Design Review & Historic Preservation Board
Agenda
April 22, 2021

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **20 Old Farm Circle**
  The Applicant is requesting design review for the enclosure of an existing open porch. The porch is located on the front of the home and will be enclosed to create a 92 square foot kitchen addition.

- **55 Turning Leaf Drive**
  The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 495 square feet and located to the rear of the home.

- **71 Reitz Parkway**
  The Applicant is requesting design review for the second floor addition and three season room renovation. The existing three season room will be renovated into a four season room with an approximately 322 square foot second floor master bedroom suite addition on top.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **2 Tor Hill**
  The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2154 square feet and will be located in the Cottages at Malvern Hills Subdivision.

- **97 Coventry Ridge**
  The Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1646 square feet and the second floor will be approximately 1667 square feet. This home will be located in the Coventry Ridge Subdivision.

- **46 Coventry Ridge**
  The Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1801 square feet and the second floor will be approximately 1900 square feet. The house will be located in Coventry Ridge Subdivision.

- **8 & 10 Skylight Trail**
  The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 3 (8 Skylight Trail) will be approximately 2013 sq. ft. and Lot 4 (10 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

- **15 High Street**
  The Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1110 square feet and the second floor will be 546 square feet. The home will be located on a vacant lot.

- **85 Coventry Ridge**
  The Applicant is requesting design review for the construction of a pavilion. The pavilion will be approximately 630 square feet and will be located on the rear of the home. The applicant received a side setback variance and a variance for an oversized accessory structure.

CERTIFICATE OF APPROPRIATENESS

- **3419 Clover Street**
  The Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1110 square feet and the second floor will be 546 square feet. The home will be located on a vacant lot.

INFORMAL REVIEW

- **810 Allens Creek Road**
  The Applicant is requesting informal design review for exterior changes to a designated historic home in Pittsford. Some of the changes include a detached garage, porte cochere and a covered walkway.

OTHER – REVIEW OF 4/8/2021 MINUTES

How to view the meeting:

1. Zoom
   - In your web browser, go to

     https://townofpittsford.zoom.us/j/82796562934?pwd=eUppWDJzTDZnTDB1Mk5MRlN3VDlHUT09

   - You will be connected to the meeting.

2. Telephone

   You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **827 9656 2934**

   - No password is necessary.

(929) 205-6099	(312) 626-6799
(253) 215-8782	(301) 715-8592
(346) 248-7799	(669) 900-6833

We are pleased to offer Zoom Automated Transcription captions for our Town Board and volunteer board meetings held via Zoom. Because this service automatically creates machine-generated transcriptions, users should be aware that wording inaccuracies may occur.

Draft

Design Review and Historic Preservation Board
Minutes
April 8, 2021

PRESENT
Paul Whitbeck, John Mitchell, Leticia Fornataro, Bonnie Salem, Dave Wigg, Kathleen Cristman

ALSO PRESENT
Kevin Beckford, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT
Dirk Schneider, Chairman

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, April 8 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

David Wigg, Vice Chairman opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem reviewed the final draft of the language to be submitted for application for the historic marker at the East Street Burying Ground. The Board agreed with the changes. The application will be submitted to the Pomperoy Foundation for approval and potential granting of the funding. An update on the banners was that the discussion for the roll out will be tabled until the next meeting in May.

RESIDENTIAL APPLICATION FOR REVIEW

- **25 Vincent Drive**
  The Applicant is requesting design review for the family room addition. The addition will be approximately 362 square feet and located to the rear of the home.

  David Burrows was present to discuss the application with the Board.

  Kathleen Cristman disclosed that she was a client of the homeowner, Elizabeth Feldman, but she has no financial interest in the project and that she feels she can be impartial in this manner. Robert Koegel acknowledged at on that basis it was appropriate for Kathleen to vote on the matter.

  Mr. Burrows indicated this is a rectangular 16 x 22 family room addition with a vaulted ceiling and bay window. Sliding doors will open to the patio. Brackets will be installed to support a swing. A picture and transom window will also be added. The shingles, siding and windows will match the existing.

  The Board had no further questions,

  David Wigg move to approve the application as submitted.

  Kathleen Cristman seconded.

  All Ayes.

- **41 Amber Hill Drive**
  The Applicant is requesting design review for the addition of a three-season room. The addition will be approximately 270 square feet and located to the rear of the home.

  The architect, Jack Sigrist, was present to discuss the application with the Board.

  The addition will be unheated but will have a fireplace.

  All materials will match the existing except the addition of a metal roof.

  The chimney will be compatible with the rest of the house according to the architect.

  John Mitchell moved to accept the application as submitted.

  Leticia Fornataro seconded.

  All Ayes.

- **28 Coddington Grove**
  The Applicant is requesting design review for the kitchen addition. The addition will be approximately 384 square feet and located to the rear of the home.

  Jack Sigrist was the representative for this application.

  The addition will be a 12' x 32' expansion for a kitchen, dining room and laundry/pantry area.

  All materials will match the existing.

  There were no further questions from the Board.

  Kathleen Cristman moved to accept the application as submitted.

  Bonnie Salem seconded.

  All Ayes.

- **156 Kilbourn Road**
  The Applicant is requesting design review for the first and second story additions. The first story additions will include a new porch, garage extension and a rear addition. The second story addition will be approximately 1395 square feet and will added to the current one story home.

  The architect, Patrick Morabito and the homeowner, Joe Ryan, were present for the discussion of this application.

  The Board expressed deep concern that the character of the neighborhood is changing with the conversion of smaller homes to larger. Other concerns were that the garage is being moved 7 ½ feet forward of the porch, the material was proposed to be vinyl siding and other materials had not yet been decided upon. It was noted that vinyl siding is not a characteristic of materials used on homes in this neighborhood.

  Robert Koegel discussed that despite the noted fact that the neighborhood character is being changed with the proposed changes of this home does the Board feel that the value of the surrounding homes will be affected. The Board felt strongly that the use of vinyl siding in a neighborhood that does not feature this material could prove a detriment. The homeowner indicated that he is willing to change his choice of siding material in order to be more appropriate to the neighborhood.

David Wigg moved to accept the application with the condition that the siding be a cementitious material, fascia trim and the windows be a 2 over 2 double hung window.

John Mitchell seconded.

Wigg – Aye
Salem – Aye
Cristman – Aye
Fornataro – Aye
Whitbeck – Nay
Mitchell - Aye

- **15 Coventry Ridge**
  The Applicant is requesting design review for the cover porch addition. The addition will be approximately 591 square feet and will be located to the rear of the home.

  Jim Brasley was present to discuss the application with the Board. He indicated that all materials will match the existing, the trim will be white and there will be stone veneer.

  The Board commented that the arches do not necessarily blend with the architecture of the home but Mr. Brasley indicated this was the owner's choice.

  Bonnie Salem moved to accept the application as submitted.

  Leticia Fornataro seconded.

  All Ayes.

- **290 Tobey Road**
  The Applicant is returning to request a change to a previously approved application. The Board approved an addition to for a third bay to an existing two car garage. The garage addition was going be approximately 432 sq. ft. and the applicant would like to add an additional 48 square feet.

  Jim Brasley was the representative for this application.

  The requested change is a modification of 2 ft. to the previous design.

  David Wigg moved to approve the resubmission as drawn.

  Kathleen Cristman seconded.

  All Ayes.

- **3500-3600 East Avenue**
  The Applicant is requesting design review for Kilbourn Place Building #1. This building will be one of the apartment portions of the Kilbourn Place project.

  David Riedman, David Hanlon and Jarrad Coons were present to discuss the application with the Board.

  The building being presented for review will be a 62 unit building. Two wings will face East Avenue and the rest of the building will parallel 490 to the rear with garages underneath. The materials will be be brick and Hardi Board siding. The roofs will be shingled. The windows will be vinyl casement with PVC trim with muntins between the glass. An entry with a ½ arch will be projected out on one side corner. There is a mixture of unit sizes.

It was determined that this presentation was consistent with what was presented in the informal review.

The Board inquired about the historic Wright Home. This will be addressed formally in a forthcoming submission to the Board.

David Wigg moved to approve Building #1 at 3500 – 3600 East Avenue as submitted.

Paul Whitbeck seconded.

All Ayes.

OTHER – REVIEW OF 3/25/2021 MINUTES

Bonnie Salem moved to accept the meeting minutes of the March 25, 2021 as written.

All Ayes.

ADJOURNMENT

David Wigg moved to close the meeting at 8:05 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000067

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 20 Old Farm Circle PITTSFORD, NY 14534
Tax ID Number: 164.19-2-31
Zoning District: RN Residential Neighborhood
Owner: Pond, Christopher K
Applicant: Pond, Christopher K

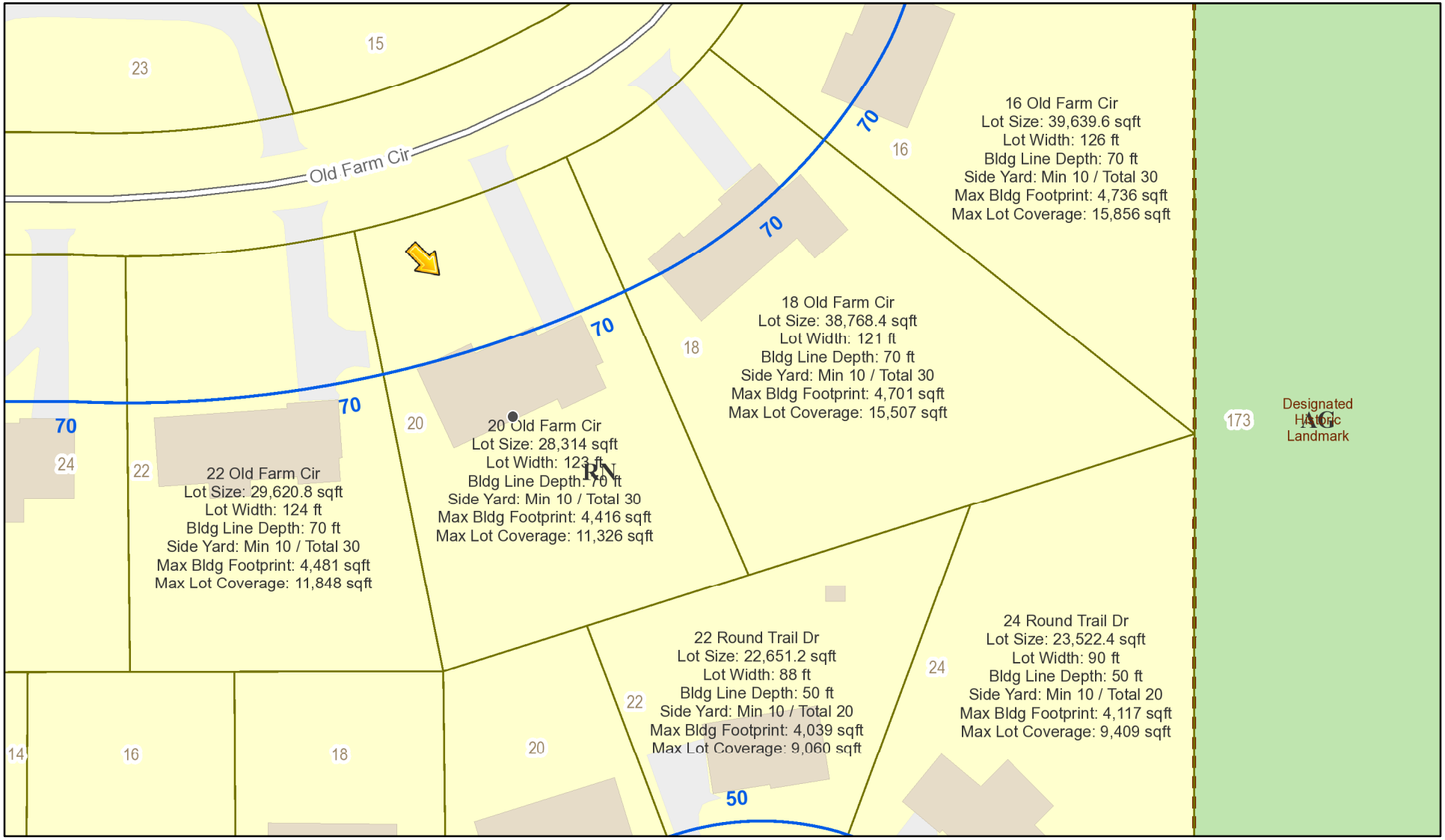
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the enclosure of an existing open porch. The porch is located on the front of the home and will be enclosed to create a 92 square foot kitchen addition.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



Printed April 15, 2021

1:1,128

0 45 90 180 ft

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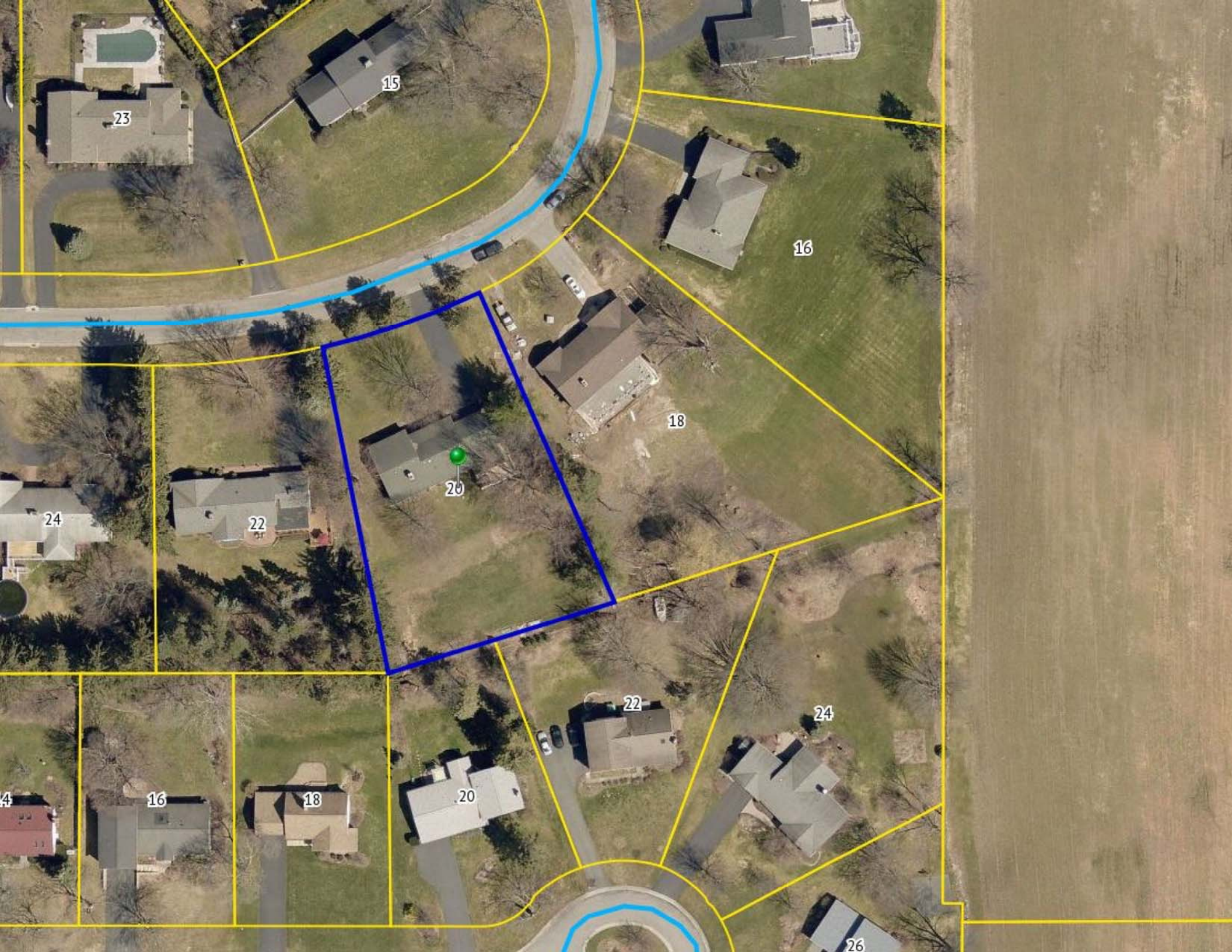
Town of Pittsford GIS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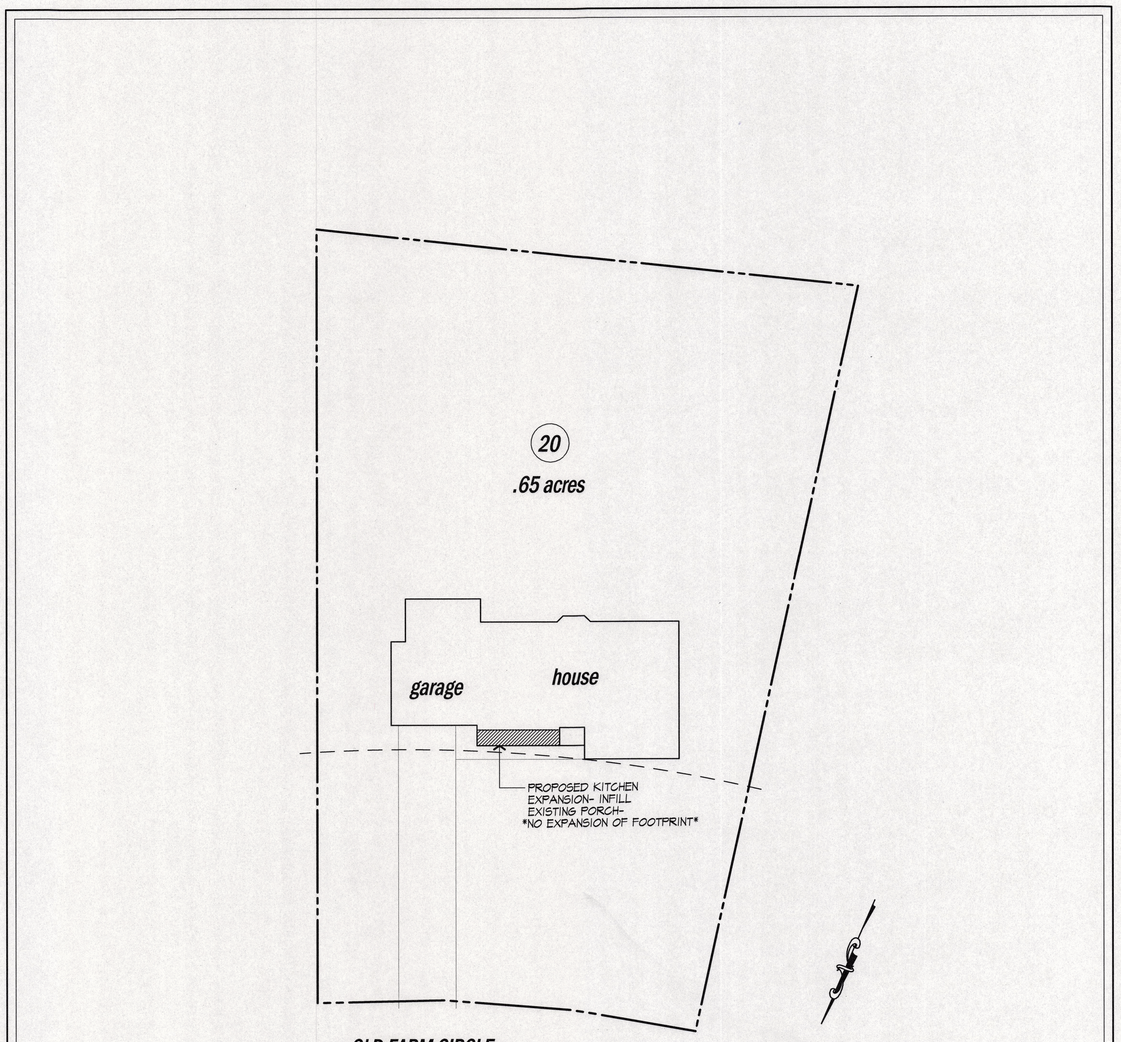
GENERAL NOTES:

1. THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
4. ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
5. BACKFILL MATERIALS SHALL BE NATIVE SOIL.
   FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR,
   PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
6. MINIMUM CONCRETE COMPRESSIVE STRENGTH:
   2500 PSI FOOTINGS
   2500 PSI FLOOR SLABS
   3500 PSI PORCH
   3500 PSI GARAGE
7. CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-I, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
8. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-86. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
9. MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
10. CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
11. WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
12. PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
13. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
14. ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED.
    CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
15. CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK
17. THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
18. THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).

FLOOR LOADS (LIVING AREAS-1ST FLOOR)	40 PSF
SLEEPING AREAS (2ND FLOOR)	30 PSF
EXTERIOR DECKS	40 PSF

19. ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
20. WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
21. IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
22. ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
23. EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
24. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS
25. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
26. THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
27. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
28. THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
29. ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S WET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
30. BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
31. SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R314.3 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
    CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION 915 FCNYS
32. PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
33. ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN
SCALE: 1"= 20'-0"

M/M POND RESIDENCE ADDITION

20 OLD FARM Cr.

PITTSFORD, NY 14534

DRAWING INDEX

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
R402(2020) RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21
4. FLOOR R-FACTOR	R-30	R-30

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
8. MECHANICAL VENTILATION PER SECTION N1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION M1507.3.3 REQUIREMENT.
9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION N1103.6.1.
10. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION N1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

1. GROUND SNOW LOAD - 40 PSF R301.2 (5)
2. WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
3. SEISMIC DESIGN CATEGORY - A R301.2 (2)
4. WEATHERING - SEVERE
5. FROST LINE DEPTH - 48"
6. TERMITE DAMAGE - NONE TO SLIGHT
7. DECAY DAMAGE - NONE TO SLIGHT
8. WINTER DESIGN TEMPERATURE - 1
9. ICE SHIELD UNDERLAYMENT REQUIRED - YES
10. FLOOD HAZARD - FIRM - 1992
11. ROOF TIE DOWN REQUIREMENTS R802.11.1

MORABITO ARCHITECTS
PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

REGISTERED ARCHITECT
Paul A. Morabito
039658
STATE OF NEW YORK

PROJECT:
POND RESIDENCE ADDITION
20 OLD FARM CIRCLE

CLIENT:
M/M POND

DRAWING:
TITLE PAGE

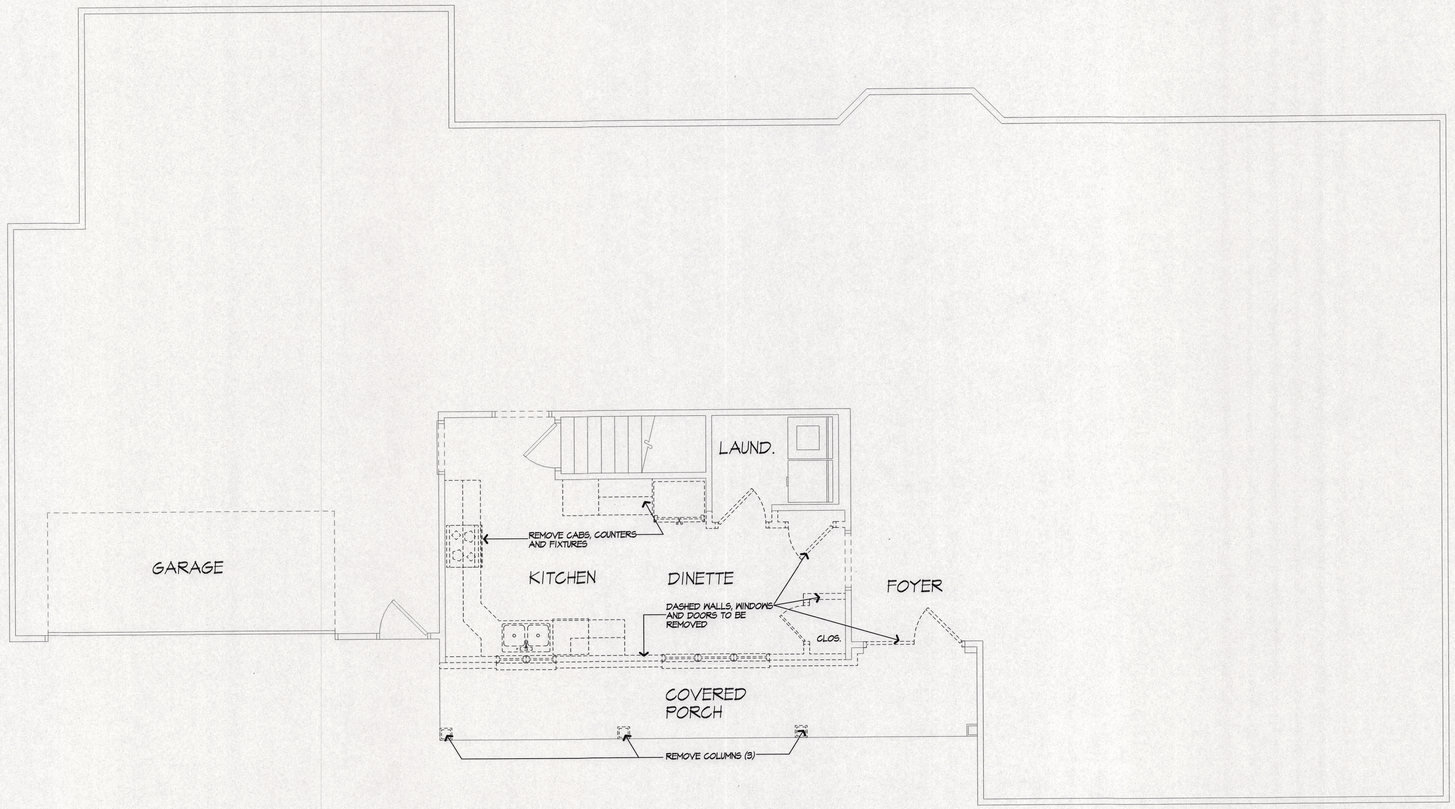
DRAWN:	CHECKED:
JTL	PM

DATE: MARCH 2021

SCALE: 1/4"=1'-0"

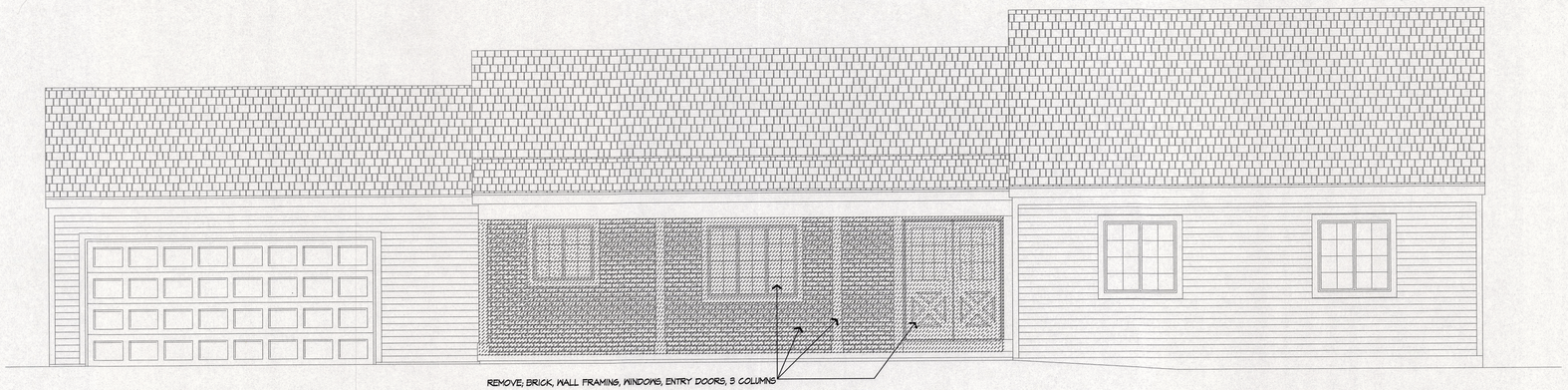
JOB NO.: 20M9484

SHEET:
1
OF 3 SHEETS



PARTIAL FIRST FLOOR PLAN - EXISTING

WITH REMOVALS SHOWN



FRONT ELEVATION - EXISTING

WITH REMOVALS SHOWN

MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

REGISTERED ARCHITECT
Paul A. Morabito
STATE OF NEW YORK
030698

PROJECT:
POND RESIDENCE ADDITION
20 OLD FARM CIRCLE

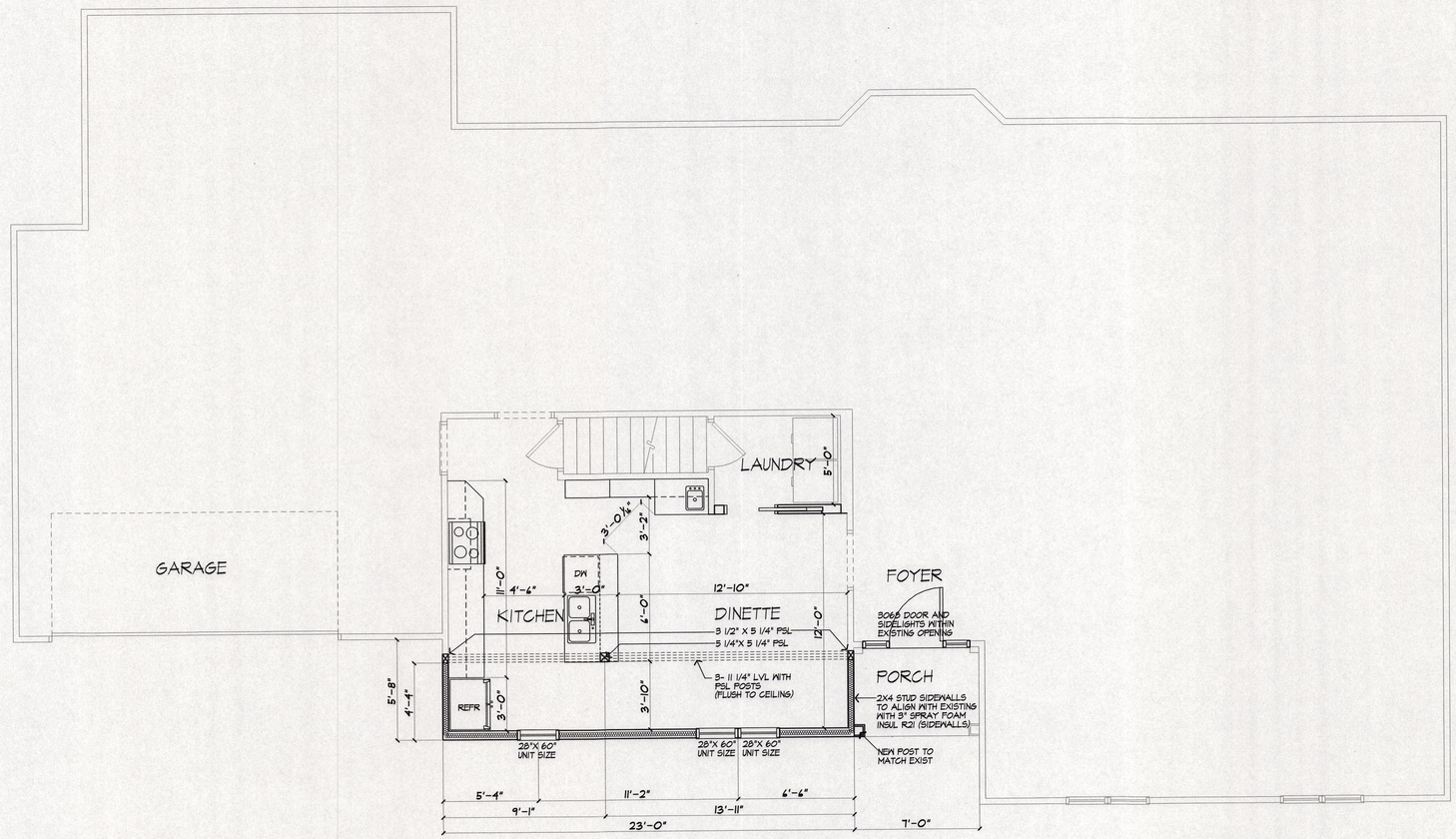
CLIENT:
M/M POND

DRAWING:
1ST FLOOR PLAN
PROPOSED

DRAWN:	CHECKED:
JTL	PM

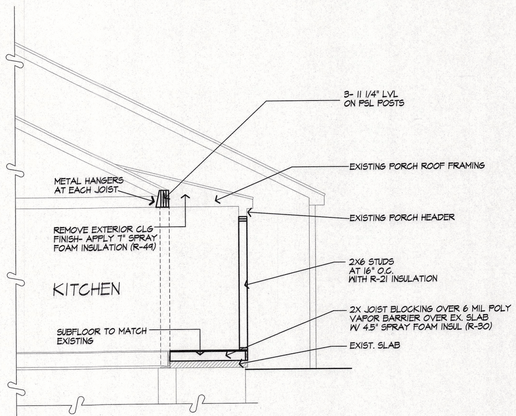
DATE: MARCH 2021
SCALE: 1/4"=1'-0"
JOB NO.: 20M9484

SHEET:
2
OF 3 SHEETS

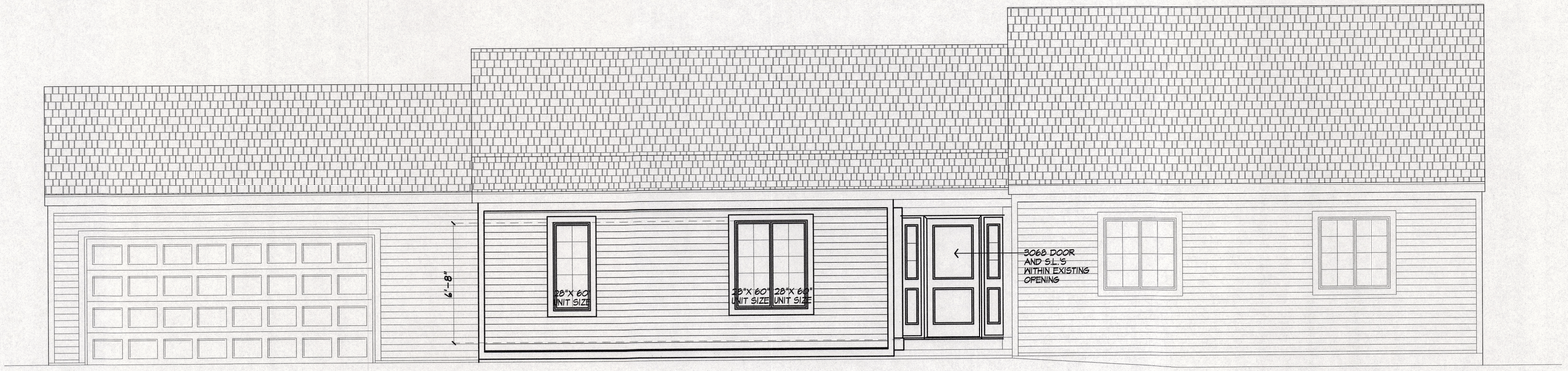


PARTIAL FIRST FLOOR PLAN - PROPOSED

AREA OF ADDITION: 100 SQ FT



PARTIAL SECTION



FRONT ELEVATION - PROPOSED

MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

REGISTERED ARCHITECT
Patrick A. Morabito
039855
STATE OF NEW YORK

PROJECT:
POND RESIDENCE ADDITION
20 OLD FARM CIRCLE

CLIENT:
M/M POND

DRAWING:
PROPOSED

DRAWN:	CHECKED:
JTL	PM

DATE: MARCH 2021

SCALE: 1/4"=1'-0"

JOB NO.: 20M3484

SHEET:
3
OF 3 SHEETS

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
RA21-000057

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 85 Coventry Ridge PITTSFORD, NY 14534
Tax ID Number: 177.04-3-59
Zoning District: IZ Incentive Zoning
Owner: O'Keefe, Kevin
Applicant: O'Keefe, Kevin

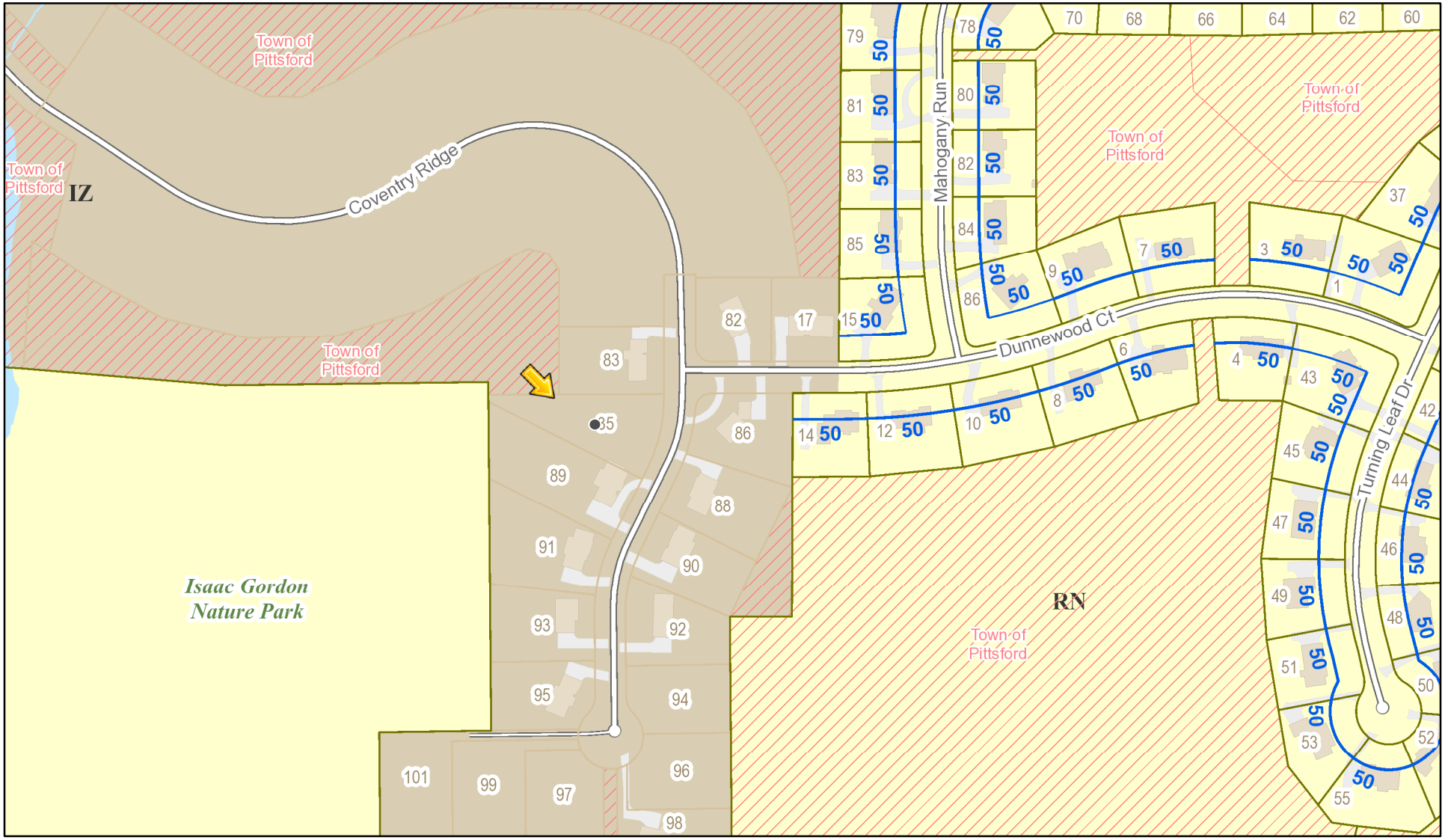
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a pavilion. The pavilion will be approximately 630 square feet and will be located on the rear of the home. The applicant received a side setback variance and a variance for an oversized accessory structure.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



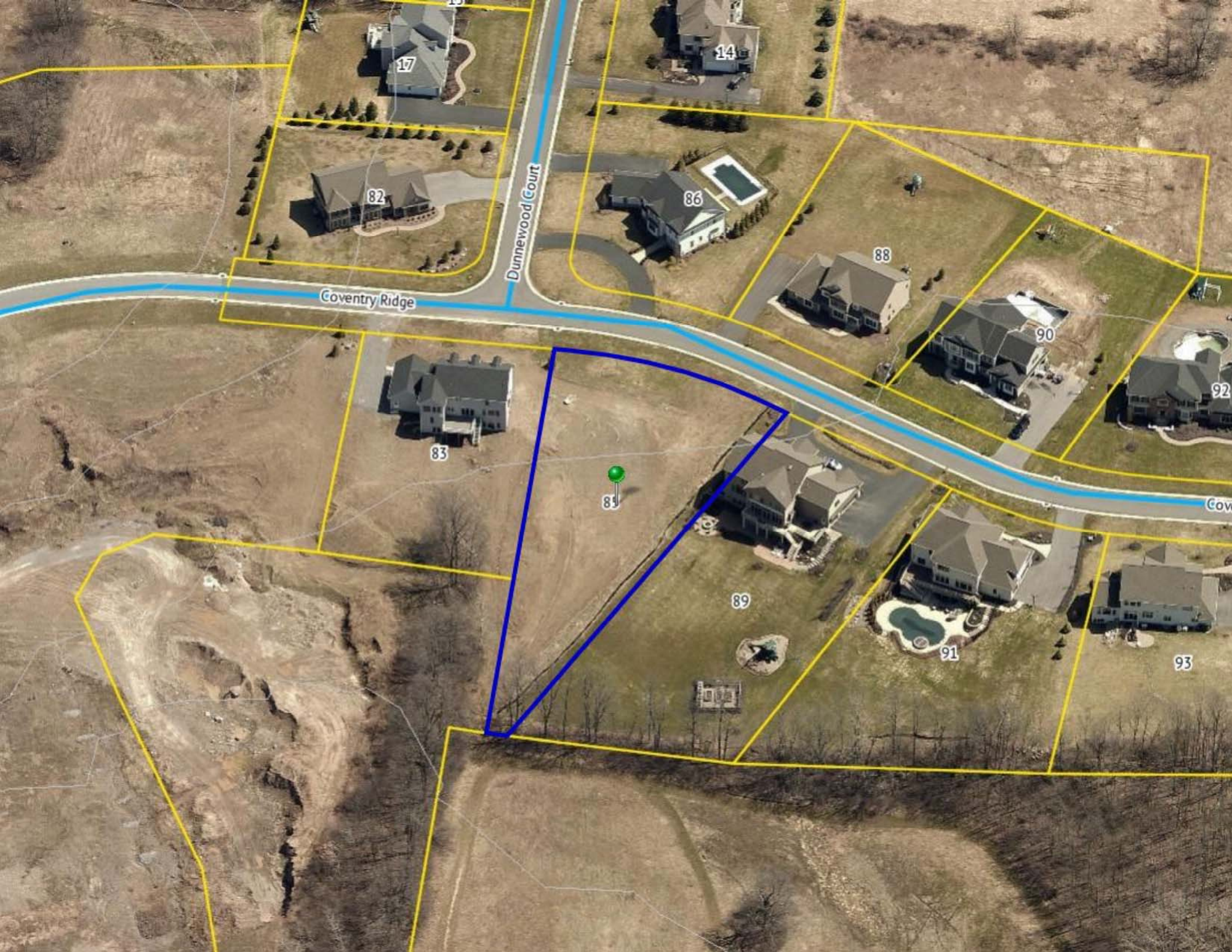
Printed April 20, 2021

1:4,514

0 195 390 780 ft

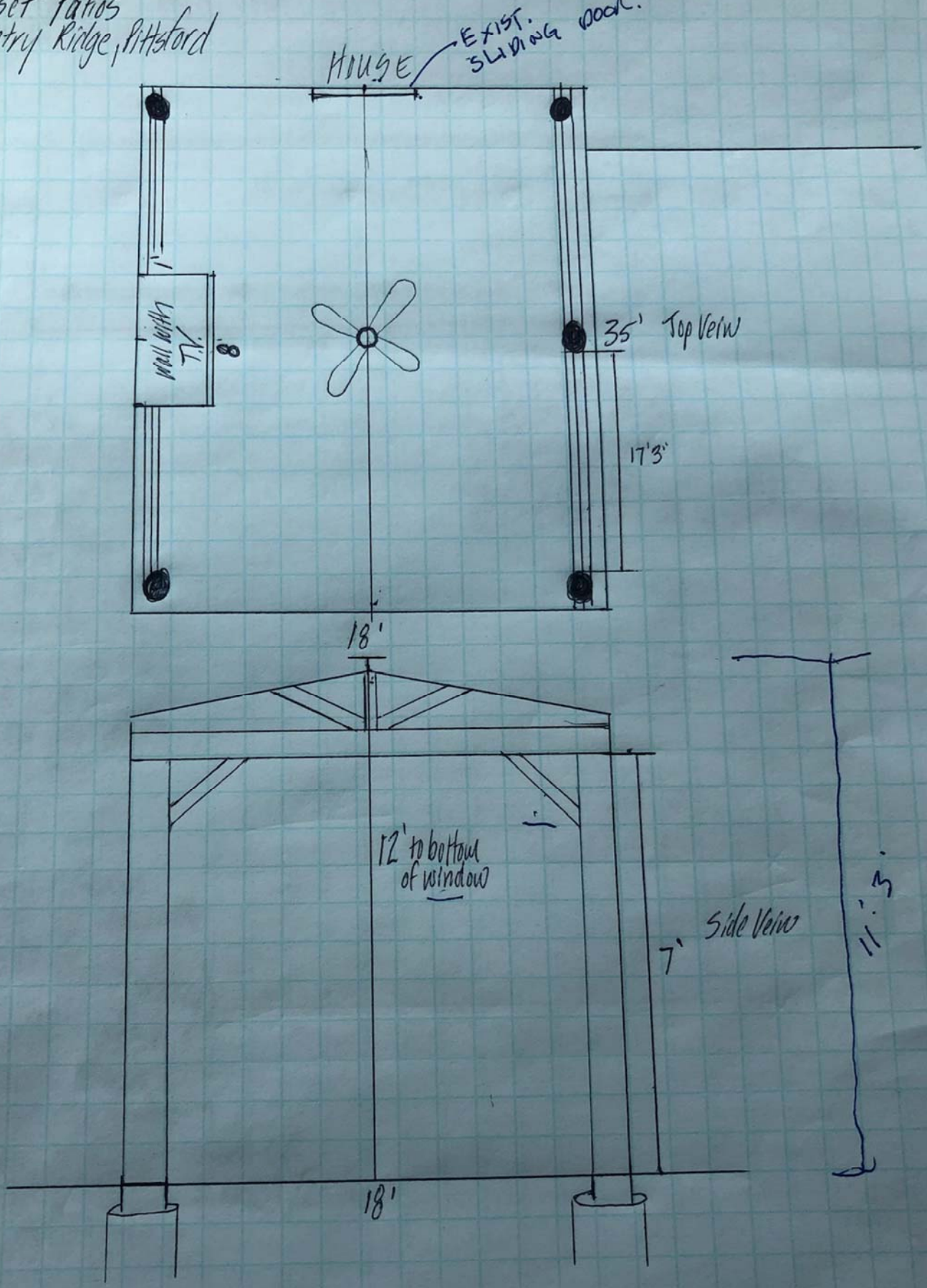
0 55 110 220 m

Town of Pittsford GIS

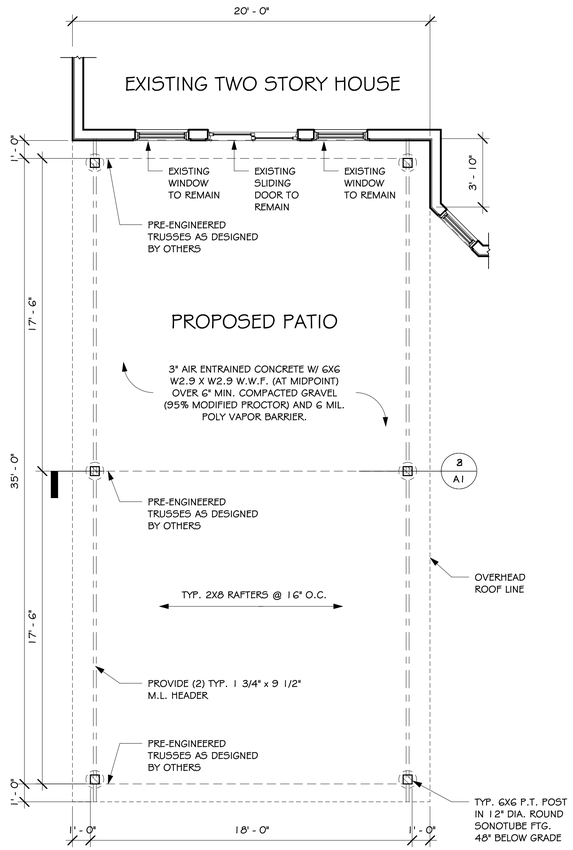

Coventry Ridge
Dunnewood Court
17
14
82
86
88
90
92
83
89
91
93


MTD5

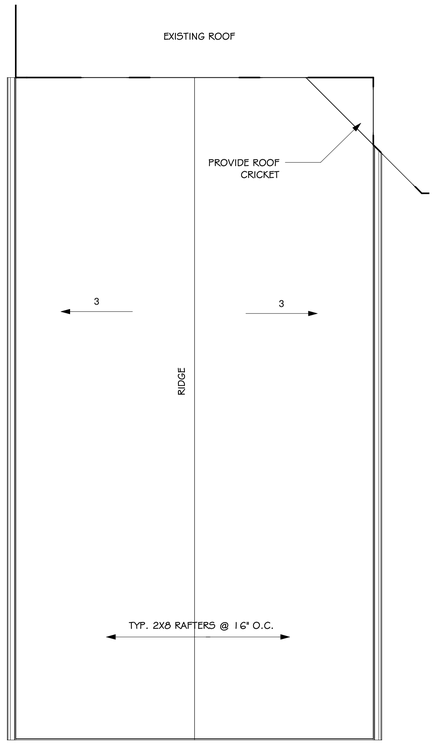
Somerset Patios
85 Coventry Ridge, Pittsford



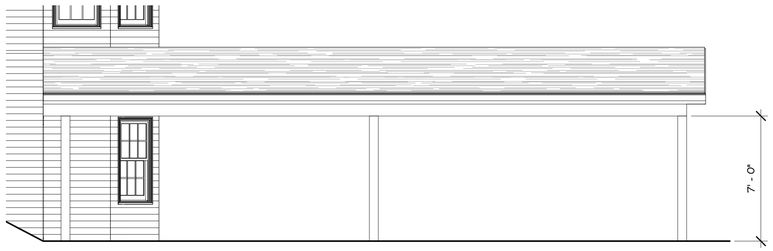
T & G CEILING.



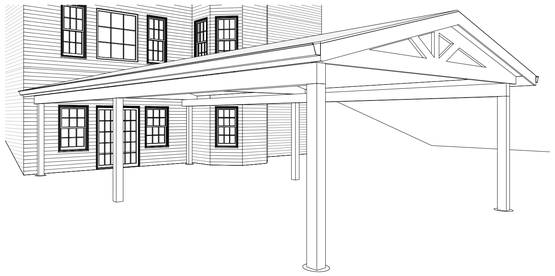
1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



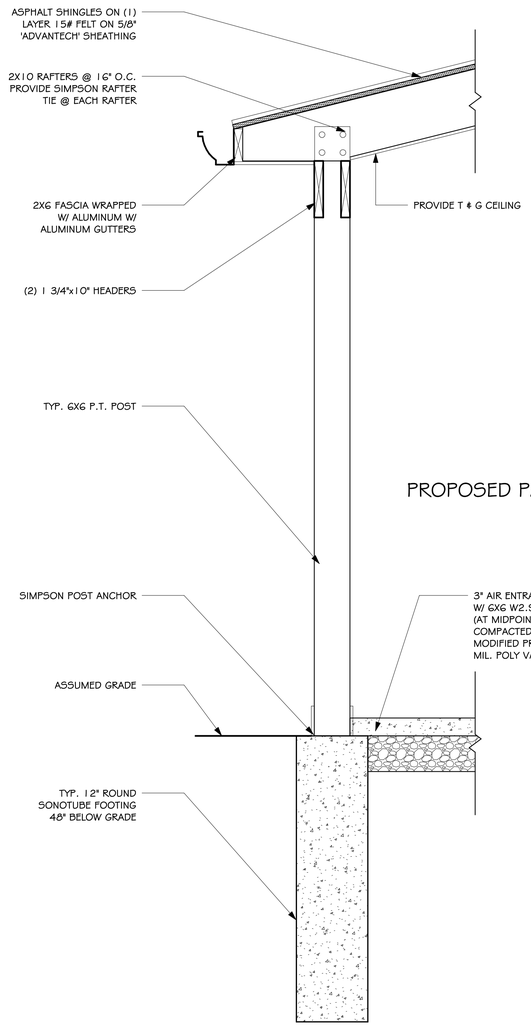
4 PROPOSED ROOF PLAN
1/4" = 1'-0"



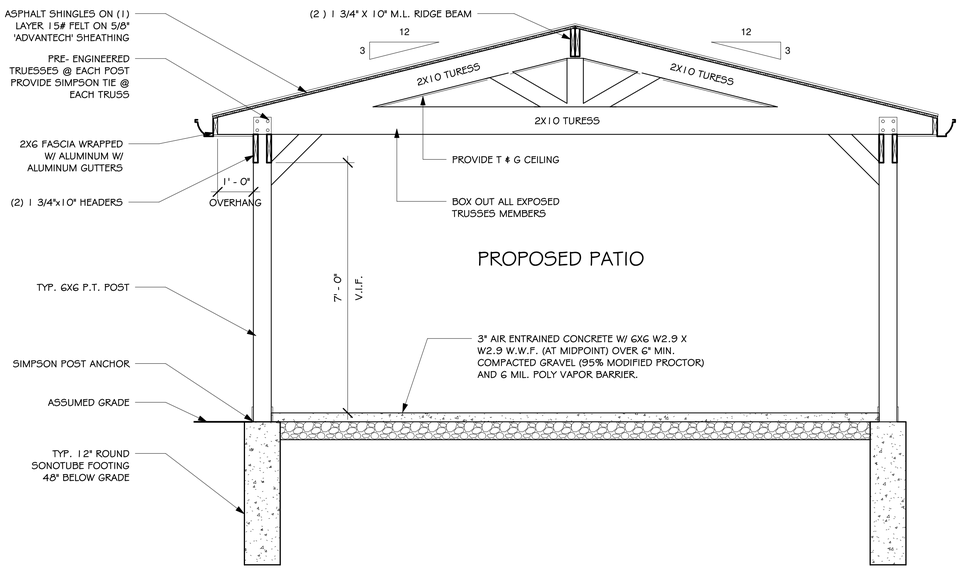
6 SIDE ELEVATION
1/4" = 1'-0"



7 EXTERIOR VIEW @ BACK



2 TYP. WALL SECTION
1" = 1'-0"



3 CROSS SECTION
1/2" = 1'-0"

5 BACK ELEVATION
1/4" = 1'-0"

Greater Living Architecture, P.C.
3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

CONSULTANT:

CLIENT/LOCATION:
BRIAN ENGLER GAZEBO
85 COVENTRY RIDGE,
PITTSFORD

REVISIONS:

DATE	BY	DESCRIPTION

PROPOSED FLOOR PLANS

DRAWN:	DATE:
XW	03/14/2021
PROJECT:	SHEET:
	A1

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000070

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 55 Turning Leaf Drive PITTSFORD, NY 14534
Tax ID Number: 177.04-3-21
Zoning District: RN Residential Neighborhood
Owner: Hannah Lu
Applicant: Matthew Atkinson

Application Type:

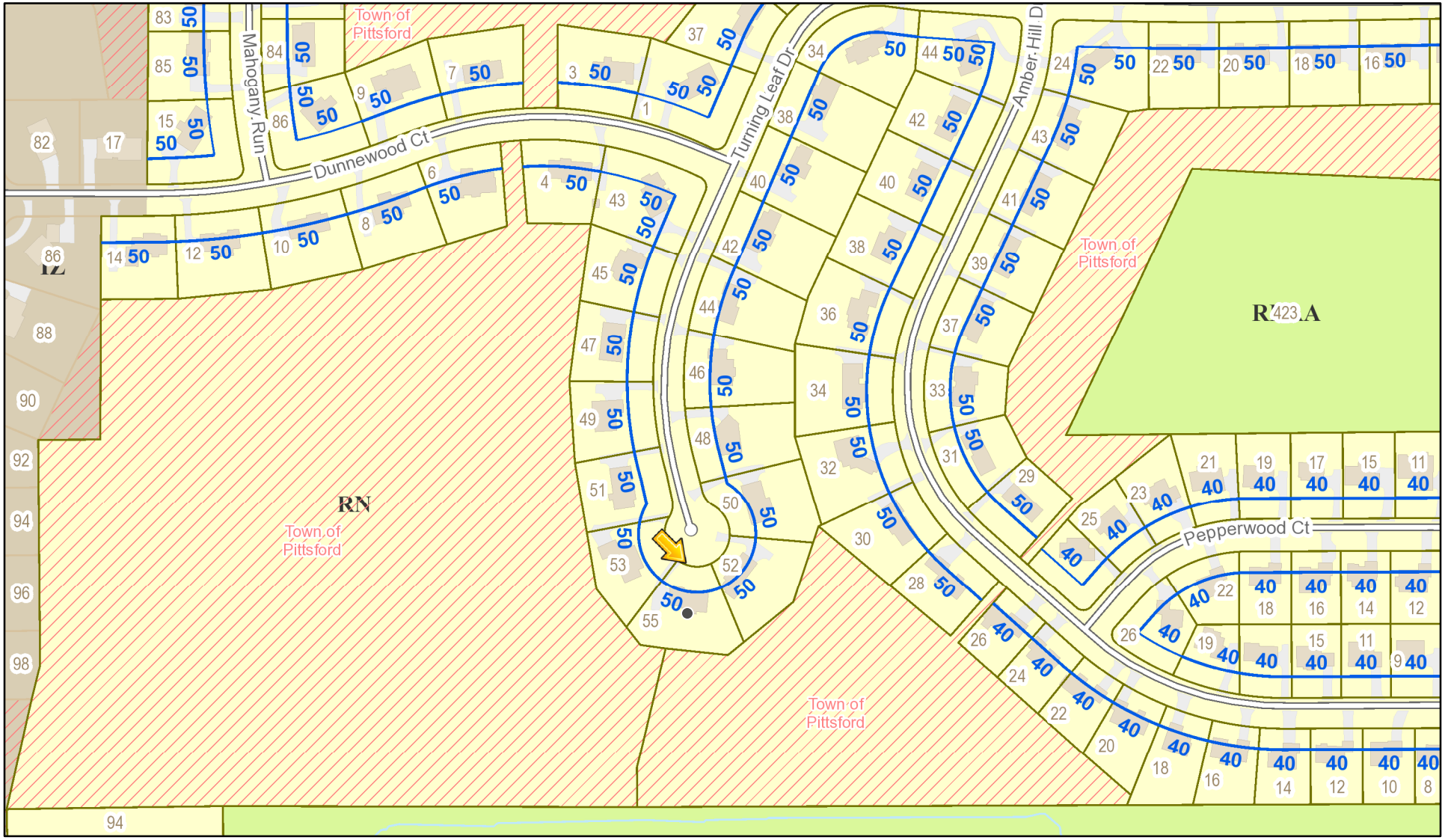
- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 495 square feet and located to the rear of the home.

