

**Design Review & Historic Preservation Board
Agenda
May 27, 2021**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **153 Mendon Center Road**
The Applicant is requesting design review for the construction of a two story addition and porch. The approximately 360 square foot two story addition will replace the current two story area that was damaged by a motor vehicle. The approximately 480 square foot proposed porch will be built over an existing deck and wrap around the side of the home. The applicant did receive approval from the Zoning Board for setback relief.
- **3 Chattingham Court**
The Applicant is requesting design review for the addition of a dormer. The dormer will be located to the rear of the home and will allow for increased square footage in the bathroom and bedroom.
- **17 Callingham Road**
The Applicant is requesting design review for a proposed bedroom, bathroom and laundry addition. The addition will be approximately 340 square feet and will be located on the west side of the home.
- **4000 East Avenue**
The Applicant is requesting design review for the renovation and additions to an existing home. There will be an addition onto the living room and four new dormers. The exterior renovations include new windows, doors, roof and adding stone and timber to the exterior of the home.
- **14 Laureldale Drive**
The Applicant is requesting design review for the addition of a porch. The porch will be approximately 232 square feet and will be located on the front of the home. The project will also include changing the garage doors to one door and the removal of decorative posts.
- **4 Baynard Court**
The Applicant is requesting design review for the addition of a covered patio. The roof structure will be approximately 340 square feet and will be located to the rear of the home.

COMMERCIAL APPLICATION FOR REVIEW

- **3400 Monroe Avenue**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 43.75 square feet and will identify the "Elmwood Agency Corp." business. The sign will be 6" deep aluminum extrusion cabinet painted black and will be internally LED light.

CERTIFICATE OF APPROPRIATENESS

- **117 East Street**
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (AG) Agricultural and is designated historic.

OTHER – REVIEW OF 5/13/2021 MINUTES

How to view the meeting:

1. Zoom

In your web browser, go to:

<https://townofpittsford.zoom.us/j/81232988006?pwd=UnhXNmFSV0xXMEh2akZYS3lZWmg4dz09>

- You will be connected to the meeting.

2. Telephone

You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **812 3298 8006**

- No password is necessary.

(929) 205-6099	(312) 626-6799
(253) 215-8782	(301) 715-8592
(346) 248-7799	(669) 900-6833

We are pleased to offer Zoom Automated Transcription captions for our Town Board and volunteer board meetings held via Zoom. Because this service automatically creates machine-generated transcriptions, users should be aware that wording inaccuracies may occur.

Design Review and Historic Preservation Board
Minutes
May 13, 2021

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, John Mitchell, Dave Wigg, Kathleen Cristman, Bonnie Salem

ALSO PRESENT

Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Leticia Fornataro

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, May 13 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Dirk Schneider, Chairman opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The installation of the banners was discussed. The Town is trying to locate a bucket truck for the installation so the timing is unknown at this time. Dirk Schneider discussed looking for private arrangements. Robert Koegel stated that this might be possible but would need to research insurance ramifications.

The Board thanked Bonnie Salem for her efforts with the Pomeroy Foundation to acquire a marker for the East Street Burying Ground.

RESIDENTIAL APPLICATION FOR REVIEW – RETURNING

- **85 Coventry Ridge**

The Applicant is returning to request design review for the construction of a pavilion. The pavilion will be approximately 630 square feet and will be located on the rear of the home. The applicant received a side setback variance and a variance for an oversized accessory structure.

Mike Taccone of Somerset Patio was present.

The Board reviewed the resubmitted drawings.

John Mitchell moved to accept the application with the new drawings reviewed on 5/13/21.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW

- **21 Warder Drive**

The Applicant is requesting design review for the addition of a great room, laundry room, full bathroom and sunroom. The additions will total approximately 848 square feet and will be located to the rear of the home.

The homeowner, Monir Hossain, was present. The Board reviewed the building plans.

The vinyl siding will match the existing. David Wigg recommended reusing the vinyl siding that is being removed to blend in.

Bonnie Salem moved to accept the application as submitted.

David Wigg seconded.

All Ayes.

- **22 Mill Neck**

The Applicant is requesting design review for the addition of a covered deck. The covered deck will be approximately 240 square feet and will be added to the rear of the home. The applicant has applied to the Zoning Board for approval for a side setback variance.

The homeowners Lisa Cauda and Scott Chase and architect John Omwake were present.

A new roof will be put on the home so it will all match.

Kathleen Cristman moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

3 Black Wood Circle

- The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1976 square feet and located in the Wilshire Hills subdivision.

Larry Frazer and Bill Arieno were present to discuss the application with the Board.

The design features a timber frame with board and batten set back in the porch gable. Board and batten will be on the front elevation only with vinyl clapboard in the rest of the home. Metal roofs will be on the front elevation over the garage and front window.

The columns will be come down to the porch, not on stone posts as depicted in the rendering.

David Wigg moved to accept as submitted.

John Mitchell seconded.

All Ayes.

28 & 30 Skylight Trail

- The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 7 (28 Skylight Trail) will be approximately 1987 sq. ft. and Lot 8 (30 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

Bill Arieno of Morrell Builders was present.

An extra gable with board and batten has been added to the design of this unit. The garage door will be a dark oak color.

Kathleen Cristman moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

882 Linden Avenue

- The Applicant is requesting design review for the change to the exterior color of an existing commercial building. The business that currently occupies the space is "Carestream".

Andrew Kingsley of Costanza Enterprises was present.

The color change is intended to freshen up the building. The doors and columns will be an accent color. Only the existing painted surfaces will be painted. The brick on the south side of the building will remain.

Paul Whitbeck moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

3330 Monroe Avenue

- The Applicant is requesting design review for the addition of two temporary business identification signs. The sign on the east side of the building will be approximately 41 square feet and the sign on the south side of the building will be approximately 92 square feet. The signs will be made with banner material and will display the "Kinecta" Logo.

Stephanie from Rochester Signs was present.

Robert Koegel made the statement that the Design Review Board does not typically review temporary signs.

The proposed aluminum sign will be replaced by a similar looking lighted sign in six months to a year according to Stephanie.

The Board had concerns about the signage.

1. The sign is being placed in an area of an old sign but looks awkward in the previous gabled "barn style" with no attempt to make it fit into the style.
2. The sign resembles a temporary banner.
3. The color of the new sign and the old framing and band underneath do not go well together.

All Board members agreed that this application should be held open to give the applicant some time to reevaluate the design.

CERTIFICATE OF APPROPRIATENESS

117 East Street

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (AG) Agricultural and is designated historic.

Dirk Schneider opened the Public Hearing.

The homeowner, Kathy Gleason was present. She indicated that the plans she had for the fence in this area for which she previously was granted a Certificate of Appropriateness she has abandoned.

The Board had many questions regarding the details of the proposed porch addition. They felt they needed a more architectural or scale drawing of what is proposed

There was no public comment.

It was moved that the applicant return to Design Review with more information on the proposed porch including materials, railing details and clearer drawn elevations.

A roll vote was taken.

Schneider – Aye
Salem – Aye
Whitbeck – Aye
Mitchell – Aye
Cristman – Aye
Wigg – Aye

INFORMAL REVIEW

- **810 Allens Creek Road**

The Applicant is returning to request informal design review for exterior changes to a designated historic home in Pittsford. Some of the changes include a dormer windows, detached garage, porte cochere and a covered walkway.

Kim Bailey, Trip Pierson and Cameron Sformo were present.

Robert Koegel reviewed with the Board their charge in respect to granting Certificates of Appropriateness according to Town Code. Specifically that a new addition should be subordinate to the main structure, the original roofline should be kept in character without modification, shutters are not to be removed and materials should be kept in character with that of the original structure.

The applicant wishes to add an addition on a Georgian revival brick home and add a porte cochere and a 3 car garage/carriage style barn with a cupola. The materials on the addition will be brick but the barn could be a different material.

Dirk Schneider offered comments that:

1. The addition should be stepped back from the main structure.
2. The style of the columns on the porte cochere is not appropriate for a Georgian revival home.
3. Dormers are unnecessary.
4. The massing of the garage is not appropriate to the main structure.
5. The styling of the proposed additions do not necessarily fit the main structure.

Kathleen Cristman agreed that the massing of the barn is too large with respect to the home and she is concerned with the width of the garage.

John Mitchell maintained that brick material is what is appropriate for the barn. He also had concerns with the massing and felt that the ridgeline on the addition could be brought down successfully.

Kim Bailey said she would consider reducing the width by eliminating the man door on the barn and consider turning the garage sideways.

In summary, the Board would like to see the overall massing of the barn reduced, the height. width and depth reduced to bring to down at least to the level of the home.

- **18 Golf Avenue**

The Applicant is requesting an informal review for the construction of an oversized accessory structure. The applicant would like to construct a barn/garage on the property of a designated historic structure.

John and Christine Flannery were present.

The applicants are seeking approved for a carriage house/colonial style barn to fit in at the end of their driveway for additional storage and a dance studio for their children. The narrow end of the barn will face the road to be subordinate to the home. Two garage door bays will be in the front and two in the back and will be on the gable ends.

The Board appreciated the simplistic detail of the proposed structure. Comments were made that the barn is high compared to the house. Dirk Schneider indicated he would like to see a rendering of how the barn would sit on the site in respect to the home, but overall he could support a rendering similar to what was presented.

3280 Monroe Avenue

- The Applicant is returning to request informal design review for the exterior alteration and renovation to the existing McDonald's Restaurant. The project consists of alterations to the façade, the roof and the color of the building.

No representative was present.

Overall, the Board is happy with the new changes to the design of the elevations. They suggested a roof plan be submitted to show the Board what equipment is on top of the building.

OTHER – REVIEW OF 4/22/2021 MINUTES

Paul Whitbeck moved to accept the minutes of April 22, 2021 as written.

Dirk Schneider seconded.

All Ayes.

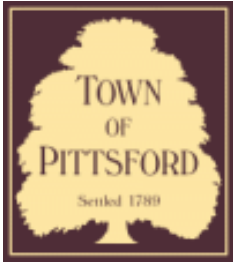
ADJOURNMENT

Dirk Schneider moved to close the meeting at 9:25 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000105

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 153 Mendon Center Road PITTSFORD, NY 14534

Tax ID Number: 178.05-1-87.1

Zoning District: RN Residential Neighborhood

Owner: Lilly, Brian W

Applicant: Lilly, Brian W

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a two story addition and porch. The approximately 360 square foot two story addition will replace the current two story area that was damaged by a motor vehicle. The approximately 480 square foot proposed porch will be built over an existing deck and wrap around the side of the home. The applicant did receive approval from the Zoning Board for setback relief.

Meeting Date: May 27, 2021



DONAHOE

GROUP

Project No: 20097

Date: 3/19/2021

Brian Lilly

153 Mendon Cnt. Rd.
Town of Pittsford, NY

Tax Map No:
178.05-1-87.1

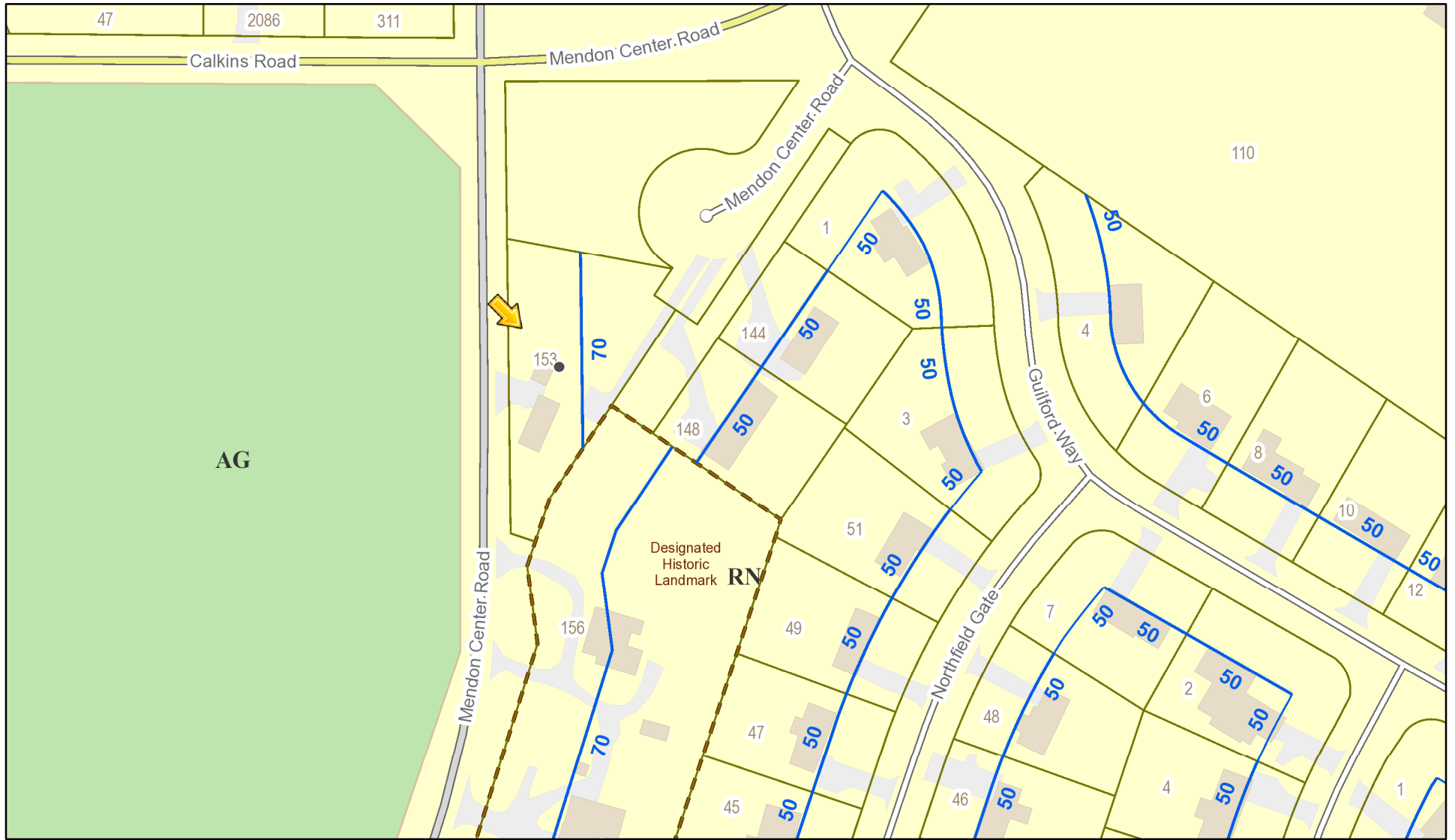




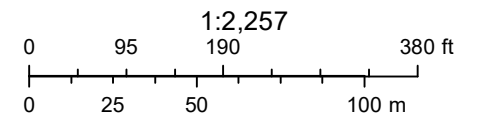
4503 Northwest Townline Rd
Marcellus, NY 13108
(315) 673-2883
info@donahoe.com

PROJECT # 20097 BRIAN LILLY
DATE: 3/19/2021 153 MENDON CNTR. RD.
TOWN OF PITTSFORD, NY
TAX MAP NO. 178.05-1-87.1

RN Residential Neighborhood Zoning

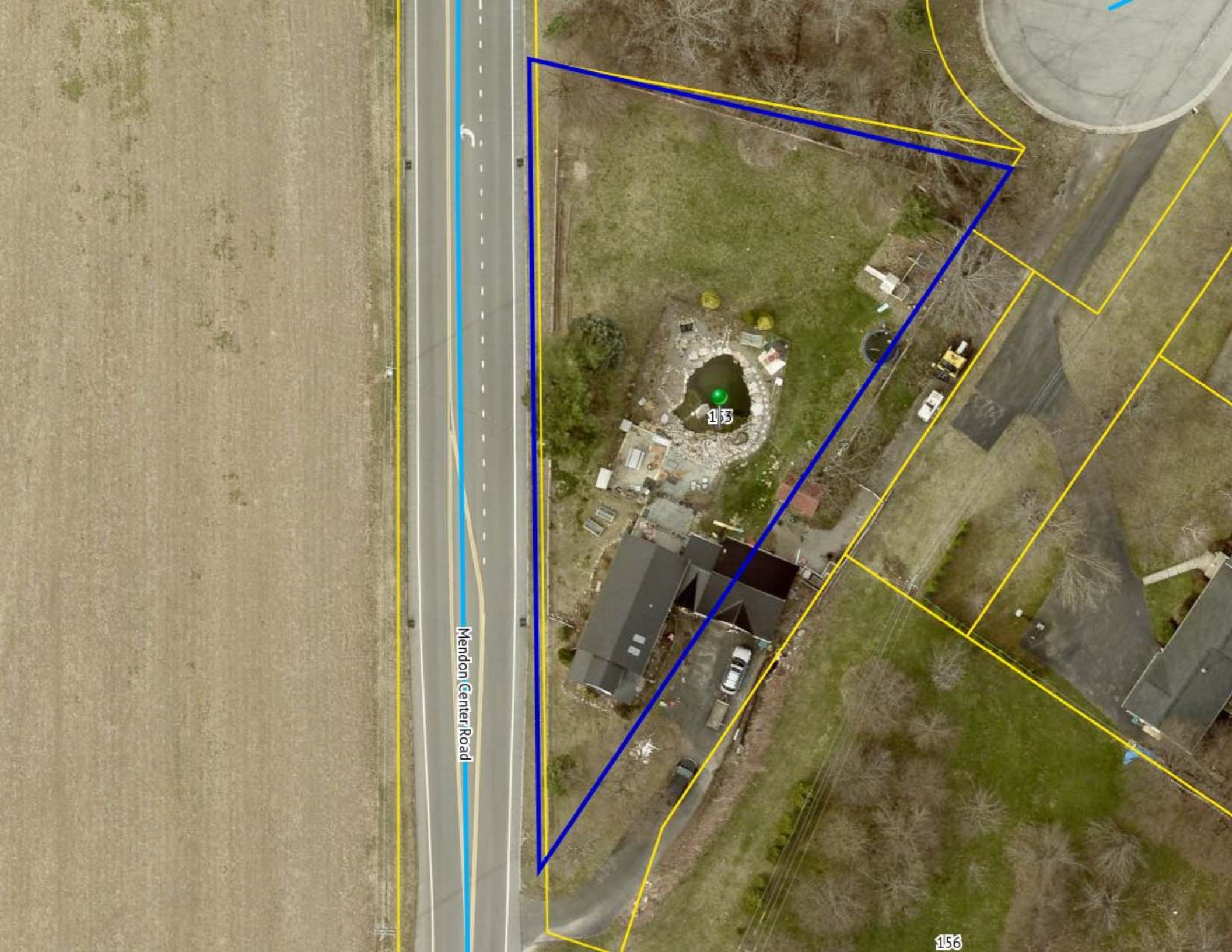


Printed May 20, 2021



Town of Pittsford GIS

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Mendon Center Road

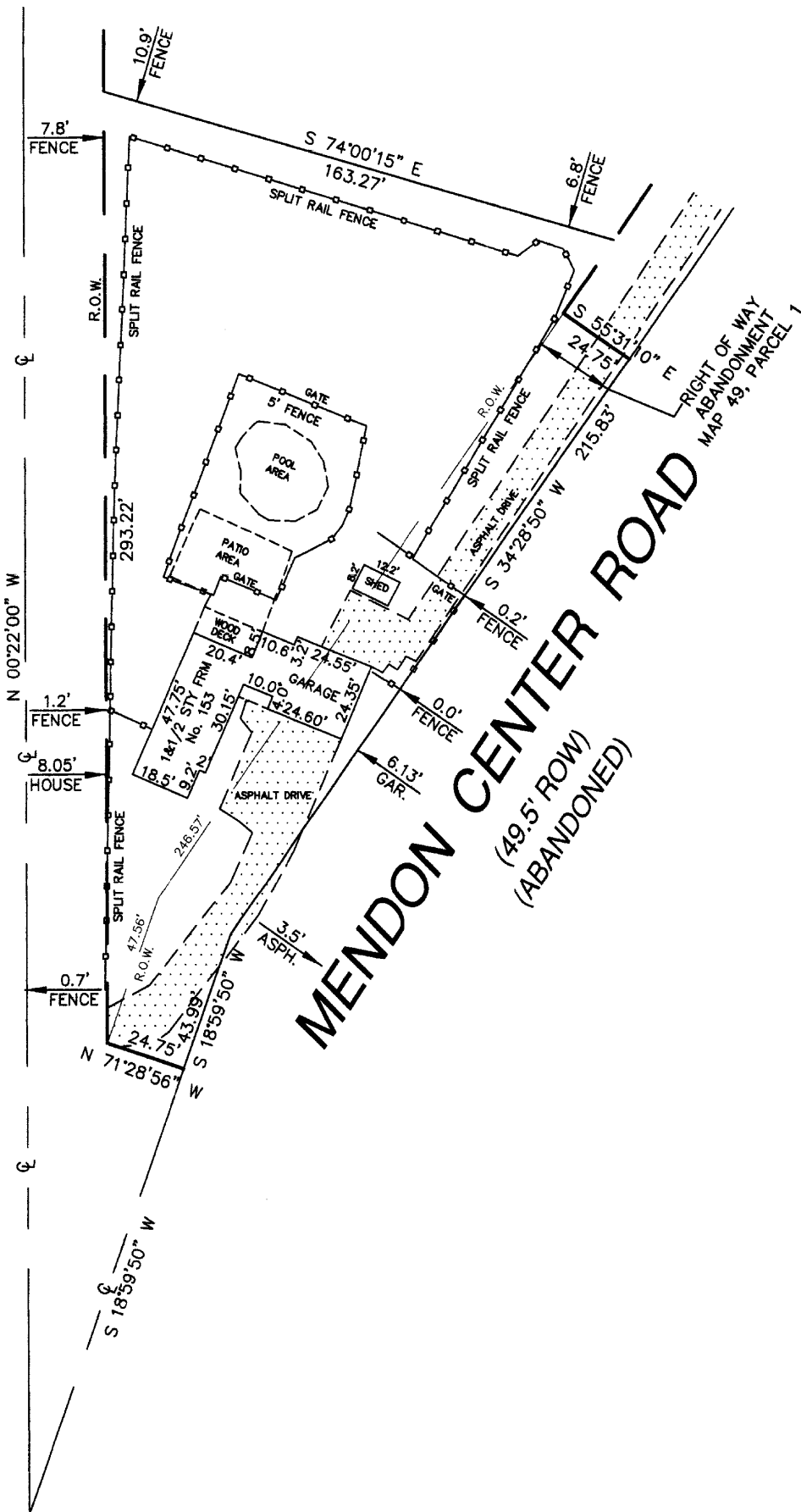
153

156



TOBEY ROAD
(49.5' ROW)

(49.5' ROW)



REFERENCES:

1. ABSTRACT PROVIDED BY FRONTIER ABSTRACT AND RESEARCH SERVICES, INC. SEARCH No. 511670, DATED JUNE 18, 2014
2. DEED; LIBER 10796, PAGE 343
3. MAP OF RIGHT OF WAY ABANDONMENT BY KOCHER SURVEYING, P.C., DATED 03/17/2004, MAP 49, PARCEL 1

CERTIFICATION:

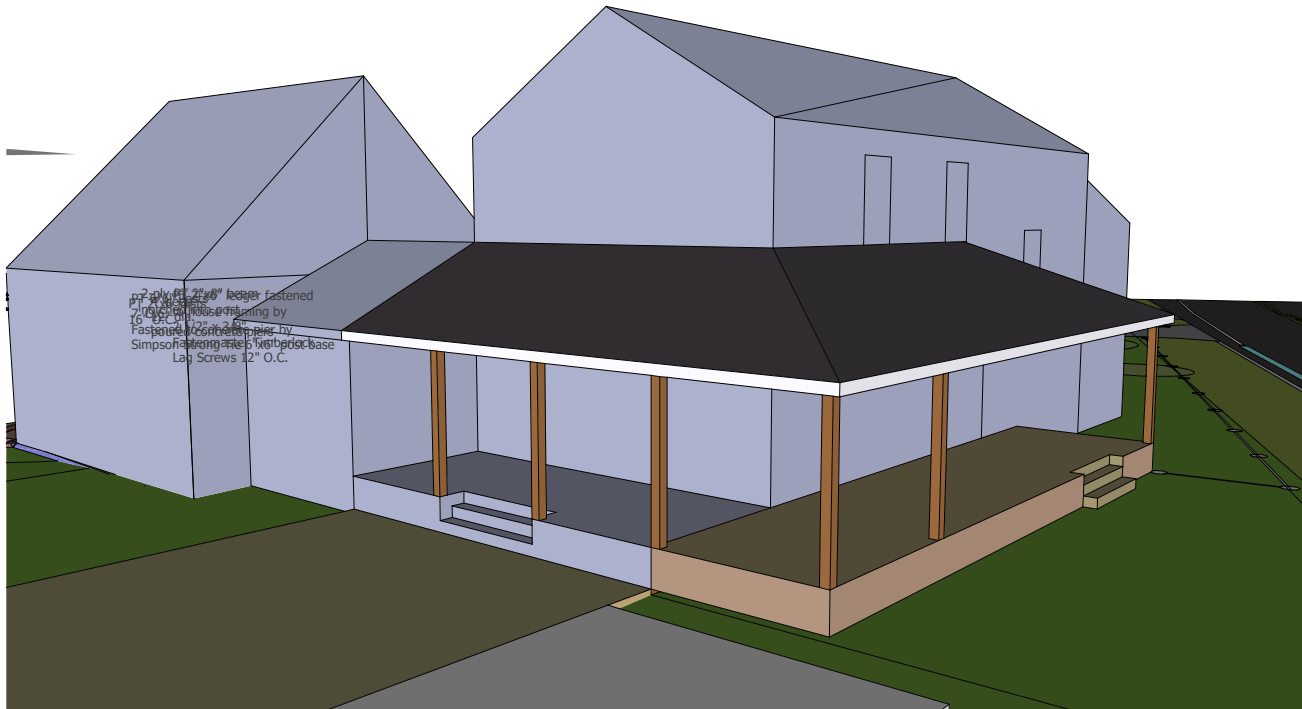
I, ROBERT S. BANNERMAN, HEREBY CERTIFY TO; BRIAN W. LILLY, LAUREN K. LILLY, USAA FEDERAL SAVINGS BANK, ITS SUCCESSORS AND/OR ASSIGNS, CONSOLIDATED LENDERS SERVICES, LLC, THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE, AND ALBERT S. KUSAK, ESQ., THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED UNDER MY DIRECTION ON 09/18/09. THIS PROPERTY WAS FIELD INSPECTED ON 03/08/2021 MAP REVISED TO SHOW CHANGES.

Robert S. Bannerman 3-16-21
ROBERT S. BANNERMAN L.S. 050507 DATE

REVISED 03/16/2021
REVISED 07/23/2014



TITLE: INSTRUMENT SURVEY MAP	Robert S. Bannerman, L.S. Survey & Mapping 187 WIDGER ROAD, SPENCERPORT, NEW YORK 14559-9744 (585)293-2988 RBANNERMAN@ROCHESTER.RR.COM	PROJECT SURVEYOR: R.S.B.
		DRAFTED BY: R.S.B.
PROJECT: 153 MENDON CENTER ROAD LOT 14, TOWNSHIP 12, RANGE 5, PHELPS AND GORHAM PURCHASE TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK	UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING THE SEAL OF A LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW	CHECKED BY: R.J.P.
		SCALE: 1"=50'
		DATE: 09/19/09

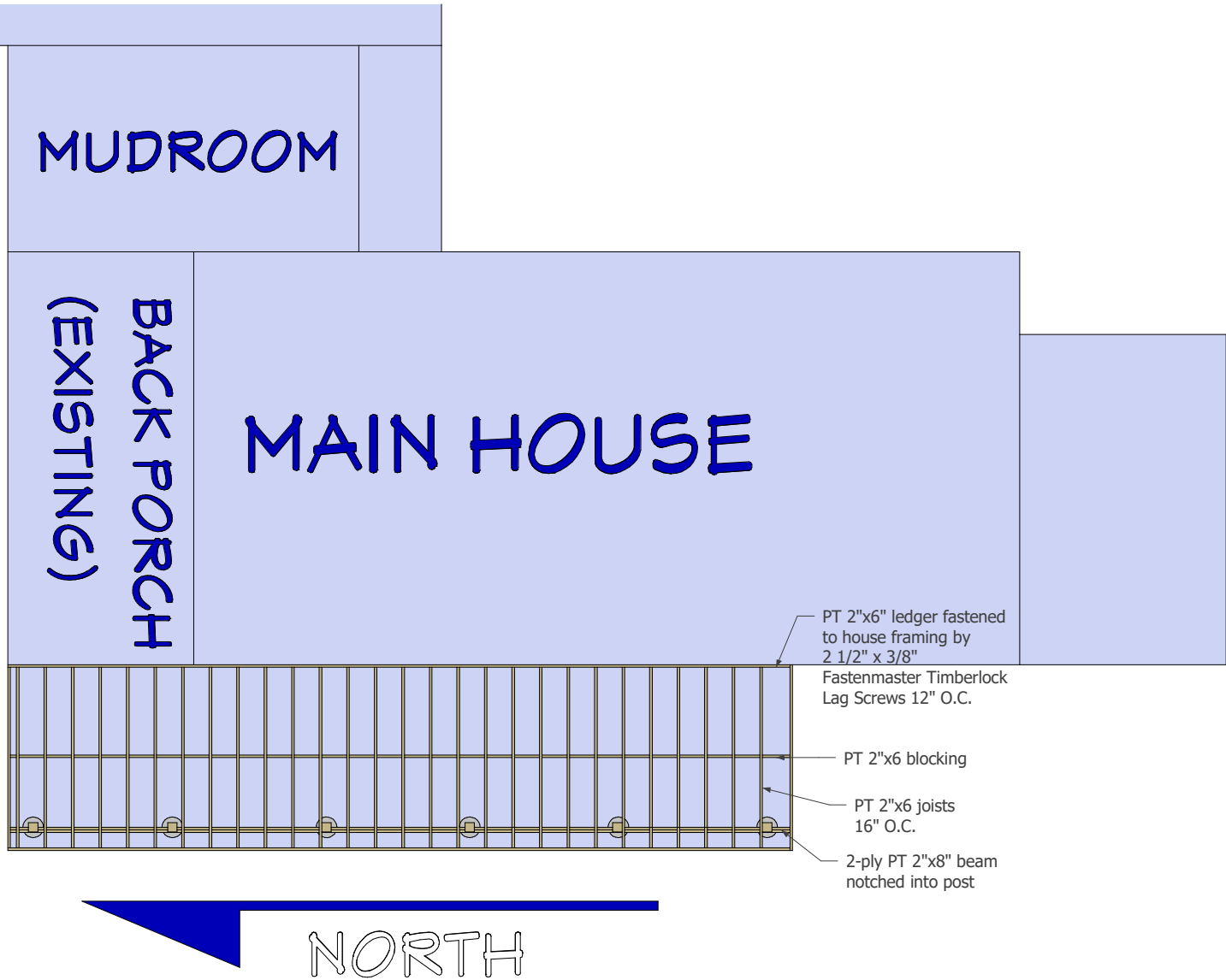


4503 Northwest Townline Rd.
Marcellus, NY 13108
(315) 673-2883
info@donahogroup.com

Project No.: 20097
Date: 3/19/2021

Brian Lilly
153 Mendon Center Rd.
Town of Pittsford, NY
Tax Map No.: 178.05-1-87.1

FLOOR FRAMING

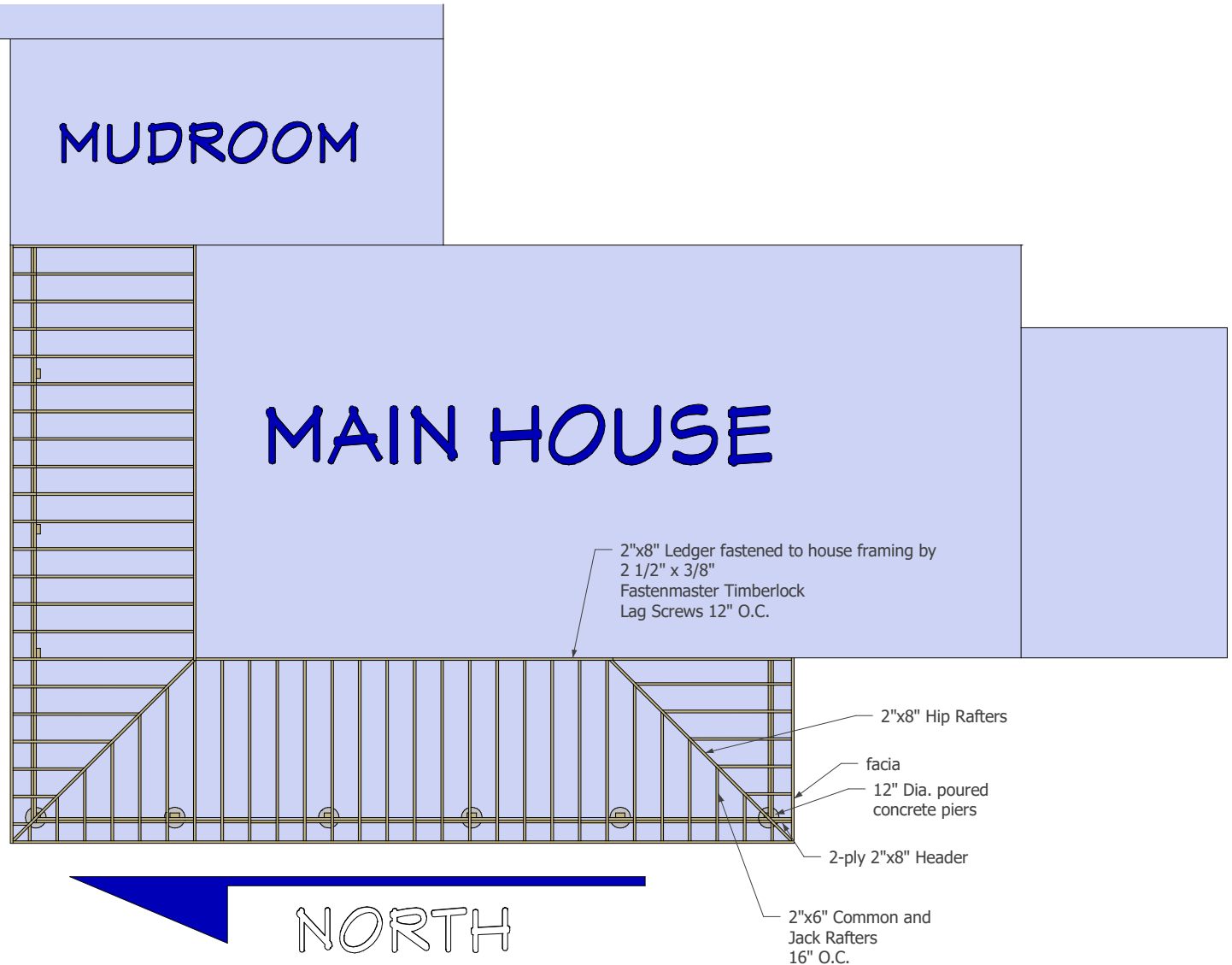


4503 Northwest Townline
Rd Marcellus, NY 13108
(315) 673-2883
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Project No.: 20097
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Brian Lilly
153 Mendon Center Rd.
Town of Pittsford, NY
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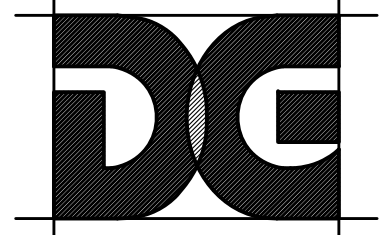
ROOF FRAMING



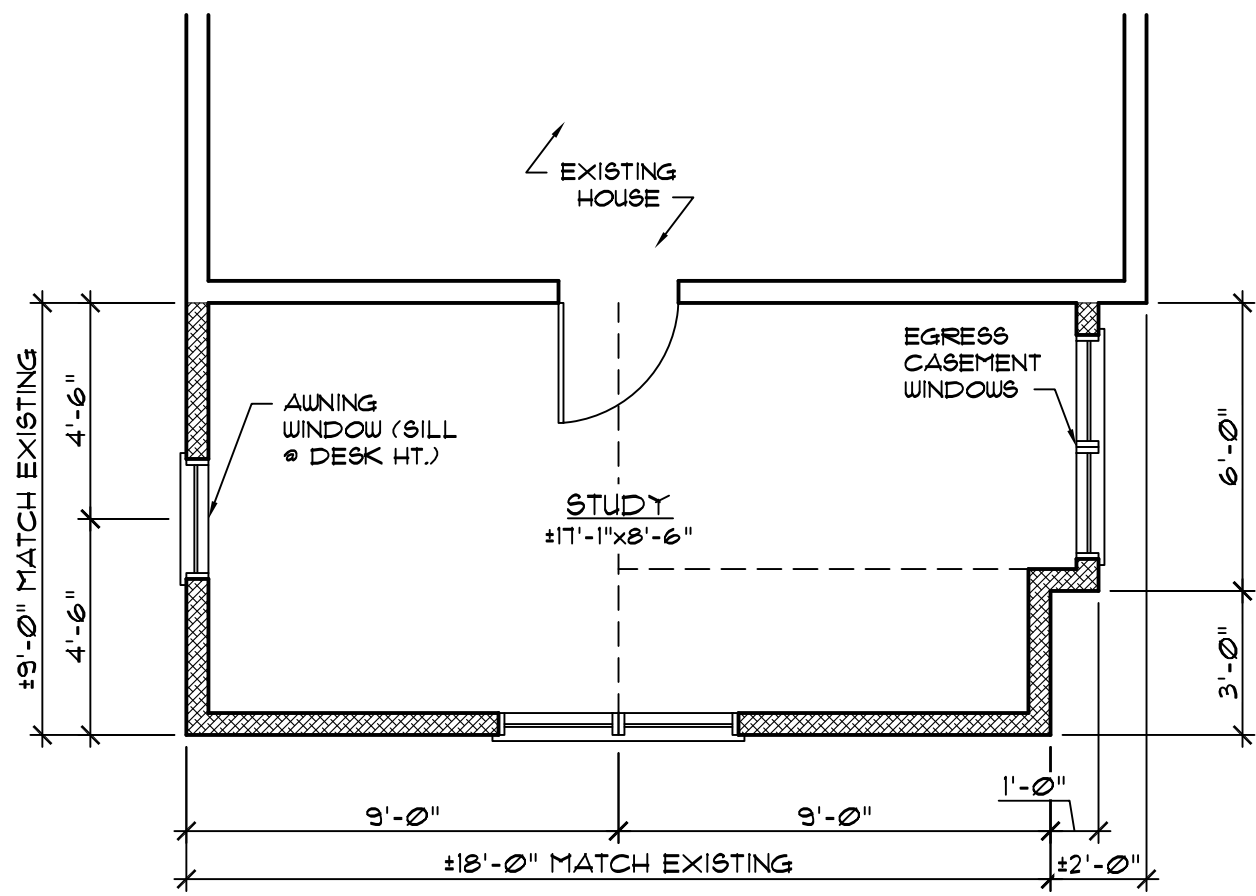
4503 Northwest Townline Rd.
Marcellus, NY 13108
(315) 673-2883
info@donahoe-group.com

Project No.: 20097
Date: 3/19/2021

Brian Lilly
153 Mendon Center Rd.
Town of Pittsford, NY
Tax Map No.: 178.05-1-87.1



DONAHOE GROUP
 4503 NORTHWEST TOWNLINE RD.
 MARCELLUS, NEW YORK 13108
 315 673 2883 FAX 315 673 3300



SECOND FLOOR PLAN

1/4" = 1'-0"

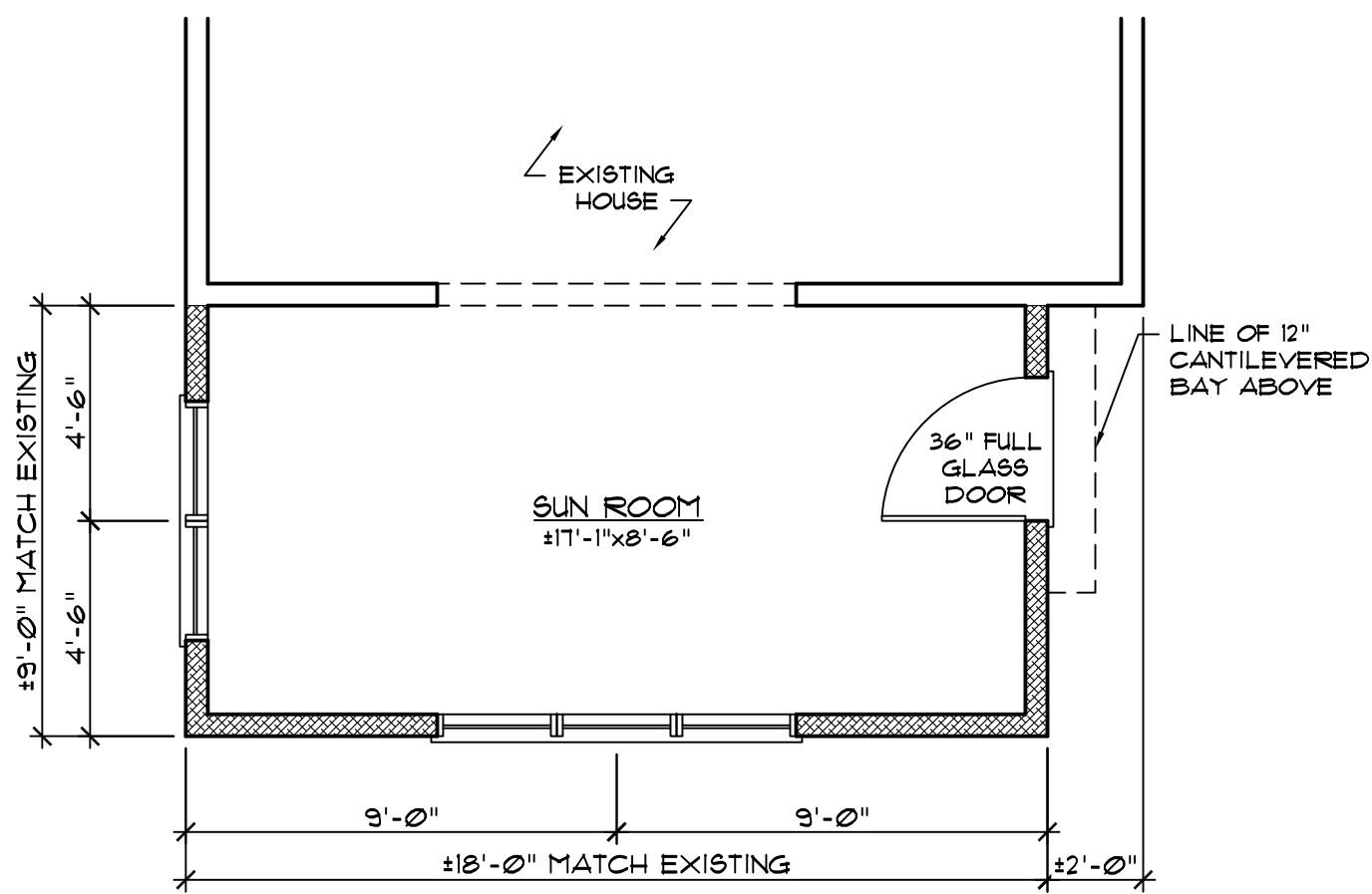


WEST ELEVATION

1/4" = 1'-0"

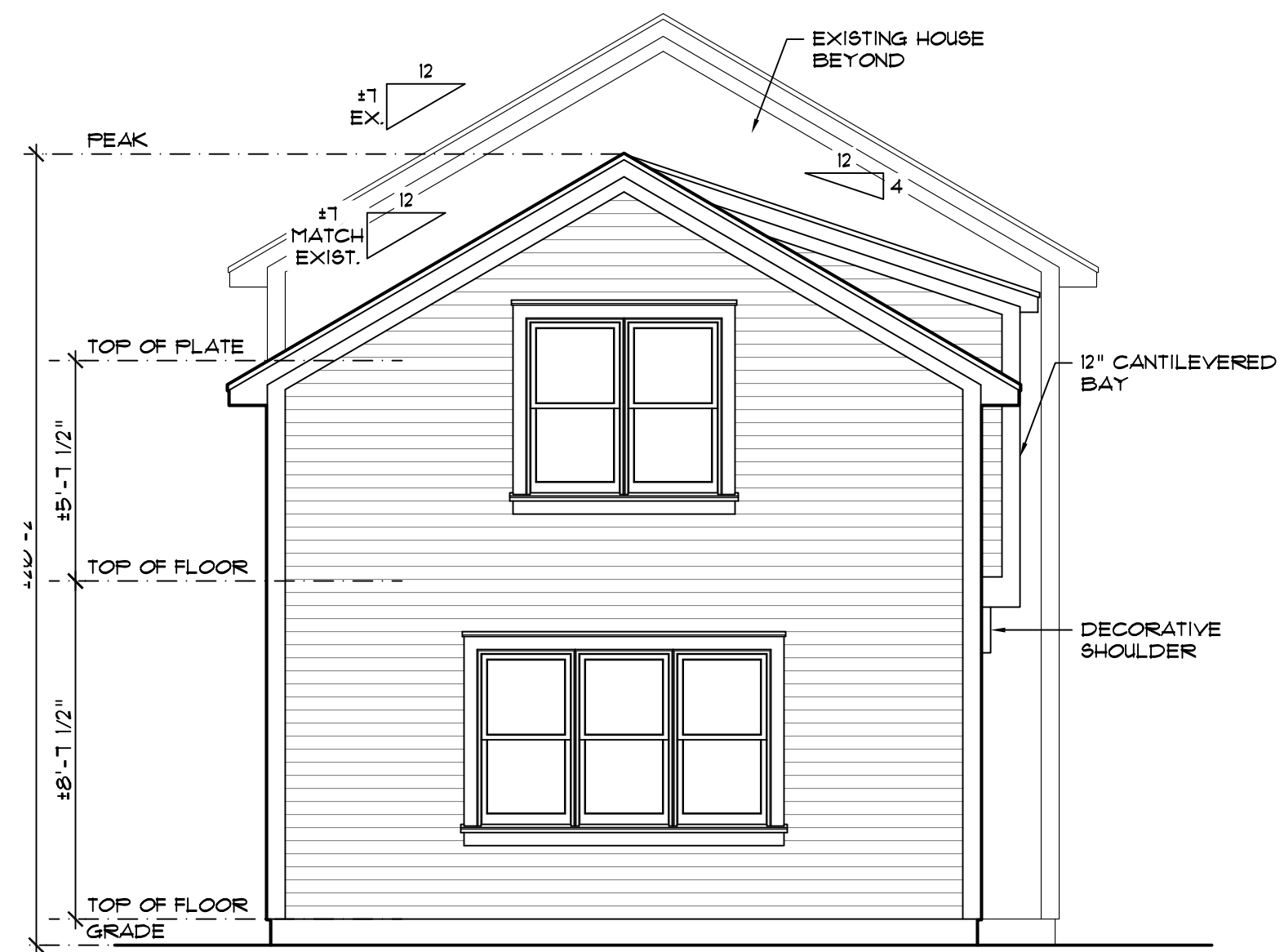
EAST ELEVATION

1/4" = 1'-0"



FIRST FLOOR PLAN

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

ADDITION & ALTERATIONS FOR:
BRIAN LILLY
 153 MENDON CENTER ROAD
 PITTSFORD, NEW YORK 14534

PLANS & ELEVATIONS

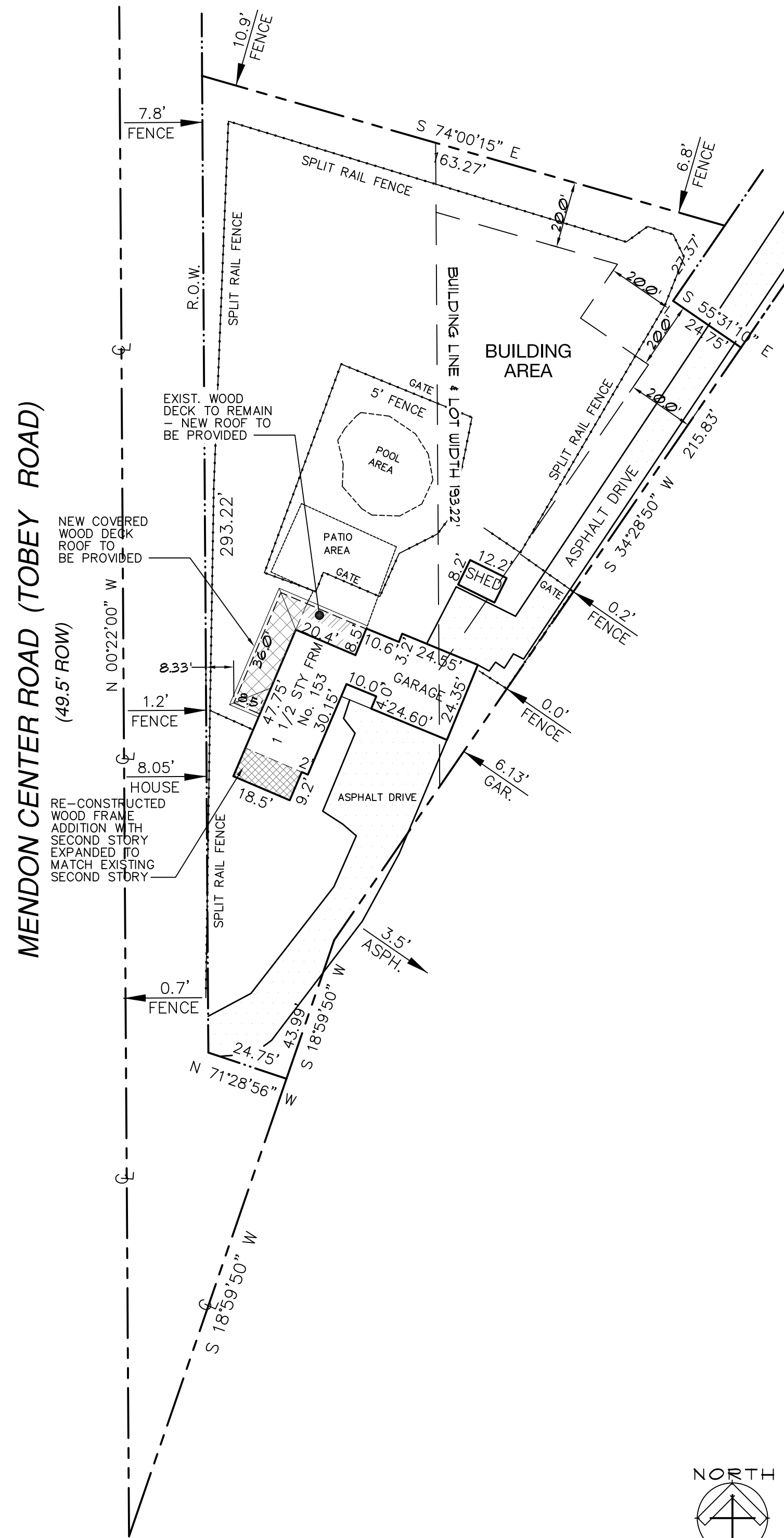
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DATE 03/17/2021	SUBMISSION
PROJECT 2009T	

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A = 1

	EXISTING	PROPOSED	REQUIRED
USE	ONE FAMILY DETACHED DWELLING	ONE FAMILY DETACHED DWELLING	PERMITTED
LOT SIZE	27,918 SF. / 0.64 Ac.	27,918 SF. / 0.64 Ac.	****
MAXIMUM LOT COVERAGE	24.79%	25.89%	40%
HOUSE/GARAGE	1,733 SF	1,733 SF	
PORCH COVERED	39 SF	39 SF	
DECK	165 SF	0 SF	
DECK COVERED	0 SF	471 SF	
PATIO	797 SF	797 SF	
SHED	100 SF	100 SF	
POOL	688 SF	688 SF	
DRIVEWAY	3,399 SF	3,399 SF	
LOT COVERAGE TOTAL	6,921 SF	7,227 SF	11,167 SF.
MAX. BUILDING FOOTPRINT			
HOUSE/GARAGE	1,733 SF	1,733 SF	
PORCH COVERED	39 SF	39 SF	
DECK COVERED	0 SF	471 SF	
SHED	100 SF	100 SF	
BUILDING FOOTPRINT TOTAL	1,872 SF	2,343 SF	4,396 SF.



