

**Design Review & Historic Preservation Board  
Agenda  
July 9, 2020**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **60 Falcon Trail**

The Applicant is requesting design and review for the kitchen addition. The addition will be approximately 95 sq. ft. and will be located to the rear of the home.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW**

- **23 & 25 Skylight Drive**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 40 (23 Skylight Trail) will be approximately 2013 sq. ft. and Lot 39 (25 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

**OTHER – REVIEW OF 6/25/2020 MINUTES**

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/84836519285?pwd=VFZxaTNoTmpOUzdLU3NiIUlM2dEQT09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **848 3651 9285**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**June 25, 2020**

**PRESENT**

Dirk Schneider, Chairman; Leticia Fornataro, Paul Whitbeck, Bonnie Salem, Kathleen Cristman

**ALSO PRESENT**

Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney; Kevin Beckford, Town Board Liaison

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, June 25 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

**ABSENT**

John Mitchell

Dirk Schneider opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

The reception for inventoried homeowners and banners for the historic district were discussed. Currently, the website is not allowing bookings for rooms at the Spiegel Center due to the COVID -19 pandemic but Leticia will reach out to her contact at the Spiegel Center. A discussion was held as to whether the banners should be ordered to be installed at a later date. Leticia Fornataro will report back at the next meeting regarding this after consulting the sign company.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

- **117 East Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of a fence. This property is zoned AG (Agricultural) and is designated historic.

Dirk Schneider opened the public hearing.

The applicant, Kathy Gleason, joined the Zoom call.

Discussion was held as to whether the scalloped design of the pickets were appropriate to the Greek Revival style architecture of the home. It was discussed that the fencing is set back from the road and is only minimally visible. The scalloped

design is the preferred style of the homeowner. The Board felt the scalloped design would work but the maximum height of the post should be no higher than 5 ft. It was noted that the submitted design features second row of pickets that the Board approves of. It was pointed out to the homeowner that the finished side of the fence should face outwards. The wood material of the fence is what the Board agreed on and what they approved.

There was no public comment

Dirk Schneider moved to close the Public Hearing.

All Ayes.

Bonnie Salem read a resolution and the Board approved a Certificate of Appropriateness for a wood fence with the following conditions:

- a. All work is to be completed by July 1, 2021.

Dirk Schneider call for a roll call vote.

Dirk Schneider voted aye  
Bonnie Salem voted aye  
Paul Whitbeck voted aye  
Kathleen Cristman voted aye  
Leticia Fornataro voted aye  
David Wigg voted aye

## **RESIDENTIAL APPLICATION FOR REVIEW**

- **9 White Briar**

The Applicant is requesting design review for the first floor addition. The addition will be approximately 469 sq. ft. and will be located to the rear of the structure.

Jeff Shear of Jeff Shear Homes was present to discuss the application with the Board.

An in law apartment will be added to the rear of the home. There will be no kitchen. Mark Lenzi confirmed he has reviewed the plans and there was no concern of this becoming a second dwelling.

It was noted that the gable is a different style from the style of the sunroom addition, but the home already has a variety of double hung and casement style windows.

David Wigg moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **797 Stone Road**

The Applicant is requesting design review for the one story addition and porch. The addition and roof will be approximately 745 sq. ft. and will be located to the rear.

The architect Jim Brasley and the homeowner Kathryn Gallant were present. An addition and porch are being added to accommodate a family member. A change in the drawings was noted. The entrance has been moved to the rear of the home so as to not give the appearance of an in law suite. The roof slopes and materials will match the existing home.

Awning windows are to be added to the addition. It was pointed out that there is already a mix of windows on the current structure.

Kathleen Cristman moved to approve the drawings submitted June 22, 2020 as submitted.

Dave Wigg seconded.

All Ayes.

- **290 Tobey Road**

The Applicant is requesting design review for the addition of a third bay to an existing two car garage and the conversion of the underside of a deck to a screened porch. The garage addition will be approximately 432 sq. ft. and the screened porch will be 144 sq. ft.

Jim Brasley discussed this application with the Board. Mr. Brasley outlined the project. A third bay garage will be stepped back two feet, a new screened porch will be added and the front elevation will be embellished. Materials will match the existing. Shakes will be added to all gables. The existing brick will be replaced with stone. This indicates a change to the front elevation embellishments from the drawings submitted. The window heights will line up and muntin bars will be in the windows.

Paul Whitbeck noted that the massing on elevation on A-6 of the drawings appeared very bare. Jim Brasley noted the addition of a man door on the garage and offered to add a window on the side elevation of the garage, although this was not his preference.

Dirk Schneider moved to accept the application as submitted with the amendment of the drawings on the A-4 drawings to indicate stone on the recessed porch area only. This approval also includes new shakes installed in all the gables.

Bonnie Salem seconded.

All Ayes.

- **31 Sandpiper Lane**

The Applicant is requesting design review for the addition of a first floor bedroom/bathroom and front porch. The addition will be approximately 415 sq. ft. and will be located to the west of the existing home. The porch addition will be approximately 72 sq. ft. and will be on the front of the home.

The homeowner Sean Regan and architect Bill Dean were present.

The materials will match the existing materials on the home including the exposed concrete block.

Dirk Schneider and Leticia Fornataro disclosed that they are acquainted with the architect but they have no financial interest in the matter. Robert Koegel indicated that it would appropriate that they vote on the matter.

Paul Whitbeck moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

## **COMMERCIAL APPLICATION FOR REVIEW**

- **3650 Monroe Avenue**

The Applicant is requesting design review for the replacement of the "Pittsford Manor Apartments" sign. The current sign was damaged and will be replaced with an approximately 15 sq. ft. sign.

Vanessa Long was present to discuss the application. The posts are still in the same location as the previous sign. The lights below remain in the same location. The sign will white with black and gold lettering.

Bonnie Salem moved to approve the application as submitted.

Paul Whitbeck seconded.

All Ayes.

**OTHER – REVIEW OF 6/11/2020 MINUTES**

Kathleen Cristman moved to accept the application as submitted.

Bonnie Salem seconded.

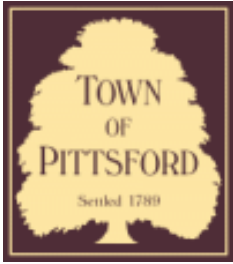
All Ayes.

The meeting adjourned at 7:35 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Board

DRAFT



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000085**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 60 Falcon Trail PITTSFORD, NY 14534

**Tax ID Number:** 165.09-3-29

**Zoning District:** RN Residential Neighborhood

**Owner:** Dawe, Stephen A

**Applicant:** Dawe, Stephen A

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

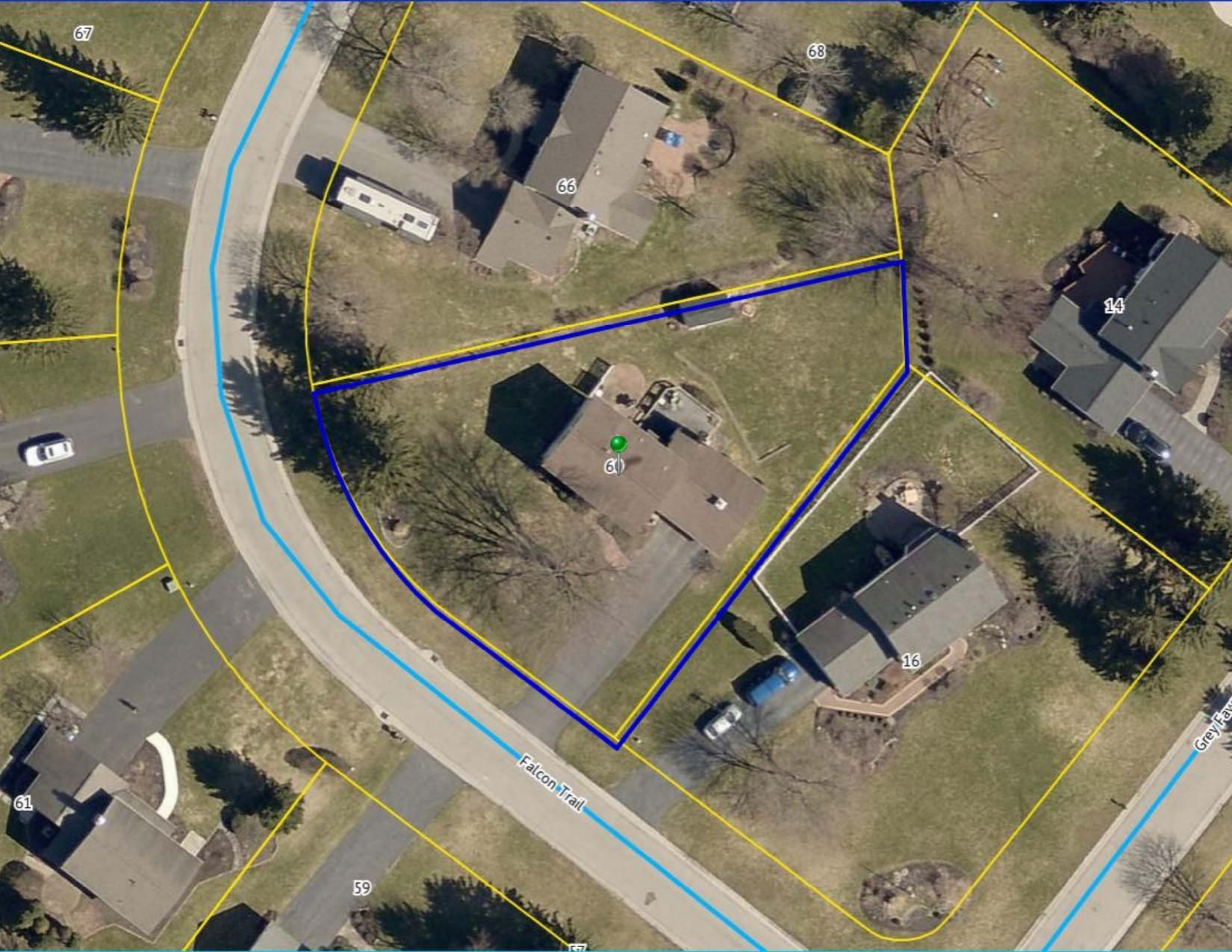
**Project Description:** Applicant is requesting design and review for the kitchen addition. The addition will be approximately 95 sq. ft. and will be located to the rear of the home.

