

**Design Review & Historic Preservation Board  
Agenda  
May 23, 2019**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **11 Whitestone Lane**  
The Applicant is requesting design review for the addition of a sunroom and renovation to the front entry way. The sunroom will be approximately 230 sq. ft. and will be located to the rear of the home. Skylights will be added to the front entry way.
- **421 Kilbourn Road**  
The Applicant is requesting design review for a master bedroom addition. The addition will be approximately 387 sq. ft. and will be located to the rear of the home. Materials will match the existing home.
- **6 Eppingwood Trail**  
The Applicant is requesting design review for the addition of a porch. The porch will be approximately 335 sq. ft. and will be located to the rear of the home.
- **12 Stonecreek Lane**  
The Applicant is requesting design review for two small additions. The additions will be approximately 90 sq. ft. and will be located to the rear of the home.

**COMMERCIAL APPLICATION FOR REVIEW**

- **3240 Monroe Avenue**  
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 24 sq. ft. and will identify the "Philly Pretzel Factory". The face color will be white acrylic with black trim cap and return.
- **123 South Main Street**  
The Applicant is returning to the Design Review Board for the design change to a cell tower. The applicant was previously approved for design at the March 22, 2018 Design Review Meeting. The four tower legs, which were approved stamped steel, and the brick wall will now be changed to hard coated foam with a faux brick appearance. A sample will be provided by applicant at the meeting.

**OTHER – REVIEW OF 4/25/2019 MINUTES**

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**May 9, 2019**

**PRESENT**

Leticia Fornataro, John Mitchell, Kathleen Cristman, Paul Whitbeck, Bonnie Salem

**ALSO PRESENT**

Stephanie Townsend, Town Board Liaison; Robert Koegel, Town Attorney; Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; David Wigg

**HISTORIC PRESERVATION DISCUSSION**

The Board discussed the reception for inventoried homeowners and the invitations have been sent out. There was some discussion on possible other guests being invited. A slide show of historic homes is being prepared by town staff. Sue Donnelly will reach out to the Town I.T. department to arrange equipment for the slide show presentation.

**CERTIFICATE OF APPROPRIATENESS**

• **19 Sunset Boulevard**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the design change to the original approved renovation to a storage house on October 25, 2018. This property is zoned RN-Residential Neighborhood and is designated historic.

Acting Chairman, John Mitchell, opened the Public Hearing.

The homeowner, Tim Fantauzzo and contractor, Phillip Berry were present.

Mr. Fantauzzo reviewed the changes to the project. The changes are as follows:

1. The barn doors will be eliminated and a Thermo tru shaker style door will be used.
2. A second dormer will be installed to provide extra space and balance the already approved dormer.
3. The upper doors will be removed and the window will not be covered so that it may now be functional.

All other finishes will be as submitted in the previous application.

The Board asked if the hay lifter element will be retained and Mr. Fantauzzo indicated that it would.

The Board felt that the second dormer added balance to the structure and the new door presented was a reasonable choice for the structure.

The Board regretted the loss of the upper doors but understood the need for the window to be functional and they are comfortable with the substitution.

There was no public comment.

John Mitchell moved to close the Public Hearing.

Kathleen Cristman seconded.

All Ayes.

After discussion, a resolution was moved by Board member Bonnie Salem, seconded by Board member John Mitchell, and was voted upon by members of the Board as follows:

Dirk Schneider	Absent
Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Aye
David Wigg	Absent

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- a. All work is to be completed by December 31, 2020.
- b. Materials used will be as noted in the meeting minutes of October 25, 2018.
- c. All work will be performed per plans dated April 12, 2019.

#### **RESIDENTIAL APPLICATION FOR REVIEW**

- **3 South Pittsford Hill Circle**

The Applicant is requesting design review for the addition of a garage space to an existing two-car garage. The addition will be approximately 520 sq. ft. and will include new space on the side of the existing garage as well as new space to the rear. The applicant has received approval from the Zoning Board of Appeals for the infringement on the side setback.

No representative was present to discuss the application with the Board.

The Board review the application but was left with many questions.

The Board expressed concerns that the garage design seemed to be taking over the whole house and did not fit into the neighborhood. An alternate design is recommended.

Regarding the present design, the Board needs to see:

1. A rendering of the whole house with the proposed garage plan.
2. A site map with how the house and addition will sit on the property.

John Mitchell moved to hold the application over. Bonnie Salem seconded.

All Ayes.

#### **RESIDENTIAL APPLICATION FOR REVIEW - NEW**

- **11 Escena Rise**

The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2511 sq. ft. and will be located in the Wilshire Hills subdivision.

Jeff Brokaw of Morrell Builders was present.

The Board complemented the use of only two materials.

The Board expressed concerns about the lack of fenestration on the right side elevation.

Kathleen Cristman moved to approve the application with the addition of two transom windows on the upper right side elevation with the recommendation that the placement mimic the placement of the transom windows on the lower portion of the right side elevation.

Leticia Fornataro seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW**

- **2851 Clover Street**

The Applicant is requesting design review for the construction of "The Terraces at Cloverwood" previously Friendly Commons. This will be upscale senior living located in the area of the former "Barn Bazaar" at the southwest corner of Clover Street and Jefferson Road.

Rob Simonetti of SWBR and Glen Cooper of Friendly Senior Living were present.

Mr. Simonetti reiterated the changes that have been made to the original design and shared renderings which reflected the current color changes which are brighter and more reminiscent of the existing Cloverwood building colors. Changes on the exterior include windows with upper sashes with muntins with a 6 over 1 pattern and board and batten on the exterior.

Signs will not be placed on the building and there will be a separate sign plan for a sign at Clover Street and Jefferson Road that is not included in this approval.

Comments were made regarding color changes that are perhaps too drastic on some areas of the main building. It was noted that the rendering may be a little darker than actual.

Kathleen Cristman moved to accept the application as submitted with the condition that the color palette reflect the color concept 3 brown and crème as submitted for tonight's meeting with the recommendation that the color transitions are not too drastic. Paul Whitbeck seconded.

All Ayes.

#### **OTHER – REVIEW OF 4/25/2019 MINUTES**

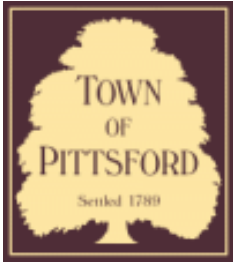
The minutes of the April 25, 2019 meeting were approved with one correction.

All Ayes.

The meeting adjourned at 8:40 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000075**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 11 Whitestone Lane ROCHESTER, NY 14618

**Tax ID Number:** 137.20-2-19

**Zoning District:** RN Residential Neighborhood

**Owner:** Laroia, Rahul

**Applicant:** Ketmar Development Corp

### Application Type:

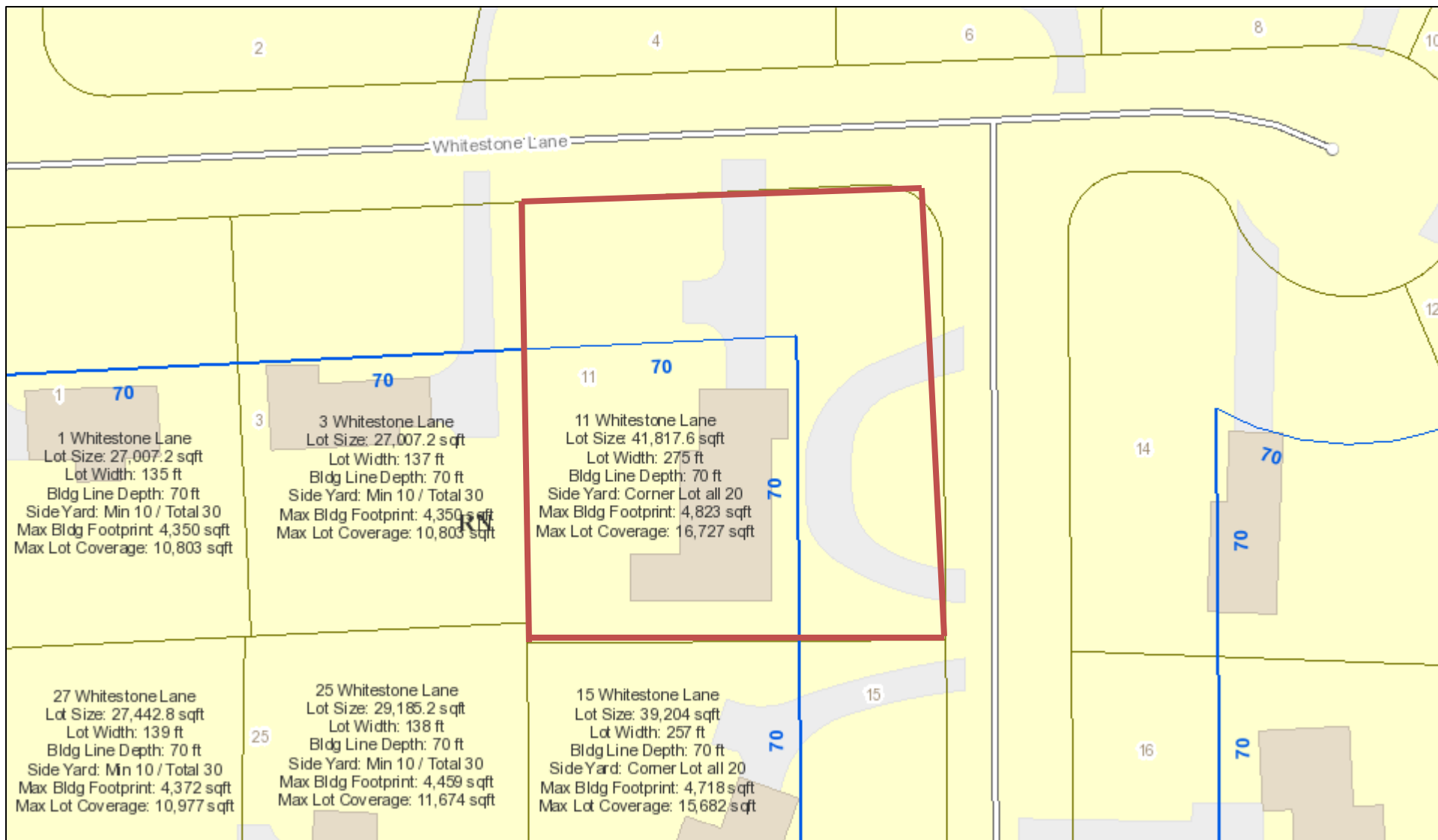
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of a sunroom and renovation to the front entry way. The sunroom will be approximately 230 sq. ft. and will be located to the rear of the home. Skylights will be added to the front entry way.

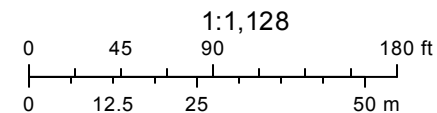
**Meeting Date:** May 23, 2019



# RN Residential Neighborhood Zoning



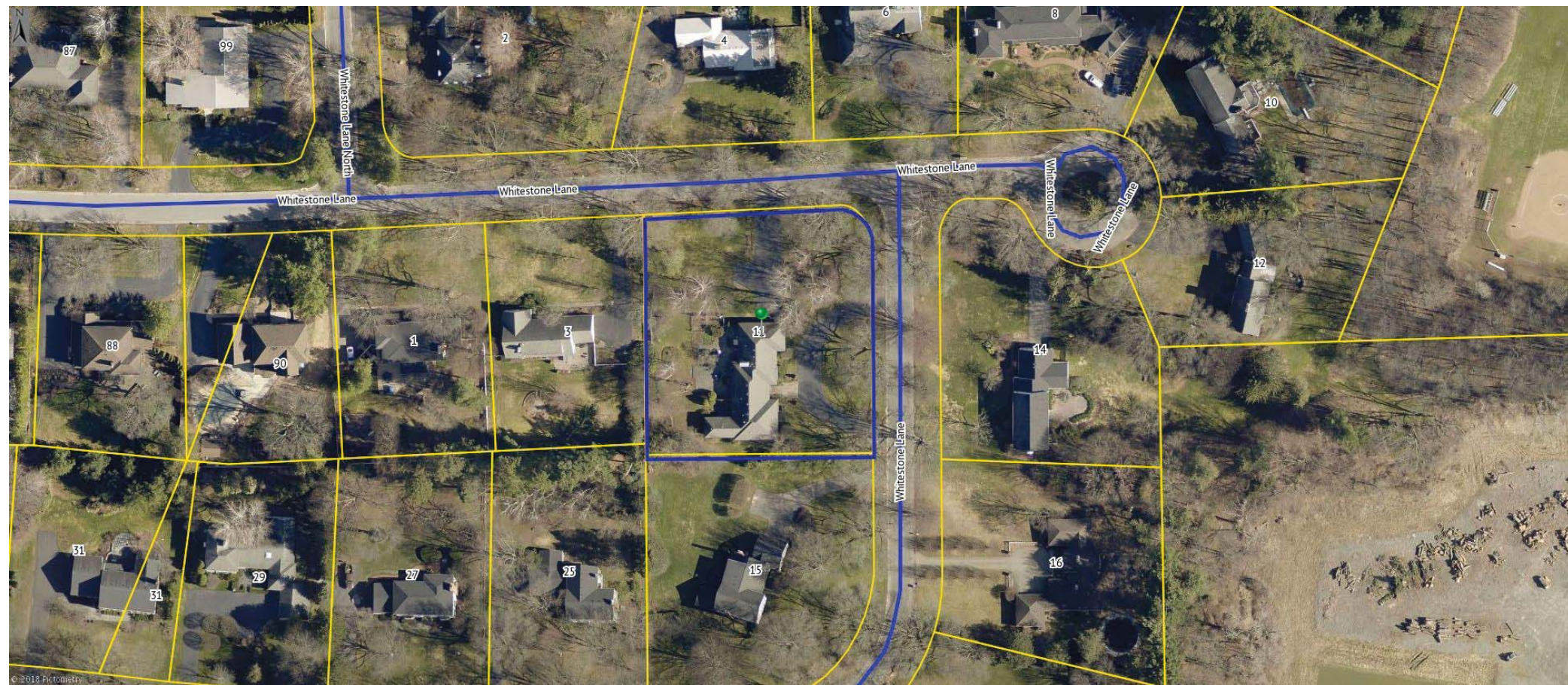
Printed May 16, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

# 11 Whitestone Ln



04/21/2018 - 04/23/2018





# LAROIA RESIDENCE

## Project Information:

LAROIA RESIDENCE  
 Rahul & Nirupama Laroia  
 11 Whitestone Road  
 Rochester, NY 14618

## Architect Information:

METHOD ARCHITECTURE STUDIO  
 Peter Heintzelman, AIA, LEED G.A.  
 p: 440.590.2817  
 e: pete@methodarch.com

## Sheet Index:

Sheet No.	Sheet Name	Sheet No.	Sheet Name
A-0.0	COVER SHEET	A-2.0	BUILDING ELEVATIONS
A-0.1	GENERAL NOTES & SITE PLAN	A-2.1	BUILDING ELEVATIONS
A-0.2	DEMOLITION PLAN	A-3.0	BUILDING SECTIONS
A-1.0	FOUNDATION PLAN	A-3.1	BUILDING SECTIONS & INT. ELEVATIONS
A-1.1	MAIN LEVEL PLAN		
A-1.2	ROOF PLAN		

## Area Calculations:

Name	Type	Area
4-Season Room	Proposed Conditioned Space	230 SF
		230 SF
Main Living Area	Existing Renovated Space	1643 SF
Master Bath	Existing Renovated Space	241 SF
		1884 SF
		2114 SF

### GENERAL ROOF & ATTICS:

- Approved bitumane water shield product (ie. Grace Ice and Water Shield) to be applied to all eaves and valleys. Amount applied to eaves according to chart below:

Roof Pitch	3:12 or less	3:12 - 6:12	6:12 or greater
Water Shield	8'-0"	5'-0"	3'-0"

- Use a rubber membrane roof on all roofs with a pitch of 3:12 or less.
- Unconditioned attic spaces must have ventilation openings covered with hardware cloth or mesh. One (1) square foot of venting area for every 150 square feet of crawl space.
- Required access to attic spaces is 22" x 30" with headroom above the opening of at least 30" and must be located in a hallway or other readily accessible location (R-807)
- Provide required flashing to meet or exceed common building practice where required and at roof changes, projections, valleys, etc.

### CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA:

- Table R401.2(1) -

Ground Snow Load	Wind Speed (mph)	Seismic Design Category	Subject to Damage From				Winter Design Temp.	Ice Shield Underlayment Req'd	Flood Hazards
			Weathering	Frost Depth	Termite	Decay			
40	115	B	Severe	42"	Moderate to Heavy	Slight to Moderate	+ 5 F	Yes	No

### STRUCTURAL LOADING DESIGN CRITERIA:

- all loads in pounds per square foot -

Location	Live	Dead	Limit
1st Floor	40	15	L/360
2nd Floor (sleeping)	30	10	L/360
2nd Floor (non-sleeping)	40	10	L/360
Attic (no storage)	10	5	L/240
Attic (light storage)	20	10	L/240
Roof (with finished clg.)*	40	20	L/240
Roof (no finished clg.)*	30	15	L/180
Decks	40	10	L/360

\*Roof live loads based on 40 psf ground snow load w/ reduction factors per ASCE 7 for sloped roofs.

Note: Assumed safe soil bearing capacity is 2,000 psf at min. frost depth. Values may be increased if site specific soil classification or load bearing test data is available.

### Handrails:

- Handrails are required on each side of stairways. Stairways less than 44" wide serving one dwelling unit may have on handrail (if not open on both sides)
- Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from wall shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded termination or bends.

### Guardrails:

- On landings shall have a height of 36" off finish floor.
- On open stairways shall have a height of 34" to 38" above nosing of treads and be continuous
- Openings between railings shall be less than 4". The triangular openings formed by the riser, tread and bottom element of a guardrail at a stair shall be less than 6".
- Porches, balconies and raised floors greater than 30" above the finish floor or grade shall have a half wall or guardrail of 36" height.

### Stairs:

- Stairwells to be a minimum of 36" in width and have a consistent head height to finished ceiling of 6'-8" from the tread nosing.
- Closed risers with 1" nosing unless noted otherwise maximum height of 7-3/4".
- A landing is not required at top of interior stairs provided a door does not swing over stair.

### ELECTRICAL:

Kitchens and dining areas of dwelling units receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsula counter tops 12" to 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).

- Electrical layout should meet or exceed local and national codes and shall be installed during construction.
- A permanent "Energy Standards Certificate" shall be posted on or in the electrical distribution panel. The certificate shall list the required R-Values of insulation installed and the type and efficiency of heating, cooling and service water heating equipment.

### GLAZING:

The following locations should be of safety glazing material in accordance with section 2406.4 (see exceptions)

- Doors and enclosures for hot tubs, whirl pools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

### SMOKE ALARMS:

**R314.3 Location.** Smoke alarms shall be installed in the following locations: 1. In each sleeping room. 2. Outside each separate sleeping area in the immediate vicinity of the bedrooms. 3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics [...] 4. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower...  
**F915.2.3.1.1.1** A carbon monoxide alarm shall be provided on each story containing a sleeping area, within 15 feet of the sleeping area [...] and a carbon monoxide alarm shall be provided on each story that contains a carbon monoxide source.

### SPRINKLER SYSTEM:

If required for this project contractor is to provide complete submittal for a system as required by the Victor, NY Building Department and Victor, NY Fire Protection District. Scope of work is submitted under a separate permit.

### MECHANICAL, ELECTRICAL & PLUMBING:

**NR404.1 Lighting equipment.** Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75% of the permanently installed lighting fixtures shall contain only high-efficacy lamps. Exception: Low-voltage lighting.  
**NR404.1.1 Lighting equipment.** Fuel gas lighting systems shall not have continuously burning pilot lights.  
**NR402.2.4 Access hatches and doors.** Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A wood-framed or equivalent baffle or retainer is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation.  
**NR403.1.1 Programmable thermostat.** The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).  
**NR403.3.2 Sealing (Mandatory).** Ducts, air handlers and filter boxes shall be sealed.  
**NR403.5.1 Heated water circulation and temperature maintenance systems (Mandatory).** Heated water circulation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

### DECK FRAMING:

**R317.1.2 Ground contact.** All wood in contact with the ground, embedded in concrete in direct contact with the ground or embedded in concrete exposed to the weather that supports permanent structures intended for human occupancy shall be approved pressure-preservative-treated wood suitable for ground contact use, except that untreated wood used entirely below ground/water level or continuously submerged in fresh water shall not be required to be pressure-preservative treated.

### ATTIC ACCESS:

**R807.1 Attic access.** Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that have a vertical height of 30 inches or greater over an area of not less than 30 square feet... The rough-framed opening shall be not less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location. Where located in a wall, the opening shall be not less than 22 inches wide by 30 inches high. Where the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30 inches at some point above the access measured vertically from the bottom of ceiling framing members

### SITE PLAN NOTES:

- THIS PLAN IS FOR CONCEPTUAL PURPOSES ONLY. FINAL LOCATION OF THE ADDITION TO BE DETERMINED IN FIELD BY OWNER / CONTRACTOR.
- ALL CONSTRUCTION TO BE LOCATED WITHIN BUILDABLE ENVELOPE WITH RESPECT TO ALL APPLICABLE SETBACKS INCLUDING, BUT NOT LIMITED TO, SIDE, FRONT & REARWARD SETBACKS.
- ALL SEPTIC, DRIVEWAY, UTILITY, AUXILIARY STRUCTURES & CONSTRUCTION SHALL BE PER MUNICIPAL ZONING & ADOPTED BUILDING CODE AND/OR JURISDICTIONAL REGULATIONS AS DETERMINED IN FIELD BY OWNER / CONTRACTOR.

### CONSTRUCTION NOTES:

- Construction shall conform to the residential code of New York State.
- Comply with all local, state and federal codes and regulations.
- General Contractor is responsible for all materials, construction methods and craftsmanship.
- General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- General Contractor to provide adequate support of existing foundations walls, load bearing walls and partitions during demolition and construction (if applicable to project).
- All pre-engineered roof & floor systems and their blocking/bracing to be certified by the manufacturer.
- Contractor is responsible for coordinating work with other trades wherever they overlap.
- When materials and/or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- All new work shall be plumb, level and square. Scribe and make fit all new work to existing (if applicable to project).
- All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing, etc.) to match existing (if applicable to project). Final selections by owner and General Contractor, unless otherwise specified.
- All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar, unless otherwise specified.
- Coordinate the installation of continuous aluminum gutters and downspouts to match existing (if applicable to project). Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- Design and coordination of all sitework, including finish grading and hydroseeding, General Contractor.
- Design and coordination of electric, plumbing and HVAC system installation by General Contractor. Verify capacity and location of existing utilities/services prior to construction (if applicable to project).
- All areas of habitable space will be provided with openings for emergency egress of 5.7 square feet at first floor and 5.7 square feet at second floor. All sills to be within 44" of finish floor.
- Beams to foundation pockets shall have 1/2" clearance from masonry - (1/2" airspace three (3) sides w/ steel shims and solid CMU cores at bearing).
- These documents do not purport to show all means and methods required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

### DEMOLITION NOTES (if applicable):

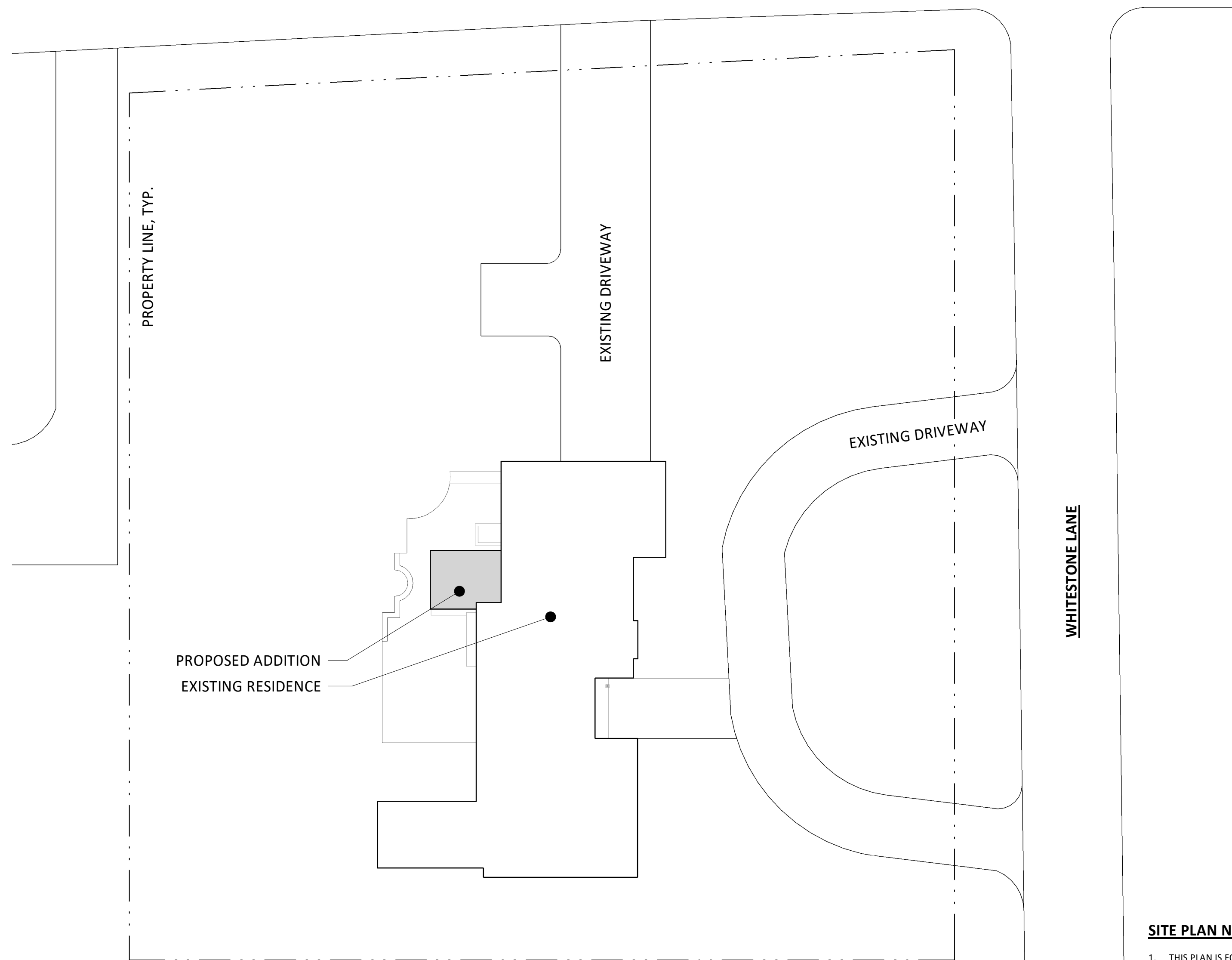
- It is the General Contractor's responsibility to familiarize themselves with all details involved in the selective demolition. Specific instructions on each item will not be given.
- All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- The General Contractor is to remove all existing walls, doors and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing conditions.
- The General Contractor is to remove all existing lighting, wiring and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- The General Contractor is to remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping. Cap at nearest active main or riser.
- The General Contractor is to remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- On items 4,5 and 6 General Contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- The General Contractor shall be responsible for the salvage for existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing conditions.
- The General Contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- The General Contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- The General Contractor shall maintain safe access to all designated exits for the building occupants during construction.
- Storage for contractor's equipment and debris must be kept inside the contract area.
- Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- If materials are suspected to contain asbestos, the General Contractor is to immediately inform the owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

### GENERAL FOUNDATIONS:

- All concrete to be minimum 3,000 psi (unless otherwise noted)
- Bottom of footer to be minimum frost depth below finished grade and rest on undisturbed soil.
- Top of wall to extend minimum of 8" above finished grade.
- A perimeter perforated pipe shall be placed along the outside of the footer below the finished slab height. Pipe to be laid in well draining gravel on all sides and discharge by gravity.
- Damproofing of a bituminous-based coating or another approved damproofing material is to be applied to the outside of block face from the top of footer to finish grade.
- Unconditioned crawl spaces must have ventilation openings covered with hardware cloth or mesh. One (1) square foot of venting area for every 150 square feet of crawl space. (at least 1 vent opening must be within three (3) feet of each corner).
- Required access to crawl spaces is 18" x 24" when in the floor and 16" x 24" when access is through the perimeter wall.
- Control joints to be provided for all concrete slabs over 400 square feet.
- It is recommended that radon mitigation piping be placed under slab to an elbow above the slab for future connection if necessary.
- 2x sill plates to be of pressure treated material.
- Porches, carport slabs and steps exposed to weather and garage slabs shall be minimum 3,500 psi (28 days compressive strength) concrete w/ 6x6 welded wire mesh.
- Provide deep score control joints at midpoints of all garage slabs (both directions) and provide 1/2" expansion joints between all concrete slabs and abutting concrete walls occurring in exterior or un-conditioned interior areas.

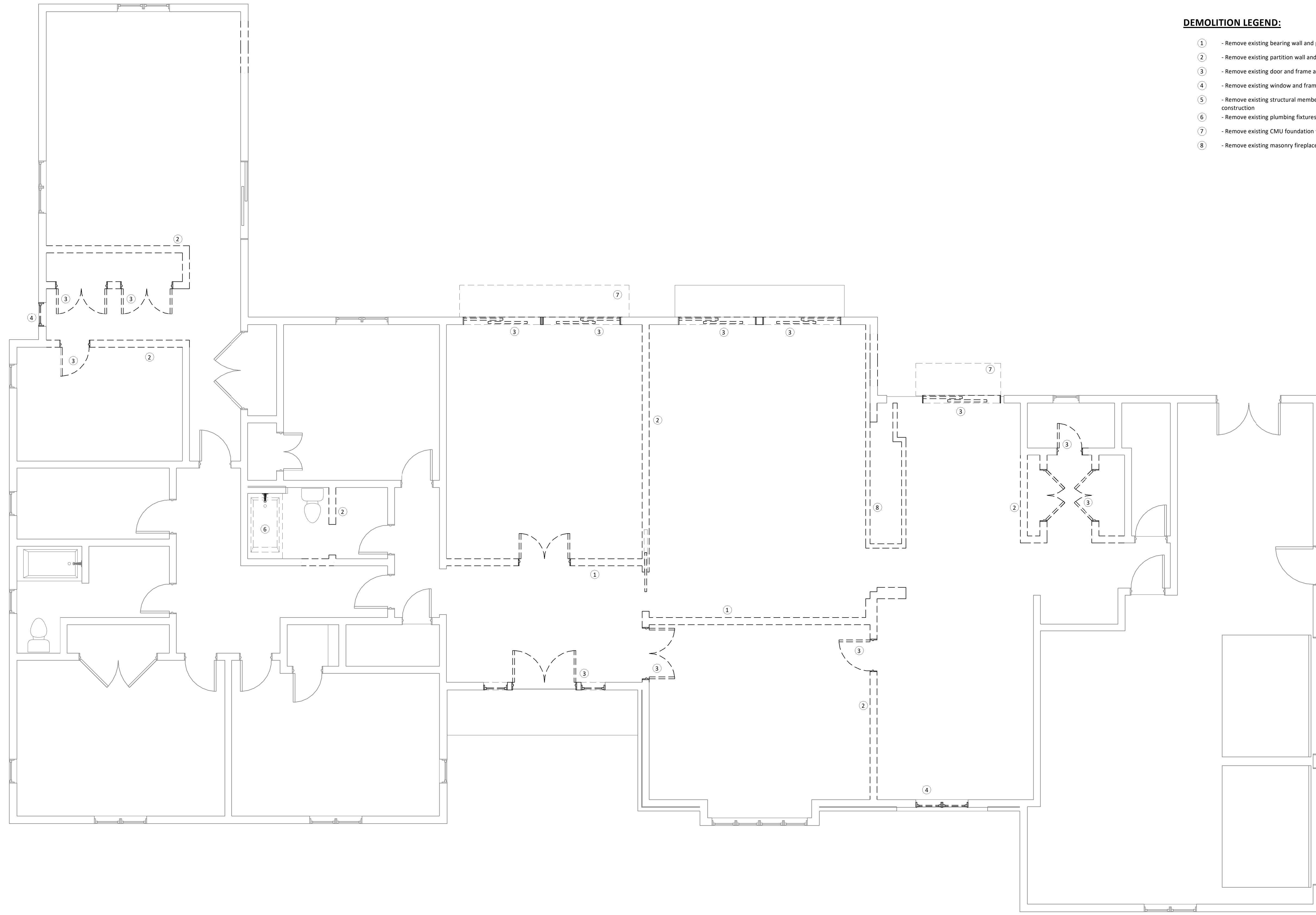
### GENERAL BUILDING:

- Use one (1) layer 5/8" type 'X' gyp. brd. @ garage walls and ceilings. All joints to be taped, sealed and paint finish. Install per 1997 UBC requirements.
- Provide built up platform to be minimum 18" above slab of finished floor to allow for placement of hot water (LPG) & forced air unit (LPG).
- Electric and plumbing layout shall meet or exceed local and national codes and shall be inspected during construction per county building department.
- Provide rust-inhibitive paint to steel columns except for corrosion resistant or treated steel per R-407 of the Residential Code.
- Carbon Monoxide detectors (battery operated or direct wired) shall be installed in the immediate vicinity of bedroom(s) on the lowest floor of the dwelling unit.
- Fireblocking shall be installed per sections R-314.8, R-602 & R-1001.16 of the Residential Code - Fireblocking shall be provided in concealed wall and stair spaces at the floor and ceiling (also 1/2" gyp. brd. on underside of stairs in enclosed accessible spaces). Horizontal furred spaces at intervals not exceeding 10'-0" feet, concealed joist spaces at beams and bearing walls.
- All gas appliances to be directly vented to roof or exterior termination addressing all requirements per MFR specifications.
- Provide gas sensor/alarm at all appliances and lowest point of floor area, and provide at sub-floor, wire to audible alarm system.
- Smoke detectors to be supplied/placed at all corridors, garage and bedrooms. They should be hardwired to residence and be supported by battery back up, wire to audible alarm system.
- All dimensions on plans to override actual scale, General Contractor to contact Architect prior to any changes or deviations from the plan.
- Any doors that have glazing are required to be tempered glass.
- Any windows or glazing with in 24" from end of door swing to be tempered.
- All egress windows may exceed the following dimensions: Clear opening area of 5.7 square feet. Clear width of 20" minimum and clear height of 24" minimum. Not to exceed 44" above finished floor.
- General Contractor will be responsible for all means, methods, techniques, sequence and safety issues to the construction contract.
- This set of plans has been designed and shall be built to comply w/ the IRC (International Residential Code) and meets or exceeds the energy conservation construction code.



