

Design Review & Historic Preservation Board
Agenda
April 25, 2019

HISTORIC PRESERVATION DISCUSSION

CERTIFICATE OF APPROPRIATENESS - RETURNING

- **3577 Monroe Avenue**
The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace windows on the second floor of the dwelling. This property is zoned MATZ (Monroe Avenue Transitional Zone) and is designated historic.

RESIDENTIAL APPLICATION FOR REVIEW

- **63 Crestview Drive**
The Applicant is requesting design review for the addition of a porch. The porch will be approximately 119 sq. ft. and will be located to the front of the existing home.
- **607 Roosevelt Road**
The Applicant is requesting design review for the addition of a porch. The porch will be approximately 119 sq. ft. and will be located to the front of the existing home.
- **1 Cedarwood Circle**
The Applicant is requesting design review for the addition of a screened porch. The addition will be approximately 360 sq. ft. and will be located to the rear of the existing home.
- **12 Lawton Drive**
The Applicant is requesting design review for the addition of a screened porch. The addition will be approximately 240 sq. ft. and will be located to the rear of the existing home.
- **19 Wexford Glen**
The Applicant is requesting design review for the second floor addition. The addition will be approximately 392 sq. ft. and will be located to the west of the garage
- **55 Sutton Point**
The Applicant is requesting design review for the garage and in-law suite addition. The total square footage of the project will be approximately 1054 sq. ft. and will be located behind the existing garage.
- **3575 East Avenue**
The Applicant is requesting design review for the sunroom addition. The addition will be approximately 240 sq. ft. and will be located to the rear of the existing home.

COMMERCIAL APPLICATION FOR REVIEW

- **3019 Monroe Avenue**
The Applicant is requesting design review for a business identification sign. The sign will identify the business "Lashed". The letters will be stud mounted 1/4" black acrylic letters and panel cast vinyl lettering.

OTHER – REVIEW OF 4/11/2019 MINUTES

Draft
Design Review and Historic Preservation Board
Minutes
April 11, 2019

PRESENT

Dirk Schneider, Chairman; Bonnie Salem, Kathleen Cristman, Paul Whitbeck

ALSO PRESENT

Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Leticia Fornataro, John Mitchell, David Wigg

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem discussed some of the home visits she has had with inventoried homeowners interested in designation.

The reception for historic designation invitation list and agenda were also discussed.

The banners were discussed and a request needs to be submitted to the Town Board for funding.

CERTIFICATE OF APPROPRIATENESS - RETURNING

• **3577 Monroe Avenue**

The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace windows on the second floor of the dwelling. This property is zoned MATZ (Monroe Avenue Transitional Zone) and is designated historic.

The Public Hearing for this application remains open.

The homeowners, John and Nicole Reddington, were present.

Mr. Reddington showed examples of the proposed windows that they propose to install on the second floor front elevation. The proposed color is a sandstone tone and the trim will be painted to match. The Reddingtons reiterated their request for relief because their property is located in a MATZ district with no foot traffic, wood windows are cost prohibitive and there are already vinyl windows on the home.

Bonnie Salem stated how the windows are important to the historical designation and that the standards and guidelines do not encourage the use of vinyl windows. Mrs. Reddington stated that it is unfair to hold this structure to historic designation due to the multiple alterations already on the home. Mr. Reddington pointed out that this will be an improvement to the façade of the home and Mrs. Reddington indicated that they are investing in the home to preserve its integrity.

Dirk Schneider stated he could accept the window choice in this case. Paul Whitbeck expressed that he can agree the new windows will allow the owners to use the second floor more comfortably.

The Board agreed to hold this application over until a resolution is proposed.

RESIDENTIAL APPLICATION FOR REVIEW

- **7 Wayside Circle**

The Applicant is requesting design review for the construction of an oversize accessory structure. The structure will be approximately 800 sq. ft. and will be located in the backyard of the property.

The homeowner, Mike Romach, was present.

Mr. Romach detailed the project which is a hemlock timber frame pavilion with a fireplace. The fireplace chimney will rise 2' above the structure. The structure is not intended to be enclosed. The chimney will match the chimney on the home after renovation work is done on the home chimney. This application is being reviewed by the Zoning Board of Appeals on April 15, 2019.

The Board had no other concerns other than being in opposition to the structure ever being enclosed.

Dirk Schneider moved to approve the application as submitted with the condition that the structure never be enclosed and contingent on Zoning Board of Appeals approval.

Bonnie Salem seconded.

All Ayes.

- **6 Whitestone Lane**

The Applicant is requesting design review for the addition of two dormers. Both dormers will be shed style dormers and will be added to the front and rear of the home.

Trevor Harrison was present to represent the homeowners.

Dirk Schneider disclosed that he has worked with Mr. Harrison in the past and indicated he would have no issue voting on the application. Mr. Harrison was in agreement with Mr. Schneider voting.

Mr. Harrison detailed the extensive interior renovation which also proposes shed dormers on the front and rear of the home. Taller doors and a stone front are also proposed.

There will also be new windows and all will match. Bonnie Salem stated that all proposed materials are compatible with the home.

Bonnie Salem moved to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **8 Rockdale Meadows**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2617 sq. ft. and will be located in the Coventry Ridge Subdivision.

Steve Maynard of Rockdale Meadow Construction Corporation was present to review the application with the Board. Mr. Maynard stated that this is a ranch home that features colors complementary to the existing homes in the neighborhood.

The Board mentioned the massing and lack of fenestration on the side elevations. Mr. Maynard indicated a lot of the kitchen cabinetry is on the wall of the side elevation. In addition, the rear of the home opens to a nature area so the homeowners wished to have an open view with many windows.

Upon further review, Kathleen Cristman moved to approve the application as submitted.

Dirk Schneider seconded.

All Ayes.

- **28 Aden Hill**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1893 sq. ft. and will be located in the Wilshire Hills subdivision.

Jeff Brokaw representing Morrell Builders was present to discuss the application with the Board.

The Board made note that the garage is forward of the front wall contrary to design guidelines.

After further Board review, Bonnie Salem moved to approve the application as submitted.

Paul Whitbeck seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3050 Monroe Avenue**

The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 30 sq. ft. and will identify "Wells Fargo Home Mortgage".

No representative was present for this application.

The Board reviewed the application and rendering.

Kathleen Cristman moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

INFORMAL REVIEW

- **4 San Rafael Drive**

The Applicant is requesting an informal review for the construction of a new single family dwelling on a vacant lot.

The prospective property owner, Christian Krapf, was present to ask questions of what would be allowed to be built on this vacant lot. A rendering was presented to the Board for their review. Mr. Krapf is looking for feedback on this design and what type of design would be allowed in this neighborhood which is a potential historic district.

The Board gave feedback on the submitted drawing. They felt that the stone and wood material choices presented are heavy looking and rustic and do not fit into the neighborhood. They commented that breaking up the massing for the design is a good step but recommended against a forward facing garage.

Steven Kass, realtor for the homeowner, asked for a comfort level that on a design that would be approved. The Board indicated that it is not their role to design the home and they would need to see a final proposed design prior to giving any indication of approval.

The Board recommended that Mr. Krapf consult an architect who is experienced in designing homes which would complement a historic neighborhood.

OTHER – REVIEW OF 3/28/2019 MINUTES

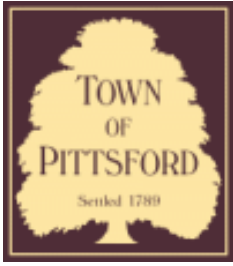
The minutes of the March 28, 2019 meeting were approved as written.
All Ayes.

The meeting adjourned at 8:30 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA19-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3577 Monroe Avenue PITTSFORD, NY 14534

Tax ID Number: 151.13-1-32

Zoning District: MATZ Monroe Avenue Transitional Zone

Owner: Reddington, John D

Applicant: Reddington, John D

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace windows on the second floor of the dwelling. This property is zoned MATZ (Monroe Avenue Transitional Zone) and is designated historic. This application was held over for further review from the April 11, 2019 meeting. Pictures of the proposed window have been added to the application.

Meeting Date: April 25, 2019



February 4, 2019

Allen Reitz, *Assistant Building Inspector*
Town of Pittsford Building Department
11 S. Main Street
Pittsford, NY 14534

**RE: 3577 Monroe Avenue,
Parcel Tax ID #151.13-1-32
2nd Story Window Replacement**

Dear Allen;

As discussed with you via e-mail May 23, 2018, our home address is 3577 Monroe Avenue in the Town of Pittsford, and is designated historic. Virginia Searl from Bero Architecture prepared the "Report of Architectural Consultation", a portion of which is attached for reference.

We wish to renovate the interior, second floor attic space in our home and make it habitable for year-round occupancy. Currently there is an office space on the west wing that is partially finished. The windows for the second floor require significant attention due to weathered casings, inoperable hinges, missing storms, etc. Ms. Searl's recommendation for "Window Repair Assistance" is highlighted in the attached Bero document. We contacted the recommended party (Steve Jordan, *Pain in the Glass*) for consultation with the hopes of hiring him to make the necessary restorations. He visited our home and provided the attached summary of his visit. In short, he indicated he is not interested to do a restoration on our windows. He recommended possible candidates for carpentry work; we also brought in David Young and he was also not interested in performing the restoration, indicating the windows were beyond repair.


We are submitting the attached support materials, in addition to the Town's Certificate of Appropriateness application:

1. Application for Certificate of Appropriateness.
2. Map of Survey for Parcel Tax ID #151.13-1-32, prepared by O'Neill Rodak.
3. Report of Architectural Consultation, prepared by Bero Architecture (Virginia Searl); partial document- full document is on file with Historic Pittsford, or available upon request.
4. Letter from Steve Jordan assessing the window conditions and his non-interest in taking on the project.
5. Document "Work Description" which provides a rough scope of work for the replacement windows.
6. Cut sheets from Andersen Windows with the window types, dimensions and exterior color.

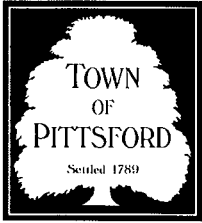
We wish to have the application considered for approval and placed on the next available Town of Pittsford Design Review and Historic Preservation Board meeting agenda, if necessary.

As mentioned, I sit on the Town of Pittsford Parks and Recreation Board, and both my wife Nicole and I are landscape architects, so we respect the DRHPD's mission and process.

Sincerely,



John Reddington, RLA



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 3577 Monroe Ave., Pittsford, NY 14534

2. Tax Account Number: 151.13-1-32

3. Applicant's Name: John and Nicole Reddington

Address: 3577 Monroe Ave., Phone: (585) 310-7247
Street
Pittsford, NY 14534 E-mail: jdredd31@gmail.com
City State Zip Code

4. Applicant's Interest in Property:
Owner: Lessee: Holding Purchase Offer:
Other (explain): _____

5. Owner (if other than above): _____
Address: _____ Phone: _____
Street
_____ E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: John Reddington, RLA
Address: 3577 Monroe Ave., Phone: (585) 200-1690
Street
Pittsford, NY 14534 E-mail: jdredd31@gmail.com
City State Zip Code

7. Project Design Professional (if Available): (SAME)
Address: _____ Phone: _____
Street
_____ E-mail: _____
City State Zip Code

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application (if available):

Parcel map

Architectural elevations

Photographs

Architectural plans

Other materials

_____ window cut sheets, letter

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

2.9.19

Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____

BERO ARCHITECTURE PLLC

ARCHITECTURE SUSTAINABILITY PRESERVATION

Thirty Two Winthrop Street, Rochester, New York 14607
585-262-2035 (phone) • 585-262-2054 (fax) • contact@beroarchitecture.com (email)

Report of Architectural Consultation

HISTORIC PITTSFORD PROJECT

To: Nicole and John Reddington
3577 Monroe Avenue
Pittsford, New York 14534

RE: Site Visit, April 4, 2015
3577 Monroe Avenue



Date: April 28, 2015

- Attachments:
1. Town of Pittsford Zoning Map
 2. Secretary of the Interiors *Standards for Rehabilitation*
 3. Excerpts from "An Architectural and Historical Survey Report of 126 Selected Properties in the Town of Pittsford, Monroe County, New York". "Long Meadow Bungalow Sites" included.
 4. Town of Pittsford Residential Styles Guide
 5. Sole Practitioners
 6. "Some Thoughts on Hiring an Architect"
 7. Town of Pittsford Residential Design Standards and Guidelines

Copies: (1) Bonnie Salem, Historic Pittsford

roof form or stair configuration a solution is not immediately obvious. I suggest you contact an architect who can prepare measured drawings, sketch building sections both ways through this area and determine how or if the stairway can be modified to provide code compliant access. It may be possible to lower the landing, turning the stairs at a lower elevation and avoid the conflicting rafter. The existing hallway and probably the closet in the next bedroom will be affected but the degree and use of remaining space cannot be determined without a study of the area. The stairs are steep compared to current code requirements. Replacing them will require meeting current code requirements but should improve the safety and comfort of the stairs. Attachment 5 is a list of qualified architects, familiar with historic buildings, who are sole practitioners. Attachment 6, "Some Thoughts on Hiring an Architect", may be useful in your decision making if you choose to move forward with an architect.

There are a variety of window types and sizes in the attic. The Residential Code of New York State requires that sleeping rooms must have an emergency escape and rescue window with a minimum net clear opening of 5.7 sq ft, a minimum net clear opening height of 24", minimum net clear width of 20", and a maximum sill height above finished floor of 44". I did not measure any of the window openings but they may meet these requirements without modification. If they do not, you should have a discussion with the Town of Pittsford's Code Enforcement Officer to discuss whether they can be used as pre-existing, non-conforming, "grandfathered", for the new use. If they do not, I recommend you consider configuring new space with a bedroom with new conforming windows on the rear elevation to maintain the architectural integrity of the house on the visible elevations.

Window Repair Assistance

The windows in your house are probably original and appear to be in good condition. They are character-defining features and should be retained. Some need new sash cord and others are painted shut but since they are wood they are repairable and can be restored to a "like new" condition. The existing attic windows need paint and glazing compound but otherwise also seem to be in good condition. Adding weatherstripping would be a good idea for all windows which currently have none. We usually recommend [Steve Jordan, Pain in the Glass](mailto:Steve.Jordan@PainintheGlass.com), for window repair and restoration. He can be reached at 585.235.8828 or www.painintheglass.info.

The attic casement windows have a unique storm/screen hardware configuration which I have not seen before. The system allows for changing from storms to screens and back seasonally quite easily from the inside. This system should be maintained for you own ease.

Exterior Paint Color

The current exterior color scheme is not appropriate for the style of your home and you would like to change it. I agree that this would be an improvement. A brief on line review of the town code seems to indicate that a change in exterior paint color will require a Certificate of Appropriateness from the Design Review and Historic Preservation Board. It is not clear that there is a recommended or required color palette as you suggested however. The Town's Residential Design Standards and Guidelines are included as Attachment 7.

You asked specifically about natural color stained or clear finished shingles. I believe this was common for bungalow/arts and crafts style homes. There are two homes in the Village of Pittsford with bungalow style influence, one on Lincoln Avenue (used as an illustration in the town's style guide) and one on Rand Place with dark natural colored single siding and yellow trim. It was a common color for siding at the time your home was built certainly. Otherwise, most paint manufacturer's have historic color palettes, sometimes by architectural style, you can choose from.

Paint schemes with three colors were common; body, trim, and window sash in separate, complementary colors. Window sash were often painted a dark color to recede and enlarge the apparent window opening.

Steve Jordan
185 David Avenue
Rochester, NY 14620
(585) 427-8556
painintheglass@frontiernet.net

January 23, 2018

John and Nicole Reddington
3577 Monroe Avenue
Pittsford, NY 14534

Phone: 200-1690
Email: jdredd31@gmail.com

RE: Attic (second floor) windows

Note: I provide this detailed information because it is preservation issue and because my involvement was initiated by Bero Architecture where I formerly worked.

Existing Conditions

The owners desire to finish the spacious attic into a living space possibly reusing the casement windows. The in-opening, multi-paned sashes are in very good condition and the openings are equipped with separate out-opening (hinged) storm and screen sashes. The window jambs and sills are mostly in good condition although I saw some that were warped at the vertical sides. The sashes do not have weather-seals. Because this was an attic, the sashes were hung with the cheapest possible hardware and some of the sashes do not fit the jambs appropriately.

Options for Repair

Casement windows can be a problem to weatherproof because, over time, the sashes tend to sag at the latch side. In this case, the small size and muntined construction diminishes this problem. In general and in our climate, most casement windows were equipped with durable, proprietary zinc weather-seals either at the sash mill or upon initial installation. These windows have no weather seals but quality seals can be installed to work efficiently – either bronze metal strips or resilient bulbs installed in corner kerfs. Below I list the minimum scope of work needed make these windows satisfactory for future use *as I see them*:

- Sashes are inspected for warp* and condition (if warped – evaluate for repair or replace)
- All hardware is removed and new mortise hinges are installed
- Latching hardware that works with new interior trim is installed
- Casement stays are installed to hold the windows open
- Frames are repaired or shimmed to fit sashes
- Broken panes of glass are replaced
- Any excessive paint that prevents sashes from working appropriately is removed
- Glazing as necessary, painting, and interior finishing

Storms and Screens

The wood framed storm and screen sashes were designed to be switched between seasons and appear to be in reasonably good condition. Another solution with the in-opening casements is to convert the existing storms into single-light, permanently installed units with storm and screen panels that are removable from the inside.

Recommendations, etc.

As indicated to Nicole, I am not interested in taking this job on as a project, mostly because it requires some carpentry skills that I don't have and because I don't like working on casement windows. If, however, you are interested in having the sashes "restored" I could work with your carpenter to do that. I have a sash steam box in my workshop that allows me to heat the sashes remove the glass and paint and make them like new again.

Finally, my last 20 years has been all about saving old windows and I seldom see one that can't be repaired. In this case, although the sashes are in good condition, the windows were not designed or installed to be used in a living space and will require a lot of work (tweaking) and new hardware to make them suitable for your needs. You need an experienced "old-house" carpenter to do this satisfactorily. You may want to compare the cost of a rehab vs. the cost of new simulated divided light, wood windows that match the dimensions of your existing windows to present to your preservation commission. I think this is a reasonable request.

I appreciate your calling me to look at your windows. I have admired this house for many years.

Respectfully,

Steve Jordan

Notes

*The lack of appropriate latching hardware often allows casement windows to warp vertically at the latch side.

Recommended carpenters:

Ted Robertson, Kirkwall Construction, 271-2396

David Young (315) 331-2239

John Werner, 342-3056

February 4, 2019
(revised April 3, 2019)
Work Description
Second-Story attic window
replacement
3577 Monroe Avenue



*Northwest and northeast
gable windows*

Replace (1) 40.5"x 25" casement
windows and storms
with: 400 Series, casement window
by Andersen
(or approved equal)

Install new Cedar trim (as
necessary); dimensions and style
to match existing; prime and paint
to match exterior window
color.

Existing window sill to remain.
Scrape and sand existing paint;
prime and paint to match exterior
window color

Replace (2) 31.5" x 18" windows
and storms with :
400 Series, casement windows
by Andersen
(or approved equal)



North- center replacement windows

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

Replace (4) 31.5" x 18" windows and storms with : 400 Series, casement windows by Andersen (or approved equal)



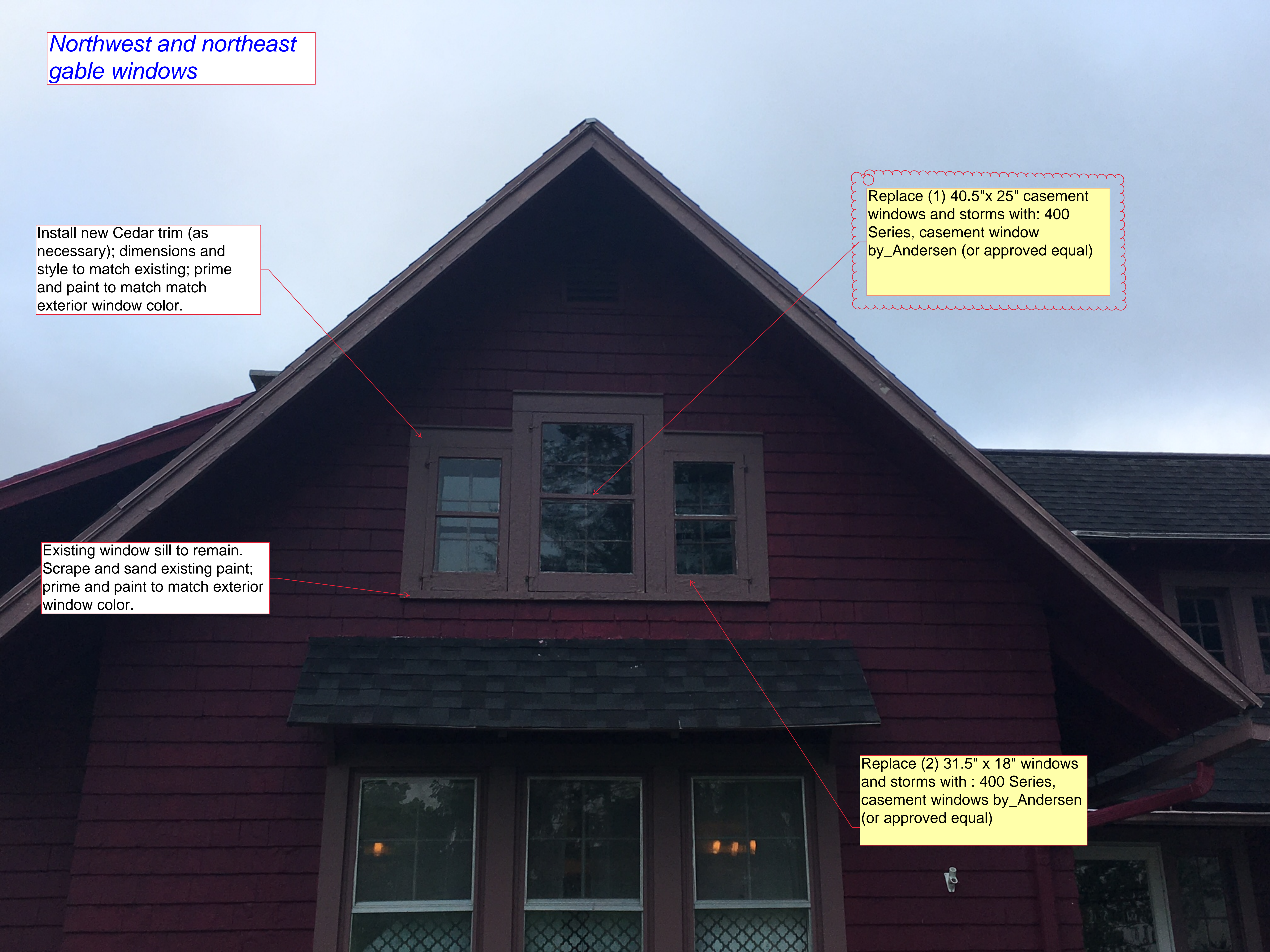
*Northwest and northeast
gable windows*

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Replace (1) 40.5"x 25" casement windows and storms with: 400 Series, casement window by Andersen (or approved equal)

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

Replace (2) 31.5" x 18" windows and storms with : 400 Series, casement windows by Andersen (or approved equal)



West windows

Replace (4) 31.5" x 18" windows and storms with : 400 Series, casement windows by Andersen (or approved equal)



Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

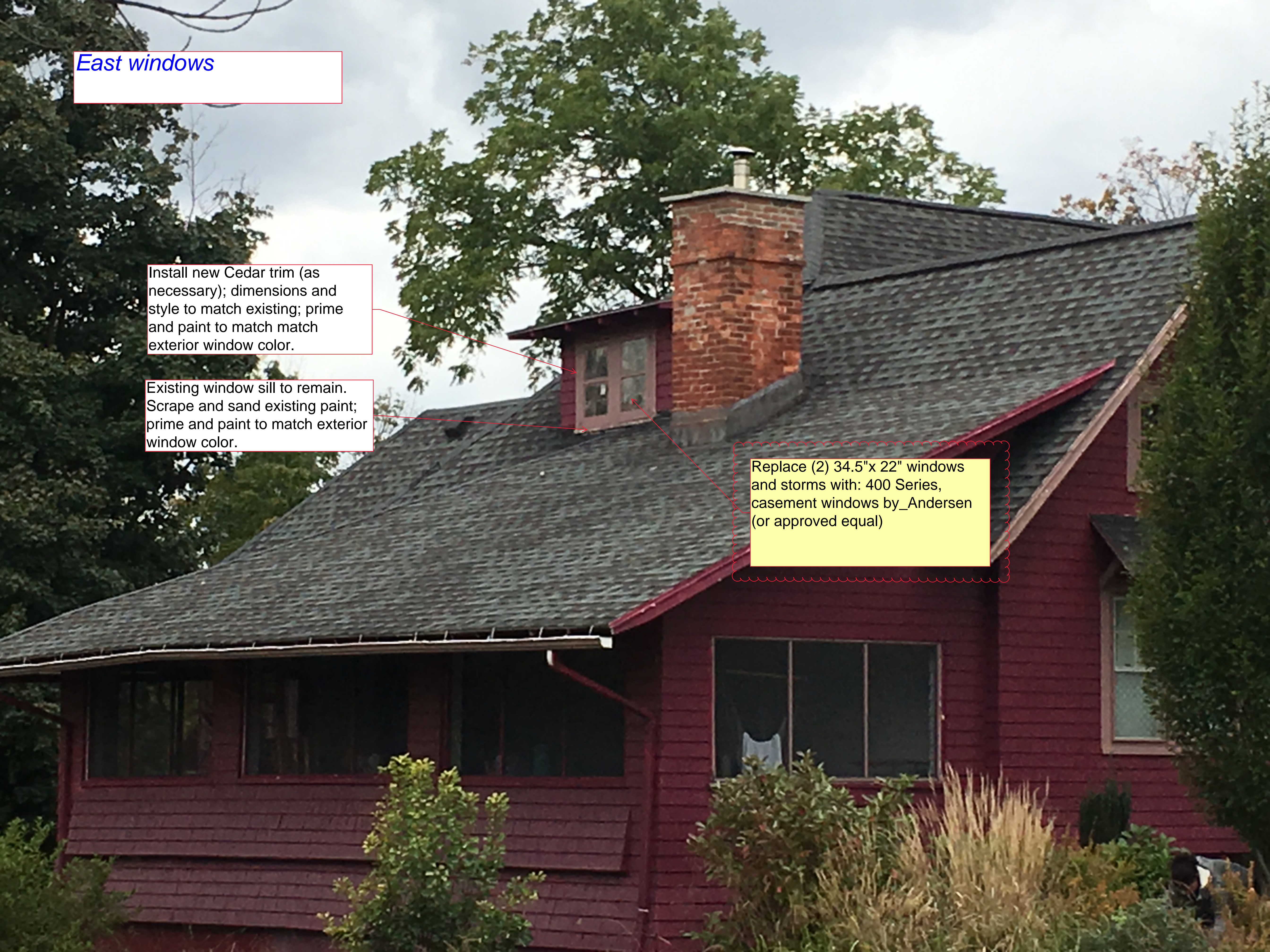
Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

East windows

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

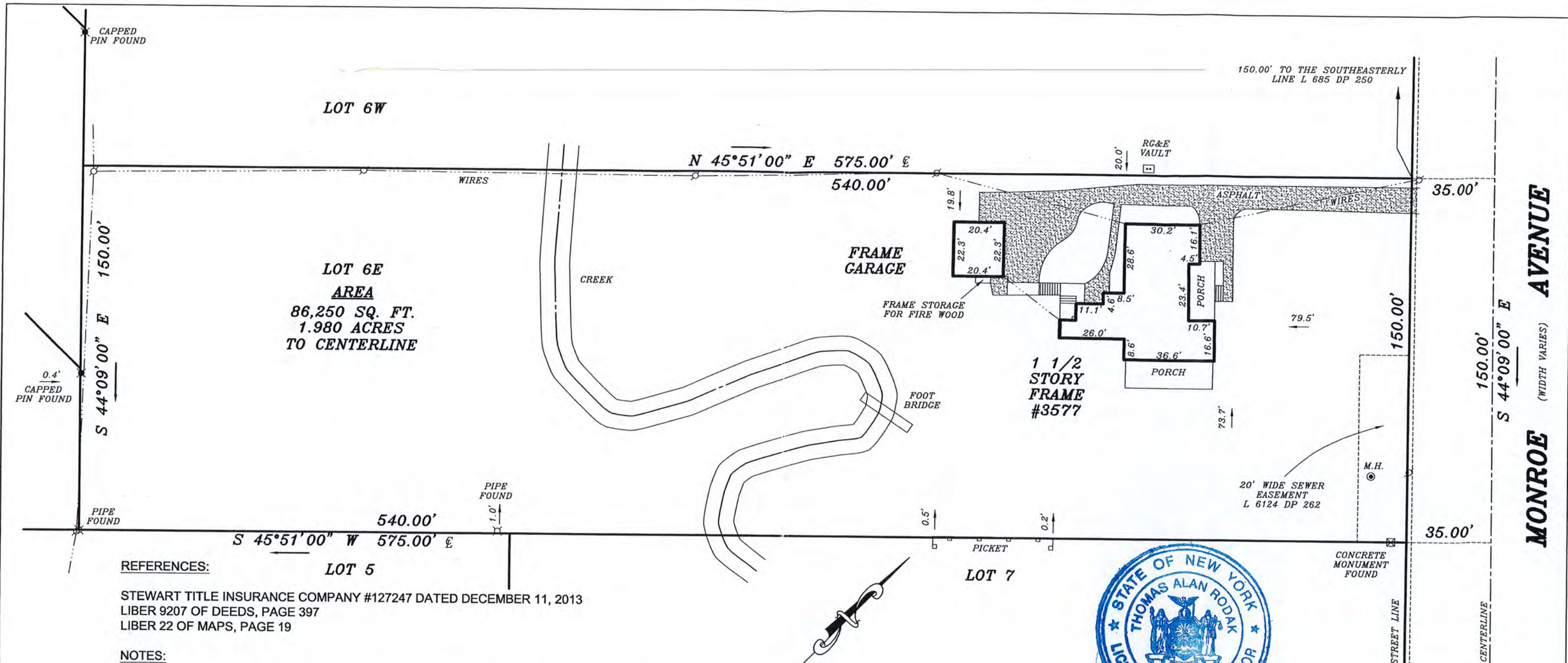
Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

Replace (2) 34.5"x 22" windows and storms with: 400 Series, casement windows by Andersen (or approved equal)









MONROE AVENUE
(WIDTH VARIES)

LOT 6E
AREA
86,250 SQ. FT.
1.980 ACRES
TO CENTERLINE

1 1/2
STORY
FRAME
#3577

REFERENCES:

STEWART TITLE INSURANCE COMPANY #127247 DATED DECEMBER 11, 2013
LIBER 9207 OF DEEDS, PAGE 397
LIBER 22 OF MAPS, PAGE 19


NOTES:

- PARCEL IS SUBJECT TO AN EASEMENT GRANTED TO DESPATCH HEAT, LIGHT AND POWER CO. FOR FIXTURES AS SET FORTH IN LIBER 767 OF DEEDS, PAGE 413.
- PARCEL IS SUBJECT TO RESTRICTIONS AS SET FORTH IN LIBER 1282 OF DEEDS, PAGE 101.
- SURVEY WAS PERFORMED UNDER SNOW COVER.
- PARCEL TAX ID #151.13-1-32

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO FIRST NIAGARA BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS; STEWART TITLE INSURANCE COMPANY; SCHELL LAW, P.C.; JOHN D. REDDINGTON; NICOLE H. REDDINGTON AND RAYMOND B. O'NEILL, JR., ESQ. THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JANUARY 9, 2014.

Thomas Rodak
THOMAS A. RODAK, P.L.S. #050246

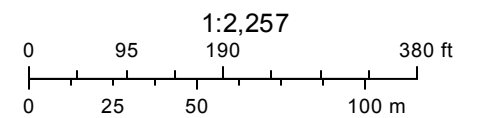


 <p>O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C. LAND SURVEYORS - PLANNERS BOUNDARY CONSULTANTS FLOOD ZONE DETERMINATIONS ALTA/ACSM SURVEYS</p>	<p>MAP OF A SURVEY</p> <p>LOT 6E</p> <p>LONG MEADOW TRACT</p> <p>TOWN OF PITTSFORD</p> <p>MONROE COUNTY, NEW YORK</p>		
	<p>5 SOUTH FITZHUGH STREET ROCHESTER, NY 14614</p> <p>PHONE (585) 325-7520 FAX (585) 325-1708 e-mail oneillrodak@frontiernet.net</p>	<p>CLIENT</p> <p>WOODS OVIATT GILMAN LLP</p>	<p>SCALE</p> <p>1" = 40'</p>
		<p>PROJECT NO.</p> <p>2013-1022</p>	

RN Residential Neighborhood Zoning



Printed February 20, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000051

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 63 Crestview Drive PITTSFORD, NY 14534

Tax ID Number: 164.11-2-43

Zoning District: RN Residential Neighborhood

Owner: Ward, John S

Applicant: Bear Creek Builders DBA Brady Technologies

Application Type:

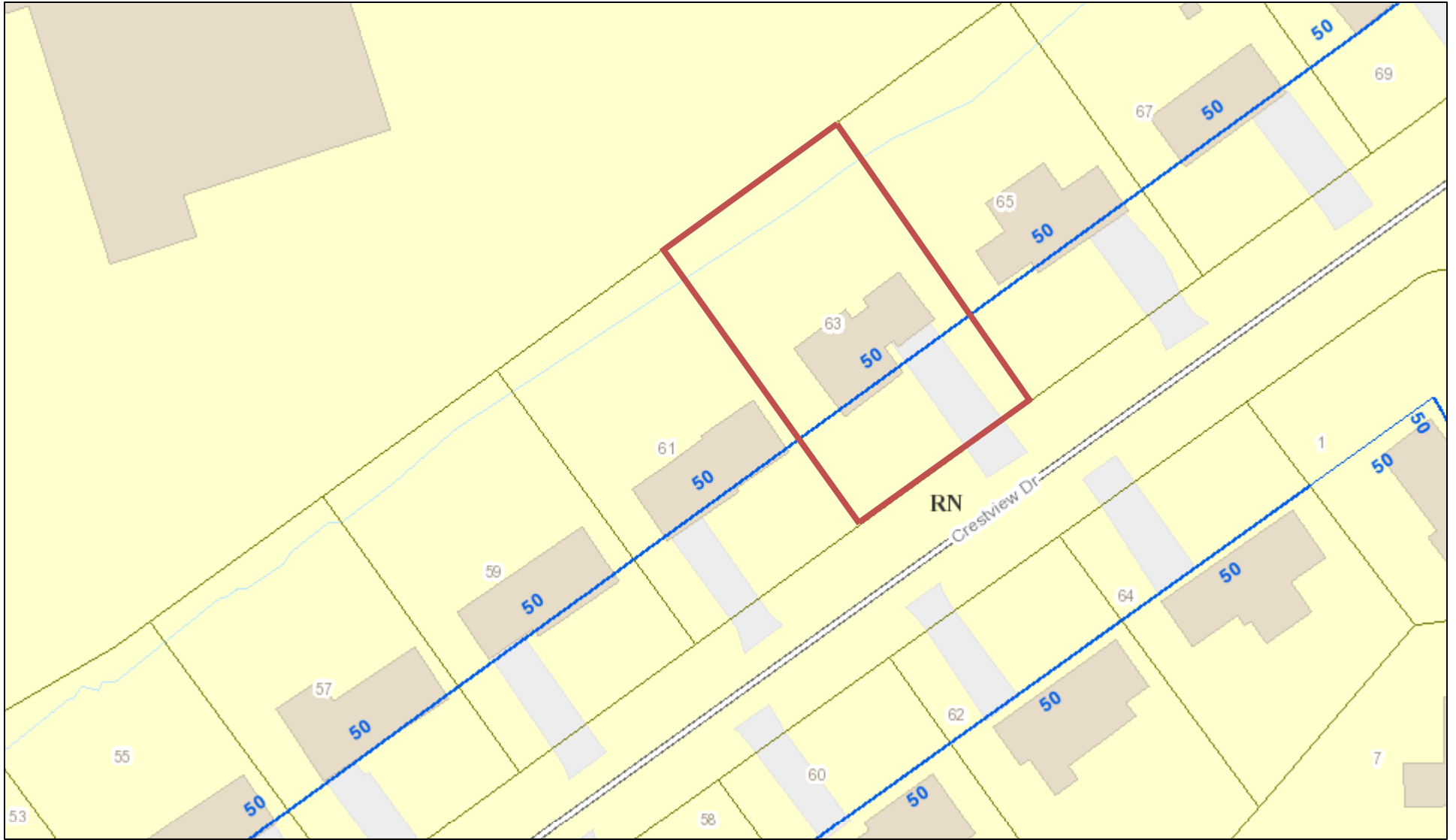
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a porch. The porch will be approximately 119 sq. ft. and will be located to the front of the existing home.