SITE PLAN

1" = 30'-0"

SITE INFORMATION IS OBTAINED FROM INSTRUMENT SURVEY MAP - DONE BY ROBERT S. BANNERMAN, L.S. - DATED 03/16/2021 ADDITIONAL INFORMATION BY GUY A. DONAHOE, R.A.



DONAHOE GROUP
4503 NORTHWEST TOWNLINE RD.
MARCELLUS, NEW YORK 13108
315 673 2883 FAX 315 673 3300

SITE PLAN FOR:
BRIAN LILLY
153 MENDON CENTER ROAD
TN. OF PITTSFORD, NEW YORK 14534

SITE PLAN

DRAWN
LSA

CHECKED

DATE
03/19/2021

PROJECT
20091

DATE
SUBMISSION



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SD-1







172



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000090

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Chattingham Court PITTSFORD, NY 14534

Tax ID Number: 163.04-2-13

Zoning District: RN Residential Neighborhood

Owner: Kwarta, Brian J

Applicant: New York Patriot Construction Inc. DBA Patriot Construction

Application Type:

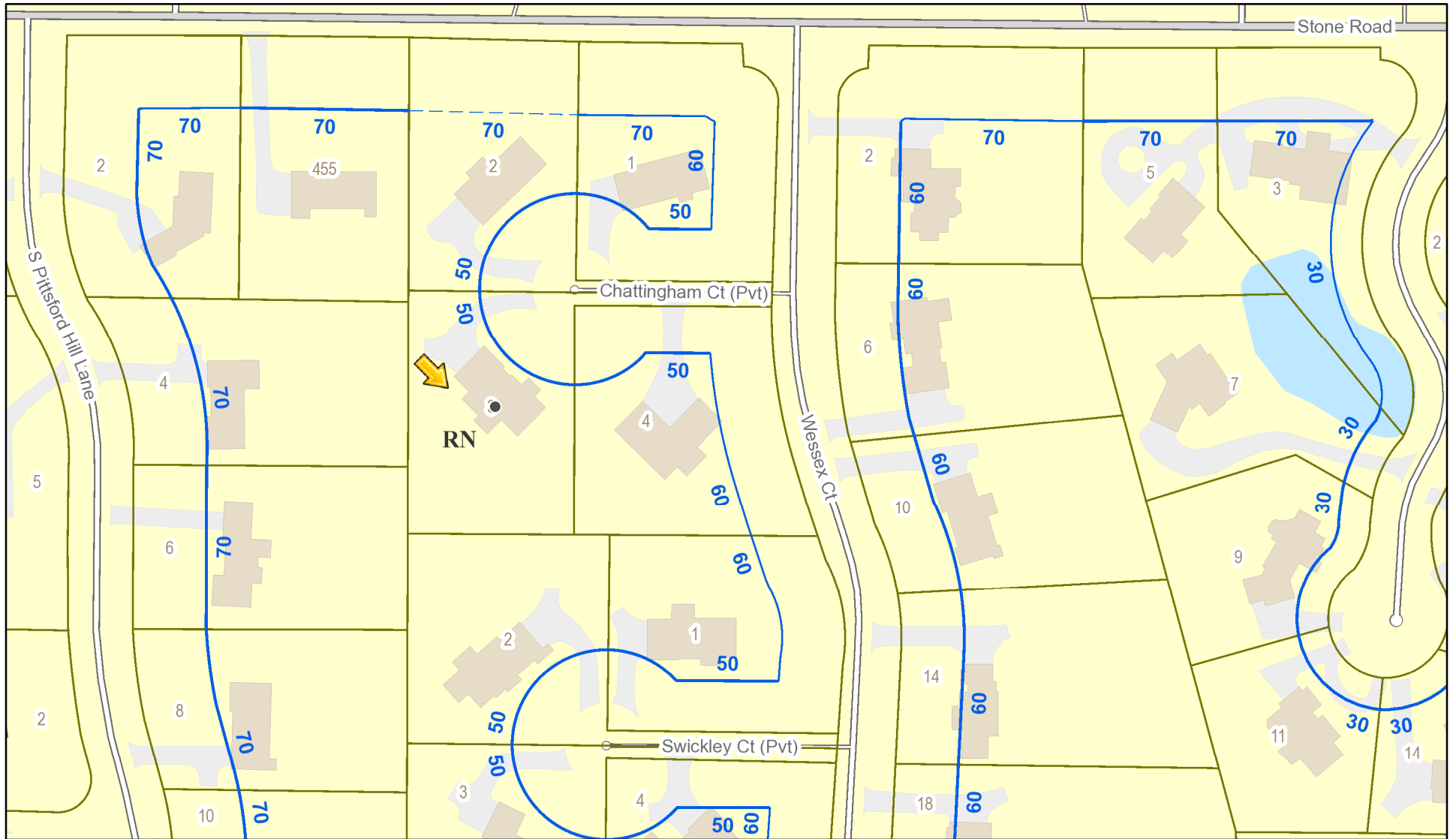
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a dormer. The dormer will be located to the rear of the home and will allow for increased square footage in the bathroom and bedroom.

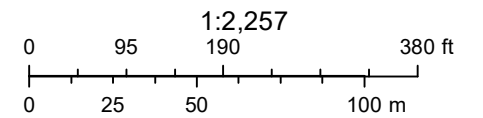
Meeting Date: May 27, 2021



RN Residential Neighborhood Zoning

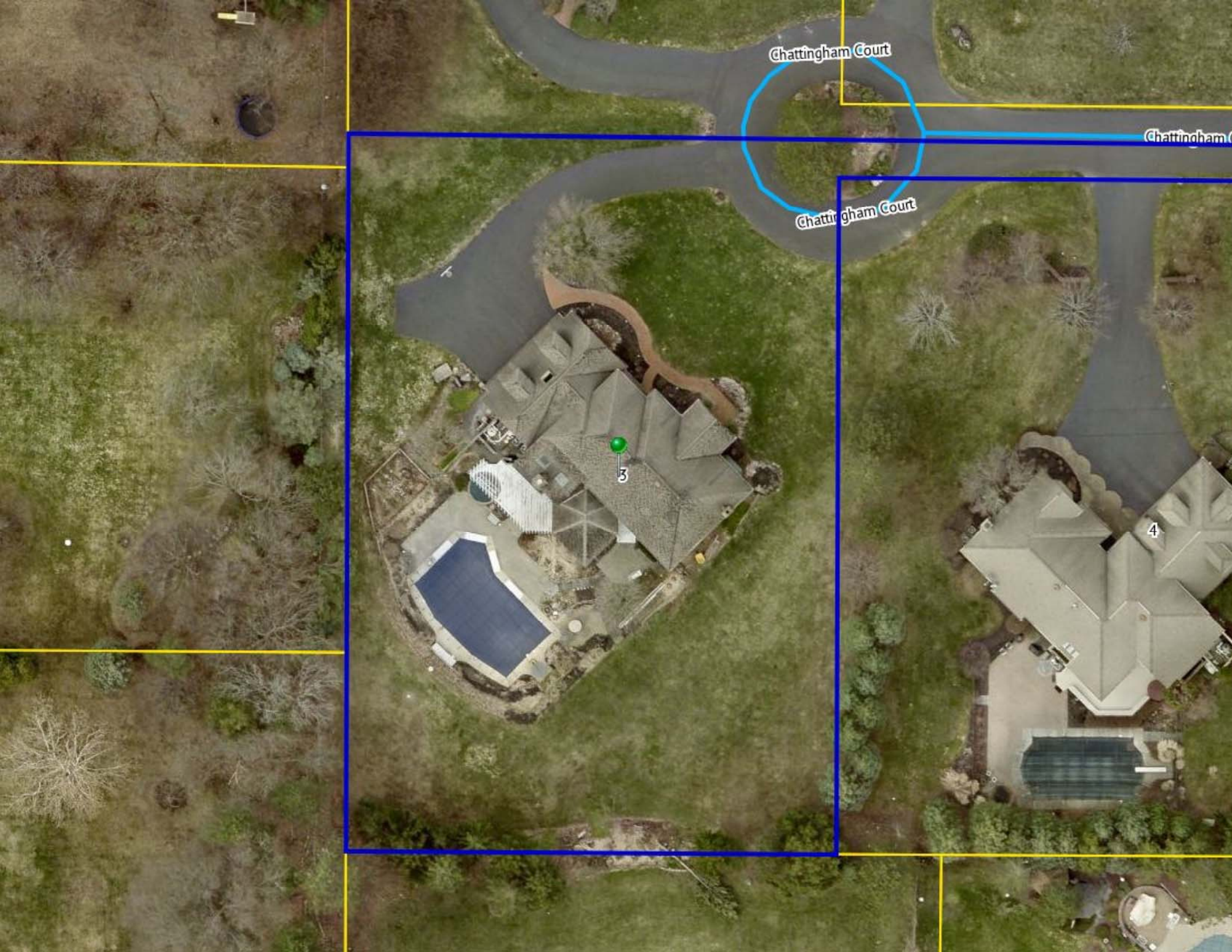


Printed May 20, 2021



Town of Pittsford GIS

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Chattingham Court

Chattingham Court

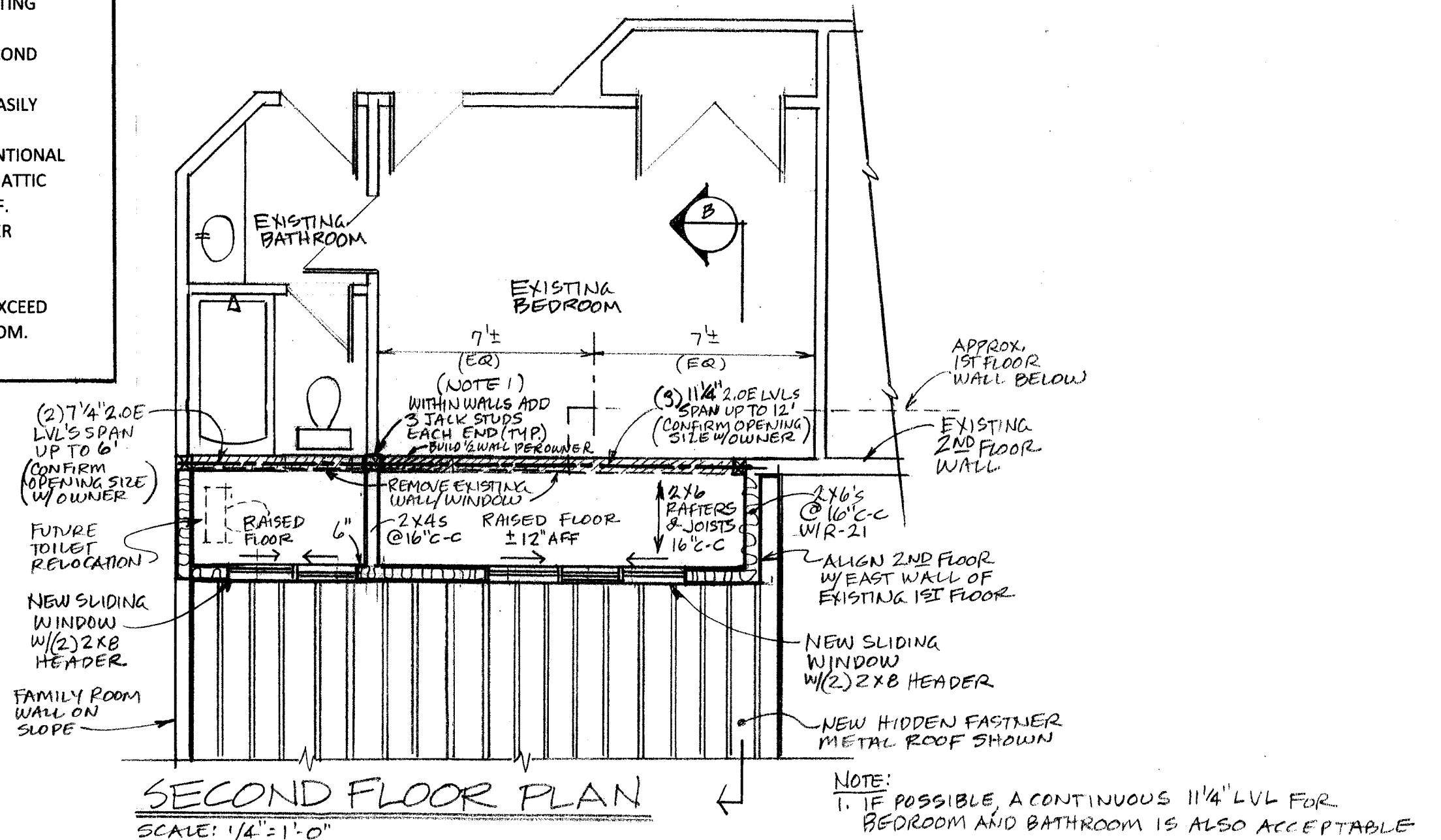
Chattingham Court

3

4

PROJECT NOTES

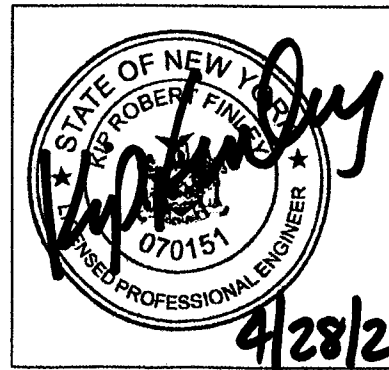
1. THIS PROJECT PRIMARILY REPLACES WORN SHINGLES ON THE ENTIRE RESIDENCE. AND, ALSO INCLUDES REPLACING THE EXISTING POORLY DRAINED AND DETERIORATED ROOF STRUCTURE ABOVE THE EXISTING SUNROOM.
2. AS PART OF THE SUNROOM ROOF STRUCTURE REPLACEMENT, NEW WINDOW BAY DORMERS ARE ADDED TO AN EXISTING SECOND FLOOR BEDROOM AND BATHROOM.
3. THE NEW CEILING JOISTS ARE SIZED TO CARRY THE SECOND FLOOR DORMERS AND SNOW LIVE LOAD.
4. THE LOW SLOPE PORTION OF THE ROOF CANNOT BE EASILY VENTILATED. THEREFORE, CLOSED CELL SPRAY FOAM INSULATION IS SPECIFIED FOR THE 1:12 ROOF. CONVENTIONAL FIBERGLASS INSULATION WITH BAFFLES TO MAINTAIN ATTIC INSULATION IS SPECIFIED FOR THE 6:12 DORMER ROOF.
5. A RUBBER EPDM ROOF SURFACE OR A HIDDEN FASTNER METAL STANDING SEAM ROOF ARE BOTH ACCEPTABLE OPTIONS FOR THE 1:12 SLOPE ROOF.
6. NEW SECOND FLOOR BEDROOM SLIDING WINDOWS EXCEED THE DAYLIGHT REQUIREMENT FOR THE 150 SF BEDROOM. SLIDING SASHES ARE SIZED TO PROVIDE EGRESS.



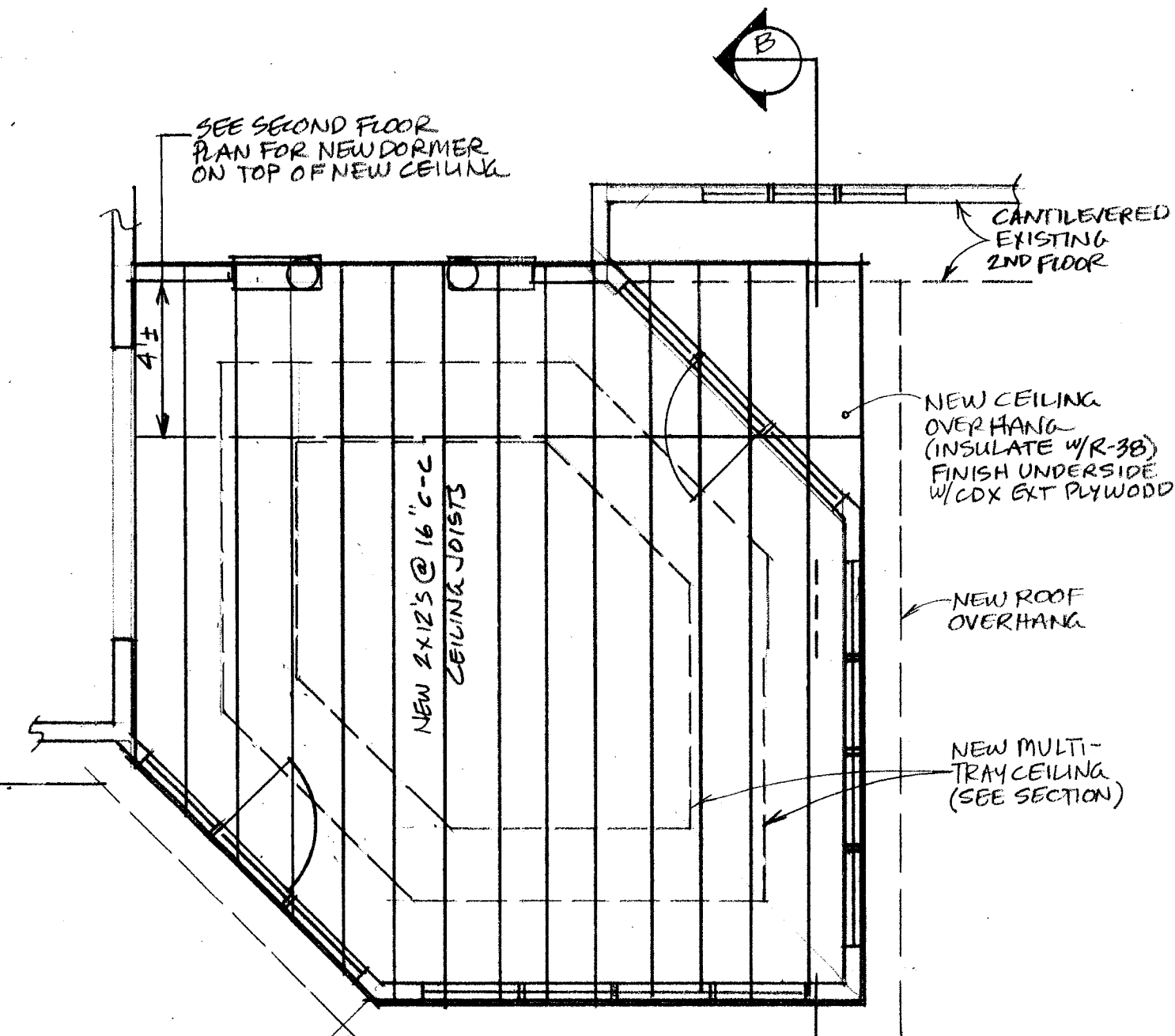
REVISIONS

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

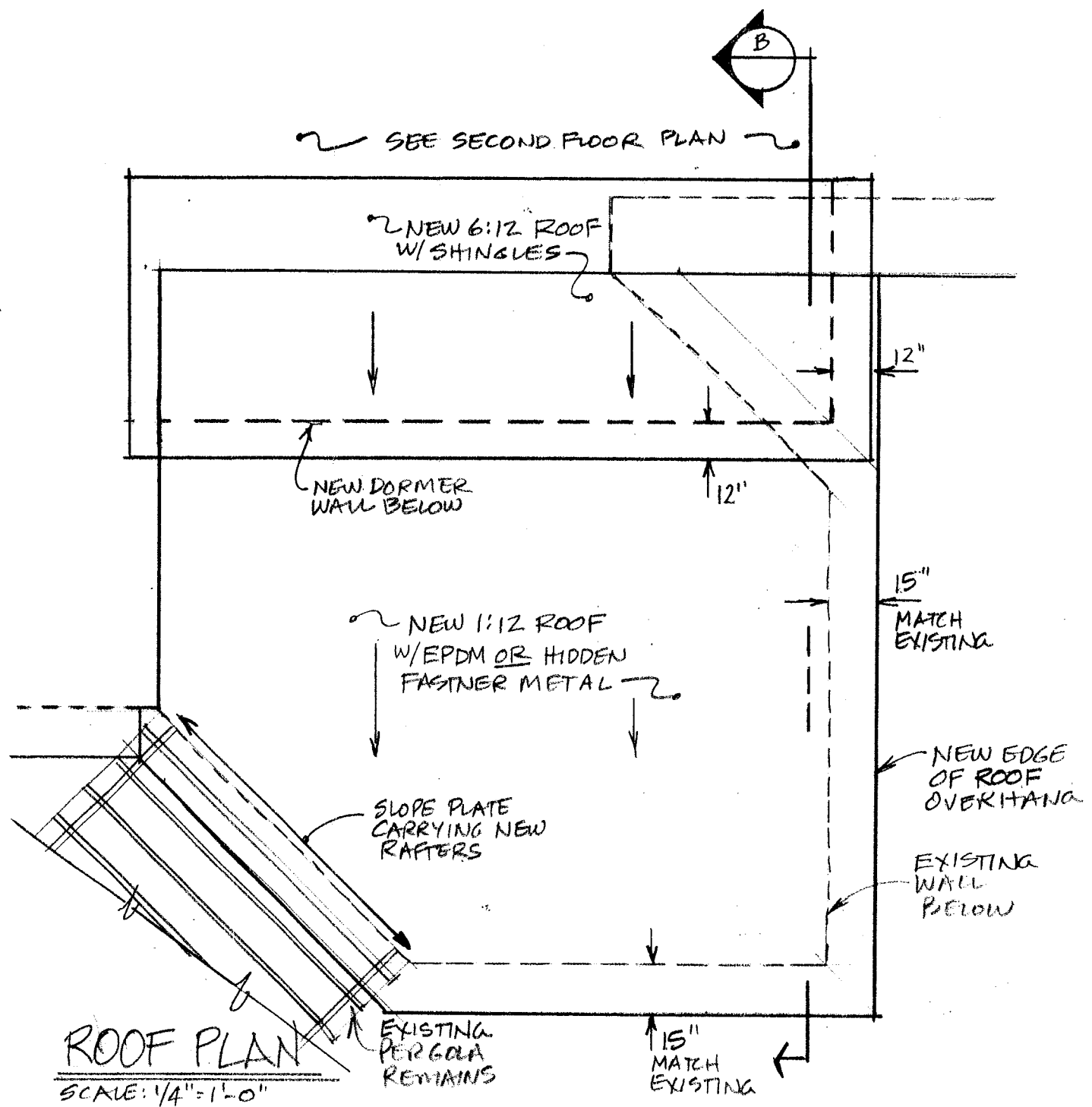
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KWARTA RESIDENCE
SUNROOM ROOF REPLACEMENT
3 Chattingham Ct.
Pittsford, New York
SHEET 1 OF 3



NEW CEILING PLAN
 SCALE: 1/4" = 1'-0" (ALSO SERVES AS DORMER FLOOR)

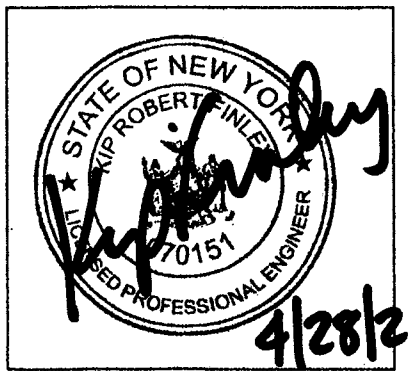


ROOF PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

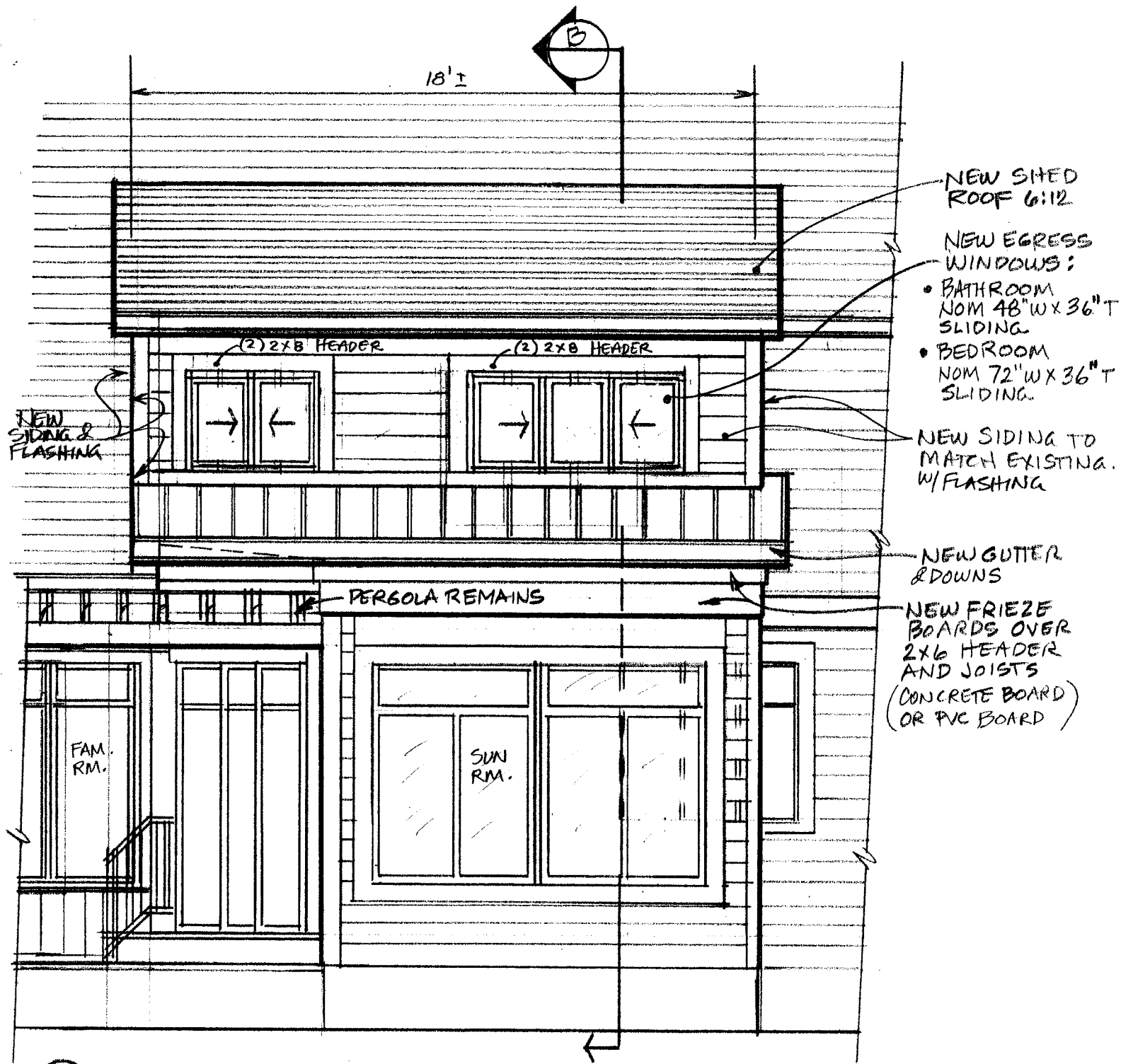
Kip Finley, PE
 d.b.a Victory Hill Land Company
 868 Winslow Road
 Churchville, NY 14428
kip.finley@gmail.com
 (585) 451-6538

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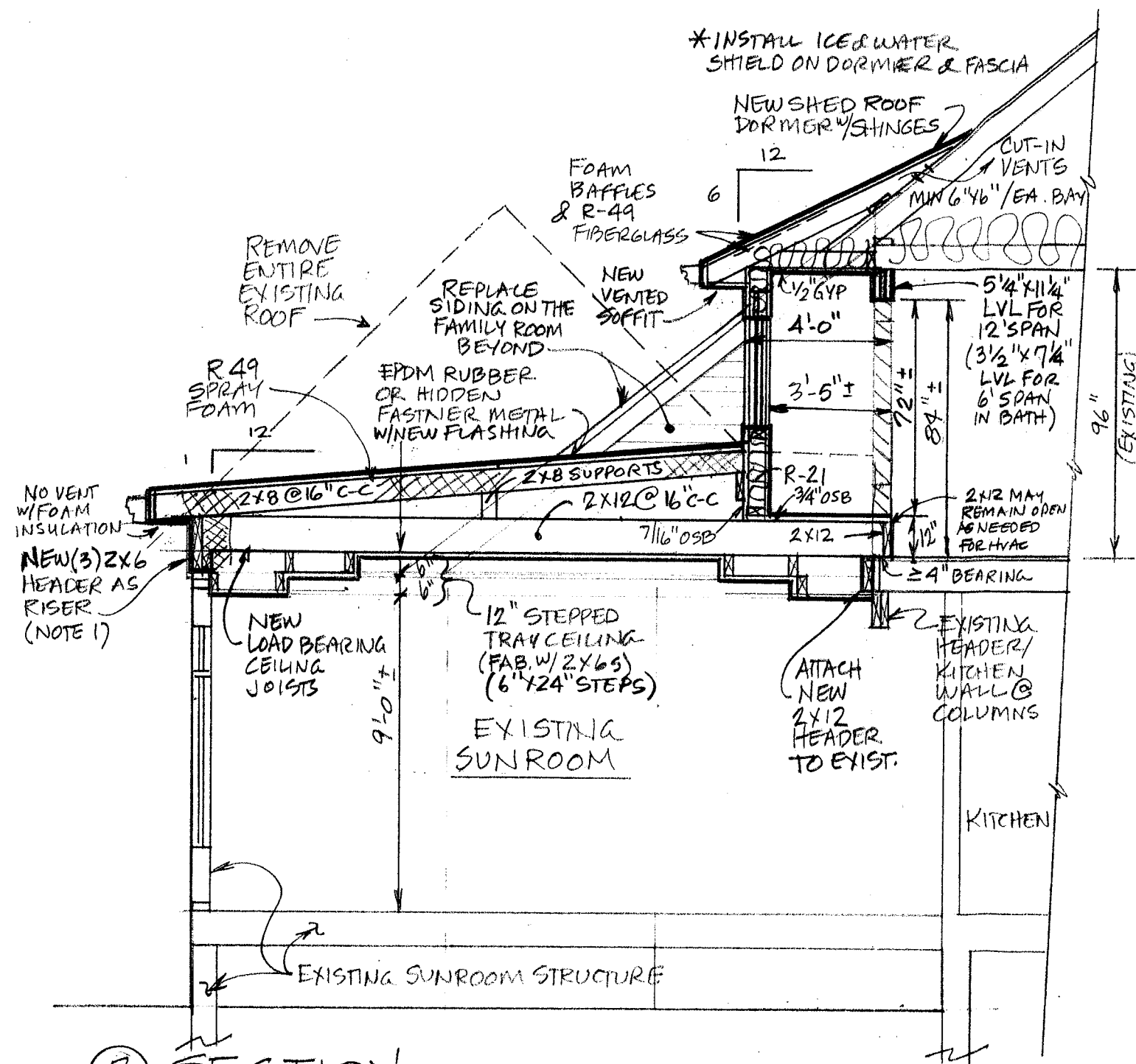


**KWARTA RESIDENCE
 SUNROOM ROOF REPLACEMENT**

3 Chattingham Ct.
 Pittsford, New York
 SHEET 2 OF 3



(A) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



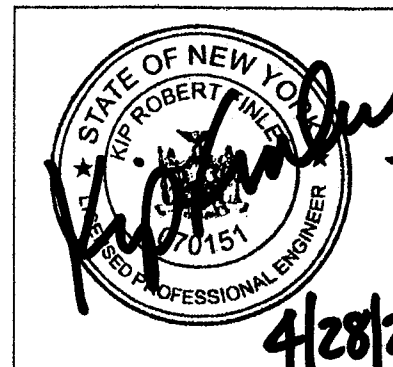
(B) SECTION
SCALE: 1/4" = 1'-0"

NOTES:
1. RISER IS TO ELEVATE TOP OF WALL TO MATCH 2ND FLOOR LEVEL, AND CLEAR OVER PERGOLA. (SUB FLOOR DECK)

REVISIONS

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Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

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KWARTA RESIDENCE
SUNROOM ROOF REPLACEMENT
3 Chattingham Ct.
Pittsford, New York
SHEET 3 OF 3









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000088

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 17 Callingham Road PITTSFORD, NY 14534

Tax ID Number: 151.12-1-25

Zoning District: RN Residential Neighborhood

Owner: Bobbie Persson

Applicant: Colebrook Home Remodeling

Application Type:

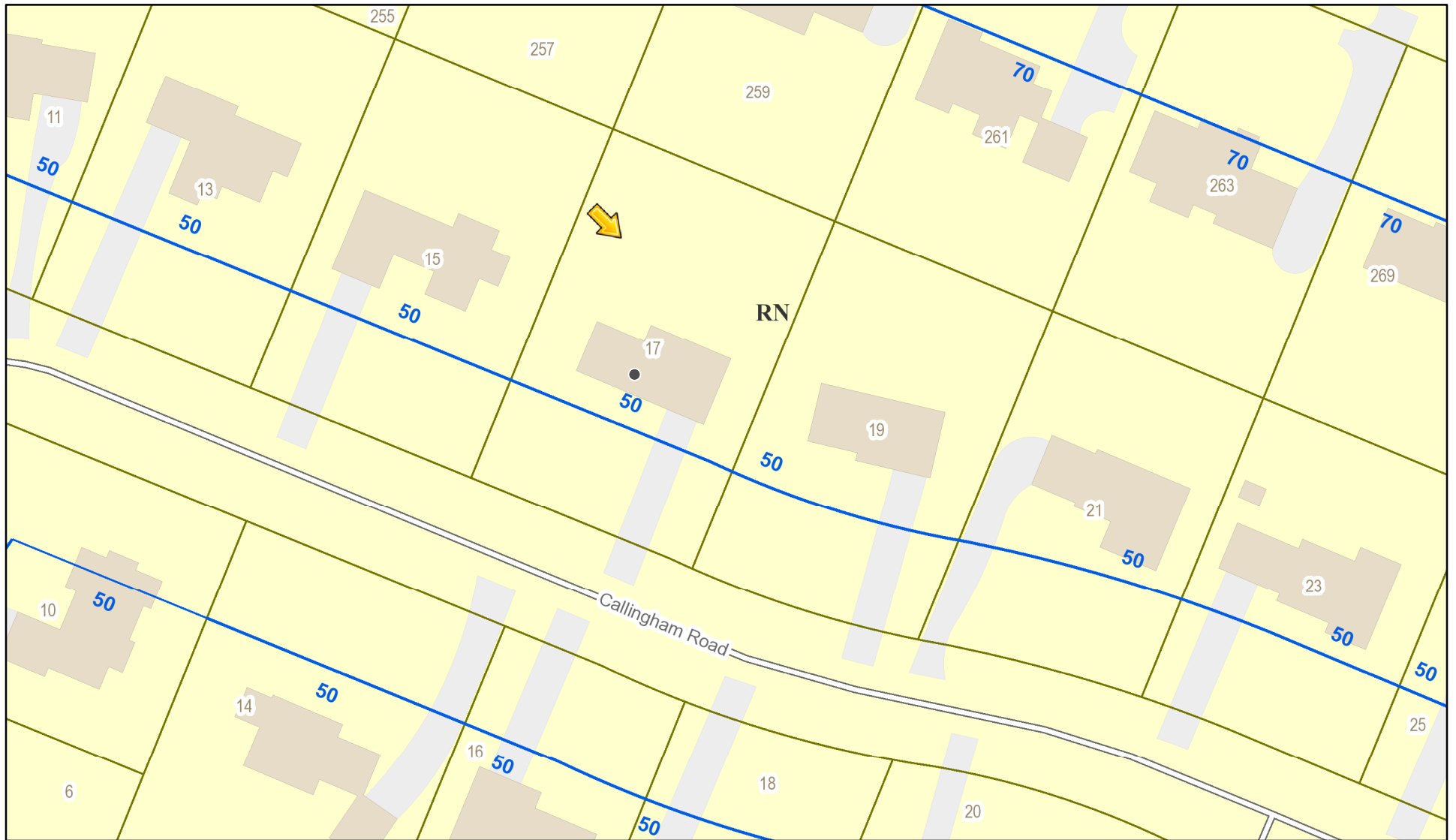
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a proposed bedroom, bathroom and laundry addition. The addition will be approximately 340 square feet and will be located on the west side of the home.

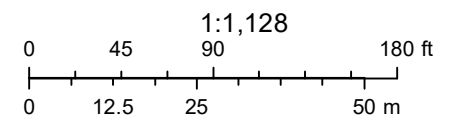
Meeting Date: May 27, 2021



RN Residential Neighborhood Zoning



Printed May 20, 2021



Town of Pittsford GIS

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261

15

17

19

Callingham Road

REFERENCES

- [A.] - EXECUTOR'S DEED -
THOMAS G. SMOCK (AS EXECUTOR)
TO: (APRIL 21, 2009) L. 10737, PG. 278
THOMAS G. SMOCK
- [B.] - SUBDIVISION MAP -
"SECTION "A" - SHERWOOD"
DATED JUNE 25, 1951, FILED IN L. 116 OF MAPS, PG. 48
PREPARED BY LOYD D. HAPP
- [C.] - ABSTRACT OF TITLE -
SEARCH #395159
LAST DATED JUNE 4, 2015
PREPARED BY FIRST AMERICAN TITLE INS. CO.

0 25 50 75



PLAT #15-M-180.DWG

NOTES

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING THE SEAL OF A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW"

"ONLY COPIES OF THIS SURVEY MAP MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES"

"THE CERTIFICATION ON THIS SURVEY MAP IS LIMITED TO THE PERSONS FOR WHOM THE SURVEY WAS PREPARED, THE LENDING INSTITUTION, AND THE TITLE INSURANCE COMPANY, ALL AS NOTED, AND IS NOT TRANSFERABLE"

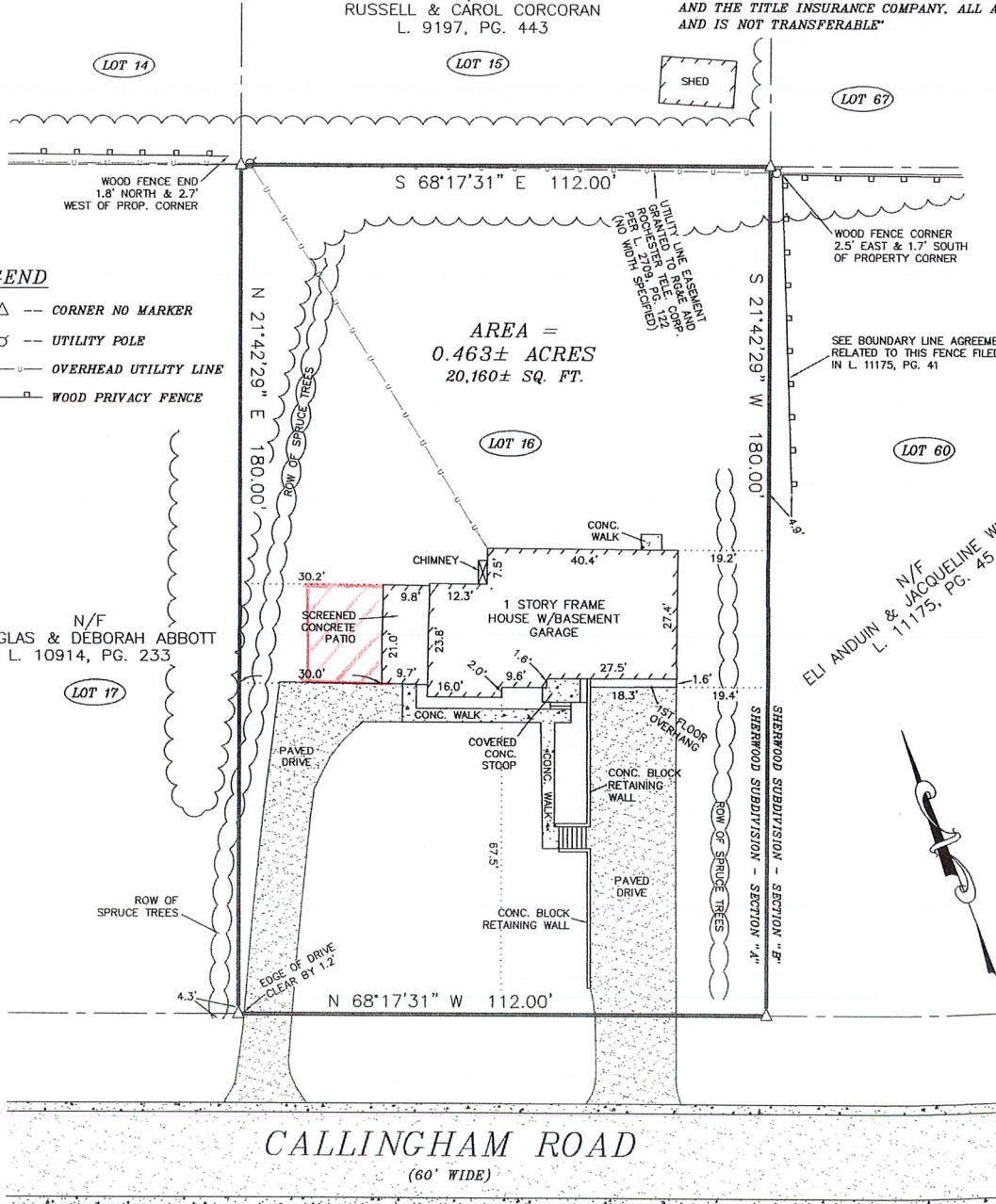
N/F
RUSSELL & CAROL CORCORAN
L. 9197, PG. 443

LEGEND

- Δ -- CORNER NO MARKER
- ⊙ -- UTILITY POLE
- U -- OVERHEAD UTILITY LINE
- □ -- WOOD PRIVACY FENCE

N/F
DOUGLAS & DEBORAH ABBOTT
L. 10914, PG. 233

N/F
ELI ANDJUN & JACQUELINE WITHERS
L. 11175, PG. 45



I HEREBY CERTIFY TO:

- [A.] CARMEN BAILEY-FRENCH
- [B.] VINCENT FRENCH
- [C.] SUSAN M. QUINN, ESQ.
- [D.] STEWART TITLE INSURANCE COMPANY
- [E.] PLAZA HOME MORTGAGE, INC. ISAOA/ATIMA

I AM A LICENSED LAND SURVEYOR AND THIS MAP DATED JUNE 30, 2015 IS BASED ON AN INSTRUMENT SURVEY COMPLETED ON JUNE 29, 2015 BY ME PER THE STANDARDS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

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SURVEY MAP

LANDS TO BE CONVEYED TO
CARMEN BAILEY & VINCENT
FRENCH

TAX LOT 151.12-1-25
SITUATE AT 17 CALLINGHAM ROAD
BEING LOT 16 OF SECTION "A" OF
THE SHERWOOD SUBDIVISION
TOWN OF PITTSFORD
COUNTY OF MONROE
STATE OF NEW YORK



RICHARD DAUGHERTY
PROFESSIONAL LAND SURVEYOR
4871 BELKNAP HILL ROAD
BRANCHPORT, NEW YORK 14418
PHONE 607-522-4702

RENOVATION PLAN SET

PERSSON RESIDENCE
 17 CALLINGHAM RD
 PITTSFORD, NY
 MONROE COUNTY
 TAX ID: xxx.xx-x-xx.xxx



PROJECT DATA

PROJECT DESCRIPTION AND DATA

OCCUPANCY: SINGLE FAMILY RESIDENTIAL
 CONSTRUCTION: TYPE 5B, COMBUSTIBLE
 ZONING: TBD

PROPOSED BUILDING AREA (GROSS SQUARE FOOTAGE)

BASEMENT LEVEL: UNALTERED
 FIRST FLOOR LEVEL: ~ 340 S.F. (ADDITION)
 SECOND FLOOR LEVEL: N/A

TOTAL FINISHED: ~ 340 S.F. (ADDITION)
 MECHANICAL/STORAGE: N/A
 PORCHES/DECKS: UNCHANGED

CLIMATIC AND GEOGRAPHIC DESIGN DATA

THESE PLANS ARE IN COMPLIANCE WITH THE APPLICABLE SECTIONS OF THE RESIDENTIAL AND ENERGY CONSERVATION CONSTRUCTION CODES OF NEW YORK STATE, 2015 VERSION.