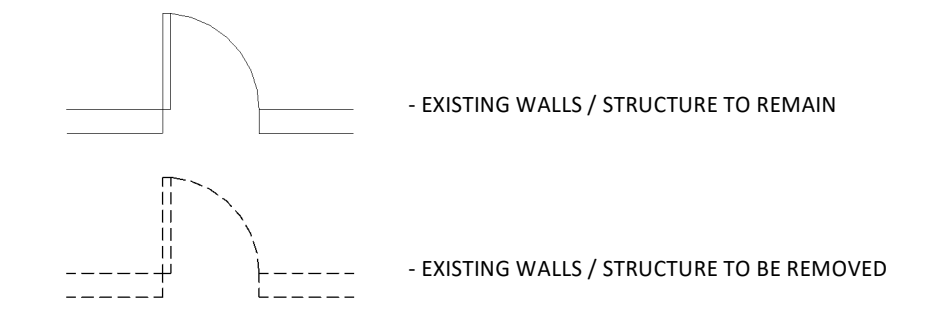
2 SITE PLAN  
1" = 20'-0"





1 MAIN LEVEL DEMOLITION PLAN  
1/4" = 1'-0"

**TYPICAL DEMOLITION WALL LEGEND:**



**DEMOLITION LEGEND:**

- ① - Remove existing bearing wall and prepare for new construction
- ② - Remove existing partition wall and prepare for new construction
- ③ - Remove existing door and frame and prepare for new construction
- ④ - Remove existing window and frame and prepare for new construction
- ⑤ - Remove existing structural member and prepare for new construction
- ⑥ - Remove existing plumbing fixtures
- ⑦ - Remove existing CMU foundation wall
- ⑧ - Remove existing masonry fireplace

METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.

REVISIONS:

SIGN & SEAL:

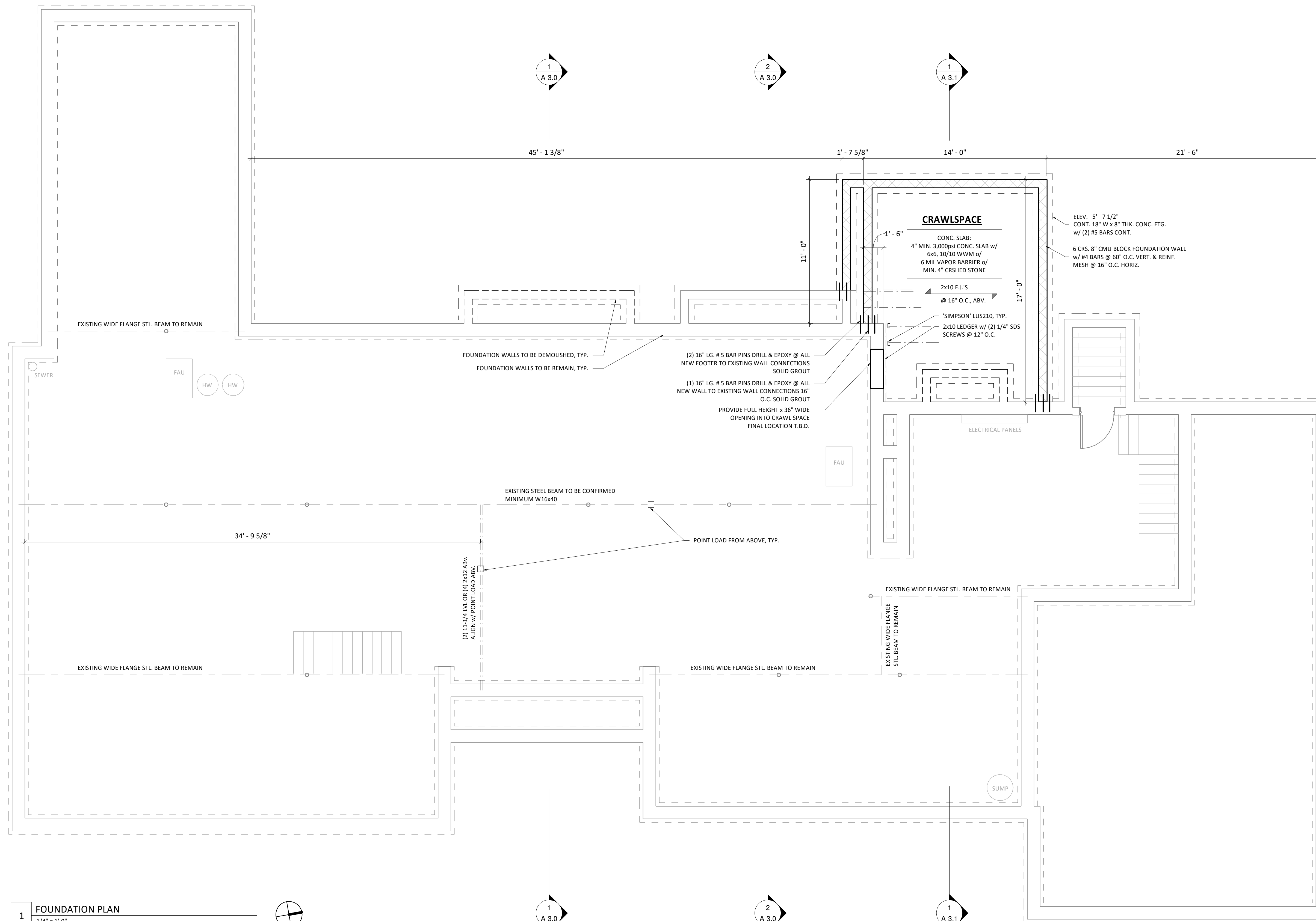
**DEMOLITION PLAN**  
**LAROIA RESIDENCE**  
11 Whitestone Road Rochester, NY 14618

**DRAWING:**  
**JOB:**  
**DATE:** 04.23.19  
**DRAWN BY:** Author

Rahul & Nirupama Laroia

**SHEET:**  
**A-0.2**

BID SET (NOT FOR CONSTRUCTION)



1 FOUNDATION PLAN  
1/4" = 1'-0"

**FOUNDATION & SLAB NOTES:**

1. FINAL FOOTING DEPTHS & CONFIGURATIONS ARE SUBJECT TO CHANGE PER SUB-SURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL AND MAINTAIN FROST DEPTHS PER CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE ON A-0.2. A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF HAS BEEN ASSUMED IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION.
2. ALL CONCRETE FOUNDATION WALLS, FOOTERS, PADS, SLABS, ETC. ARE TO BE MIN. 3000 PSI, U.N.O.
3. PROVIDE PERIMETER FOUNDATION DRAIN PIPE PITCHED @ 1/8"=12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR SLUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED PIPE W/ HOLES ORIENTED DOWNWARD.
4. CONTROL JOINTS TO BE PROVIDED FOR ALL CONCRETE SLABS OVER 900 S.F.
5. IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE SLAB. PROVIDE PVC VENT PIPE TO EXTERIOR. VERIFY INSTALLATION W/ OWNER.
6. ALL SUBBASE TO BE COMPACTED IN 6" LIFTS.
7. PROVIDE CLOSED CELL FOAM SILL SEALER & 2x PRESSURE TREATED SILL PLATE INSET 2" TO EXTERIOR EDGE OF ALL FOUNDATION WALLS. SECURE W/ ANCHOR BOLTS PER PLAN.
8. PROVIDE (2) PRESSURE TREATED 2x4 @ PERIMETER OF WINDOW & DOOR ROUGH OPENINGS IN FOUNDATION WALLS.
9. PROVIDE (1) PRESSURE TREATED 2x ON TOP OF STEEL BEAMS.
10. FINAL SPECIFICATIONS, DIMENSIONS, DEPTHS, CONFIGURATIONS AND REQUIREMENTS OF PRE-MANUFACTURED FOUNDATION WALLS TO BE APPROVED BY CONTRACTOR/OWNER. METHOD ARCHITECTURE STUDIO IS NOT RESPONSIBLE FOR APPROVAL OF MANUFACTURERS' SHOP DRAWINGS.

METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.

REVISIONS:

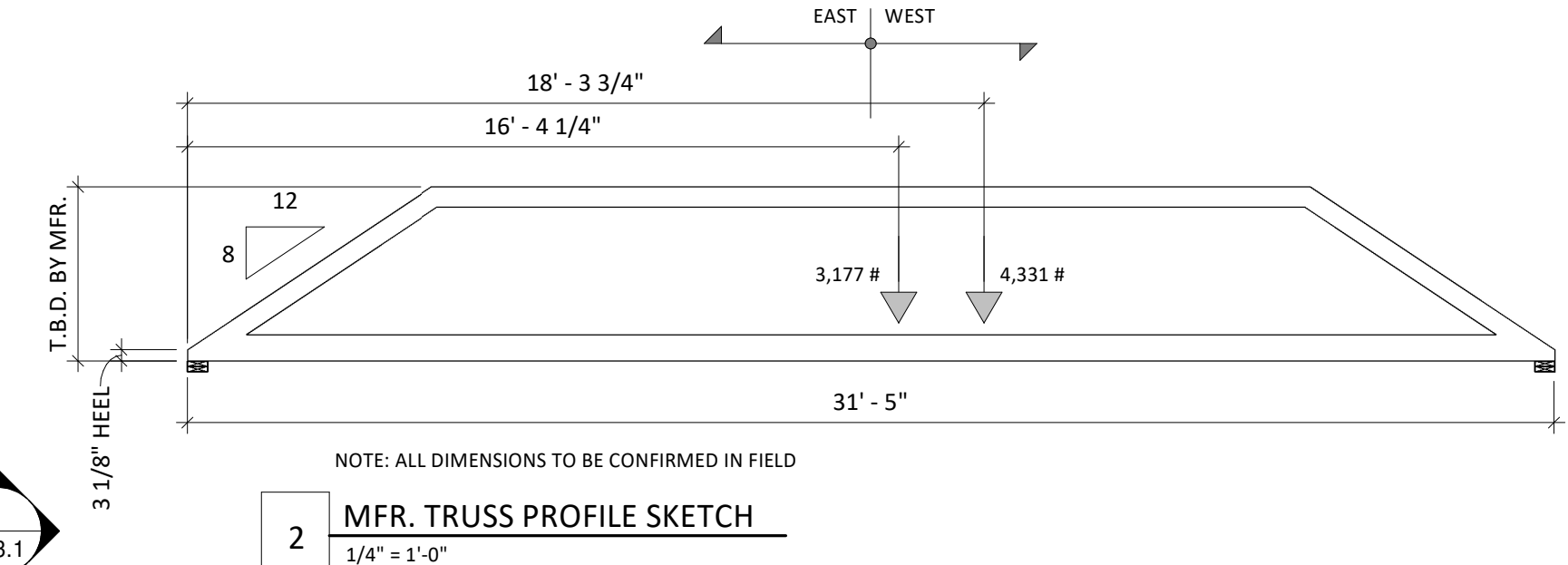
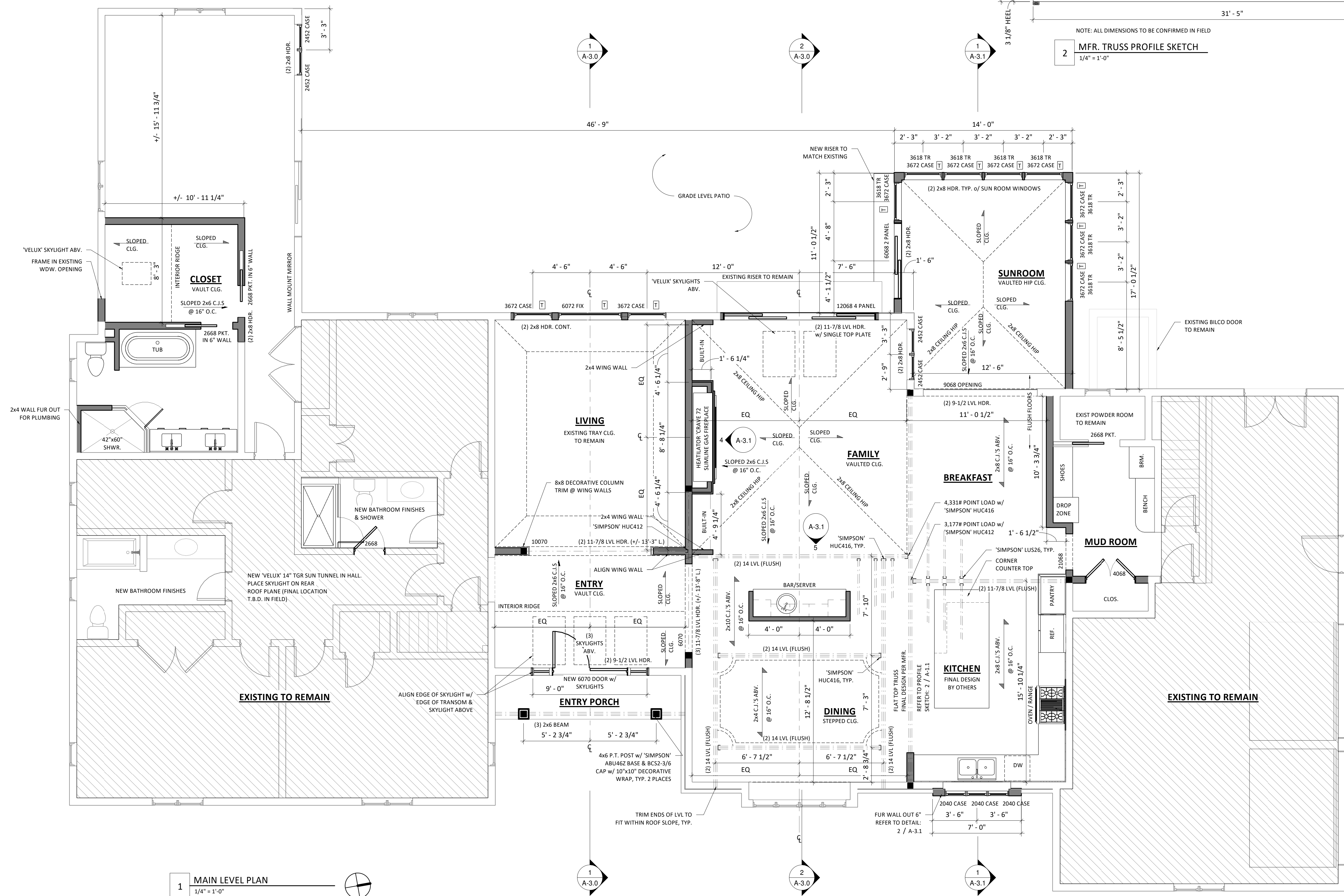
SIGN & SEAL:

FOUNDATION PLAN  
LARIOIA RESIDENCE  
11 Whitestone Road Rochester, NY 14618

DRAWING:  
DATE: 04.23.19  
DRAWN BY: PH

SHEET:  
A-1.0

BID SET (NOT FOR CONSTRUCTION)



**1 MAIN LEVEL PLAN**  
1/4" = 1'-0"

- NOTES:**
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O. - UNLESS OTHERWISE NOTED)
  - ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
  - ALL EXTERIOR HEADERS TO BE (2) 2x8 INSULATED (U.N.O.)
  - ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING, INTERIOR FACE OF 2x STUDS OR CENTERLINE OF STRUCTURAL MEMBER
  - DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER
  - ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
  - ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
  - INDICATES (3) STUD POST, GLUED & NAILED (U.N.O.)

- GLAZING LEGEND:**
- [Symbol] - INDICATES AN EGRESS WINDOW
  - [Symbol] - INDICATES A TEMPERED WINDOW
- WALL LEGEND:**
- [Symbol] - INDICATES PROPOSED WALL
  - [Symbol] - INDICATES EXISTING WALL TO REMAIN

METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.

REVISIONS:

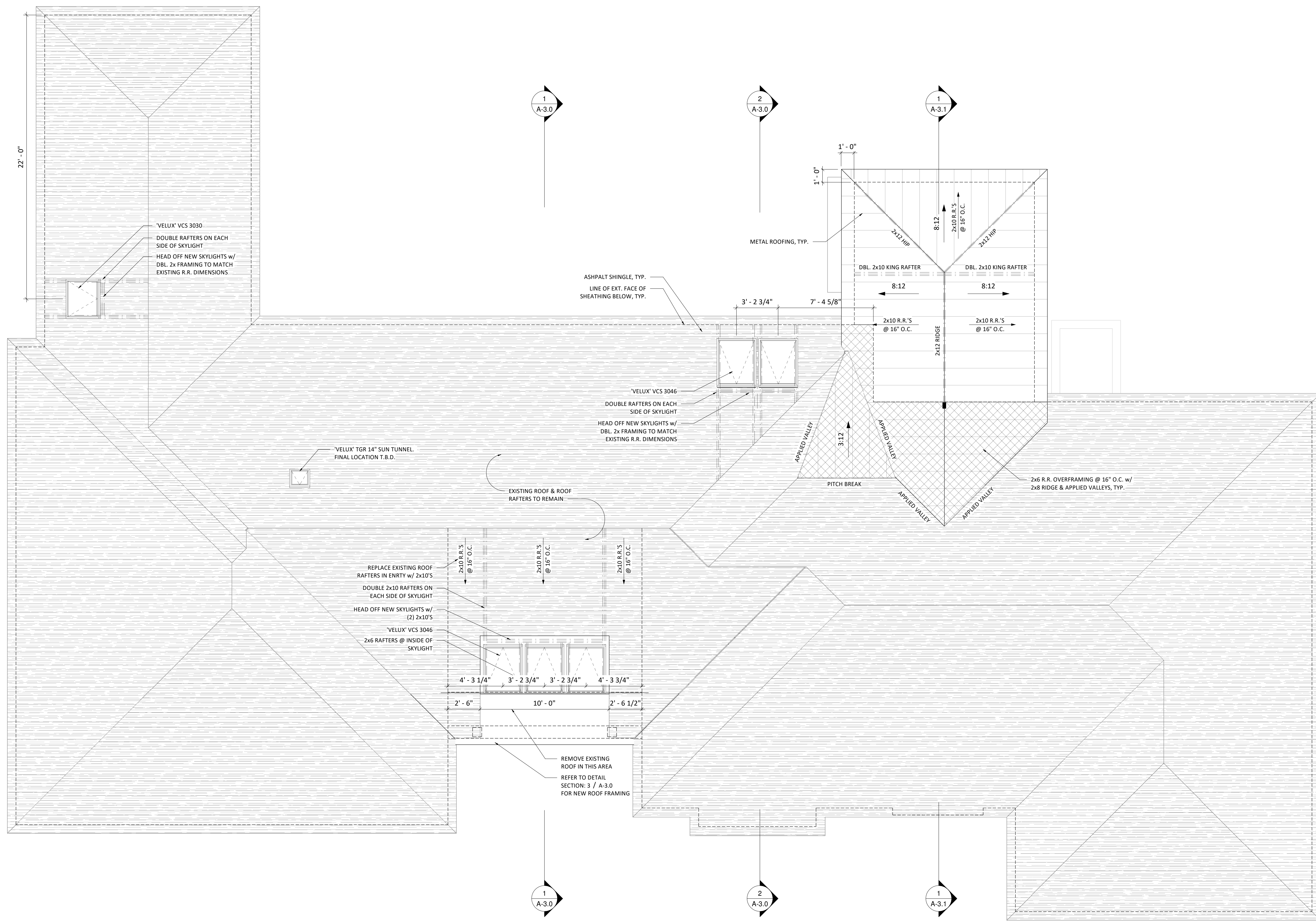
SIGN & SEAL:

**MAIN LEVEL PLAN**  
**LAROA RESIDENCE**

11 Whitestone Road Rochester, NY 14618

**DRAWING:** BID SET (NOT FOR CONSTRUCTION)  
**JOB:** Rahul & Nirupama Laroia  
**DATE:** 04.23.19  
**DRAWN BY:** PH

**SHEET:** A-1.1



1 ROOF PLAN  
1/4" = 1'-0"

**GENERAL NOTES:**

1. ICE & WATER SHIELD BROUGHT UP TO A MINIMUM OF 24" PAST EXTERIOR WALL LINE OF BUILDING
2. (2) LAYERS OF 30# FELT RECOMMENDED FOR ENTIRE ROOF AREA WITH PITCHES 4:12 AND LESS
3. SOLID BLOCKING BTWN. RAFTERS ATTACHED TO TOP PLATES W/ 8d @ 6" O.C. ALONG LENGTH OF BRACED WALL PANEL
4. 30# FELT RECOMMENDED UNDER METAL ROOF
5. FINAL GUTTER AND DOWNSPOUT SIZES & LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR
6. TIE ALL DOWNSPOUTS INTO STORM WATER SYSTEM

METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.

REVISIONS:

SIGN & SEAL:

**ROOF PLAN**  
**LAROIA RESIDENCE**  
11 Whitestone Road Rochester, NY 14618

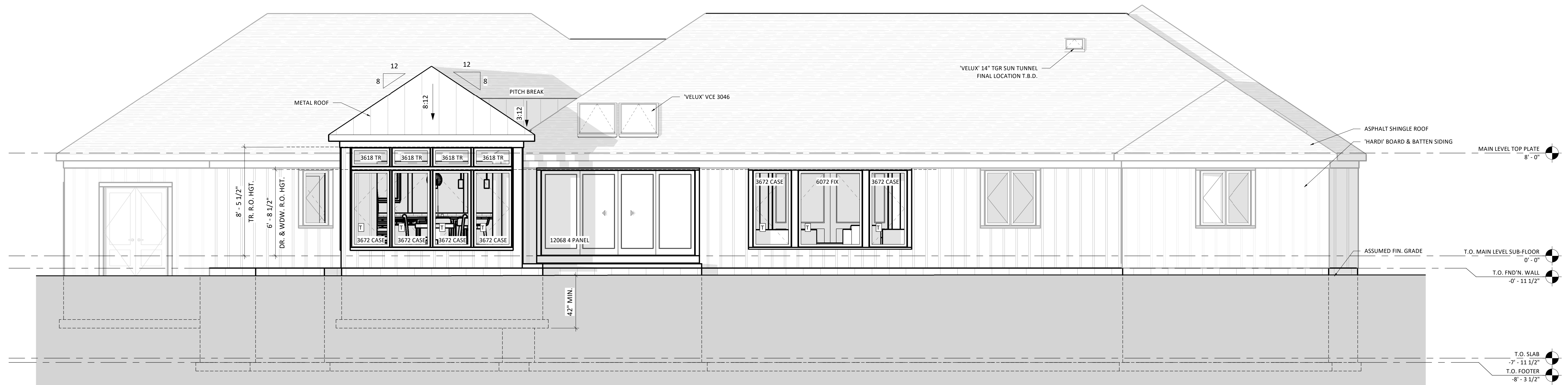
**DRAWING:**  
**JOB:**  
**DATE:** 04.23.19  
**DRAWN BY:** PH

**SHEET:**  
**A-1.2**

BID SET (NOT FOR CONSTRUCTION)



1 EAST ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.

REVISIONS:

SIGN & SEAL:

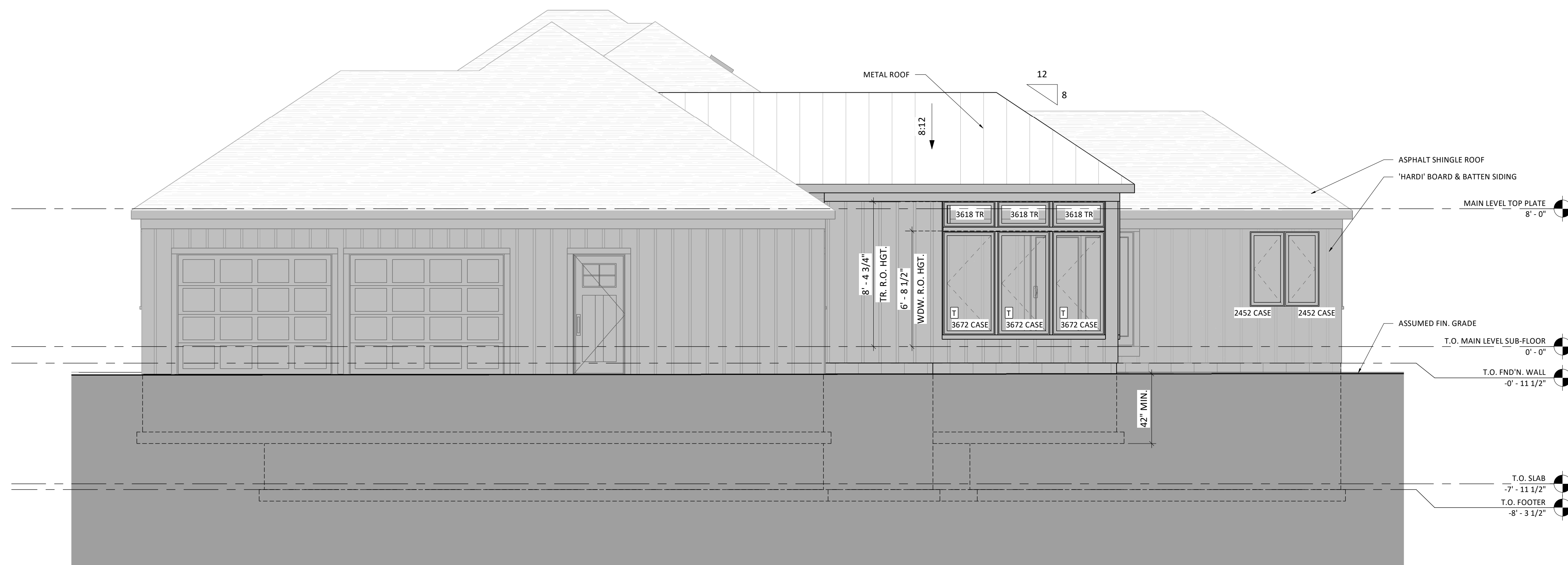
**BUILDING ELEVATIONS**  
**LAROA RESIDENCE**  
11 Whitestone Road Rochester, NY 14618

**DRAWING:**  
**JOB:** Rahul & Nirupama Laroia  
**DATE:** 04.23.19  
**DRAWN BY:** PH

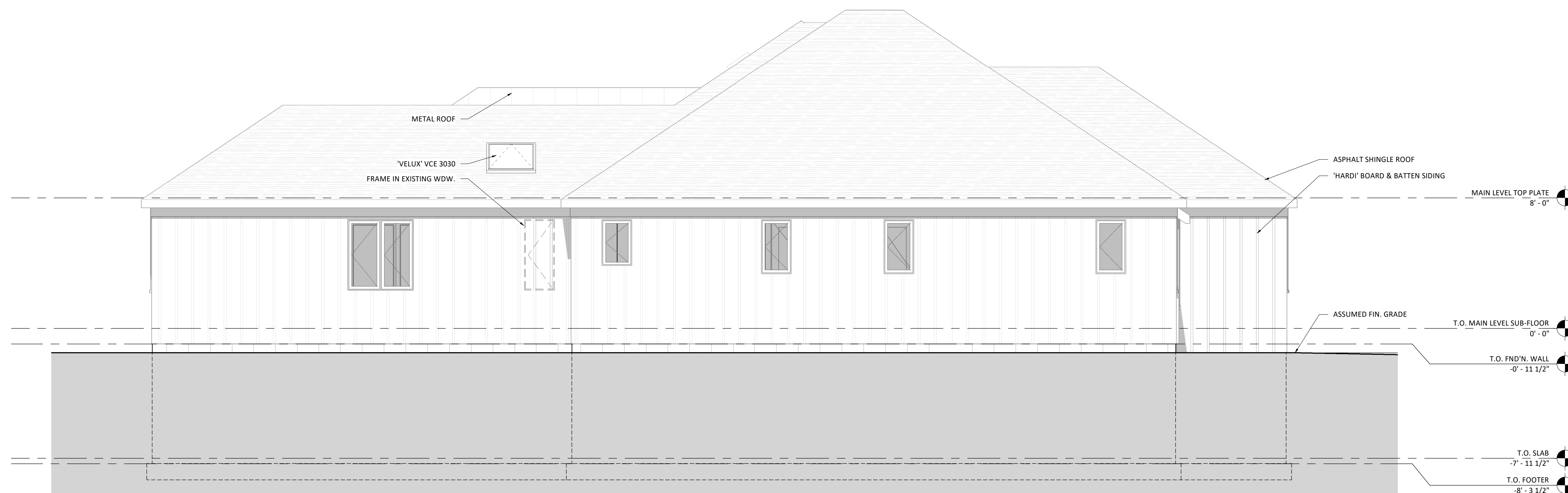
**SHEET:**  
**A-2.0**

BID SET (NOT FOR CONSTRUCTION)

METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.



**1 NORTH ELEVATION**  
 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
 1/4" = 1'-0"

REVISIONS:

SIGN & SEAL:

BID SET (NOT FOR CONSTRUCTION)

**BUILDING ELEVATIONS**  
**LARJOIA RESIDENCE**

11 Whitestone Road Rochester, NY 14618

DRAWING:

JOB:

Rahul & Nirupama Larjoia

DATE: 04.23.19

DRAWN BY: PH

SHEET:

**A-2.1**



METHOD ARCHITECTURE STUDIO HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM METHOD ARCHITECTURE STUDIO.

REVISIONS:

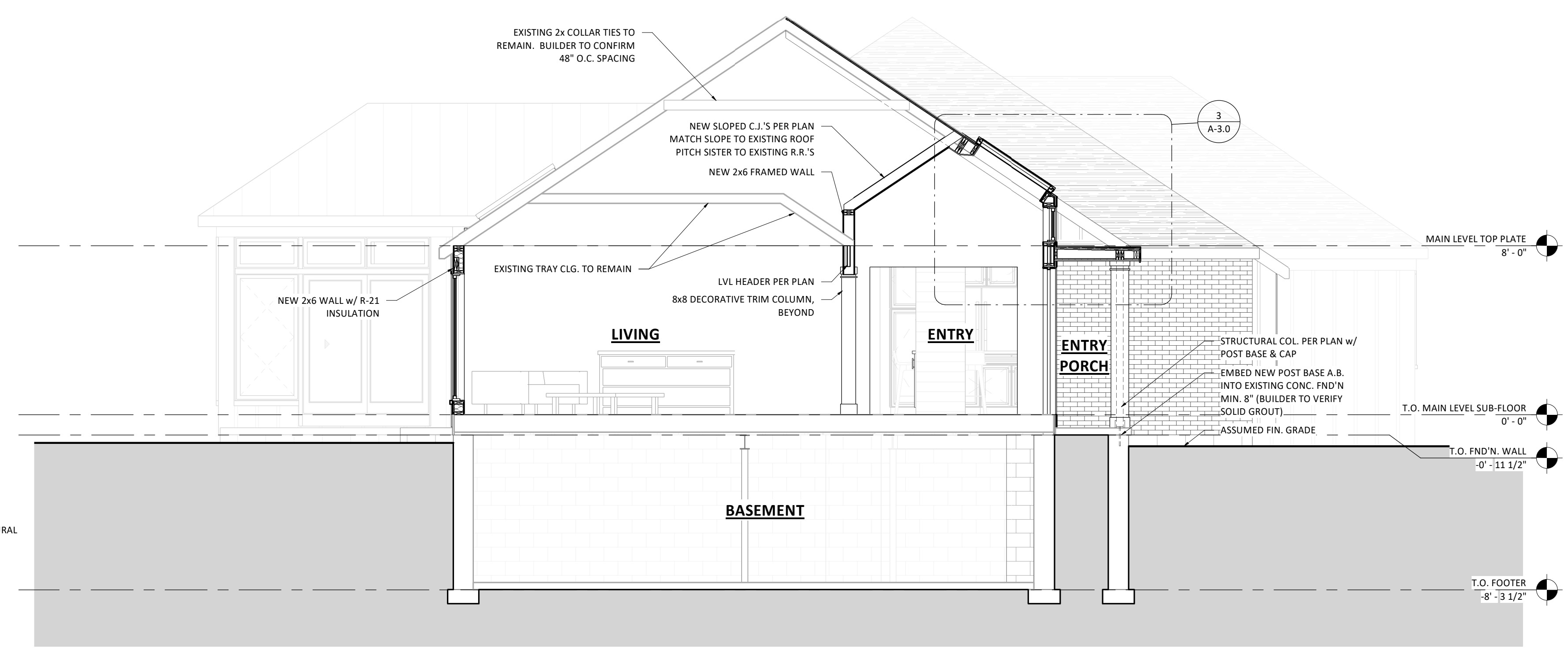
SIGN & SEAL:

**BUILDING SECTIONS**  
**LAROA RESIDENCE**  
11 Whitestone Road Rochester, NY 14618

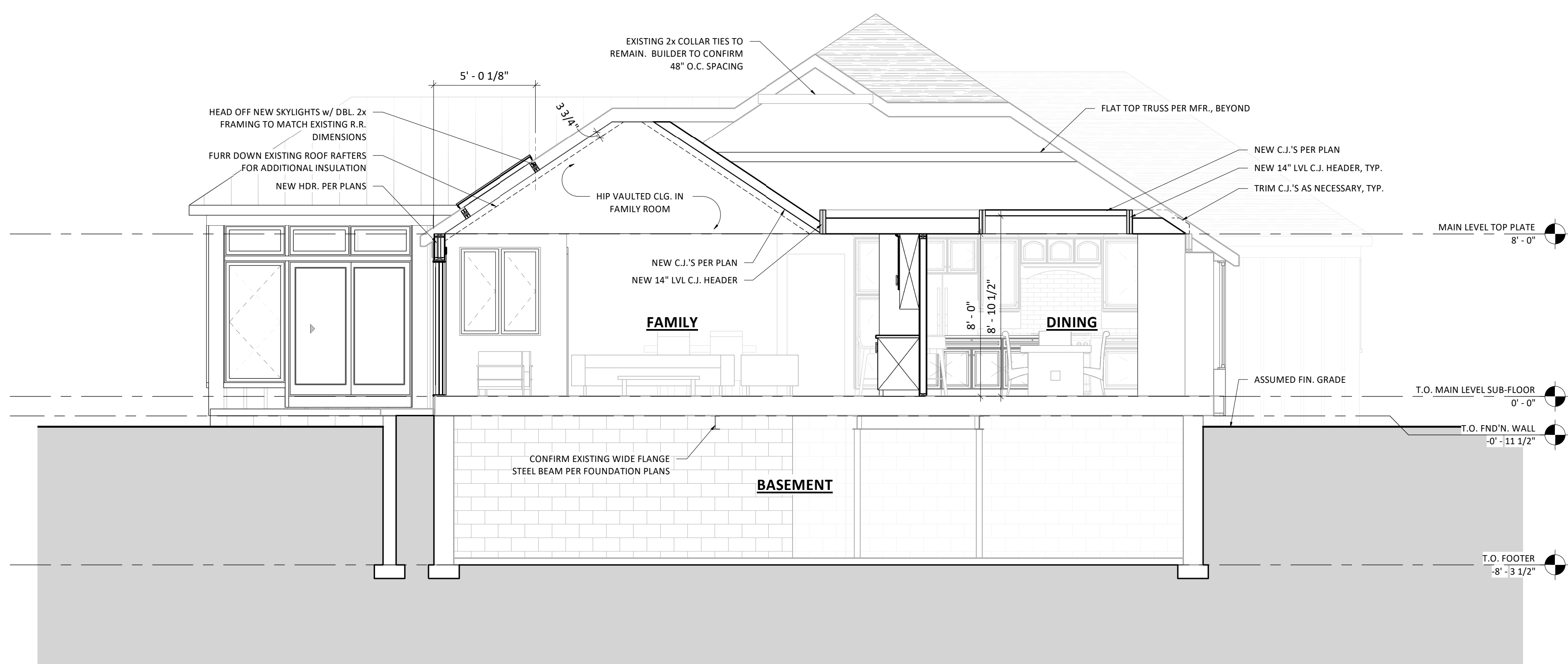
**DRAWING:**  
**JOB:** Rahul & Nirupama Laroia  
**DATE:** 04.23.19  
**DRAWN BY:** PH

