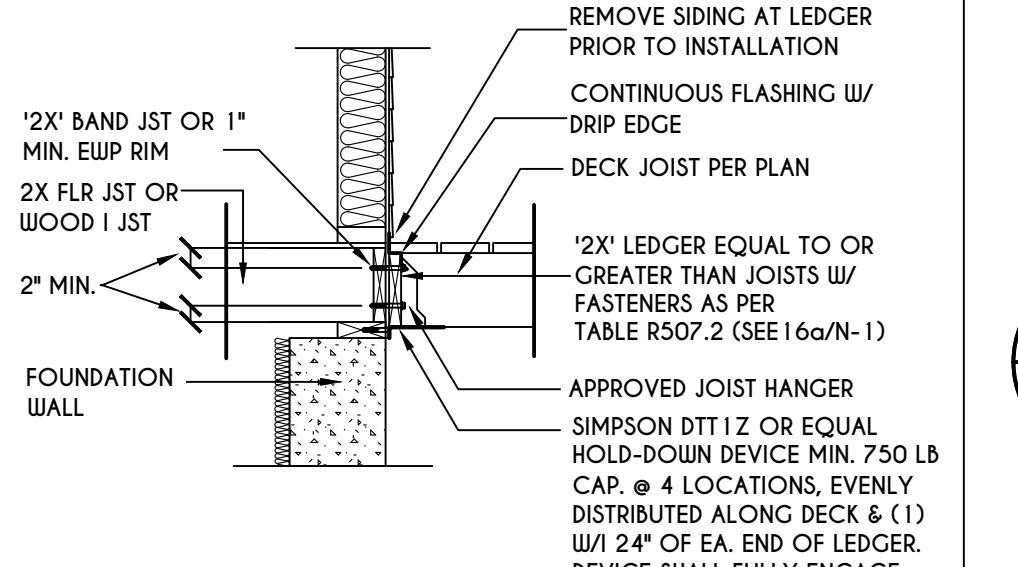
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**N-1**  
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL  
N.T.S.



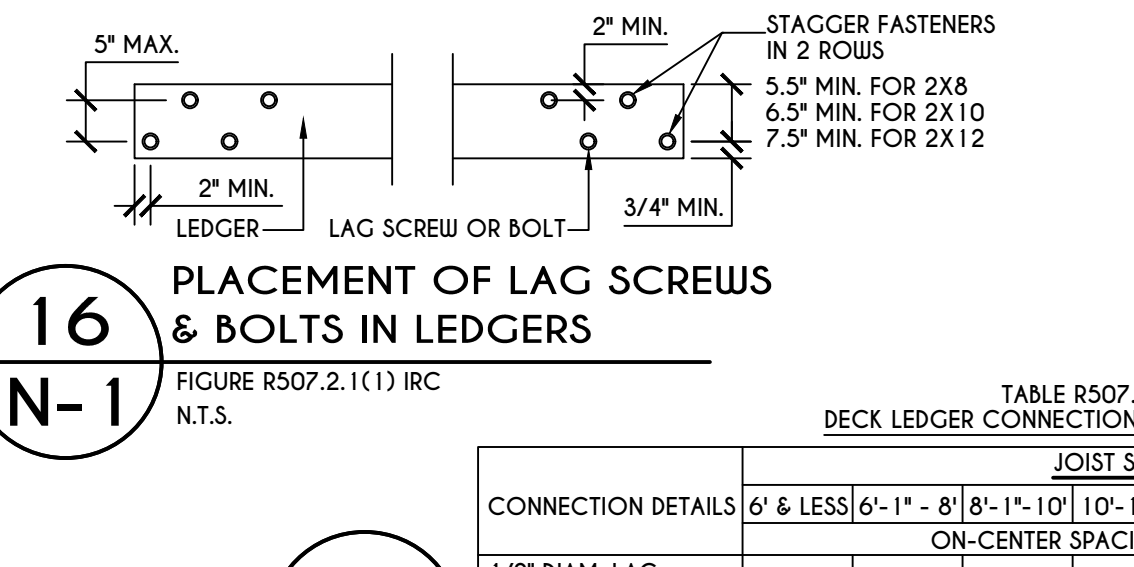
**13**  
**N-1**  
COFFERED BEAM DETAIL  
N.T.S.



