

**Design Review & Historic Preservation Board
Agenda
June 25, 2020**

HISTORIC PRESERVATION DISCUSSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

- **117 East Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of a fence. This property is zoned AG (Agricultural) and is designated historic.

RESIDENTIAL APPLICATION FOR REVIEW

- **9 White Briar**

The Applicant is requesting design review for the first floor addition. The addition will be approximately 469 sq. ft. and will be located to the rear of the structure.

- **797 Stone Road**

The Applicant is requesting design review for the one story addition and porch. The addition and roof will be approximately 745 sq. ft. and will be located to the rear.

- **290 Tobey Road**

The Applicant is requesting design review for the addition of a third bay to an existing two car garage and the conversion of the underside of a deck to a screened porch. The garage addition will be approximately 432 sq. ft. and the screened porch will be 144 sq. ft.

- **31 Sandpiper Lane**

The Applicant is requesting design review for the addition of a first floor bedroom/bathroom and front porch. The addition will be approximately 415 sq. ft. and will be located to the west of the existing home. The porch addition will be approximately 72 sq. ft. and will be on the front of the home.

COMMERCIAL APPLICATION FOR REVIEW

- **3650 Monroe Avenue**

The Applicant is requesting design review for the replacement of the "Pittsford Garden Apartments" sign. The current sign was damaged and will be replaced with an approximately 15 sq. ft. sign.

OTHER – REVIEW OF 6/11/2020 MINUTES

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/85029885066?pwd=TXphNjMrdWNUL2xGYi9KZmwybG8rdz09>
-
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **850 2988 5066**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

Draft
Design Review and Historic Preservation Board
Minutes
June 11, 2020

PRESENT

Dirk Schneider, Chairman; John Mitchell, Leticia Fornataro, Paul Whitbeck, Bonnie Salem, Kathleen Cristman

ALSO PRESENT

Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney; Kevin Beckford, Town Board Liaison

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, June 11 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

ABSENT

David Wigg

Dirk Schneider opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The Board discussed scheduling a fall date for the Historic Landmark Homes reception. It was recommended that the date be scheduled for later in the year so that the public would feel comfortable attending given this year's COVID pandemic. Potential dates were mentioned – October 15 or 29 or November 5 or 19. The invited speaker will be contacted to determine his availability.

RESIDENTIAL APPLICATION FOR REVIEW

- **48 N. Country Club Drive**

The Applicant is requesting design review for the renovation and addition to an existing home. The additions will total approximately 270 sq. ft. and will add square footage to the existing garage and to the front of the home.

James Fahy of Fahy Designs was present to represent the homeowners.

Mr. Fahy discussed the proposed renovations to include additional living space and a third bay garage. The applicant has received an area variance from the Zoning Board of Appeals for a side setback. The total square footage will be 2539 sq. ft. A sunroom which has fallen into disrepair will be removed.

Materials will be cultured stone in a dark grey color, Hardi Board siding, casement windows, architectural dark grey shingles on the roof and carriage style garage doors. The third bay will be set back from the two bay garage. There will be three windows on the front elevation as reflected in the rendering on A 3.0 on the plans. Mr. Fahy stated that the window scaping will be accentuated on the rear of the home so the homeowners may enjoy the adjacent golf course views.

Leticia Fornataro move to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **9 Thomas Grove**

The Applicant is requesting design review for the addition of a porch. The porch will be located to the rear of the home and will be approximately 529 sq. ft.

David Burrows, architect for the project, was present to discuss the application with the Board.

Mr. Burrows stated that Steve Walsh of Walsh Custom Concepts had developed the project and Mr. Burrows had been called in on the project to add design features.

Mr. Burrows designed a open gable porch with two sides open. There will be 2 hip roofs and a ridge roof. Two 6 x 6 posts will be wrapped and framed and trimmed with cultured stone on the bottom. There is potential for an outside kitchen to be added to the porch addition. The shingle product had not yet been chosen.

Dirk Schneider commented that he did not feel that the tapered columns reflected the architecture on the front elevation of the home.

John Mitchell moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **52 N. Country Club Drive**

The Applicant is requesting design review for the proposed construction of a covered porch/patio. The proposed construction will total 186 sq. ft. The deck extension is a separate project and is not part of this review.

The homeowner, Jeff Bornheim, was present to discuss the project with the Board.

Mr. Bornheim discussed the proposed cover to the patio. He stated that the rooflines would match the existing.

Leticia Fornataro disclosed that she know the applicant personally but has no prejudices nor financial interest in the project.

Robert Koegel indicated that this presents no conflict of interest and Ms. Fornataro should feel free to vote on the application.

Paul Whitbeck noted that the new proposed construction is favorable.

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3819 Monroe Avenue**

The Applicant is requesting design review to change the siding on an existing commercial building. The building currently has white siding and the applicant would like to change the color to the "Bluish" color submitted.

Mike Nichting was present to discuss the application with the Board.

Mark Lenzi explained that a color change on a commercial building on the Monroe Avenue corridor is subject to the approval of the Design Review Board.

Bonnie Salem disclosed that she knows the applicant personally but she has no prejudice in the project and no financial interest.

Robert Koegel indicated that no conflict of interest exists and Ms. Salem should feel free to vote in this matter.

Mr. Nichting stated that the roof would be torn off and the siding would be replaced with a blue vinyl siding replacement to match the signage on the front of the building.

Kathleen Cristman moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **5611 Palmyra Road**

The Applicant is requesting design review for the addition of a business identification sign. The main area of the sign will be white and in the shape of a tooth. The lettering identifying "Pitcher Pediatric Dental" will be black.

The applicant, Marci Mendola-Pitcher, was present to discuss the application with the Board.

Ms. Pitcher stated that the sign is larger in the rendering than it will actually would be. She had hoped for a larger sign to accommodate her extended last name.

Mark Lenzi explained that the Zoning Board of Appeals granted approval of a 10 ft. square sign and that the Design Review Board cannot override the decision of the Zoning Board.

Bonnie Salem inquired about the lighting of the sign. Ms. Pitcher explained that the electrical is present for a flood light but the sign itself will not be internally illuminated. Per the use variance the sign may only be lit during specific hours.

Paul Whitbeck moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

REVIEW OF 5/28/2020 MINUTES

Bonnie Salem moved to approve the minutes of the May 28, 2020 meeting as submitted.

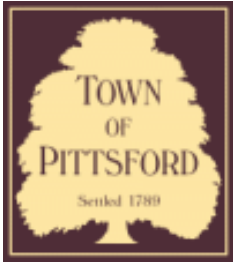
Leticia Fornataro seconded.

All Ayes.

The meeting adjourned at 6:45 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA20-000001

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 117 East Street PITTSFORD, NY 14534

Tax ID Number: 178.02-1-2.1

Zoning District: AG Agricultural

Owner: Gleason, Michael P

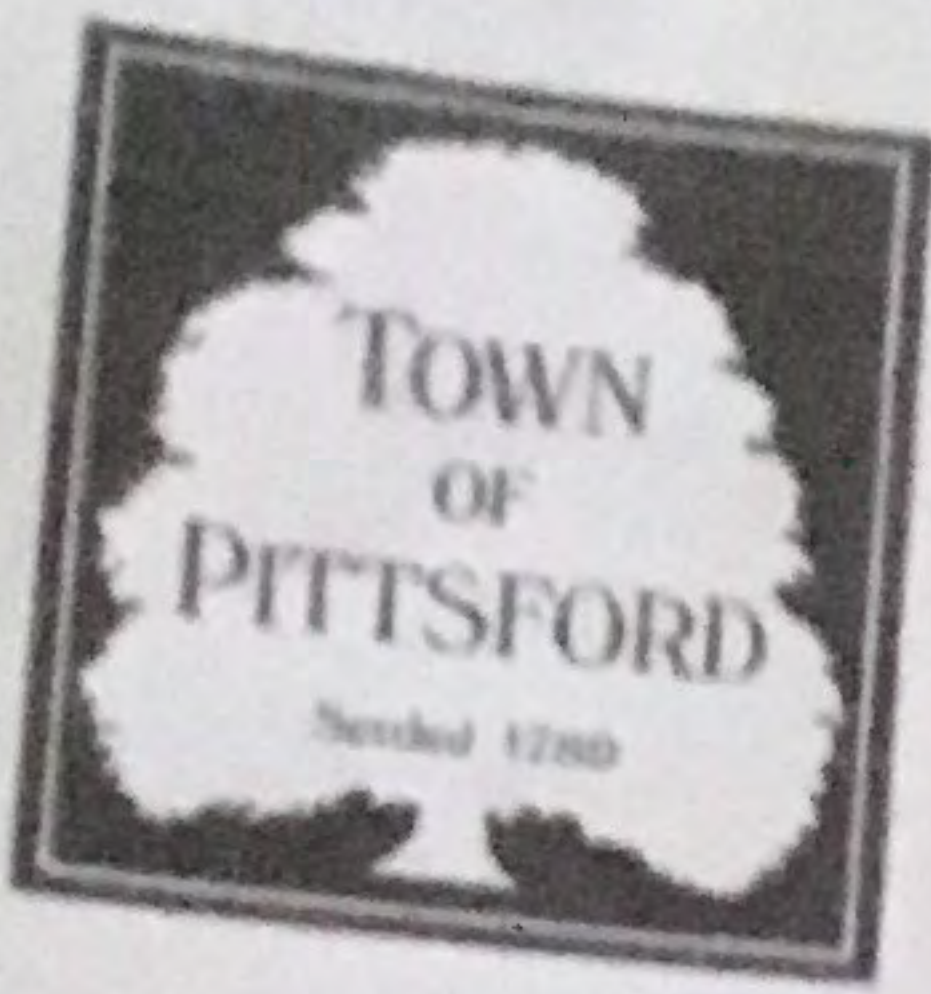
Applicant: Gleason, Michael P

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the addition of a fence. This property is zoned AG (Agricultural) and is designated historic.

Meeting Date: June 25, 2020



Print Form

Reset Form

TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 117 EAST ST.

2. Tax Account Number: _____

3. Applicant's Name: MIKE & KATHY Gleason

Address: 117 EAST ST Phone: 585-586-9482

Pittsford, NY Street 14534 City State Zip Code

E-mail: Kathyde4@gmail.com

Applicant's Interest in Property:

Owner: Lessee: Holding Purchase Offer:

Other (explain): _____

Owner (if other than above): _____

Address: _____ Phone: _____

_____ Street _____
_____ City State Zip Code _____
E-mail: _____

Has the Owner been contacted by the Applicant? Yes No

Application prepared by: Kathy Gleason

Address: 117 EAST ST. Phone: 585-586-9482

Pittsford Street _____
_____ City State Zip Code _____
E-mail: _____

Project Design Professional (if Available): _____

Address: _____ Phone: _____

_____ Street _____
_____ City State Zip Code _____
E-mail: _____

8. Project Contractor (if Available): John Rick
Address: 79 Bridgeport DR Phone: 739-8399
Rochester, NY 14617 E-mail: JRICK@ROCHESTER
City State Zip Code RR.COM

9. Present use of Property: Residential

10. Zoning District of Property: A9

11. Is the property located in a Town Designated Historic District?
Yes No

12. Is the property listed on the National Registry of Historic Places?
Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?
Yes No

If Yes, please explain:

We would like to install a privacy fence to shield our patio from the street. Fence position to match existing columns. The fence will be approx 22' long x 5' high

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Fence will be constructed out of wood and painted white to match exterior of the house.

Print Form

Reset Form

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

Parcel map

Architectural elevations

Photographs

Architectural plans

Other materials

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Kerry Gleason
Signature of applicant

6/1/2020
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

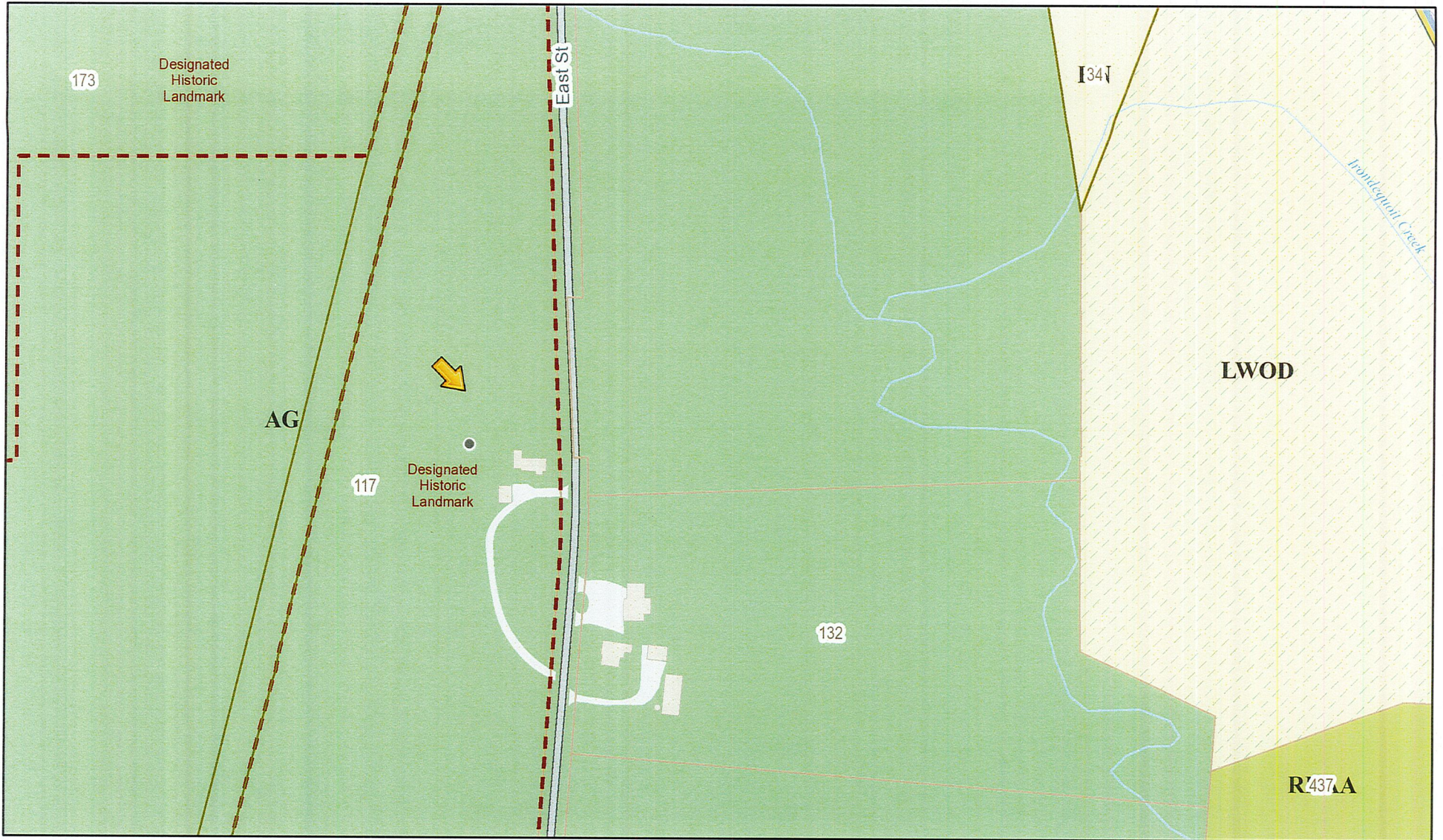
Yes

No

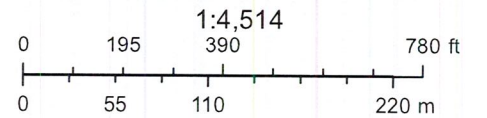
If Yes, owner's signature:



RN Residential Neighborhood Zoning



Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

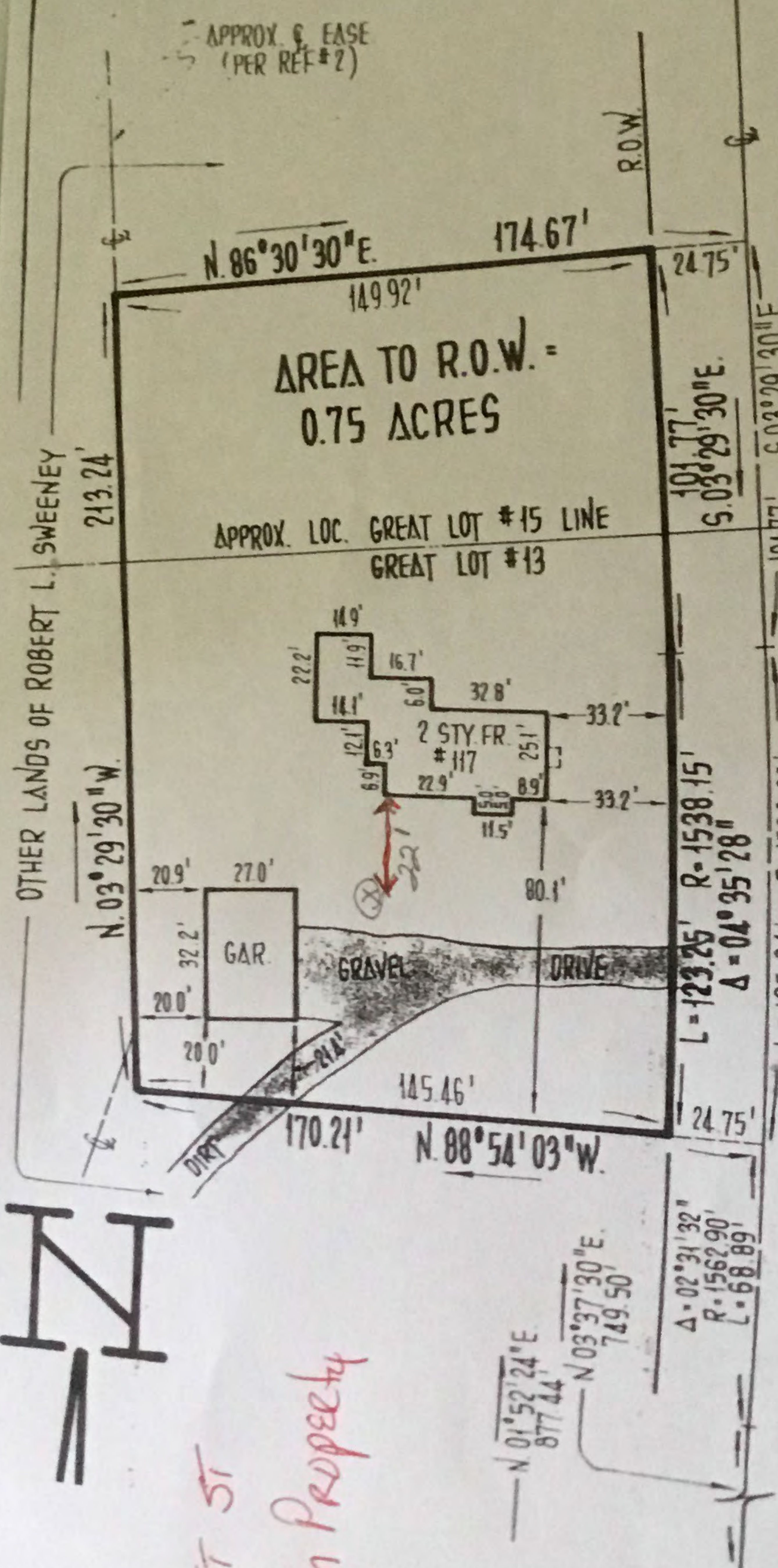


117

450 ft

450 ft

East Street



Certifications indicated herein certify that this survey was prepared in accordance with the existing laws and regulations for Land Surveys adopted by the New York State Association of Professional Land Surveyors. The survey was conducted not only to the present but also to the future. The survey is prepared, and the plat to the title company, and the plat, survey and location of physical monuments, and to the satisfaction of the title company. The plat is subject to any and all modifications by subsequent owners.

REFERENCE

1. MAP ENTITLED "LANDS OF ROBERT S. SWEENEY", BY R. RONALD KREILING, P.E., L.S., P.C., DATED DEC. 7, 1988; DWG. #88-2722.
2. EASEMENT TO T/O PITTSFORD FOR 20' SANITARY SEWER, L. 3427 PG. 265.



117 EAST ST
Gleason Property

COUNTY ROUTE 56 (495) EAST STREET

22 FT LONG
5 FT HIGH





117

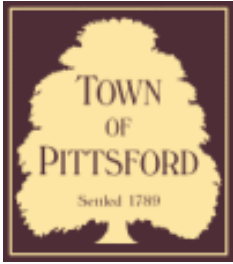












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000074

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 9 White Briar PITTSFORD, NY 14534

Tax ID Number: 178.15-3-4

Zoning District: RN Residential Neighborhood

Owner: Grage, Kurtis A

Applicant: Jeff Shear Homes Inc

Application Type:

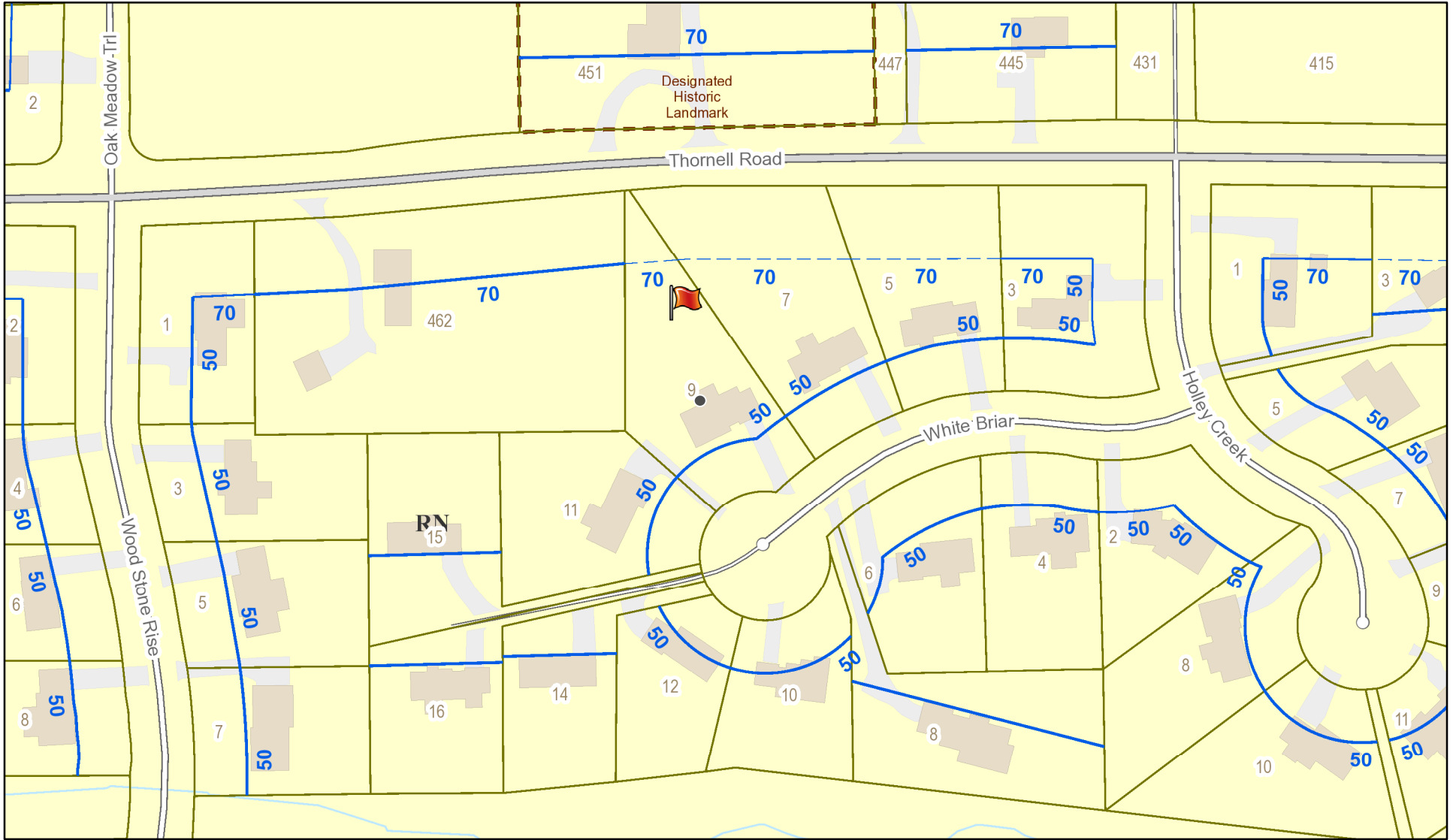
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the first floor addition. The addition will be approximately 469 sq. ft. and will be located to the rear of the structure.