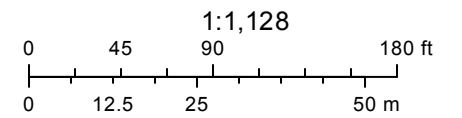
Meeting Date: April 25, 2019



RN Residential Neighborhood Zoning



Printed April 15, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



STANDARD TAPE LOCATION MAP

Name P. MAZZARÀ

Street CRESTVIEW DR. ~~SIT~~ Town PITTSFORD, N. Y.

Lot No. 8 Subdivision PLYMOUTH COLONY

Reference Data: Liber _____ of Maps, Page _____; Liber _____ of Deeds, Page _____

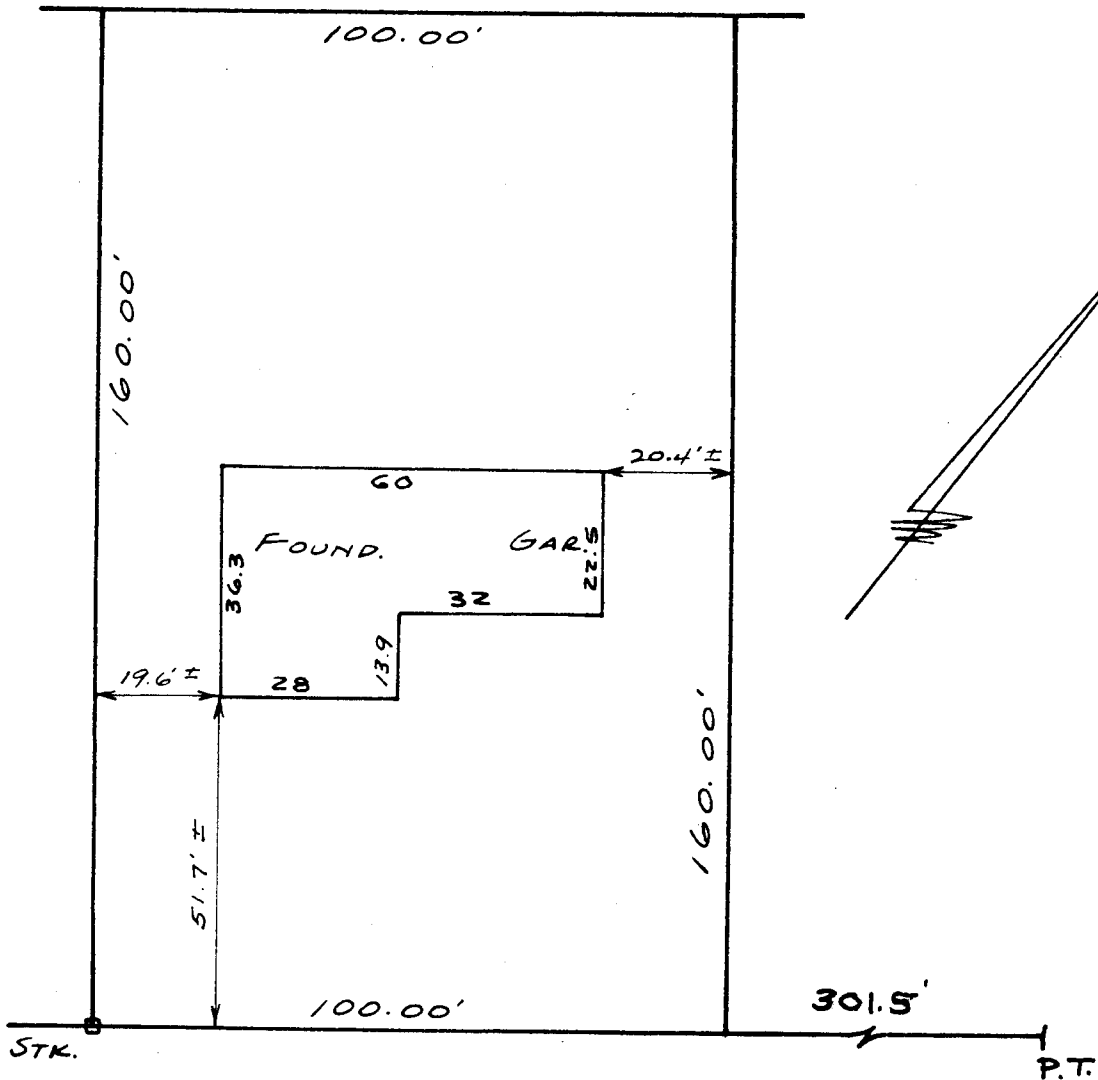
Showing FOUNDATION story dwelling; garage (~~not~~) attached.

Distance as shown from SOUTHERLEY property line actually measured.

Monuments used: Yes STK. ~~NO~~

All buildings on premises and any apparent encroachment by or on premises are shown.

Main front wall is (~~is not~~) on apparent uniform set-back line.



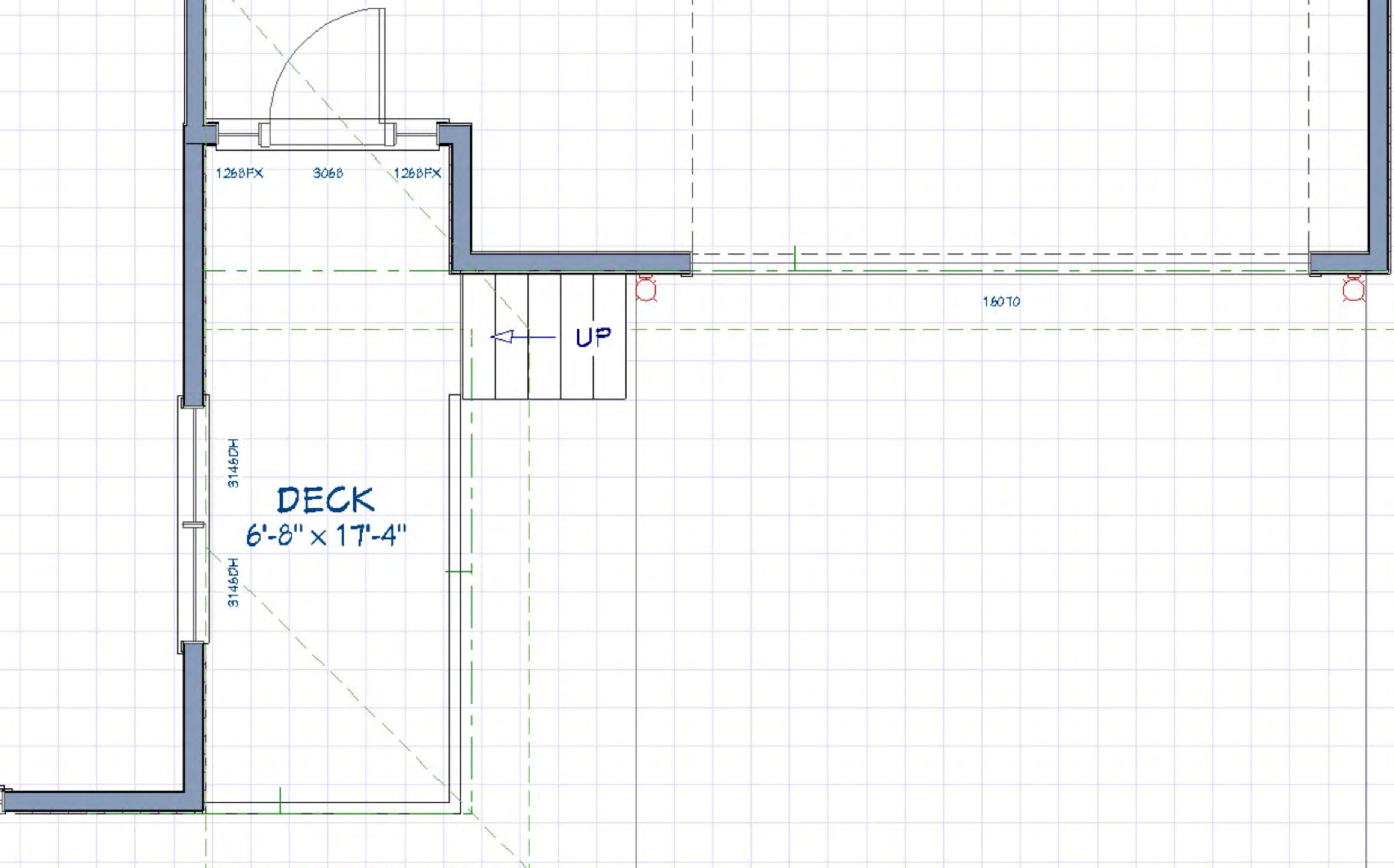
CRESTVIEW DR.



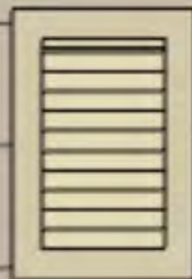
Sixty Three



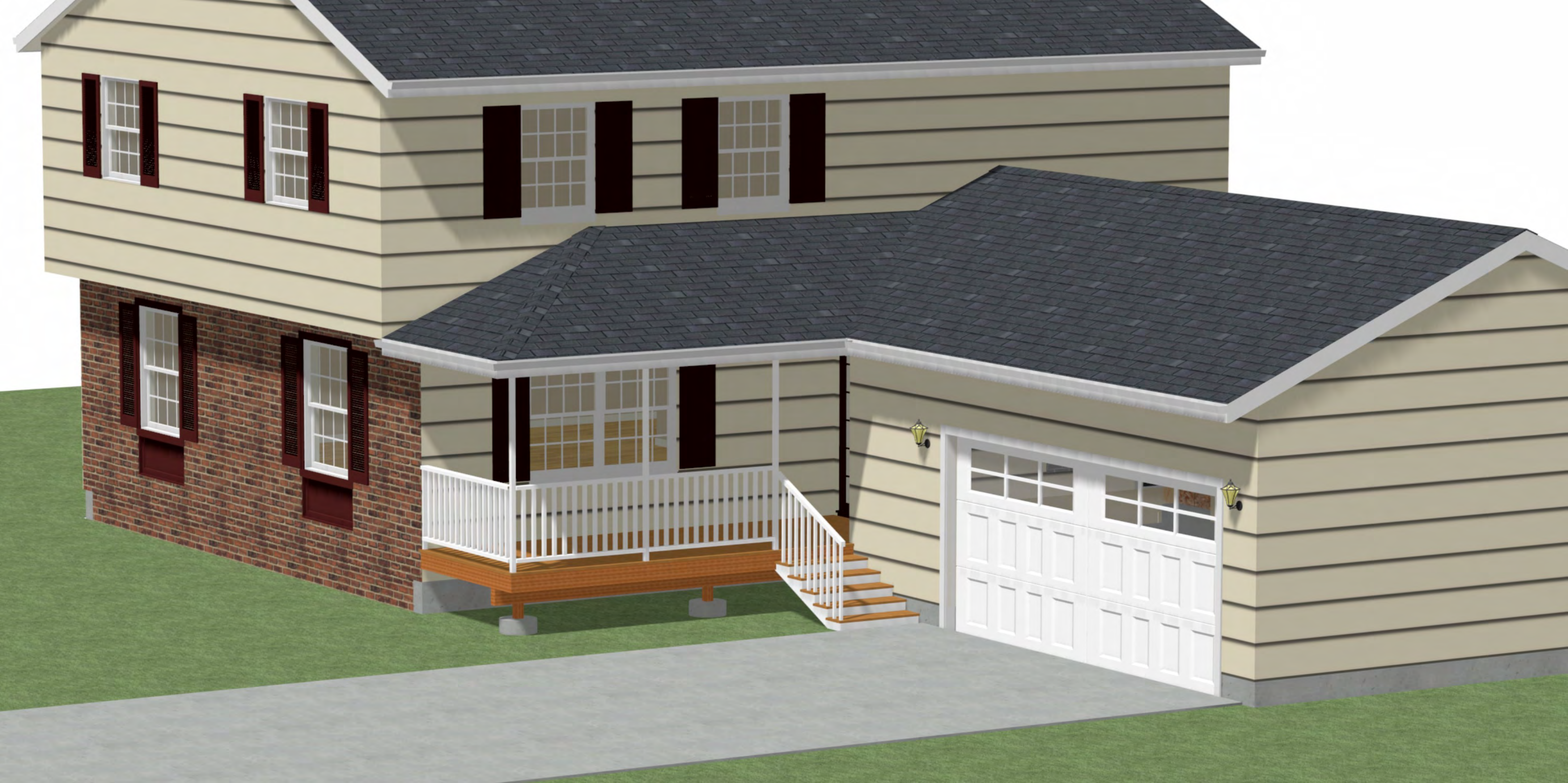




LIVING AREA
119 sq ft















Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000052

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 607 Roosevelt Road EAST ROCHESTER, NY 14445

Tax ID Number: 138.19-2-56

Zoning District: RN Residential Neighborhood

Owner: Laraway, Charles

Applicant: Todd Jones Custom Construction LLC

Application Type:

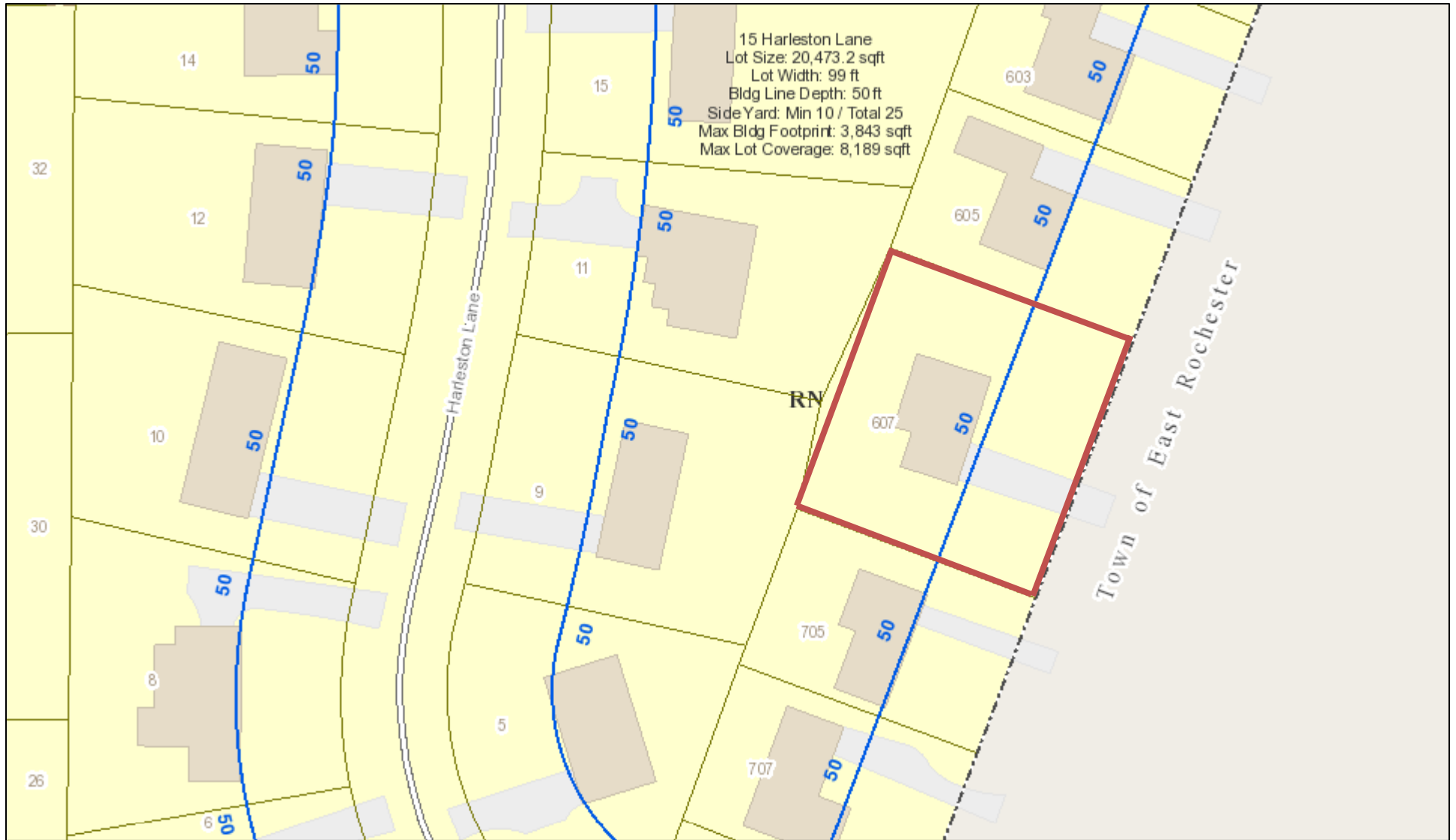
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a great room. The addition will be approximately 440 sq. ft. and will be located on the rear of the existing home.

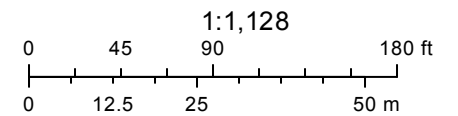
Meeting Date: April 25, 2019



RN Residential Neighborhood Zoning

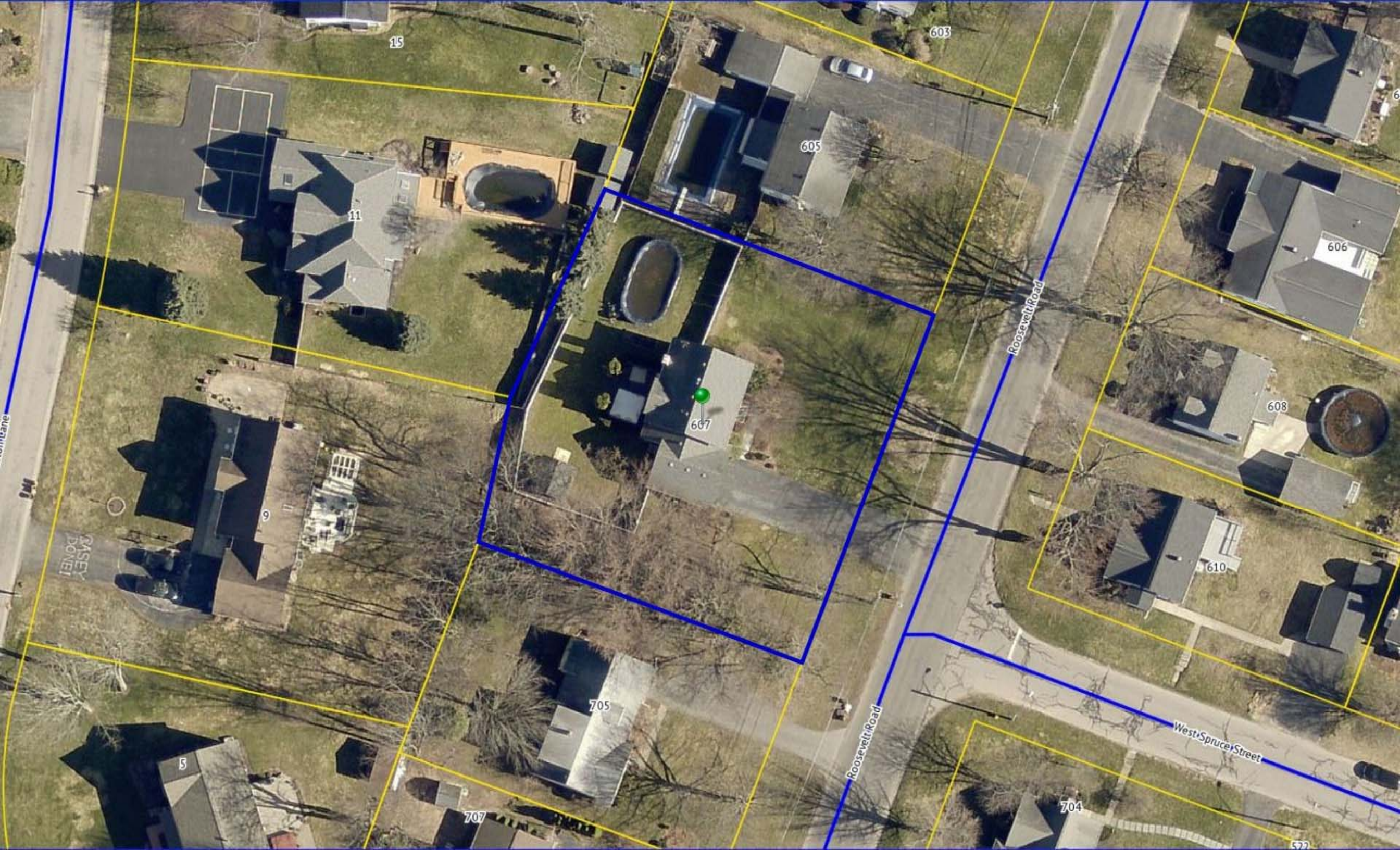


Printed April 18, 2019



Town of Pittsford GIS

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15

603

605

11

606

9

608

607

610

705

5

707

704

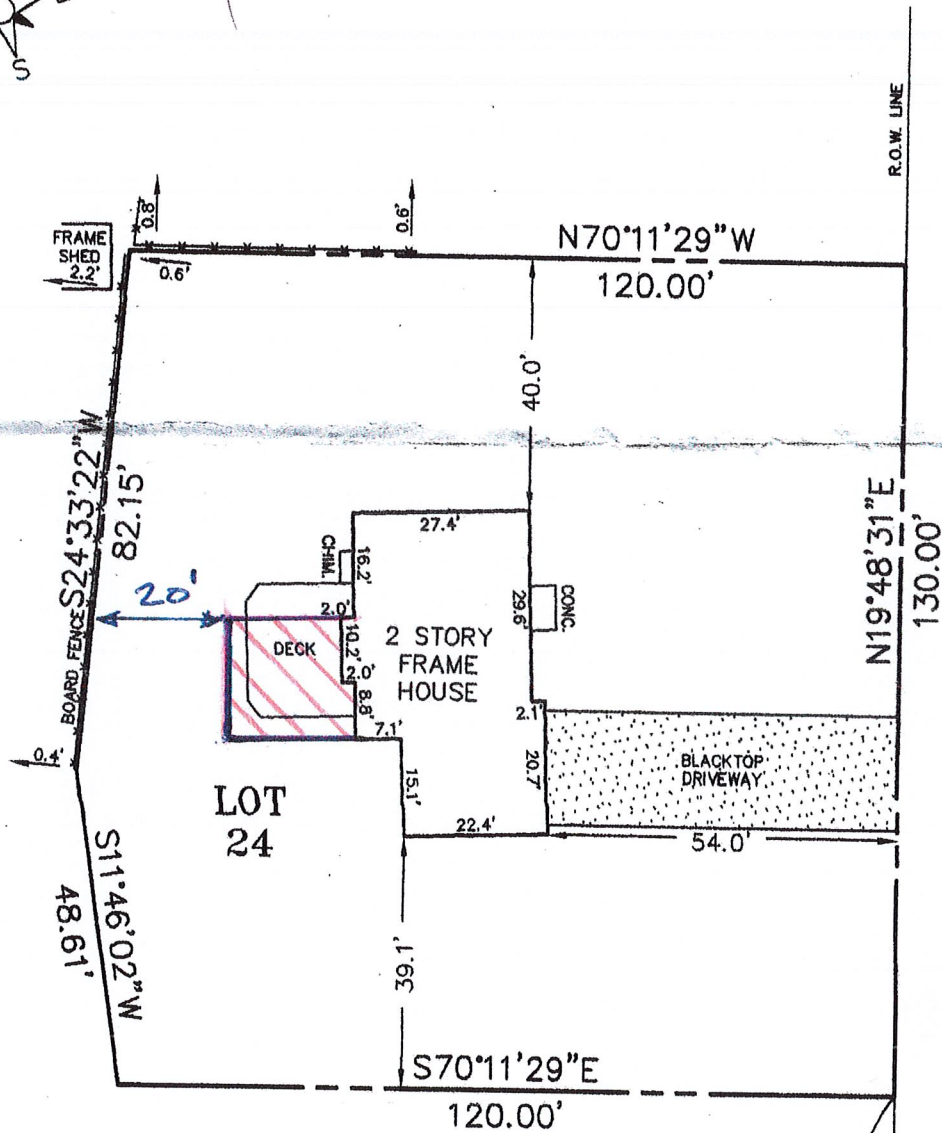
577

Roosevelt Road

Roosevelt Road

West Spruce Street

CASEY DOWNEY



ROOSEVELT ROAD
(60' R.O.W.)

240.00' TO NORTH R.O.W.
OF HARLESTON LANE

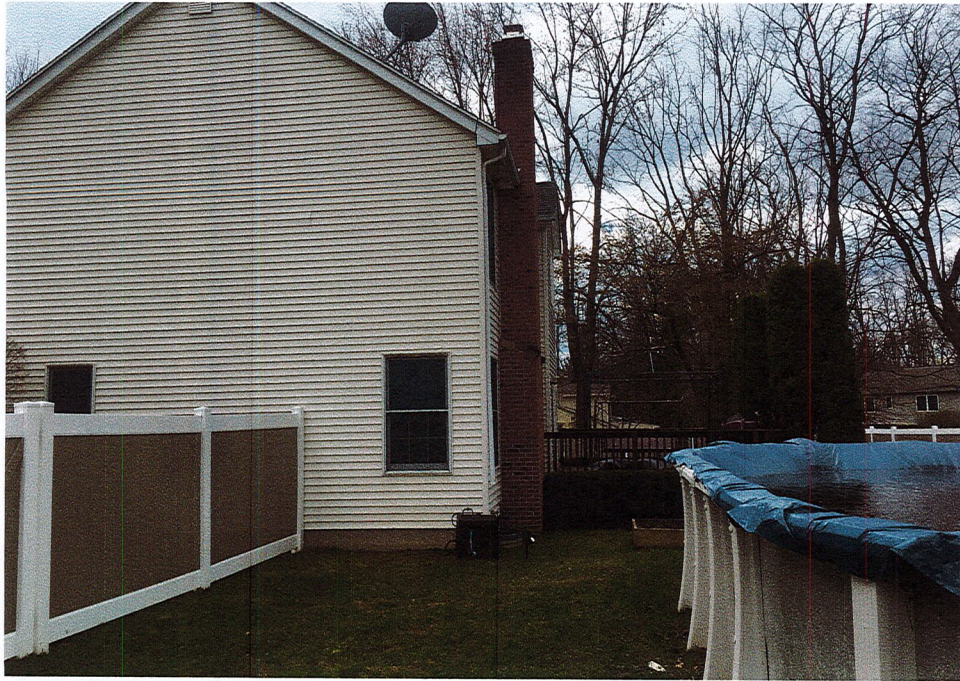
REFERENCES:

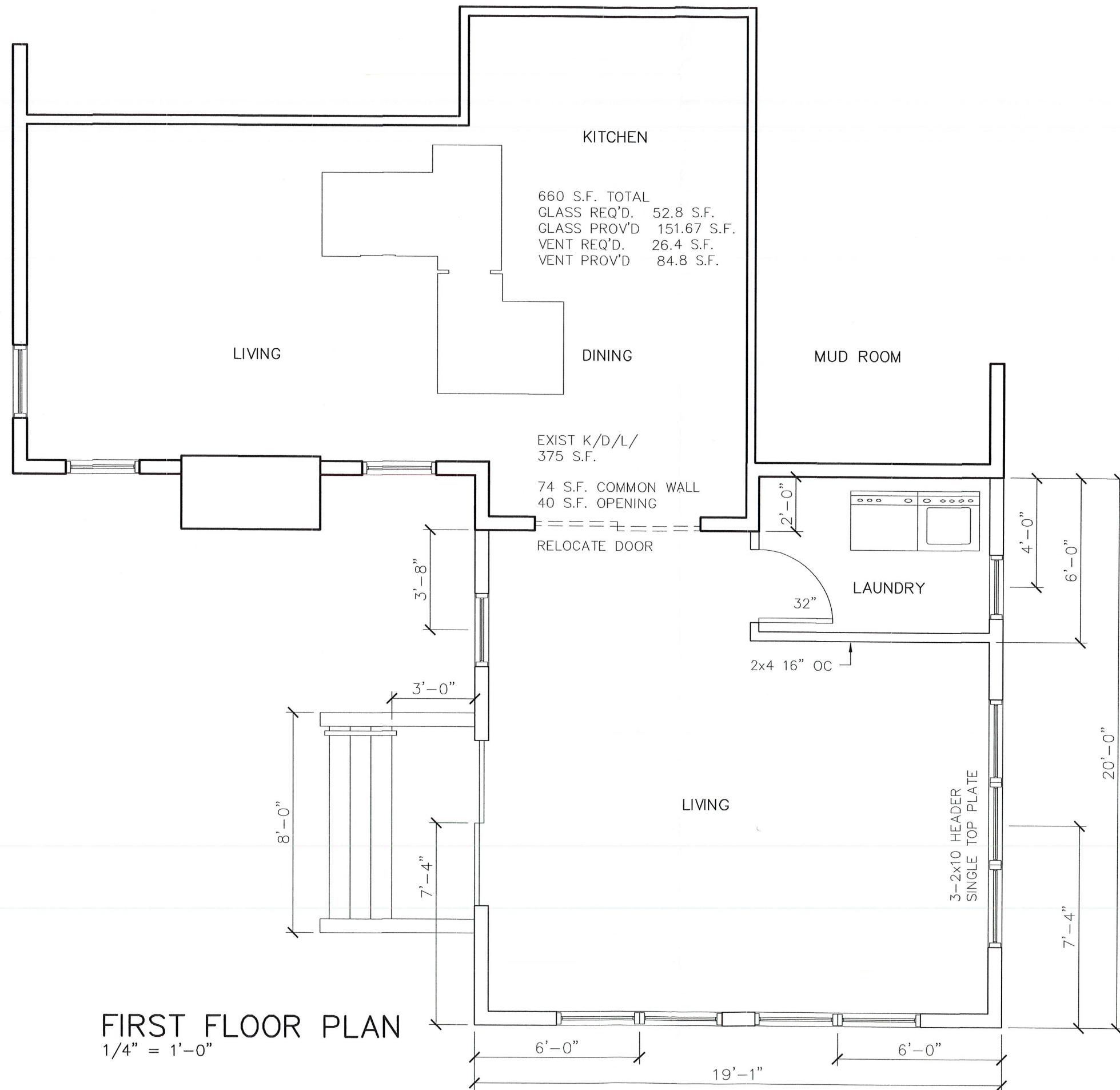
1. ABSTRACT OF TITLE NO. 102100/24 (STEWART 6-9-16).
2. LIBER 10316 OF DEEDS, PAGE 105.
3. LIBER 262 OF MAPS, PAGE 55.
4. EASEMENT FOR WATERMAINS PER L-724D, P-158 (NO LOCATION GIVEN).
5. EASEMENT FOR SEWERS PER L-723D, P-362 (NO LOCATION GIVEN).
6. EASEMENT FOR POLES & WIRES PER L-723D, P-351 (NO LOCATION GIVEN).
7. EASEMENT FOR GAS MAINS PER L-723D, P-353 (NO LOCATION GIVEN).

CERTIFICATION:

I hereby certify to:
 CHARLES LARAWAY;
 HOLLY E. DUNN;
 WALTER J. LICATA, ESQ.;
 THE TITLE INSURANCE COMPANY INSURING THE PREMISES;
 that this map was made JUN. 1, 2016 from notes of an Instrument
 Survey completed JUN. 9, 2006 and from references listed above.