GROUND SNOW LOAD: 65 PSF
 WIND SPEED: 115 MPH
 SEISMIC DESIGN CATAGORY: B
 WEATHERING: SEVERE
 FROST LINE DEPTH: 48"
 TERMITE: SLIGHT TO MODERATE
 ICE & WATER SHIELD UNDERLAYMENT: 36"
 FLOOD HAZARD: TBD BY ZONING OFFICIAL
 CLIMATIC ZONE: 5

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

ADAM J. DORN - ENGINEER
 281 GRANNIS ROAD
 CONSTANTIA, NY 13044
 (315) 525-3806
 ADAMJDORN@GMAIL.COM

ENGINEER:



NORTHSHORE ENGINEERING
 & DESIGN SERVICES

No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

PERSSON - RESIDENCE
 17 CALLINGHAM RD
 PITTSFORD, NY
 MONROE COUNTY
 TAX ID: xxx.xx-x-xx.xxx

Drawn By: AJD

Checked By:

Owner Approval:

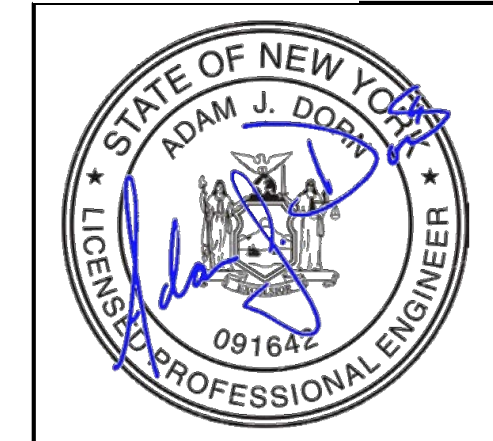
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Date: 5/4/2021

Drawing No:

A-1

ENGINEER SEAL

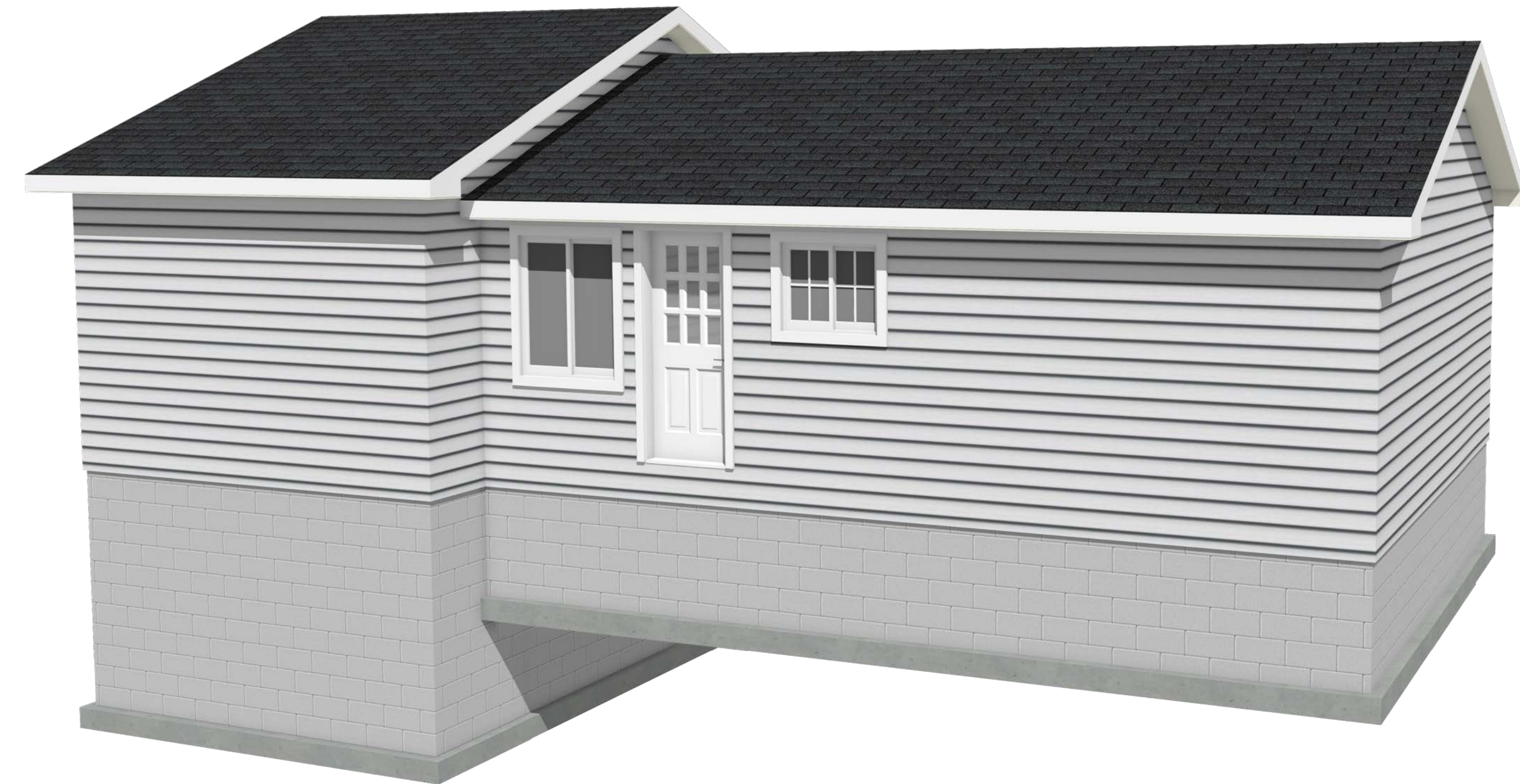


Drawing Title



EXISTING PERSPECTIVE VIEW(S)
N.T.S.

NOTE: ENTIRETY OF EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY.



PROPOSED PERSPECTIVE VIEW(S)
N.T.S.

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

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(315) 525-3806
ADAMJDORN@GMAIL.COM

ENGINEER:

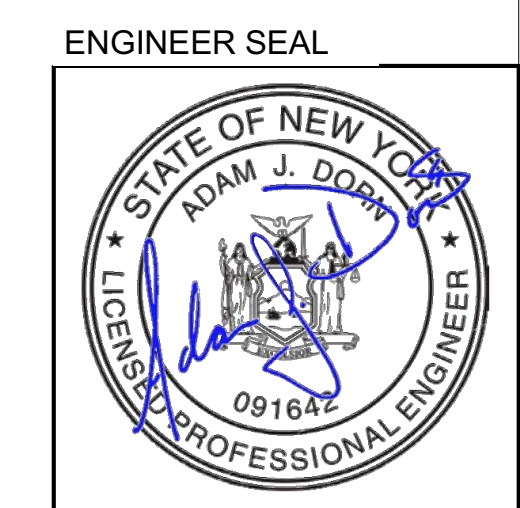


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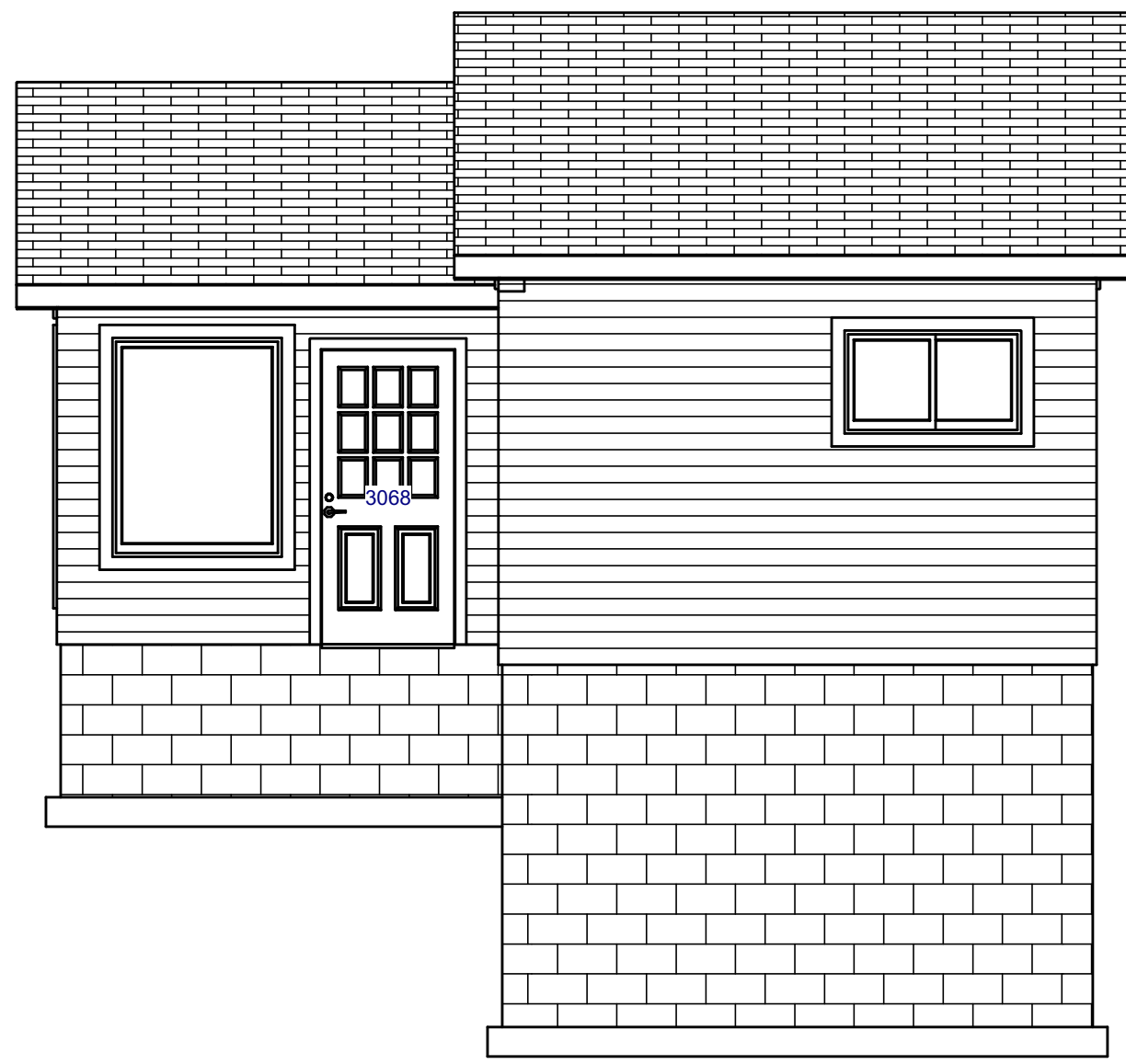
No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

PERSON - RESIDENCE
17 CALLINGHAM RD
PITTSFORD, NY
MONROE COUNTY
TAX ID: xxx.xx-x-xx.xxx

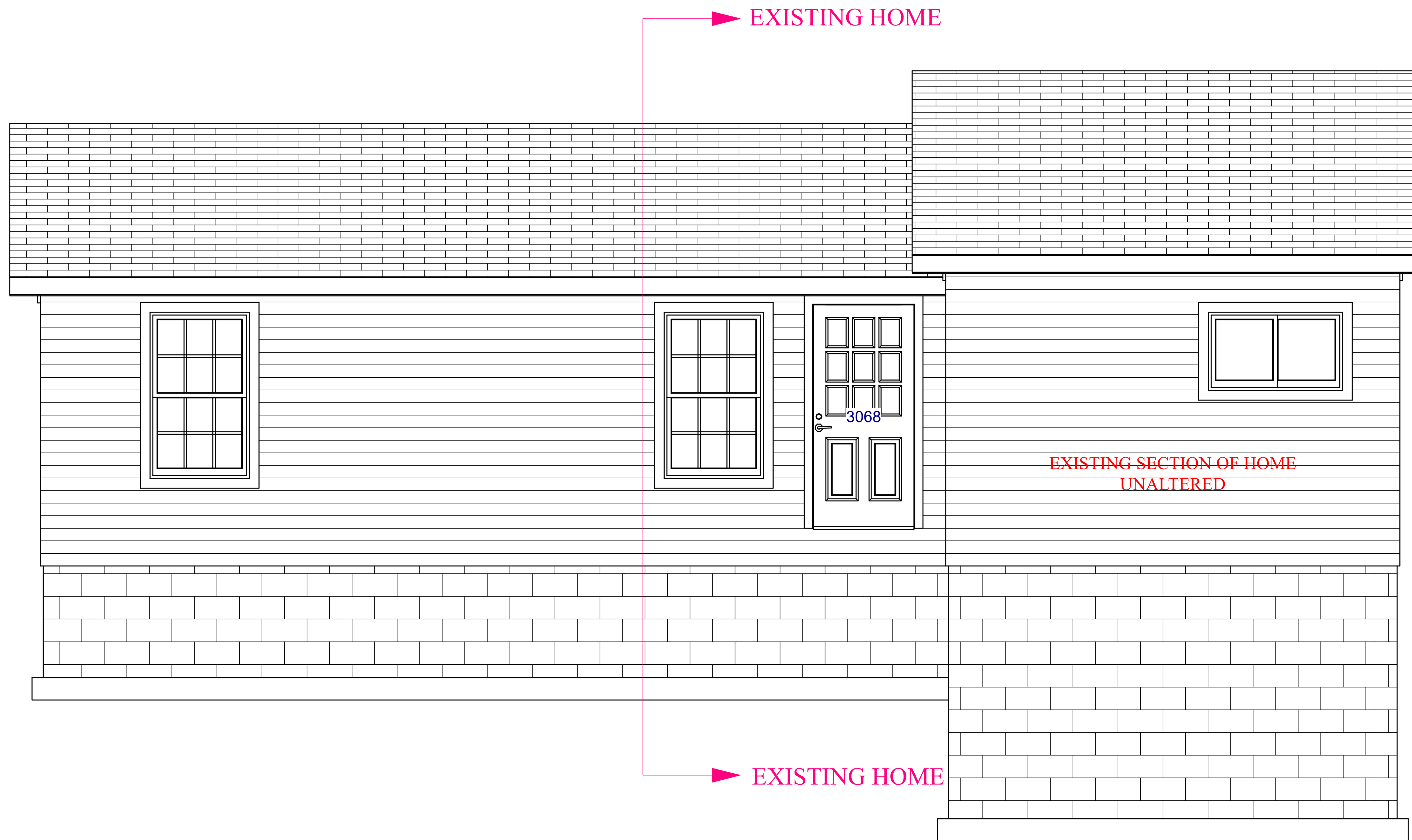
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Checked By:	
Owner Approval:	
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Date:	5/4/2021
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Drawing Title



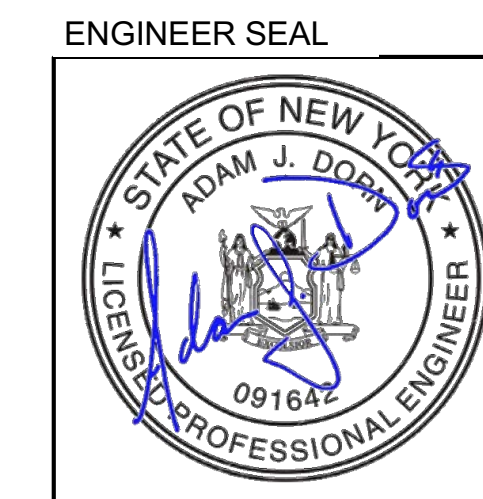
EXISTING FRONT ELEVATION VIEW
1/4" = 1'-0"



NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY

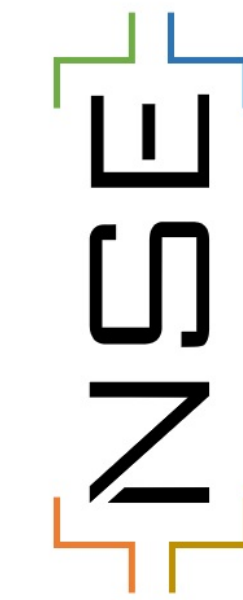
PROPOSED FRONT ELEVATION VIEW
1/2" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION



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ENGINEER:



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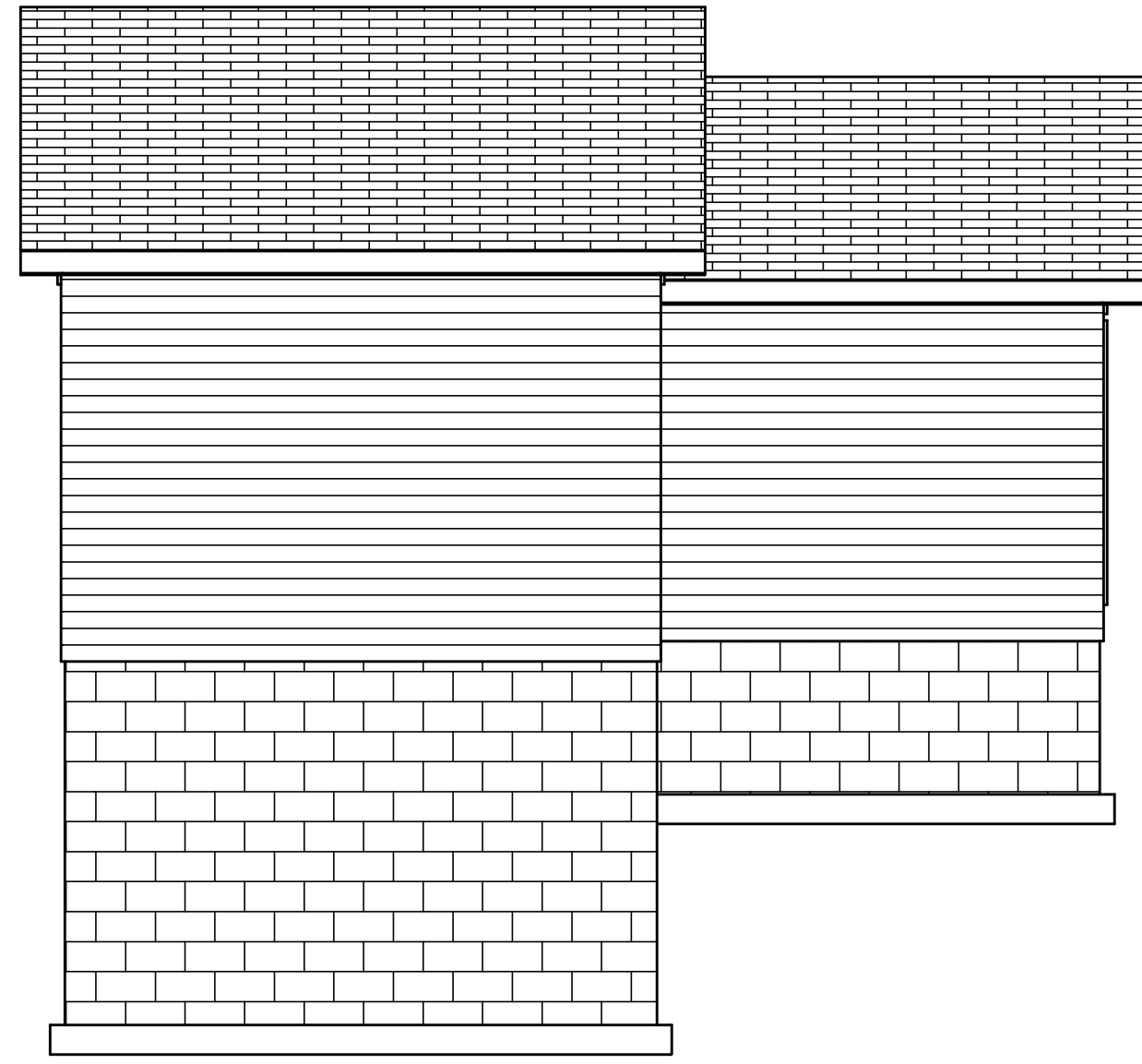
No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

PERSSON - RESIDENCE
17 CALLINGHAM RD
PITTSFORD, NY
MONROE COUNTY
TAX ID: xxx.xx-x-xx.xxx

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Checked By:	
Owner Approval:	
Scale:	As Noted
Date:	5/4/2021
Drawing No:	A-3

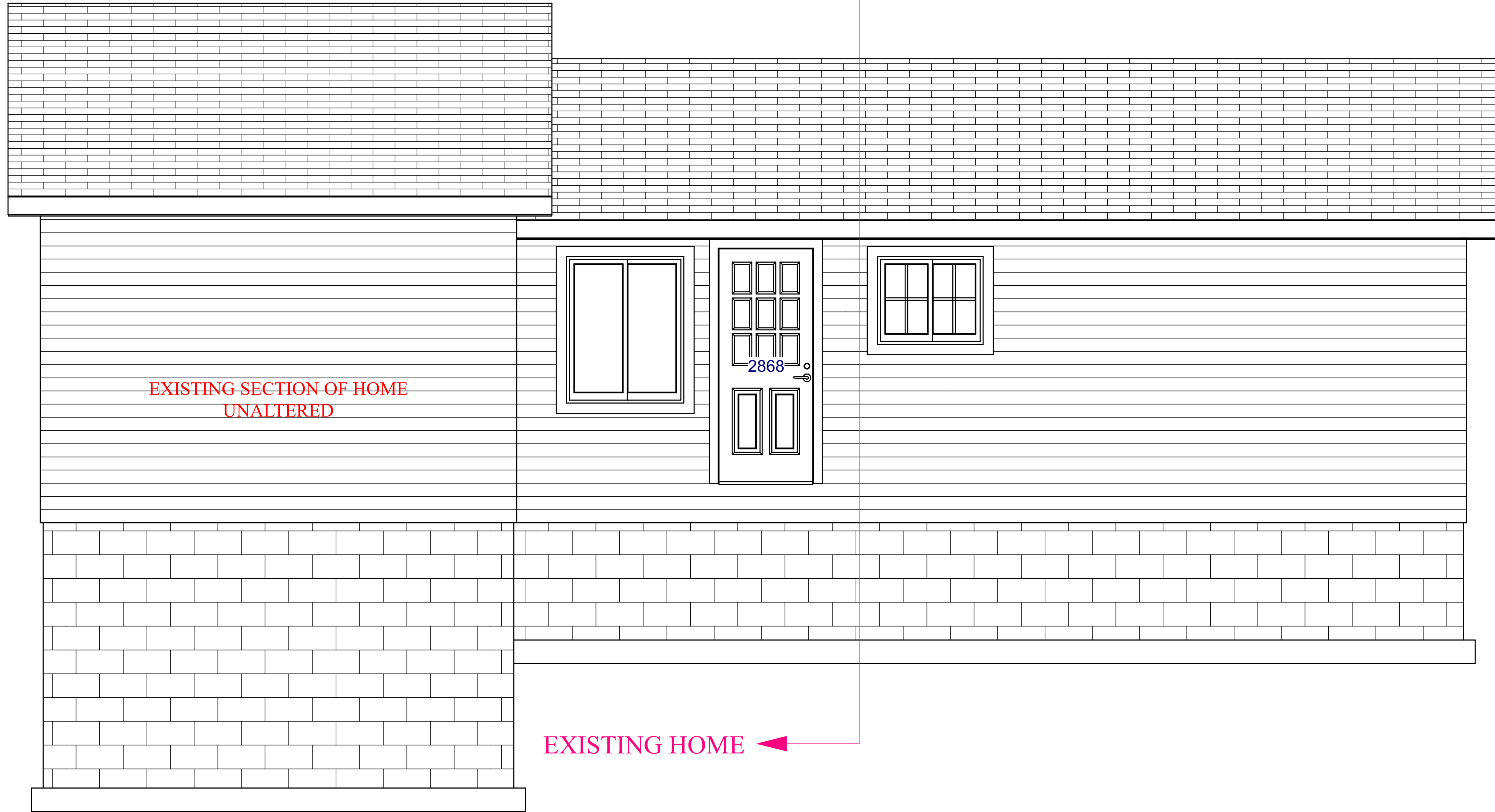
Drawing Title

NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY



EXISTING REAR ELEVATION VIEW
1/4" = 1'-0"

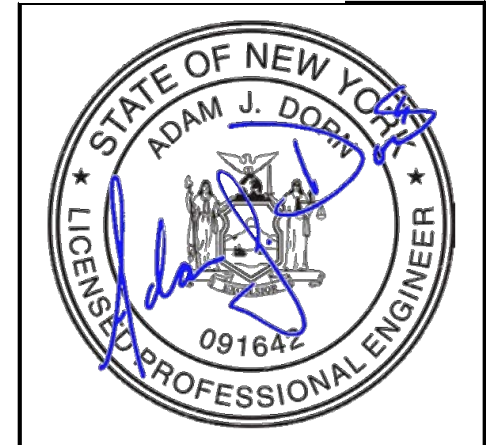
NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY



PROPOSED REAR ELEVATION VIEW
1/2" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

ENGINEER SEAL



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ENGINEER:



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PERSSON - RESIDENCE
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PITTSFORD, NY
MONROE COUNTY
TAX ID: xxx.xx-x-xx.xxx

Drawn By: AJD

Checked By:

Owner Approval:

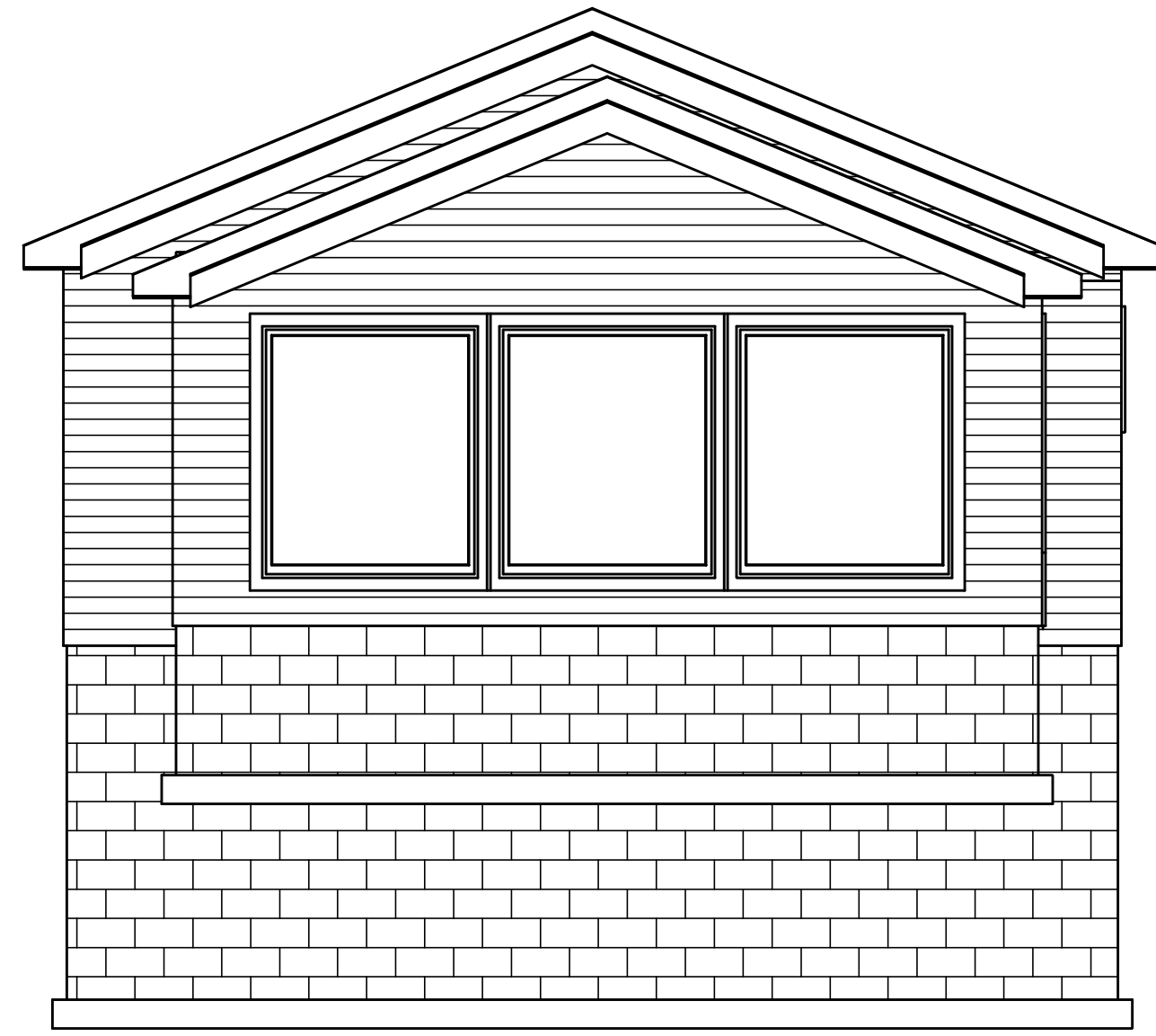
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Date: 5/4/2021

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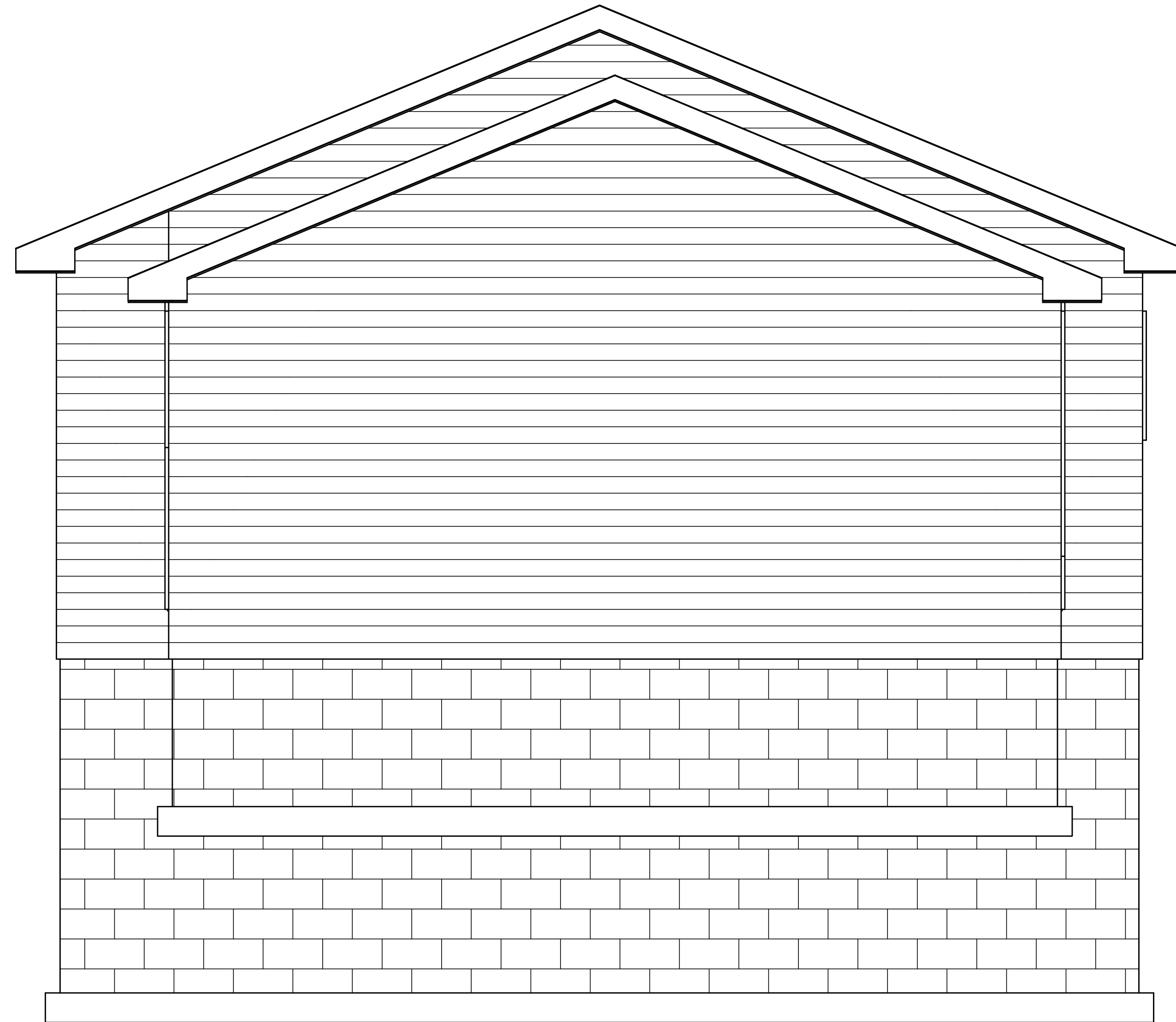
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Drawing Title



EXISTING LEFT ELEVATION VIEW

1/4" = 1'-0"

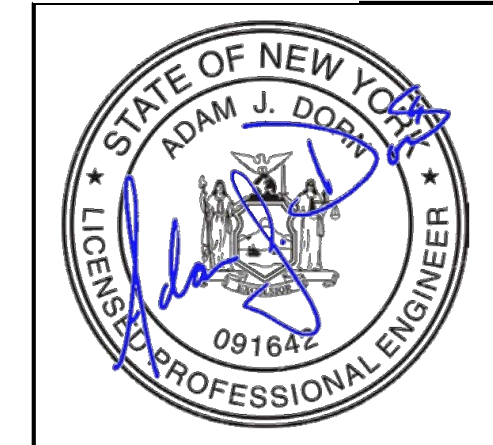


PROPOSED LEFT ELEVATION VIEW

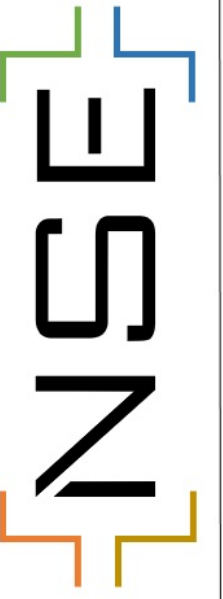
1/2" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

ENGINEER SEAL



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 NORTHSHORE ENGINEERING
 & DESIGN SERVICES

ENGINEER:

No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

PERSSON - RESIDENCE
 17 CALLINGHAM RD
 PITTSFORD, NY
 MONROE COUNTY
 TAX ID: xxx.xx-x-xx.xxx

Drawn By: **AJD**
 Checked By:
 Owner Approval:
 Scale: **As Noted**
 Date: **5/4/2021**
 Drawing No:

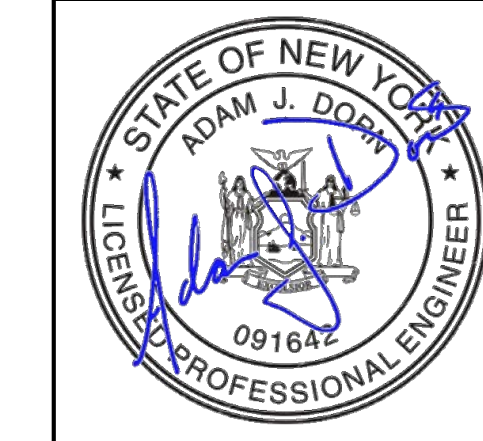
A-5

Drawing Title

RIGHT ELEVATION VIEW TO REMAIN UNCHANGED

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

ENGINEER SEAL



Drawing Title

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 Owner Approval:
 Scale: **As Noted**
 Date: **5/4/2021**
 Drawing No: **A-6**

PERSSON - RESIDENCE
 17 CALLINGHAM RD
 PITTSFORD, NY
 MONROE COUNTY
 TAX ID: xxx.xx-x-xx.xxx

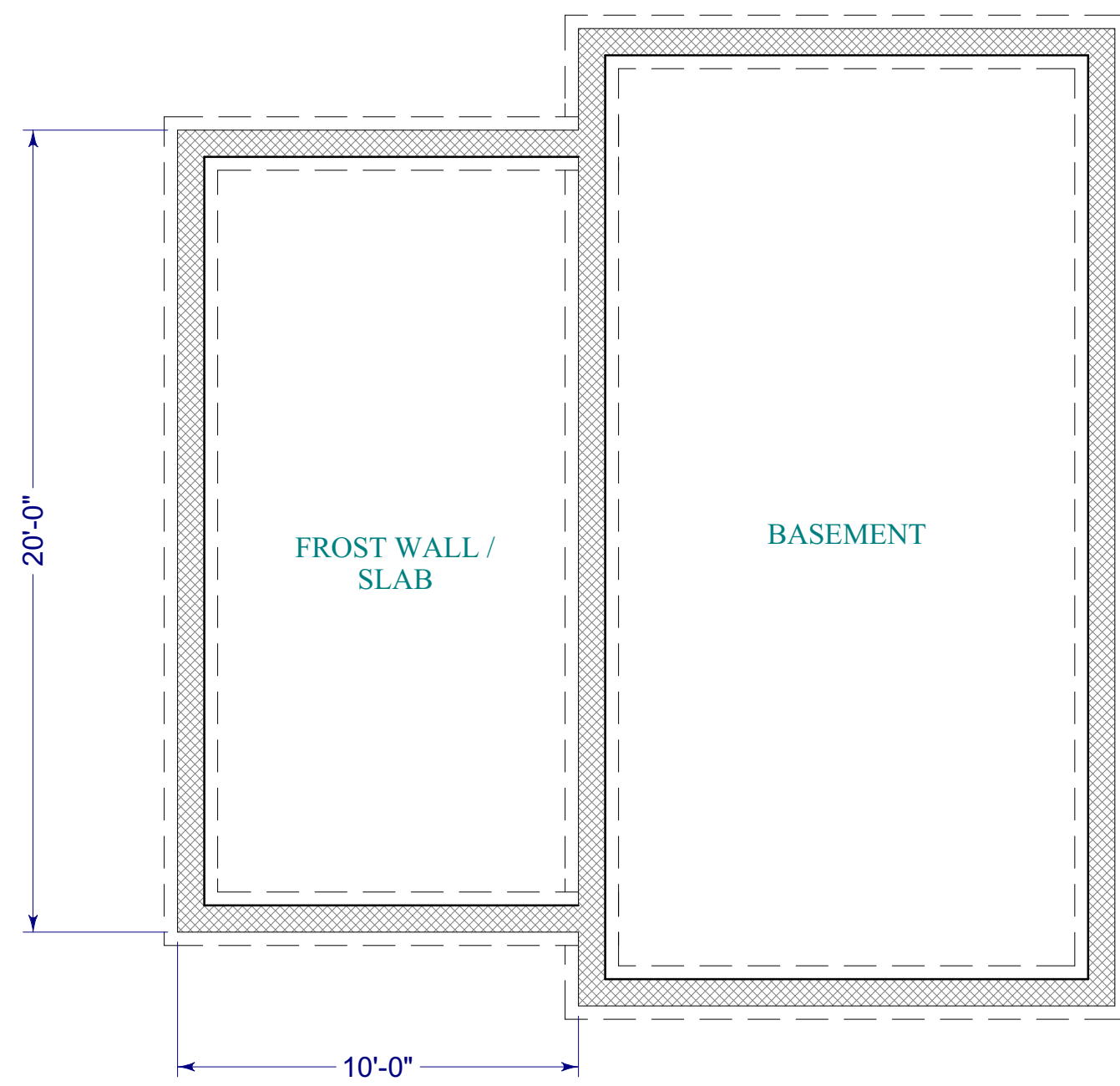
No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21



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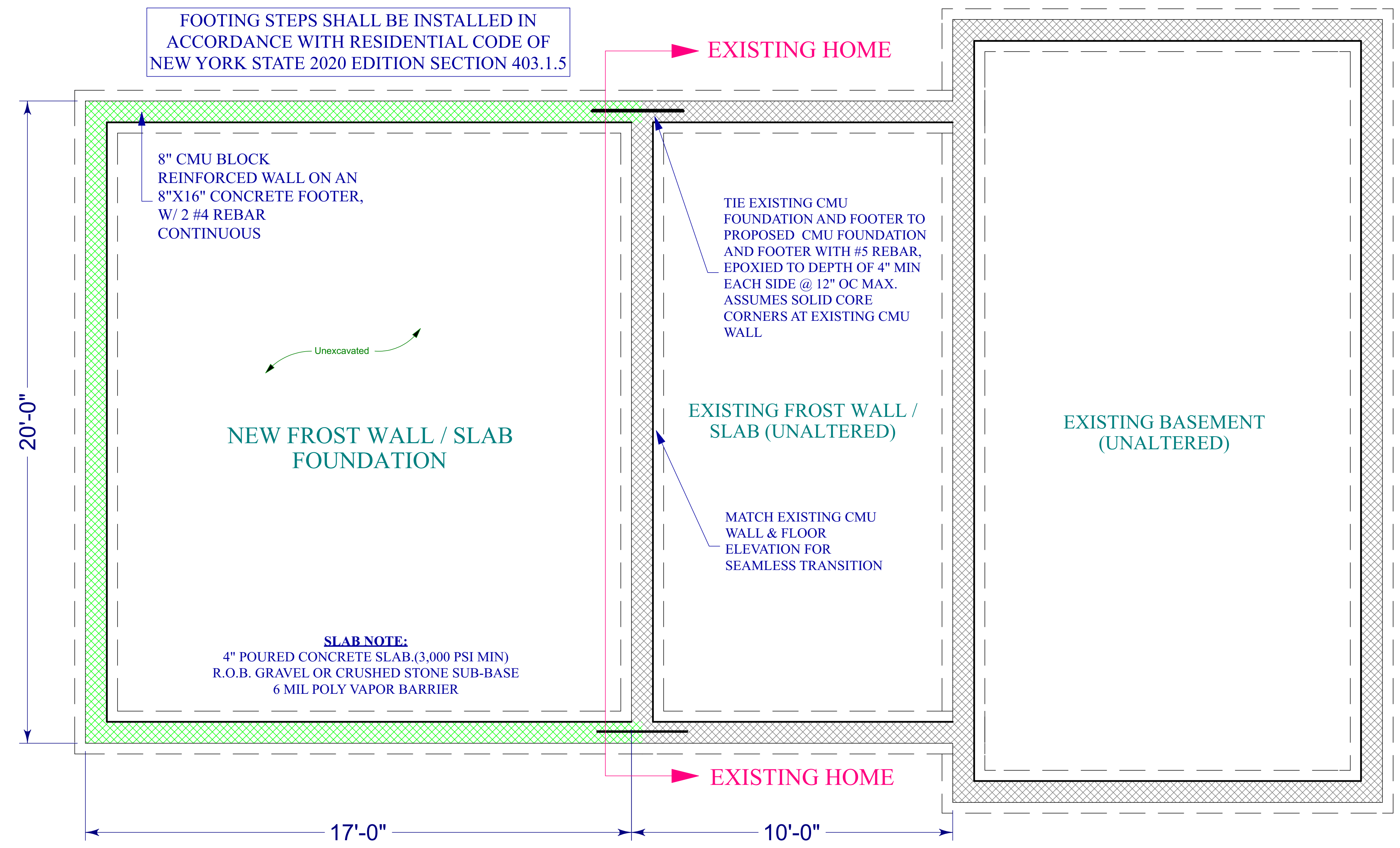
ENGINEER:

ADAM J. DORN - ENGINEER
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 CONSTANTIA, NY 13044
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NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY

EXISTING FOUNDATION PLAN VIEW
1/4" = 1'-0"



FOOTING STEPS SHALL BE INSTALLED IN ACCORDANCE WITH RESIDENTIAL CODE OF NEW YORK STATE 2020 EDITION SECTION 403.1.5

8" CMU BLOCK REINFORCED WALL ON AN 8"X16" CONCRETE FOOTER, W/ 2 #4 REBAR CONTINUOUS

Unexcavated

NEW FROST WALL / SLAB FOUNDATION

SLAB NOTE:
4" POURED CONCRETE SLAB (3,000 PSI MIN)
R.O.B. GRAVEL OR CRUSHED STONE SUB-BASE
6 MIL POLY VAPOR BARRIER

TIE EXISTING CMU FOUNDATION AND FOOTER TO PROPOSED CMU FOUNDATION AND FOOTER WITH #5 REBAR, EPOXIED TO DEPTH OF 4" MIN EACH SIDE @ 12" OC MAX. ASSUMES SOLID CORE CORNERS AT EXISTING CMU WALL

EXISTING FROST WALL / SLAB (UNALTERED)

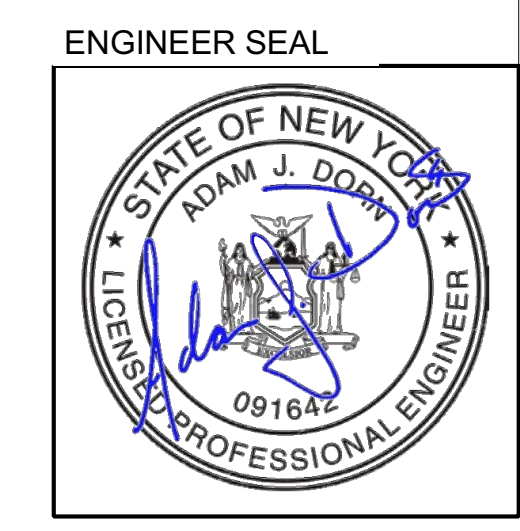
MATCH EXISTING CMU WALL & FLOOR ELEVATION FOR SEAMLESS TRANSITION

EXISTING BASEMENT (UNALTERED)

NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY

PROPOSED FOUNDATION PLAN VIEW
1/2" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION



ADAM J. DORN - ENGINEER
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ENGINEER:



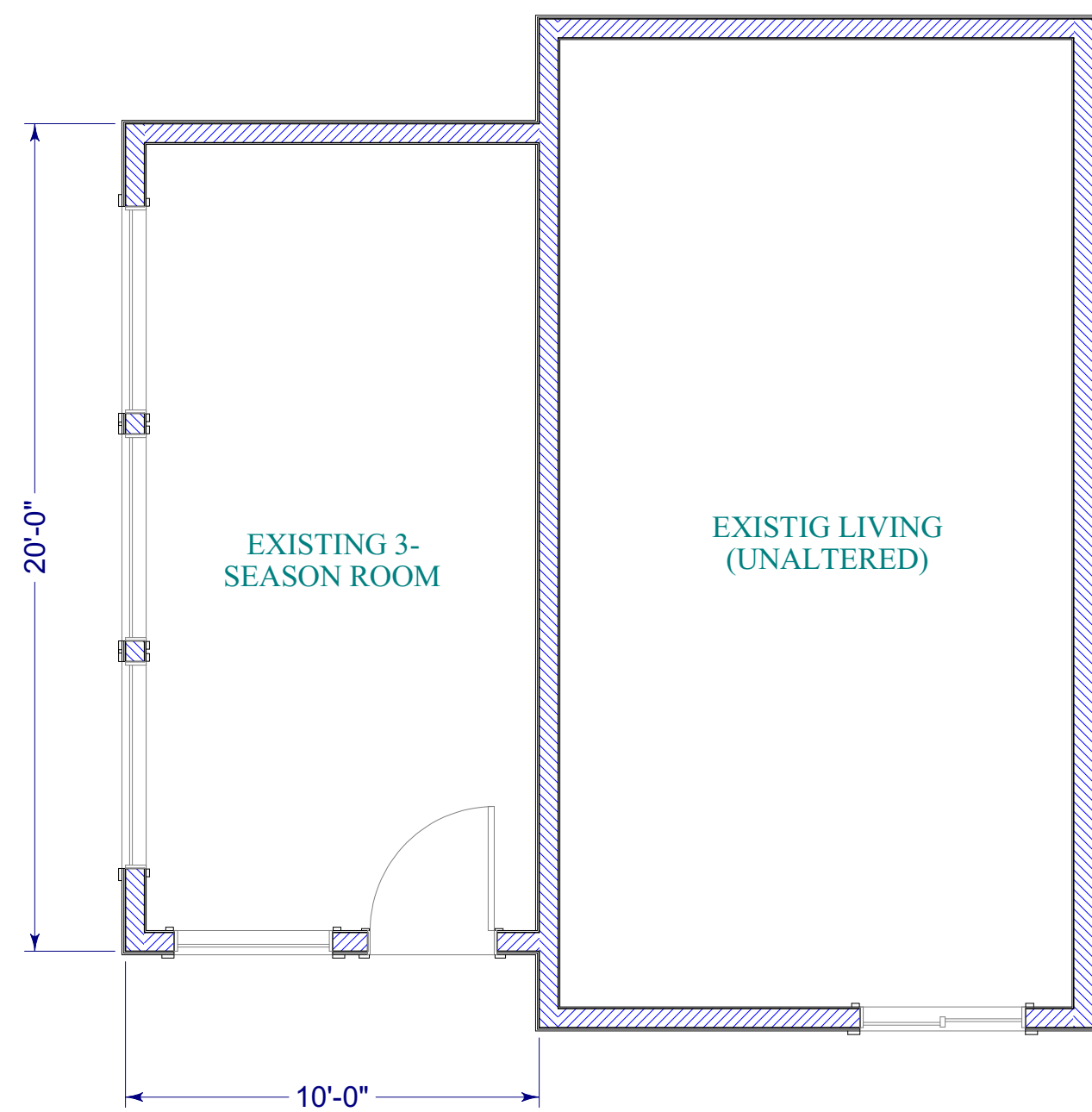
NORTHSHORE ENGINEERING & DESIGN SERVICES

No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

PERSSON - RESIDENCE
17 CALLINGHAM RD
PITTSFORD, NY
MONROE COUNTY
TAX ID: xxx.xx-x-xx.xxx

Drawn By:	AJD
Checked By:	
Owner Approval:	
Scale:	As Noted
Date:	5/4/2021
Drawing No:	A-7

Drawing Title



NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY

EXISTING FIRST FLOOR PLAN VIEW

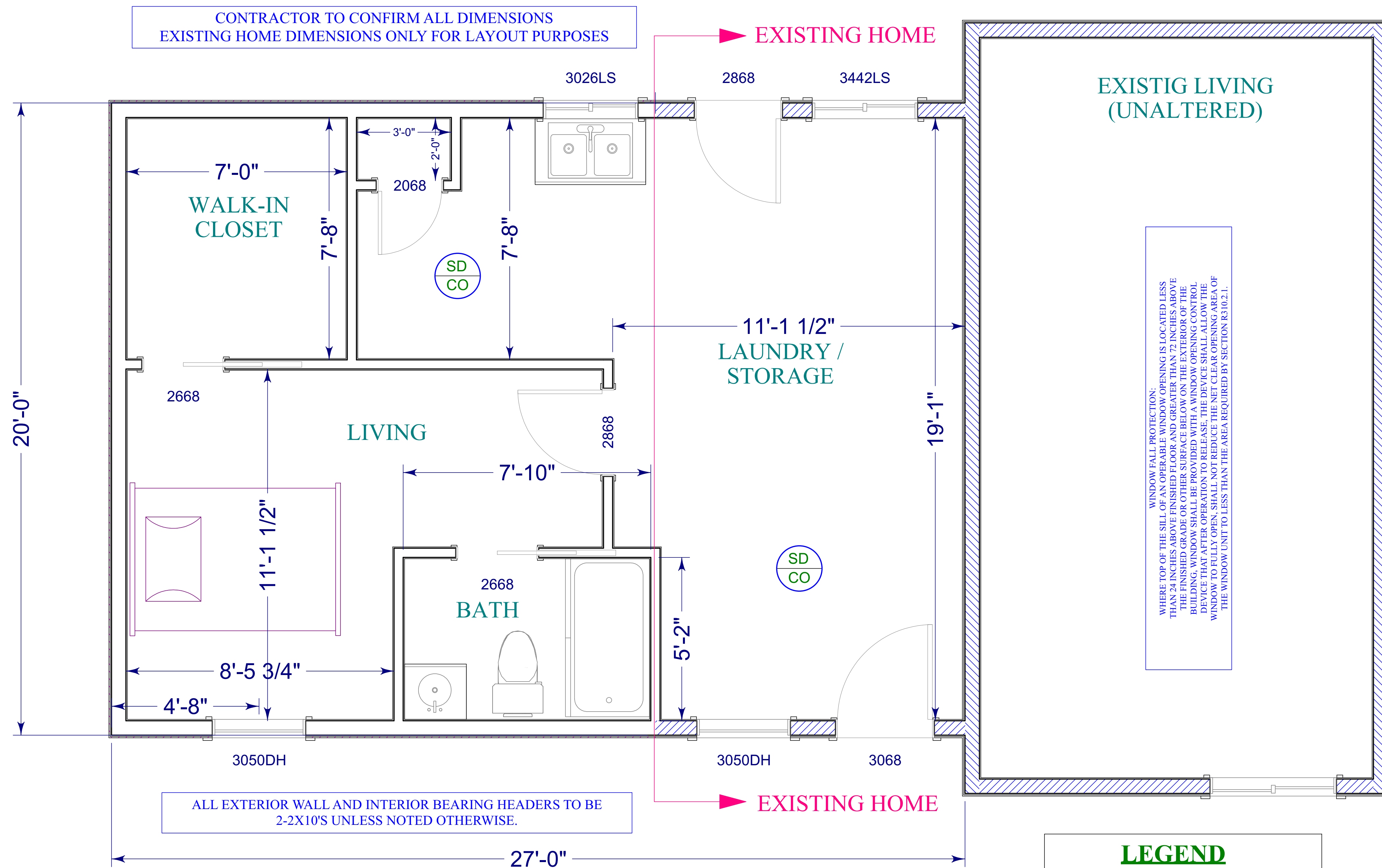
1/4" = 1'-0"

FOUNDATION PLAN TYP NOTES:

- I: COLUMNS - 3/2" SCH 40 STEEL ADJUSTABLE COLUMN BY TEL-O-POST OR EQ. STANDARD END PLATE: 4 1/4" X 7 1/2" X .120" SWIVEL END PLATE: 4" X 6" X .120"
- II: PIER FOOTINGS - 30"X30"X12" POURED CONCRETE W/ 4-#4 BAR E.W.
- III: FIELD LOCATE SUMP PIT AS NECESSARY
- IV: TYP FOUND WALLS - 8" THICK (3,000 PSI MIN) 1-#4 BAR HORIZ @ TOP & MID-POINT OF WALL FOR 9' TALL WALLS PROVIDE 1-#4 BAR HORIZ @ TOP & @ 1/3 POINTS OF WALL
- V: TYP STRIP FOOTINGS - 8"X16" W/ 2-#4 BAR CONT. (2,500 PSI MIN) W/ 30" #4 DOWELS VERTICAL @ 24" O.C.
- VI: EXPOSED CONCRETE SLABS-FOR PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS, CONCRETE SHALL BE 5-7 AIR-ENTRAINED AND BE A MIN OF 3,500 PSI.
- VII: POURED CONCRETE SLABS: GARAGE: 4" THICK (3,500 PSI MIN) W/ 6% AIR ENTRAINMENT PER TABLE 402.2 AND 6X6 10/10 WWM OR FIBROUS REINFORCEMENT ADMIXTURE OVER CRUSHED STONE OR R.O.B. GRAVEL BASE. 6 MIL POLY VAPOR BARRIER PORCHES: 4" THICK (3,500 PSI MIN) W/ 6% AIR ENTRAINMENT PER TABLE 402.2 AND 6X6 10/10 WWM OR FIBROUS REINFORCEMENT ADMIXTURE OVER CRUSHED STONE OR R.O.B. GRAVEL BASE (PITCH AWAY FROM HOUSE) BASEMENT: 4" THICK (3,000 PSI MIN) ON 8" CRUSHED STONE OR R.O.B. GRAVEL BASE OVER 6 MIL POLY VAPOR BARRIER
- VIII: BOTTOM OF FOOTINGS TO BE 48" BELOW FIN GRADE MIN
- IX: PROVIDE ANCHOR BOLTS W/ NUTS & WASHERS @ 6' O.C. AND 12" FROM CORNERS. BOLTS TO BE PLACED IN MIDDLE 1/3 OF SILL PLATE
- X: BRACE FOUNDATION WALLS PRIOR TO BACKFILL
- XI: INSTALL SOLID BLKG UNDER ALL POINT LOADS TO PROVIDE CONTINUOUS SUPPORT TO FOUNDATION.
- XII: BACKFILL WITH WELL DRAINING GRANULAR MATERIAL (R.O.B. GRAVEL OR SAND)
- XIII: BASEMENT SHALL BE PROVIDED WITH AT LEAST 1 EMERGENCY ESCAPE AND RESCUE OPENING OPENING DIRECTLY TO THE EXTERIOR PER R310

EXISTING FIRST FLOOR PLAN VIEW

1/2" = 1'-0"



CONTRACTOR TO CONFIRM ALL DIMENSIONS EXISTING HOME DIMENSIONS ONLY FOR LAYOUT PURPOSES

ALL EXTERIOR WALL AND INTERIOR BEARING HEADERS TO BE 2-2X10'S UNLESS NOTED OTHERWISE.

WINDOW FALL PROTECTION: WHERE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 20" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW THE EXTERIOR OF THE BUILDING, WINDOW SHALL BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE THAT AFTER OPERATION TO RELEASE, THE DEVICE SHALL ALLOW THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

LEGEND

	HARD WIRED / INTERCONNECTED COMBINATION SMOKE / CO DETECTOR
	HARD WIRED / INTERCONNECTED SMOKE DETECTOR
	AMBIENT AIR TEMPERATURE HEAT DETECTOR

NOTE: EXISTING UNALTERED HOME NOT SHOWN FOR CLARITY

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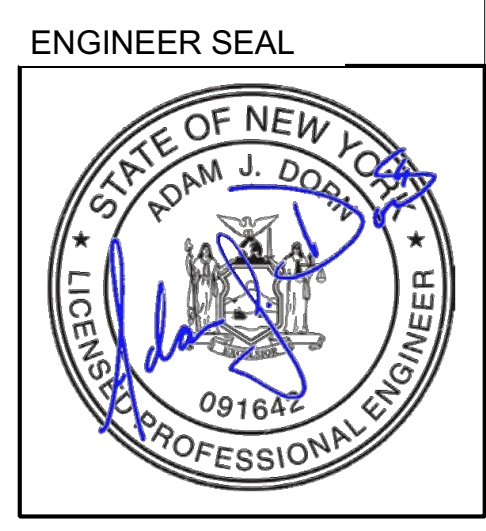
ENGINEER:



NORTHSHORE ENGINEERING & DESIGN SERVICES

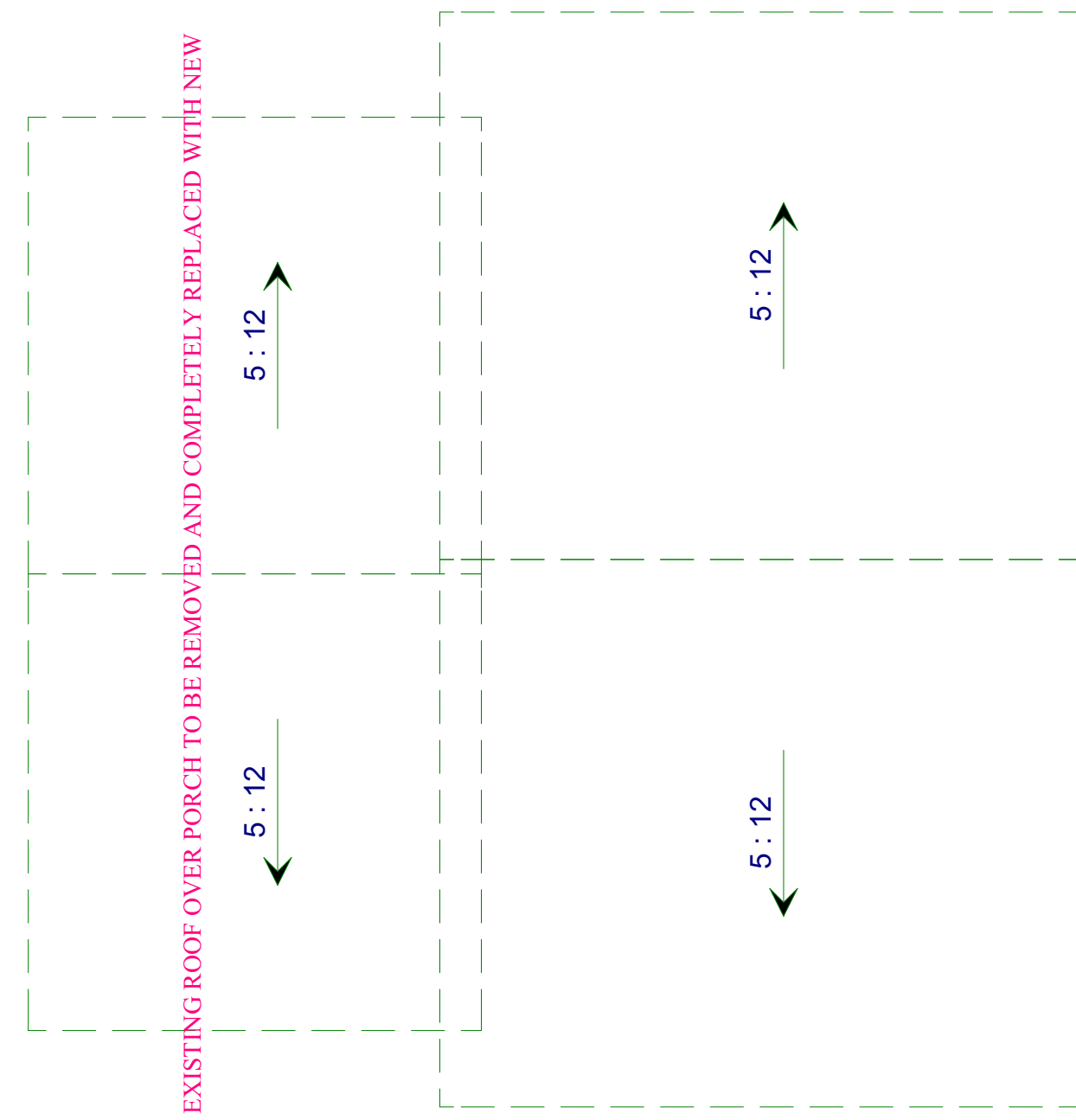
No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	06/01/21

PERSON - RESIDENCE
 17 CALLINGHAM RD
 PITTSFORD, NY
 MONROE COUNTY
 TAX ID: xxx.xx-x-xx.xxx



Drawn By:	AJD
Checked By:	
Owner Approval:	
Scale:	As Noted
Date:	5/4/2021
Drawing No.:	A-8

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

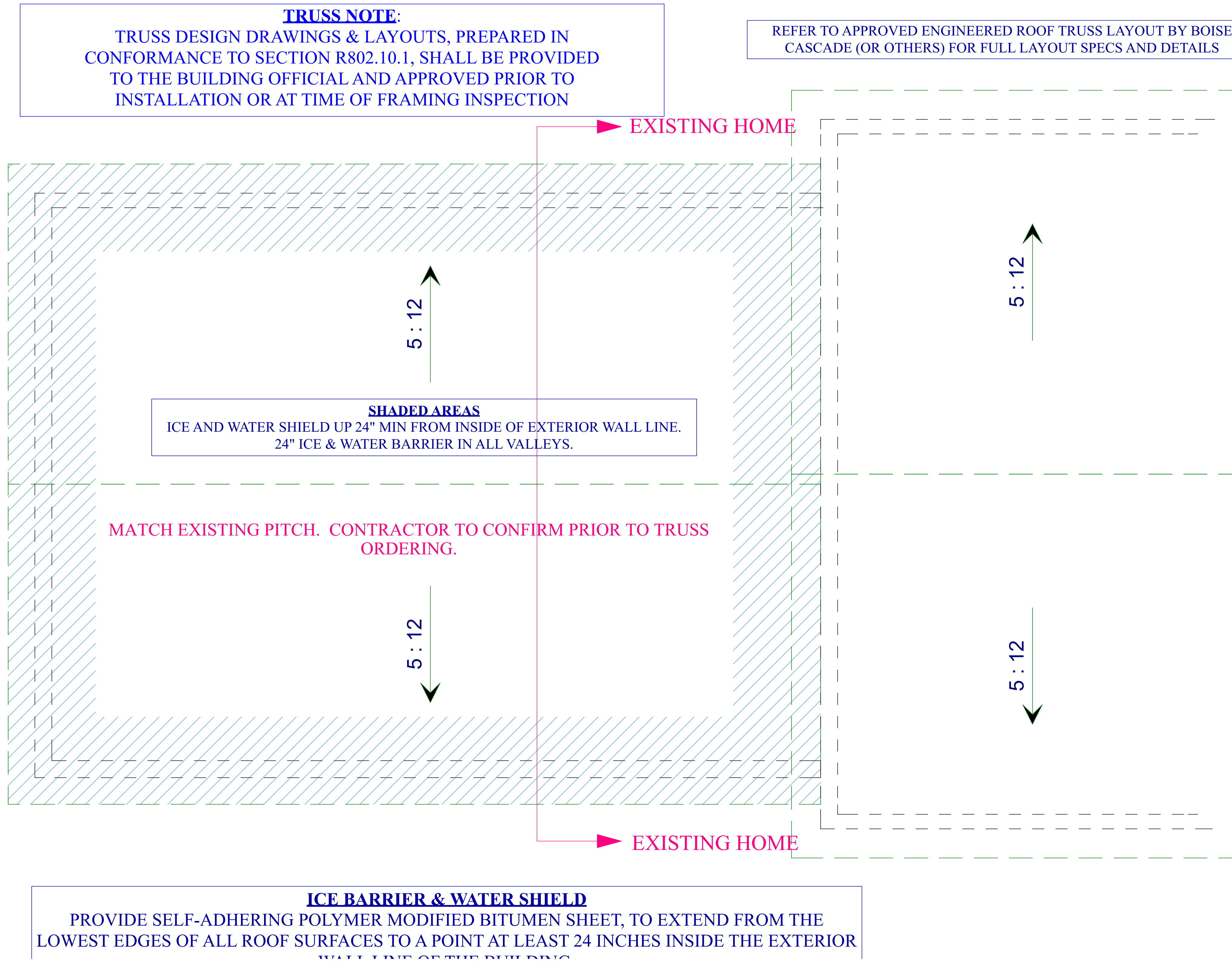


EXISTING ROOF PLAN VIEW
1/4" = 1'-0"

GENERAL NOTES:

- I) EXTERIOR HEADERS = 2-2X10'S UNLESS NOTED OTHERWISE.
- II) WINDOW HEADER HEIGHT - 83 3/8" UNLESS NOTED OTHERWISE.
- III) 2X6 EXTERIOR WALLS ARE SHOWN @ 5½" THICKNESS TYP EXTERIOR WALL CONSTRUCTION CLASSIFIED AS CS-WSP (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)
- IV) 2X4 EXTERIOR WALLS ARE SHOWN @ 3½" THICKNESS
- V) 2X6 GARAGE COMMON WALLS ARE SHOWN @ 5½" THICKNESS
- VI) PROVIDE FIREBLOCKING PER R302.11
- VII) INTERIOR BEARING & BRACED WALLS ARE SHOWN HATCHED. BRACED WALLS TO CONFORM TO R602.10 BRACED GYPSUM FACED WALLS TO BE FASTENED @ 7" O.C. (EDGE & FIELD) PER R602.3.1
- VIII) SOLID BLOCKING UNDER BEARING POINTS TO BE CONTINUOUS TO FOUNDATION / BEAM, OR OTHER SUPPORT STRUCTURE.

PROPOSED ROOF PLAN VIEW
1/2" = 1'-0"



NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

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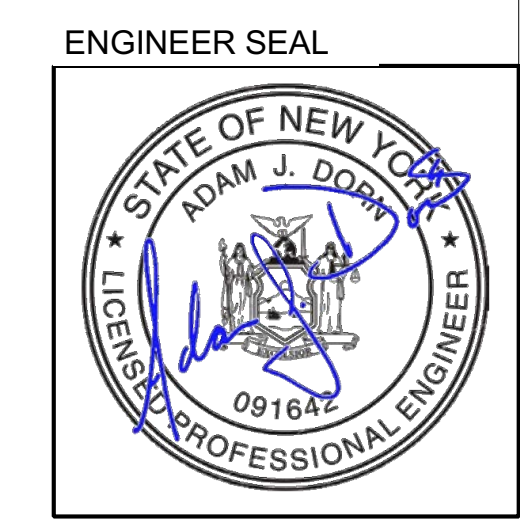
ENGINEER:

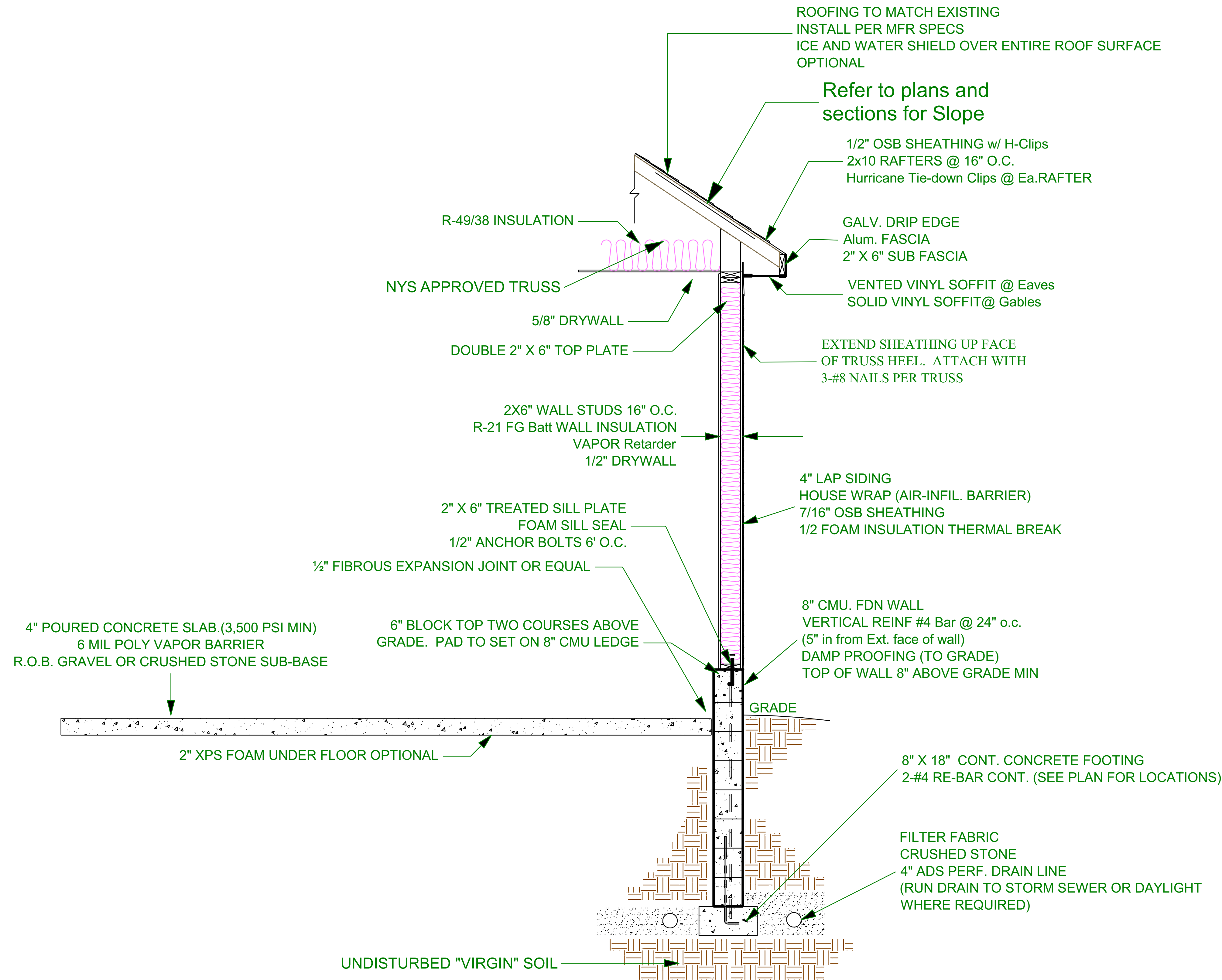


No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

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PITTSFORD, NY
MONROE COUNTY
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Owner Approval:	
Scale:	As Noted
Date:	5/4/2021
Drawing No:	A-9





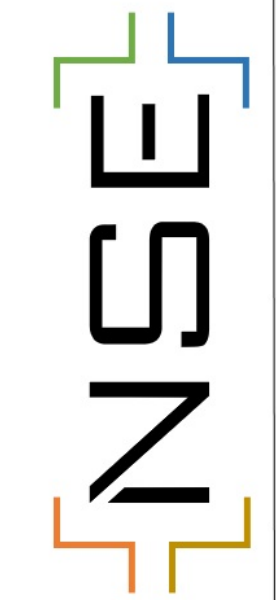
**TYPICAL WALL SECTION (1-STORY)
(MATCH EXISTING - 1ST FLOOR & FROST FDN WALL)**

N.T.S.

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

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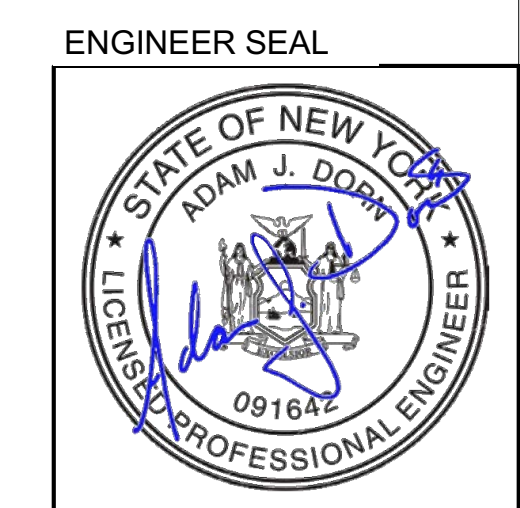


**NORTHSHORE ENGINEERING
& DESIGN SERVICES**

No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	05/01/21

PERSON - RESIDENCE
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PITTSFORD, NY
MONROE COUNTY
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Drawing No:	A-10



Drawing Title

NOTE: ENERGY EFFICIENCY REQUIREMENTS FOR "NEW CONSTRUCTION" ONLY AS OUTLINED IN CURRENT IEBC/IRC.

Energy Efficiency

The insulation envelope shall meet the requirements of Chapter 4 of the Energy Conservation Construction Code of New York State for Climate Zone 5. Code compliance shall be demonstrated using the Component Performance Approach (Per Section 402.1.2)

All single Family Homes **must** be blower door tested with results not exceeding 3-ACH50

The Envelope Thermal values shall be as follows, unless noted otherwise on plans:

- Exterior wallR-20
- Roof/ceilingR-49. (If Raised Heel Roof trusses are used then R-38)
- FloorR-30
- Foundation wall (10-foot depth from top of wall or Full Height if less than 10')
 - R-15 (R-6.4 where adjacent to basement stairs)
 - Slab edge insulation (2'-depth).....R-10 minimum
 - GlazingU=.32 (U=.35 for basement sash windows)
 - Entrance doorsU=.15 to .23 (depending on amount of glazing)
 - Ducts located outside the thermal envelope.....R-8

Building insulation shall be full thickness fiberglass batt insulation in sizes and locations called for or shown on the plans.

Rigid insulation below grade shall be extruded polystyrene as manufactured by DOW Chemical Company or equal (K-0 .10G/inch).

Vapor Retarder shall be Class I or II vapor retarders on the interior side of frame walls in Climate Zones 5, 6, 7, 8 and Marine 4.

Ventilation of rafter and attic space shall be provided by vented soffit and raised ridge vent where shown or noted. Provide blocking and baffles to ensure adequate air channel for ventilation.

HVAC equipment to be sized based on load calculations in accordance with ACCA Manual J

All HVAC supply ducts, air handlers and filter boxes shall be sealed. Joists and seams shall comply with Section M1601.3 of the IRC of NYS.

Building envelope tightness verified by blower door test result not exceeding 3 ACH at 50 Pa. The building thermal envelope shall be sealed by caulking, gasketing, weather stripping or otherwise sealed with an air barrier material, suitable film or solid material.

- A. All joists and penetrations
- B. Fill all voids between jambs and framing with loose or foam insulation.
- C. Walls and ceilings separating a garage from conditioned space.
- D. Behind tubs and showers on exterior walls.
- E. Attic access openings.
- F. Rim joists junctions.
- G. Sill plates and headers.

All hot-water supply pipes shall be located within the thermal envelope. If the house is equipped with a circulating hot water system, the pipes shall be insulated with R-3 minimum and a control switch shall be provided to turn off the circulating pump when the system is not in use.

All exterior doors to be provided with weather stripping.

Allow ¼" for caulking around perimeter of window and door units. Sealant (exterior) and caulking (interior) to be paintable silicon or latex compound gun and knife grades as required. All installations shall be in accordance with the IRC as adopted by NYS and manufacturer's specifications.

Sealant backer rod to be closed butyl round joint filler.

See attached Schedule for light, vent and emergency exit compliance and thermal values.

Mechanical systems are required to comply with: Chapter 12 Mechanical; Chapter 13 General Mechanical System Requirements; Chapter 14 Heating and Cooling Equipment; Chapter 15 Exhaust Systems; Chapter 16 Duct Systems; Chapter 17 Combustion Air; Chapter 18 Chimney and Vents; Chapter 19 Special Fuel-Burning Equipment; Chapter 20 Boilers/Water Heaters; Chapter 21 Hydronic Piping; Chapter 22 Special Piping and Storage Systems; Chapter 23 Solar Systems; and Chapter 24 Fuel Gas.

Plumbing systems are required to comply with Chapter 25 Plumbing; Chapter 26 General Plumbing Requirements; Chapter 27 Plumbing Fixtures; Chapter 28 Water Heaters; Chapter 29 Water Supply and Distribution; Chapter 30 Sanitary Drainage; Chapter 31 Vents; and Chapter 32 Traps.

Electrical systems are required to comply with Chapter 33 General Electrical Requirements; Chapter 34 Electrical Definitions; Chapter 35 Services; Chapter 36 Branch and Feeder Requirements; Chapter 37 Wiring Methods; Chapter 38 Power and Lighting Distribution; Chapter 39 Devices and Lighting Fixtures; and Chapter 40 Appliance Installation.

Additional provisions that apply, where shown, include Chapter 41 Swimming Pools and Chapter 42 Class 2 Remote-control, Signaling and Power-limited Circuits.

Window selections shown on drawings are provided to demonstrate general conformity with code requirements. The contractor shall coordinate with the supplier to ensure proper specification for door and door-window combinations. Verify all rough opening requirements with field conditions and the supplier. See attached opening schedule.

Door selections shown on drawing are provided to demonstrate general conformity with code requirements. The contractor shall coordinate with the supplier to ensure proper specification for door and door-window combinations. Verify all rough opening requirements with field conditions and the supplier. See attached opening schedule.

Finishes shall be as selected by the Owner, confirmed for compliance with related provisions of the RCNYS and install as required and/or specified by the manufacturer.

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications and other calculations submitted with the permit application. The proposed building is in compliance with Section 405.3 of the ICC Energy Conservation Construction Code as adopted by NYS to the best of my knowledge, belief and professional judgment.

Prescriptive Energy Compliance Method Per R402 of the 2020 ICC Energy Conservation Code as adopted by NYS

2020 Energy Code Requirements - **ZONE 5**

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

Climate Zone	Fenestration U-Factor	Skylight U-Factor	Ceiling R-Value	Wood Framed Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth
5	.32	.55	49 (1)	20 + 5 or 13 + 5	30	15 / 19	R10 to 48"

Exceptions: (per R402.2.1)

1.) If Raised Heel Roof Trusses are used then R-38 ceiling insulation may be used

The following Requirements Shall be met to show compliance with the 2020 ICC Energy conservation Construction Code as adopted by NYS.

303.1 IDENTIFICATION

All installed insulation labeled or installed R-values provided.

401.3 CERTIFICATE

Compliance certificate posted.

402.4.2.1 TESTING

Building envelope tightness verified by blower door test result not exceeding 3 ACH at 50 Pa.

402.4.2 FIREPLACES

Wood-burning fireplaces have tight fitting gasketed doors and outdoor combustion air.

402.4.3 FENESTRATION

Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/ I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.

402.4.5 RECESSED LIGHTING

IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate not more than= 2.0 cfm leakage at 75 Pa.

403.1.1 PROGRAMMABLE THERMOSTATS

Programmable thermostats installed on the primary heating and cooling system of the dwelling.

403.3.1 DUCT INSULATION

Supply ducts outside the thermal envelope greater than 3" dia in attics are insulated to R-8. All other ducts in unconditioned spaces or outside the building envelope are insulated to R-6. Not applicable if all systems are ductless.

403.2.4 DUCT LEAKAGE

All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.

Post-construction Duct tightness with maximum leakage of 4 cfm per 100 sq ft of conditioned floor area with air handler installed.

Rough-in tests, verification may need to occur during Framing Inspection, with maximum leakage of 4 cfm across systems and 3 cfm without air handler.

403.3.5 BUILDING CAVITIES

Building cavities are not to be used as ducts or plenums

403.7 EQUIPMENT SIZING & EFFICIENCY RATING

Heating & cooling equipment shall be sized in accordance with ACCA Manual S in accordance with ACCA Manual J

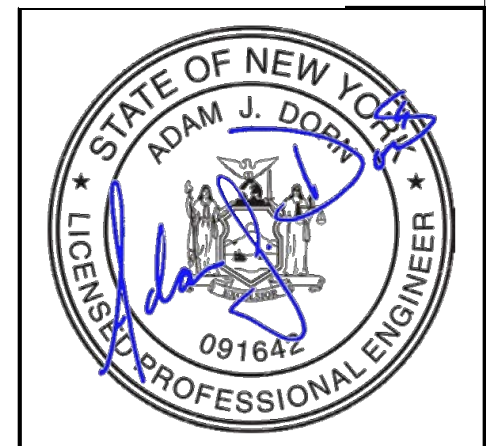
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TAX ID: xxx-xx-x-xx-xx

ENGINEER SEAL



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Checked By:	
Owner Approval:	
Scale:	As Noted
Date:	5/4/2021
Drawing No:	A-11

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IRC 2020 - R301.2 (1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Design				Seismic Design Cat.	Subject to Damage From.			Winter Design Temp.	Ice-Barrier Underlayment Req'd	Flood Hazards	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic effects	Special wind region	Wind-borne debris zone		Weathering	Frost Line Depth	Termites					
65	115	NO	NO	NO	B	Severe	48"		-5	YES	NO	1500	

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To the best of our knowledge these plans are drawn to comply with the owner's and/ or the builder's specifications and any changes made on these drawings once they leave our control are made at the owner's and / or builder's sole risk, responsibility and expense. It is the sole responsibility of any interested party to verify all dimensions including any other aspect of the enclosed drawing. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The inclusion or specification of building materials included in this drawing does not in any way constitute a warranty of these materials as to fitness, durability, suitability and/or other and the Maker specifically disclaims all such warranties.

2020 International Residential Code as Adopted by NYS-REVIEW
 Occupancy : Single Family Dwelling
 Classification by Construction Type: Frame Construction
 Building Height: 21'-1"+/-
 Number of Stories: 1 Stories (**Story ht of walls <11'-7"**)
 Minimum Ceiling Height: 7'-6"
 Special Kitchen Extinguishing System: Not Required
 Fire & Smoke Detection: Required

ZONING INFORMATION
 Residential Use
 ADDITION Sq Ft: 1st floor = 870 Sq Ft

CONSTRUCTION DOCUMENTS:

- The Architect / Engineer has not been retained for construction observation or administration and assumes no responsibility for field changes, contractor methods, material selections, product performance or warranty, or safety during construction.
- Law does not permit alterations to these documents. The Architect / Engineer must approve any alterations to the drawings. Absent such approval, the Architect / Engineer is not responsible for substantive changes.
- These plans are instruments of service for the construction of one building only and are not to be copied in any form whatsoever without the express written consent of the Architect / Engineer.
- The plans are not valid for use in obtaining a building permit without the application of the original "wet seal" and signature of the Architect / Engineer.
- These documents were prepared for the construction of a single project. Any unauthorized use of these documents is expressly prohibited and constitutes theft of professional services. The documents may not be used for procurement of a building permit without bearing the original seal and signature of the Architect / Engineer.

GENERAL NOTES

- All General Notes on this sheet shall apply to all drawings.
- The Contractor shall be responsible for all construction means, methods, and sequencing and shall be responsible to the Owner for providing a safe work environment during the construction period.
- These drawings do not include necessary components for construction safety. Contractor is responsible for the design and construction of all temporary supports. Brace building until all structural elements needed for stability are installed.
- This building has been designed in compliance with the requirements of the current Residential Energy Conservation construction Code of New York State & The Residential Construction Code of New York State. **Applicable Code is IRC 2020 version as Adopted by NYS.**
- All materials shall be installed in accordance with the manufacturer's written instructions and recommendations. The contractor shall deliver to the owner all manufacturers' warranties, guarantees, literature and operating instructions for all products and equipment.
- Dimensions and details are based on the best available information and contractor shall be responsible for verifying field dimensions before ordering materials and prefabricated items.
- The contractor shall provide all required materials and components of non-specified items, such as nails, flashing, etc. to provide a complete construction project, sound and weather tight, and to comply with current standards of quality construction.
- The Contractor shall be responsible for inspecting his own workmanship to the extent that satisfies the Owner.
- All work shall be performed in the best in most professional manner by mechanics skilled in their respective trades.
- Contractor shall verify all dimensions in field and report all discrepancies to the Architect / Engineer for resolution.
- Owner and builder shall comply with all laws, statutes, and rules that govern construction of this residence.
- All means and methods of construction are the responsibility of the contractor, including but not limited to shoring, support and bracing of existing structures as required for the work. Consult with the Architect / Engineer where necessary.
- Coordinate selection of all materials and products not specifically called out in the specifications and on the drawings such as painting materials and colors, interior finishes, light fixtures, bathroom fixtures, cabinetry, appliances and accessories, with the owner.
- The contractor shall provide a one-year guarantee of materials and workmanship for all work undertaken, commencing at substantial completion. The work is also subject to applicable provisions of the home warranty act of New York State.

FOUNDATION NOTES

- Concrete footings shall develop minimum compressive strength of 2500 psi @ 28 days. Concrete walls shall develop minimum compressive strength of 3,000 psi.
- All footings and piers to be below local frost depth and have minimum 48" earth cover.
- All piers and girder pockets constructed of c.m.u. shall have block voids filled solid with concrete down to footing.
- Concrete footing sizes based on minimum 2000 psf soil bearing capacity.
- All footings to be placed on undisturbed soil.
- Contractor to coordinate location of all utility penetrations.
- Concrete Slabs to be 4" (min) monolithic finish (reinforcin per plan) Install in accordance with R506 & industry standards.
- ½" diameter x 12" anchor bolts placed in the middle third of the sill plate at all exterior walls 12" from each corner/ openings-6'-0" o.c. max (min 2/plate)
- Provide #4 dowels @ 24" o.c. (unless otherwise noted) w/6" imbedment into footing and 24" min penetration into wall.
- Contractor shall extend excavation for a minimum 36" around entire building perimeter. Backfill with well draining material (sand, gravel) to facilitate subsurface drainage.
- Sump pit, sewer main, and water meter to be field located.
- Window well size and depth to be determined in field as required.
- Dampproof exterior of foundation wall from top of footing to grade. Remove form pins from each face of wall, inside and out and patch area smooth prior to application of dampproofing.
- Brace foundation wall as required during backfill.
- 3" diameter adjusta-post steel pipe columns to have 15,000 lb. capacity (MIN) w/5" x 5" steel caps (Unless otherwise noted) as manufactured by Tapco Monopost "200 Series" (203) or equal.
- Install R-15 FSK foil faced batt insulation Full height at perimeter of foundation exposed to cold.(Min)
- Location of boiler, electrical panel, and water service sleeves to be determined in the field.
- All lumber that will come in contact with masonry shall be pressure treated.
- Grade not to exceed dimension specified in wall section .(see detail).
- Foundation Wall not to exceed 40'-0" in length without pilaster.

STRUCTURAL NOTES:

- All structural design elements and components are derived from applicable provisions of the **2020 International Residential Code as adopted by New York State** unless otherwise noted on the drawings. Where noted, certain structural members may be designed using:
 - The American forest and paper association (AF&PA) national design specifications (nds)
 - Minimum design loads for buildings and other structures (ASCE 7)
 - Chapter 16 of the **2020 International Building Code as adopted by New York State**
- No geotechnical evaluation has been done in connection with the foundation design. In accordance with table R401.4.1 the load bearing pressure used for the design of all foundation supporting elements is 2,000 psf for sand, silty sand, clayey sand, silty gravel and clayey gravel. If other soil types are encountered in the excavation, or if the actual soil bearing pressure is questionable, consult with the Architect / Engineer
- It is not anticipated that ground water will be encountered in excavations. Footings shall not be poured within seasonal high ground water zones; consult Architect / Engineer if high ground water is encountered

FRAMING NOTES

- All window & door headers to be two (2) 2x10's unless otherwise noted (see framing plans). All headers in openings 72" or more must be supported by dbl jack studs
- All wood framing to be 8" minimum above adjoining finish grade.
- All Framing to be fastened in accordance with table R602.3 (1) of the **2020 International Residential Code as Adopted by NYS**
- All exterior walls to be **Continuously Sheathed** 2x6 @ 16" o.c. with R-21 fiberglass batt insulation unless noted otherwise. All interior partitions to be 2x4 @ 16" o.c. except where noted.
- Install metal or wood bridging at the midpoint of all joist spans except where noted. Not Req'd with Engineered Joists.
- Provide double framing around all floor openings and under all bearing partitions parallel with joist direction. Modify floor framing as required to accommodate plumbing and mechanical requirements without affecting structural integrity.
- Inspect all lumber for defects before installing. Discard any such lumber. All rafters and floor joists to be installed with crown up.
- All framing Studs to be minimum #2 construction grade unless noted otherwise. Rafters & Joists to be SPF No.2 or btr. Do not change size or spacing on any structural elements without engineer's written consent. fb=1,150psi. E=1,400,000 psi (For repetitive use members)
- Provide concealed wood blocking in all walls to require surface mounted items such as cabinetry, hose bibs, fireplac mantels, molding, railings, towel bars, etc.
- Provide firestopping where required by The **2020 International Residential Code as adopted by New York State**.
- All dimensions are taken to Rgh Framing unless otherwise noted.
- Roof Trusses to be Certified by Truss Manufacturer. Contractor to coordinate and consult with Architect / Engineer prior to truss fabrication if trusses are to be used in framing.
- 1.9E Micro-Lam Lumber Design Stress - E=1,900,000 psi fb=2,600 psi

PLUMBING, HEATING, VENTILATING, AND AIR CONDITIONING SYSTEMS:

- All HVAC work, equipment, etc. shall be in accordance with the 2020 International Residential Code as Adopted by NYS
- The HVAC Contractor shall conduct all tests and inspections for the installation of his work as required by the Owner and the local enforcement authority.
- The HVAC Contractor shall coordinate his work with the work of all other trades.
- All work shall be performed by mechanics skilled in this mechanical trade.
- The Contractor shall provide all control wiring. All control wiring shall be concealed from view.
- The Contractor shall provide operating and maintenance instructions on all equipment to the owner. Information shall be bound neatly and in a comprehensible manner.
- Provide fireplace where indicated complete with fresh air intake, glass doors, fireproof flue, spark arrestor, required flashings, and parts required AS NECESSARY for a complete installation. Model as selected by owner if applicable.
- Bathroom, and dryer exhaust to vent to exterior per code.
- The Contractor and the Owner shall be responsible for the specification of all heating and ventilating equipment not specifically noted on these drawings. The Heating Contractor shall submit catalog cuts on all heating equipment and materials to the Owner and/or General Contractor for approval.
- All new spaces shall be provided with equipment capable of maintaining a room temperature of at least 68 degrees at a point 3 feet above the floor and 2 feet from exterior walls.
- Programmable thermostats shall be provided.
- PLUMBING -Contractor shall comply with the 2020 International Residential Code as Adopted by NYS for the design and installation of all plumbing system components. All work shall be inspected as required during construction and approved at the end of the project by the local enforcement authority.

ELECTRICAL NOTES:

- All work shall comply with the **2020 International Residential Code as adopted by NYS**.
- The Electrical Contractor shall coordinate his work with the work of all other trades & all work shall be performed by mechanics skilled in the electrical trade.
- All wiring shall be concealed above ceilings or within walls unless otherwise noted. All exposed wiring shall be located so that it is out of view as much as possible. All exposed conduit shall be done in the neatest and most orderly fashion.
- HVAC equipment shall be by others. Coordinate with the Heating and Plumbing Contractors and provide all line voltage wiring and connections to their equipment as required.
- Ground Fault Receptacles must be provided per the residential code of New York state
- AFCI receptacles shall be provided in all bedrooms.
- Minimum of **75%** of permanently installed light fixtures shall be rated for energy efficiency. (i.e.-CFL, LED..etc)

FIRE, CARBON MONOXIDE & SMOKE DETECTION:

- Unless otherwise indicated in the drawings, hard-wired smoke detecting devices must be installed in each new sleeping room, outside all new sleeping areas; on each story without sleeping rooms, in basements with or without habitable space. None are required in uninhabitable attics. All detectors in new construction must be inter-connected.
- Carbon monoxide alarms in dwelling units shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.
- Smoke & Carbon monoxide alarms must be provided with battery backup, either internal or remote.
- Hard-wired detecting devices must be powered from a lighting circuit with no intervening switches. Electronic, low-voltage systems are allowed provided the system complies with NFPA 72

ENERGY NOTES:

- To the best of my knowledge, belief and professional judgment, Attached plans and specifications are in compliance with Chapter 11 of the **2020 International Residential Code as adopted by NYS**.
- Builder shall place an executed New York State Residential Building Energy Standards certificate on or near the electrical panel per Chapter 4 Section 401.3 of NYS ECCC.
- Energy compliance only applicable to "New Construction" Items

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. E.O.R TO BE NOTIFIED OF ANY ANOMALIES, CHANGES OR MODIFICATIONS PRIOR TO INSTALLATION

STRUCTURAL DESIGN LOADS: Live loads
 sleeping rooms.....30 psf
 non-sleeping rooms..... 40 psf
 exterior decks.....40 psf
 exterior balconies.....40 psf
 Habitable attic 30 psf
 attic without storage.....10 psf

Soil Classification
CL (Clay type Soil)

ADAM J. DORN - ENGINEER
 281 GRANNIS ROAD
 CONSTANTIA, NY 13044
 (315) 525-3806
 ADAMJDORN@GMAIL.COM

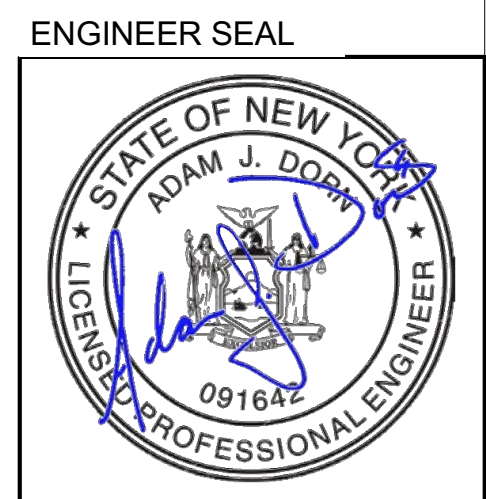
ENGINEER:



No.	Revisions/Submissions	Date
A	ISSUE FOR REVIEW	06/01/21

PERSSON - RESIDENCE
 17 CALLINGHAM RD
 PITTSFORD, NY
 MONROE COUNTY
 TAX ID: xxx.xx-x-xx.xxx

Drawn By:	AJD
Checked By:	
Owner Approval:	
Scale:	As Noted
Date:	5/4/2021
Drawing No:	A-12



Drawing Title









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000096

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4000 East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.06-2-45

Zoning District: RN Residential Neighborhood

Owner: Kevin Surace

Applicant: Almost Ordinary Wood Products Inc.