Meeting Date: April 22, 2021


FOR SALE
Woodstone
07/25/2016

RN Residential Neighborhood Zoning



Printed April 15, 2021

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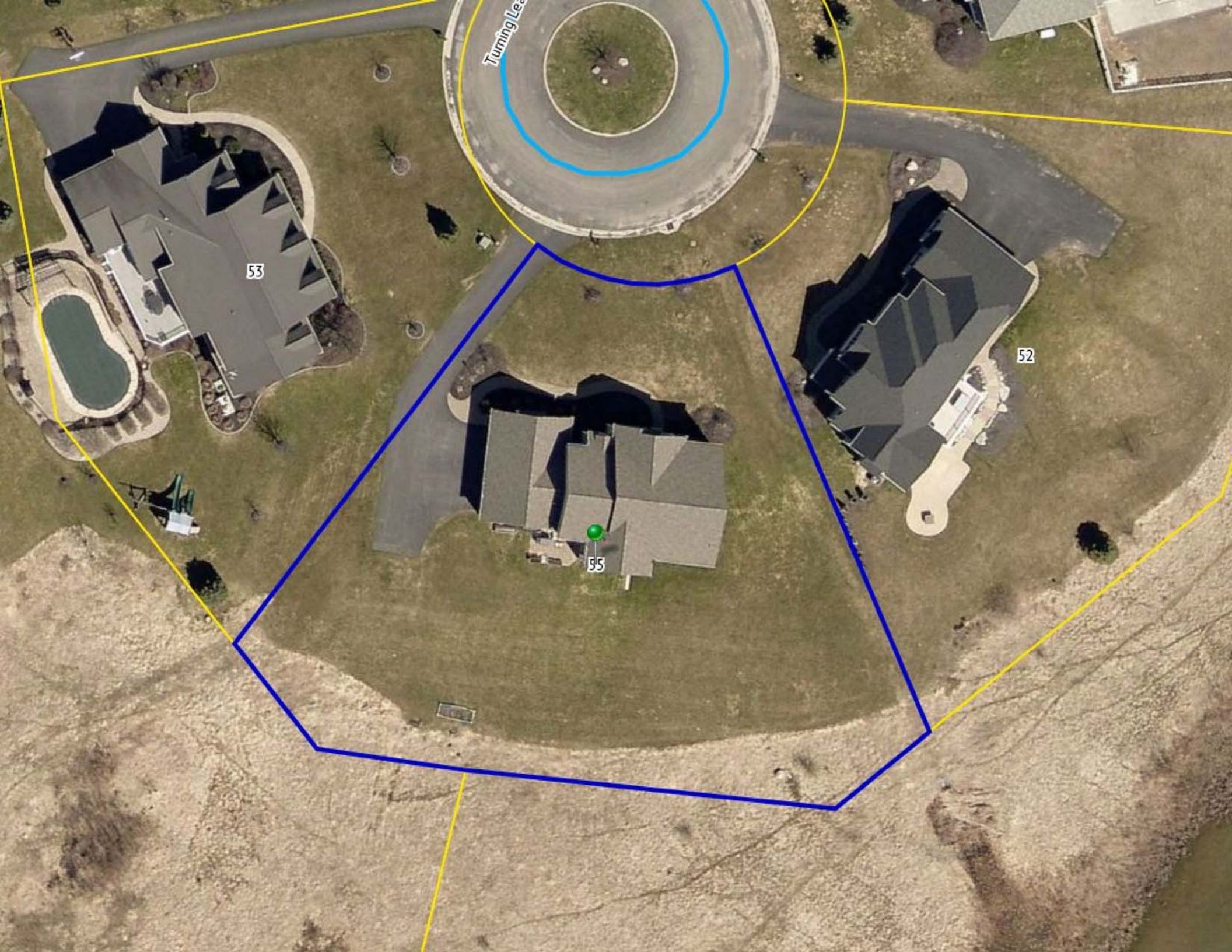
0 195 390 780 ft

0 55 110 220 m

Town of Pittsford GIS


53
55
52

CLIENT:

LU RESIDENCE

55 Turning Leaf Dr,
Pittsford, NY 14534

DATE:
01/18/21

ARCHITECT:

Greater Living Architecture, P.C.

3033 BRIGHTON HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623

DRAWING LIST

REGISTERED ARCHITECT
STATE OF NEW YORK
022225

Greater Living Architecture, P.C.

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TOWNLINE RD
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FAX: (585) 292-1262

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CONSULTANT:

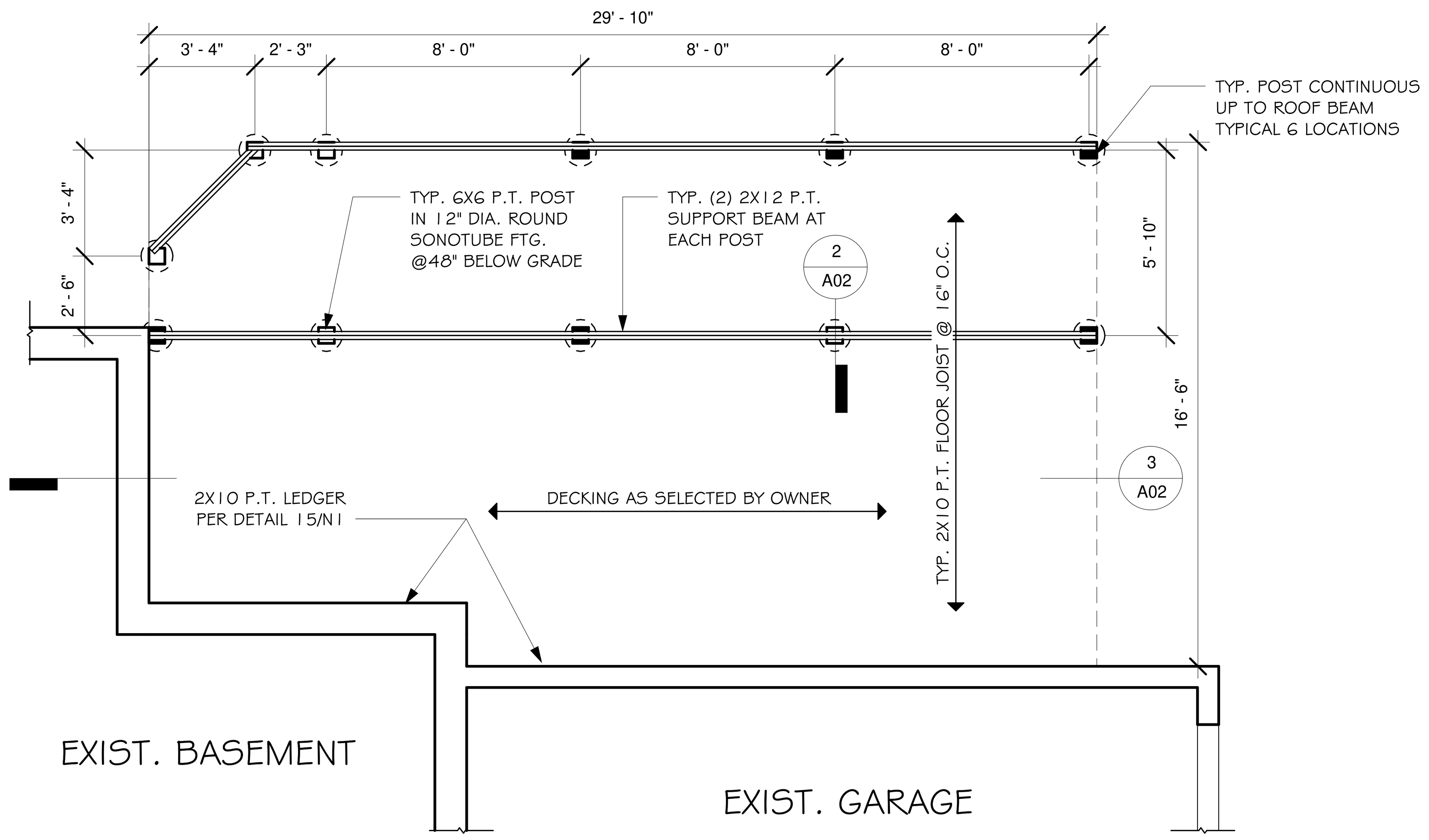
CLIENT/LOCATION:
Owner
55 Turning Leaf Dr,
Pittsford, NY 14534

REVISIONS:

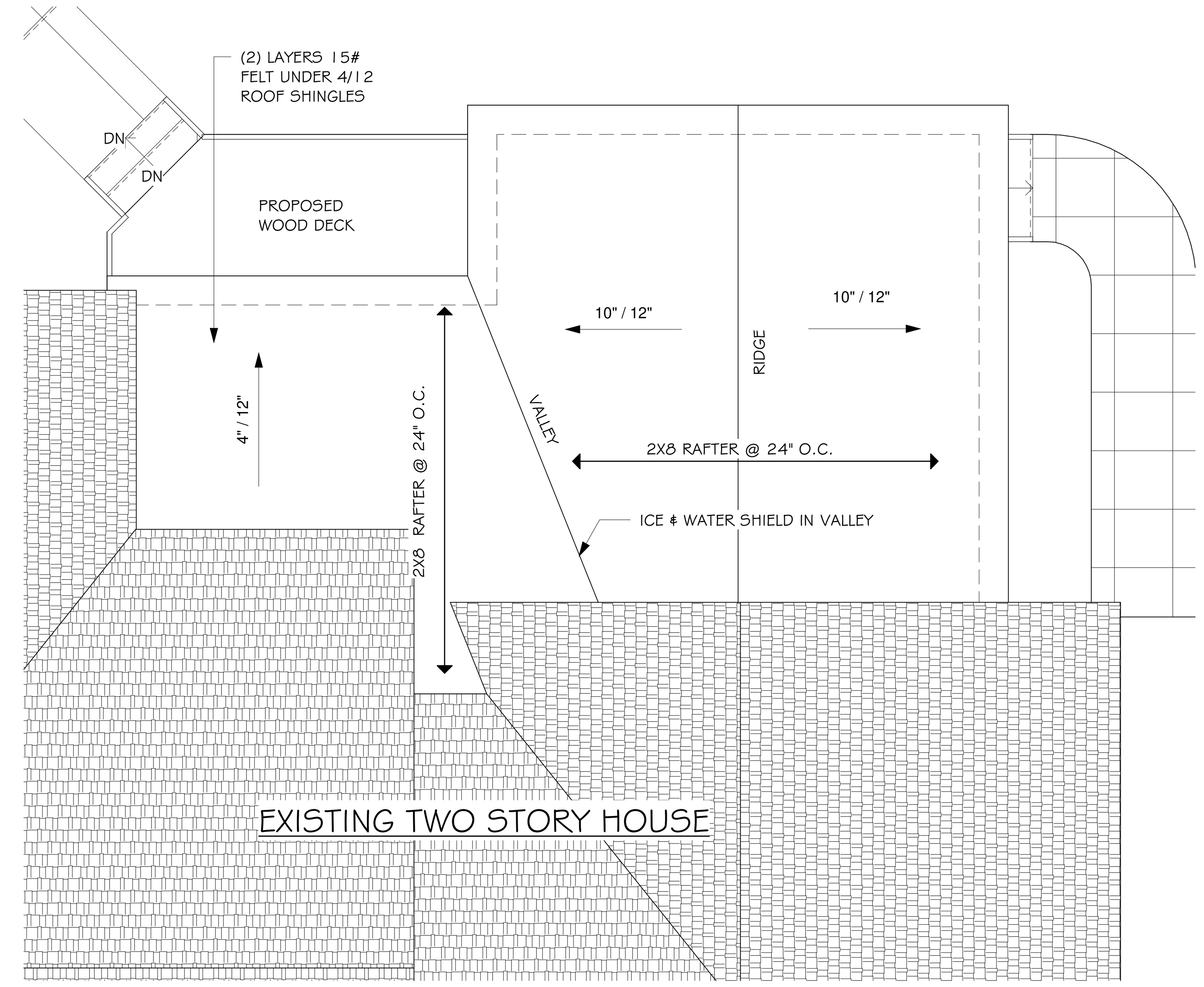
DATE	BY	DESCRIPTION

COVER PAGE

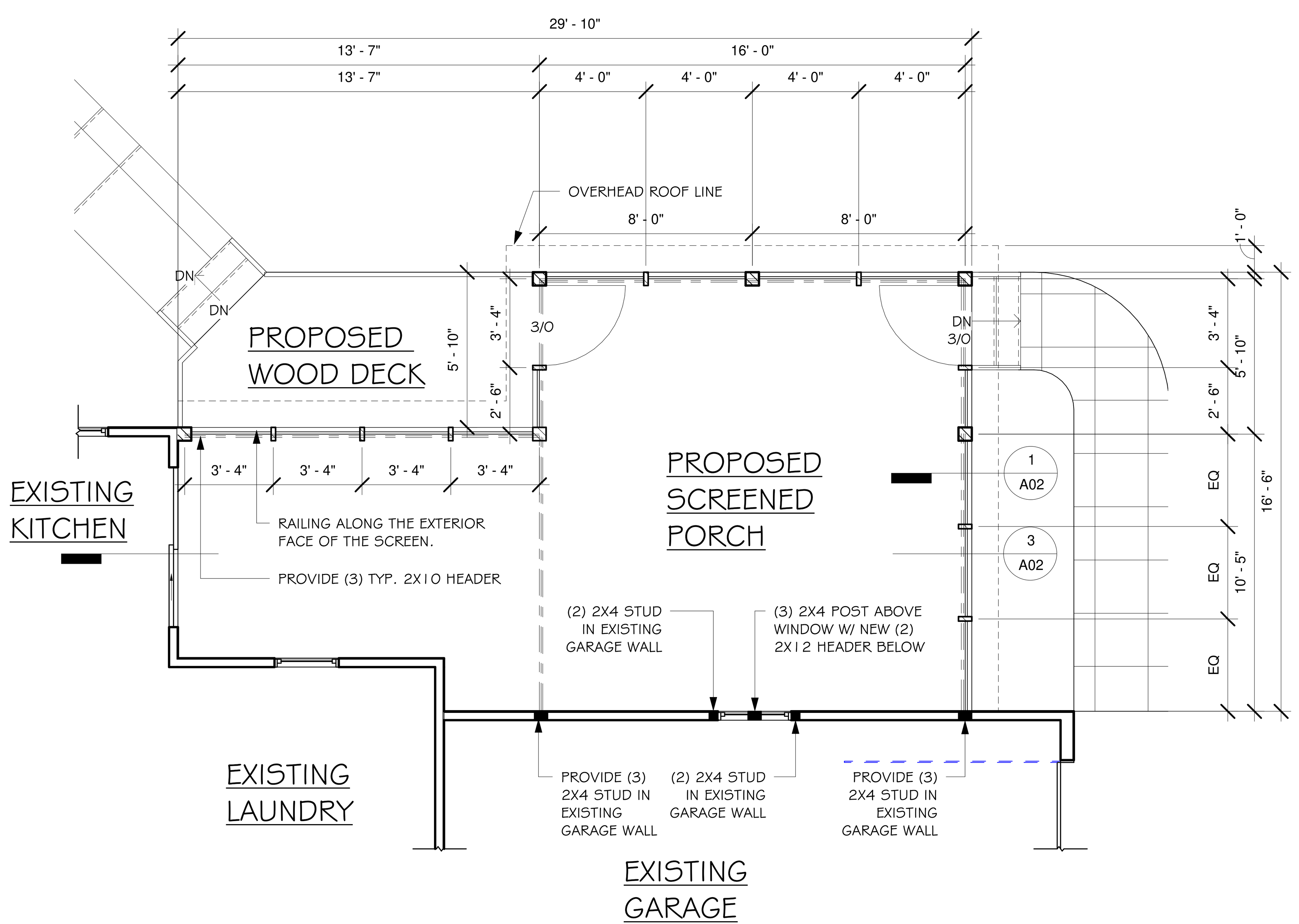
DRAWN:	DATE:
XW	01/18/21
PROJECT:	SHEET:
20258	A00



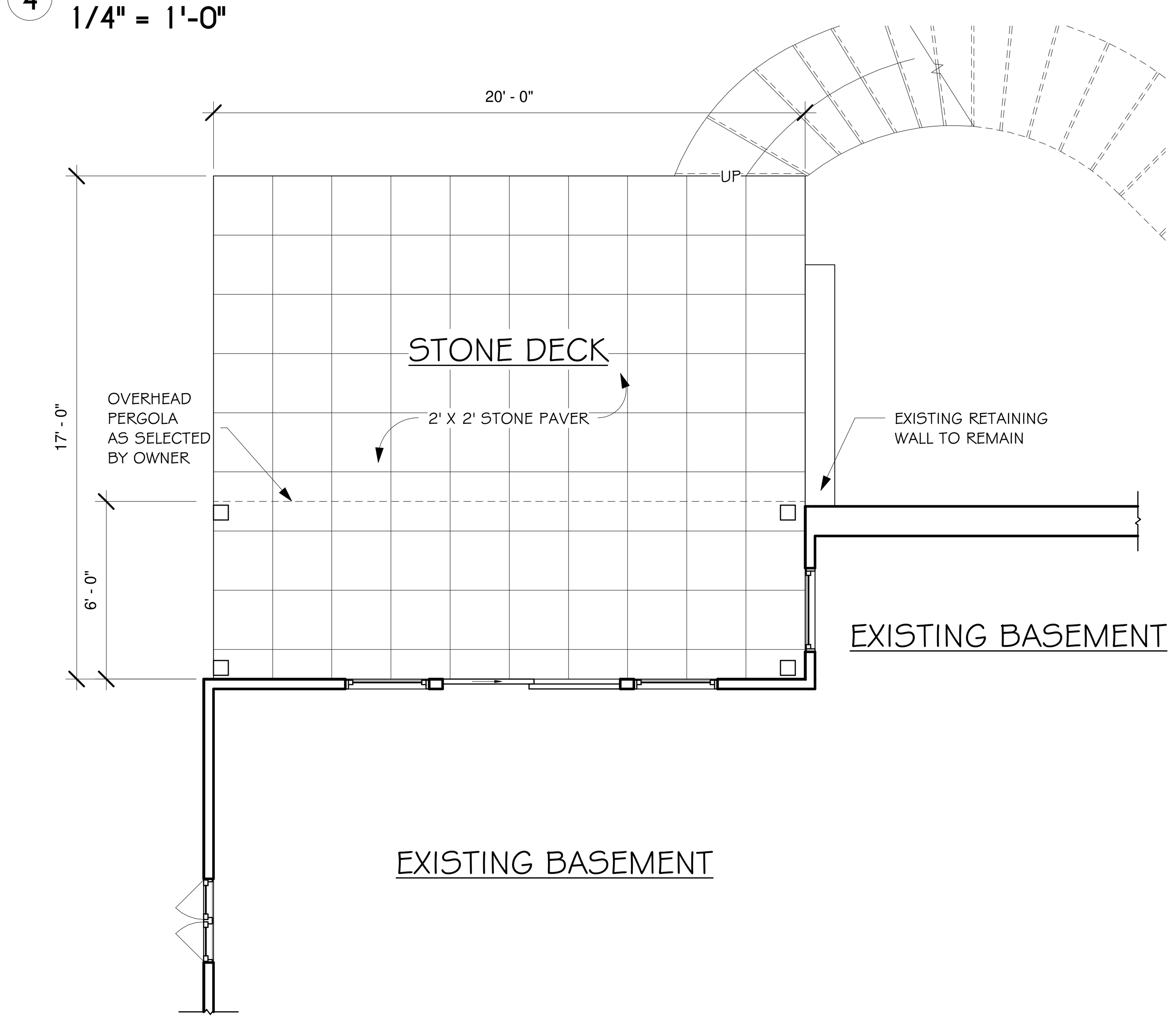
1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



4 PROPOSED ROOF PLAN
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED DECKING PLAN
1/4" = 1'-0"

GLA Greater Living Architecture, P.C.

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CONSULTANT:

CLIENT/LOCATION:
Owner
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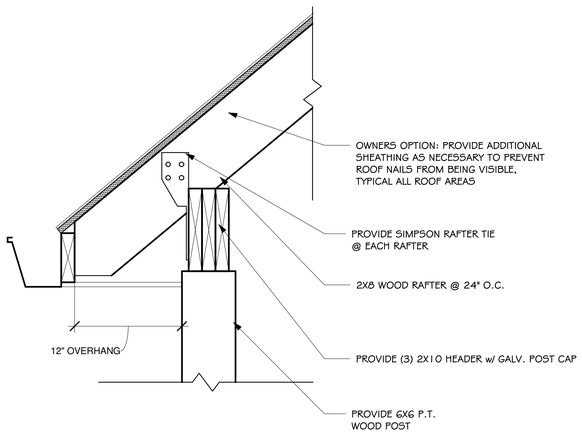
Pittsford, NY 14534

REVISIONS:

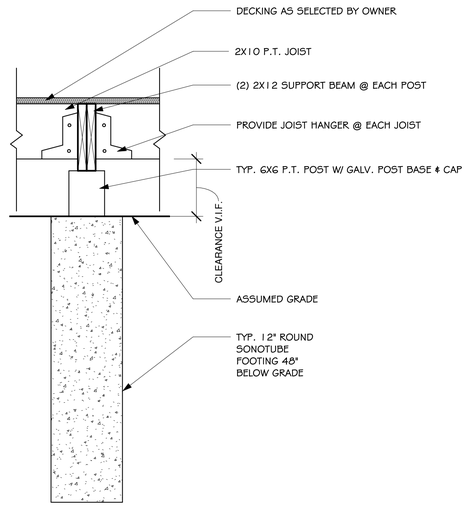
DATE	BY	DESCRIPTION

PROPOSED FLOOR PLAN

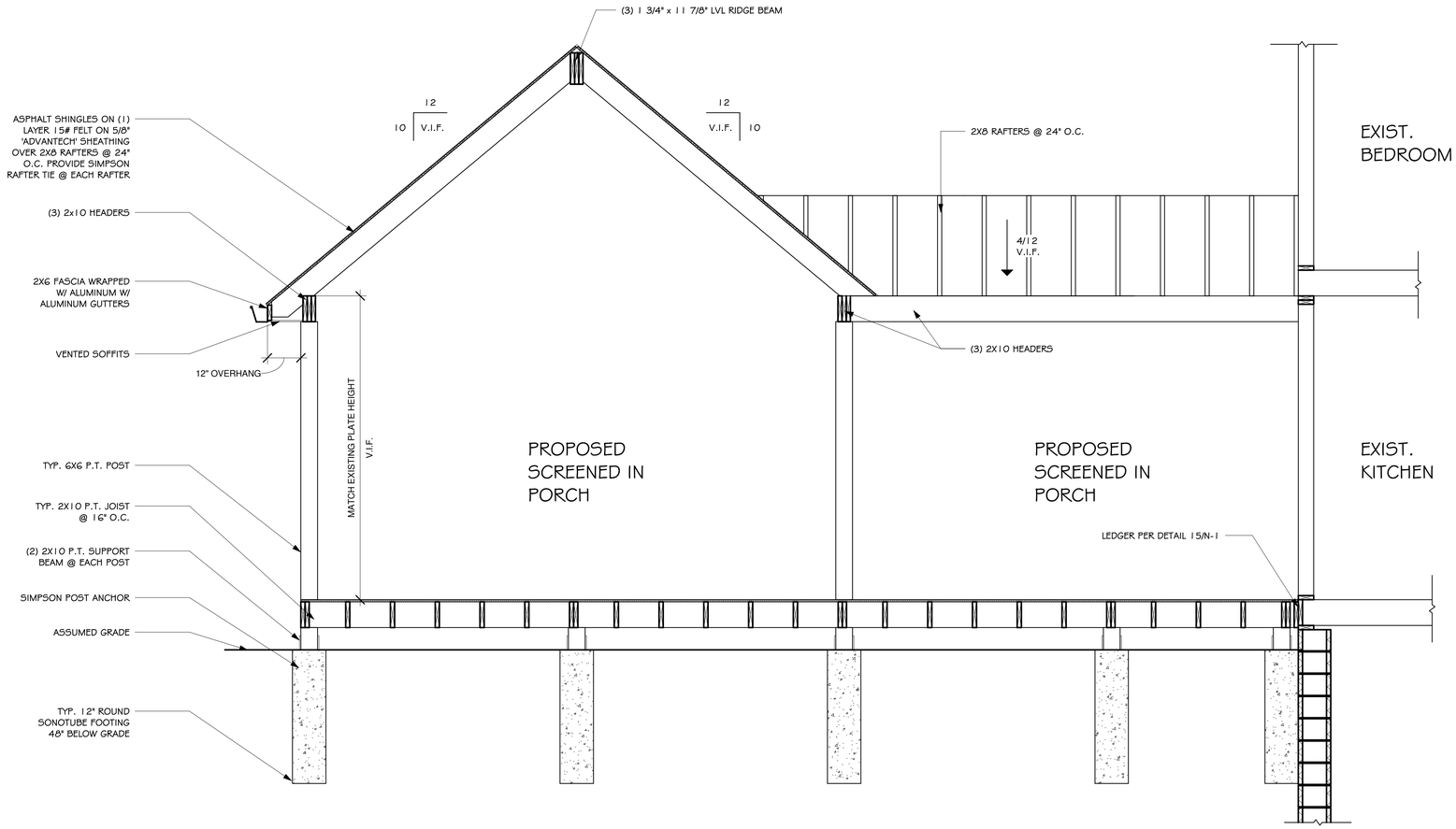
DRAWN: Author	DATE: 01/18/21
PROJECT: 20258	SHEET: A01



1 OPTIONAL ROOF FRAMING DETAIL @ COVERD PORCH
1 1/2" = 1'-0"



2 DETAIL @ DECK JOIST
1" = 1'-0"



3 CROSS SECTION @ PORCH
1/2" = 1'-0"

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CONSULTANT:

CLIENT/LOCATION:
Owner
55 Turning Leaf Dr,
Pittsford, NY 14534

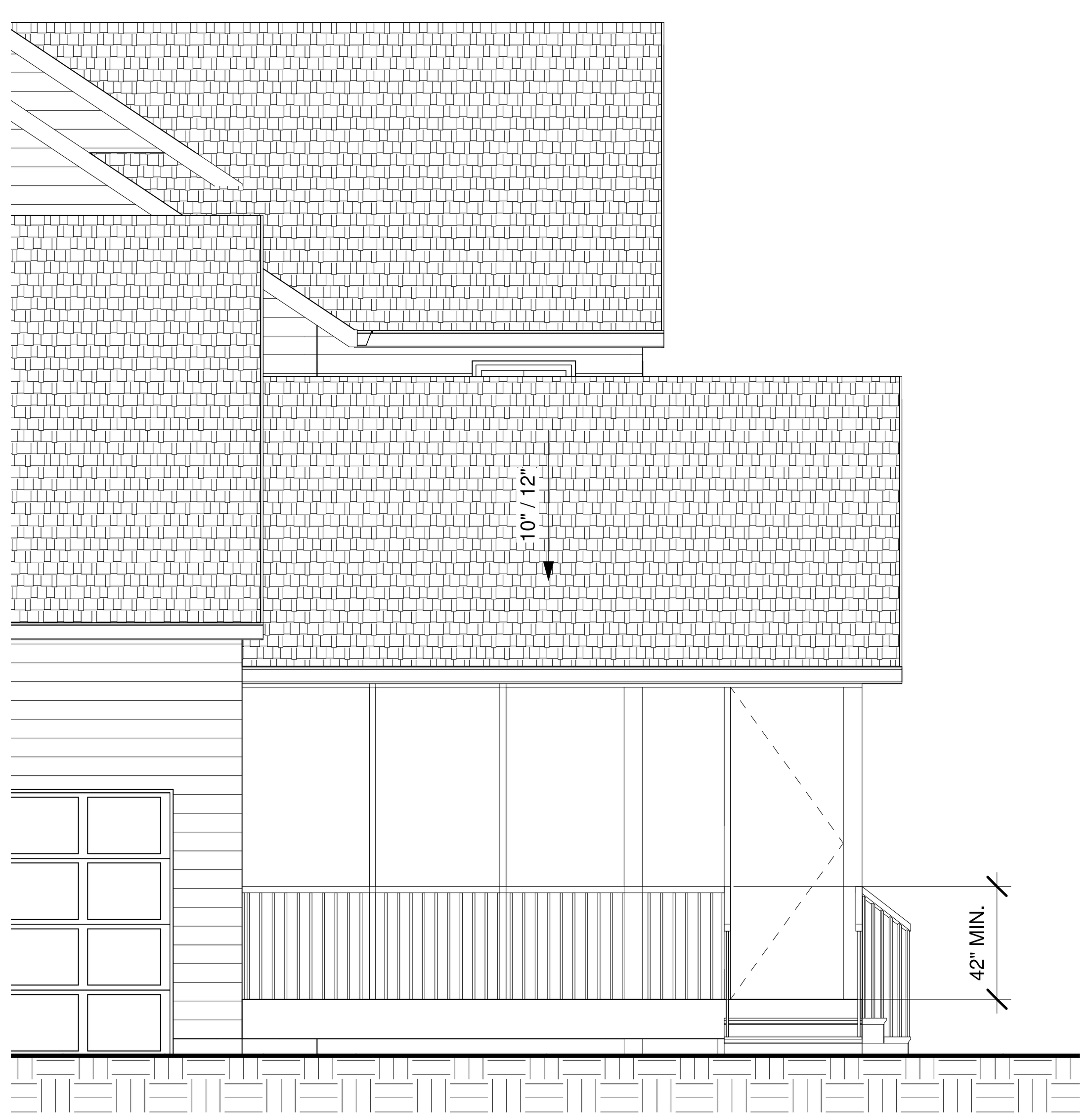
REVISIONS:

DATE	BY	DESCRIPTION

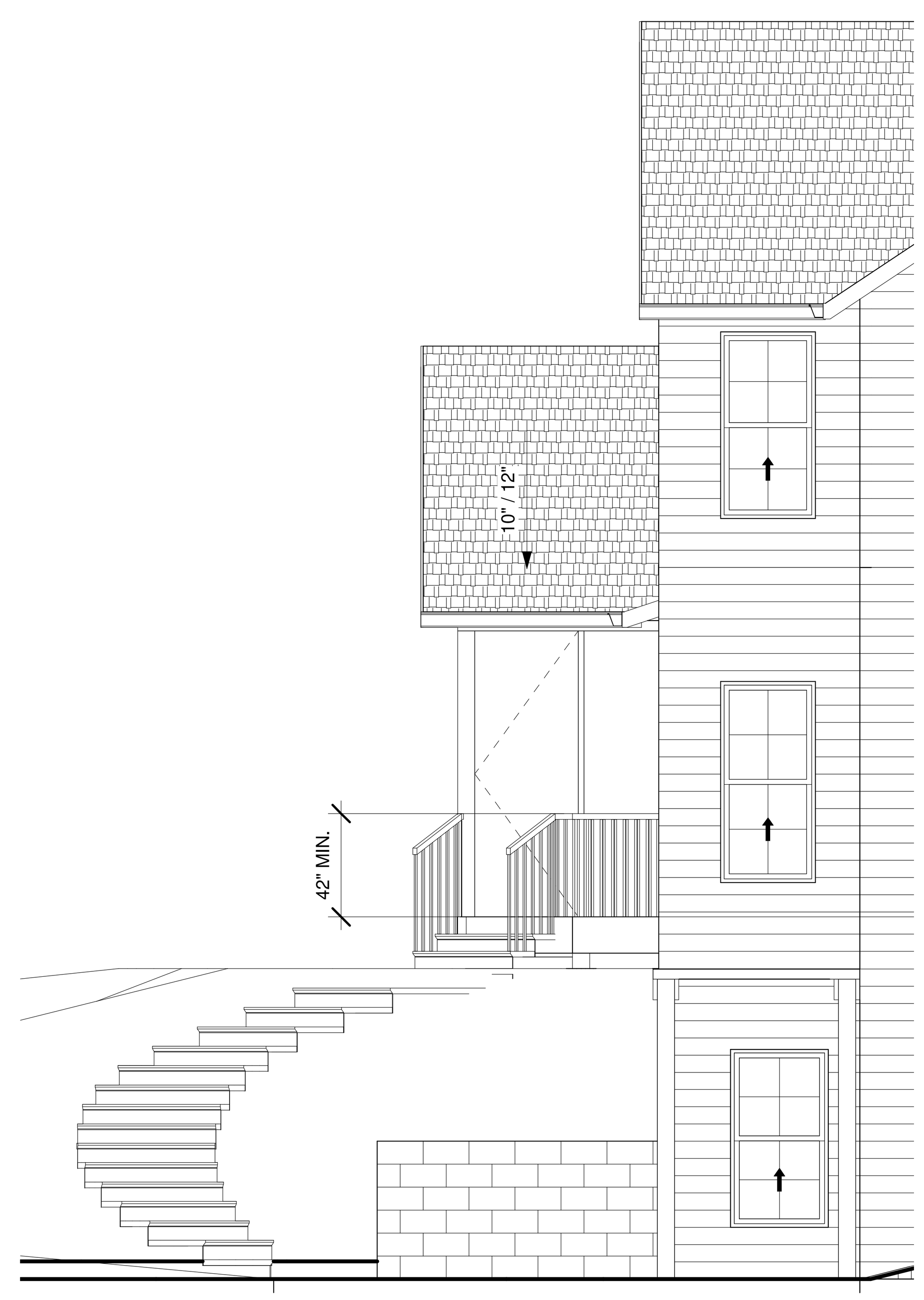
SECTIONS & DETAILS

DRAWN:	DATE:
Author	02/15/21
PROJECT:	SHEET:
20258	A02

1 BACK ELEVATION
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
1/4" = 1'-0"

NOTE:

1) POST, RAILING, WINDOW, SCREEN, AND SKIRT TRIM AS SELECTED BY OWNER

REGISTERED ARCHITECT
STATE OF NEW YORK
22225

GLA
Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
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CONSULTANT:

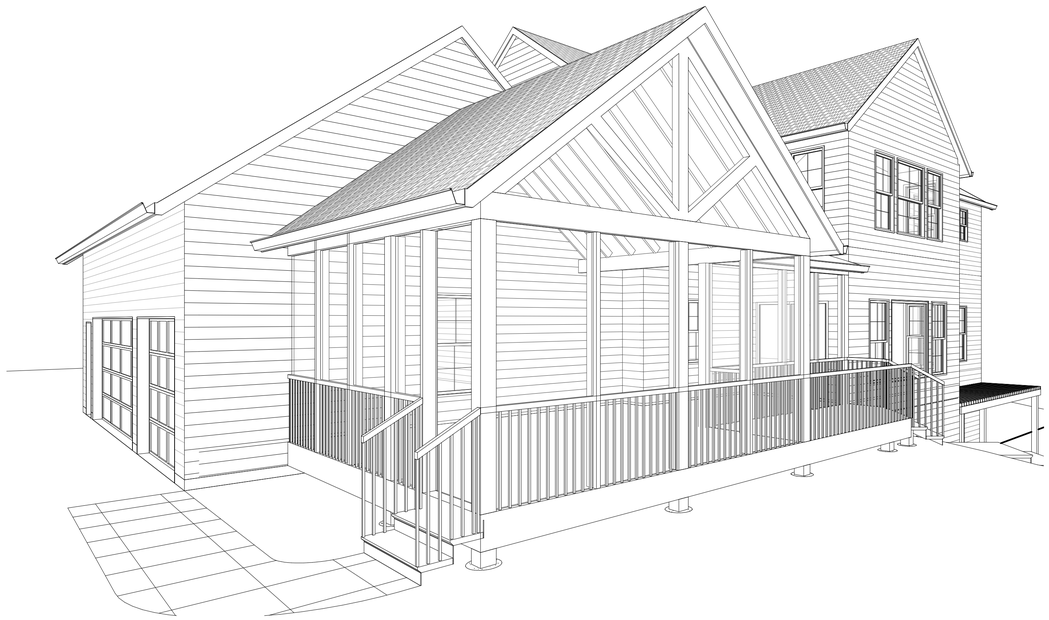
CLIENT/LOCATION:
Owner
55 Turning Leaf Dr,
Pittsford, NY 14534

REVISIONS:

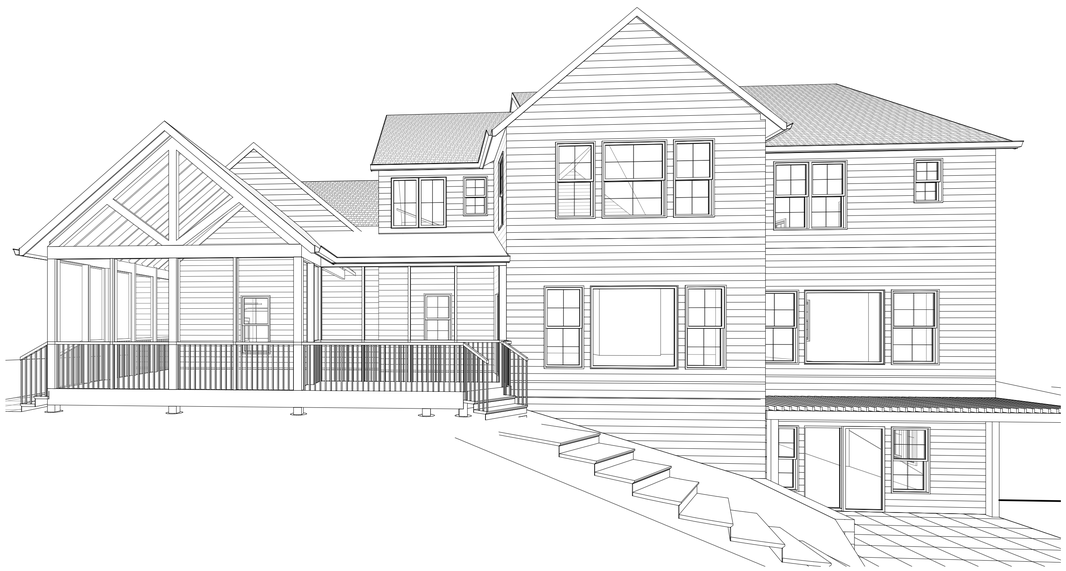
DATE	BY	DESCRIPTION

ELEVATIONS

DRAWN:	DATE:
Author	02/15/21
PROJECT:	SHEET:
20258	A03



1 EXTERIOR VIEW @ LEFT BACK



2 EXTERIOR VIEW @ BACK

3 EXTERIOR VIEW @ RIGHT BACK

4 EXTERIOR VIEW @ WOOD DECK

REGISTERED ARCHITECT GREATER LIVING ARCHITECTURE P.C. 022225 STATE OF NEW YORK

GLA Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD
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CALL:(585) 272-9170
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CONSULTANT:

CLIENT/LOCATION:

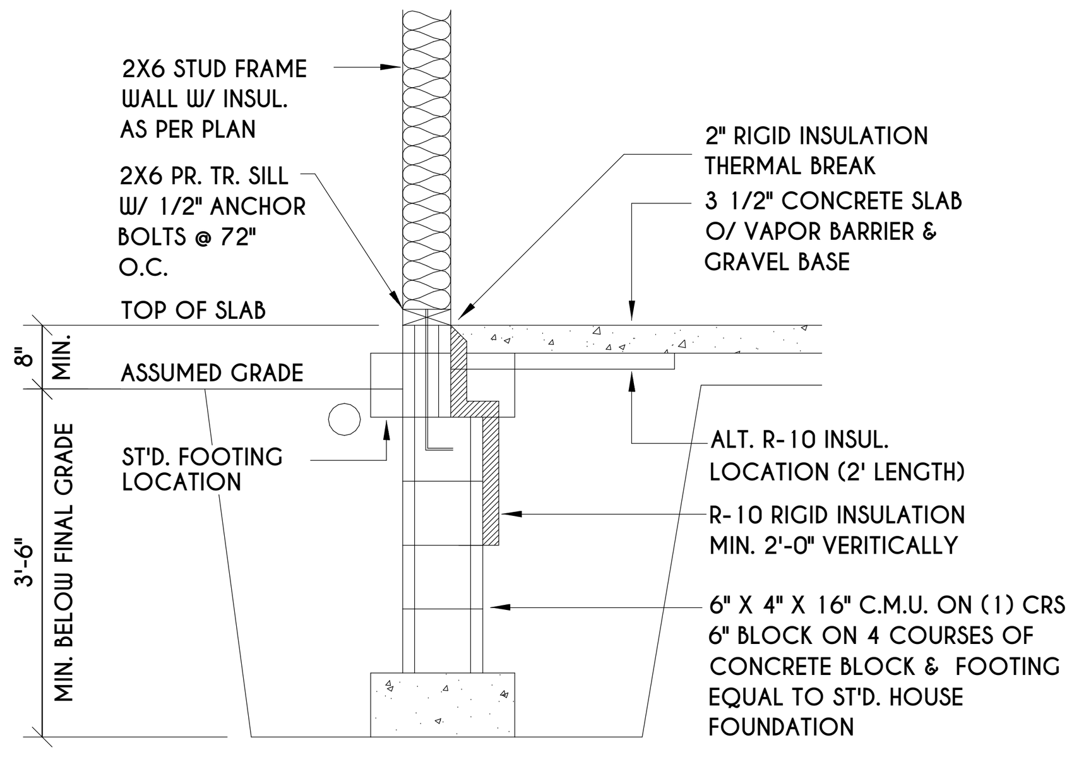
Owner
55 Turning Leaf Dr,
Pittsford, NY 14534

REVISIONS:

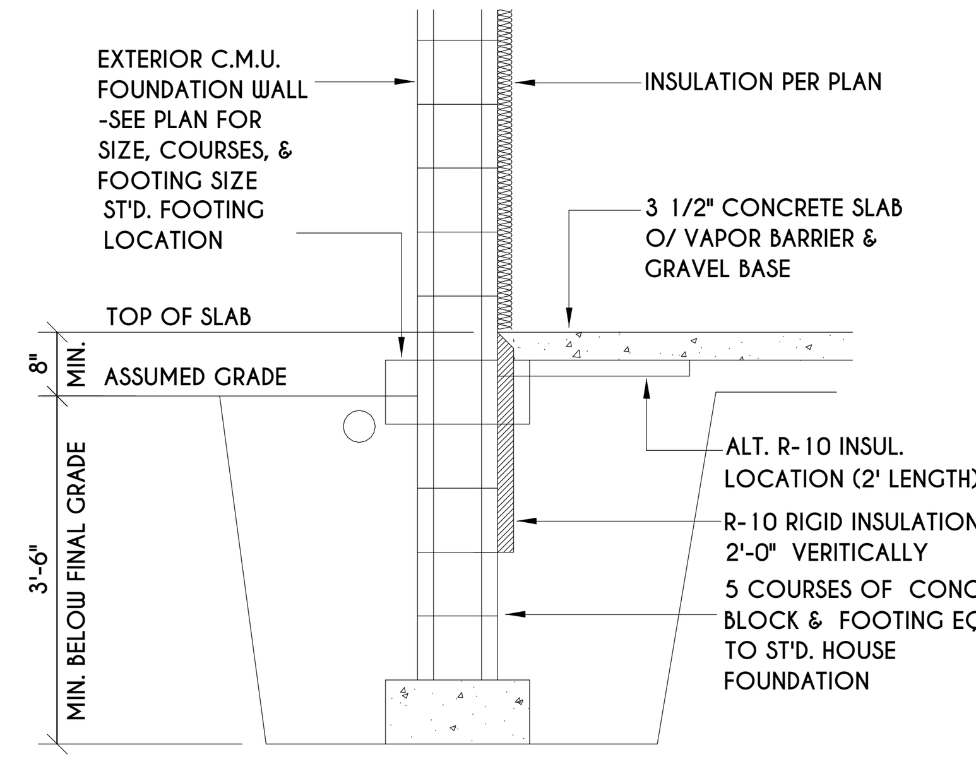
DATE	BY	DESCRIPTION

EXTERIOR VIEW

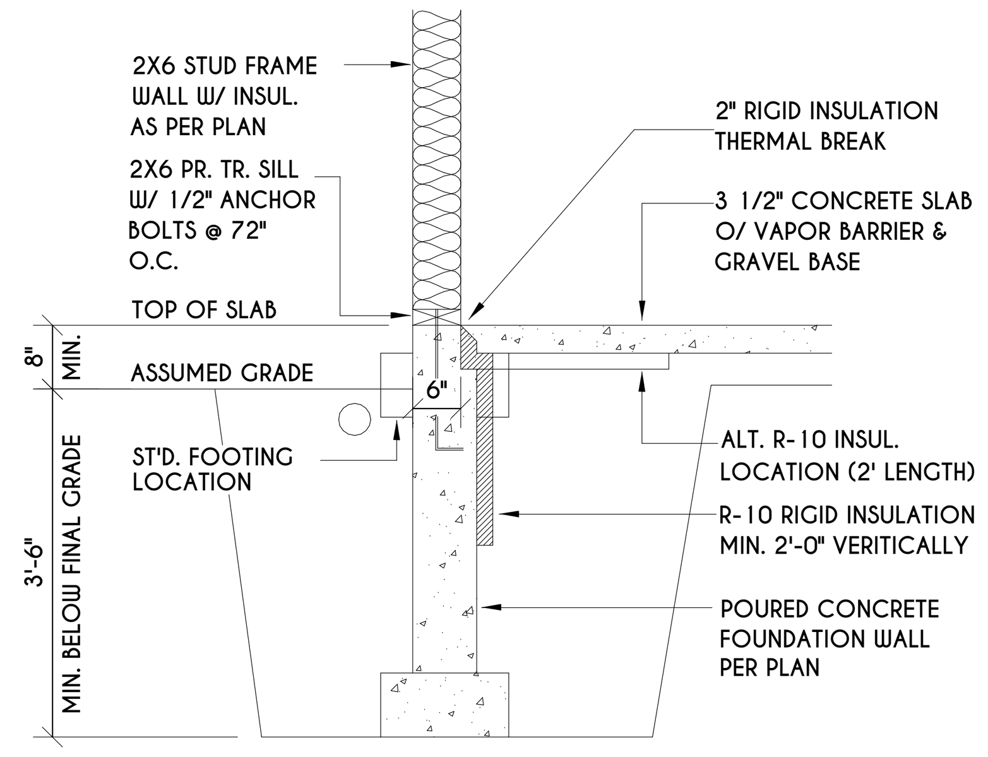
DRAWN:	DATE:
Author	01/18/21
PROJECT:	SHEET:
20258	A04



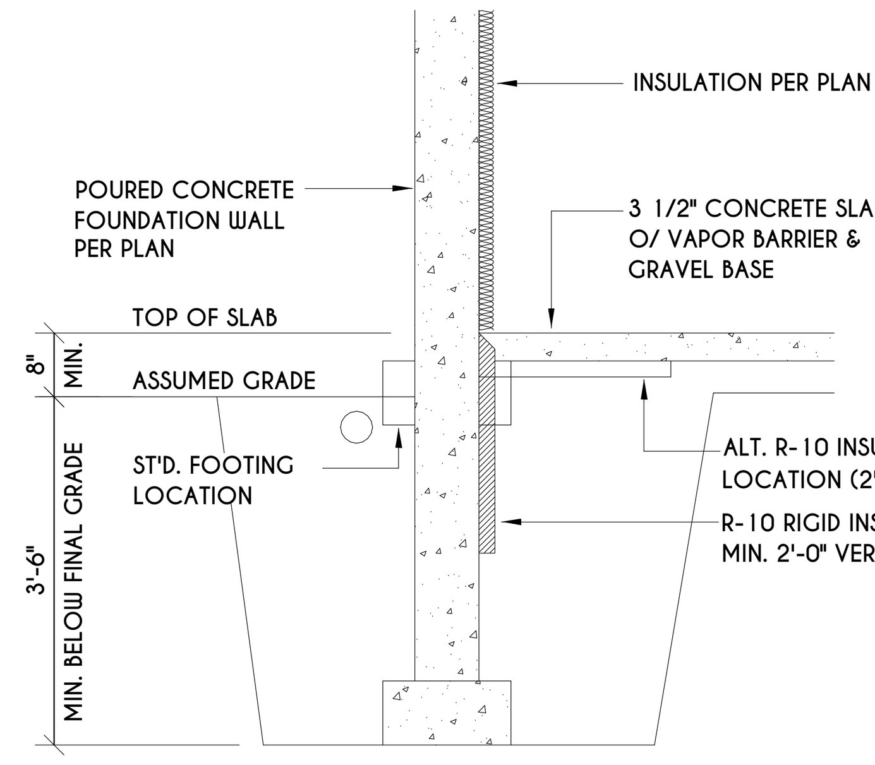
1 / N-1 2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



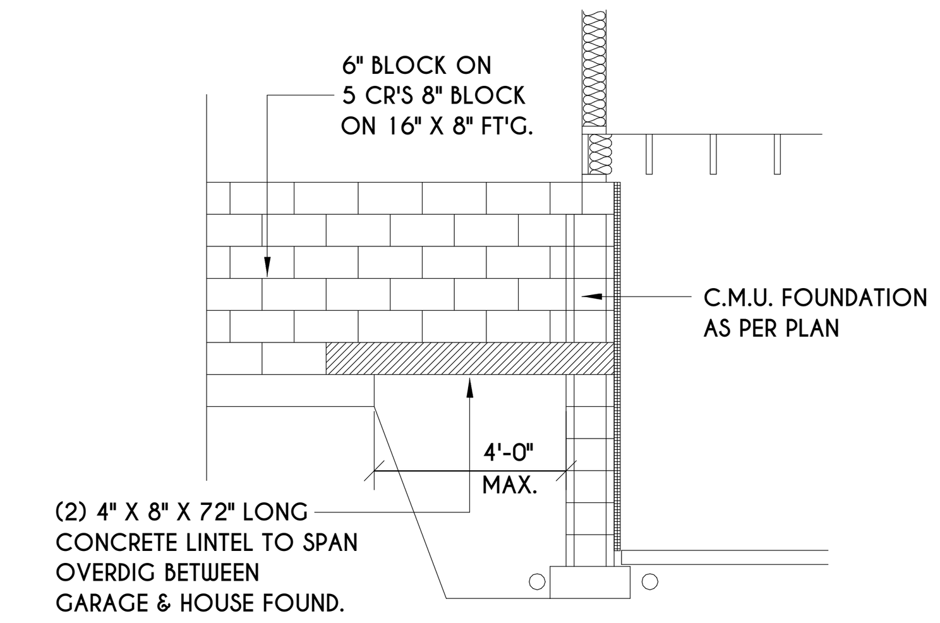
2 / N-1 C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



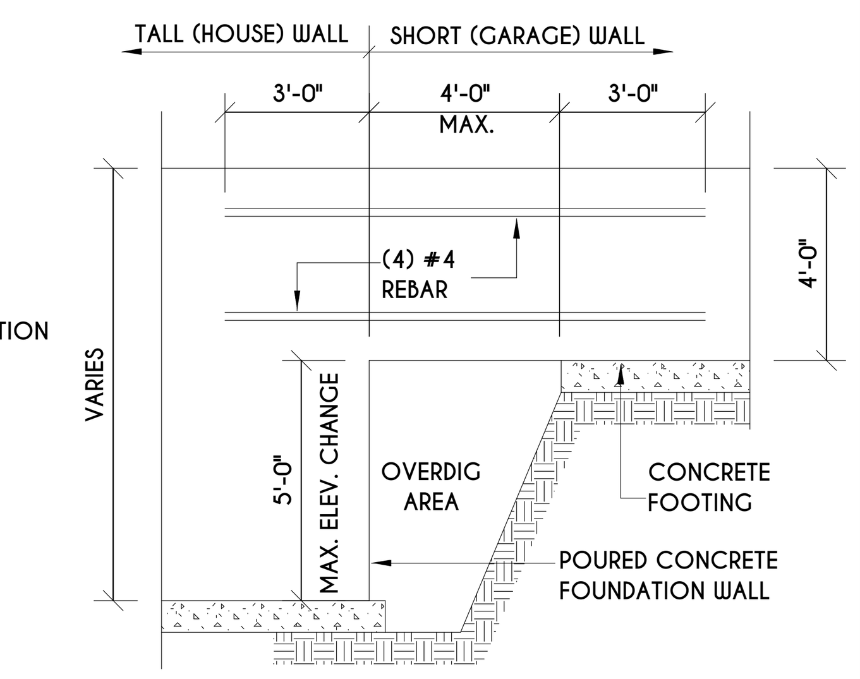
3 / N-1 2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