**SHEET:**  
**A-3.0**

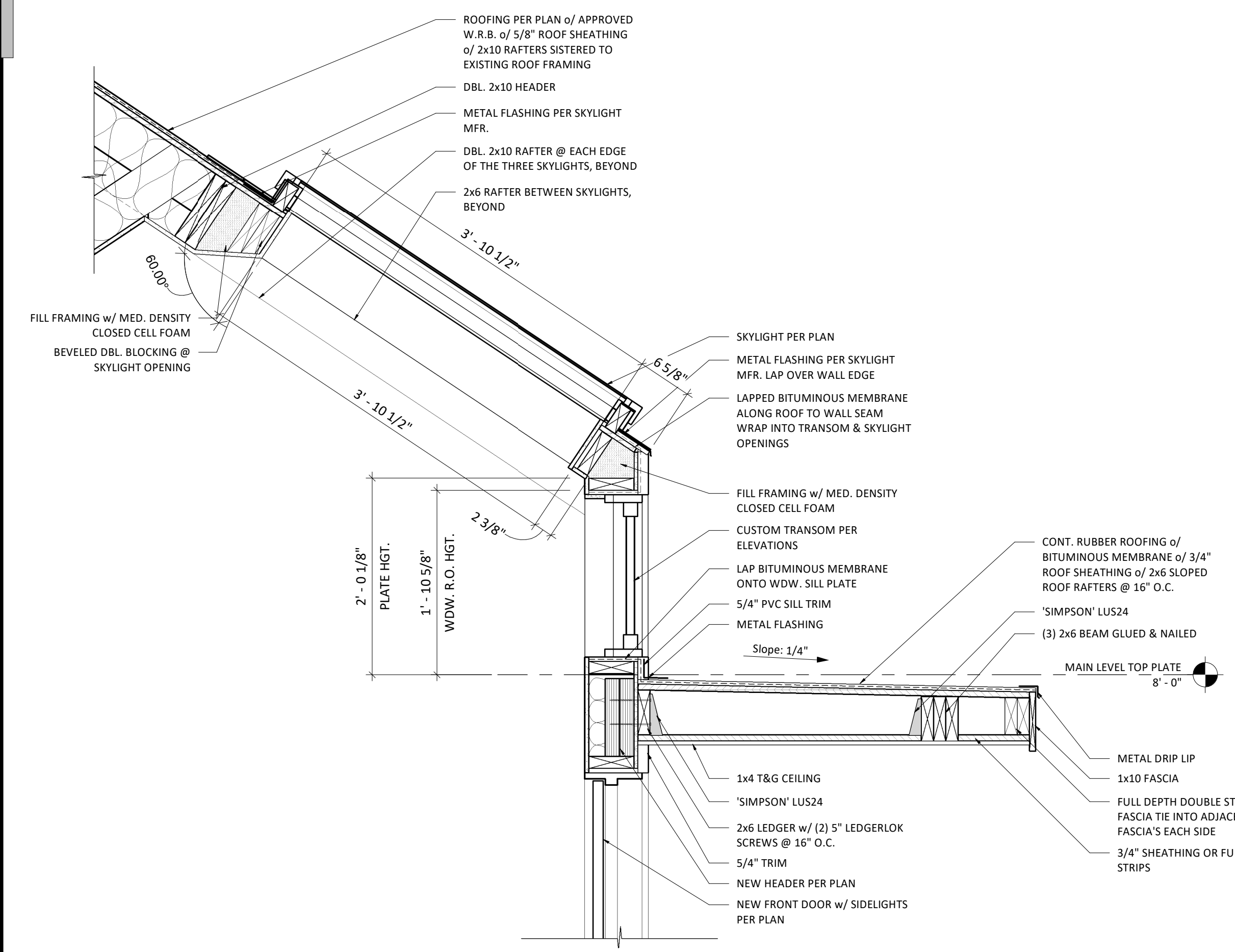
BID SET (NOT FOR CONSTRUCTION)



**1 SECTION THRU LIVING ROOM**  
1/4" = 1'-0"



**2 SECTION THRU FAMILY ROOM**  
1/4" = 1'-0"



**3 FRONT ENTRY SKYLIGHT DETAIL**  
1" = 1'-0"

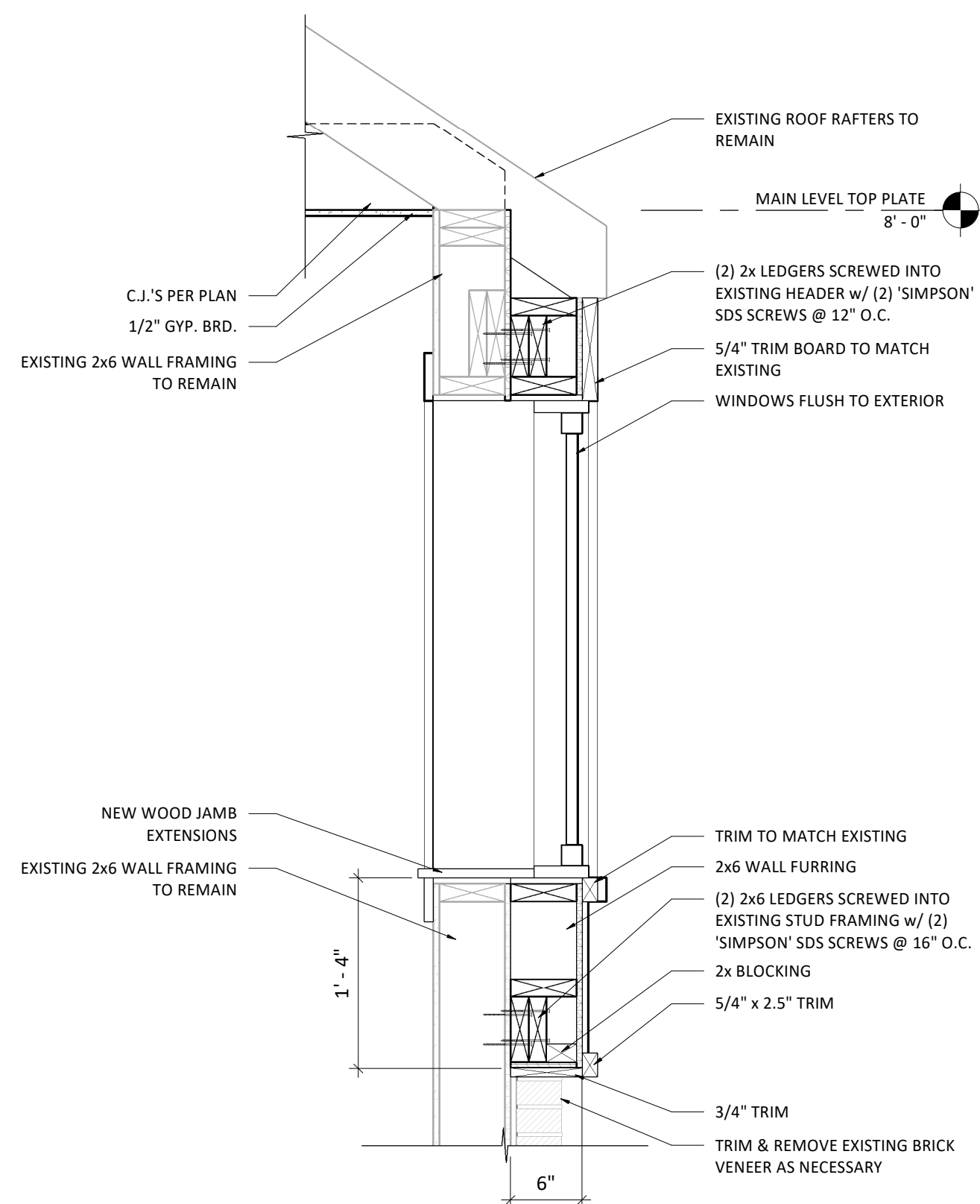
REVISIONS:

SIGN & SEAL:

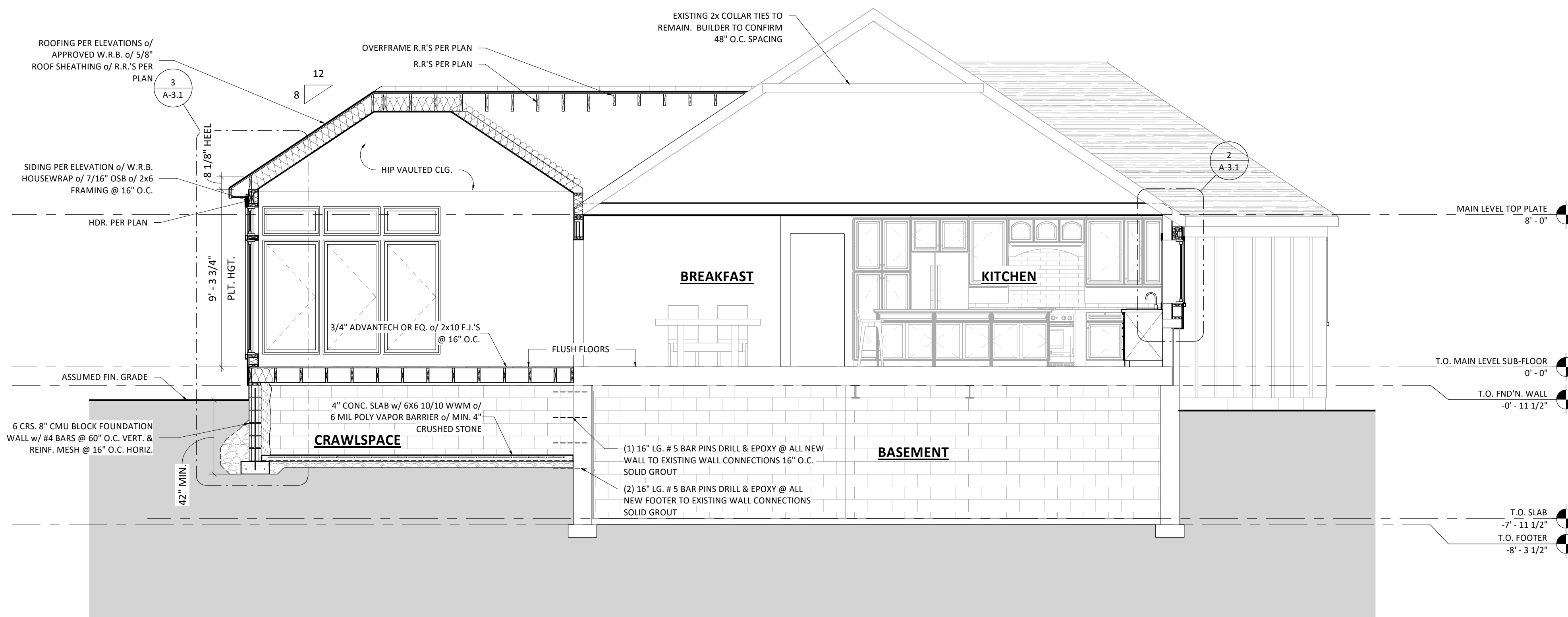
**BUILDING SECTIONS & INT. ELEVATIONS**  
**LAROA RESIDENCE**  
11 Whitestone Road Rochester, NY 14618  
Rahul & Nirupama Laroia

DRAWING: **BUILDING SECTIONS & INT. ELEVATIONS**  
JOB: **LAROA RESIDENCE**  
DATE: **04.23.19**  
DRAWN BY: **PH**

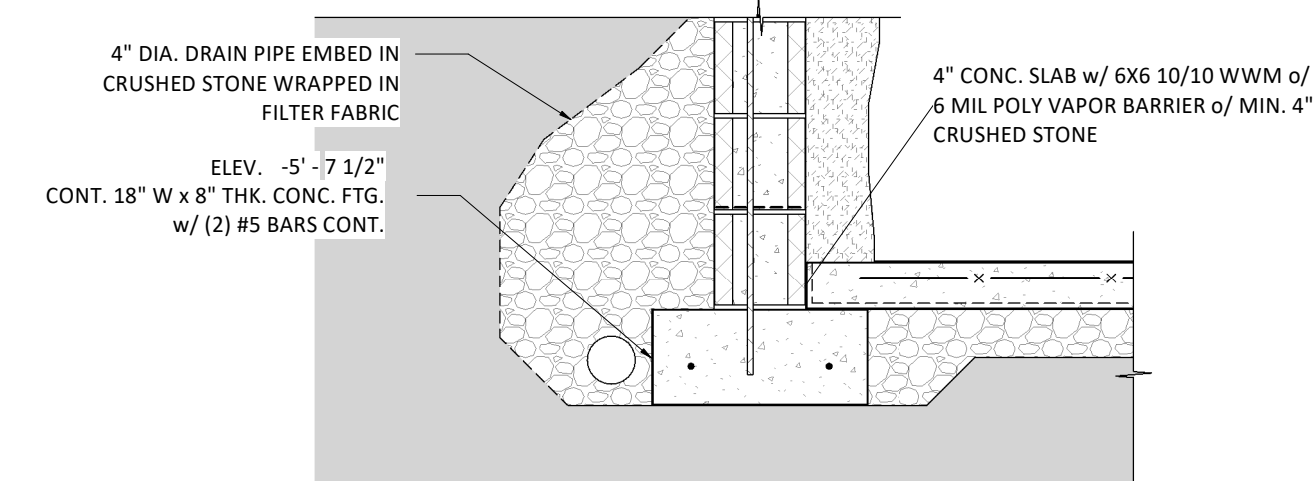
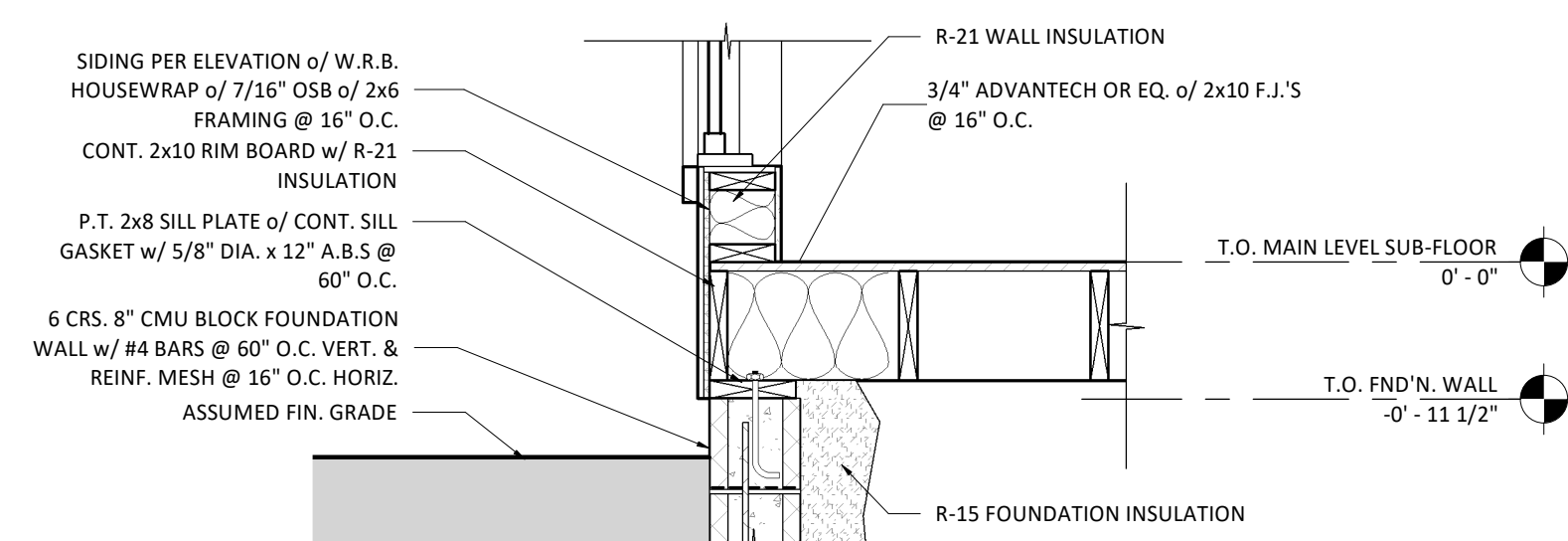
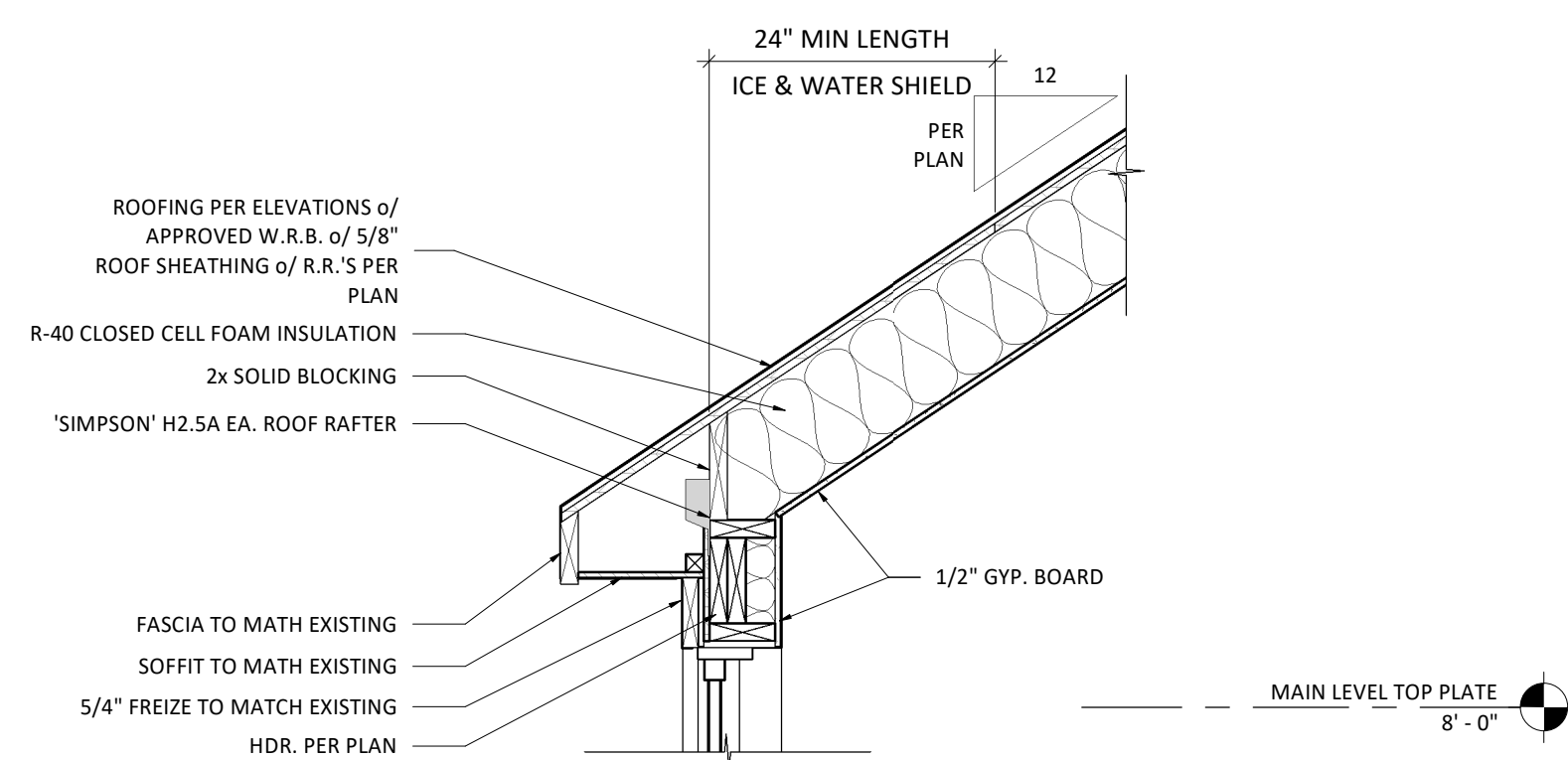
SHEET: **A-3.1**



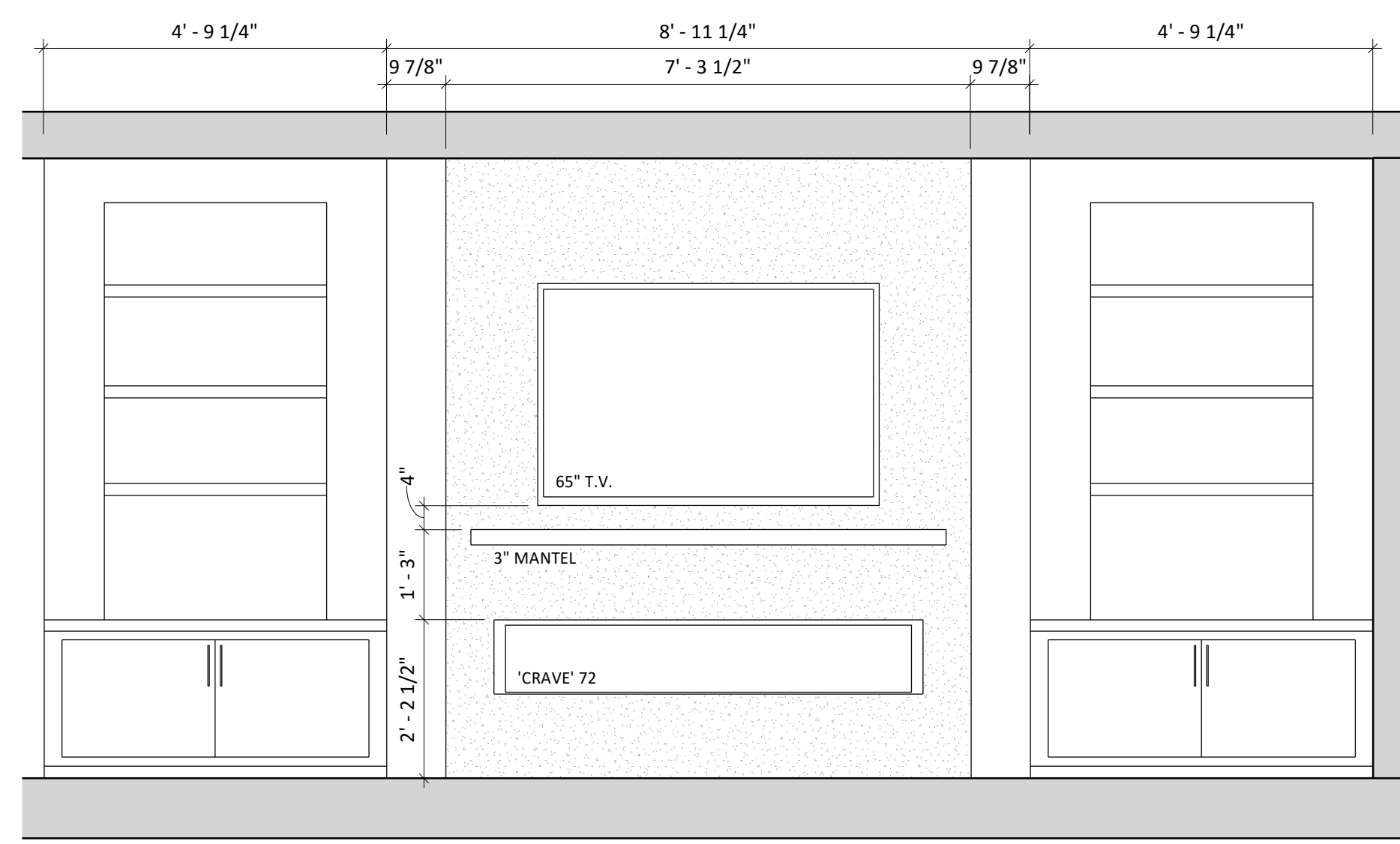
**2 FURRED OUT WALL DETAIL**  
1" = 1'-0"



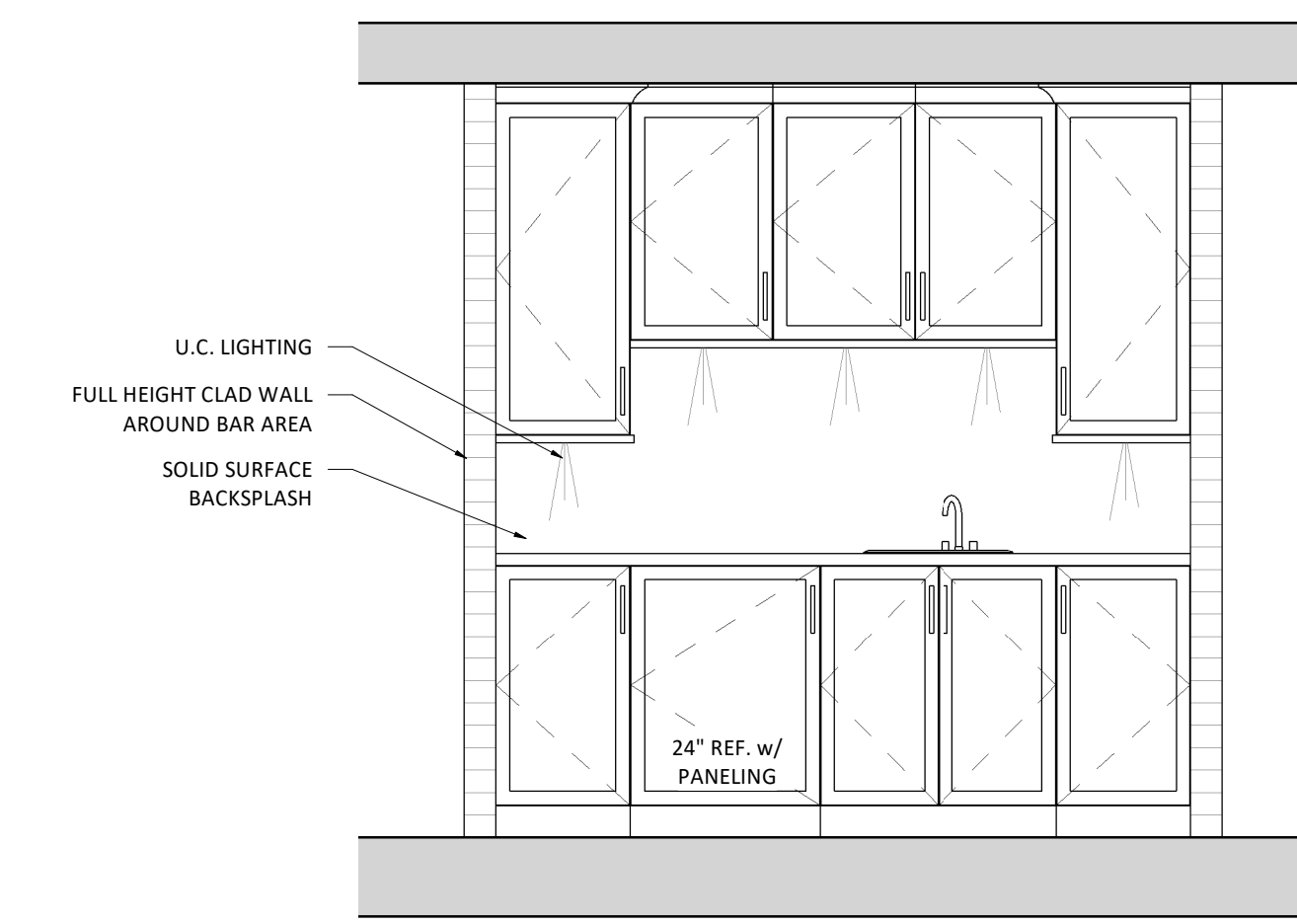
**1 SECTION THRU SUN ROOM**  
1/4" = 1'-0"



**3 SUN ROOM WALL SECTION**  
3/4" = 1'-0"



**4 FIREPLACE ELEVATION**  
1/2" = 1'-0"



**5 WET BAR ELEVATION**  
1/2" = 1'-0"

NOTE: FINAL DESIGN & FINISHES T.B.D.

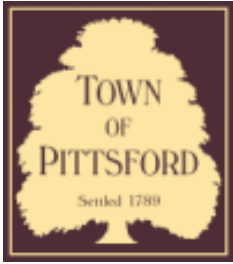
NOTE: ALL FINISHES TO BE CONFIRMED BY CLIENT

BID SET (NOT FOR CONSTRUCTION)









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000072**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 421 Kilbourn Road ROCHESTER, NY 14618

**Tax ID Number:** 138.18-3-9

**Zoning District:** RN Residential Neighborhood

**Owner:** Marsh, Christopher

**Applicant:** Marsh, Christopher

#### Application Type:

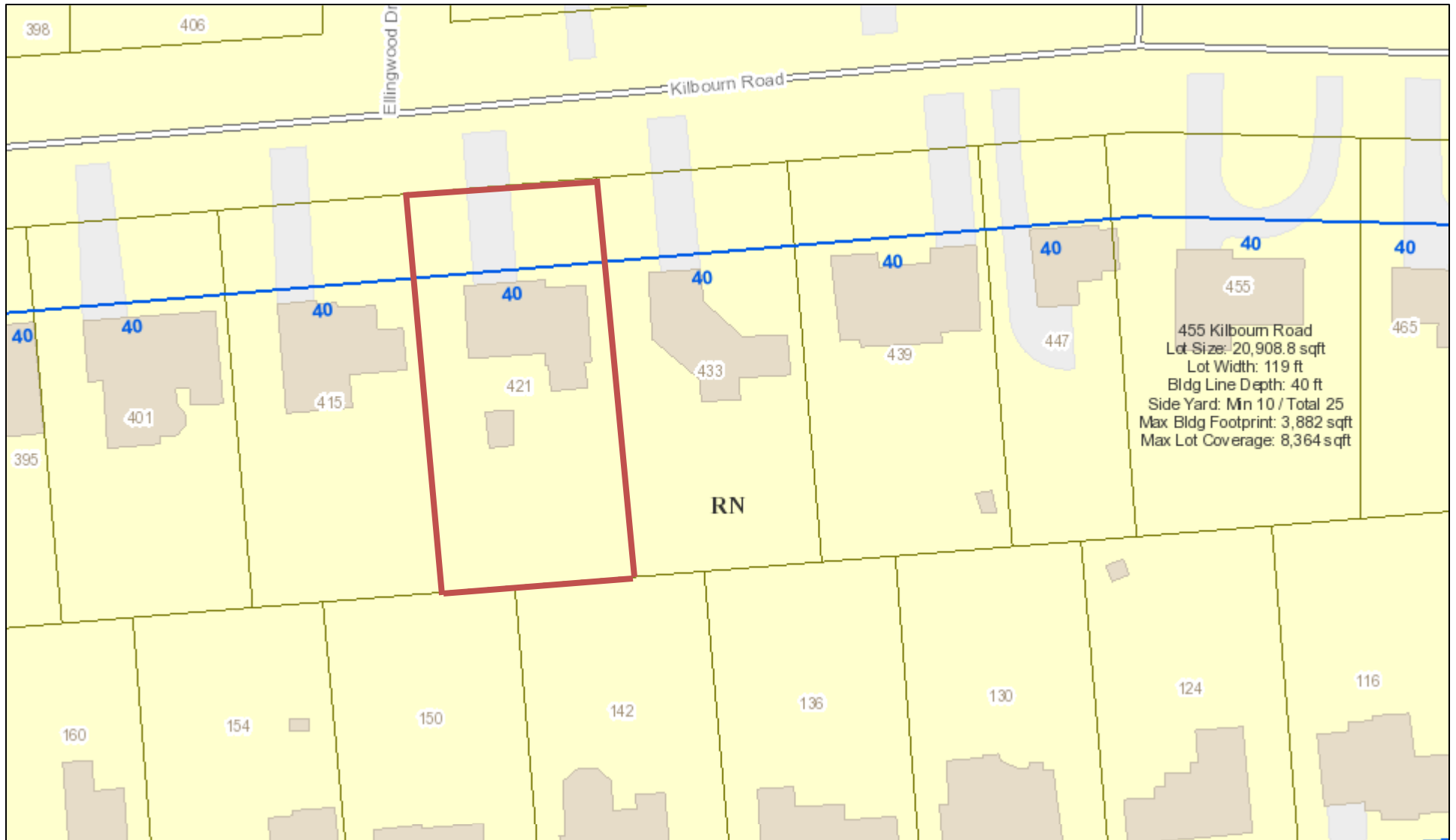
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a master bedroom addition. The addition will be approximately 387 sq. ft. and will be located to the rear of the home. Materials will match the existing home.