Application Type:

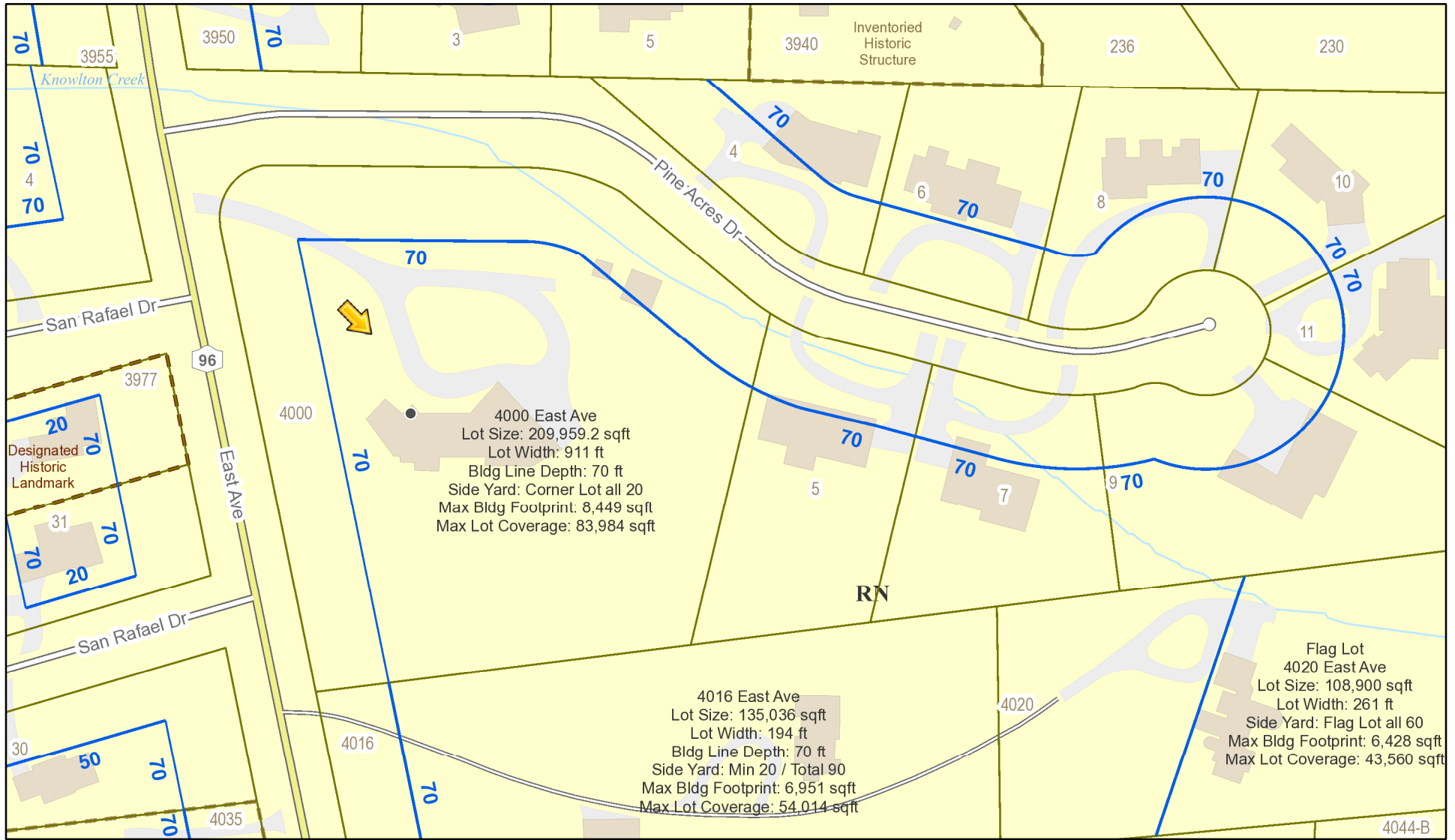
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the renovation and additions to an existing home. There will be an addition onto the living room and four new dormers. The exterior renovations include new windows, doors, roof and adding stone and timber to the exterior of the home.

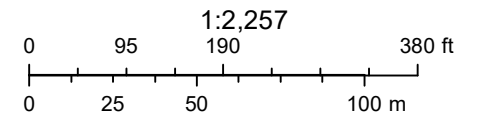
Meeting Date: May 27, 2021



RN Residential Neighborhood Zoning



Printed May 20, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



...ne

East Avenue

San Rafael Drive

East Avenue

4

4000

5

31

San Rafael Drive

East Avenue

Kevin Surace & Erica Rogers Residence

Town of Pittsford, NY

LIST OF DRAWINGS:

- A-0.0 Cover Sheet
- A-1.0 Demolition Plan – Basement
- A-1.1 Demolition Plan – First Floor – Bedroom Wing
- A-1.2 Demolition Plan – First Floor – Garage Wing
- A-1.3 Demolition Plan – Second Floor – Erica's Office Wing
- A-1.4 Demolition Plan – Second Floor – Studio Wing
- A-1.5 Priority Phasing Plan
- A-2.0 Floor Plan – Basement
- A-2.1 Floor Plan – First Floor – Bedroom Wing
- A-2.2 Floor Plan – First Floor – Middle Bay
- A-2.3 Floor Plan – First Floor – Garage Wing
- A-2.4 Floor Plan – Second Floor – Erica's Office Wing
- A-2.5 Floor Plan – Second Floor – Catwalk Bay
- A-2.6 Floor Plan – Second Floor – Studio Wing
- A-2.7 Roof Plan
- A-3.1 Building Sections
- A-4.1 Exterior Elevations

STRUCTURAL LOADING DESIGN CRITERIA:

- ALL LOADS IN POUNDS PER SQUARE FOOT

LOCATION	LIVE	DEAD/LIMIT
1ST FLOOR	40	15 L/360
2ND FLOOR (SLEEPING)	30	10 L/360
2ND FLOOR (NON-SLEEPING)	40	10 L/360
ATTIC (NO STORAGE)	10	5 L/240
ATTIC (LIGHT STORAGE)	20	10 L/240
ROOF (W/ FINISHED CLNG.)	20	L/240
ROOF (W/ NO FINISHED CLNG.)	15	L/180
DECKS	50	10 L/360

NOTE: ASSUMED SAFE SOIL BEARING CAPACITY IS 2,000 PSF AT MIN. FROST DEPTH. VALUES MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION OR LOAD BEARING TEST DATA IS AVAILABLE.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT:

- TABLE N1102.12 2020 RESIDENTIAL CODE
MONROE County

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE DEPTH	CRAWL SPACE WALL R-VALUE
5	0.30	0.55	NR	49	20 OR 13 + 5	13 / 17	30	15 / 19	10 / 2 ft HEATED SLAB D	15 / 19

CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA:

- TABLE R301.2(1) 2020 RESIDENTIAL CODE

GROUND SNOW LOADS (psf)	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY		
40	115	B	SEVERE	42"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES	NO

GENERAL NOTES & CODE

GENERAL NOTES:

- THIS SET OF PLANS HAS BEEN DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE RESIDENTIAL CODE OF NYS AND MEETS OR EXCEEDS THE NYS ENERGY CONSERVATION CONSTRUCTION CODE. IN ADDITION, CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCE AND SAFETY ISSUES IN REFERENCE TO THE CONSTRUCTION CONTRACT.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR TO PROVIDE ADEQUATE SUPPORT OF EXISTING FOUNDATION WALLS, LOAD BEARING WALLS AND PARTITIONS DURING DEMOLITION (IF APPLICABLE TO PROJECT) AND CONSTRUCTION.
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING/BRAACING TO BE CERTIFIED BY THE MANUFACTURER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES WHEREVER THEY OVERLAP.
- WHEN MATERIALS AND/OR FINISHES ARE FOUND TO BE ABSENT, OR WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING AND PAINTING WITH MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES UNLESS OTHERWISE NOTED.
- PROVIDE ALL BLOCKING, FURRING AND SHIMMING AS NECESSARY FOR INSTALLATION AND COMPLETION OF THE WORK.
- ALL NEW WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING (IF APPLICABLE TO PROJECT).
- ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT IF SO.
- COORDINATE INTERIOR DOORS/HARDWARE, WOOD TRIM AND FINISHES, AND EXTERIOR FINISH MATERIALS (SIDING, ROOFING, ETC.) TO MATCH EXISTING (IF APPLICABLE TO PROJECT). FINAL SELECTIONS BY OWNER AND GENERAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
- COORDINATE THE INSTALLATION OF CONTINUOUS ALUMINUM GUTTERS AND DOWNSPOUTS TO MATCH EXISTING (IF APPLICABLE TO PROJECT). DOWNSPOUTS NOT LOCATED ON DRAWINGS ARE TO BE LOCATED IN FIELD AND APPROVED BY OWNER. ALL DOWNSPOUTS ARE TO RUN TO PRECAST CONCRETE SPASHBLOCKS, OR TO UNDERGROUND CONDUCTORS PER LOCAL CODE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SITEWORK, INCLUDING FINISH GRADING AND HYDROSEEDING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRIC, PLUMBING AND HVAC SYSTEM INSTALLATION, VERIFY CAPACITY AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION (IF APPLICABLE TO PROJECT).
- THESE DOCUMENTS DO NOT PURPORT TO SHOW ALL MEANS AND METHODS REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE FOR THE PROJECT. IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION.

ADDITIONS & RENOVATIONS:

- FOR ADDITIONS AND RENOVATIONS: WHERE WALL AND/OR CEILING FINISHES ARE REMOVED TO EXPOSE THE STRUCTURE, SMOKE & CARBON MONOXIDE DETECTORS MAY BE BATTERY OPERATED. HARD-WIRED DETECTORS SHALL BE INTERCONNECTED SUCH THAT IF ONE ACTIVATES, ALL WILL ACTIVATE. DETECTORS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH NFPA-72 AND APPENDIX J OF THE RESIDENTIAL CODE. LISTED COMBINATION SMOKE/CARBON MONOXIDE ALARM MAY BE USED IN LIEU OF SMOKE ALARMS.
- FOR ADDITIONS AND RENOVATIONS REFER TO N.Y.S. RESIDENTIAL CODE: WHICH STATES THAT ADDITIONS, ALTERATIONS OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THE REQUIREMENTS OF A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH ALL OF THE REQUIREMENTS OF THIS CODE, UNLESS OTHERWISE STATED. ADDITIONS, ALTERATIONS OR REPAIRS AND RELOCATIONS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
- ADDITIONS AND ALTERATIONS-LEVEL 2, ADDITIONS AND SUBSTANTIAL RENOVATIONS SHALL CONFORM WITH THE ENERGY EFFICIENCY REQUIREMENTS OF THE RESIDENTIAL CODE OF N.Y.S.
- ENERGY EFFICIENCY FOR ADDITIONS, ALTERATIONS, OR RENOVATIONS TO AN EXISTING BUILDING, CONFORM TO THE PROVISIONS OF THE NYS RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION(S) OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THESE REQUIREMENTS. AN ADDITION SHALL BE DEEMED TO COMPLY WITH THESE REQUIREMENTS IF THE ADDITION ALONE COMPLES OR IF THE EXISTING BUILDING AND ADDITION COMPLY WITH THESE REQUIREMENTS AS A SINGLE BUILDING. ADDITIONS, ALTERATIONS, OR RENOVATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS.
- EXCEPTION: THE FOLLOWING NEED NOT COMPLY PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED:
 - STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.
 - GLASS ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME, PROVIDED THE U-FACTOR AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) WILL BE EQUAL TO OR LOWER THAN BEFORE THE GLASS REPLACEMENT.
 - ALTERATIONS, RENOVATIONS OR REPAIRS TO ROOF/CEILING, WALL OR FLOOR CAVITIES WHICH ARE INSULATED TO FULL DEPTH WITH INSULATION HAVING A MINIMAL NOMINAL VALUE OF R-10/INCH.
 - ALTERATIONS, RENOVATIONS OR REPAIRS TO WALLS AND FLOORS, WHERE THE EXISTING STRUCTURE IS WITHOUT FRAMING CAVITIES AND NO NEW FRAMING CAVITIES ARE CREATED.
 - REROOFING WHERE NEITHER THE SHEATHING NOR THE INSULATION IS EXPOSED. ROOFS WITHOUT INSULATION IN THE CAVITY AND WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING REROOFING SHALL BE INSULATED EITHER ABOVE

- OR BELOW THE SHEATHING.
 - REPLACEMENT OF EXISTING DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT REQUIRE THE INSTALLATION OF A VESTIBULE OR REVOLVING DOOR, PROVIDED, HOWEVER, THAT AN EXISTING VESTIBULE THAT SEPARATES A CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT BE REMOVED.
 - AN ALTERATIONS THAT REPLACES LESS THAN 50 PERCENT OF THE LUMINAIRES IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.
 - AN ALTERATION THAT REPLACES ONLY THE BULB AND BALLAST WITHIN THE EXISTING LUMINAIRE IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.
- CHANGE IN OCCUPANCY OR USE: SPACES UNDERGOING A CHANGE IN OCCUPANCY THAT WOULD RESULT IN AN INCREASE IN DEMAND FOR EITHER FOSSIL FUEL OR ELECTRICAL ENERGY SHALL COMPLY WITH THE RESIDENTIAL CODE OF N.Y.S., WHERE THE USE IN A SPACE CHANGES FROM ONE USE TO ANOTHER USE, THE INSTALLED LIGHTING WATTAGE SHALL COMPLY THE RESIDENTIAL CODE OF N.Y.S.

CODE REQUIREMENTS:

- STAIRS: PER IRC R311.7
- STAIR TO HAVE HEIGHTS FIELD VERIFIED AND SHOP DRAWINGS APPROVED PRIOR TO FABRICATION. STAIR CONSTRUCTION SHALL CONSIST OF STRINGERS, ¾" THICK TREADS AND ¾" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.
 - STAIRWELLS TO BE A MIN. OF 36" IN WIDTH AND HAVE A CONSISTENT HEAD HEIGHT TO FINISHED CEILING OF 6"-8" FROM THE TREAD NOSING.
 - CLOSED RISERS WITH 1" NOSING UNLESS NOTED OTHERWISE. MAX. RISER HEIGHT OF 7 ¾" AND MIN. TREAD DEPTH OF 10" (9" MIN. RUN DEPTH).
 - A LANDING IS NOT REQUIRED AT TOP OF INTERIOR STAIRS PROVIDED A DOOR DOES NOT SWING OVER STAIR.
- HANDRAILS: PER IRC
- HANDRAILS ARE REQUIRED ON AT LEAST ONE (1) SIDE OF STAIRWAYS FOR (4) OR MORE RISERS.
 - HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
 - THE HANDRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1 ½" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.
 - HANDRAILS PROJECTING FROM A WALL SHALL HAVE AT LEAST 1 ¾" BETWEEN THE WALL AND THE HANDRAIL. ENDS OF THE HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATION OR BENDS.
- GUARDRAILS: PER IRC
- PORCHES, BALCONIES, AND RAISED FLOORS GREATER THAN 30" ABV. FLR. OR GRADE SHALL HAVE A HALF WALL OR RAIL GUARD 36" MIN. HT.
 - ON OPEN STAIRWAYS SHALL HAVE A GUARDRAIL HEIGHT OF 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
 - OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
- GLAZING:
- GLAZING TO BE TEMPERED WHEN CONSIDERED A HAZARDOUS LOCATION AS DEFINED IN THE RESIDENTIAL CODE OF NYS SUCH AS:
 - GLAZING IN DOORS
 - GLAZING ADJACENT TO DOORS - WITHIN 24" OF A DOOR, WHEN BOTTOM EDGE IS LESS THAN 60" AFF.
 - GLAZING IN WINDOWS - WHEN INDIVIDUAL PANE IS GREATER THAN 9 SF, BOTTOM EDGE IS LESS THAN 18" AFF, TOP EDGE IS GREATER THAN 36" AFF, AND WALKING SURFACE IS WITHIN 36".
 - GLAZING & WET SURFACES - ANY GLAZING IN WALLS SURROUNDING TUBS, SHOWERS, SAUNAS WHERE BOTTOM EDGE IS LESS THAN 60" AFF.
 - GLAZING ADJACENT TO STAIRWAYS AND RAMPS - BOTTOM EDGE OF GLAZING IS LESS THAN 60" AFF.
 - THE MAXIMUM ALLOWABLE U-FACTOR FOR ALL NEW EXTERIOR DOORS AND WINDOWS SHALL BE 0.30. THE MAXIMUM ALLOWABLE U-FACTOR FOR SKYLIGHTS SHALL BE .35.

ELECTRICAL / MECHANICAL / PLUMBING:

- ELECTRIC AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION.
 - EQUIPMENT AND APPLIANCES HAVING AN IONIZATION SOURCE SHALL BE ELEVATED SUCH THAT THE IONIZATION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PRIVATE GARAGES. APPLIANCES LOCATED IN PRIVATE GARAGES SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 6 FEET ABOVE THE FLOOR OR PROVIDE PROTECTION FROM MOTOR VEHICLE IMPACT. PER THE RESIDENTIAL CODE OF N.Y.S.
 - WHERE WALL AND/OR CEILING FINISHES ARE REMOVED TO EXPOSE THE STRUCTURE, ALARMS SHALL BE HARD-WIRED. OTHER ALARMS MAY BE BATTERY OPERATED.
 - AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH ATTACHED GARAGE, AND IN EACH DETACHED GARAGE THAT IS PROVIDED WITH ELECTRICAL POWER.
 - IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED IT SHALL BE LISTED IN ACCORDANCE WITH UL 325
- SMOKE/CARBON MONOXIDE ALARMS:
- FOR NEW CONSTRUCTION SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRE AND CONFORM TO THE RESIDENTIAL CODE OF N.Y.S.
 - IN EACH SLEEPING ROOM
 - IN HALLWAYS ADJACENT TO SLEEPING ROOMS
 - AT LEAST ONE ON EACH STORY INCLUDING BASEMENT
 - SHALL NOT BE INSTALLED LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OF OPENING OF A BATHROOM THAT CONTAINS A BATHUB OR SHOWER.

ENERGY CONSERVATION STATEMENT:

- THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS AND COMPLY WITH THE RESIDENTIAL ENERGY CONSERVATION CODE. INSULATION WILL BE UTILIZED TO SEAL THE BUILDING ENVELOPE, INCLUDING BUT NOT LIMITED TO WALLS, ROOF, RIM JOIST, ABOVE GARAGE FLOORS, CANTILEVERED SPACES AND ALL PERFORATIONS INTO UNCONDITIONED SPACE. BREAKS AND JOINTS IN THE AIR BARRIER WILL BE SEALED WITH FOAM OR CAULK. A VENTILATION CONTROL SYSTEM WILL BE UTILIZED TO PROVIDE THE REQUIRED AIR EXCHANGE.
- FLOOD AREAS:
- FINISH FLOOR TO BE 2" ABOVE PUBLISHED FLOOD PLAIN.
 - ALL MATERIALS OF CONSTRUCTION USED BELOW FLOOD PLAIN SHALL BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS IN ACCORDANCE WITH FEMA TECHNICAL BULLETIN 2 AND ASCE 24.
 - DESIGN OF FLOOD OPENINGS WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR AUTOMATIC ENTRY AND EXIT OF FLOOD WATERS AS SPECIFIED BY THE ASCE.



1 R E N D E R I N G NTS
A-0.0

No.	Date	Description

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104 :: Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com

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Kevin Surace & Erica Rogers
RESIDENCE

4000 East Ave
Pittsford, New York

Project No: 2066
 Date: 05/05/21
 Scale: AS NOTED
 Drawn by: AMW
 Checked by: CBS

PERMIT SET

Construction Documents
COVER SHEET

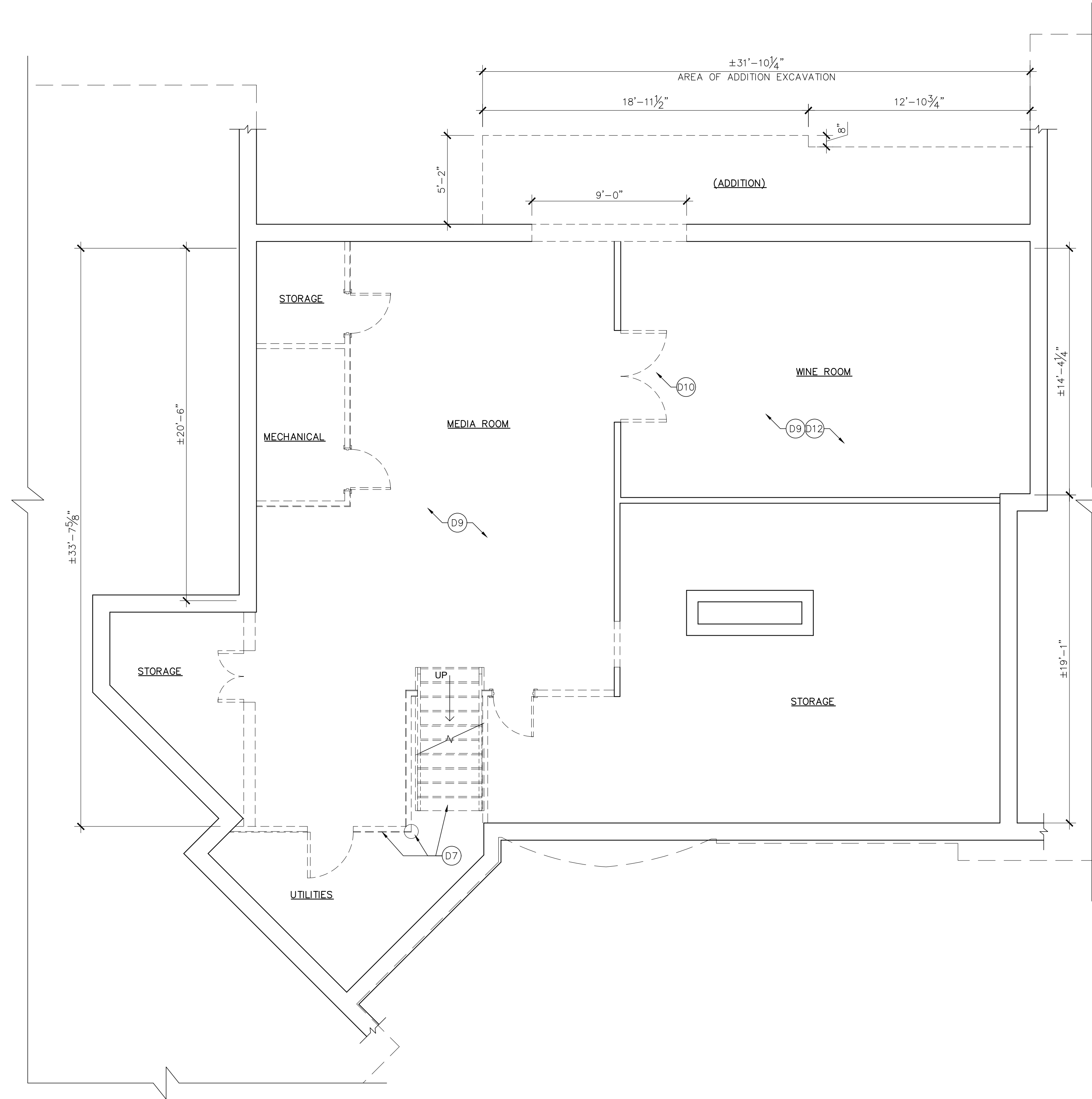
A-0.0

DEMOLITION NOTES:

1. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL THE DETAILS INVOLVED IN THE SELECTIVE DEMOLITION. SPECIFIC INSTRUCTIONS ON EACH ITEM WILL NOT BE GIVEN.
2. ALL PLUMBING, ELECTRICAL AND HVAC FIXTURES, DOORS, TRIM AND ANY OTHER ITEMS WHICH THE OWNER INDICATES THEY WANT TO SAVE SHALL BE REMOVED BY THE CONTRACTOR, STORED AND MAINTAINED IN GOOD CONDITION PER THE OWNER'S DIRECTIONS FOR FUTURE REUSE. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH THE LIST OF ALL SUCH ITEMS.
3. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING WALLS, DOORS AND FINISHES NOT SHOWN TO REMAIN, INFILL WALL OPENINGS AS REQUIRED AND PATCH SURFACES TO MATCH ADJACENT EXISTING CONDITIONS.
4. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING LIGHTING, WIRING AND DEVICES AS REQUIRED TO COMPLETE WORK, REMOVE ALL ABANDONED CONDUIT AND WIRE, AND TERMINATE AT NEAREST ACTIVE PANEL.
5. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING WATER, SEWER, STORM AND VENT PIPING AS REQUIRED TO COMPLETE WORK, REMOVE ALL ABANDONED PIPING, AND CAP AT NEAREST ACTIVE MAIN OR RISER.
6. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING DUCTWORK, PIPING AND RELATED HVAC SYSTEMS AS REQUIRED TO COMPLETE WORK, CAP ALL DUCTWORK AND PIPING AT NEAREST ACTIVE MAIN RISER, COORDINATE REMOVAL OF ALL ASSOCIATE POWER AND PLUMBING SERVICES WITH OTHER TRADES.
7. ON ITEMS 4, 5, & 6. GENERAL CONTRACTOR MAY BE REQUIRED TO GO BEYOND THE CONTRACT AREA TO REACH THE FIRST SHUTOFF VALVE, MAIN OR ELECTRICAL PANEL. WHEN THIS HAPPENS, THE CONTRACTOR SHALL REMOVE AND REPAIR EXISTING FINISH SURFACES AS REQUIRED.
8. ALL EXISTING FLOOR, WALL AND CEILING FINISHES IN AREAS TO BE RENOVATED SHALL BE REMOVED DOWN TO SUBFLOOR/ROUGH FRAMING AS REQUIRED. PREPARE EXISTING SURFACES TO RECEIVE NEW FINISH MATERIALS.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SALVAGE OF EXISTING MATERIALS AS REQUIRED FOR PATCHING EXISTING AREAS TO REMAIN. WHEREVER REMOVALS OCCUR, DISTURBED SURFACES SHOULD BE PATCHED TO MATCH ADJACENT EXISTING CONDITIONS.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE DEMOLITION WORK WITH THE OWNER'S USE OF THE PREMISES. ALL WORK TO BE SCHEDULED AND COORDINATED WITH THE OWNER.
11. THE GENERAL CONTRACTOR SHALL PROVIDE DUSTPROOF PARTITIONS AROUND THE CONSTRUCTION AREA DURING ALL DEMOLITION AND CONSTRUCTION WORK.
12. THE GENERAL CONTRACTOR SHALL MAINTAIN SAFE ACCESS TO ALL DESIGNATED EXITS FOR THE BUILDING OCCUPANTS DURING CONSTRUCTION.
13. STORAGE FOR CONTRACTOR'S EQUIPMENT AND DEBRIS MUST BE KEPT INSIDE THE CONTRACT AREA.
14. DUMPSTERS FOR CONSTRUCTION DEBRIS ARE TO BE PROVIDED BY THE CONTRACTOR. ALL DEBRIS TO BE HAULED OFF SITE UPON REMOVAL BY CONTRACTOR.
15. IF MATERIALS ARE SUSPECTED TO CONTAIN ASBESTOS, THE GENERAL CONTRACTOR IS TO IMMEDIATELY INFORM THE OWNER AND ARCHITECT. ALL EXISTING MATERIALS KNOWN TO CONTAIN ASBESTOS THAT ARE TO BE REMOVED SHOULD BE DONE SO IN ACCORDANCE WITH ESTABLISHED NEW YORK STATE ASBESTOS LAW (INDUSTRIAL CODE RULE 56). HOMEOWNERS ARE ALLOWED TO REMOVE ASBESTOS FROM THEIR SINGLE FAMILY DWELLING.
16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING STRUCTURAL AND WEATHER TIGHT INTEGRITY OF EXISTING STRUCTURE DURING THE CONSTRUCTION.

DEMOLITION NOTES:

- D1. LANDSCAPING PAVERS AND STEP TO BE REMOVED IN THEIR ENTIRETY. FILL AND GRADE APPROPRIATELY.
- D2. LANDSCAPING PAVERS TO BE REMOVED IN THEIR ENTIRETY. COORDINATE FILL AND GRADING WITH NEW WORK.
- D3. ALL EXISTING ROOFING TO BE REMOVED IN IT'S ENTIRETY DOWN TO THE EXISTING SUBSTRATE. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW FINISH. COORDINATE WITH NEW WORK.
- D4. PORTION OF EXISTING ROOF AND FRAMING TO BE REMOVED IN IT'S ENTIRETY TO EXTENTS SHOWN. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW FINISH. COORDINATE WITH NEW WORK.
- D5. ALL EXTERIOR MASONRY TO BE REMOVED IN IT'S ENTIRETY DOWN TO THE EXISTING SUBSTRATE. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW FINISH.
- D6. STAIR TO BE REMOVED IN IT'S ENTIRETY. SALVAGE AND PROPERLY STORE CUSTOM METAL WORK. INFILL FLOOR AT UPPER LEVEL. PATCH AND PREP ADJACENT SURFACES TO RECEIVE NEW FINISH.
- D7. EXISTING BASEMENT STAIR DESIGNATED TO BE REMOVED IN IT'S ENTIRETY. HOLD UNTIL NEW DESIGN IS FINALIZED. POST AND BEAM TO BE REMOVED BELOW LANDING. REFER TO ADJACENT WALLS FOR OTHER WORK IN THE AREA TO COORDINATE ACCORDINGLY.
- D8. PARTIAL STAIR REMOVAL, CUT BACK STAIRS TO EXTENT SO THAT THE CURVE IS ELIMINATED. THE REMAINING STAIR IS TO BE COORDINATED WITH NEW WORK.
- D9. ALL EXISTING INTERIOR FLOORS, WALLS, AND CEILING FINISHES ARE TO BE REMOVED DOWN TO THE EXISTING FRAMING OR SUBSTRATE. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW FINISH. UPON COMPLETION OF CEILING AND WALL DRYWALL DEMO, NOTIFY THE ARCHITECT FOR A WALKTHROUGH OF EXPOSED FRAMING.
- D10. ALL EXISTING DOORS ARE TO BE REMOVED IN THEIR ENTIRETY. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW DOOR AND TRIM OR INFILL AND FINISH. COORDINATE ANY INFILLS OR REPLACEMENT WITH ANY NEW WORK.
- D11. ALL EXISTING WINDOWS ARE TO BE REMOVED IN THEIR ENTIRETY. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW WINDOW AND TRIM OR INFILL AND FINISH. COORDINATE ANY INFILLS OR REPLACEMENT WITH ANY NEW WORK.
- D12. ALL EXISTING EQUIPMENT, BATHROOM FIXTURES AND ACCESSORIES, VANITIES, MILLWORK, AND METAL WORK TO BE REMOVED IS TO BE SALVAGE OR DISTRIBUTED PER OWNERS DIRECTION.
- D13. EXISTING ELECTRICAL PANEL AND WALL TO REMAIN. WALL FINISH TO BE COORDINATED WITH NEW WORK.
- D14. WALL DESIGNATED AS A LOAD BEARING WALL. WALL IS TO BE STRIPPED AND TO REMAIN UNTIL STRUCTURAL DESIGN IS REVIEWED AND PROVIDED.
- D15. DOOR TO BE REMOVED IN IT'S ENTIRETY AND OPENING TO BE INFILLED TO MATCH EXISTING WALL ASSEMBLY.
- D16. ALL EXTERIOR SIDING TO BE REMOVED IN IT'S ENTIRETY DOWN TO THE EXISTING SUBSTRATE. REMAINING SURFACES ARE TO BE PREPARED TO RECEIVE NEW FINISH.



1 FOUNDATION PLAN
 A-1.0 $1/4" = 1'-0"$

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 Pittsford, New York

Project No: 2066
 Date: 05/05/21
 Scale: AS NOTED
 Drawn by: AMW
 Checked by: CBS

Construction Documents
 DEMOLITION PLAN

A-1.0

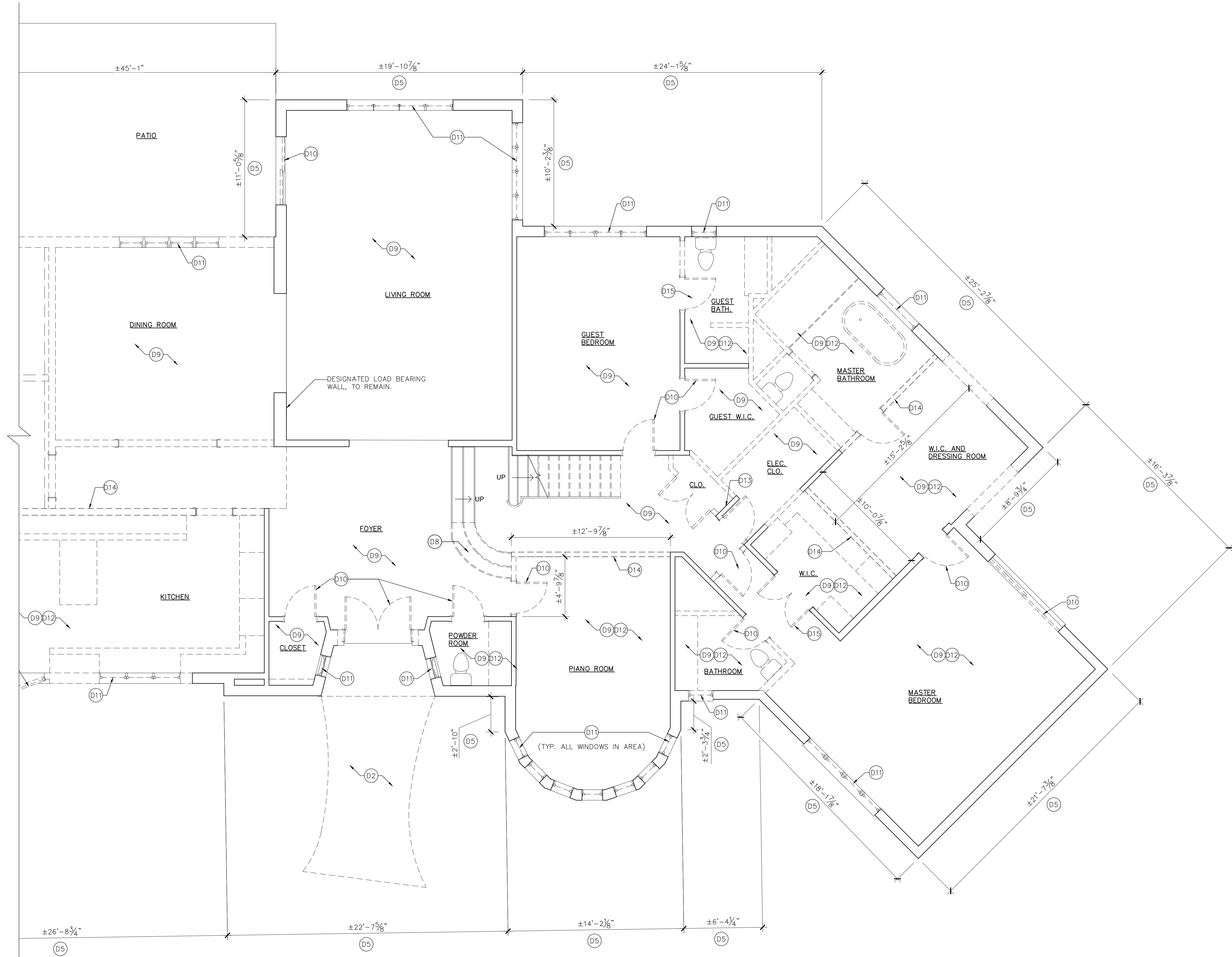
ISSUED FOR PERMIT

GENERAL DEMOLITION NOTES:

REFER TO DRAWING A1.0 FOR GENERAL DEMOLITION NOTES.

DEMOLITION NOTES:

REFER TO DRAWING A1.0 FOR DEMOLITION NOTES.



1 FIRST FLOOR DEMOLITION PLAN - BEDROOM WING
 A-1.1 1/4" = 1'-0"

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Title: Construction Documents
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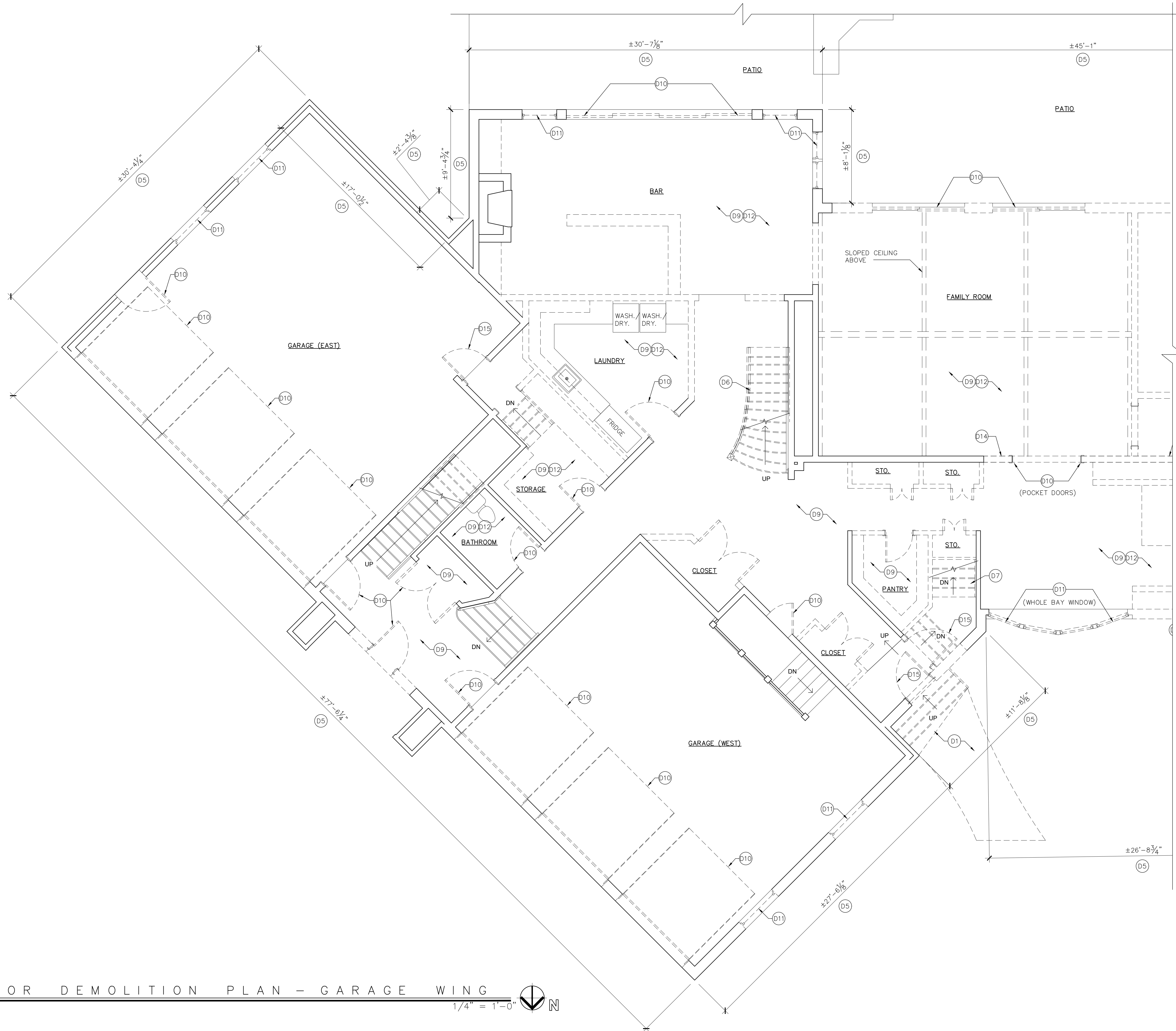
A-1.1

GENERAL DEMOLITION NOTES:

REFER TO DRAWING A1.0 FOR GENERAL DEMOLITION NOTES.

DEMOLITION NOTES:

REFER TO DRAWING A1.0 FOR DEMOLITION NOTES.



1 FIRST FLOOR DEMOLITION PLAN - GARAGE WING
A-1.2
1/4" = 1'-0"

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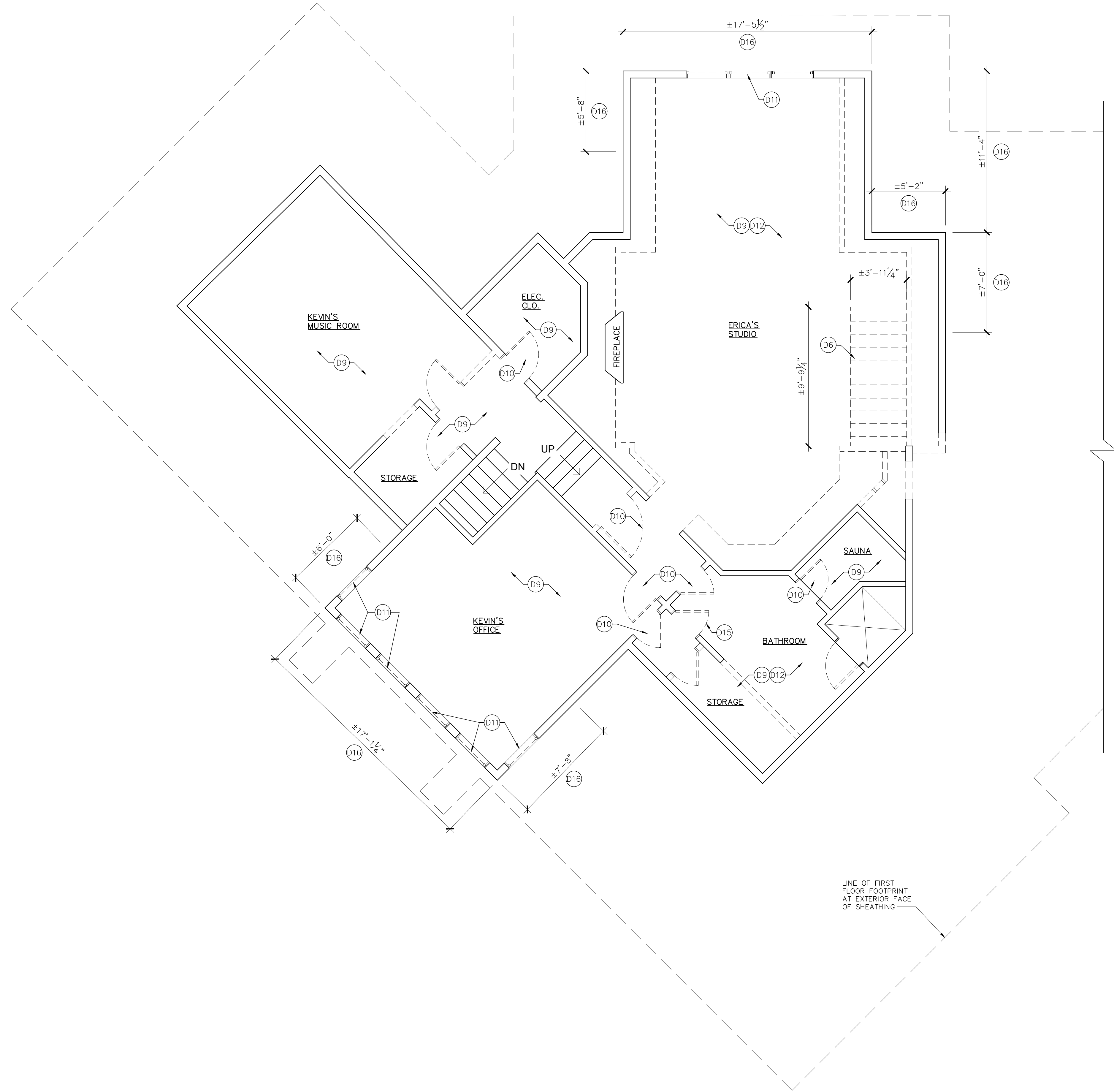
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DEMOLITION PLAN
A-1.2

GENERAL DEMOLITION NOTES:

REFER TO DRAWING A1.0 FOR GENERAL DEMOLITION NOTES.

DEMOLITION NOTES:

REFER TO DRAWING A1.0 FOR DEMOLITION NOTES.