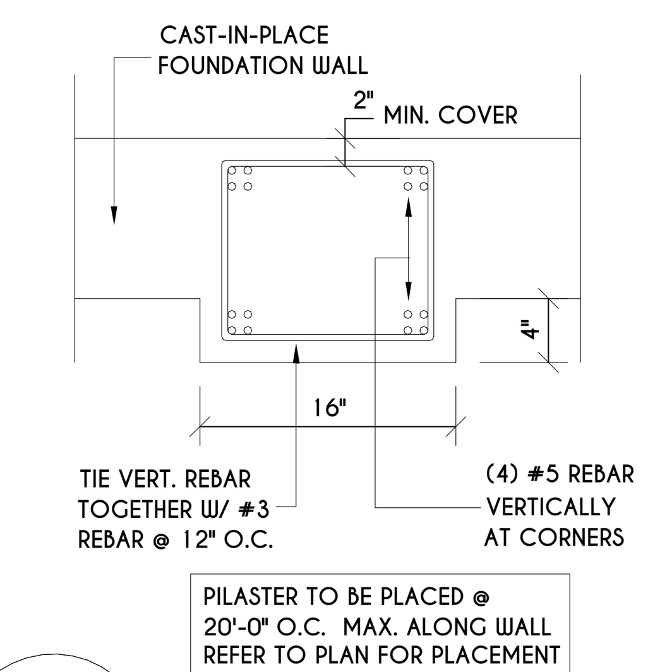
4 / N-1 POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



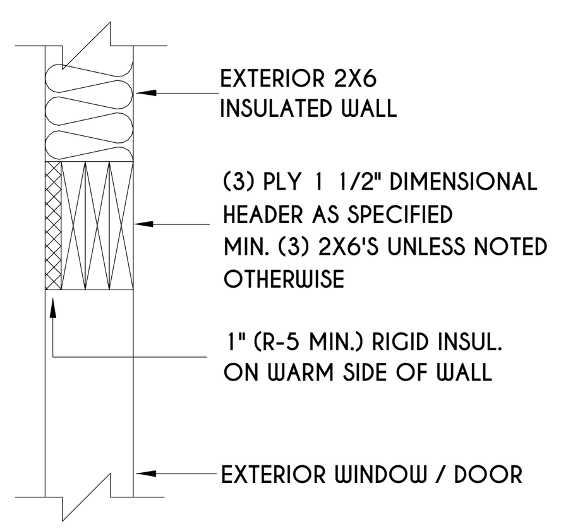
5 / N-1 C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



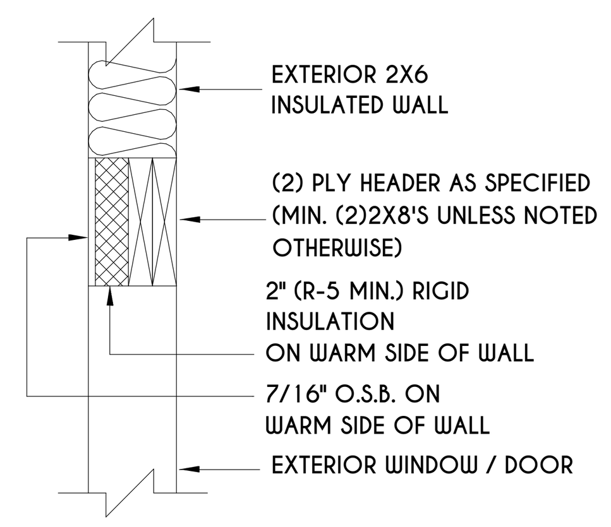
6 / N-1 POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



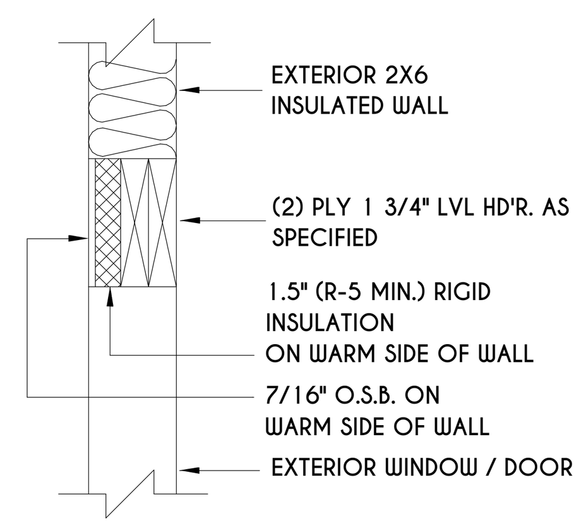
7 / N-1 POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



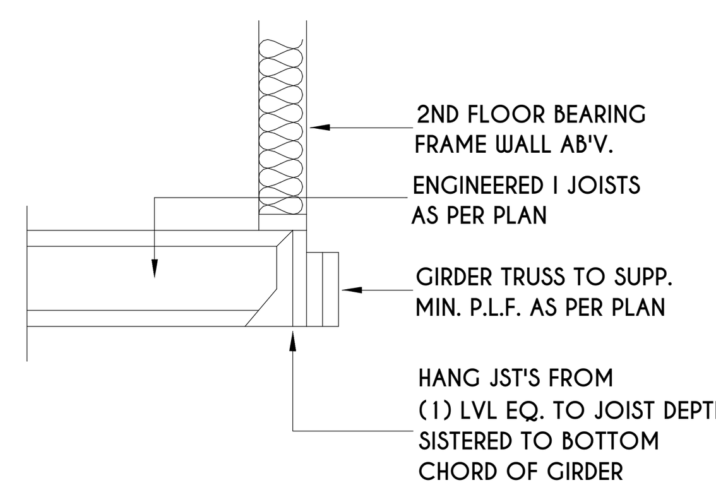
8 / N-1 EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



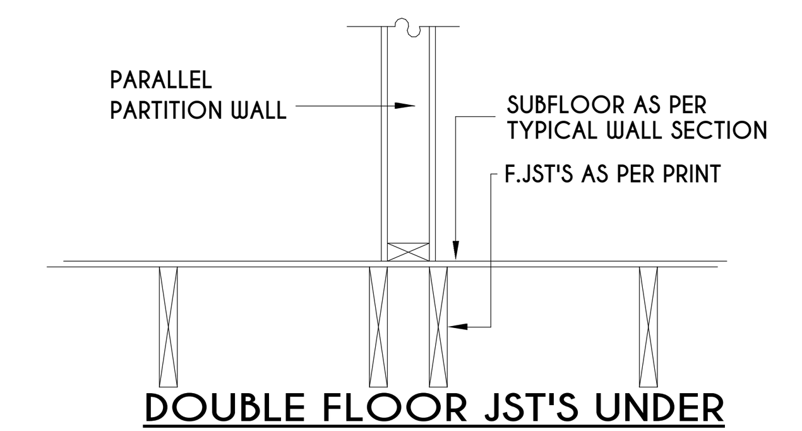
9 / N-1 EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



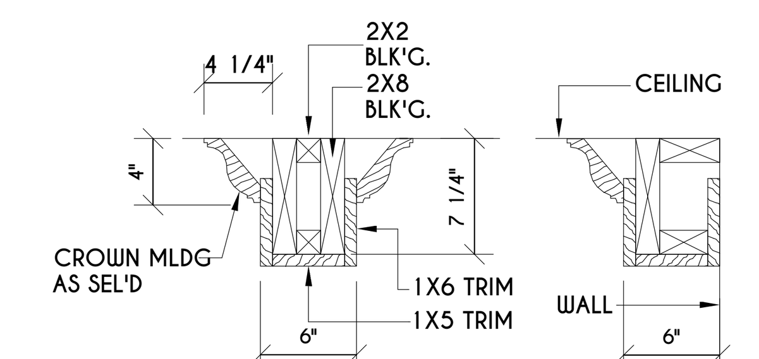
10 / N-1 EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



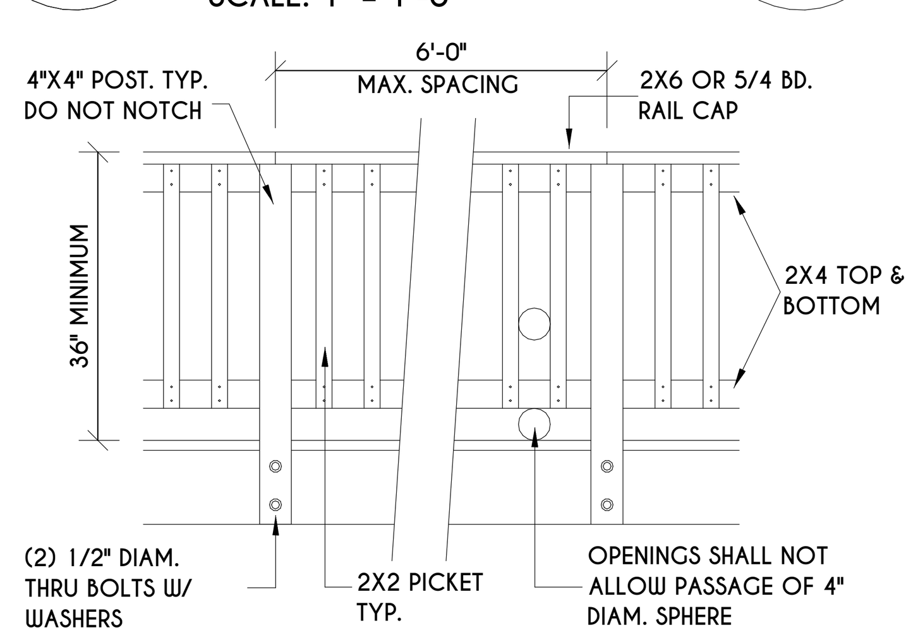
11 / N-1 I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



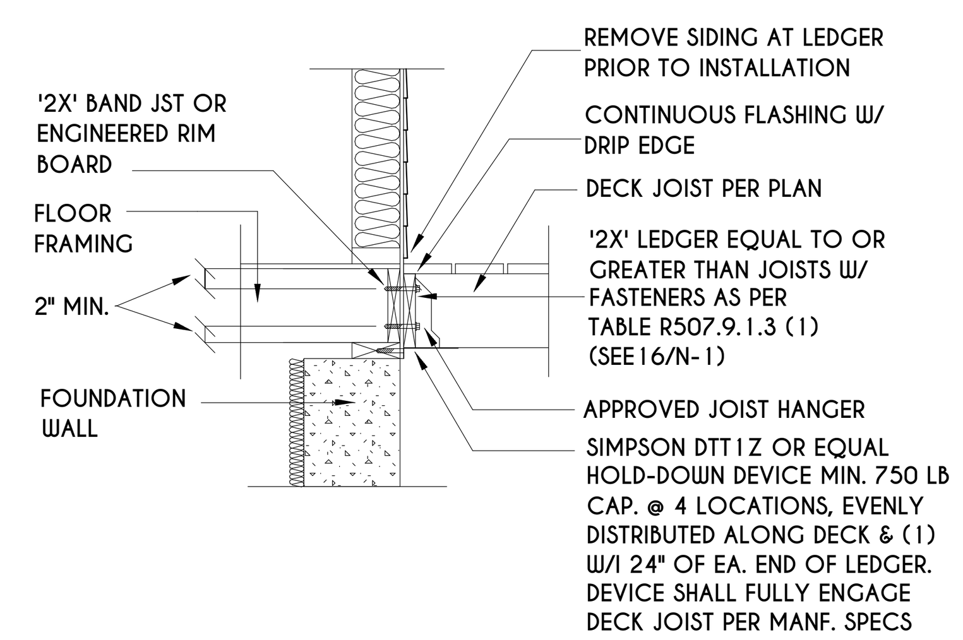
12 / N-1 PARALLEL PARTITION WALL DETAIL
N.T.S.



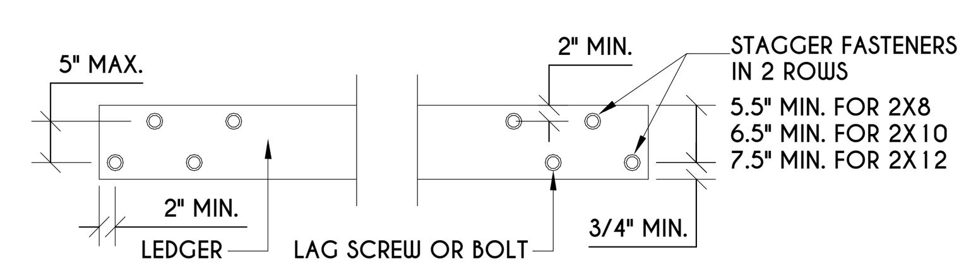
13 / N-1 COFFERED BEAM DETAIL
N.T.S.



14 / N-1 TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15 / N-1 GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16 / N-1 PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"-10'	10'-1"-12'	12'-1"-14'	14'-1"-16'	16'-1"-18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

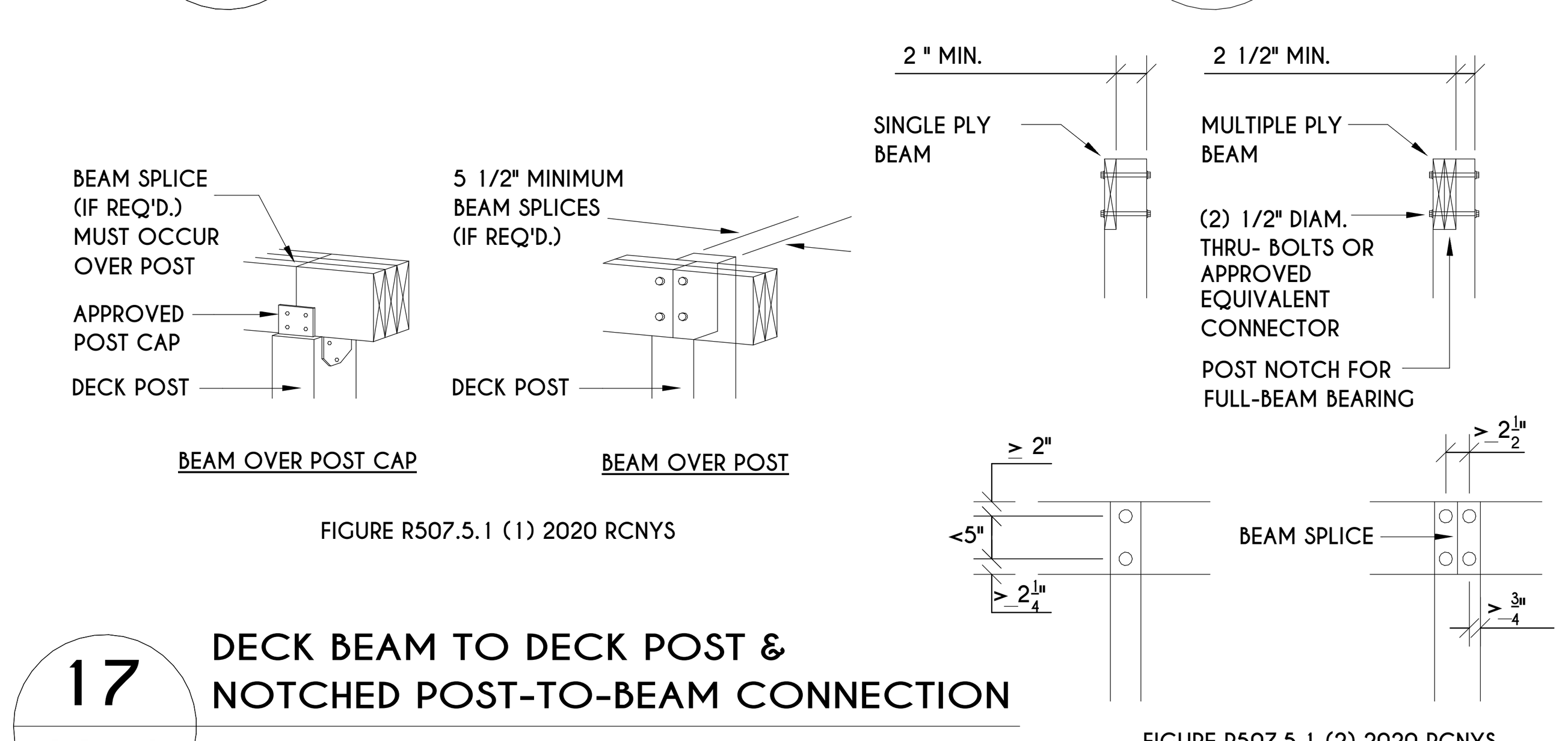
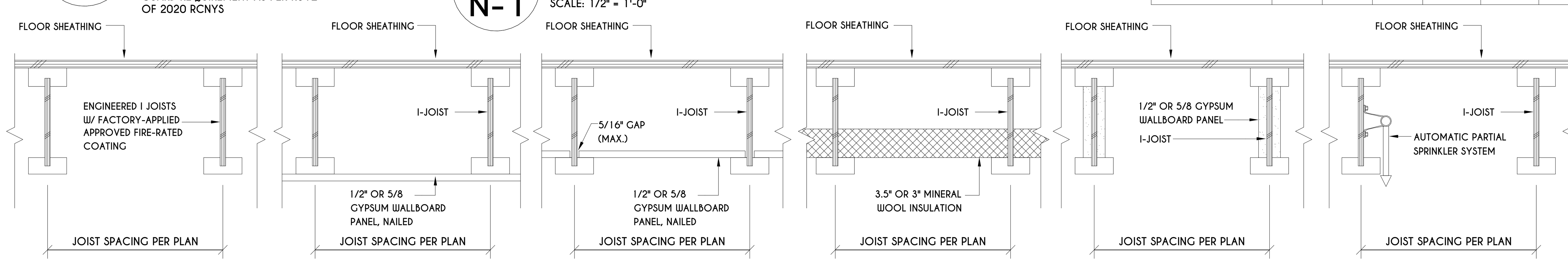


TABLE R507.4
DECK POST HEIGHT [a]

DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

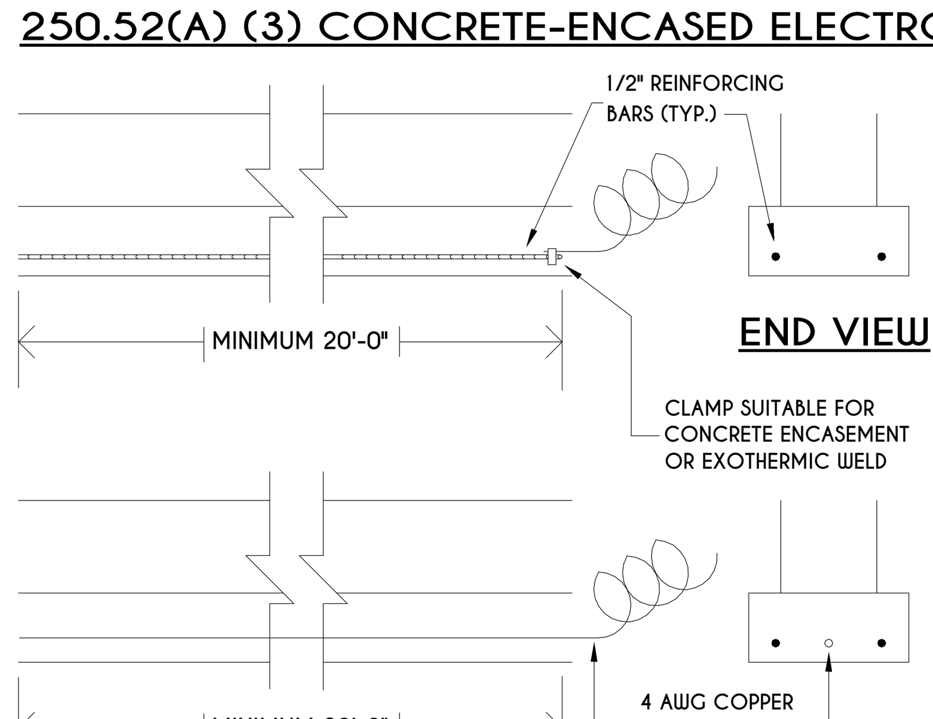
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"

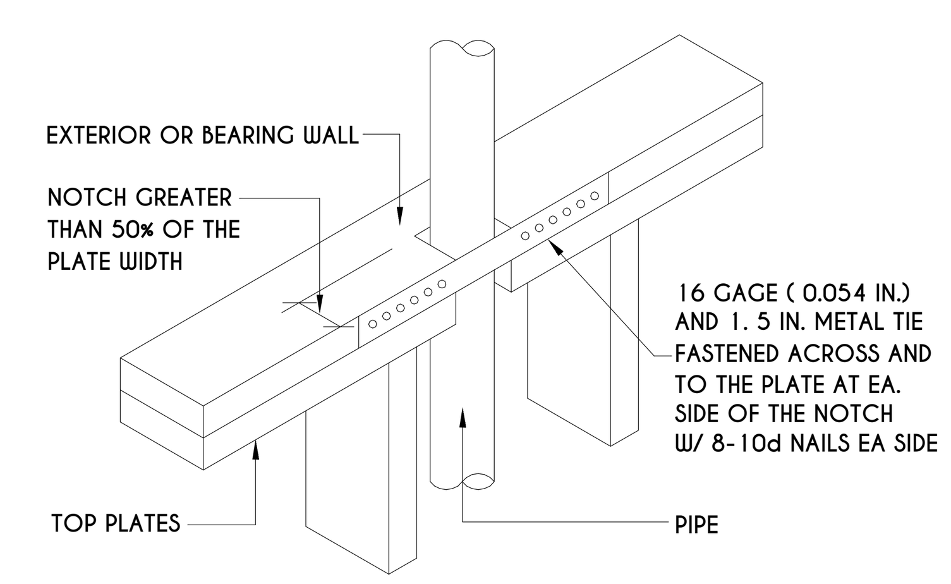
17 / N-1 DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.



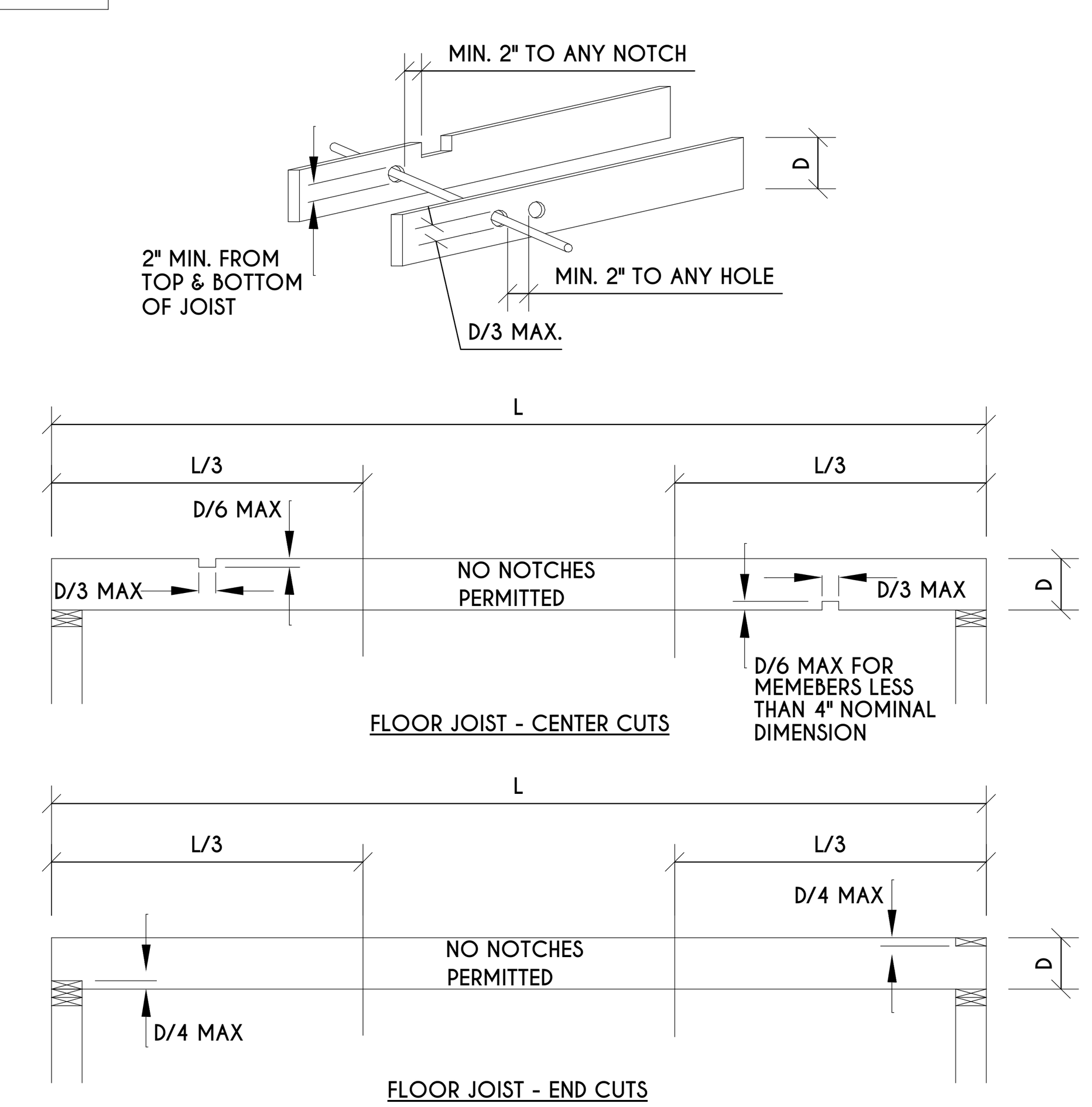
18 / N-1 I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS

19 / N-1 250.52(A) (3) CONCRETE-ENCASED ELECTRODES

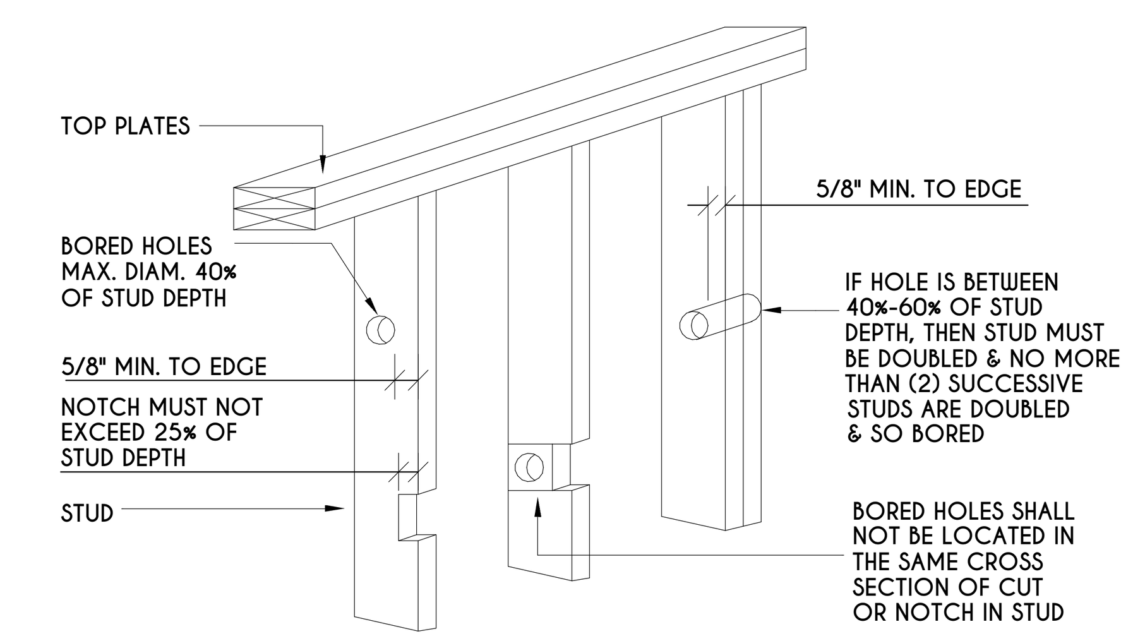




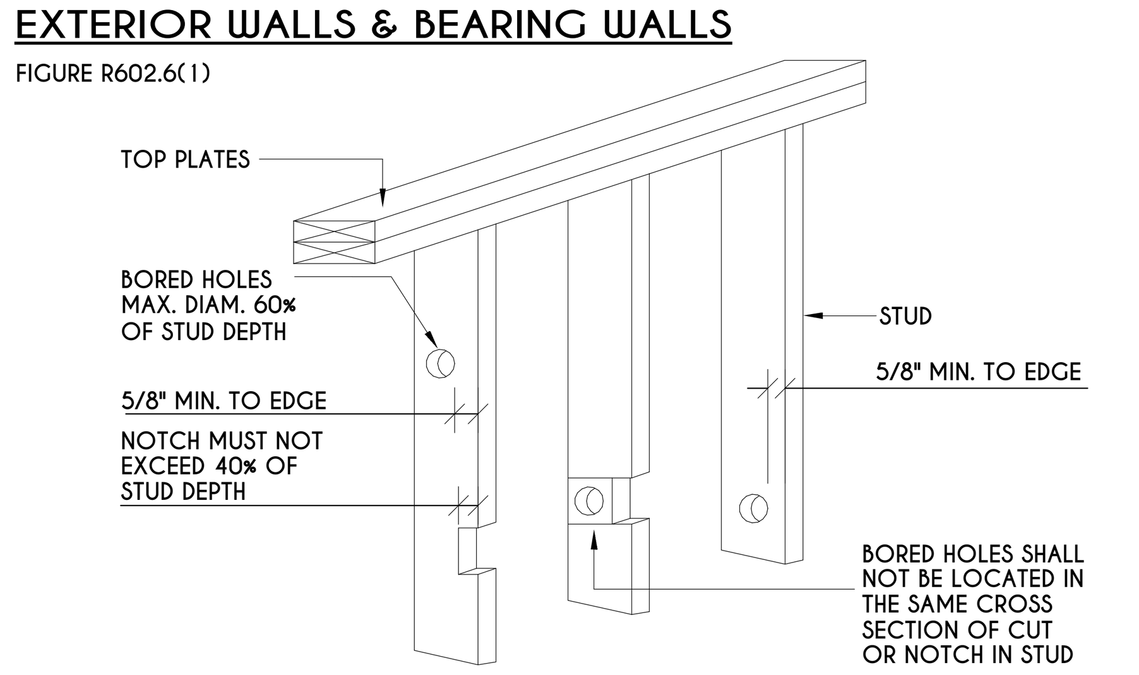
TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

Greater Living Architecture, P.C.
3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

CONSULTANT:

CLIENT/LOCATION:
Owner
55 Turning Leaf Dr,
Pittsford, NY 14534

REVISIONS:

DATE	BY	DESCRIPTION

DETAILS

DRAWN: Author
DATE: 02/15/21
PROJECT: 20258
SHEET: N1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c ,f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT [g] (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches) SOIL CLASSES [a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH): GW, GP, SW, AND SP 30				GM, GS, SM-SC AND ML 45				SC, MH, ML-CL AND INORGANIC CL 60			
		MIMIMUM WALL THICKNESS (INCHES)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR [l]	NR	NR	#4 @ 35"	NR [l]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR [l]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR [l]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR [l]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR [l]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR [l]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR [l]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR [l]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR [l]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48" [m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR [l]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR [l]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR [l]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR [l]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45" [m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR [l]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" [m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR [j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS [a]

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 [b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS

FRONT ELEVATION

SECTION

PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S.

FIGURE R602.10.6.3

22225

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FAX: (585) 292-1262

www.greaterliving.com

CONSULTANT:

CLIENT/LOCATION:
Owner
55 Turning Leaf Dr,
Pittsford, NY 14534

REVISIONS:

DATE	BY	DESCRIPTION

REINFORCEMENT

DRAWN: Author
DATE: 02/15/21
PROJECT: 20258
SHEET: N2


53

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000068

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 71 Reitz PITTSFORD, NY 14534
Tax ID Number: 164.11-2-60
Zoning District: RN Residential Neighborhood
Owner: Chin, Kenneth T
Applicant: Chin, Kenneth T

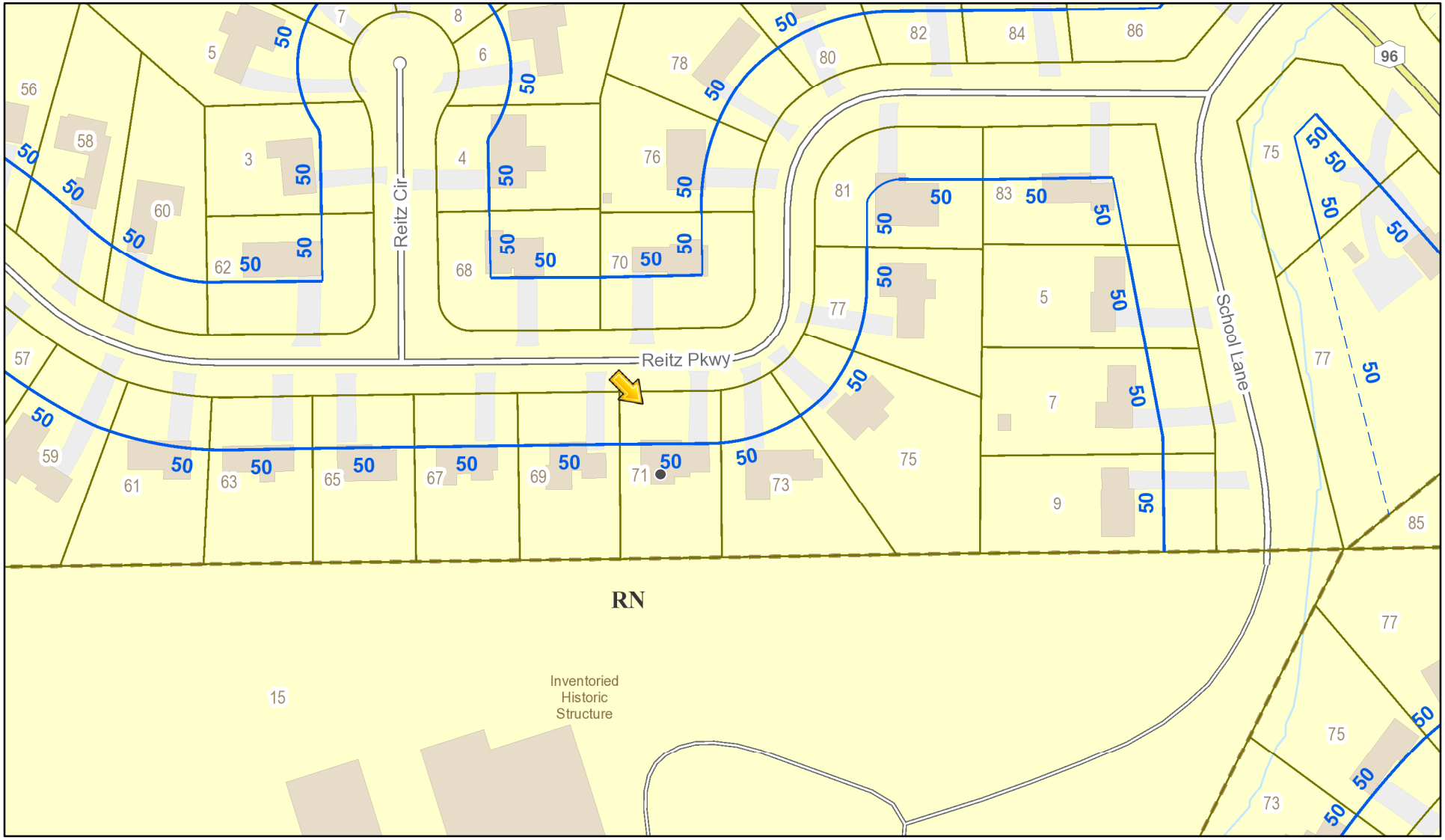
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the second floor addition and three season room renovation. The existing three season room will be renovated into a four season room with an approximately 322 square foot second floor master bedroom suite addition on top.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



Printed April 15, 2021

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


69
71
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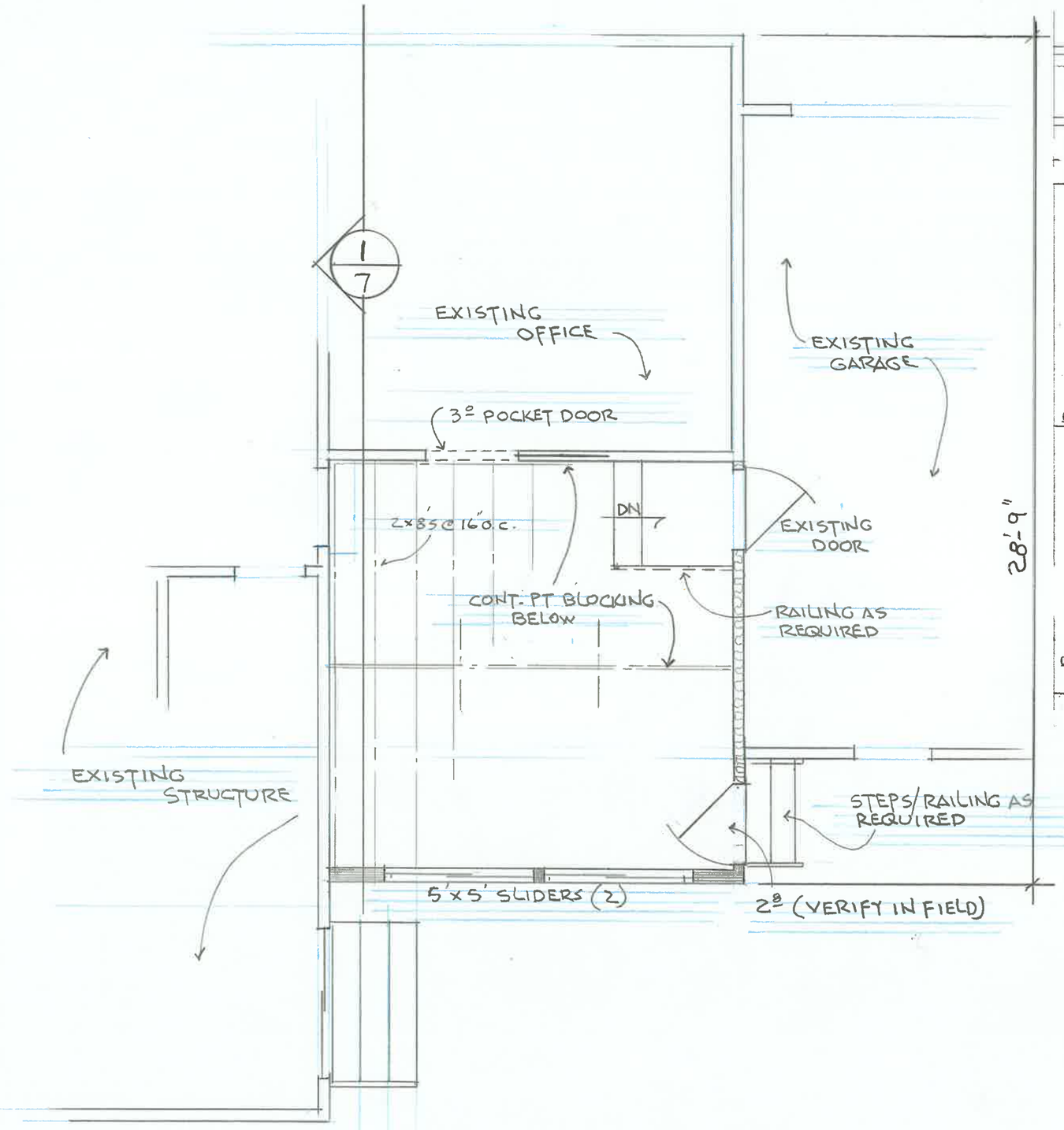
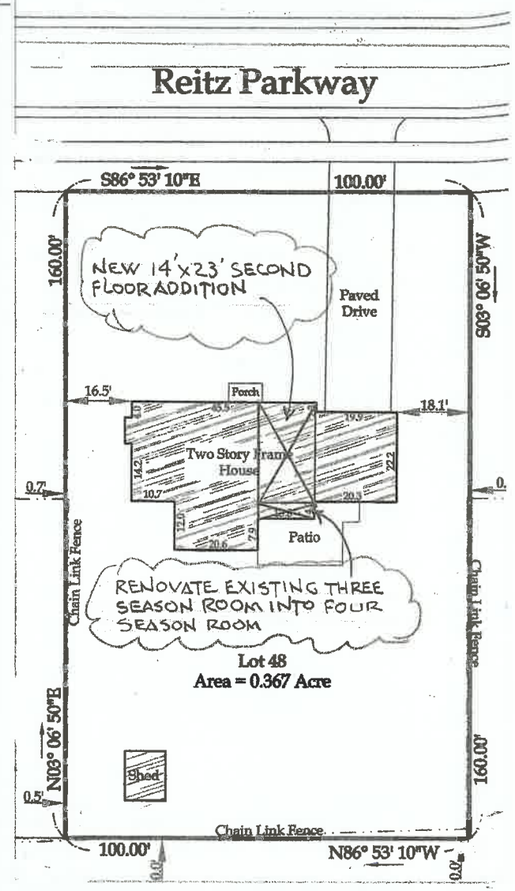


FIRST FLOOR PLAN 1/4"=1'-0"



SITE PLAN

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doughty.t@gmail.com

DATE: 12-17-2020

SCALE:

REVISIONS

1/20/2021

PROJECT

Residential Addition/Renovation for:

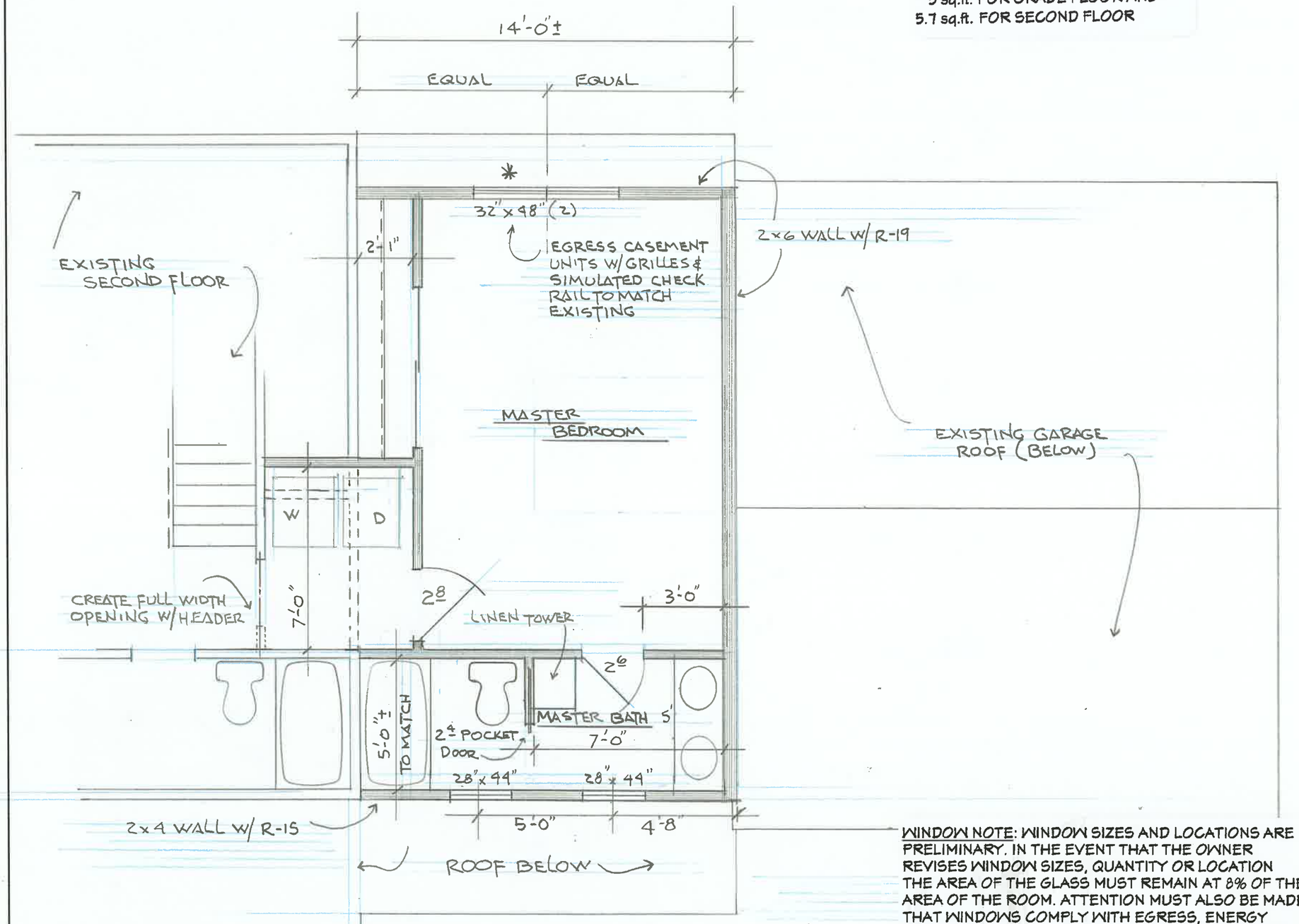
71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

SITE PLAN & FIRST FLOOR PLAN

SHEET NUMBER

1 OF 7



SECOND FLOOR PLAN

✱ **ESCAPE/RESCUE OPENINGS**
NOTED OPENING SIZES TO HAVE MIN. NET CLEAR OPENING OF 5 sq.ft. FOR GRADE FLOOR AND 5.7 sq.ft. FOR SECOND FLOOR

WINDOW NOTE: WINDOW SIZES AND LOCATIONS ARE PRELIMINARY. IN THE EVENT THAT THE OWNER REVISES WINDOW SIZES, QUANTITY OR LOCATION THE AREA OF THE GLASS MUST REMAIN AT 8% OF THE AREA OF THE ROOM. ATTENTION MUST ALSO BE MADE THAT WINDOWS COMPLY WITH EGRESS, ENERGY CONSERVATION AND SAFETY GLASS REQUIREMENTS REFERED TO IN THIS DRAWING SET.

CONTRACTOR/OWNER TO CONTACT ARCHITECT (585 247-6480) IF ANY CLARIFICATION IS NEEDED

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DATE: 12-17-2020

SCALE: 1/4"=1'-0"

1/20/2021 REVISIONS

PROJECT

Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

SECOND FLOOR PLAN

SHEET NUMBER

2 OF 7

EXISTING CONDITIONS

THESE DRAWINGS HAVE BEEN DEVELOPED FROM OWNER INPUT AND READILY VISIBLE EXISTING CONDITIONS. EXISTING CONDITIONS THAT WERE NOT VERIFIED SUCH AS FOUNDATIONS, ROOF STRUCTURE, HEADERS, ETC. HAVE BEEN ASSUMED TO BE DESIGNED AND INSTALLED AS PER BUILDING CODES AT THE TIME OF INSTALLATION AND AS PER COMMON CONSTRUCTION PRACTICES.

VALUE ENGINEERING

ARCHITECT WELCOMES INPUT FROM CONTRACTOR (S) ON OPPORTUNITIES FOR *VALUE ENGINEERING* (ANALYZING *COST VS VALUE* AND ALTERNATIVE MATERIALS / METHODS). ALL CONTRACTOR INPUT SHALL BE IN WRITING AND APPROVED BY ARCHITECT BEFORE REVISION MAY BE IMPLIMENTED

SMOKE DETECTORS

SMOKE DETECTORS SHALL BE INSTALLED IN THE ADDITION AS WELL AS IN THE EXISTING STRUCTURE AS FOLLOWS: IN EACH BEDROOM, OUTSIDE THE BEDROOM AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN THE BASEMENT AND ADDITIONAL AREAS AS REQUIRED SO EACH STORY SHALL HAVE AT LEAST ONE SMOKE DETECTOR. IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT.

CARBON MONOXIDE ALARMS

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE EXISTING STRUCTURE AS FOLLOWS: IN EVERY STORY (INCLUDING BASEMENT). IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT. ALARMS SHALL NOT BE LOCATED IN OR NEAR LOCATIONS SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

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* ESCAPE/RESCUE OPENINGS
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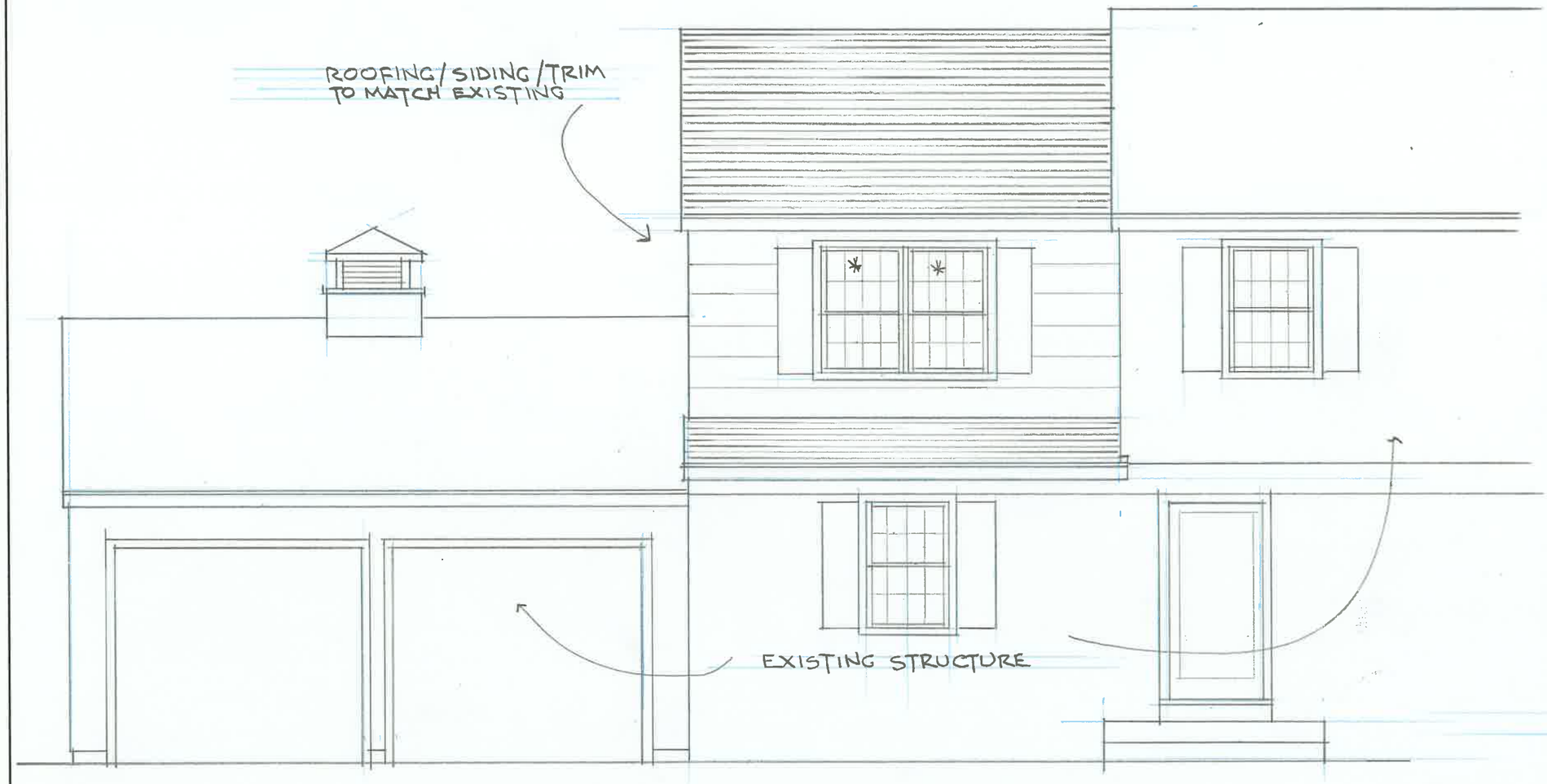


FRONT ELEVATION

DATE: 12-17-2020

SCALE: 1/4"=1'-0"

1/20/2021 REVISIONS

PROJECT

Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE
FRONT ELEVATION

SHEET NUMBER
3 OF 7

GENERAL NOTES

The intent of the final design is to match all existing materials

Contractor to verify all existing conditions and dimensions for compliance with construction documents

Codes govern over drawings

All construction as per the 2020 Residential Code of New York State

In the event of conflict between pertinent codes, regulations and referenced standards of these drawings and specifications, the most stringent provisions shall govern

Structural Design Loads:

First Floor Living Space	40 PSF
Second Floor Living Space	30 PSF
Snow Load	40 PSF
Wind Speed	115 MPH

Thomas R. Doughty Architect has not been engaged for construction supervision and assumes no responsibiliy for construction conformance, means, methods, techniques or procedures of on-site work relating to the construction plans

Contractor to be resposible for all materials, construction methods, craftsmanship, procedures and conditions (including safety)

Design of electric, plumbing and HVAC systems by others. Verify location of existing utilities/services prior to construction.

Dimensions govern over scale

It is the responsibility of the contractor to notify the Architect of any discrepancies or deviations from these drawings

It is the responsibility of the contractor to obtain all permits

All materials shall be installed in strict accordance with manufacturer's instructions and recommendations

FRAMING NOTES

Verify all mechanical requirements before framing

Provide double studs (min) under beams w/ soild blocking to foundation (w/ soild CMU cores at point load) for proper support and load transfer

All structural lumber to be #2 hem fir or equal and pressure treated lumber to be #2 yellow pine or equal

Maximum header spans unless otherwise specified:

(2) 2 X 6	4'-0"	(2)2X10	8'-0"
(2) 2 X 8	6'-0"	(2)2X12	10'-0"

Note: Double jack studs required for openings over 4'-6" in bearing walls

Hurricane clips at all rafters/trusses

MISC. NOTES

Owner to specify interiors as required (floor covering, wall covering, moldings, interior doors, etc.)

All penetrations in the building envelope shall be sealed (caulked, weather-stripped, etc.)