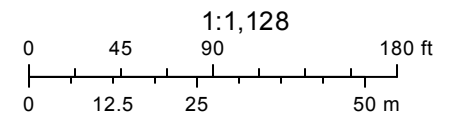
**Meeting Date:** May 23, 2019



# RN Residential Neighborhood Zoning



Printed May 16, 2019

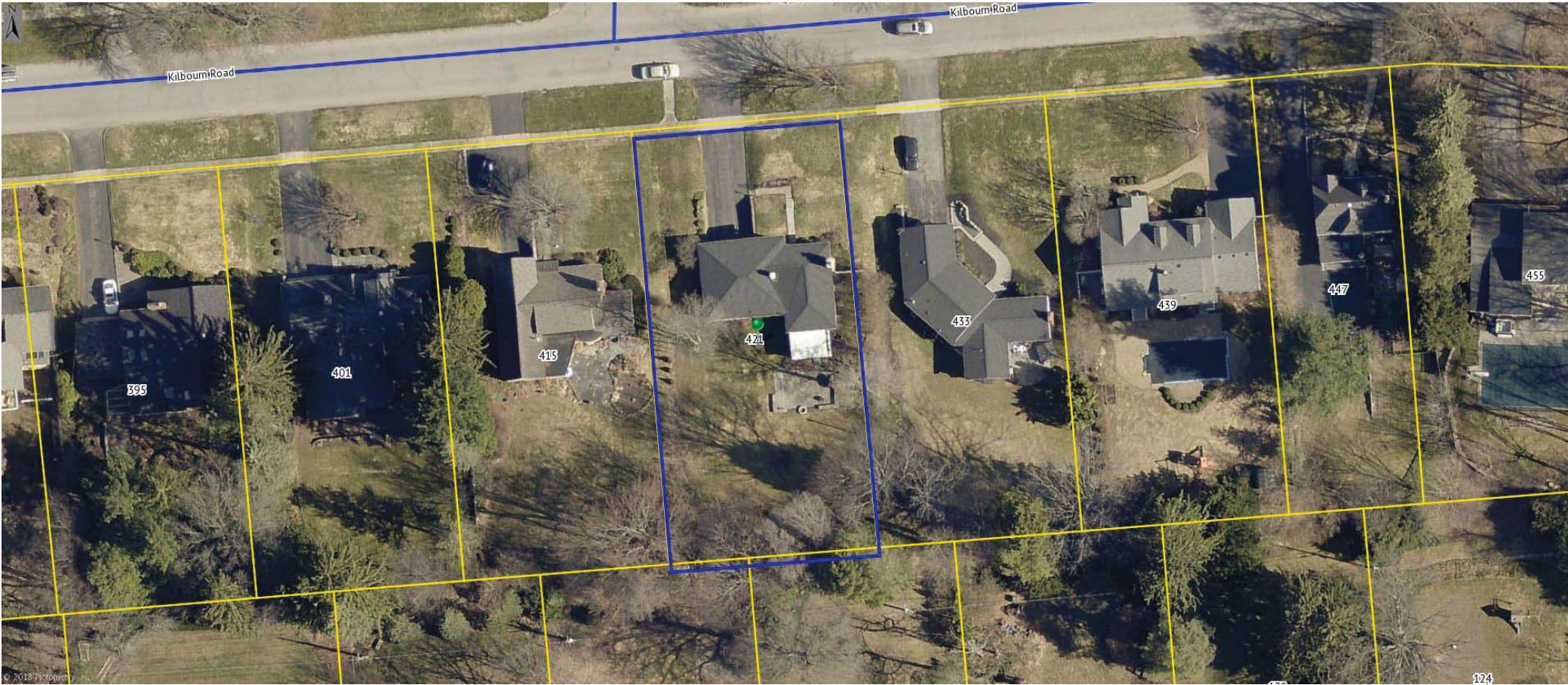


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



# 421 Kilbourn Rd.



04/21/2018 - 04/23/2018

# KILBOURN ROAD

(80.00' WIDE)

256.67' TO ANGLE POINT  
IN RIGHT OF WAY  
IN LOT NO. R-254

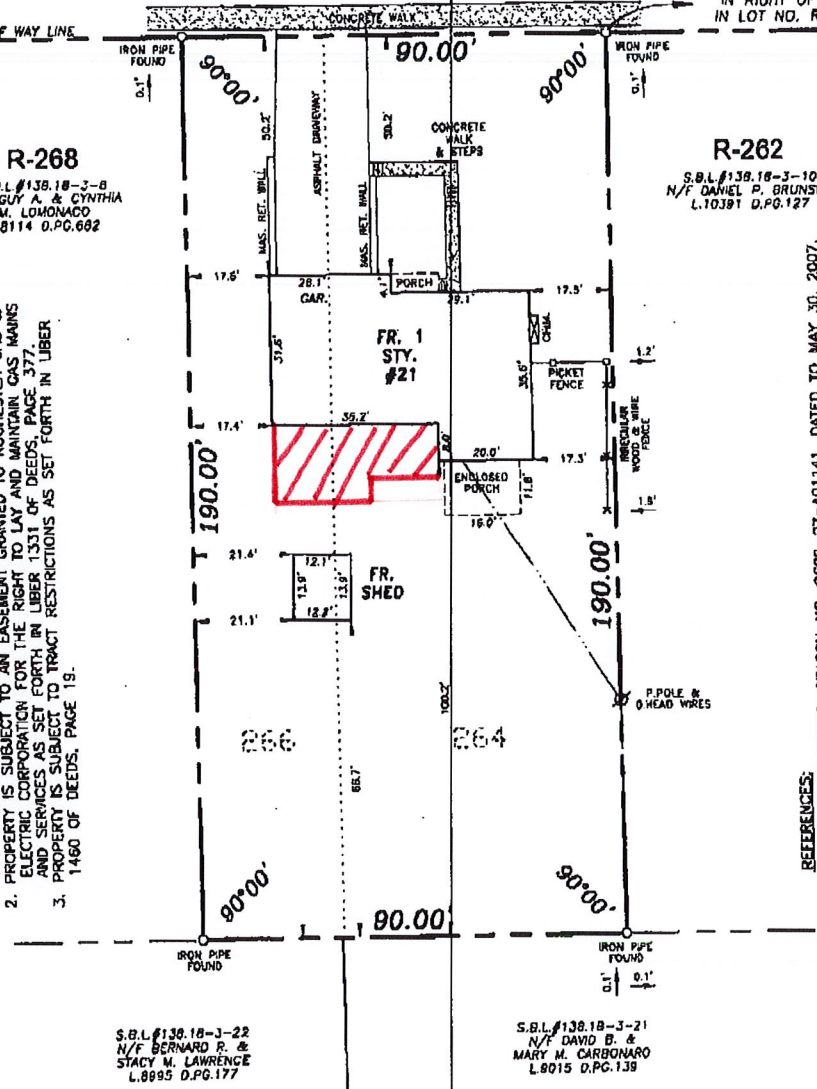
RIGHT OF WAY LINE

**R-268**  
 S.B.L.#138.18-3-8  
 N/F GUY A. & CYNTHIA  
 M. LOMONACO  
 L.8114 O.P.C.682

**R-262**  
 S.B.L.#138.18-3-10  
 N/F DANIEL P. BRUNSDON  
 L.10391 D.P.C.127

- NOTES:**
1. PROPERTY IS SUBJECT TO AN EASEMENT GRANTED TO ROCHESTER GAS & ELECTRIC CORPORATION AND ROCHESTER TELEPHONE CORPORATION FOR THE RIGHT TO LAY AND MAINTAIN UNDERGROUND CONDUITS AND THE RIGHT TO ERECT AND MAINTAIN POLES AND WIRES AS SET FORTH IN LIBER 1197 OF DEEDS, PAGE 35.
  2. PROPERTY IS SUBJECT TO AN EASEMENT GRANTED TO ROCHESTER GAS & ELECTRIC CORPORATION FOR THE RIGHT TO LAY AND MAINTAIN GAS MAINS AND SERVICES AS SET FORTH IN LIBER 1331 OF DEEDS, PAGE 377.
  3. PROPERTY IS SUBJECT TO TRACT RESTRICTIONS AS SET FORTH IN LIBER 1460 OF DEEDS, PAGE 19.

- REFERENCES:**
1. THE TALON GROUP, SEARCH NO. 9602-07-A01141, DATED TO MAY 30, 2007.
  2. LIBER 5556 OF DEEDS, PAGE 31.
  3. LIBER 54 OF MAPS, PAGE 13 (EAST AVENUE ESTATES).
  4. LIBER 75 OF MAPS, PAGE 18
  5. LIBER 59 OF MAPS, PAGE 79



S.B.L.#138.18-3-22  
 N/F BERNARD R. &  
 STACY M. LAWRENCE  
 L.8995 O.P.C.177

S.B.L.#138.18-3-21  
 N/F DAVID B. &  
 MARY M. CARBONARO  
 L.8015 O.P.C.139

We, Avery Engineering & Land Surveying Associates, P.C. certify to the parties listed below that this map was prepared using the reference materials listed hereon and the notes of an instrument survey, performed in accordance with the current standards of the Genesee Valley Land Surveyors Association, completed MAY 12, 2007.

1. MONROE TITLE INSURANCE COMPANY
2. CHRISTOPHER N. MARSH
3. ALLISON W. MARSH
4. DERRICK A. SPATORICO, ESO.

KilbourneRd#21.dwg

**Avery**  
 Engineering  
 & Land Surveying  
 Associates, P.C.  
 3225 CHILI AVENUE  
 ROCHESTER, NY 14624  
 585.880.3670  
 FAX: 585.880.3800  
 EMAIL: info@averyengineering.net  
 averyengineering.net  
 MEMBER: A.C.S.M.  
 N.Y.S.A.P.L.S.  
 G.V.L.S.A.

STATE OF NEW YORK  
 ROBERT J. AVERY  
 License No. 049745  
 Licensed Land Surveyor

*Robert J. Avery*  
 Robert J. Avery  
 N.Y.S.P.L.S. 49743

## INSTRUMENT SURVEY

LOT NO. 264 & PART OF LOT NO. 266  
 EAST AVENUE ESTATES  
 SITUATE IN THE TOWN OF PITTSFORD,  
 COUNTY OF MONROE, STATE OF NEW YORK

Date: 7/3/07	Rev. 0	Scale: 1"=30'	Dwg. No. 07-0500
Rev. 0	Rev. 0		

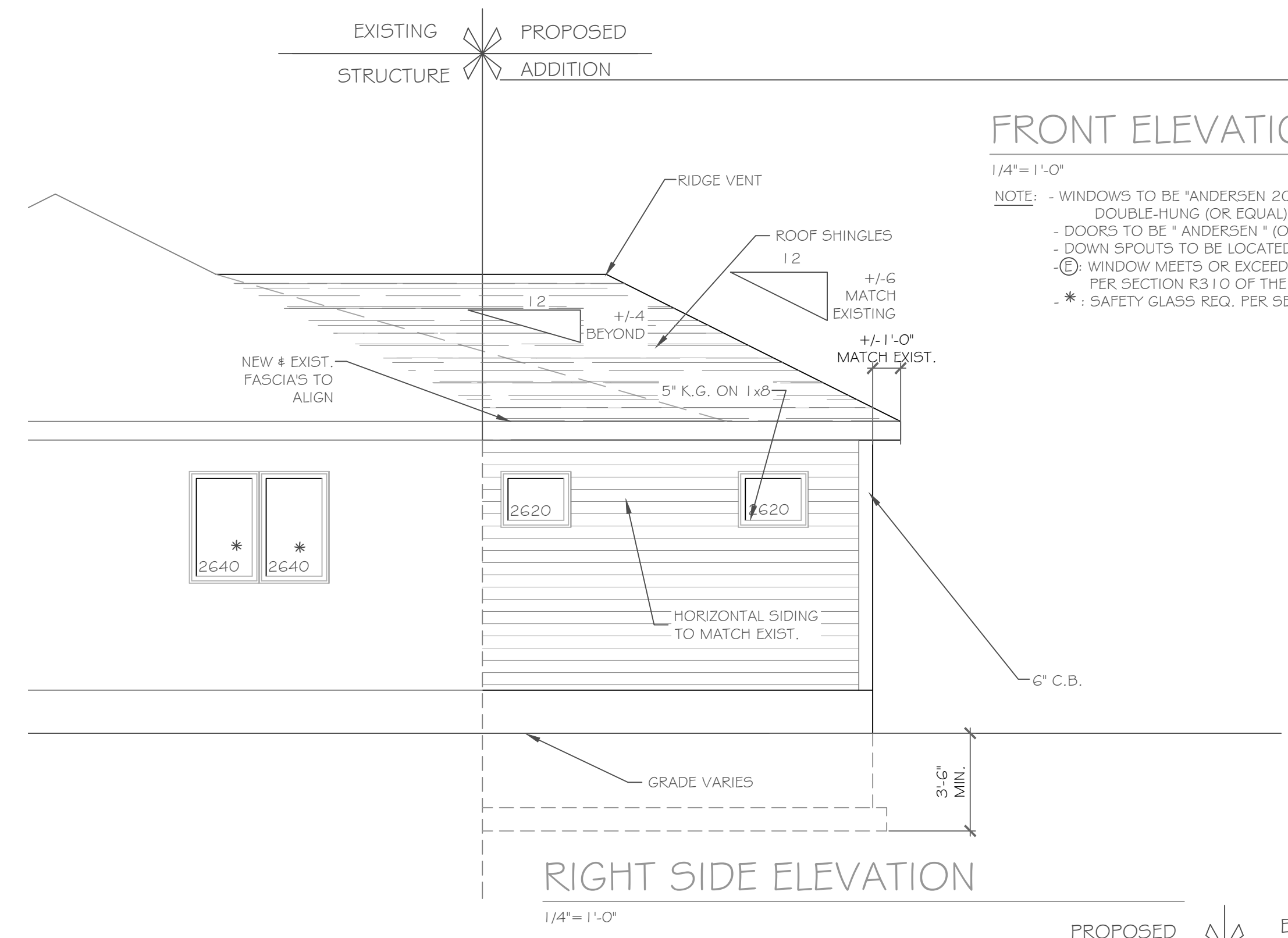
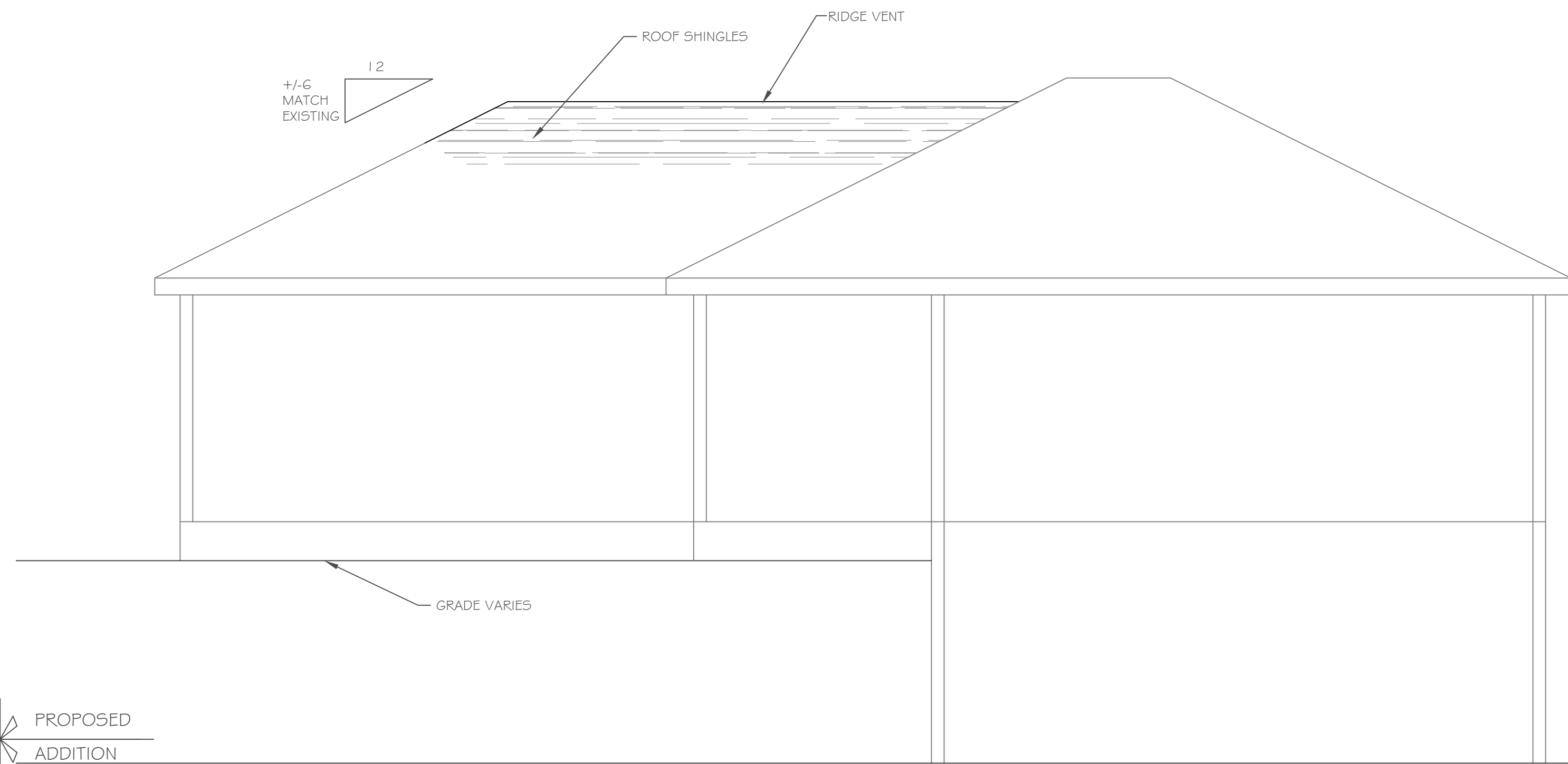
Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 2 of the New York State Education Law. Copies from the original of this survey map not marked with the Land Surveyor's inked stamp and inked signature shall not be considered a valid true copy.

**DEMOLITION NOTES:**

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M. Storage for contractor's equipment and debris must be kept inside the contract area.
- N. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

**CONSTRUCTION NOTES:**

- 1. Construction shall conform to the residential code of New York State.
- 2. Comply with all local, state and federal codes and regulations.
- 3. General Contractor is responsible for all materials, construction methods and craftsmanship.
- 4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- 5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- 6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
- 7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- 8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- 9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- 10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- 11. All dimensions are face of wall to face of wall (rough).
- 12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
- 13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.
- 14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- 15. Call UFPO before you dig. 1-800-962-7962
- 16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
- 17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- 18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- 19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
- 20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
- 21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

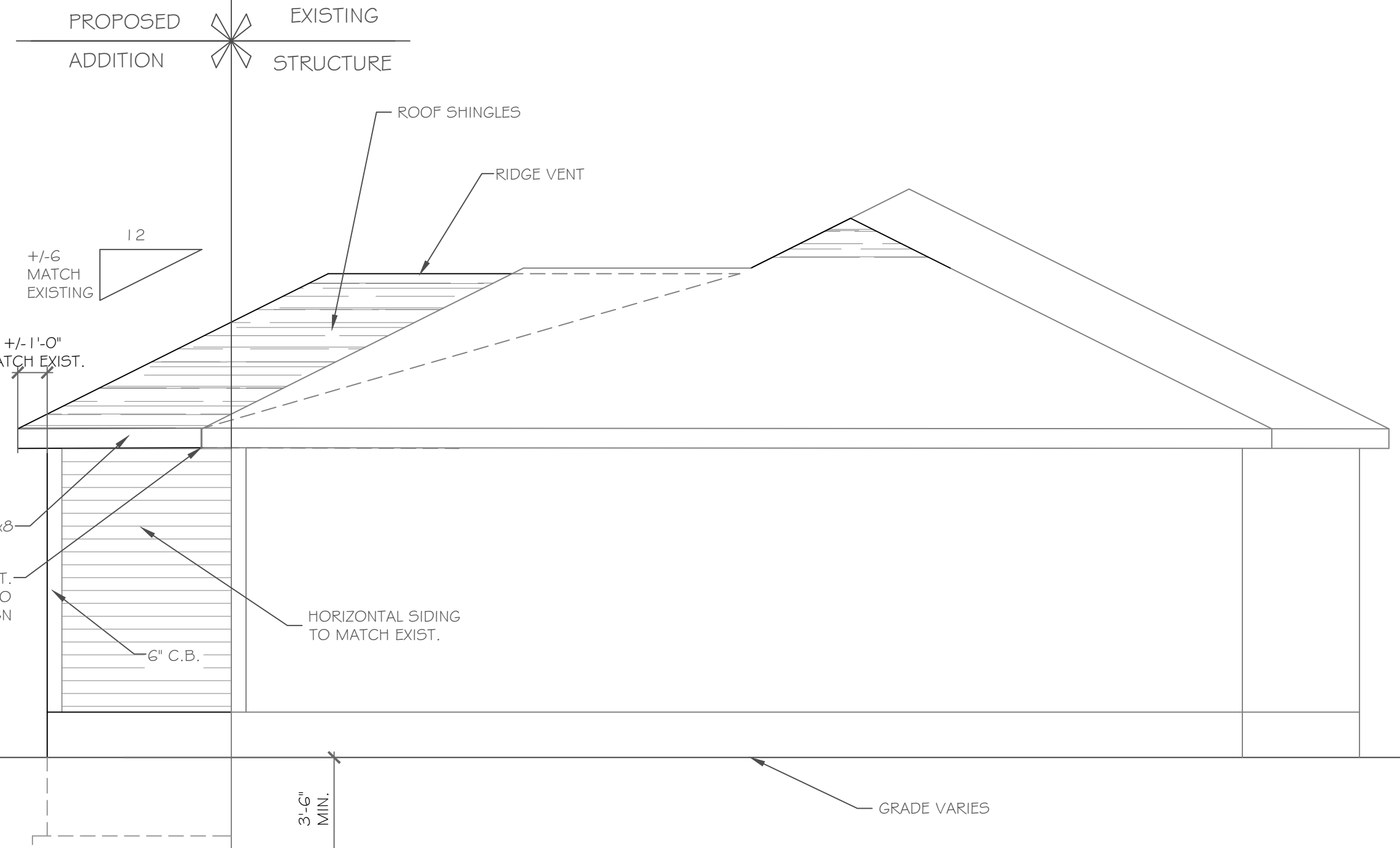


**FRONT ELEVATION 387 square feet (new addition)**

- 1/4" = 1'-0"
- NOTE: - WINDOWS TO BE "ANDERSEN 200 SERIES" (HP LOW-E) DOUBLE-HUNG (OR EQUAL)  
 - DOORS TO BE "ANDERSEN" (OR EQUAL)  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

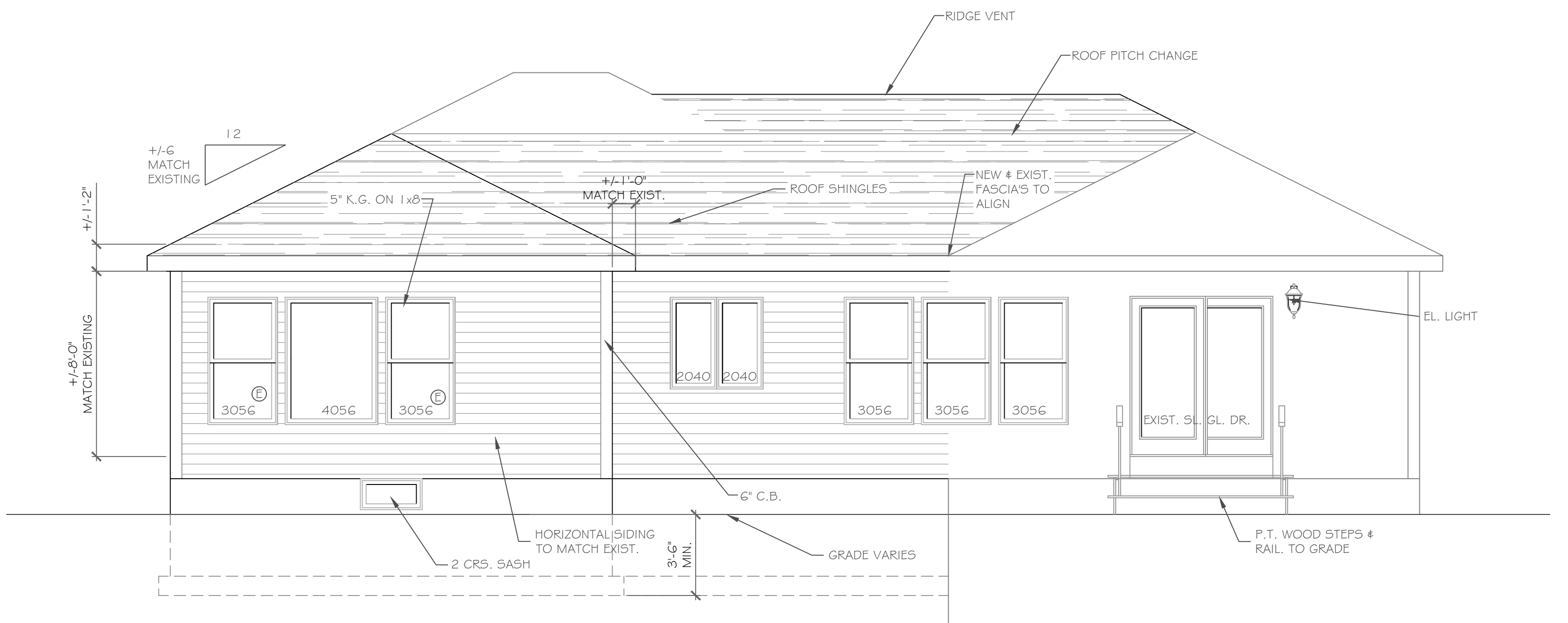
**RIGHT SIDE ELEVATION**

1/4" = 1'-0"



**LEFT SIDE ELEVATION**

1/4" = 1'-0"



**REAR ELEVATION**

1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

**PROJECT:** Additions & Renovations to:  
 421 Kilbourn Drive

**CLIENT:** Allison Marsh

**DATE:** May 2019

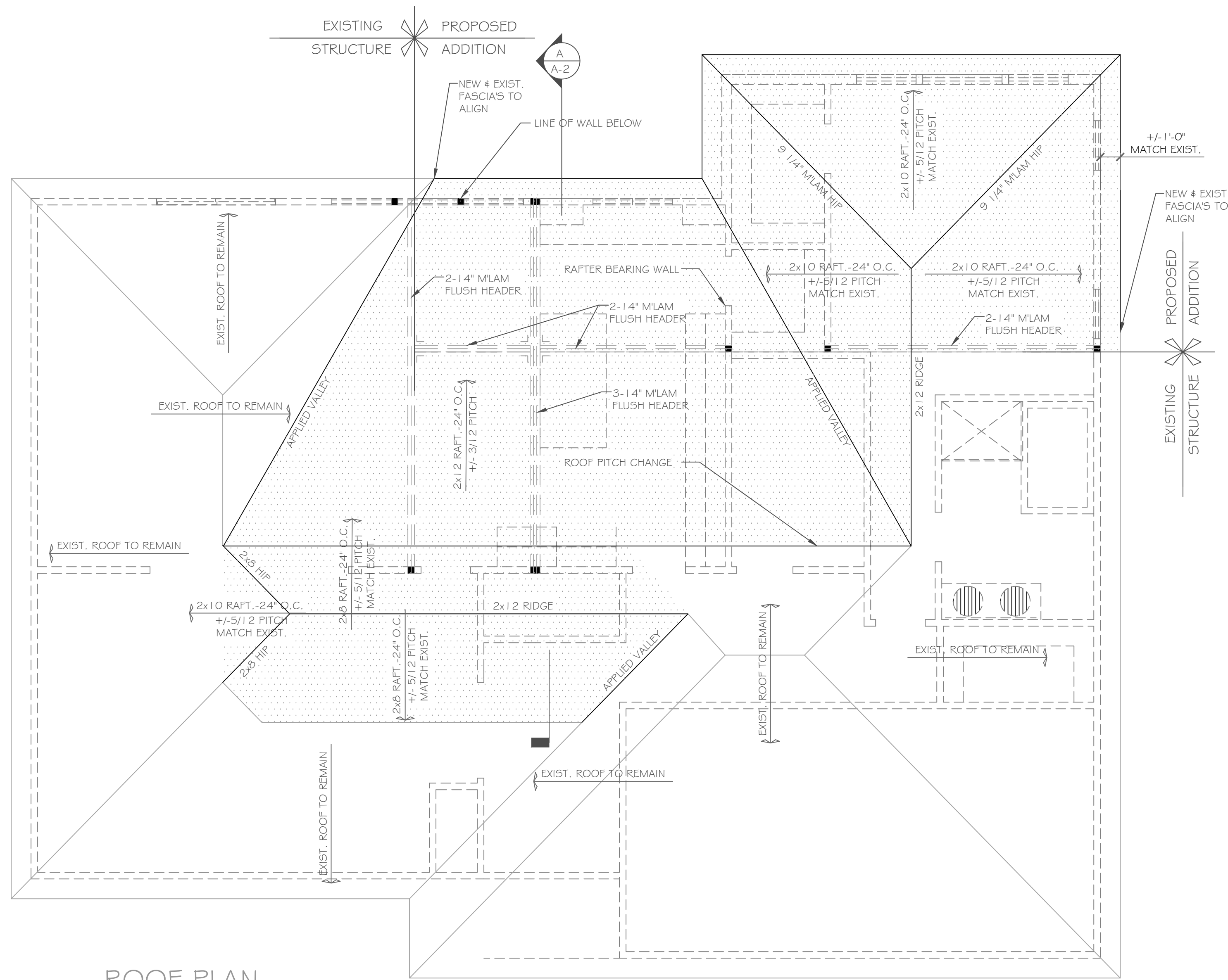
**PHASE:** Construction Documents

**DRAWING TITLE:** Elevations

**JOB NO.:** A12-057

**CKH architecture**  
 1501 Pitkinford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 fax: (585) 249-1333  
 e-mail: CKHennessey@frontiernet.net

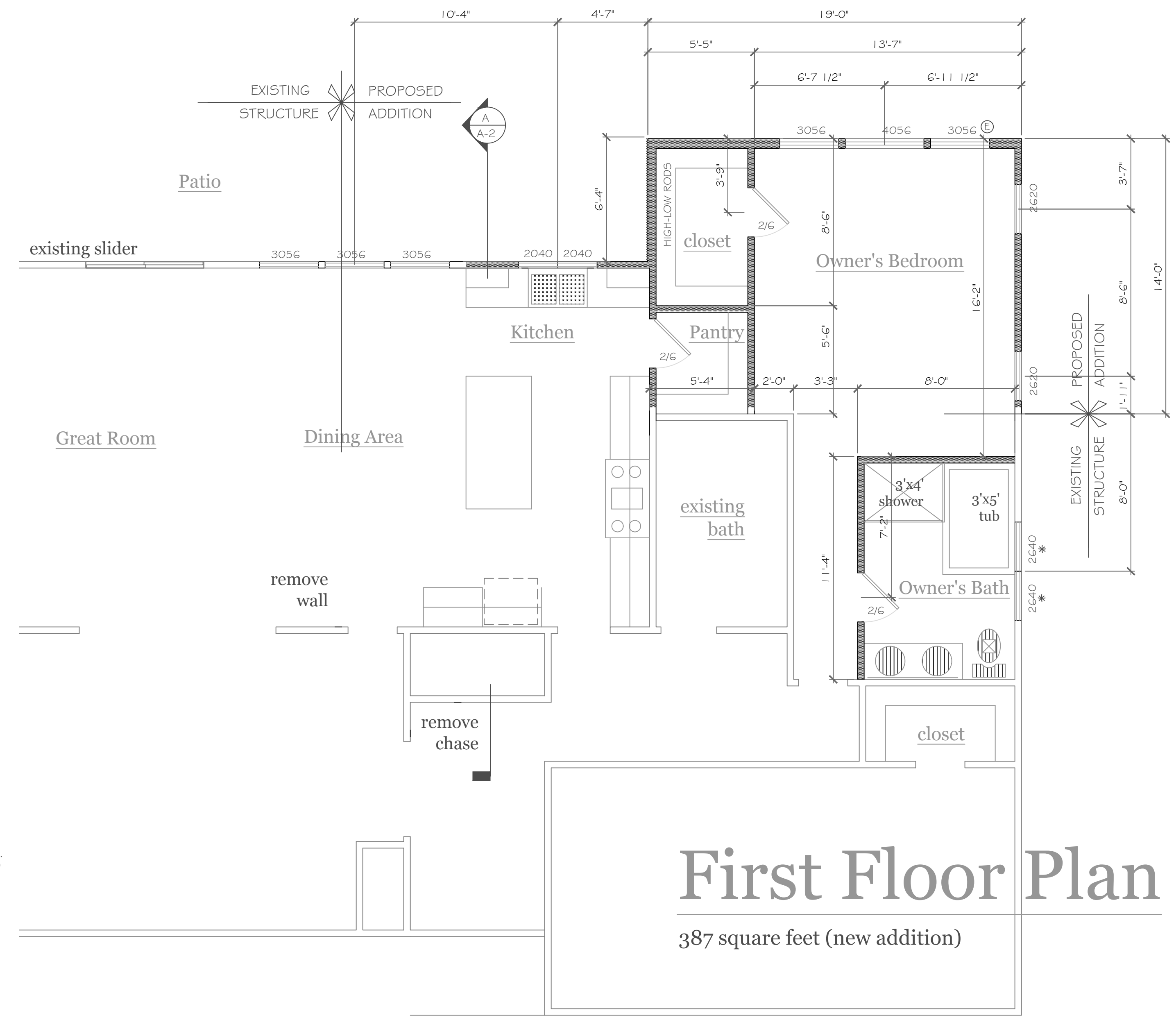
**DRAWING NO.:**  
 A-1



**ROOF PLAN**

SCALE: 1/4" = 1'-0"

- NOTE:
- ALL SOFFITS TO BE +/- 1'-0" U.O.N. - MATCH EXIST. (UNLESS OTHERWISE NOTED)
  - PROVIDE SOLID BULK. (3" STUD POST MIN. GLUE AND NAIL U.O.N.)
  - @ ALL BRG. POINTS
  - PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.



# First Floor Plan

387 square feet (new addition)

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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
 First Floor Plan, Roof Plan,  
 Foundation Plan & Section

**PHASE:**  
 Construction Documents

**PROJECT:**  
 Additions & Renovations to:  
 421 Kilbourn Drive

**CLIENT:**  
 Allison Marsh

**JOB NO.:**  
 A12-057

**DATE:**  
 May 2019

**CKH**  
 architecture

1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564

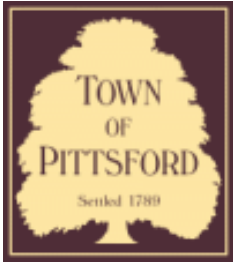
phone: (585) 249-1334  
 fax: (585) 249-1333  
 e-mail: CKHennessey@frontier.net

**DRAWING NO.:**  
 A-2









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000074**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 6 Epping Wood Trail PITTSFORD, NY 14534

**Tax ID Number:** 178.03-3-14

**Zoning District:** RN Residential Neighborhood

**Owner:** Connors, Gregory

**Applicant:** Woodstone Custom Homes Inc.

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

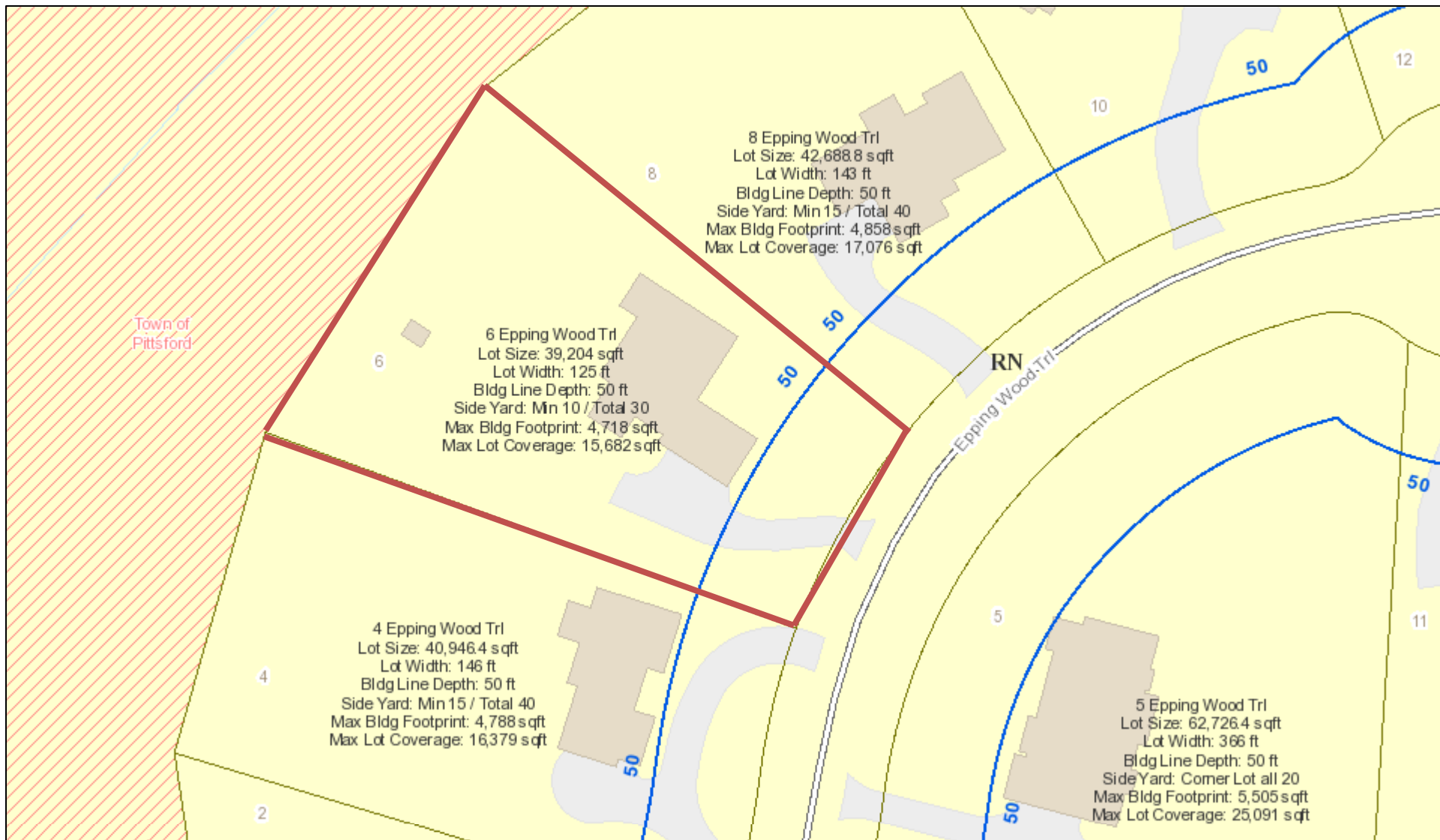
**Project Description:** Applicant is requesting design review for the addition of a porch. The porch will be approximately 335 sq. ft. and will be located to the rear of the home.