**14**  
**N-1**  
TYPICAL GUARD RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENT AS PER R312 OF 2015 IRC



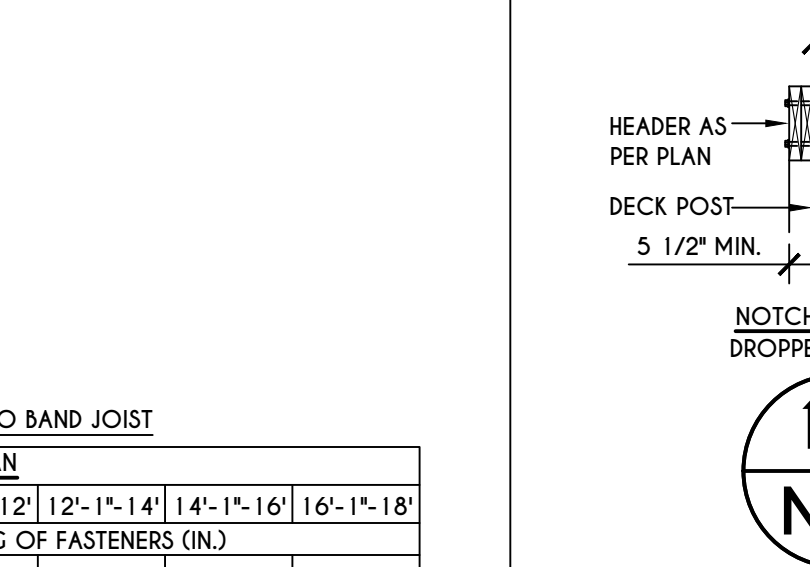
**15**  
**N-1**  
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



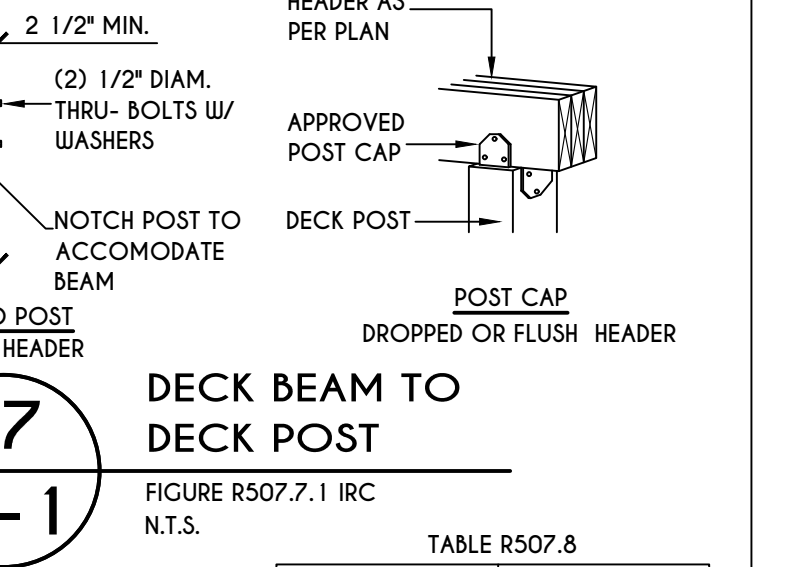
**16**  
**N-1**  
16a  
**N-1**  
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS  
FIGURE R507.2 (1) IRC N.T.S.