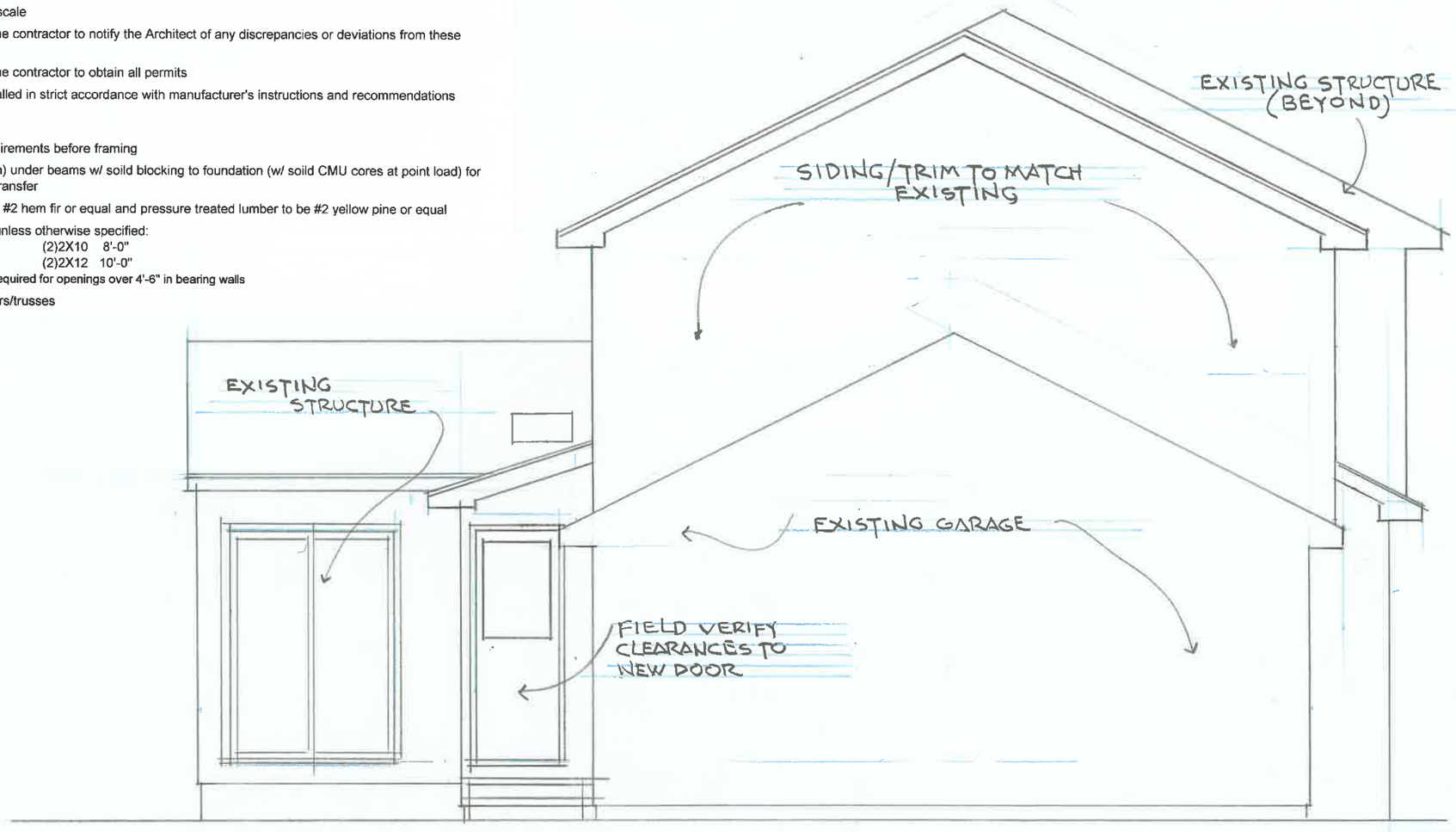
Seamless aluminum gutters and downspouts to be provided for positive drainage away from foundation

Provide required flashing to meet or exceed acceptable common building practice where required and at roof changes, horizontal abutments, projections, valleys, openings...etc.

All glass located within 18" of floor, 24" of door swing or located within 60" off floor at bathtubs, whirpools, showers, saunas, steam rooms, or hot tubs shall be tempered

All exposed insulation shall have a flame spread rating less than 25 and a smoke density rating less than 450

Contractor to coordinate all closet shelving and cabinetry requirements



SIDE ELEVATION

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DATE: 12-17-2020

SCALE: 1/4"=1'-0"

REVISIONS

1|21|2021

PROJECT

Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

SIDE ELEVATION & NOTES

SHEET NUMBER

4 OF 7

REAR ELEVATION

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION[a]

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and in continuous alignment with the air barrier.
Windows, skylights and doors	The space between framing and skylights, and the jambs of windows and doors, shall be sealed.	—
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors including cantilevered floors and floors above garages.	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing or continuous insulation installed on the underside of floor framing; and extending from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	—
Narrow cavities	—	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	—
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated.
Plumbing and wiring	—	In exterior walls, batt insulation shall be cut neatly to fit around wiring and plumbing or insulation that on installation, readily conforms to available space, shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed.	—
HVAC register boots	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	—
Concealed sprinklers	Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	—

a. Inspection of log walls shall be in accordance with the provisions of ICC 400.

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DATE: 12-17-2020

SCALE: 1/4"=1'-0"

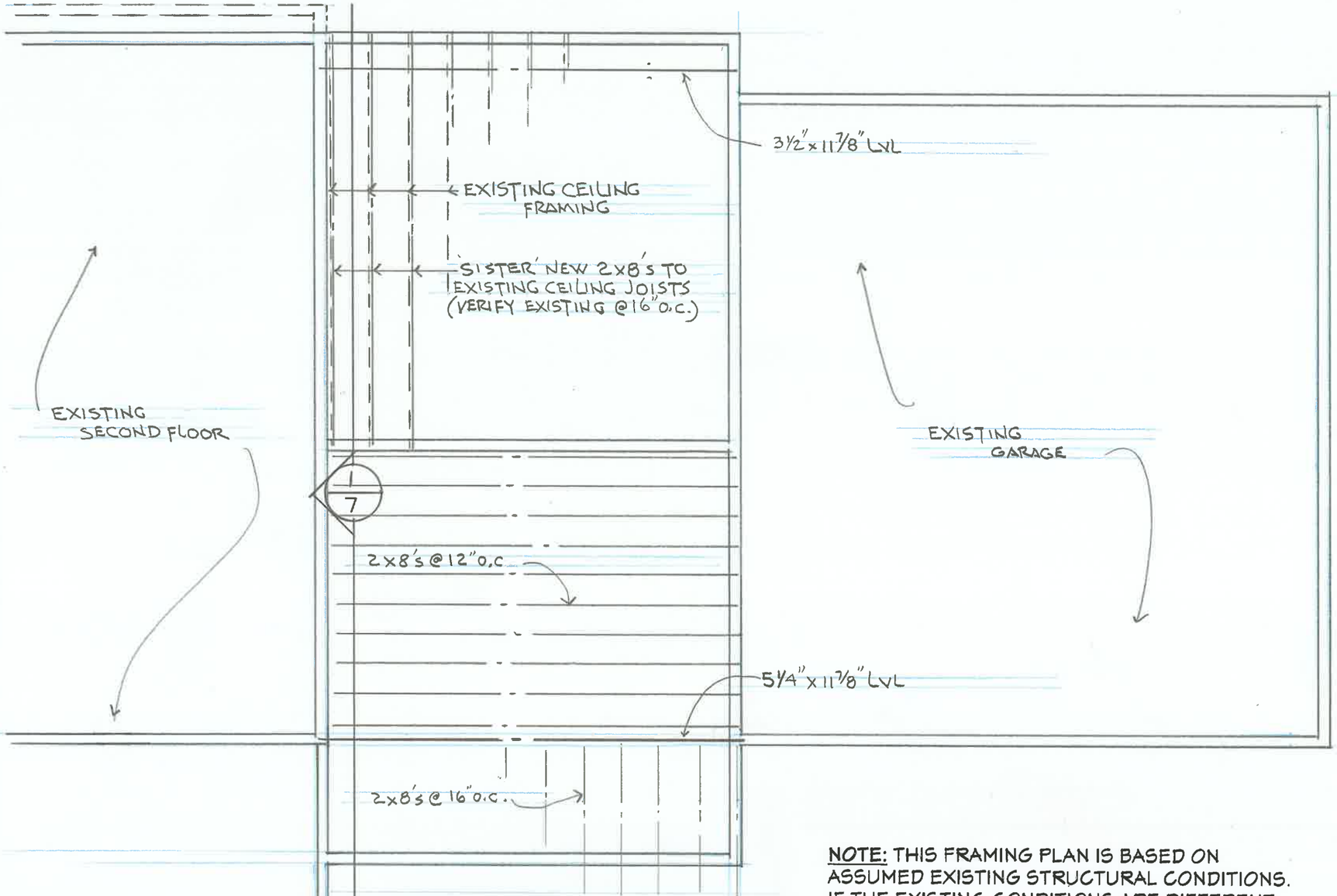
REVISIONS
1/20/2021

PROJECT
Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE
REAR ELEVATION

SHEET NUMBER
5 OF 7



NOTE END OF LVL BEARING ON (2) STUDS AND LOAD TRANSFERRED WITH SOLID BLOCKING TO EXISTING BEAM IN BASEMENT

NOTE: THIS FRAMING PLAN IS BASED ON ASSUMED EXISTING STRUCTURAL CONDITIONS. IF THE EXISTING CONDITIONS ARE DIFFERENT THEN ADJUSTMENTS SHALL BE MADE SO THAT THE 2X8 FLOOR JOIST SPANS ARE MAXIMUM 14'. IF THE SPAN IS 12' OR LESS, THE SPACING SHALL BE 16" O.C.. WITH A SPAN OVER 12' BUT 14' OR LESS THE SPACING SHALL BE 12" O.C.

SECOND FLOOR FRAMING PLAN

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DATE: 12-17-2020

SCALE: ¼"=1'-0"

REVISIONS

PROJECT

Residential Addition/Renovation for:

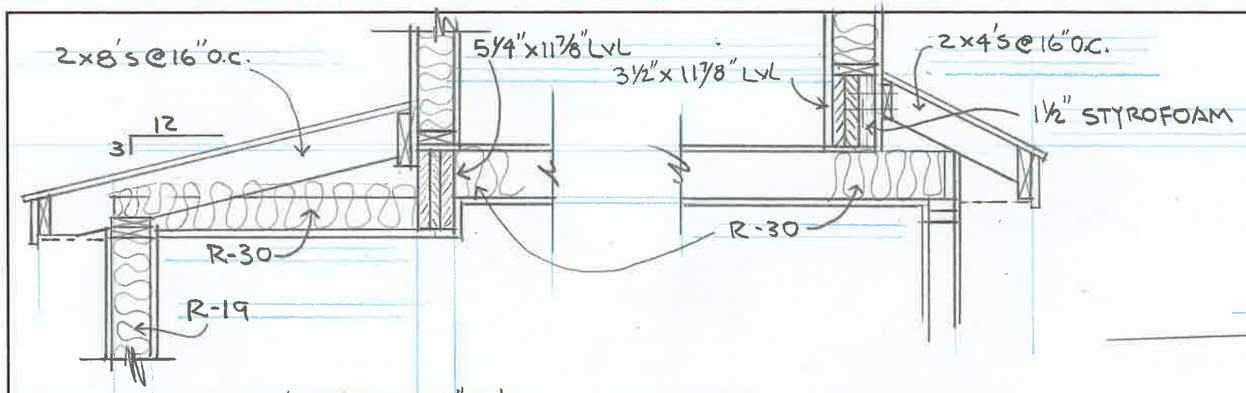
71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

SECOND FLOOR FRAMING PLAN

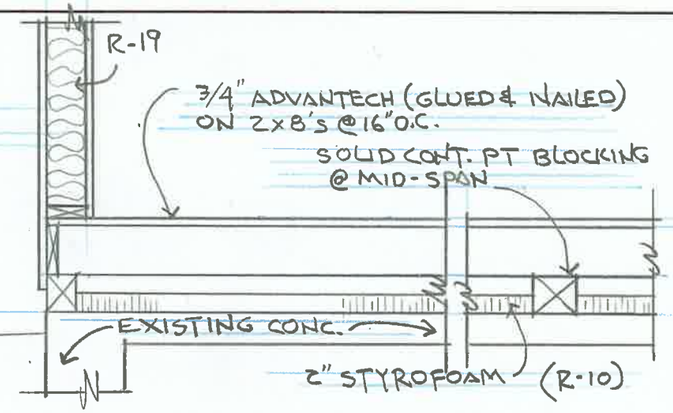
SHEET NUMBER

6 OF 7



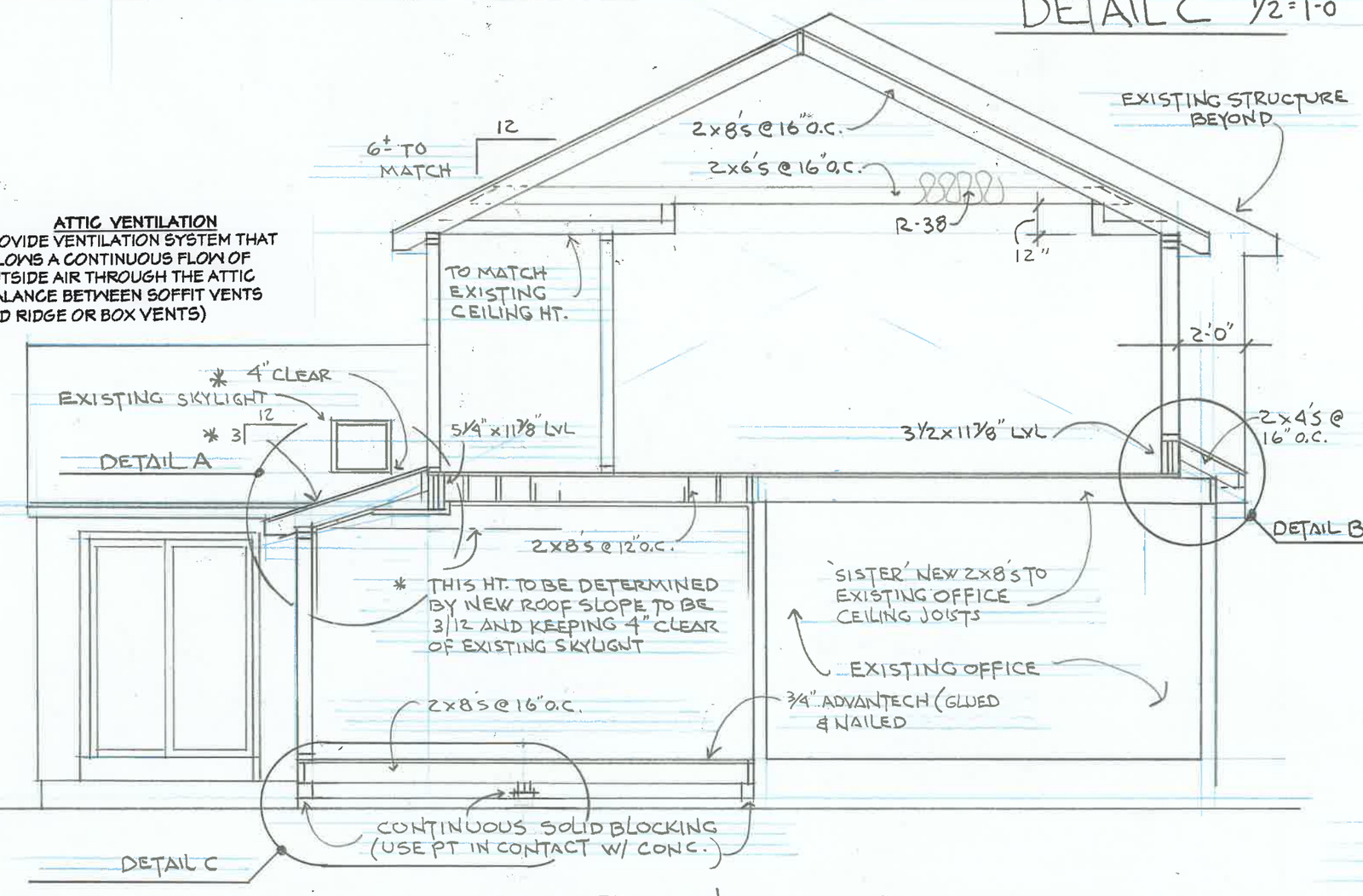
DETAIL A ½"=1'-0"

DETAIL B ½"=1'-0"



DETAIL C ½"=1'-0"

ATTIC VENTILATION
PROVIDE VENTILATION SYSTEM THAT ALLOWS A CONTINUOUS FLOW OF OUTSIDE AIR THROUGH THE ATTIC (BALANCE BETWEEN SOFFIT VENTS AND RIDGE OR BOX VENTS)



SECTION 1 ¼"=1'-0"

THOMAS R. DOUGHTY
ARCHITECT, P.C.

4 WOODBRIAR LANE
ROCHESTER, NY 14624

(585) 247-6480
doughty.t@gmail.com

DATE: 12-17-2020

SCALE:

REVISIONS
1/20/2021

PROJECT
Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE
SECTIONS

SHEET NUMBER
7 OF 7

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000080

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 2 Tor Hill PITTSFORD, NY 14534
Tax ID Number: 178.03-4-1
Zoning District: RN Residential Neighborhood
Owner: Ketmar Development Corp
Applicant: Ketmar Development Corp

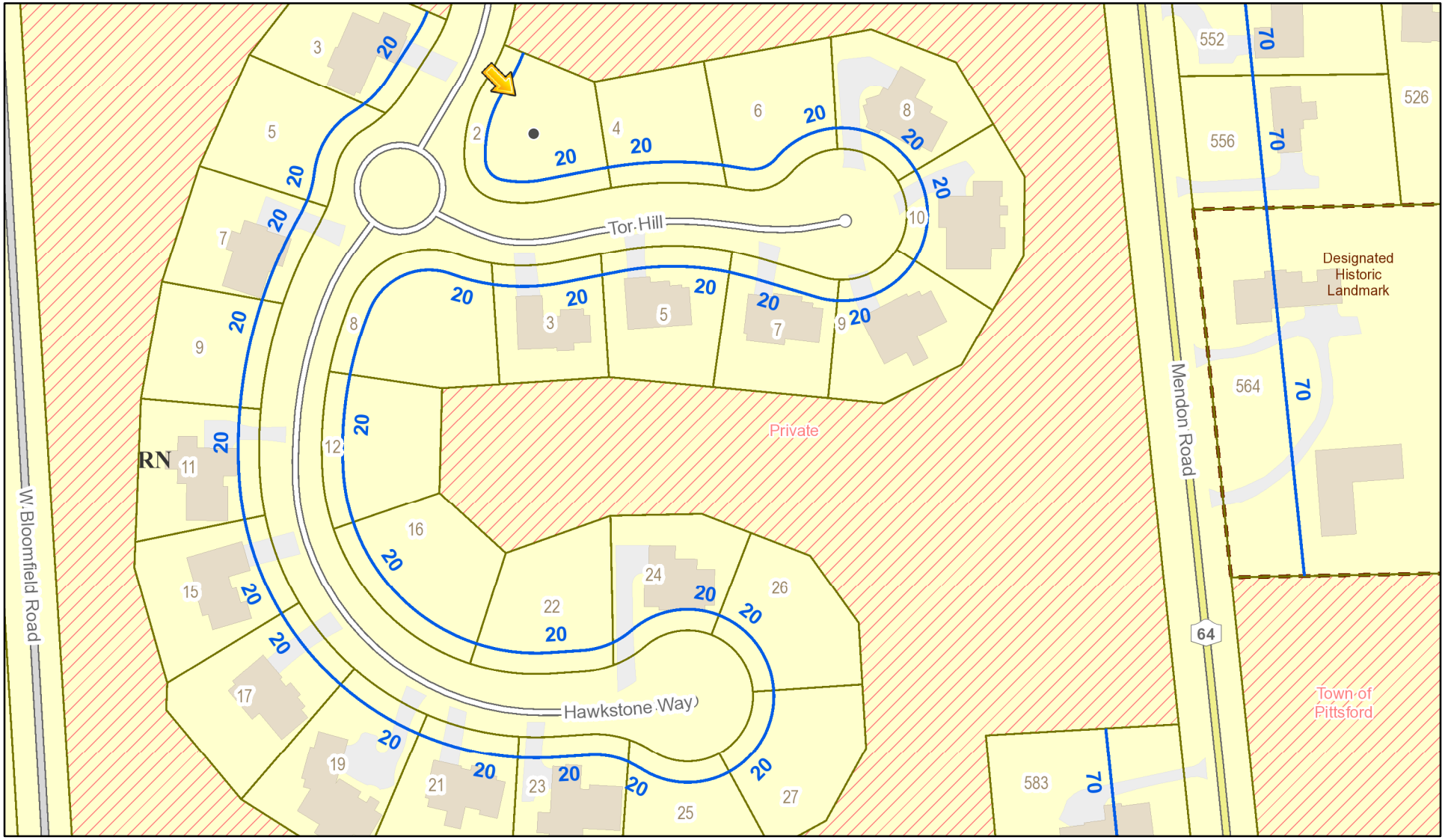
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2154 square feet and will be located in the Cottages at Melvern Hills Subdivision.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



Printed April 15, 2021

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


Thornell Road
Thornell Road
Hawkstone Way
Hawkstone Way
Hawkstone Way
Tor Hill
Tor Hill
Tor Hill
Hawkstone Way
Hawkstone Way
Hawkstone Way
West Bloomfield Road
Mendon Road
2
3
4
5
6
7
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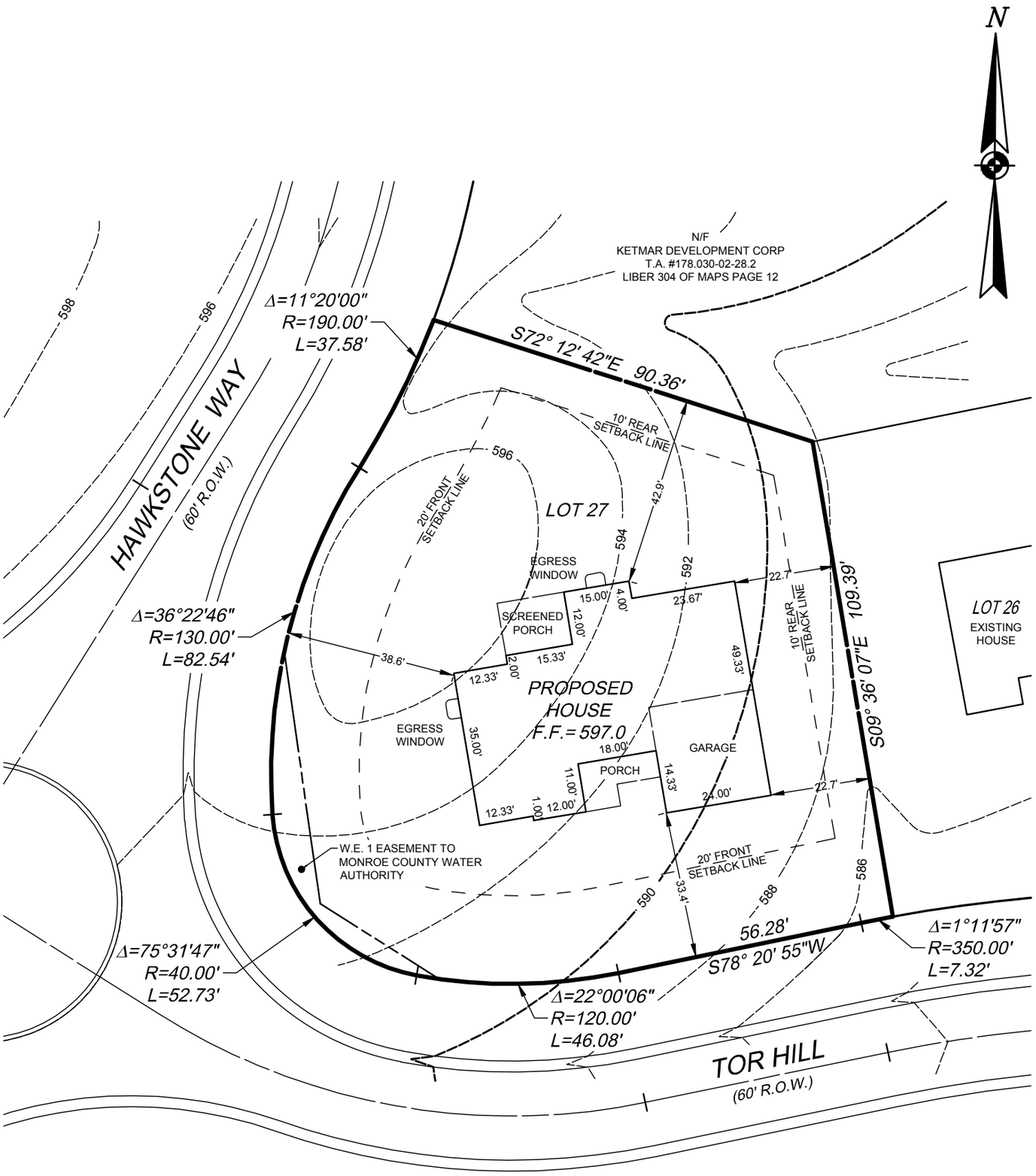
556
583



"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, subdivision 2, of the New York State Education Law."

"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be a valid true copy."

NOTES:
1. CONTOURS SHOWN PER FINISH GRADES ON PROJECT GRADING PLAN
2. 20' FRONT SETBACK
3. 10' REAR SETBACK
4. 10' SIDE SETBACK SHOWN. (FILED PLANS ALLOW FOR 5' MINIMUM SIDE SETBACK WITH MINIMUM 20' BUILDING SEPARATION)

APPROVED BY:
DWG FILE: H:\job\4219\Plot Plans\20190716_Cottages At Malvern_Lot 27_CE4219.dwg
PLOTTED: Apr 13, 2021 – 9:46AM

COSTICH ENGINEERING
• Civil Engineering
• Land Surveying
• Landscape Architecture
217 Lake Avenue
Rochester, NY 14608
(585) 458-3020
H:\JOB\

PLOT PLAN

SUBDIVISION:		LOT NUMBER:
COTTAGES AT MALVERN HILLS		27
TOWN:	**COUNTY:**	**STATE:**
PITTSFORD	MONROE	NEW YORK
SCALE:	**DATE:**	**DWG. NUMBER**
1"=30'	11/30/2020	4219-27-PLOT

HAAG RESIDENCE

LOT 27 HAWKSTONE
PITTSFORD, NY
KETMAR DEVELOPMENT CORP.

PLAN 2154 R / PROJECT 2549 G

SHEET INDEX

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10^6 - 1.9 $Fc^{\perp}$ = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

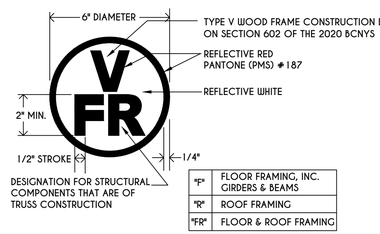
DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION

"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

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COVER PAGE

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TABLE M1505.4.3 (1)

CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.000471 9 m3/s

TABLE M1505.4.3 (2)

INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS [a,b]

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

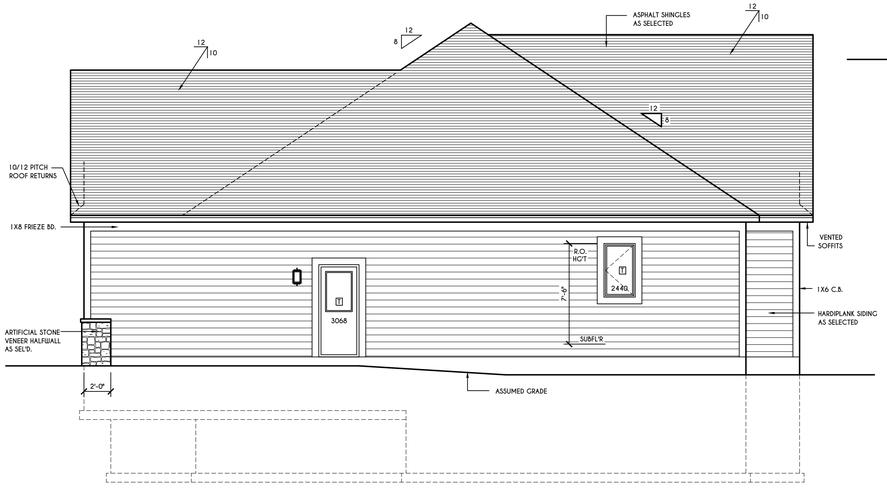
a. For ventilation system run time values between those given,the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

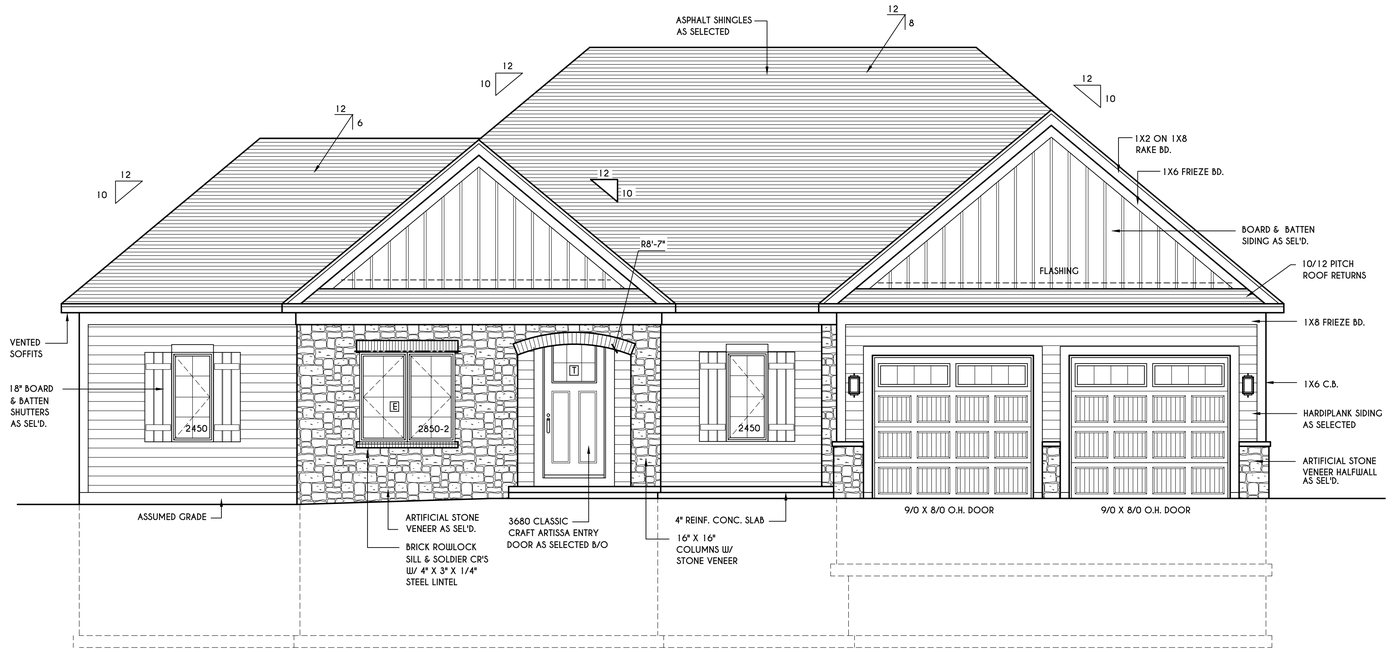
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.



RIGHT ELEVATION

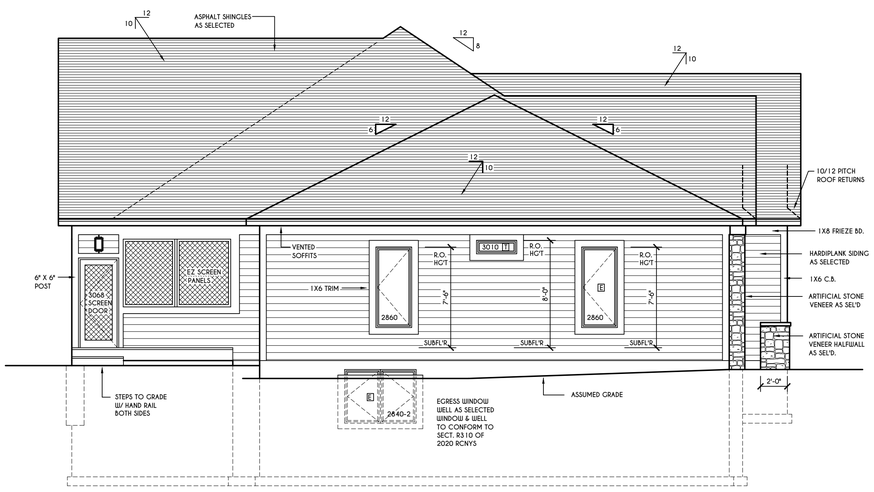
SCALE: 3/16" = 1'-0"



FRONT ELEVATION

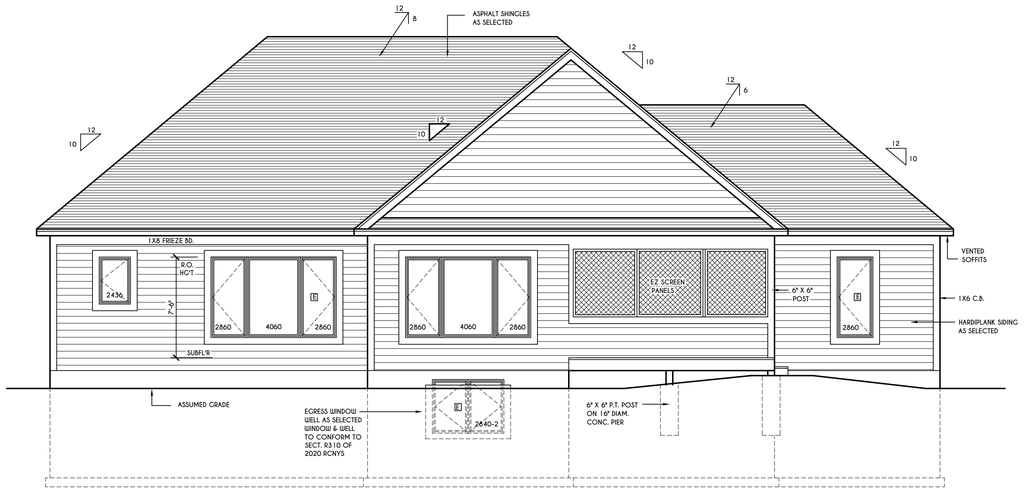
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA	=	2154 SQ.FT.
LOWER LEVEL LIVING AREA	=	890 SQ.FT.
TOTAL LIVING AREA	=	3044 SQ.FT.
TOTAL CONDITIONED VOLUME	=	38,503 CU.FT.



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

WINDOWS: VUD CASEMENTS
U-FACTOR 0.28
SHGC 0.31

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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BUILDER:

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DEVELOPMENT CORP.

ELEVATIONS

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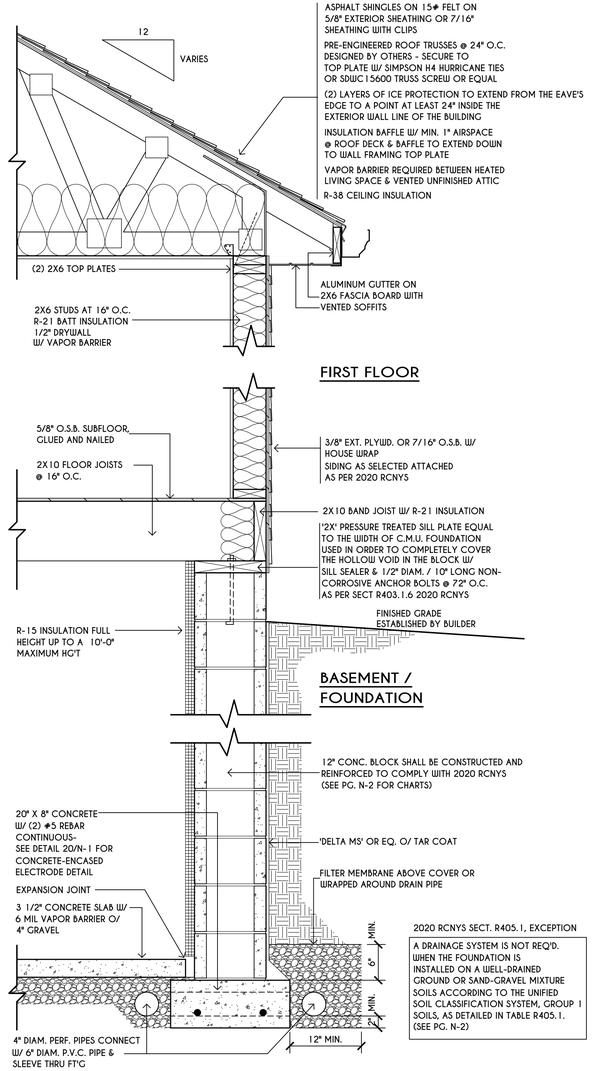


TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS

PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWC 15600 TRUSS SCREW OR EQUAL

(2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING

INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE

VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC

R-38 CEILING INSULATION

FIRST FLOOR

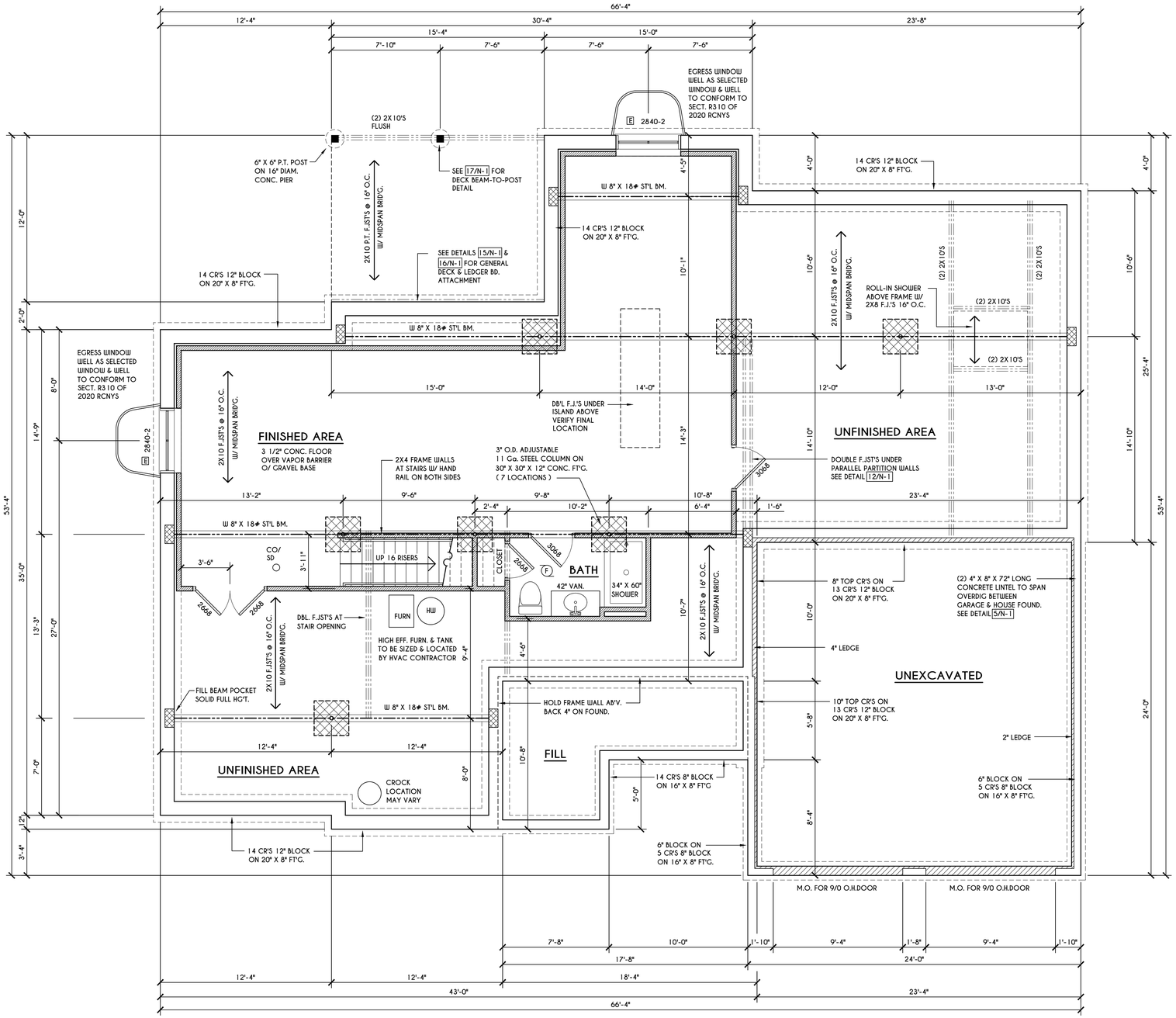
BASEMENT / FOUNDATION

2020 RCNYS SECT. R405.1, EXCEPTION

A DRAINAGE SYSTEM IS NOT REQ'D. WHEN THE FOUNDATION IS INSTALLED ON A WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1. (SEE PG. N-2)

TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

890 SQ.FT.
FINISHED AREA

NOTES:
- CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
- SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

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BUILDER:

KETMAR
DEVELOPMENT CORP.

FOUNDATION PLAN

GLA PLAN 2154 R

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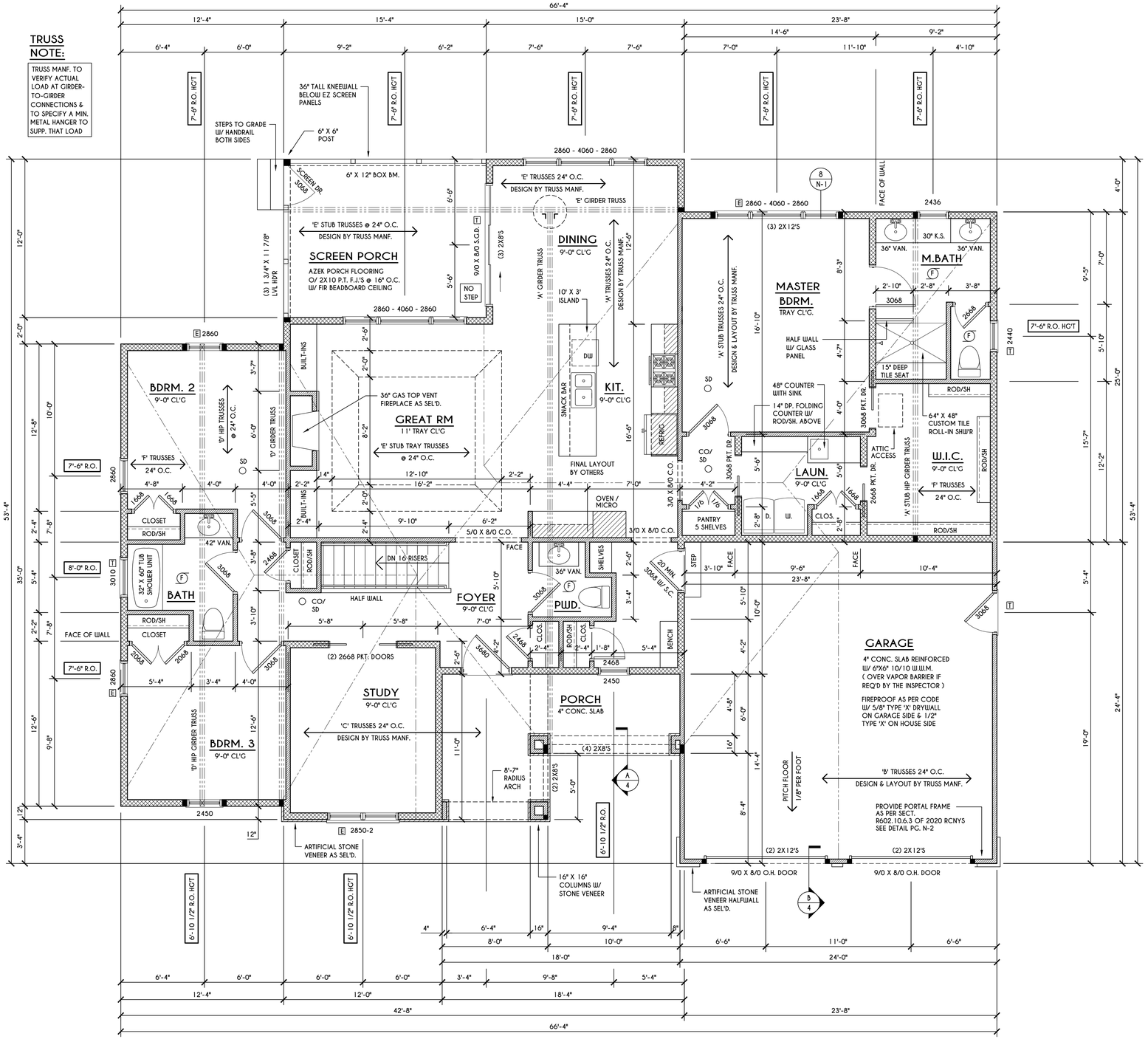
TRUSS NOTE:

TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD



FIRST FLOOR PLAN

2154 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

NOTES:

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 7'-6" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

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FIRST FLOOR PLAN

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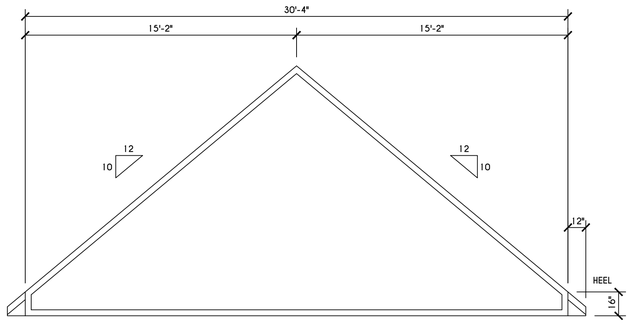
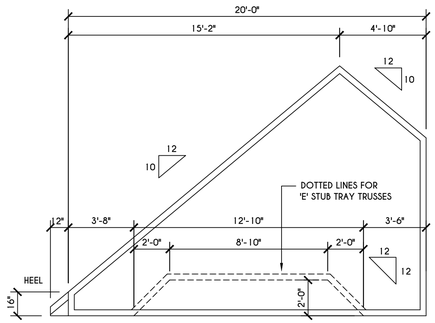


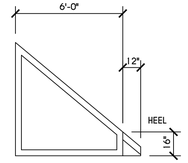
'E' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



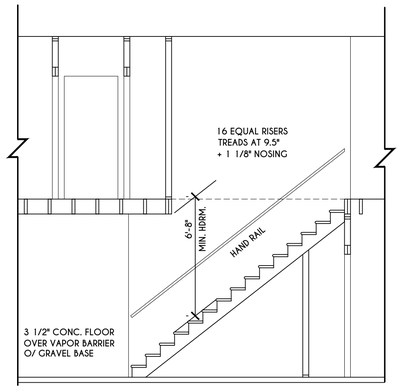
'E' STUB TRUSS PROFILE

SCALE: 1/4" = 1'-0"



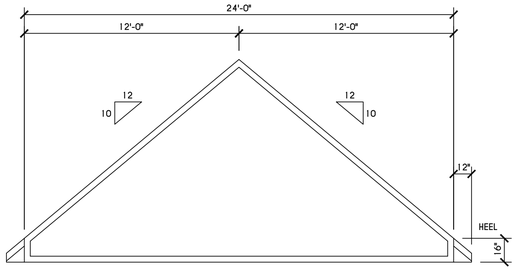
'F' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



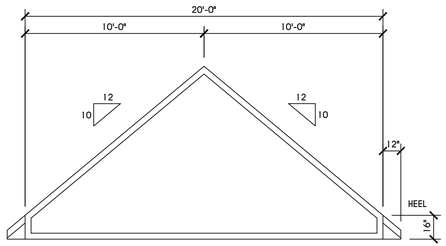
STAIR SECTION

SCALE: 1/4" = 1'-0"



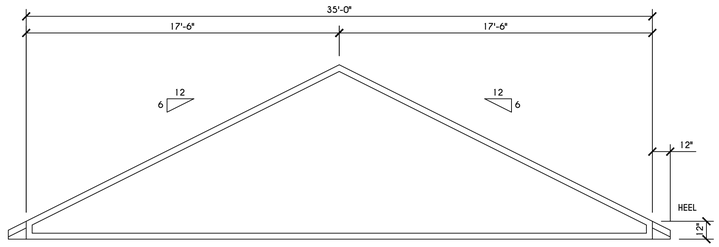
'B' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



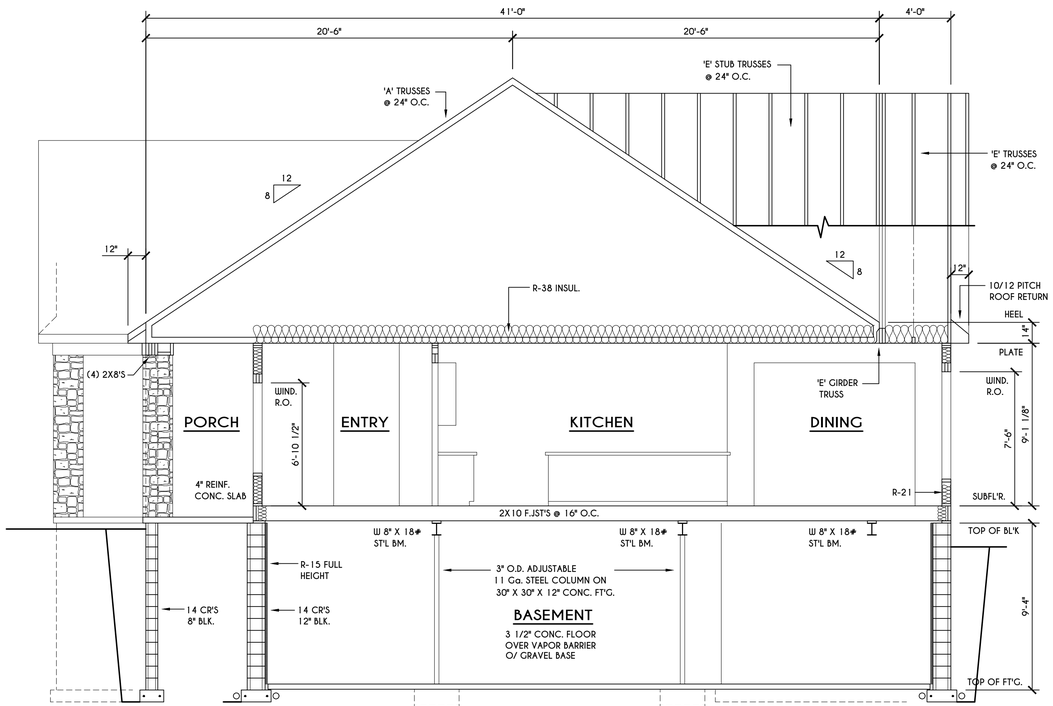
'C' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



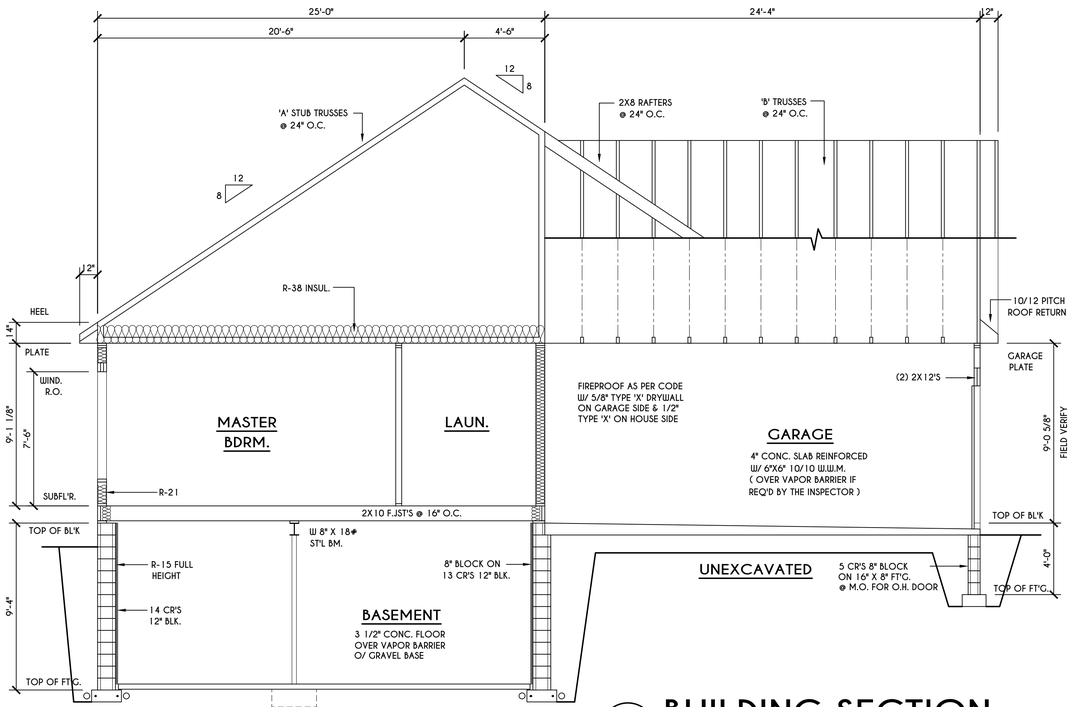
'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



A/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"



B/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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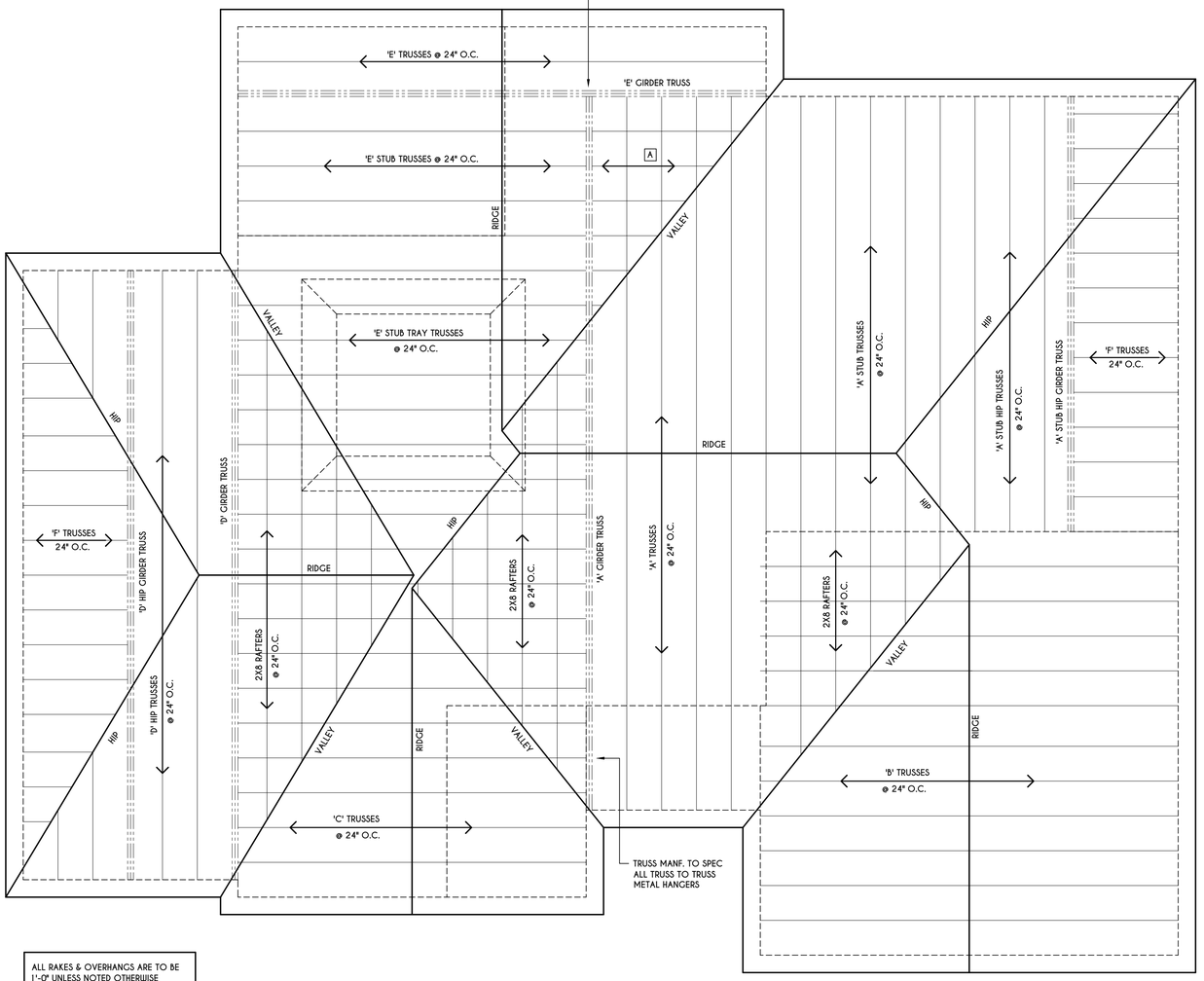
TRUSS NOTE:

TRUSS MANF. TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD



ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

ROOF PLAN

SCALE: 1/4" = 1'-0"

A – 2X6 LAYOVER RAFTERS 24" O.C.