**Meeting Date:** May 23, 2019

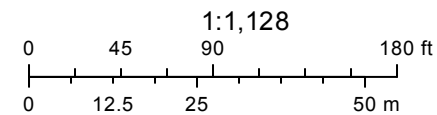




# RN Residential Neighborhood Zoning



Printed May 16, 2019



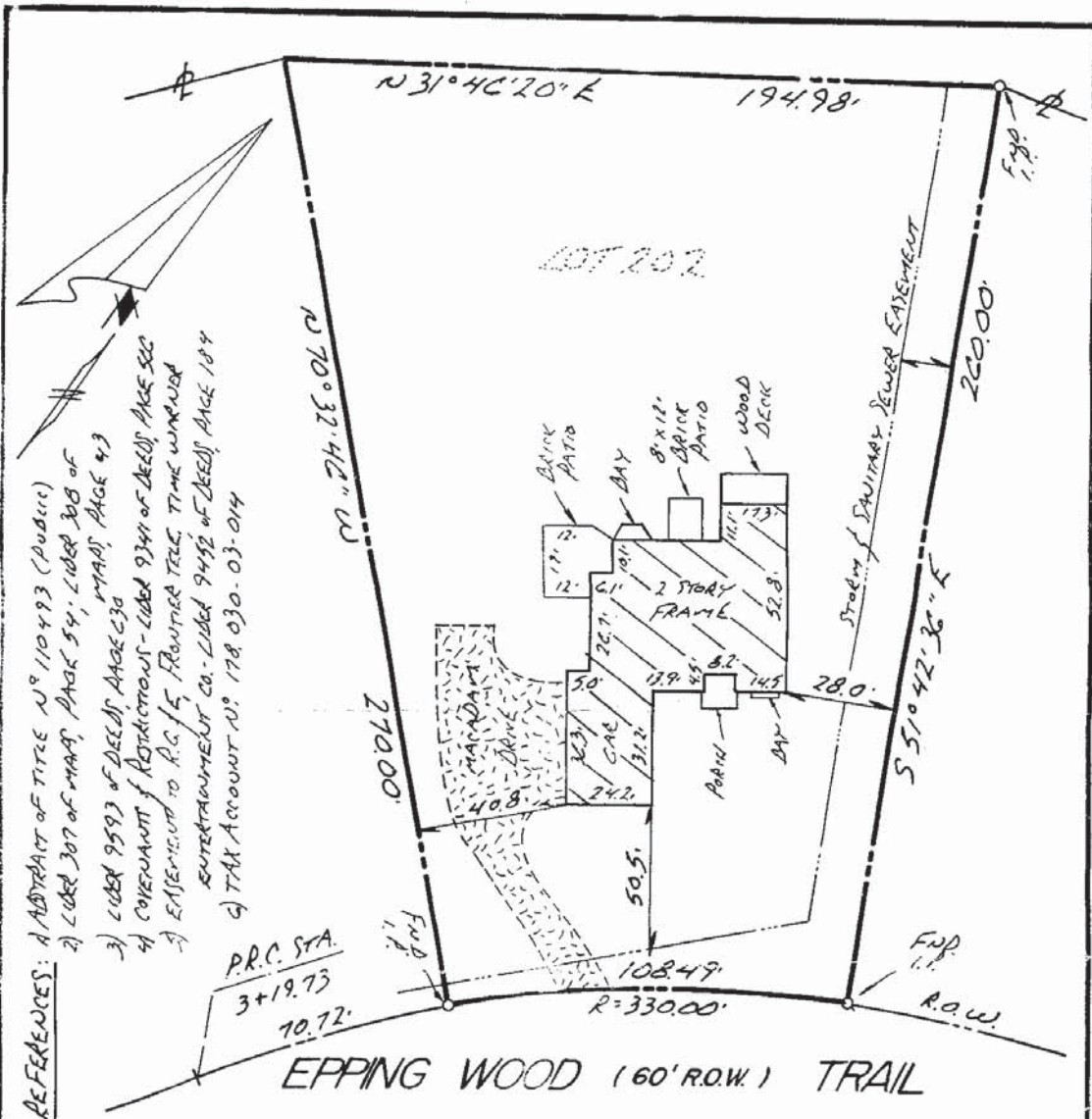
Town of Pittsford GIS

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# 6 Epping Wood Trail



04/21/2018 - 04/23/2018



**CERTIFICATION:** CHARTER ONE BANK, N.A. ITS SUCCESSORS & AFFILIATES  
 HARRIS BEACH LLP  
 I hereby certify to: MONROE TITLE INSURANCE CORPORATION  
 ROBERT ORMANOSKI & MARGARET ORMANOSKI  
 DEBRA A. DOMRES

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, subdivision 2, of the New York State Education Law."

"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies."

that this map was made *Nov. 21, 2002*  
 from notes of an Instrument Survey  
 completed *Nov. 19, 2002* and references  
 listed above:

*Ronald W. Staub*  
 RONALD W. STAUB, N.Y.S.L.S. # 44621

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

**TITLE:**  
**INSTRUMENT SURVEY MAP**  
 #02 EPPING WOOD TRAIL  
 Lot 202 - MALVERN HILLS SUBDIVISION, SECT. 2, ALIEN 'A'  
 TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

**CLIENT:**  
 RICK L. & LYDIA SMITH  
 c/o ALBERTSON STORE CASABRIDE & NEILSON LLP  
 150 WILDER BUILDING  
 ROCHESTER, NEW YORK 14614



**RONALD W. STAUB**  
**LAND SURVEYORS**  
 320 REYNOLDS ARCADE  
 ROCHESTER, N.Y. 14614  
 PH. 263-9950 FAX 263-3591

<b>SCALE:</b> 1" = 40 FEET	<b>FILE NO.:</b>	<b>JOB NO.:</b>	<b>REDATE:</b>	<b>DATE:</b> Nov. 21, 2002
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## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000076**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 12 Stonecreek Lane PITTSFORD, NY 14534

**Tax ID Number:** 163.12-2-27

**Zoning District:** PUD Planned Unit Development

**Owner:** Rieger, Neville F

**Applicant:** Tobey Remodeling

#### Application Type:

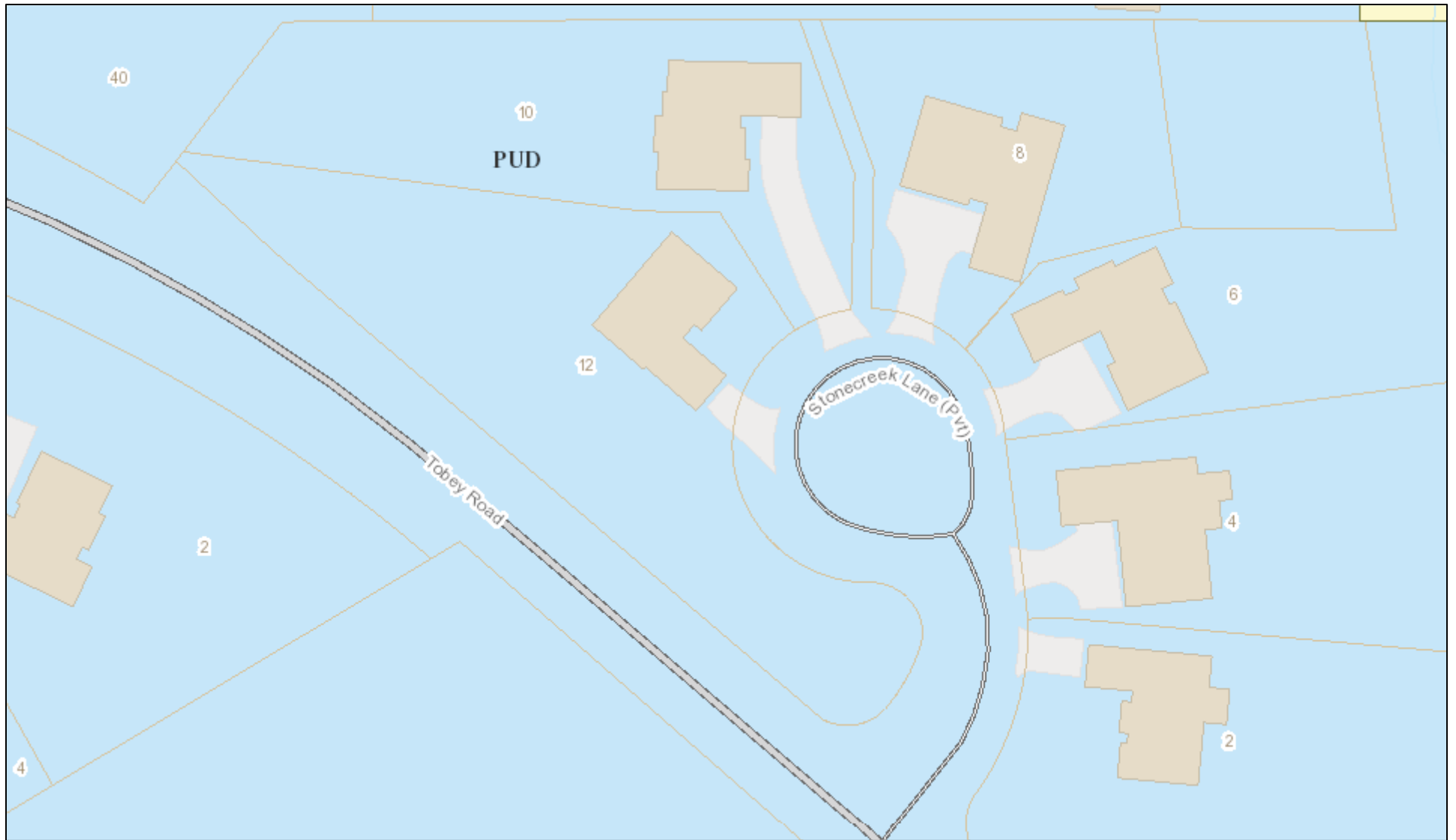
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for two small additions. The additions will be approximately 90 sq. ft. and will be located to the rear of the home.

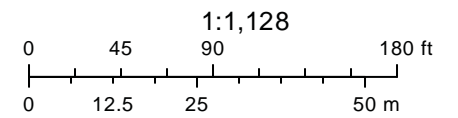
**Meeting Date:** May 23, 2019



# RN Residential Neighborhood Zoning



Printed May 16, 2019



Town of Pittsford GIS

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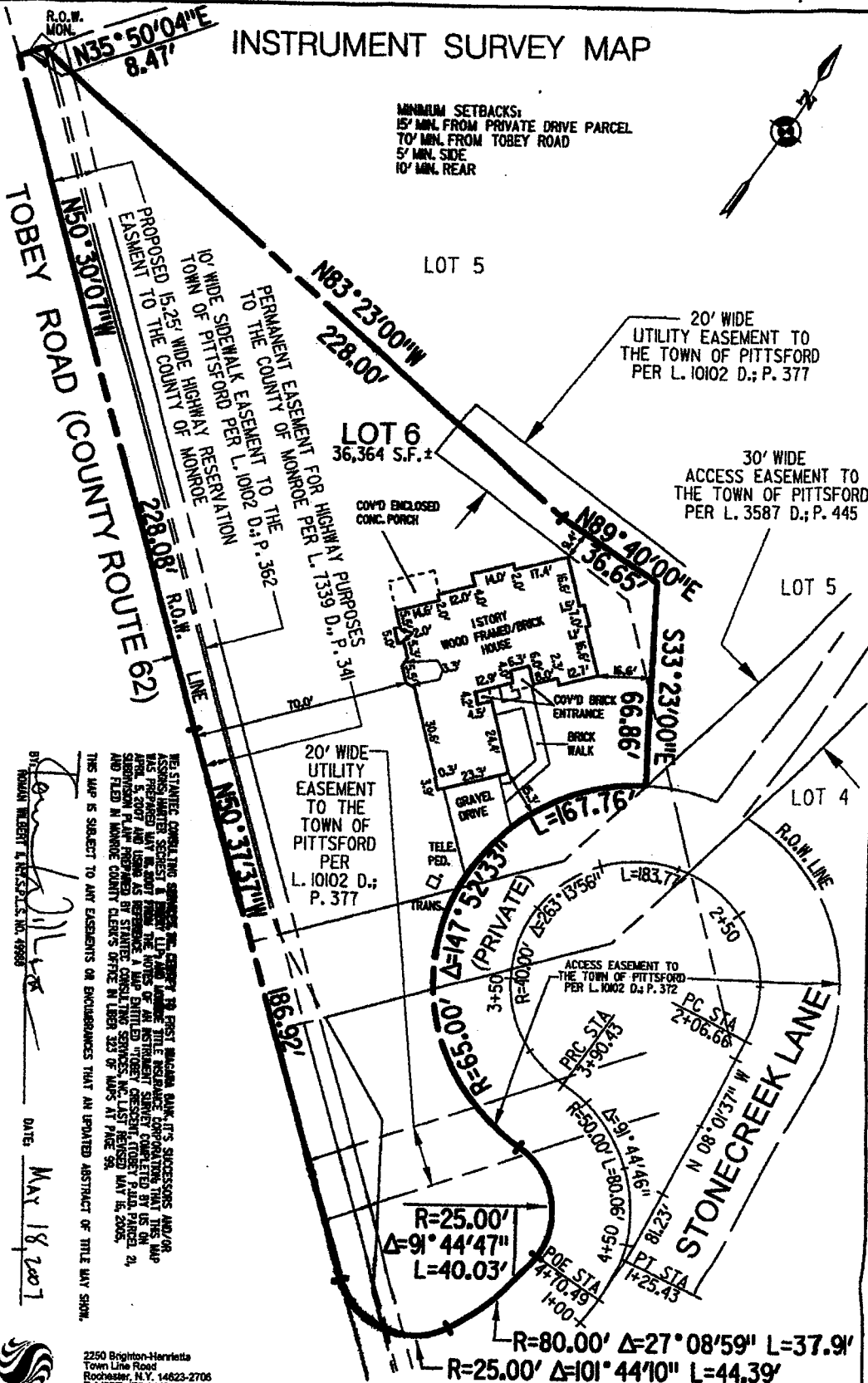
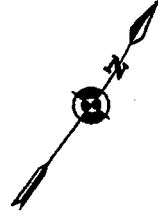
# 12 Stonecreek Ln.



04/21/2018 - 04/23/2018

# INSTRUMENT SURVEY MAP

MINIMUM SETBACKS:  
 15' MIN. FROM PRIVATE DRIVE PARCEL  
 10' MIN. FROM TOBEY ROAD  
 5' MIN. SIDE  
 10' MIN. REAR



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DATE: May 18, 2007



2250 Brighton-Herrietta  
 Town Line Road  
 Rochester, N.Y. 14623-2706  
 Tel: (585) 475-1440  
 Fax: (585) 272-1814  
 www.stantec.com

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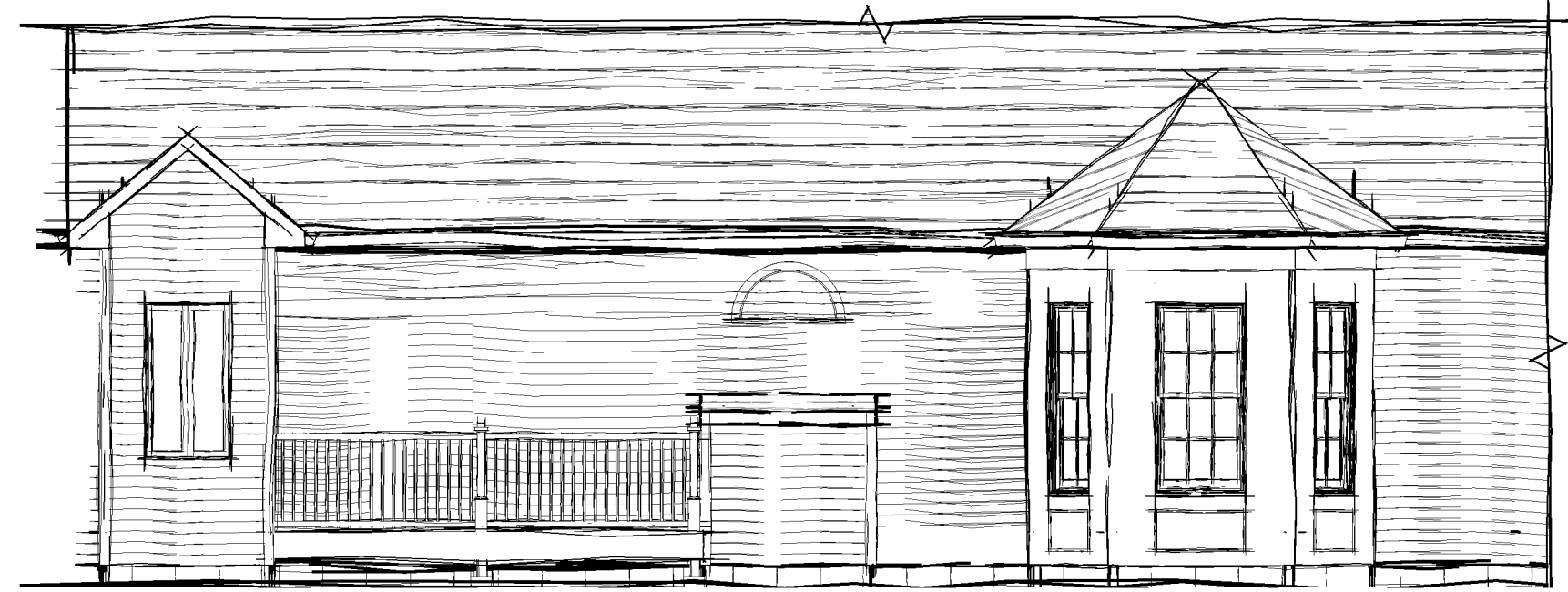
SUBDIVISION		
TOBEY CRESCENT		
TOWN/LOT	TOWNSHIP	RANGE
57	12	5
CITY/TOWN/VILLAGE	COUNTY	STATE
PITTSFORD	MONROE	N.Y.
CLIENT		
HOMES BY RYAN		
DRAWN BY	SCALE	LOT NUMBER
K. SEARS	1"=40'	6
PROJECT NUMBER		
18109/193500III		

*Handwritten signature and initials.*

ABBREVIATIONS:

AAT	ACCESSIBLE ACOUSTICAL TILE	LH	LEFT HAND
AB	ANCHOR BOLT	LLH	LONG LEG HORIZONTAL
ABV	ABOVE	LLV	LONG LEG VERTICAL
ACST	ACOUSTICAL	LOC	LOCATION
ADJ	ADJACENT	LOUV	LOUVER
A.F.F.	ABOVE FINISHED FLOOR	LT	LIGHT
ALUM	ALUMINUM	LVL	LEVEL
ANOD	ANODIZED	LW	LIGHT WEIGHT
APPROX	APPROXIMATE	MANUF	MANUFACTURER
APRVD	APPROVED	MATL	MATERIAL
ARCH	ARCHITECT	MAX	MAXIMUM
ASPH	ASPHALT	MECH	MECHANICAL
ATT	ATTACHED	MEMB	MEMBRANE
B. BD	BULLETIN BOARD	MFR	MANUFACTURER
BD	BOARD	MH	MAN HOLE
BITUM	BITUMINOUS	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLK	BLOCK	MO	MASONRY OPENING
BM	BEAM	MON	MONUMENT
B.O.F.	BOTTOM OF FOOTING	MT	MOUNTED
B.O.H.	BOTTOM OF HEADER	MTL	METAL
BRK	BRICK	MULL	MULLION
BSMT	BASEMENT	N	NORTH
BTM	BOTTOM	NA	NOT APPLICABLE
BTWN	BETWEEN	NEC	NECESSARY
CRPT	CARPET	N.H.	NON HEALING
CAB	CABINET	N.L.C.	NOT IN CONTRACT
CANTLVDR	CANTILEVERED	NO	NO
CB	CATCH BASIN	NOM	NOMINAL
C/C	CENTER TO CENTER	NTS	NOT TO SCALE
CMNT	CEMENT	OA	OVERALL
CH	CONCRETE HARDENER	OC	ON CENTER
CI	CAST IRON	ODIA	OUTSIDE DIAMETER
CJ	CONTROL JOINT	ODC	OPENING
CLST	CLOSET	OPP	OPPOSITE
CL	CENTER LINE	OV	OVER
CLG	CEILING	OO	OUTSIDE TO OUTSIDE
CAULK	CAULKING	P	PAINT
CMU	CONCRETE MASONRY UNIT	PC	PLUMBING CONTRACTOR
CO	CLEAN OUT	PL	PLATE
COL	COLUMN	PL	PLASTIC LAMINATE
COMBO	COMBINATION	PLAS	PLASTER
CONC	CONCRETE	PLCS	PLACES
COND	CONDUCTOR	PLUD	PLYWOOD
CONN	CONNECTION	P & P	PAINT & PRIME
CONST	CONSTRUCTION	PR	PAIR
CONT	CONTINUOUS	PT	PRESSURE TREATED
CRS	COURSES	PS	PIPE SIZE
CS	COUNTER SINK	PSI	POUNDS PER SQUARE INCH
CTR	CERAMIC TILE CENTER	PTN	POINT
D	DEEP	P.V.C.	PARTITION
DBL	DOUBLE	PVMT	POLY VINYL CHLORIDE PAVEMENT
DEPT	DEPARTMENT	QT	QUARRY TILE
DF	DRINKING FOUNTAIN	QTY	QUANTITY
DIA	DIAMETER	R	RADIUS
DM	DIMENSION	RB	RUBBER BASE
D.O.	DITCH	RD	ROOF DRAIN
DR	DOOR	REC	RECESSED
DS	DOWNSPOUT	REF	REFRIGERATOR
DTL	DETAIL	REIN	REINFORCING
DW	DRAWING	REQ'D	REQUIRED
DWG	DRAWING	RESIL	RESILIENT
DUR	DRAWER	RFC	ROOFING
EA	EACH	RM	ROOM
EJ	EXPANSION JOINT	RH	RIGHT HAND
ELEV	ELEVATION	R.O.	ROUGH OPENING
EMER	ELECTRIC	R.O.B.	RUN OF BANK
ELEC	ELECTRIC	R.O.W.	RIGHT OF WAY
EMER	EMERGENCY	R & R	REMOVE & REPLACE
ENCL	ENCLOSURE	RS	RISERS
ENT	ENTRANCE	S	SINK
EP	ELECTRICAL PANEL	SC	SOLID CORE
EQ	EQUAL	SCHD	SCHEDULE
EQUIP	EQUIPMENT	SD	SMOKE DETECTOR
ETC	ETCETERA	SECT	SECTION
EU	EACH WAY	SGU	STRUCTURAL GLAZED UNIT
EXT	EXTERIOR	SHT	SHEET
EXC	EXCAVATE	SHTG	SHEATHING
EXIST	EXISTING	SIDL	SIDE LIGHT
EXP	EXPANSION	SIM	SIMILAR
EXPO'D	EXPOSED	SL	SLATE
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	SP	SPECIFICATIONS
FACT	FACTORY	SPEC	SPECIFICATIONS
FD	FLOOR DRAIN	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FINISH FLOOR	STD	STANDARD
FIN	FINISH	STL	STEEL
FIXT	FIXTURE	STOR	STORAGE
FL	FLOOR	STR	STRUCTURAL
FLASH	FLASHING	SUSP	SUSPENDED
FLG	FLANGE	T	TILE
FLUOR	FLUORESCENT	TD	TRENCH DRAIN
FRP	FIRE PROOF	TEL	TELEPHONE
FRPW	FIRE RETARDANT PLYWOOD	TEMP	TEMPERED
FT	FOOT	TERRAZO	TERRAZZO
FTG	FOOTING	T & G	TOUNGE & GROOVE
FURR	FURRING	THK	THICK
GA	GAUGE	THR	THRESHOLD
GALV	GALVANIZED	TOP	TOP OF PLATE
GC	GENERAL CONTRACTOR	TOP OF SLAB	TOP OF SLAB
GEN	GENERAL	TR	TREAD
GL	GLASS	TR	TYPICAL
GR	GRADE	UH	UNIT HEATER
GYP	GYPSON BOARD	UNF	UNFINISHED
GYP BD	GYPSON BOARD	U.O.N.	UNLESS OTHERWISE NOTED
GUIB	GYPSON WALL BOARD	V	VENT
G & N	GLUE & NAIL	VAR	VARIABLES
G & S	GLUE & SCREW	VB	VINYL BASE
H	HIGH	VCT	VINYL COMPOSITION TILE
Hb	HOSE BIBB	VERT	VERTICAL
HC	HANDICAPPED	VEST	VESTIBULE
HD	HEAVY DUTY	VIF	VERIFY IN FIELD
HDR	HEADER	VRT	VINYL REINFORCED TILE
HDBD	HARDWOOD	VS	VENT STACK
HDR	HARDWARE	VP	VENT PIPE
HCT	HEIGHT	W	WIDE
HM	HOLLOW METAL	W/	WITH
HORIZ	HORIZONTAL	WAINSCOT	WAINSCOT
HR	HOLE	WALL COVERING	WALL COVERING
HVC	HEATING & VENTILATING CONTRACTOR	WOOD	WOOD
HVAC	HEATING, VENTILATING & AIR CONDITIONING	WFL	WIRE FLANGE
IDIA	INSIDE DIAMETER	W/	WITHOUT
INCL	INCLUDE	W/O	WITHOUT
INCL	INCLUDE	W/	WITH
INT	INTERIOR	W/	WITH
INSV	INVERT	WT	WEIGHT
INT	INTERIOR	WIUF	WOVEN WIRE FABRIC
JT	JOINT	YD	YARD
KIT	KITCHEN		
LAM	LAMINATE		
LAV	LAVATORY		
LB	POUND		
LG	LONG		

# NEVILLE RIEGER ADDITION



DRAWINGS:

- AO TITLE SHEET
- A1 FLOOR PLANS, ELEVATIONS & TYPICAL WALL SECTION

SYMBOLS KEY:

- NORTH ARROW
- INTERIOR ELEVATION MARKER
- DETAIL MARKER
- WALL TAG
- REVISION TAG
- WINDOW TAG
- DOOR TAG
- ELEVATION MARKER

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy=36 KSI
REINFORCED STEEL	ASTM A-615, Fy=40 KSI
WIRE MESH	ASTM A-185, 6x6-10/10 W3.0MM.
LUMBER	ALL STRUCTURAL MEMBERS, JOIST, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIRE-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E = 1.10E+6 Fc = 750
MASONRY	ASTM C90, GRADE N-1 Fm=1350 PSI
MORTAR	ASTM C270, TYPE 5
CROUT	Fc=2000 PSI ASTM C476
CONCRETE	Fc=2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc=3500 PSI MIN (GARAGE SLAB, PORCH SLAB & POURED FOUNDATION WALLS) ALL CONCRETE EXPOSED TO FROST OR WEATHER SHALL BE AIR-ENTRAINED BETWEEN 4.5% TO 6.5%
BOLTS	ASTM A307, Fy=33 KSI

DESIGN CRITERIA:

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING 42" BELOW FINISHED GRADE	2500 P.S.F. AT MINIMUM
WIND SPEED	115 MPH EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE THE EXTERIOR WALL LINE AND ON ROOF'S W/ SLOPE OF 8/12 AND STEEPER 36" MIN. ALONG THE ROOF SLOPE @ EAVE EDGE
FLOOR HAZARD	FIRM-2008
ROOF-TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE JULY 2017 UNIFORM CODE SUPPLEMENT AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND THE 2016 SUPPLEMENT TO THE NYS ENERGY CONSERVATION CODE, EFFECTIVE OCTOBER 2016.

COMPLIANCE METHOD: RES CHECK CERTIFICATE

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CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CONSERVATION CODES-STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENTS INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOW AND DOORS INSTALLED MEET NEW YORK STATE EIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR/SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR/SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/PROGRAM IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS-USE DIMENSIONS GIVEN.

THE CONTRACTOR/OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNERS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDINGS SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2015 IRC AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPARTMENT.

FOUNDATION:

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALL AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHOULD BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALL AND FOOTINGS.

CONTINUOUS FABRIC WRAPPED 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALL WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACE OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

FIREPLACES:

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH A MINIMUM OF 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVING LENGTHS WILL BE CAUSE FOR REJECTION.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THE ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE, AS PER SECTION 312.1.1 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2015 IRC.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2015 IRC.

ENERGY EFFICIENCY:

**R401.3 CERTIFICATE (MANDATORY)** A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

**R402.2.4 ATTIC ACCESS** SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED.

**R402.4 AIR LEAKAGE.** THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

**R404.4 BUILDING THERMAL ENVELOPE.** THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

**R402.4.1.1 INSTALLATION.** THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

**R402.4.1.2 TESTING.** THE ADDITION SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH WLQ (50 PASCALS), WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE PROVIDED TO THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

**DURING TESTING:**

- EXTERIOR WINDOW AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE OPEN FULLY.

**R402.4.5 RECESSED LIGHTING.** RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

**R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).** THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND .40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION & .75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATES ZONES 1-3 SHALL BE .50.

**R403.1.1 PROGRAMMABLE THERMOSTAT.** THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

**R403.1.2 HEAT PUMP SUPPLEMENTARY HEAD (MANDATORY).** HEAT PUMPS HAVING SUPPLEMENTARY - ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFOST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

**R403.3.1 INSULATION (PRESCRIPTIVE).** SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6 WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

**R403.3.2 SEALING (MANDATORY).** DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE

**R403.3.3 DUCT TESTING (MANDATORY).** DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BUY ONE OF THE FOLLOWING METHODS.