TABLE R507.2  
DECK LEDGER CONNECTION TO BAND JOIST

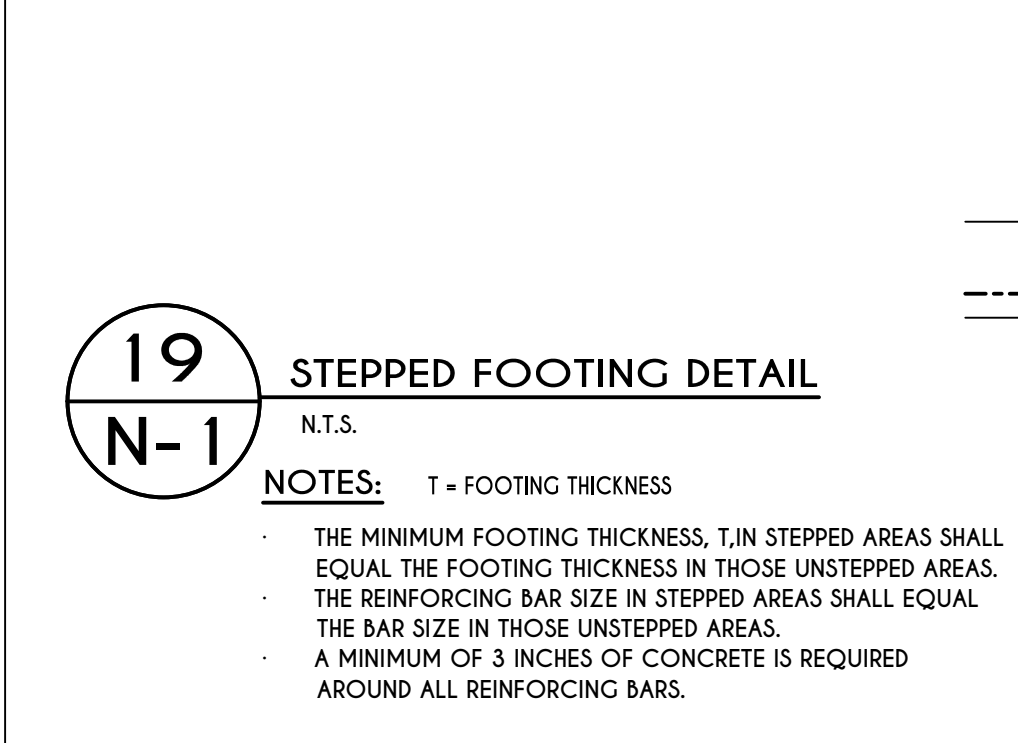
CONNECTION DETAILS	JOIST SPAN					
	6' & LESS	8'-1" - 8'	10'-1" - 10'	12'-1" - 12'	14'-1" - 14'	16'-1" - 16'
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18



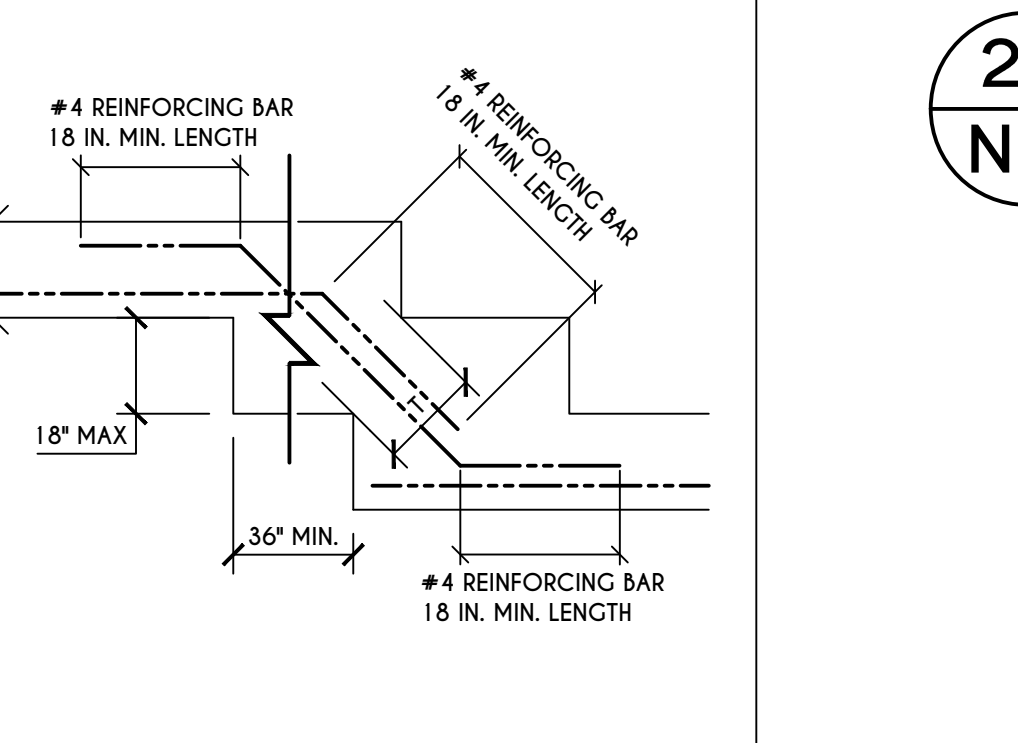
**17**  
**N-1**  
DECK BEAM TO DECK POST  
FIGURE R507.7.1 IRC N.T.S.