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SECOND FLOOR PLAN

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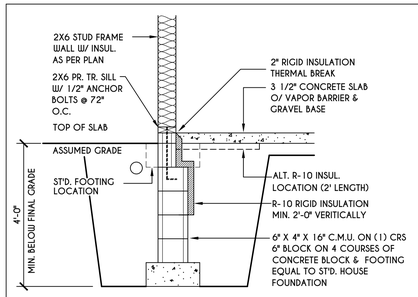
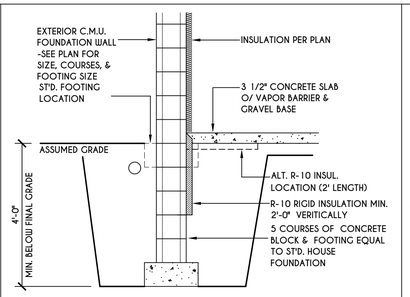
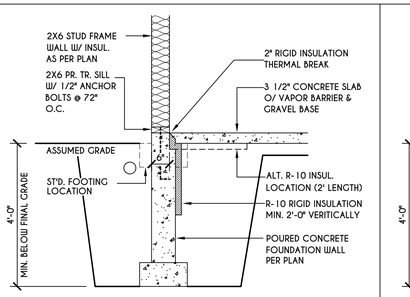


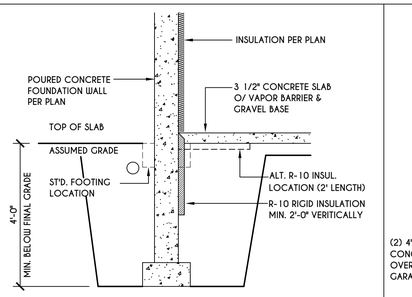
1 N-1 **2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



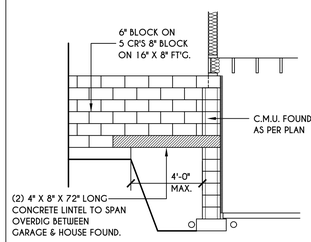
2 N-1 **C.M.U. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



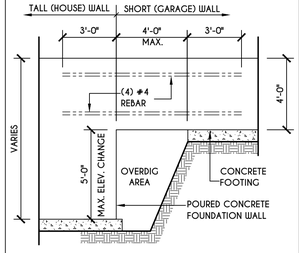
3 N-1 **2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



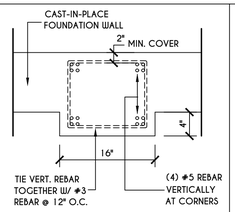
4 N-1 **POURED CONC. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



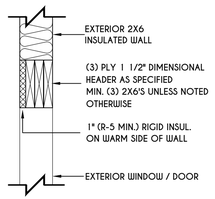
5 N-1 **C.M.U. JUMP FOOTING DETAIL**
SCALE: 1/4" = 1'-0"



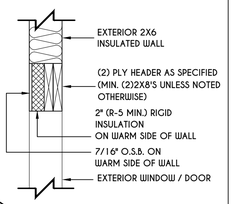
6 N-1 **POURED WALL JUMP FOOTING DETAIL**
SCALE: 1/4" = 1'-0"



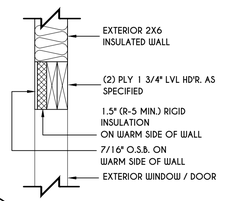
7 N-1 **POURED WALL PILASTER DETAIL**
SCALE: 1" = 1'-0"



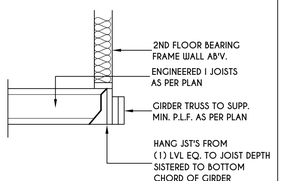
8 N-1 **EXTERIOR INSULATED 3 PLY HEADER DETAIL**
SCALE: 1" = 1'-0"



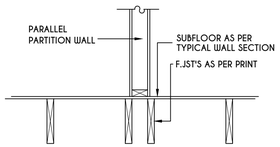
9 N-1 **EXTERIOR INSULATED 2 PLY HEADER DETAIL**
SCALE: 1" = 1'-0"



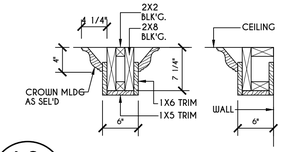
10 N-1 **EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL**
SCALE: 1" = 1'-0"



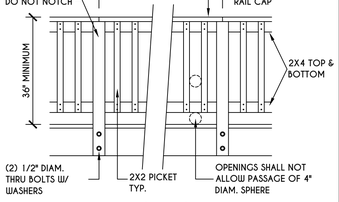
11 N-1 **I JST / GIRDER DETAIL**
SCALE: 1/2" = 1'-0"



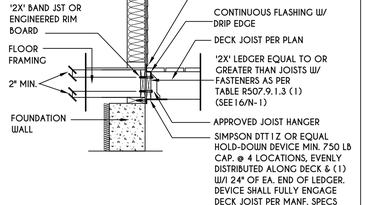
12 N-1 **DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL**
N.T.S.



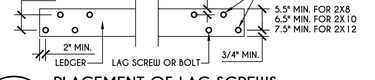
13 N-1 **COFFERED BEAM DETAIL**
N.T.S.



14 N-1 **TYPICAL GUARD RAIL DETAIL**
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15 N-1 **GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.**
SCALE: 1/2" = 1'-0"



16 N-1 **PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS**
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"- 10'	10'- 1"- 12'	12'- 1"- 14'	14'- 1"- 16'	16'- 1"- 18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

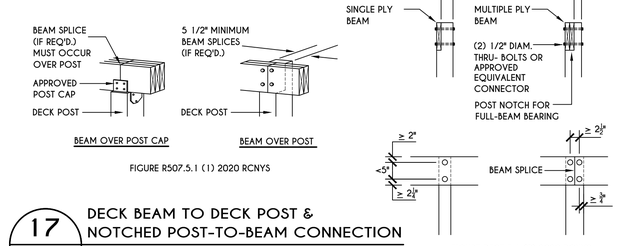


FIGURE R507.5.1 (1) 2020 RCNYS

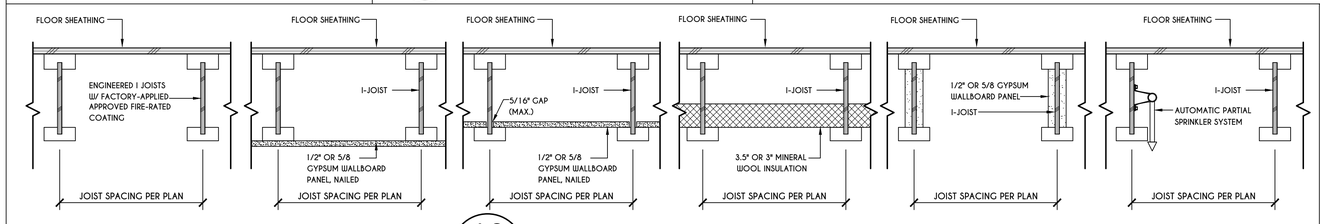
FIGURE R507.5.1 (2) 2020 RCNYS

17 N-1 **DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION**
N.T.S.

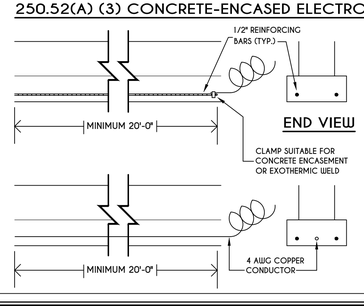
TABLE R507.4
DECK POST HEIGHT [a]

DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

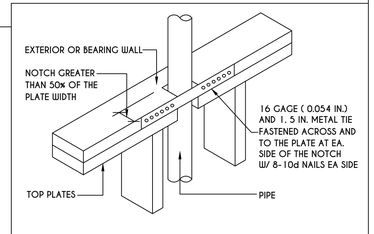
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



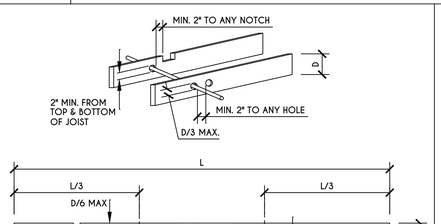
18 N-1 **I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY**
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



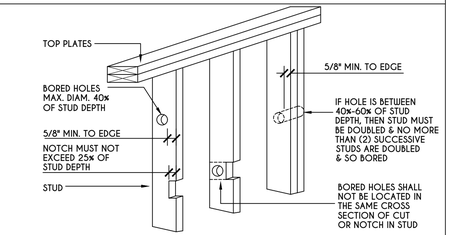
19 N-1



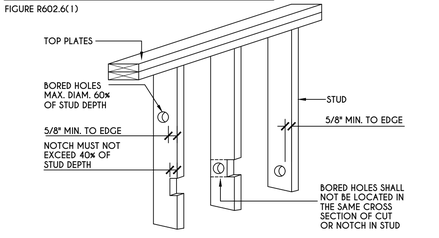
TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

GLA Greater Living Architecture, P.C.
3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:
HAAG RESIDENCE
LOT 27 HAWKSTONE
PITTSFORD, NY

BUILDER:
KETMAR
DEVELOPMENT CORP.

DETAILS

GLA PLAN 2154 R

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	4 / 21
PROJECT:	sheet:
2549 G	N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL[e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)[b, c] SOIL CLASSES AND LATERAL SOIL LOAD[d] (psf PER FOOT BELOW GRADE) GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c ,f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL[e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)[b, c] SOIL CLASSES AND LATERAL SOIL LOAD[d] (psf PER FOOT BELOW GRADE) GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL[e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)[b, c] SOIL CLASSES AND LATERAL SOIL LOAD[d] (psf PER FOOT BELOW GRADE) GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT[g] (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)											
		SOIL CLASSES[a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH)											
		GW, GP, SW, AND SP 30				GM, GS, SM-SC AND ML 45				SC, MH, ML-CL AND INORGANIC CL 60			
		MIMIMUM WALL THICKNESS (INCHES)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR[1]	NR	NR	#4 @ 35"	NR[1]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR[1]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR[1]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR[1]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR[1]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR[1]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR[1]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR[1]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR[1]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR[1]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR[1]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR[1]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR[1]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48"[m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR[1]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR[1]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR[1]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR[1]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45"[m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR[1]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48"[m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR[j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1

AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS[a]

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500[b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS

FRONT ELEVATION

SECTION

PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3

Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA
TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

HAAG RESIDENCE
LOT 27 HAWKSTONE
PITTSFORD, NY

BUILDER:

KETMAR
DEVELOPMENT CORP.

REINFORCING NOTES

GLA PLAN 2154 R

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	4 / 21
PROJECT:	sheet:
2549 G	N 2


HOME FOR SALE

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000071

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 97 Coventry Ridge PITTSFORD, NY 14534
Tax ID Number: 177.04-3-52
Zoning District: IZ Incentive Zoning
Owner: Clover St. Development Corp.
Applicant: Clover St. Development Corp.

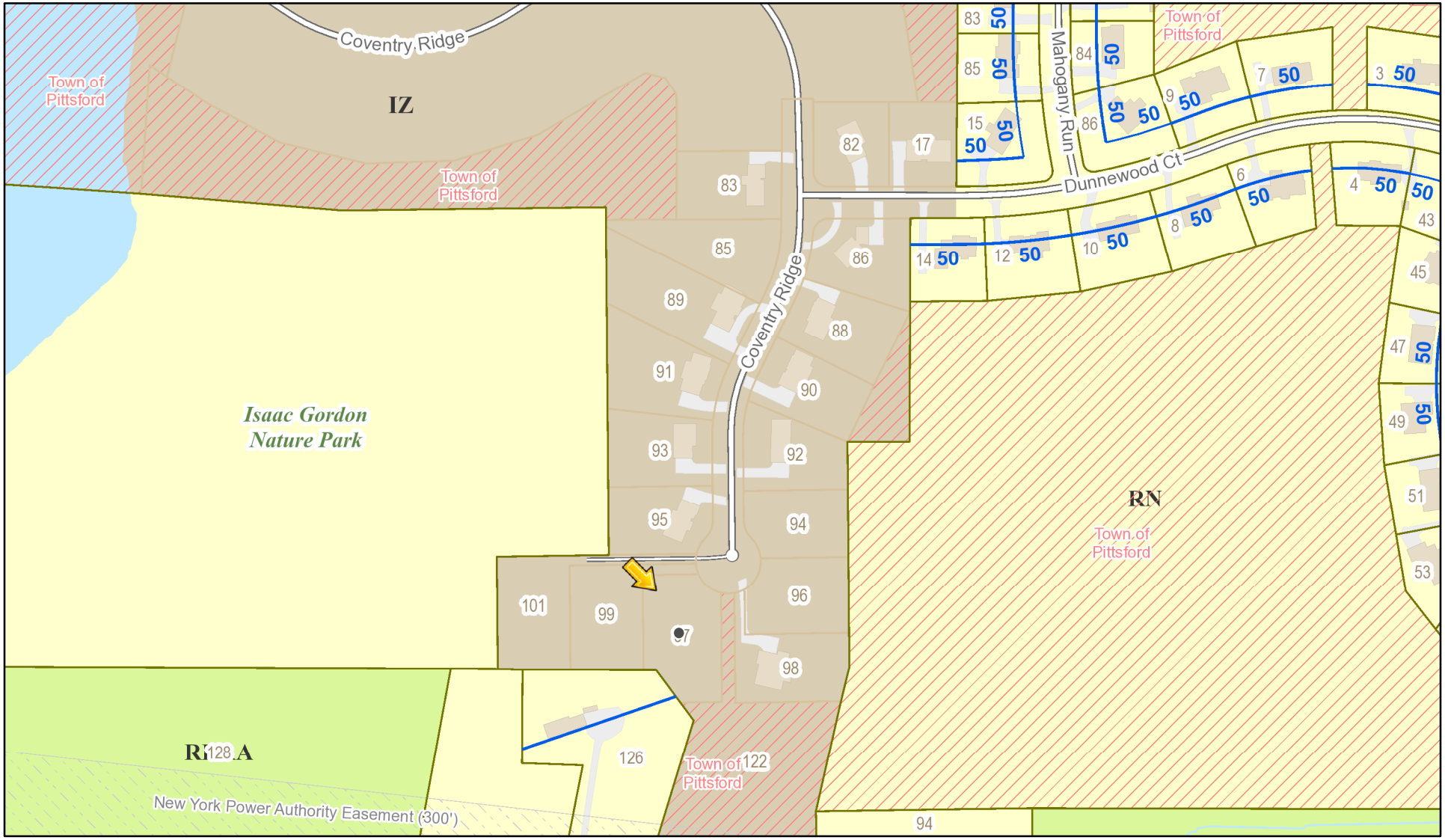
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1646 square feet and the second floor will be approximately 1667 square feet. This home will be located in the Coventry Ridge Subdivision.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



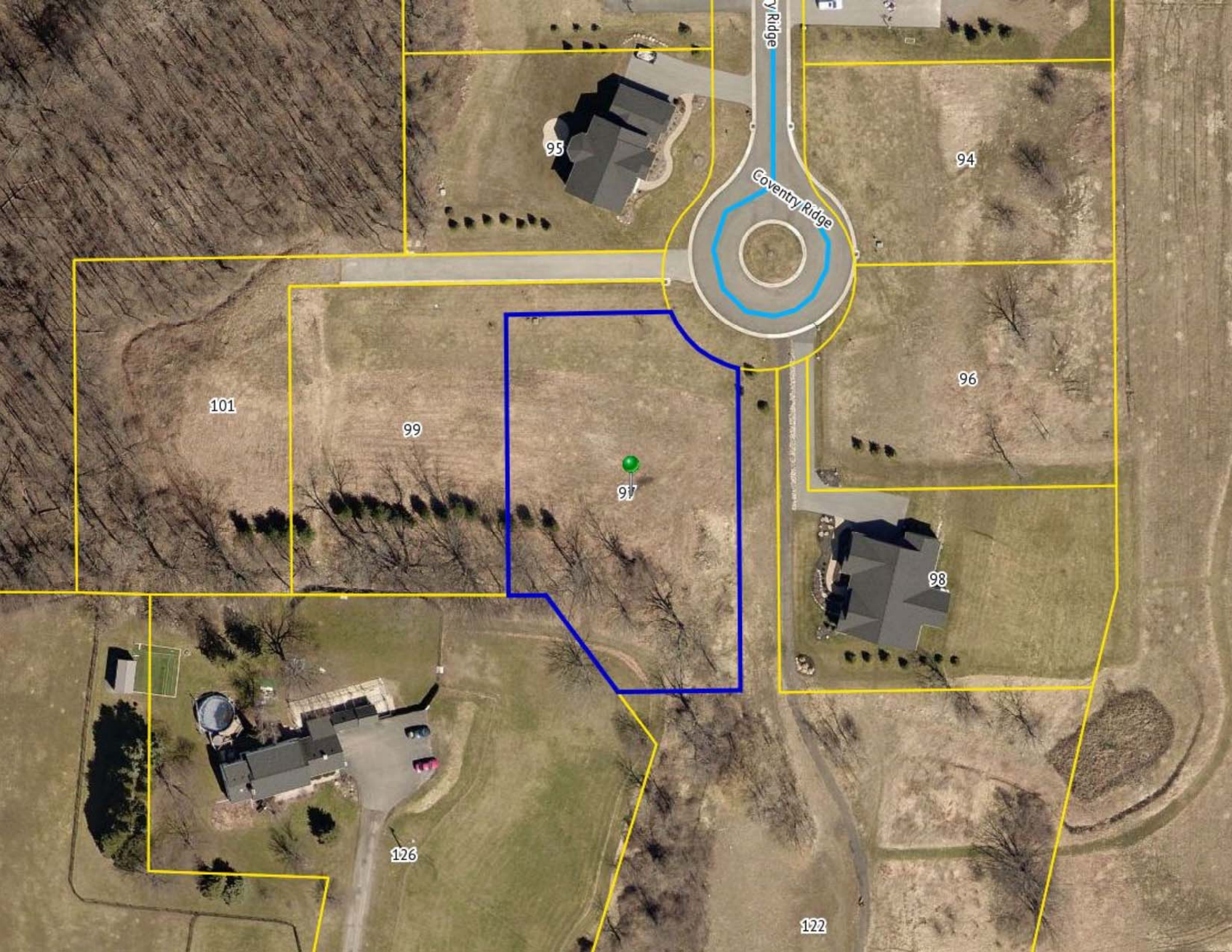
Printed April 15, 2021

1:4,514

0 195 390 780 ft

0 55 110 220 m

Town of Pittsford GIS


Coventry Ridge
95
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101
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126
122

SPEC HOUSE

LOT 69 COVENTRY RIDGE
PITTSFORD, NY
COVENTRY RIDGE BUILDING CORP.

PLAN 3313 / PROJECT 15305 E

SHEET INDEX

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

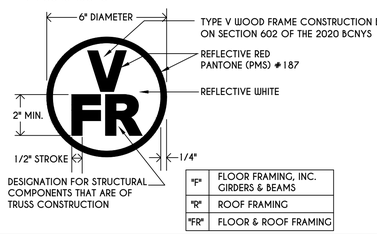
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWIISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10^6 - 1.9 $Fc^{\perp}$ = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION

"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

GLA Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262

www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 69
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

GLA PLAN 3313

drawn:	checked:
CDK	AMM
scale:	date:
AS NOTED	4 / 21
PROJECT:	sheet:
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TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.000471 9 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS [a,b]

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given,the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

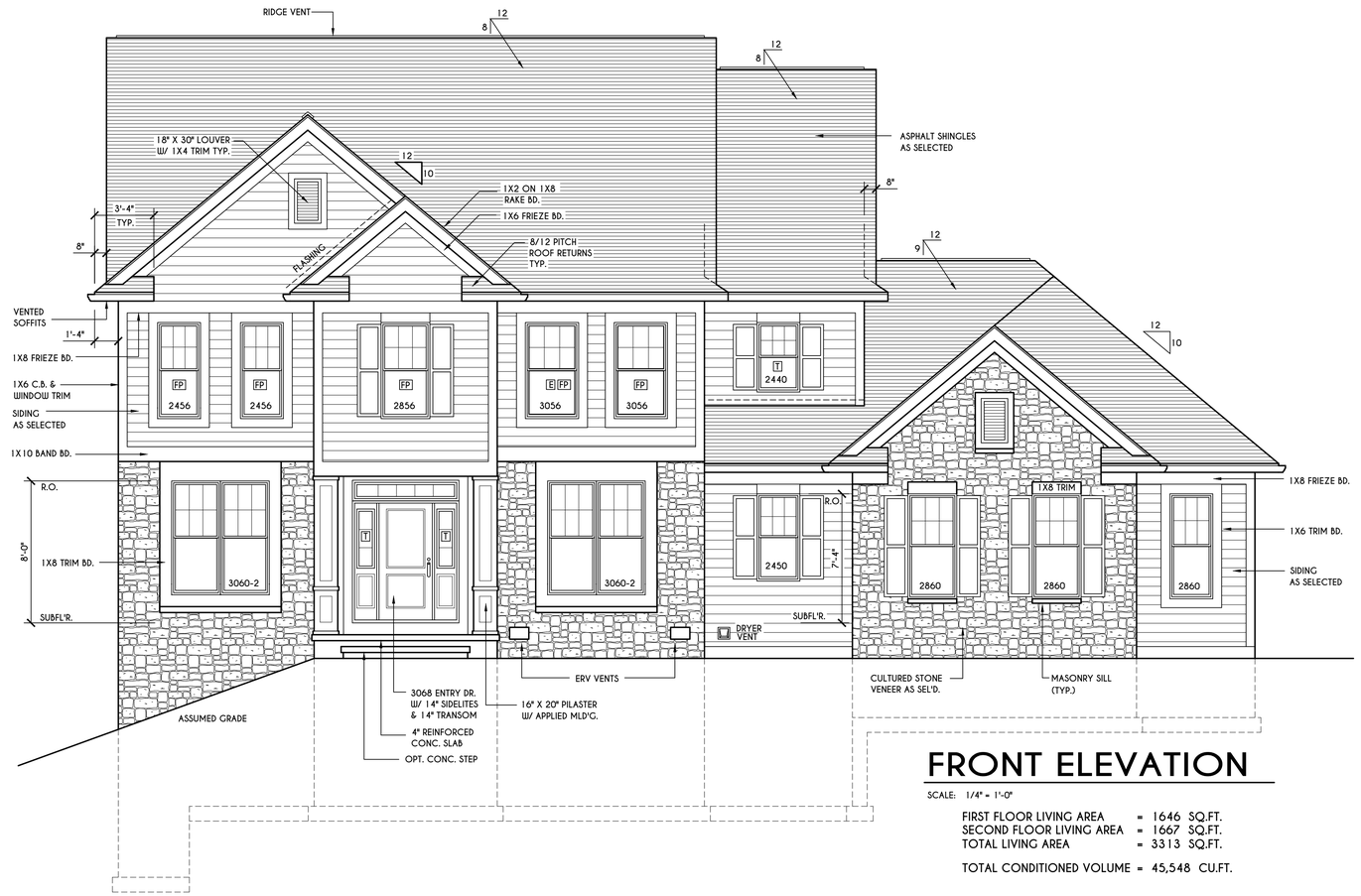
TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.000471 9 m 3/s.

RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

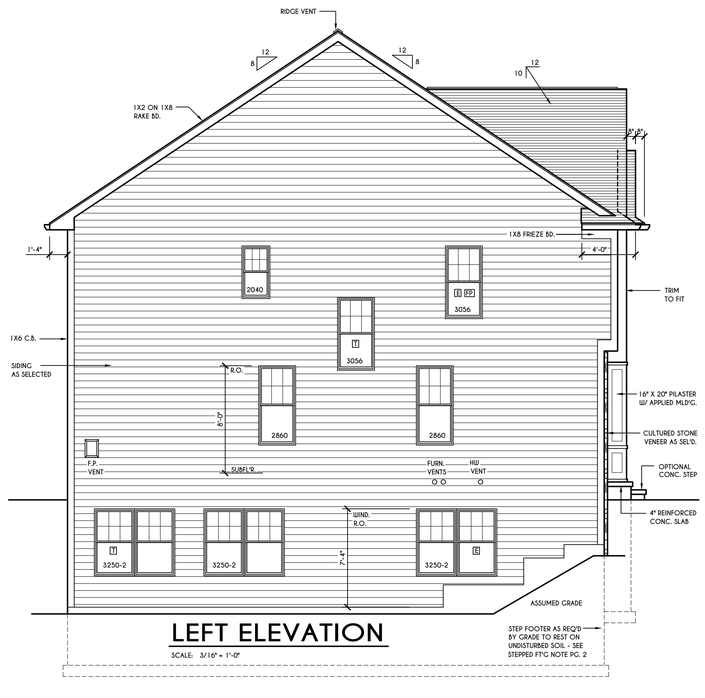


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

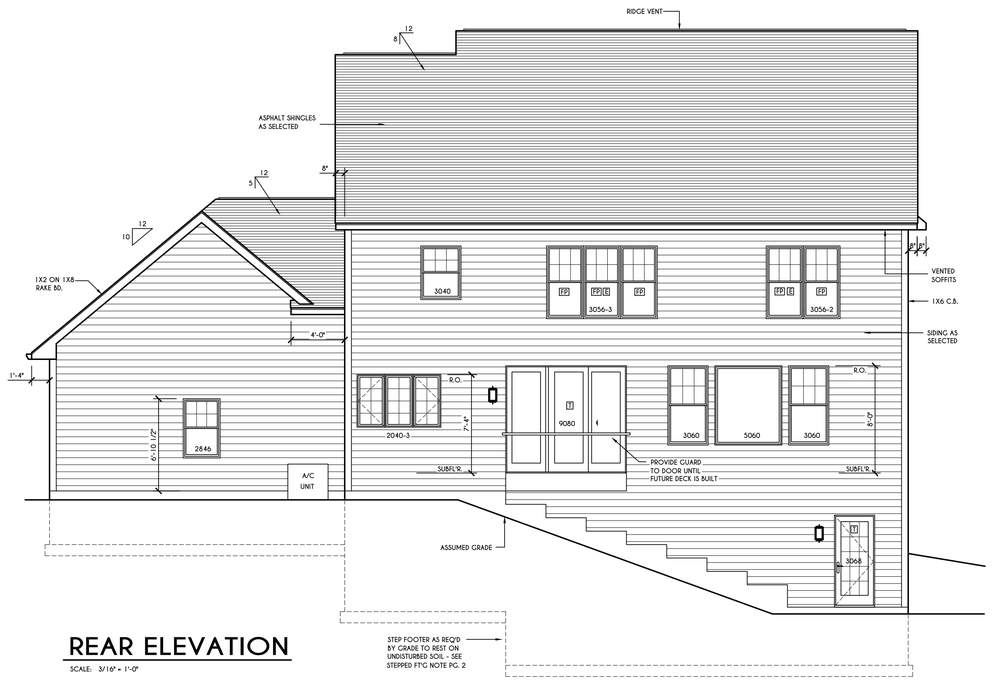
FIRST FLOOR LIVING AREA = 1646 SQ.FT.
SECOND FLOOR LIVING AREA = 1667 SQ.FT.
TOTAL LIVING AREA = 3313 SQ.FT.

TOTAL CONDITIONED VOLUME = 45,548 CU.FT.



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

WINDOWS: VUID SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.29
SHGC 0.56

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 69
COVENTRY RIDGE
PITTSFORD, NY

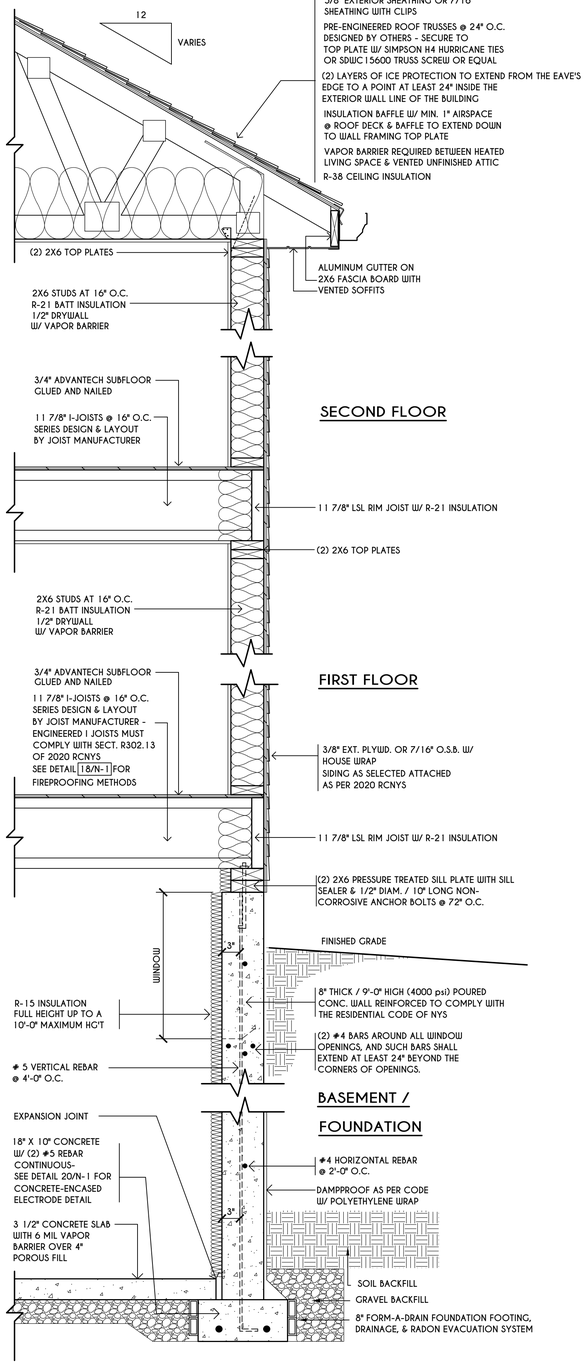
BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

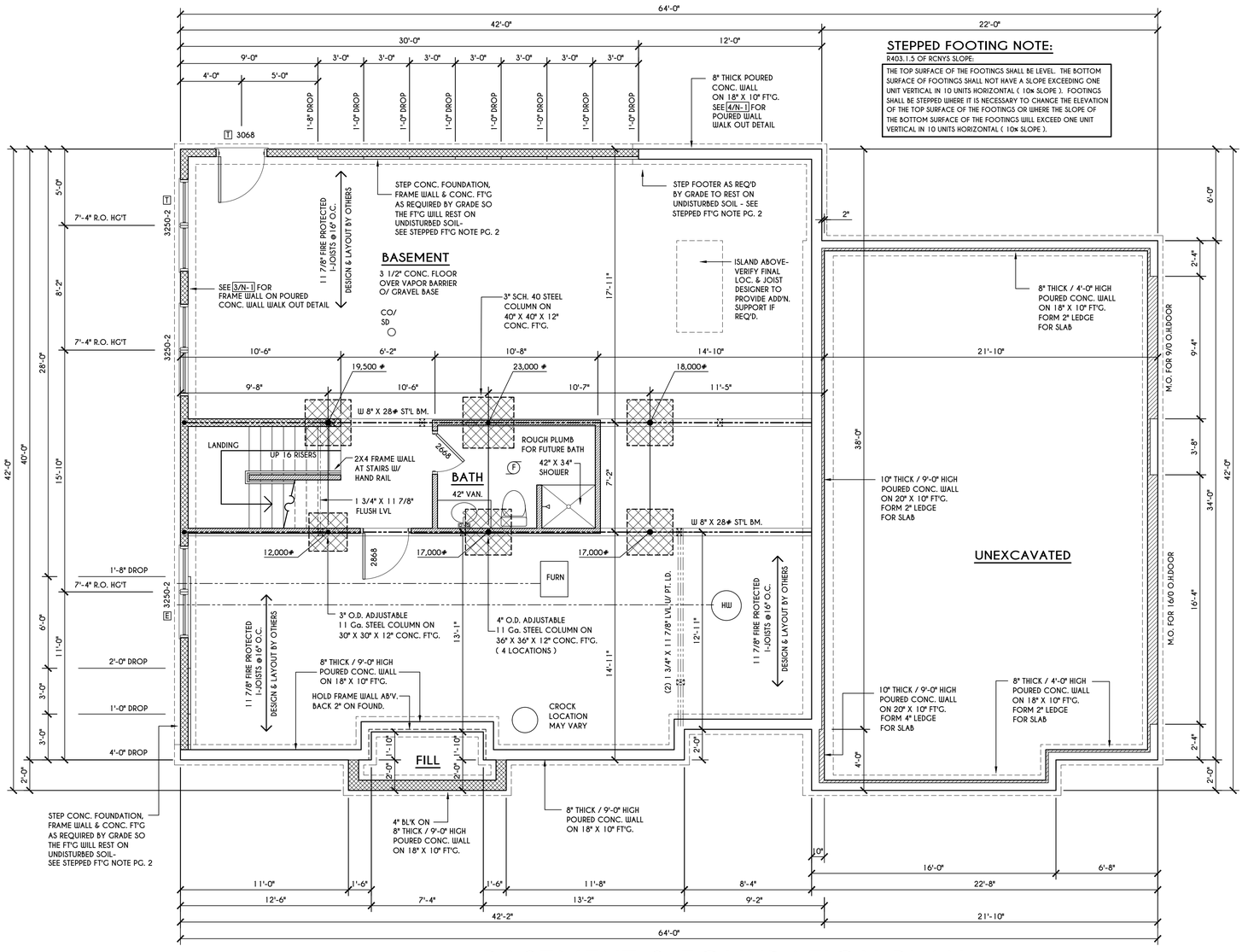
GLA PLAN 3313

drawn:	checked:
CDK	AMM
scale: AS NOTED	date: 4 / 21
PROJECT: 15305 E	sheet: 1 / 5



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES:
- CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
- SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:

ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL 18/N-1 FOR FIREPROOFING METHODS

FRAMING LEGEND:

- - PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- - DROPPED HEADER
- - FLUSH HEADER
- - 2X4 STUDS @ 16" O.C.
- - 2X6 STUDS @ 16" O.C.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

FOUNDATION PLAN

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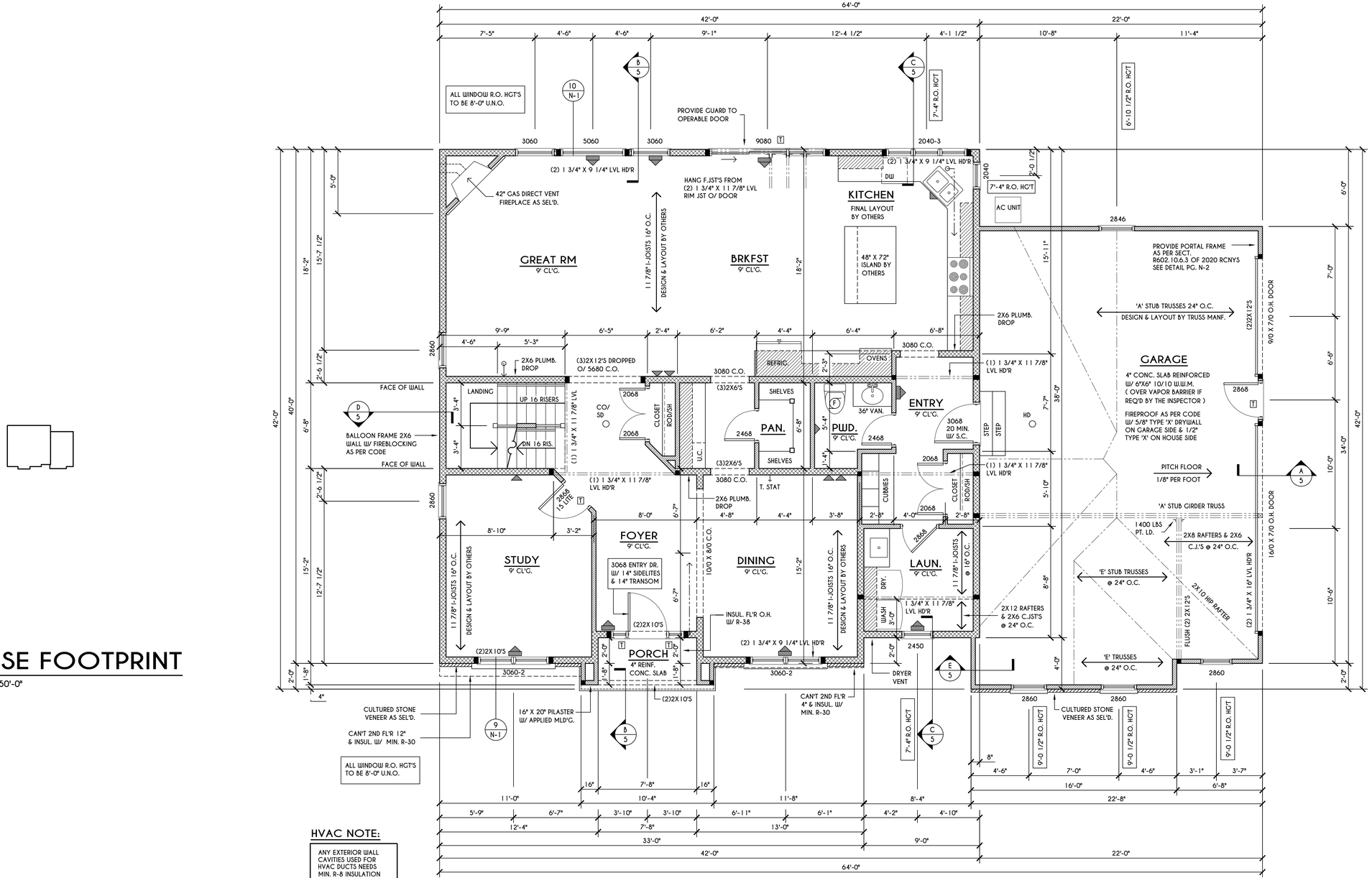
15305 E	2 / 5



HOUSE FOOTPRINT

SCALE: 1" = 50'-0"

HVAC NOTE:

ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

FIRST FLOOR PLAN

1646 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

NOTES:

FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 8'-0" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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BUILDER:

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FIRST FLOOR PLAN

GLA PLAN 3313

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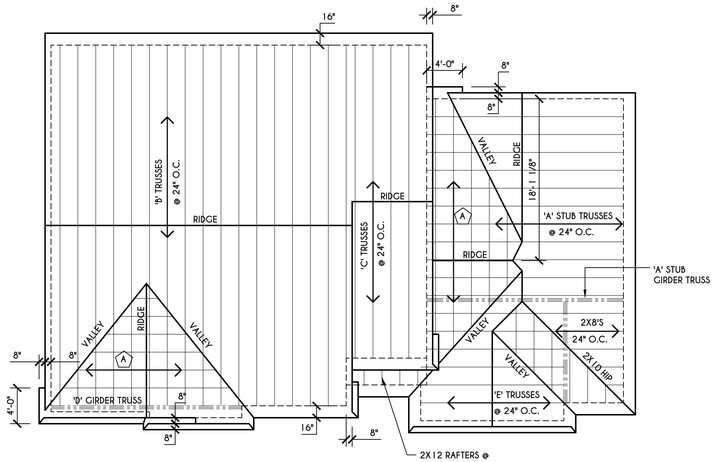
CDK	AMM
scale:	date:
AS NOTED	4 / 21
PROJECT:	sheet:
15305 E	3 / 5



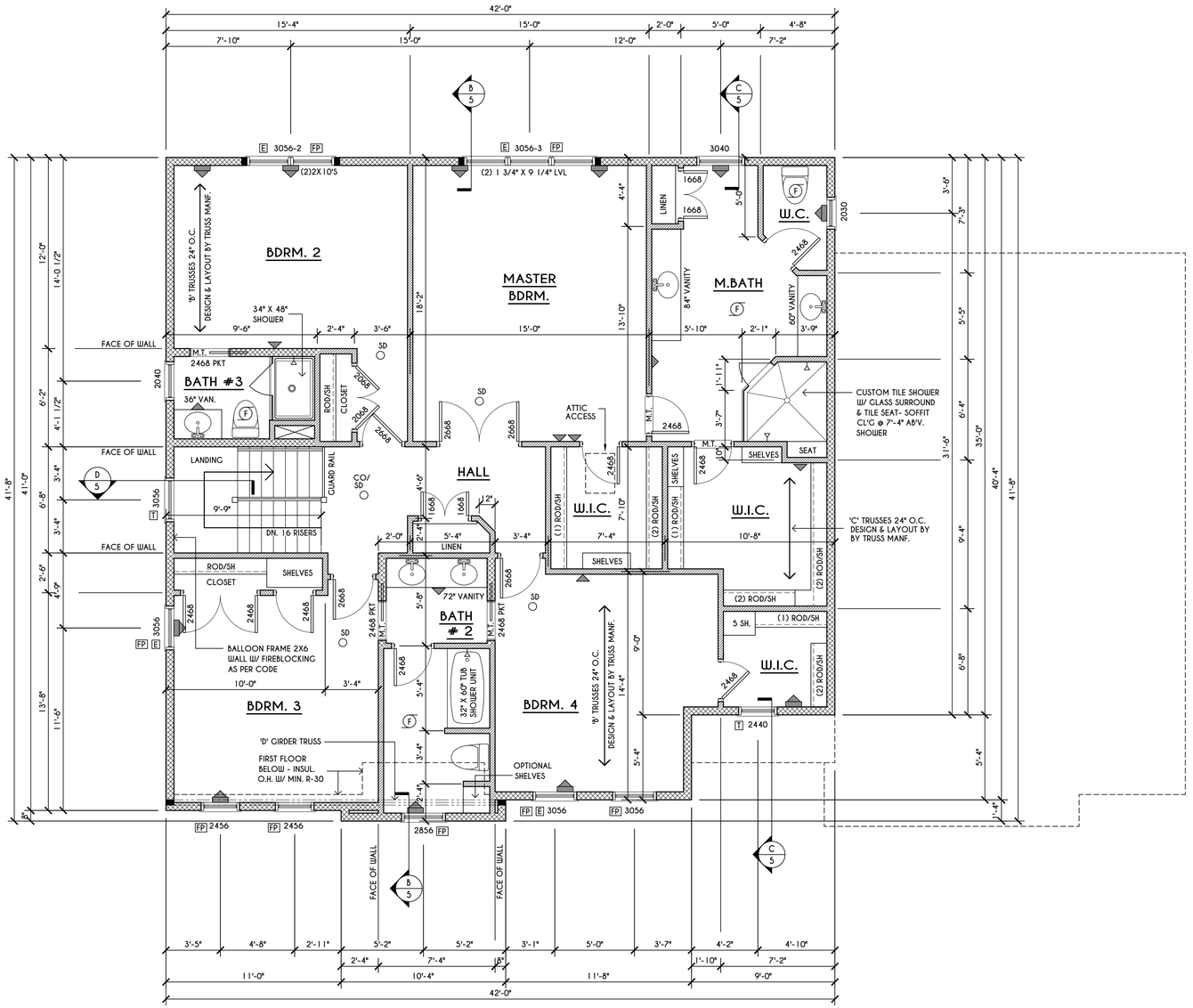
ROOF PLAN

SCALE: 1/8" = 1'-0"

ALL OVERHANGS TO BE 1'-4" & ALL RAKES TO BE 8" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



SECOND FLOOR PLAN

1667 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

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SECOND FLOOR PLAN

GLA PLAN 3313

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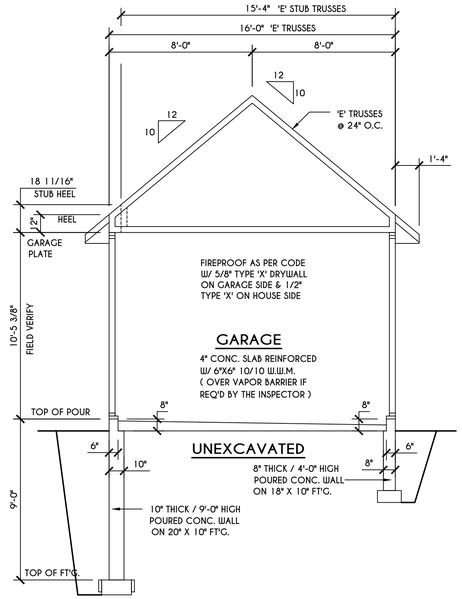
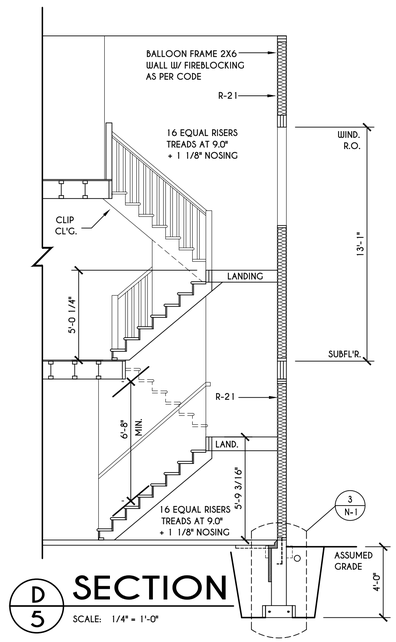


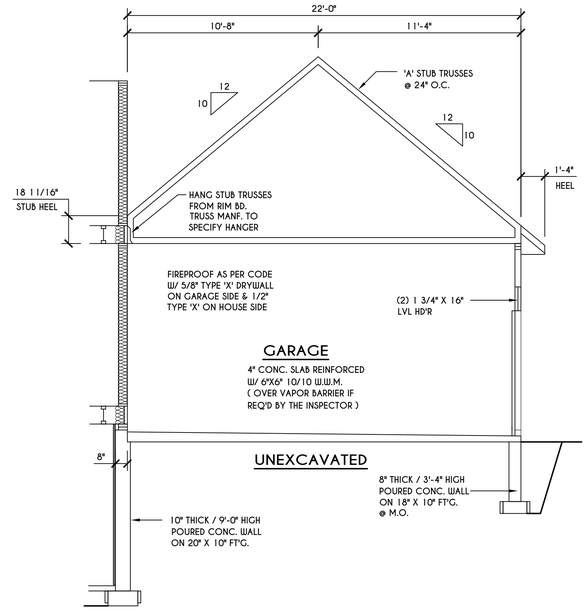
E/5 BUILDING SECTION

SCALE: 1/4" = 1'-0"



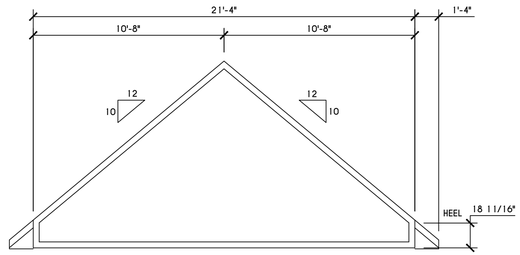
D/5 SECTION

SCALE: 1/4" = 1'-0"



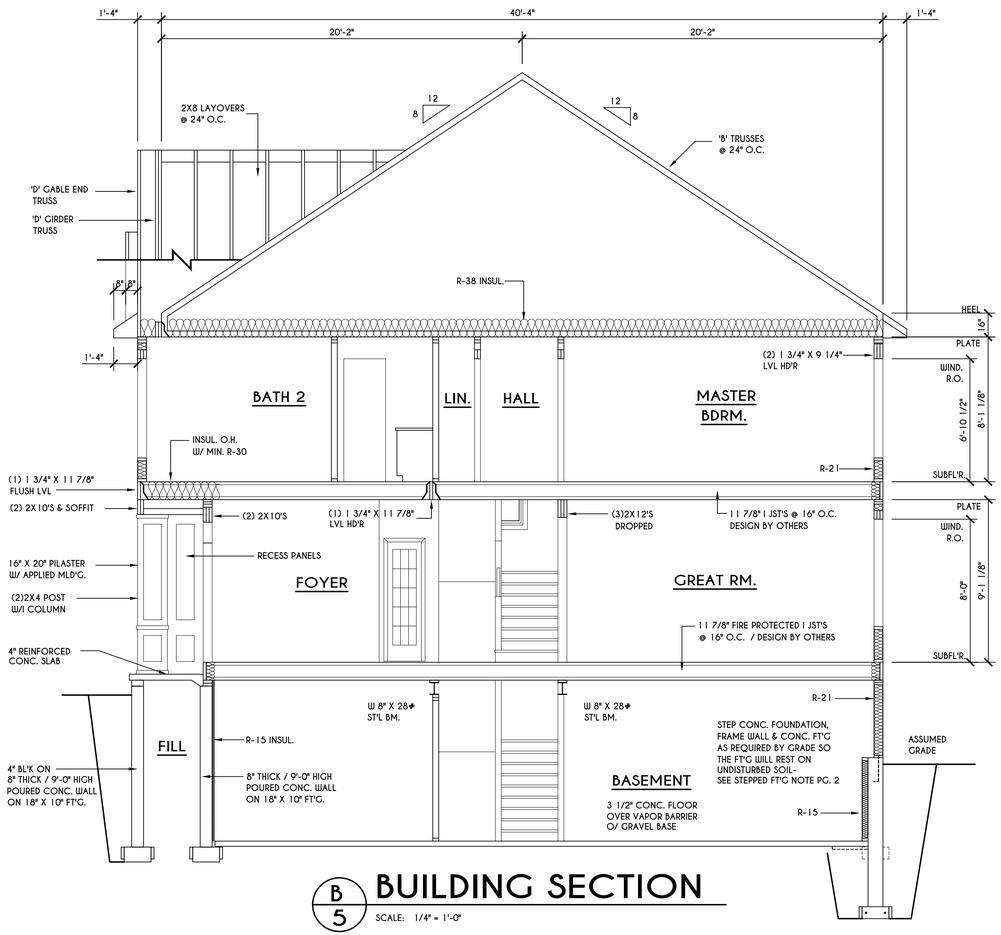
A/5 BUILDING SECTION

SCALE: 1/4" = 1'-0"



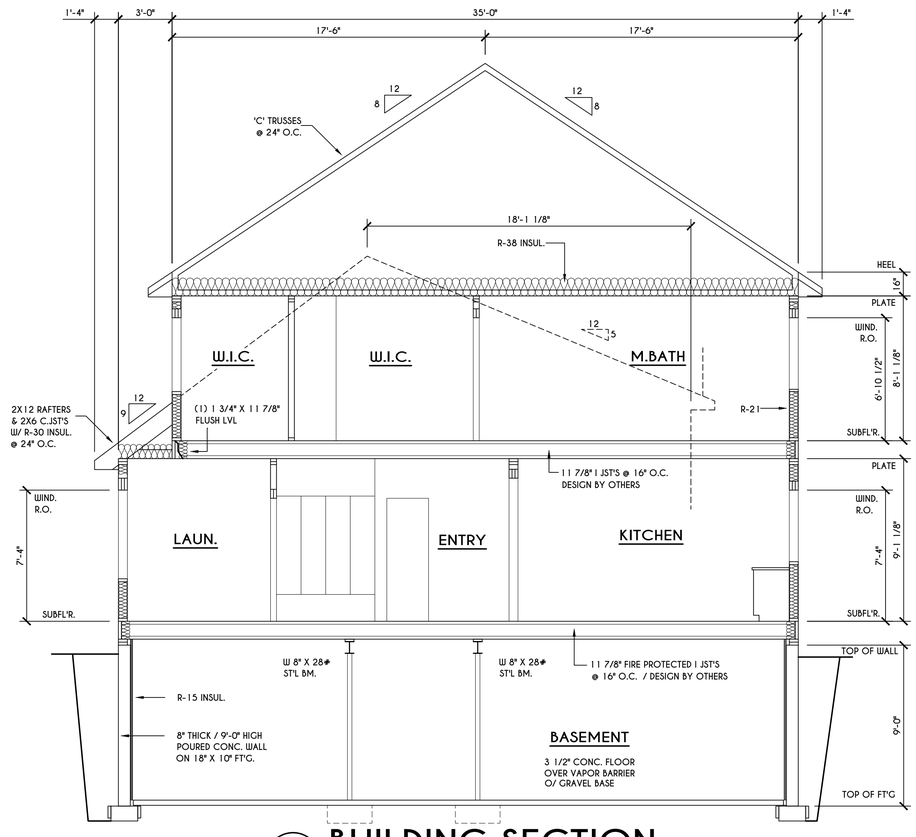
'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



B/5 BUILDING SECTION

SCALE: 1/4" = 1'-0"



C/5 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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SECTIONS

GLA PLAN 3313

drawn:	checked:
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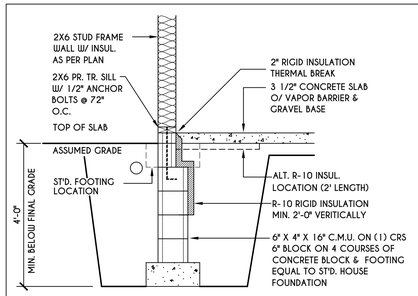
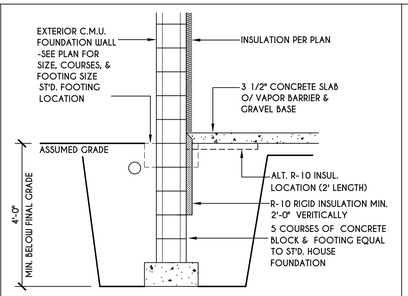
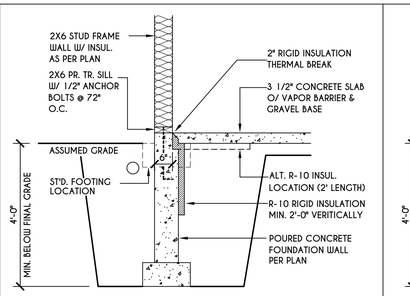


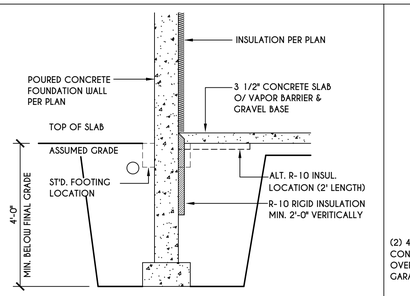
1 N-1 2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



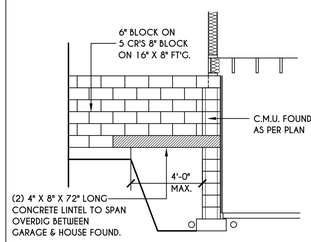
2 N-1 C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



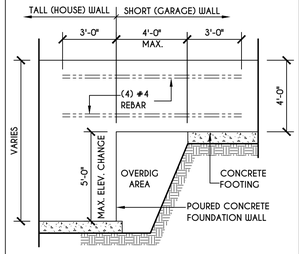
3 N-1 2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



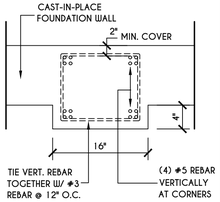
4 N-1 POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



5 N-1 C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"

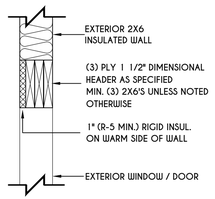


6 N-1 POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"

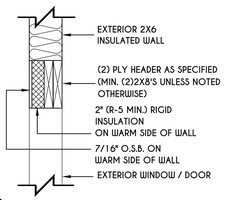


PILASTER TO BE PLACED @ 20'-0" O.C. MAX. ALONG WALL REFER TO PLAN FOR PLACEMENT

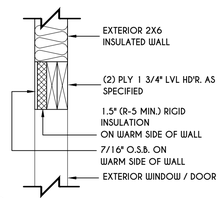
7 N-1 POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



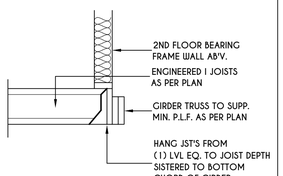
8 N-1 EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



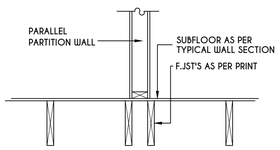
9 N-1 EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



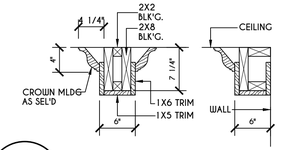
10 N-1 EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



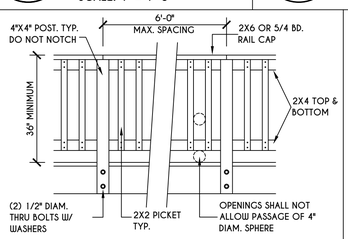
11 N-1 I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



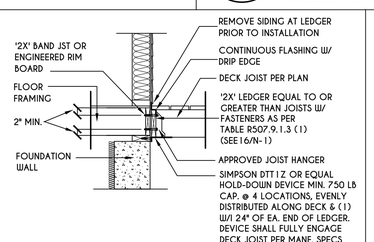
12 N-1 DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



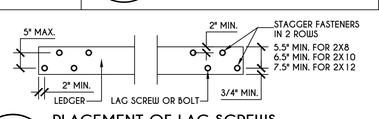
13 N-1 COFFERED BEAM DETAIL
N.T.S.