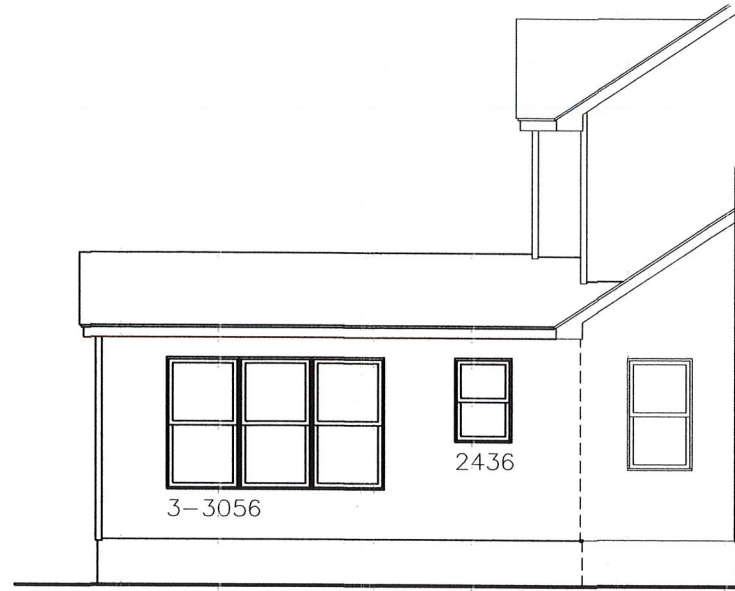




HOUSE PLANS
 FOR
 607 ROOSEVELT ROAD
 PITTSFORD, NEW YORK

FIRST FLOOR PLAN
 1/4" = 1'-0"

LOSON ARCHITECTURE PLLC 284 THORNTON ROAD ROCHESTER NY 14617 585-406-4757	
DATE	DW'G NO.
4/8/19	A-1



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



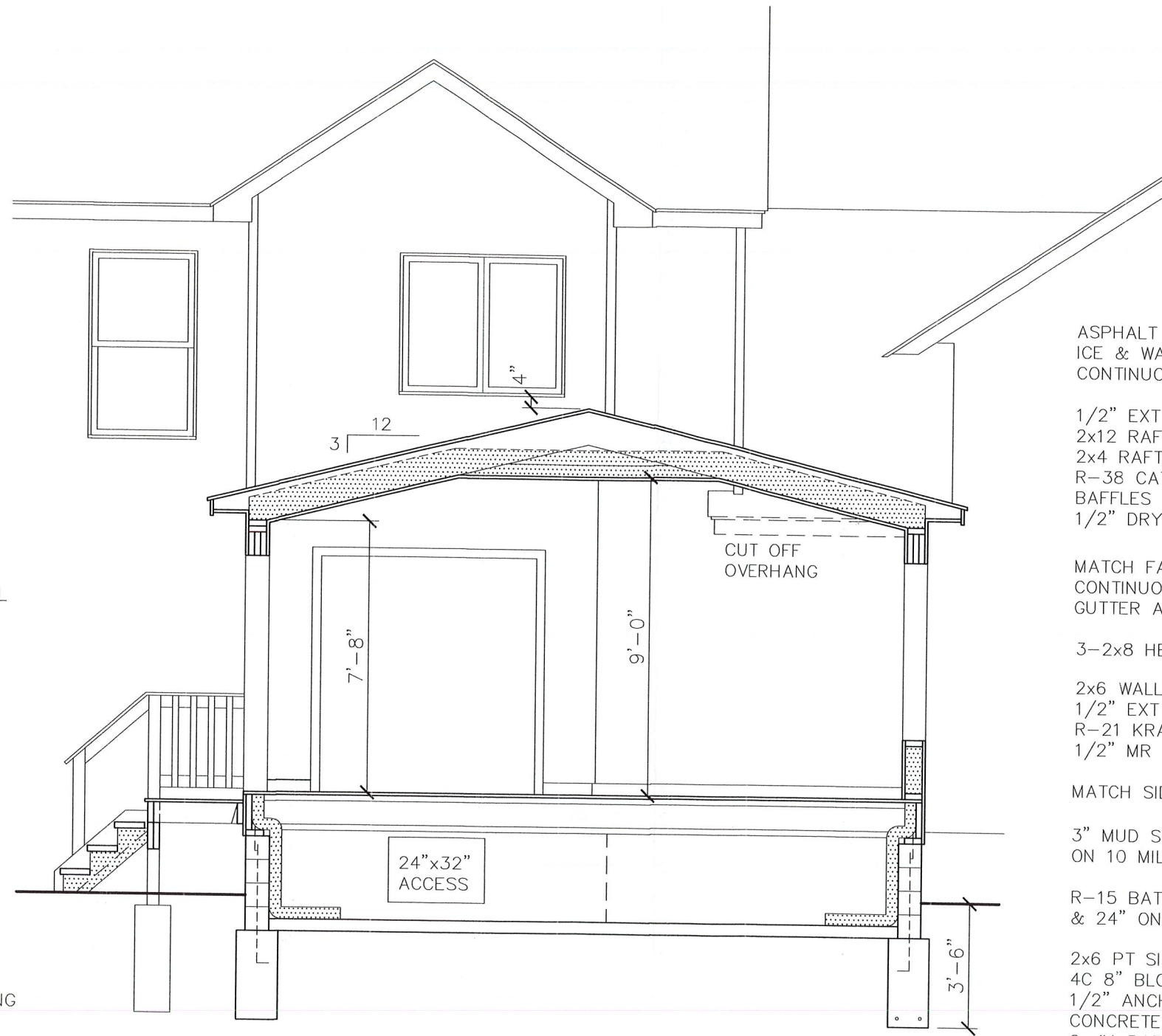
WEST ELEVATION
1/8" = 1'-0"

HOUSE PLANS
FOR
607 ROOSEVELT ROAD
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC
284 THORNTON ROAD
ROCHESTER NY 14617
585-406-4757

DATE
4/8/19

DW'G NO.
A-2



1x4 TOP CAP
 2x4 TOP RAIL
 2x4 BOT RAIL
 2x2 PICKETS
 4" MAX OPENING
 36" GUARD
 34" INSET HAND RAIL

5/4x6 DECKING
 2x8 JOISTS 16" OC
 2x8 LEDGER LAG
 TO BOX 16" OC
 HANG JOIST
 2-2x10 BEAM W/
 SIMPSON HUC210-2
 TO SIDE OF POSTS

2x10 TREADS
 HOLD TOP TREAD
 1" OFF LANDING
 9" TREADS
 7 3/4" RISER MAX
 2x10 END & INT
 STRINGERS

4x4 POSTS
 12" DIA CONC FOOTING
 SIMPSON PB44
 POST BASE

ASPHALT SHINGLES ON
 ICE & WATER ENTIRE DECK
 CONTINUOUS RIDGE VENT

1/2" EXT PLYWD SHEATHING
 2x12 RAFTERS 24" OC
 2x4 RAFTER TIE 24" OC
 R-38 CATHEDRAL KRAFT BATT INS W/
 BAFFLES FULL HT
 1/2" DRYWALL

MATCH FASCIA & SOFFIT
 CONTINUOUS VENTED
 GUTTER AND SPOUTS

3-2x8 HEADERS UNLESS NOTED

2x6 WALLS 16" OC
 1/2" EXT PLYWD SHEATHING
 R-21 KRAFT BATT INS
 1/2" MR DRYWALL

MATCH SIDING & TRIM

3" MUD SLAB
 ON 10 MIL POLY

R-15 BATT INS ON WALL
 & 24" ONTO FLOOR

2x6 PT SILL PLATE
 4C 8" BLOCK FOUNDATION W/
 1/2" ANCHOR BOLT 6'-0" OC
 CONCRETE TRENCH FOOTING
 2-#4 BARS CONTINUOUS &
 #4 DOWEL 6'-0" OC

BUILDING SECTION
 1/4" = 1'-0"

HOUSE PLANS
 FOR
607 ROOSEVELT ROAD
 PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC
 284 THORNTON ROAD
 ROCHESTER NY 14617
 585-406-4757

DATE
 4/8/19

DWG NO.
 A-3



603







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000053

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 1 Cedarwood Circle PITTSFORD, NY 14534

Tax ID Number: 178.11-2-34

Zoning District: RN Residential Neighborhood

Owner: Grossi, Steven L

Applicant: Grossi, Steven L

Application Type:

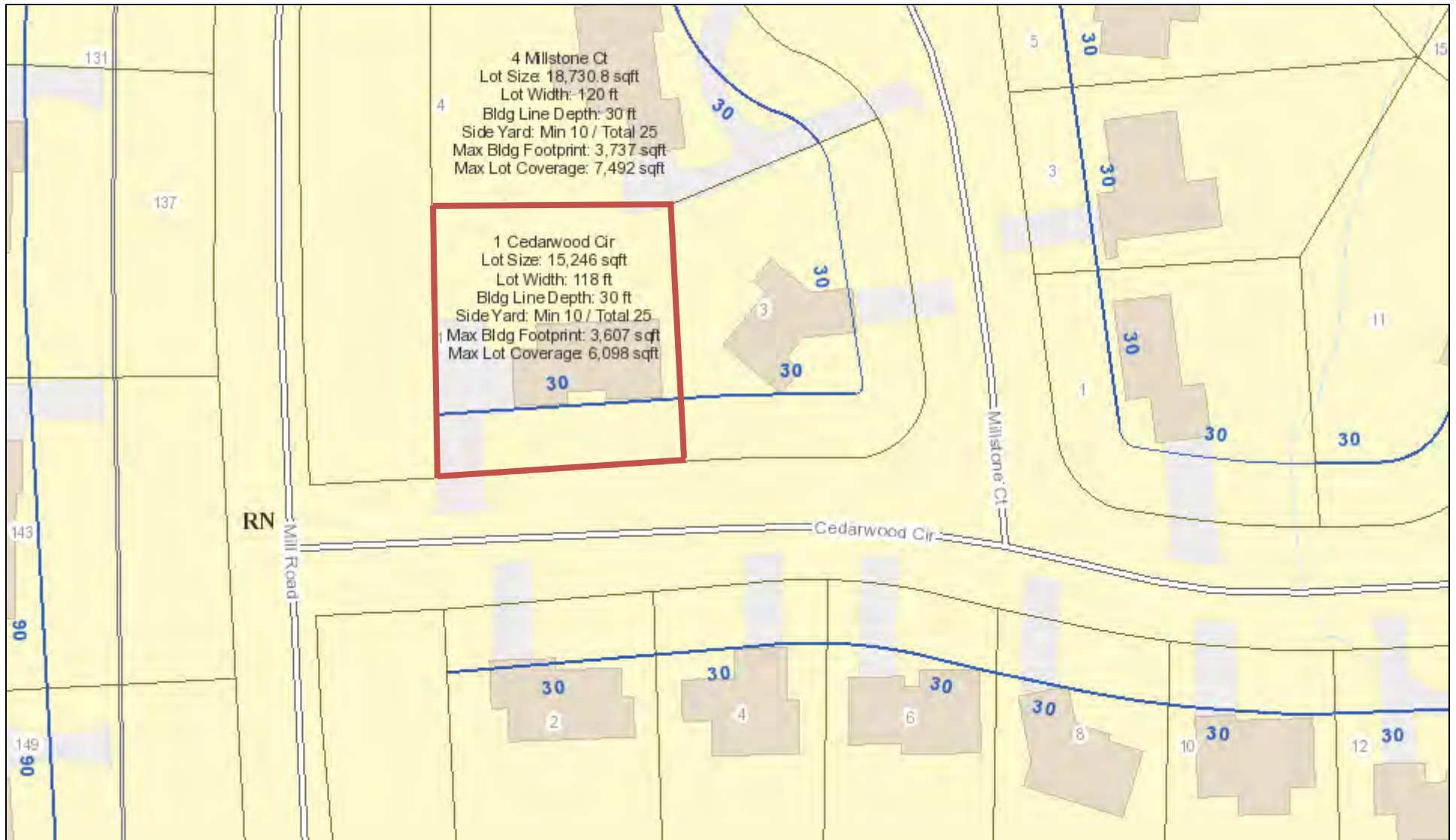
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a screened porch. The addition will be approximately 360 sq. ft. and will be located to the rear of the existing home.

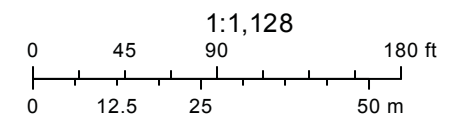
Meeting Date: April 25, 2019



RN Residential Neighborhood Zoning



Printed April 18, 2019



Town of Pittsford GIS

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131

137

143

149

Mill Road

Mill Road

Mill Road

6

4

1

3

5

3

1

11

Cedarwood Circle

Cedarwood Circle

Millstone Court

2

4

6

8

10

12

MILL ROAD
(40' WIDE R.O.W.)

N/F LANDS OF R.G.&E. CORP
PER REF. No. 1
(60' WIDE)

R.O.W.
LINE

(LOT 203)



N 80°00'44" W
117.60'

20' WIDE PERMANENT
EASEMENT TO M.C.W.A.
(PER REF. No. 1)

AREA =
15,070 SQ. FT.
0.346 ACRES

BOARD FENCE

Porcht

WOOD FENCE
CONC. STORAGE AREA

3.1' FNC.
3.9' B/T

6.7' FNC.

6.7' FNC.

(LOT 202)

N 06°40'56" E
122.00'

R=2753.75'

L=128.86'

1.3' B/T
I.P. FND.
& HELD

20.0'

N 83°19'04" W
121.82'

I.P. FND.
W.-0.3' R.O.W.
LINE

10' WIDE
UTILITY EASEMENT
(PER REF. No. 1)

(60' WIDE R.O.W.)
CEDARWOOD CIRCLE

CERTIFICATION:

I, DAVID A. STAUB, HEREBY CERTIFY TO:
-STEVEN GROSSI
-JAMES MARTIN, ITS SUCCESSORS AND/OR ASSIGNS,
AS THEIR INTEREST MAY APPEAR
-FIRST AMERICAN TITLE INSURANCE COMPANY
-MORGENSTERN DEVOESICK, PLLC.

THAT THIS MAP WAS MADE NOVEMBER 18, 2013
FROM NOTES OF AN INSTRUMENT SURVEY
COMPLETED NOVEMBER 6, 2013
AND REFERENCES LISTED HEREON.

REFERENCES:

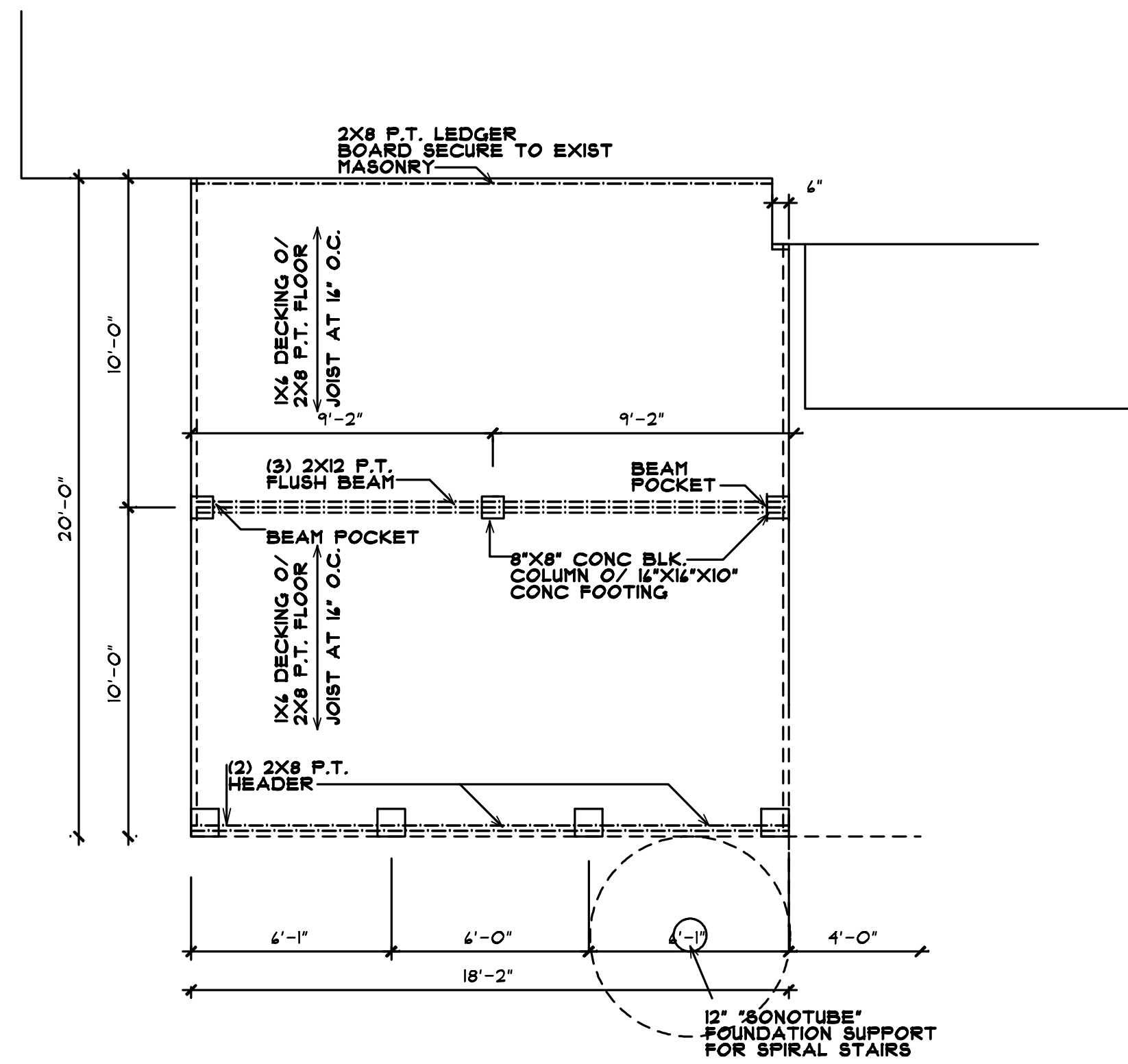
- 1.) LIBER 207 OF MAPS, PAGE 55.
- 2.) LIBER 10386 OF DEEDS, PAGE 269.
- 3.) ABSTRACT OF TITLE No. 166110. (PUBLIC).
- 4.) EASEMENT TO R.G.&E. & R.T.C. PER LIBER 5,476 OF DEEDS, PAGE 237. (10' STRIP ACROSS FRONT LINE).
- 5.) SURVEY BY TRI-COUNTY, DATED 11/16/06.



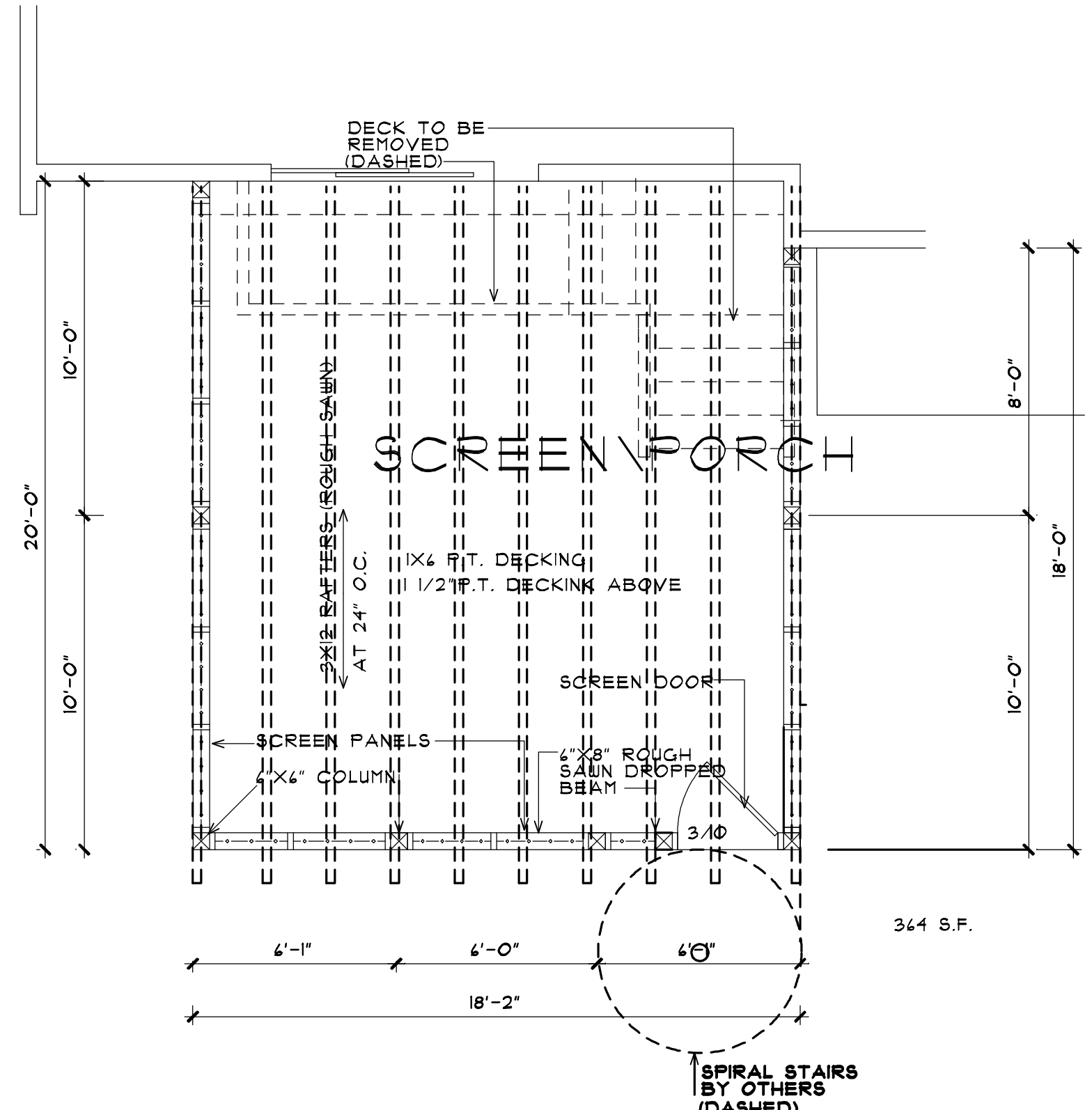
N.Y.S.R.C.S. No. _____ DATE _____

NOTE: PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD.

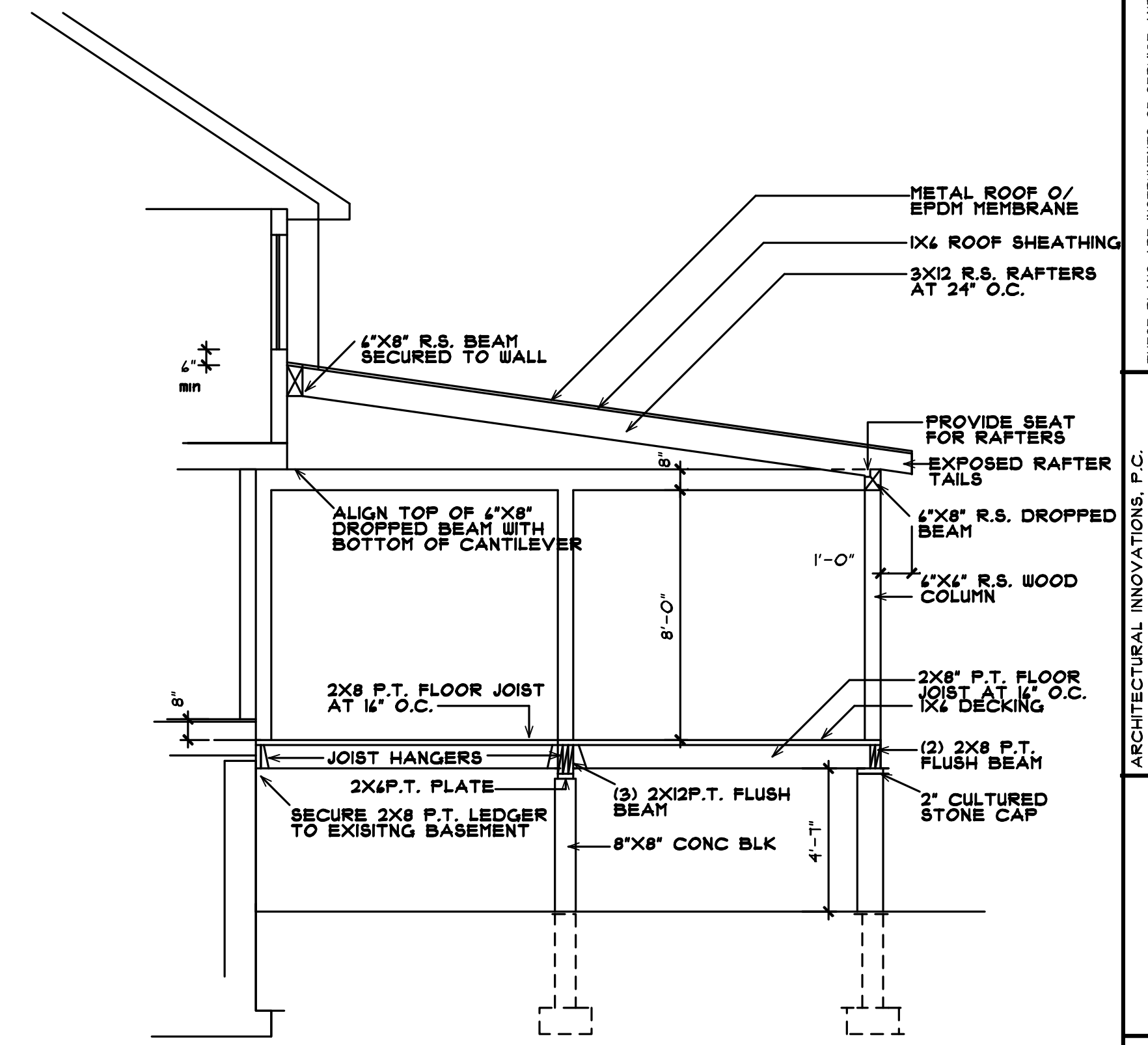
INSTRUMENT SURVEY MAP
1 CEDARWOOD CIRCLE
BEING LOT No. 201 OF THE



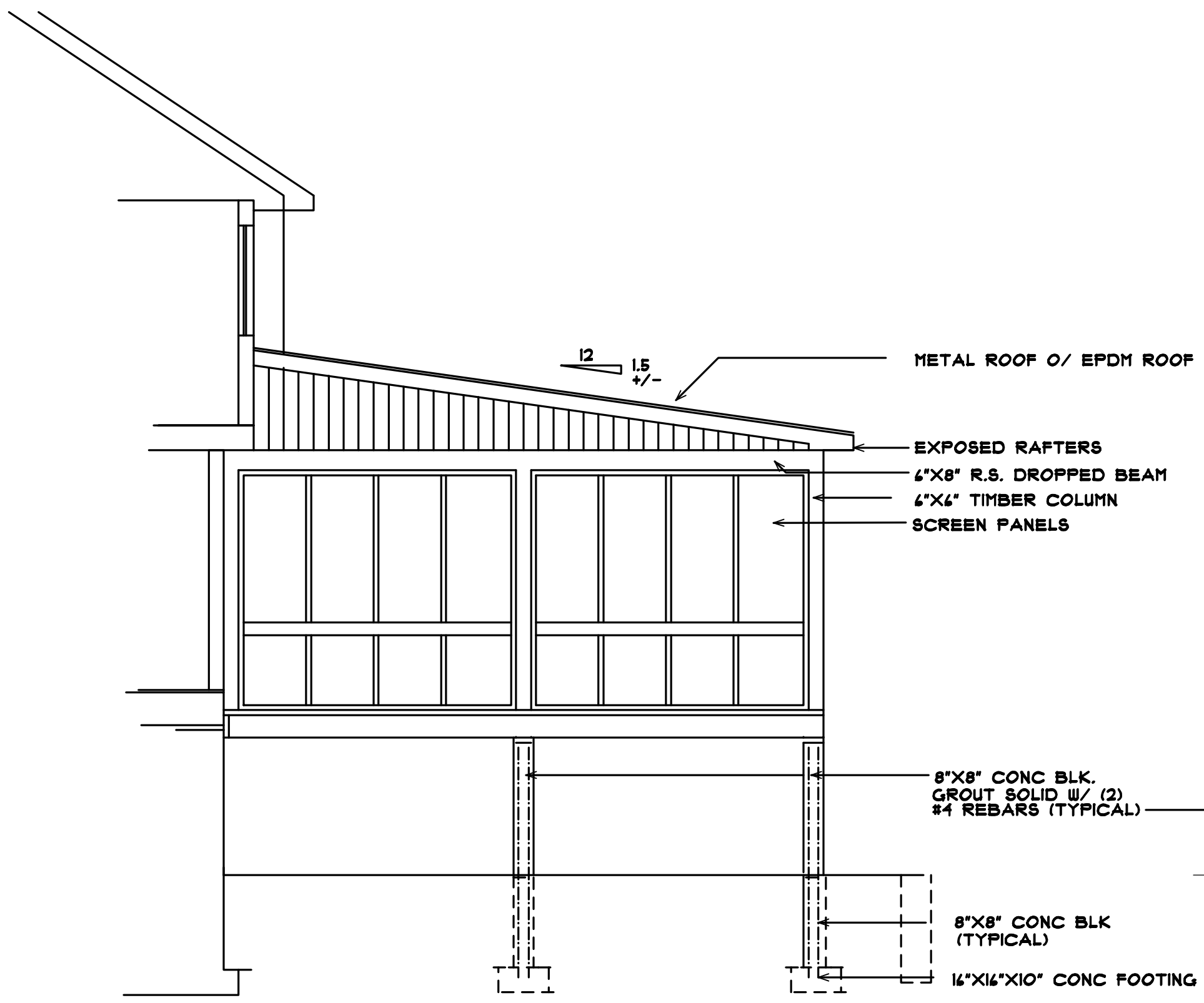
FOUNDATION PLAN



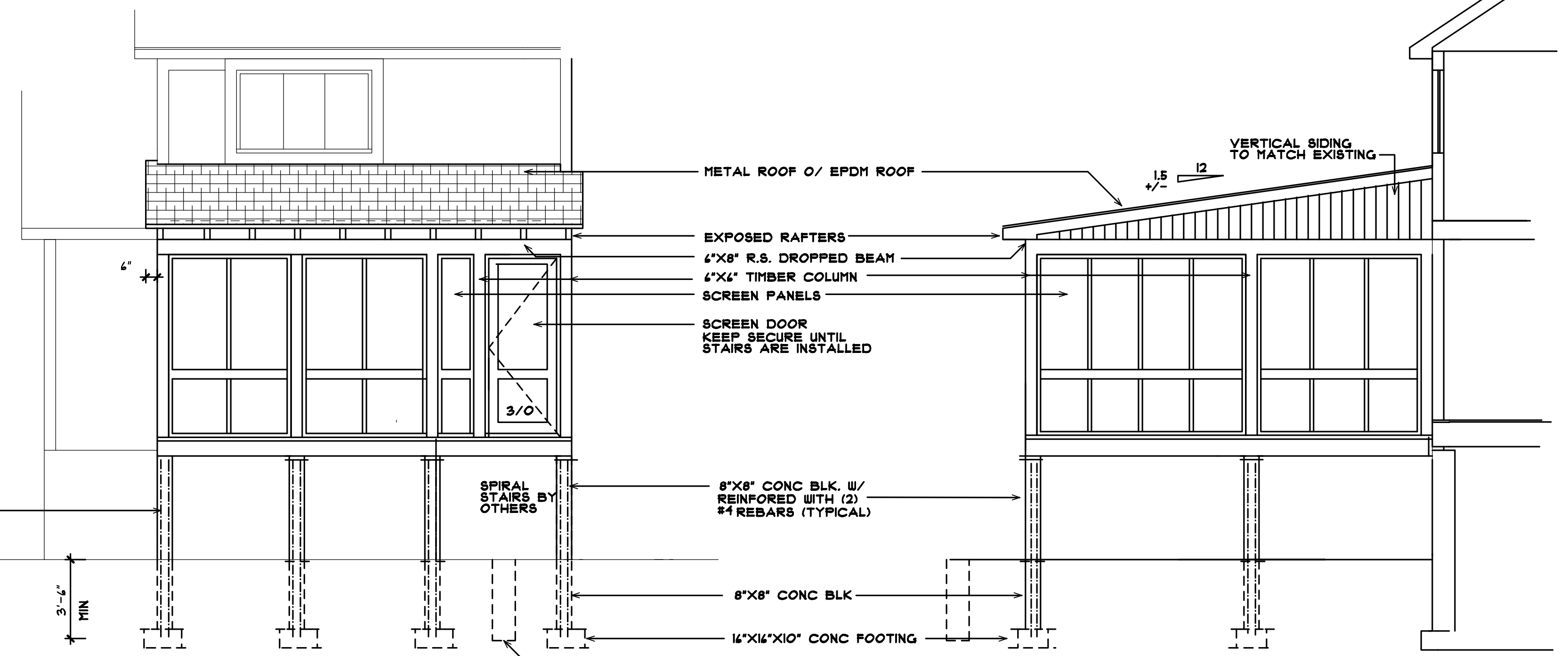
FLOOR PLAN



SECTION



EAST ELEVATION



NORTH ELEVATION

WEST ELEVATION

SCALE : 1/4" = 1'-0"

THESE PLANS ARE INSTRUMENTS OF SERVICE AND MUST NOT BE REPRODUCED, COPIED, EITHER WHOLLY OR PARTIALLY, WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL INNOVATIONS, P.C.

QUALITY CONTROL: ALL DIMENSIONS TO THESE PLANS SHALL BE VERIFIED BY THE ARCHITECT OR AN INDEPENDENT THIRD PARTY AS SPECIFIED IN SECTION 1004, ARTICLE 115.

CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND BE RESPONSIBLE FOR ERRORS AND OMISSIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY AGENCIES OR PROCEDURES AND FOR THE WORK.

ARCHITECTURAL INNOVATIONS, P.C.

99 SHOREHAM DRIVE
ROCHESTER, NEW YORK 14418
585-385-5540 E-MAIL: AIPC@AOL.COM

NO.	REVISION	DATE	BY

PROJECT: SCREEN PORCH ADDITION
DRAWING TITLE: 10 OF 2
PROJECT LOCATION: CEDARWOOD DRIVE, PITTSFORD, NEW YORK
CLIENT: STEVE GROSSI

GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE UNIFORM BUILDING AND FIRE PREVENTION CODE, AND ANY APPLICABLE STATE, COUNTY, OR LOCAL REGULATIONS
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE DRAWINGS)
- FINAL LOCATION OF HOUSE AND VERIFICATION OF LOT AND PLACEMENT TO BE THE SOLE RESPONSIBILITY OF THE BUILDER AND SITE ENGINEER. LAYOUT IS APPROXIMATE AND BASED ON INFORMATION PROVIDED TO US BY BUILDER. ARCHITECTURAL INNOVATIONS, P.C. DOES NOT ASSUME ANY RESPONSIBILITY FOR FINAL PLACEMENT OF BUILDING

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL, AND STEPPED AS REQ'D. TO MAINTAIN THE MINIMUM FOOTING DEPTH BELOW FINISHED GRADE
- SOIL BEARING PRESSURE IS ASSUMED TO BE TWO (2) TONS PER SQUARE FOOT
- ANY FILL UNDER GRADE SUPPORTED SLABS SHALL BE A MINIMUM OF 4" COMPACTED GRANULAR MATERIAL
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25'-0" (MAXIMUM) INTERVALS EACH WAY
- PROVIDE A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FOOT OF CRAWLSPACE AREA
- BEAM POCKETS IN CONCRETE BLOCK WALLS TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3". FILL ALL BLOCK CORES BELOW SOLID WITH CONCRETE AND (2) #5 RE-ROD VERTICAL - (FULL HEIGHT)
- DAMP-PROOF BASEMENT WALLS BEFORE BACKFILLING - PROVIDING 4" DIAMETER PERFORATED PERIMETER DRAIN TILE BELOW THE TOP OF FOOTING - SEE TYPICAL WALL/BUILDING SECTION

STRUCTURAL NOTES

- FLOOR & CEILING JOISTS TO BE #2 GRADE HEM FIR 915 FSI OR BETTER FOR REPETITIVE MEMBERS. HEADERS & BEAMS TO BE #2 GRADE HEM FIR 850 FSI OR BETTER
- SINGLE FLOOR JOISTS EACH SIDE OF ALL PARALLEL PARTITIONS. SPREAD 3" (BASEMENT & FIRST FLOOR). FOR HEAT RUNS, SPREAD 5 1/2" FOR HEAT FLUES
- DOUBLE FLOOR JOISTS EACH SIDE OF ALL BEARING PARTITIONS. SPREAD 3" (BASEMENT). FOR HEAT RUNS, SPREAD 5 1/2" FOR HEAT FLUES
- FIRST FLOOR - (2) 2 X 4 HDR. OVER OPENINGS UP TO 4'-0" WIDE - FLOOR LOADS ONLY (NO ROOF & STACKED UNDER WINDOWS ABV.) - UNLESS OTHERWISE NOTED
- FIRST FLOOR - (3) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF & FLOOR LOADS) - UNLESS OTHERWISE NOTED.
- SECOND FLOOR - (2) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF LOADS) - UNLESS OTHERWISE NOTED.
- DENSISHIELD TO 5'-0" OVER TUBS AND AROUND ENTIRE SHOWER STALL
- PROVIDE SOLID BLOCKING UNDER ALL HEADERS AND MICRO-LAMS TO FOUNDATION EQUAL TO WIDTH OF HDR. AND 3" (MIN.) DEPTH

MAXIMUM ALLOWABLE SPANS

RAFTER SIZING (HORIZONTAL SPAN)

MAXIMUM CLEAR SPANS AT 16" O.C. : L/180 (50# LIVE LOAD, 10# DEAD LOAD - NO DRYWALL)

2 X 6 = 9'-1"
2 X 8 = 12'-2"
2 X 10 = 14'-10"
2 X 12 = 17'-3"

CEILING JOIST SIZING

MAXIMUM CLEAR SPANS AT 16" O.C. : L/340 (20# LIVE LOAD, 10# DEAD LOAD)

2 X 6 = 11'-5"
2 X 8 = 15'-1"
2 X 10 = 19'-3"
2 X 12 = 22'-8"

FLOOR JOIST SIZING (FIRST FLOOR ONLY)

MAXIMUM CLEAR SPANS AT 16" O.C. : L/340 (40# LIVE LOAD, 15# DEAD LOAD)

2 X 6 = 9'-1"
2 X 8 = 11'-10"
2 X 10 = 14'-4"
2 X 12 = 16'-9"

FLOOR JOIST SIZING (SECOND FLOOR ONLY)

MAXIMUM CLEAR SPANS AT 16" O.C. : L/340 (30# LIVE LOAD, 10# DEAD LOAD)

2 X 6 = 10'-0"
2 X 8 = 13'-2"
2 X 10 = 16'-10"
2 X 12 = 19'-8"

HEADER NOTE

ALL MANUFACTURED HEADERS TO BE TJI #19E FOR MICRO-LAM HEADERS AS PER MANUFACTURER

REFERENCE: ACI 530-02/A

TABLE 5.4.3.1 - FOUNDATION WALL CONSTRUCTION

WALL CONSTRUCTION	NOMINAL WALL THICKNESS, IN. (MM)	MAXIMUM DEPTH OF UNBALANCED BACKFILL, FT. (M)
HOLLOW UNIT MASONRY	8 (203) 10 (254) 12 (305)	5 (1.52) 4 (1.23) 1 (2.13)
SOLID UNIT MASONRY	8 (203) 10 (254) 12 (305)	5 (1.52) 1 (2.13) 1 (2.13)
FULLY GROUTED MASONRY	8 (203) 10 (254)	7 (2.13) 1 (2.44)