**18**  
**N-1**  
I-JOIST FLOOR SYSTEMS  
FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH 2015 IRC SECTION R302.13



**19**  
**N-1**  
STEPPED FOOTING DETAIL  
N.T.S.  
NOTES: T = FOOTING THICKNESS  
- THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.  
- THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.  
- A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.

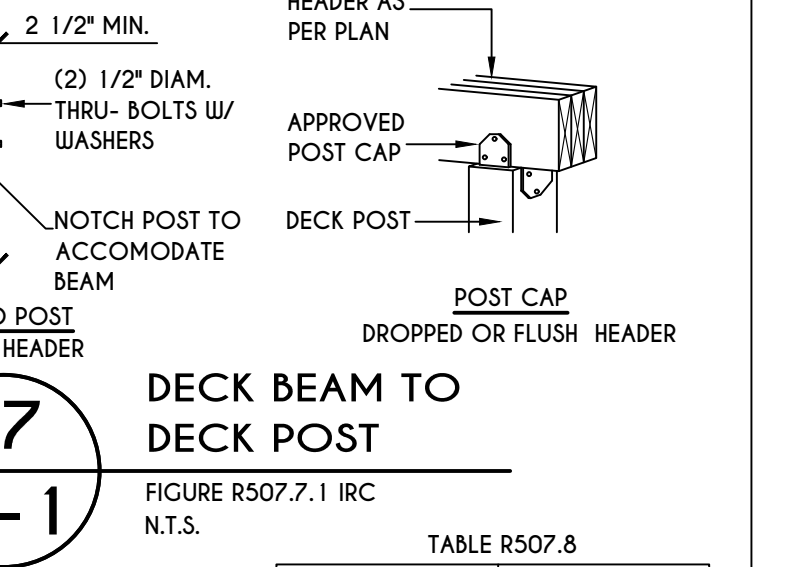


**20**  
**N-1**  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
END VIEW  
CLAMP SUITABLE FOR CONCRETE ENCASUREMENT OR EXOTHERMIC WELD  
4 AWG COPPER CONDUCTOR  
MINIMUM 20'-0"

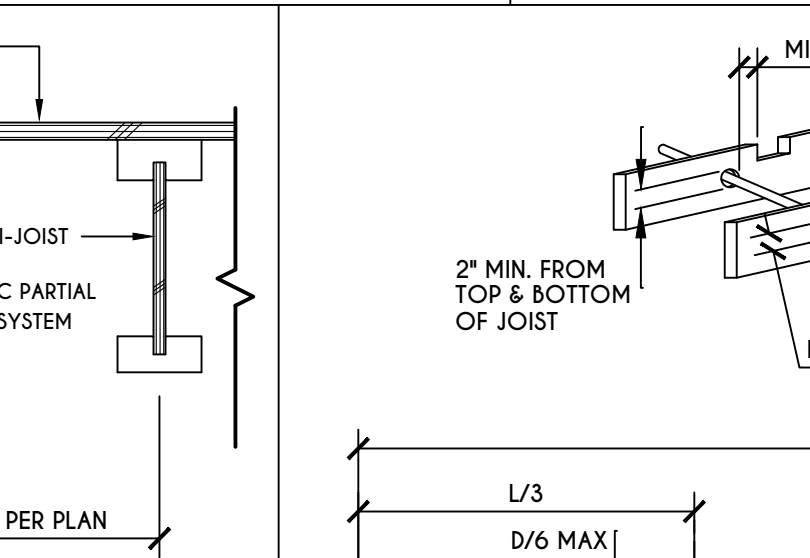
TABLE R507.8  
DECK POST SIZE TO DECK BEAM