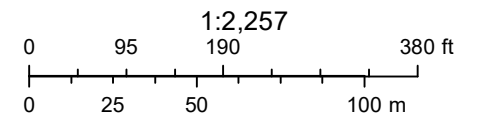
Meeting Date: June 25, 2020



RN Residential Neighborhood Zoning

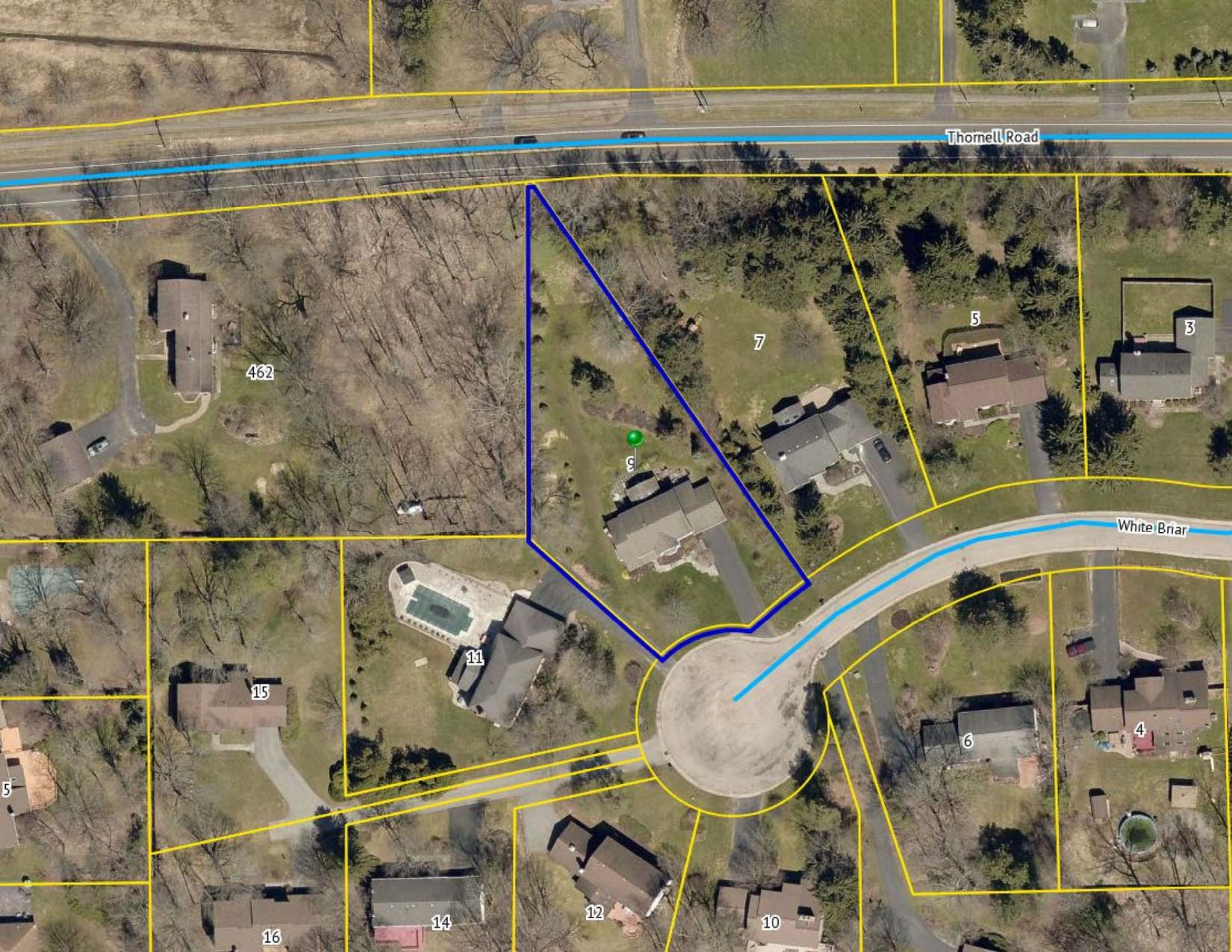


Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thornell Road

White Briar

462

7

5

3

9

11

15

4

6

12

10

14

16

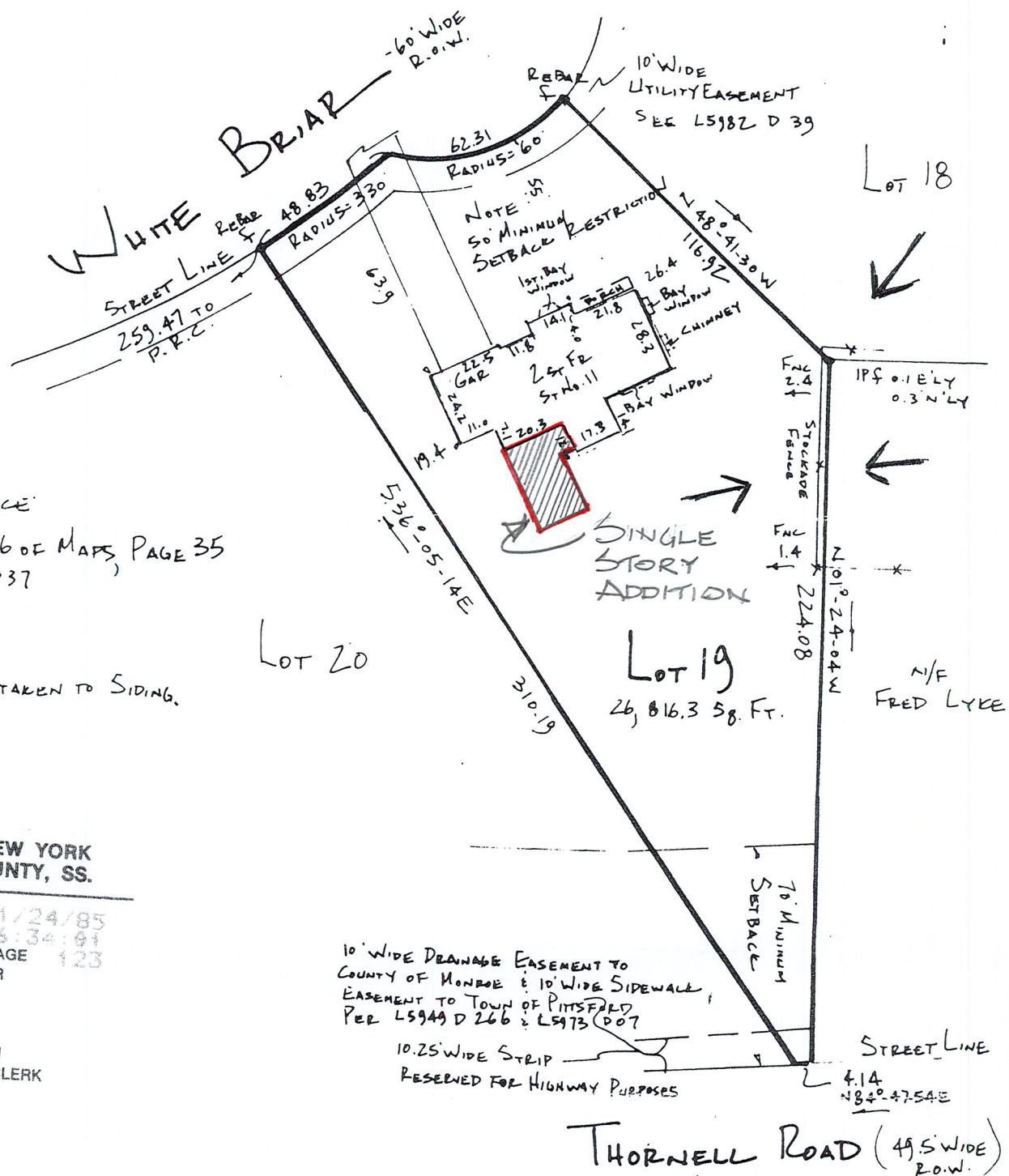
5





LIBER 6654 PAGE 124 MAP OF A SURVEY
 OF LOT 19 OF
 WOOD STONE SUBDIVISION
 SITUATE AT 9 WHITE BRIAR
 TOWN OF PITTSFORD
 MONROE COUNTY NEW YORK

GARY L. DUTTON
 LAND SURVEYOR
 6115 BALD HILL ROAD P.R.I. Box 65
 SPRINGWATER NEW YORK 14560
 716-367-3304
 SCALE: 1" = 50' JAN. 15, 1985



REFERENCE:
 LIBER 216 OF MAPS, PAGE 35
 L 6252 D 37

NOTE:
 ALL TIES TAKEN TO SIDING.

STATE OF NEW YORK
 MONROE COUNTY, SS.

RECORDED ON 01/24/85
 TIME 16:34:01
 BOOK 6654 PAGE 123
 REEL FR OF
 DEED AND EXAMINED
 PATRICIA B. ADDUCI
 MONROE COUNTY CLERK

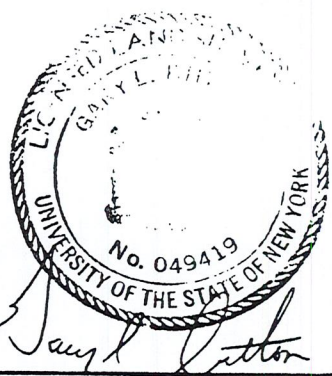
10' WIDE DRAINAGE EASEMENT TO
 COUNTY OF MONROE & 10' WIDE SIDEWALK
 EASEMENT TO TOWN OF PITTSFORD
 PER L5949 D 266 & L5973 D 07
 10.25' WIDE STRIP
 RESERVED FOR HIGHWAY PURPOSES

THORNELL ROAD (49.5' WIDE R.O.W.)

CERTIFY TO
 ROCHESTER COMMUNITY SAVINGS BANK;
 HARRIS, BEACH, WILCOX, RUBIN & LEVY;
 MONROE ABSTRACT & TITLE CORP.;
 GUY S. JONES, PATRICIA A. JONES;
 THAT THIS MAP WAS MADE JAN. 15, 1985
 FROM NOTES OF AN INSTRUMENT SURVEY
 COMPLETED JAN. 14, 1985

"Unauthorized alteration or addition
 survey map bearing a licensed land sur-
 veyor's seal is a violation of section 7209,
 sub-division 2, of the New York State
 Education Law."

"Only copies from the original of this sur-
 vey marked with an original of the land
 surveyor's inked seal or his embossed
 seal shall be considered to be valid true
 copies."



Gary L. Dutton

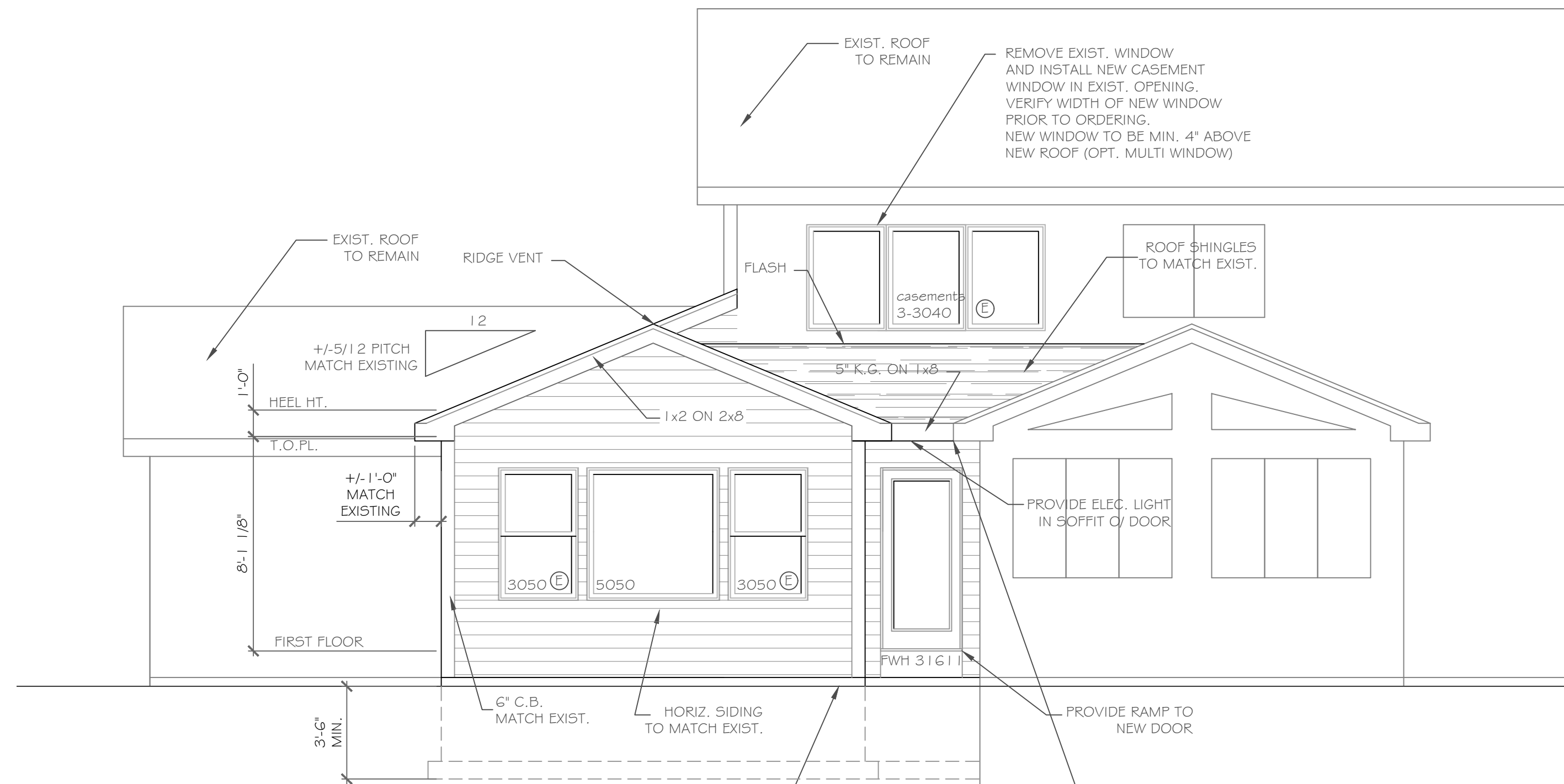
DEMOLITION NOTES:

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.

CONSTRUCTION NOTES:

- 1. Construction shall conform to the residential code of New York State.
- 2. Comply with all local, state and federal codes and regulations.
- 3. General Contractor is responsible for all materials, construction methods and craftsmanship.
- 4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- 5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- 6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
- 7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- 8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- 9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- 10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- 11. All dimensions are face of wall to face of wall (rough).
- 12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
- 13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.

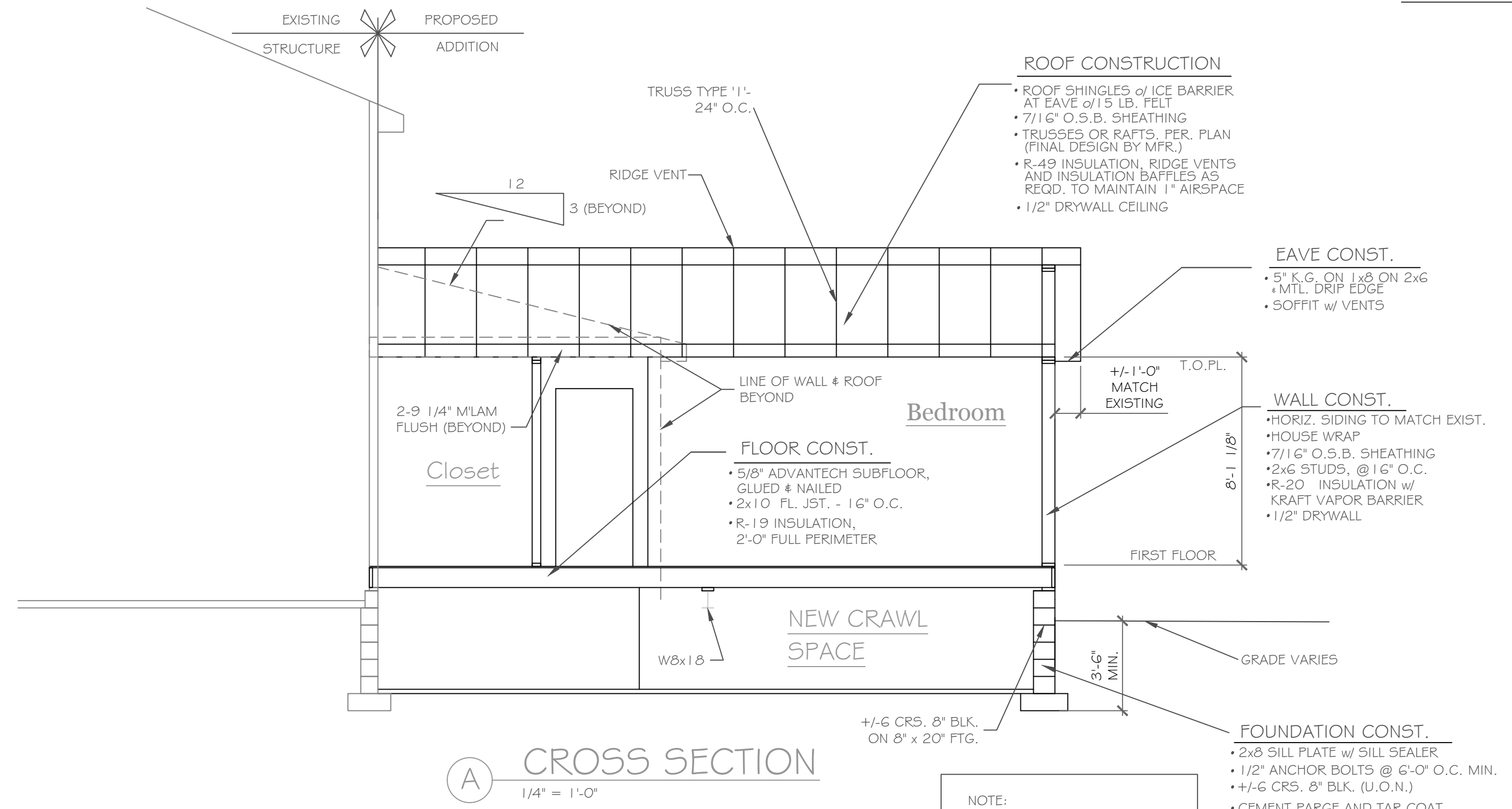
- 14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- 15. Call UFPO before you dig. 1-800-962-7962
- 16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
- 17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- 18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- 19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
- 20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
- 21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



REAR ELEVATION
1/4" = 1'-0"
469 square feet addition

- NOTE:
- WINDOWS TO BE "GREAT LAKES" (HP LOW-E) DOUBLE-HUNG (OR EQUAL)
 - DOORS TO BE "ANDERSEN" (OR EQUAL)
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

NOTE:
NEW AND EXIST. FIRST FLOORS TO ALIGN. ADJUST BLOCK HT. AS REQD. FOR 2x10 FLOOR JOIST TO BE FLUSH W/ EXIST. FIRST FLOOR



CROSS SECTION A
1/4" = 1'-0"

ROOF CONSTRUCTION

- ROOF SHINGLES w/ ICE BARRIER AT EAVE @ 1/5 LB. FELT
- 7/16" O.S.B. SHEATHING
- TRUSSES OR RAFTS PER PLAN (FINAL DESIGN BY MFR.)
- R-49 INSULATION, RIDGE VENTS AND INSULATION BAFFLES AS REQD. TO MAINTAIN 1" AIRSPACE
- 1/2" DRYWALL CEILING

EAVE CONST.

- 5" K.G. ON 1x6 ON 2x6
- MTL. DRIP EDGE
- SOFFIT w/ VENTS

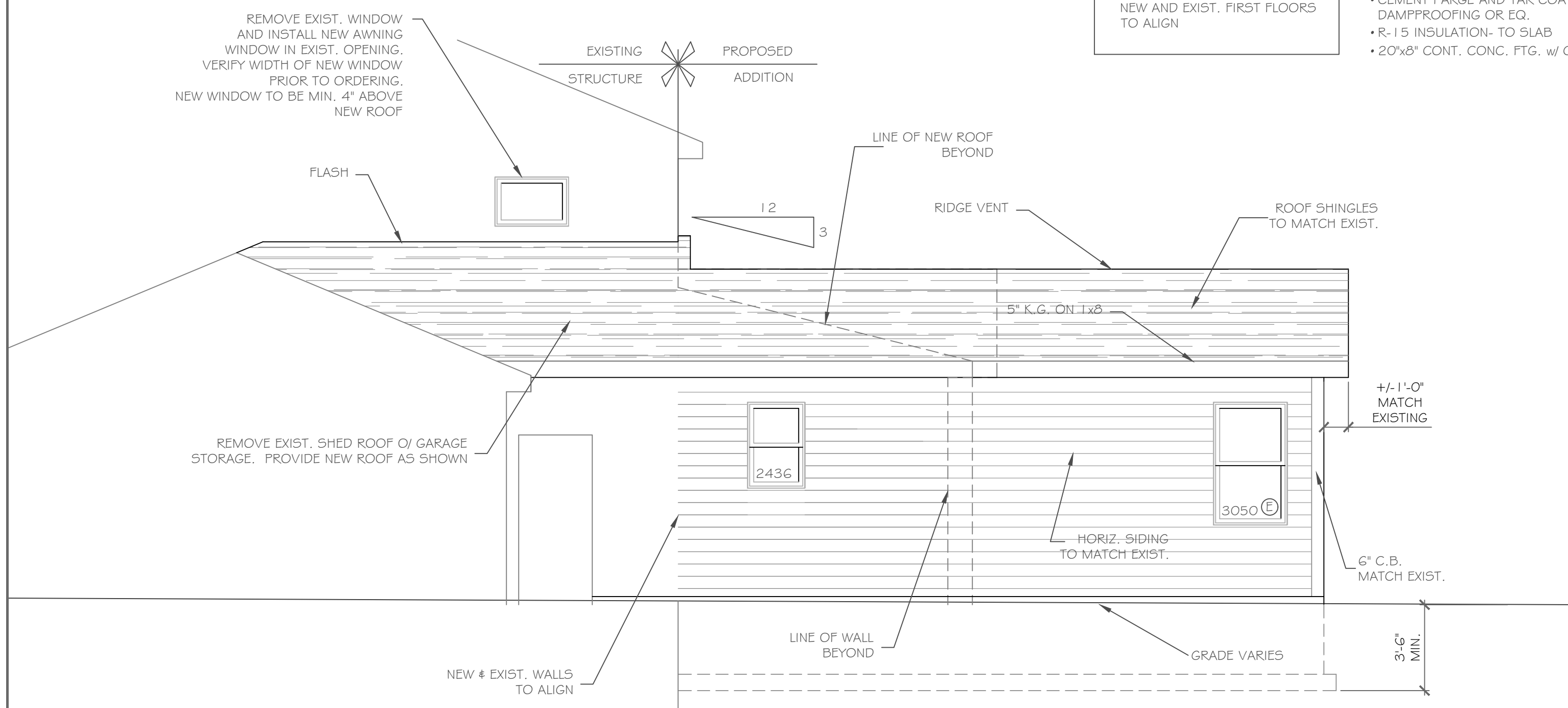
WALL CONST.

- HORIZ. SIDING TO MATCH EXIST.
- HOUSE WRAP
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS, @ 16" O.C.
- R-20 INSULATION w/ KRAFT VAPOR BARRIER
- 1/2" DRYWALL

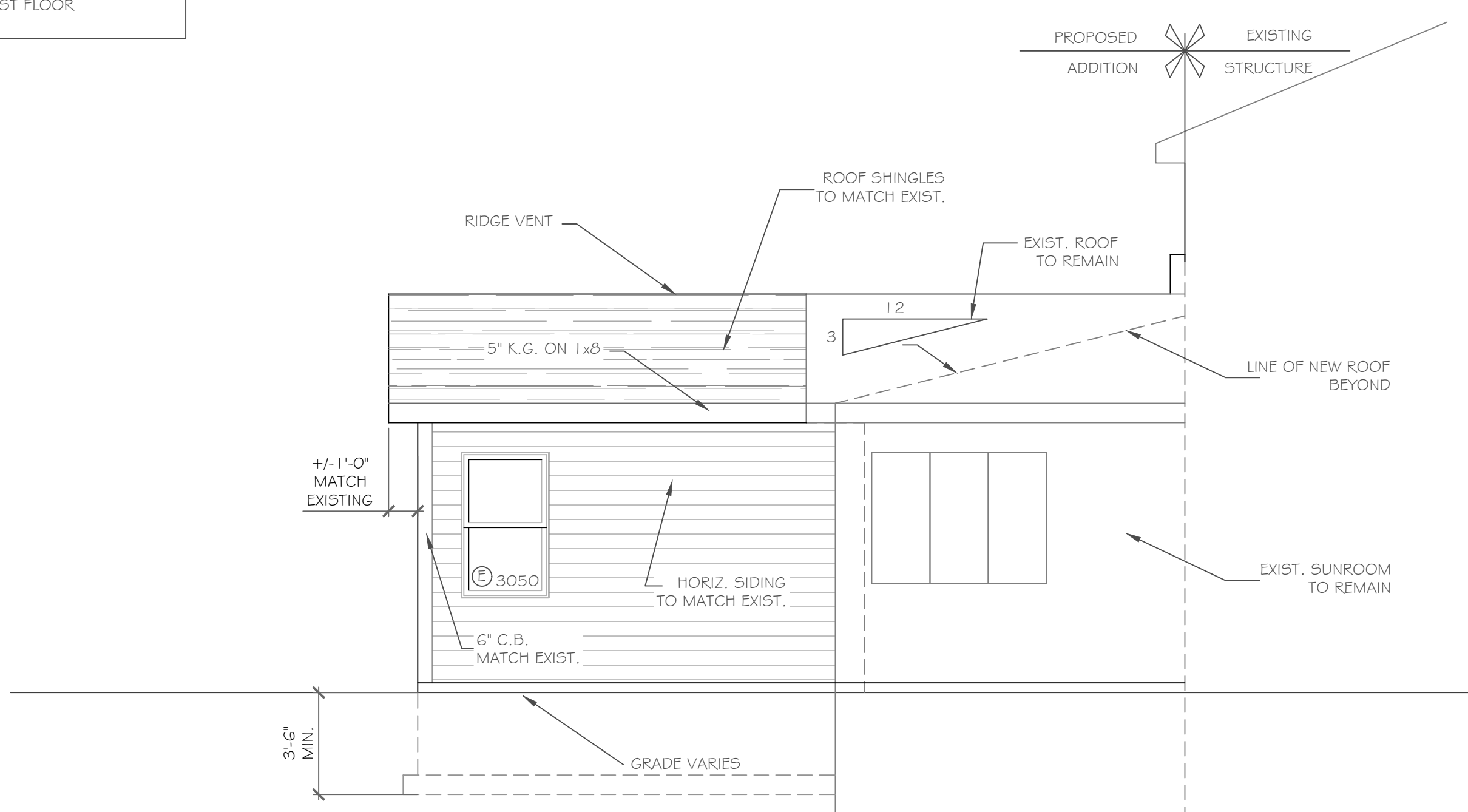
FOUNDATION CONST.