14 N-1 TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15 N-1 GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16 N-1 PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"- 10'	10'- 1"- 12'	12'- 1"- 14'	14'- 1"- 16'	16'- 1"- 18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

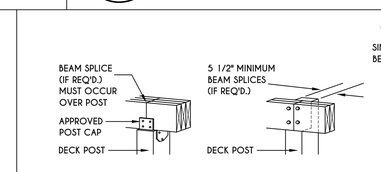


FIGURE R507.5.1 (1) 2020 RCNYS

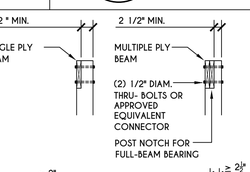


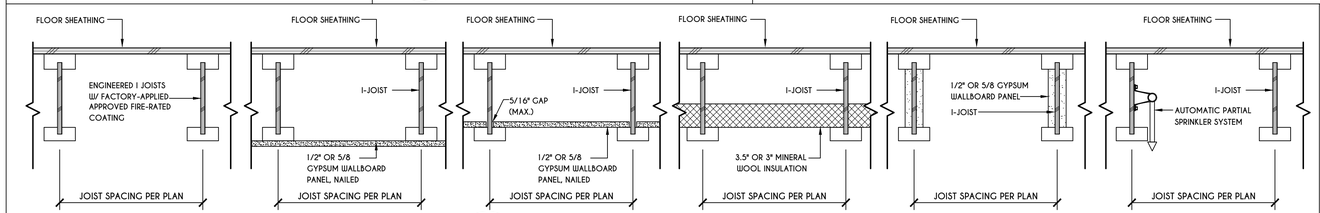
FIGURE R507.5.1 (2) 2020 RCNYS

17 N-1 DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

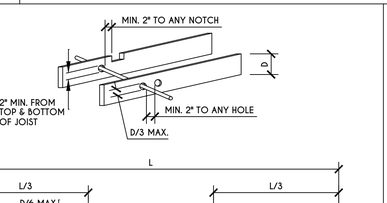
TABLE R507.4
DECK POST HEIGHT [a]

DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

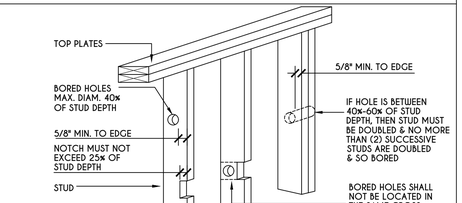
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



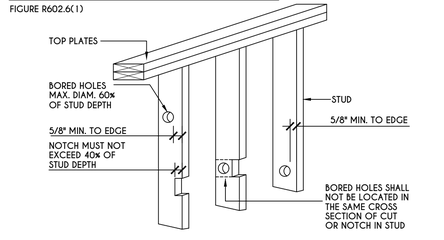
18 N-1 I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



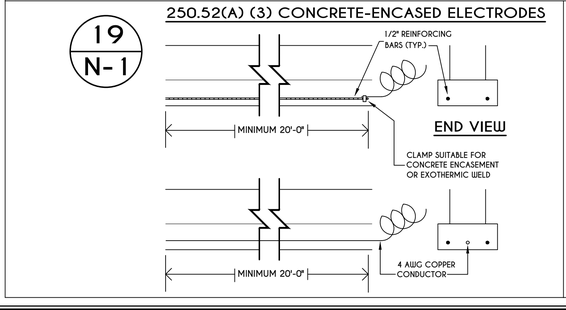
CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

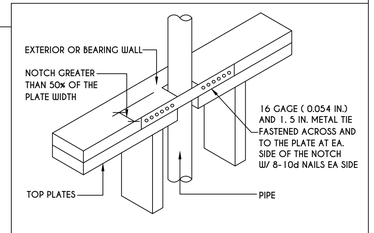


NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)





TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

GLA Greater Living Architecture, P.C.
3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:
LOT 69
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:
COVENTRY RIDGE BUILDING CORP.

DETAILS

GLA PLAN 3313

drawn:	checked:
CDK	AMM
scale:	date:
AS NOTED	4 / 21
PROJECT:	sheet:
15305 E	N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL[e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)[b, c] SOIL CLASSES AND LATERAL SOIL LOAD[d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c ,f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL[e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)[b, c] SOIL CLASSES AND LATERAL SOIL LOAD[d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL[e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES)[b, c] SOIL CLASSES AND LATERAL SOIL LOAD[d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT[g] (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches) SOIL CLASSES[a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH): GW, GP, SW, AND SP 30 — MIMIMUM WALL THICKNESS (INCHES) 6	8	10	12	GM, GS, SM-SC AND ML 45: 6	8	10	12	SC, MH, ML-CL AND INORGANIC CL 60: 6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR[l]	NR	NR	#4 @ 35"	NR[l]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR[l]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR[l]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR[l]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR[l]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR[l]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR[l]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR[l]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR[l]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR[l]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR[l]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR[l]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR[l]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48"[m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR[l]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR[l]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR[l]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR[l]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45"[m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR[l]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48"[m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR[j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS [a]

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500[b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS

FRONT ELEVATION

SECTION

PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S.

FIGURE R602.10.6.3

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 69
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

REINFORCING NOTES

GLA PLAN 3313

drawn: CDK	checked: AMM
scale: AS NOTED	date: 4 / 21
PROJECT: 15305 E	sheet: N 2

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000072

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 46 Coventry Ridge PITTSFORD, NY 14534
Tax ID Number: 177.03-5-34
Zoning District: IZ Incentive Zoning
Owner: Clover Street Development
Applicant: Clover Street Development

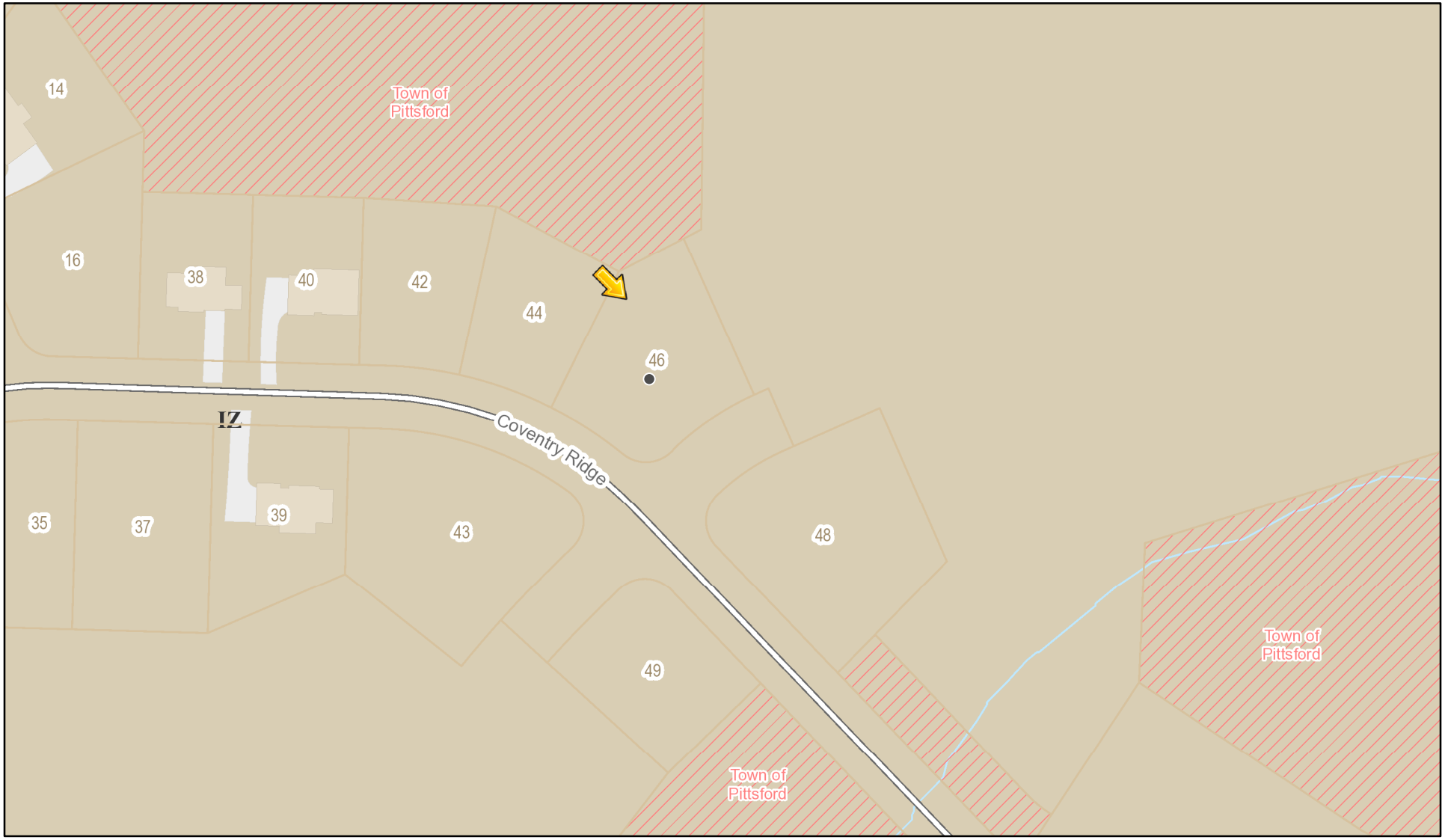
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1801 square feet and the second floor will be approximately 1900 square feet. The house will be located in Coventry Ridge Subdivision.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



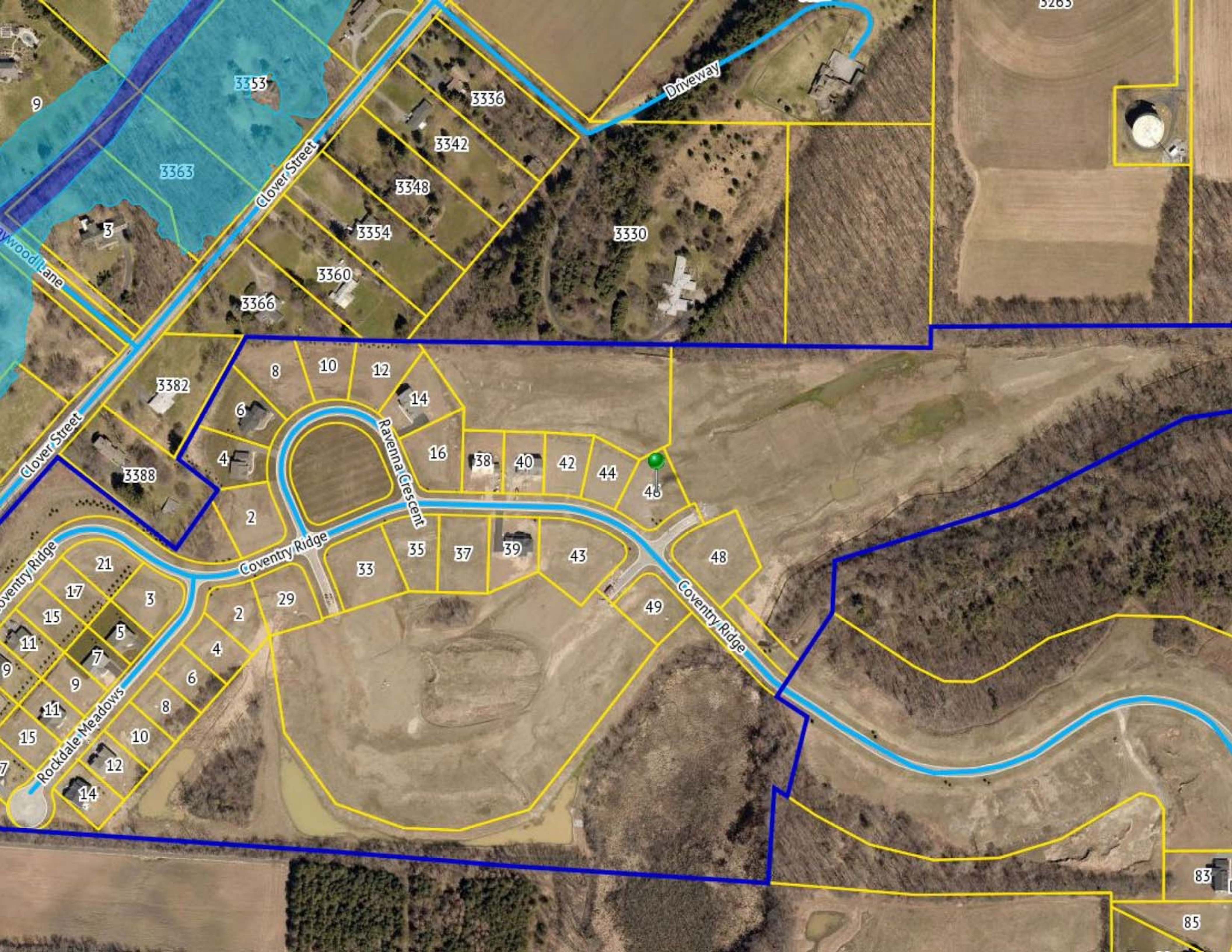
Printed April 15, 2021

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS



Clover Street
Driveway
3336
3342
3348
3354
3360
3366
3330
3353
3363
3382
3388
Coventry Ridge
Ravenna Crescent
Rockdale Meadows
8
10
12
14
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4
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38
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42
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46
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33
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83
85

LOT 34 COVENTRY RIDGE
PITTSFORD, NY
COVENTRY RIDGE BUILDING CORP.
PLAN 3701 / PROJECT 15346 D

SHEET INDEX

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

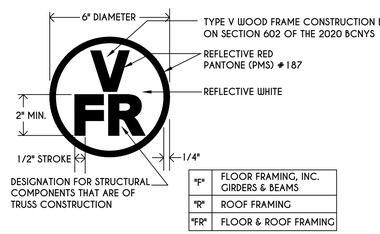
STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10^6 - 1.9 $Fc^{\perp}$ = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION

"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

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PITTSFORD, NY

BUILDER:

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COVER PAGE

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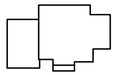
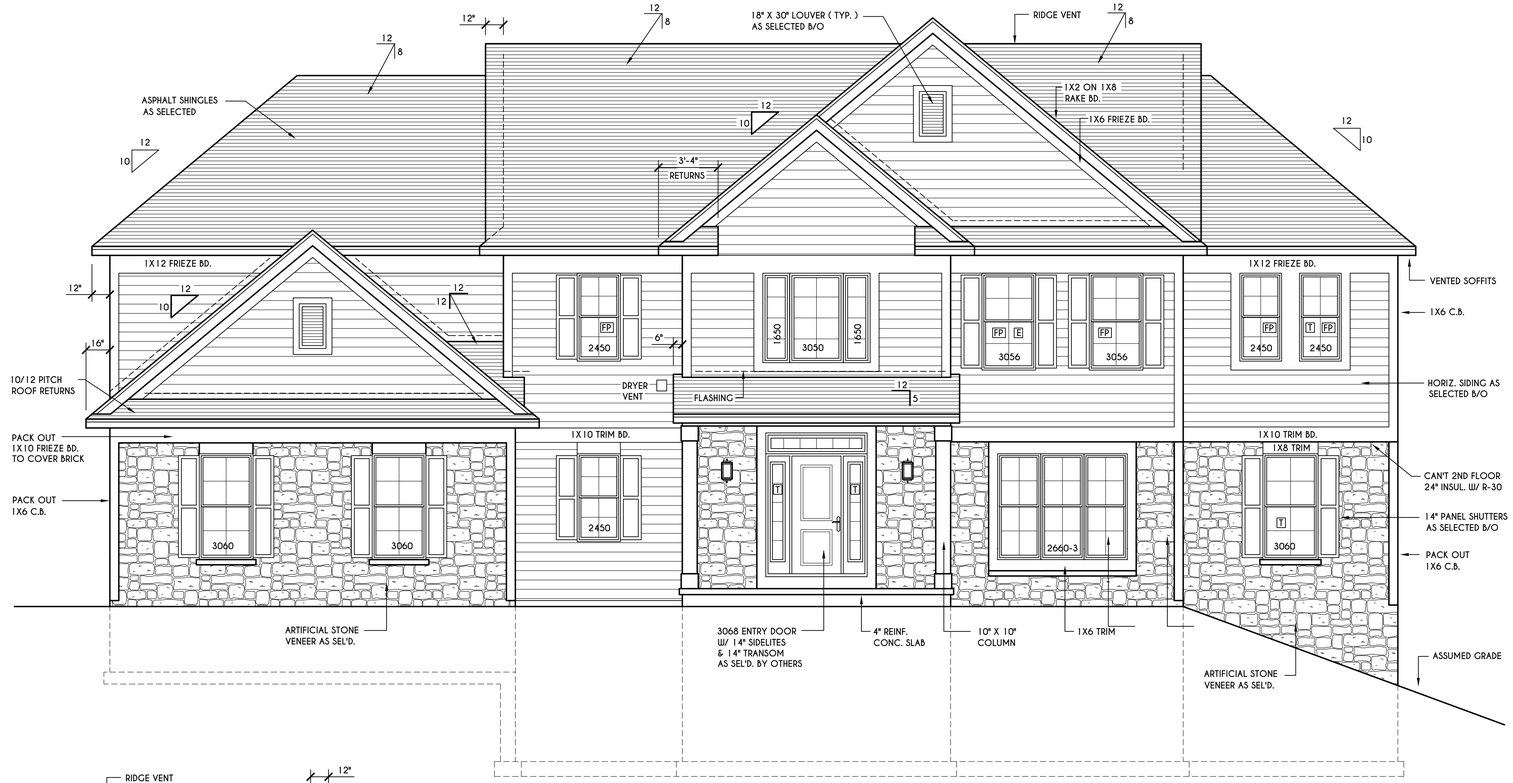


HOUSE FOOTPRINT

SCALE: 1" = 50'-0"

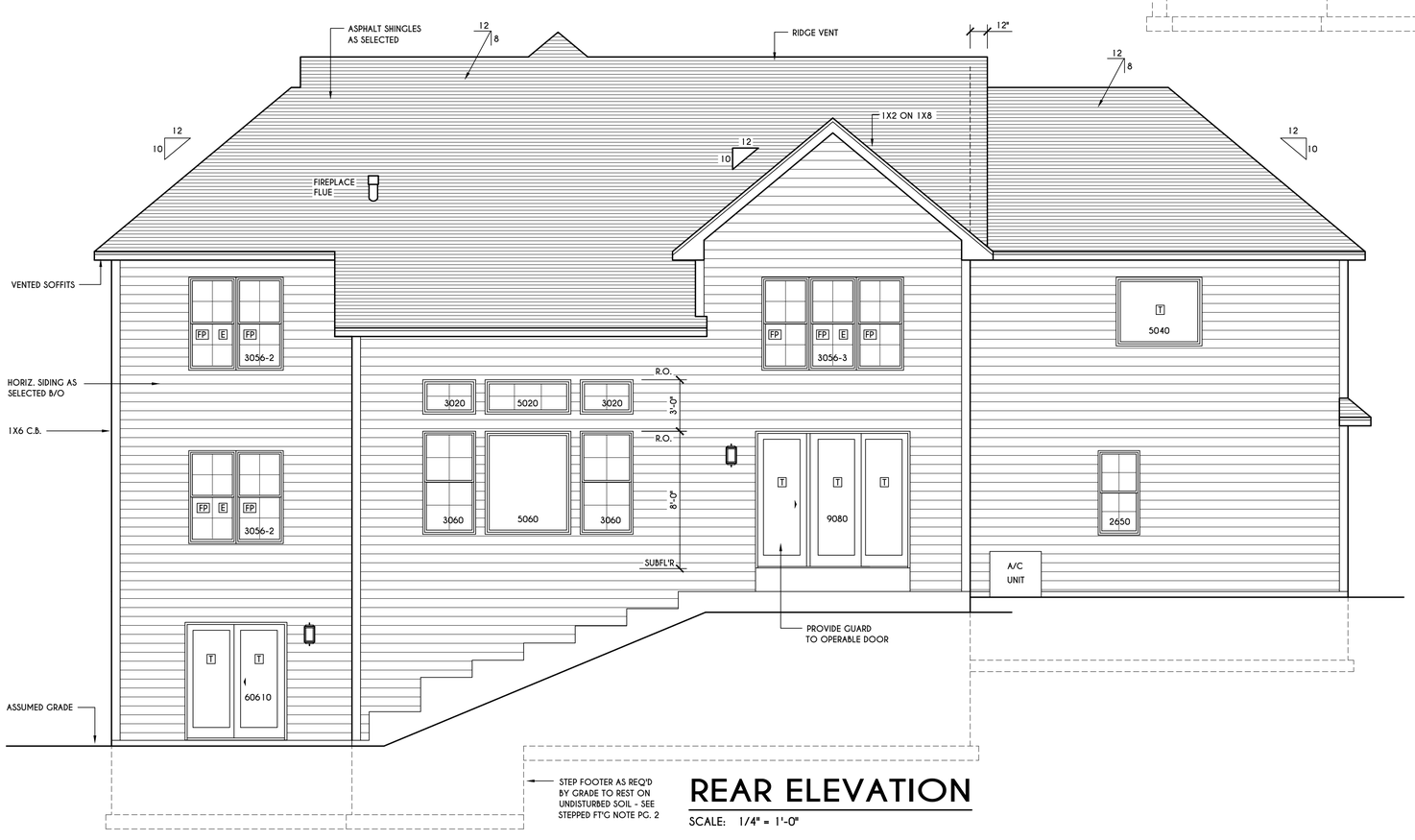


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1801 SQ.FT.
SECOND FLOOR LIVING AREA = 1900 SQ.FT.
TOTAL LIVING AREA = 3701 SQ.FT.

TOTAL CONDITIONED VOLUME = 54,342 CU.FT.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: VUD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.29
SHGC 0.56

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.000471 9 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS [a,b]

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.000471 9 m 3/s.

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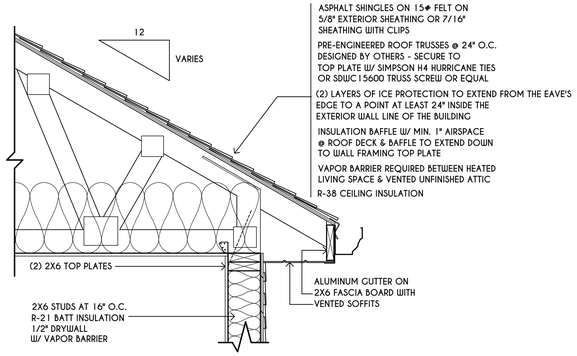
TRUSS EAVE CONSTRUCTION



ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS

PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWC15600 TRUSS SCREW OR EQUAL

(2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING

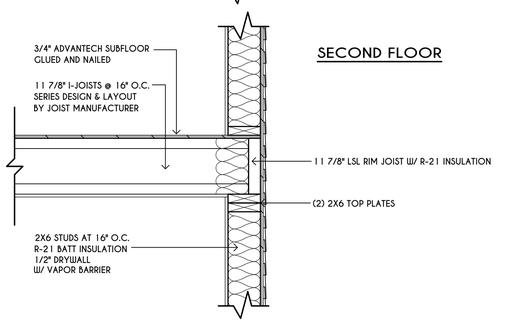
INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE

VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC

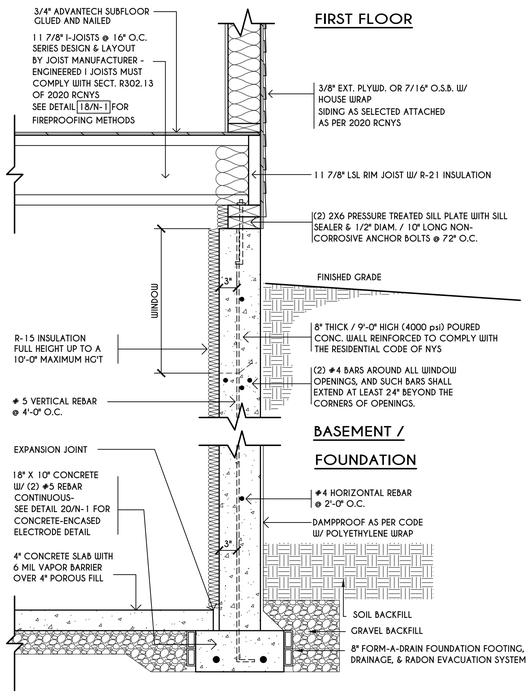
R-38 CEILING INSULATION

ALUMINUM GUTTER ON 2X6 FASCIA BOARD WITH VENTED SOFFITS

SECOND FLOOR



FIRST FLOOR



BASEMENT / FOUNDATION

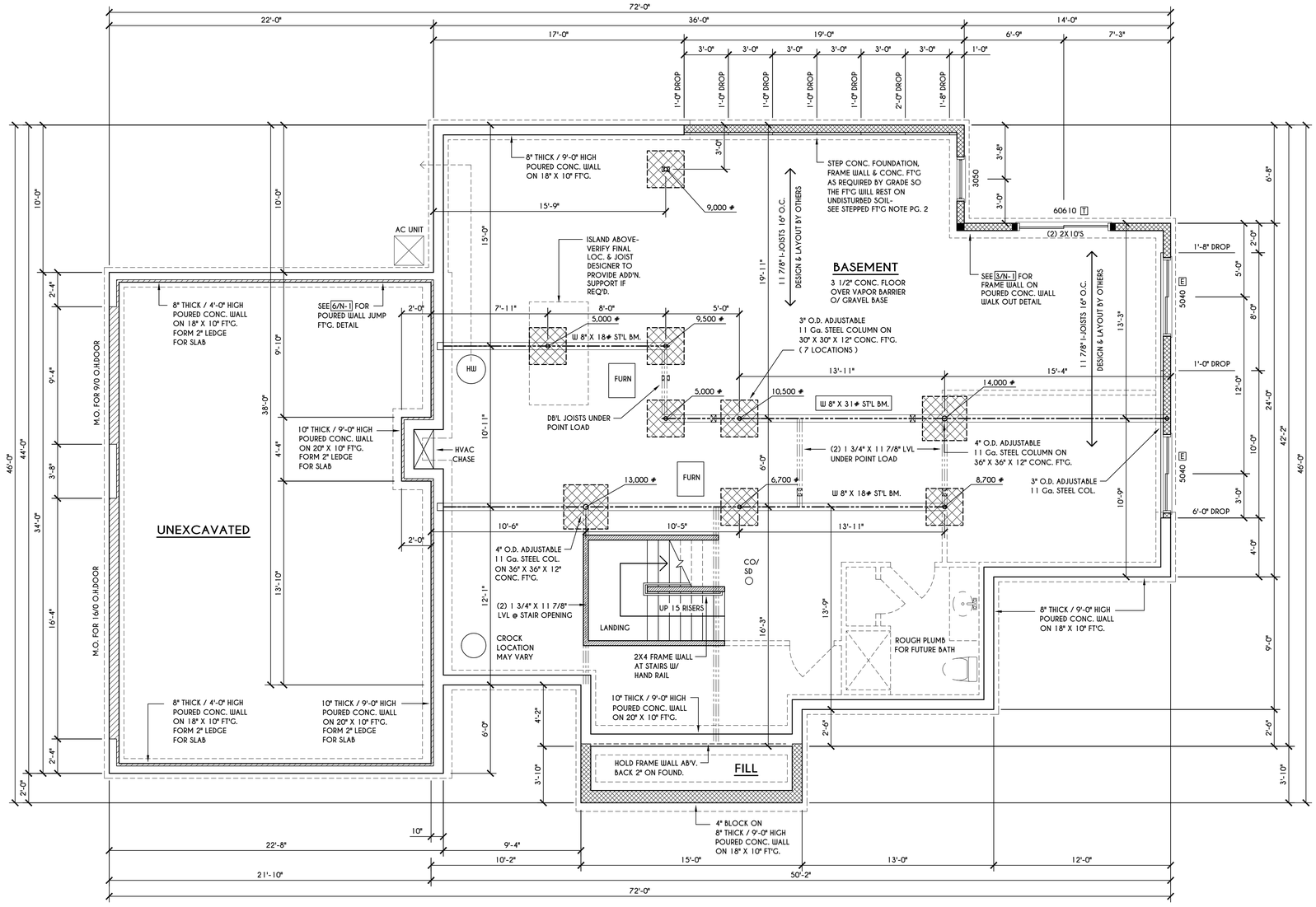
TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

STEPPED FOOTING NOTE:

R403.1.5 OF RCNYS SLOPE:

THE TOP SURFACE OF THE FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10% SLOPE).



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES:
- CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
- SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:

ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS
SEE DETAIL 18/N-1 FOR FIREPROOFING METHODS

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  - PER SECT. R310.2.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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FOUNDATION PLAN

GLA PLAN 3701

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scale:	date:
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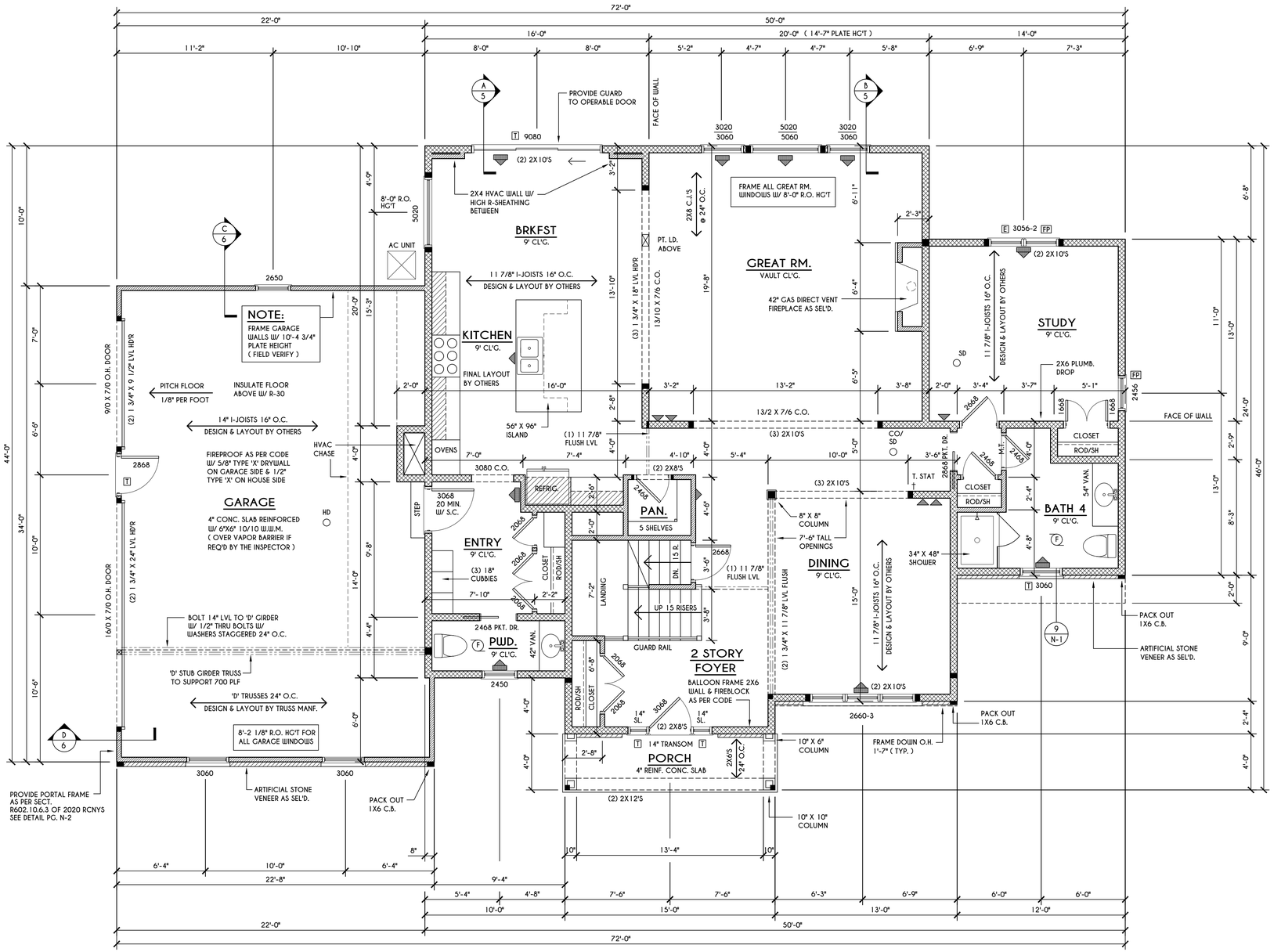

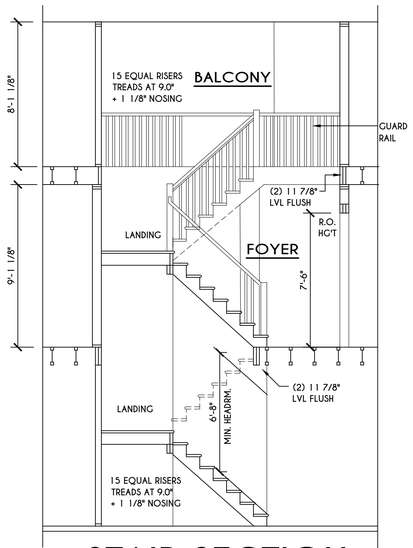

STAIR SECTION

SCALE: 1/4" = 1'-0"

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

FIRST FLOOR PLAN

1801 SQ. FT.

SCALE: 1/4" = 1'-0"

NOTES:
- FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
- THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  PER SECT. R310.2.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 34
COVENTRY RIDGE
PITTSFORD, NY

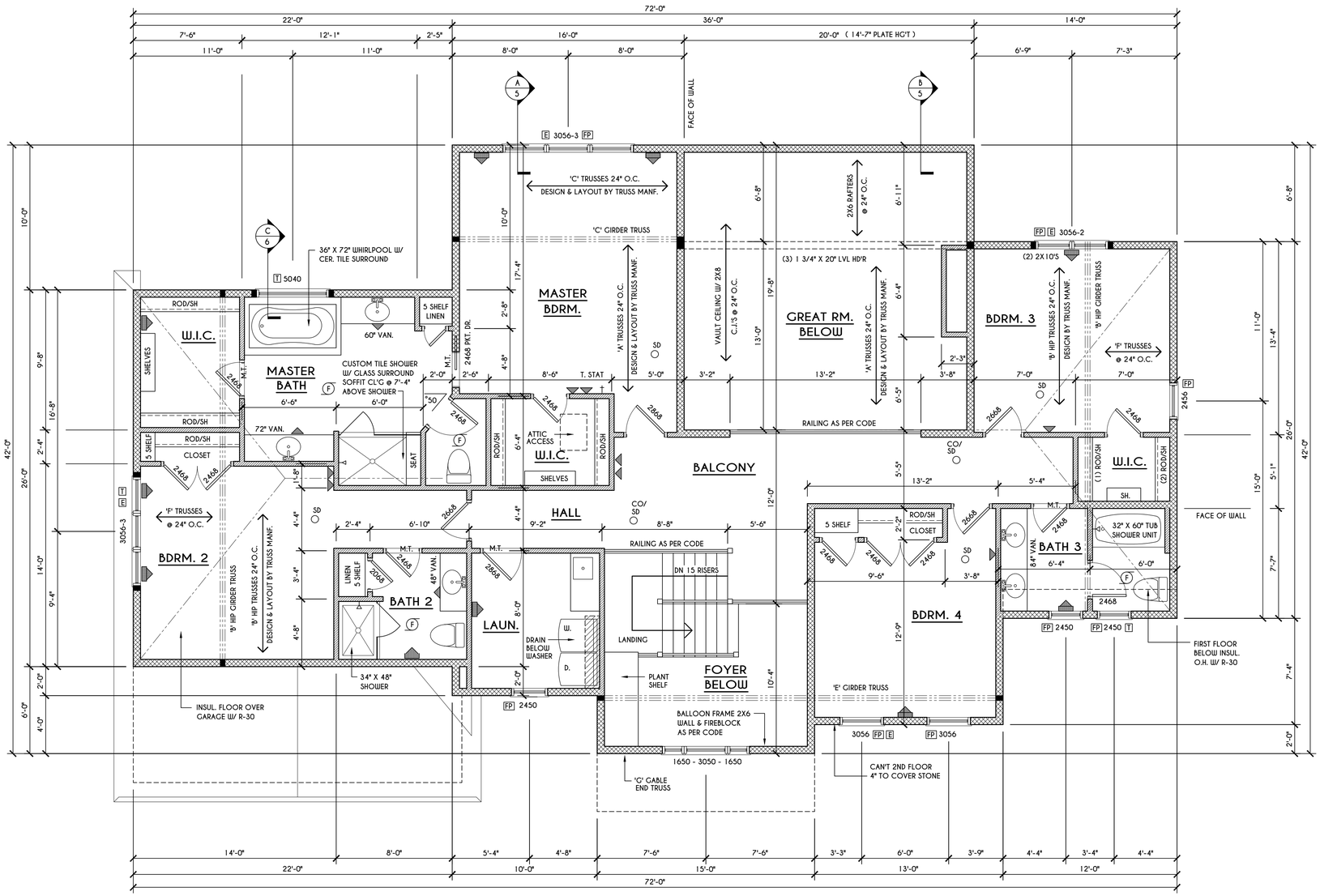
BUILDER:

COVENTRY RIDGE
BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3701

drawn:	checked:
CDK	CSB
scale: AS NOTED	date: 4 / 21
PROJECT: 15346 D	sheet: 3 / 6



FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

SECOND FLOOR PLAN

1900 SQ.FT.

SCALE: 1/4" = 1'-0"

NOTES:
- SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
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- THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  PER SECT. R310.2.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3701

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scale:	date:
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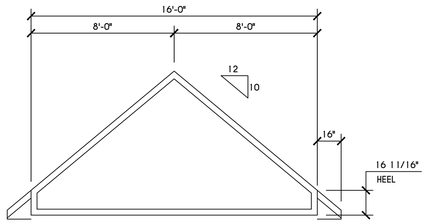
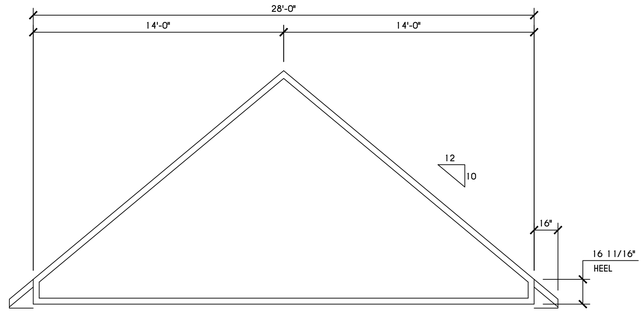
PROJECT:	sheet:
15346 D	4 / 6



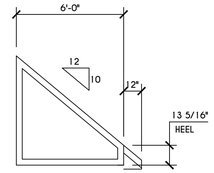
'C' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



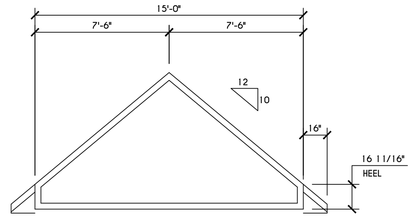
'E' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



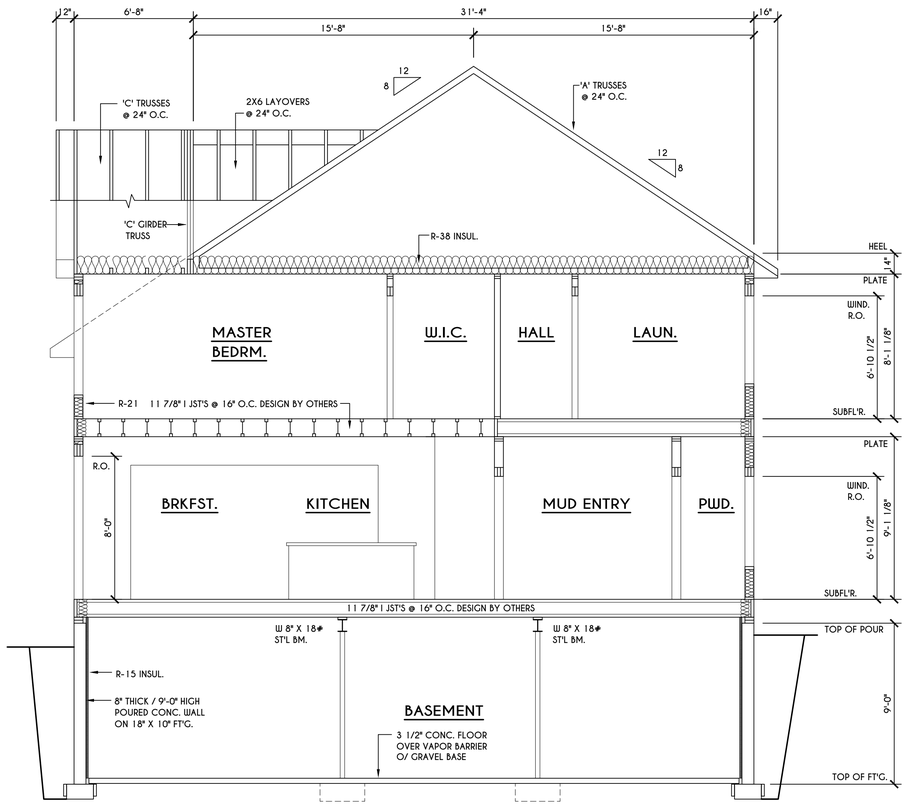
'F' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



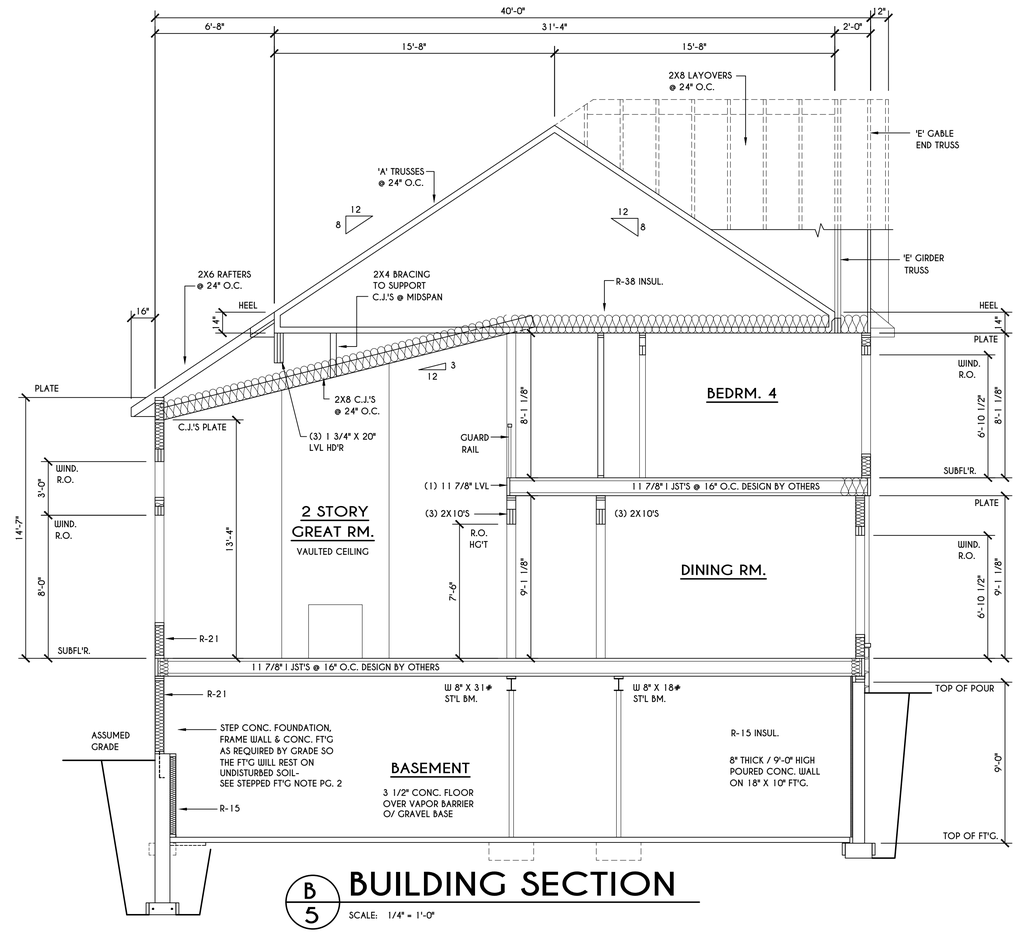
'G' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



A/5 BUILDING SECTION

SCALE: 1/4" = 1'-0"



B/5 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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BUILDER:

COVENTRY RIDGE BUILDING CORP.

SECTIONS

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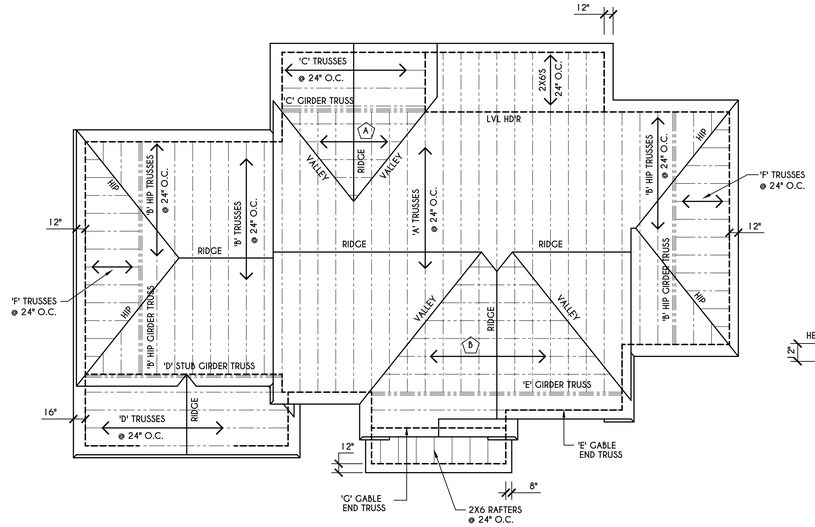
15346 D	5 / 6



A – 2X6 LAYOVER RAFTERS 24" O.C.

B – 2X8 LAYOVER RAFTERS 24" O.C.

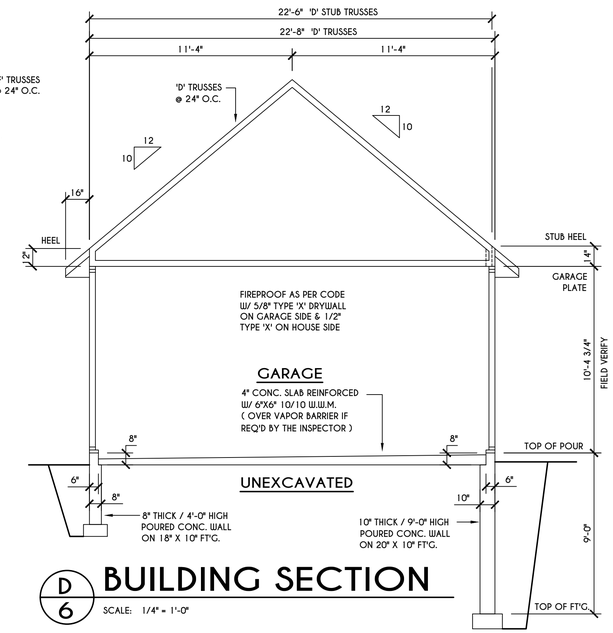
ROOF PLAN

SCALE: 1/8" = 1'-0"

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

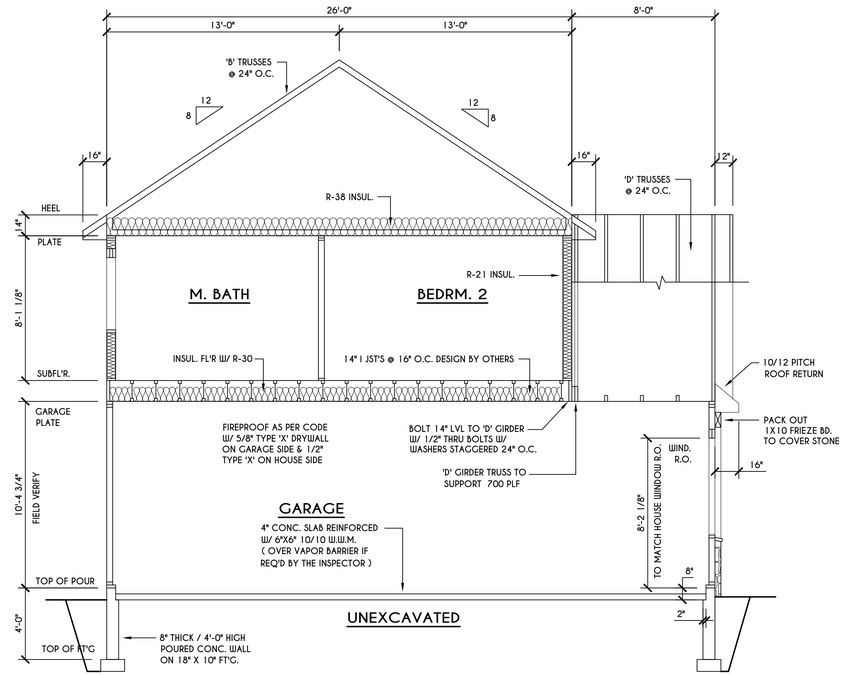
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

ALL RAKES ARE 12" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE



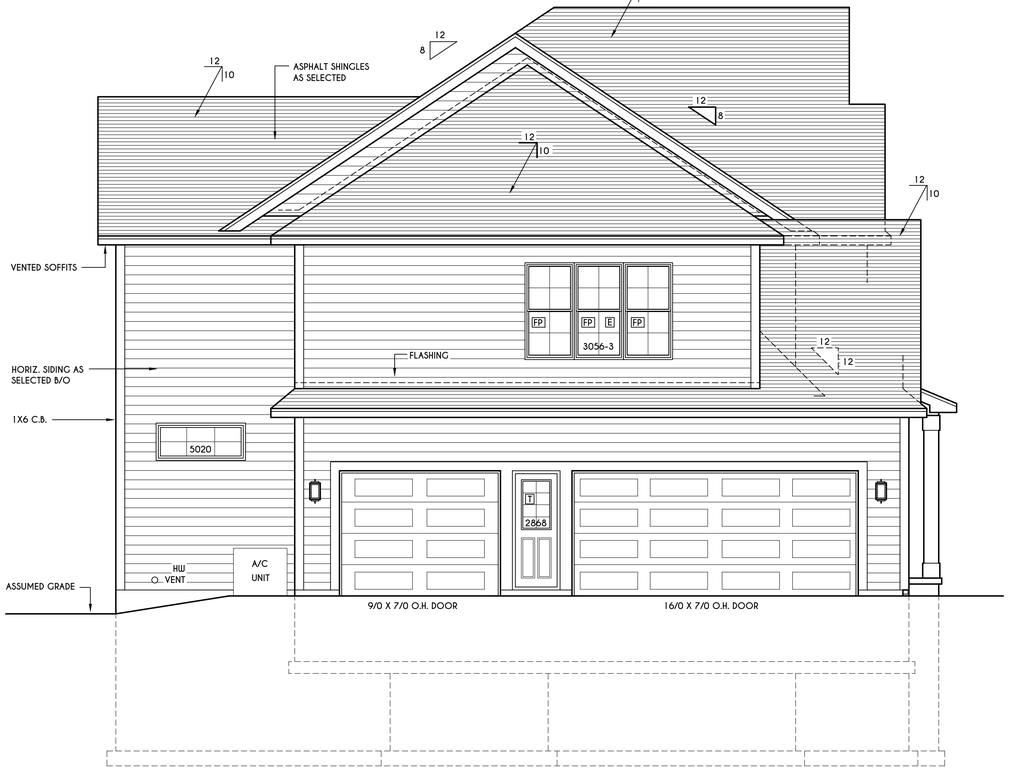
D/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"



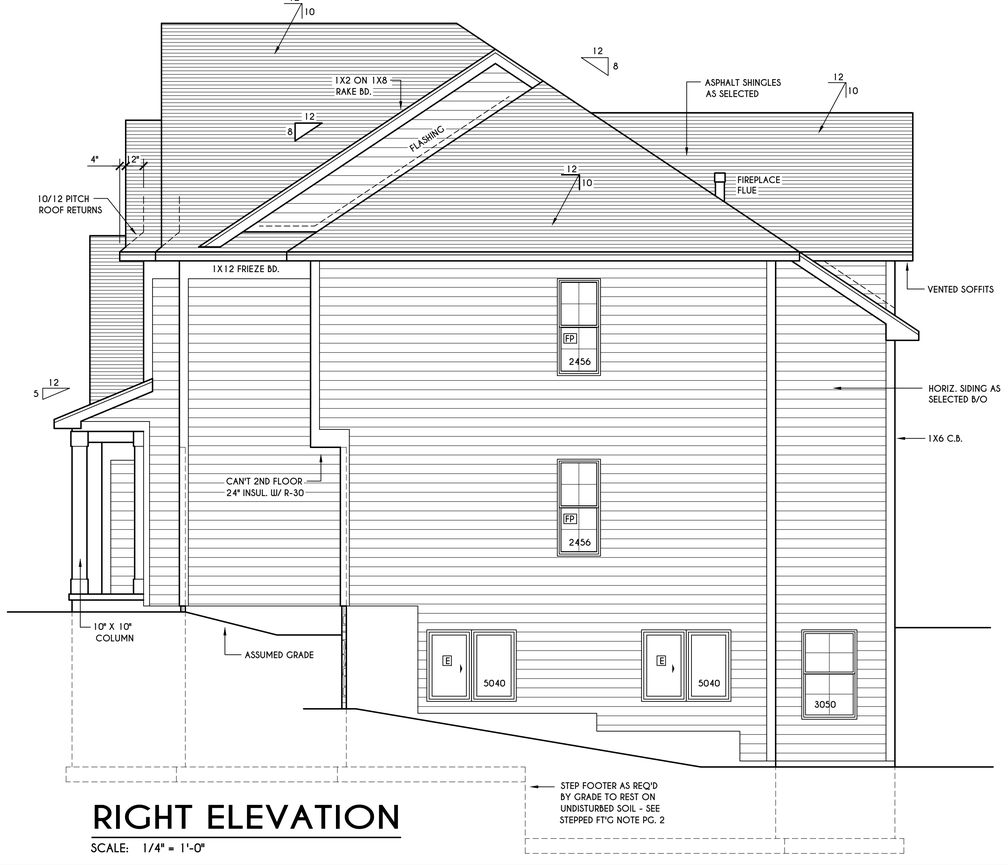
C/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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ELEVATIONS

GLA PLAN 3701

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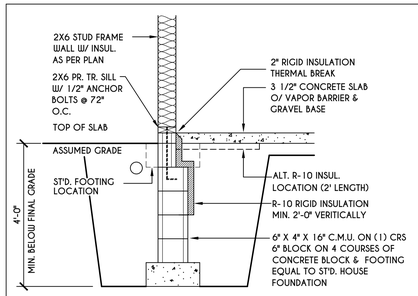
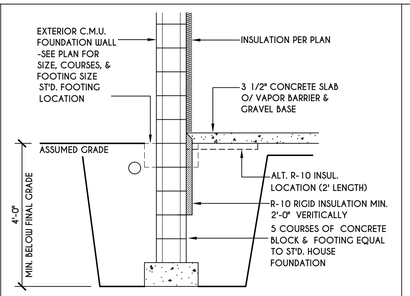
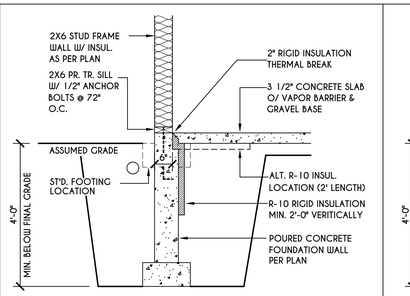
PROJECT:	sheet:
15346 D	6 / 6



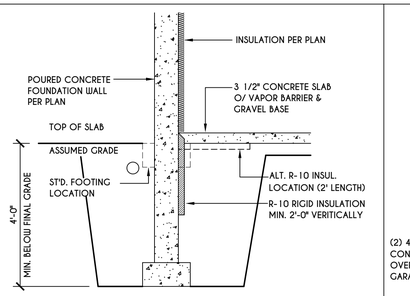
1 N-1 2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



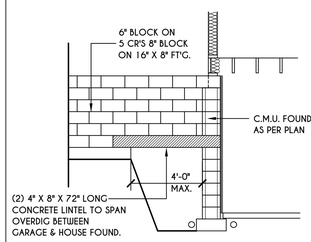
2 N-1 C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



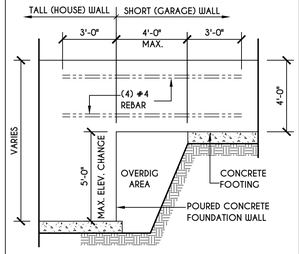
3 N-1 2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



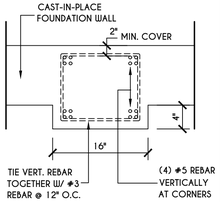
4 N-1 POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



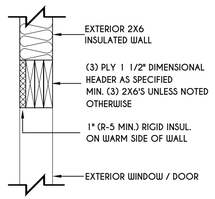
5 N-1 C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



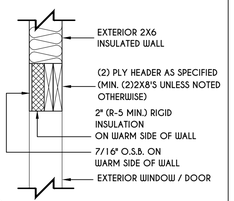
6 N-1 POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



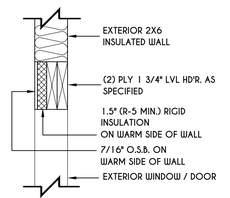
7 N-1 POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



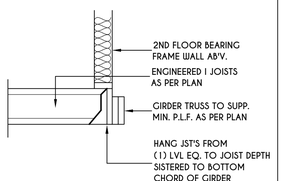
8 N-1 EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



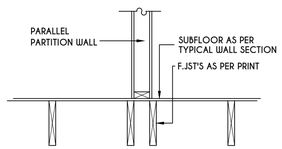
9 N-1 EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



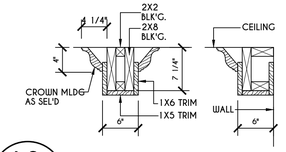
10 N-1 EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



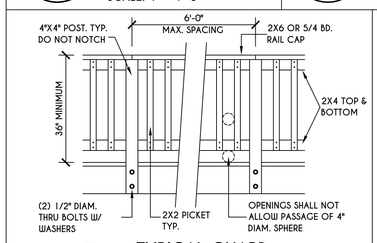
11 N-1 I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



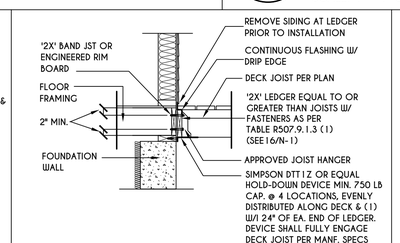
12 N-1 DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



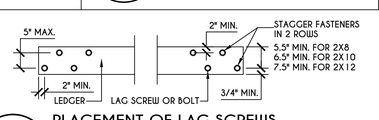
13 N-1 COFFERED BEAM DETAIL
N.T.S.