1 SECOND FLOOR DEMOLITION PLAN - STUDIO WING
 A-1.4
 1/4" = 1'-0"

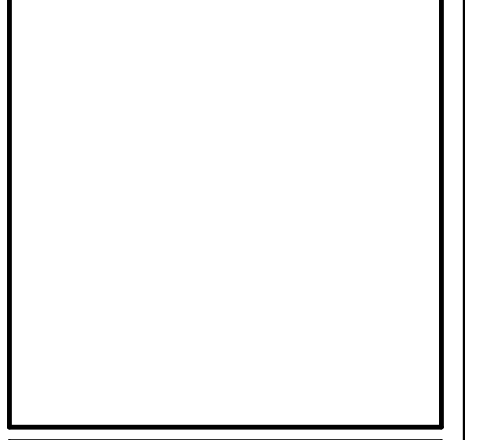
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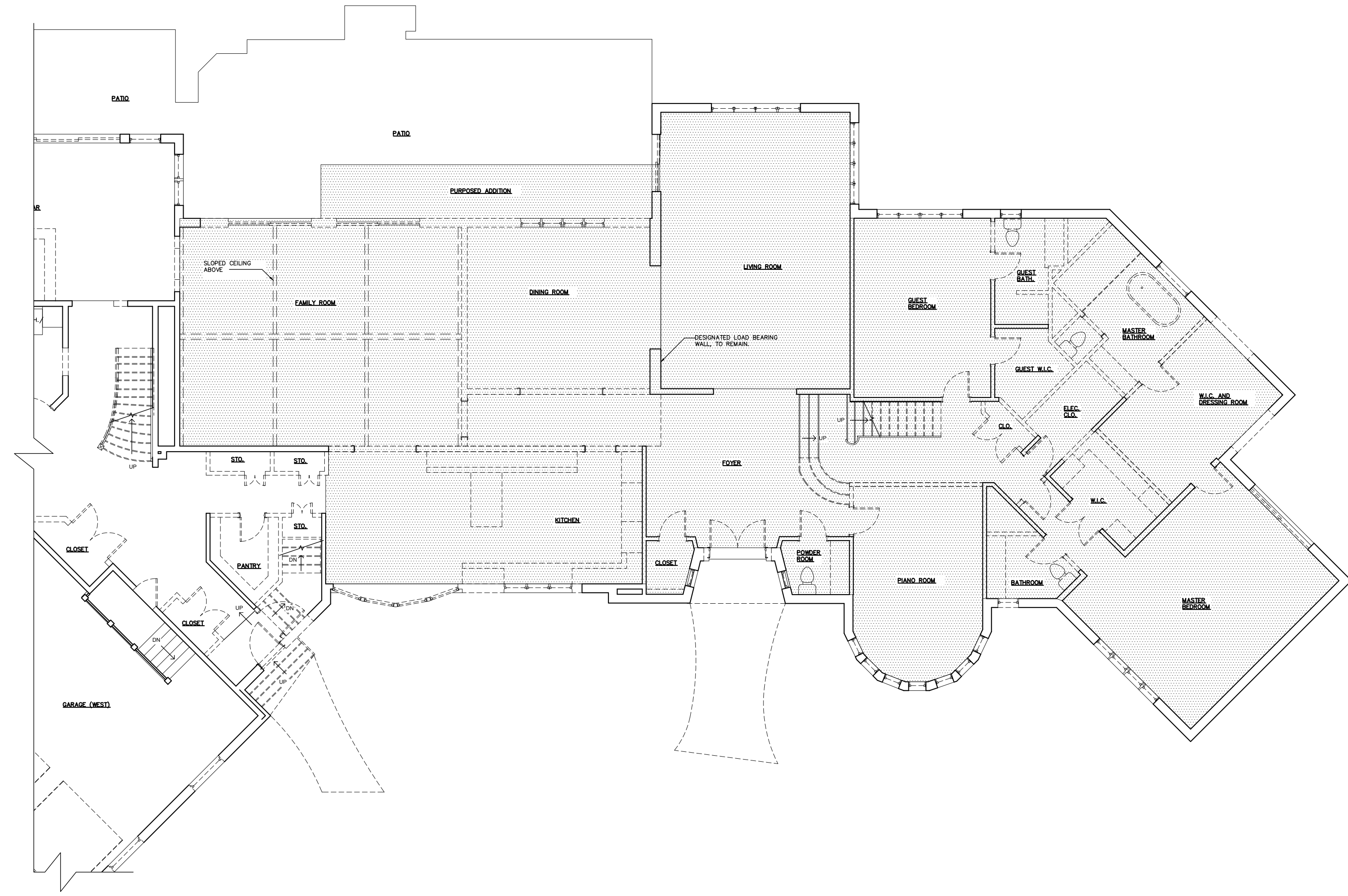
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Scale:	AS NOTED
Drawn by:	AMW
Checked by:	CBS

Title: Construction Documents
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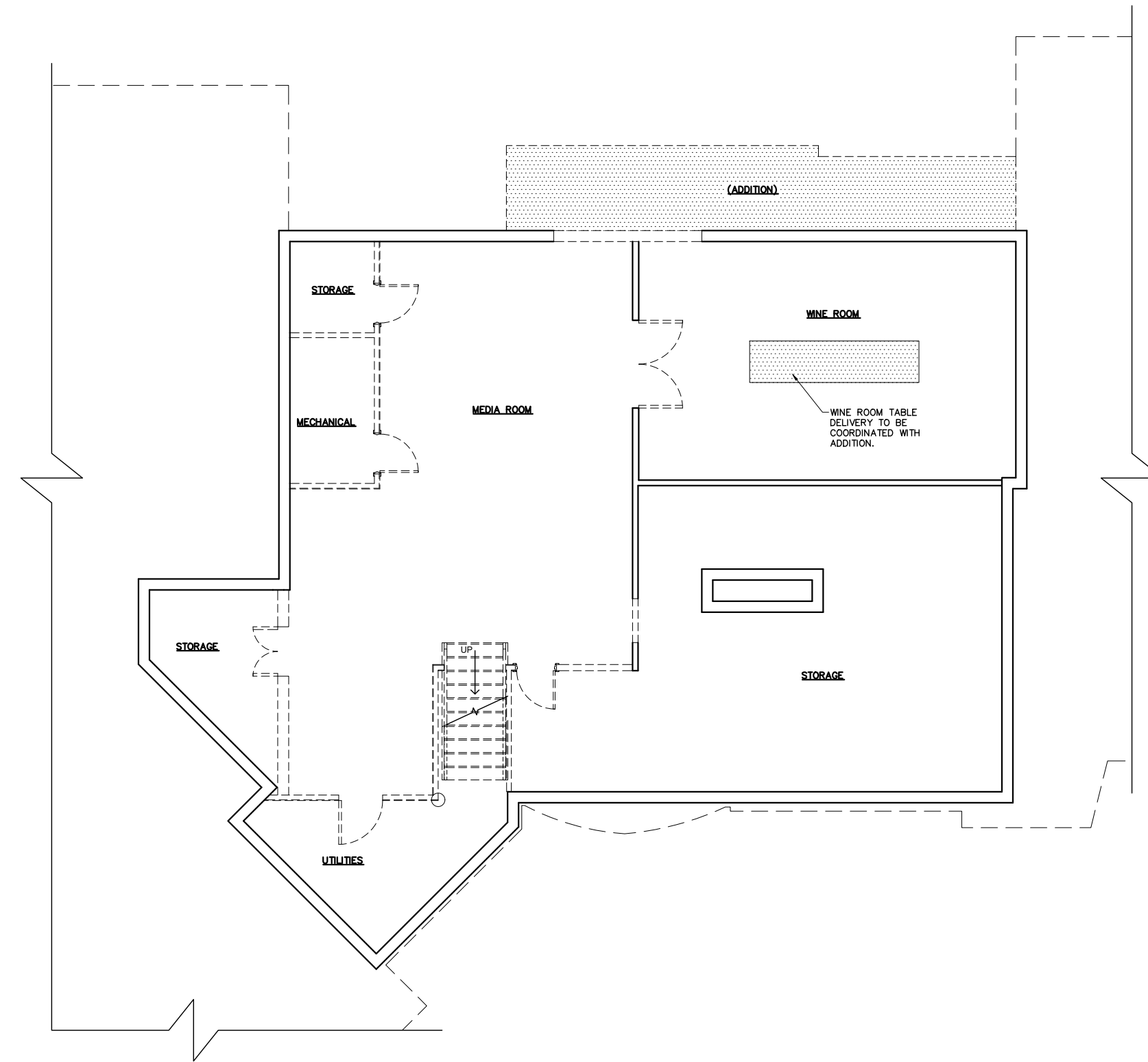
A-1.4



2 PRIORITY PLAN - PARTIAL FIRST FLOOR
 A-1.5 1/8" = 1'-0" N

AREA PRIORITY PLAN KEY:

AREA'S DESIGNED WITH HATCH ARE CONSIDERED TO BE PRIORITY AREAS OF THE SCOPE THAT IS TO BE COMPLETED FIRST BY DECEMBER 2021.



1 PRIORITY PLAN - PARTIAL FOUNDATION PLAN
 A-1.5 1/8" = 1'-0" N

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Title: Construction Documents
 PRIORITY PLANS

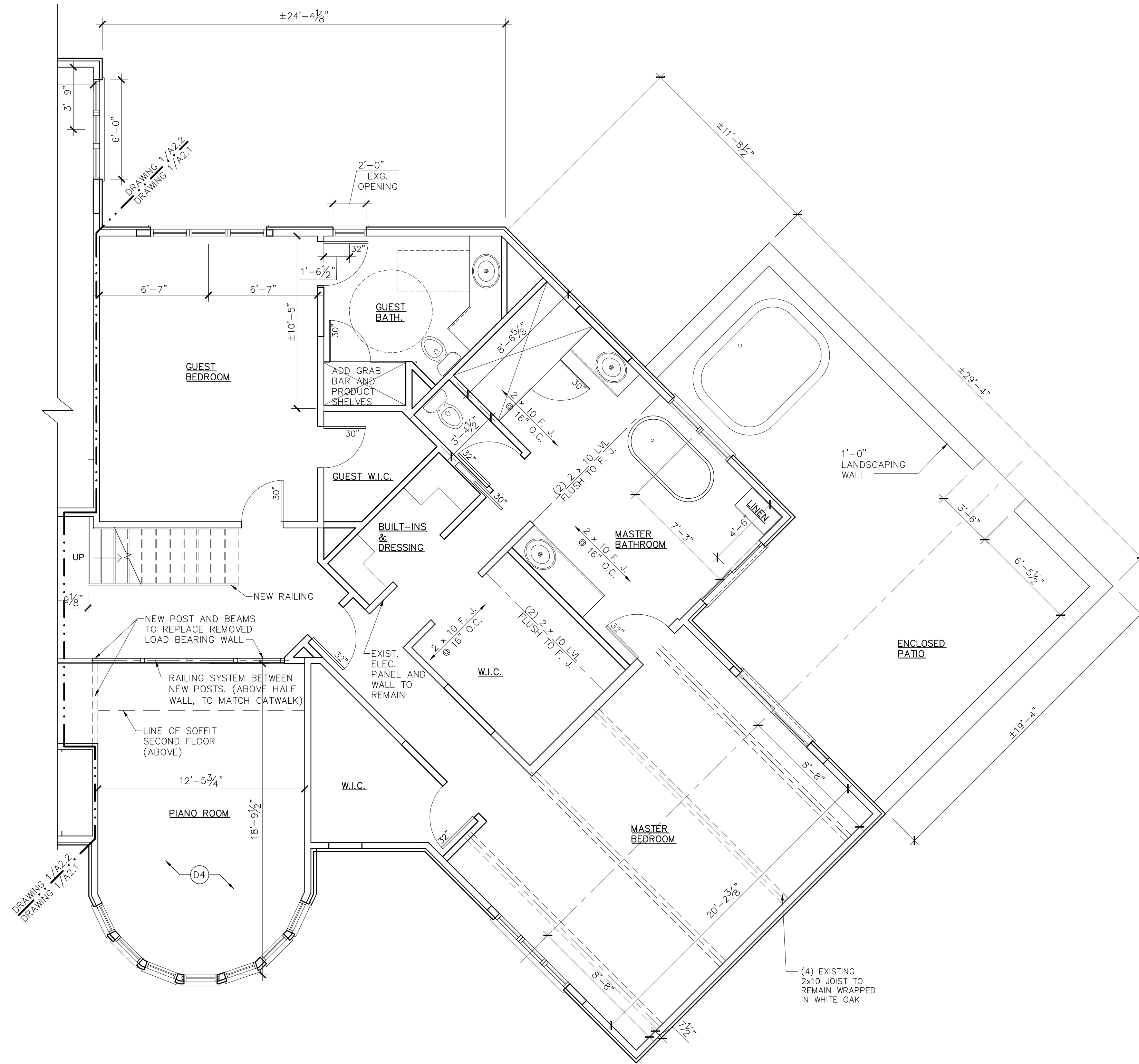
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FLOOR PLAN NOTES:

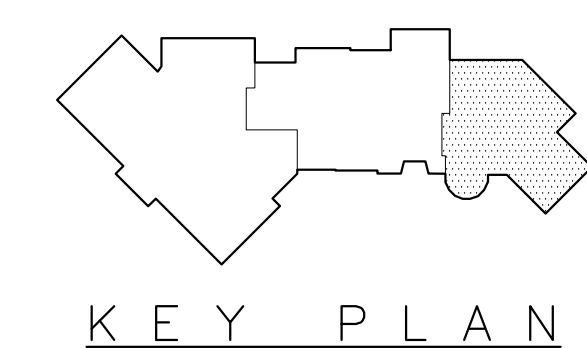
1. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
2. ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
3. ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
4. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
5. ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
6. DOUBLE JACK STUDS AT ALL 4'-0" OPENINGS AND LARGER.
7. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
8. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
9. ■ INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
10. REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
11. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
12. CONTRACTOR TO COORDINATE ALL CLOSET SHELVEING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
13. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
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17. RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

TIMBER FRAME NOTES:

1. ALL TIMBER FRAME INFORMATION SUPERSEDED BY TIMBER MANUFACTURER'S SHOP DRAWINGS.
2. END GRAIN BLOCKING TO BE PROVIDED AT ALL TIMBER POST LOCATIONS.



1 FIRST FLOOR PLAN - BEDROOM WING
A-2.1
1/4" = 1'-0" N



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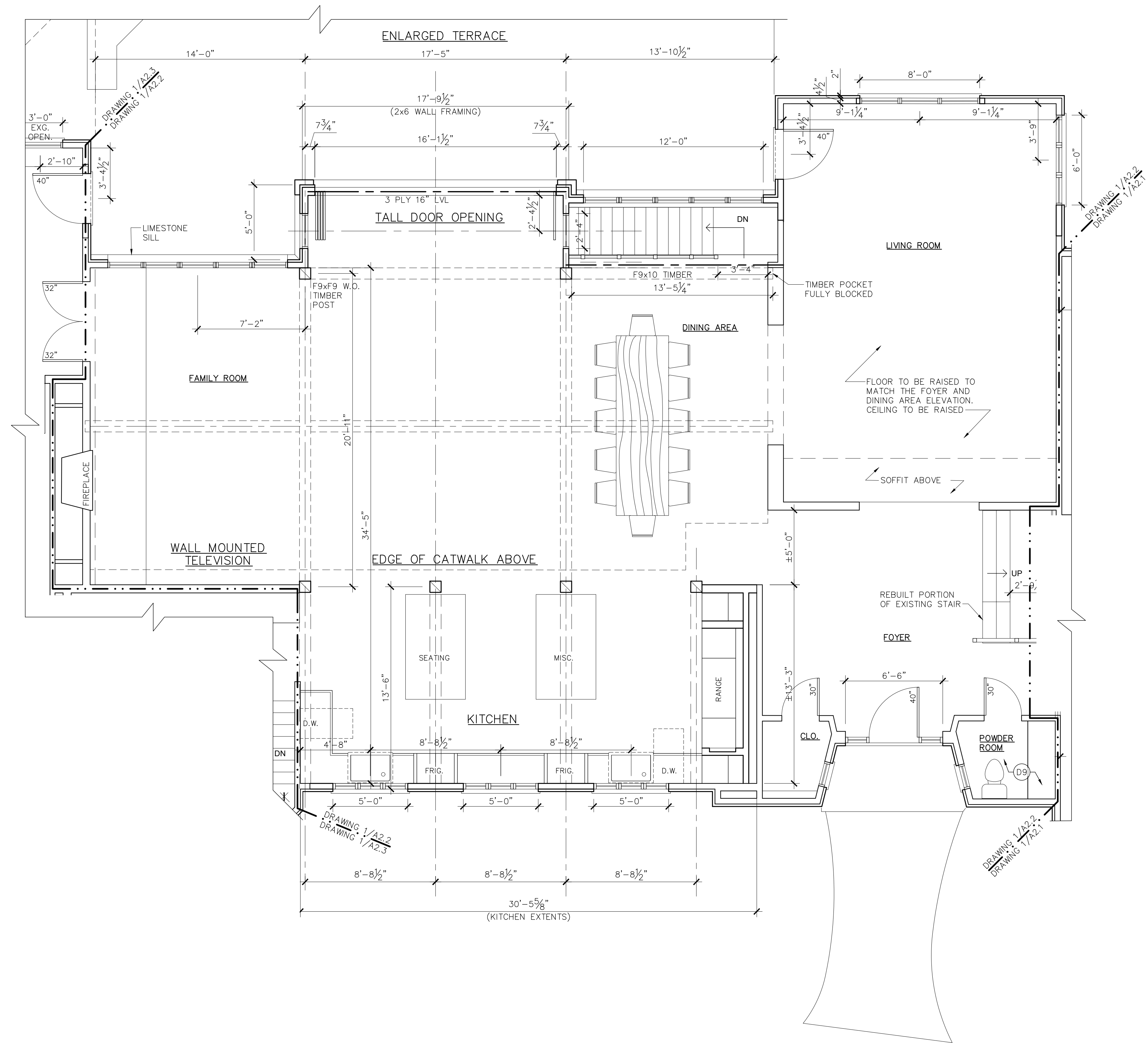
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Title: Construction Documents FLOOR PLAN		<p>DESIGN WORKS ARCHITECTURE</p> <p>6 North Main Street, Suite 104 :: Fairport, New York 14450 Phone: 585-377-9001 :: www.newdesignworks.com</p> <p>Copyright 2016 Design Works Architecture, P.C. All rights reserved. All material contained within is property of Design Works Architecture, P.C. and not to be reproduced without permission.</p>																																		
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<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>		No.	Date	Description																															<p>DESIGN WORKS ARCHITECTURE</p>	
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FLOOR PLAN NOTES:

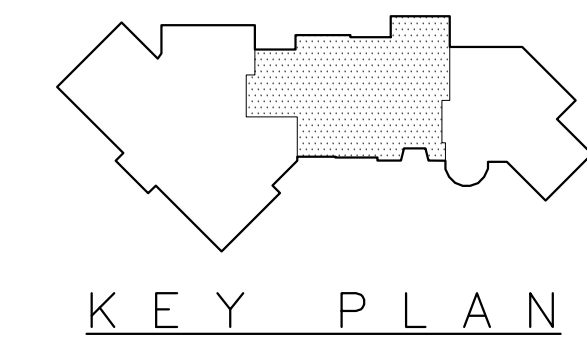
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TIMBER FRAME NOTES:

- ALL TIMBER FRAME INFORMATION SUPERSEDED BY TIMBER MANUFACTURER'S SHOP DRAWINGS.
- END GRAIN BLOCKING TO BE PROVIDED AT ALL TIMBER POST LOCATIONS.



1 FIRST FLOOR PLAN - MIDDLE BAY
A-2.2 1/4" = 1'-0" N



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Checked by:	CBS

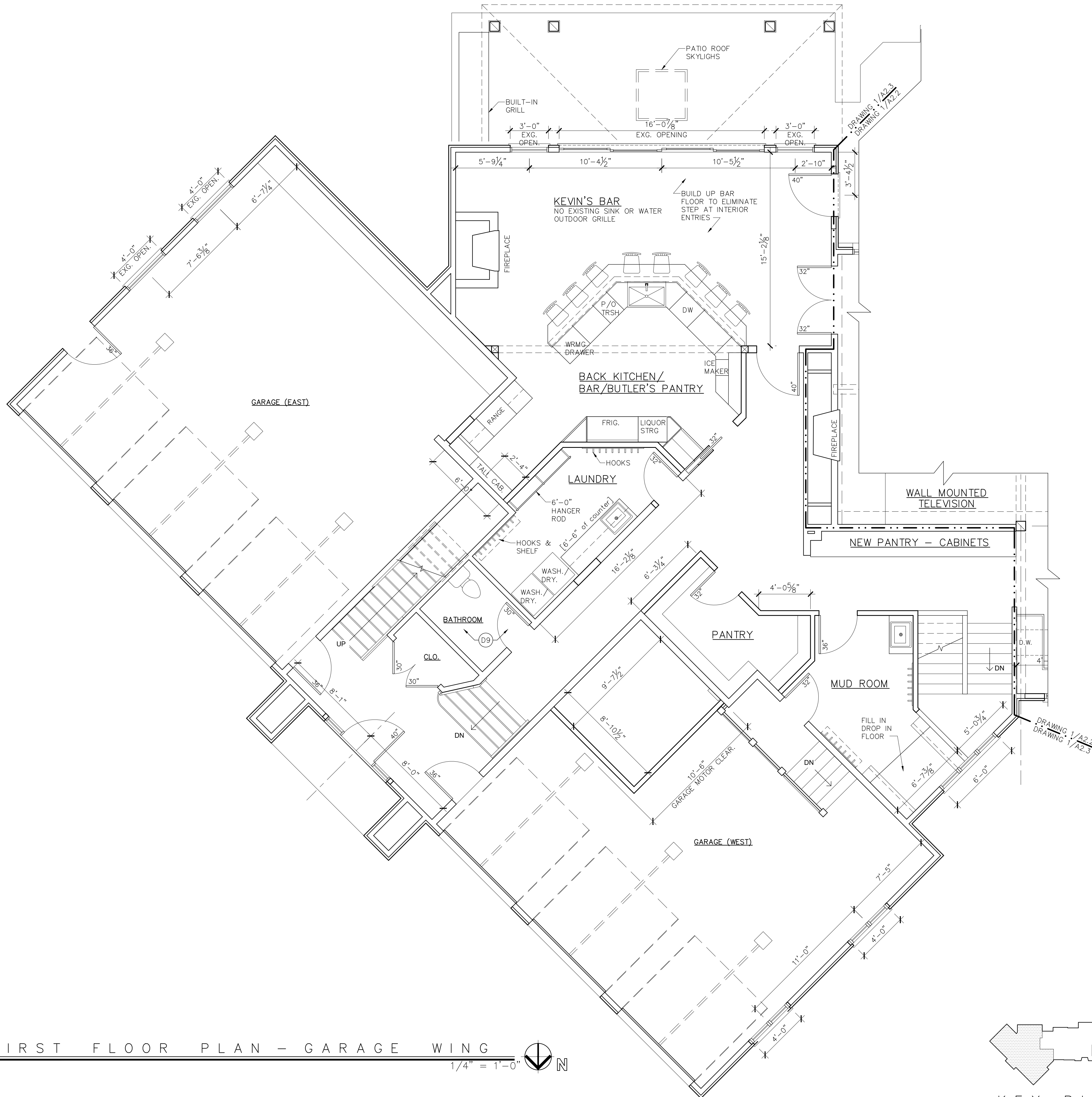
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A-2.2

FLOOR PLAN NOTES:

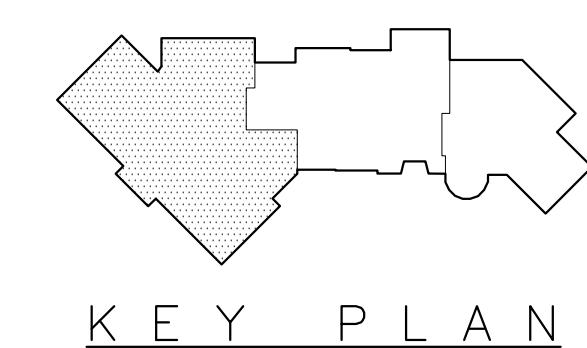
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- END GRAIN BLOCKING TO BE PROVIDED AT ALL TIMBER POST LOCATIONS.



1 FIRST FLOOR PLAN - GARAGE WING
A-2.3 1/4" = 1'-0" N



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Title: Construction Documents FLOOR PLAN
A-2.3

FLOOR PLAN NOTES:

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TIMBER FRAME NOTES:

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- END GRAIN BLOCKING TO BE PROVIDED AT ALL TIMBER POST LOCATIONS.

ROOF & ATTIC NOTES:

- APPROVED BITUTHANE WATER SHIELD PRODUCT (ie. GRACE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

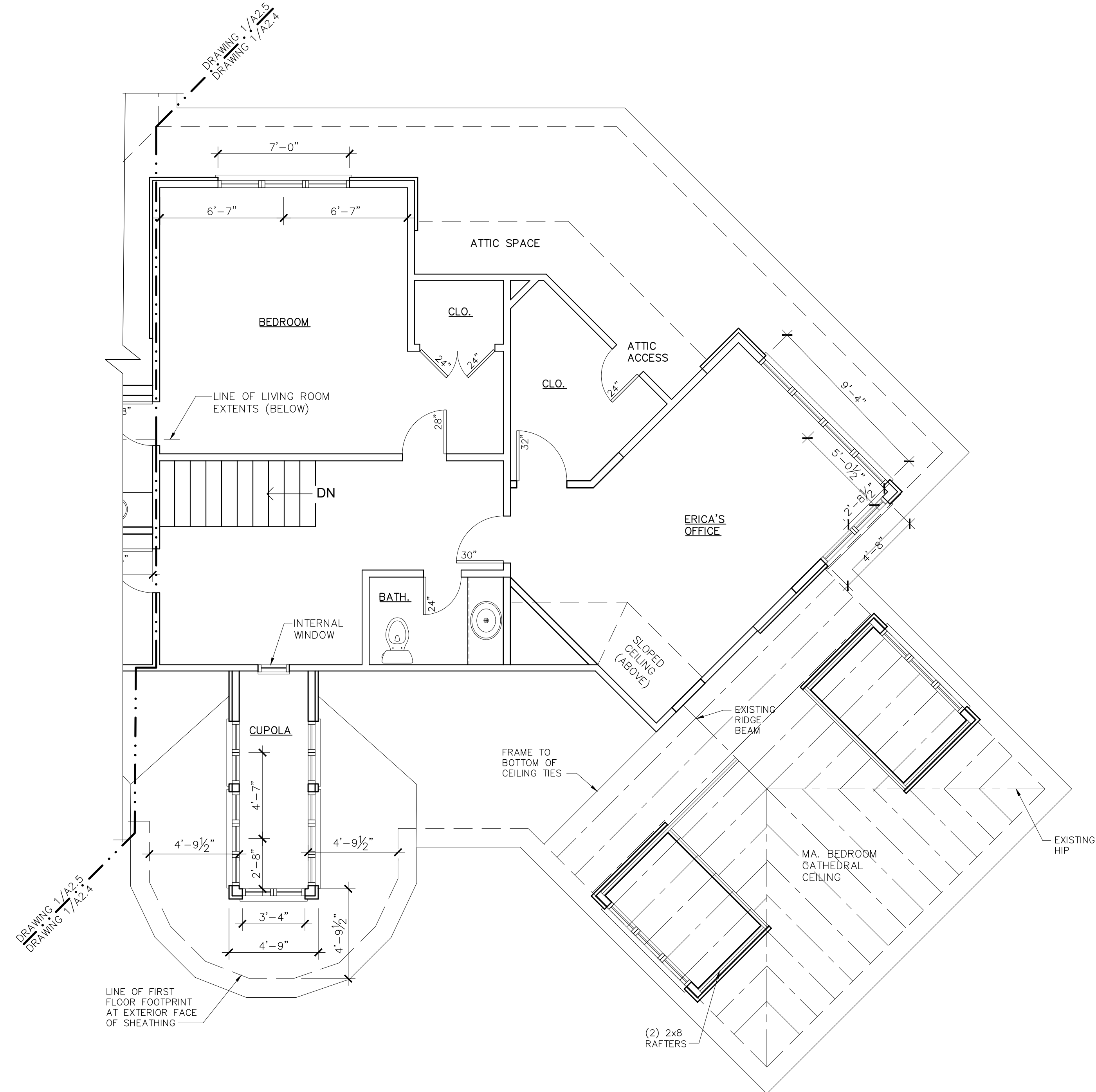
ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD	ENTIRE ROOF	5'-0"	3'-0"

* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

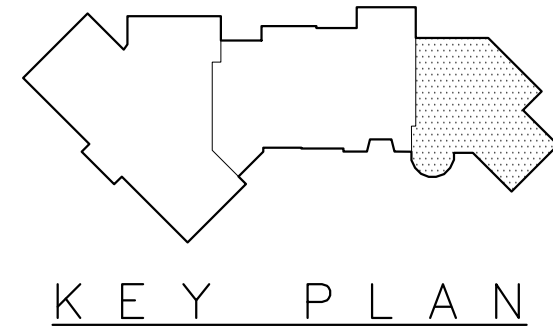
- USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
- HIGH TEMPERATURE ICE & WATER SHIELD UNDER METAL ROOF (IF APPLICABLE).
- ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF $\frac{1}{300}$ OF THE AREA OF VENTED SPACE. WITH THE EXCEPTION OF $\frac{1}{500}$ BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER THE RESIDENTIAL CODE OF N.Y.S..
- ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER THE RESIDENTIAL CODE OF N.Y.S..
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
- FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
- BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
- FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.

TRUSSES (IF APPLICABLE TO PROJECT)

- TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
- TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS MANUFACTURER.
- FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
- PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 UNLESS NOTED OTHERWISE.



1 SECOND FLOOR PLAN - ERICA'S OFFICE WING
A-2.4
1/4" = 1'-0"



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REVISIONS	No.	Date	Description
DESIGN WORKS ARCHITECTURE 6 North Main Street, Suite 104 :: Fairport, New York 14450 Phone: 585-377-9001 :: www.newdesignworks.com <small>Copyright 2016 Design Works Architecture, P.C. All rights reserved. All material contained within is property of Design Works Architecture, P.C. and not to be reproduced without permission.</small>			
Kevin Surace & Erica Rogers RESIDENCE		4000 East Ave Pittsford, New York	
Project No.	2066	Date:	05/05/21
Scale:	AS NOTED	Drawn by:	AMW
Checked by:	CBS		
Title: Construction Documents FLOOR PLAN		A-2.4	

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- DOUBLE JACK STUDS AT ALL 4"-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETS REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN. OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

TIMBER FRAME NOTES:

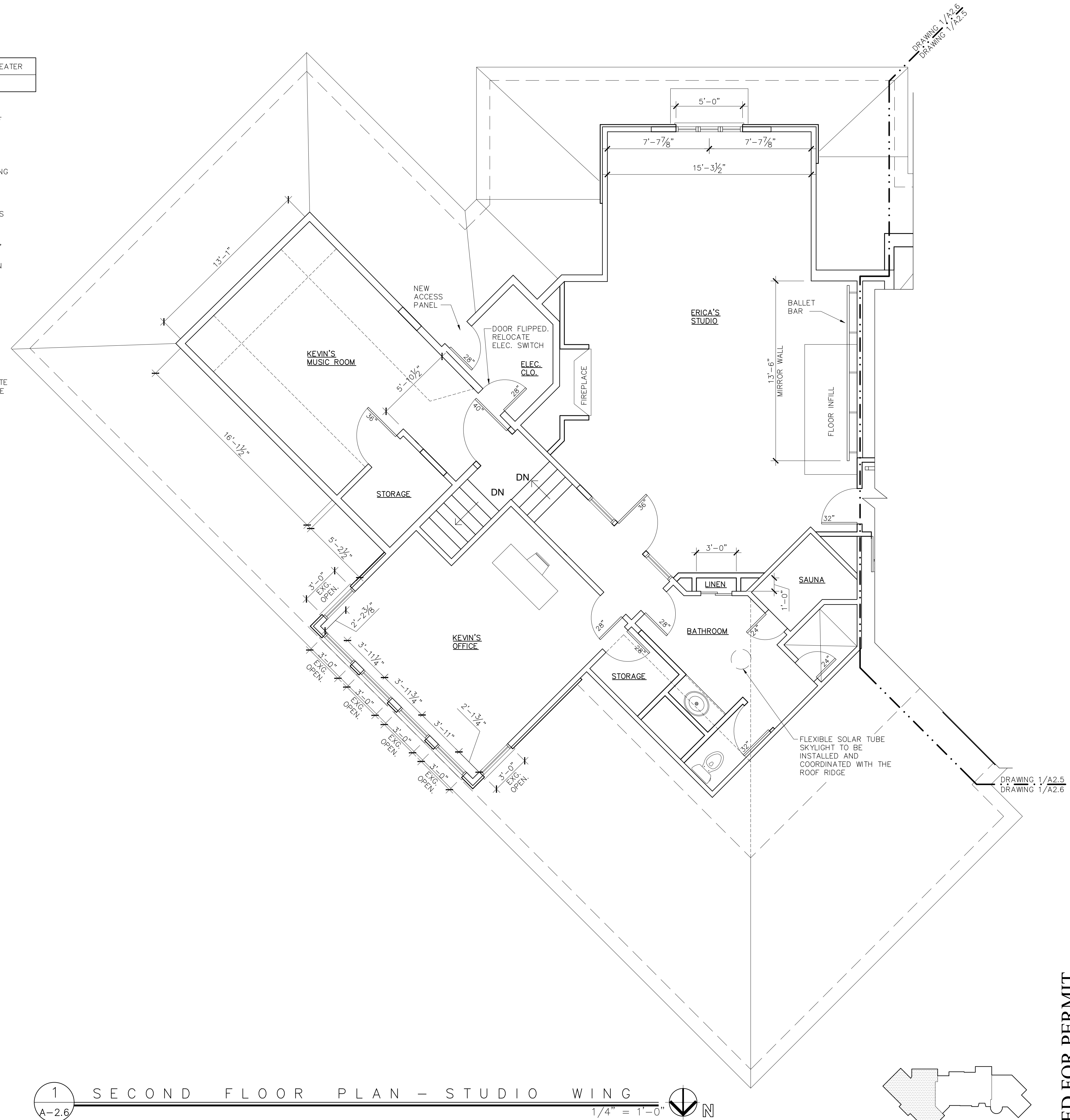
- ALL TIMBER FRAME INFORMATION SUPERSEDED BY TIMBER MANUFACTURER'S SHOP DRAWINGS.
- END GRAIN BLOCKING TO BE PROVIDED AT ALL TIMBER POST LOCATIONS.

ROOF & ATTIC NOTES:

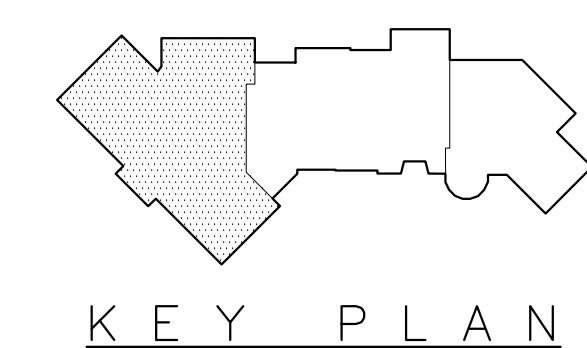
ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD *	ENTIRE ROOF	5'-0"	3'-0"

* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

- USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
 - HIGH TEMPERATURE ICE & WATER SHIELD UNDER METAL ROOF (IF APPLICABLE).
 - ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 1/50 OF THE AREA OF VENTED SPACE. WITH THE EXCEPTION OF 1/200 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER THE RESIDENTIAL CODE OF N.Y.S..
 - ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER THE RESIDENTIAL CODE OF N.Y.S..
 - PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAWE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
 - FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
 - BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
 - FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.
- TRUSSES (IF APPLICABLE TO PROJECT)**
- TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
 - TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS MANUFACTURER.
 - FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
 - PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 UNLESS NOTED OTHERWISE.



1 SECOND FLOOR PLAN - STUDIO WING
A-2.6 1/4" = 1'-0" N



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No.	Description

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Kevin Surace & Erica Rogers RESIDENCE

4000 East Ave
Pittsford, New York

Project No.	2066
Date:	05/05/21
Scale:	AS NOTED
Drawn by:	AMW
Checked by:	CBS

Title: Construction Documents FLOOR PLAN

A-2.6

ISSUED FOR PERMIT

ROOF & ATTIC NOTES:

- APPROVED BITUTHANE WATER SHIELD PRODUCT (ie. GRACE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD	ENTIRE ROOF	5'-0"	3'-0"


* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

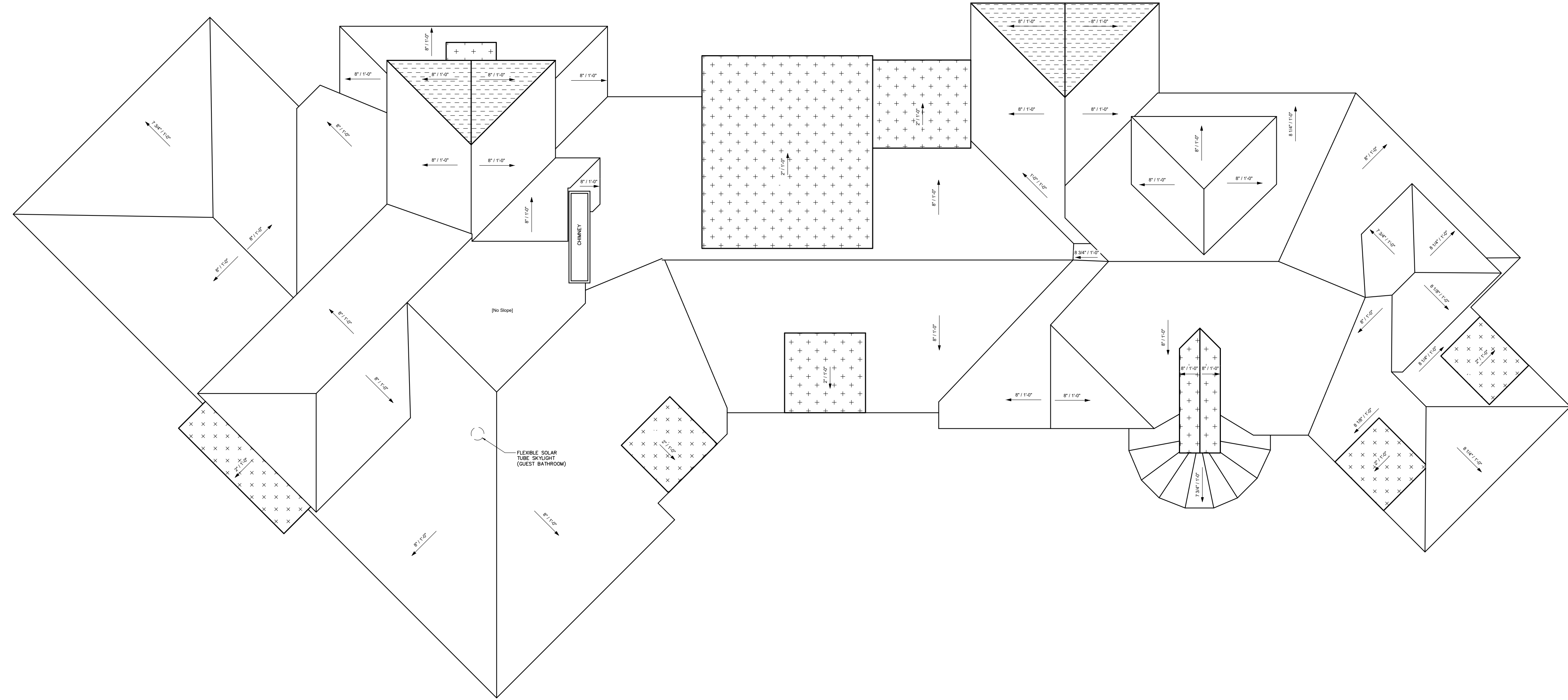
- USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
- HIGH TEMPERATURE ICE & WATER SHIELD UNDER METAL ROOF (IF APPLICABLE).
- ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF $\frac{1}{50}$ OF THE AREA OF VENTED SPACE. WITH THE EXCEPTION OF $\frac{1}{300}$ BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER THE RESIDENTIAL CODE OF N.Y.S..
- ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER THE RESIDENTIAL CODE OF N.Y.S..
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
- FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
- BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
- FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.

TRUSSES (IF APPLICABLE TO PROJECT)

- TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
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- FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
- PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 UNLESS NOTED OTHERWISE.

ROOF TYPE LEGEND

	NEW COMPOSITE POLYMER SHINGLE ROOFING
	NEW COMPOSITE POLYMER SHINGLE ROOFING (HIP EXTENDED TO CREATE GABLE END)
	NEW METAL PANEL ROOFING



1 ROOF PLAN
A-2.7 1/8" = 1'-0" N

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Date: 05/05/21
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Checked by: CBS

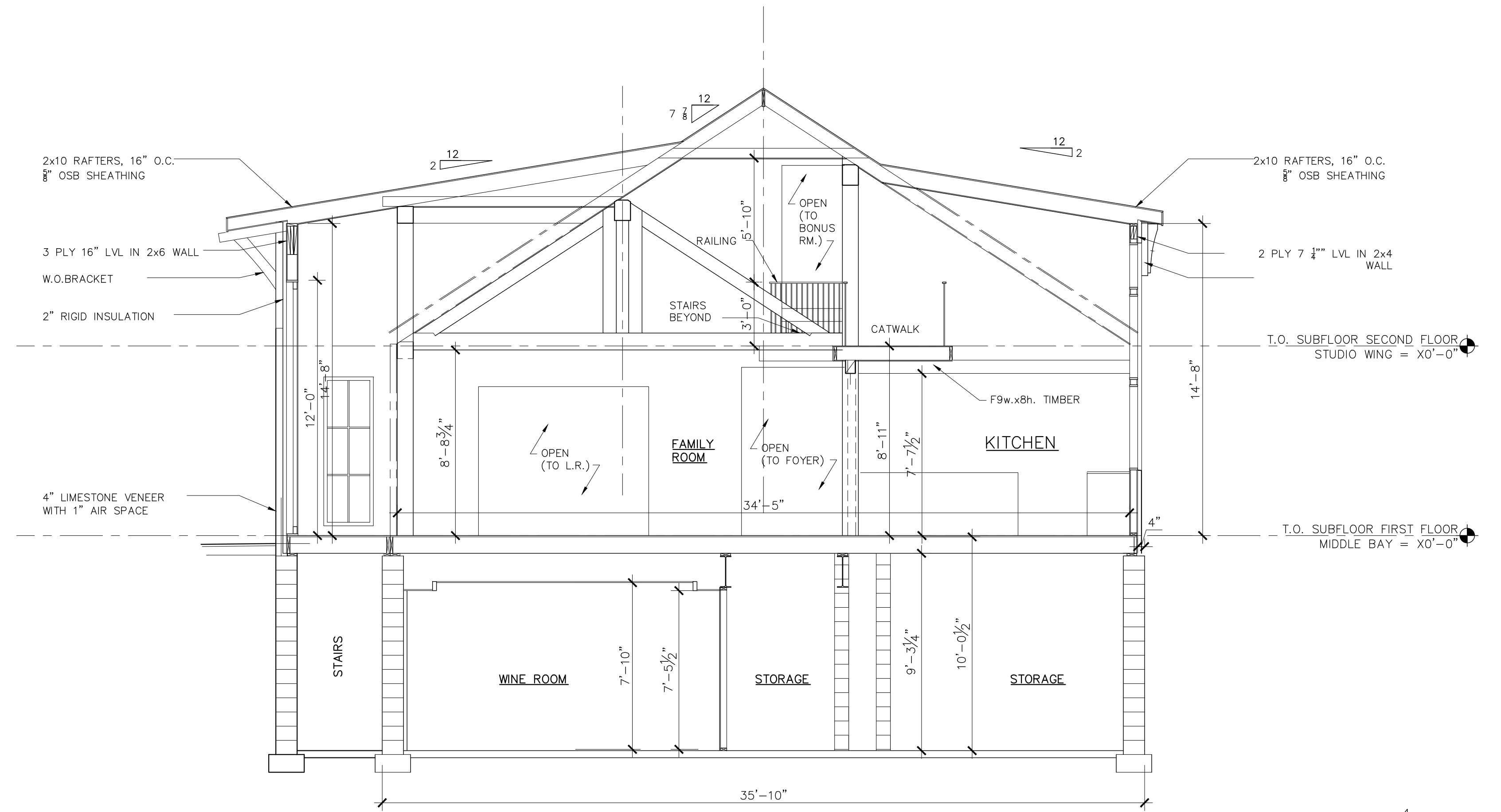
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Title: Construction Documents
 ROOF PLAN

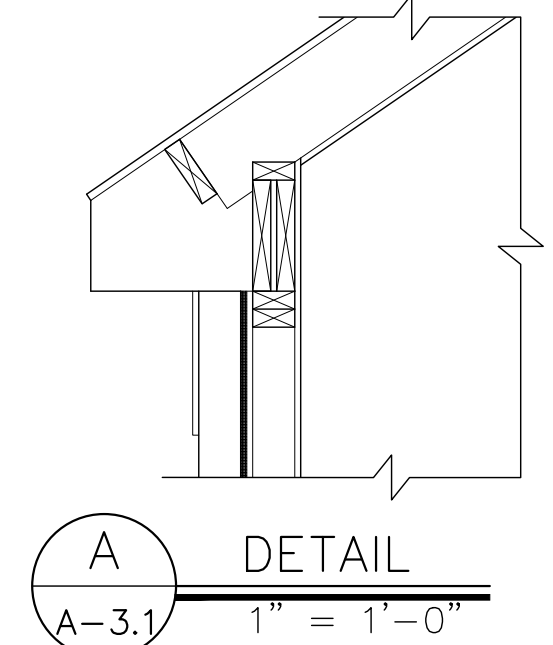
A-2.7

CONSTRUCTION AND FRAMING NOTES:

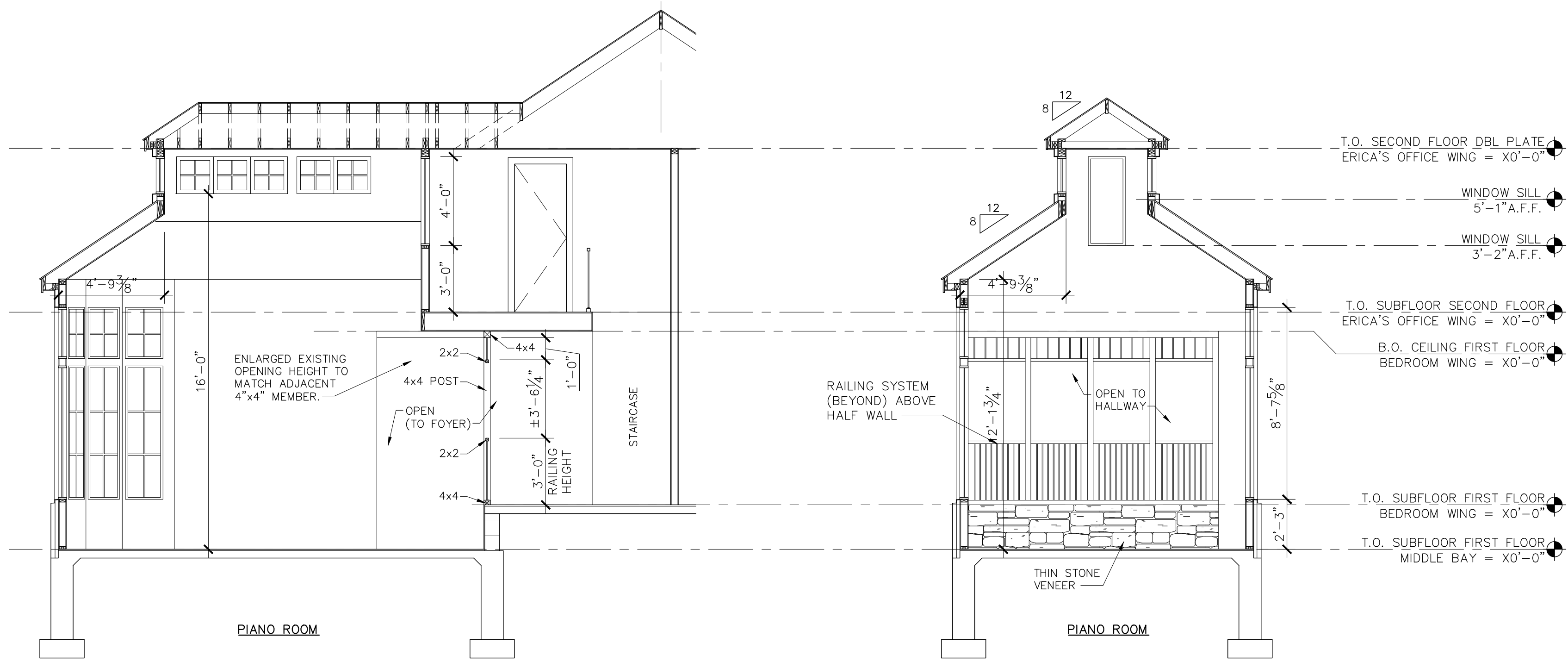
- JOISTS, HEADERS, AND BEAMS SHALL BE EASTERN HF no. 2 OR BETTER UNLESS NOTED OTHERWISE:
 - HF: Fb=1100 PSI, Fv=75 PSI, E=1,300,000
 - DOUG FIR: Fb=1400 PSI, Fv=95 PSI, E=1,400,000
- ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.
- "LVL" BEAMS SHALL HAVE BENDING STRESS FB=2,600 PSI. E= 2.0M PSI.
- ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
- BEAMS TO FOUNDATION POCKETS SHALL HAVE 1/2" CLEARANCE FROM MASONRY (1/2" AIRSPACE THREE (3) SIDES W/ STEEL SHIMS AND SOLID CMU CORES AT BEARING).
- UNLESS OTHERWISE NOTED PROVIDE A 2x PLATE BOLTED TO TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 48" ON CENTER.
- SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.
- ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE "PRESSURE TREATED UNLESS SEPARATED BY SILL SEALER MATERIAL.
- ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE.
- DOUBLE FLOOR JOISTS AT FLOOR OPENINGS.
- PROVIDE DOUBLE STUDS (MIN.) UNDER BEAMS W/ SOLID BLKG. TO FNDN. (W/ SOLID CMU CORES AT POINT LOAD), COL. OR BEAM FOR PROPER SUPPORT AND LOAD TRANSFER.
- FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE ADVANTECH SUBFLOOR.
- FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND, (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ALL WALLS TO RECEIVE TILE SHALL BE CEMENTITIOUS BACKER BOARD IN SHOWERS AND AROUND TUBS.
- USE (1) LAYER 1/2" FC TYPE "X" GYPSUM BOARD @ GARAGE WALLS AND CEILINGS. CEILING TO BE 5/8" FIRE CODE TYPE X IF HABITABLE SPACE ABOVE. ALL JOINTS TO BE TAPED, SEALED AND PAINT FINISH.
- WINDOW AND EXTERIOR DOOR HEADERS AS NOTED ON PLAN.
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE WHERE REQ'D AND AT ROOF CHANGES, HORIZ. ABUTMENTS (PORCHES & DECKS), PROJECTIONS, VALLEYS, OPENINGS... ETC.
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS TO BE CERTIFIED BY THE MANUFACTURER; INCLUDING FINAL SIZING AND ENGINEERING, BRIDGING AND BLOCKING, THRU-PENETRATIONS, BEARING CONDITIONS AND CONNECTIONS.
- PROVIDE BRIDGING WHERE JOISTS EXCEEDING A NOMINAL 2 INCHES BY 12 INCHES SHALL BE SUPPORTED LATERALLY BY BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL), OR A CONTINUOUS 1 INCH BY 3 INCH STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
- PROVIDE RUST-INHIBITIVE PAINT TO STEEL COLUMNS EXCEPT FOR CORROSION RESISTANT OR TREATED STEEL.
- ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SF AT FIRST FLOOR AND 5.7 SF AT SECOND FLOOR. ALL SILLS TO BE WITHIN 44" OF FINISH FLOOR FOR EGRESS OPENINGS.
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED WALL AND STAIR SPACES AT THE FLOOR AND CEILING (ALSO 1/2" GWB ON UNDERSIDE OF STAIRS IN ENCLOSED ACCESSIBLE SPACES), FURRED SPACES AT INTERVALS NOT EXCEEDING 10 FT., CONCEALED JOIST SPACES AT BEAMS AND BEARING WALLS.
- ALL GAS APPLIANCES TO BE DIRECTLY VENTED TO ROOF OR EXTERIOR TERMINATION ADDRESSING ALL REQUIREMENTS PER MANUFACTURERS SPECIFICATIONS.
- FOR INSULATION VALUES, REFER TO RESCHECK.