TABLE R302.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA ZONE 5

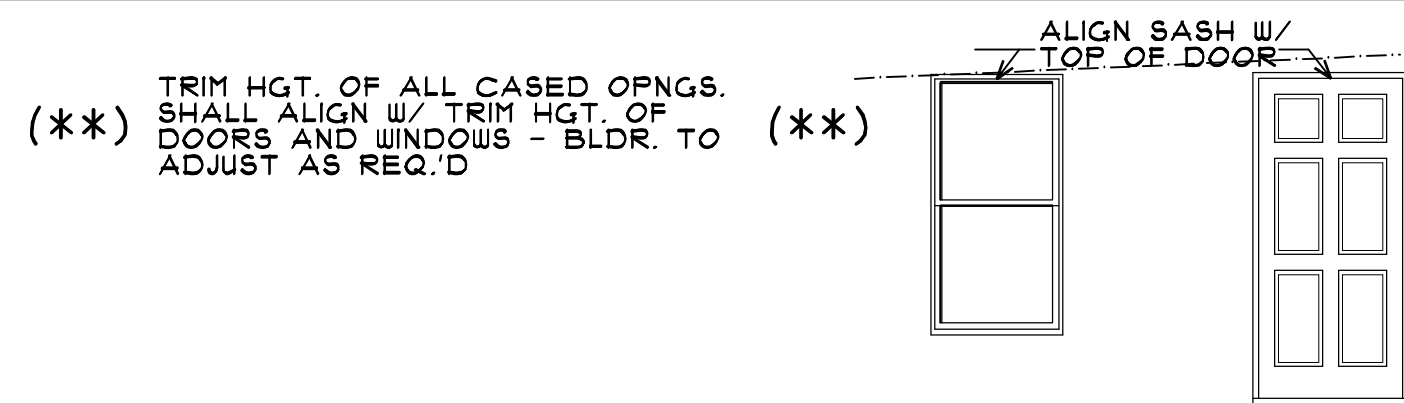
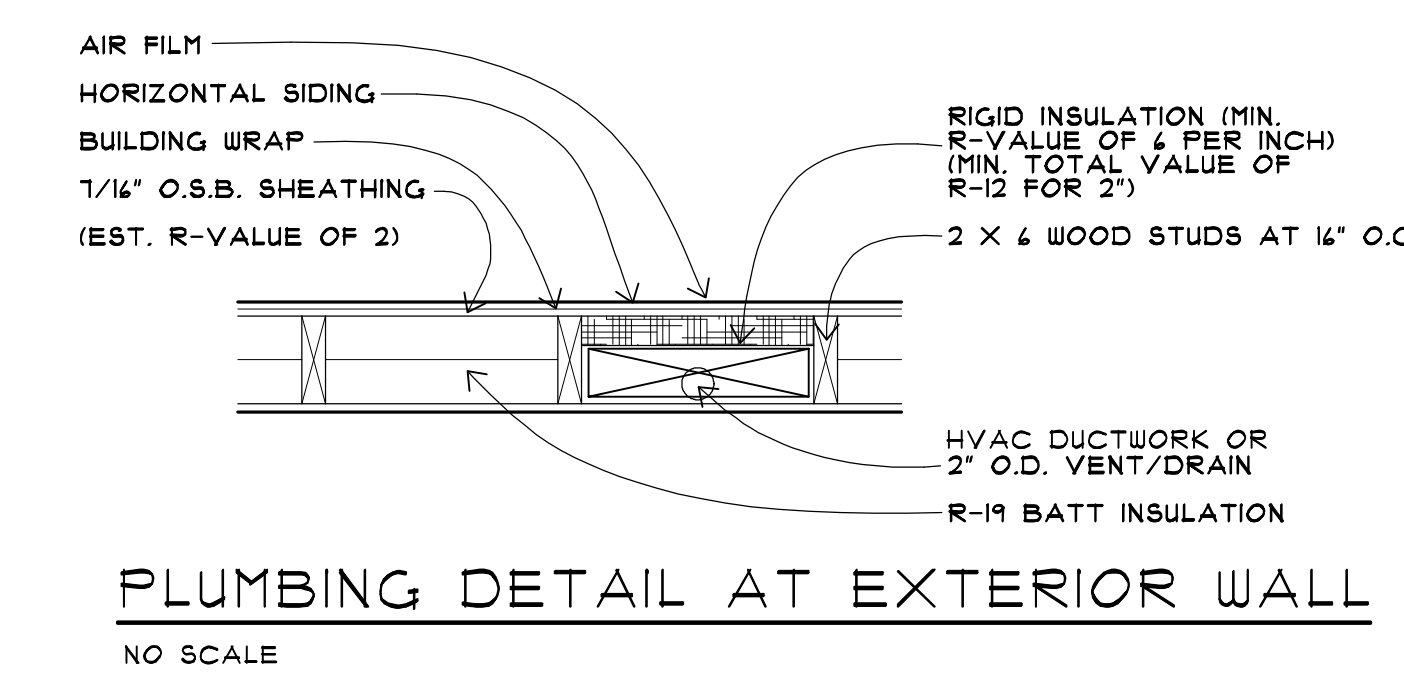
GROUND LOAD	WIND SPEED (MPH)	SEISMIC CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMPERATURE	ICE SHEILD REQUIREMENT	FLOOD HAZARDS	
			WEATHERING	FROST DEPTH	TERMITES				DECAY
50 p/sf	90 b	A	SEVERE	42"	NONE/ SLIGHT	NONE/ SLIGHT	1	YES	1992

ELECTRICAL KEY

S	SINGLE POLE SWITCH		OUTLET
S ₃	3 WAY SWITCH		1/2 SWITCHED OUTLET
S ₄	4 WAY SWITCH		PHONE JACK
S _D	DIMMER SWITCH		TELEVISION JACK
	MOTION DETECTOR		DOOR CHIME
	THERMOSTAT		KEY PAD FOR SECURITY SYSTEM
	EXHAUST FAN / LIGHT		WINDOW CONTACTS
	EXHAUST FAN		DOOR CONTACTS
	SURFACE INCANDESCENT		SMOKE DETECTOR
	RECESSED INCANDESCENT		SPECIAL PURPOSE
	220 OUTLET		HANGING FIXTURE
	WATERPROOF OUTLET		SIREN
	MICROWAVE HOOD OUTLET		

SYMBOLS

	2 X 4 STUD WALL @ 16" O.C.		CEILING FAN
	2 X 6 STUD WALL @ 16" O.C.		EXHAUST FAN
	BRICK VENEER		BUILDING SECTION
	SHOWER HEAD		BUILDING DETAIL
	SMOKE DETECTOR		RECESSED WATERPROOF LIGHT
	FLOOR SUPPLY REGISTER		SOLID BLOCKING DOWN TO FOUNDATION
	RETURN WALL VENT		
	WALL SUPPLY REGISTER		
	THERMOSTAT		
	HOSE BIB		
	TEMPERED GLASS		



REFERENCE: RESIDENTIAL CODE OF NEW YORK STATE, PAGE 44

TABLE R404.1.1(3) REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

VERTICAL REINFORCEMENT SIZE AND SPACING FOR 12-INCH NOMINAL WALL THICKNESS b.c

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	SOIL CLASSES ^d			
		GW, GP, AND SP SOILS	GM, GC, SM, SH-SC AND ML SOILS	SC, MH, ML-CL AND INORGANIC CL SOILS	
7	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
8	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	7	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
9	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	7	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	

MAXIMUM HEADER SPANS IN EXTERIOR WALLS UNDER GABLE ENDS WITH NO FLOOR OR ATTIC LOAD

HEADER SIZE	MAXIMUM CLEAR SPAN
(2) 2 X 4	UP TO 5'-0"
(2) 2 X 6	5'-0" - 9'-0"

MAXIMUM STUD LENGTHS

	STUD SIZE	LENGTH
	SUPPORTING ONE FLOOR AND ROOF ONLY	2 X 4 AT 16" O.C.
2 X 6 AT 16" O.C.		12'-0" - 18'-0"
2 X 6 AT 12" O.C.		18'-0" - 20'-0"
SUPPORTING TWO FLOORS AND ROOF	DBL. 2 X 6 AT 16" O.C.	20'-0" - 24'-0"
	2 X 4 AT 16" O.C.	UP TO 10'-0"
	2 X 6 AT 16" O.C.	10'-0" - 18'-0"
SUPPORTING ONE FLOOR AND ROOF ONLY	2 X 4 AT 12" O.C.	18'-0" - 20'-0"
	DBL. 2 X 6 AT 16" O.C.	20'-0" - 24'-0"
	2 X 6 AT 16" O.C.	UP TO 14'-0"
SUPPORTING TWO FLOORS AND ROOF	2 X 6 AT 12" O.C.	14'-0" - 18'-0"
	DBL. 2 X 6 AT 16" O.C.	18'-0" - 20'-0"

MAXIMUM HEADER SPANS FOR INTERIOR BEARING WALLS

BASED ON BUILDING WIDTH OF 34'-0"

	HEADER SIZE	MAXIMUM CLEAR SPAN	NUMBER OF JACK STUDS AT EACH END
	ONE FLOOR	(2) 2 X 4	2'-5"
(2) 2 X 6		3'-6"	1
(2) 2 X 8		4'-5"	2
TWO FLOORS	(3) 2 X 8 OR (2) 2 X 10	5'-5"	2
	(3) 2 X 10 OR (2) 2 X 12	6'-3"	2
	(3) 2 X 12	7'-10"	2
ONE FLOOR	(2) 2 X 4	1'-7"	1
	(2) 2 X 6	2'-5"	2
	(2) 2 X 8	3'-2"	2
TWO FLOORS	(3) 2 X 8 OR (2) 2 X 10	3'-10"	3
	(3) 2 X 10 OR (2) 2 X 12	4'-5"	3
	(3) 2 X 12	5'-7"	3

MAXIMUM HEADER SPANS FOR EXTERIOR BEARING WALLS

BASED ON BUILDING WIDTH OF 34'-0"

	HEADER SIZE	SPAN	NUMBER OF JACK STUDS AT EACH END
	ONE FLOOR	(2) 2 X 4	2'-4"
(2) 2 X 6		3'-8"	2
(2) 2 X 8		4'-7"	2
TWO FLOORS	(3) 2 X 8 OR (2) 2 X 10	5'-7"	2
	(3) 2 X 10 OR (2) 2 X 12	6'-4"	2
	(3) 2 X 12	8'-2"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(2) 2 X 4	2'-2"	1
	(2) 2 X 6	3'-3"	2
	(2) 2 X 8	4'-1"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(3) 2 X 8 OR (2) 2 X 10	5'-0"	2
	(2) 2 X 12	5'-9"	3
	(3) 2 X 10	6'-3"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(3) 2 X 12	7'-3"	2
	(2) 2 X 4	2'-0"	1
	(2) 2 X 6	3'-0"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(2) 2 X 8	3'-9"	2
	(2) 2 X 10	4'-7"	3
	(2) 2 X 12	5'-4"	3
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(3) 2 X 8	4'-8"	2
	(3) 2 X 10	5'-9"	2
	(3) 2 X 12	6'-8"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(2) 2 X 4	1'-11"	1
	(2) 2 X 6	2'-10"	2
	(2) 2 X 8	3'-8"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(2) 2 X 10	4'-5"	3
	(2) 2 X 12	5'-2"	3
	(3) 2 X 8	4'-7"	2
ROOF, CEILING, AND FLOOR WITH BEARING WALLS	(3) 2 X 10	5'-7"	2
	(3) 2 X 12	6'-5"	3

ABBREVIATIONS

#	AND	MC	MEDICINE CABINET
*	AT	MAT'L	MATERIAL
AC	AIR CONDITIONING	M.L.	MICRO-LAM
ADD'N	ADDITION	MO	MASONRY OPENING
APPROX	APPROXIMATE	MT	MARBLE THRESHOLD
AVG	AVERAGE	MFR	MANUFACTURER
BS	BASEMENT SASH	MAX	MAXIMUM
BW	BEARING WALL	MECH	MECHANICAL
BM	BEAM	MTL	METAL
BKSH	BOOK SHELF	MIN	MINIMUM
BLK	BLOCK	MISC	MISCELLANEOUS
BC	BROOM CLOSET	NIC	NOT IN CONTRACT
BD	BOARD	NO / #	NUMBER
BLDG	BUILDING	NTS	NOT TO SCALE
BLDR	BUILDER	O /	OVER
BLK	BLOCK	O	OVENS
BSMT	BASEMENT	OC	ON CENTER
CANT'LR	CANTILEVER	OPT	OPTIONAL
C	CARPET	O/A	OVERALL
CAB	CABINET	OHD. DR	OVERHEAD DOOR
CB	CORNER BOARD	O.D.	OUTSIDE DIAMETER
CJ	CEILING JOIST	OPNG	OPENING
C.O.	CASED OPENING	PLT	PLATE
CT	CERAMIC TILE	PAN	PANTRY
CKT	COOKTOP	P.D.R.	POWDER ROOM
CL	CENTERLINE	PED	PEDESTAL
CLG	CEILING	PLAT	PLATFORM
CLOS	CLOSET	PLMB	PLUMBING
CNTR	COUNTER	PSF	POUNDS PER SQUARE FOOT
COL	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC	CONCRETE	PT. LD.	POINT LOAD
CONSTR	CONSTRUCTION	PLYWD	PLYWOOD
CONT	CONTINUOUS	R	RISER
CRS	COURSES	RAD	RADIUS
D	DRYER	REF	REFRIGERATOR
D.V.	DIRECT VENT	R # SH	ROD AND SHELF
DW	DISHWASHER	REV	REVISED OR REVISION
DIA	DIAMETER	REQ'D.	REQUIRED
DH	DOUBLE HUNG	RFTR	RAFTER
DBL	DOUBLE	RM	ROOM
DET	DETAIL	SB	SINK BASE
DN	DOWN	SEL'D	SELECTED
DR	DOOR	SHS	SHELVES
DWG	DRAWING	S.H.	SHOWER HEAD
DIM	DIMENSION	SSR	SINGLE STUD RETURN
ELEC	ELECTRIC	SKY'LT	SKYLIGHT
EQ	EQUAL	SH	SHELF
EST	ESTIMATE	SHT	SHEET
EXIST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STOR	STORAGE
FD	FLOOR DRAIN	STL	STEEL
FF	FINISH FLOOR	TBD	TO BE DETERMINED
FL	FLUSH	THK	THICK
FLR JST	FLOOR JOIST	TME	TO MATCH EXISTING
FT (')	FEET	TYP	TYPICAL
FLR	FLOOR	TC	TOWEL CLOSET
FP	FIREPLACE	U /	UNDER
FTG	FOOTING	UNEX	UNEXCAVATED
GALV	GALVANIZED.	VAN	VANITY
HDR	HEADER	VIF	VERIFY IN FIELD
HR	HANDRAIL	VERT	VERTICAL
HGT	HEIGHT	W	WASHER
HW	HARDWOOD	WD	WOOD
HND'CP	HANDICAP	WH	WATER HEATER
IB	IRONING BOARD	W /	WITH
IN (")	INCH	WIC	WALK IN CLOSET
INSUL	INSULATION	WGT	WEIGHT
JSTS	JOISTS	W/O	WITHOUT
L.C.	LINEN CLOSET	WL	WALL
LCH	LAUNDRY CHUTE	WWM	WELDED WIRE MESH

ARCHITECTURAL INNOVATIONS, P.C.

99 SHOREHAM DRIVE, NEW YORK, NY 10418
ROCHESTER, NY 14618
585-385-5540 E-MAIL: AIPC@AOL.COM

PROJECT: _____ DRAWING TITLE: _____ PROJECT LOCATION: _____ CLIENT: _____

DATE: _____ BY: _____

NO. _____ REVISION _____

2 of 2

DRAWN BY: JHS

PROJECT NO. _____

THESE PLANS ARE INSTRUMENTS OF SERVICE AND MUST NOT BE REPRODUCED, COPIED, EITHER WHOLLY OR PARTIALLY, WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL INNOVATIONS, P.C. CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES AND FOR THE SAFETY OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS IN CONNECTION WITH THE WORK.









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000054

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 12 Lawton Drive PITTSFORD, NY 14534

Tax ID Number: 178.11-3-7

Zoning District: RN Residential Neighborhood

Owner: Greve, John

Applicant: Greve, John

Application Type:

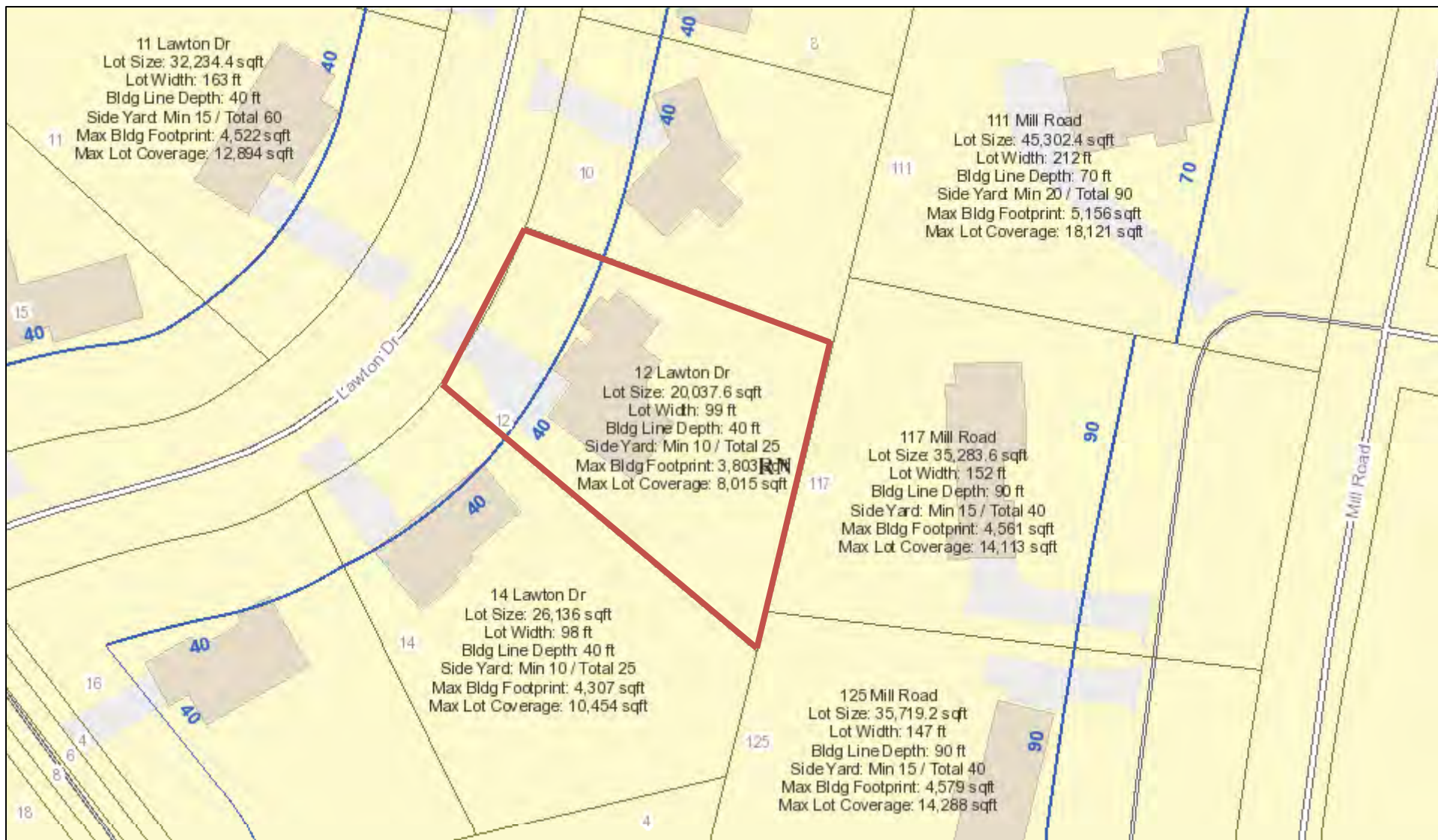
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a screened porch. The addition will be approximately 240 sq. ft. and will be located to the rear of the existing home.

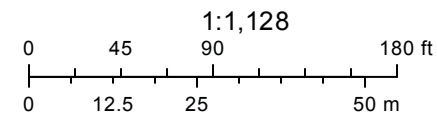
Meeting Date: April 25, 2019



RN Residential Neighborhood Zoning

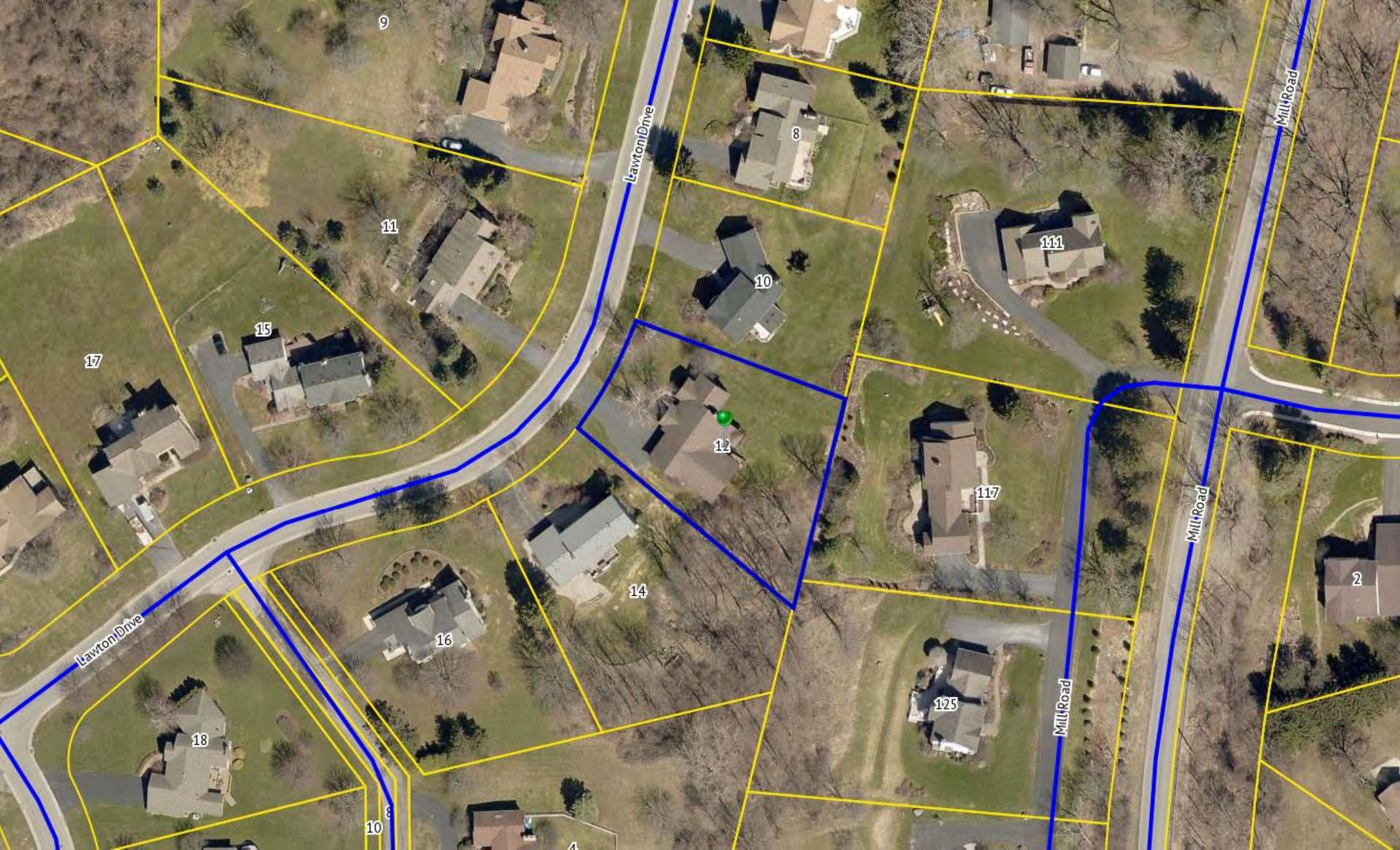


Printed April 18, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Lawton Drive

Mill Road

Mill Road

Mill Road

17

15

11

8

10

111

12

117

14

16

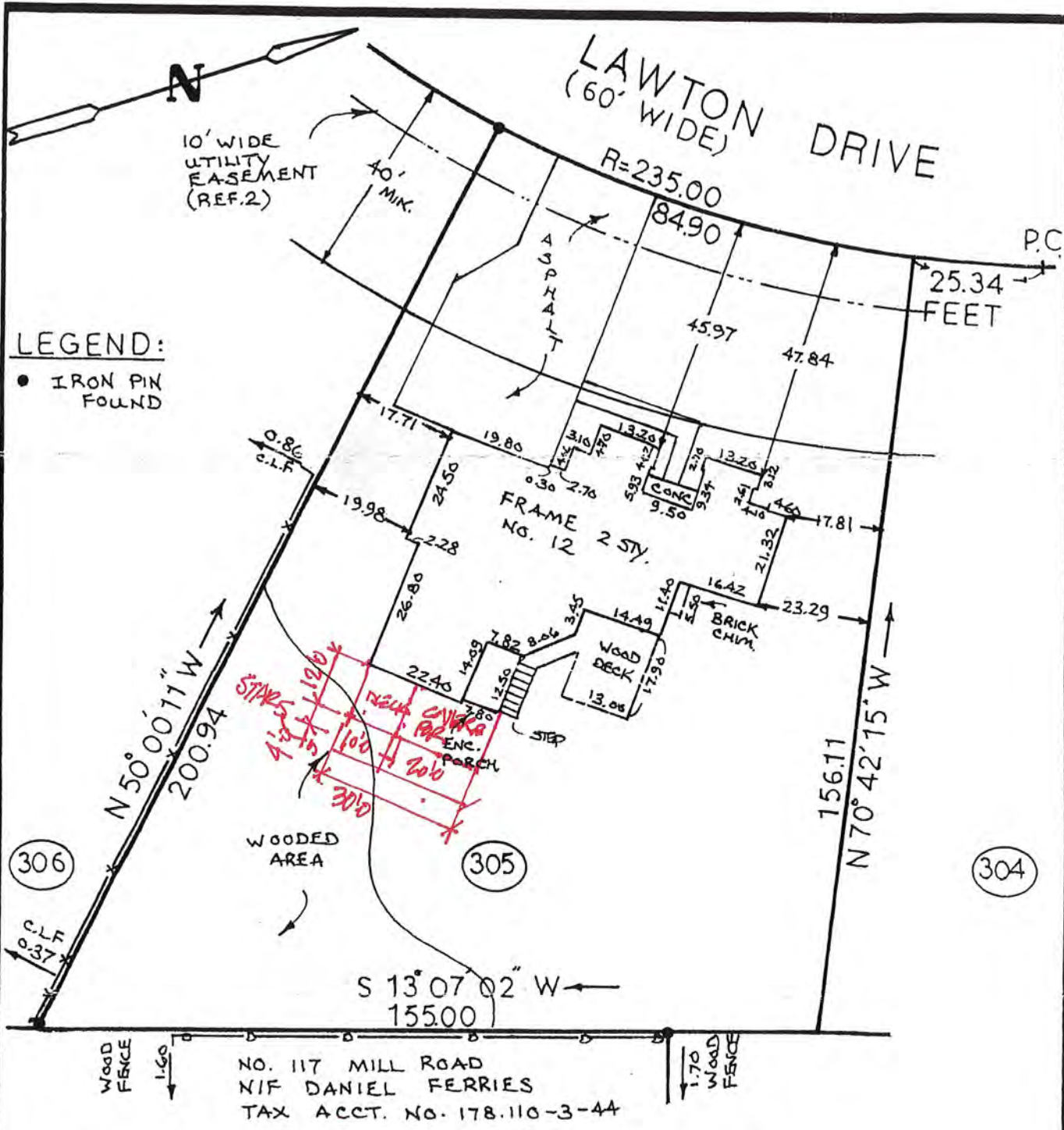
18

2

125

10

4



CERTIFY TO:
 JOHN P. GREVE
 LYNDA GREVE
 FINUCANE AND HARTZELL, LLP
 THE TITLE INSURANCE
 COMPANY INSURING THE TITLE

- REFERENCES:**
- 1) LIBER 215 OF MAPS PAGE 30
 - 2) LIBER 5910 OF DEEDS PAGE 285 EASEMENT TO R.G.E. & R.T.C FOR WIRES, CONDUITS & CABLES
 - 3) METRO REAL ESTATE SEARCH NO. 16372 DATED 6-4-2018
 - 4) TAX ACCT. NO. 178.110-3-17

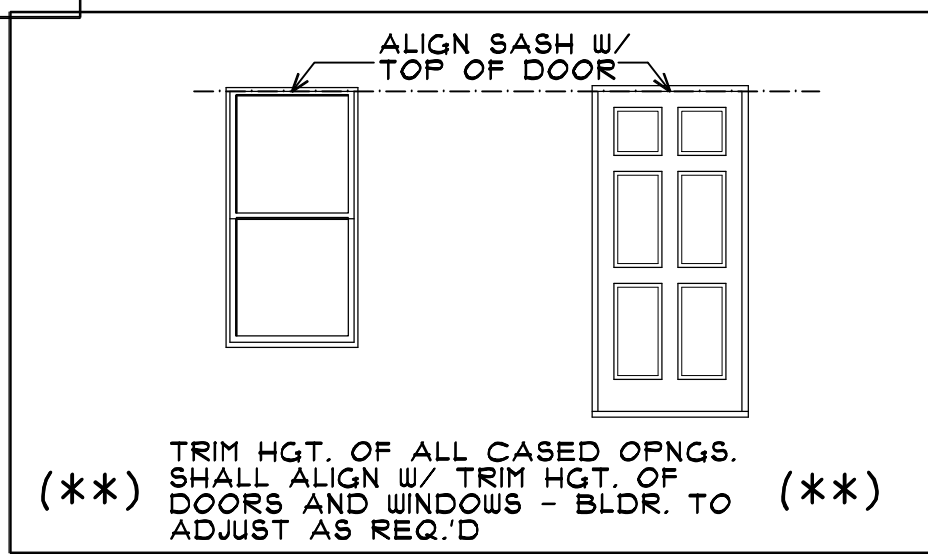
This survey is certified to those named above during the period that the currently issued title insurance policy is in effect only. Certifications are not transferable to additional institution or subsequent owners. Copies of this survey map not bearing the land surveyors inked seal or embossed seal are not considered to be a true and valid copy. Unauthorized alteration or addition to this survey map is in violation of section 7200 of the New York State Education Law.

This map is subject to any easements or encumbrances that an updated abstract of title may show. The word "certify" or "certification" as shown and used herein means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee expressed or implied.

CERTIFICATION:
 I GREGORY T. PAULY HEREBY CERTIFY THAT THIS MAP WAS
GREGORY T. PAULY

ELECTRICAL KEY			
S	SINGLE POLE SWITCH		OUTLET
S ₃	3 WAY SWITCH		1/2 SWITCHED OUTLET
S ₄	4 WAY SWITCH		PHONE JACK
S _D	DIMMER SWITCH		TELEVISION JACK
	DBL. BULB FLOOD LIGHT		PUSH BUTTON FOR CHIME
	MOTION DETECTOR		DOOR CHIME
	THERMOSTAT		KEY PAD FOR SECURITY SYSTEM
	FLOURESCENT LIGHT		GLASS BREAK
	EXHAUST FAN / LIGHT		WINDOW CONTACTS
	EXHAUST FAN		DOOR CONTACTS
	SURFACE INCANDESCENT		SMOKE DETECTOR
	RECESSED INCANDESCENT		SPECIAL PURPOSE
	220 OUTLET		HANGING FIXTURE
	WATERPROOF OUTLET		SIREN
	MICROWAVE HOOD OUTLET		

NOTE:
ALL MANUFACTURED HEADERS TO BE TUNED FOR MICROLAM HDRS AS PER MANUFACTURER



MINIMUM DESIGN LOADS			
LOADS	LIVE	DEAD	TOTAL
FIRST FLOOR	40	20	60
SECOND FLOOR	40	15	55
ROOF	50	10	60
ATTIC (LIGHT STORAGE)	20	10	30
WOOD DECK	40	15	55

STRUCTURAL NOTES

- FLOOR & CEILING JOISTS TO BE #2 GRADE HEM FIR 415 PSI OR BETTER FOR REPETITIVE MEMBERS. HEADERS & BEAMS TO BE #2 GRADE HEM FIR 850 PSI OR BETTER
- SINGLE FLOOR JOISTS EACH SIDE OF ALL PARALLEL PARTITIONS. SPREAD 3" (BASEMENT & FIRST FLOOR). FOR HEAT RUNS. SPREAD 5 1/2" FOR HEAT FLUES
- DOUBLE FLOOR JOISTS EACH SIDE OF ALL BEARING PARTITIONS. SPREAD 3" (BASEMENT). FOR HEAT RUNS. SPREAD 5 1/2" FOR HEAT FLUES
- FIRST FLOOR - (2) 2 X 4 HDR. OVER OPENINGS UP TO 4'-0" WIDE - FLOOR LOADS ONLY (NO ROOF & STACKED UNDER WINDOWS ABV.) - UNLESS OTHERWISE NOTED
- FIRST FLOOR - (3) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF & FLOOR LOADS) - UNLESS OTHERWISE NOTED.
- SECOND FLOOR - (2) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF LOADS) - UNLESS OTHERWISE NOTED.
- PROVIDE SOLID BLOCKING UNDER ALL HEADERS AND MICRO-LAMS TO FOUNDATION EQUAL TO WIDTH OF HDR. AND 3" (MIN.) DEPTH
- DBL. JACK STUDS UNDER ALL EXTERIOR BEARING WALL HDRS. (EACH SIDE) LARGER THAN (2) 2 X 4 AND SPANNING OVER 1'-11"

SYMBOLS

	2 X 4 STUD WALL @ 16" O.C.		CEILING FAN
	2 X 6 STUD WALL @ 16" O.C.		EXHAUST FAN
	BRICK VENEER		BUILDING SECTION
	PLATE HGT CHANGE		ELEVATION DETAIL
	SHOWER HEAD		BUILDING DETAIL
	SMOKE DETECTOR		RECESSED WATERPROOF LIGHT
	FLOOR SUPPLY REGISTER		SOLID BLOCKING DOWN FOUNDATION
	RETURN WALL VENT		STANDARD INSULATED GLASS
	WALL SUPPLY REGISTER		SET UNIT(S) @ 8'-0" ABV SUBFLOOR
	THERMOSTAT		
	HOSE BIB		
	TEMPERED GLASS		

REFERENCE: ACI 530-02/4

TABLE 5.4.3.1 - FOUNDATION WALL CONSTRUCTION

WALL CONSTRUCTION	NOMINAL WALL THICKNESS, IN. (MM)	MAXIMUM DEPTH OF UNBALANCED BACKFILL, FT. (M)
HOLLOW UNIT MASONRY	8 (203)	5 (1.52)
	10 (254)	4 (1.23)
	12 (305)	7 (2.13)
SOLID UNIT MASONRY	8 (203)	5 (1.52)
	10 (254)	7 (2.13)
	12 (305)	7 (2.13)
FULLY GROUTED MASONRY	8 (203) 10 (254)	7 (2.13) 8 (2.44)

TABLE R302(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST DEPTH	TERMITES	DECAY			
50 p/sf	90 b	A	SEVERE	42"	NONE/SLIGHT	NONE/SLIGHT	I	YES	1992

TABLE R404.1.1(3)

REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	VERTICAL REINFORCEMENT SIZE AND SPACING ^{a,c} FOR 12-INCH NOMINAL WALL THICKNESS					
		SOIL CLASSES ^d					
		GW, GP AND SP SOILS		GH, GC, SH, SP-SC AND HL SOILS		SC, MH, ML-CL AND INORGANIC CL SOILS	
7	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
		#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
		#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
8	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
		#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
		#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
9	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
		#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
		#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	

REFERENCE: RESIDENTIAL CODE OF NEW YORK STATE, PAGE 66

ABBREVIATIONS

f	AND	MC	MEDICINE CABINET
e	AT	MAT'L	MATERIAL
ADD'N	ADDITION	M.L.	MICRO-LAM
APPROX	APPROXIMATE	MO	MASONRY OPENING
AVG	AVERAGE	MAX	MAXIMUM
BS	BASEMENT SASH	MTL	METAL
BM	BEAM	MIN	MINIMUM
BLK	BLOCK	MISC	MISCELLANEOUS
BLDG	BUILDING	NIC	NOT IN CONTRACT
BLDR	BUILDER	NO / #	NUMBER
BLK	BLOCK	NTS	NOT TO SCALE
BSMT	BASEMENT	O/	OVER
CANT'LR	CANTILEVER	OC	ON CENTER
C	CARPET	OPT	OPTIONAL
CAB	CABINET	O/A	OVERALL
CB	CORNER BOARD	O.D.	OUTSIDE DIAMETER
CJ	CEILING JOIST	OPNG	OPENING
C.O.	CASED OPENING	PLT	PLATE
CT	CERAMIC TILE	PAN	PANTRY
CKT	COOKTOP	P.D.R.	POWDER ROOM
CLG	CEILING	PED	PEDESTAL
CLOS	CLOSET	PLAT	PLATFORM
CNTR	COUNTER	PLMB	PLUMBING
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONSTR	CONSTRUCTION	PT. LD.	POINT LOAD
CONT	CONTINUOUS	PLYWD	PLYWOOD
CONTR	CONTRACTOR	R	RISER
CRS	COURSES	REF	REFRIGERATOR
D	DRYER	R & SH	ROD AND SHELF
D.V.	DIRECT VENT	REV	REVISED OR REVISION
DW	DISHWASHER	REQ'D.	REQUIRED
DIA	DIAMETER	RFTR	RAFTER
DH	DOUBLE HUNG	RM	ROOM
DBL	DOUBLE	SB	SINK BASE
DET	DETAIL	SEL'D	SELECTED
DN	DOWN	SHS	SHELVES
DR	DOOR	S.H.	SHOWER HEAD
DWG	DRAWING	SL	SIDELIGHT
DIM	DIMENSION	SSR	SINGLE STUD RETURN
ELEC	ELECTRIC	SKY'LT	SKYLIGHT
EQ	EQUAL	SH	SHELF
EST	ESTIMATE	SHT	SHEET
EXC	EXCAVATE	STD	STANDARD
EXIST	EXISTING	STOR	STORAGE
EXT	EXTERIOR	STL	STEEL
F.F.W.	FROM FRAME WALL	SUB	SUBSTITUTE
FD	FLOOR DRAIN	TBD	TO BE DETERMINED
FF	FINISH FLOOR	TECH	TECHNICAL
FL	FLUSH	THK	THICK
FLR JST	FLOOR JOIST	TME	TO MATCH EXISTING
FT (')	FEET	TYP	TYPICAL
FLR	FLOOR	TC	TOWEL CLOSET
FLUOR	FLUORESCENT	TIG	TONGUE AND GROOVE
FP	FIREPLACE	U/	UNDER
FTG	FOOTING	U.C.	UTILITY CLOSET
GALV	GALVANIZED.	UNEX	UNEXCAVATED
HDR	HEADER	VAN	VANITY
HR	HANDRAIL	VIF	VERIFY IN FIELD
HGT	HEIGHT	VERT	VERTICAL
HW	HARDWOOD	VEST	VESTIBLE
HND'CP	HANDICAP	W	WASHER
IB	IRONING BOARD	WC	WATER CLOSET
I.D.	INSIDE DIAMETER	WD	WOOD
IN (")	INCH	WH	WATER HEATER
INSUL	INSULATION	W/	WITH
INT	INTERIOR	WIC	WALK IN CLOSET
JSTS	JOISTS	WGT	WEIGHT
L.C.	LINEN CLOSET	W/O	WITHOUT
L.T.	LAUNDRY TRAY	WL	WALL
LCH	LAUNDRY CHUTE	WWM	WELDED WIRE MESH

GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE UNIFORM BUILDING AND FIRE PREVENTION CODE, AND ANY APPLICABLE STATE, COUNTY, OR LOCAL REGULATIONS
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE DRAWINGS)
- FINAL LOCATION OF HOUSE AND VERIFICATION OF LOT AND PLACEMENT TO BE THE SOLE RESPONSIBILITY OF THE BUILDER AND SITE ENGINEER. LAYOUT IS APPROXIMATE AND BASED ON INFORMATION PROVIDED TO US BY BUILDER. ARCHITECTURAL INNOVATIONS, P.C. DOES NOT ASSUME ANY RESPONSIBILITY FOR FINAL PLACEMENT OF BUILDING

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL, AND STEPPED AS REQ'D. TO MAINTAIN THE MINIMUM FOOTING DEPTH BELOW FINISHED GRADE
- SOIL BEARING PRESSURE IS ASSUMED TO BE TWO (2) TONS PER SQUARE FOOT
- ANY FILL UNDER GRADE SUPPORTED SLABS SHALL BE A MINIMUM OF 4" COMPACTED GRANULAR MATERIAL
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25'-0" (MAXIMUM) INTERVALS EACH WAY
- PROVIDE A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FOOT OF CRAWLSPACE AREA
- BEAM POCKETS IN CONCRETE BLOCK WALLS TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3". FILL ALL BLOCK CORES BELOW SLAB WITH CONCRETE AND (2) #5 RE-ROD VERTICAL - (FULL HEIGHT)
- DAMP-PROOF BASEMENT WALLS BEFORE BACKFILLING - PROVIDING 4" DIAMETER PERFORATED PERIMETER DRAIN TILE BELOW THE TOP OF FOOTING - SEE TYPICAL WALL/BUILDING SECTION

ARCHITECTURAL INNOVATIONS, P.C.