**Meeting Date:** July 09, 2020









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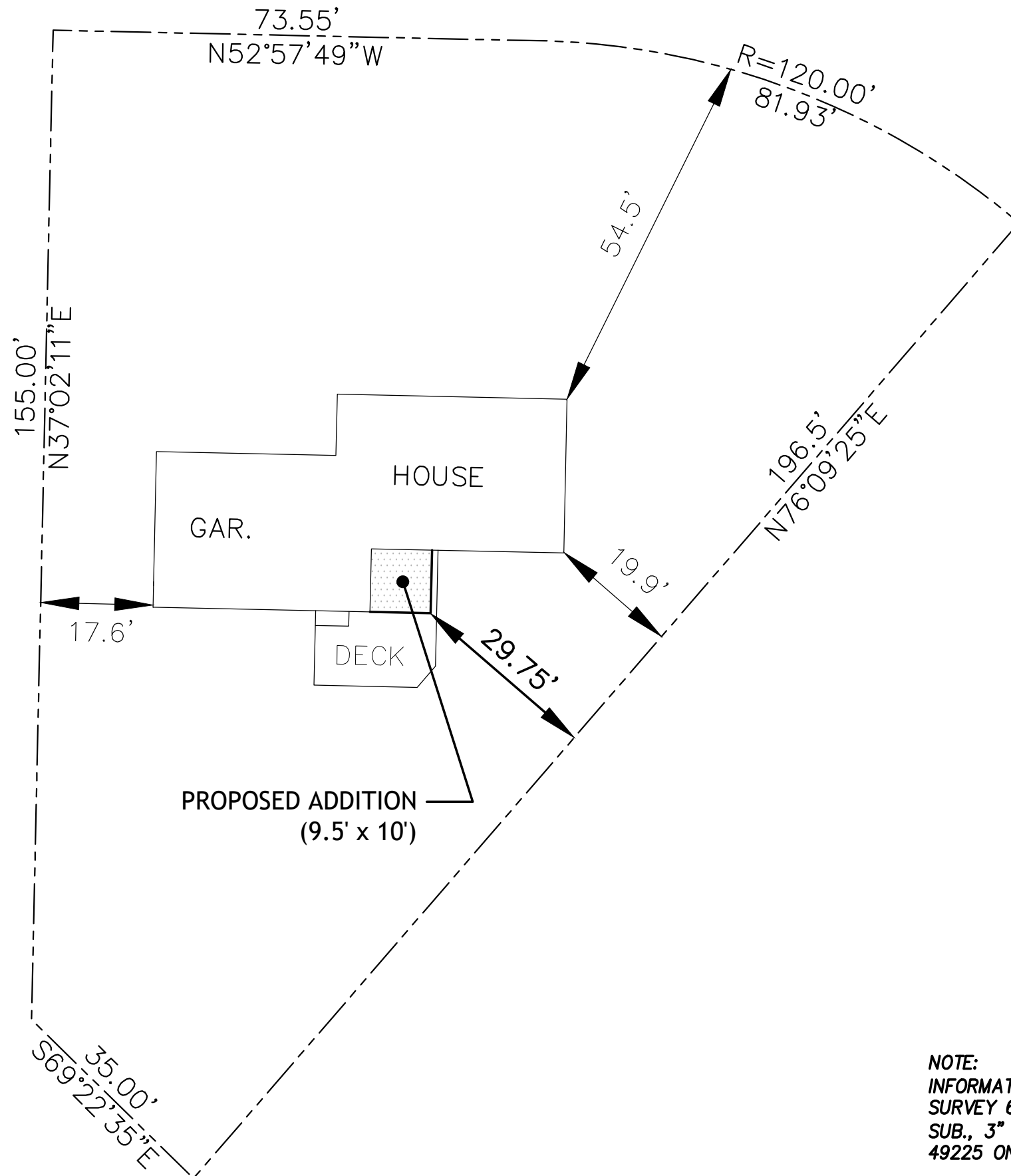
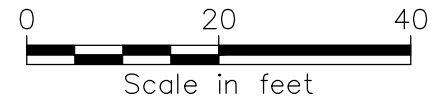
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61

59

Falcon Trail

Grey Falls



DAWE  
KITCHEN ADDITION  
60 FALCON TRAIL  
PITTSFORD, NY 14534

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

No.	Submittal / Revision	App'd.	By	Date

60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

TAPE MAP

**NOTE:**  
INFORMATION REFERENCED FROM "INSTRUMENT SURVEY 60 FALCON TRAIL LOT 352 HUNTERS POINTE SUB., 3" COMPLETED BY JAMES M. LEONI, N.Y.S.P.L.S. 49225 ON AUGUST 24, 2004.

Designed By:	Drawing No.:
Drawn By: KMD	FIG-1
Checked By:	



DAWE  
KITCHEN ADDITION  
60 FALCON TRAIL  
PITTSFORD, NY 14534

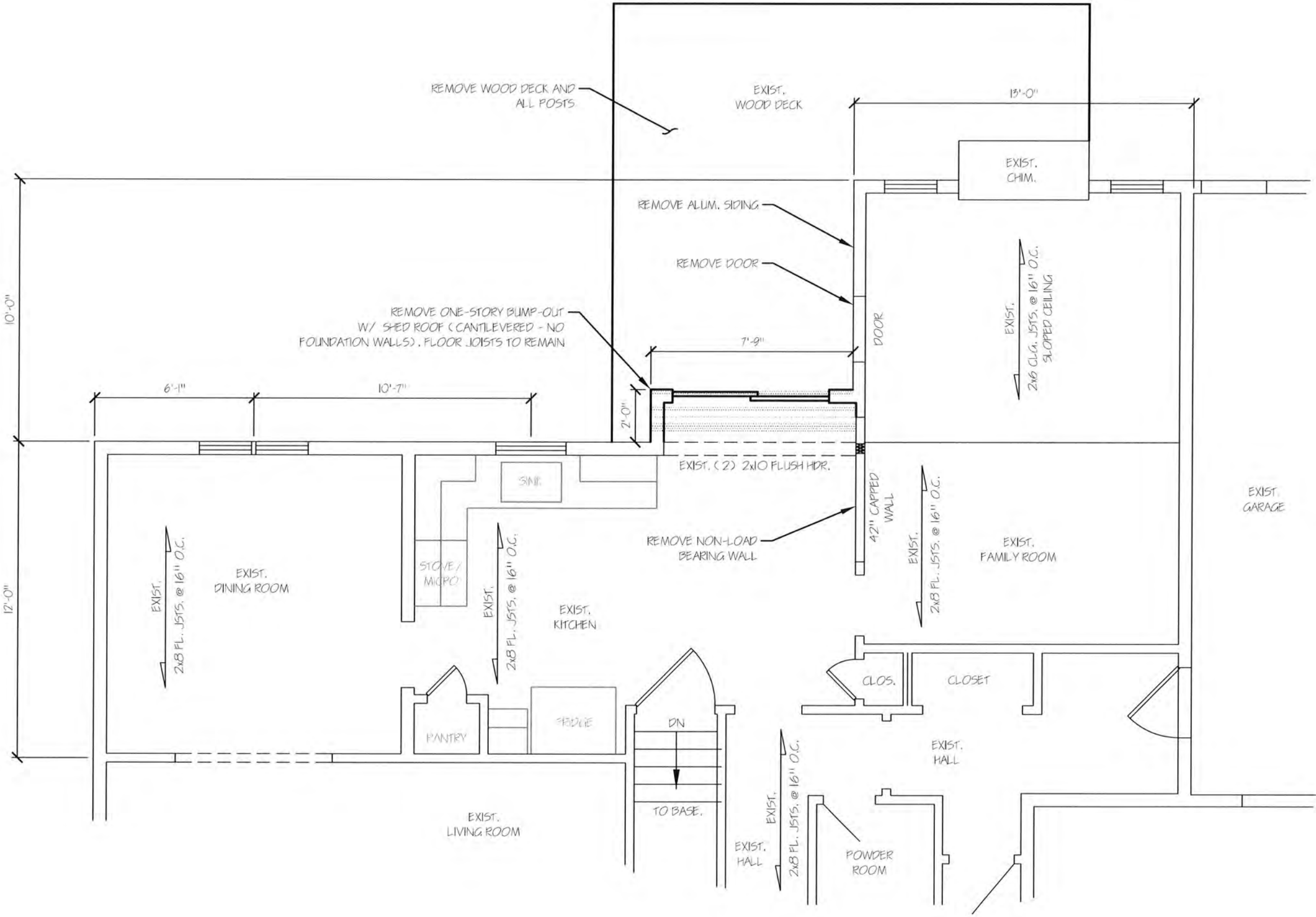
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60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

EXISTING HOUSE PHOTOS

Designed By:	Drawing No.: <b>FIG-2</b>
Drawn By: KMD	
Checked By:	



REMOVALS  
SCALE: 1/4" = 1'-0"