DECK POST SIZE	MAX. HEIGHT <sup>a</sup>
4 X 4	8'
4 X 6	8'
6 X 6	14'

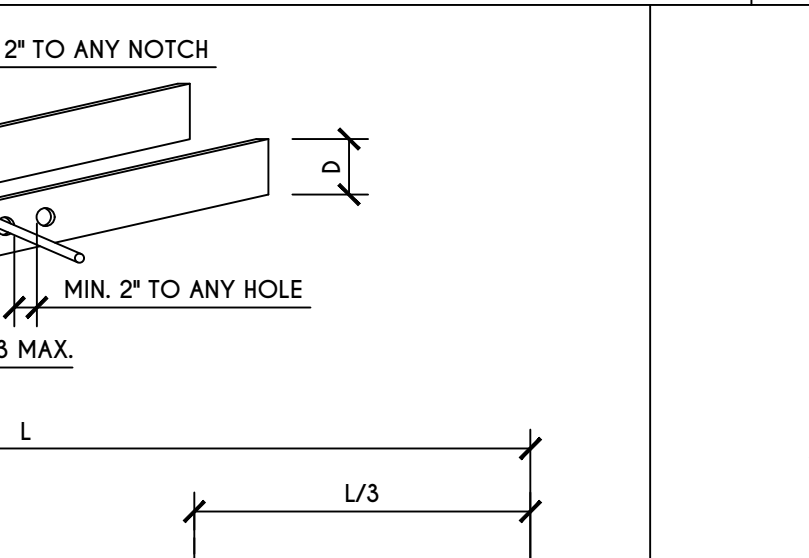
<sup>a</sup> MEASURED TO UNDERSIDE OF BEAM



**21**  
**N-1**  
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS  
FIGURE R602.6(1)



**22**  
**N-1**  
CUTTING, NOTCHING, & DRILLING OF JOISTS  
FIGURE R502.8  
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



**23**  
**N-1**  
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS  
FIGURE R602.6(2)

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

**BUILDER:**

**DETAILS**

GLA PLAN 2232 R

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	3 / 19
PROJECT:	sheet:
2551 E	<b>N-1</b>

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DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

**BUILDER:**

**REINFORCING NOTES**

GLA PLAN 2232 R

drawn: CDK	checked: CSB
scale: AS NOTED	date: 3 / 19
PROJECT:	sheet:

2551 E **N-2**

**TABLE R404.1.2(8)**

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS<sup>b, c, d, e, f, h, i, l, n, o</sup>

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT <sup>9</sup> (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)											
		SOIL CLASSES <sup>5</sup> AND DESIGN LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT OF DEPTH)				SOIL CLASSES <sup>5</sup> AND DESIGN LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT OF DEPTH)				SOIL CLASSES <sup>5</sup> AND DESIGN LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT OF DEPTH)			
		CU, CP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60
5	6	6	8	10	12	6	8	10	12	6	8	10	12
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R400.1.  
 b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.  
 c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9).  
 d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.  
 e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.  
 f. INTERPOLATION IS NOT PERMITTED.  
 g. WALLS SHALL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL. THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.  
 h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.  
 i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 3 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.  
 j. DR REIN DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.  
 k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH,  $f_c$  OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR n.  
 l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE,  $f_c$  IS 4,000 PSI.  
 m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE,  $f_c$  IS 3,500 PSI.  
 n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.  
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R404.1.1(4)**

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d > 8.75$  INCHES<sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>9</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>											
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)				SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)				SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		CU, CP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7'-4"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-0"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9'-4"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10'-0"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D1 AND D2.  
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.  
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R400.1.  
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R404.1.1(3)**

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d > 6.75$  INCHES<sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>9</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>											
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)				SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)				SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		CU, CP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7'-4"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-0"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9'-4"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10'-0"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D1 AND D2.  
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.  
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R400.1.  
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R404.1.1(2)**

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE  $d > 5$  INCHES<sup>a, c, f</sup>