- 2x8 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- +/-6 CRS. 8" BLK. (U.O.N.)
- CEMENT PARGE AND TAR COAT DAMPPROOFING OR EQ.
- R-15 INSULATION TO SLAB
- 20"x8" CONT. CONC. FTG. w/ COVE BASE

NOTE:
NEW AND EXIST. FIRST FLOORS TO ALIGN. ADJUST BLOCK HT. AS REQD. FOR 2x10 FLOOR JOIST TO BE FLUSH W/ EXIST. FIRST FLOOR



RIGHT SIDE ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

COPYRIGHT NOTICE:
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. These plans are a violation of the Copyright Act of 1976, Section 107, Article 145. CKH Architecture, P.A. Copyright © All rights reserved.

NO.	DATE	DESCRIPTION

PROJECT: Additions & Renovations to:
9 White Briar Dr., Pittsford, N.Y.

CLIENT: Kurt & Nancy Grage

DRAWING TITLE: Elevations & Section

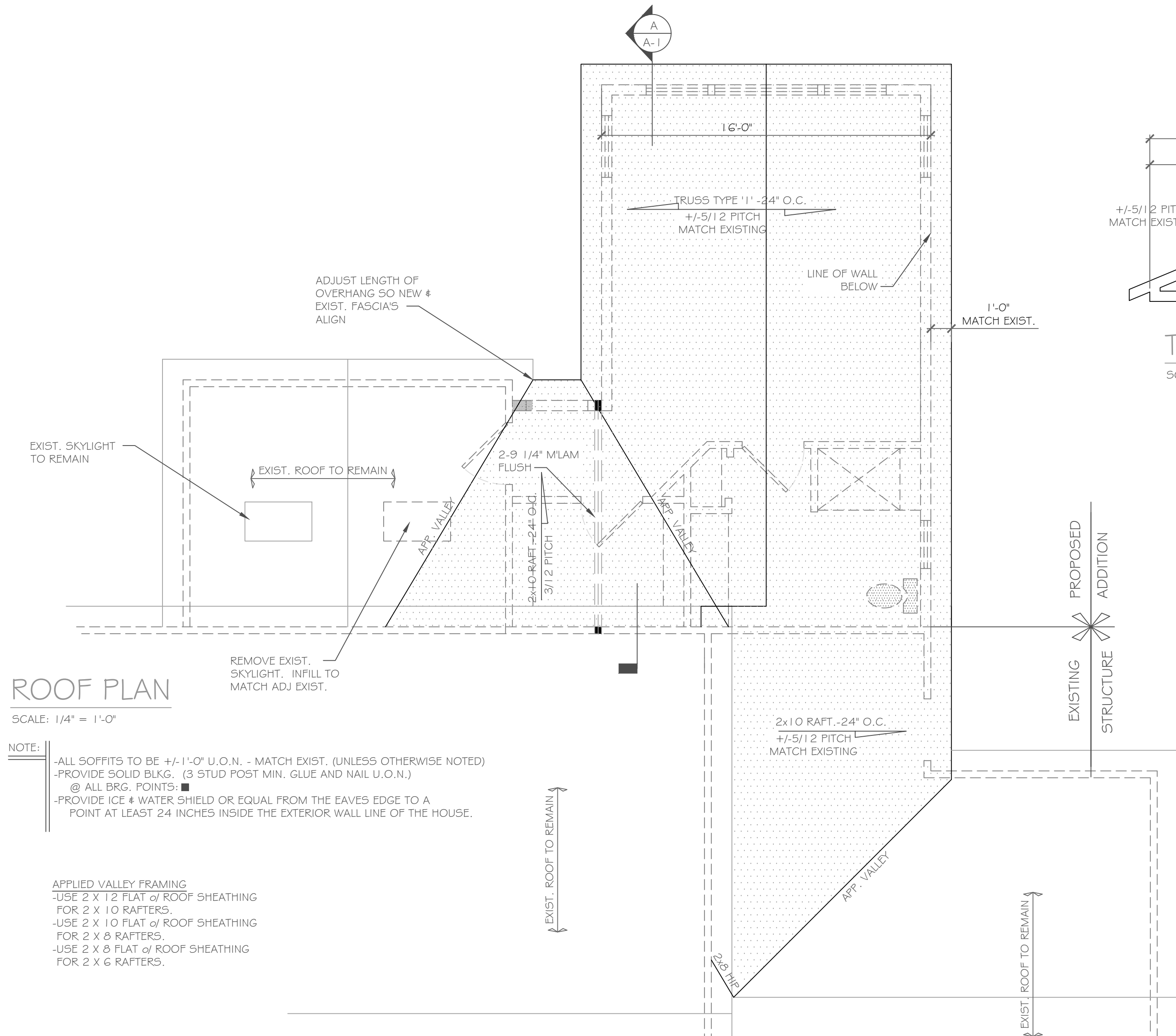
DATE: May 22, 2020

PHASE: Construction Documents

JOB NO.: A20-012

CKH architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York, 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKH@ckhpa.com

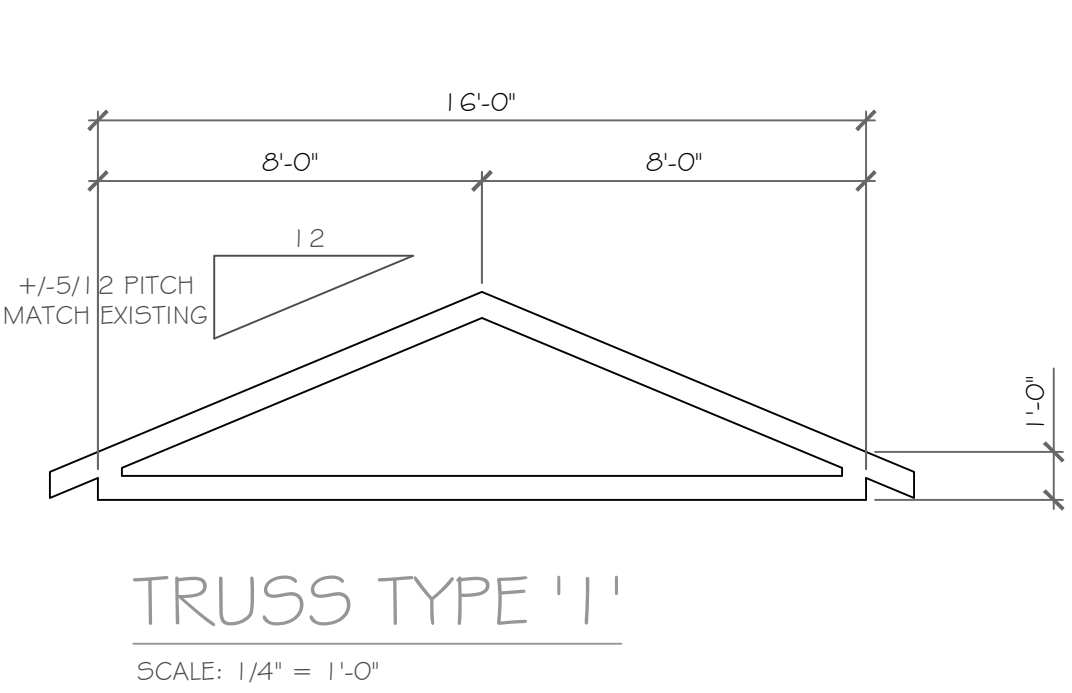
DRAWING NO.:
A-1



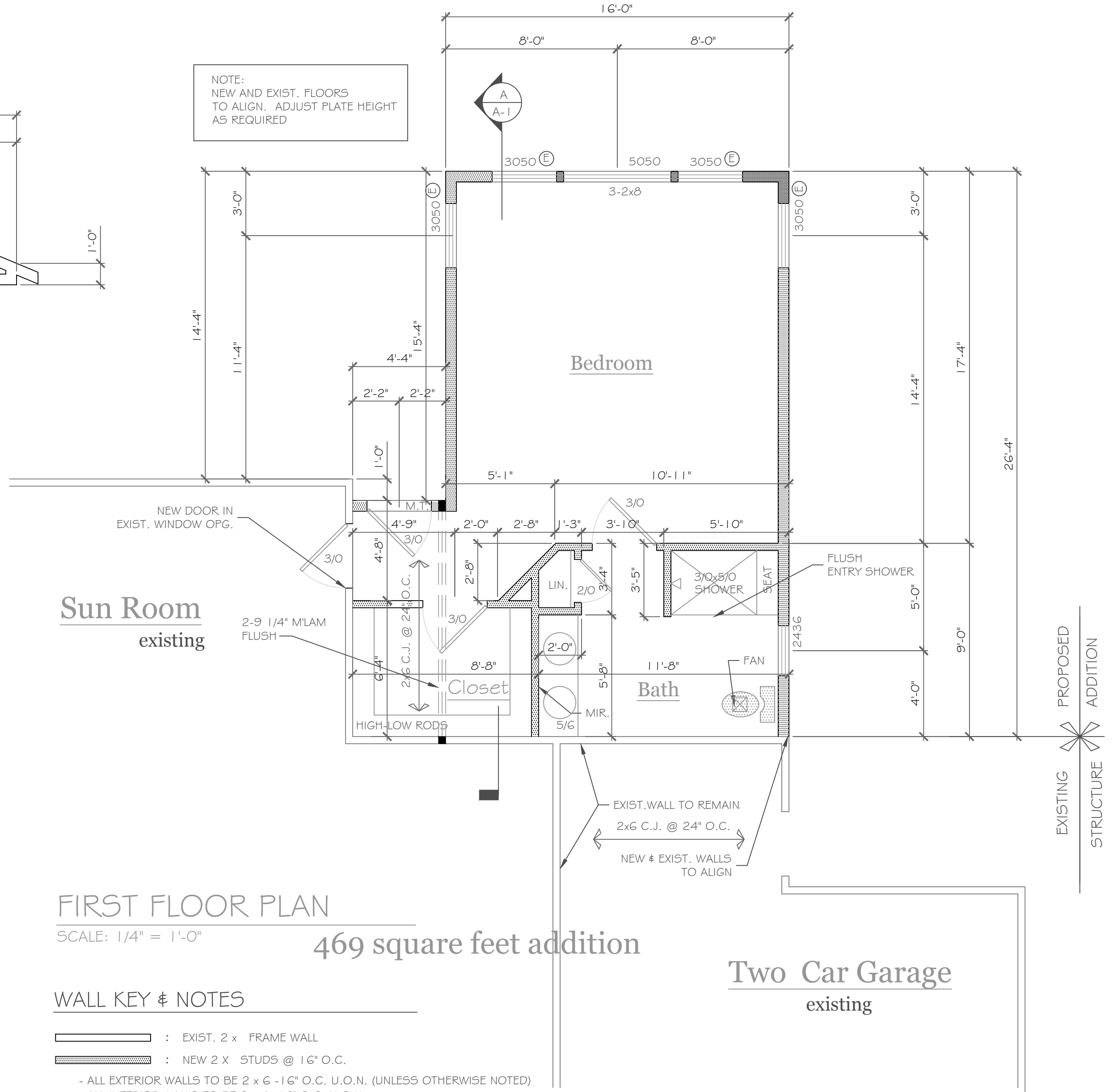
ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE:
- ALL SOFFITS TO BE +/- 1'-0" U.O.N. - MATCH EXIST. (UNLESS OTHERWISE NOTED)
- PROVIDE SOLID BLK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.)
- ALL BRG. POINTS ■
- PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.

APPLIED VALLEY FRAMING
- USE 2 X 12 FLAT OF ROOF SHEATHING FOR 2 X 10 RAFTERS.
- USE 2 X 10 FLAT OF ROOF SHEATHING FOR 2 X 8 RAFTERS.
- USE 2 X 8 FLAT OF ROOF SHEATHING FOR 2 X 6 RAFTERS.



TRUSS TYPE 11
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

469 square feet addition

WALL KEY & NOTES

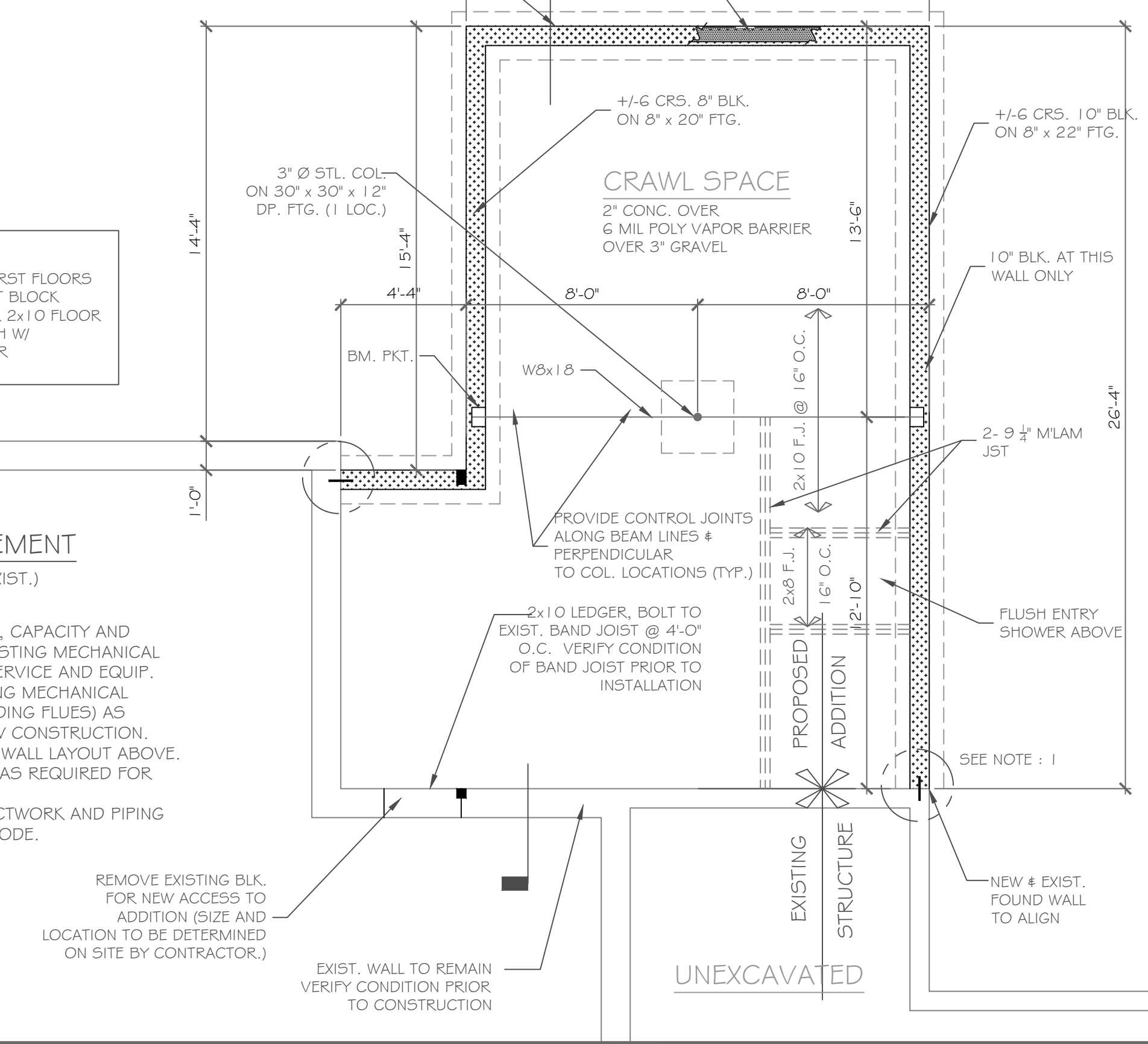
- : EXIST. 2 x FRAME WALL
- : NEW 2 x STUDS @ 16" O.C.
- ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD
PROVIDE SOLID BLK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS ■
CLG. HTS. TO BE +/- 7'-6" (NEW & EXIST. FIRST FLOORS TO ALIGN)
ALL ANGLES TO BE 1/2 1/2 U.O.N.
REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
① WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
• SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY. SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

FOUND. CONST. (TYP.)

- 2x8 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 8" BLK. w/ CEMENT AND TAR BELOW GRADE
- 8" x 20" CONT. CONC. FTG. w/ (2) #4 BAR CONT. AND COVE BASE



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE:

1. PROVIDE 1 1/2" LONG NO. 5 BAR EVERY 2ND. CRS. @ NEW AND EXISTING BLK. JOINT GROUT CORES SOLID FULL HEIGHT.
2. GROUT CORES SOLID FULL HEIGHT AT ALL BEAM BEARING LOCATIONS
3. USE SIMPSON (OR EQUAL) JOIST HANGERS AT ALL HEADER CONNECTIONS.
4. NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS
5. NEW & EXIST. FIRST FLOORS TO ALIGN
6. VERIFY DEPTH OF EXIST. FL. JST. IN FIELD PRIOR TO CONSTRUCTION

CONC. BLK. LEGEND:

- NEW C.M.U. -ELEV. = 0"
- EXIST. FOUND. WALL-ELEV. = 0"
- BRG. POINT ABV. w/ FULL SUPPORT TO SOLID BEARING OR MASONRY (GROUT SOLID)

COPYRIGHT NOTICE:
These plans are instruments of service and may not be altered, reproduced, or copied without the express written consent of CKH Architecture, P.A. Unauthorised alterations to these plans is a violation of the Copyright Act of 1976, Section 107 and 108, and Section 17209 Article 145, Copyright © CKH Architecture, P.A. All rights reserved.

REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Foundation Plan, First Floor Plan, & Roof Plan

PROJECT:
Additions & Renovations to:
9 White Briar Dr., Pittsford, N.Y.

CLIENT:
Kurt & Nancy Grage

PHASE:
Construction Documents

DATE:
May 22, 2020

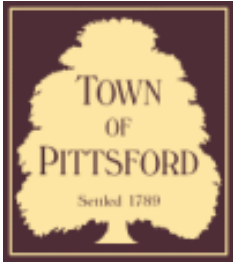
JOB NO.:
A20-012

CKH architecture
1501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKH@ckhpa.com









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000075

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 797 Stone Road PITTSFORD, NY 14534

Tax ID Number: 164.03-1-20

Zoning District: RN Residential Neighborhood

Owner: Roberts, Peter

Applicant: Rabetoy Construction

Application Type:

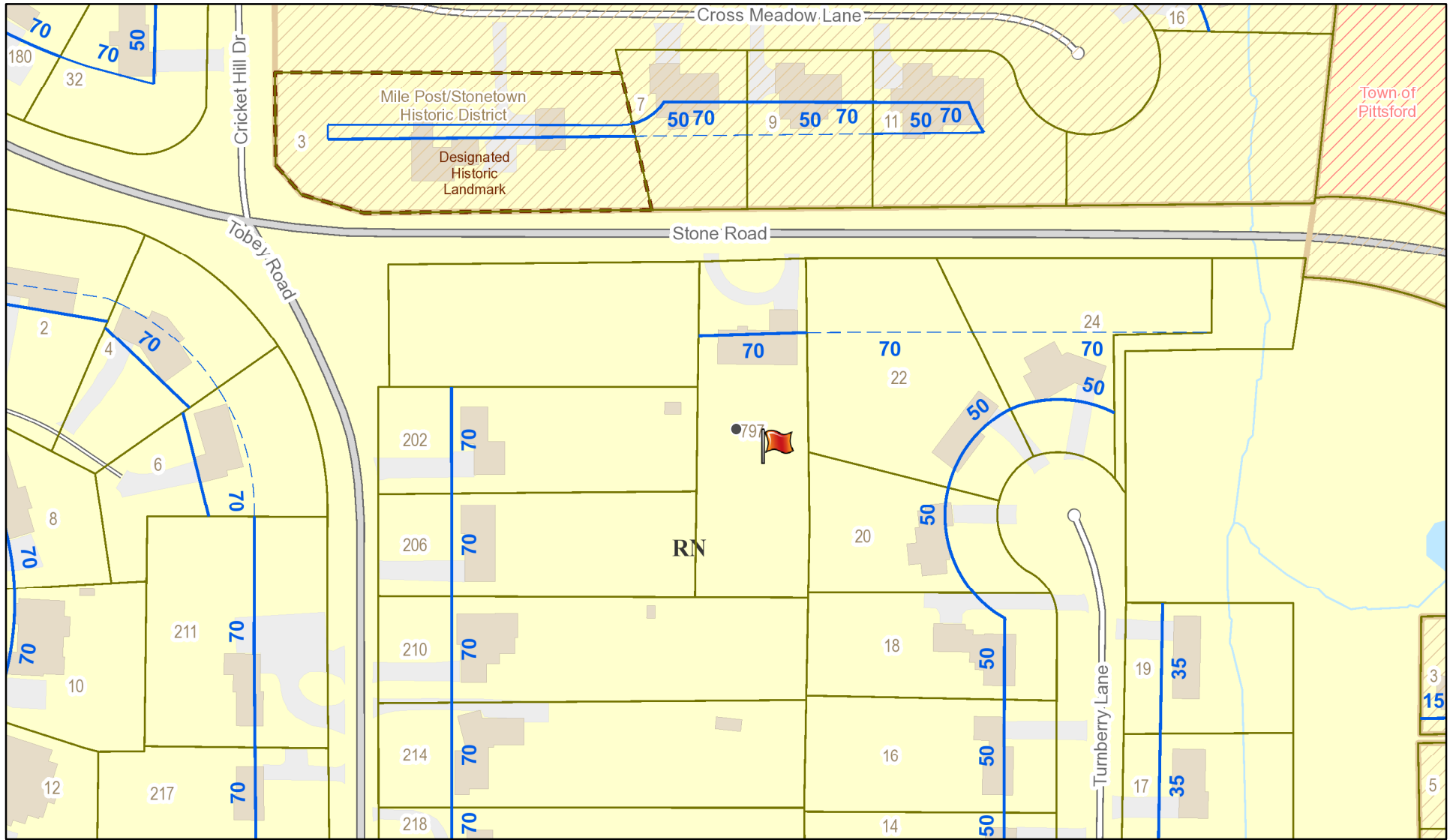
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the one story addition and porch. The addition and roof will be approximately 745 sq. ft. and will be located to the rear.