DAWE  
KITCHEN ADDITION  
60 FALCON TRAIL  
PITTSFORD, NY 14534

716-204-9733



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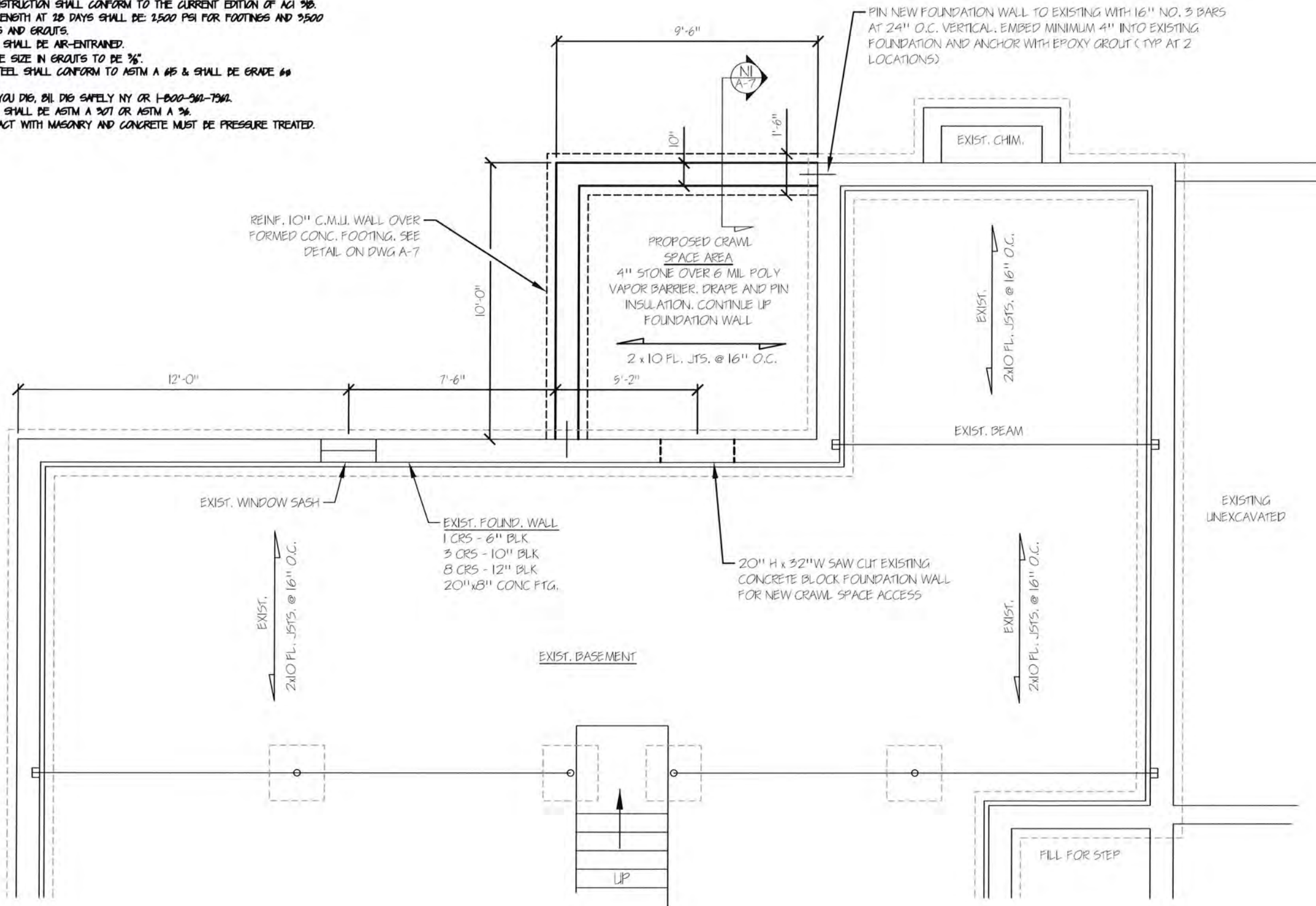
60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

REMOVALS PLAN

Designed By: KMD	Drawing No.:
Drawn By: KMD	<b>A-1</b>
Checked By: KP	

**FOUNDATION NOTES:**

1. ALL CONSTRUCTION TO CONFORM TO THE LATEST NYS RESIDENTIAL BUILDING CODE.
2. FOOTINGS ARE DESIGNED TO AN ASSUMED SOIL BEARING CAPACITY OF 1500 PSF.
3. FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED SOIL. BEARING GRADE TO BE FREE OF FROST AND LOOSE MATERIALS.
4. ALL BACKFILLED EXCAVATIONS AND SLAB SUBGRADES SHALL BE COMPACTED IN MAX. 6" LIFTS AT 95% MIN. DENSITY PER MODIFIED PROCTOR TEST.
5. CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF ACI 308.
6. CONCRETE STRENGTH AT 28 DAYS SHALL BE: 2500 PSI FOR FOOTINGS AND 3500 PSI FOR WALLS AND GRAZTS.
7. ALL CONCRETE SHALL BE AIR-ENTRAINED.
8. MAX AGGREGATE SIZE IN GRAZTS TO BE 3/8".
9. REINFORCED STEEL SHALL CONFORM TO ASTM A #5 & SHALL BE GRADE #40 DEFORMED.
10. CALL BEFORE YOU DIG, OR DIG SAFELY NY OR 1-800-361-7962.
11. ANCHOR BOLTS SHALL BE ASTM A 307 OR ASTM A 36.
12. WOOD IN CONTACT WITH MASONRY AND CONCRETE MUST BE PRESSURE TREATED.



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

DAWE  
KITCHEN ADDITION

60 FALCON TRAIL  
PITTSFORD, NY 14534

716.204.9733



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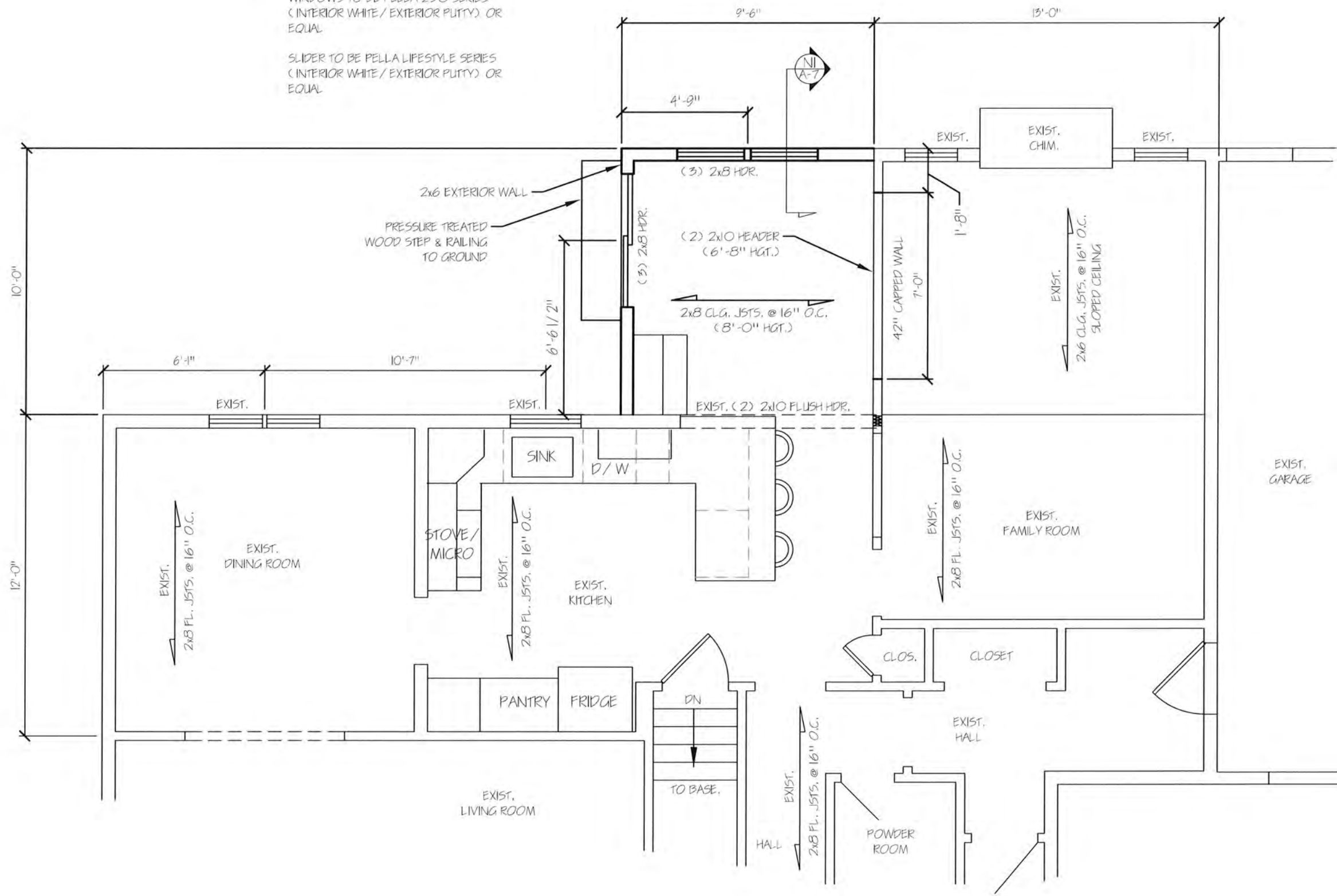
60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

FOUNDATION PLAN

Designed By: KMD	Drawing No.: <b>A-2</b>
Drawn By: KMD	
Checked By: KP	

WINDOWS & DOORS  
 WINDOWS TO BE PELLA 250 SERIES  
 (INTERIOR WHITE / EXTERIOR PUTTY) OR  
 EQUAL

SLIDER TO BE PELLA LIFESTYLE SERIES  
 (INTERIOR WHITE / EXTERIOR PUTTY) OR  
 EQUAL



PROPOSED ADDITION

SCALE: 1/4" = 1'-0"

DAWE  
 KITCHEN ADDITION  
 60 FALCON TRAIL  
 PITTSFORD, NY 14534

710-204-9733



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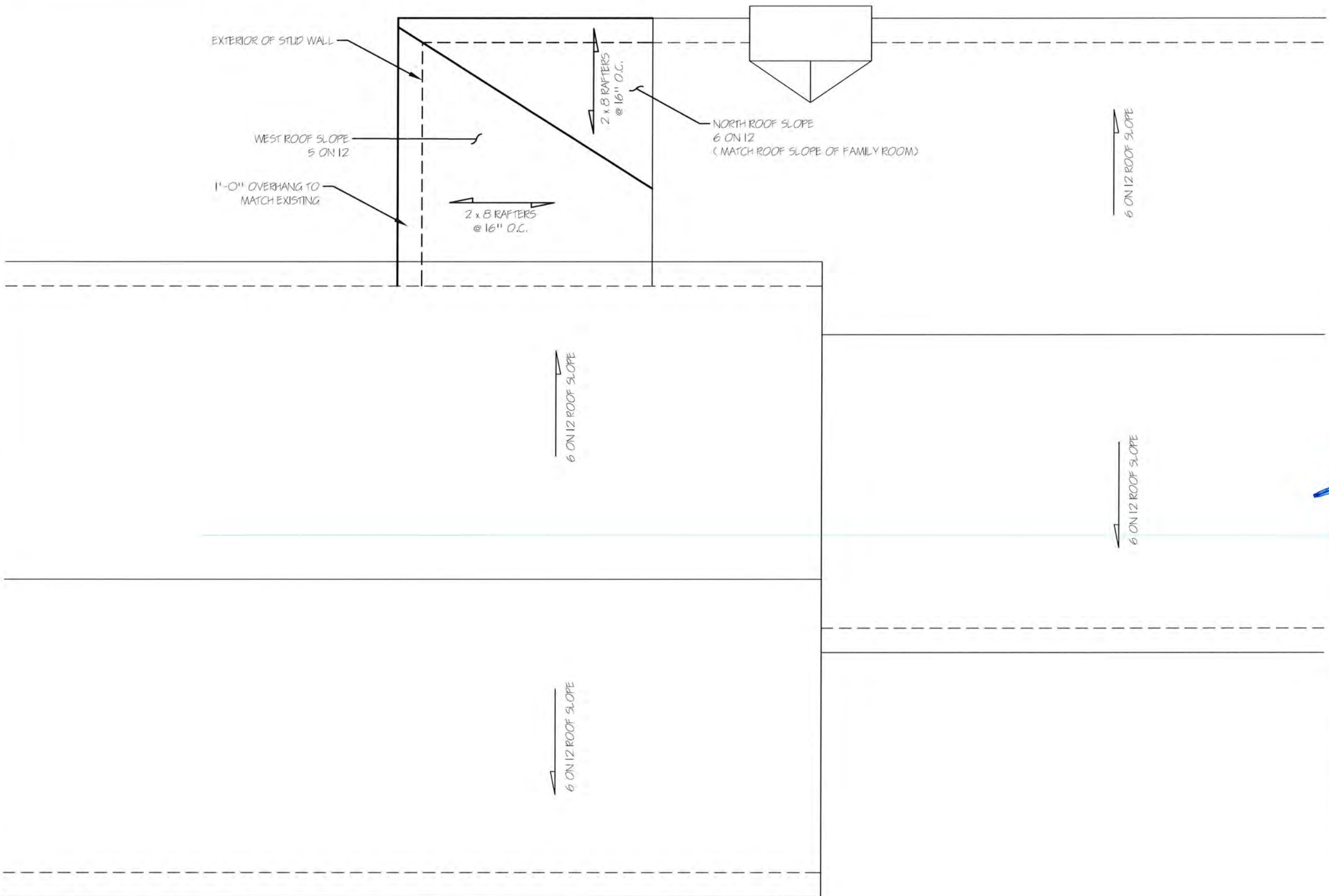
60 FALCON TRAIL  
 PITTSFORD  
 MONROE COUNTY, NYS