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>9</sup>	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>											
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)				SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)				SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> (psf PER FOOT BELOW GRADE)			
		CU, CP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	SC, MH, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7'-4"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8'-0"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9'-4"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10'-0"	4' (OR LESS)	4	4	4	4	4	4	4	4	4	4	4	4
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D1 AND D2.  
 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.  
 d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R400.1.  
 e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.  
 f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R 402.4.1.1**  
**AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY CAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-FERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WALLS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED. RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
WINDOWS, SKYLIGHTS AND DOORS	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
RIM JOISTS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATT INSULATION SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
CRAWL SPACE WALLS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHAFTS, PENETRATIONS	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
NARROW CAVITIES	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	
GARAGE SEPARATION	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	
RECESSED LIGHTING	THE AIR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	
PLUMBING AND WIRING	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
SHOWER / TUB ON EXTERIOR WALL	HVAC REGISTER BOOT THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	
HVAC REGISTER BOOT		
CONCEALED SPRINKLERS		

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

**R401.4 SOIL TESTS.**

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

**R401.4.1 GEOTECHNICAL EVALUATION.**

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

**TABLE R401.4.1**  
 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GU & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, MH & CH)	1,500 <sup>b</sup>

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.  
 b. WHERE THE OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.





9



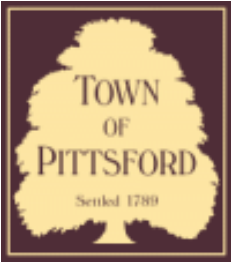
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**AVAILABLE**



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S18-000010**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3122 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-4.1

**Zoning District:** C Commercial

**Owner:** 3122 Monroe Ave, LLC

**Applicant:** Jones Sign

#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant is requesting design and review for the addition of a business identification sign and awnings. The AT&T store would like to replace their sign with a new updated sign and change the color of the awnings. The size of the sign was approved by the planning board on November 11, 2015.