4 BUILDING SECTION
A-3.1 1/4" = 1'-0"

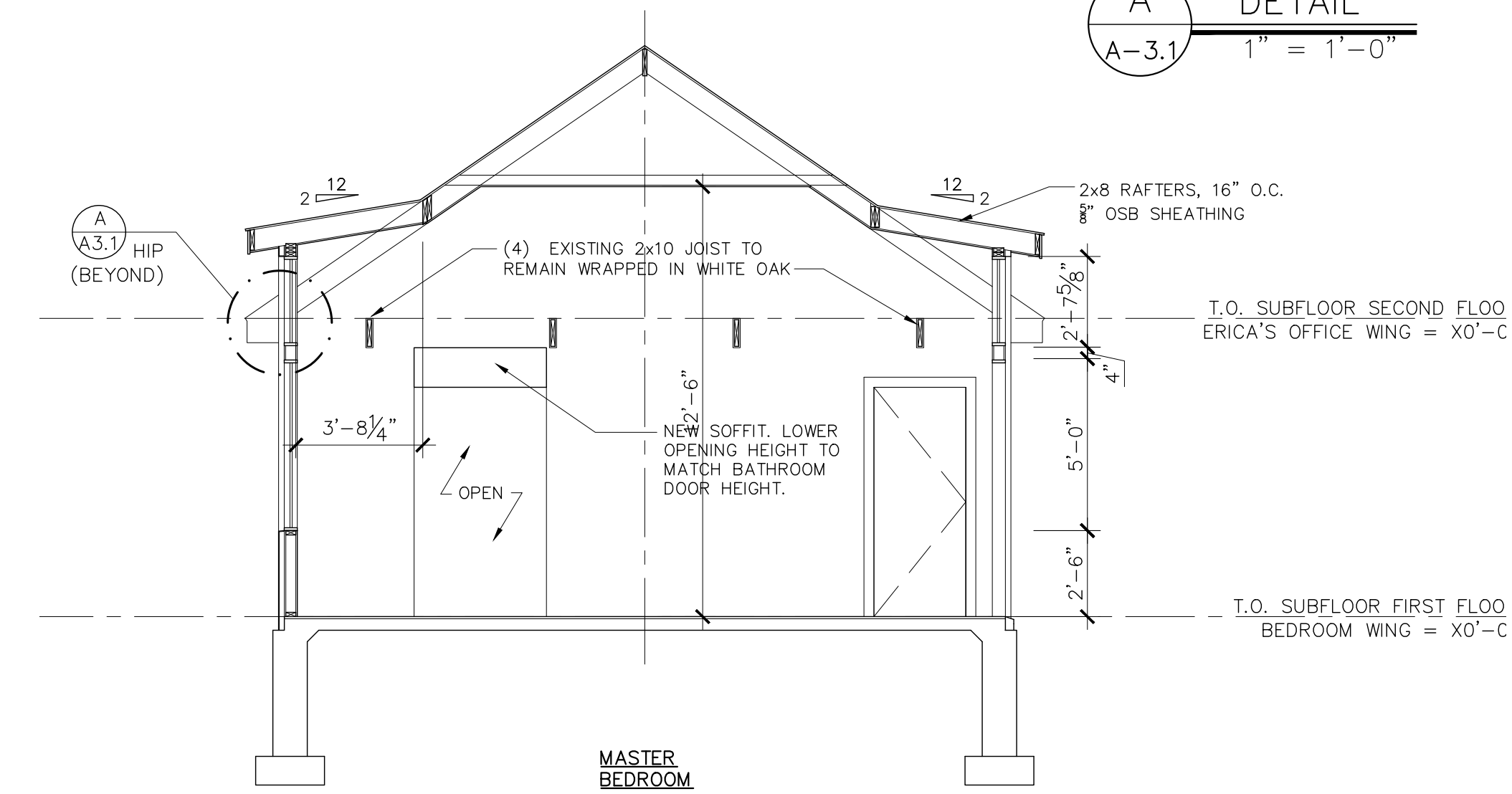


A DETAIL
A-3.1 1" = 1'-0"



3 BUILDING SECTION
A-3.1 1/4" = 1'-0"

2 BUILDING SECTION
A-3.1 1/4" = 1'-0"



1 BUILDING SECTION
A-3.1 1/4" = 1'-0"

REVISIONS	
No.	Description

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ISSUED FOR PERMIT

Title: Construction Documents BUILDING SECTIONS

A-3.1



4 WEST ELEVATION
A-4.1 1/4" = 1'-0"



3 EAST ELEVATION
A-4.1 1/4" = 1'-0"



2 SOUTH ELEVATION
A-4.1 1/4" = 1'-0"



1 NORTH ELEVATION
A-4.1 1/4" = 1'-0"

EXTERIOR FINISH MATERIALS:

- NEW COMPOSITE POLYMER SHINGLE ROOFING
- FIBERGLASS CLAD SDL WINDOWS
- EXTERIOR FINISH INSULATION SYSTEM FOR WALLS
- STONE TO BE 4" THICK LIMESTONE
- TIMBER TO BE LIMED WHITE OAK

No.	Date	Description

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ISSUED FOR PERMIT
 Title: Construction Documents BUILDING ELEVATIONS
A-4.1









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000101

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 14 Laureldale Drive PITTSFORD, NY 14534

Tax ID Number: 178.12-2-7

Zoning District: RN Residential Neighborhood

Owner: Brian Hahn

Applicant: Steven LaFrance (Architect)

Application Type:

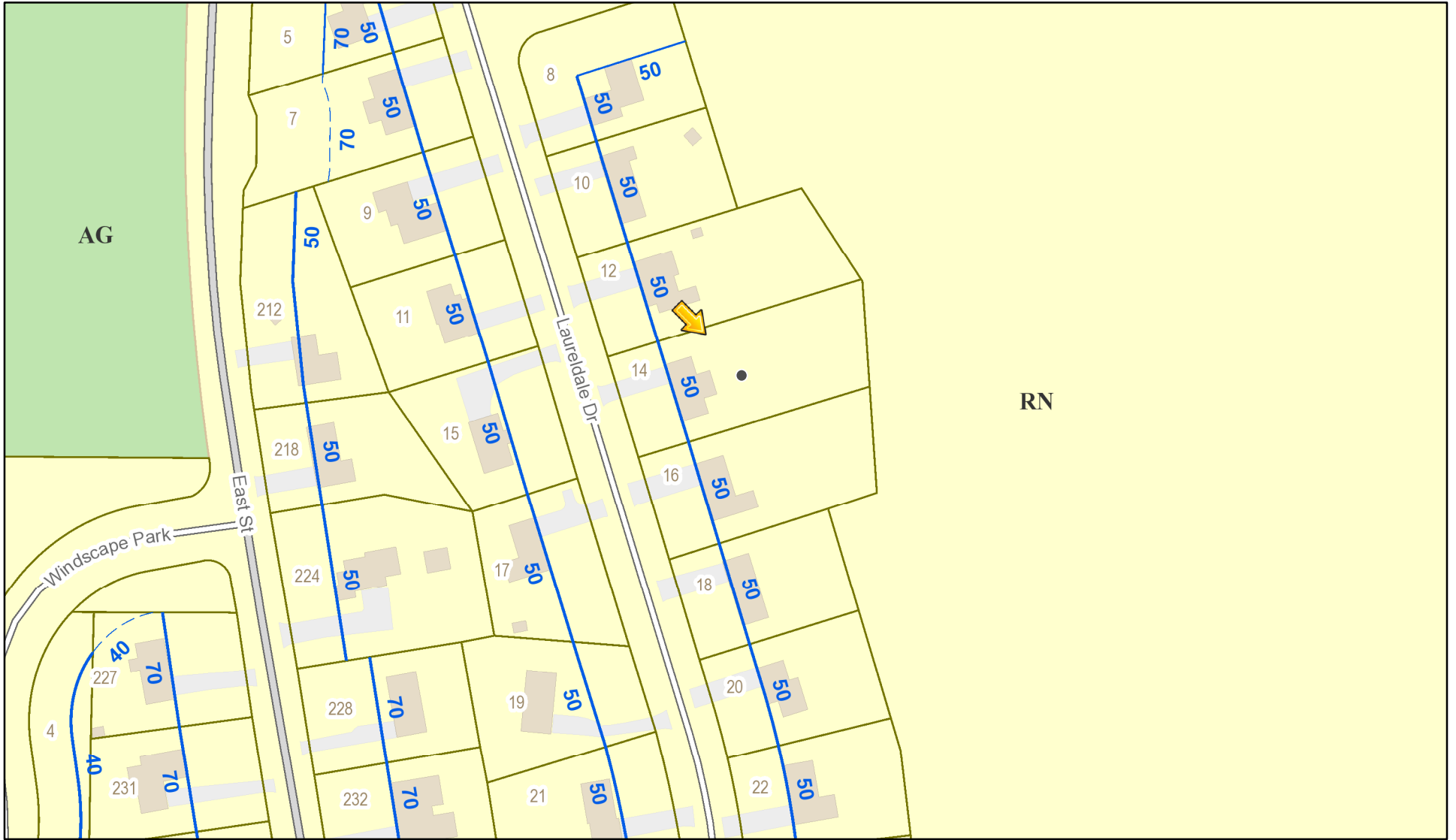
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a porch. The porch will be approximately 232 square feet and will be located on the front of the home. The project will also include changing the garage doors to one door and the removal of decorative posts.

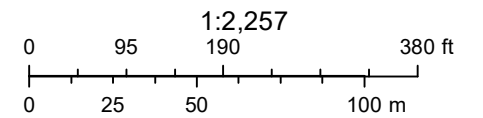
Meeting Date: May 27, 2021



RN Residential Neighborhood Zoning

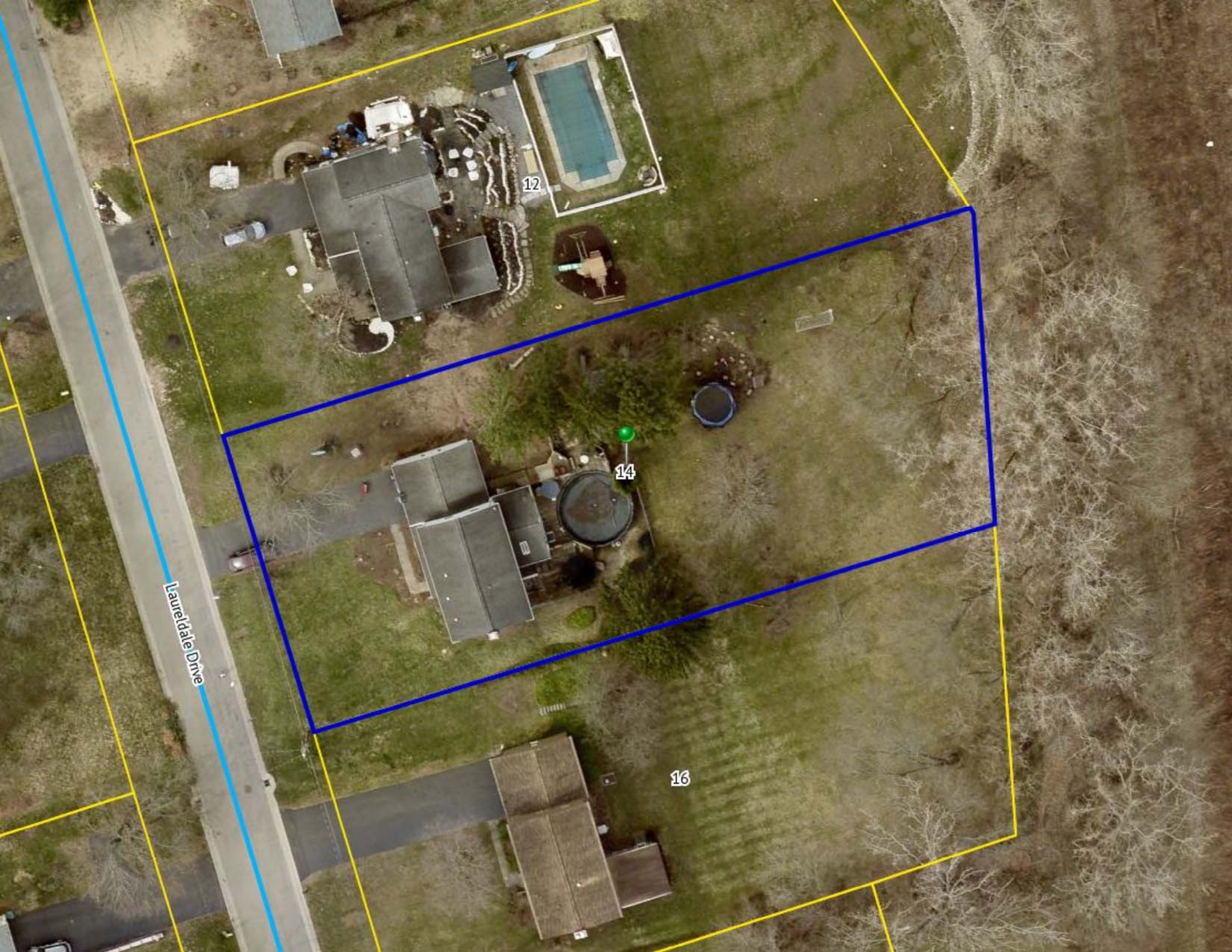


Printed May 20, 2021



Town of Pittsford GIS

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Laurelville Drive

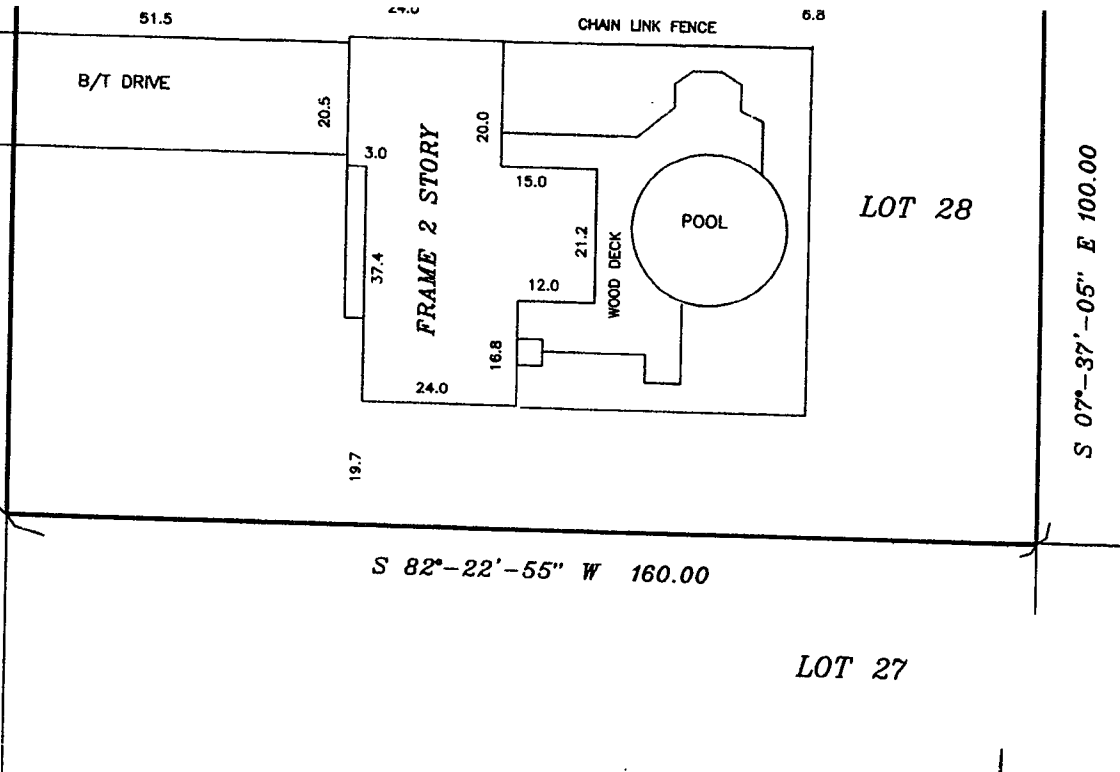
12

14

16

LAURELDALE DRI

N 07°-37'-05" W 100.00



S 07°-37'-05" E 100.00

MAP OF A SURVEY
OF LANDS SITUATE AT
14 LAURELDALE DRIVE
BEING LOT 28 LAUREL HILL SUBDIVISION
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK



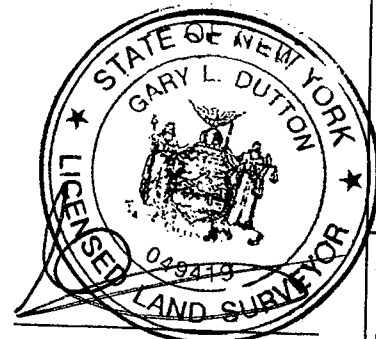
REFERENCE
LIBER 159 OF MAPS, PAGE 74
LIBER 6826 OF DEEDS, PAGE 45

GARY L. DUTTON
LAND SURVEYORS
6115 ROUTE 15A
SPRINGWATER, NEW YORK 14560
585-367-3304 FACSIMILE 367-3172

SCALE: 1"=30" DATE: MAY 14, 2020

I certify to the parties listed hereunder that this map was made MAY 14, 2020 from notes of an instrument survey.

Ukrainian Federal Credit Union,
ISAOA
Underberg & Kessler, LLP
Maryana & Brian Hahn
Oliver Korts, LLP
First American Title Insurance

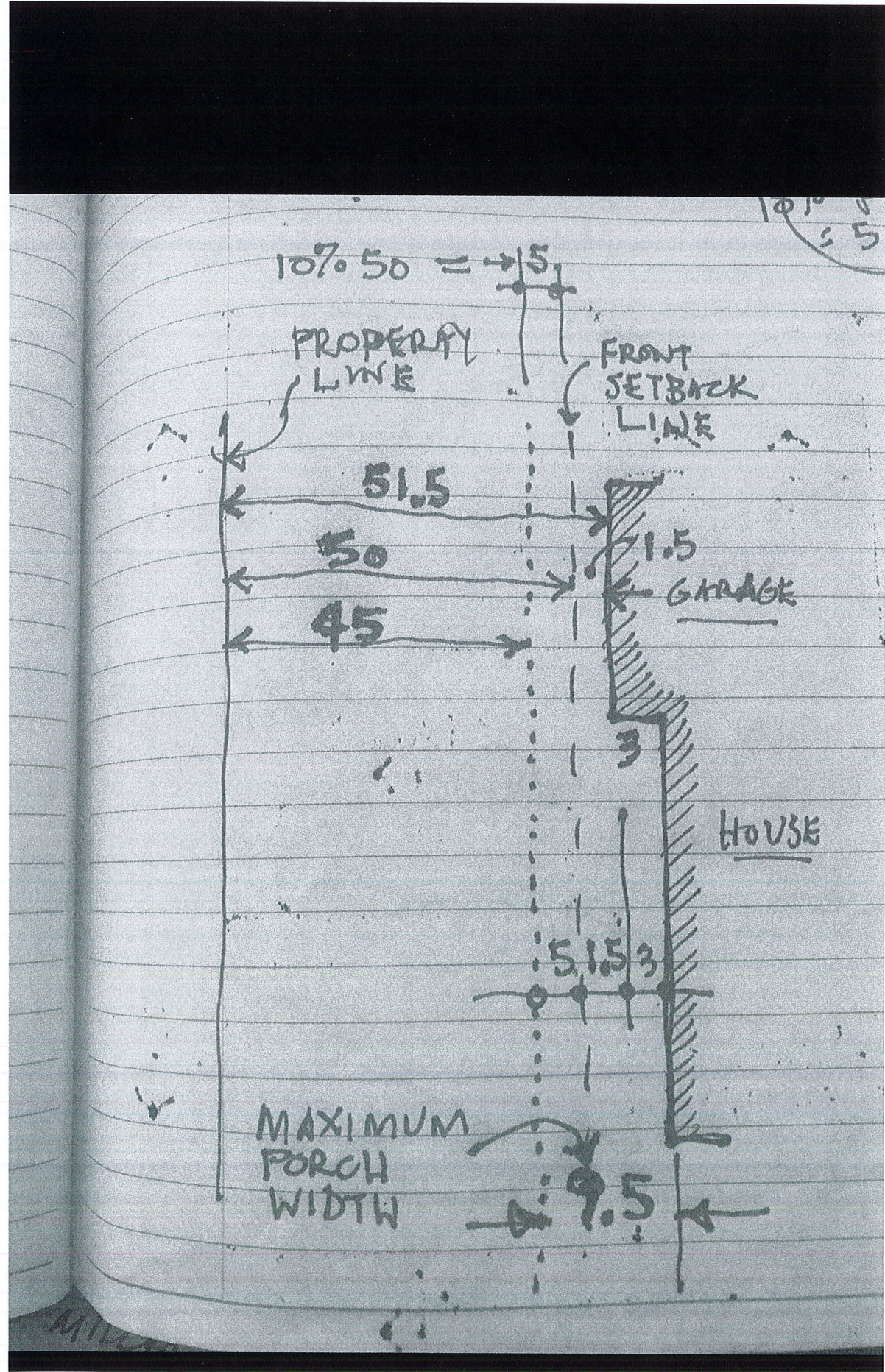


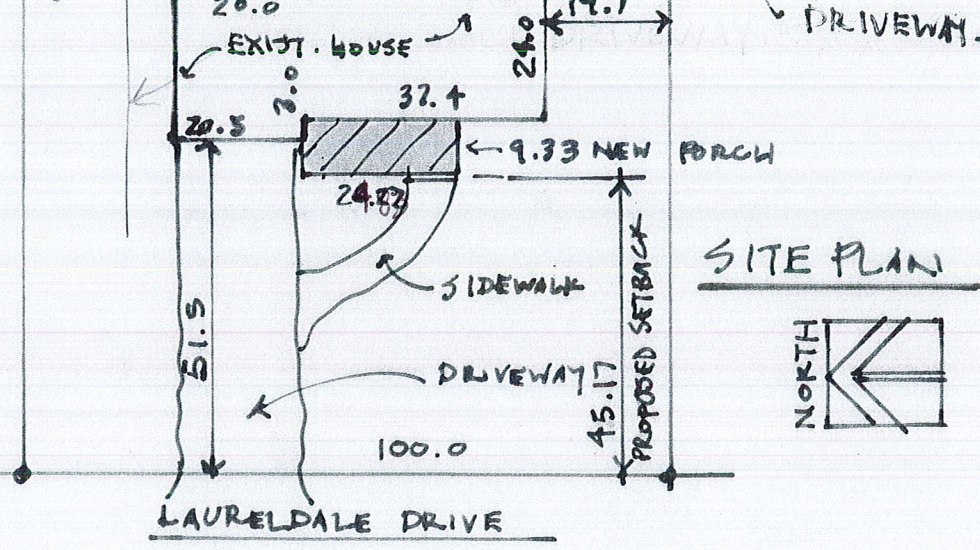
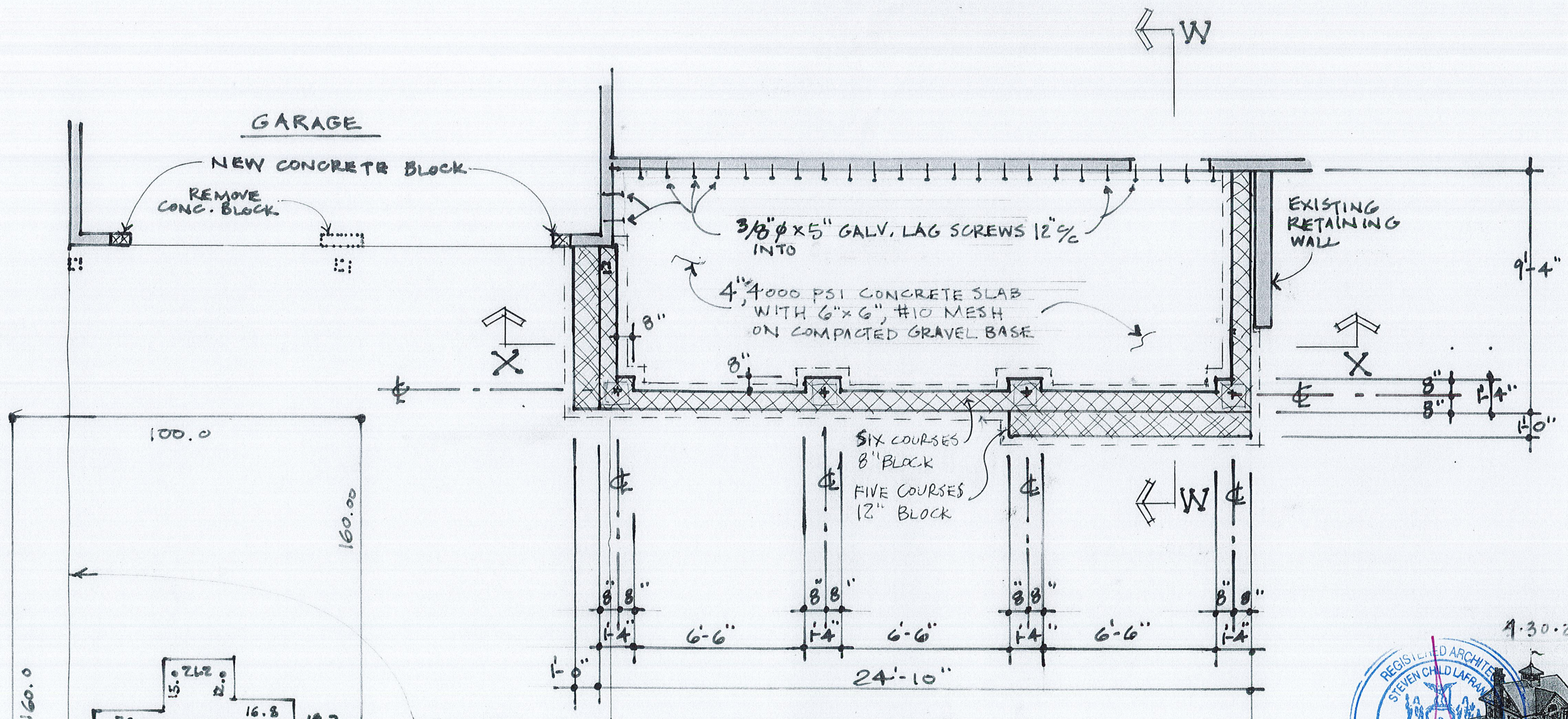
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"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law"

JOB No. 2020-146
FIELD BOOK _____
DISK No. 6323

HAHN





FOUNDATION PLAN

1/4" = 1'-0"

ADDITION TO
HAHN RESIDENCE

17 LAURELDALE DRIVE
 PITTSFORD, NY 14534

4.30.21

LaFranceArchitects.com
 Design Counseling at Your Home
 Steven LaFrance - Architect

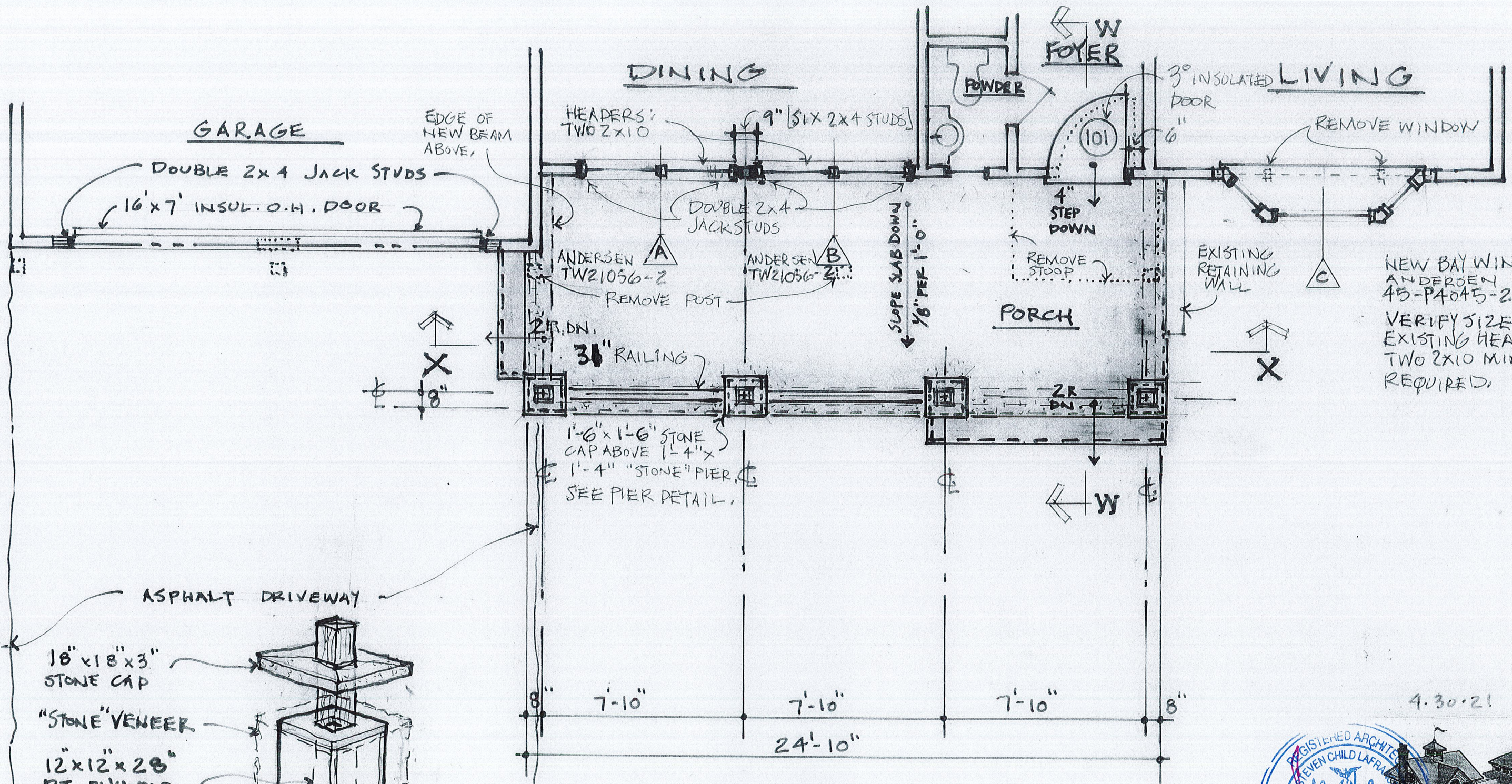
We design and build:

- Cottages - Camps - Studios - Homes
- Whole House Remodels - Facelifts
- Family Rooms - Sunrooms
- Bedroom Suites - Kitchens - Baths
- Garages - Workshops - Poolhouses

Examples at LaFranceArchitects.com

585 - 739 - 5039

116

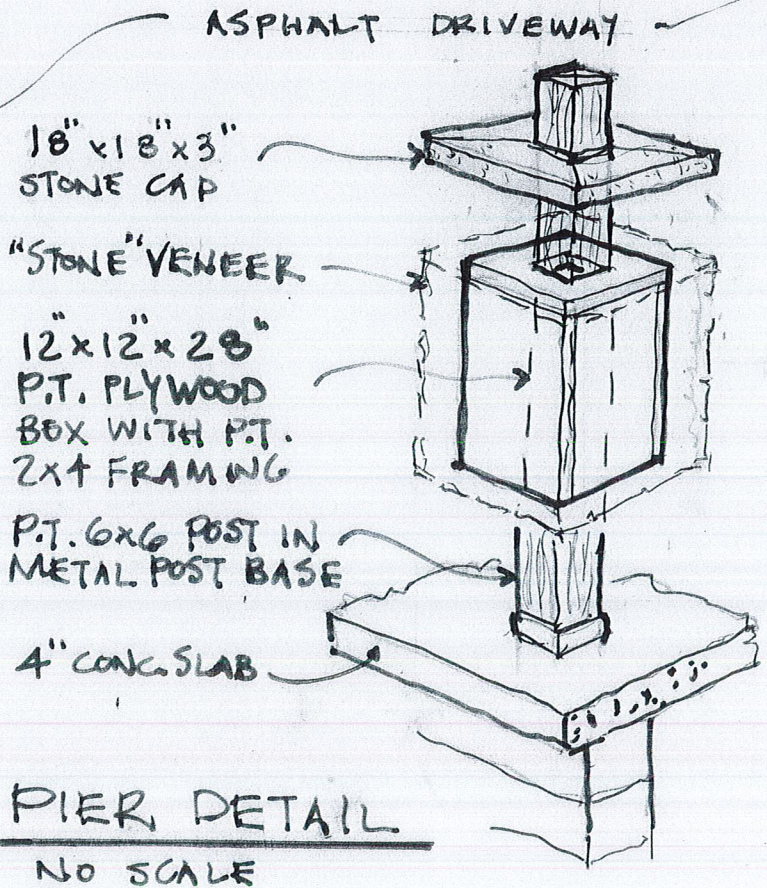


FLOOR PLAN

1/4" = 1'-0"

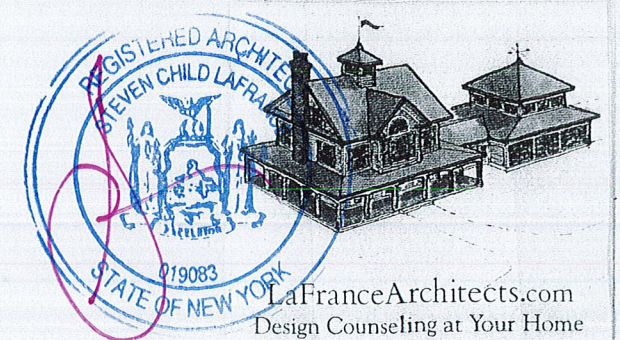
**ADDITION TO
HAHN RESIDENCE**

14 LAURELDALE DRIVE
PITTSFORD, NY 14534



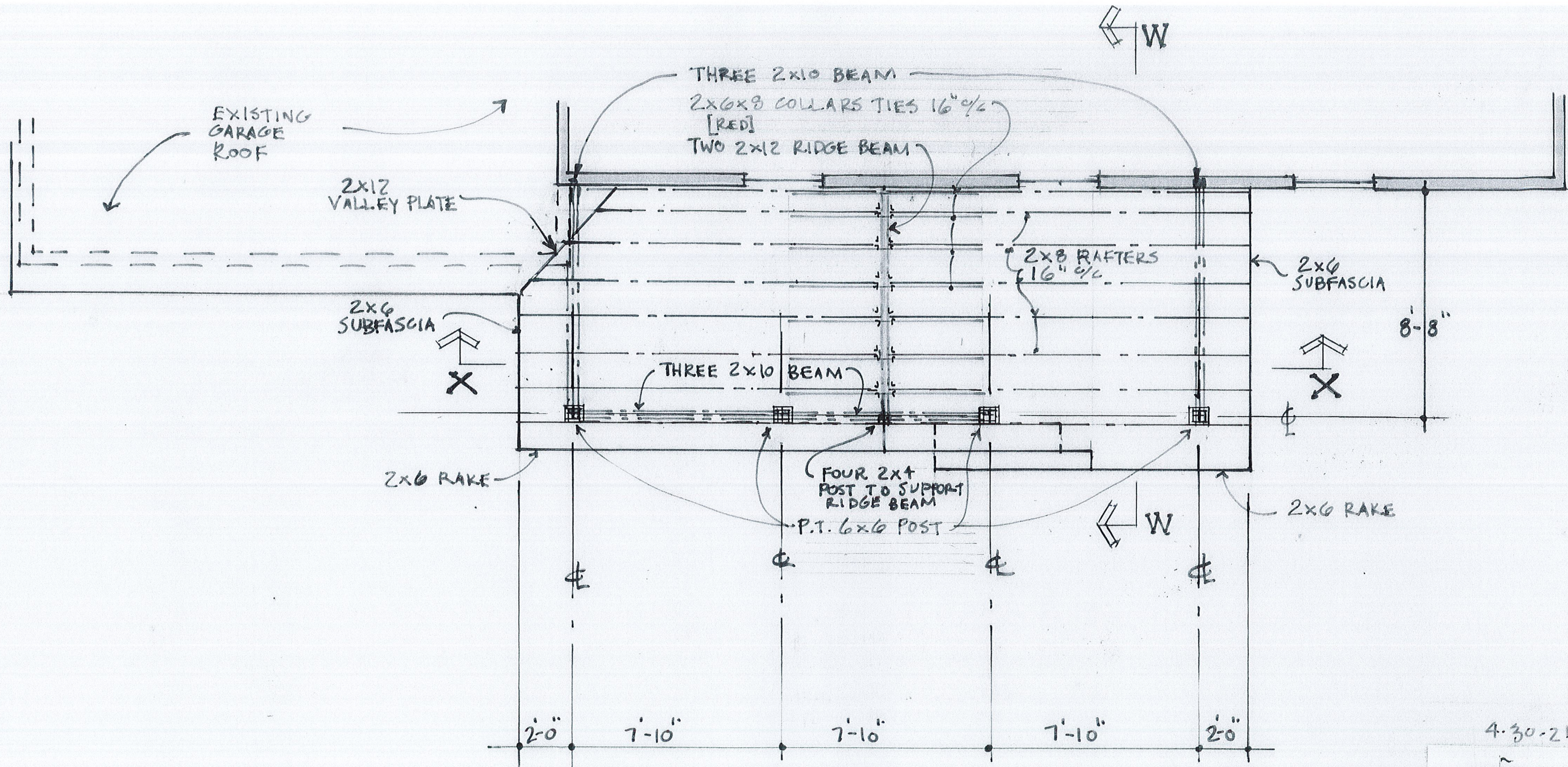
NEW BAY WINDOW
ANDERSEN
45-PA045-20,
VERIFY SIZE OF
EXISTING HEADER,
TWO 2X10 MIN.
REQUIRED.