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.p. (25 Pa.) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.p. (25 Pa.) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

**R403.3.5 BUILDING CAVITIES (MANDATORY).** BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

**R403.4** A MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

**R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).** HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTIONS R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

**R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE).** INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.

**R403.6 MECHANICAL VENTILATION (MANDATORY).** THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

**R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.** MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.1

**R403.7 EQUIPMENT SIZING AND EFFICIENCY RATING (MANDATORY).** HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL AND BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL. J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

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**CONSULTANT:**

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**REVISIONS:**

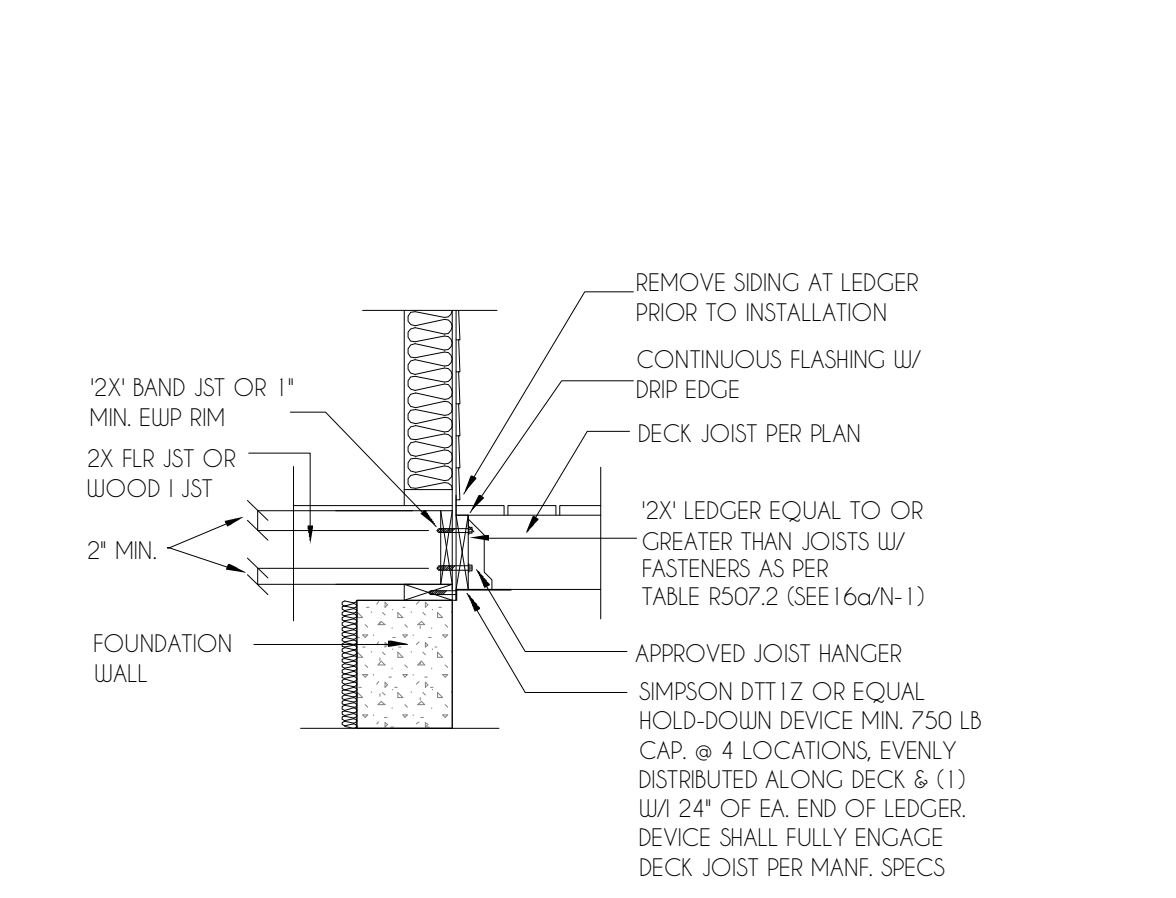
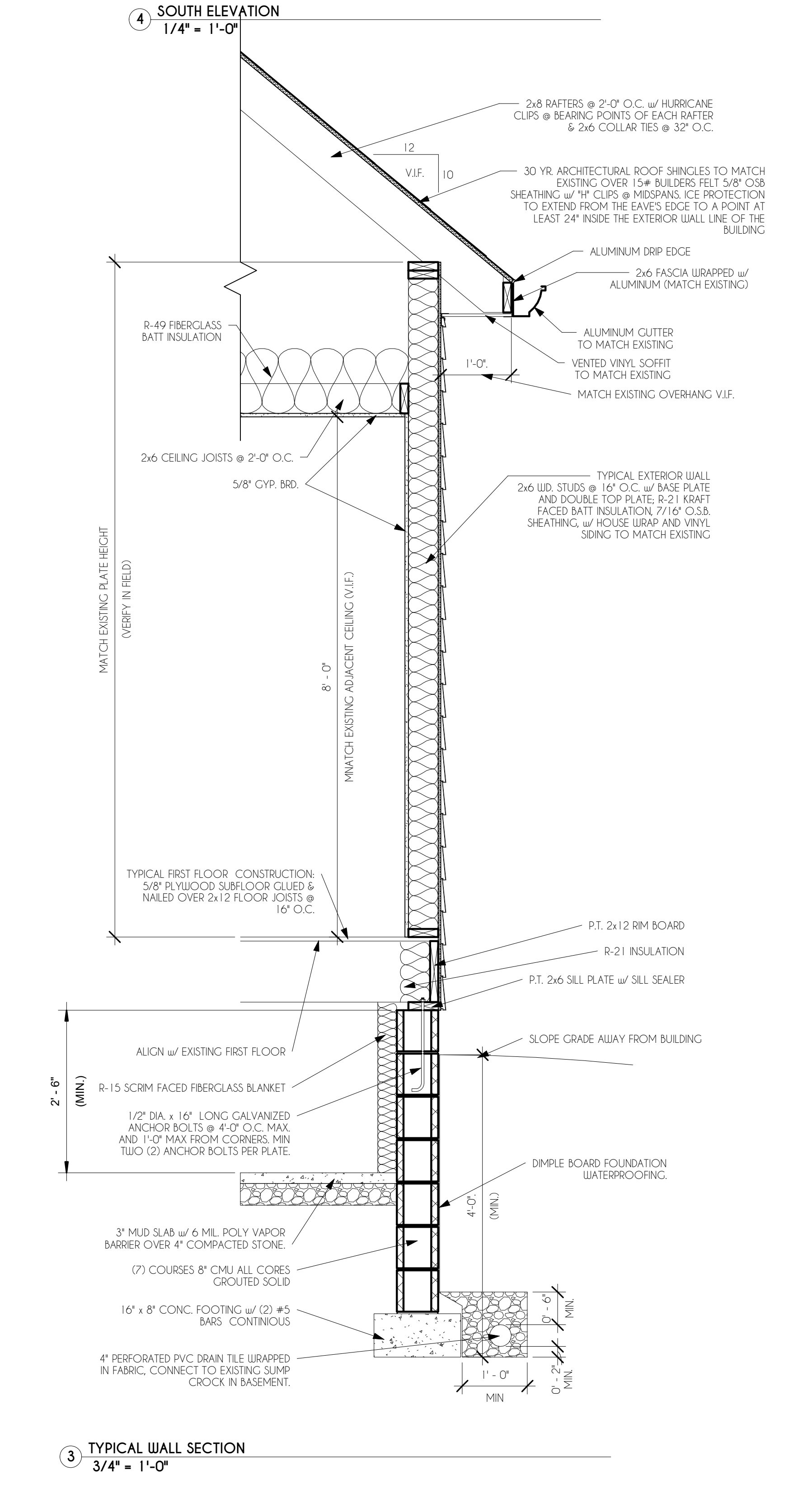
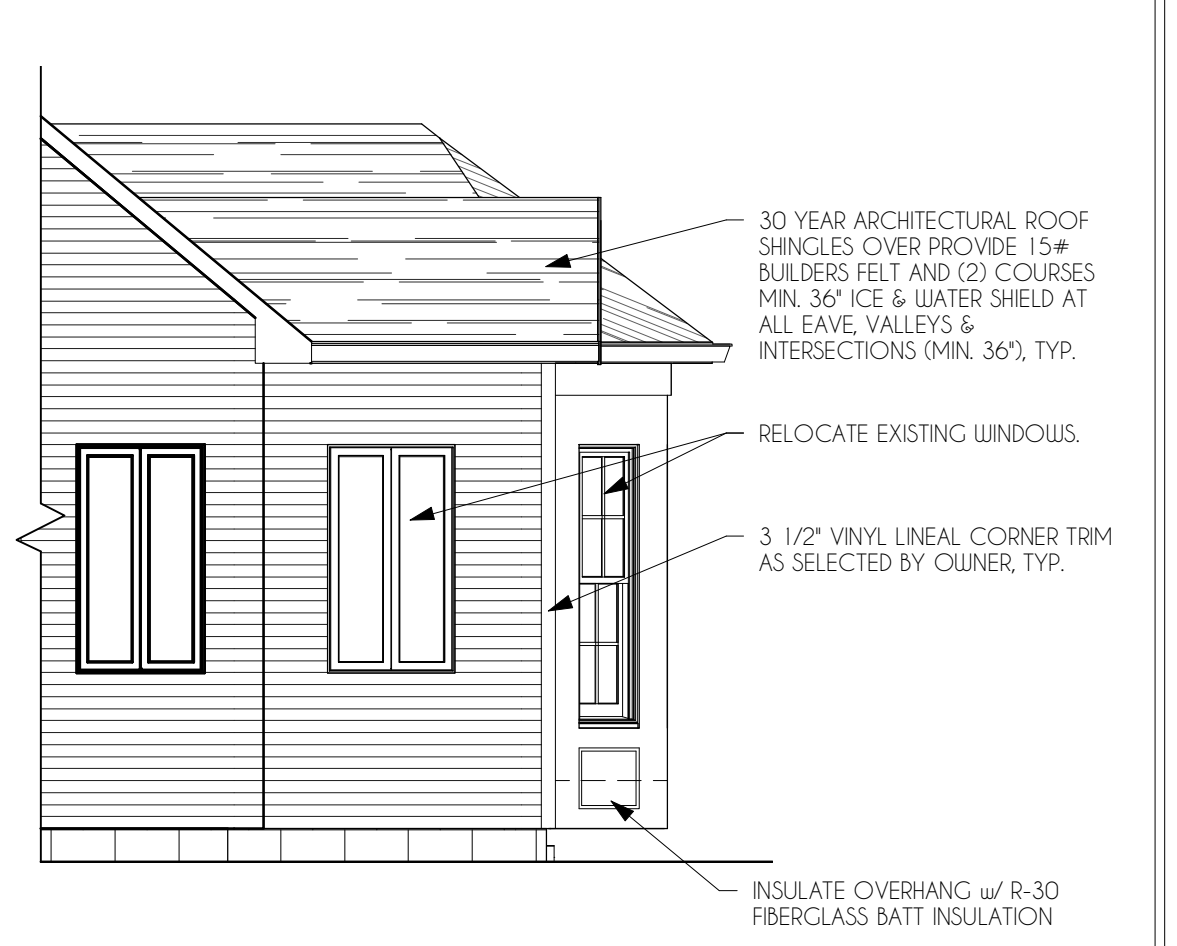
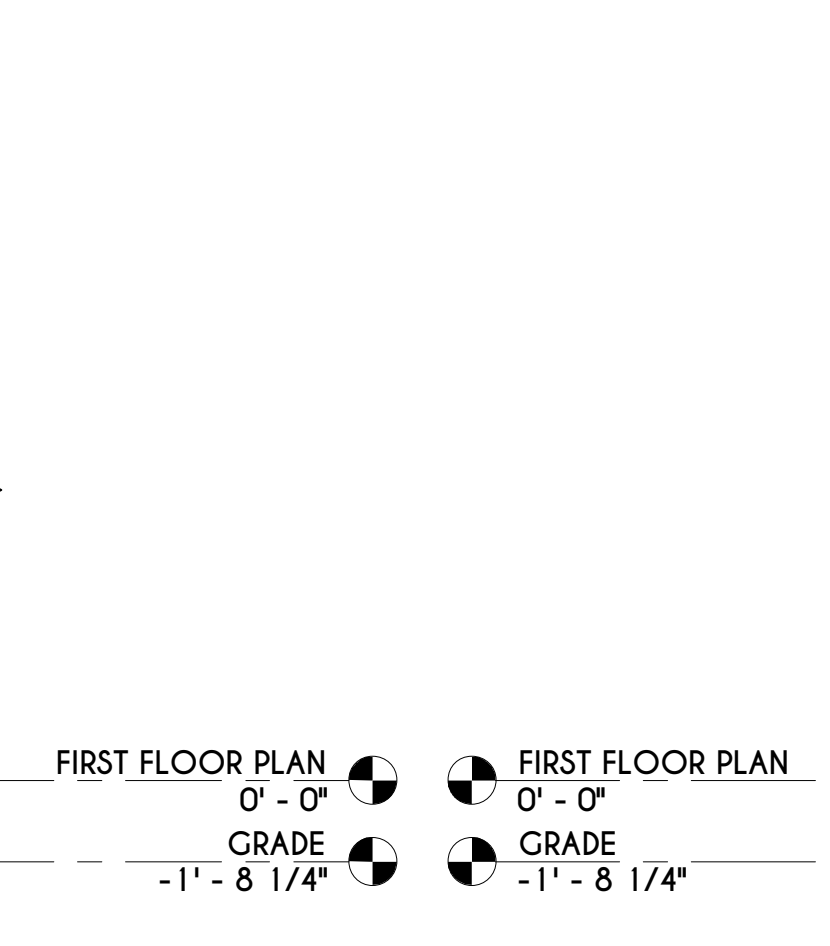
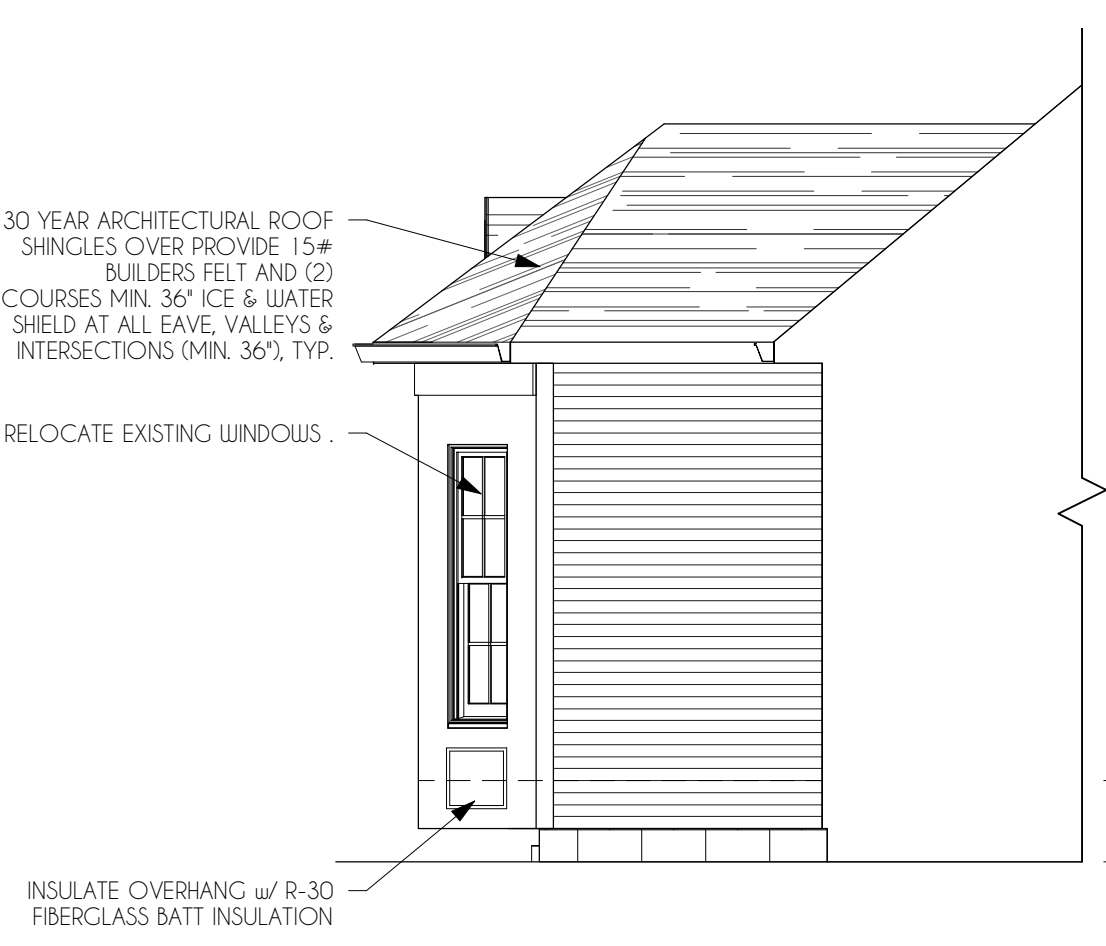
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

NEVILLE RIEGER ADDITION  
 12 STONECREEK LN,  
 PITTSFORD, N.Y. 14534

**FLOOR PLANS, ELEVATIONS & TYPICAL WALL SECTION**

<b>DRAWN:</b> KJT	<b>DATE:</b> 4/22/19
<b>PROJECT:</b> 19146	<b>SHEET:</b> A1



**TABLE R507.2 DECK LEDGER CONNECTION TO BAND JOIST**

CONNECTION DETAILS	JOIST SPAN					
	6' & LESS	6'-1" - 8'-1" 10'	8'-1" 10'-1" 12'	12'-1" 14'	14'-1" 16'	16'-1" 18'
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18

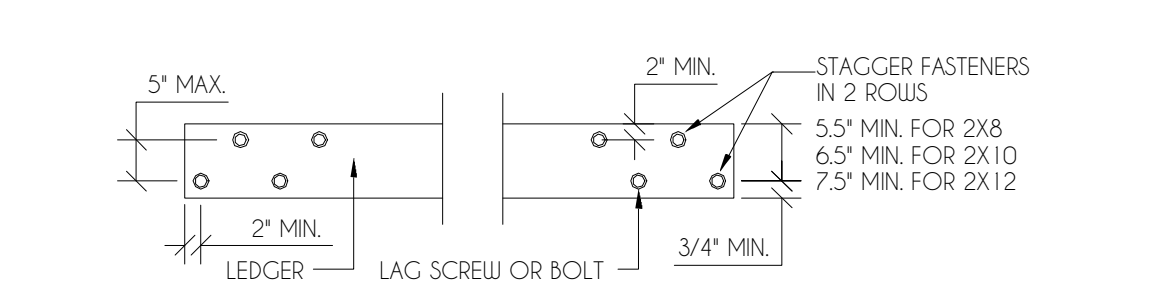
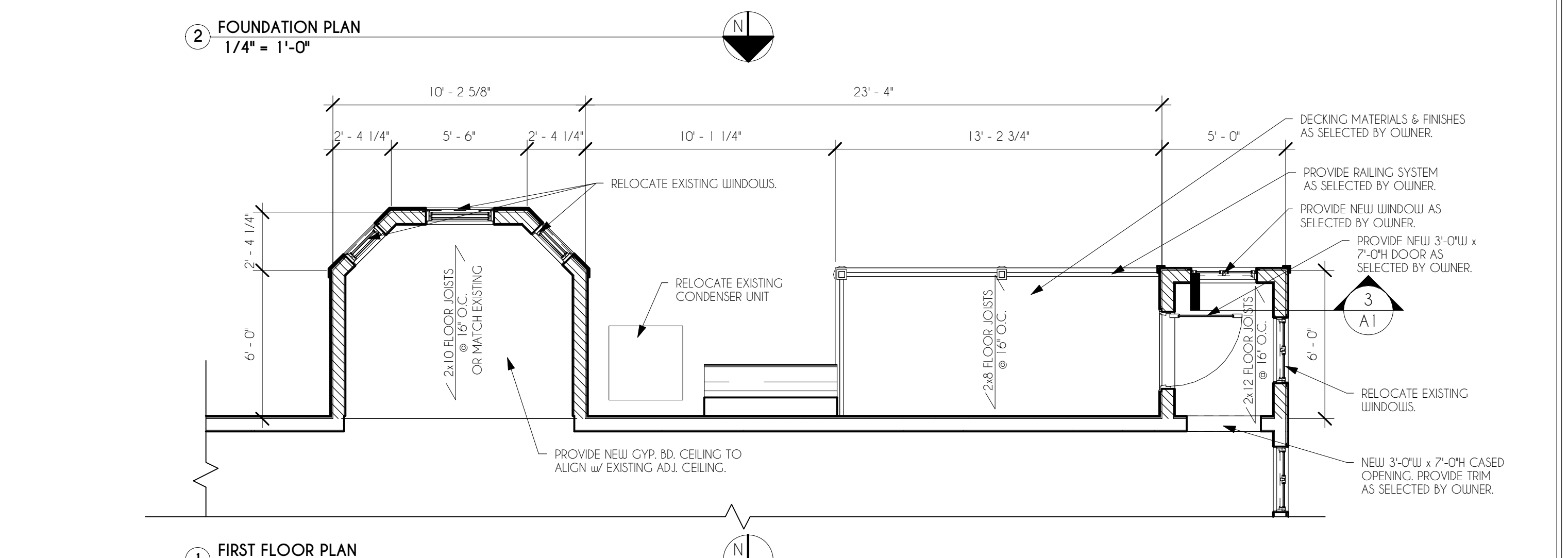
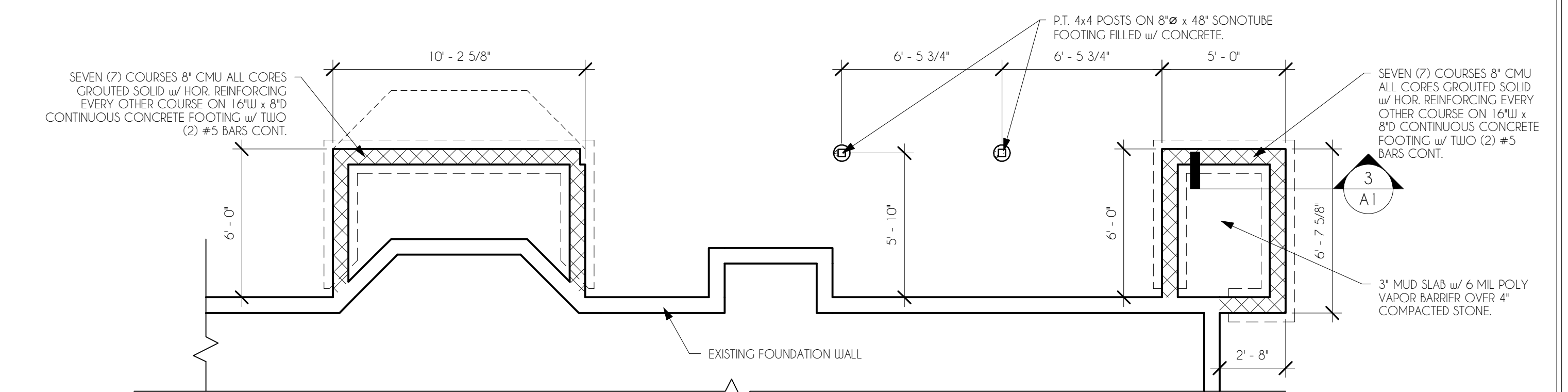
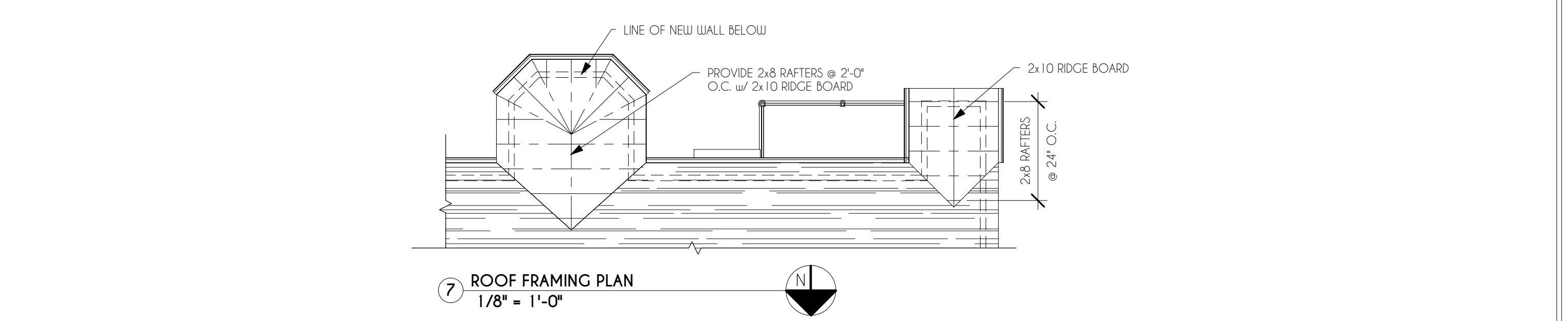
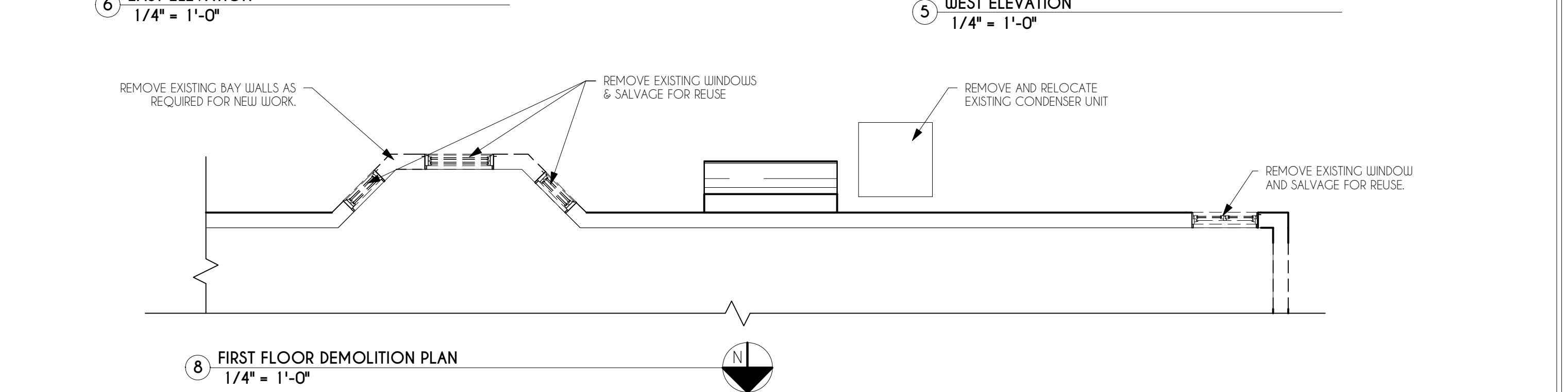


FIGURE R507.2.(1) IRC

**GENERAL NOTES:**  
 1) VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION ORDERING.  
 2) CONTRACTOR TO SUPPLY SOLID BLOCKING IN WALLS FOR ATTACHMENT OF ALL TOILET ROOM ACCESSORIES, DOOR STOPS, SHELVING & OTHER SURFACE MOUNTED DEVICES.  
 3) WALL FRAMING:  
 INTERIOR WALLS: 2x4 STUDS @ 16" O.C.  
 EXTERIOR WALLS: 2x6 STUDS @ 16" O.C.  
 4) SEAL ALL NEW EXTERIOR WALL PENETRATIONS.  
 5) ALL DIMENSIONS TO FACE OF STUDS UNLESS NOTED OTHERWISE.  
 6) AFTER DEMOLITION, AFTER ALL DRYWALL IS SANDED, AND UPON JOB COMPLETION CLEAN ALL DUCTWORK AND REPLACE FILTERS.  
 7) ALL NEW FRAMING THAT IS BEARING IS TO BE CONTINUOUS DOWN TO FOUNDATION.  
 8) THIS ADDITION WILL MEET THE PRESCRIPTIVE METHOD OF THE 2015 N.Y.S. ENERGY CONSERVATION CODE.

**DEMOLITION GENERAL NOTES:**  
 1) VERIFY BEARING CONDITIONS PRIOR TO REMOVAL OF ANY WALL SCHEDULED FOR DEMOLITION.  
 2) TEMPORARILY BRACE BEARING WALLS SCHEDULED FOR DEMOLITION.  
 3) IF ANY BEARING WALLS ARE SCHEDULED FOR DEMOLITION, REVIEW NEW FRAMING REQUIREMENTS WITH ARCHITECT PRIOR TO REMOVAL.  
 4) IF EXCESSIVE DEMOLITION OCCURS REPAIR TO "LIKE NEW" CONDITION AT NO COST TO THE OWNER.  
 5) IF EQUIPMENT WIRING OR DUCT WORK PASSES THROUGH WALLS SCHEDULED FOR DEMOLITION, REMOVE AND RELOCATE IN WALLS TO REMAIN OR NEW WALLS.  
 6) IF LUGS/ ANCHORS OR FASTENERS REMAIN AFTER WALL REMOVAL CUT THEM OFF FLUSH WITH ADJACENT SURFACES.  
 7) IF EQUIPMENT/ FIXTURES OR DUCTWORK IS SCHEDULED TO BE REMOVED AND NOT REPLACED, REMOVE IT AND ITS RELATED COMPONENTS IN THEIR ENTIRETY AND CAP OFF PER CODE REQUIREMENTS.

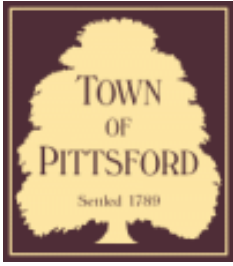












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000008**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3240& 3246 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-10.1

**Zoning District:** C Commercial

**Owner:** Buffalo-Pitt Sq Assoc LLC

**Applicant:** Premier Signs Systems, LLC

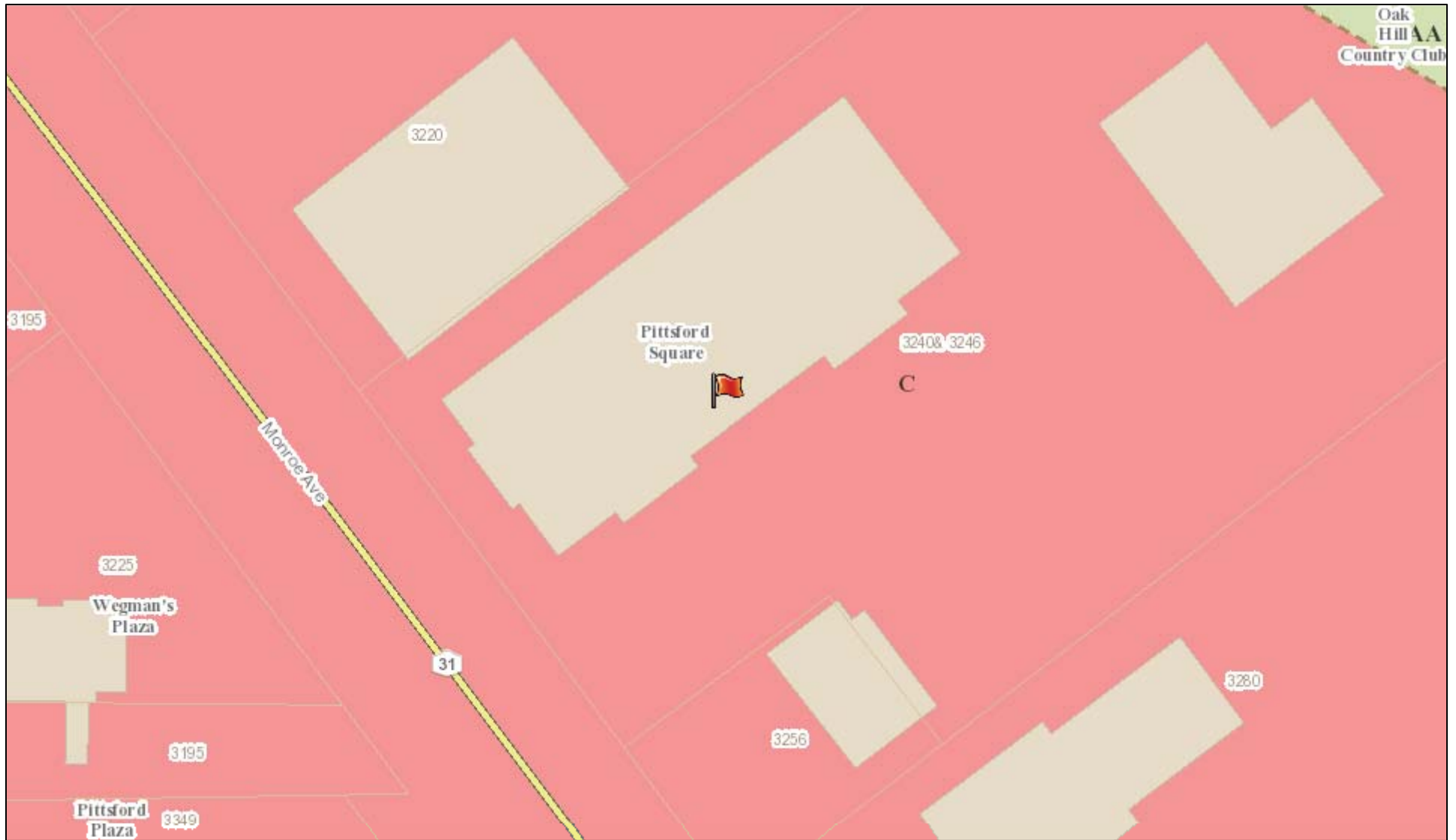
#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

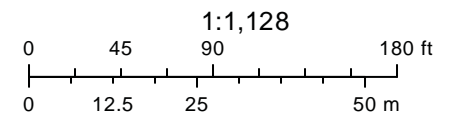
**Project Description:** Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 24 sq. ft. and will identify the "Philly Pretzel Factory". The face color will be white acrylic with black trim cap and return.

**Meeting Date:** May 23, 2019

# RN Residential Neighborhood Zoning



Printed May 16, 2019

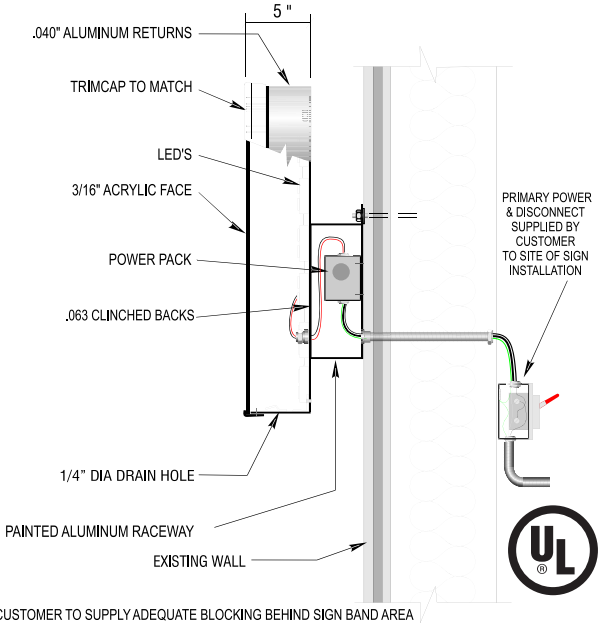
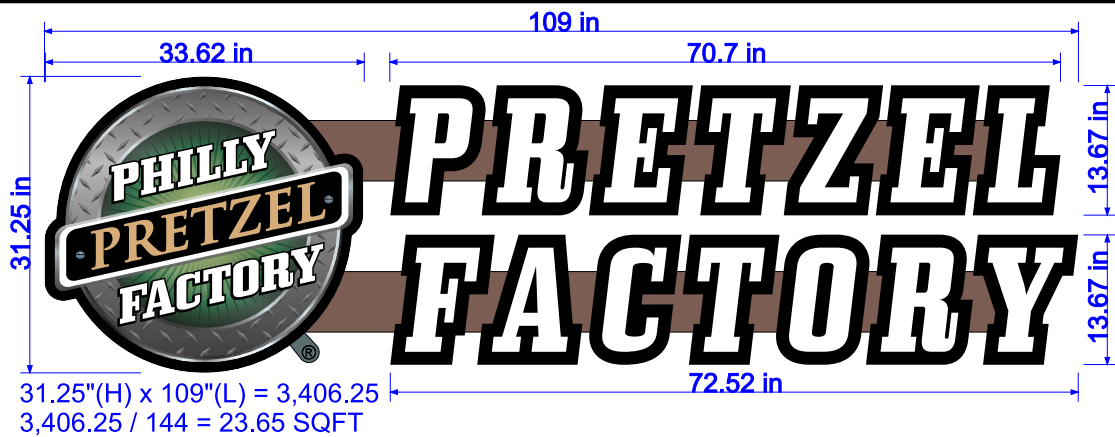


Town of Pittsford GIS

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# 3240 Monroe Ave.





CUSTOMER APPROVAL: \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

LANDLORD APPROVAL: \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_



<b>CUSTOMER NAME</b>	PHILLY PRETZEL FACTORY	<b>FACE COLOR</b>	3/16"(THK) WHITE ACRYLIC
<b>SITE ADDRESS</b>	3240 MONROE AVENUE ROCHESTER, NY 14618	<b>TRIM CAP</b>	1" Trim Cap - BLACK
<b>ORDER NUMBER</b>	036649	<b>RETURN COLOR</b>	BLACK
<b>PAGE</b>		<b>LED COLOR</b>	WHITE
		<b>RACEWAY COLOR</b>	MATCH WALL COLOR

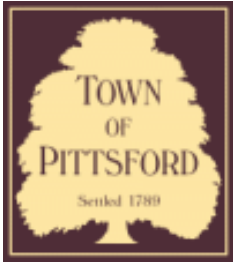
<b>Sign Description:</b>	Raceway Mounted Channel Letters
<b>VINYL COLORS</b>	3M BLACK
	FULL COLOR DIGITAL PRINT

<b>DATE</b>	4/22/19	<b>SALESMAN</b>	ERIK	<b>DESIGNER</b>	CRAIG
<b>KC SIGN - CORPORATE OFFICES</b>					
142 Conchester Hwy Aston, PA 19014 Ph: 610-497-0111 Fax: 610-497-0110 E-mail - info@kcsignco.com					

Design • Build • Installation • Service

THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY KC SIGN CO. IT IS SUBMITTED FOR YOUR APPROVAL. IN CONNECTION WITH A PROJECT BEING PLANNED BY KC SIGN CO. IT IS FOR YOUR EXCLUSIVE USE. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION. THIS DRAWING IS PROPERTY OF KC SIGN CO.