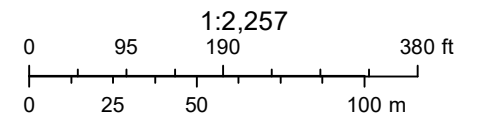
Meeting Date: June 25, 2020



RN Residential Neighborhood Zoning

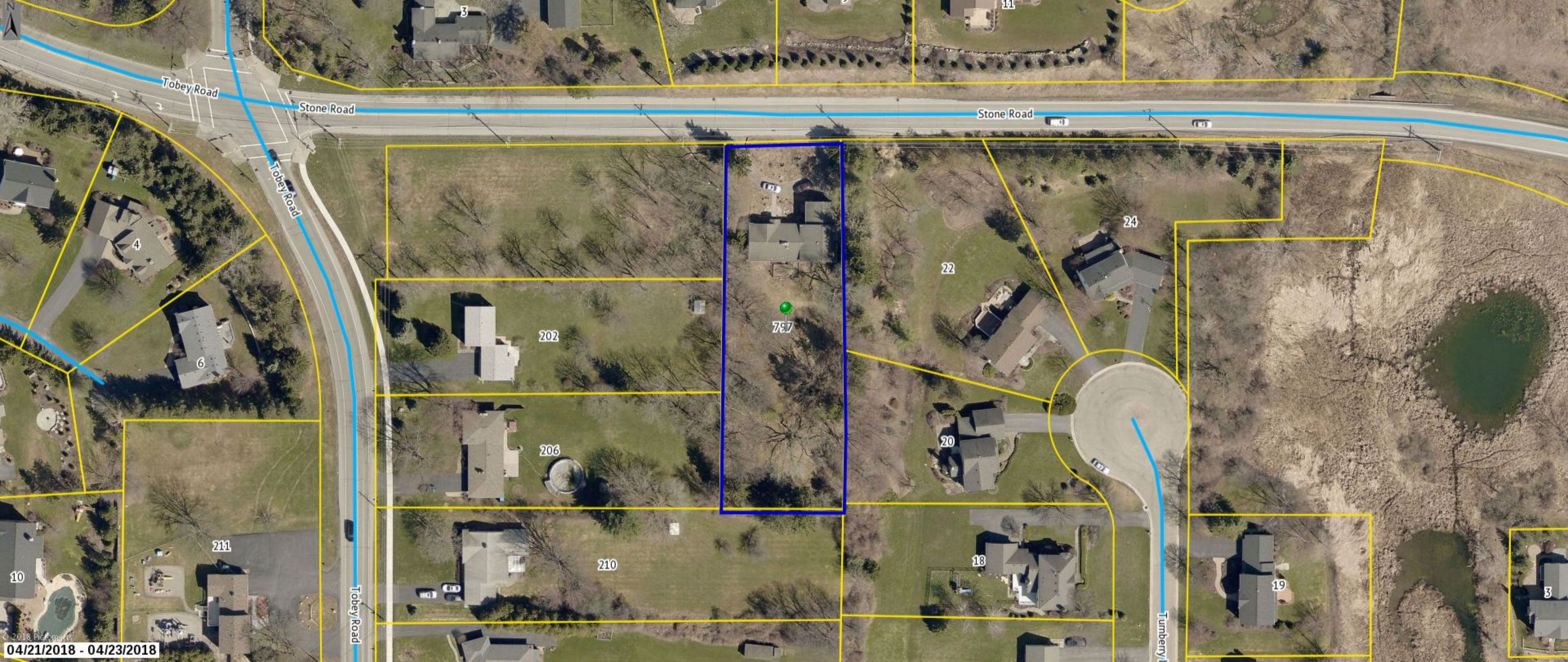


Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Tobey Road

Stone Road

Stone Road

Tobey Road

Tobey Road

Turnberry

3

11

4

6

10

211

202

206

210

787

22

20

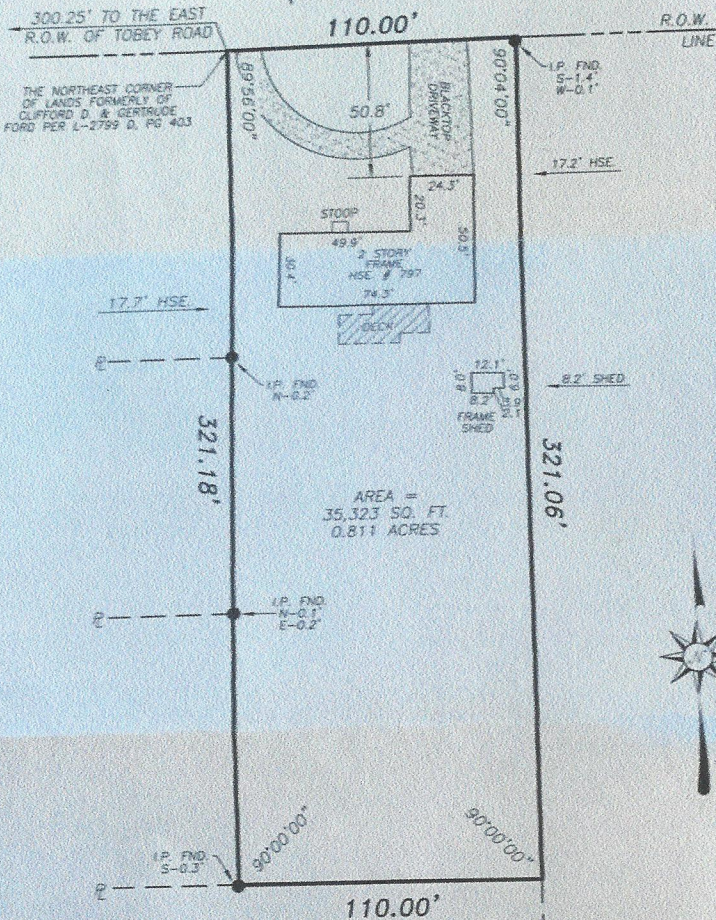
18

24

19

3

STONE ROAD
(49.5' WIDE R.O.W.)



AREA =
35,323 SQ. FT.
0.811 ACRES



CERTIFICATION:

I, DAVID A. STAUB, HEREBY CERTIFY TO:
-CMB MORTGAGE COMPANY,
ITS SUCCESSORS AND/OR ASSIGNS
-CALLO & IACOVANGELO, LLP
-CHICAGO TITLE INSURANCE COMPANY
-KATHRYN J. GALLANT
-WILLIAM P. FLETCHER, ESQ.
THAT THIS MAP WAS MADE DECEMBER 17, 2019
FROM NOTES OF AN INSTRUMENT SURVEY
COMPLETED DECEMBER 2, 2019
AND REFERENCES LISTED HEREON.

REFERENCES:

- 1.) LIBER 269 OF MAPS, PAGE 66.
- 2.) LIBER 10568 OF DEEDS, PAGE 404.
- 3.) ABSTRACT OF TITLE No. FC19-2612 (FLOWER CITY).
- 4.) SEWER EXTENSION TO THE TOWN OF PITTSFORD PER LIBER 10530 OF DEEDS, PAGE 485.
- 5.) SURVEY BY TRI-COUNTY, DATED DECEMBER 20, 2007.
- 6.) SURVEY PREPARED BY THOMAS B. SEAR, L.S., DATED DECEMBER 28, 1955.

- NOTES: 1.) PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD NOT REFERENCED IN ABSTRACT OF TITLE.
2.) THE USE OF THIS MAP IN CONJUNCTION WITH AN AFFIDAVIT OF NO CHANGES RELEASES THE SURVEYOR OF ALL RESPONSIBILITY.

DAVID A. STAUB
N.Y.S. E.L.S. No. 51796 DATE 12/17/2019

2/5/20	REVISED POINT OF BEGINNING
DATE	REVISION

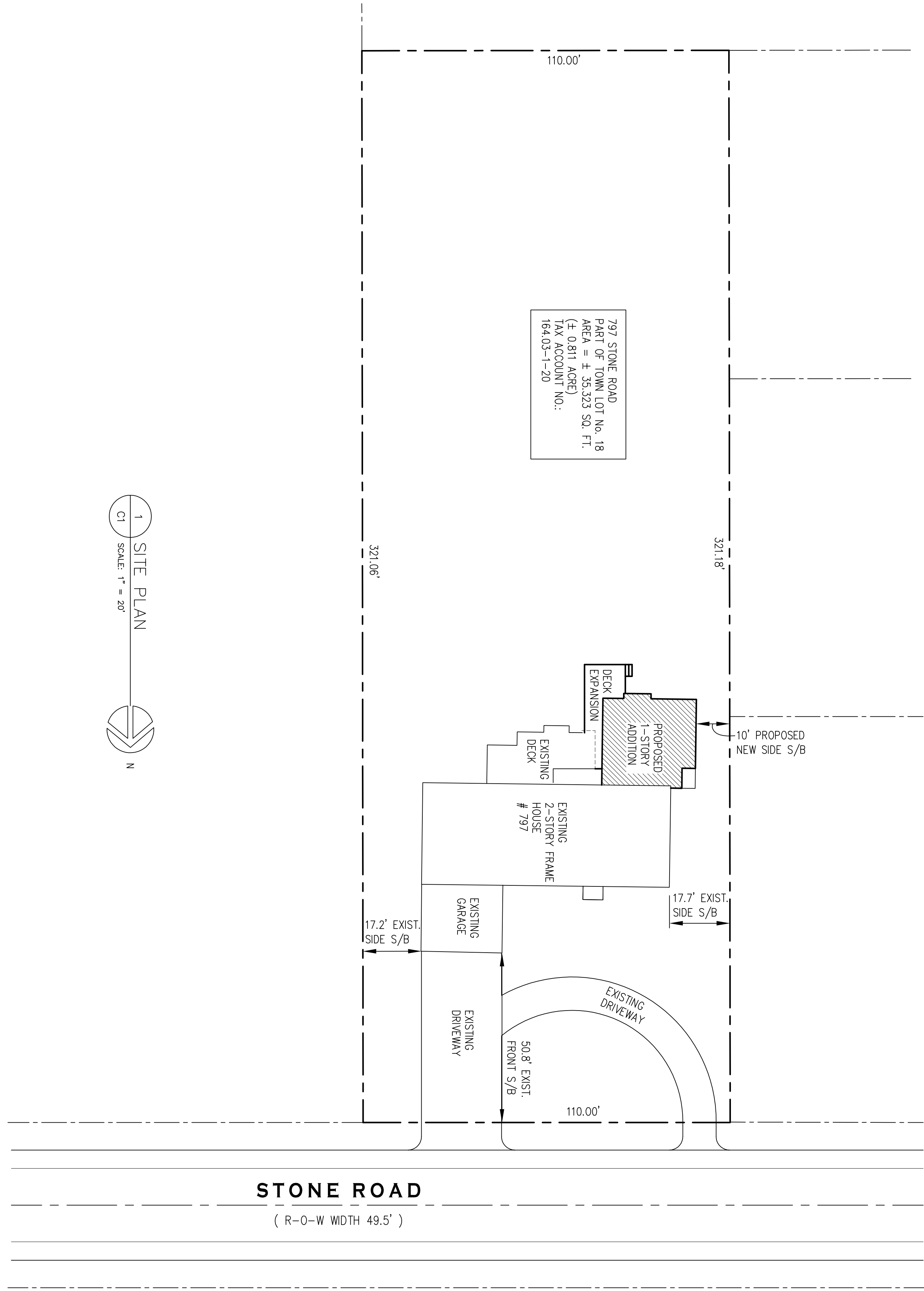
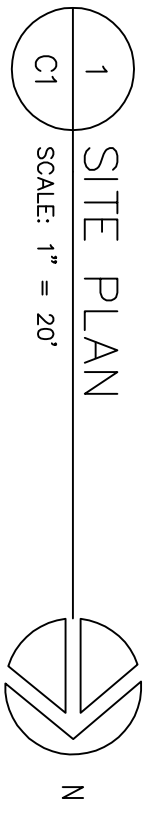
TITLE: **INSTRUMENT SURVEY MAP**
797 STONE ROAD
BEING PART OF TOWN LOT No. 18 SITUATE IN
TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

*Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 2209, sub-division 2, of the New York State Education Law.
*Only copies from the original of this survey marked with an original of the land surveyor's red ink seal and be considered to be valid true copies.
*Certifications indicated herein signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
*All electronic files of Triple Point Land Surveying, LLC, are solely the property of Triple Point Land Surveying, LLC. Said electronic files may not be distributed of any time to other parties for any purpose whatsoever.

TRIPLE POINT LAND SURVEYING, LLC.
16 EAST MAIN STREET, SUITE 320
ROCHESTER, NEW YORK 14614
PHONE (585) 263-9950
FAX (585) 263-3591
TRIPLEPOINTSURVEYING@YAHOO.COM

SCALE: 1" = 50'	TAX ACCOUNT: 164.03-1-20	JOB NO.: 1626-07	DATE: DEC. 17, 2019
--------------------	-----------------------------	---------------------	------------------------

797 STONE ROAD
 PART OF TOWN LOT No. 18
 AREA = ± 35,323 SQ. FT.
 (± 0.811 ACRE)
 TAX ACCOUNT NO.:
 164.03-1-20



STONE ROAD
 (R-O-W WIDTH 49.5')

PROJECT NUMBER
1280

DATE
06/17/2020

DRAWN BY
JIM BRASLEY

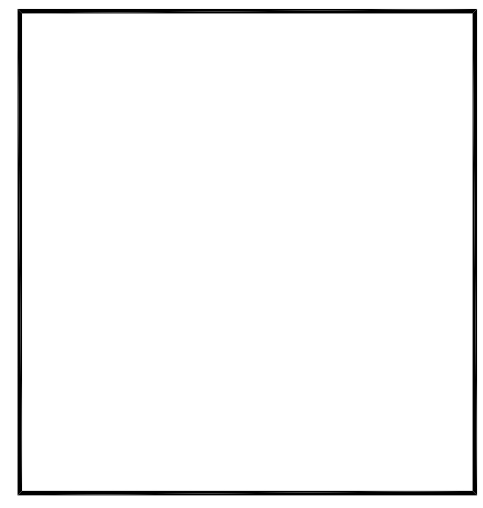
SCALE
AS NOTED

DWG. NO.
C1

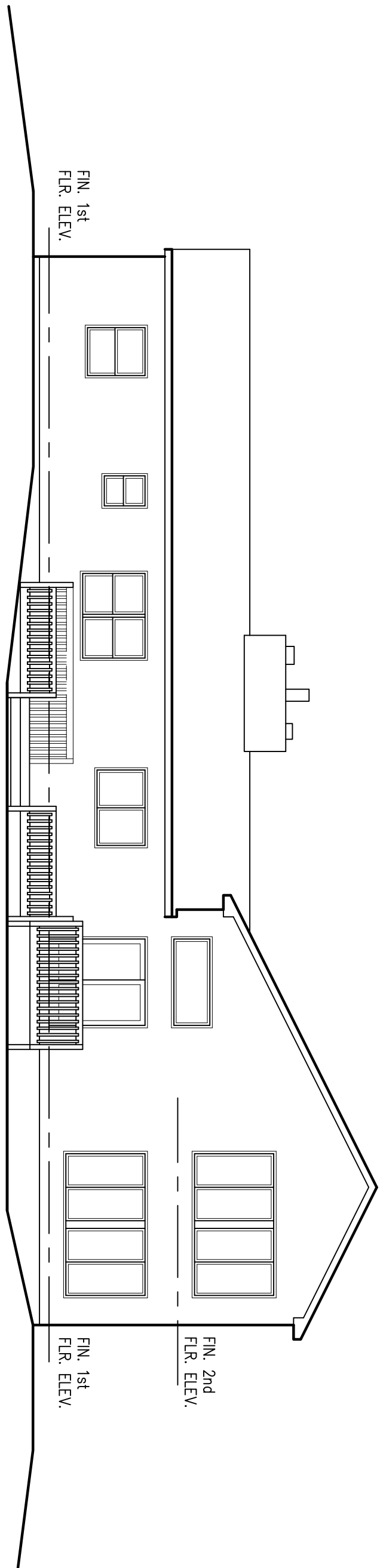
PROJECT
Addition and Alterations to Roberts / Gallant Residence
797 Stone Road, Pittsford NY 14534
(Town of Pittsford, Monroe County)

TITLE OF DRAWING
SITE PLAN

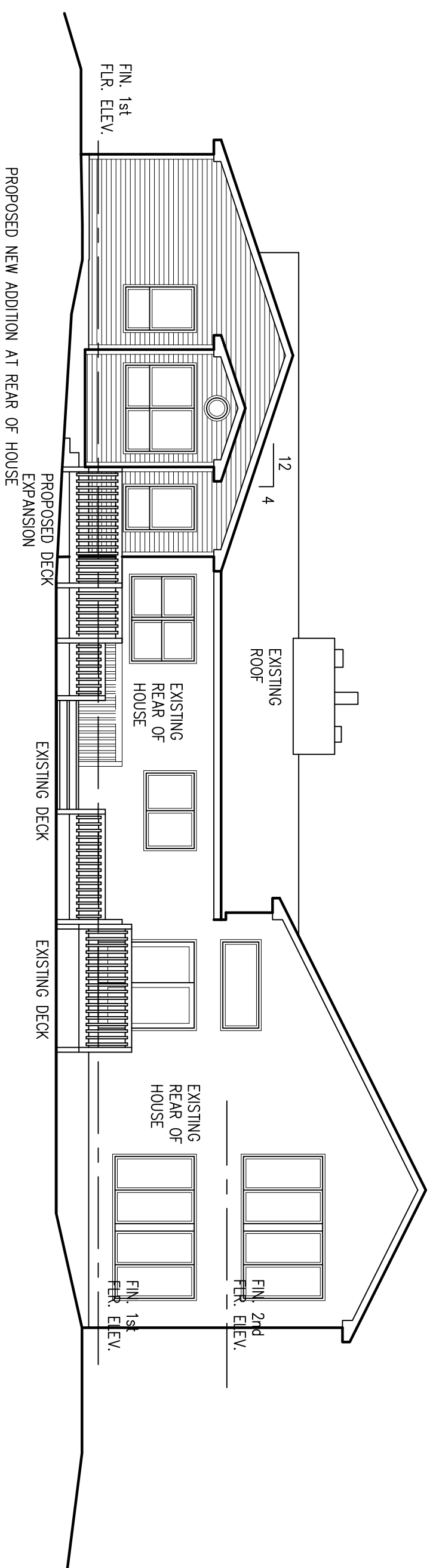
NO.	REVISIONS	DATE	BY
4			
3			
2			
1			



James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490



SOUTH (REAR) ELEVATION ---
 1 EXISTING CONDITIONS
 A3 SCALE: 1/8" = 1'-0"



SOUTH (REAR) ELEVATION ---
 2 PROPOSED NEW CONSTRUCTION
 A3 SCALE: 1/8" = 1'-0"

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

DATE 06/17/2020

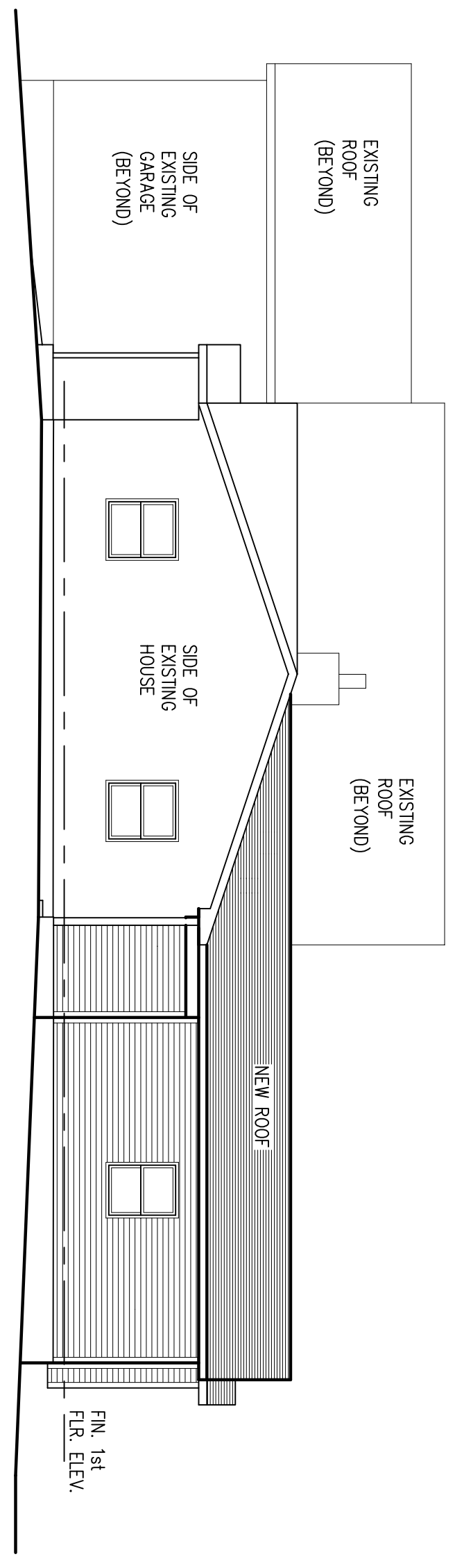
PROJECT NUMBER 1280

PROJECT Addition and Alterations to Roberts / Gallant Residence
 797 Stone Road, Pittsford NY 14534
 (Town of Pittsford, MonroeCounty)

TITLE OF DRAWING SOUTH (REAR) EXTERIOR ELEVATIONS

DWG. NO. A3

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490



WEST (RIGHT SIDE) ELEVATION ---
 1 PROPOSED NEW CONSTRUCTION
 A4 SCALE: 1/8" = 1'-0"

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY
 JIM BRASLEY

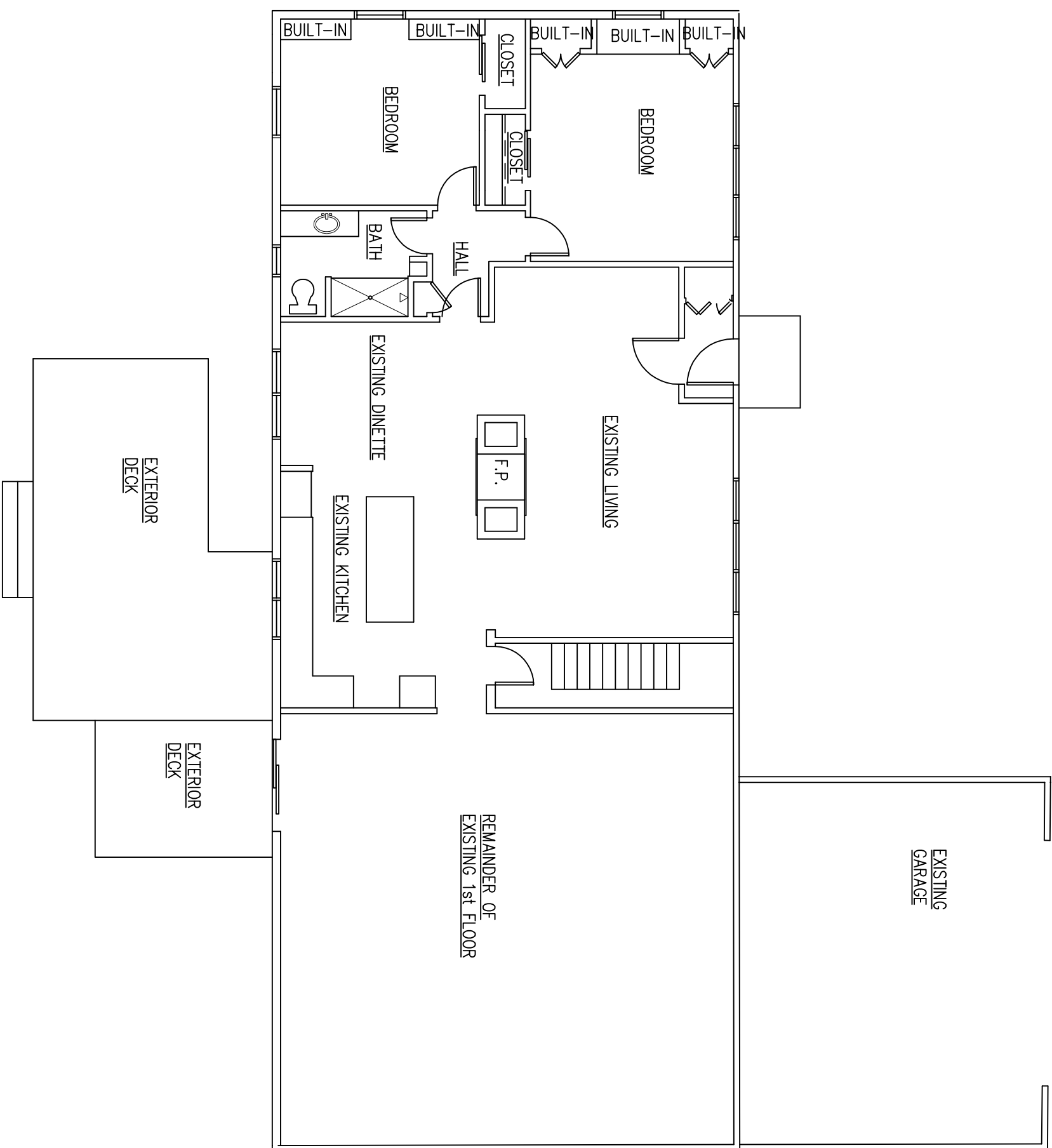
DATE
 06/17/2020

PROJECT NUMBER
 1280

PROJECT
 Addition and Alterations to Roberts / Gallant Residence
 797 Stone Road, Pittsford NY 14534
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING
 WEST (RIGHT SIDE) EXTERIOR ELEVATIONS

DWG. NO.
 A4



1
 A0
 EXISTING FIRST FLOOR PLAN --
 EXISTING CONDITIONS
 SCALE: 1/8" = 1'-0"
 N

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE
 AS NOTED

DRAWN BY
 JIM BRASLEY

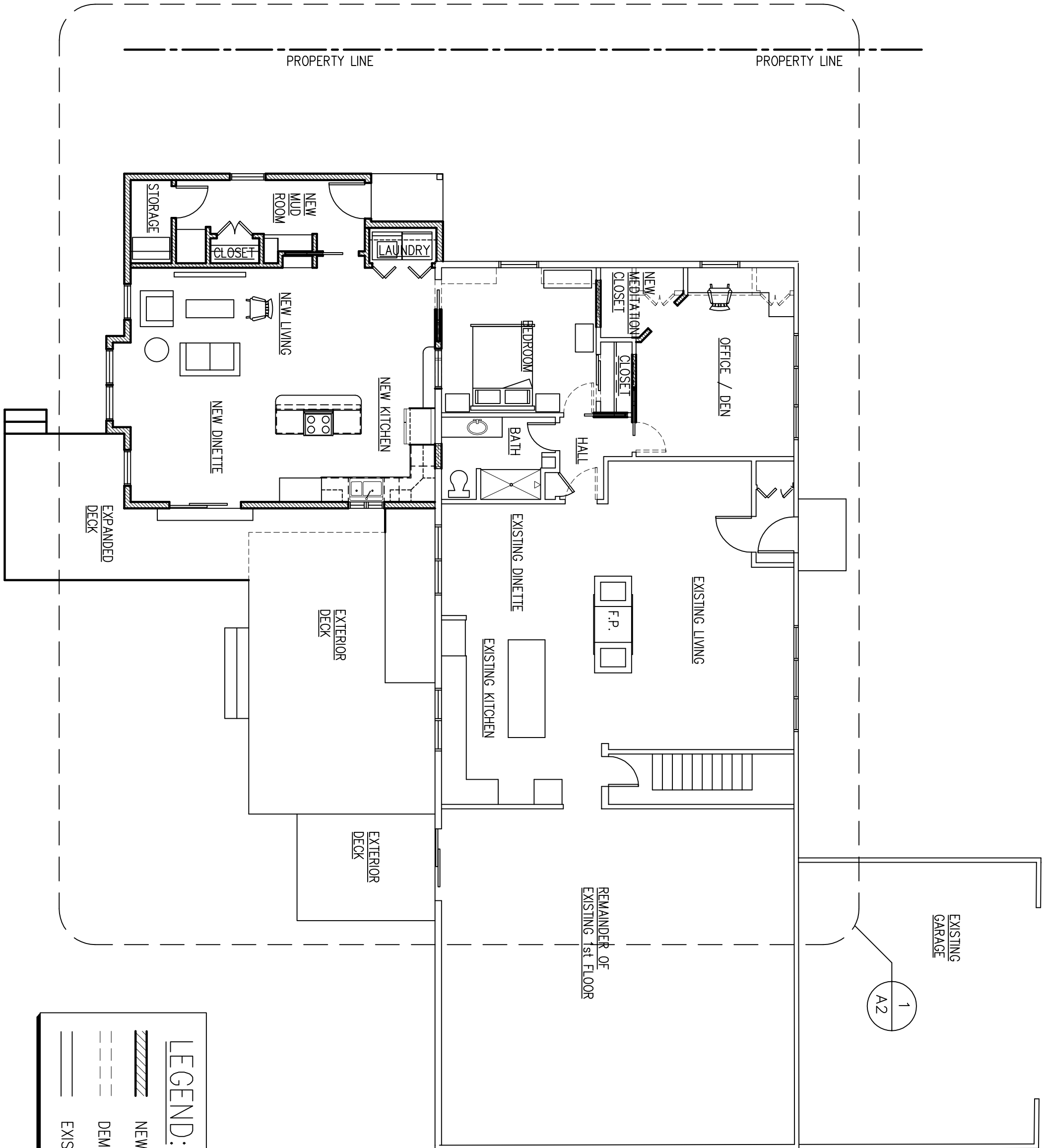
DATE
 06/17/2020

PROJECT NUMBER
 1280

PROJECT
 Addition and Alterations to Roberts / Gallant Residence
 797 Stone Road, Pittsford NY 14534
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING
 EXISTING FIRST FLOOR PLAN -- EXISTING CONDITIONS