4.30.21



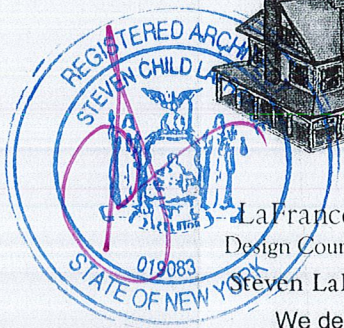
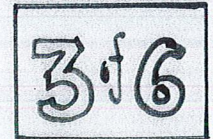
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Design Counseling at Your Home
Steven LaFrance - Architect
We design and build:
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Whole House Remodels - Facelifts
Family Rooms - Sunrooms
Bedroom Suites - Kitchens - Baths
Garages - Workshops - Poolhouses
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216



ROOF FRAMING PLAN
 $\frac{1}{4}'' = 1'-0''$

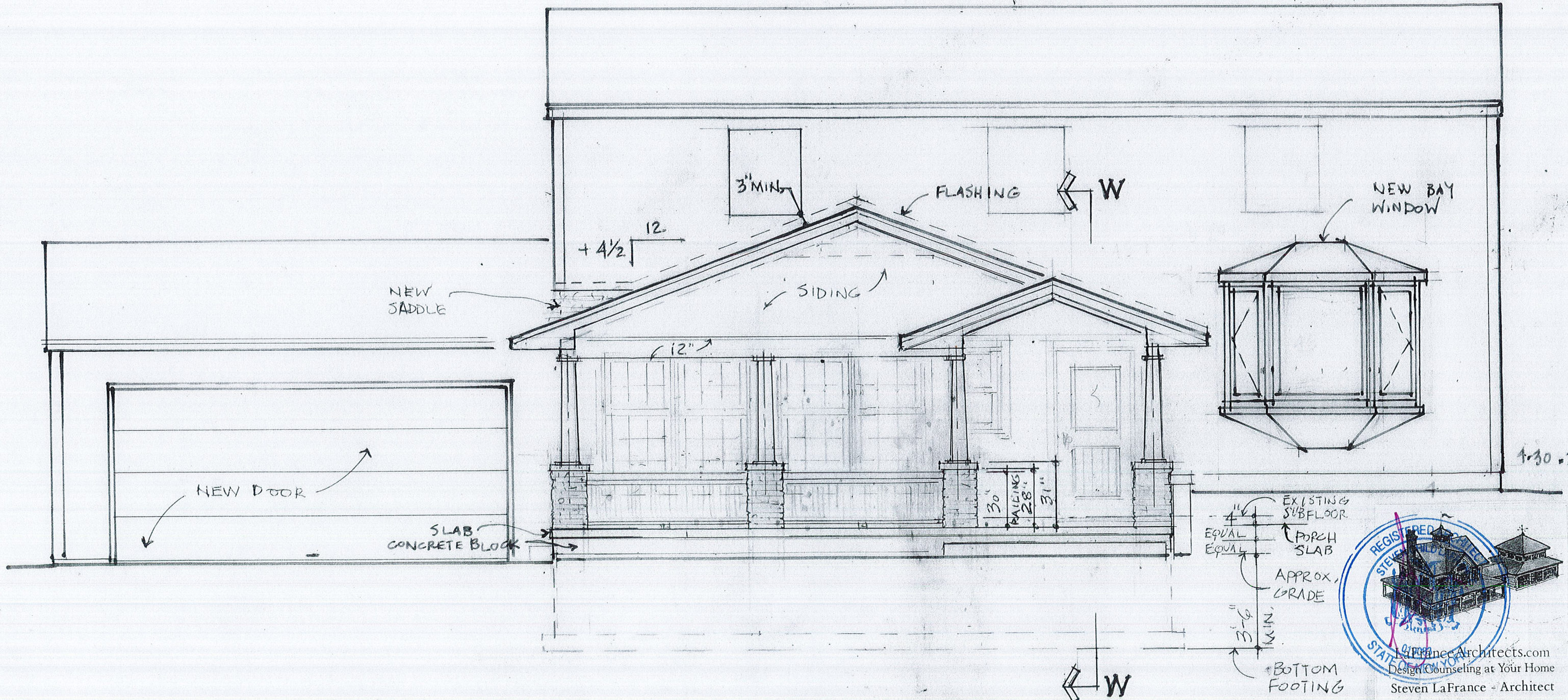
ADDITION TO
HAHN RESIDENCE
 14 LAURELDALE DRIVE
 PITTSFORD, NY 14534



LaFranceArchitects.com
 Design Counseling at Your Home
 Steven LaFrance - Architect
 We design and build:
 Cottages - Camps - Studios - Homes
 Whole House Remodels - Facelifts
 Family Rooms - Sunrooms
 Bedroom Suites - Kitchens - Baths
 Garages - Workshops - Poolhouses
 Examples at LaFranceArchitects.com

585 - 739 - 5039

4-30-21



FRONT ELEVATION

1/4" = 1'-0"

**ADDITION TO
HAHN RESIDENCE**

14 LAURELDALE DRIVE
PITTSFORD, NY 14534

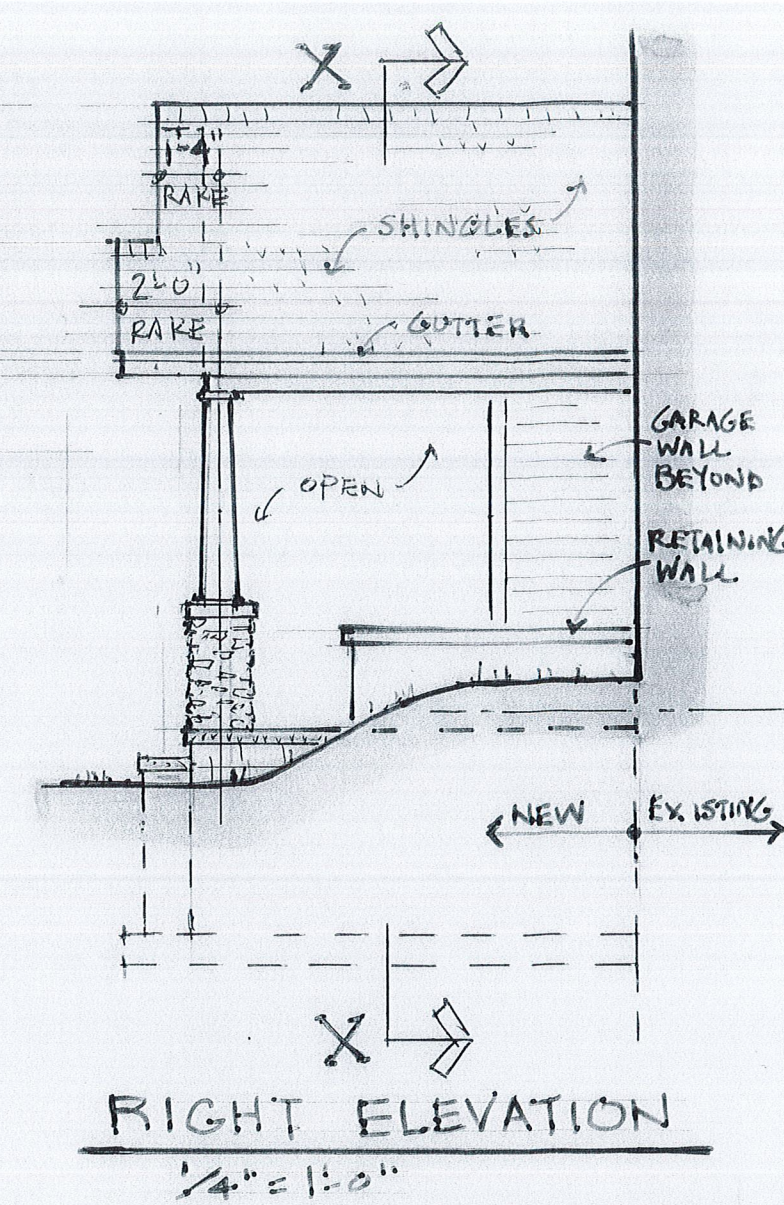
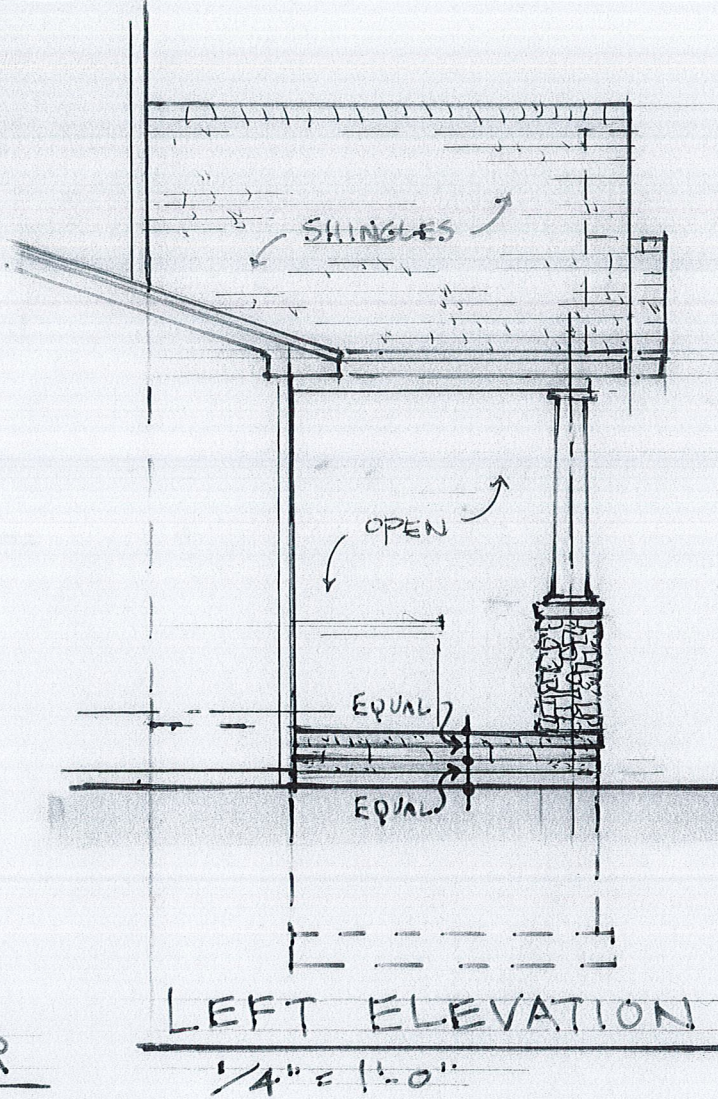
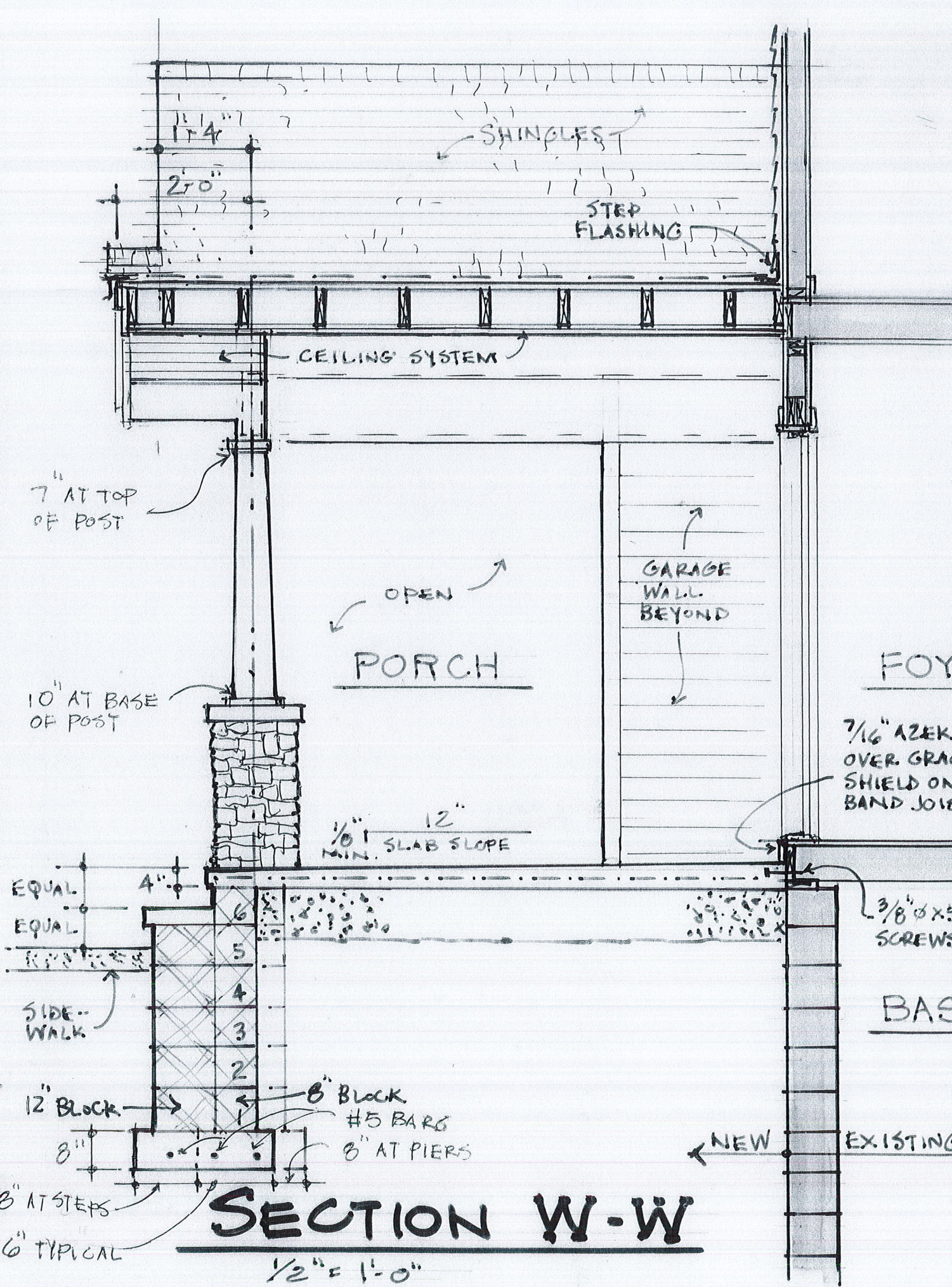
4 of 6



LaFranceArchitects.com
Design Counseling at Your Home
Steven LaFrance - Architect

- We design and build:
- Cottages - Camps - Studios - Homes
 - Whole House Remodels - Facelifts
 - Family Rooms - Sunrooms
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- Examples at LaFranceArchitects.com

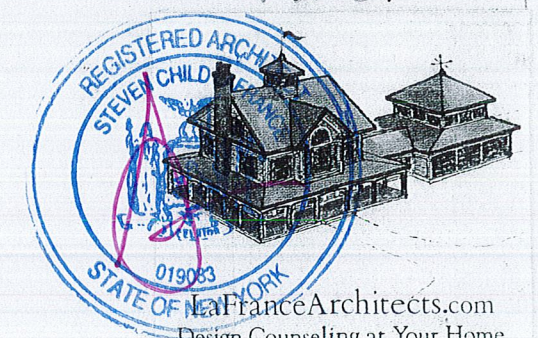
585 - 739 - 5039



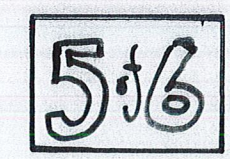
7/16" AZEK KICK BOARD
OVER GRACE-ICE & WATER
SHIELD ON EXISTING
BAND JOIST.

3/8" x 5" GALV. LAG
SCREWS 12" o/c

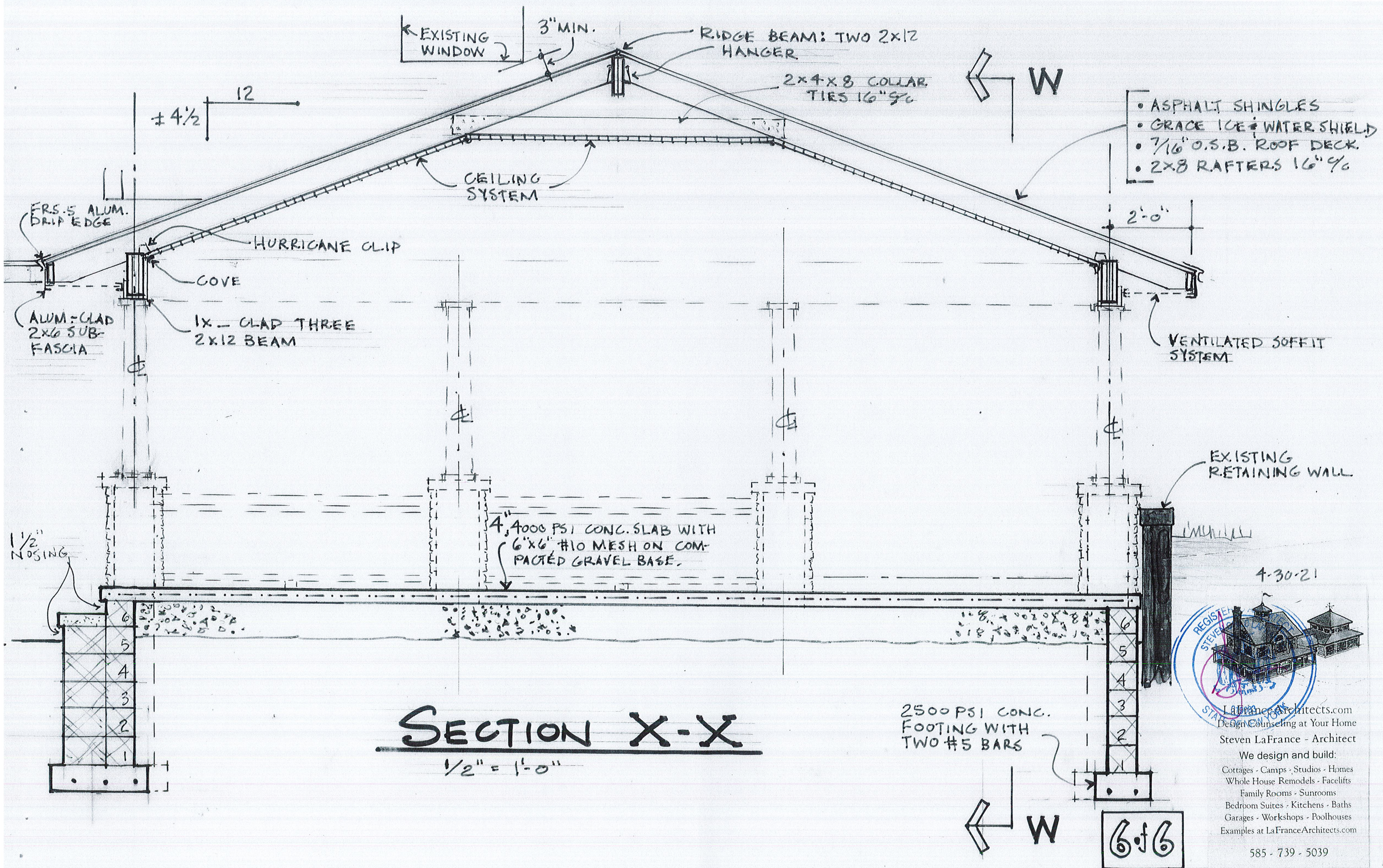
4-30-21



LaFranceArchitects.com
Design Counseling at Your Home
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Examples at LaFranceArchitects.com



585 - 739 - 5039



- ASPHALT SHINGLES
- GRACE ICE & WATER SHIELD
- 7/16" O.S.B. ROOF DECK
- 2x8 RAFTERS 16" OC

SECTION X-X

1/2" = 1'-0"

4-30-21



Steven LaFrance - Architect

We design and build:
 Cottages - Camps - Studios - Homes
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585 - 739 - 5039



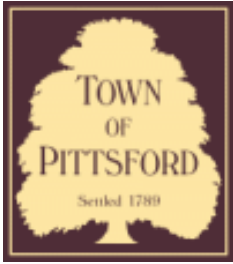
FiveFive





15





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA21-000085

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 Baynard Court PITTSFORD, NY 14534

Tax ID Number: 178.11-3-27

Zoning District: RN Residential Neighborhood

Owner: Michael Perrotto and Victor Northrup

Applicant: Josh Lawn Care & Landscaping Co.

Application Type:

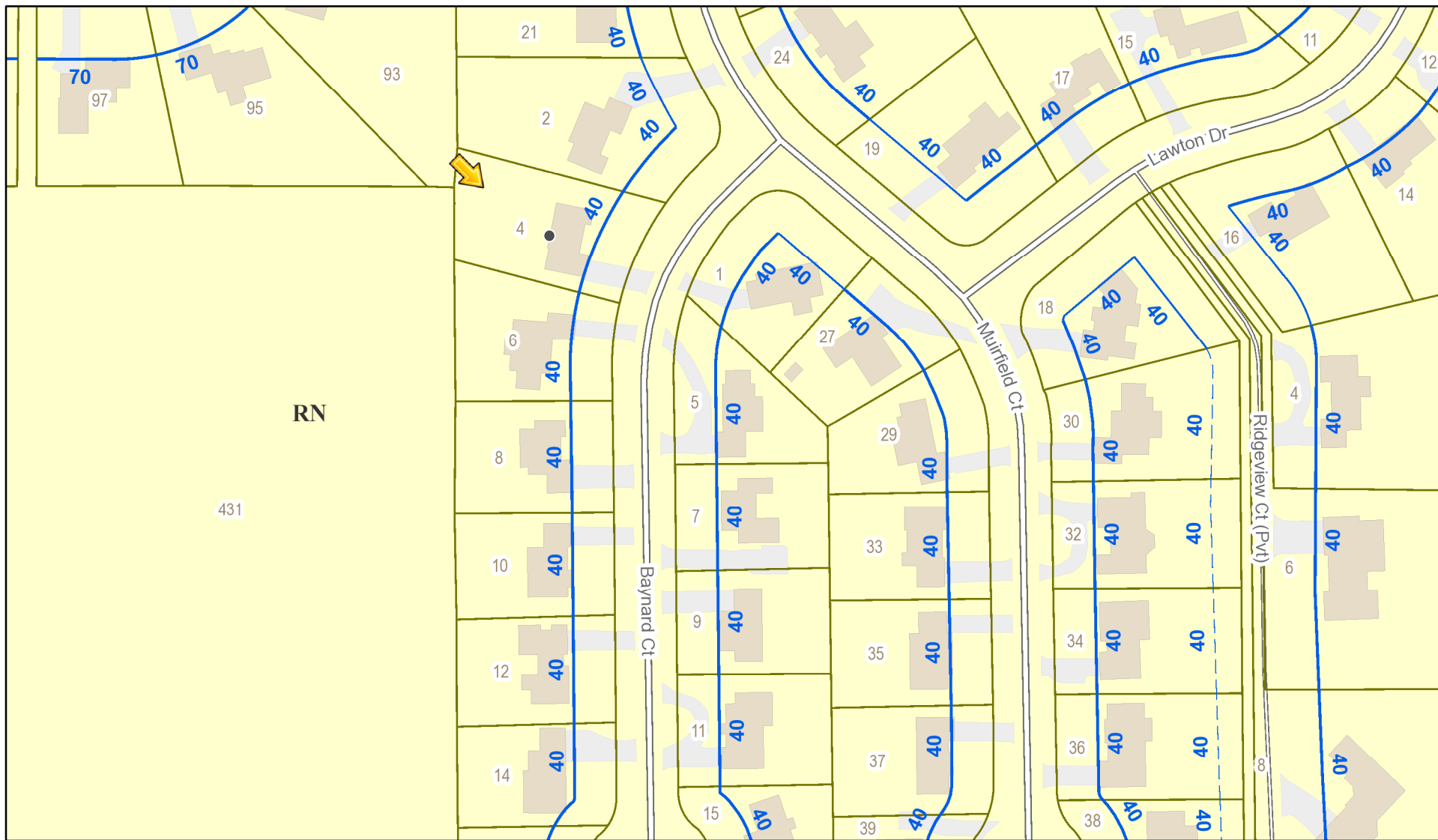
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a covered patio. The roof structure will be approximately 340 square feet and will be located to the rear of the home.

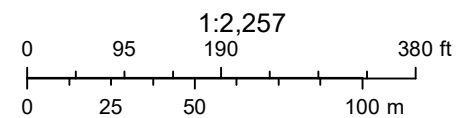
Meeting Date: May 27, 2021



RN Residential Neighborhood Zoning



Printed May 20, 2021



Town of Pittsford GIS

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Sunfield Court

Baynard Court

2

4

6





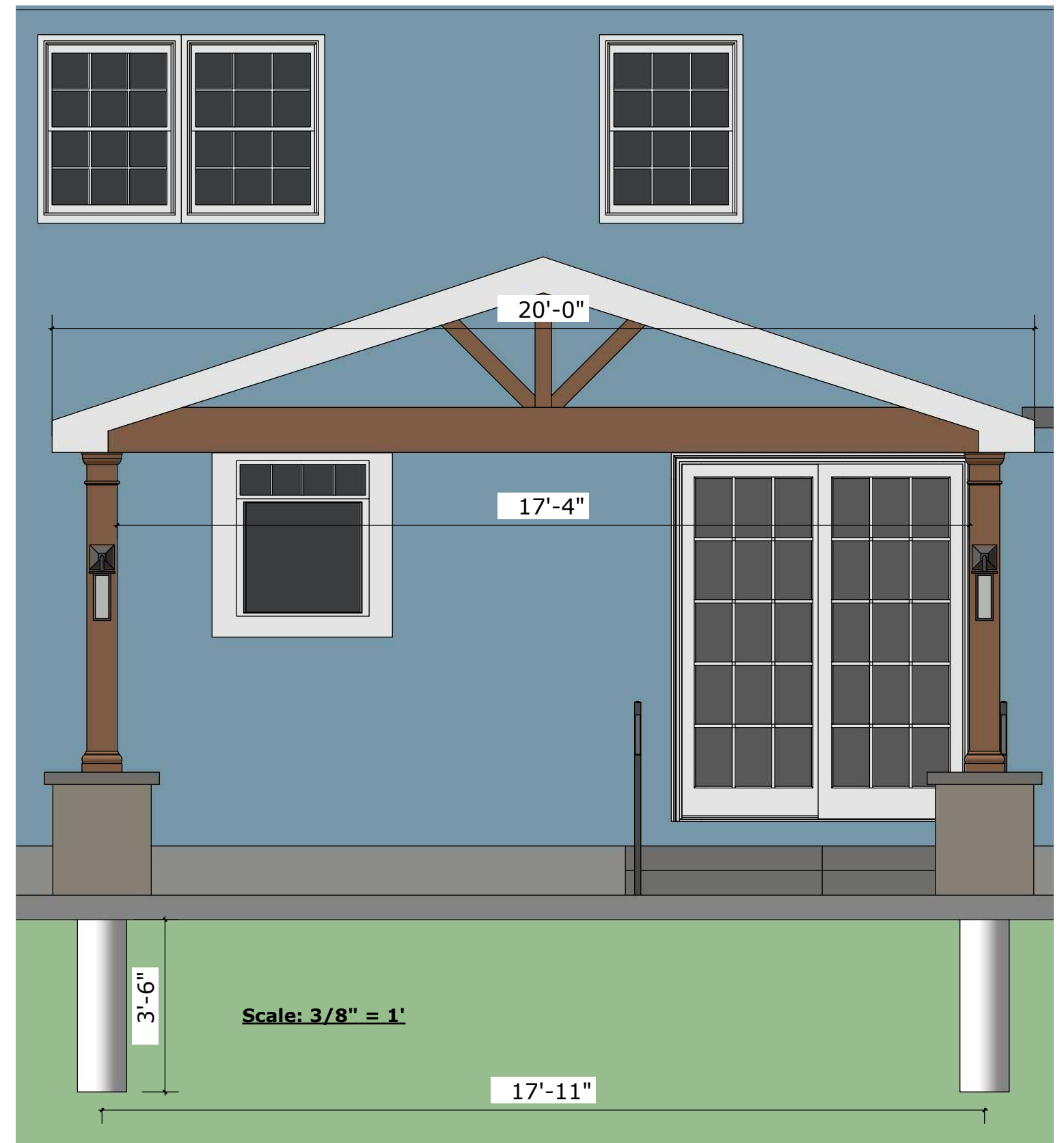
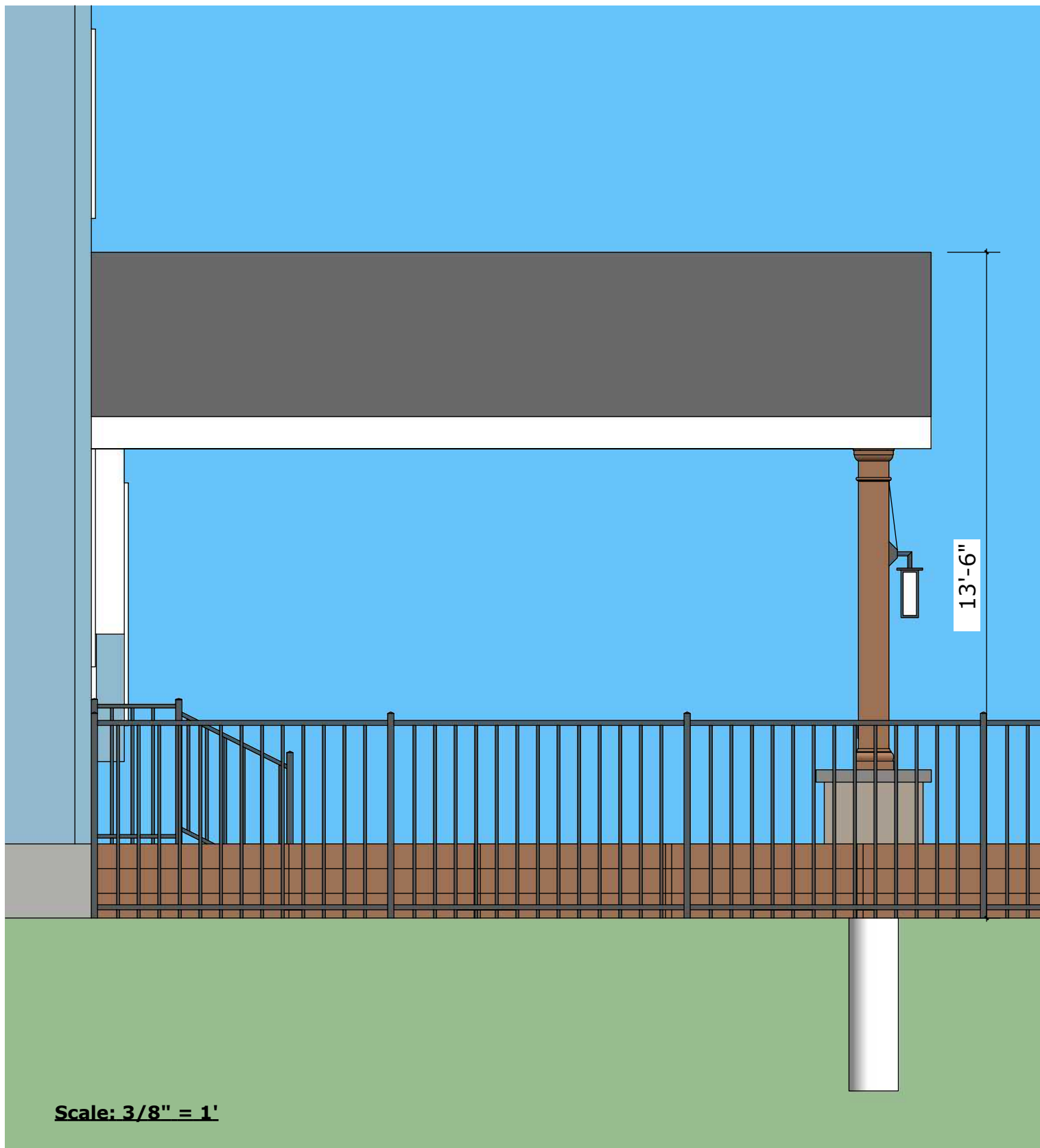
Notes:





Notes:





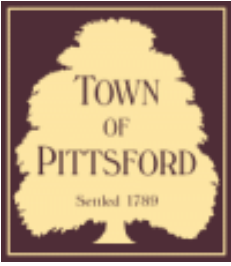
Notes:











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000006

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3400 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.16-2-3

Zoning District: C Commercial

Owner: Pittsford Colony LLC

Applicant: Image 360

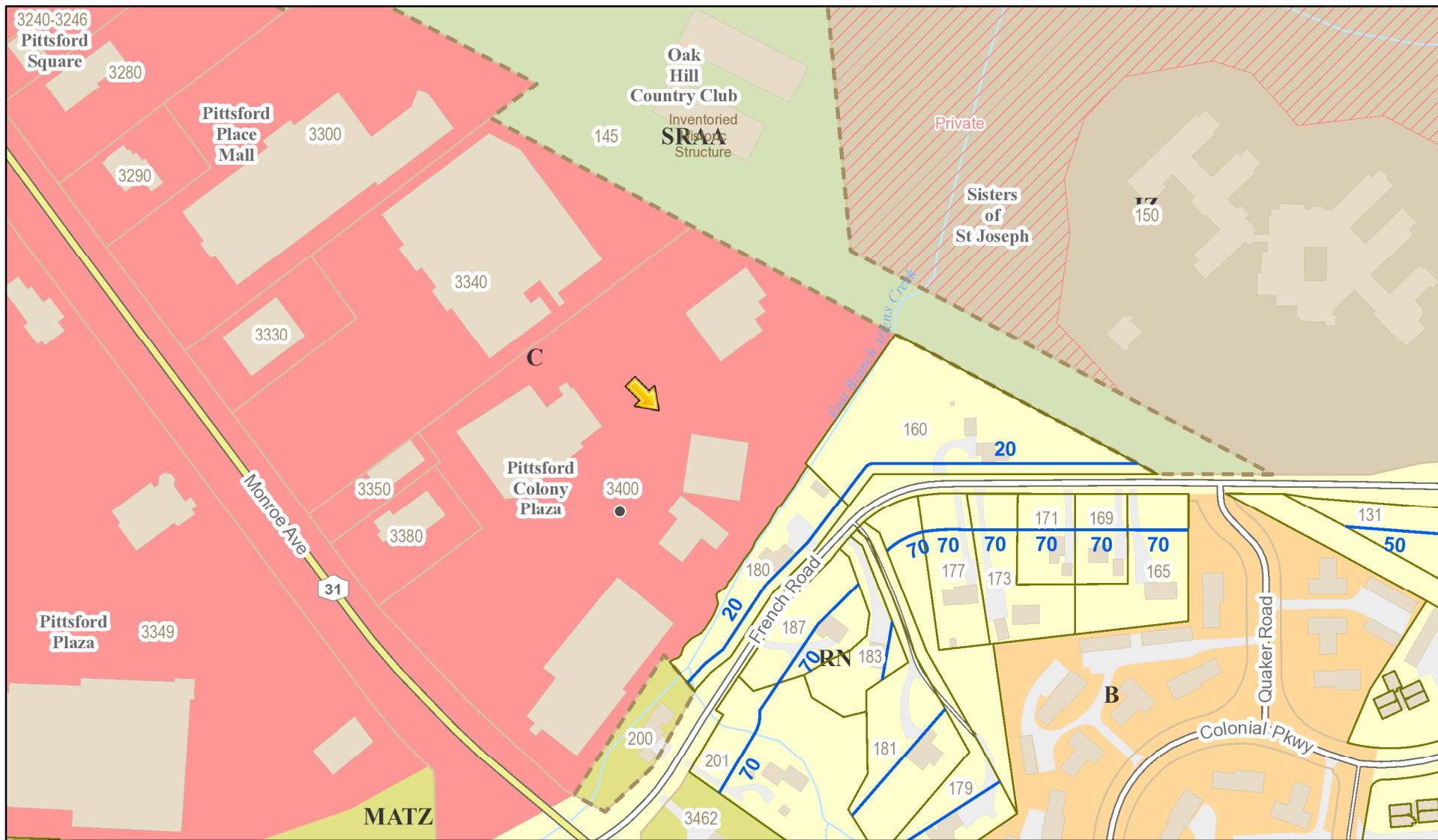
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

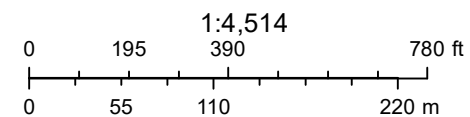
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 43.75 square feet and will identify the "Elmwood Agency Corp." business. The sign will be 6" deep aluminum extrusion cabinet painted black and will be internally LED light.

Meeting Date: May 27, 2021

RN Residential Neighborhood Zoning

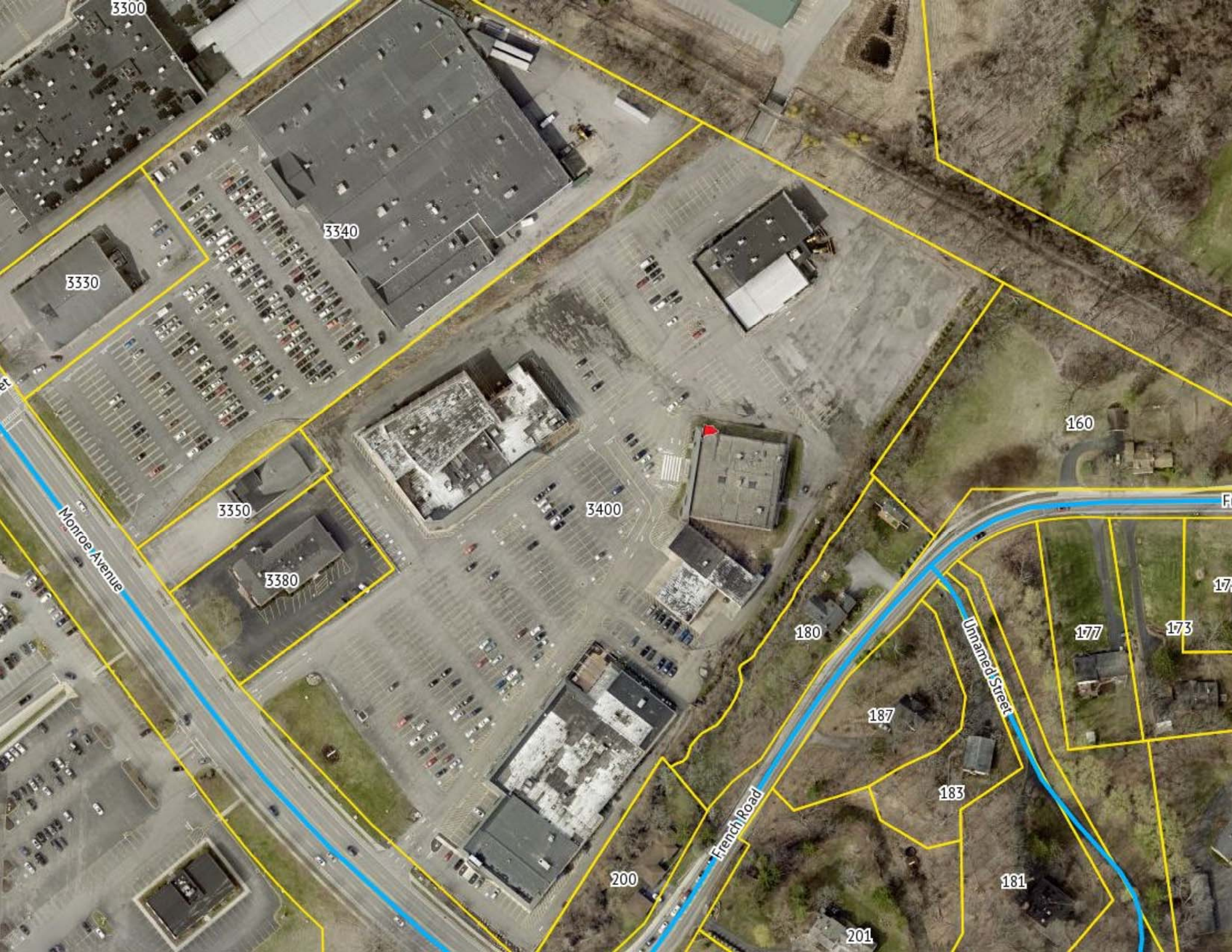


Printed May 20, 2021



Town of Pittsford GIS

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3300

3340

3330

3350

3380

3400

200

180

187

183

181

201

160

177

173

17

Monroe Avenue

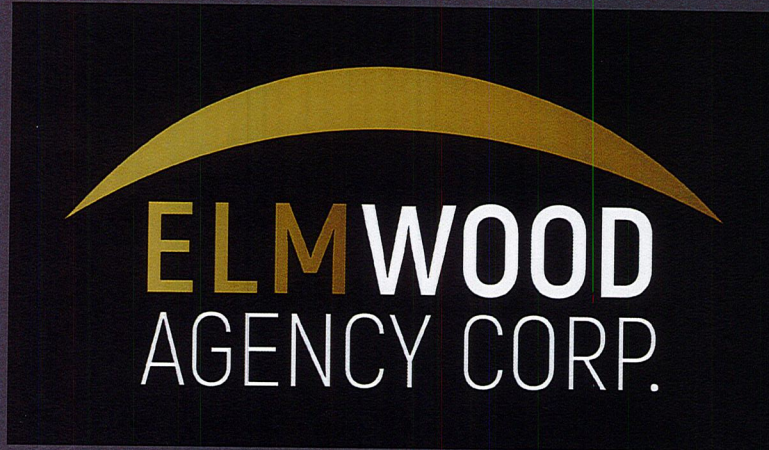
French Road

Unamed Street

Qty.(1) 6" Deep Aluminum Extrusion Cabinet Painted Black - Internally LED Lighted
Printed Translucent Vinyl w/Gloss Laminate Applied to Lexan Face (Will Have a Seam)
Installed to Roof Top w/Custom Bracketing - Removal of Existing Roof Sign

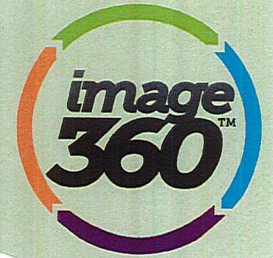
105"

60"



43.75 - Sq.Ft.

Install Location



Company: Elmwood Agency

Estimate:

Prepared by: Justin O'Brien

Salesperson: Deborah Herb

Date: 05/07/2021

Revision #: 0

Please examine proof carefully for accuracy including spelling, punctuation, numbers, graphics, sizes and general layout. Colors shown may not truly represent the appearance of the finished product. Please refer to color call outs for specific color matching. Our normal production cycle will begin from the date approval is received.

FOR APPROVAL ONLY

Authorized Signature

Date

image360rochester.com
(585) 272-1234



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000004

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 117 East Street PITTSFORD, NY 14534

Tax ID Number: 178.02-1-2.1

Zoning District: AG Agricultural

Owner: Gleason, Michael P

Applicant: Schoenhardt Construction

Application Type:

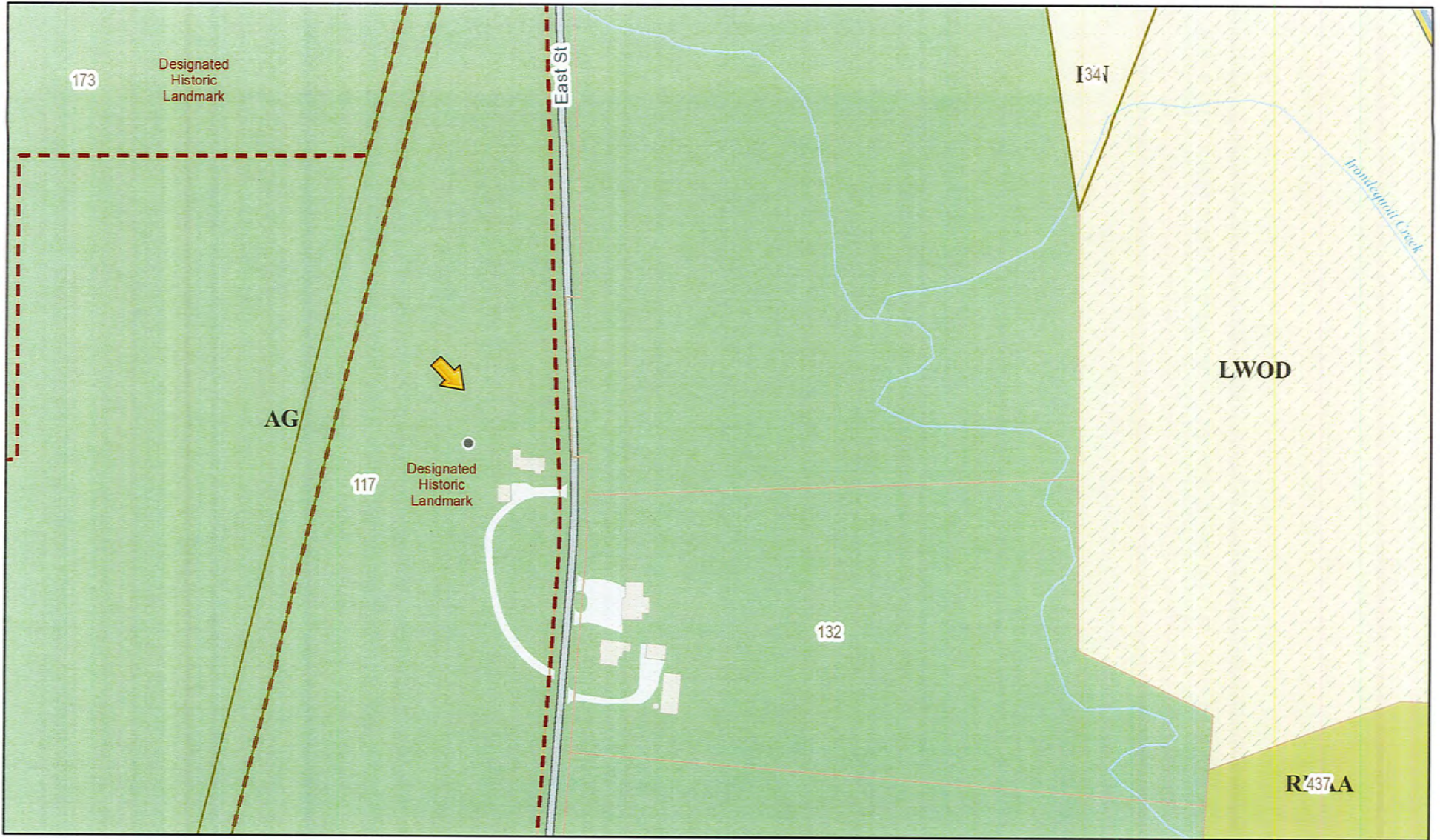
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (AG) Agricultural and is designated historic.

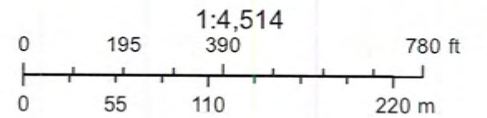
Meeting Date: May 27, 2021



RN Residential Neighborhood Zoning



Printed June 18, 2020



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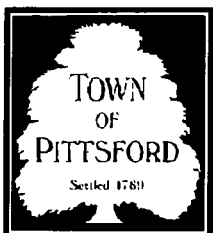


117

450 ft

East Street

450 ft



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 117 East St

2. Tax Account Number: _____

3. Applicant's Name: Michael & Kathryn Gleason

Address: 117 East St Phone: _____
Street

Pittsford NY 14534 E-mail: Kathrynglea@gmail.com
City State Zip Code

4. Applicant's Interest in Property:

Owner: Lessee: Holding Purchase Offer:

Other (explain): _____

5. Owner (if other than above): _____

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: Kathryn Gleason

Address: Same Phone: 586 9482
Street

_____ E-mail: Kathrynglea@gmail.com
City State Zip Code

7. Project Design Professional (if Available): _____

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

8. Project Contractor (if Available): John Rick
 Address: 79 Ridgecrest Dr Phone: 739-8399
Street
Rochester, NY 14617 E-mail: JRICK@ROCHESTER, RR.COM
City State Zip Code

9. Present use of Property: Residential home

10. Zoning District of Property: A9

11. Is the property located in a Town Designated Historic District?
 Yes No

12. Is the property listed on the National Registry of Historic Places?
 Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?
 Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

We would like to build a screened in porch over the existing patio on the south side of the house. It is to be built out of wood with the support columns to match existing. Roof to match existing roof. Painted white to match house.

~~Roof pitch will be higher than attached photo to match existing roof line~~

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

Possibly 3 bushes will be removed and re-planted 7-2 ft forward (toward the street) if needed.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

- Parcel map
- Photographs
- Other materials
- Architectural elevations
- Architectural plans

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Kathy Gleason
Signature of applicant

4/7/2020
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____



Schoenhardt, LLC
Eric Schoenhardt
403 East Linden Ave
East Rochester, NY 14445
eric@schoenhardtconstruction.com
585-314-8037

May 19, 2021

CLARIFICATIONS

Patio Enclosure

Kathy and Mike Gleason

117 East Street

The Gleason's asked for some help in putting together some scale drawings of the patio enclosure they are proposing. This document is to clarify some of the particulars of that design. Should the project be approved, a licensed architect would be retained to provide stamped drawings for the project.

I have attached the drawings so far and some photo's of the existing house where we will be building the enclosure.

There exists on the house now an entry stoop this stoop would not be demolished but would be enclosed under the new shelter the eave of that roof is the height we would align our new shelter roof with. This height is consistent with the roof to the right in the photo. The roof eave line would be approximately 12" lower than the roof eave to the left.

The window to the left and right of the stoop would now be under the new roof. The shutters would be removed from the single window to the right of the stoop. The double window to the left does not have shutters

- The roof as I would plan on it now would be conventionally framed.
- The house has 3 in 1 roof shingles in grey on it and our new roof would be the same.
- All fascia would be configured to match the existing including rake and fascia details. Soffits would be closed. The gable end would be board and batten to match the details of the siding to the addition on the left. All would be painted white like the rest of the house.



- The +/- 8x8 columns would be wood wrapped PT 6x6's. They would have a +/-5" 5/4 base mold and top detailing to match the existing column on the porch to the right of the new enclosure



- The screen doors (2) will be framed to be within 4x4 frames painted white. One will face forward as shown the second will open to the back-yard (not shown)
- The screens would all be framed in 1x and painted white with black screens.
- The owner's initial sketches included a railing system behind the screens. As the patio is at grade these are not necessary for safety and the owner is considering whether they might be desirable in terms of protecting the screens from pet or child damage.
- The ceiling inside has not be settled on yet as to whether it would be open or exterior drywall finished and painted at 9' above the existing paver bricks
- The existing paver bricks to remain





SCHOENHARDT

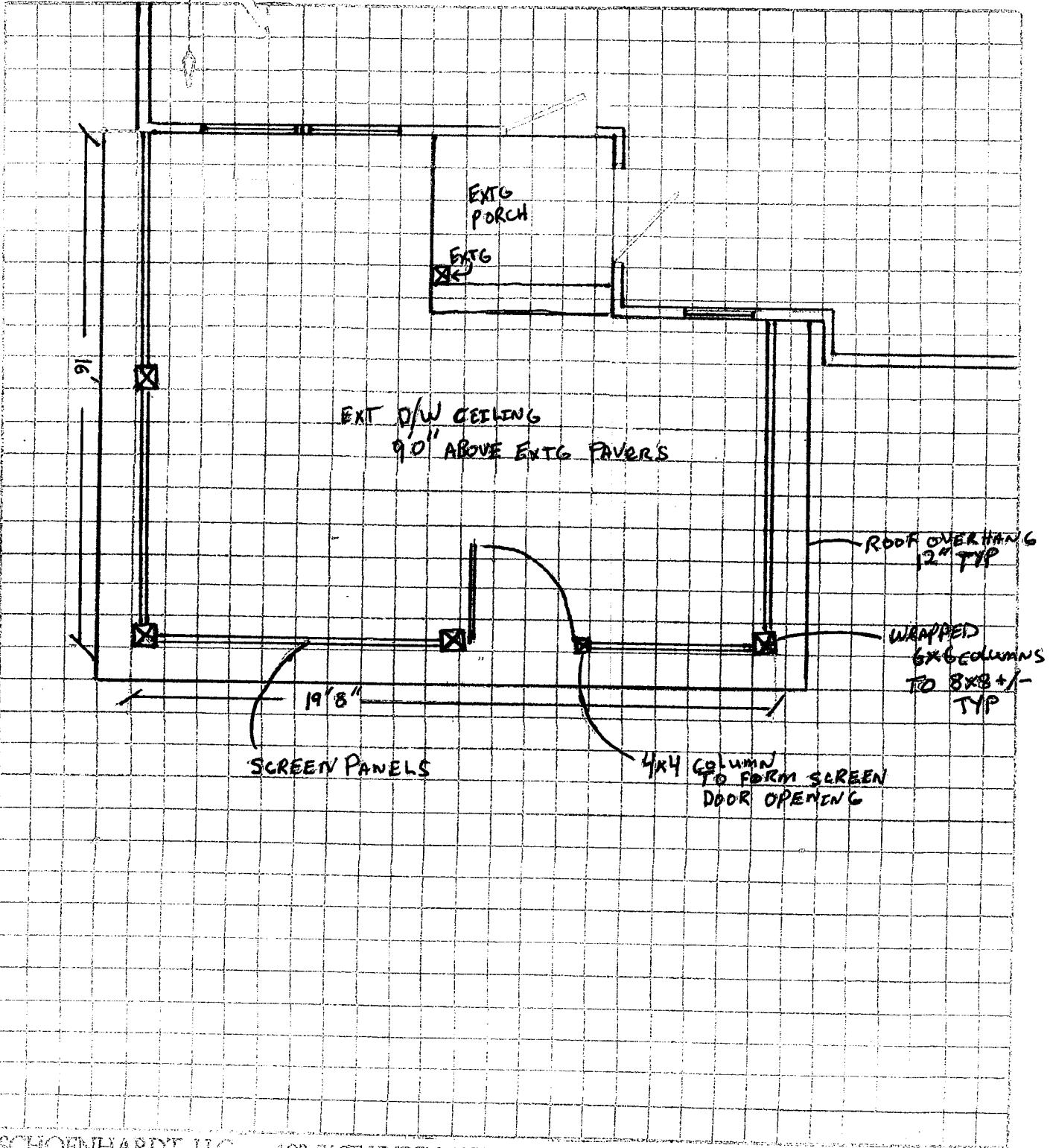
CONSTRUCTION & BUILDING SERVICES

WE MAKE VISION HAPPEN

Project Capitol Building

Estimator SES

Date 1/15/14



SCHOENHARDT

CONSTRUCTION & BUILDING SERVICES

WE MAKE VISION HAPPEN

Project 3270 Franklin Ave

117 East 21st

Estimator AB

Date 11/21