99 SHOREHAM DRIVE
ROCHESTER, NEW YORK 14618
585-385-5540 E-MAIL: AIFC@AOL.COM

PROJECT: SCREEN PORCH ADDITION
DRAWING TITLE:
PROJECT LOCATION: 12 LAUNTON DRIVE, COUK 14514
CLIENT: JOHN GREVE

SHEET NO. 2 of 2

DRAWN BY: JHS
PROJECT NO. 18-018

REVISIONS:

NO.	REVISION	DATE	BY

THESE PLANS ARE INSTRUMENTS OF SERVICE AND MUST NOT BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL INNOVATIONS, P.C. CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND CONNECTIONS WITH THE LOCAL, STATE, AND FEDERAL AGENCIES AND PROGRAMS IN CONNECTION WITH THE WORK.









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000055

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 19 Wexford Glen PITTSFORD, NY 14534

Tax ID Number: 163.04-4-40

Zoning District: RN Residential Neighborhood

Owner: Hicks, Robert Scott

Applicant: Kuebler Enterprises Inc.

Application Type:

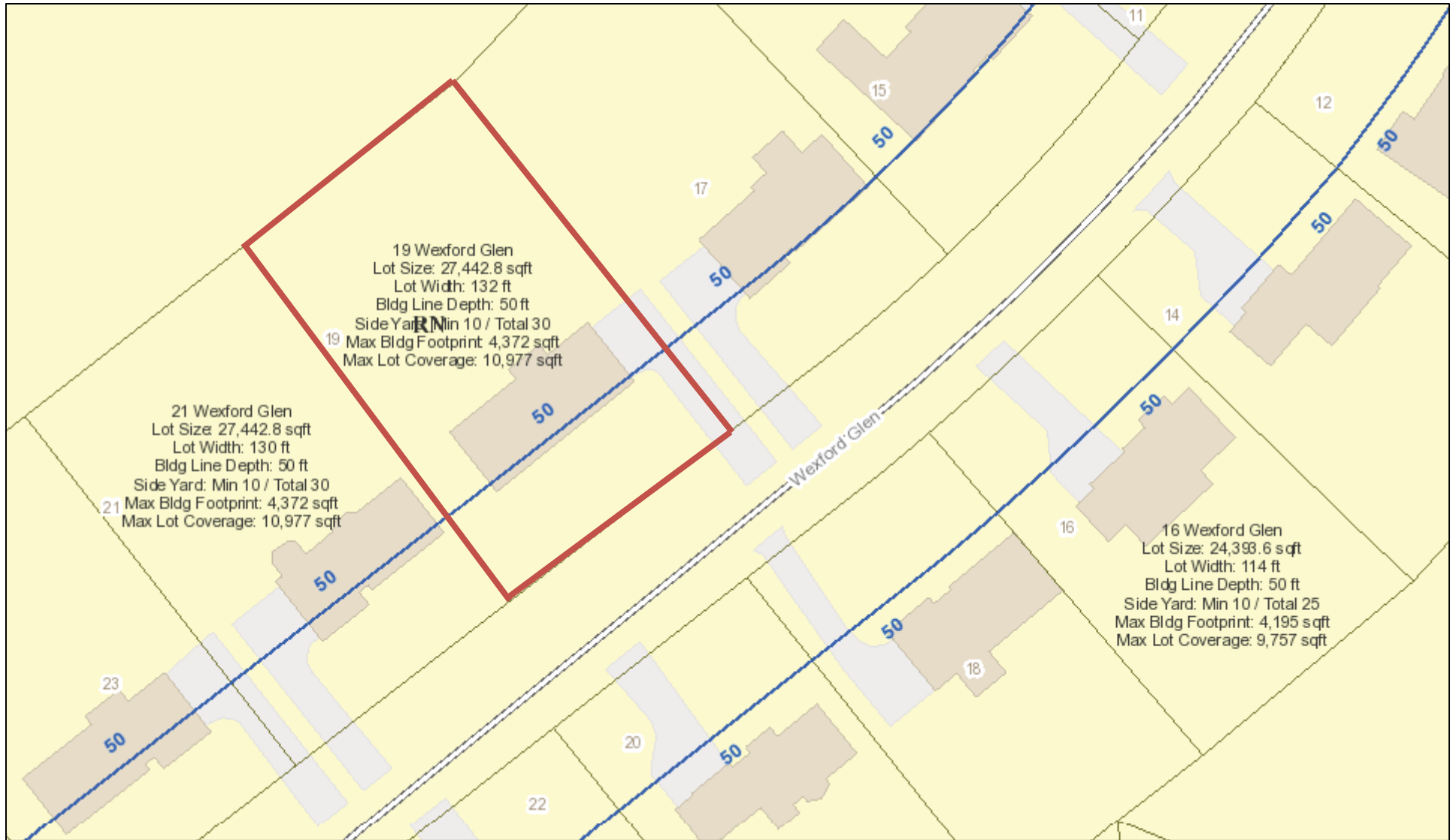
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the second floor addition. The addition will be approximately 392 sq. ft. and will be located to the west of the garage.

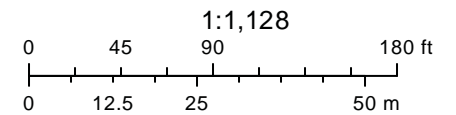
Meeting Date: April 25, 2019



RN Residential Neighborhood Zoning

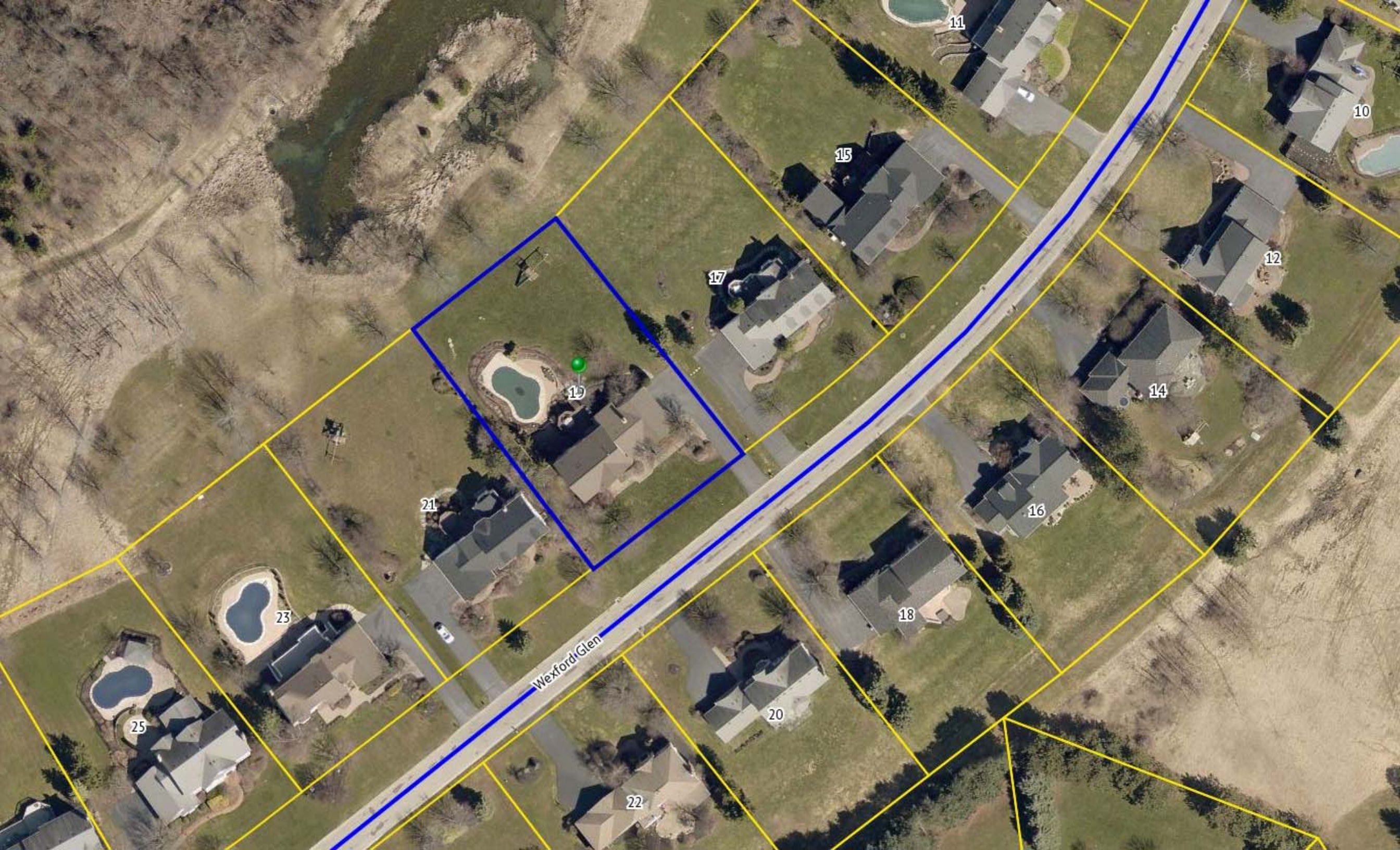


Printed April 18, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Wexford Glen

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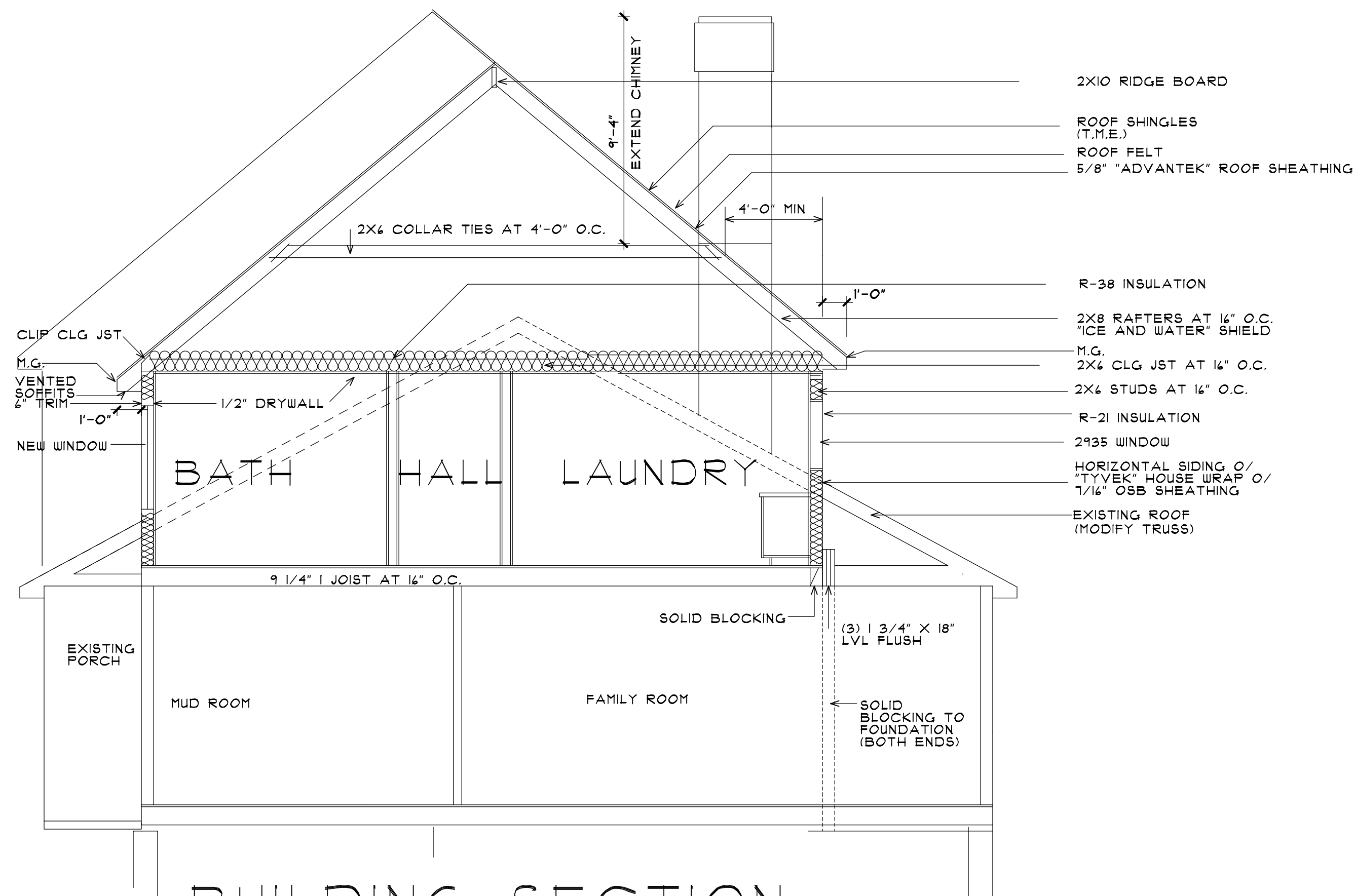
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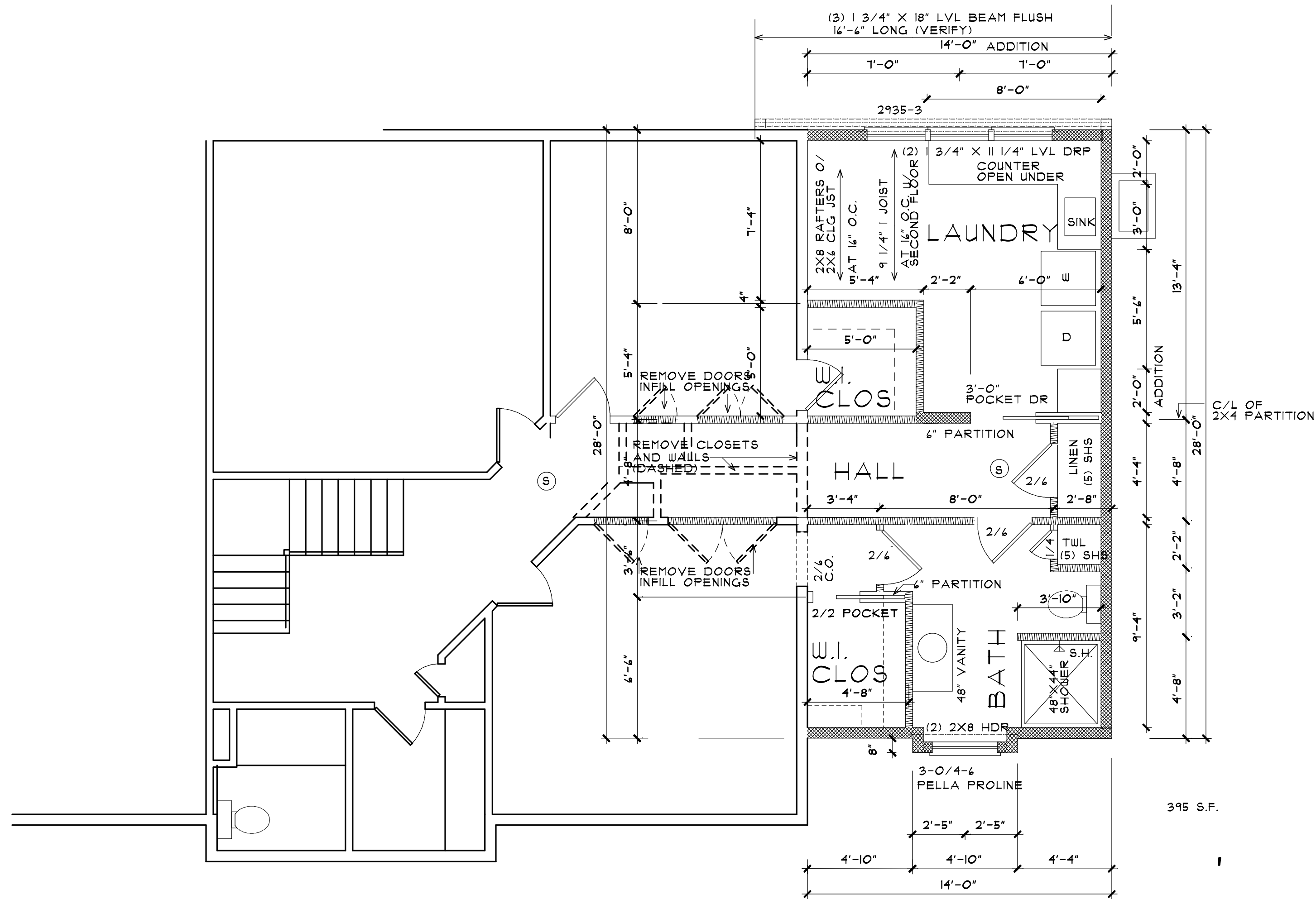
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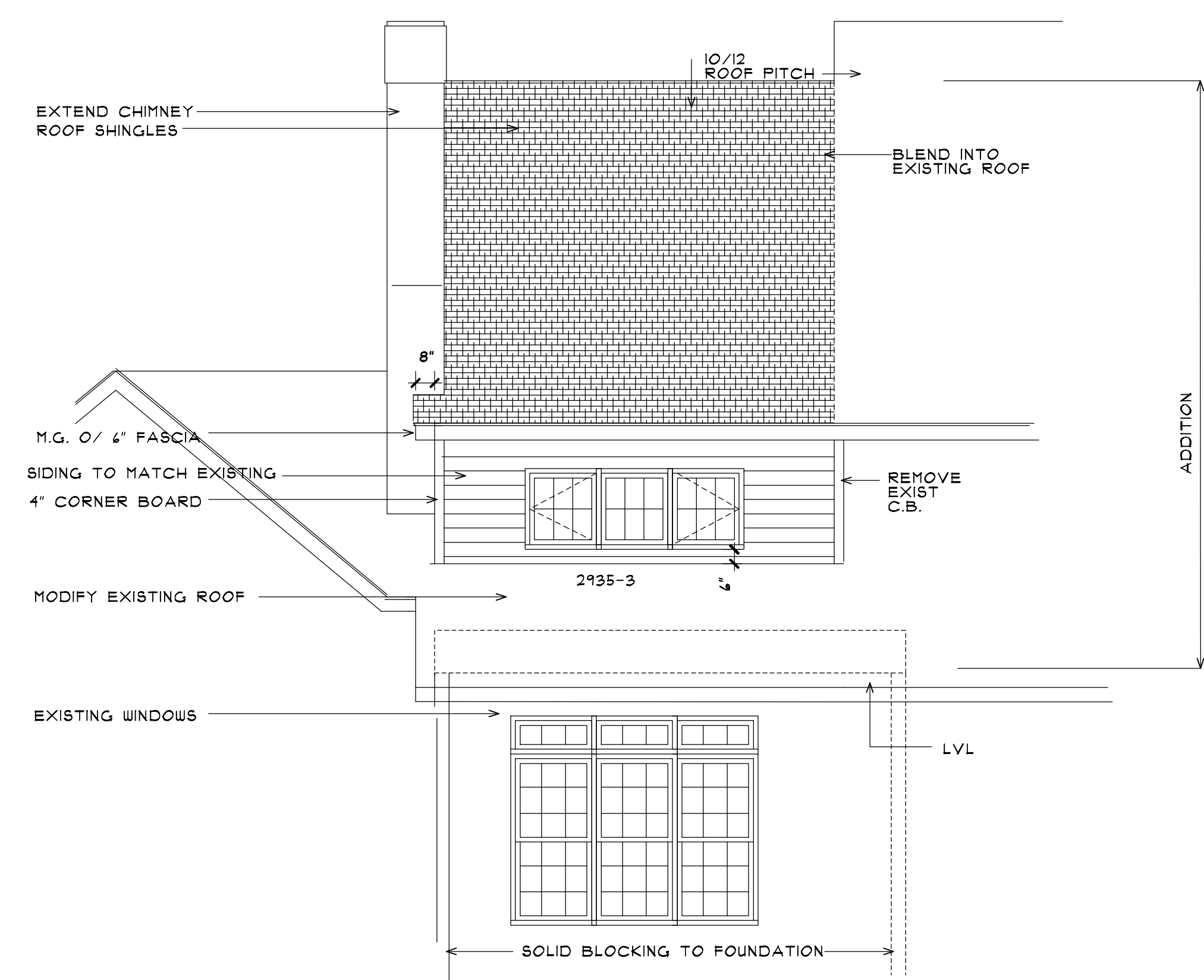
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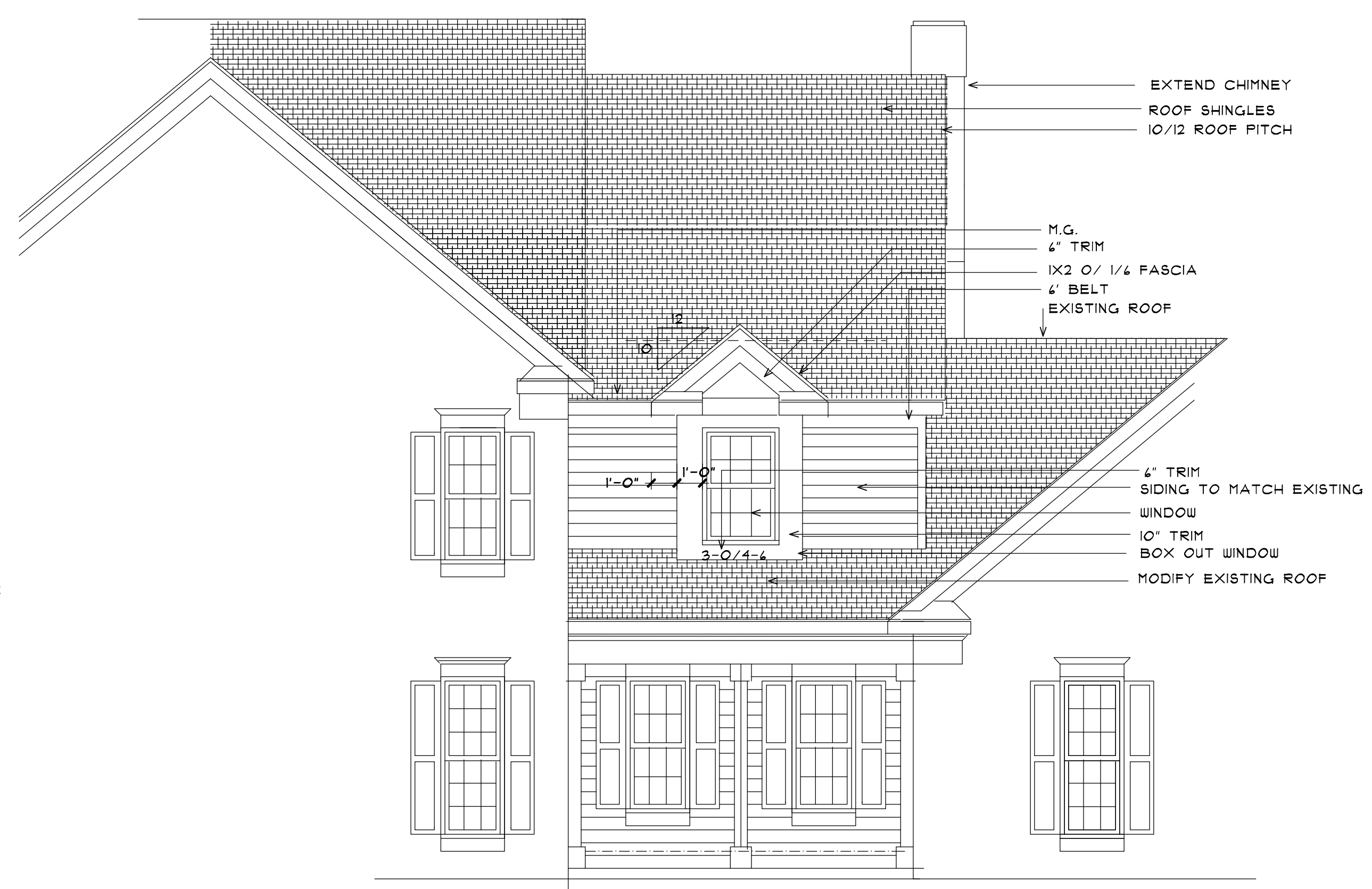
BUILDING SECTION



SECOND FLOOR PLAN



REAR ELEVATION



FRONT ELEVATION

PELLA "PRO LINE WINDOWS
DOUBLE PANE WITH
LOE - E

R-38 INSULATION IN CEILING
R-21 INSULATION IN WALLS

T.M.E. = TO MATCH EXISTING

(S) = SMOKE AND FIRE DETECTOR

SCALE : 1/4" = 1'-0"

ARCHITECTURAL INNOVATIONS, P.C.

ARCHITECTURAL INNOVATIONS, P.C.
91 SHOREHAM DRIVE
ROCHESTER, NEW YORK 14618
585-385-5540 E-MAIL AIPC@AOL.COM

NO.	REVISION	DATE	BY

PROJECT: BATH AND LAUNDRY ADDITION
PROJECT LOCATION: WEXFORD, PITTSFORD, NEW YORK
CLIENT: STEVE AND JILL HICKS

SHEET NO. 10 of 2
DRAWN BY: JHS
PROJECT NUMBER: 18-011

THESE PLANS ARE PREPARED BY ARCHITECTURAL INNOVATIONS, P.C. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL INNOVATIONS, P.C. UNAUTHORIZED ALTERATIONS TO THESE PLANS IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, SECTION 1201, ARTICLE 16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND/OR OMISSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS AND REGULATIONS IN CONNECTION WITH THE WORK.

GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE UNIFORM BUILDING AND FIRE PREVENTION CODE, AND ANY APPLICABLE STATE, COUNTY, OR LOCAL REGULATIONS
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS (DO NOT SCALE DRAWINGS)
- FINAL LOCATION OF HOUSE AND VERIFICATION OF LOT AND PLACEMENT TO BE THE SOLE RESPONSIBILITY OF THE BUILDER AND SITE ENGINEER. LAYOUT IS APPROXIMATE AND BASED ON INFORMATION PROVIDED TO US BY BUILDER. ARCHITECTURAL INNOVATIONS, P.C. DOES NOT ASSUME ANY RESPONSIBILITY FOR FINAL PLACEMENT OF BUILDING

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL, AND STEPPED AS REQ'D. TO MAINTAIN THE MINIMUM FOOTING DEPTH BELOW FINISHED GRADE
- SOIL BEARING PRESSURE IS ASSUMED TO BE TWO (2) TONS PER SQUARE FOOT
- ANY FILL UNDER GRADE SUPPORTED SLABS SHALL BE A MINIMUM OF 4" COMPACTED GRANULAR MATERIAL
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25'-0" (MAXIMUM) INTERVALS EACH WAY
- PROVIDE A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FOOT OF CRAWLSPACE AREA
- BEAM POCKETS IN CONCRETE BLOCK WALLS TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3" FILL ALL BLOCK CORES BELOW SOLID WITH CONCRETE AND (2) #5 RE-ROD VERTICAL - (FULL HEIGHT)
- DAMP-PROOF BASEMENT WALLS BEFORE BACKFILLING - PROVIDING 4" DIAMETER PERFORATED PERIMETER DRAIN TILE BELOW THE TOP OF FOOTING - SEE TYPICAL WALL/BUILDING SECTION

STRUCTURAL NOTES

- FLOOR & CEILING JOISTS TO BE #2 GRADE HEM FIR #15 PSI OR BETTER FOR BEAMS. HEADERS & BEAMS TO BE #2 GRADE HEM FIR #50 PSI OR BETTER
- SINGLE FLOOR JOISTS EACH SIDE OF ALL PARALLEL PARTITIONS. SPREAD 3" (BASEMENT & FIRST FLOOR), FOR HEAT RUNS. SPREAD 5 1/2" FOR HEAT FLUES
- DOUBLE FLOOR JOISTS EACH SIDE OF ALL BEARING PARTITIONS. SPREAD 3" (BASEMENT), FOR HEAT RUNS. SPREAD 5 1/2" FOR HEAT FLUES
- FIRST FLOOR - (2) 2 X 4 HDR. OVER OPENINGS UP TO 4'-0" WIDE - FLOOR LOADS ONLY (NO ROOF & STACKED UNDER WINDOWS ABV.) - UNLESS OTHERWISE NOTED
- FIRST FLOOR - (3) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF & FLOOR LOADS) - UNLESS OTHERWISE NOTED
- SECOND FLOOR - (2) 2 X 8 HDR. OVER OPENINGS UP TO 4'-0" WIDE - (WITH ROOF LOADS) - UNLESS OTHERWISE NOTED
- DENSHIELD TO 5'-0" OVER TUBS AND AROUND ENTIRE SHOWER STALL
- PROVIDE SOLID BLOCKING UNDER ALL HEADERS AND MICRO-LAMS TO FOUNDATION EQUAL TO WIDTH OF HDR. AND 3" (MIN.) DEPTH

MAXIMUM ALLOWABLE SPANS

RAFTER SIZING (HORIZONTAL SPAN)
 MAXIMUM CLEAR SPANS AT 16" O.C. : L/180 (50# LIVE LOAD, 10# DEAD LOAD - NO DRYWALL)
 2 X 4 = 9'-11" 2 X 10 = 14'-10"
 2 X 8 = 12'-2" 2 X 12 = 17'-3"

CEILING JOIST SIZING
 MAXIMUM CLEAR SPANS AT 16" O.C. : L/360 (20# LIVE LOAD, 10# DEAD LOAD)
 2 X 4 = 11'-5" 2 X 10 = 19'-3"
 2 X 8 = 15'-1" 2 X 12 = 22'-8"

FLOOR JOIST SIZING (FIRST FLOOR ONLY)
 MAXIMUM CLEAR SPANS AT 16" O.C. : L/360 (40# LIVE LOAD, 15# DEAD LOAD)
 2 X 4 = 9'-11" 2 X 10 = 14'-6"
 2 X 8 = 11'-10" 2 X 12 = 16'-9"

FLOOR JOIST SIZING (SECOND FLOOR ONLY)
 MAXIMUM CLEAR SPANS AT 16" O.C. : L/360 (30# LIVE LOAD, 10# DEAD LOAD)
 2 X 4 = 10'-0" 2 X 10 = 16'-10"
 2 X 8 = 13'-2" 2 X 12 = 19'-8"

REFERENCE: ACI 530-02/A

TABLE 5.4.3.1 - FOUNDATION WALL CONSTRUCTION

WALL CONSTRUCTION	NOMINAL WALL THICKNESS, IN. (MM)	MAXIMUM DEPTH OF UNBALANCED BACKFILL, FT. (M)
HOLLOW UNIT MASONRY	8 (203) 10 (254) 12 (305)	5 (1.52) 4 (1.83) 7 (2.13)
SOLID UNIT MASONRY	8 (203) 10 (254) 12 (305)	5 (1.52) 7 (2.13) 7 (2.13)
FULLY GROUTED MASONRY	8 (203) 10 (254)	7 (2.13) 8 (2.44)

REFERENCE: ASCE 7-10

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA ZONE 5

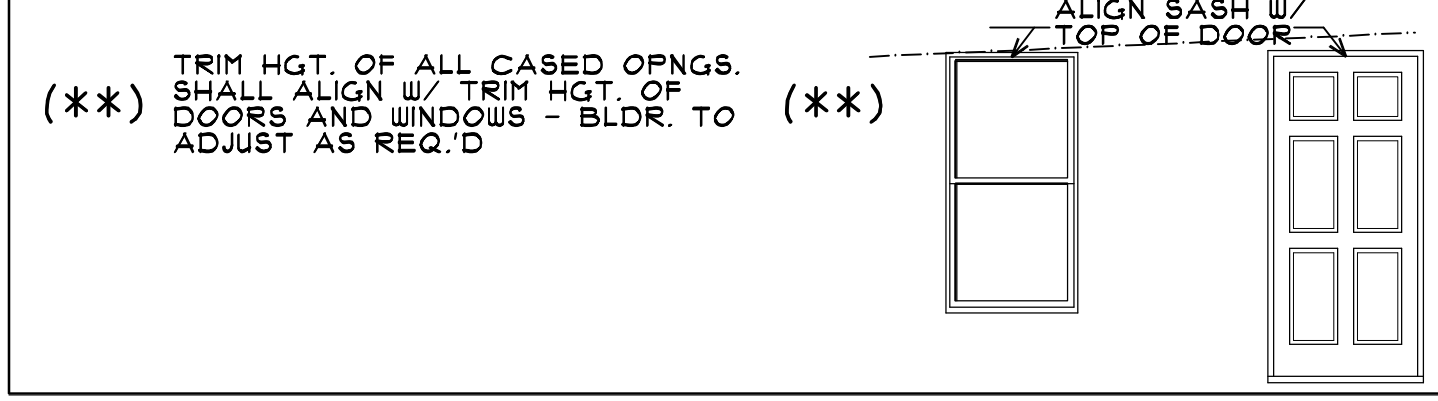
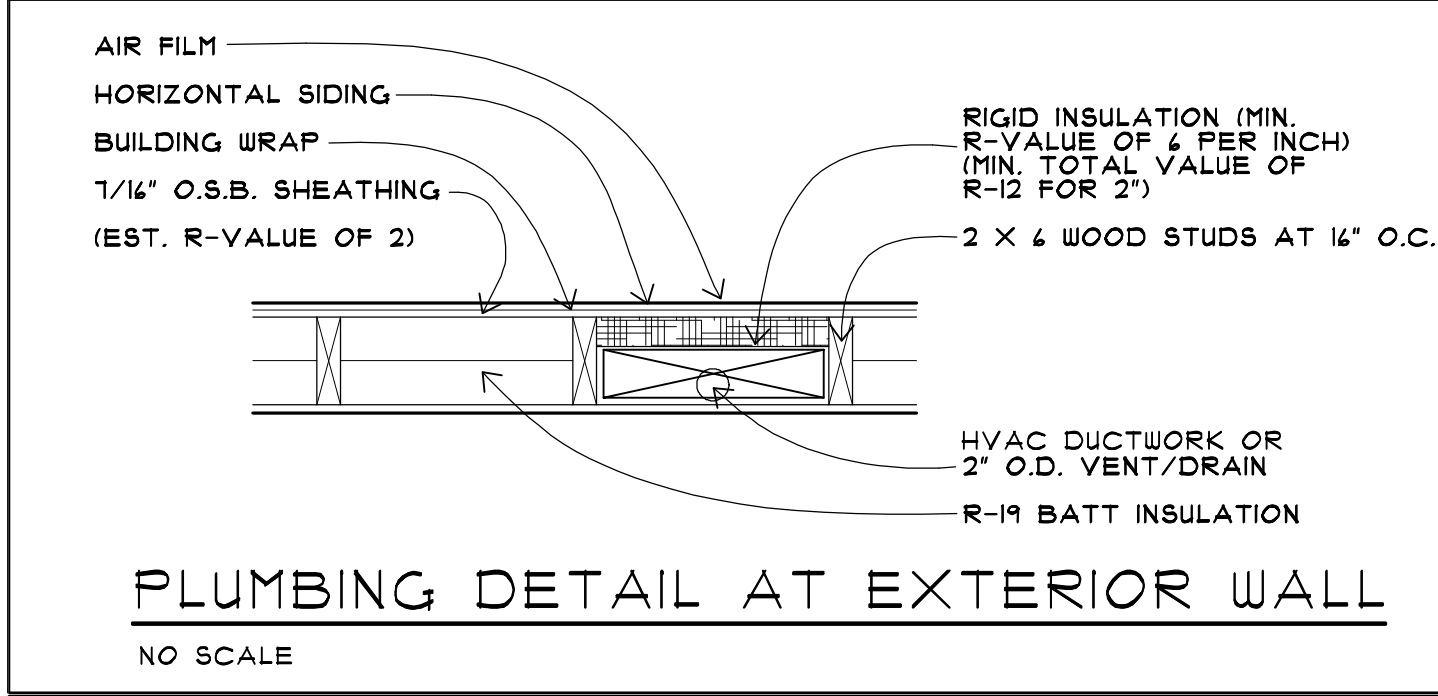
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC CATEGORY	SUBJECT TO DAMAGE FROM				WINTER TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY			
50 #/SF	90 b	A	SEVERE	42"	NONE/SLIGHT	NONE/SLIGHT	I	YES	1992

ELECTRICAL KEY

S	SINGLE POLE SWITCH		OUTLET
S ₃	3 WAY SWITCH		1/2 SWITCHED OUTLET
S ₄	4 WAY SWITCH		PHONE JACK
S _D	DIMMER SWITCH		TELEVISION JACK
	MOTION DETECTOR		DOOR CHIME
T-STAT	THERMOSTAT		KEY PAD FOR SECURITY SYSTEM
	EXHAUST FAN / LIGHT		WINDOW CONTACTS
	EXHAUST FAN		DOOR CONTACTS
	SURFACE INCANDESCENT		SMOKE DETECTOR
	RECESSED INCANDESCENT		SPECIAL PURPOSE
	220 OUTLET		HANGING FIXTURE
	WATERPROOF OUTLET		SIREN
	MICROWAVE HOOD OUTLET		

SYMBOLS

	2 X 4 STUD WALL @ 16" O.C.		CEILING FAN
	2 X 6 STUD WALL @ 16" O.C.		EXHAUST FAN
	BRICK VENEER		BUILDING SECTION
	SHOWER HEAD		BUILDING DETAIL
	SMOKE DETECTOR		RECESSED WATERPROOF LIGHT
	FLOOR SUPPLY REGISTER		SOLID BLOCKING DOWN TO FOUNDATION
	RETURN WALL VENT		
	WALL SUPPLY REGISTER		
T-STAT	THERMOSTAT		
	HOSE BIB		
	TEMPERED GLASS		



REFERENCE: RESIDENTIAL CODE OF NEW YORK STATE, PAGE 44

TABLE R404.1.1(3)

REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

VERTICAL REINFORCEMENT SIZE AND SPACING FOR 12-INCH NOMINAL WALL THICKNESS b,c

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	SOIL CLASSES ^d			
		GW, GP, AND SP SOILS	GM, GC, SM, SH, SC AND HL SOILS	SC, MH, ML, CL AND INORGANIC CL SOILS	
7	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
8	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
9	4	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	5	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	
	6	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.	