DWG. NO.
 A0



1 OVERALL FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY
 JIM BRASLEY

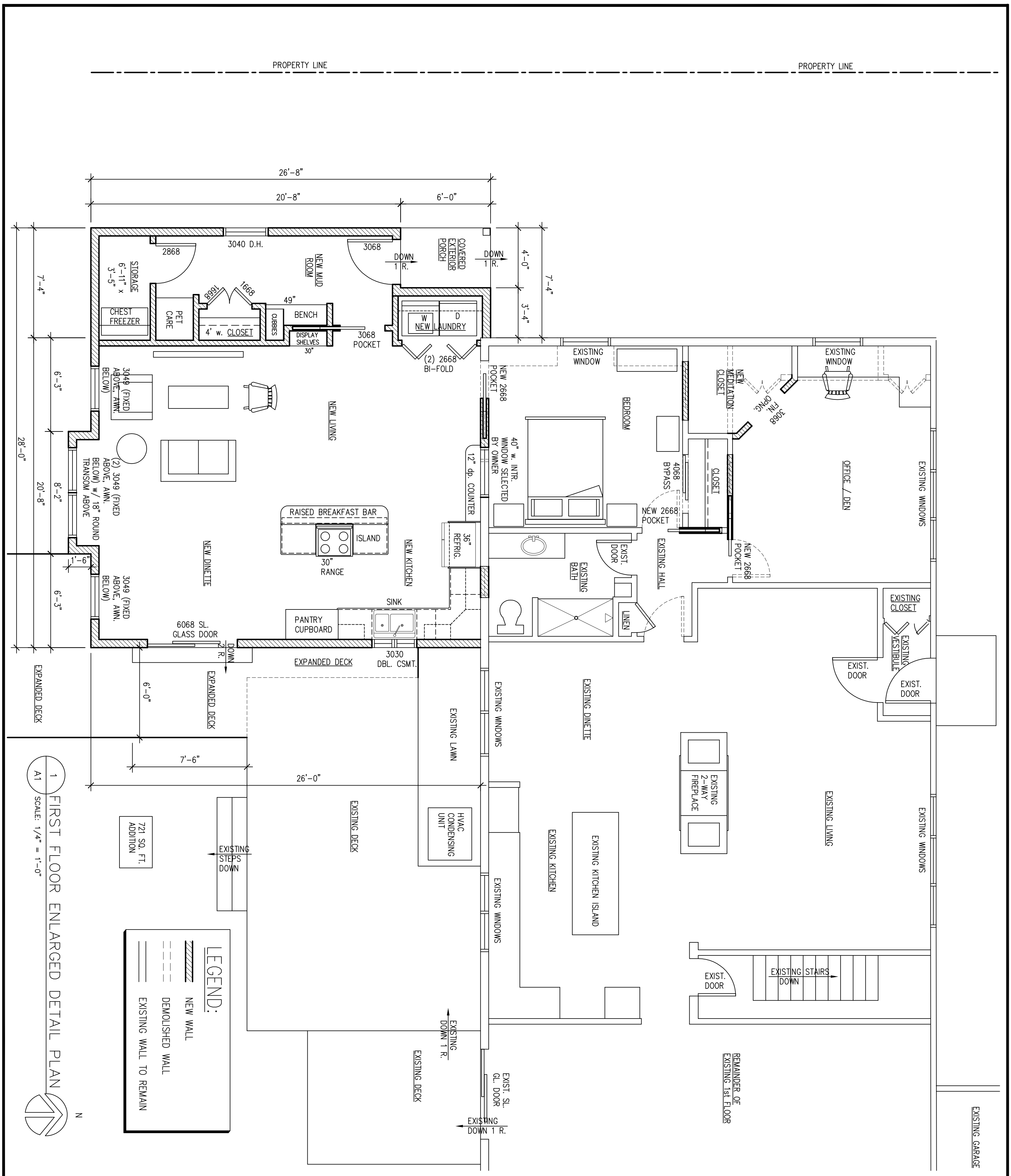
DATE
 06/17/2020

PROJECT NUMBER
 1280

PROJECT
 Addition and Alterations to Roberts / Gallant Residence
 797 Stone Road, Pittsford NY 14534
 (Town of Pittsford, MonroeCounty)

TITLE OF DRAWING
 OVERALL FIRST FLOOR PLAN

DWG. NO.
A1

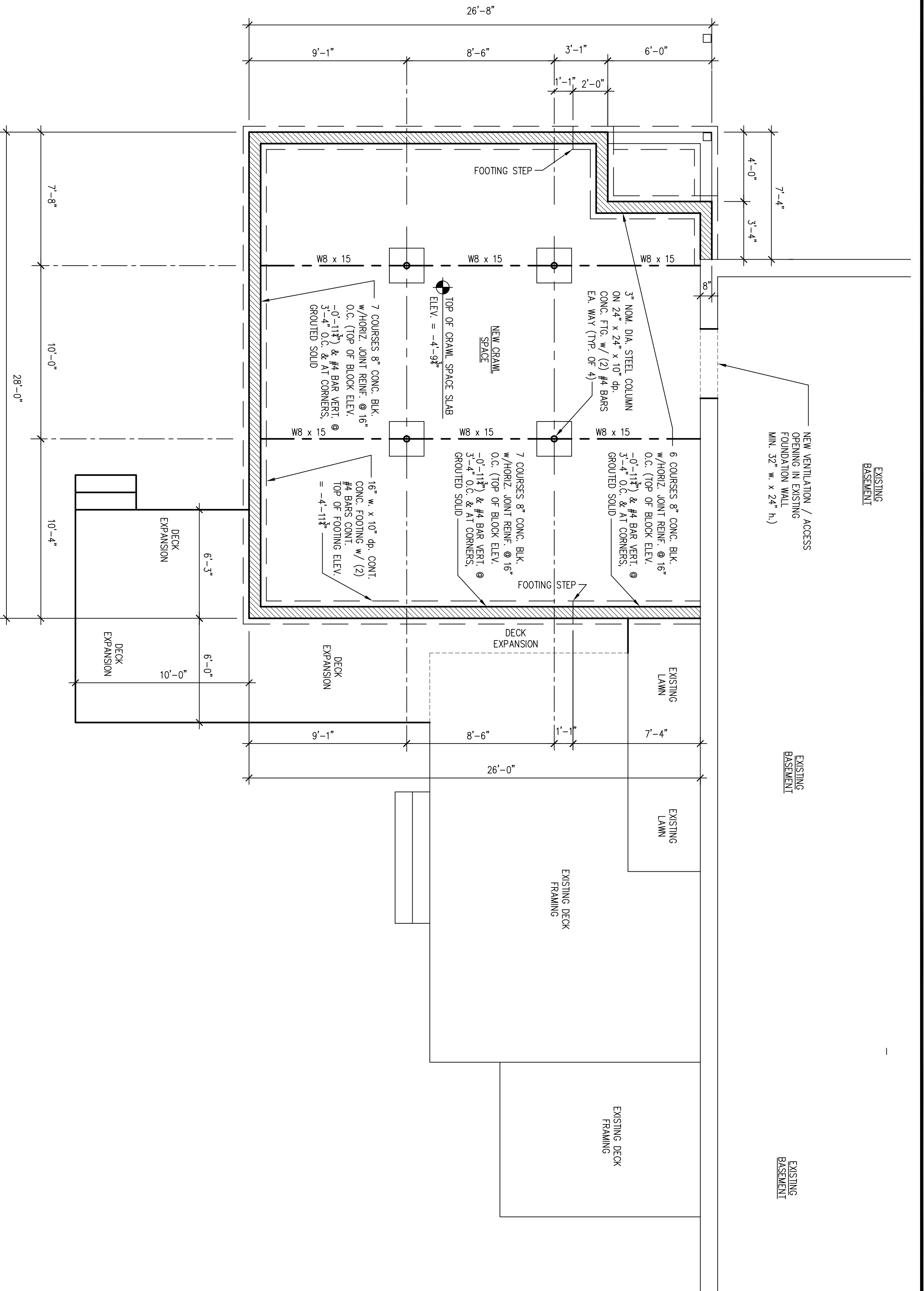


1
A1
SCALE: 1/4" = 1'-0"
FIRST FLOOR ENLARGED DETAIL PLAN

LEGEND:

- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL TO REMAIN

PROJECT NUMBER 1280	DATE 06/17/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED			
	PROJECT Addition and Alterations to Roberts / Gallant Residence 797 Stone Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)			4		
	TITLE OF DRAWING FIRST FLOOR PLAN -- ENLARGED DETAIL			3		
				2		
				1		
				REVISIONS	DATE	BY
				James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490		



1 FOUNDATION & CRAWL SPACE PLAN
 S1 SCALE: 1/4" = 1'-0"
 N

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

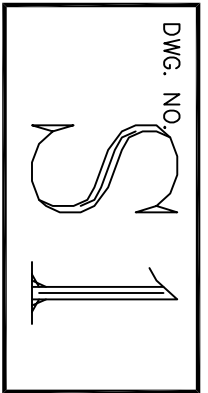
DRAWN BY JIM BRASLEY

DATE 06/17/2020

PROJECT NUMBER 1280

PROJECT Addition and Alterations to Roberts / Gallant Residence
 797 Stone Road, Pittsford NY 14534
 (Town of Pittsford, MonroeCounty)

TITLE OF DRAWING FOUNDATION & CRAWL SPACE PLAN

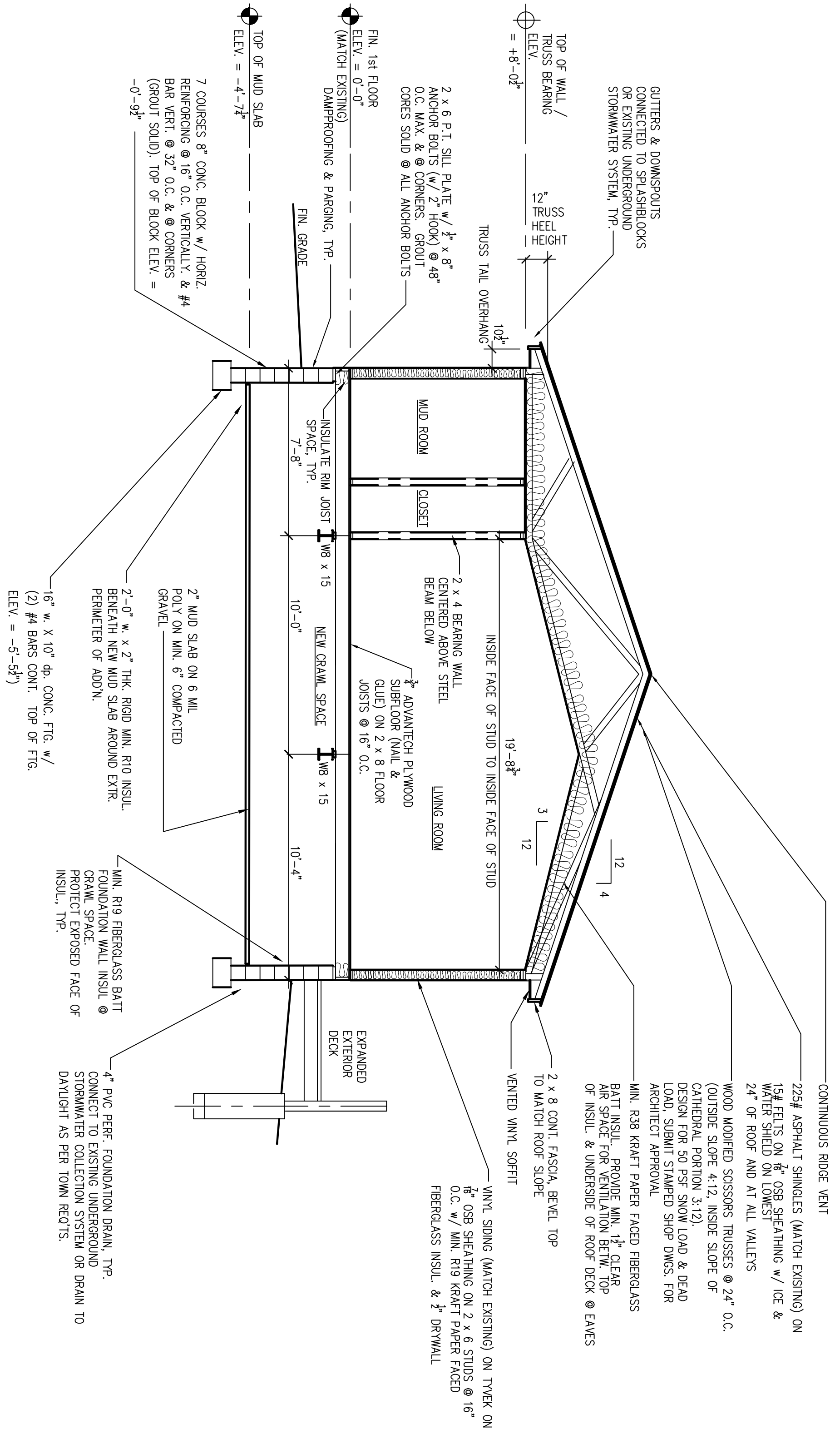


James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1280	DATE 06/17/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Roberts / Gallant Residence 797 Stone Road, Pittsford NY 14534 (Town of Pittsford, MonroeCounty)			
TITLE OF DRAWING BUILDING SECTION			

1 BUILDING SECTION
 AS SCALE: 1/4" = 1'-0"



GUTTERS & DOWNSPOUTS
 CONNECTED TO SPLASHBLOCKS
 OR EXISTING UNDERGROUND
 STORMWATER SYSTEM, TYP.

TOP OF WALL /
 TRUSS BEARING
 ELEV. = +8'-0 1/2"

2 x 6 P.T. SILL PLATE w/ 1/2" x 8"
 ANCHOR BOLTS (w/ 2" Hook) @ 48"
 O.C. MAX. & @ CORNERS. GROUT
 CORES SOLID @ ALL ANCHOR BOLTS

FIN. 1st FLOOR
 ELEV. = 0'-0"

DAMP-PROOFING & PARING, TYP.

TOP OF MUD SLAB
 ELEV. = -4'-7 1/2"

7 COURSES 8" CONC. BLOCK w/ HORIZ.
 REINFORCING @ 16" O.C. VERTICALLY. & #4
 BAR VERT. @ 32" O.C. & @ CORNERS
 (GROUT SOLID). TOP OF BLOCK ELEV. =
 -0'-9 1/2"

SS SHEATHING

TRUSS TAIL OVERHANG

MUD ROOM

CLOSET

2 x 4 BEARING WALL
 CENTERED ABOVE STEEL
 BEAM BELOW

LIVING ROOM

3/4" ADVANTAGE PLYWOOD
 SUB-FLOOR (NAIL &
 GLUE) ON 2 x 8 FLOOR
 JOISTS @ 16" O.C.

NEW CRAWL SPACE

INSULATE RIM JOIST
 SPACE, TYP.

2" MUD SLAB ON 6 MIL
 POLY ON MIN. 6" COMPACTED
 GRAVEL

2'-0" w. x 2" THK. RIGID MIN. R10 INSUL.
 BENEATH NEW MUD SLAB AROUND EXTR.
 PERIMETER OF ADD'N.

16" w. X 10" dp. CONC. FTG. w/
 (2) #4 BARS CONT. TOP OF FTG.
 ELEV. = -5'-5 1/2"

INSIDE FACE OF STUD TO INSIDE FACE OF STUD

19'-8 3/4"

10'-0"

10'-4"

2 x 8 CONT. FASQA, BEVEL TOP
 TO MATCH ROOF SLOPE

VENTED VINYL SOFFIT

VINYL SIDING (MATCH EXISTING) ON TYVEK ON
 5/8" OSB SHEATHING ON 2 x 6 STUDS @ 16"
 O.C. w/ MIN. R19 KRAFT PAPER FACED
 FIBERGLASS INSUL. & 1/2" DRYWALL

MIN. R19 FIBERGLASS BATT
 FOUNDATION WALL INSUL @
 CRAWL SPACE.
 PROTECT EXPOSED FACE OF
 INSUL., TYP.

4" PVC PERF. FOUNDATION DRAIN, TYP.
 CONNECT TO EXISTING UNDERGROUND
 STORMWATER COLLECTION SYSTEM OR DRAIN TO
 DAYLIGHT AS PER TOWN REQ'TS.

MIN. R38 KRAFT PAPER FACED FIBERGLASS
 BATT INSUL. PROVIDE MIN. 1 1/2" CLEAR
 AIR SPACE FOR VENTILATION BETW. TOP
 OF INSUL. & UNDERSIDE OF ROOF DECK @ EAVES

WOOD MODIFIED SCISSORS TRUSSES @ 24" O.C.
 (OUTSIDE SLOPE 4:12, INSIDE SLOPE OF
 CATHEDRAL PORTION 3:12).
 DESIGN FOR 50 PSF SNOW LOAD & DEAD
 LOAD. SUBMIT STAMPED SHOP DWGS. FOR
 ARCHITECT APPROVAL

225# ASPHALT SHINGLES (MATCH EXISTING) ON
 15# FELTS ON 5/8" OSB SHEATHING w/ ICE &
 WATER SHIELD ON LOWEST
 24" OF ROOF AND AT ALL VALLEYS

CONTINUOUS RIDGE VENT

EXPANDED
 EXTERIOR
 DECK







211



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000076

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 290 Tobey Road PITTSFORD, NY 14534

Tax ID Number: 164.03-1-96

Zoning District: RN Residential Neighborhood

Owner: Richardson, Thomas M

Applicant: Richardson, Thomas M

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a third bay to a existing two car garage and the conversion of the underside of a deck to a screened porch. The garage addition will be approximately 432 sq. ft. and the screened porch will be 144 sq. ft.

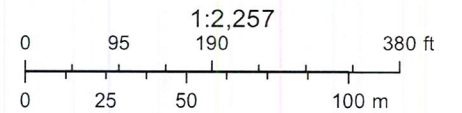
Meeting Date: June 25, 2020



RN Residential Neighborhood Zoning

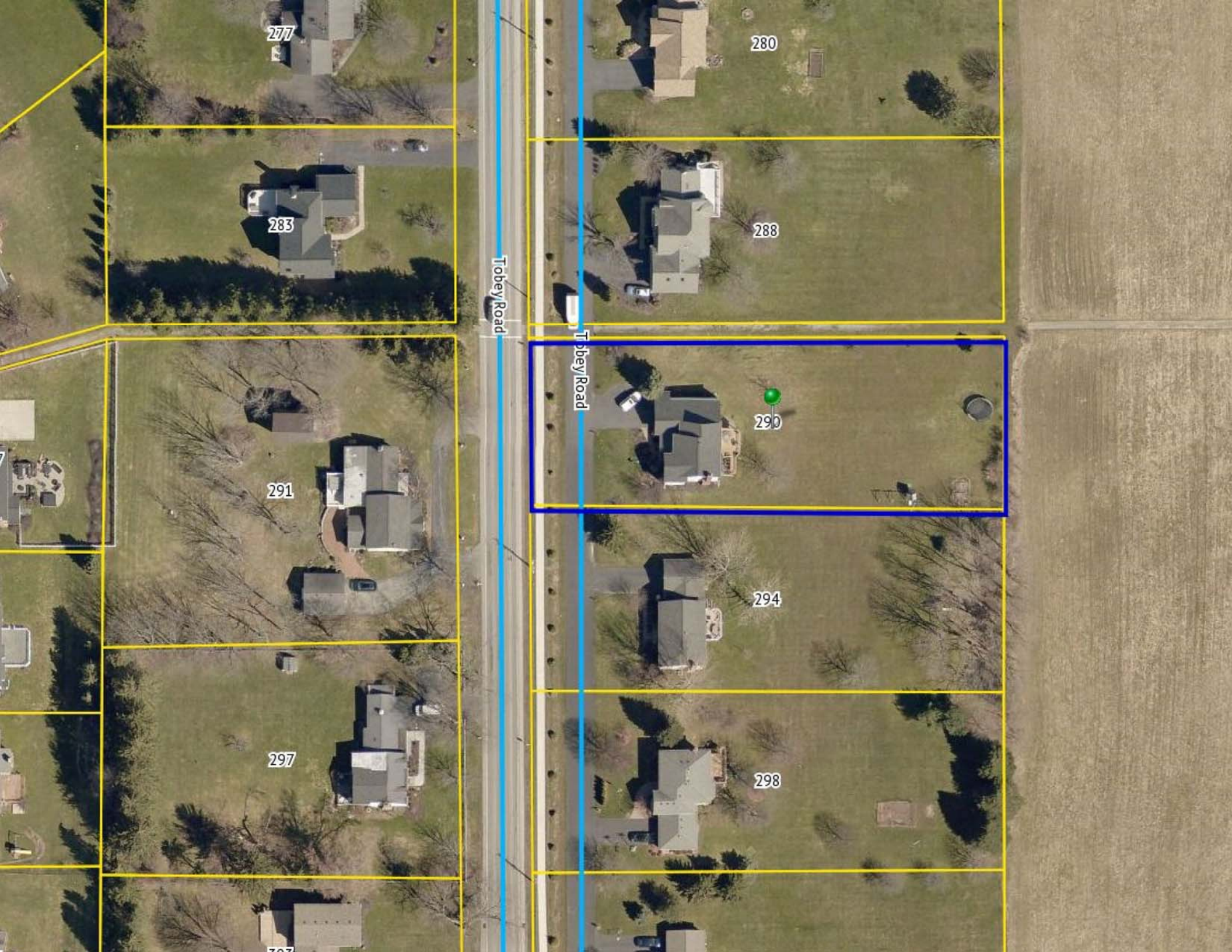


Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



277

283

291

297

297

280

288

290

294

298

Tobey Road

Tobey Road

TOBEY (49.5' R.O.W.) ROAD

607.39' TO NORTHERLY R.O.W.
LINE OF CALKINS ROAD

10.25' HIGHWAY RESERVATION
PER REFERENCE 3

20' WIDE SANITARY SEWER
EASEMENT PER REFERENCE 3

N 00°57'25" W

120.25'

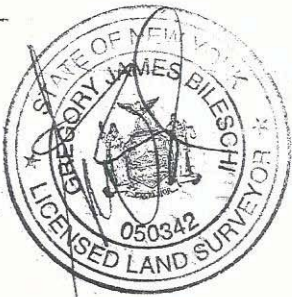
R.O.W. LINE

10' WIDE UTILITY EASE.
PER REFERENCE 3

10' WIDE SIDEWALK EASE.
PER REFERENCE 3

BLACKTOP

50' WIDE INGRESS/EGRESS
& UTILITY EASE. PER REF. 3



REFERENCES:

- 1.) ABSTRACT OF TITLE NOT PROVIDED.
- 2.) LIBER 8610 OF DEEDS, PAGE 643.
- 3.) LIBER 260 OF MAPS, PAGE 11.

LOT
306

S 89°02'35" W

300.00'

LOT
307

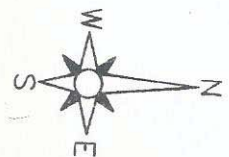
S 00°57'25" E 120.25'

LANDS OF THE TOWN OF PITTSFORD

N 89°02'35" E

300.00'

LANDS OF THE TOWN OF PITTSFORD (10' WIDE PEDESTRIAN WALKWAY)



CERTIFICATION:

I hereby certify to:

FRANK H. FERRIS, III, ESQ.
THOMAS M. RICHARDSON AND THERESA M. RICHARDSON
THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE
THE PITTSFORD FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS

that this map was made JUNE 07, 2006 from notes of an Instrument Survey completed JUNE 05, 2006 and from references listed hereon.