PROPOSED ADDITION

Designed By:  
 KMD  
 Drawn By:  
 KMD  
 Checked By:  
 KP

Drawing No.:  
**A-3**

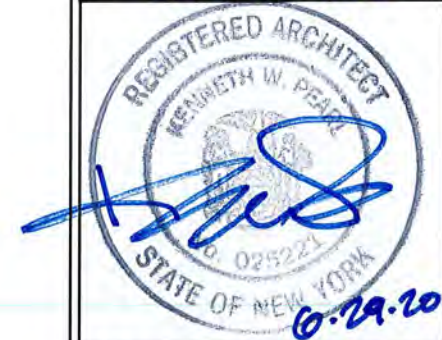




ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

DAWE  
KITCHEN ADDITION  
60 FALCON TRAIL  
PITTSFORD, NY 14534

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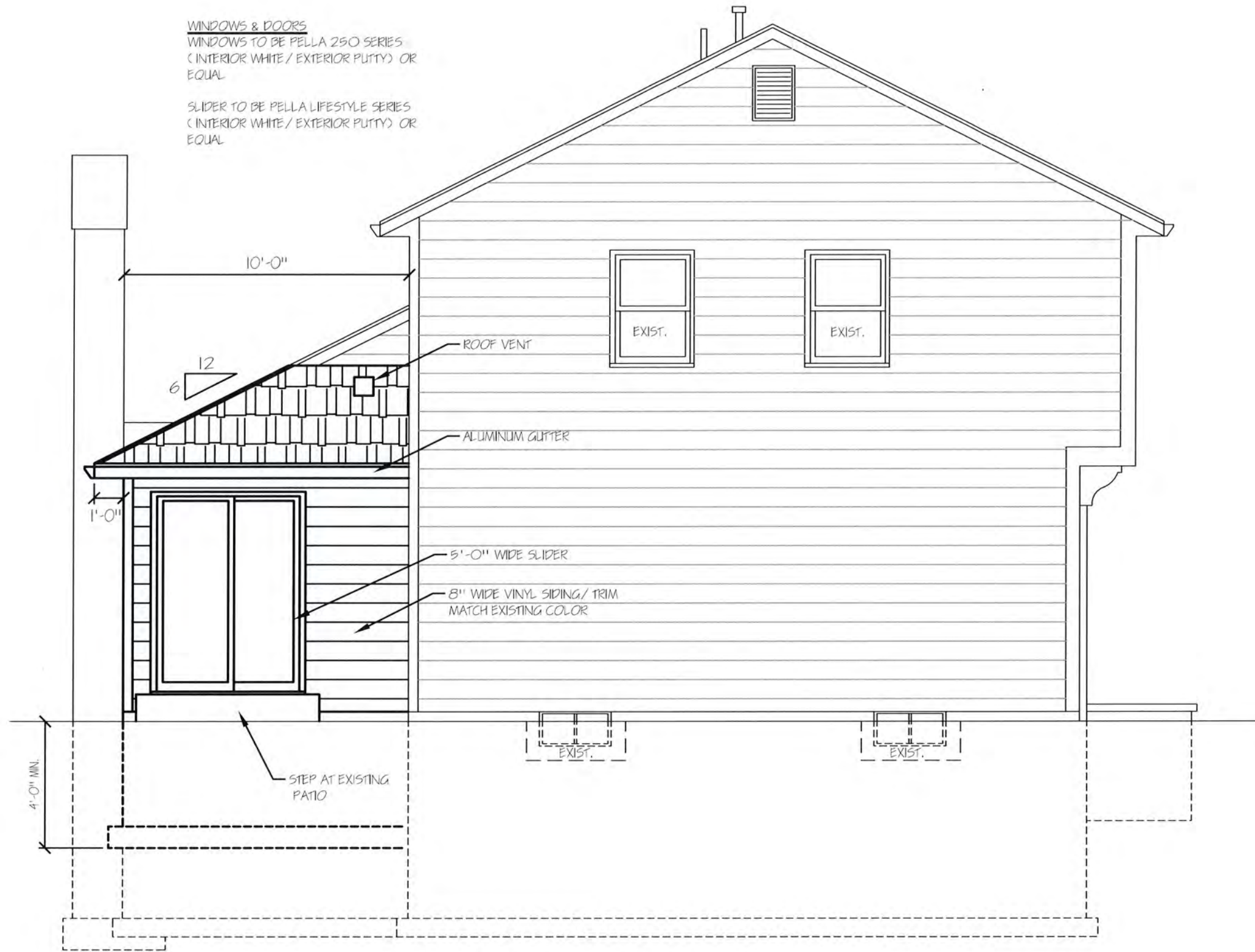
60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

ROOF PLAN

Designed By: KMD	Drawing No.: <b>A-4</b>
Drawn By: KMD	
Checked By: KP	

WINDOWS & DOORS  
 WINDOWS TO BE PELLA 250 SERIES  
 ( INTERIOR WHITE / EXTERIOR PUTTY ) OR  
 EQUAL

SLIDER TO BE PELLA LIFESTYLE SERIES  
 ( INTERIOR WHITE / EXTERIOR PUTTY ) OR  
 EQUAL



WEST ELEVATION  
 SCALE: 1/4" = 1'-0"

DAWE  
 KITCHEN ADDITION  
 60 FALCON TRAIL  
 PITTSFORD, NY 14534

716-204-9733



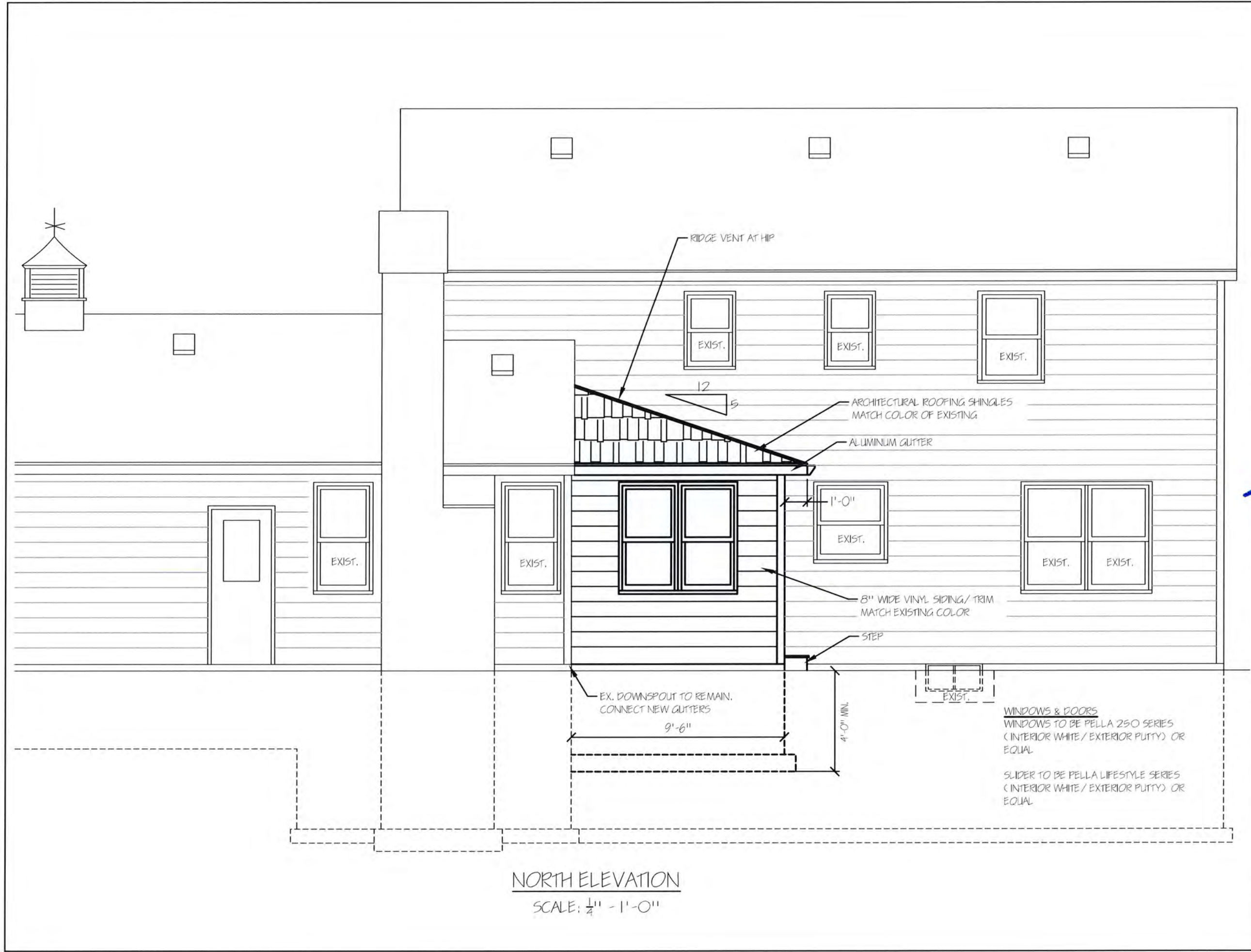
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60 FALCON TRAIL  
 PITTSFORD  
 MONROE COUNTY, NYS