14 N-1 TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15 N-1 GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16 N-1 PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"- 10'	10'- 1"- 12'	12'- 1"- 14'	14'- 1"- 16'	16'- 1"- 18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

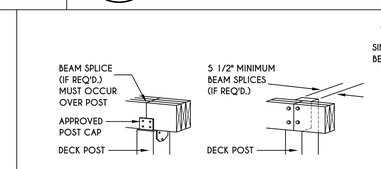


FIGURE R507.5.1 (1) 2020 RCNYS

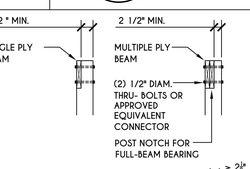


TABLE R507.4
DECK POST HEIGHT [a]

DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"

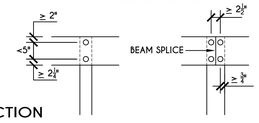
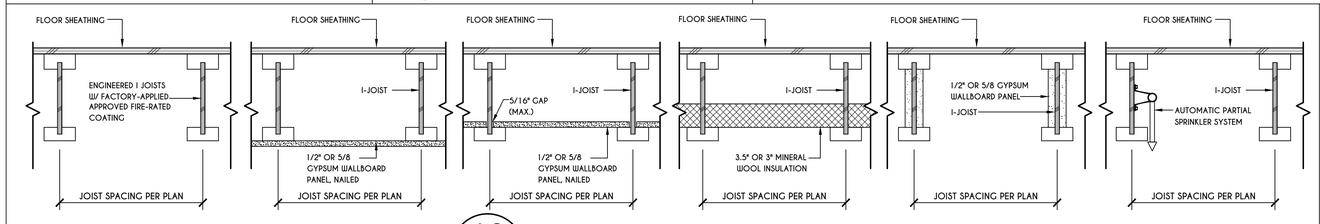
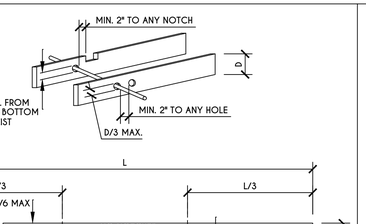


FIGURE R507.5.1 (2) 2020 RCNYS

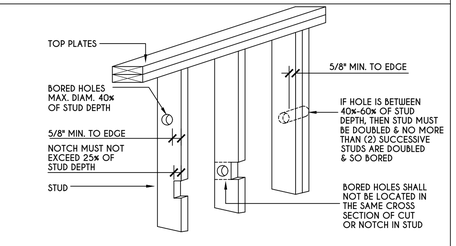
17 N-1 DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.



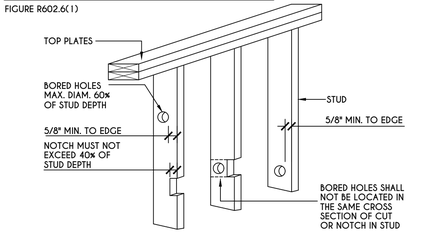
18 N-1 I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

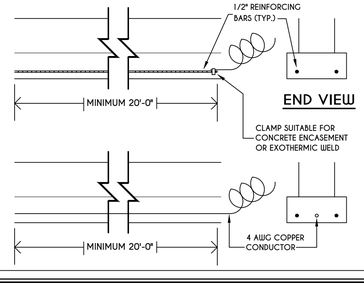


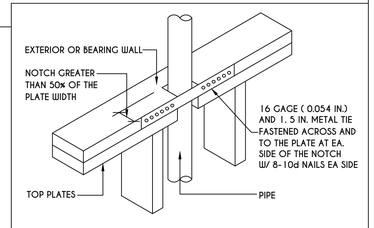
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

19 N-1 250.52(A) (3) CONCRETE-ENCASED ELECTRODES





TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

GLA Greater Living Architecture, P.C.
3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:
LOT 34
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:
COVENTRY RIDGE BUILDING CORP.

DETAILS

GLA PLAN 3701

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	4 / 21
PROJECT:	sheet:
15346 D	N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c]		
		SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE)		
		GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c ,f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c]		
		SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE)		
		GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c]		
		SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE)		
		GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT [g] (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)											
		SOIL CLASSES [a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH)											
		GW, GP, SW, AND SP 30				GM, GS, SM-SC AND ML 45				SC, MH, ML-CL AND INORGANIC CL 60			
		MIMIMUM WALL THICKNESS (INCHES)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR [l]	NR	NR	#4 @ 35"	NR [l]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR [l]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR [l]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR [l]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR [l]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR [l]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR [l]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR [l]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR [l]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48" [m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR [l]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR [l]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR [l]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR [l]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45" [m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR [l]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" [m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR [j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1

AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS [a]

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500[b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS

PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3

Greater Living Architecture, P.C.

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TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 34
COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

REINFORCING NOTES

GLA PLAN 3701

drawn: CDK
checked: CSB
scale: AS NOTED
date: 4 / 21
PROJECT: 15346 D
sheet: N 2

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000077

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 8&10 Skylight Trail PITTSFORD, NY 14534
Tax ID Number: 192.06-1-4
Zoning District: RRAA Rural Residential
Owner: S & J Morrell, Inc
Applicant: S & J Morrell, Inc

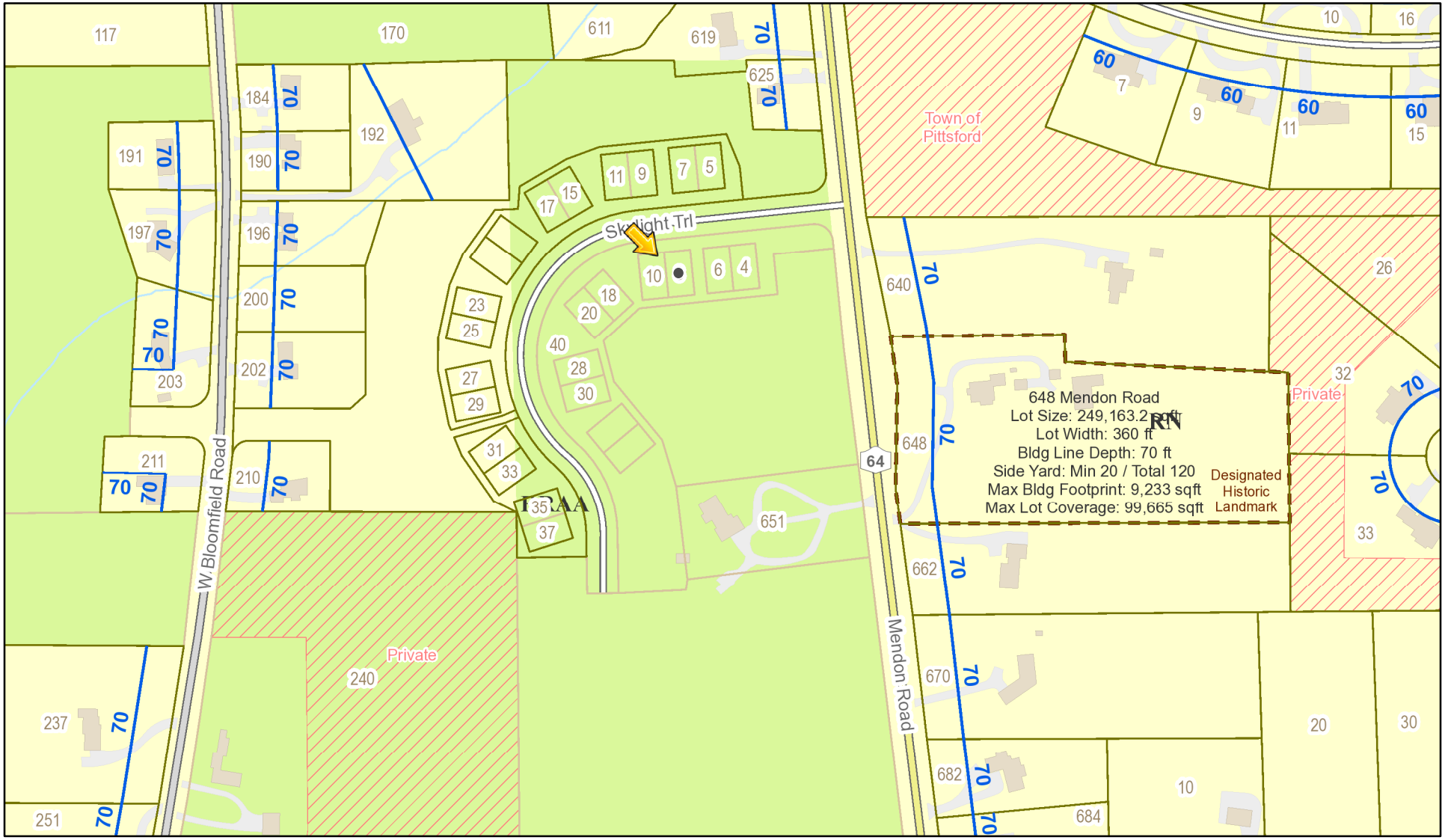
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 3 (8 Skylight Trail) will be approximately 2013 sq. ft. and Lot 4 (10 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



Printed April 15, 2021

1:4,514

0 195 390 780 ft

0 55 110 220 m

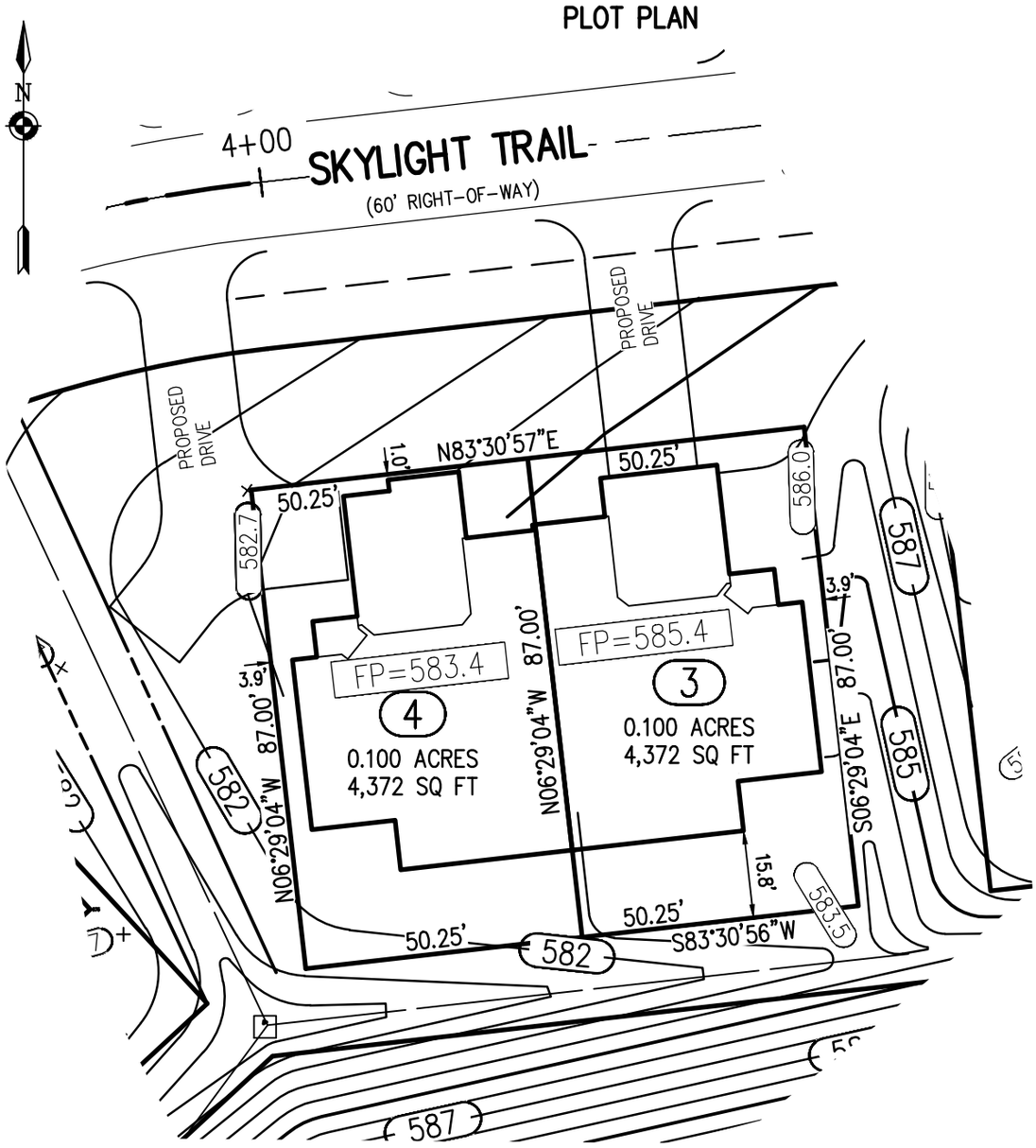
Town of Pittsford GIS

= Side Load Garage

X = Stone Siding

	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)

PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," PREPARED BY DOUGLAS W. MAGDE, L.S. HAVING DRAWING NUMBER SV1.0 AND LAST REVISED JUNE 27, 2019.

2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.

2. SETBACK REQUIREMENTS:
   FRONT 0' (LOT) 25' (R.O.W.)
   SIDE 0'
   REAR 0'

3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.

4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2), PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 27, 2019.

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7360
FAX 585-377-7309

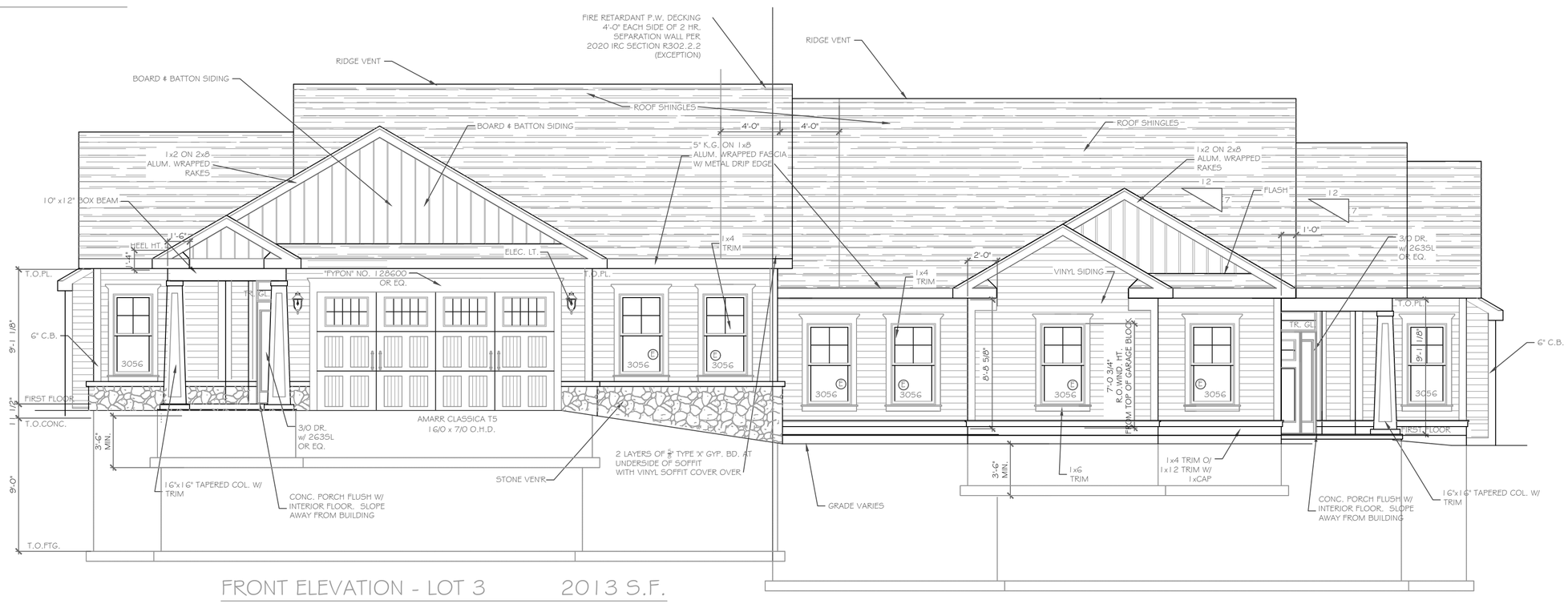
LOTS 3 & 4 ALPINE RIDGE SUBDIVISION SECTION 1
TOWN OF PITTSFORD MONROE COUNTY NEW YORK

DRAWN BY: MRP
DATE: 4-13-21

SCALE: 1"=30'
DWG NO: 2688-10

STATE OF NEW YORK
MATTHEW RYAN PALMER
EXCELSIOR
050964
LICENSED LAND SURVEYOR

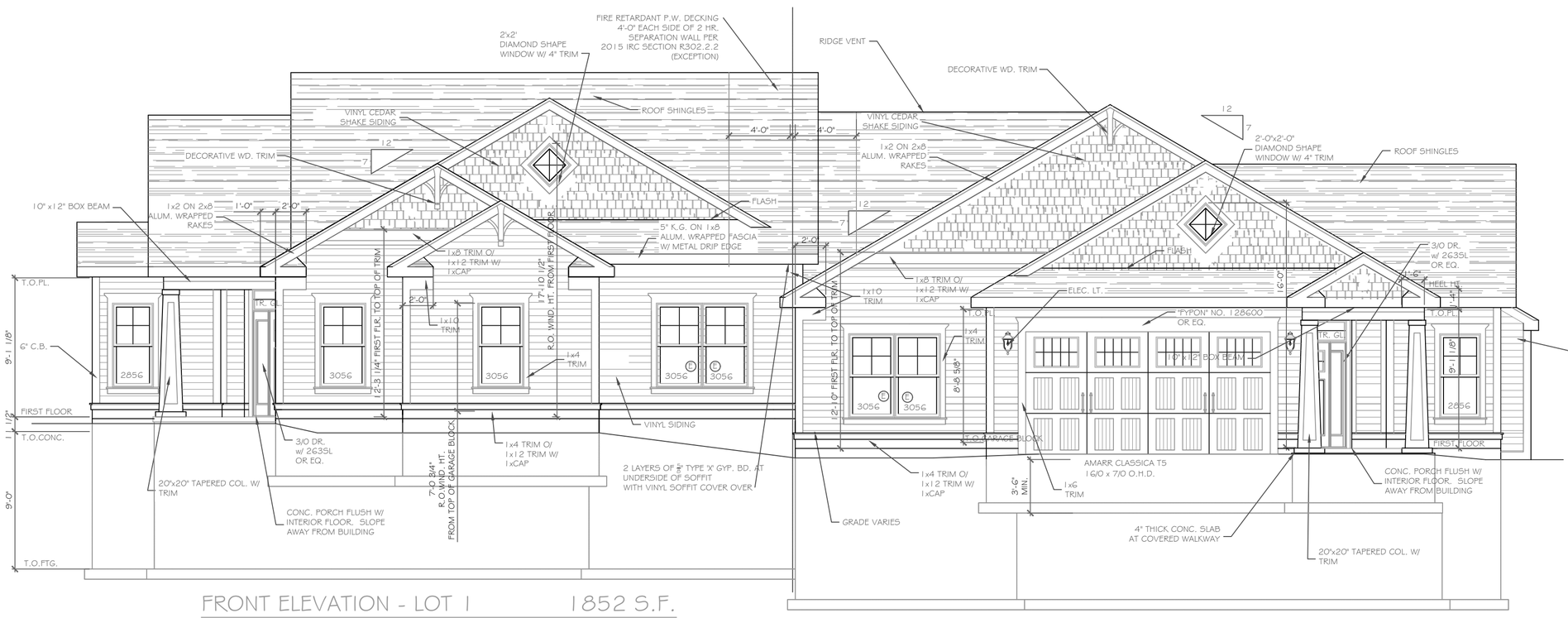
Proposed



FRONT ELEVATION - LOT 3 2013 S.F.

FRONT ELEVATION - LOT 4 2000 S.F.

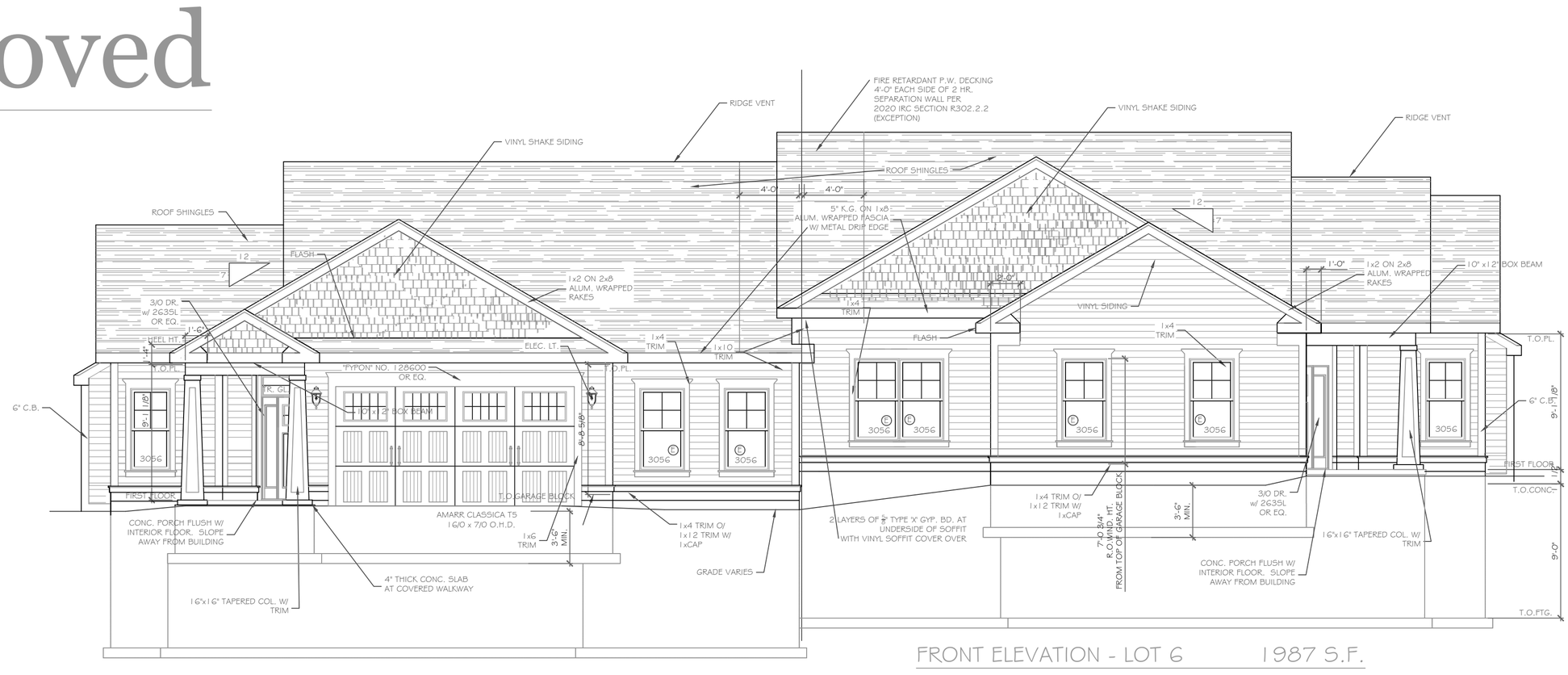
Approved



FRONT ELEVATION - LOT 1 1852 S.F.

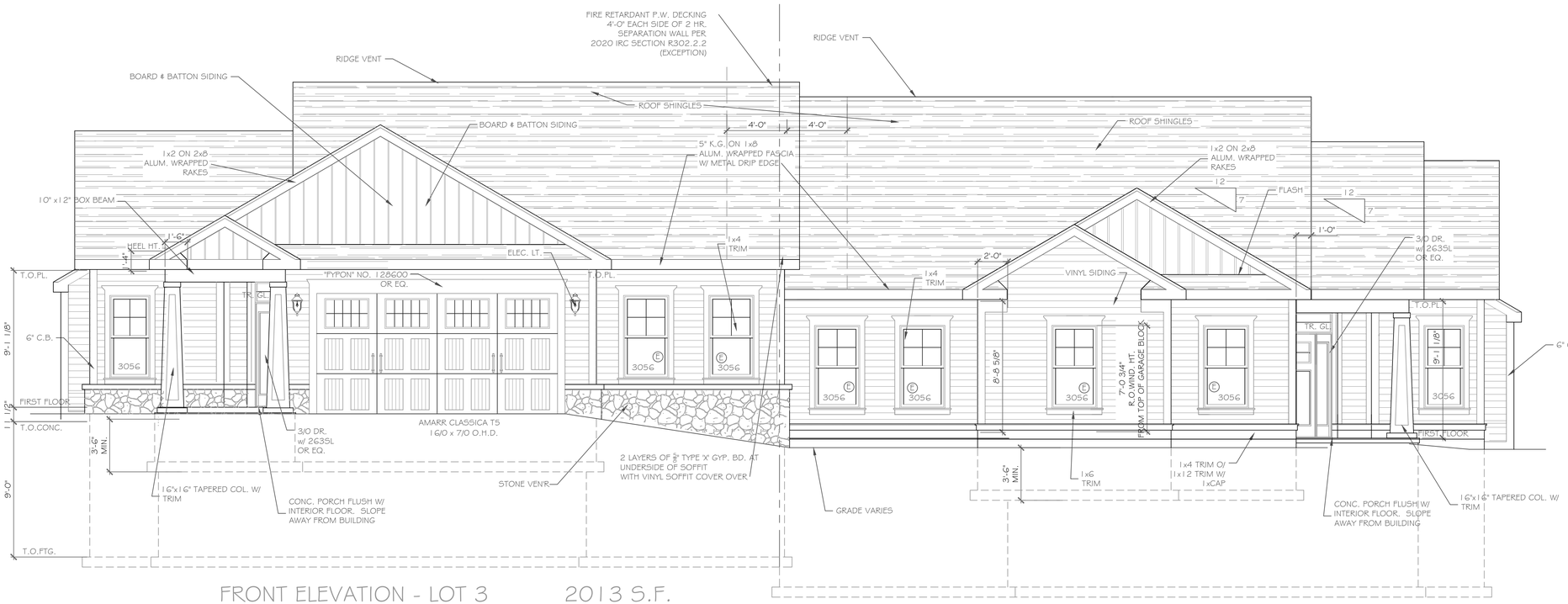
FRONT ELEVATION - LOT 2 2000 S.F.

Approved



FRONT ELEVATION - LOT 5 2000 S.F.

FRONT ELEVATION - LOT 6 1987 S.F.



FRONT ELEVATION - LOT 3 2013 S.F.

1/4"= 1'-0"

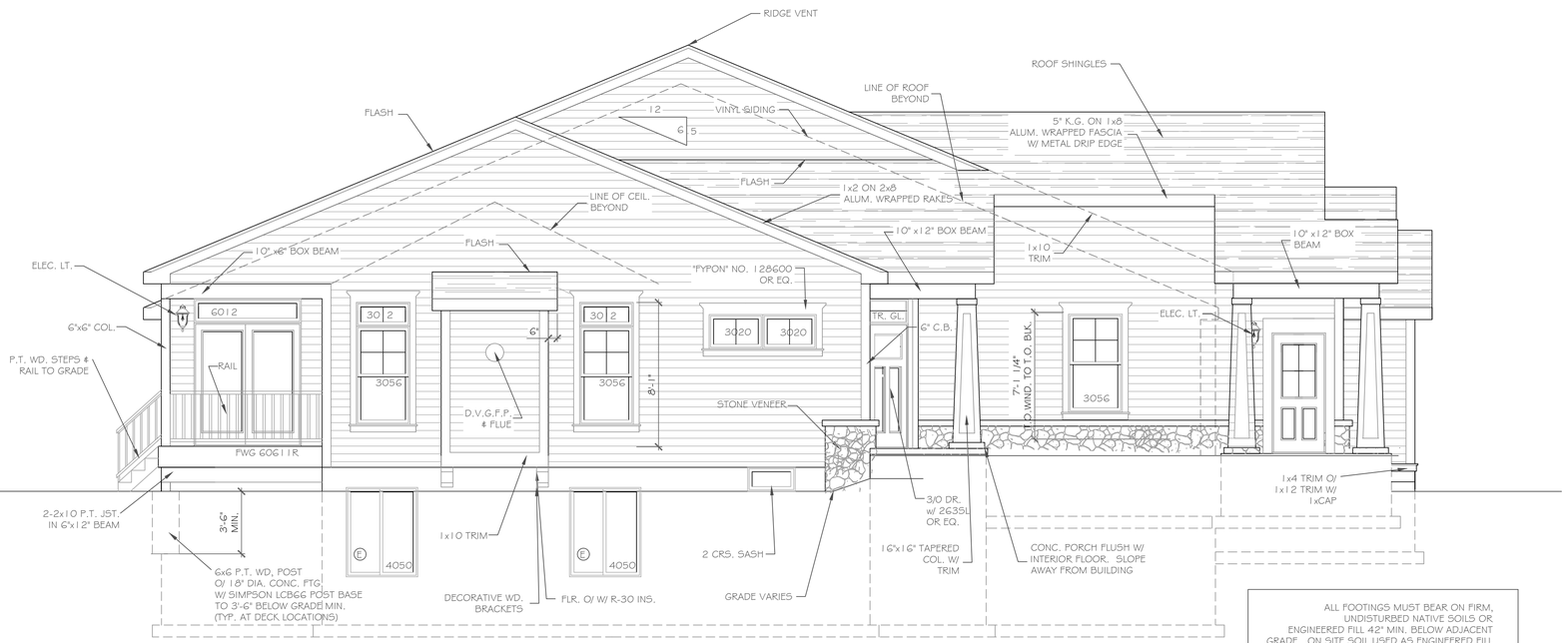
NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- E : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

FRONT ELEVATION - LOT 4 2000 S.F.

1/4"= 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- E : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 3

1/4"= 1'-0"

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations

PHASE- Construction Documents

PROJECT- Alpine Ridge - Units 3 & 4 Pittsford, New York

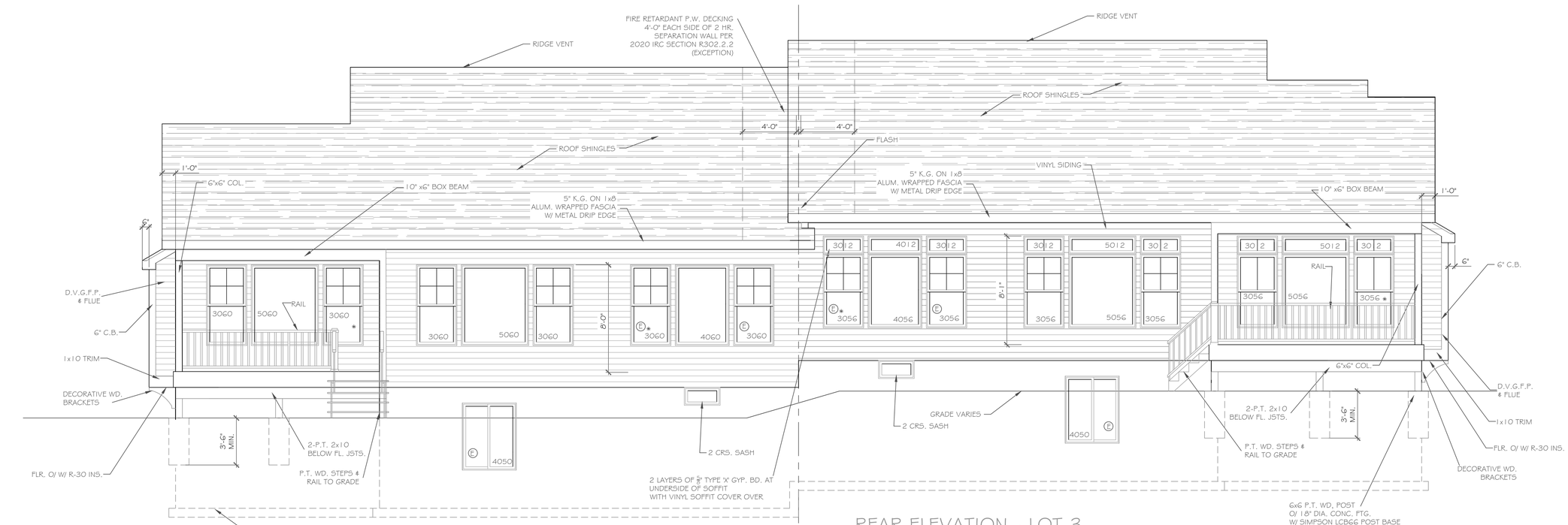
CLIENT- Morrell Builders

JOB NO.- A21-025

DATE- April 2021

CKH architecture
501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail- CKHarnessy@frontiernet.net

DRAWING NO.- A-1



REAR ELEVATION - LOT 3

1/4"= 1'-0"

HANDRAIL NOTES:
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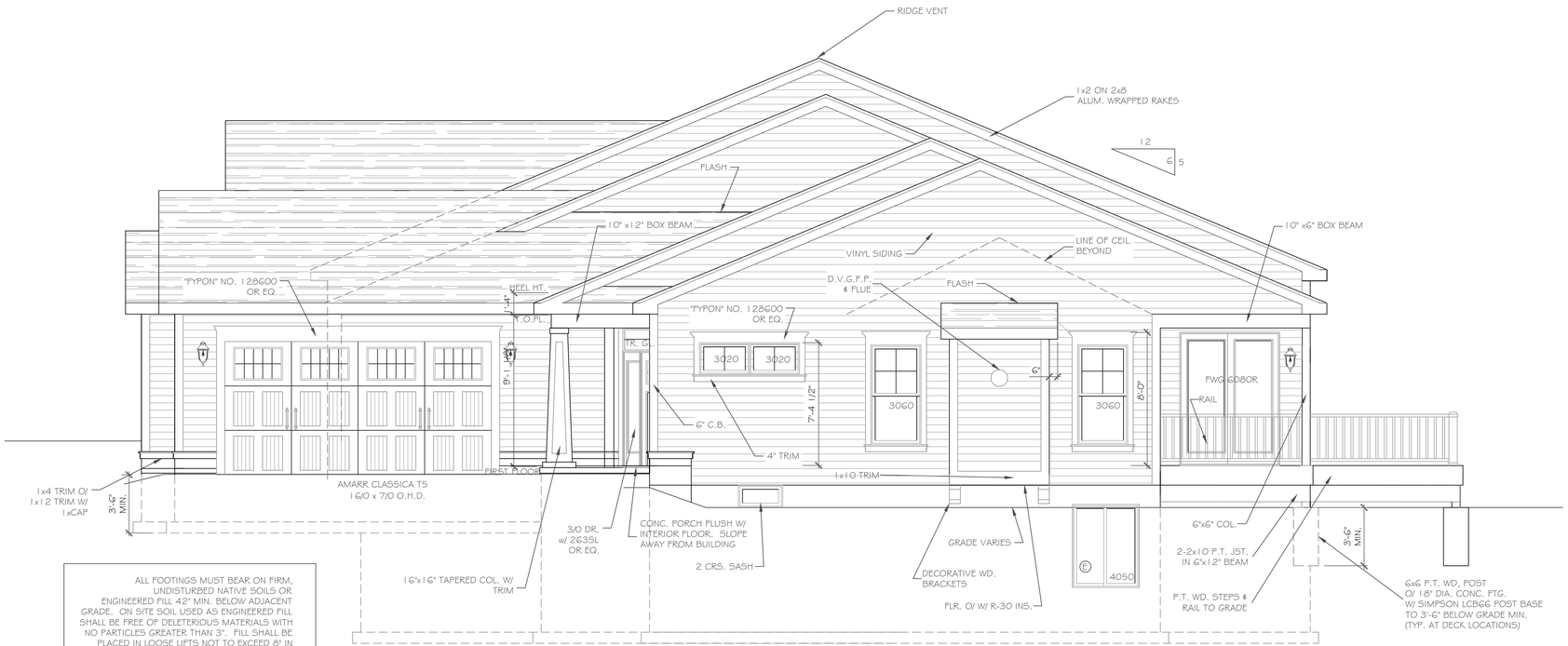
ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REAR ELEVATION - LOT 4

1/4"= 1'-0"



ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

RIGHT SIDE ELEVATION - LOT 4

1/4"= 1'-0"

HANDRAIL NOTES:
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-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE-
Elevations

PHASE-
Construction Documents

PROJECT-
Alpine Ridge - Units 3 & 4
Pittsford, New York

CLIENT-
Morrell Builders

DATE:
April 2021

JOB NO.-
A21-025

CKH architecture
150 Pittsford Victor Rd.
Suite 100
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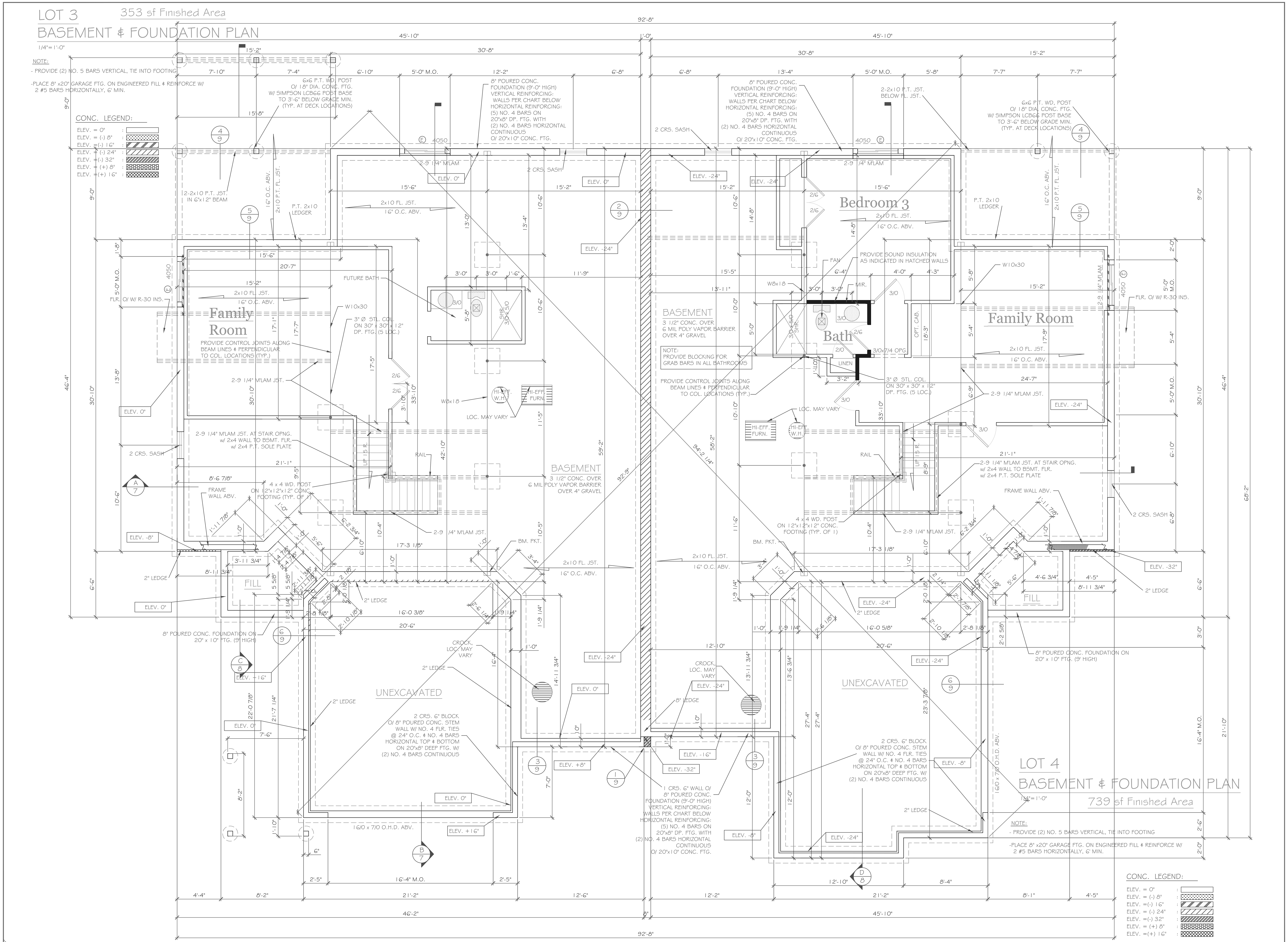
e-mail- CKHennessey@frontiernet.net

DRAWING NO.-
A-2


LOT 3
353 sf Finished Area
BASEMENT & FOUNDATION PLAN
1/4"=1'-0"
NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
-PLACE 8" x20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6' MIN.
CONC. LEGEND:
ELEV. = 0"
ELEV. = (-) 8"
ELEV. =(-) 16"
ELEV. = (-) 24"
ELEV. =(-) 32"
ELEV. = (+) 8"
ELEV. =(+) 16"
6x6 P.T. WD. POST O/ 18" DIA. CONC. FTG. W/ SIMPSON LCB66 POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)
8" POURED CONC. FOUNDATION (9'-0" HIGH) VERTICAL REINFORCING: WALLS PER CHART BELOW HORIZONTAL REINFORCING: (5) NO. 4 BARS ON 20"x8" DP. FTG. WITH (2) NO. 4 BARS HORIZONTAL CONTINUOUS O/ 20"x10" CONC. FTG.
2-2x10 P.T. JST. BELOW FL. JST.
2-2x10 P.T. JST. IN 6"x12" BEAM
P.T. 2x10 LEDGER
2 CRS. SASH
2-9 1/4" M'LAM
Family Room
Bedroom 3
Bath
FUTURE BATH
W10x30
W8x18
FLR. O/ W/ R-30 INS.
3" Ø STL. COL. ON 30" x 30" x 12" DP. FTG. (5 LOC.)
PROVIDE CONTROL JOINTS ALONG BEAM LINES & PERPENDICULAR TO COL. LOCATIONS (TYP.)
PROVIDE SOUND INSULATION AS INDICATED IN HATCHED WALLS
NOTE: PROVIDE BLOCKING FOR GRAB BARS IN ALL BATHROOMS
2-9 1/4" M'LAM JST.
2-9 1/4" M'LAM JST. AT STAIR OPNG. w/ 2x4 WALL TO BSMT. FLR. w/ 2x4 P.T. SOLE PLATE
HI-EFF. W.H.
HI-EFF. FURN.
LOC. MAY VARY
RAIL
4 x 4 WD. POST ON 12"x12"x12" CONC. FOOTING (TYP. OF 1)
FRAME WALL ABV.
BASEMENT
3 1/2" CONC. OVER 6 MIL POLY VAPOR BARRIER OVER 4" GRAVEL
2x10 FL. JST. 16" O.C. ABV.
BM. PKT.
FILL
2" LEDGE
8" POURED CONC. FOUNDATION ON 20" x 10" FTG. (9' HIGH)
CROCK. LOC. MAY VARY
UNEXCAVATED
2 CRS. 6" BLOCK O/ 8" POURED CONC. STEM WALL W/ NO. 4 FLR. TIES @ 24" O.C. & NO. 4 BARS HORIZONTAL TOP & BOTTOM ON 20"x8" DEEP FTG. W/ (2) NO. 4 BARS CONTINUOUS
1 CRS. 6" WALL O/ 8" POURED CONC. FOUNDATION (9'-0" HIGH) VERTICAL REINFORCING: WALLS PER CHART BELOW HORIZONTAL REINFORCING: (5) NO. 4 BARS ON 20"x8" DP. FTG. WITH (2) NO. 4 BARS HORIZONTAL CONTINUOUS O/ 20"x10" CONC. FTG.
16/0 x 7/0 O.H.D. ABV.
92'-8"
LOT 4
BASEMENT & FOUNDATION PLAN
1/4"=1'-0"
739 sf Finished Area

REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE-
Basement & Foundation Plan

PHASE-
Construction Documents

PROJECT-
Alpine Ridge - Units 3 & 4
Pittsford, New York

CLIENT-
Morrell Builders

DATE-
March 23, 2021

JOB NO.-
A21-025

CKH
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1501 Pittsford Victor Rd.
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phone-(585) 249-1334
e-mail- CKHennessey@frontiernet.net

DRAWING NO.-
A-3

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES-
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES-
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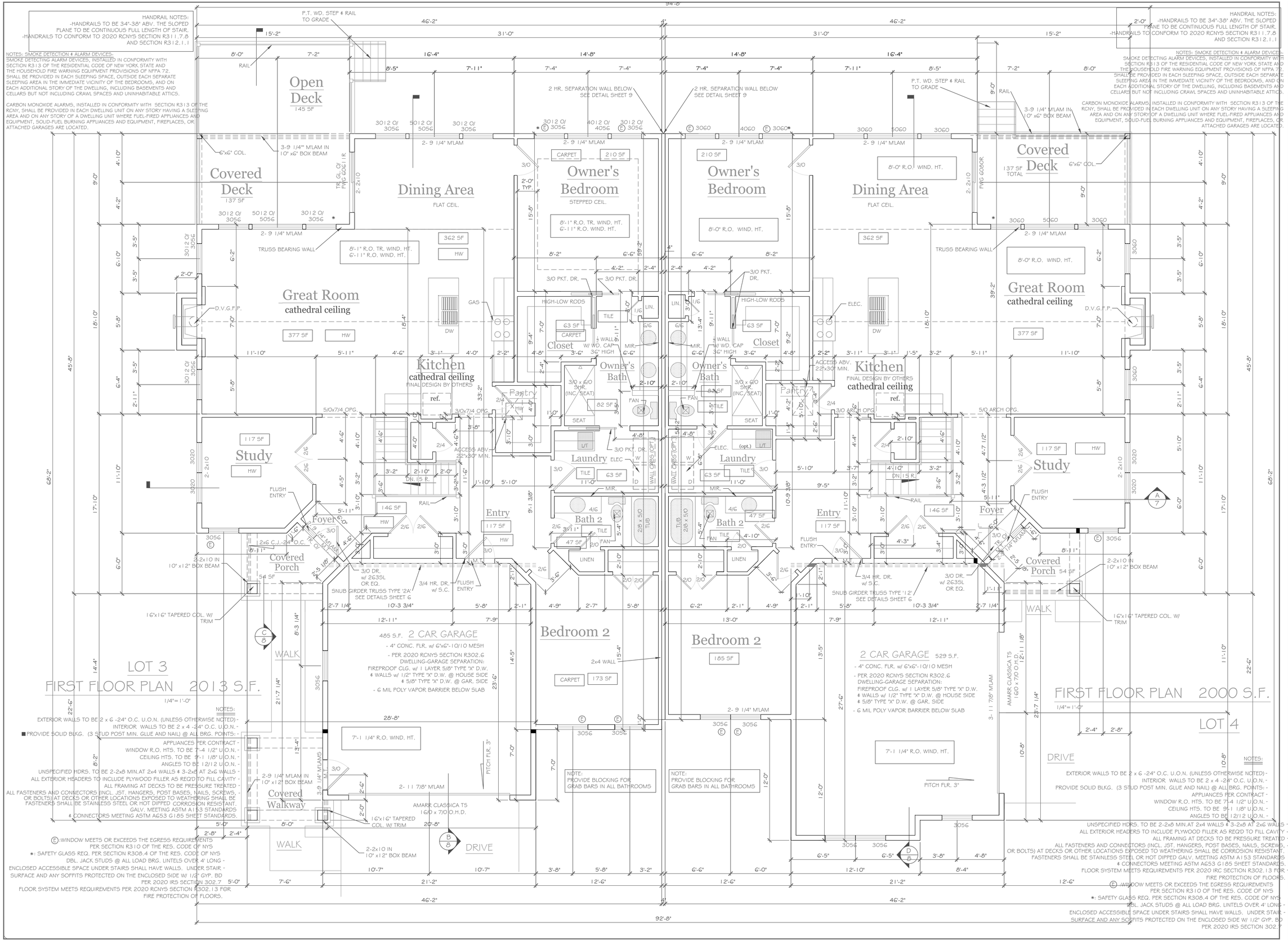


REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE: First Floor Plan

PHASE: Construction Documents

PROJECT: Alpine Ridge - Units 3 & 4
Pittsford, New York

CLIENT: Morrell Builders

DATE: April 2021

JOB NO.: A21-025

CKH architecture
501 Pittsford Victor Rd.
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail: CKHemissey@frontiernet.net

DRAWING NO.- A-4

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B21-000079

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 15 High Street PITTSFORD, NY 14534
Tax ID Number: 151.14-1-57.1
Zoning District: RN Residential Neighborhood
Owner: Imburgia, Samuel J
Applicant: LJ Sirianni Homes LLC

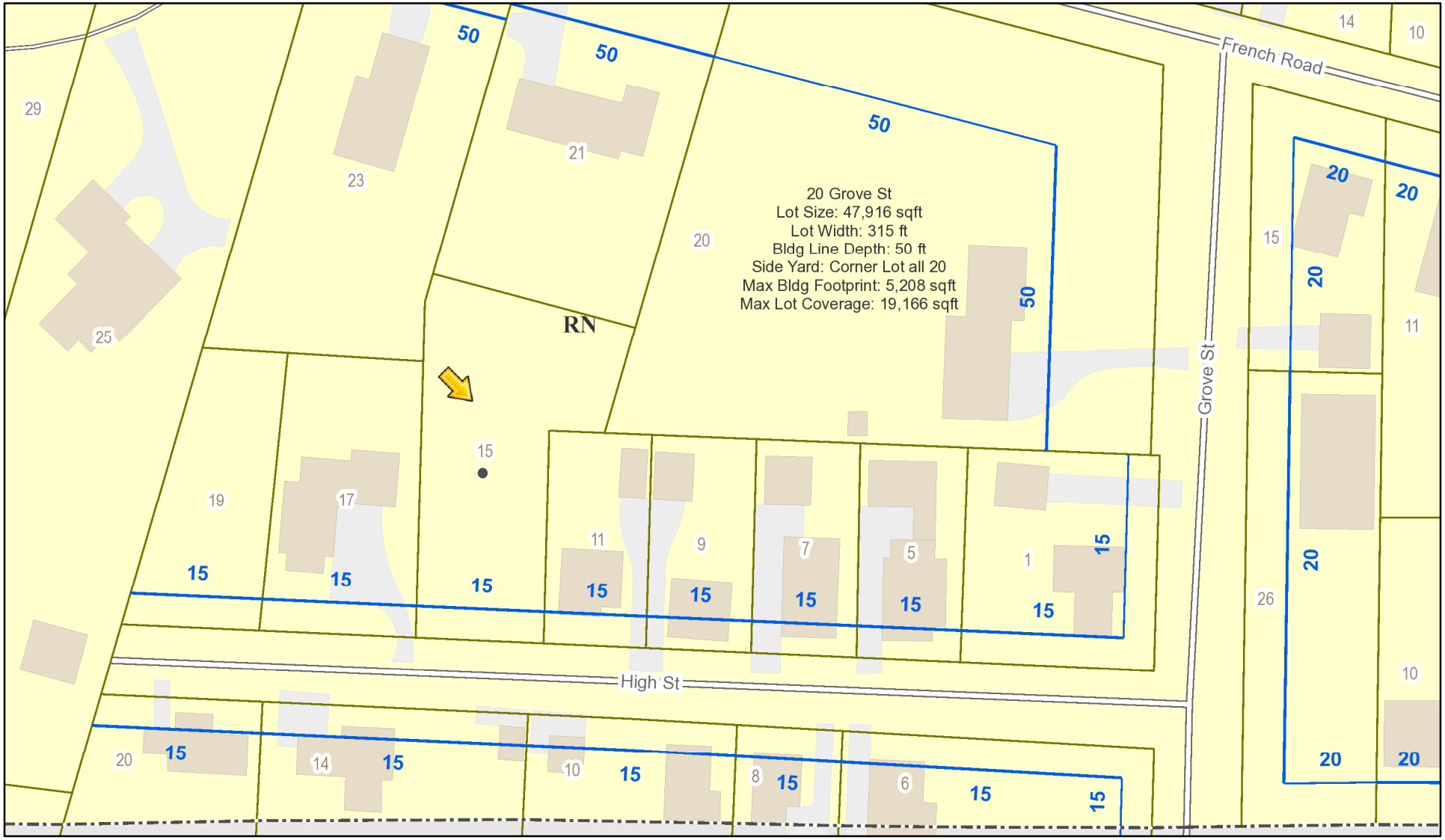
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a two story single family home. The first floor will be approximately 1110 square feet and the second floor will be 546 square feet. The home will be located on a vacant lot.