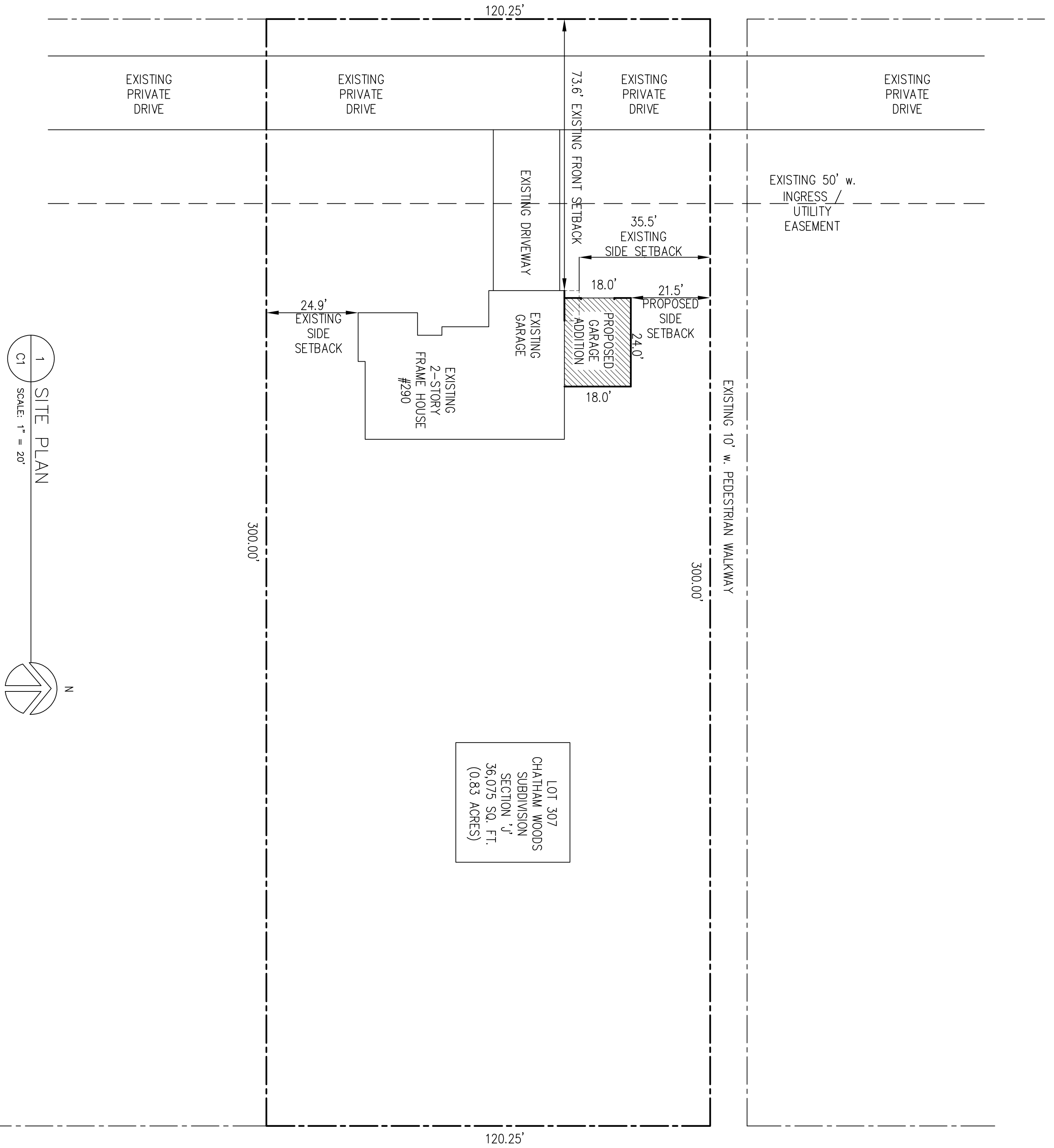
Gregory James Bilesch

REVISED JULY 25, 2006: ADDED LOT DIM'S.,
NORTH ARROW AND REFERENCES.

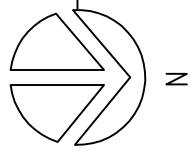
Tax Account No.

TOBEY ROAD

49.5' R-0-W

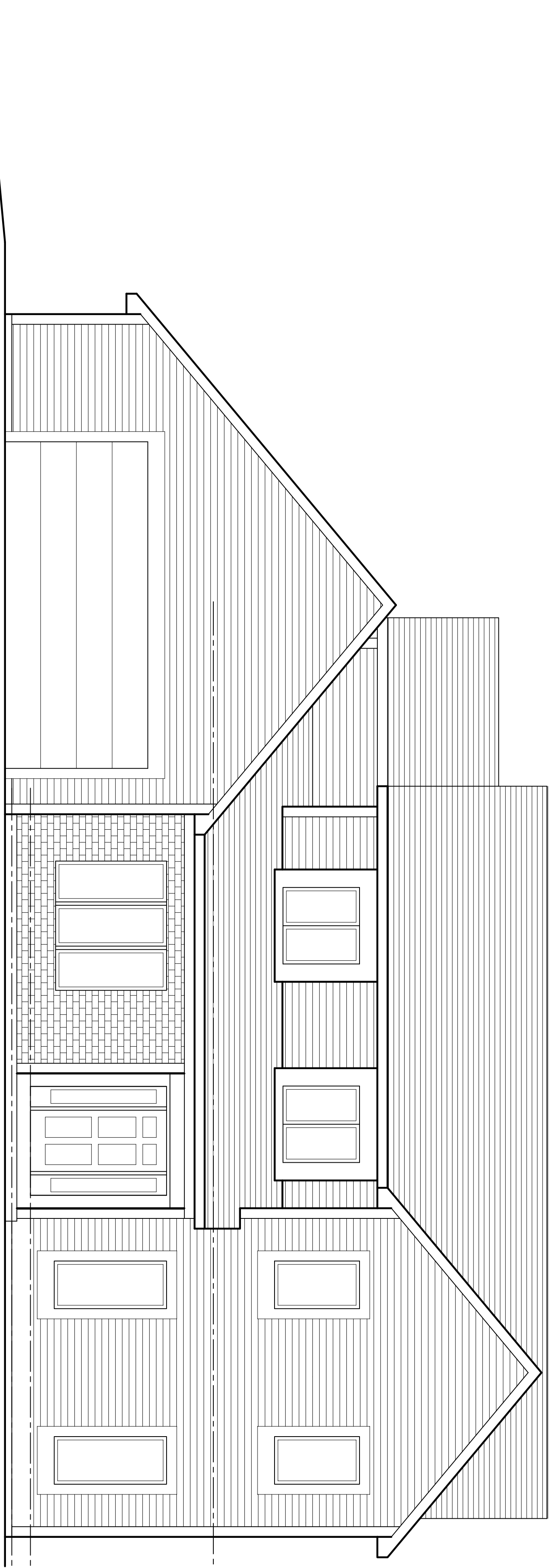


1
C1 SITE PLAN
SCALE: 1" = 20'

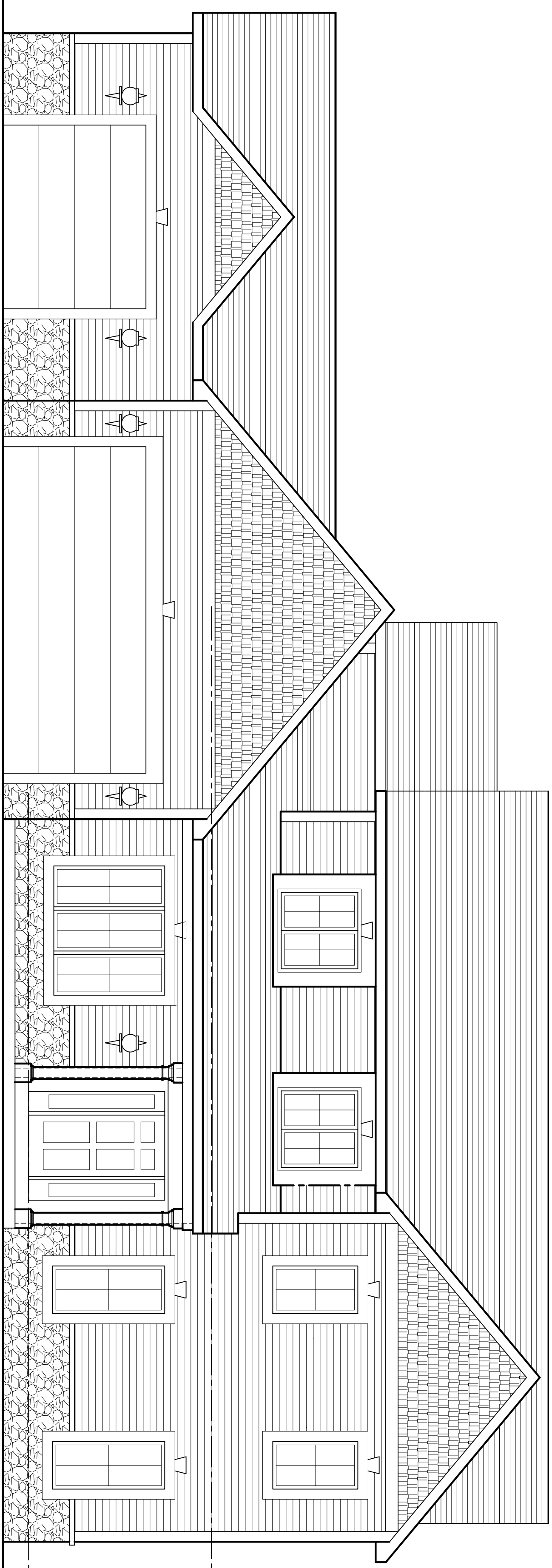


LOT 307
CHATHAM WOODS
SUBDIVISION
SECTION 'J'
36,075 SQ. FT.
(0.83 ACRES)

PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED			James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				4		
TITLE OF DRAWING SITE PLAN				3		
DWG. NO. 				2		
				1		
				REVISIONS	DATE	BY



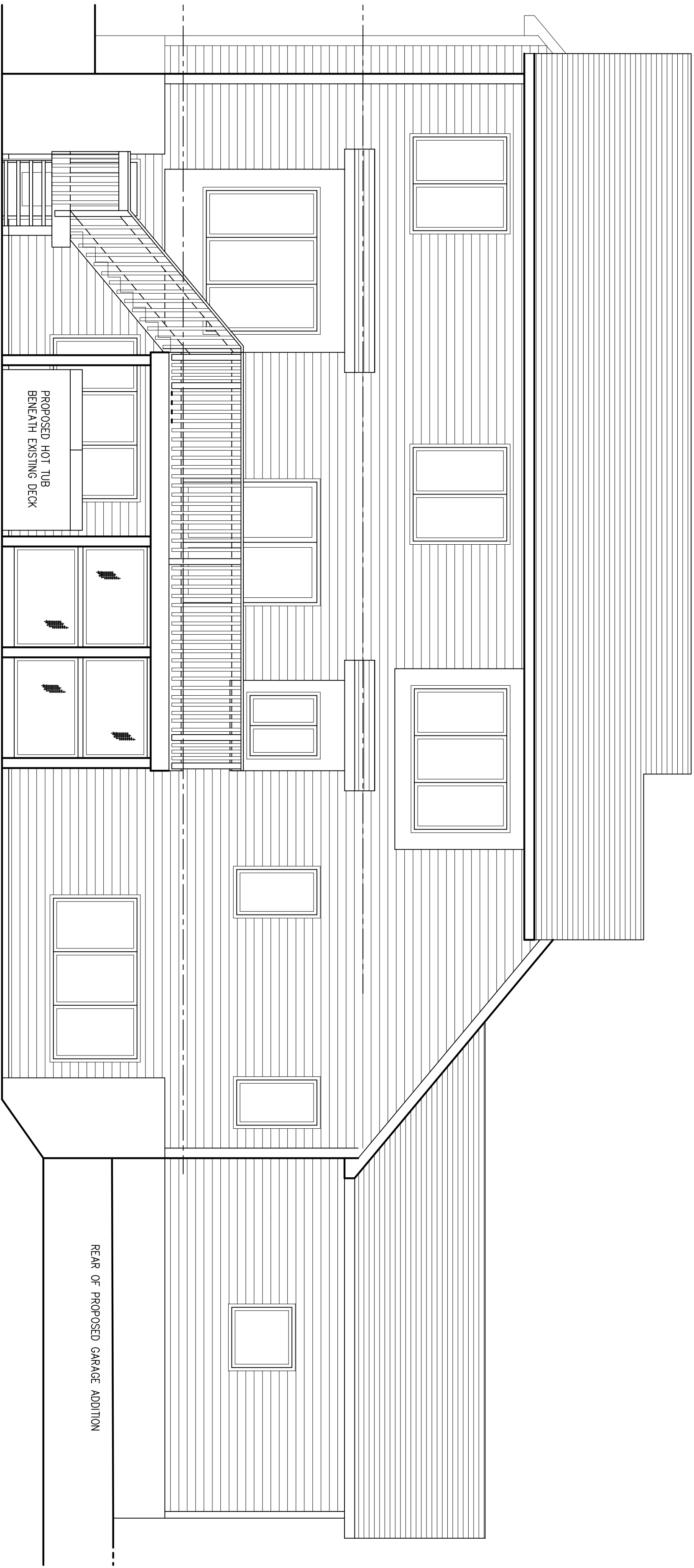
1 EXISTING FRONT (WEST) ELEVATION
A4 SCALE: 1/4" = 1'-0"



2 PROPOSED NEW FRONT (WEST) ELEVATION
A4 SCALE: 1/4" = 1'-0"

PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED	4			
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				3			
				2			
				1			
				REVISIONS			DATE
TITLE OF DRAWING FRONT (WEST) ELEVATION				James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490			

DWG. NO.
A4



1 PROPOSED NEW REAR (EAST) ELEVATION
 A8 SCALE: 1/4" = 1'-0"

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

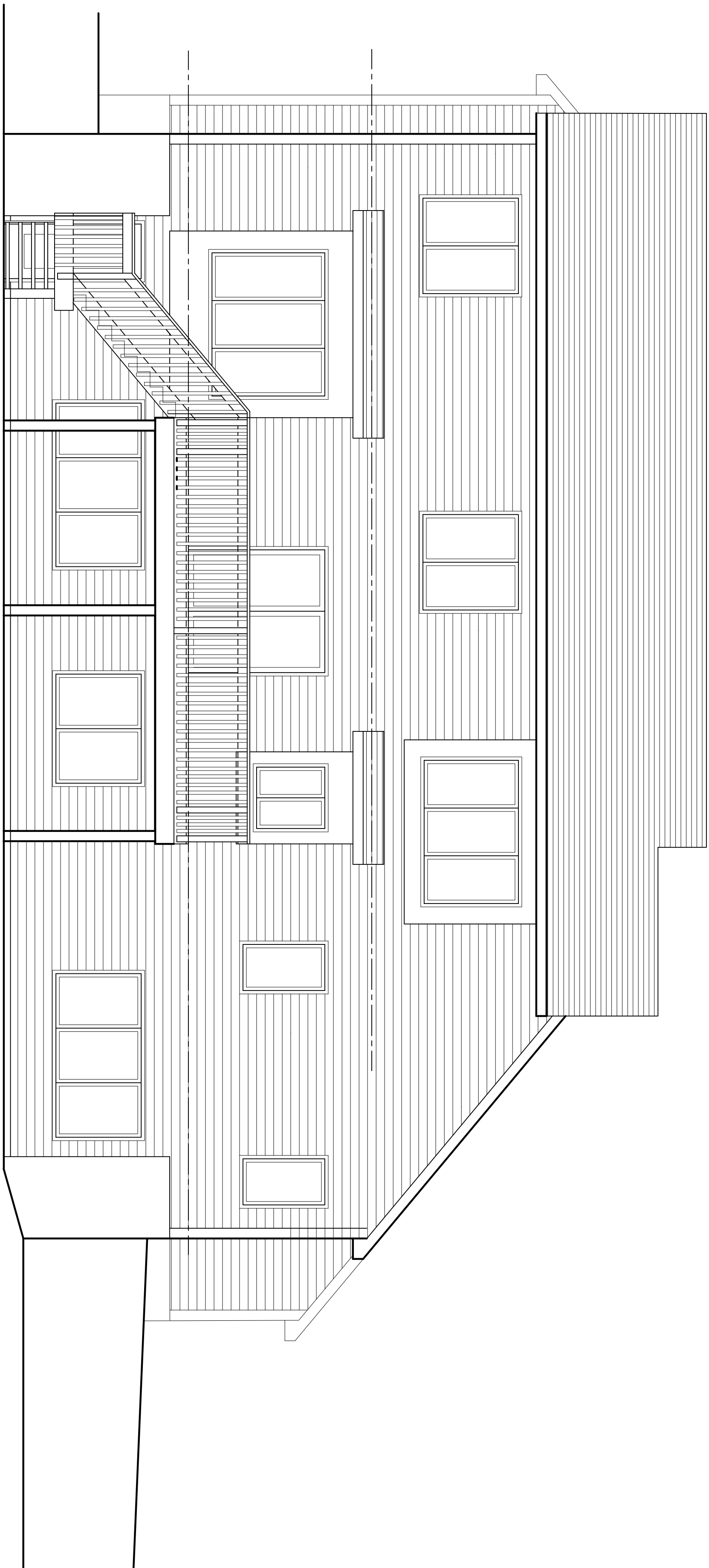
DATE 06/10/2020

PROJECT NUMBER 1272

PROJECT Addition and Alterations to Richardson Residence
 290 Tobey Road, Pittsford NY 14534
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING REAR (EAST) ELEVATION -- PROPOSED NEW CONSTRUCTION

DWG. NO. A8



1
A7
SCALE: 1/4" = 1'-0"
EXISTING REAR (EAST) ELEVATION

PROJECT NUMBER
1272

DATE
06/10/2020

DRAWN BY
JIM BRASLEY

SCALE
AS NOTED

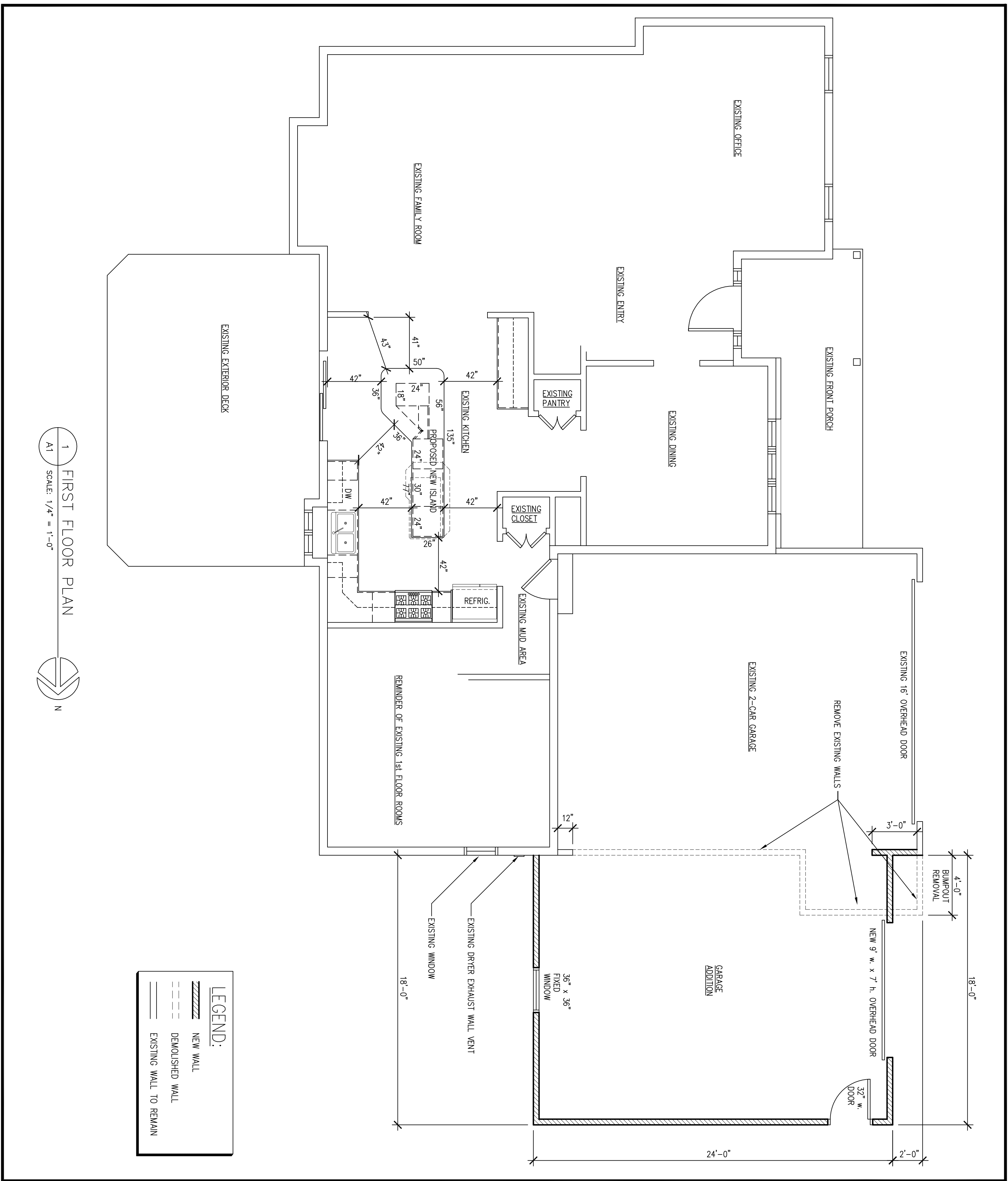
DWG. NO.
A7

PROJECT
Addition and Alterations to
Richardson Residence
290 Tobey Road, Pittsford NY 14534
(Town of Pittsford, Monroe County)

TITLE OF DRAWING
EXISTING REAR (EAST) ELEVATION

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

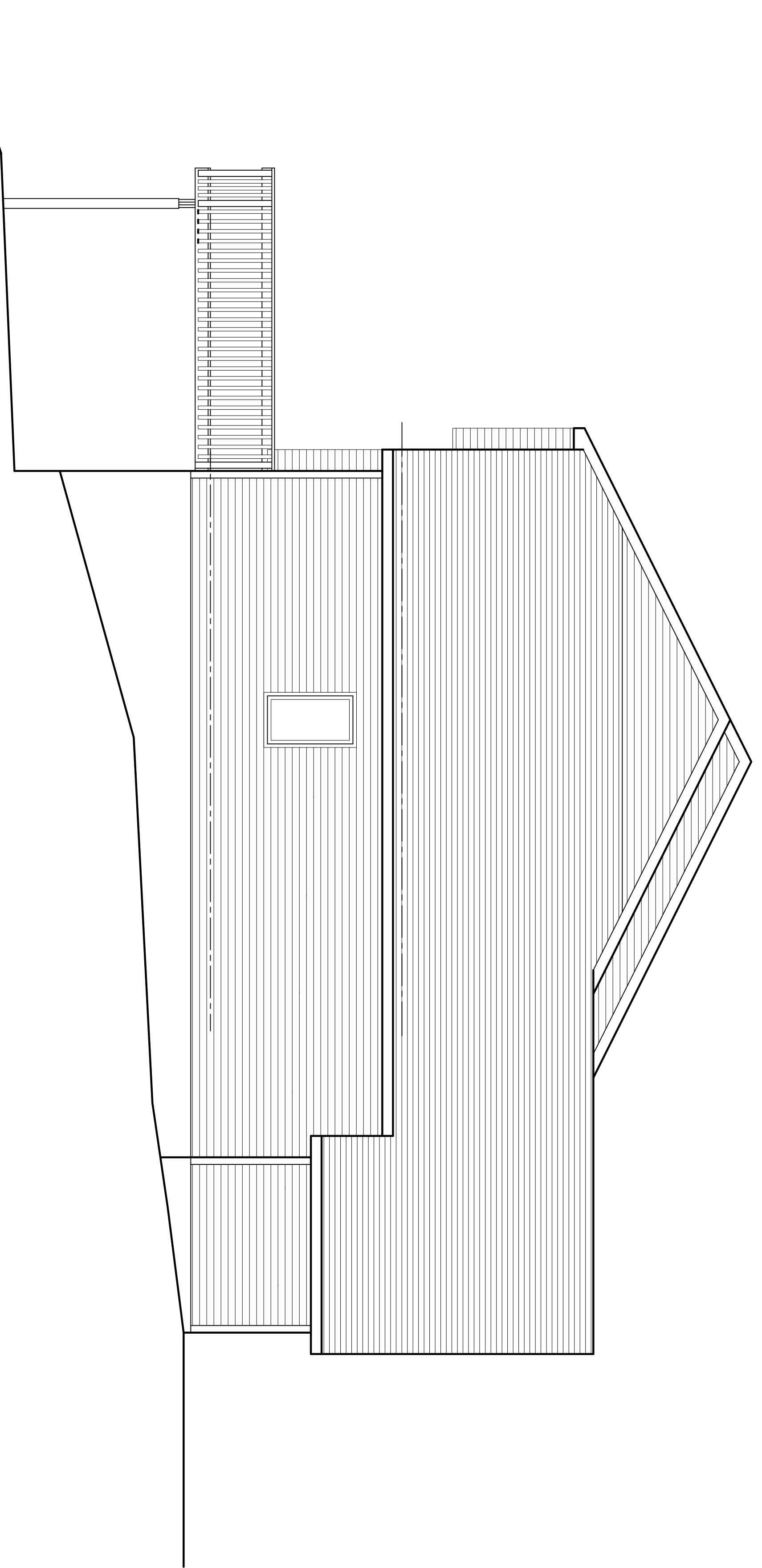
James P. Brasley
10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1
A1
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
N

PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED	4			
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				3			
TITLE OF DRAWING FIRST FLOOR PLAN				2			
				1			
					REVISIONS	DATE	BY
James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490							

1
AS
SCALE: 1/4" = 1'-0"
EXISTING LEFT SIDE (NORTH) ELEVATION



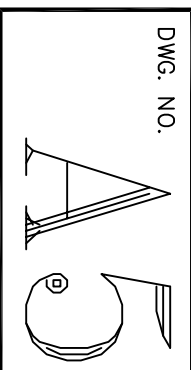
PROJECT NUMBER 1272 DATE 06/10/2020 DRAWN BY JIM BRASLEY SCALE AS NOTED

PROJECT
Addition and Alterations to
Richardson Residence
290 Tobey Road, Pittsford NY 14534
(Town of Pittsford, Monroe County)

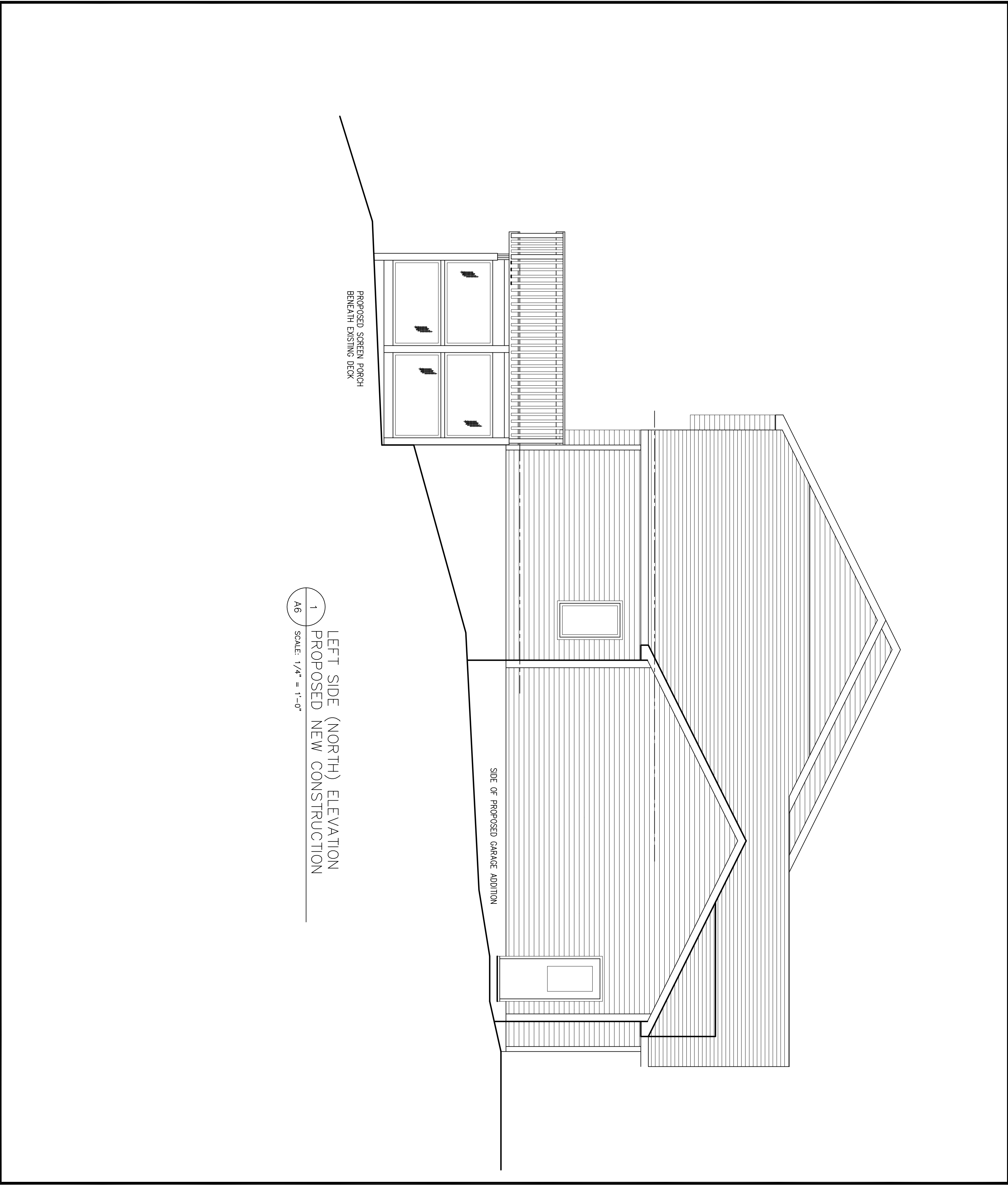
TITLE OF DRAWING
LEFT SIDE (NORTH) ELEVATION -- EXISTING

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

James P. Brasley
10 Cambridge Court
Fairport, NY 14450
(585) 377-9490

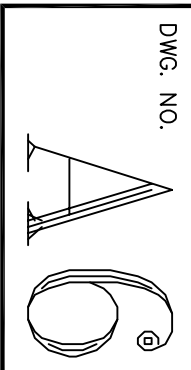


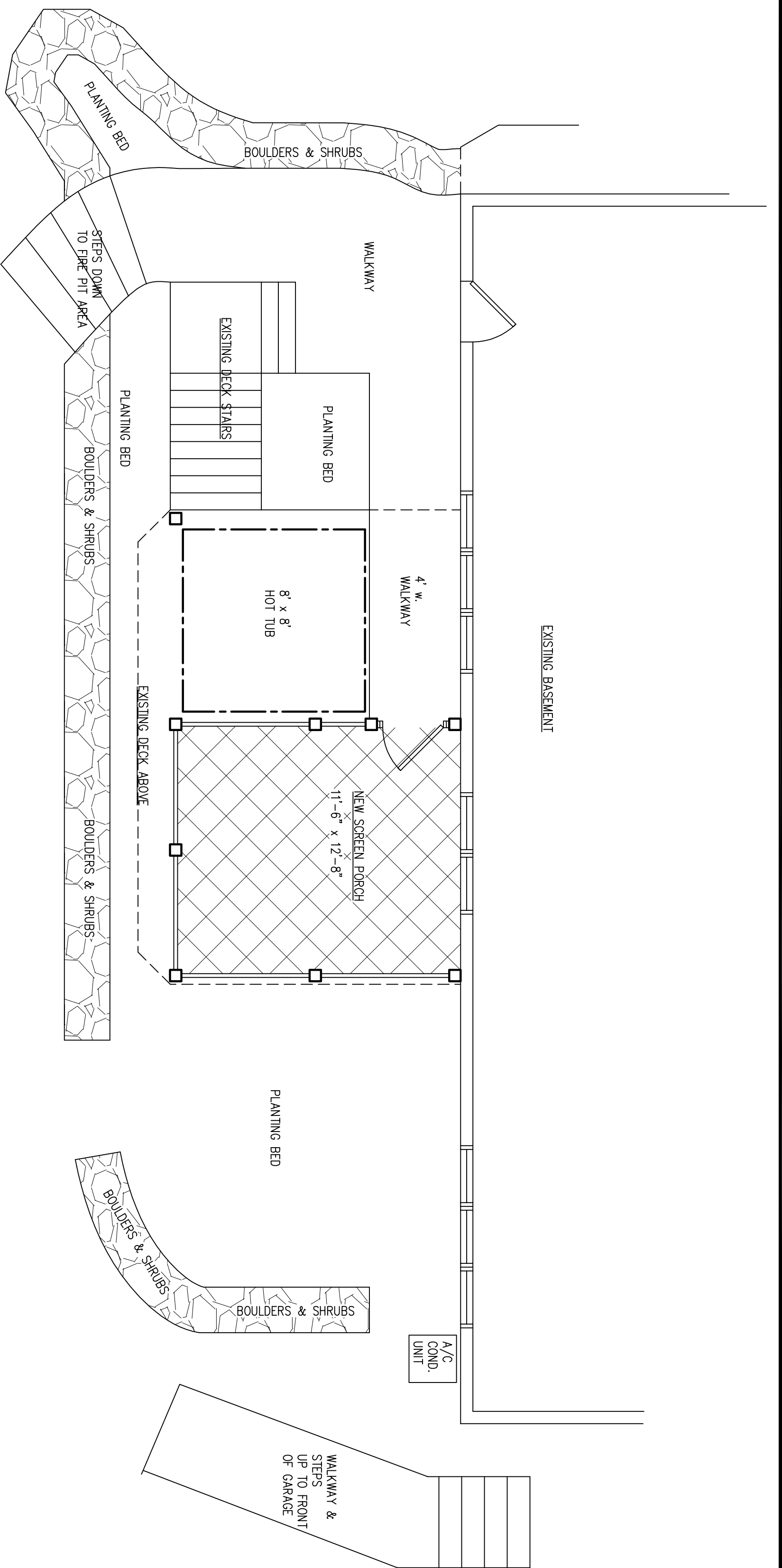
DWG. NO.



PROJECT NUMBER 1272	DATE 06/10/2020	DRAWN BY JIM BRASLEY	SCALE AS NOTED	4			
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)	TITLE OF DRAWING LEFT SIDE (NORTH) ELEVATION -- PROPOSED NEW CONSTRUCTION	3					
		2					
		1					
		REVISIONS		DATE	BY		

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490





1
A3
NEW PATIO LAYOUT
SCALE: 1/4" = 1'-0"
N

PROJECT NUMBER
1272

DATE
06/10/2020

DRAWN BY
JIM BRASLEY

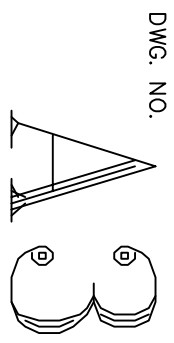
SCALE
AS NOTED

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT
Addition and Alterations to
Richardson Residence
290 Tobey Road, Pittsford NY 14534
(Town of Pittsford, Monroe County)

TITLE OF DRAWING
PROPOSED REAR PATIO LAYOUT

James P. Brasley
10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



DWG. NO.







255

255



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000077

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 31 Sandpiper Lane PITTSFORD, NY 14534

Tax ID Number: 164.13-2-32

Zoning District: RN Residential Neighborhood

Owner: Regan, Sean P

Applicant: Regan, Sean P

Application Type:

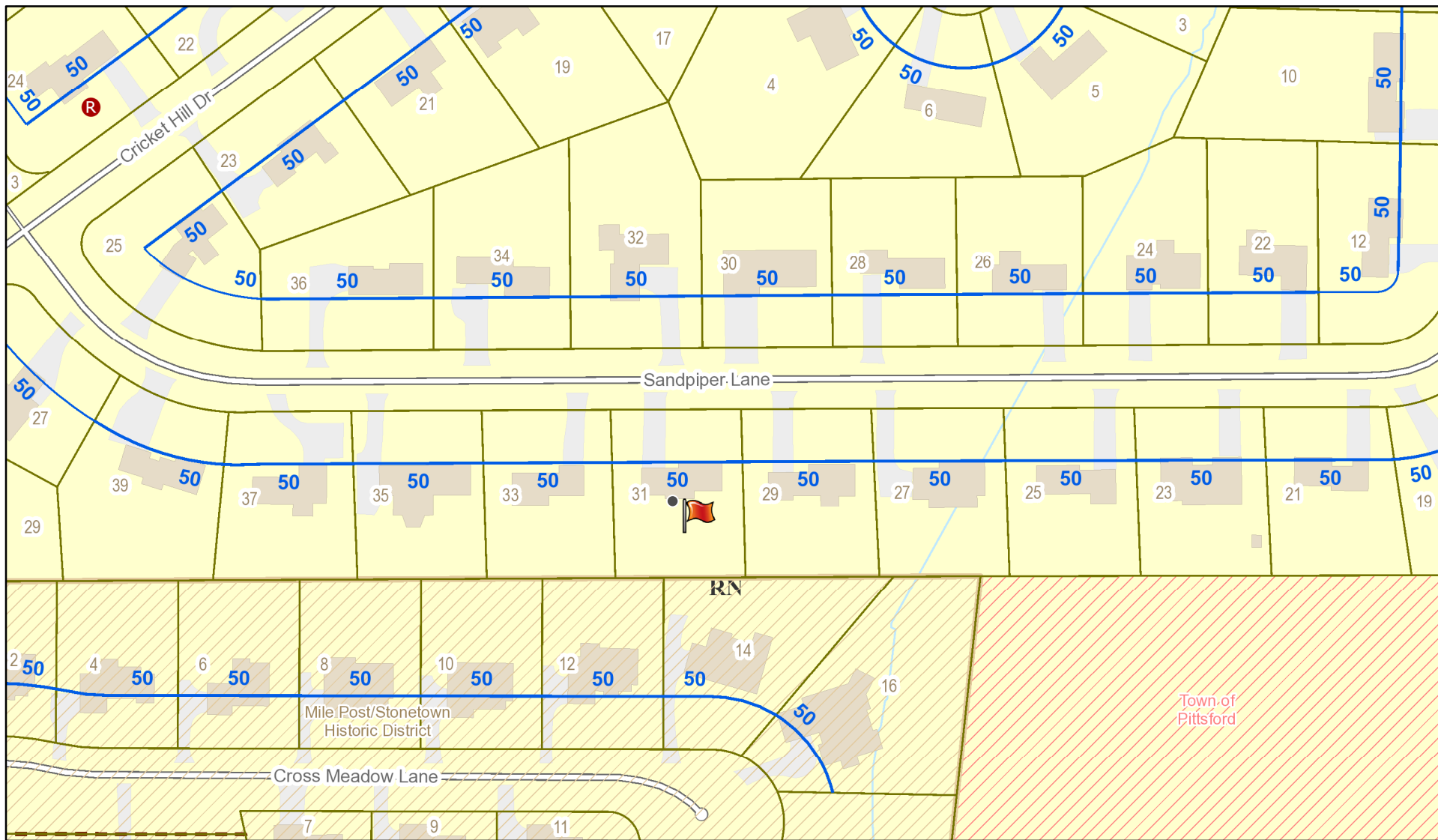
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a first floor bedroom/bathroom and front porch. The addition will be approximately 415 sq. ft. and will be located to the west of the existing home. The porch addition will be approximately 72 sq. ft. and will be on the front of the home.

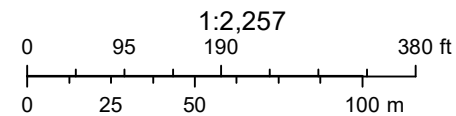
Meeting Date: June 25, 2020



RN Residential Neighborhood Zoning

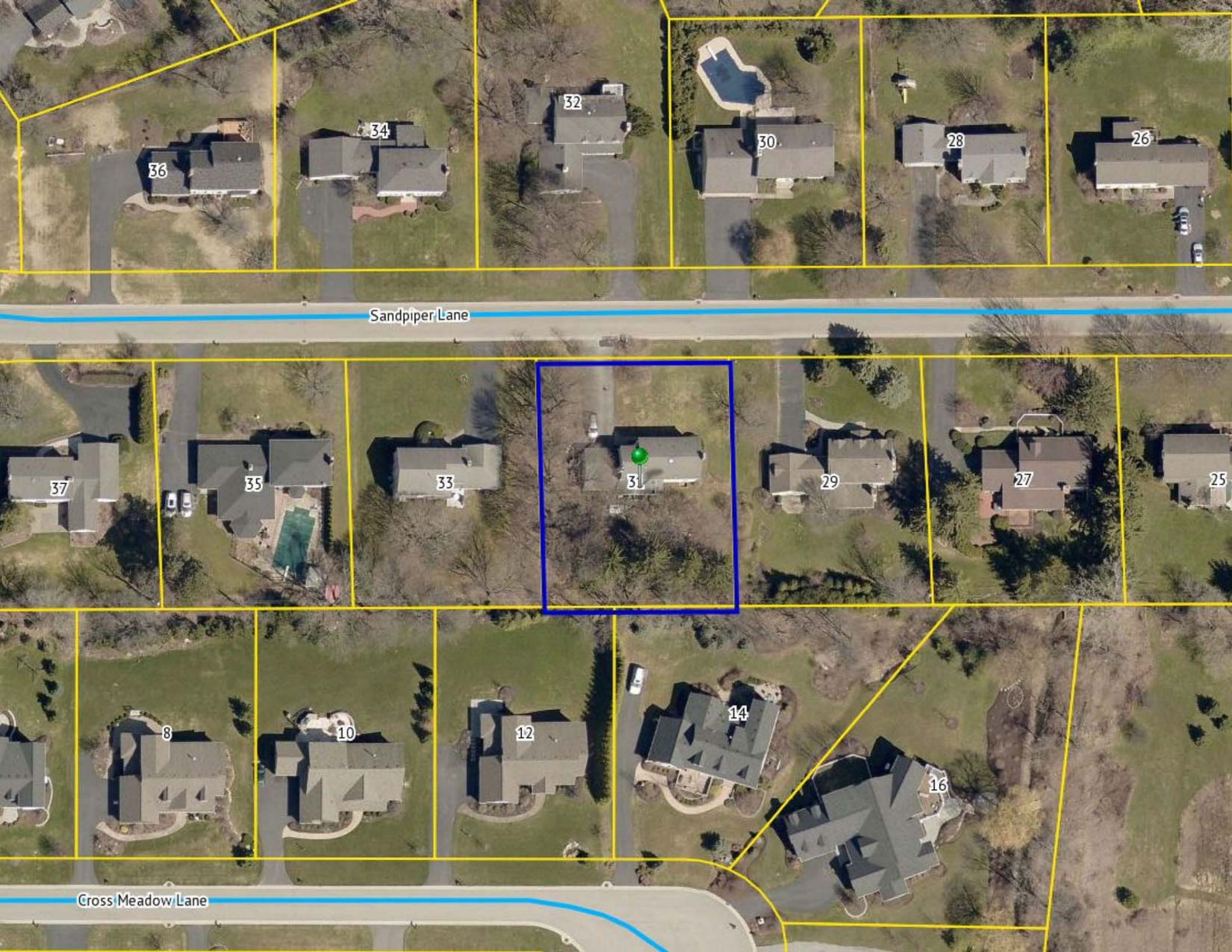


Printed June 18, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



36

34

32

30

28

26

Sandpiper Lane

37

35

33

31

29

27

25

8

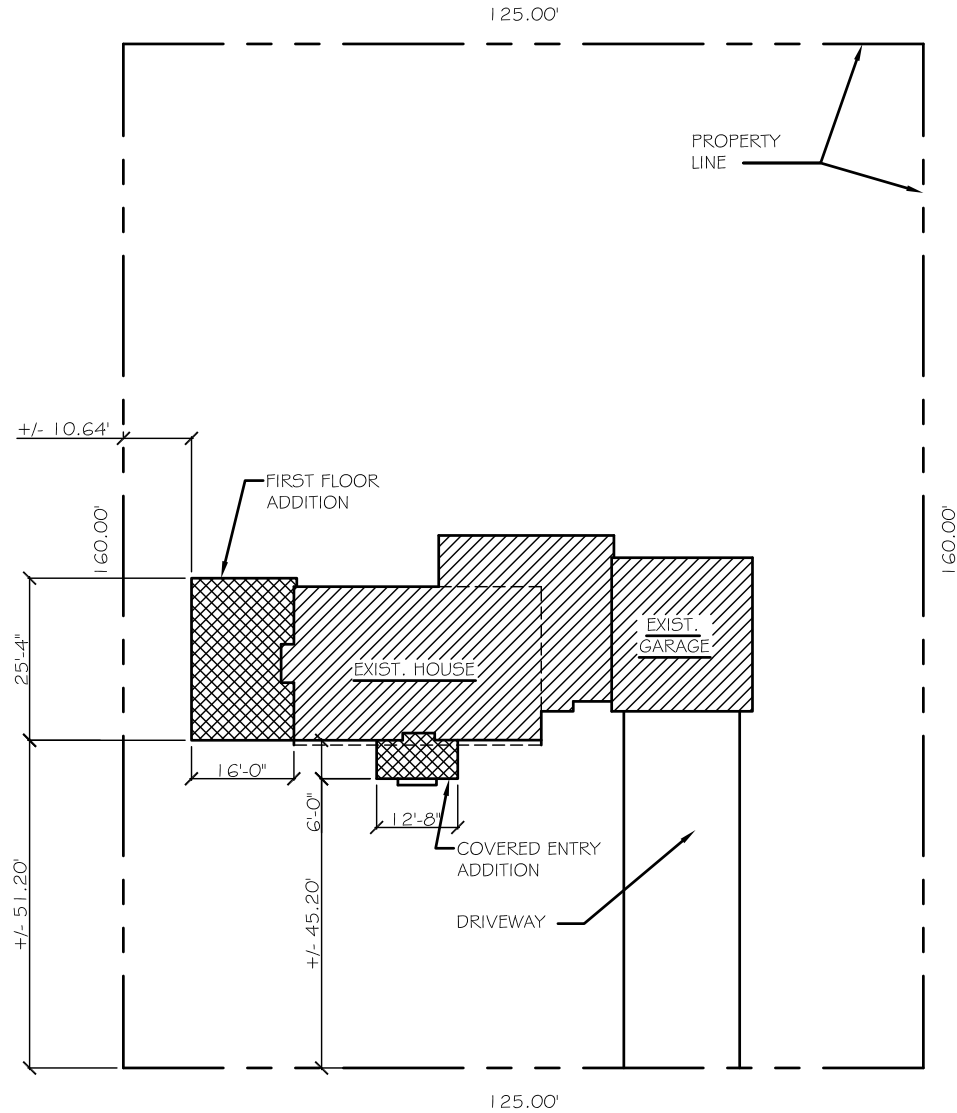
10

12

14

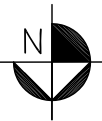
16

Cross Meadow Lane



PROPOSED SITE PLAN

SCALE: 1" = 30.00'



ARCHITECT:

William C. Dean, RA, AIA

4234 Hogmire Road
Avon, New York 14414
585-729-7460
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
31 Sandpiper Lane
Pittsford, New York 14534

DRAWING:

SD-O



North Elevation (from road)



North-East Corner of House



East Elevation



South-East Corner of House

ARCHITECT:

William C. Dean, RA, AIA
4234 Hogmire Road
Avon, New York 14414
585-729-7460
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
31 Sandpiper Lane
Pittsford, New York 14534

DRAWING:

EX-O



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"

ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

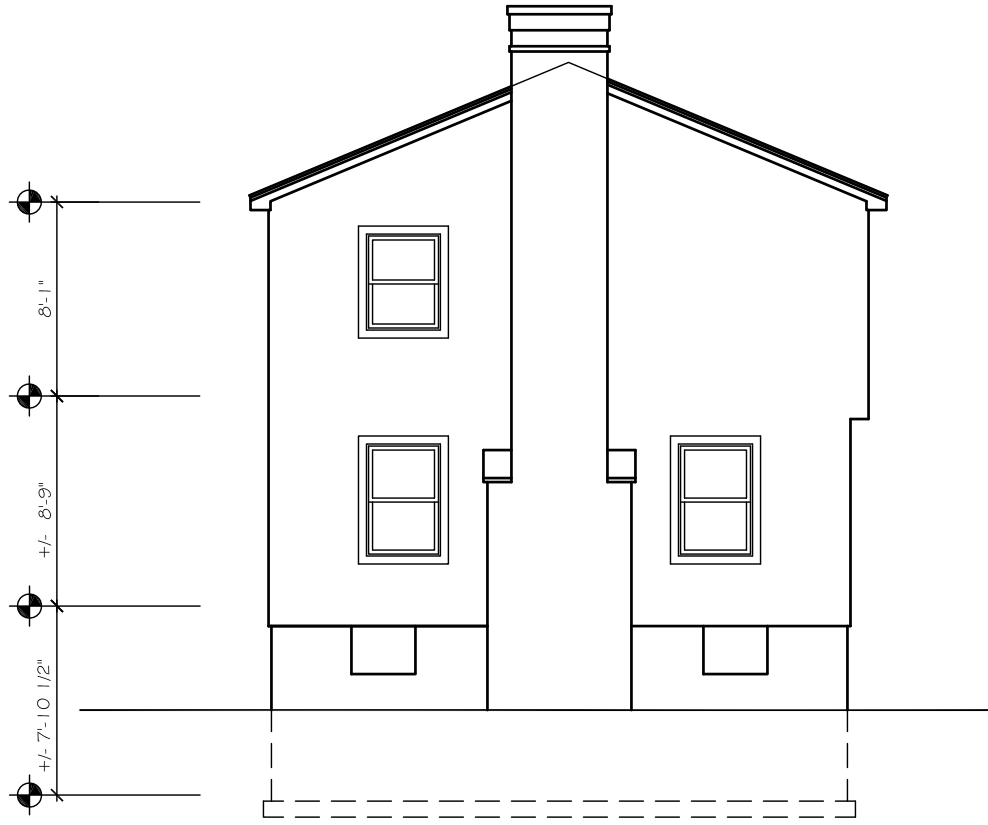
PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

DRAWING:

EX-3



EXISTING WEST ELEVATION
 SCALE: 1/8" = 1'-0"

ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

DRAWING:

EX-4



○ EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ARCHITECT:

William C. Dean, RA, AIA
4234 Hogmire Road
Avon, New York 14414
585-729-7460
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