WEST ELEVATION

Designed By: KMD	Drawing No.: <b>A-5</b>
Drawn By: KMD	
Checked By: KP	



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

DAWE  
KITCHEN ADDITION  
60 FALCON TRAIL  
PITTSFORD, NY 14534

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60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

NORTH ELEVATION

Designed By: KMD	Drawing No.: <b>A-6</b>
Drawn By: KMD	
Checked By: KP	

WINDOWS & DOORS  
WINDOWS TO BE PELLA 250 SERIES  
(INTERIOR WHITE / EXTERIOR PUTTY) OR EQUAL  
SLIDER TO BE PELLA LIFESTYLE SERIES  
(INTERIOR WHITE / EXTERIOR PUTTY) OR EQUAL

**CONSTRUCTION NOTES:**

THESE DRAWINGS HAVE BEEN PREPARED TO GUIDE IN THE ADDITION OF A SINGLE-FAMILY RESIDENCE BY PERSONNEL SUFFICIENTLY QUALIFIED TO READ AND INTERPRET THIS DESIGN. ALL BUILDING TRADES SHALL BE KNOWLEDGEABLE OF CODES, STANDARDS AND REGIONALLY ACCEPTED CONSTRUCTION PRACTICES. CONSTRUCTION OF THE ADDITION DEPICTED BY THIS DESIGN SHOULD NOT BE ATTEMPTED BY UNTRAINED PERSONNEL.

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. NO MODIFICATIONS CAN BE MADE WITHOUT APPROVAL OF THE ARCHITECT.
- THESE NOTES ARE INTENDED TO SET MINIMUM STANDARDS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS, FLOORS, CEILING AND ROOFS DURING CONSTRUCTION.

**CODES AND STANDARDS**

- ALL WORK SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING:
  - CURRENT BUILDING CODE OF NEW YORK STATE
  - ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
  - ACI CODE, AISC CODE
  - GENERALLY ACCEPTED TRADES AND INDUSTRY STANDARDS
- WARNING: IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THESE DRAWINGS UNLESS THEY COMPLY WITH SECTION 72092 OF THE LAW.
- THE CONTRACTOR IS TO ABIDE BY REGULATIONS FOR INSPECTIONS AS MANDATED BY LOCAL ORDINANCES.

**CONCRETE**

- DOLT PRESSURE TREATED WOOD SILL PLATES TO THE FOUNDATION WITH 1/2 INCH DIAMETER HOOKED ANCHOR BOLTS EMBEDDED 7 INCHES AT 6 FEET ON CENTER. INSTALL ONE DOLT WITHIN 12 INCHES OF EACH WALL CORNER. INSTALL MINIMUM 2 BOLTS PER PLATE. (R 40916)
- PLACE AND CURE AS PER ACI CODE. PROVIDE CRACK CONTROL JOINTS IN SLABS AT 20 FOOT SPACING, EACH WAY.
- ALL FOUNDATIONS SHALL REST ON NATIVE SOILS WITH A MINIMUM ASSUMED BEARING CAPACITY OF 1500 PSF.
- ALL CONTINUOUS REINFORCING STEEL (WHERE SHOWN ON PLANS) SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.

**FRAMING**

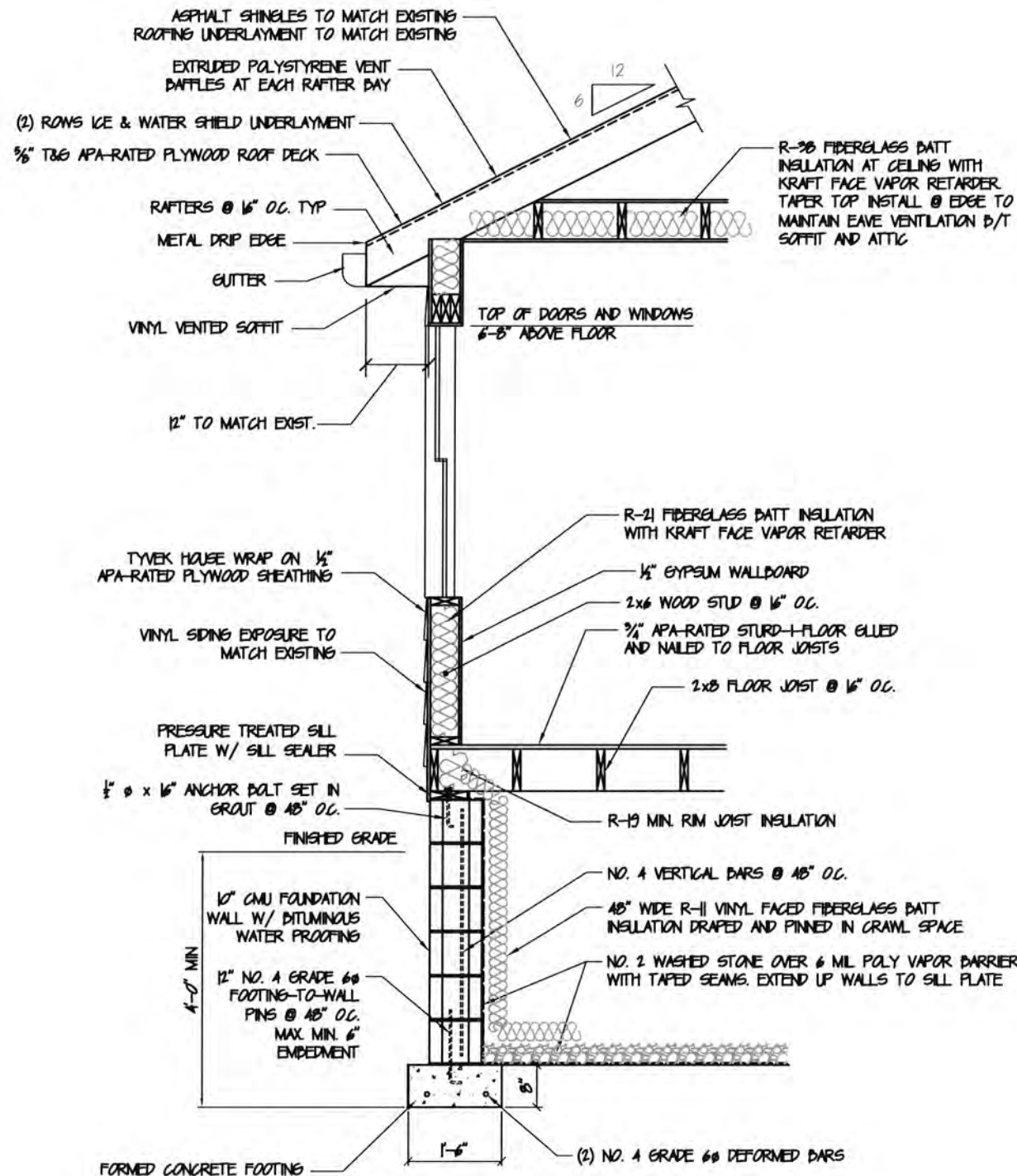
- PROVIDE SOLID BLOCKING BETWEEN JOISTS AT BEARING WALLS. INSTALL CROSS BRIDGING AT MIDPOINT OF ALL FLOOR JOISTS. INSTALL SOLID BLOCKING BEARING BELOW AT ALL CONCENTRATED LOAD POINTS SUCH AS POSTS, COLUMNS, HEADER SUPPORT BEARING STUDS.
- ALL JOISTS SHALL HAVE MINIMUM OF 2 INCH BEARING ON SUPPORTS.
- BUILT UP BEAMS AND HEADERS SHALL BE ELLED AND NAILED WITH MINIMUM 3 ROWS 16d NAILS AT 12 INCH CENTERS.
- STEEL FLITCH PLATES SHALL BE DOLTED THROUGH THEIR WOOD MEMBERS WITH 3/4 INCH DIAMETER HIGH STRENGTH BOLTS, NUTS, WASHERS AT 2 FOOT SPACING TOP END BOTTOM IN TWO STAGGERED ROWS.
- GULLAM AND MICRO-LAM MEMBERS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S REQUIREMENTS INCLUDING NAILING, BRACING AND END BEARING, ETC.
- CUTTING OR NOTCHING OF JOISTS, RAFTERS, STUDS AND OTHER STRUCTURAL MEMBERS SHALL CONFORM TO THE NEW YORK STATE BUILDING CONSTRUCTION CODE MANUAL AND SHALL NOT COMPROMISE STRUCTURAL INTEGRITY.
- FIRESTOP CONCEALED SPACES OF WOOD FRAMED WALLS AND PARTITIONS AT EACH FLOOR LEVEL AND AT THE CEILING LINE OF THE TOP STORY. WHERE FIRESTOPS ARE NOT AUTOMATICALLY PROVIDED BY THE FRAMING SYSTEM USED, USE CLOSELY-FITTED WOOD BLOCKS OF NOMINAL 2" THICK LUMBER OF THE SAME WIDTH AS FRAMING MEMBERS, OR OTHER NON-COMBUSTIBLE MATERIAL ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- ALL STRUCTURAL FRAMING SHALL BE HEM-FIR OR BETTER UNLESS OTHERWISE NOTED. ALL 2x6 AND LARGER FRAMING LUMBER SPANS ARE BASED ON THE USE OF NO. 2 GRADE LUMBER, HAVING A MODULUS OF ELASTICITY OF 1,000,000 PSI AND A NORMAL DESIGN VALUE F<sub>b</sub>=1,150 PSF. MOISTURE CONTENT OF STRUCTURAL MEMBERS SHALL NOT EXCEED 19%.
- ALL DOORS AND INTERIOR OPENINGS ARE 6 FEET 8 INCHES HIGH UNLESS OTHERWISE NOTED.
- PROVIDE FRAMING MEMBERS OF SIZE AND ON SPACING SHOWN, AND FRAME OPENING AS SHOWN, OR IF NOT SHOWN, COMPLY WITH RECOMMENDATIONS OF MANUAL FOR HOUSE FRAMING (NHPA). DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.
- ANCHOR AND NAIL AS NECESSARY AND TO COMPLY WITH RECOMMENDED NAILING SCHEDULE OF MANUAL FOR HOUSE FRAMING AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION PUBLISHED BY NHPA.
- FASTENERS AND ANCHORAGES: PROVIDE SIZE, TYPE, MATERIAL, AND FINISH AS INDICATED AND AS RECOMMENDED BY APPLICABLE FEDERAL SPECIFICATIONS FOR NAILING, STAPLES, SCREWS, BOLTS, NUTS, WASHERS AND ANCHORING DEVICES. PROVIDE METAL HANGERS AND FRAMING ANCHORS OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER FOR EACH USE INCLUDING RECOMMENDED NAILS.
- ARRANGE STUDS SO THAT WIDE FACE OF THE STUD IS PERPENDICULAR TO DIRECTION OF WALL OR PARTITION AND NARROW FACE IS PARALLEL. PROVIDE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE USING 2" THICK MEMBER WITH WIDTHS EQUALING THAT OF THE STUDS, EXCEPT SINGLE TOP PLATE MAY BE USED FOR NON-LOAD BEARING PARTITIONS. NAIL OR ANCHOR PLATES TO SUPPORTING CONSTRUCTION. TOP PLATES TO OVERLAP AT CORNERS AND INTERSECTIONS, STAGGER END JOINTS 24" MINIMUM.
- CONSTRUCT CORNERS AND INTERSECTIONS WITH NOT LESS THAN 3 STUDS. PROVIDE MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR SUPPORT OF FACING MATERIALS, FIXTURES, SPECIALTY ITEMS AND TRIM. PROVIDE CONTINUOUS HORIZONTAL BLOCKING ROW AT MID-HEIGHT OF SINGLE STORY PARTITIONS OVER 8' HIGH AND AT MIDPOINT OF MULTI-STORY PARTITION, USING 2" THICK MEMBERS OF THE SAME WIDTH AS WALL OR PARTITIONS.
- FRAME OPENINGS WITH MULTIPLE STUDS AND HEADERS. PROVIDE NAILED HEADER MEMBERS OF THE THICKNESS EQUAL TO THE WIDTH OF THE STUDS. SET HEADERS ON EDGE AND SUPPORT ON JAMB STUDS. FOR NON-BEARING AND BEARING PARTITIONS, PROVIDE DOUBLE-JAMB STUDS FOR OPENING 6' AND LESS IN WIDTH, AND TRIPLE-JAMB STUDS FOR WIDER OPENINGS. PROVIDE HEADERS OF DEPTH SHOWN, OR IF NOT SHOWN, PROVIDE AS RECOMMENDED BY NHPA.
- ALL INTERIOR DIMENSIONS ARE BASED ON ACTUAL SIZE OF LUMBER AND DO NOT INCLUDE DRYWALL (TYP 5/8" OR 5/4") UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