**Meeting Date:** [@LDTmeeting\_date]

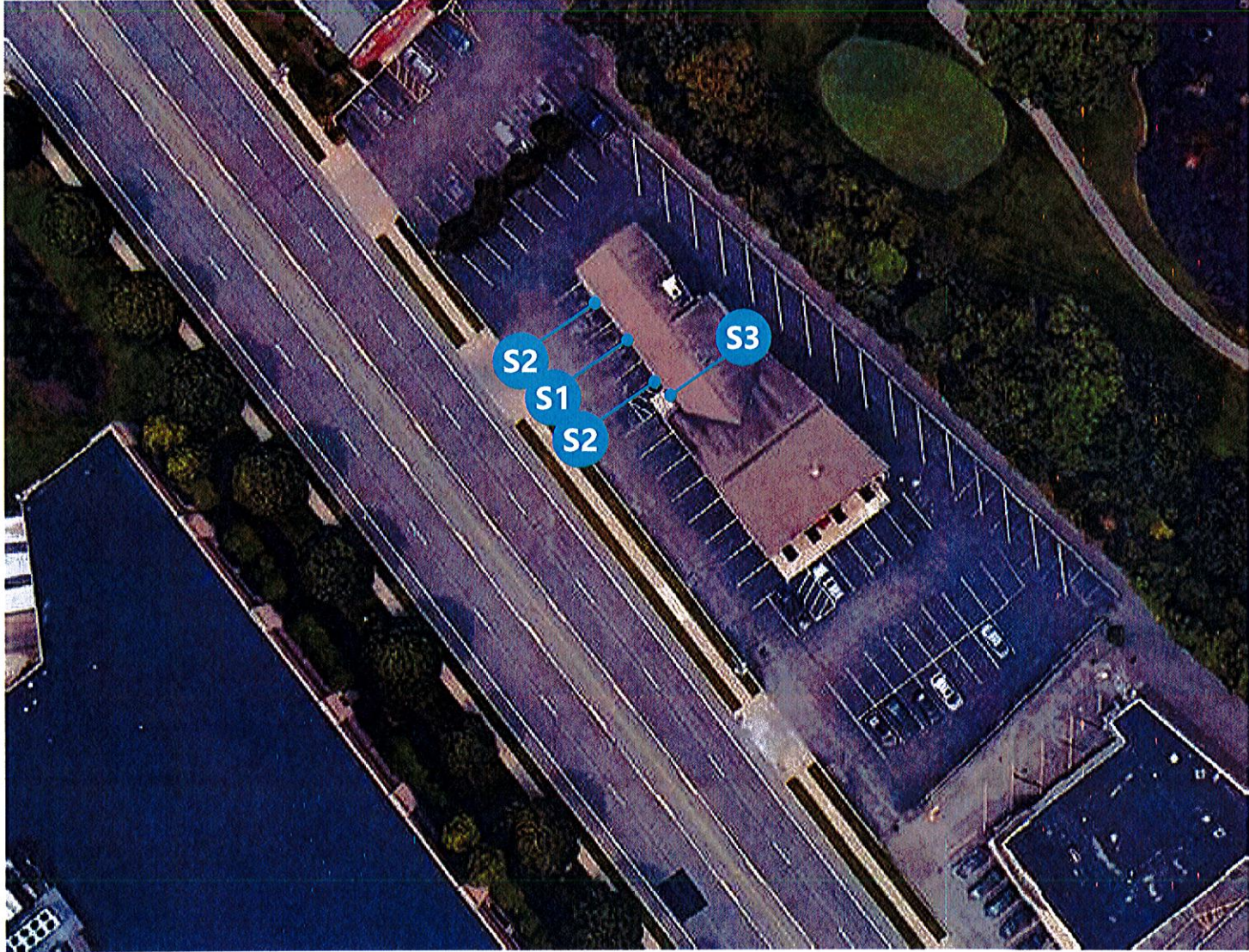


**LOCATION BRANDING DOCUMENT**

City/State: Rochester, NY  
Address: 3122 Monroe Avenue  
Creation Date: 5-22-2018  
Revised:



Site



S1

# Raceway Mounted Illuminated Letterset

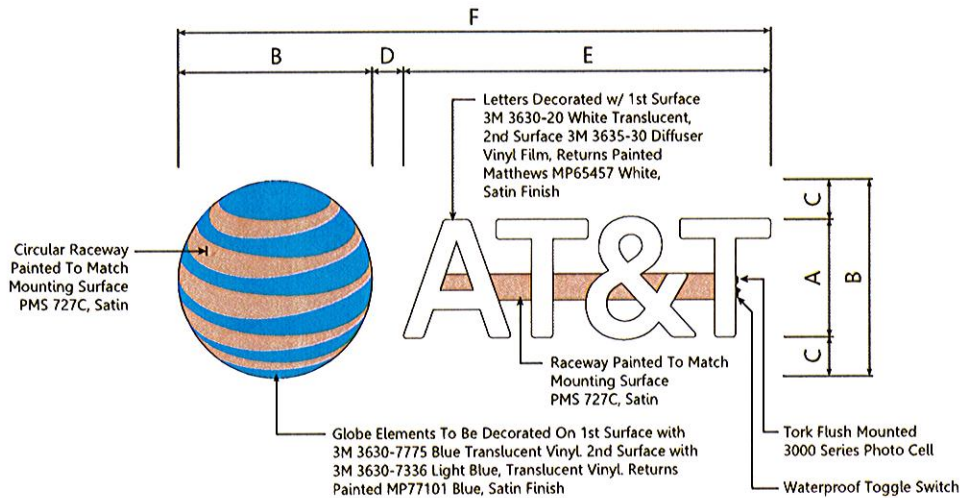
## Installation Guidelines

- Remove existing letterset, patch and repair fascia to like new conditions
- Install new raceway mounted illuminated letterset as shown
- All wall signs must be reviewed by DRB for approval