\*NOTE\* DUE TO VARIANCES AMONG COLOR PRINTED & COMPUTER MONITORS THE COLORS YOU SEE ON YOUR PROOF MAY NOT BE THE EXACT COLORS OF OUR PRODUCTS. THE COLORS YOU SEE SHOULD BE CONSIDERED CLOSE RENDITIONS TO THE ACTUAL COLORS AVAILABLE.



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**ZB18-000001**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 123 South Main Street PITTSFORD, NY 14534

**Tax ID Number:** 164.10-4-25

**Zoning District:** RN Residential Neighborhood

**Owner:** United Church Of Pittsford

**Applicant:** BELL ATLANTIC MOBIL SYSTEMS OF ALLENTOWN, INC. D/B/A VERIZON

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)           | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input checked="" type="checkbox"/> Commercial Design Review<br>§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                             | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197          | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                     |   |

**Project Description:** Applicant is returning to the Design Review Board for the design change to a cell tower. The applicant was previously approved for design at the March 22, 2018 Design Review Meeting. The four tower legs, which were approved stamped steel, and the brick wall will now be changed to hard coated foam with a faux brick appearance. A sample will be provided by applicant at the meeting.

**Meeting Date:** May 23, 2019

May 15, 2019

Via Hand Delivery

Design Review & Historic Preservation Board  
Town of Pittsford  
11 South Main Street  
Pittsford, NY 14534

Re: Application by Tarpon Towers II, LLC, for an amendment to a prior approval for Permit # C18-000010 in connection with Property owned by the United Church of Pittsford located at 123 South Main Street, Town of Pittsford.

Dear Members of the Design Review and Historic Preservation Board,

On March 22, 2018, approval was granted to Bell Atlantic Mobile Systems of Allentown, d/b/a Verizon Wireless in connection with their application to Construct and Operate a Wireless Telecommunications Facility on land owned by the United Church of Pittsford located at 123 South Main Street, Town of Pittsford, New York.

Since that time Verizon Wireless assigned all of their interests and approvals in the project to Tarpon Towers II, LLC.

On behalf of Tarpon Towers II, LLC, we are requesting an amendment to the prior approval specifically related to the material used on the 4 legs of the tower and the two walls running between the tower legs. The prior approval specified stamped steel as the material to be used however, due to structural reasons we would like to change that material to a hardcoated foam with a faux brick appearance. This will not change the visual appearance that was previously approved.

We submit the following documents for the Design Review Board's consideration in is review:

- Completed Design Review & Historic Preservation Board Application
- Copy of Permit # C18-000010
- Copy of recorded Assignment and Assumption of Lease between Bell Atlantic Mobile Systems of Allentown Inc., d/b/a Verizon wireless and Tarpon Towers II, LLC,
- Project Site Plan
- Photo Simulation of project

**Tectonic Engineering & Surveying Consultants P.C.**

3495 Winton Place, Building E, Suite 260 | Rochester, NY 14623  
585.270.8373 Tel | 585.270.8380 Fax

tectonicengineering.com  
Equal Opportunity Employer



Kindly contact me with any questions or concerns and confirm that this matter will be placed on the May 23, 2019, meeting agenda.

Thank you



Jackie Bartolotta  
Program Manager

ec: Brett Buggeln, Tarpon Towers II, LLC



# DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: United Church of Pittsford

Name(s) of Property Owner(s): N/A

Name of Applicant: Tarpon Towers II, LLC

Telephone Numbers: \_\_\_\_\_ (518) 339-0308  
(Owner) (Applicant)

Email Address: jbartolotta@tectonicengineering.com

### PLEASE CHECK ONE

- REQUEST FOR APPROVAL** (Please provide a brief description of the project.)
- REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

Request to amend prior approval Permit # C18-000010 granted to Bell Atlantic Mobile Systems of Allentown, d/b/a Verizon Wireless on March 22, 2018, in connection with a camouflaged wireless telecommunications facility. At that time the four tower legs and brick wall on two sides were approved to be stamped steel. For structural reasons it is necessary to change that material to a hardcoated foam with a faux brick appearance.

### APPLICANT MUST PROVIDE:

- Building Permit Application N/A
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

**\*These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.\***

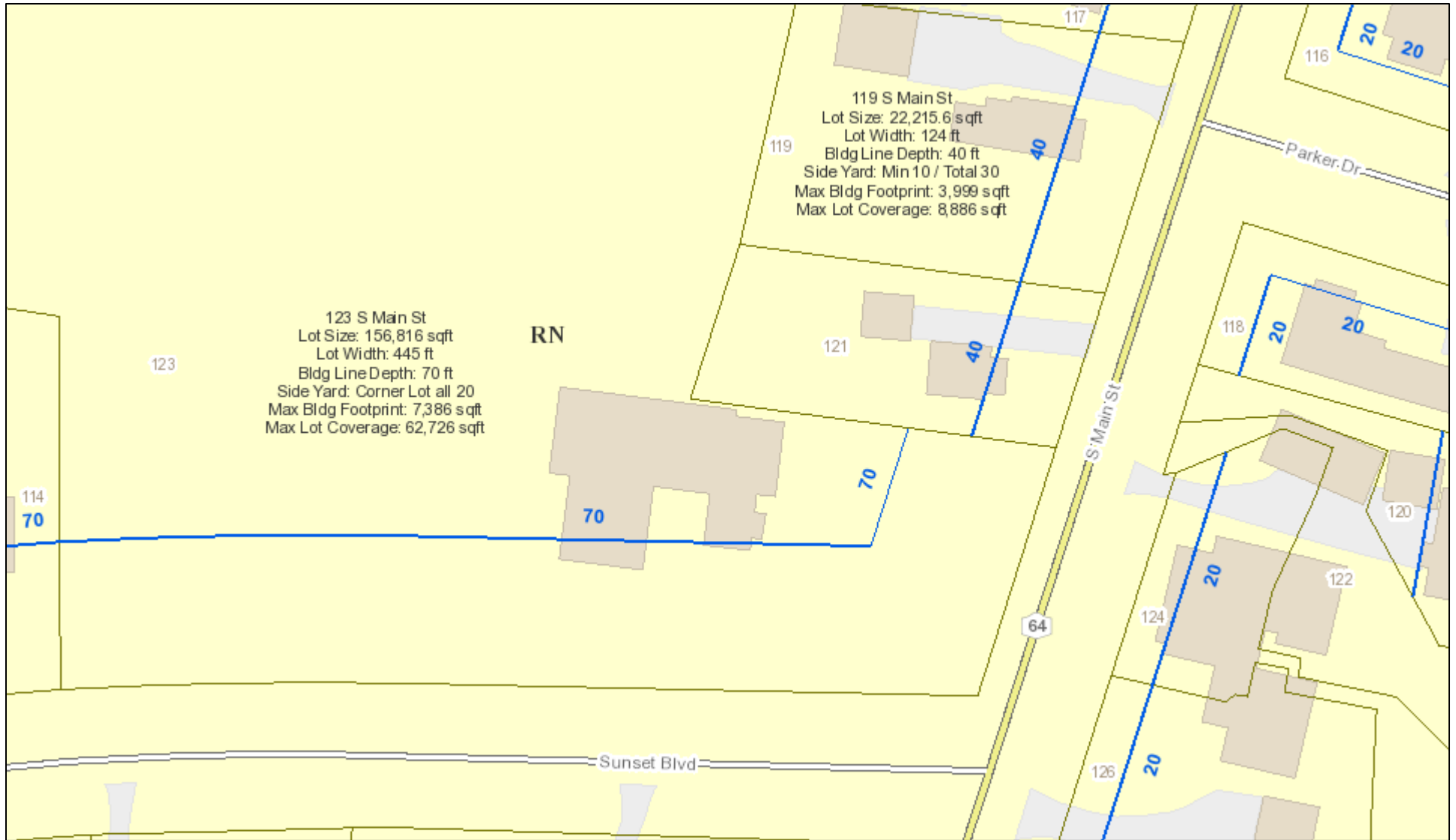
### RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

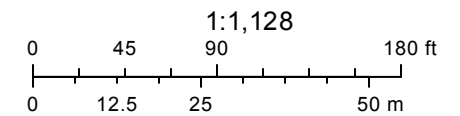
### *For Official Use Only*

Received By \_\_\_\_\_ Received Date \_\_\_\_\_ Meeting Date \_\_\_\_\_

# RN Residential Neighborhood Zoning

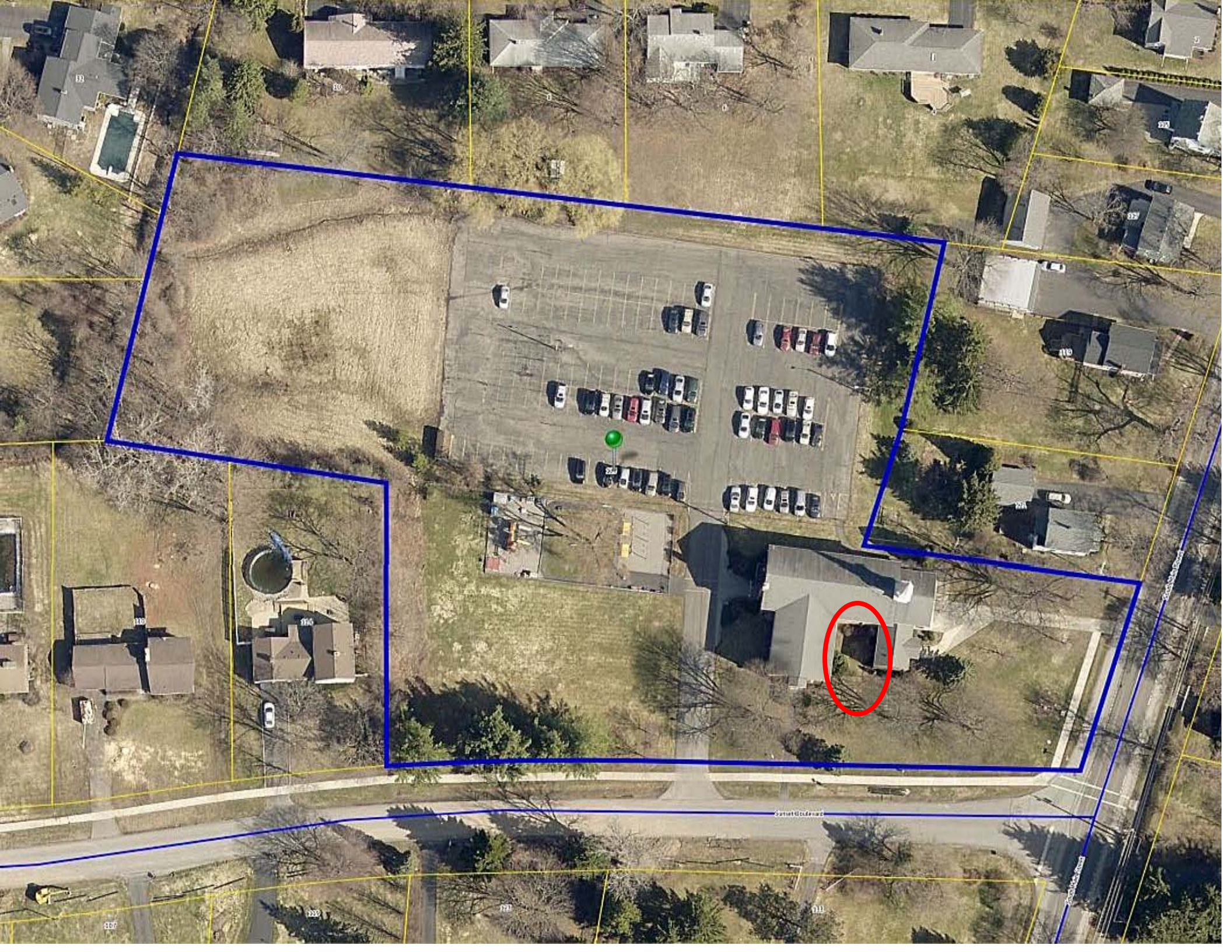


Printed February 5, 2018



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





**PLAN REFERENCES**

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING, D.P.C. ON 09/13/2016 & 12/12/2017. HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORRS NETWORK. REFERENCED TO THE FOLLOWING MONUMENT:  
-PITTSFORD CORRS STATION  
LATITUDE: 43-05-35.48461 (N)  
LONGITUDE: 077-31-31.11244 (W)  
ELLIP HEIGHT: 113.481 METERS  
NAD 83 (CORRS)
- NO BOUNDARY SURVEY OR SEARCH OF DEEDS WAS PERFORMED. APPROXIMATE PROPERTY LINES SHOWN HEREON FROM TOWN OF PITTSFORD TAX MAPS, AND FIELD LOCATIONS OF PROPERTY CORNERS.
- PER THE NYSDEC FRESHWATER WETLANDS MAP, THERE ARE NO STATE WETLANDS IN PROJECT AREA.
- PER THE NATIONAL WETLANDS INVENTORY MAPS, THERE ARE NO FEDERAL WETLANDS IN PROJECT AREA.
- PER THE ESRI/FEMA PROJECT IMPACT HAZARD INFORMATION AND AWARENESS SITE MAP THERE IS NO 100 YR. FLOOD PLAIN IN THE PROJECT AREA.
- FEDERAL WETLAND DELINEATION PERFORMED BY EARTH DIMENSIONS, INC. ON 06/30/2017.

**NORTH ORIENTATION**

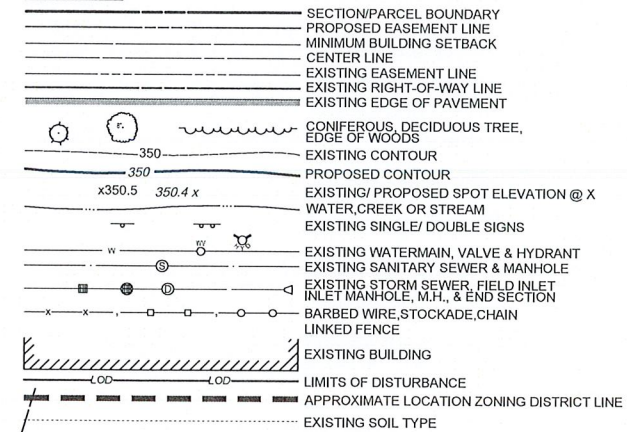
- NORTH ORIENTATION ESTABLISHED BY G.P.S. A SITE SURVEY PERFORMED BY COSTICH ENGINEERING, D.P.C. ON 09/13/2016.
- DECLINATION OBTAINED FROM THE NATIONAL CENTERS FOR ENVIRONMENTAL INFORMATION DURING THE MONTH OF SEPTEMBER, 2016.



**GENERAL NOTES**

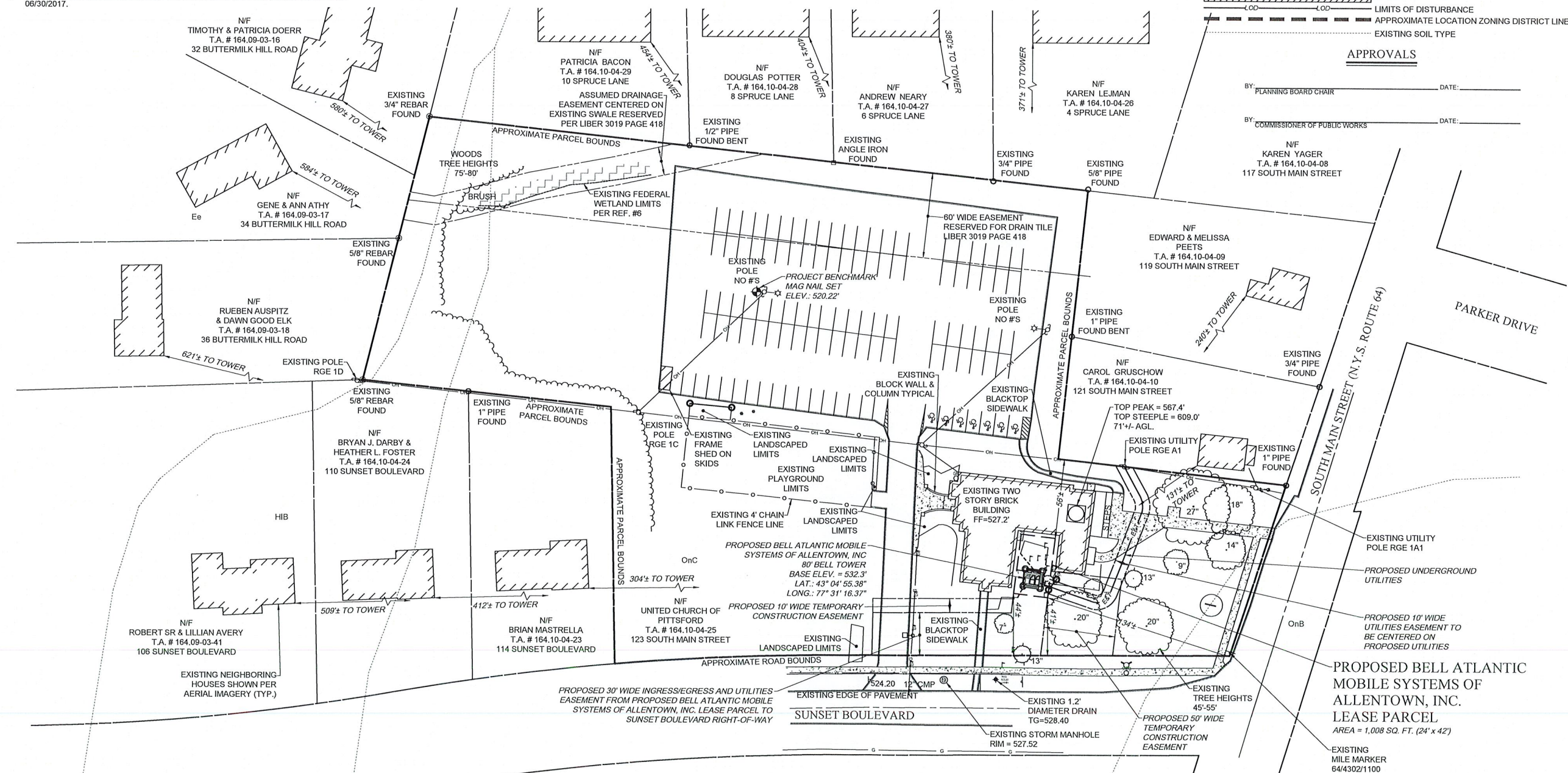
- THIS MAP HAS BEEN PREPARED FROM A FIELD SURVEY PERFORMED BY COSTICH ENGINEERING, D.P.C. ON 09/13/2016 & 12/12/2017.
- NORTH ORIENTATION IS TRUE NORTH BY GPS. VERTICAL DATUM IS NGVD 1988 (APPROXIMATE)
- ALL BEARINGS SHOWN HEREON ARE ROTATED TO GRID NORTH.
- UNDERGROUND UTILITIES OR IMPROVEMENTS, IF ANY AND NOT VISIBLE AT TIME OF SURVEY ARE NOT SHOWN.
- THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN UP TO DATE ABSTRACT OF THE TITLE.
- THIS SURVEY IS FOR SITE PLAN/ ENGINEERING PURPOSES ONLY AND IS NOT INTENDED TO BE USED FOR THE TRANSFER OF TITLE.
- SUBJECT TO THE RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE DEDICATED ROAD FOR NORMAL HIGHWAY PURPOSES.

**LEGEND**



**APPROVALS**

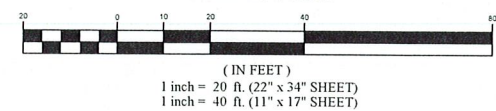
BY: PLANNING BOARD CHAIR DATE: \_\_\_\_\_  
 BY: COMMISSIONER OF PUBLIC WORKS DATE: \_\_\_\_\_  
 N/F KAREN YAGER  
 T.A. # 164.10-04-08  
 117 SOUTH MAIN STREET



**SITE PLAN**

SCALE: 1" = 40' (22" x 34" SHEET)  
 1" = 80' (11" x 17" SHEET)

**GRAPHIC SCALE**



**NOTICE OF AGREEMENT**

UNITED CHURCH OF PITTSFORD SHALL GRANT TO BELL ATLANTIC MOBILE OF ROCHESTER, L.P. THE NECESSARY LEASE PARCEL; INGRESS/EGRESS, UTILITY AND CABLING EASEMENTS FOR THE INSTALLATION AND OPERATION OF THE PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY.

UTILITY INFORMATION PER UFPO DESIGN TICKET NUMBER: 09126-196-014-00, DATED 09/12/2016:

FRONTIER TELEPHONE OF ROCHESTER:	(585) 777-8523	NO CONFLICT
MONROE COUNTY WATER AUTHORITY:	(585) 442-2000 x260	RECORD MAPPING PLOTTED
PITTSFORD SEWER DISTRICT #1:	(585) 248-6490	NO CONFLICT
ROCHESTER GAS AND ELECTRIC EAST ELECTRIC:	(207) 623-3521	NO CONFLICT
ROCHESTER GAS AND ELECTRIC EAST GAS:	(207) 623-3521	RECORD MAPPING PLOTTED
TIME WARNER CABLE / ROCHESTER:	(585) 777-8523	NO CONFLICT

**UTILITY INFORMATION**

**verizon**

1275 JOHN STREET, SUITE #100  
 WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**

CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

WORK ORDER NUMBER: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_

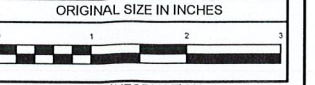
NO.	DATE	ISSUE
0	12/27/2017	ISSUE FINAL
1	02/13/2018	85' TO 80' TOWER HEIGHT, NO FAA LIGHTING & SIGNAGE
2	02/21/2018	REVISED EQUIPMENT AREA AND LANDSCAPING
3	03/14/2018	REVISED PER TOWN & CHURCH COMMENTS
4	03/26/2018	REVISED TOWER DIMENSIONS PER DESIGN REVIEW BOARD
5	05/01/2018	TOWN APPROVAL BLOCK

RELEASED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT ENGINEER: D.A.W.  
 DRAWN BY: G.M.S.  
 DATE: 12/22/2017  
 SCALE: AS NOTED

COPYRIGHT 2017  
 COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY", FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



SITE INFORMATION

PITTSFORD DT  
 PROJECT #20141076907  
 LOCATION CODE: 299130

TOWN OF PITTSFORD  
 COUNTY OF MONROE  
 STATE OF NEW YORK

SHEET TITLE

SITE PLAN

C.E. JOB NUMBER: 6084.01 SHEET NUMBER: CA100

SHEET 2 OF 6

**Dig Safely. New York**

Underground Facilities Protection Organization

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

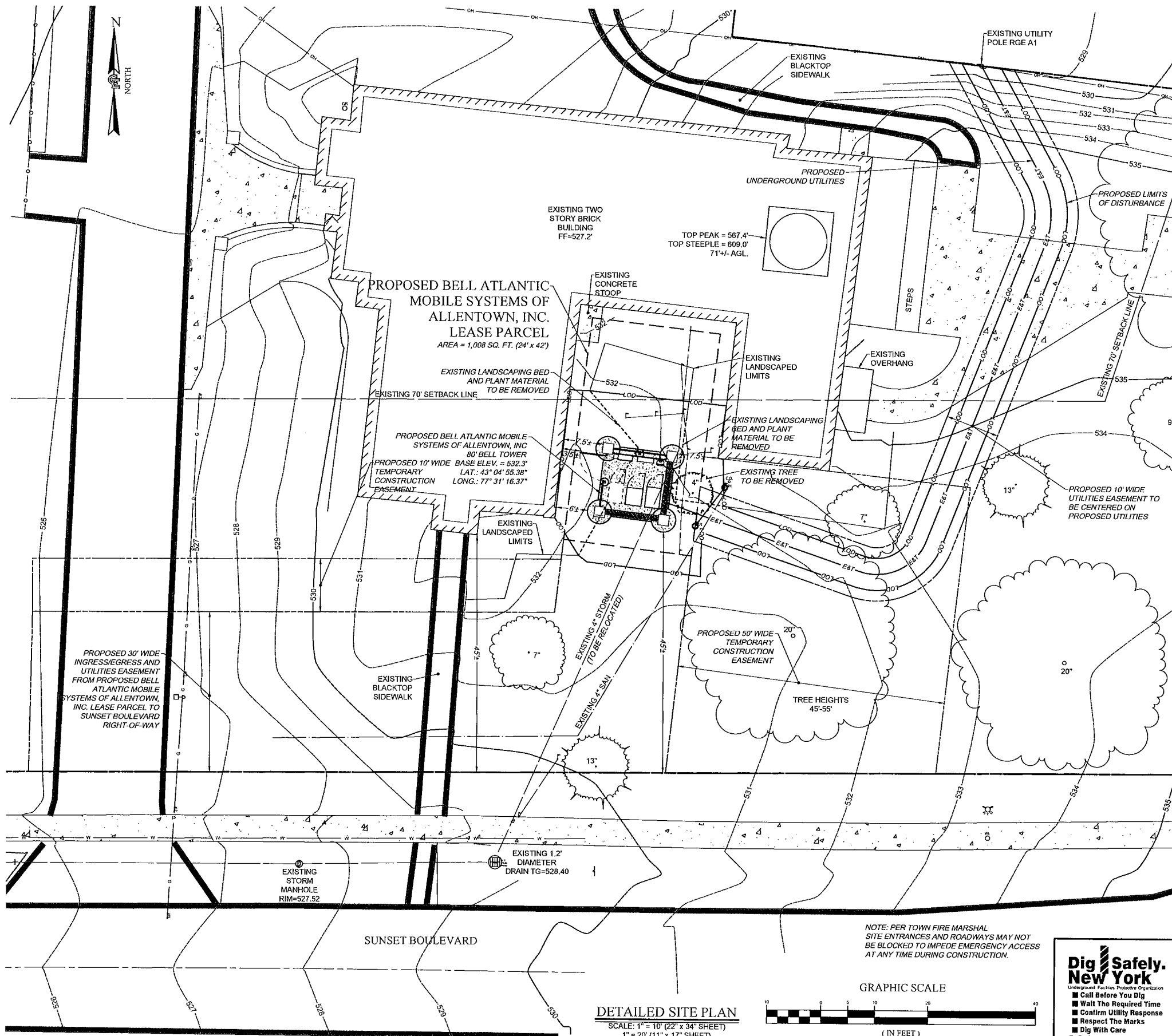
800-962-7962  
 www.digsafelynewyork.com

**GENERAL NOTES**

1. THE PROJECT CONCERNS THE INSTALLATION/ OPERATION AND MAINTENANCE OF AN UNMANNED PUBLIC UTILITY/PERSONAL WIRELESS SERVICE FACILITY.
2. THE PROPOSED DEVELOPMENT IS UNMANNED AND DOES NOT REQUIRE A MEANS OF WATER SUPPLY OR SEWAGE DISPOSAL, OR HANDICAPPED ACCESS.
3. THE PROPOSED DEVELOPMENT IS MINIMAL, AND WILL CREATE NEGLIGIBLE ADDITIONAL STORMWATER RUNOFF AND WILL THEREFORE NOT IMPACT THE EXISTING STORMWATER DRAINAGE SYSTEM.
4. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE, ANY SOLID WASTE RECEPTACLES, OR PLUMBING.
5. ADEQUATE PARKING EXISTS FOR ONE VEHICLE FOR MAINTENANCE ONCE A MONTH OR EMERGENCY SERVICE.
6. THERE ARE NO NEW STREETS, CURBS, SIDEWALKS OR WALKWAYS PROPOSED.
7. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THIS INSTALLATION.
8. EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

**SITE NOTES**

1. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWING.
2. RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
3. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.
4. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
5. THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
6. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
7. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING.
8. THE AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH.
9. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS, AND COORDINATED WITH THE TOWN.
10. CONTRACTOR SHALL NOTIFY UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION AT TELEPHONE NUMBER 1-800-962-7962 PRIOR TO EXCAVATION AT SITE.
11. ALL EXCAVATION WORK WITHIN 36" OF EITHER SIDE OF UNDERGROUND UTILITIES MUST BE DONE BY HAND EXCAVATION METHODS.



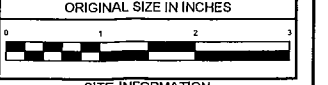
**verizon**  
 1275 JOHN STREET, SUITE #100  
 WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**  
 CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 217 LAKE AVENUE  
 ROCHESTER, NY 14609  
 (585) 458-3020

WORK ORDER NUMBER	DRAWN BY	
NO.	DATE	ISSUE
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6	05/01/2018	TOWN APPROVAL BLOCK
RELEASED BY	DATE	

PROJECT ENGINEER  
 D.A.W.  
 DRAWN BY  
 G.M.S.  
 DATE  
 12/22/2017  
 SCALE  
 AS NOTED

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SITE INFORMATION  
 PITTSFORD DT  
 PROJECT #20141076907  
 LOCATION CODE: 299130

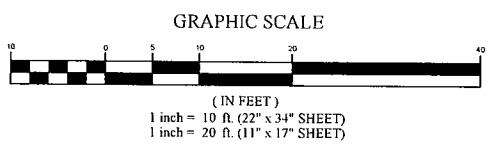
TOWN OF PITTSFORD  
 COUNTY OF MONROE  
 STATE OF NEW YORK  
 SHEET TITLE

DETAILED SITE PLAN & NOTES  
 C.E. JOB NUMBER  
 6084.01  
 SHEET NUMBER  
 CA110  
 SHEET 3 OF 6

**APPROVALS**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PLANNING BOARD CHAIR  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 COMMISSIONER OF PUBLIC WORKS

**DETAILED SITE PLAN**  
 SCALE: 1" = 10' (22" x 34" SHEET)  
 1" = 20' (11" x 17" SHEET)



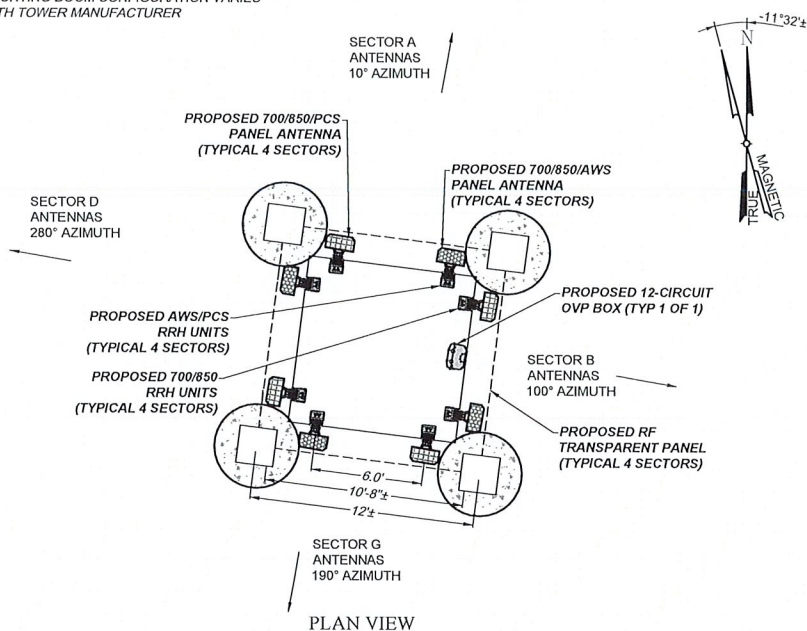
NOTE: PER TOWN FIRE MARSHAL SITE ENTRANCES AND ROADWAYS MAY NOT BE BLOCKED TO IMPEDE EMERGENCY ACCESS AT ANY TIME DURING CONSTRUCTION.