**WINDOWS:**

- ALL WINDOWS SHALL BE DOUBLE GLAZED OR INSULATING GLASS.
- WINDOWS AND DOORS SHALL BE WEATHER STRIPPED.
- FELLA WINDOWS AND DOORS NOTED ON PLAN.
- ALTERNATIVE WINDOWS OF SAME SIZE, GLASS AREA, AND THERMAL EFFICIENCY ARE ACCEPTABLE.

**MISCELLANEOUS:**

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPEED RATING OF LESS THAN 25 AND SMOKE DENSITY RATING OF LESS THAN 450.
- EXTERIOR JOINTS, PENETRATIONS AND OPENINGS IN THE STRUCTURE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE POSITIVELY SEALED TO PREVENT WIND AND MOISTURE FROM ENTERING. (EX. DOORS, WINDOWS, UTILITIES, FRAMING JOISTS BETWEEN WALLS AND FLOORS AND FOUNDATIONS).
- INSTALL ROOF AND SOFFIT VENTILATION EQUAL TO 1.
- INSTALL RAIN GUTTERS AND DOWNSPOUTS AS PER LOCAL CODES.
- GRADE SITE TO DRAIN AWAY FROM THE FOUNDATION AT A SLOPE OF 1/4" PER FOOT, AT LEAST, FOR A DISTANCE OF 6' FROM WALL.



**N1 NORTH WALL SECTION**  
SCALE: NOT TO SCALE

**DAWE**  
**KITCHEN ADDITION**  
**60 FALCON TRAIL**  
**PITTSFORD, NY 14534**

716.204.9733



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

No.	Revised/Revision	App'd	By	Date

60 FALCON TRAIL  
PITTSFORD  
MONROE COUNTY, NYS

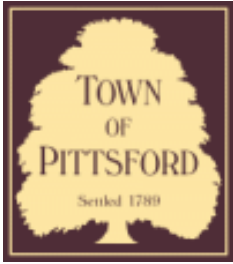
GENERAL NOTES

Designed By: KMD	Drawing No.:
Drawn By: KMD	<b>A-7</b>
Checked By: KP	









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000087**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 23 & 25 Skylight Trail Pittsford, NY 14534

**Tax ID Number:** 192.06-1-18 & 192.06-1-17

**Zoning District:**

**Owner:** S&J Morrell Builders Inc.

**Applicant:** S&J Morrell Builders Inc.

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 40 (23 Skylight Trail) will be approximately 2013 sq. ft. and Lot 39 (25 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

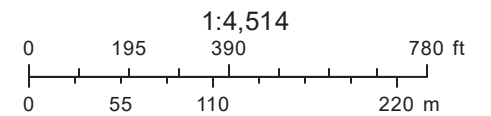
**Meeting Date:** July 09, 2020



# RN Residential Neighborhood Zoning



Printed October 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



oomfield Road

Bromsgrove Hill

Epping Wood Trail

Bromsgrove Hill

Mendon Road

Van Voorhis Road

Van Voorhis Road

Fawn Run

Pine Vista

Nature View

Driveway

Me

40 41 44 46 47 48 49 50 51 52

260

707

1

9

19

29

39

49

59

184 190 191 192 196 197 200 202 203 206 208 210 211

625

2 7 8 9 10 11 15 16 17 18 19 20 21

640

26 20 14

648

32 21 15

662

33 27

670

6 2

682

20 30 40 50 60

684

10 60

# ALPINE RIDGE

A MORRELL COMMUNITY

*No development agricultural zone*



⊗ = Side Load Garage

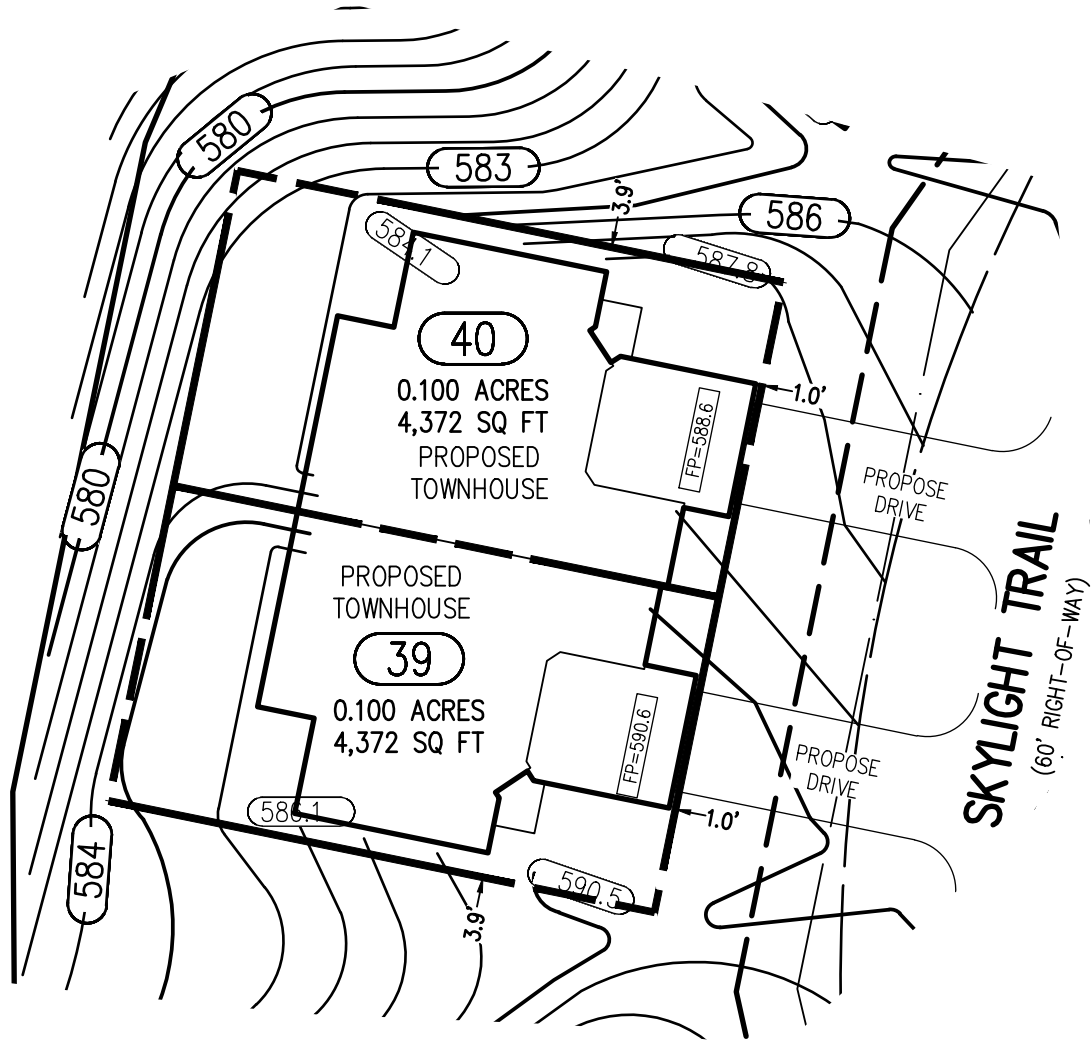
J / #! \$ aXTg[V[ Y ZSeefa` W

Color

Building Step

	Cobblestone	Light Mist	Navajo Beige	Khaki Brown	Booth Bay Blue
Color	⊗	⊗	⊗	⊗	⊗
Building Step	⊗				

PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," PREPARED BY DOUGLAS W. MAGDE, L.S. HAVING DRAWING NUMBER SV1.0 AND LAST REVISED JUNE 27, 2019.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:  
 FRONT 0' (LOT) 25' (R.O.W.)  
 SIDE 0'  
 REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2), PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 27, 2019.