MAXIMUM HEADER SPANS IN EXTERIOR WALLS UNDER GABLE ENDS WITH NO FLOOR OR ATTIC LOAD

HEADER SIZE	MAXIMUM CLEAR SPAN
(2) 2 X 4	UP TO 5'-0"
(2) 2 X 6	5'-0" - 9'-0"

MAXIMUM STUD LENGTHS

SUPPORTING ONE FLOOR AND ROOF ONLY	STUD SIZE	LENGTH
SUPPORTING ONE FLOOR AND ROOF ONLY	2 X 4 AT 16" O.C.	UP TO 12'-0"
	2 X 6 AT 16" O.C.	12'-0" - 18'-0"
	2 X 6 AT 12" O.C.	18'-0" - 20'-0"
	DBL. 2 X 6 AT 16" O.C.	20'-0" - 24'-0"

MAXIMUM HEADER SPANS FOR INTERIOR BEARING WALLS

BASED ON BUILDING WIDTH OF 34'-0"

ONE FLOOR	HEADER SIZE	MAXIMUM CLEAR SPAN	NUMBER OF JACK STUDS AT EACH END
ONE FLOOR	(2) 2 X 4	2'-5"	1
	(2) 2 X 6	3'-4"	1
	(2) 2 X 8	4'-5"	2
	(3) 2 X 8 OR (2) 2 X 10	5'-5"	2
	(3) 2 X 10 OR (2) 2 X 12	6'-3"	2
	(3) 2 X 12	7'-10"	2
TWO FLOORS	(2) 2 X 4	1'-1"	1
	(2) 2 X 6	2'-5"	2
	(2) 2 X 8	3'-2"	2
	(3) 2 X 8 OR (2) 2 X 10	3'-10"	3
	(3) 2 X 10 OR (2) 2 X 12	4'-5"	3
	(3) 2 X 12	5'-1"	3

MAXIMUM HEADER SPANS FOR EXTERIOR BEARING WALLS

BASED ON BUILDING WIDTH OF 34'-0"

ROOF, CEILING, AND FLOOR WITH 10" CENTER BEARING WALLS	HEADER SIZE	SPAN	NUMBER OF JACK STUDS AT EACH END
ROOF, CEILING, AND FLOOR WITH 10" CENTER BEARING WALLS	(2) 2 X 4	2'-6"	1
	(2) 2 X 6	3'-8"	2
	(2) 2 X 8	4'-1"	2
	(3) 2 X 8 OR (2) 2 X 10	5'-1"	2
	(3) 2 X 10 OR (2) 2 X 12	6'-4"	2
	(3) 2 X 12	8'-2"	2
ROOF, CEILING, AND FLOOR WITH 10" CENTER BEARING WALLS	(2) 2 X 4	2'-2"	1
	(2) 2 X 6	3'-3"	2
	(2) 2 X 8	4'-1"	2
	(3) 2 X 8 OR (2) 2 X 10	5'-0"	2
	(2) 2 X 12	5'-9"	3
	(3) 2 X 10	6'-3"	2
ROOF, CEILING, AND FLOOR WITH 10" CENTER BEARING WALLS	(3) 2 X 12	7'-3"	2
	(2) 2 X 4	2'-0"	1
	(2) 2 X 6	3'-0"	2
	(2) 2 X 8	3'-9"	2
	(2) 2 X 10	4'-1"	3
	(2) 2 X 12	5'-4"	3
ROOF, CEILING, AND FLOOR WITH 10" CENTER BEARING WALLS	(3) 2 X 8	4'-8"	2
	(3) 2 X 10	5'-9"	2
	(3) 2 X 12	6'-8"	2
	(2) 2 X 4	1'-11"	1
	(2) 2 X 6	2'-10"	2
	(2) 2 X 8	3'-8"	2
ROOF, CEILING, AND FLOOR WITH 10" CENTER BEARING WALLS	(2) 2 X 10	5'-2"	3
	(3) 2 X 8	4'-1"	2
	(3) 2 X 10	5'-1"	2
	(3) 2 X 12	6'-5"	3

ABBREVIATIONS

†	AND	MC	MEDICINE CABINET
•	AT	MAT'L	MATERIAL
AC	AIR CONDITIONING	M.L.	MICRO-LAM
ADD'N	ADDITION	MO	MASONRY OPENING
AP	ACCESS PANEL	MT	MARBLE THRESHOLD
APPROX	APPROXIMATE	MFR	MANUFACTURER
AVG	AVERAGE	MAX	MAXIMUM
BS	BASEMENT SASH	MECH	MECHANICAL
BW	BEARING WALL	MTL	METAL
BM	BEAM	MIN	MINIMUM
BKSH	BOOK SHELF	MISC	MISCELLANEOUS
BLK	BLOCK	NIC	NOT IN CONTRACT
BC	BROOM CLOSET	NO / #	NUMBER
BD	BOARD	NTS	NOT TO SCALE
BLDG	BUILDING	O/	OVER
BLDR	BUILDER	O	OVENS
BLK	BLOCK	OC	ON CENTER
BSMT	BASEMENT	OPT	OPTIONAL
CANT'LR	CANTILEVER	O/A	OVERALL
C	CARPET	OHD. DR	OVERHEAD DOOR
CAB	CABINET	O.D.	OUTSIDE DIAMETER
CJ	CORNER BOARD	OPNG	OPENING
CB	CEILING JOIST	PLT	PLATE
C.O.	CASED OPENING	PAN	PANTRY
CT	CERAMIC TILE	P.D.R.	POWDER ROOM
CKT	COOKTOP	PED	PEDESTAL
CL	CENTERLINE	PLAT	PLATFORM
CLG	CEILING	PMB	PLUMBING
CLOS	CLOSET	PSF	POUNDS PER SQUARE FOOT
CNTR	COUNTER	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PT. LD.	POINT LOAD
CONC	CONCRETE	PLYWD	PLYWOOD
CONSTR	CONSTRUCTION	R	RISER
CONT	CONTINUOUS	RAD	RADIUS
CRS	COURSES	REIN	REINFORCED
D	DRYER	REF	REFRIGERATOR
D.V.	DIRECT VENT	R & SH	ROD AND SHELF
DW	DISHWASHER	REV	REVISED OR REVISION
DIA	DIAMETER	REQ'D.	REQUIRED
DH	DOUBLE HUNG	RFTR	RAFTER
DBL	DOUBLE	RM	ROOM
DET	DETAIL	SB	SINK BASE
DN	DOWN	SEL'D	SELECTED
DR	DOOR	SHS	SHELVES
DWG	DRAWING	S.H.	SHOWER HEAD
DIM	DIMENSION	SSR	SINGLE STUD RETURN
ELEC	ELECTRIC	SKY'LT	SKYLIGHT
EQ	EQUAL	SH	SHELF
EST	ESTIMATE	SHT	SHEET
EXIST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STOR	STORAGE
FD	FLOOR DRAIN	STL	STEEL
FF	FINISH FLOOR	TBD	TO BE DETERMINED
FL	FLUSH	THK	THICK
FLR JST	FLOOR JOIST	TME	TO MATCH EXISTING
FT (')	FEET	TYP	TYPICAL
FLR	FLOOR	TC	TOWEL CLOSET
FP	FIREPLACE	U/	UNDER
FTG	FOOTING	UNEX	UNEXCAVATED
GALV	GALVANIZED	VAN	VANITY
HDR	HEADER	VIF	VERIFY IN FIELD
HR	HANDRAIL	VERT	VERTICAL
HGT	HEIGHT	W	WASHER
HW	HARDWOOD	WD	WOOD
HND'CP	HANDICAP	WH	WATER HEATER
IB	IRONING BOARD	W/	WITH
IN (")	INCH	WIC	WALK IN CLOSET
INSUL	INSULATION	WGT	WEIGHT
JSTS	JOISTS	W/O	WITHOUT
L.C.	LINEN CLOSET	WL	WALL
LCH	LAUNDRY CHUTE	WUM	WELDED WIRE MESH

HEADER NOTE
 ALL MANUFACTURED HEADERS TO BE AS PER MANUFACTURER

MINIMUM DESIGN LOADS

LOADS	LIVE	DEAD	TOTAL
FIRST FLOOR	40	20	60
SECOND FLOOR	40	15	55
ROOF	50	10	60
ATTIC (LIGHT STORAGE)	20	10	30
WOOD DECK	40	15	55

ARCHITECTURAL INNOVATIONS, P.C.
 THESE PLANS ARE UNLESS OTHERWISE SPECIFIED AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL INNOVATIONS, P.C.
 UNAUTHORIZED ALTERATIONS TO THESE PLANS IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, SECTION 1201, ARTICLE 16.
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ARCHITECTURAL INNOVATIONS
 99 SHOREHAM DRIVE
 ROCHESTER, NEW YORK 14618
 585-385-5540 E-MAIL AIPC@AOL.COM

NO.	REVISION	DATE	BY

BATH AND LAUNDRY ADDITION
 PROJECT LOCATION WEXFORD PITTSFORD, NEW YORK
 CLIENT STEVE AND JILL HICKS

SHEET NO.
2 of 2
 DRAWN BY
 JHS
 PROJECT NUMBER
 18-011









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000057

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 55 Sutton PITTSFORD, NY 14534

Tax ID Number: 163.02-3-32

Zoning District: RN Residential Neighborhood

Owner: Koppikar, Vinay D

Applicant: Burrows, David (Architect)

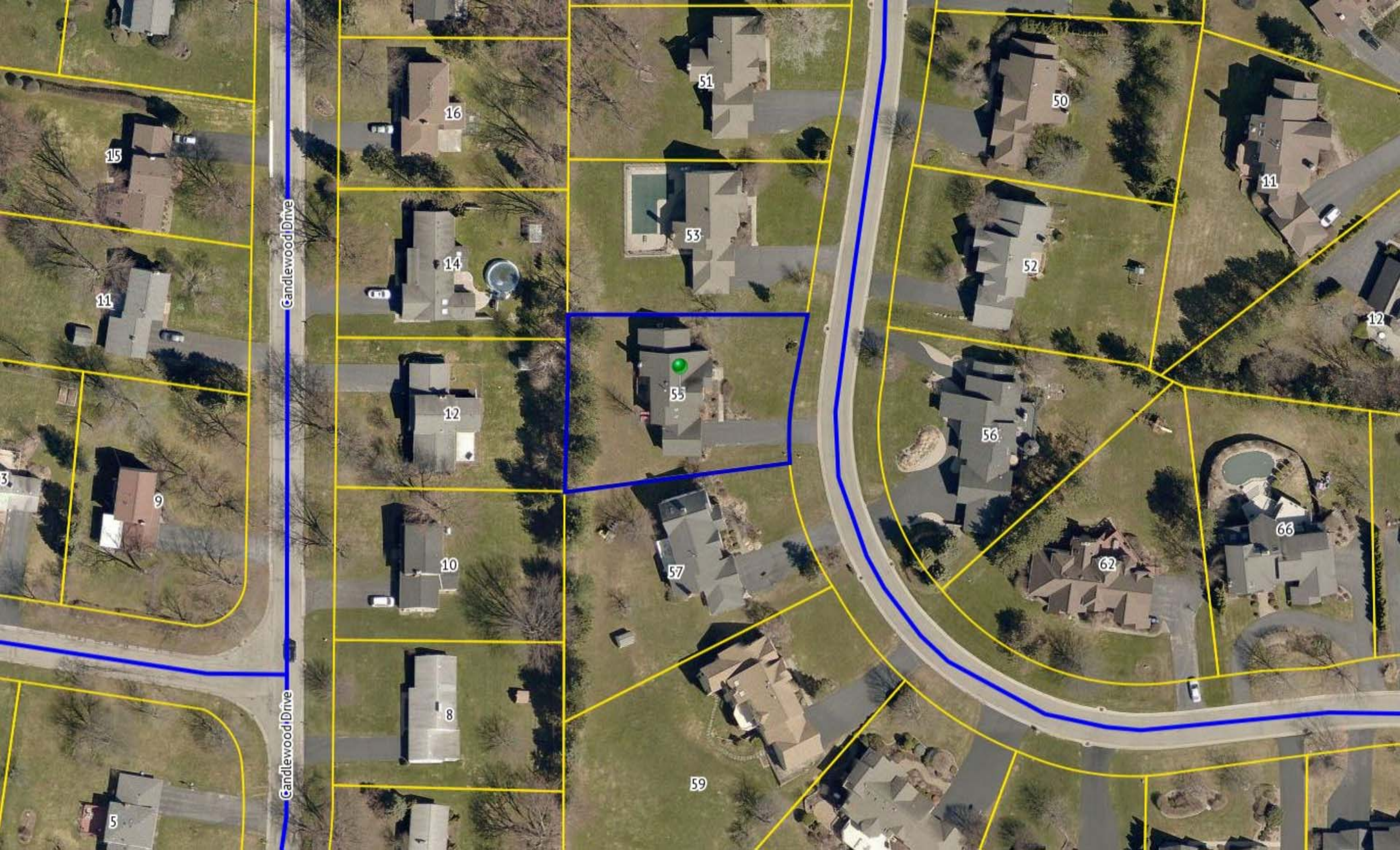
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
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§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
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§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the garage and in-law suite addition. The total square footage of the project will be approximately 1054 sq. ft. and will be located behind the existing garage.

Meeting Date: April 25, 2019





Candlewood Drive

Candlewood Drive

15

11

9

16

14

12

10

8

51

53

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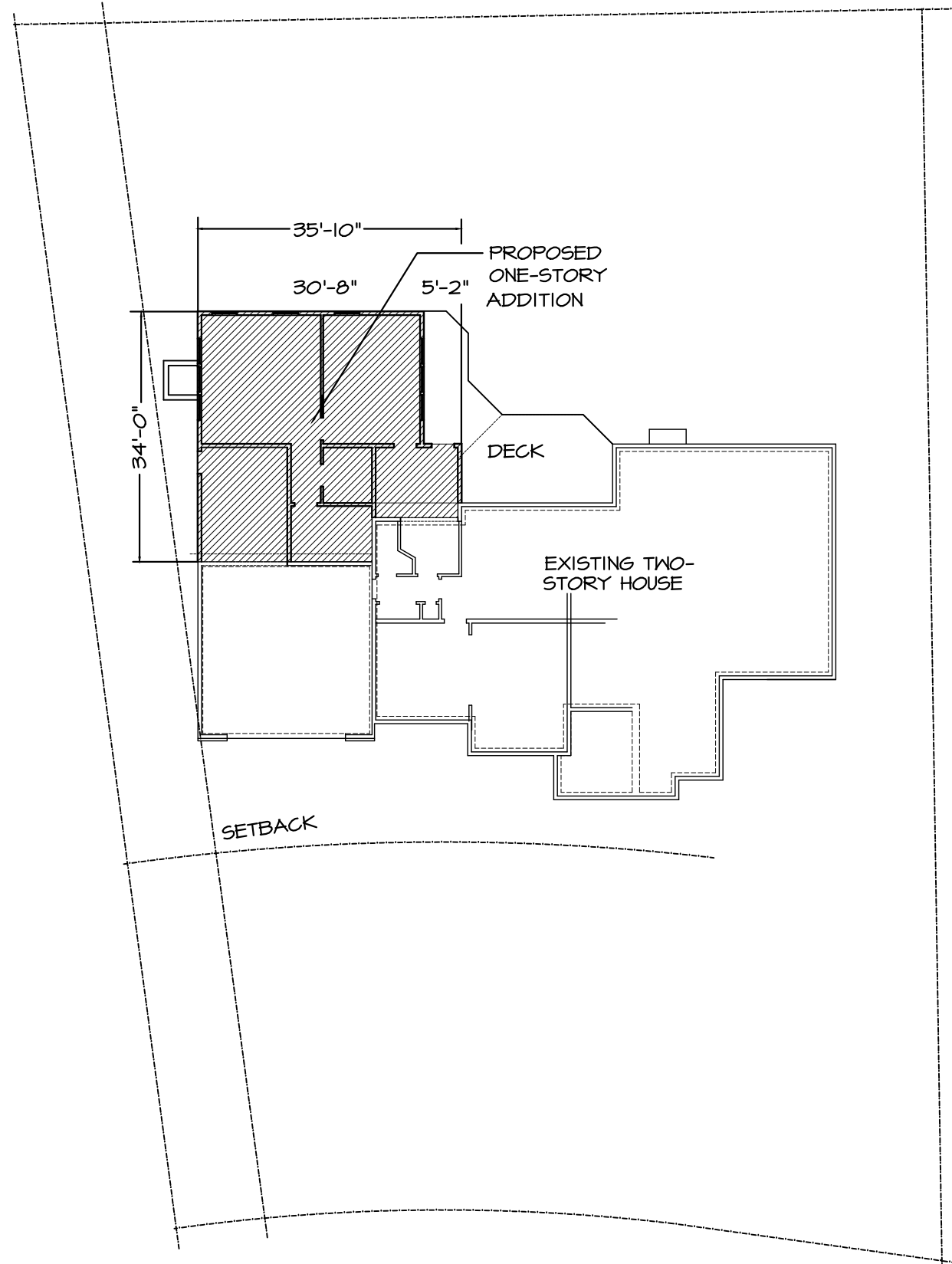
Unauthorized alterations to these plans is a violation of the New York State Education Law, Section 7209, Article 145.

Contractor to verify all notes and dimensions before starting construction and be responsible for errors and/or omissions.

Contractor shall be responsible for construction means, methods, techniques, sequences or procedures, and safety precautions and programs in connection with the work.

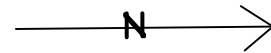
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE DRAWINGS COMPLY WITH 2015 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE AND 2015 INTERNATIONAL RESIDENTIAL CODE, DRAWINGS S1, S2, A1 THROUGH A10 DATED APRIL 15, 2019.

THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT & STATE LAW. NO COPYING OR EXPLOITATION; NO ALTERATIONS; NO UNAUTHORIZED USE WITHOUT THE APPROVAL OF DAVID M. BURROWS, ARCHITECT



SITE PLAN

1" = 30'



- S-1 SURVEY, SITE PLAN, & COVER
- S-2 SCHEDULES, OVERALL PLAN
- A-1 FIRST FLOOR PLAN
- A-2 EAST ELEVATION
- A-3 NORTH ELEVATION
- A-4 SOUTH ELEVATION
- A-5 FOUNDATION/ FLOOR FRAMING PLAN
- A-6 ROOF FRAMING PLAN
- A-7 BUILDING SECTION 1-1
- A-8 BUILDING SECTION 2-2
- A-9 BUILDING SECTION 3-3
- A-10 BUILDING SECTION 4-4
- ME-1 MECHANICAL/ELECTRICAL PLANS

INDEX TO DRAWINGS

DAVID M. BURROWS
ARCHITECT

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FAIRPORT, NEW YORK 14450
(585) 766-8220
burrowsarchitect@yahoo.com

REMODELING FOR
Shahana BANERJI and Vinay KOPPIKAR
55 SUTTON POINT
PITTSFORD, NEW YORK 14534

04/15/19
REVISIONS

1838

S-1

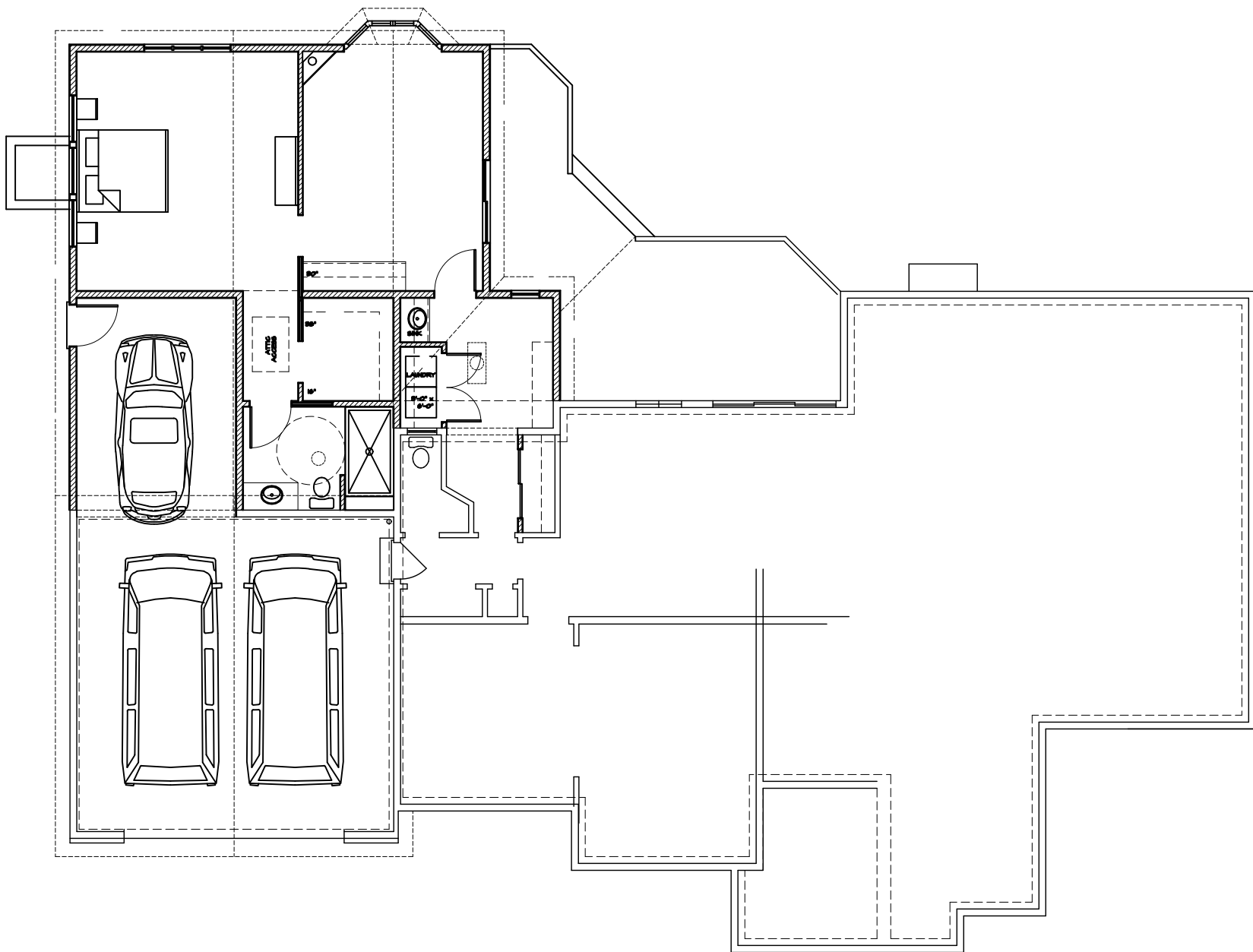
OF 2

RESIDENTIAL ENERGY EFFICIENCY
2015 INTERNATIONAL ENERGY CONSERVATION CODE
TABLE 402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT - CLIMATE ZONE 5

FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
0.32	0.55	44	20 OR 13 + 5	13/17	30 *	15/19	10, 2 ft.	15/19

* OR INSULATION SUFFICIENT TO FILL FRAMING CAVITY, R=19 MIN.

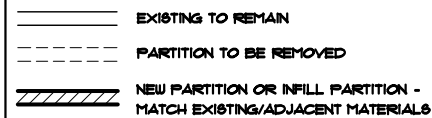
ENERGY EFFICIENCY



WALL TYPES SCHEDULE

- 1 2x6 STUDS @ 16" OC, 1/32" OSB SHEATHING, INFILTRATION BARRIER, VINYL SIDING & TRIM, NO INSULATION OR DRYWALL - ALIGN W/ EXISTING WALL
- 2 2x6 STUDS @ 16" OC, 1/32" OSB SHEATHING, INFILTRATION BARRIER, VINYL SIDING & TRIM, R = 19 OR R = 21 BATT INSULATION, 1/2" DRYWALL - ALIGN W/ EXISTING INTERIOR WALL WHERE CONTINUOUS
- 3 2x6 STUDS @ 16" OC, R = 19 INSULATION, 5/8" TYPE X DRYWALL ON GARAGE SIDE, 1/2" DRYWALL INTERIOR - ONE-HOUR FIRE RATED PARTITION
- 4 EXISTING EXTERIOR WALL - REMOVE SIDING & SHEATHING, ADD R = 15 BATT INSULATION, 1/2" DRYWALL INTERIOR, 5/8" TYPE X DRYWALL ON GARAGE SIDE - ONE-HOUR RATED PARTITION
- 5 EXISTING EXTERIOR WALL - REMOVE SIDING & SHEATHING, ADD 1/2" DRYWALL ON NEW INTERIOR SIDE
- 6 2x6 STUDS @ 16" OC, 1/2" INTERIOR DRYWALL BOTH SIDES - MOISTURE RESISTANT DRYWALL ON BATH SIDE
- 7 2x4 STUDS @ 16" OC, 1/2" INTERIOR DRYWALL BOTH SIDES - MOISTURE RESISTANT DRYWALL ON BATH SIDE

WALL LEGEND



ENTRY CLOSET	1	6 - PANEL 1 3/8" MASONITE DOORS 2'-6" x 6'-8" (MATCH EXIST.) - PAIR IN 5'-0" x 6'-8" OPENING - BY-PASS DOORS, TRACK, HARDWARE
LAUNDRY CLOSET	2	6 - PANEL 1 3/8" MASONITE DOORS 2'-6" x 6'-8" (MATCH EXIST.) - PAIR IN 5'-0" x 6'-8" OPENING - HINGES, ROLLER CATCHES, DUMMY PULLS
SUITE	3	6 - PANEL 1 3/8" MASONITE DOOR 3'-0" x 6'-8" (MATCH EXIST.) - PASSAGE HARDWARE
PATIO DOORS	4	ANDERSEN PERMASHIELD GLIDING PATIO DOORS PS61611 6'-0 3/4" ROW x 6'-10 7/8" ROH
BEDROOM	5	6 - PANEL 1 3/8" MASONITE DOOR 3'-0" x 6'-8" (MATCH EXIST.) - POCKET DOOR OPENING - JOHNSON SERIES 1500 SC POCKET DOOR HARDWARE
WALK IN CLOSET	6	6 - PANEL 1 3/8" MASONITE DOOR (MATCH EXISTING) - POCKET PAIR IN 4'-0" x 6'-8" OPENING - JOHNSON SERIES 1500 SC POCKET DOOR HARDWARE
BATH ROOM *	7	6 - PANEL 1 3/8" MASONITE DOOR 3'-0" x 6'-8" (MATCH EXIST.) - POCKET DOOR OPENING - JOHNSON SERIES 1500 SC POCKET DOOR HARDWARE
GARAGE ENTRY	8	THERMATRU FIRE-RATED DOOR SE978HD 3'-0" x 6'-8" - ENTRANCE HARDWARE

HARDWARE FINISH ALL DOORS - US15 SATIN NICKEL (VERIFY)
MATCH EXISTING SCHLAGE HARDWARE (CONFIRM W/OWNER)
NOTE - KEY LOCKSET OF DOOR #8 TO LOCKSET OF FRONT DOOR
MATCH OWNER'S SAMPLE
DOOR #7 (BATH) OPTION - HINGED DOOR WITH PRIVACY HARDWARE

DOOR SCHEDULE

TYPE	STYLE	ROUGH OPENING*	PRODUCT	U VAL.
A	AWNING	3'-4 13/16" W x 2'-0 1/8" H	ANDERSEN 400 SERIES A351	.28
B	CASEMENT x 3	2' 0 5/8" W x 5'-0 3/8" H 6'-2 1/8" TOTAL ROW	ANDERSEN 400 SERIES C15 x 3	.28
C	BAY WINDOW	7'-2 1/2" W x 5'- 1 7/8" H	ANDERSEN 400 SERIES 45--C245-20	.28
D	CASEMENT	2' 0 5/8" W x 5'-0 3/8" H	ANDERSEN 400 SERIES C15	.28

*CONFIRM R.O. SIZE
ALL GLAZING : LOW-E INSULATING GLASS WITH ARGON
PROVIDE 6 9/16" JAMB EXTENSIONS (VERIFY)
CLAD EXTERIOR - WHITE (VERIFY) PAINTED WHITE INTERIOR
STANDARD HARDWARE FULL SCREEN
COLONIAL GRILLES TO MATCH EXISTING HOUSE WINDOWS

WINDOW SCHEDULE

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55 SUTTON POINT
PITSFORD, NEW YORK 14534

04/15/19
REVISIONS

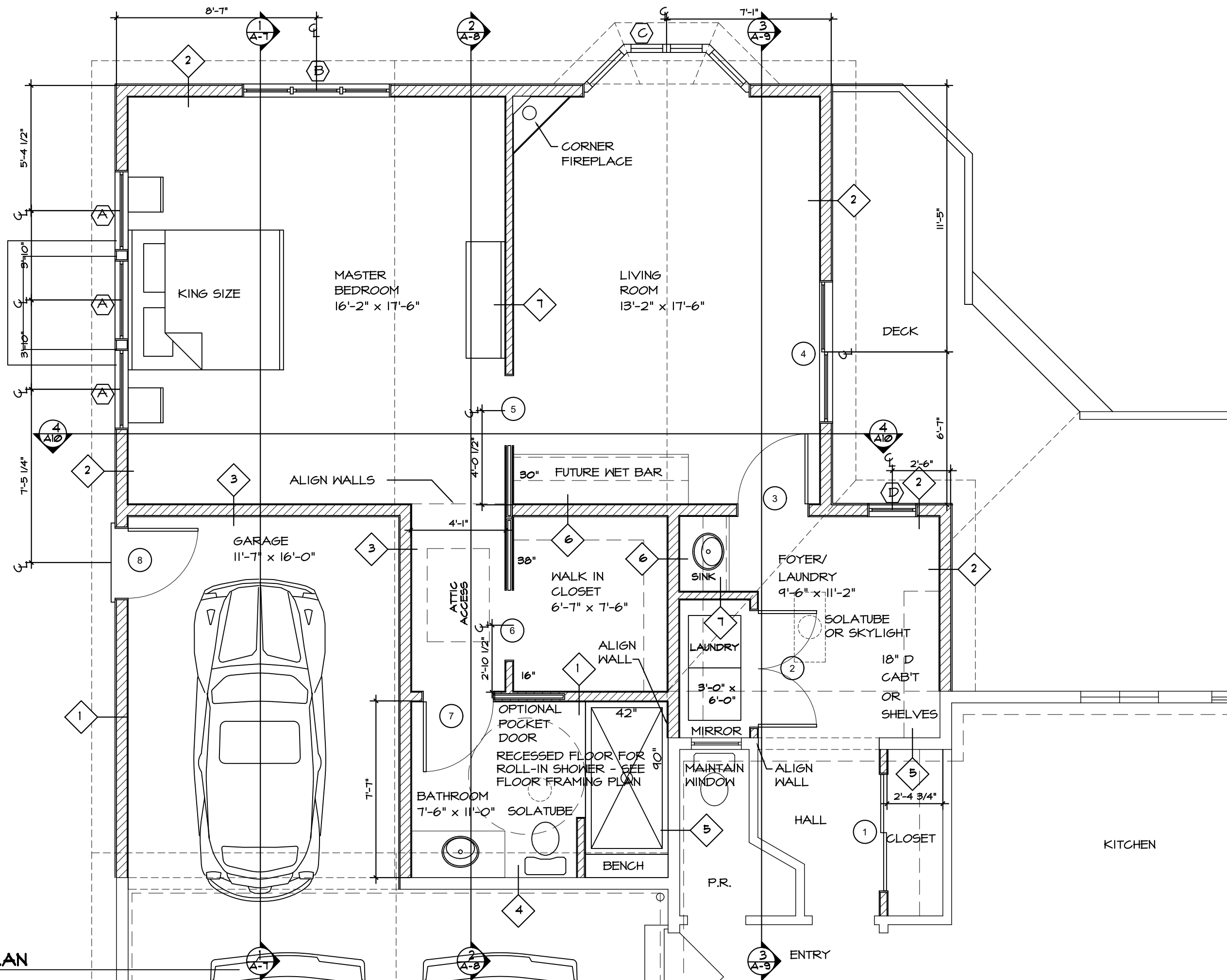
1838

S-2

OF 2

FLOOR PLAN - OVERALL

3/32" = 1'-0"