BEFORE

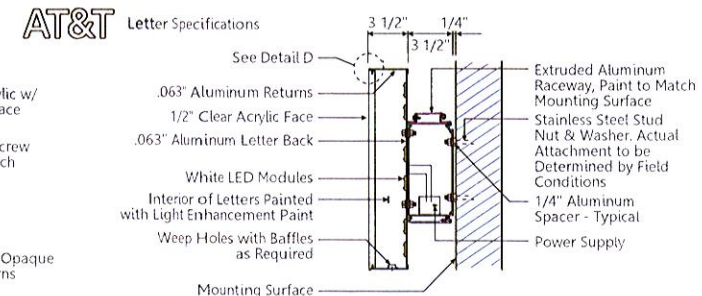
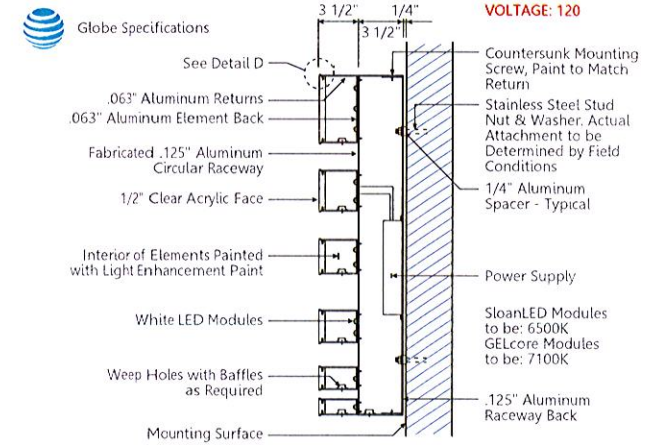


AFTER



Retail-IL-Rwy-30-White Ltrs-Blue Globe-Horiz

A	B	C	D	E	F	sq. ft.
30"	50"	10"	8.54"	94.38"	152.91"	53.09



S2

**New Awnings (Qty 2)**

**Installation Guidelines**

- Remove existing awning, patch and repair fascia to like new conditions
- Install new awning as shown
- Fabric material to be Tempotest Fabric: Solid Gray - Charcoal (T97)

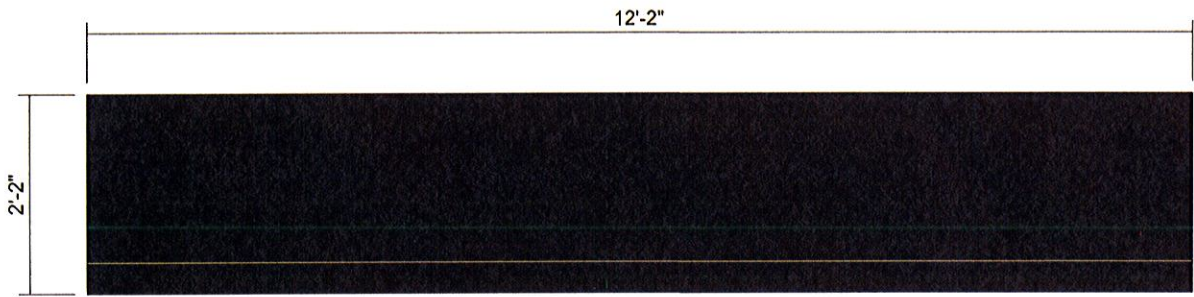
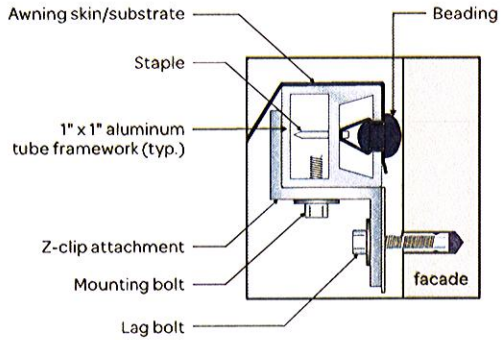
BEFORE



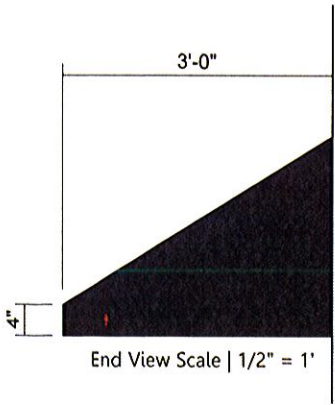
AFTER



Mounting Detail (typ.)



Front View Scale | 1/2" = 1'



End View Scale | 1/2" = 1'

S3

### Door Vinyl (First Surface) - (Qty. 1) **STORE HOURS TO BE VERIFIED**

#### Installation Guidelines

- Remove any existing vinyl, clean off any remaining residue
- Install new 3M #7725-10 Opaque White vinyl first surface
- Store hours must be verified with site prior to manufacturing

Note: For double door installation, install only on right-hand door