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS." THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE." BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY, OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.  
 COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
 \*UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

**BME ASSOCIATES**

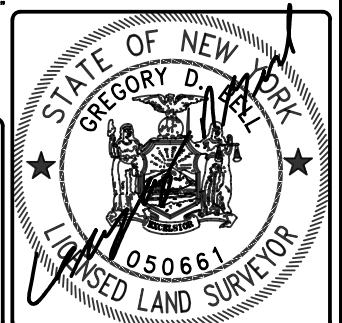
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 10 LIFT BRIDGE LANE EAST  
 FAIRPORT, NEW YORK 14450  
 PHONE 585-377-7360  
 FAX 585-377-7309

**LOTS 39 & 40 ALPINE RIDGE SUBDIVISION SECTION 1  
 TOWN OF PITTSFORD MONROE COUNTY NEW YORK**



DRAWN BY: GDB  
 DATE: 7-2-20

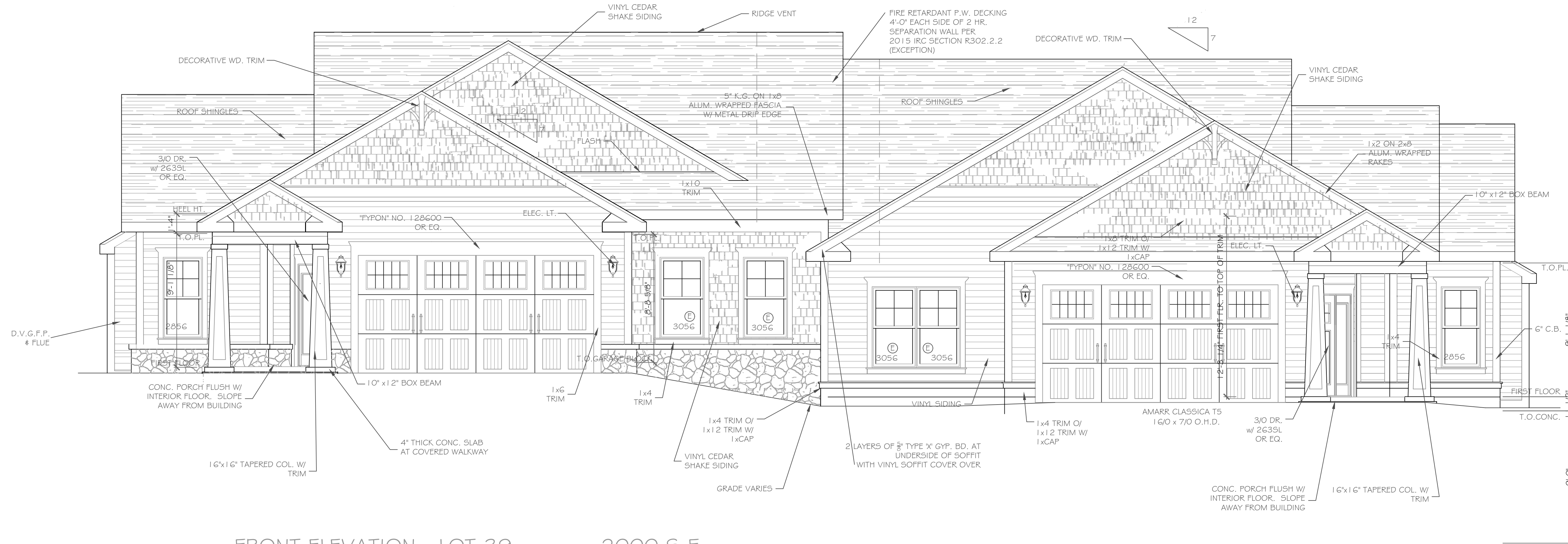
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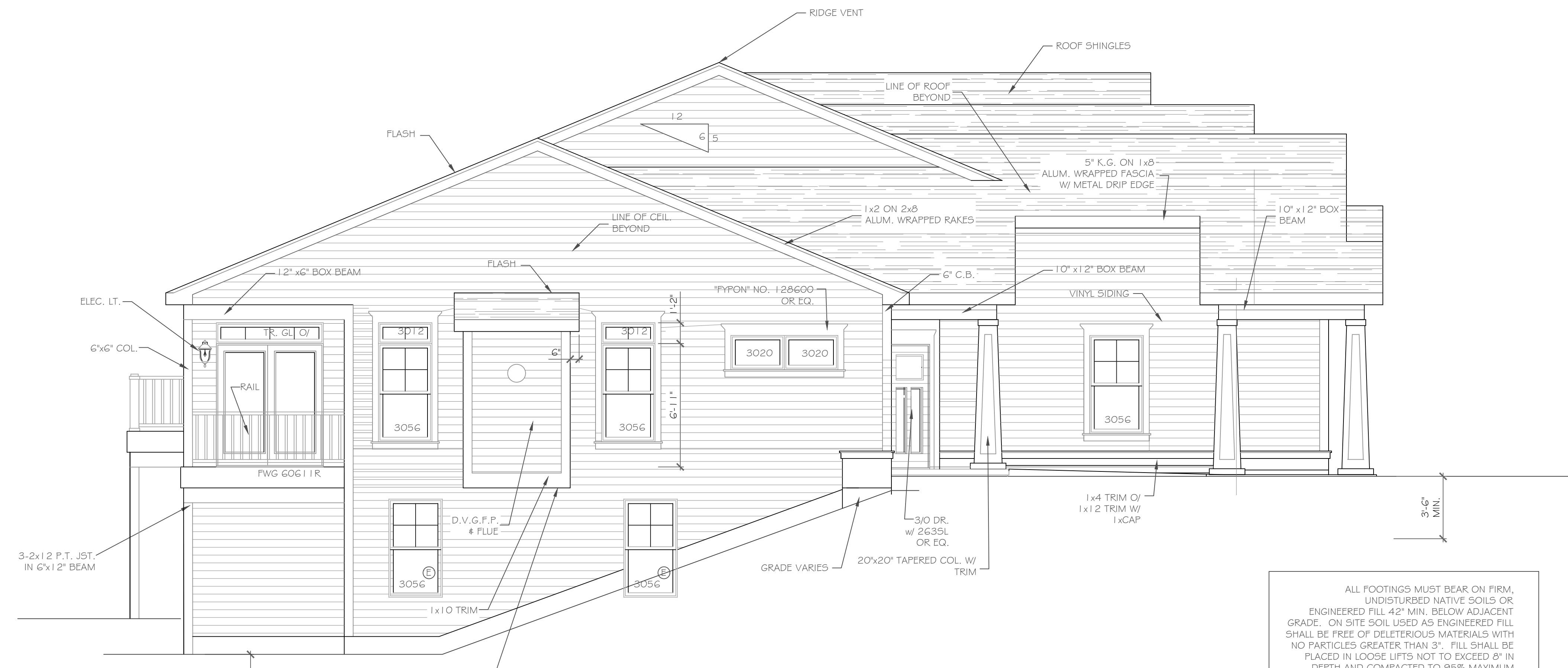
THE *Grace* 2,000 Square Feet





FRONT ELEVATION - LOT 39 2000 S.F.

FRONT ELEVATION - LOT 40 2013 S.F.



LEFT SIDE ELEVATION - LOT 39

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST O/ 1 1/8" DIA. CONC. FTG. W/ SIMPSON LCB66 POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: <b>Elevations</b>	PHASE: Construction Documents
	DATE: July 2020

PROJECT: <b>Alpine Ridge - Units 39 &amp; 40 Pittsford, New York</b>	CLIENT: Morrell Builders
JOB NO. - A20-021	DATE: July 2020

**CKH**  
 architecture  
 1501 Pittsford Victor Rd.  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 fax: (585) 249-1333  
 email: CKHennessey@frontiernet.net

DRAWING NO. - <b>A-1</b>
-----------------------------



REAR ELEVATION - LOT 40

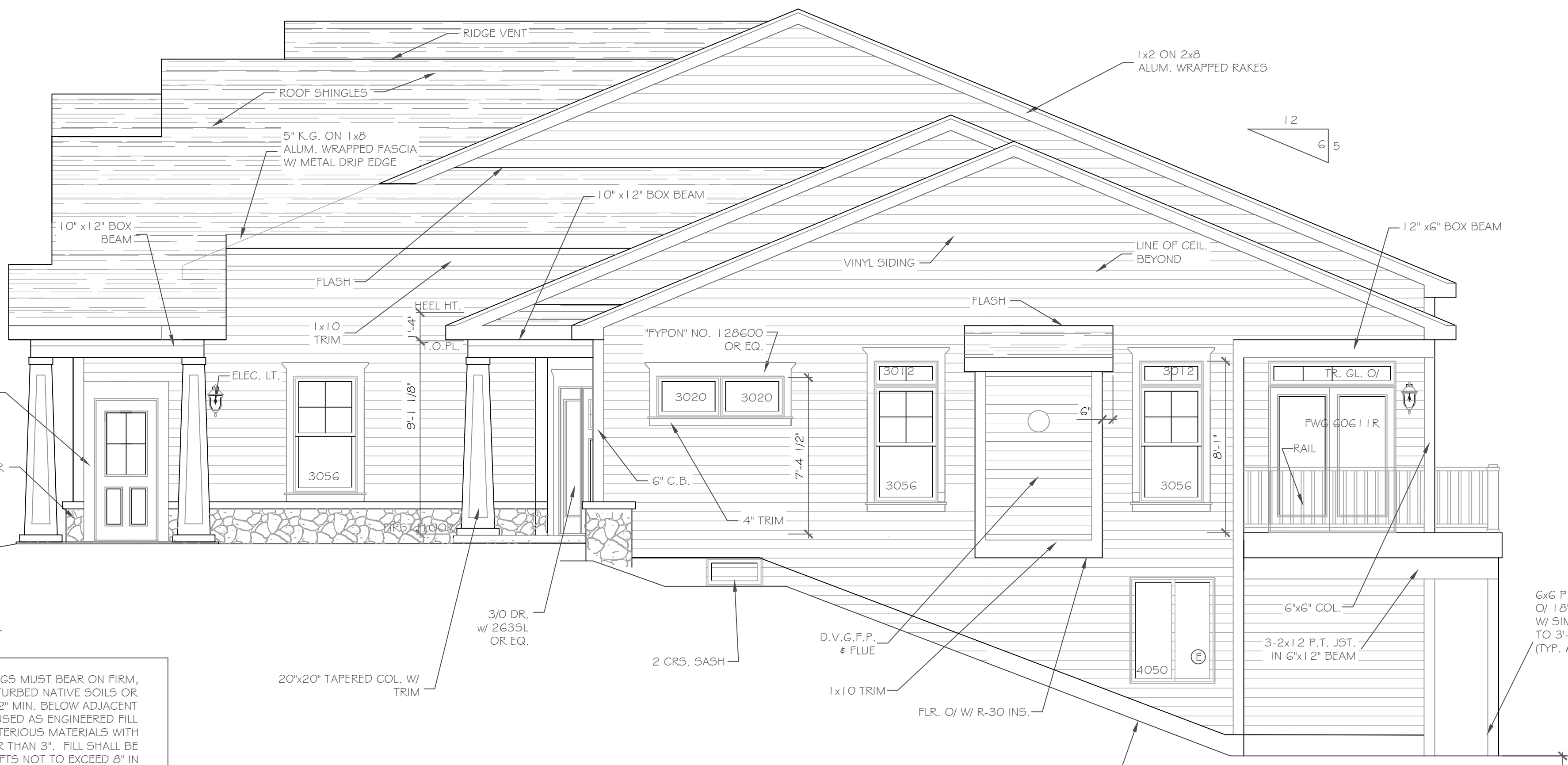
1/4" = 1'-0"