FIRST FLOOR PLAN

1/4" = 1'-0"

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A-1

OF 10



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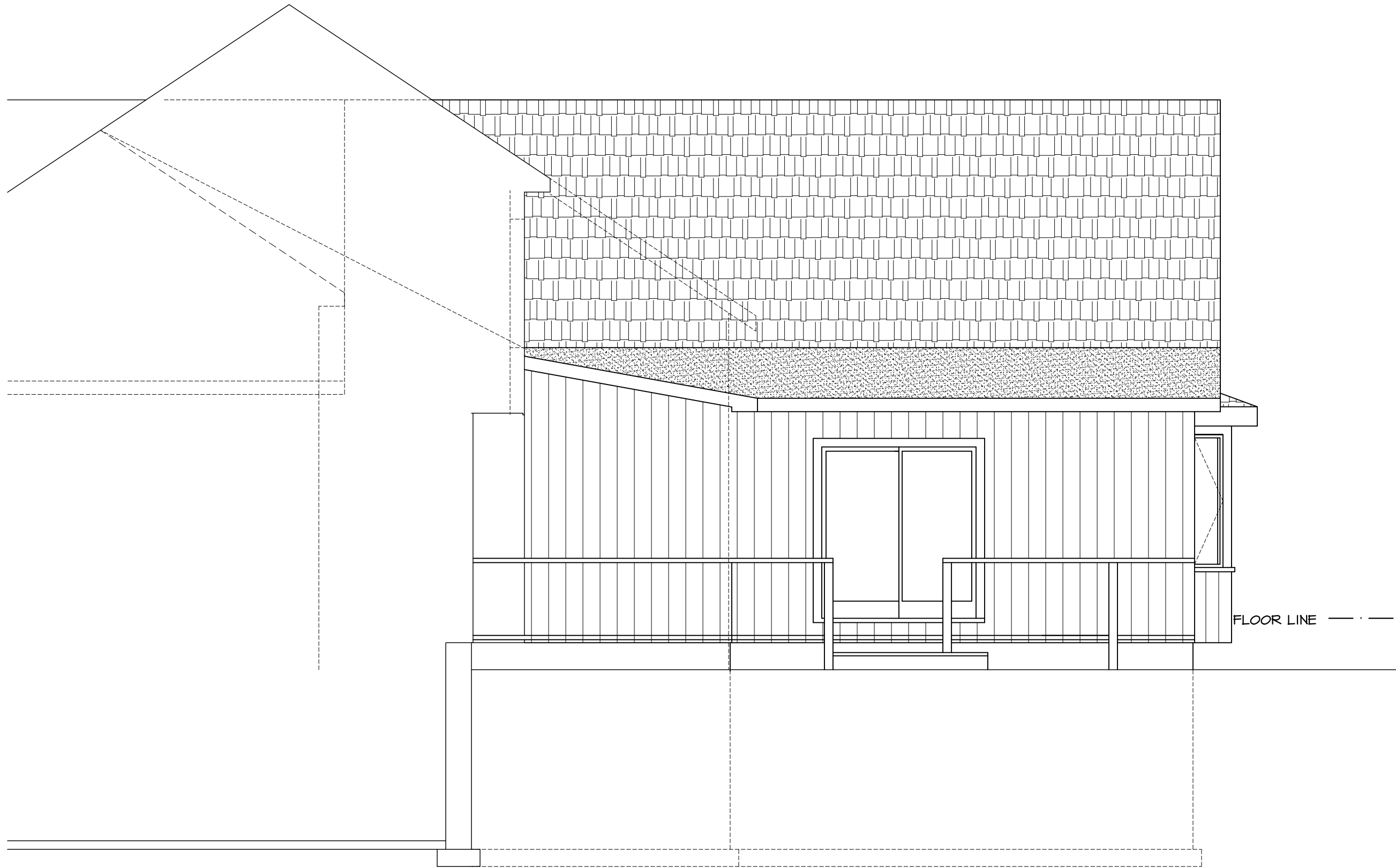
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OF 10

WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

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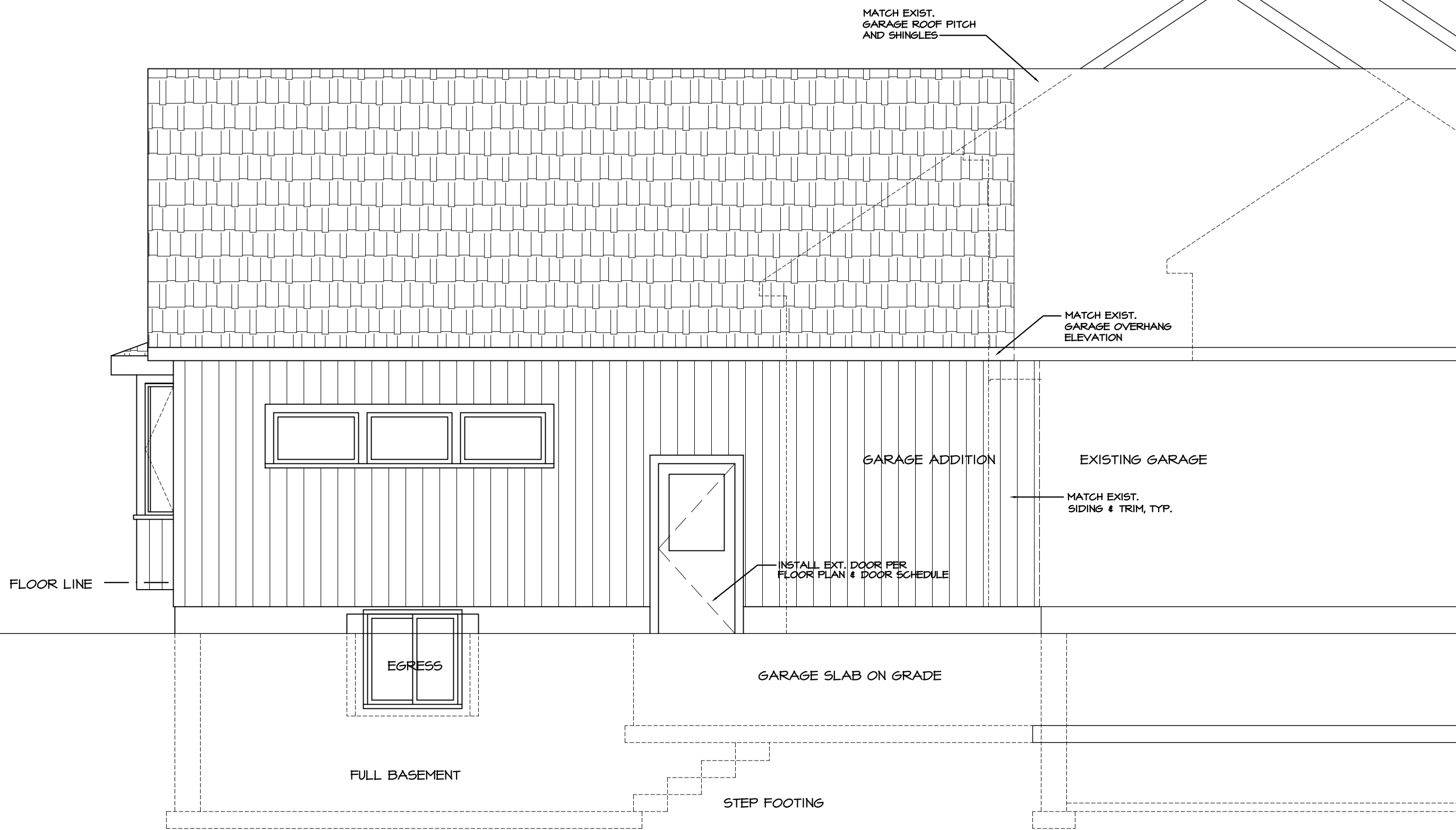
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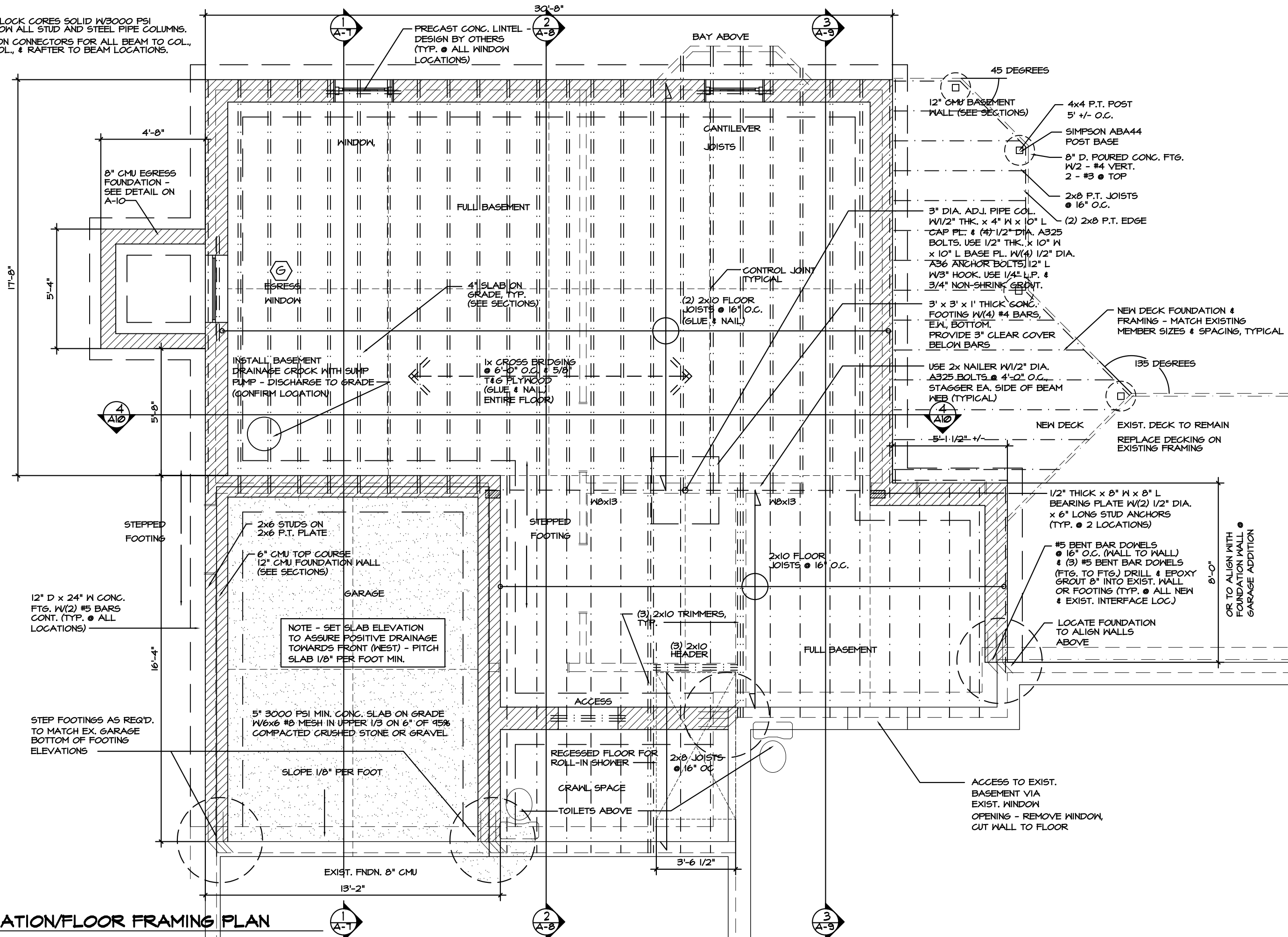
REMODELING FOR
 Shahana BANERJI and Vinay KOPPIKAR
 55 SUTTON POINT
 PITTSFORD, NEW YORK 14534

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 OF 10

- NOTES:**
 1) FILL ALL BLOCK CORES SOLID W/3000 PSI GROUT BELOW ALL STUD AND STEEL PIPE COLUMNS.
 2) USE SIMPSON CONNECTORS FOR ALL BEAM TO COL., HDR. TO COL., & RAFTER TO BEAM LOCATIONS.



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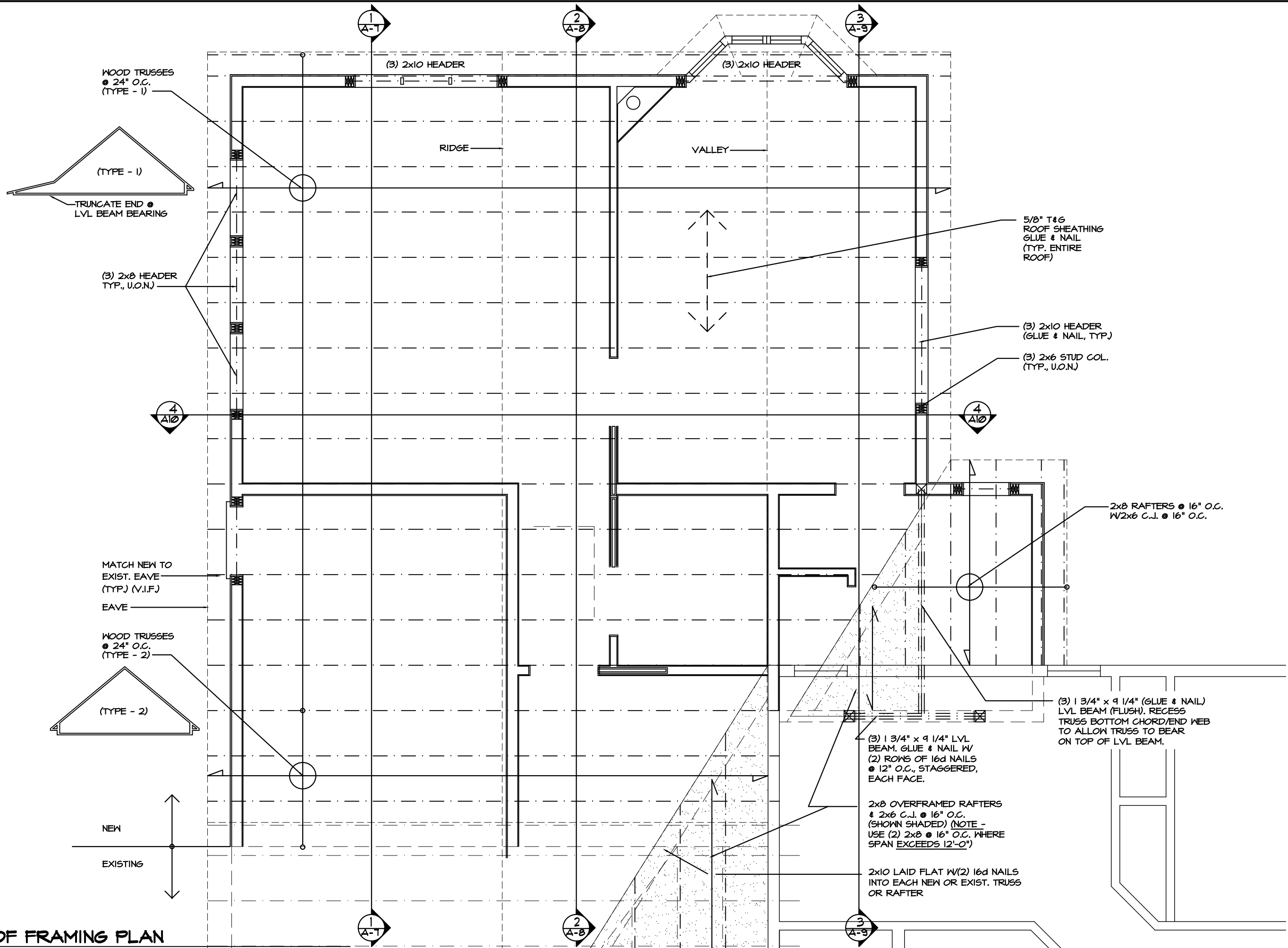
REMODELING FOR
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 OF 10

FOUNDATION/FLOOR FRAMING PLAN
 1/4" = 1'-0"



ROOF FRAMING PLAN

1/4" = 1'-0"

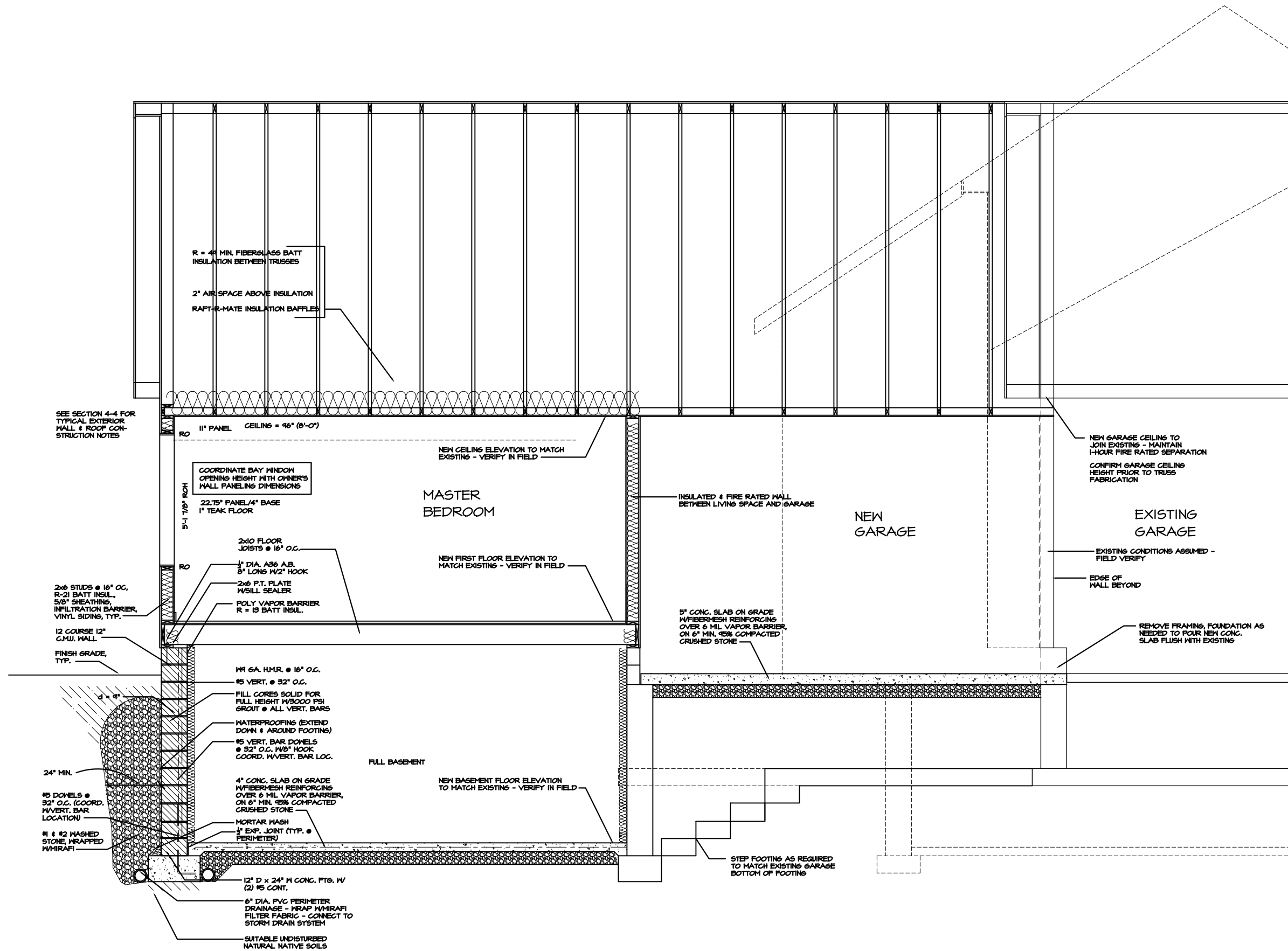
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OF 10



BUILDING SECTION I-I

1/4" = 1'-0"

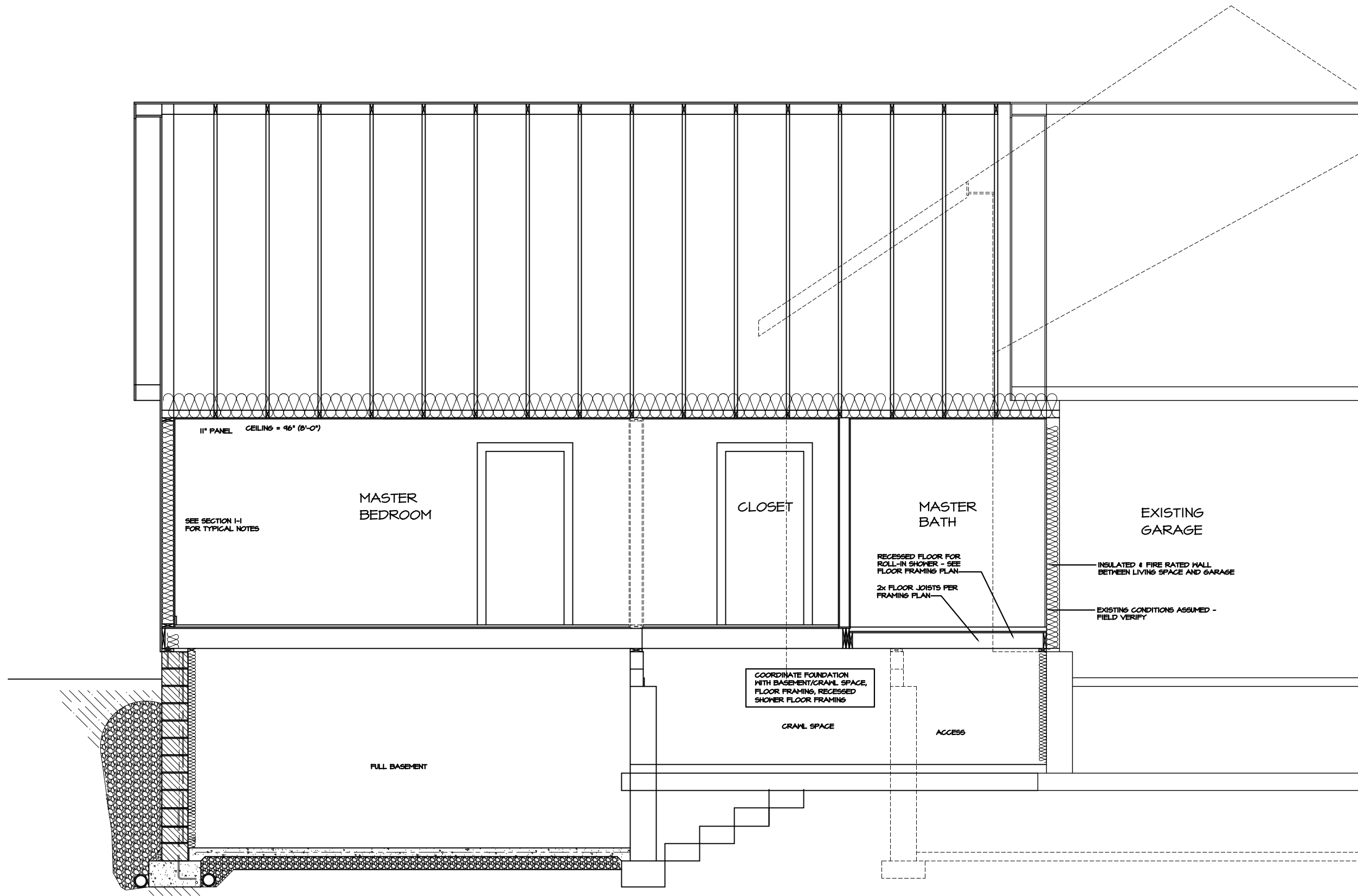
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 OF 10



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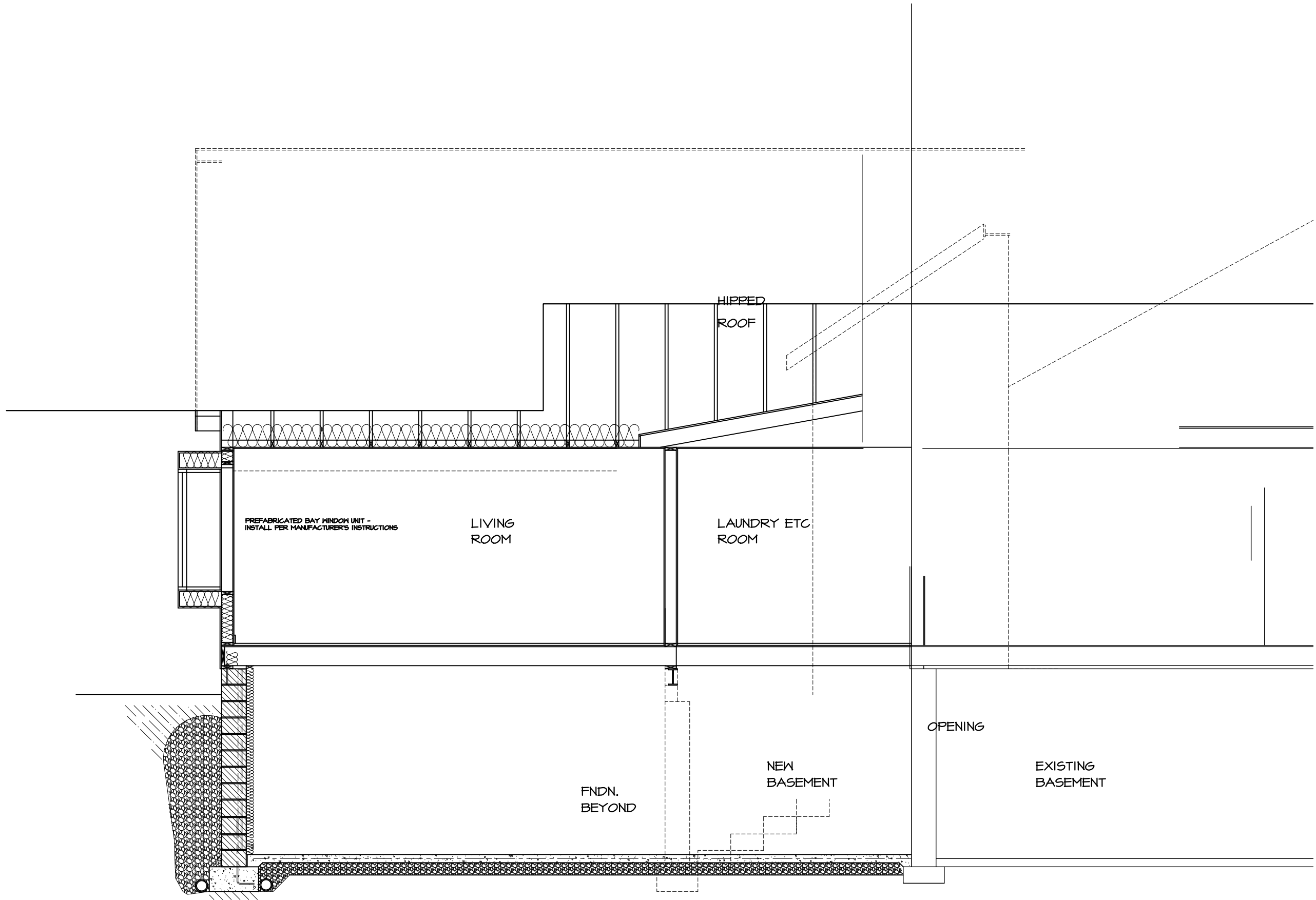
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OF 10

BUILDING SECTION 2-2

1/4" = 1'-0"



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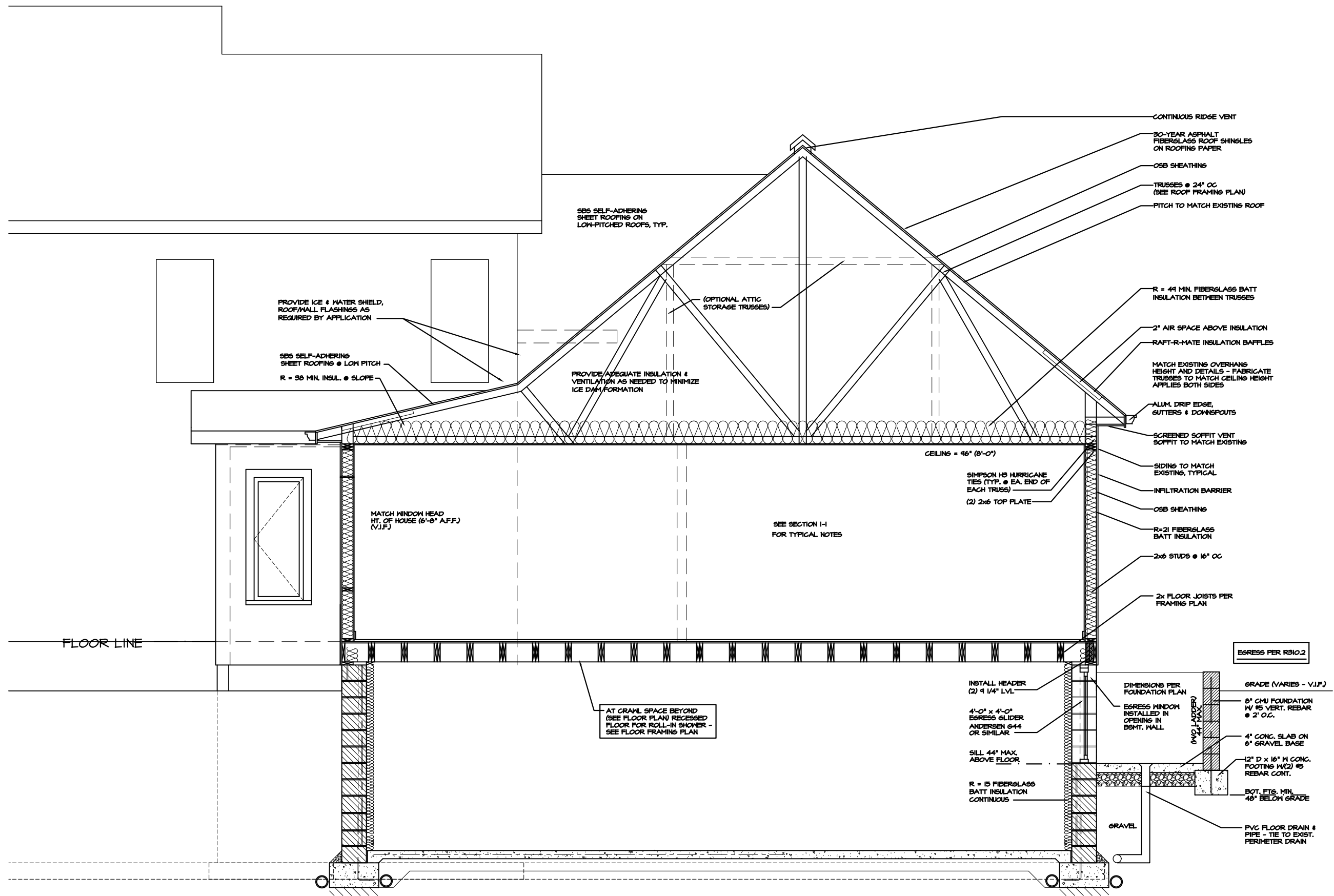
1838

A-9

OF 10

BUILDING SECTION 3-3

1/4" = 1'-0"



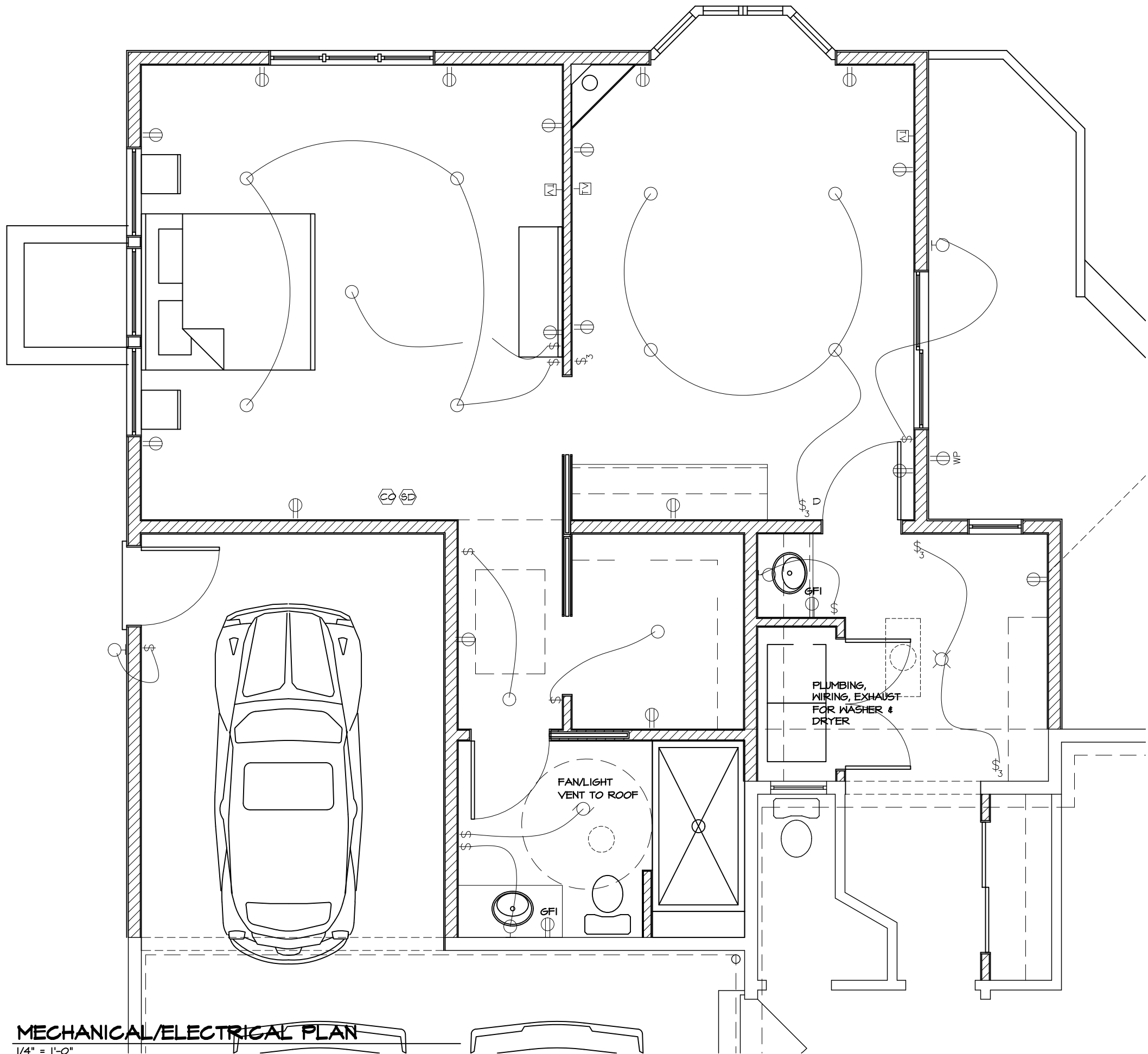
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REMODELING FOR
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 55 SUTTON POINT
 PITSFORD, NEW YORK 14534

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 OF 10



KEY TO ELECTRICAL SYMBOLS	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET
	DUPLEX OUTLET - SWITCHED
	220 V OUTLET
	DUPLEX OUTLET - WATERPROOF
	SINGLE POLE SWITCH
	CEILING FAN/LIGHT SWITCH
	3-WAY SWITCH
	DIMMER SWITCH (TOGGLE TYPE)
	RECESSED LIGHT FIXTURE (INCANDESCENT)
	CEILING MOUNTED LIGHT FIXTURE (INCANDESCENT)
	CEILING MOUNTED LIGHT FIXTURE (FLOURESCENT)
	WALL MOUNTED LIGHT FIXTURE (AS NOTED)
	BATH EXHAUST FAN/LIGHT COMBINATION
	TRACK LIGHT FIXTURE (CEILING MOUNTED)
	THERMOSTAT
	TELEPHONE JACK (AS NOTED)
	CABLE TELEVISION OUTLET
	CO/SMOKE DETECTOR
	1500 W WALL-MOUNTED HEATER

NOTE - ALL SWITCHES TO BE ROCKER TYPE

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REMODELING FOR
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55 SUTTON POINT
PITTSFORD, NEW YORK 14534

04/15/19
REVISIONS

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ME-1

OF 1

MECHANICAL/ELECTRICAL PLAN

1/4" = 1'-0"









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B19-000058

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3575 East Avenue ROCHESTER, NY 14618

Tax ID Number: 138.14-1-41

Zoning District: RN Residential Neighborhood

Owner: Schwartz, George J

Applicant: Comfort Window Co., Inc.