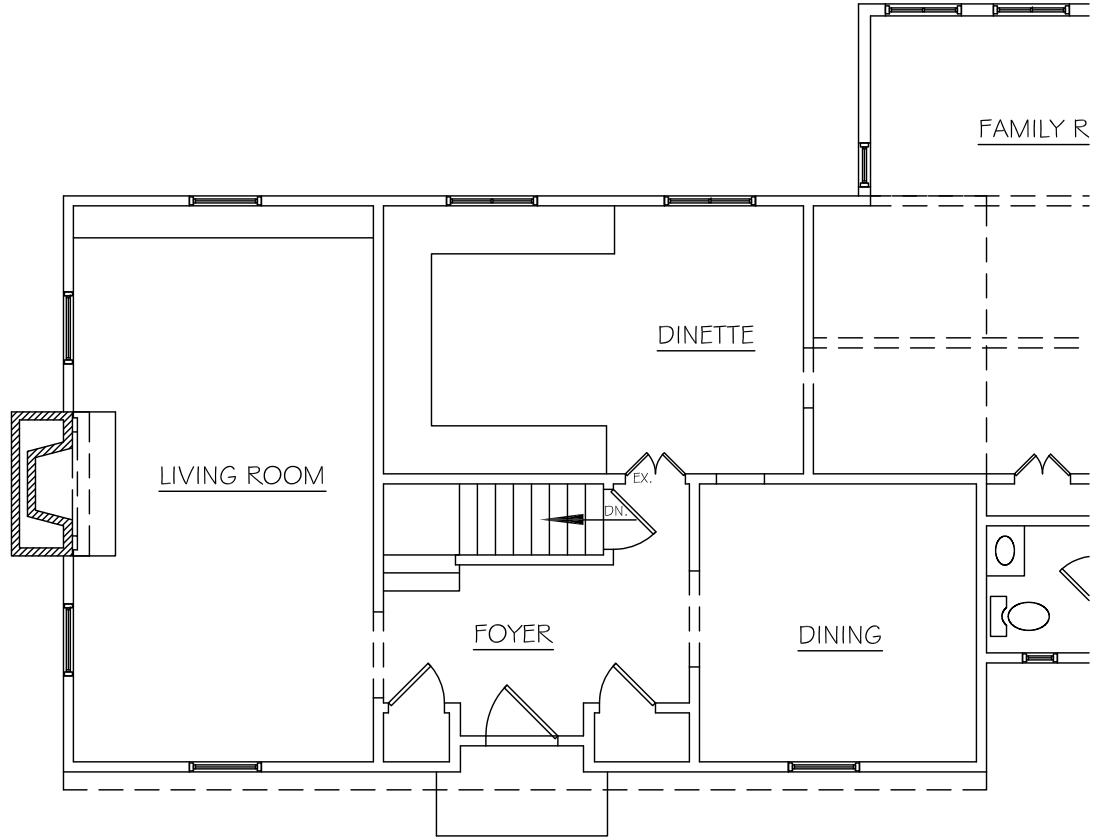
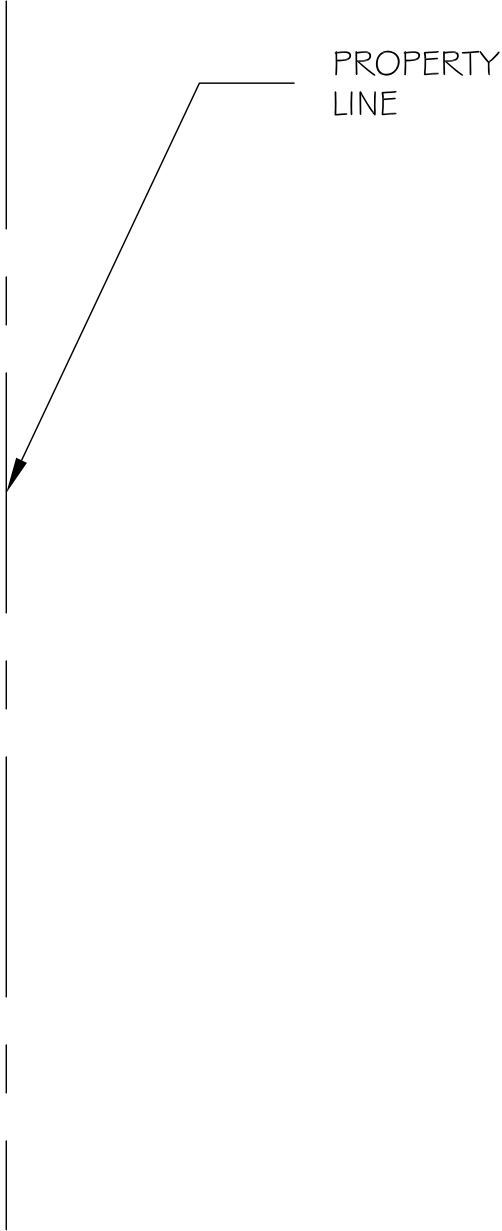
PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
31 Sandpiper Lane
Pittsford, New York 14534

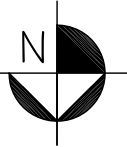
DRAWING:

EX-5



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

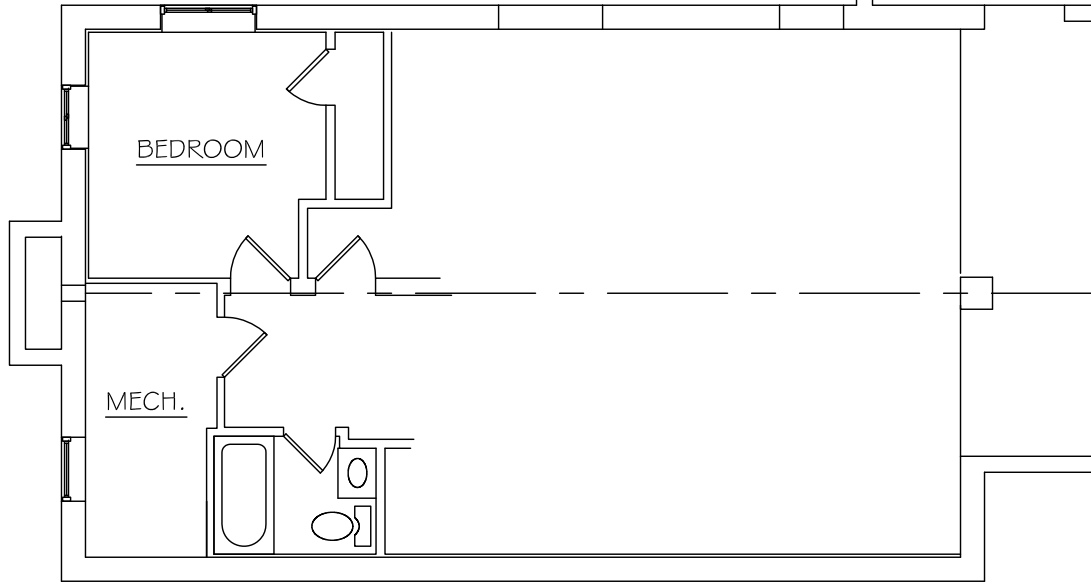
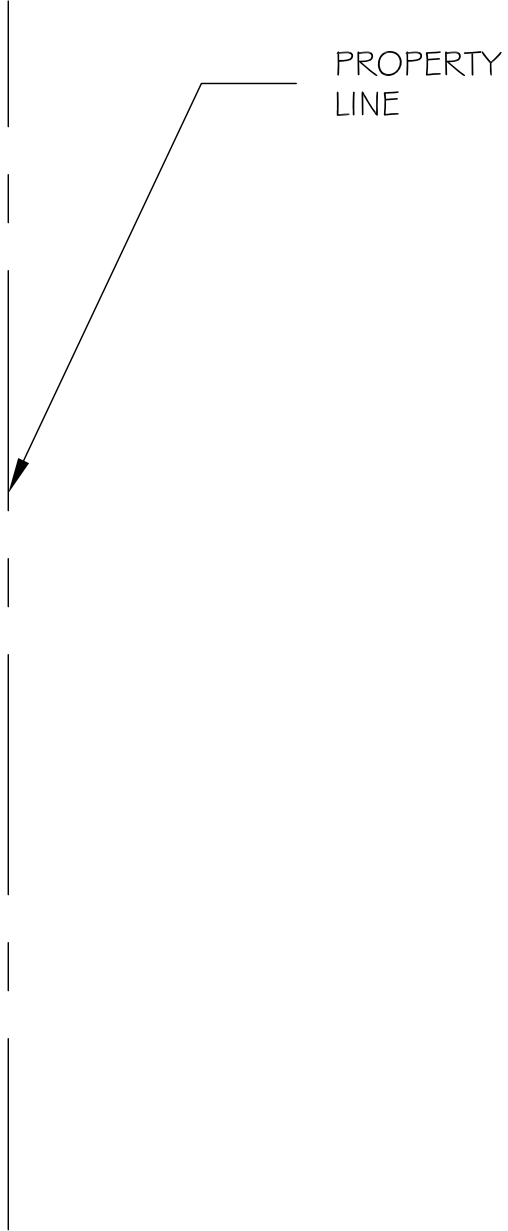
PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

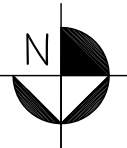
DRAWING:

EX-1



EXISTING BASEMENT/FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

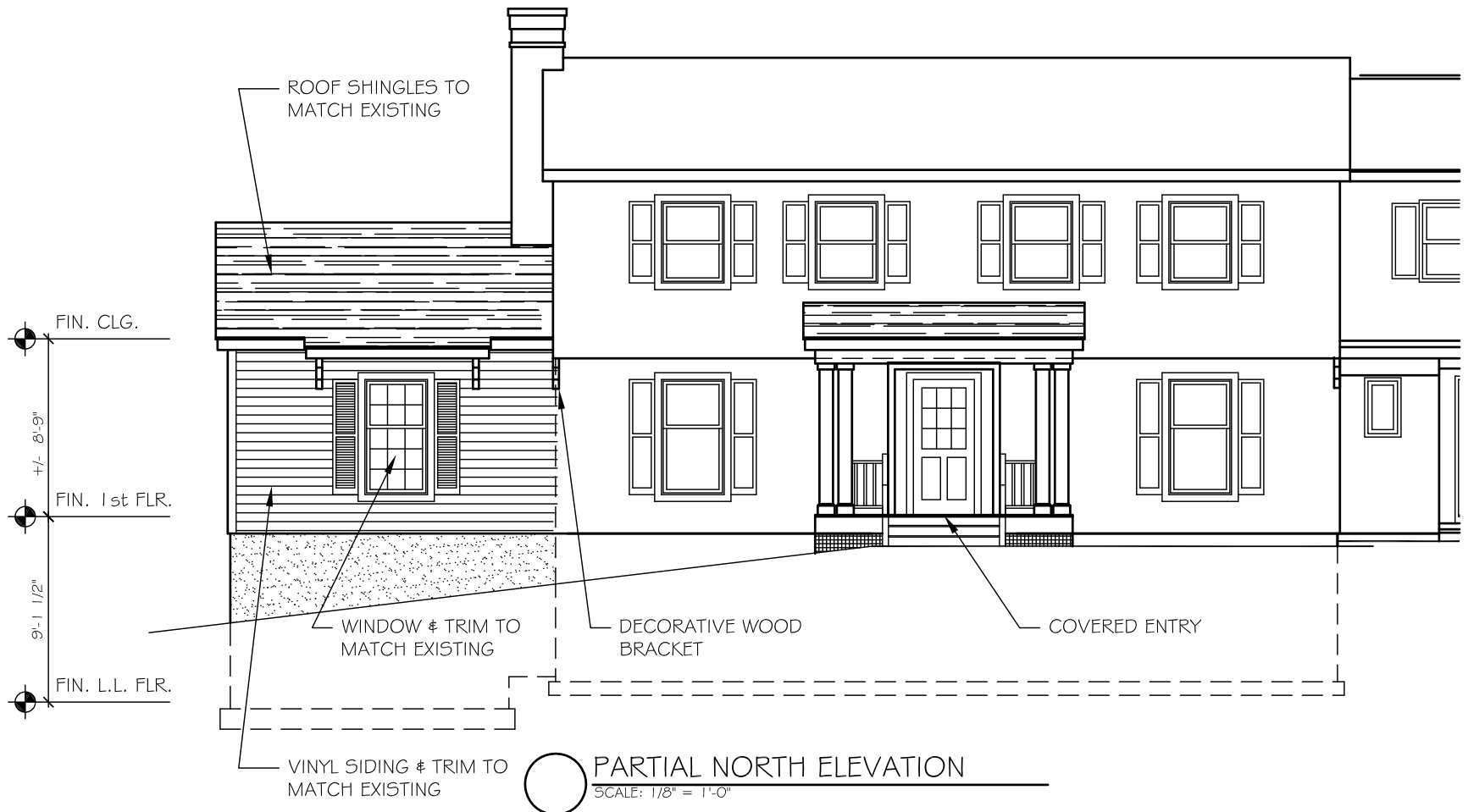
PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

DRAWING:

EX-2



ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

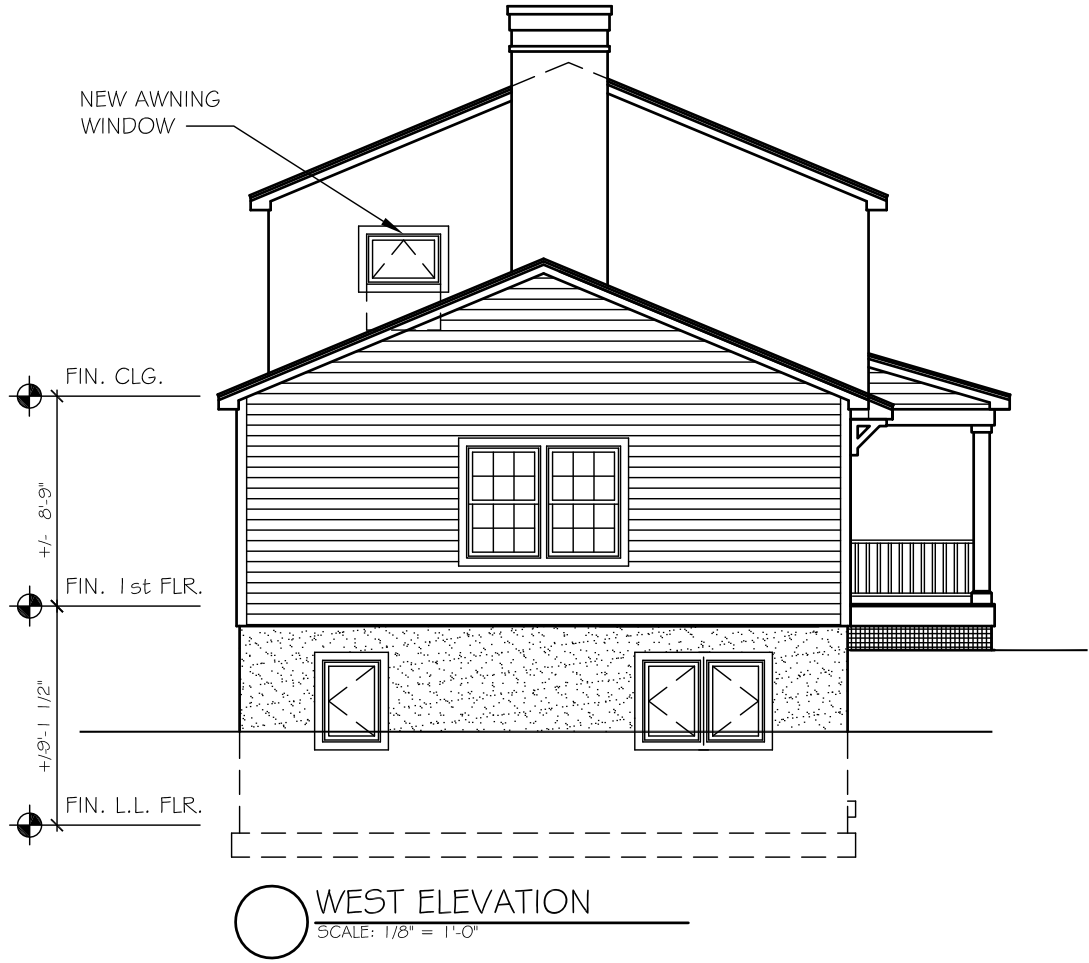
PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

DRAWING:

SD-3



ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:
 06.17.20

PROJECT:

PROPOSED ADDITION:
 Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

DRAWING:

SD-4



○ PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ARCHITECT:

William C. Dean, RA, AIA
4234 Hogmire Road
Avon, New York 14414
585-729-7460
e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

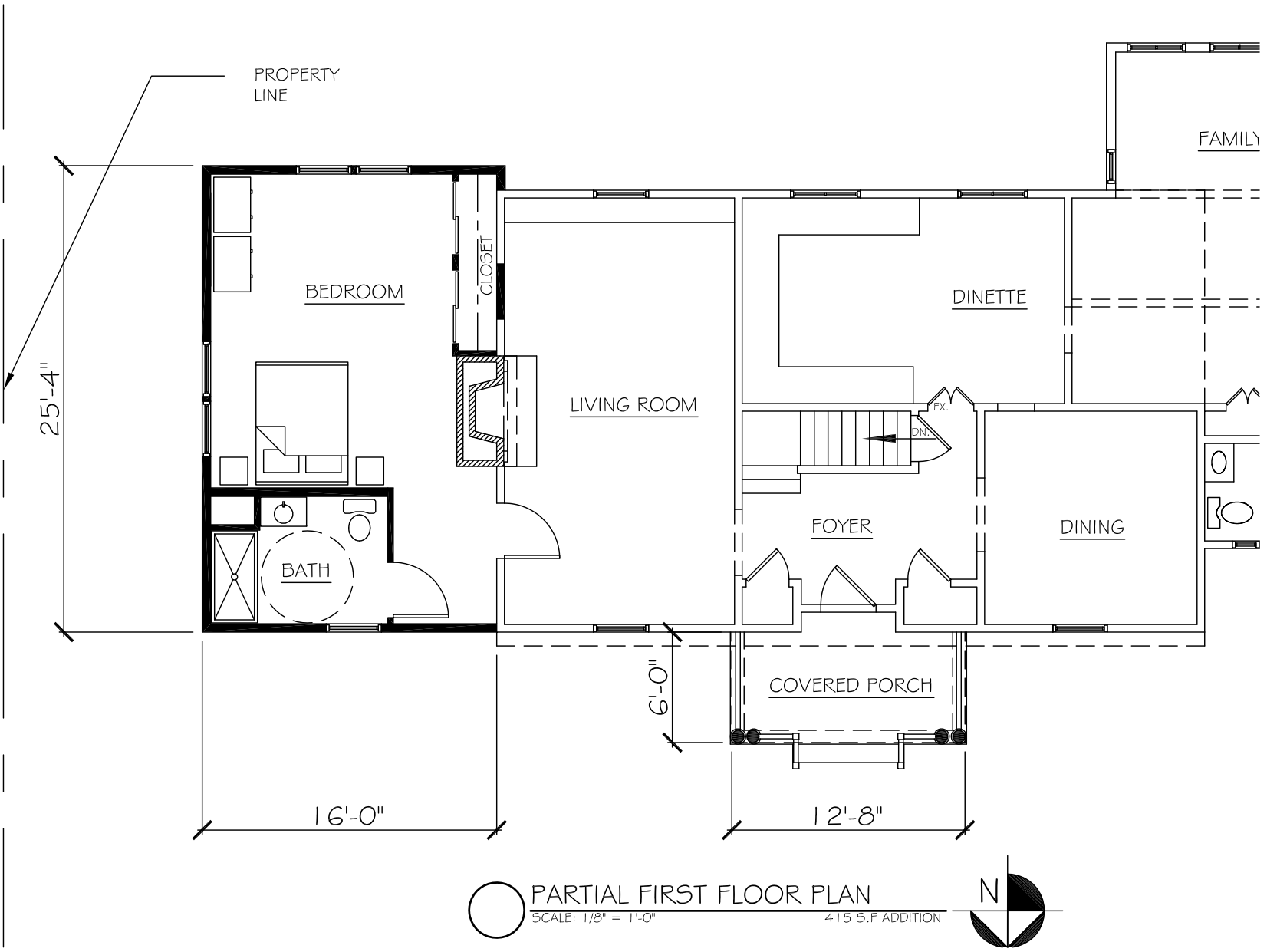
PROJECT:

PROPOSED ADDITION:

Fionnuala and Sean Regan
31 Sandpiper Lane
Pittsford, New York 14534

DRAWING:

SD-5



ARCHITECT:

William C. Dean, RA, AIA

4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:

06.17.20

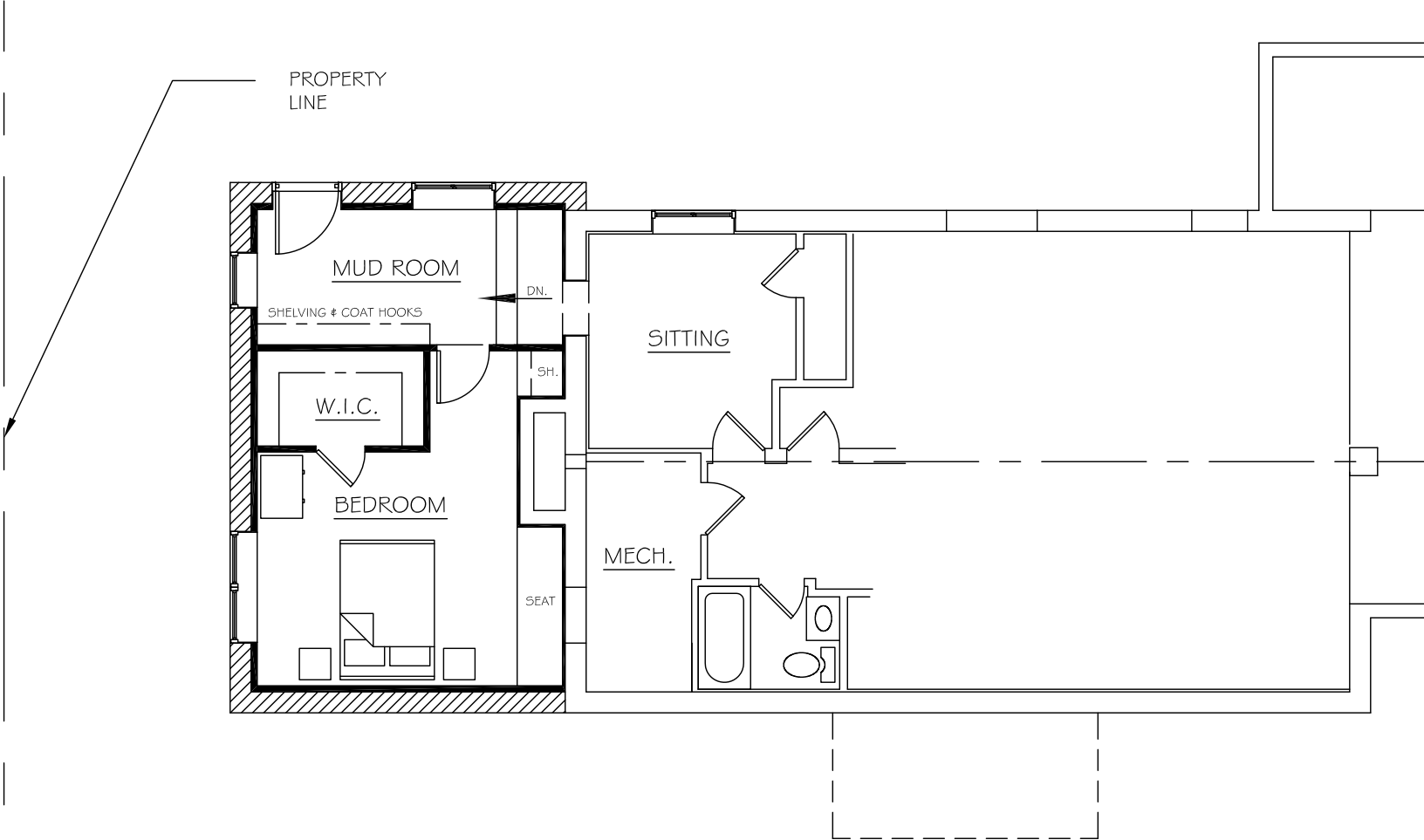
PROJECT:

PROPOSED ADDITION:

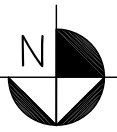
Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

DRAWING:

SD-1



PARTIAL BASEMENT/FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



ARCHITECT:

William C. Dean, RA, AIA
 4234 Hogmire Road
 Avon, New York 14414
 585-729-7460
 e-mail: deanarchitect@frontiernet.net

DATE:
 06.17.20
 PROJECT:

PROPOSED ADDITION:
 Fionnuala and Sean Regan
 31 Sandpiper Lane
 Pittsford, New York 14534

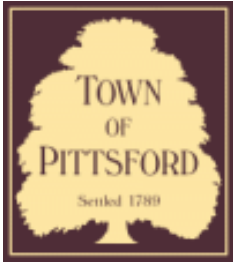
DRAWING:

SD-2









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S20-000011

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3650-3658 Monroe Avenue PITTSFORD, NY 14534

Tax ID Number: 151.13-1-24

Zoning District: B Residential

Owner: BMJ Properties LLC

Applicant: Crystal City Signs

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the replacement of the "Pittsford Garden Apartments" sign. The current sign was damaged and will be replaced with an approximately 15 sq. ft. sign.

Meeting Date: June 25, 2020