REAR ELEVATION - LOT 39

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:  
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
-HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1



RIGHT SIDE ELEVATION - LOT 40

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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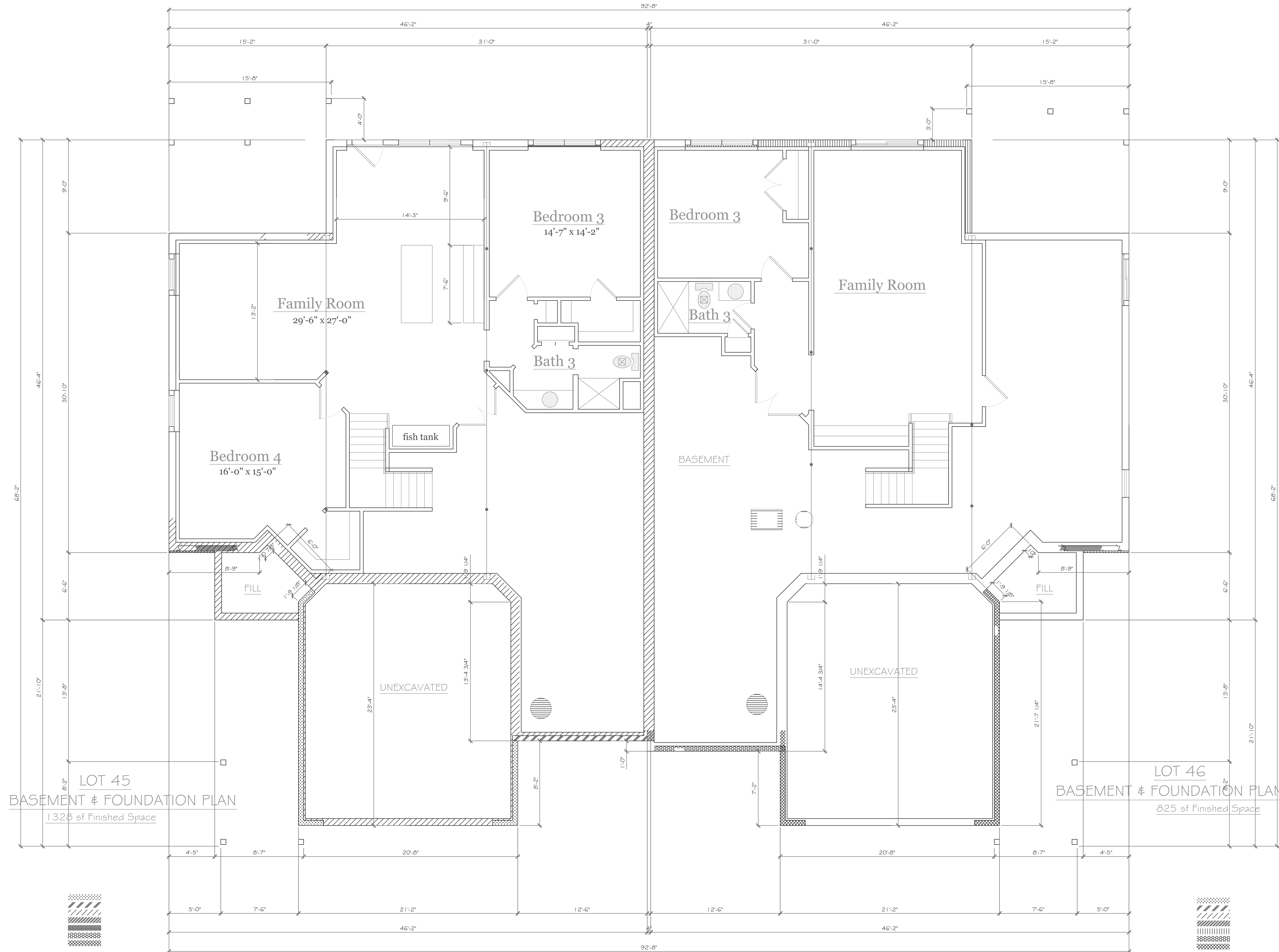
NO.	DATE	DESCRIPTION

DRAWING TITLE:	PHASE:
Elevations	Construction Documents

PROJECT:	ALPINE RIDGE - UNITS 39 & 40
CLIENT:	MORRELL BUILDERS
DATE:	JULY 2020
JOB NO.:	A20-021

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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
 Basement & Foundation Plan

**PHASE:**  
 Construction Documents

**PROJECT:**  
 Alpine Ridge - Units 39 & 40  
 Pittsford, New York

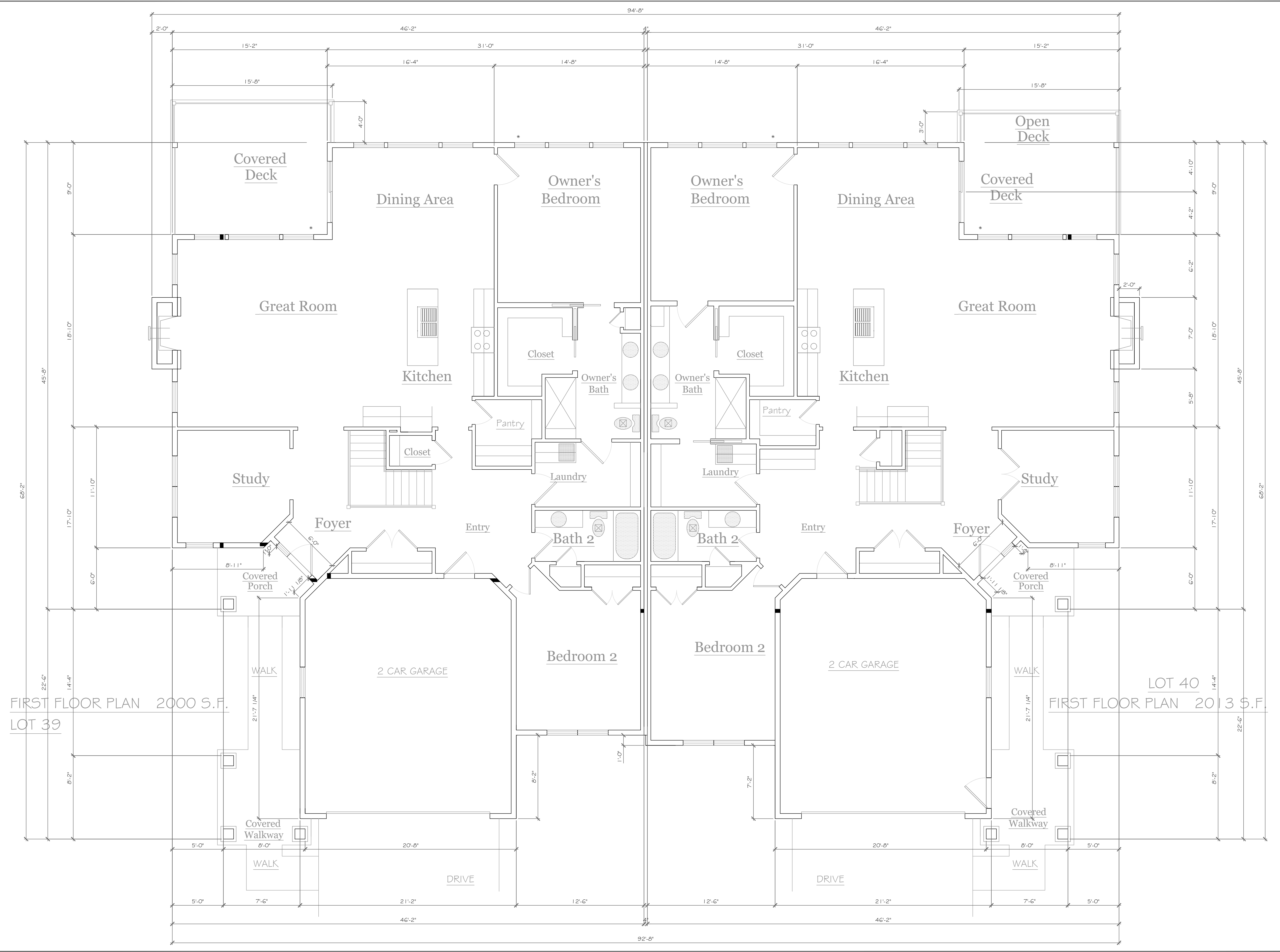
**CLIENT:**  
 Morrell Builders

**JOB NO.:**  
 A20-021

**DATE:**  
 July 2020

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 fax: (585) 249-1333  
 email: CKHennessey@frontier.net

**DRAWING NO.:**  
 A-3



FIRST FLOOR PLAN 2000 S.F.  
LOT 39

FIRST FLOOR PLAN 2013 S.F.  
LOT 40

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**First Floor Plan**

PHASE:  
Construction Documents

PROJECT:  
**Alpine Ridge - Units 39 & 40  
Pittsford, New York**

CLIENT:  
**Morrell Builders**

JOB NO. -  
A20-021

DATE:  
July 2020

**CKH**  
architecture

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fax: (585) 249-1333  
e-mail: CKHennessey@frontiernet.net

DRAWING NO. -  
**A-4**