Application Type:

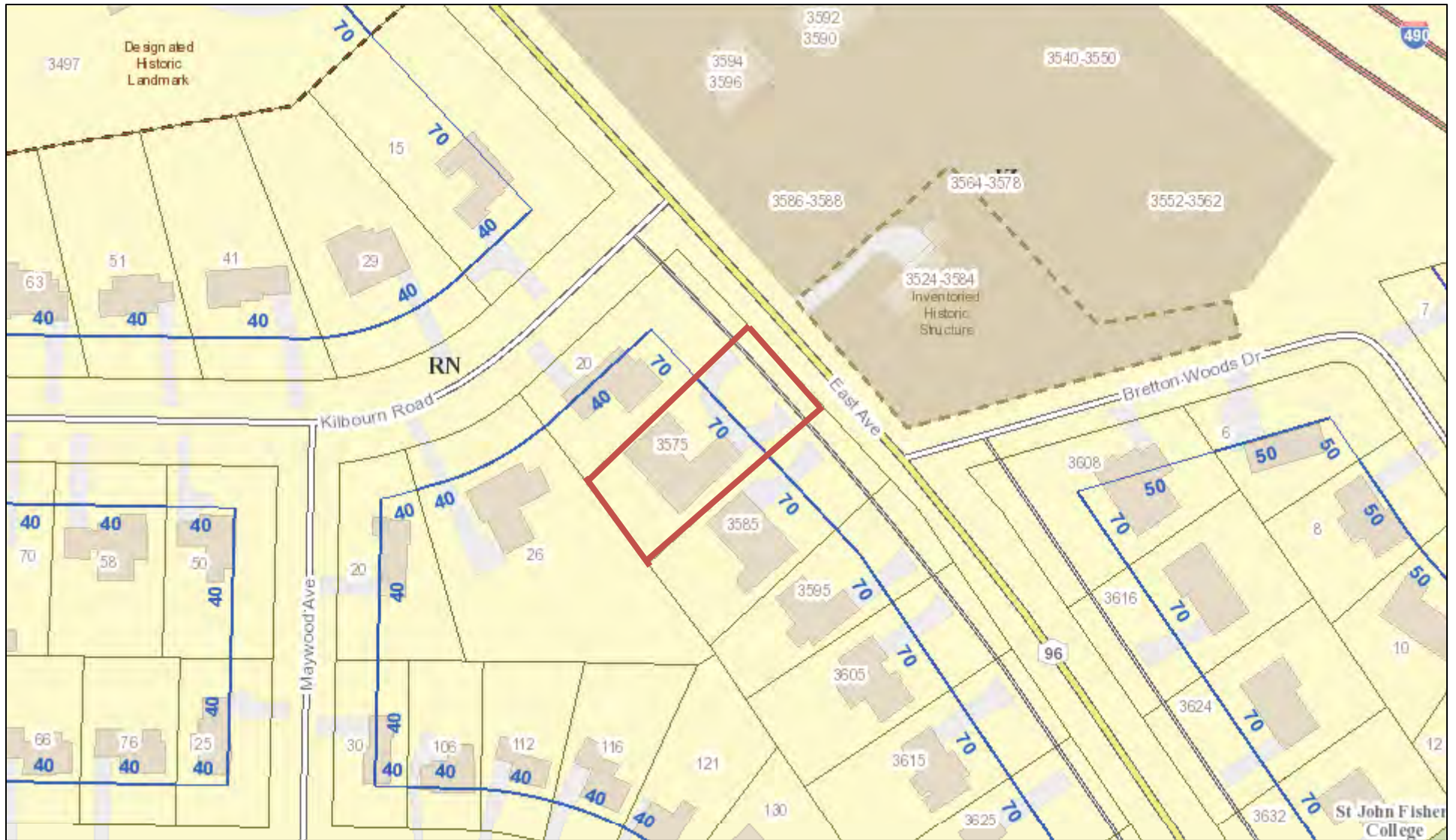
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|---|---|
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the sunroom addition. The addition will be approximately 240 sq. ft. and will be located to the rear of the existing home.

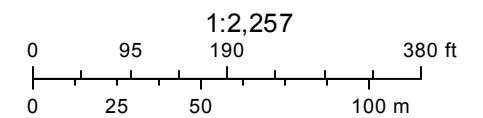
Meeting Date: April 25, 2019



RN Residential Neighborhood Zoning



Printed April 18, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



15

3564-3578

3552-3562

3586-3588

41

29

3524-3584

Kilbourn Road

East Avenue

20

Bretton Woods Drive

3575

Bretton Woods Drive

3585

3608

26

3595

3616

50

20

Maywood Avenue

3605

East Avenue

25

30

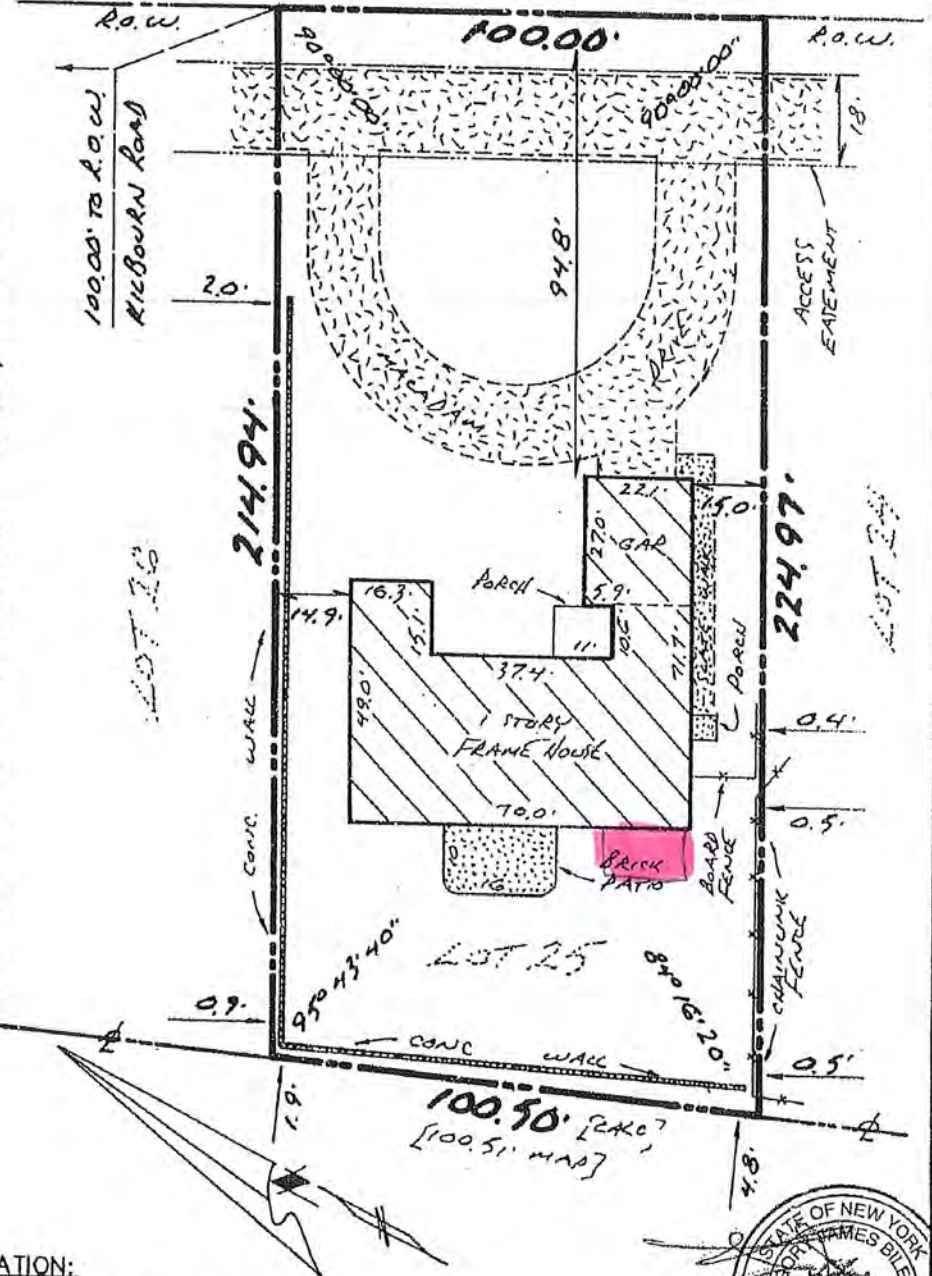
106

112

110

EAST (66' R.O.W.) AVENUE

REFERENCES: 1) ABSTRACT OF TITLE NOT PROVIDED
 2) LIBER 54 OF MAPS, PAGE 13. EAST AVENUE ESTATES SUBDIVISION
 3) LIBER 9046 OF DEEDS, PAGE 53
 4) SEWER EASEMENT - LIBER 2838 OF DEEDS, PAGE 139



CERTIFICATION:

I hereby certify to: **KIMBERLY RUSSELL, ESQ.**
 THE TITLE INSURANCE COMPANY INSURING THE FEE
 GEORGE J. SCHWARTZ

that this map was made **FEB 18, 2014** from notes of an Instrument Survey completed **FEB 14, 2014**, and from references listed hereon.

GREGORY J. BILESCHI, NYSLS #50342

NOTE: Property corners should only be set by a licensed, registered land surveyor. This cover has impeded ability to locate ground features.

ADDITIONAL FIELD NOTES
 MAY 12, 1998.



TITLE: **INSTRUMENT SURVEY MAP**
*** 3575 EAST AVENUE**
LOT 25 - EAST AVENUE ESTATES SUBDIVISION
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

Tax Account No.
138140-01-041

BILESCHI LAND SURVEYING
 435 REYNOLDS ARCADE
 ROCHESTER, NEW YORK 14614
 (585) 454-6010 (phone)
 (585) 454-6015 (fax)
JAMES M. LEONI, L.S. OF CONSULT

DATE: **FEB. 18, 2014**
 FILE No.
 OWNER: **COHEN**
 SCALE: **1 INCH = 30 FEET**

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyors seal is a violation of section 7208 Subdivision 2, of the New York State Education Law."
 "Only copies from the original of this survey marked with an original land surveyors seal shall be considered to be valid true copies. Certifications shall run only for the person for whom the survey is prepared, and on behalf of the title company insuring the fee, the governmental agency and lending institution listed hereon, and to the gainfulness of the lending institution. Certifications are not transferable to additional institutions or subsequent owners. This map is subject to any easements and/or encumbrances that an abstract of title may show. The words 'certify' or 'certification' as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee expressed or implied. Location of waterborne improvements and those which are covered may be approximate or not shown hereon. Landscaping features are not shown hereon, unless otherwise specified."

M. D. C.
 CONTACT SUPPLY, INC.





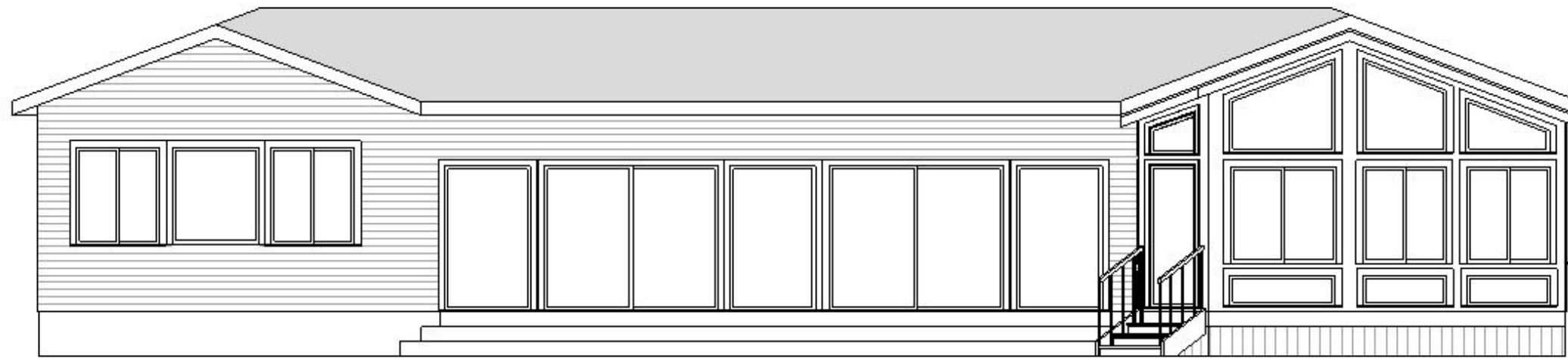




LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



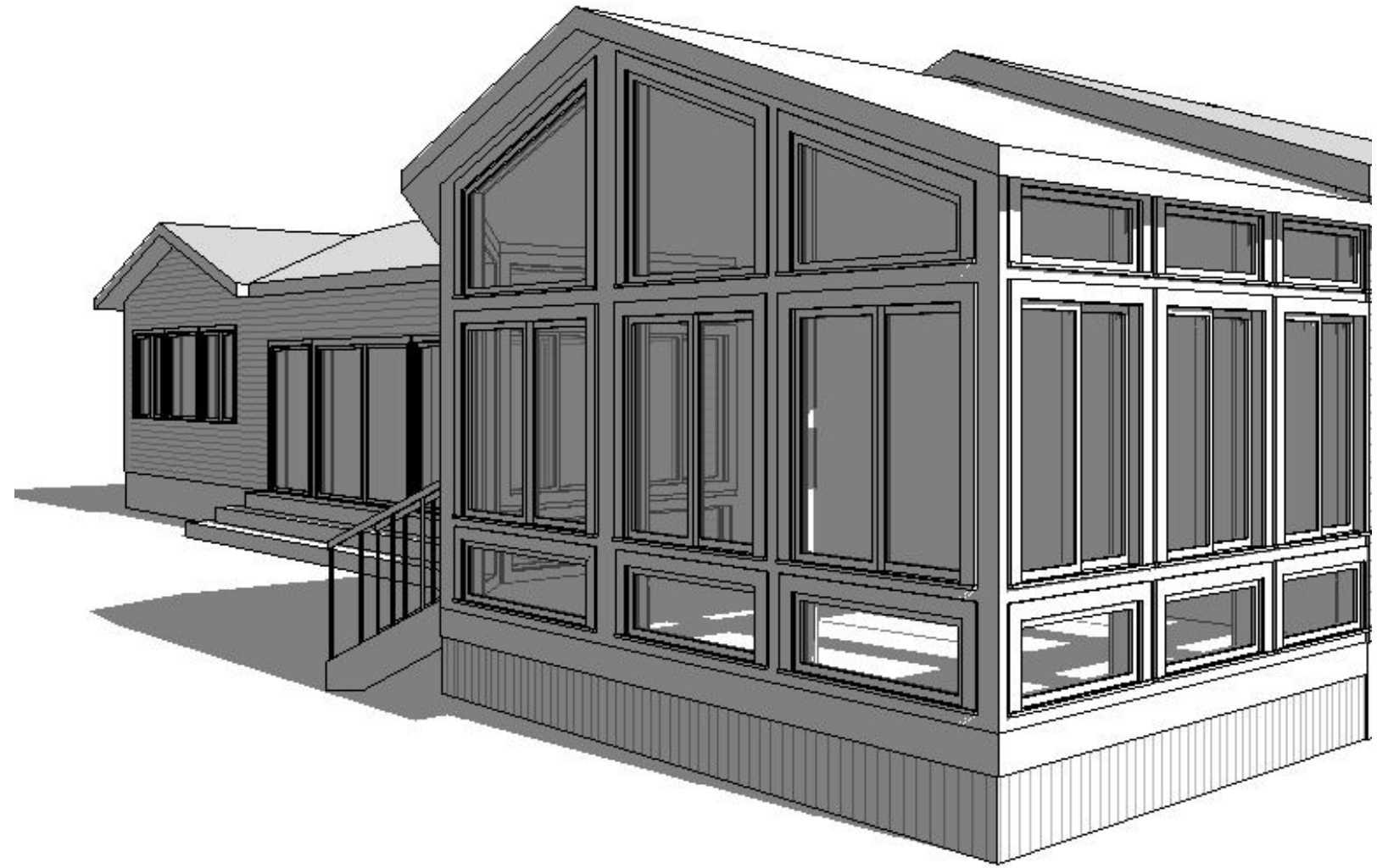
WINDOWS
DOORS • SIDING • SUNROOMS
BATHS • BASEMENTS • INSULATION
The Name You Know, The People You Trust

ELEVATIONS

PROJECT: SCHWARTZ

DATE: 4/17/19

PAGE: 1/4



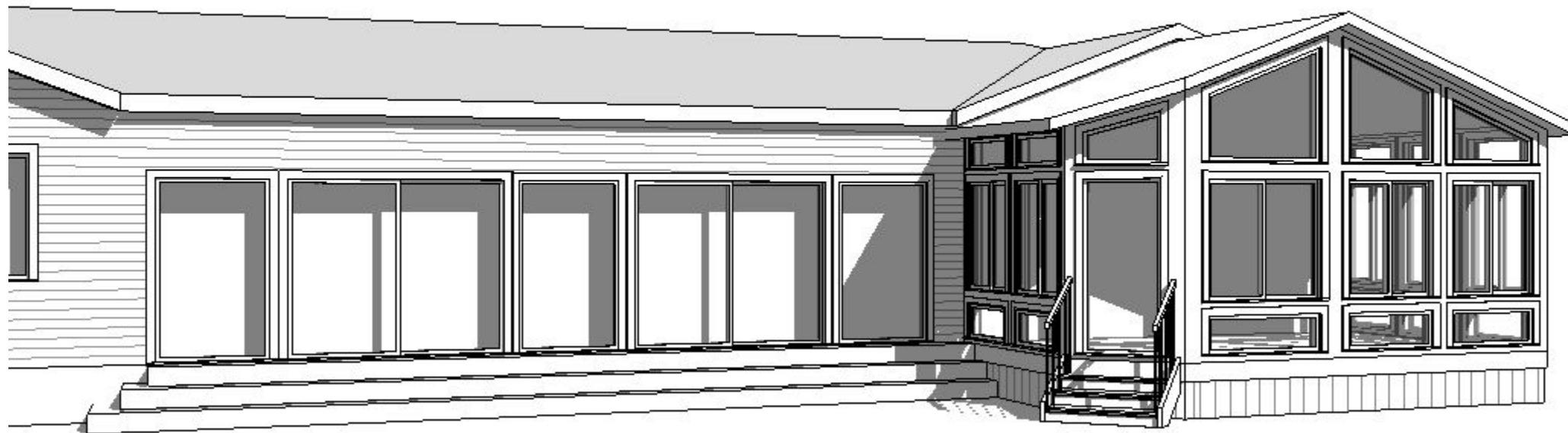
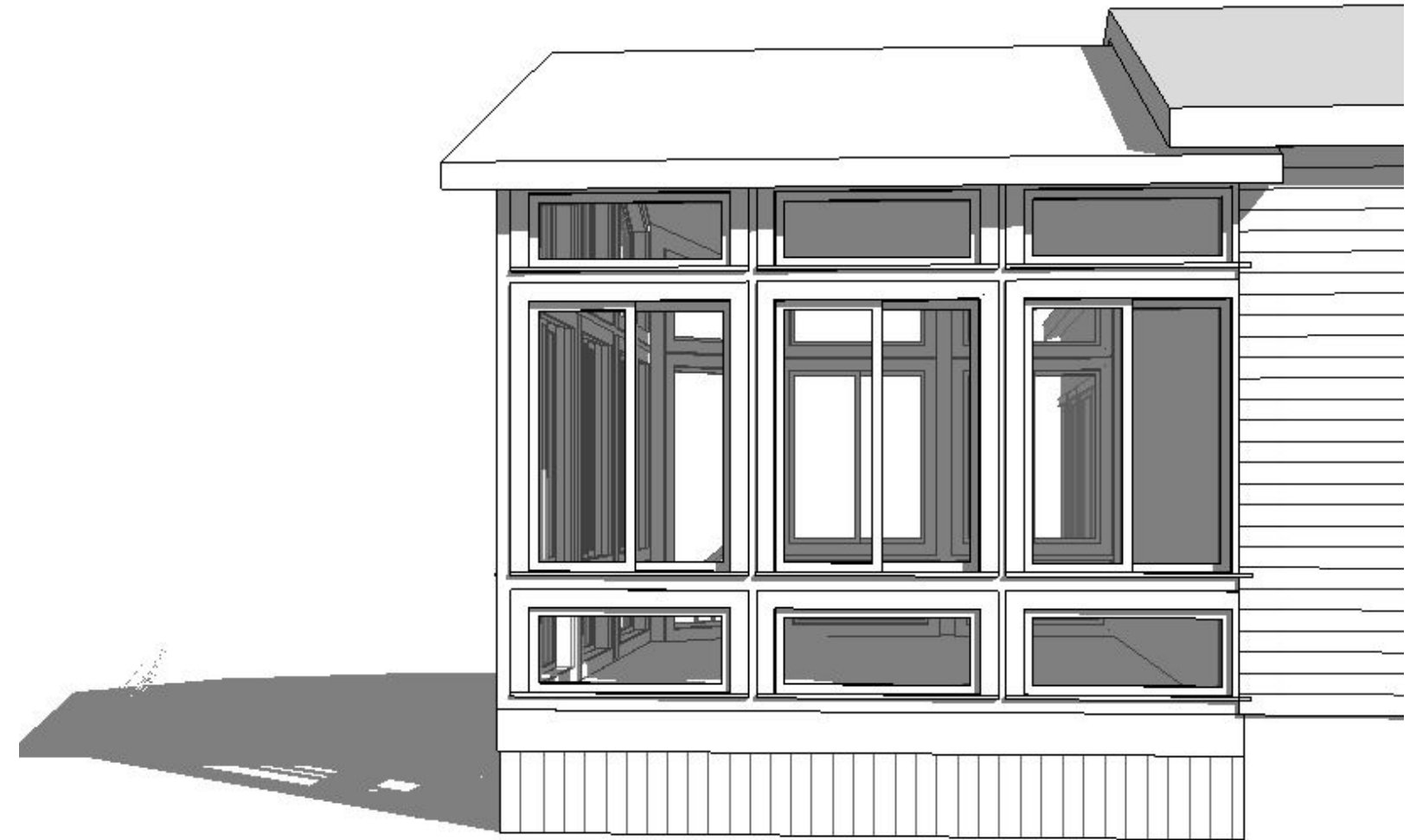
WINDOWS
DOORS • SIDING • SUNROOMS
BATHS • BASEMENTS • INSULATION
The Name You Know, The People You Trust

3D VIEWS

PROJECT: SCHWARTZ

DATE: 4/17/19

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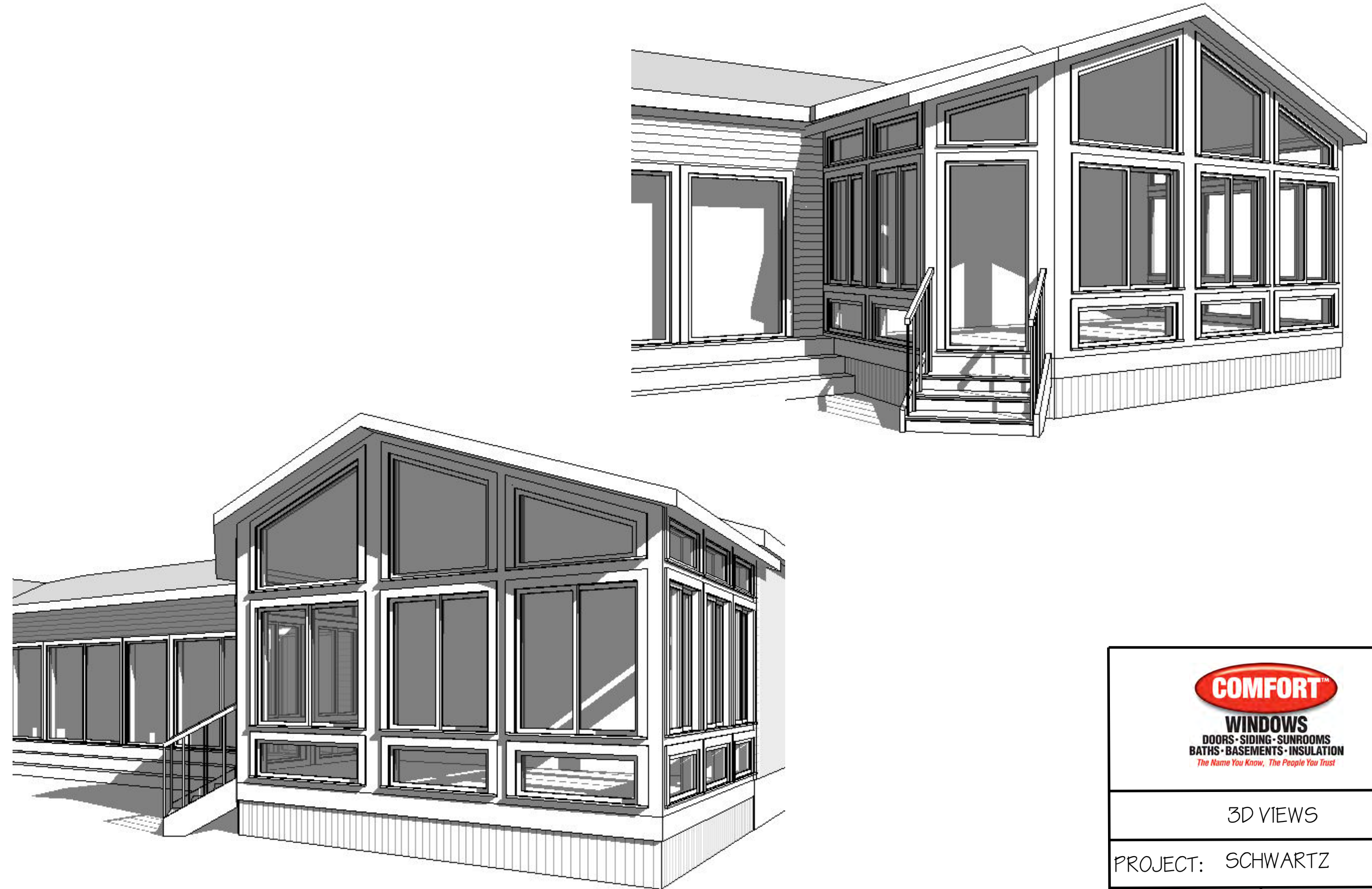
WINDOWS
DOORS • SIDING • SUNROOMS
BATHS • BASEMENTS • INSULATION
The Name You Know, The People You Trust

3D VIEWS

PROJECT: SCHWARTZ

DATE: 4/17/19

PAGE: 3/4



3D VIEWS

PROJECT: SCHWARTZ

DATE: 4/17/19

PAGE: 4/4







3690



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S19-000007

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3019 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-71.1

Zoning District: C Commercial

Owner: Monroe Clover Plaza LLC (Lashed)

Applicant: Crystal City Designs & Signs

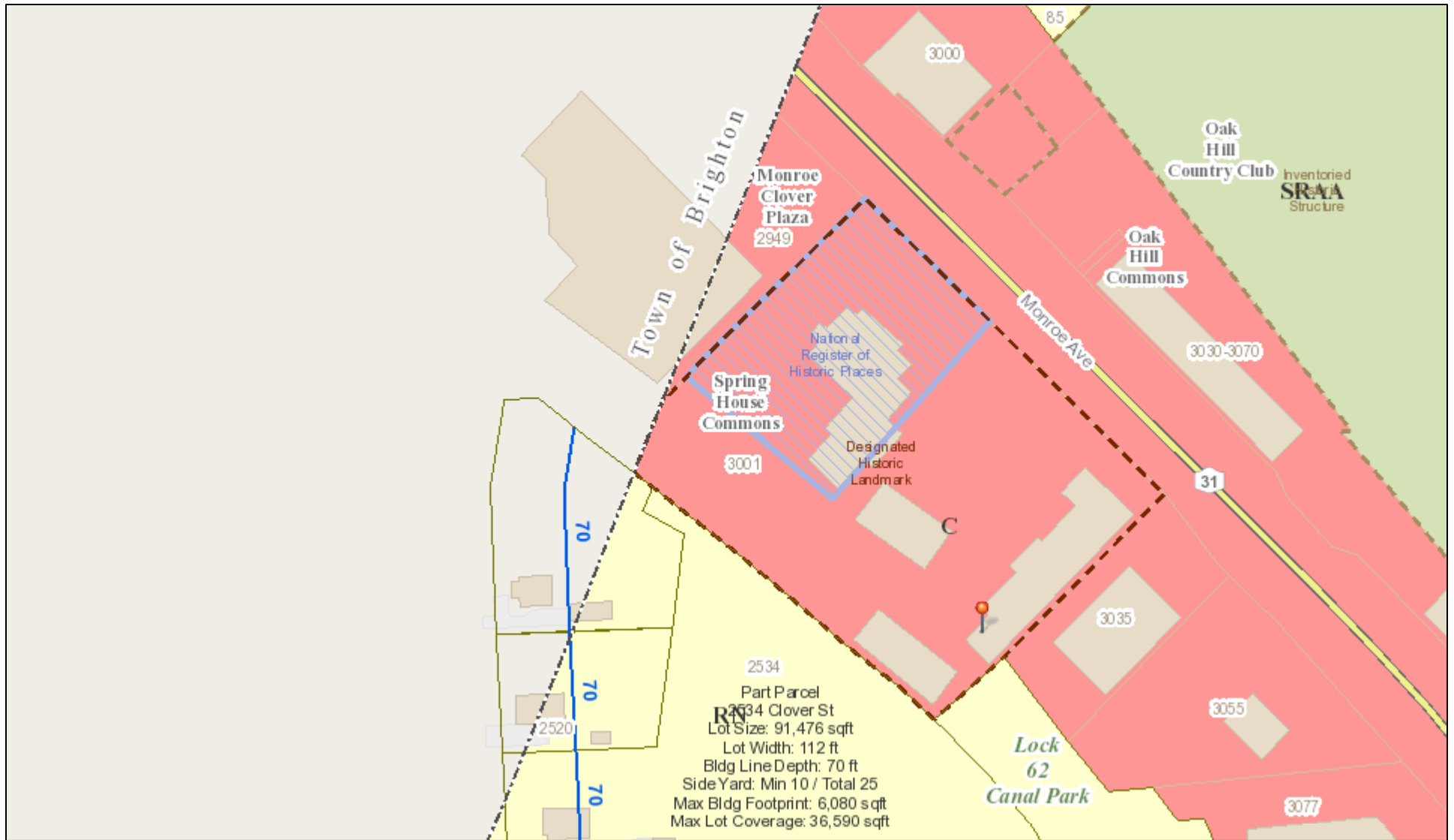
Application Type:

- | | |
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

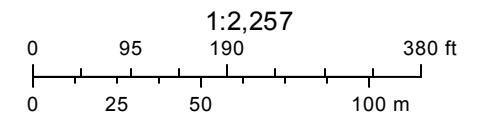
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 14.7 sq. ft. and will identify the business "Lashed". The lettering will be stud mounted 1/4" black acrylic letters and panel cast vinyl lettering.

Meeting Date: April 25, 2019

RN Residential Neighborhood Zoning

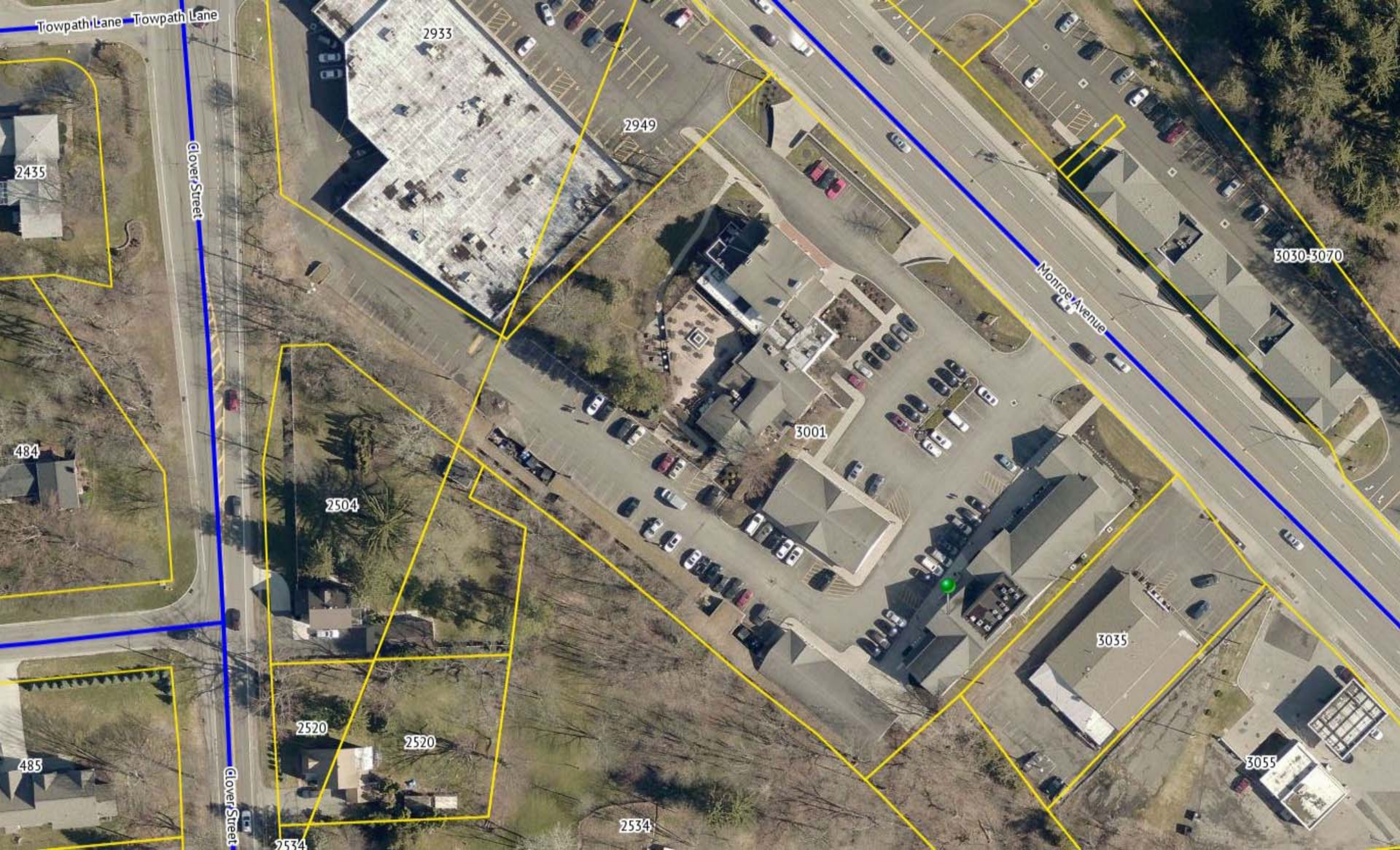


Printed April 18, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Trowpath Lane Trowpath Lane

Clover Street

Monroe Avenue

2435

484

485

2504

2520

2520

2534

2949

2933

3001

3030-3070

3035

3055

2534



Stud-mounted Logo/Lettering
 1/4" Black Acrylic Letters and Panel
 Cast vinyl lettering.
 Overall Dimensions: 32"H x 64"W



CUSTOMER:

Brooke Monteneri
 Lashed
 3019 Monroe Ave Suite 101
 Rochester, NY 14618

PROJECT:

Business Sign - Main Entrance
 Black Acrylic Dimensional Lettering/Logo