**Dig Safely New York**  
 Underground Facilities Protection Organization  
 Call Before You Dig  
 Wait The Required Time  
 Confirm Utility Response  
 Respect The Marks  
 Dig With Care  
 800-962-7962  
 www.digsafelynewyork.com



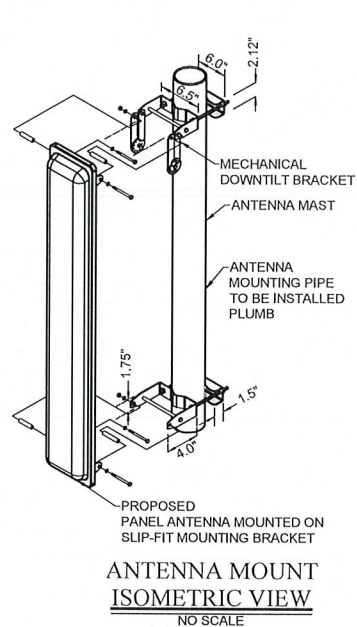


MOUNTING BOOM CONFIGURATION VARIES WITH TOWER MANUFACTURER

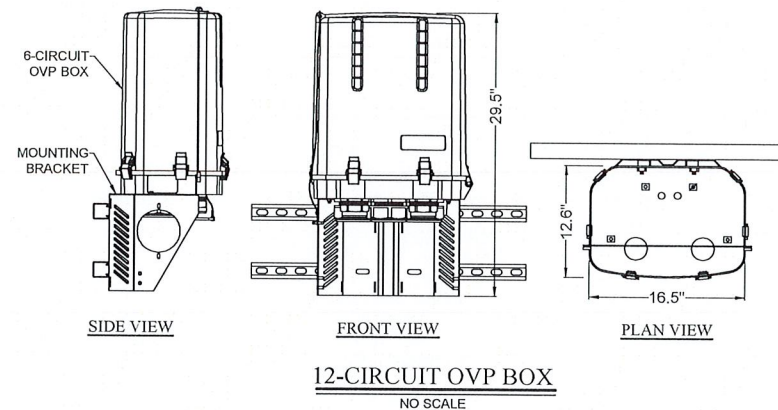


**PROPOSED BELL ATLANTIC MOBILE SYSTEMS OF ALLENTOWN, INC. ANTENNA MOUNTING STRUCTURE CENTERLINE @ 75' AGL.**

SCALE: 1" = 5' (22" x 34" SHEET)  
1" = 10' (11" x 17" SHEET)



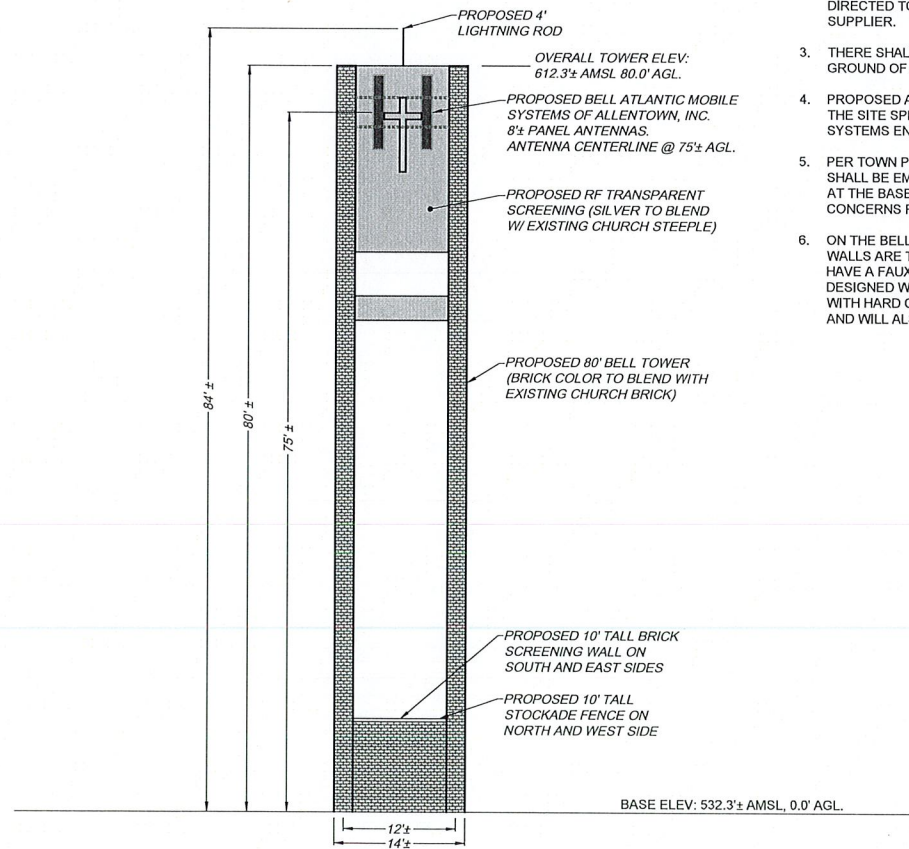
**ANTENNA MOUNT ISOMETRIC VIEW**  
NO SCALE



**12-CIRCUIT OVP BOX**  
NO SCALE

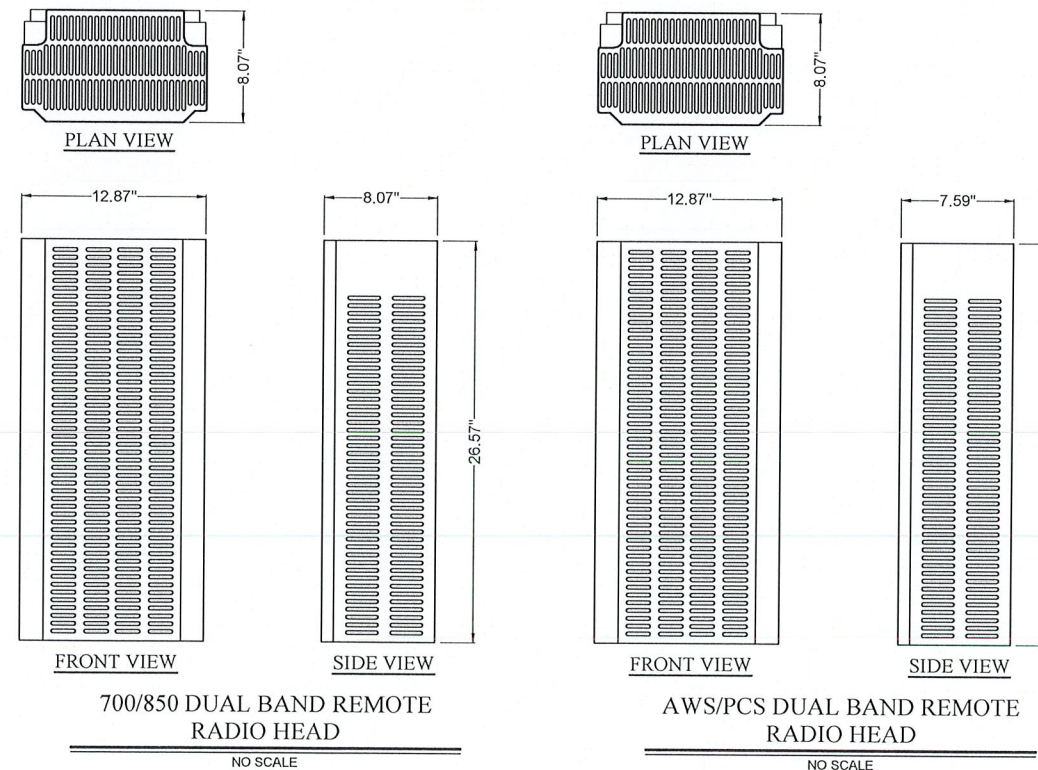
**TOWER NOTES**

- PER TOWN PLANNING BOARD CONDITIONS OF APPROVAL, LIGHTING OF THE BELL TOWER STRUCTURE IS PROHIBITED.
- ALL REFERENCES TO THE TOWER AND ITS FOUNDATION ARE TO BE DIRECTED TO THE DESIGN AND DETAIL DRAWINGS BY THE TOWER SUPPLIER.
- THERE SHALL BE NO PERMANENT CLIMBING PEGS WITHIN 15' OF THE GROUND OF ANY TOWER.
- PROPOSED ANTENNAS SHALL BE INSTALLED IN ACCORDANCE WITH THE SITE SPECIFIC RF ANTENNA DESIGN SHEET SUPPLIED BY THE RF SYSTEMS ENGINEER.
- PER TOWN PLANNING BOARD CONDITIONS OF APPROVAL THERE SHALL BE EMERGENCY CONTACT INFORMATION LOCATED ON A SIGN AT THE BASE OF THE TOWER. THIS SIGN IS TO REPORT ANY CONCERNS RELATED TO THE FACILITY.
- ON THE BELL TOWER THE SOUTH AND EAST "BRICK" SCREENING WALLS ARE TO BE CONSTRUCTED OF HARD COATED FOAM AND TO HAVE A FAUX BRICK APPEARANCE. THE LEGS OF THE TOWER ARE DESIGNED WITH 14" DIAMETER STEEL LEGS THAT ARE TO BE CLADDED WITH HARD COATED FOAM TO CREATE A 24" SQUARE APPEARANCE AND WILL ALSO HAVE A FAUX BRICK APPEARANCE.



**PROPOSED 80'± BELL TOWER SOUTH ELEVATION**

SCALE: 1" = 10' (22" x 34" SHEET)  
1" = 20' (11" x 17" SHEET)



**700/850 DUAL BAND REMOTE RADIO HEAD**  
NO SCALE

**AWS/PCS DUAL BAND REMOTE RADIO HEAD**  
NO SCALE

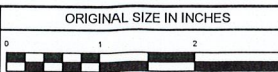
**verizon**  
1275 JOHN STREET, SUITE #100  
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**COSTICH ENGINEERING**  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 488-3020

WORK ORDER NUMBER		DRAWN BY	
NO.	DATE	ISSUE	
0	12/27/2017	ISSUE FINAL	
1	02/13/2018	85' TO 80' TOWER HEIGHT, NO FAA LIGHTING & SIGNAGE	
2	02/16/2018	UPDATE RADS, FENCE AND TOWER NOTES	
3	02/21/2018	REVISED EQUIPMENT AREA AND LANDSCAPING	
4	03/14/2018	REVISED PER TOWN & CHURCH COMMENTS	
5	03/28/2018	REVISED TOWER DIMENSIONS PER DESIGN REVIEW BOARD	
6	05/15/2019	ADD BRICK MATERIAL NOTE; RE-ISSUED FINAL	
RELEASED BY		DATE	

PROJECT ENGINEER: D.A.W.  
DRAWN BY: G.M.S.  
DATE: 12/22/2017  
SCALE: AS NOTED

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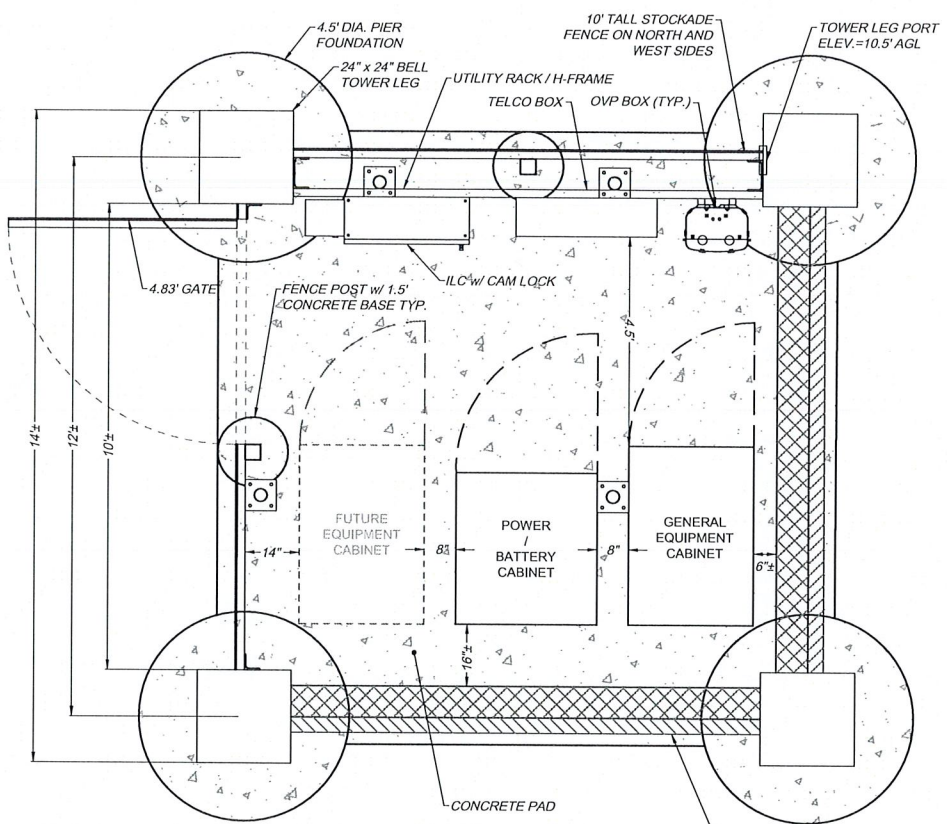


SITE INFORMATION  
PITTSFORD DT  
PROJECT #20141076907  
LOCATION CODE: 299130

TOWN OF PITTSFORD  
COUNTY OF MONROE  
STATE OF NEW YORK

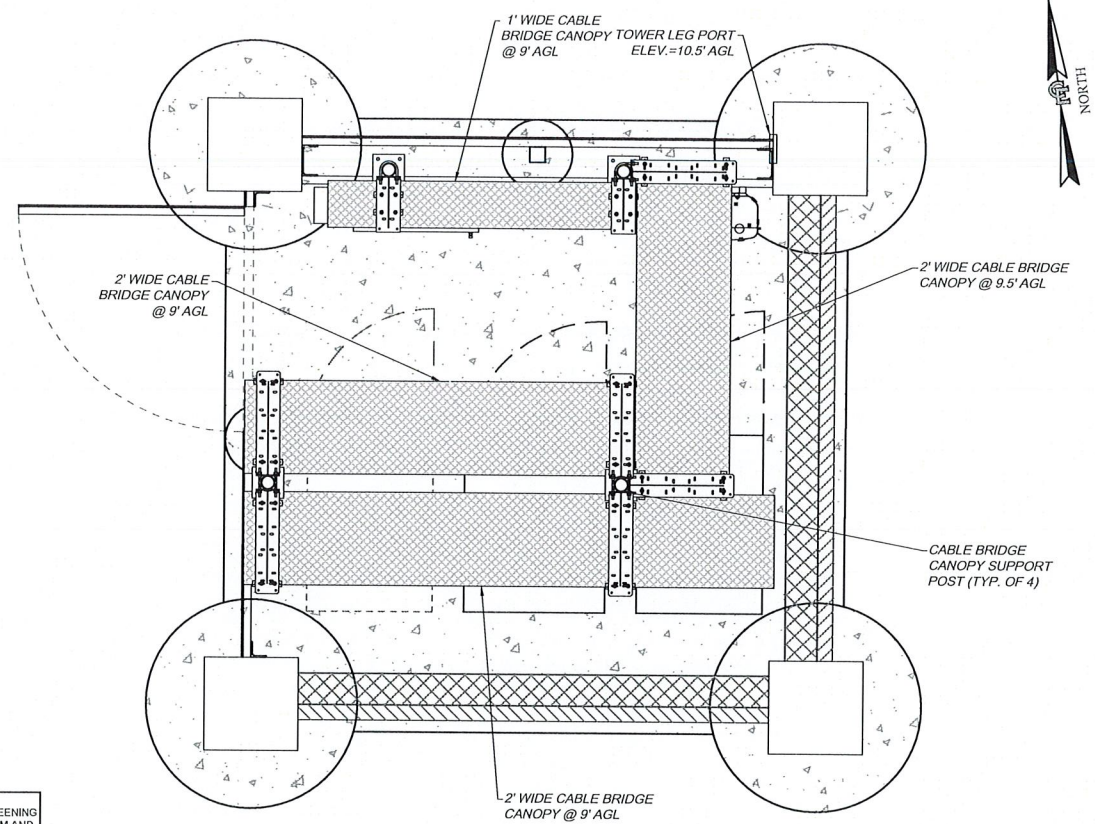
SHEET TITLE  
TOWER ELEVATION, DETAILS & NOTES

C.E. JOB NUMBER: 6084.01  
SHEET NUMBER: CA500  
SHEET 5 OF 6

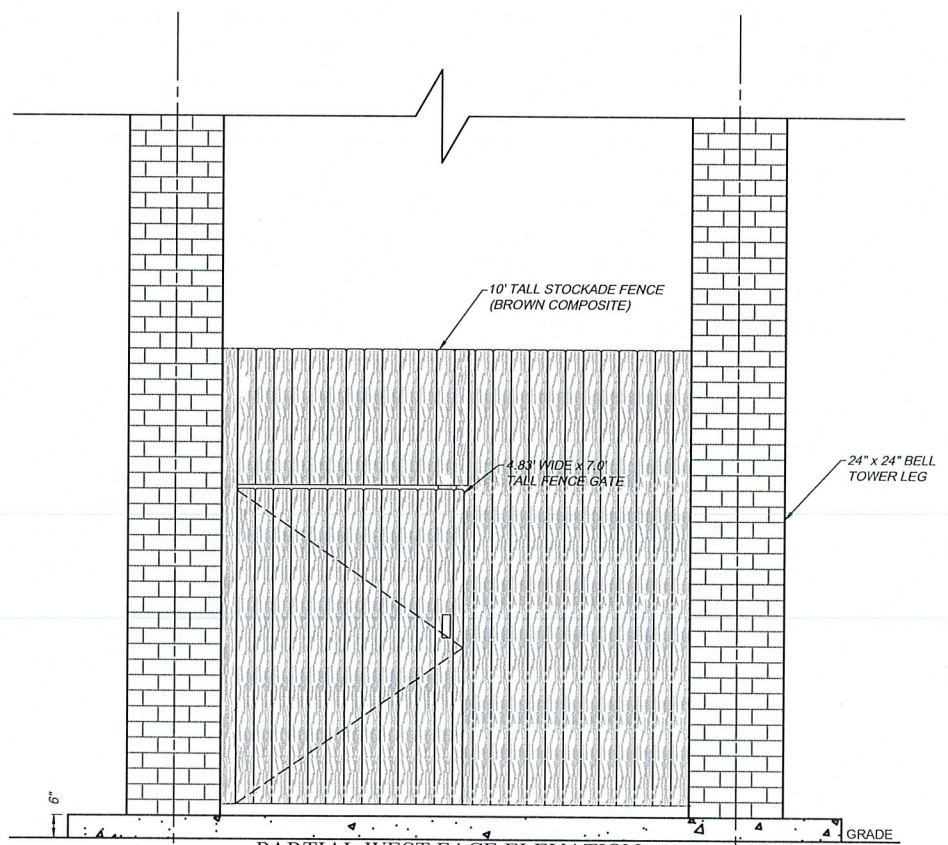


**EQUIPMENT DETAIL**  
 SCALE: 1" = 2' (22" x 34" SHEET)  
 1" = 4' (11" x 17" SHEET)

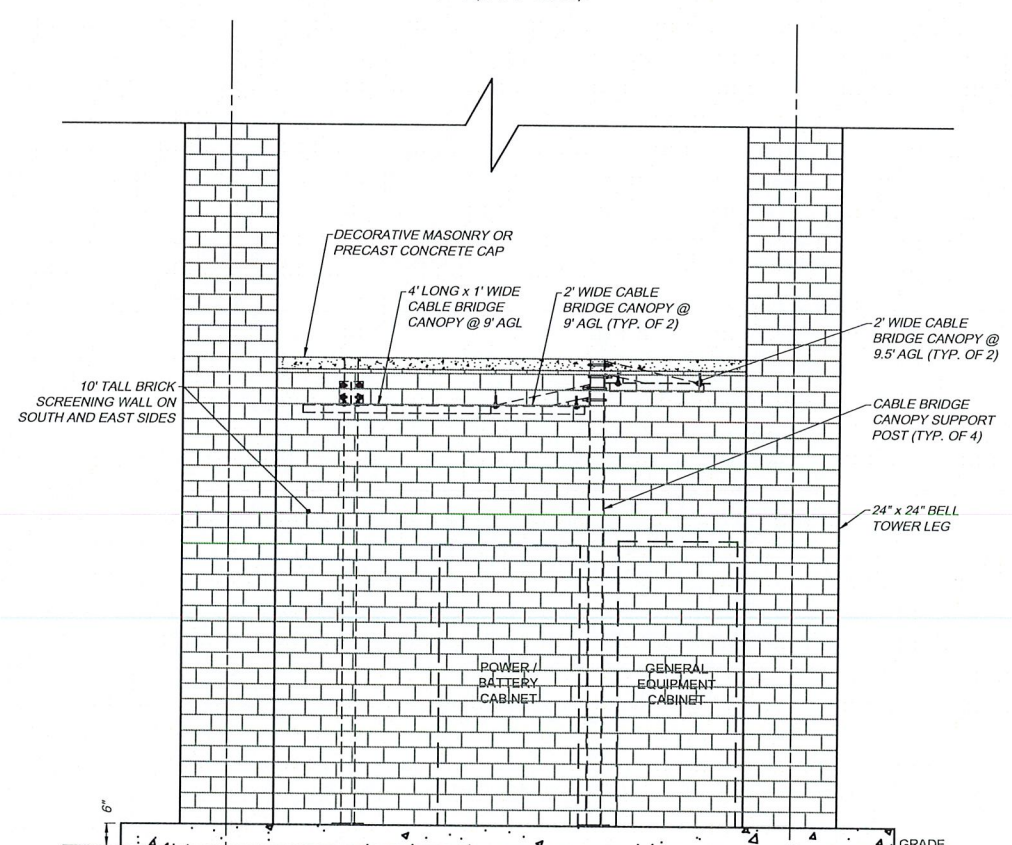
NOTE:  
 ON THE BELL TOWER THE SOUTH AND EAST "BRICK" SCREENING WALLS ARE TO BE CONSTRUCTED OF HARD COATED FOAM AND TO HAVE A FAUX BRICK APPEARANCE. THE LEGS OF THE TOWER ARE DESIGNED WITH 14" DIAMETER STEEL LEGS THAT ARE TO BE CLADDED WITH HARD COATED FOAM TO CREATE A 24" SQUARE APPEARANCE AND WILL ALSO HAVE A FAUX BRICK APPEARANCE.



**CANOPY DETAIL**  
 SCALE: 1" = 2' (22" x 34" SHEET)  
 1" = 4' (11" x 17" SHEET)



**PARTIAL WEST FACE ELEVATION**  
 SCALE: 1" = 2' (22" x 34" SHEET)  
 1" = 4' (11" x 17" SHEET)



**PARTIAL SOUTH FACE ELEVATION**  
 SCALE: 1" = 2' (22" x 34" SHEET)  
 1" = 4' (11" x 17" SHEET)

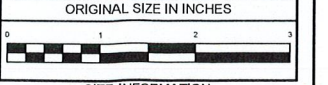
**verizon**  
 1275 JOHN STREET, SUITE #100  
 WEST HENRIETTA, NEW YORK 14586

**COSTICH ENGINEERING**  
 CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 488-3020

WORK ORDER NUMBER		DRAWN BY	
NO.		DATE	
0		12/27/2017	
1		02/13/2018	
2		02/21/2018	
3		03/14/2018	
4		03/26/2018	
5		05/15/2019	
ISSUE		ISSUE FINAL	
		85' TO 80' TOWER HEIGHT, NO FAA LIGHTING & SIGNAGE	
		REVISED EQUIPMENT AREA AND LANDSCAPING	
		REVISED PER TOWN & CHURCH COMMENTS	
		REVISED TOWER DIMENSIONS PER DESIGN REVIEW BOARD	
		ADD BRICK MATERIAL NOTE; RE-ISSUED FINAL	
RELEASED BY		DATE	

PROJECT ENGINEER  
 D.A.W.  
 DRAWN BY  
 B.P.K.  
 DATE  
 12/22/2017  
 SCALE  
 AS NOTED

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SITE INFORMATION  
 PITTSFORD DT  
 PROJECT #20141076907  
 LOCATION CODE: 299130


TOWN OF PITTSFORD  
 COUNTY OF MONROE  
 STATE OF NEW YORK

SHEET TITLE  
 EQUIPMENT  
 DETAILS & NOTES

C.E. JOB NUMBER  
 6084.01  
 SHEET NUMBER  
 CA501  
 SHEET 6 OF 6



Brick color wood fence (Trex Forest Brown)

 <b>Costich Engineering</b> Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	PROJECT NAME		PHOTO DESCRIPTION		DATE	
	Pittsford DT		Photosimulation of proposed 80' Bell tower, alcove location		C.E. JOB# 6084	
	Google Earth Street View		PHOTO LOCATION View NW from Sunset Blvd.		VZW JOB# 20141076907	

**Design Review & Historic Preservation Board  
Minutes  
March 22, 2018**

**PRESENT**

Bonnie Salem, Leticia Fornataro, Paul Whitbeck, Kathleen Cristman, John Mitchell, David Wigg

**ALSO PRESENT**

Stephanie Townsend, Town Board Liaison; Robert Koegel, Town Attorney, Doug DeRue, Director of Planning, Zoning and Development; Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector and Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman

David Wigg opened the meeting.

**HISTORIC PRESERVATION DISCUSSION**

Discussion was held on the historic district and the proposed banners to recognize this unique area. The second brochure is ready for review and Bonnie Salem distributed a draft copy provided by Stephanie Townsend. It was discussed that the colors of the brochure were too close and perhaps the two could be confused even though they are different topics. Bonnie asked for comments on this and the content of the brochure and stated that she could send the brochure electronically upon request. A spread sheet from the new Bero report highlighting the updated inventoried properties listing is available and will be sent electronically to Board Members for their use. Bonnie also mentioned the Town's comprehensive plan and that she would be planning on attending the committee meeting and will update the Board on the plan as it relates to Historic Preservation.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

- **2 Cross Meadow Lane**

The Applicant is requesting a Certificate of Appropriateness for the conversion of an existing screened porch to a large sunporch on a dwelling that is located in a historic district.

Paul Whitbeck moved to open the Public Hearing and Kathleen Cristman seconded. All Ayes.

Phil Hart of Patio Enclosures was present to discuss the application with the Board. Mr. Hart indicated that the addition will blend with the current home and will enclose a current screened in porch with an 8' x 13' extension. All materials will match. The view of the new extension will be from Cricket Hill Drive and not from the historic home at Cross Meadow Lane.

John Mitchell expressed concern that the new proposed roofline does not match up with the current. He suggested that it should line up and look like it was always there.

There was no public comment.

John Mitchell moved to close the Public Hearing. Bonnie Salem seconded. All Ayes.

After discussion, a resolution was moved by Board member Kathleen Cristman, seconded by Board member Bonnie Salem, and was voted upon by members of the Board as follows:

Bonnie Salem voted	aye
Paul Whitbeck voted	aye
Kathleen Cristman voted	aye
John Mitchell voted	aye
Leticia Fornataro voted	aye
David Wigg voted	aye
Dirk Schneider	absent

1. The granting of the Certificate of Appropriateness is made subject to the following specific conditions:
  - a. The roofline and the soffits of the new addition will match that of the existing to appear to be on the same plane. The gutter will be one piece and seamless throughout.
  - b. All work must be completed by March 31, 2019.

#### **RETURNING APPLICATIONS FOR REVIEW**

- **56 West Bloomfield Road**

The Applicant is requesting design review for the construction of an 1875 sq. ft. two story home.

The homeowner, Caitlin Kelly, was present to discuss the application with the Board. Jeremy Bates of Buffalo Modular Homes was also present.

The Board appreciated the added detail including additional windows and a porch made to the design of the home. It was also discussed that the windows will be vinyl windows will be without mullions but be white to match the trim of the home. The Board would like to see a 4-5 inch lineal flat stock casing around the front door and Mr. Bates said that this could be accomplished. A recommendation was made to include wood corners to wrap around the vinyl.

David Wigg moved to approve the application for the construction of an 1875 sq. ft. two story home as submitted to the Board on 3/22/18 with a condition. Kathleen Cristman seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

The condition is as follows:

- a. To remove the brick molding around the front door and and wrap with a 1 x 4 or 1 x 5 flat stock trim.

- **222 Shoreham Drive**

The Applicant is requesting design review for the addition of a 52 sq. ft. half bath/closet space and a 519 sq. ft. covered porch.

The designer, Tom Johnson, was present to discuss the application with the Board. Mr. Johnson discussed that the goal was to make the additions made to this 1927 home look as though they had always been there. The Board had questions about the columns (they will be square) and the gutters (there will be none). Justin Hamilton of Hamilton Stern also commented on this submission.

Bonnie Salem moved to approve the application for the addition of a 52 sq. ft. half bath/closet space and a 519 sq. ft. covered porch as submitted. Paul Whitbeck seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **3690 East Avenue**

The Applicant is requesting design review for the construction of a three-story addition to the Keough Dormitory on the St. John Fisher College campus.

Bob Burgdorf, attorney for Nixon Peabody, Jerry DeRomanis of LaBella Associates, and Hall Gardner were present to represent this application.

Kathleen Cristman disclosed that her husband is Senior Counsel with Nixon Peabody and offered to recuse herself from this application if necessary. Town Attorney Robert Koegel indicated that if Ms. Cristman has no financial interest in this application and felt comfortable participating that she should do so. Ms. Cristman indicated that she did not have a financial interest in this application and she felt she could be impartial in her vote.

Mr. Burgdorf indicated that this addition to the Keough Dormitory on the St. John Fisher campus would be the same as the other dorms on campus and finished with the same brick. The addition would be far out of view from Fairport Road. He indicated that the roofline and the height will match the existing dorm and the addition is necessary to alleviate tripling in the current dorm space not to add housing for additional students. Additionally, the details of the construction will match the existing.

John Mitchell moved to approve the application for the construction of a three-story addition to the Keough Dormitory on the St. John Fisher College campus. Kathleen Cristman seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **3400 Monroe Avenue**

The Applicant is requesting design review for the exterior alteration of a commercial space.

Nate Rossi of Rossi Architects was present to address the application with the Board. Mr. Rossi provided details of the space to be renovated that will house a future University of Rochester Urgent Care. Mr. Rossi showed samples of the brick to be used that will closely match the existing brick. The new windows to be added will give the aesthetic of matching the existing. Where practical for patient exam rooms, a section of the window will be opaque to provide privacy. An aluminum canopy, which is indicative of other UR Urgent Care facilities, will be incorporated into the design. The Planning Board has provided preliminary

site plan approval for additional parking in the front and side to accommodate patients. A sign application to be submitted separately will be reviewed at a future meeting.

David Wigg moved to approve the application for the exterior alteration of a commercial space as submitted. Bonnie Salem seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **3040 Monroe Avenue**

The Applicant is requesting design review for a new business identification sign.

Dave Weston of California Closets was present to review the application with the Board. He indicated there would be no change to the present sign or lighting. He is requesting design review for the lettering of the sign only.

Paul Whitbeck moved to approve the application for a new business identification sign for California Closets. Leticia Fornataro seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

#### **NEW APPLICATIONS FOR REVIEW**

- **3660 Monroe Avenue**

The Applicant is requesting design review for the proposed construction of a 24.5 sq. ft. business identification sign.

Irving Espoto was present to discuss the application with the Board.

Mr. Espoto expressed that the current business signage is in poor shape and is too small to be seen from Monroe Avenue. The current vegetation will be removed and a flower garden is proposed to be planted around the sign which will be centered on the grass in the front of the building. A simulated photo of the location of the new sign was presented to the Board. The Zoning Board of Appeals addressed the lighting situation and it was determined then that the lighting will be similar to the existing and will meet current Town Code.

Kathleen Cristman moved to accept the application as submitted with the condition that the sign be placed in a location central to the grass area in front of the building as demonstrated by the applicant on 3/22/2018. Paul Whitbeck seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **38 Farm Field Lane**

The Applicant is requesting design review for the proposed construction of a 286 sq. ft. garage addition.

The homeowner, Linda Raff, was present.

The Board questioned the fact that the two site plans do not match the location where the garage is to be placed. Ms. Raff presented an updated site plan which reflects the accurate location of the proposed garage bumped back from the front of the house.

John Mitchell moved to accept the application as submitted as depicted on the drawing referenced as A-1 dated 8/3/17 which locates the proposed garage addition set back 4 foot from the existing. Paul Whitbeck seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **25 Pickwick Drive**

The Applicant is requesting design review for the renovation of an existing home.

Jack Sigrist was present to discuss the application with the Board.

Mr. Sigrist indicated that the entire home is to be renovated. The windows, metal roofing, siding and garage doors will be new. The living room will be reconfigured and gables and windows added. The design will be match the current neighborhood.

Leticia Fornataro moved to approve the application as submitted. John Mitchell seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **103 Knickerbocker Road**

The Applicant is requesting design review for a 2<sup>nd</sup> floor master bedroom addition.

Jack Sigrist was the representative for this application. The application is to build a master bedroom over an existing living room.

John Mitchell moved to accept the application as submitted. Letitica Fornataro seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

- **123 South Main Street**

The Applicant is requesting design review for the construction of a cell tower that will consist of an 80' tall four legged bell tower within an alcove on the south side of the United Church of Pittsford.

Town Attorney Robert Koegel stated that the original application for a cell tower was to construct a 100 ft. monopine cell tower in the rear yard of the church. Due to neighborhood concerns, the applicant agreed to submit an alternate design to construct a bell tower of a height of 80' which would house the cell tower equipment to be located in an alcove of the church exterior. Mr. Koegel advised the Board that their role is to review this application design from an architectural standpoint. He indicated that if this design is rejected the applicant is in a legal position to get the 100' monopine structure approved.

Board member Kathleen Cristman again asked advice on whether to recuse herself because her husband is an associate of the firm of Nixon Peabody. Mr. Koegel indicated that she or her husband are not in a position to benefit personally financially and that if she felt that could be impartial then she should vote. Ms. Cristman indicated that she felt she could do so.

Nate Vander Wal of Nixon Peabody, representatives from Verizon and Techonic, Anne Passmore and Rev. Jimmy Reader of the United Church of Pittsford were present.

Mr. Vander Wal outlined the proposed structure which has received Planning Board approval



of a 4 legged bell tower to enclose the cell tower equipment. A 10' brick enclosure on the south and east sides of the tower structure will be put in place to mask the equipment and cable tray. The RF panels will be silver to match the steeple and transparent (although not visually) to allow the cell signals to pass through. Landscaping will be installed at the base of the wall to block the view of the enclosure wall. Deciduous and evergreen plantings will be installed to shield the fence from view throughout the entire year. A transparent panel will be used to mask the antennas and the emergency generator has been eliminated. The cables will be run through the hollow columns. The columns will be stamped steel with brick coloration to be consistent with the brick on the church. There will be no lighting on the bell tower.

John Mitchell commented that the slender columns look architecturally awkward in proportion to the height of the structure. A recommendation was made to increase the columns from 16" to 24" and to add a crossbeam between the columns.

Recommendations were discussed to improve the massing of the brick wall and give the wall some architectural interest. Options were discussed but rejected for safety reasons and it was decided that a stone cap on the top of the brick wall not to exceed 10' would be suitable.

Leticia Fornataro moved to accept the application for the construction of a cell tower that will consist of an 80' tall four legged bell tower within an alcove on the south side of the United Church of Pittsford with conditions. Kathleen Cristman seconded.

Ayes: Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

The conditions were stated as follows:

1. The wall height of the brick enclosure will the top of the wall cap which will be pre cast or masonry.
2. The column widths will be increased from 16" to 24".
3. The brick masonry and stamped brick will match the color of the existing brick on the church as closely as possible.

#### **REVIEW AND APPROVAL OF MEETING MINUTES OF 2/22/18**

Bonnie Salem moved to accept the minutes of 2/22/2018 meeting. Leticia Fornataro seconded.

Ayes – Wigg, Cristman, Fornataro, Salem, Mitchell, Whitbeck

The meeting was adjourned at 9:25 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

Narrow gray cross and brick fence



Revised: Landscaping 12/28/2018



Costich Engineering  
 Land Surveying  
 Landscape Architecture  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

PROJECT NAME
<b>Pittsford DT</b>
<b>Photo 471 - alcove</b>
PHOTO COORDINATES
43° 04' 54.4548" N, 77° 31' 16.6656" W

PHOTO DESCRIPTION
Photosimulation of proposed 80' Bell tower, alcove location
PHOTO LOCATION
View E from Sunset Blvd. ~95' from site

DATE OF PHOTO
6/21/2017
C.E. JOB#
6084
VZW JOB#
20141076907



Photosim Date: 1/18/2018



Costich Engineering  
 Land Surveying  
 Landscape Architecture  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

PROJECT NAME  
**Pittsford DT**  
 Photo from 133 S. Main St.  
 PHOTO COORDINATES  
 N/A

PHOTO DESCRIPTION  
 Photosimulation of proposed  
 80' Bell Tower  
 PHOTO LOCATION  
 View W from S. Main St.  
 166' from site

DATE OF PHOTO  
 N/A  
 C.E. JOB#  
 6084  
 VZW JOB#  
 20141076907



Photosim Date: 2/1/2018



Costich Engineering  
Land Surveying  
Landscape Architecture

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020


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ENGINEERING

PROJECT NAME <b>Pittsford DT</b>
Photo from 133 S. Main St.
PHOTO COORDINATES N/A

PHOTO DESCRIPTION Photosimulation of proposed 80' Bell Tower
PHOTO LOCATION View N from driveway 225' from site

DATE OF PHOTO N/A
C.E. JOB# 6084
VZW JOB# 20141076907



 <b>COSTICH ENGINEERING</b> Costich Engineering Land Surveying Landscape Architecture 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020	PROJECT NAME <b>Pittsford DT</b>	PHOTO DESCRIPTION Photosimulation of proposed 80' Bell tower, alcove location	DATE 2/21/2018
	Google Earth Street View	PHOTO LOCATION View NW from Sunset Blvd.	C.E. JOB# 6084 VZW JOB# 20141076907