Meeting Date: April 22, 2021

RN Residential Neighborhood Zoning



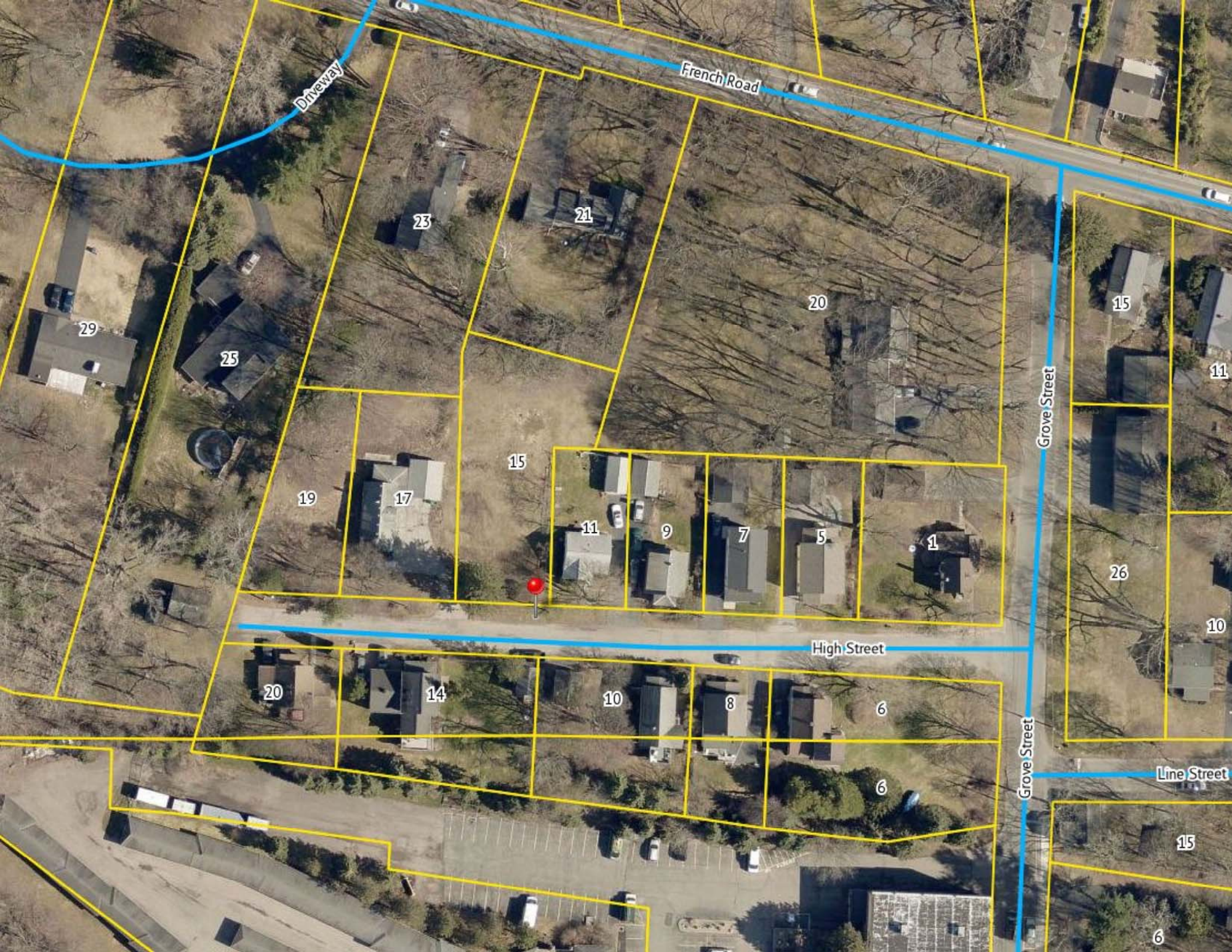
Printed April 15, 2021

1:1,128

0 45 90 180 ft

0 12.5 25 50 m

Town of Pittsford GIS


French Road
Driveway
Grove Street
High Street
Line Street
Grove Street
29
25
23
21
20
15
11
19
17
15
11
9
7
5
1
26
10
20
14
10
8
6
6
15
6

THE KNOLLBROOK

PLAN 1656M / PROJECT 15388 B

SHEET INDEX

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING,

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS; AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10^6 - 1.9 Fc^1 = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

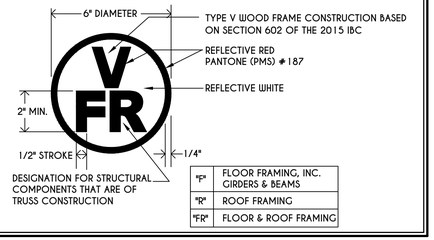
DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION

"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

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TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per minute=0.0004719 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS [a,b]

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

WINDOWS: VWD OR EQUAL
U-FACTOR 0.29
SHGC 0.56

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

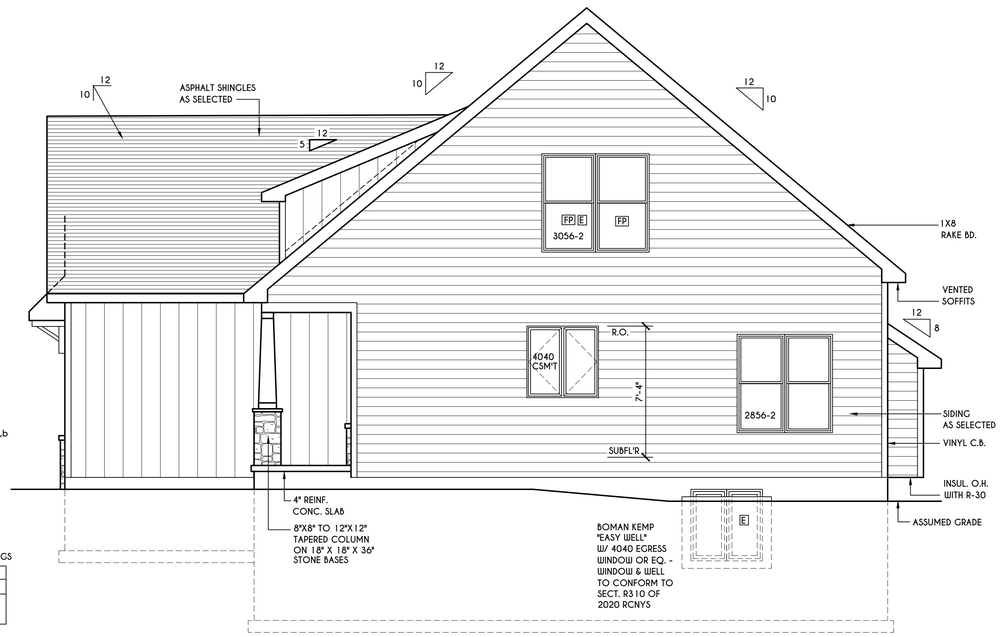
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

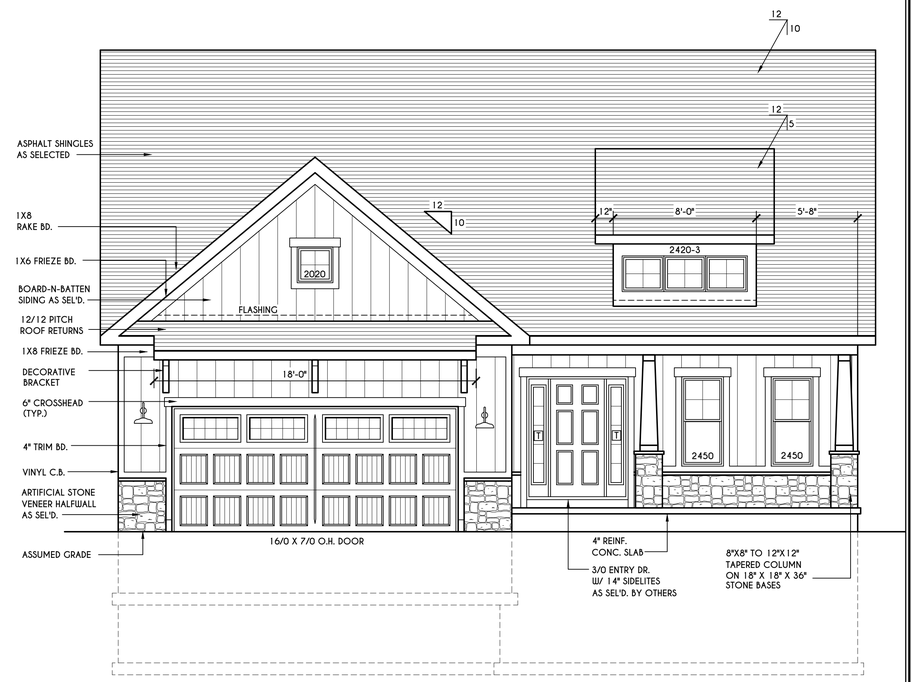
MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



RIGHT ELEVATION

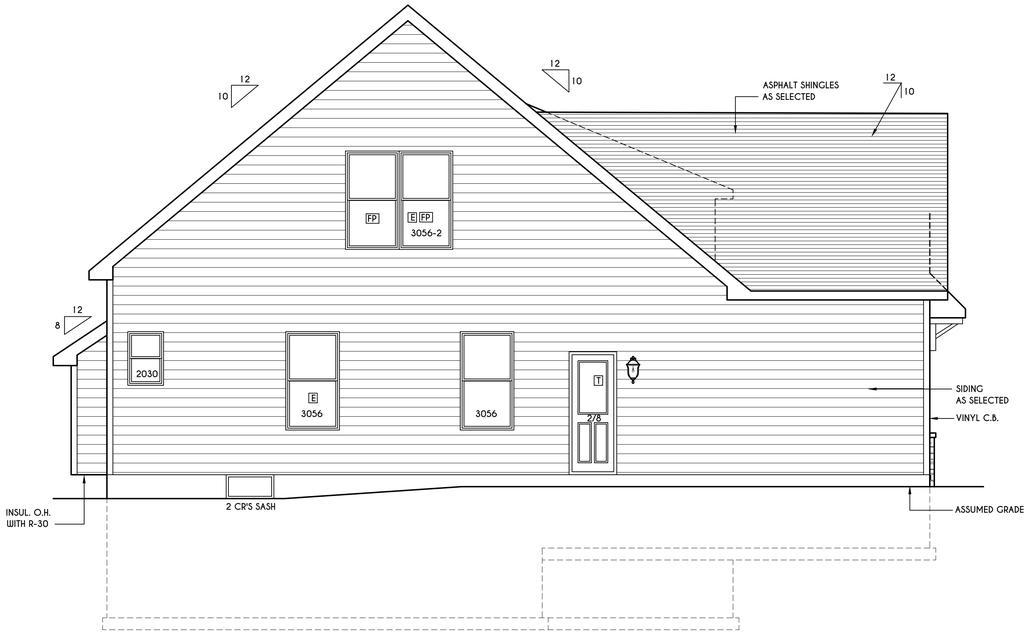
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

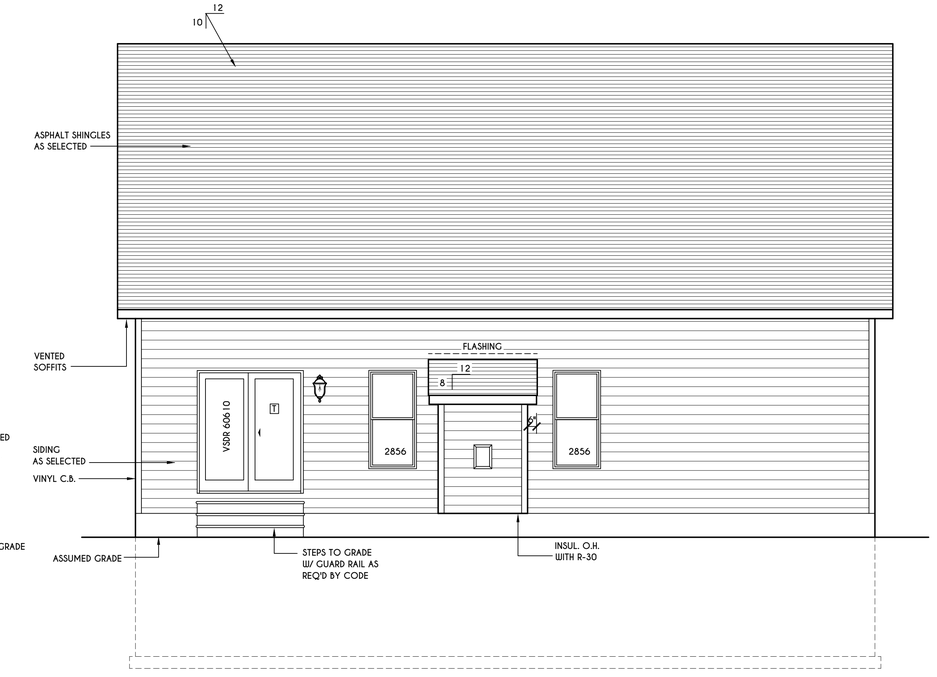
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1110 SQ.FT.
SECOND FLOOR LIVING AREA = 546 SQ.FT.
TOTAL LIVING AREA = 1656 SQ.FT.
TOTAL CONDITIONED VOLUME = 24,894 CU.FT.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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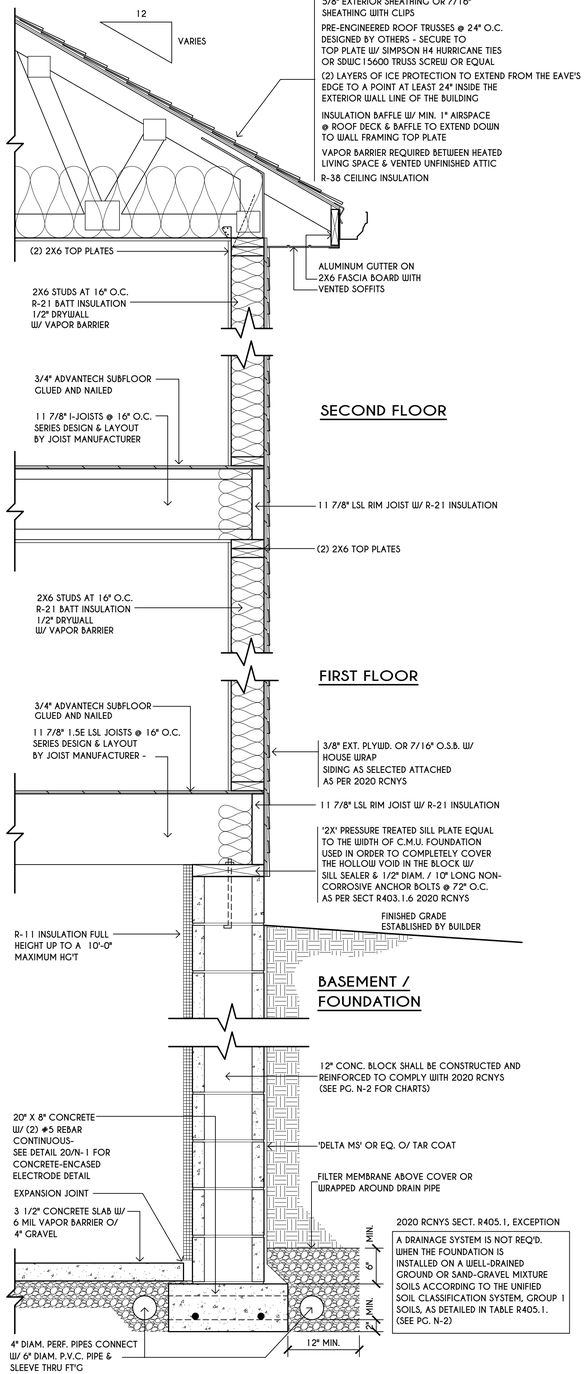
TRUSS EAVE CONSTRUCTION

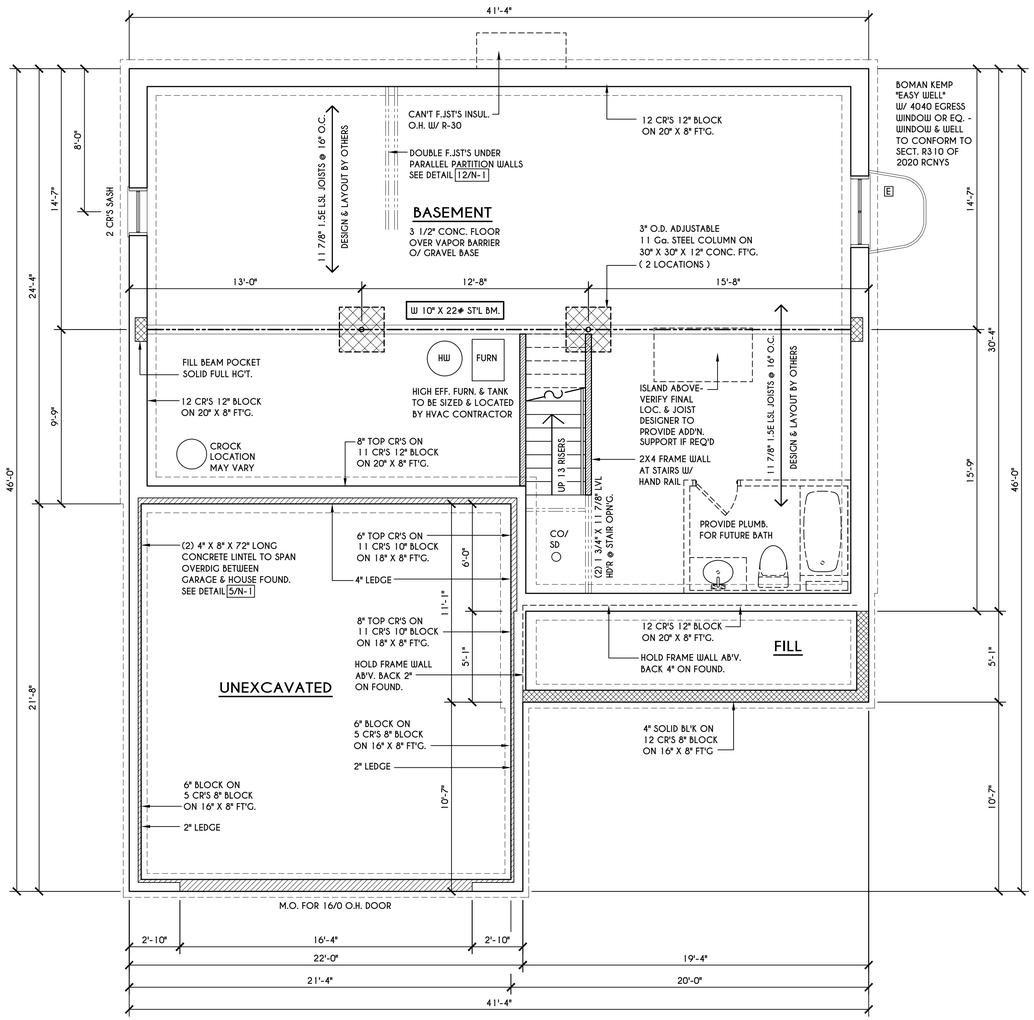


2020 RCNYS SECT. R405.1, EXCEPTION

A DRAINAGE SYSTEM IS NOT REQ'D. WHEN THE FOUNDATION IS INSTALLED ON A WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1. (SEE PG. N-2)

TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES:
- CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
- ALL WINDOW R.O. HGT'S TO BE 6'- 10 1/2" U.N.O.
- WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
- SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  PER SECT. R310.2.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:

ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

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FOUNDATION PLAN

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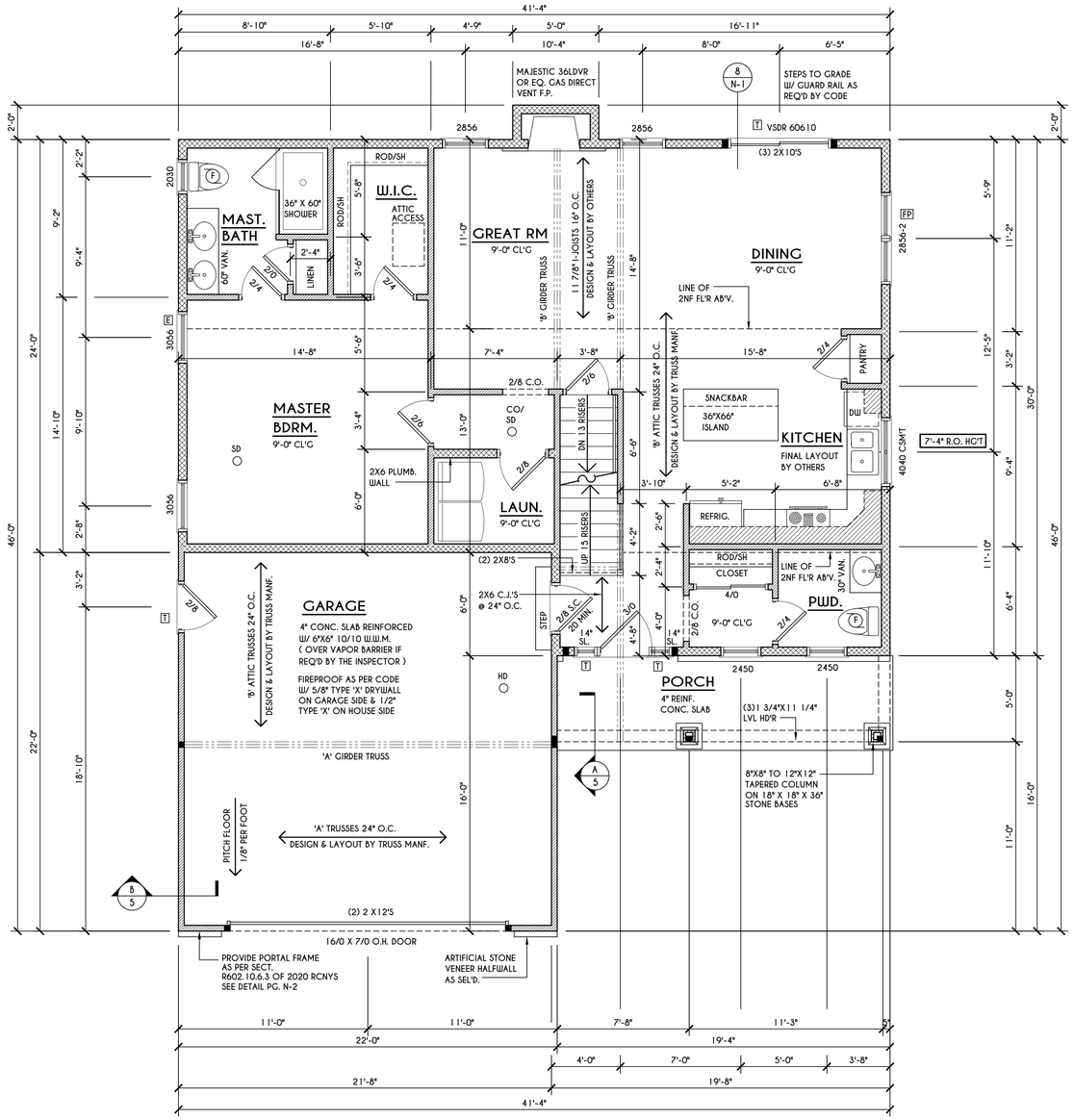

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FIRST FLOOR PLAN

1110 SQ. FT.

SCALE: 1/4" = 1'-0"

NOTES:

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
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FIRST FLOOR PLAN

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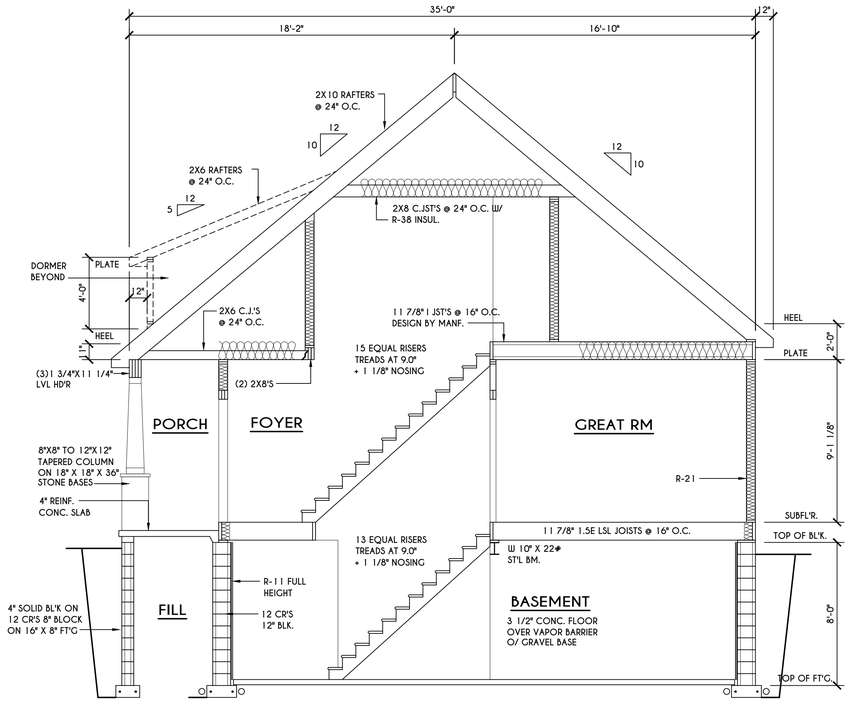
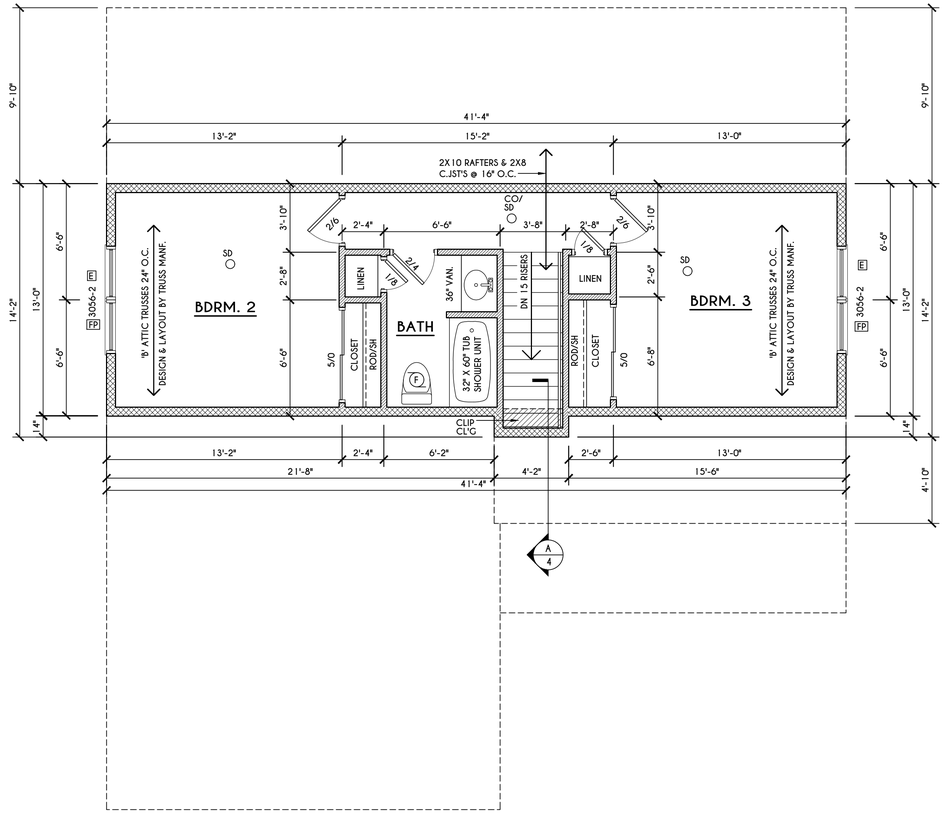


A/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"



FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

SECOND FLOOR PLAN

546 SQ.FT.

SCALE: 1/4" = 1'-0"

NOTES:
- SECOND FLOOR PLATE HG'T TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
- THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
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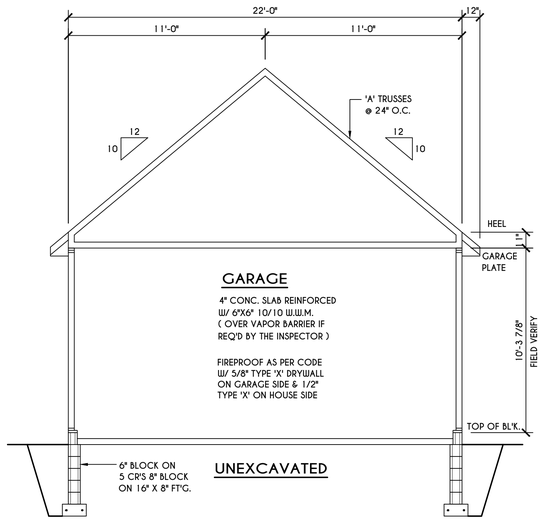
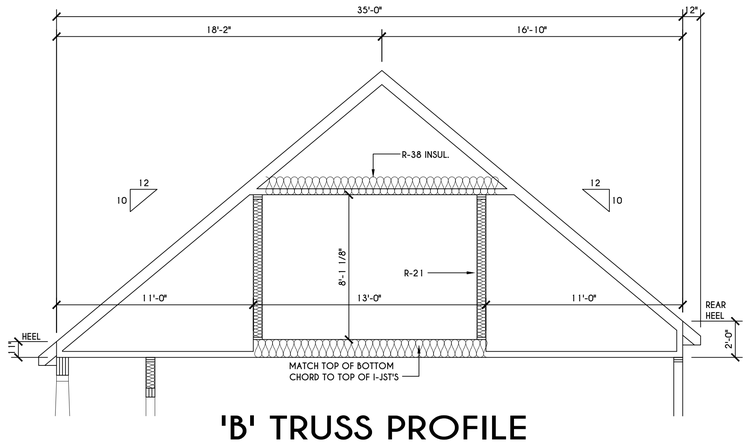


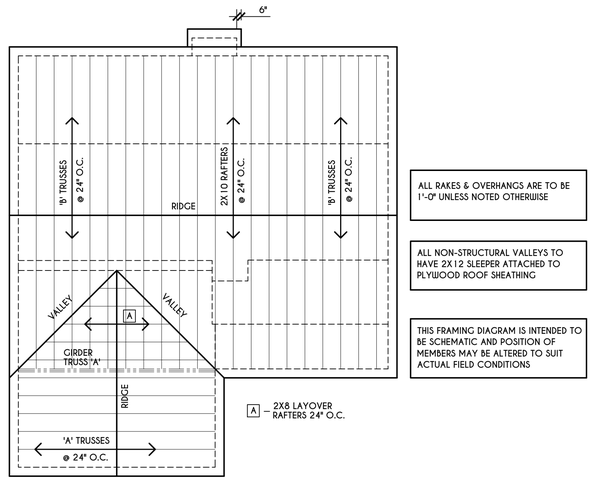
B/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"



'B' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

ROOF PLAN

SCALE: 1/8" = 1'-0"

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SECOND FLOOR PLAN

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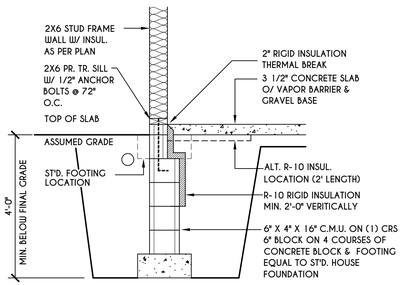
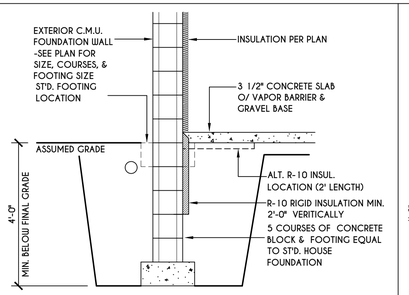
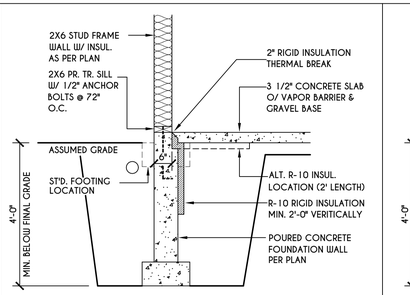


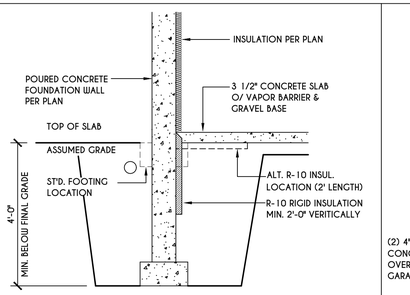
1 N-1 **2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



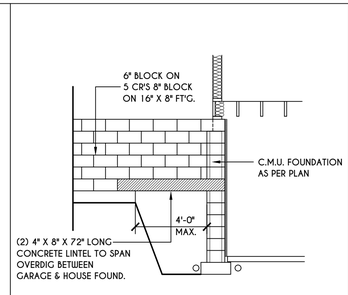
2 N-1 **C.M.U. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



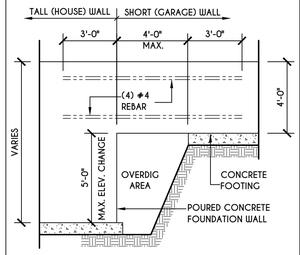
3 N-1 **2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



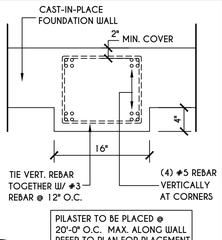
4 N-1 **POURED CONC. WALK OUT DETAIL**
SCALE: 1/2" = 1'-0"



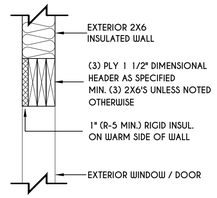
5 N-1 **C.M.U. JUMP FOOTING DETAIL**
SCALE: 1/4" = 1'-0"



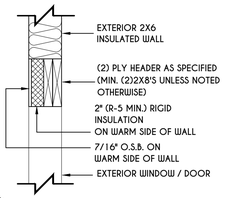
6 N-1 **POURED WALL JUMP FOOTING DETAIL**
SCALE: 1/4" = 1'-0"



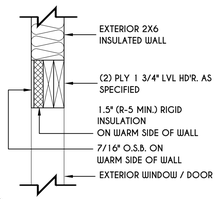
7 N-1 **POURED WALL PILASTER DETAIL**
SCALE: 1" = 1'-0"



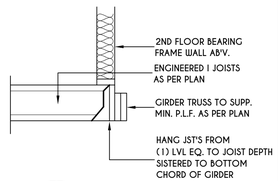
8 N-1 **EXTERIOR INSULATED 3 PLY HEADER DETAIL**
SCALE: 1" = 1'-0"



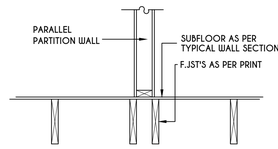
9 N-1 **EXTERIOR INSULATED 2 PLY HEADER DETAIL**
SCALE: 1" = 1'-0"



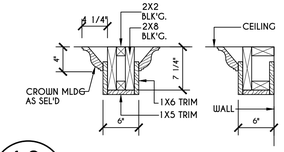
10 N-1 **EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL**
SCALE: 1" = 1'-0"



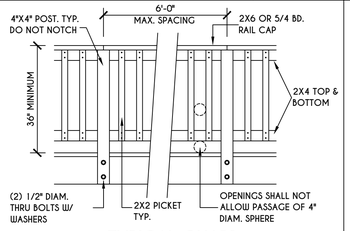
11 N-1 **I JST / GIRDER DETAIL**
SCALE: 1/2" = 1'-0"



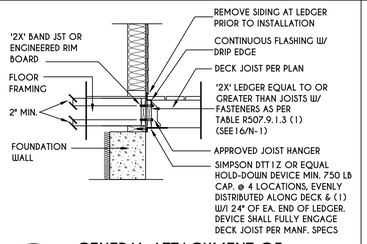
12 N-1 **DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL**
N.T.S.



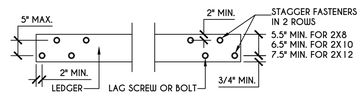
13 N-1 **COFFERED BEAM DETAIL**
N.T.S.



14 N-1 **TYPICAL GUARD RAIL DETAIL**
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15 N-1 **GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.**
SCALE: 1/2" = 1'-0"



16 N-1 **PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS**
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"- 10'	10'-1"- 12'	12'-1"- 14'	14'-1"- 16'	16'-1"- 18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

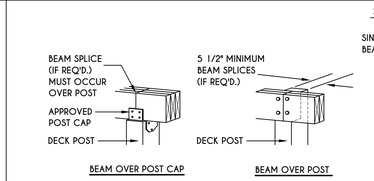
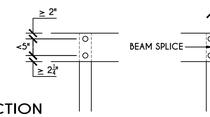


FIGURE R507.5.1 (1) 2020 RCNYS



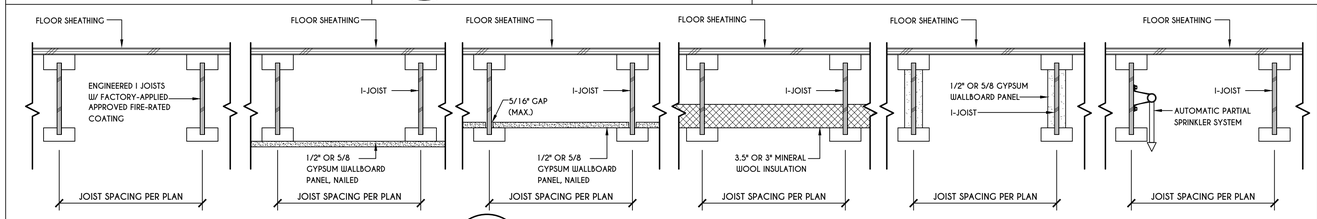
17 N-1 **DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION**
N.T.S.

FIGURE R507.5.1 (2) 2020 RCNYS

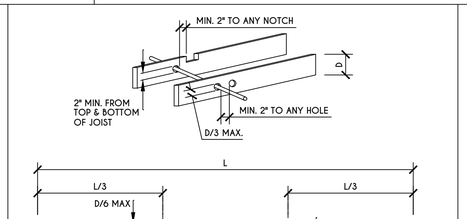
TABLE R507.4
DECK POST HEIGHT [a]

DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

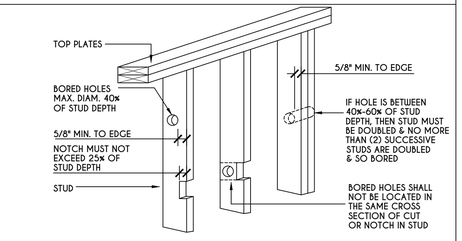
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



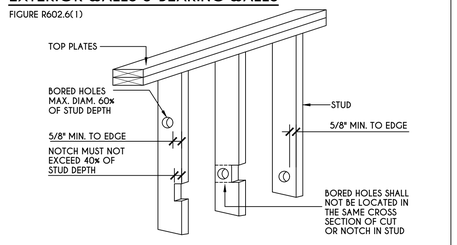
18 N-1 **I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY**
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



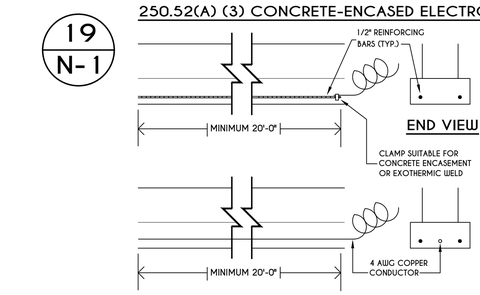
CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



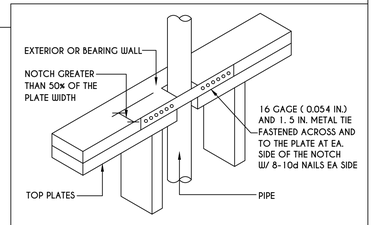
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)



19 N-1



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

Greater Living Architecture, P.C.
3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION
4/21	CSB	2020 RCNYS

CLIENT/LOCATION:

BUILDER:

DETAILS

GLA PLAN 1656M

drawn:	checked:
AMM	CDK
scale:	date:
AS NOTED	7/18
PROJECT:	sheet:
15388B	N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c]		
		SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE)		
		GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c ,f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c]		
		SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE)		
		GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c]		
		SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE)		
		GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT [g] (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)											
		SOIL CLASSES [a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH)											
		GW, GP, SW, AND SP 30				GM, GS, SM-SC AND ML 45				SC, MH, ML-CL AND INORGANIC CL 60			
		MIMIMUM WALL THICKNESS (INCHES)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR [l]	NR	NR	#4 @ 35"	NR [l]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR [l]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR [l]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR [l]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR [l]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR [l]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR [l]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR [l]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR [l]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48" [m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR [l]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR [l]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR [l]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR [l]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45" [m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR [l]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" [m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR [j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS [a]

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 [b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS

PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3

GLA Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA
TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262

www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION
4/21	CSB	2020 RCNYS

CLIENT/LOCATION:

BUILDER:

REINFORCING NOTES

GLA PLAN 1656M

drawn:	checked:
AMM	CDK
scale:	date:
AS NOTED	7/18
PROJECT:	sheet:
15388 B	N 2


9

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
CA21-000002

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3419 Clover Street PITTSFORD, NY 14534
Tax ID Number: 177.03-2-26.1
Zoning District: RN Residential Neighborhood
Owner: Dutko, Frank E
Applicant: Dutko, Frank E

Application Type:

- ☐ Residential Design Review §185-205 (B)
- ☐ Commercial Design Review §185-205 (B)
- ☐ Signage §185-205 (C)
- ☑ Certificate of Appropriateness §185-197
- ☐ Landmark Designation §185-195 (2)
- ☐ Informal Review
- ☐ Build to Line Adjustment §185-17 (B) (2)
- ☐ Building Height Above 30 Feet §185-17 (M)
- ☐ Corner Lot Orientation §185-17 (K) (3)
- ☐ Flag Lot Building Line Location §185-17 (L) (1) (c)
- ☐ Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN - Residential Neighborhood.

Meeting Date: April 22, 2021

TOWN OF PITTSFORD

Design Review & Historic Preservation Board
Application for Certificate of Appropriateness

Case # _____

1. Property Address: 3419 clover st.

2. Tax Account Number: 264689 177.03-2-26.1

3. Applicant's Name: Frank Dutko and Sandy Plumb
   Address: 3419 clover st (Street) Phone: _____
   Pittsford (City) NY (State) 14534 (Zip Code) E-mail: FED.WHO@GMAIL.com

4. Applicant's Interest in Property:
   Owner: ☒ Lessee: ☐ Holding Purchase Offer: ☐
   Other *(explain)*: _____

5. Owner *(if other than above)*: _____
   Address: _____ (Street) Phone: 585-820-3144
   _____ (City) (State) (Zip Code) E-mail: _____
   Has the Owner been contacted by the Applicant? Yes ☐ No ☐

6. Application prepared by: Frank Dutko
   Address: 3419 clover st (Street) Phone: 585-820-3144
   _____ (City) (State) (Zip Code) E-mail: FED.WHO@GMail.com

7. Project Design Professional *(if Available)*: N/A
   Address: _____ (Street) Phone: _____
   _____ (City) (State) (Zip Code) E-mail: _____

8. Project Contractor *(if Available)*: N/A

Address: _____ Phone: _____
Street

_____ E-mail: _____
City *State* *Zip Code*

9. Present use of Property: Residential

10. Zoning District of Property: Residential

11. Is the property located in a Town Designated Historic District?

Yes ☒ No ☐

12. Is the property listed on the National Registry of Historic Places?

Yes ☐ No ☒

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes ☐ No ☒

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

We would like to add an exterior porch to the back southwest area of the house. In addition, we would like to expand the second floor bedroom including a 12ft x 4ft balcony over the porch facing west. In the upstairs bathroom we would like to raise a 4 foot portion of the upstairs roof to create a shed dormer and window.

We will use the same style of siding as the existing house (white colonial smooth wood siding), by using the siding that will be removed from the back the house where the porch will be added. The porch and bedroom windows will be Anderson double-hung 200 series and the doors will be of the same series.

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

There is no proposed landscaping. We will be grading to the existing lawn.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application *(if available)*:

- [x] Parcel map
- [x] Photographs
- [ ] Other materials
- [x] Architectural elevations
- [x] Architectural plans

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Frank E Dutt Sandra Plumb — *Signature of applicant*

3/30/2021 — *Date*

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes ☐ No ☐

If Yes, owner's signature: _____

Picture 1

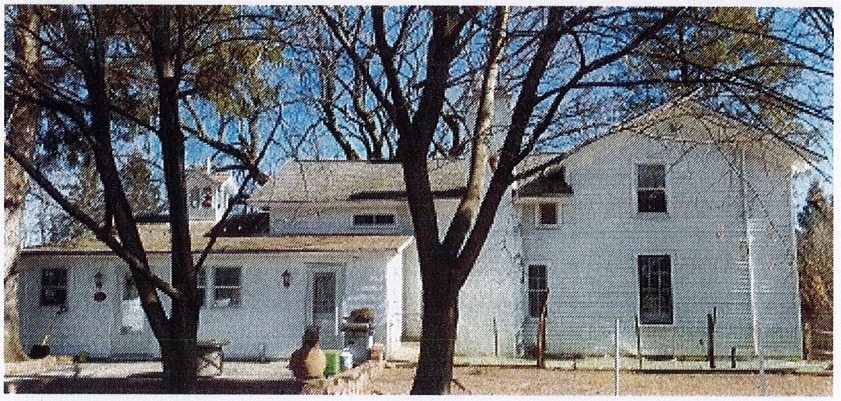
Front view of 3419 Clover St.

Taken from Clover St looking west

Picture 2

Side view of 3419 Clover St.

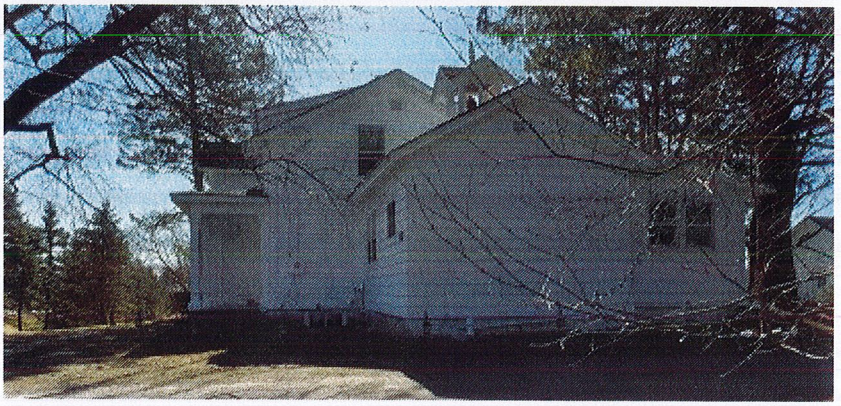
Taken from side yard looking north



Picture 3

Back view of 3419 Clover St.

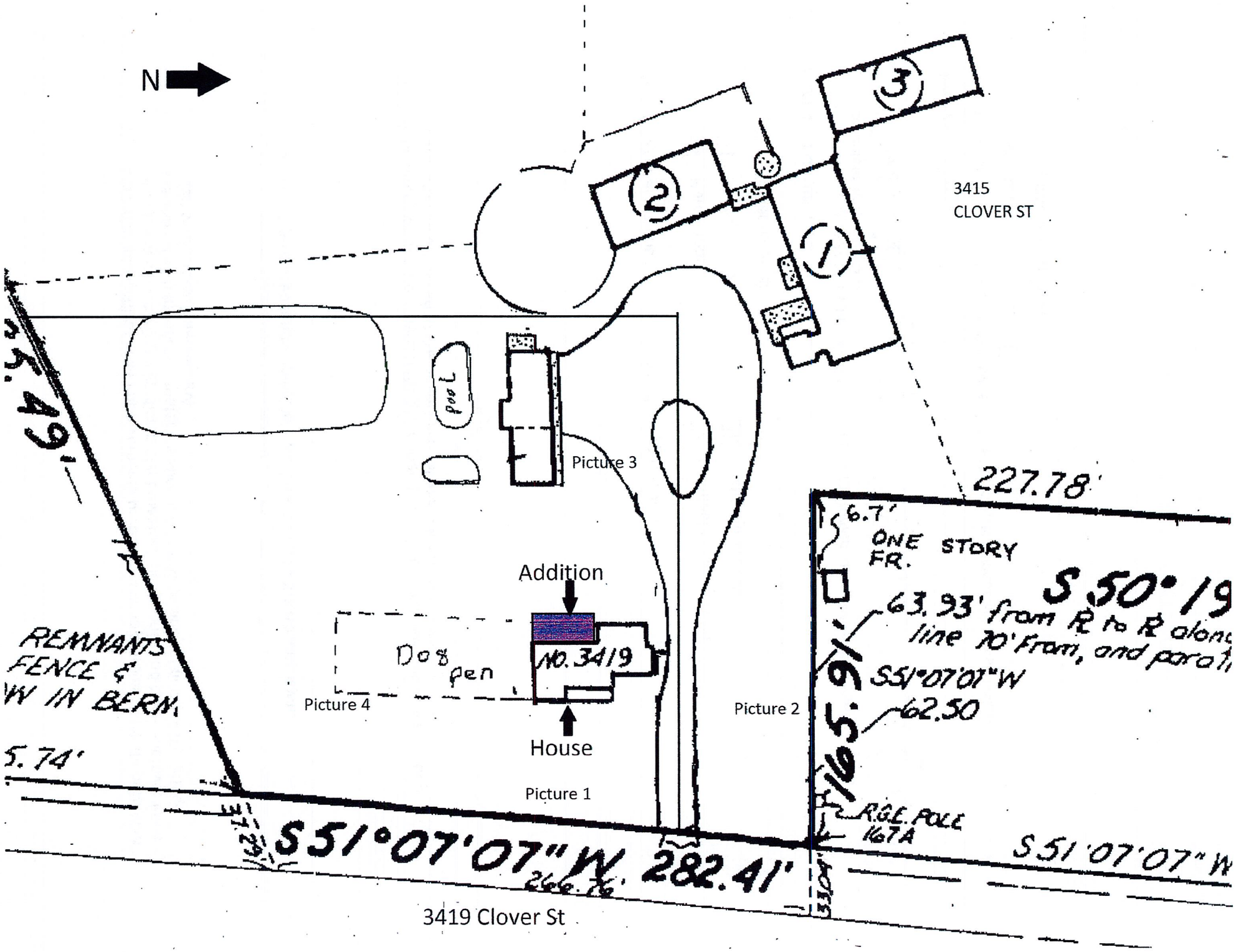
Taken from back yard looking east

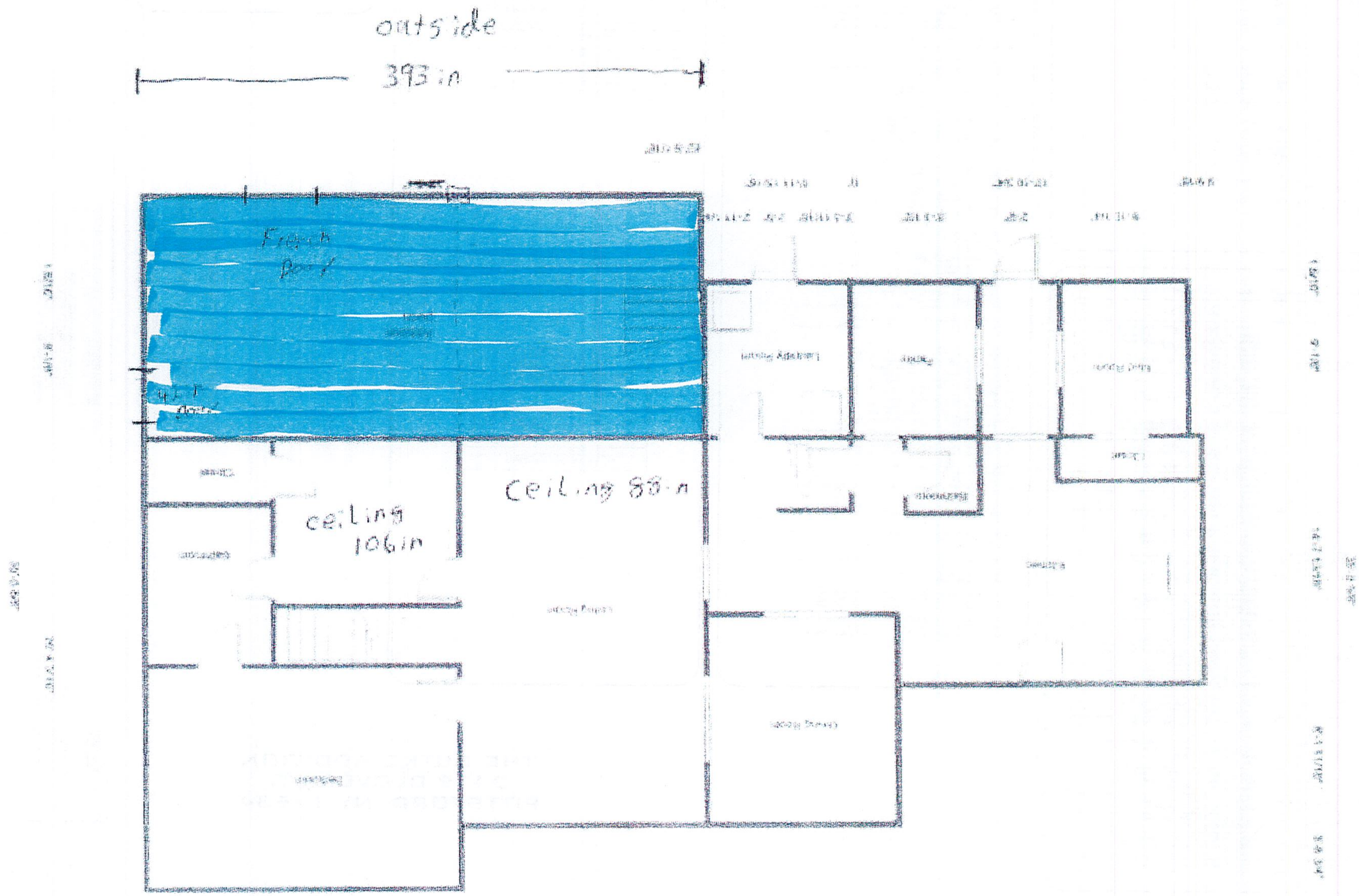


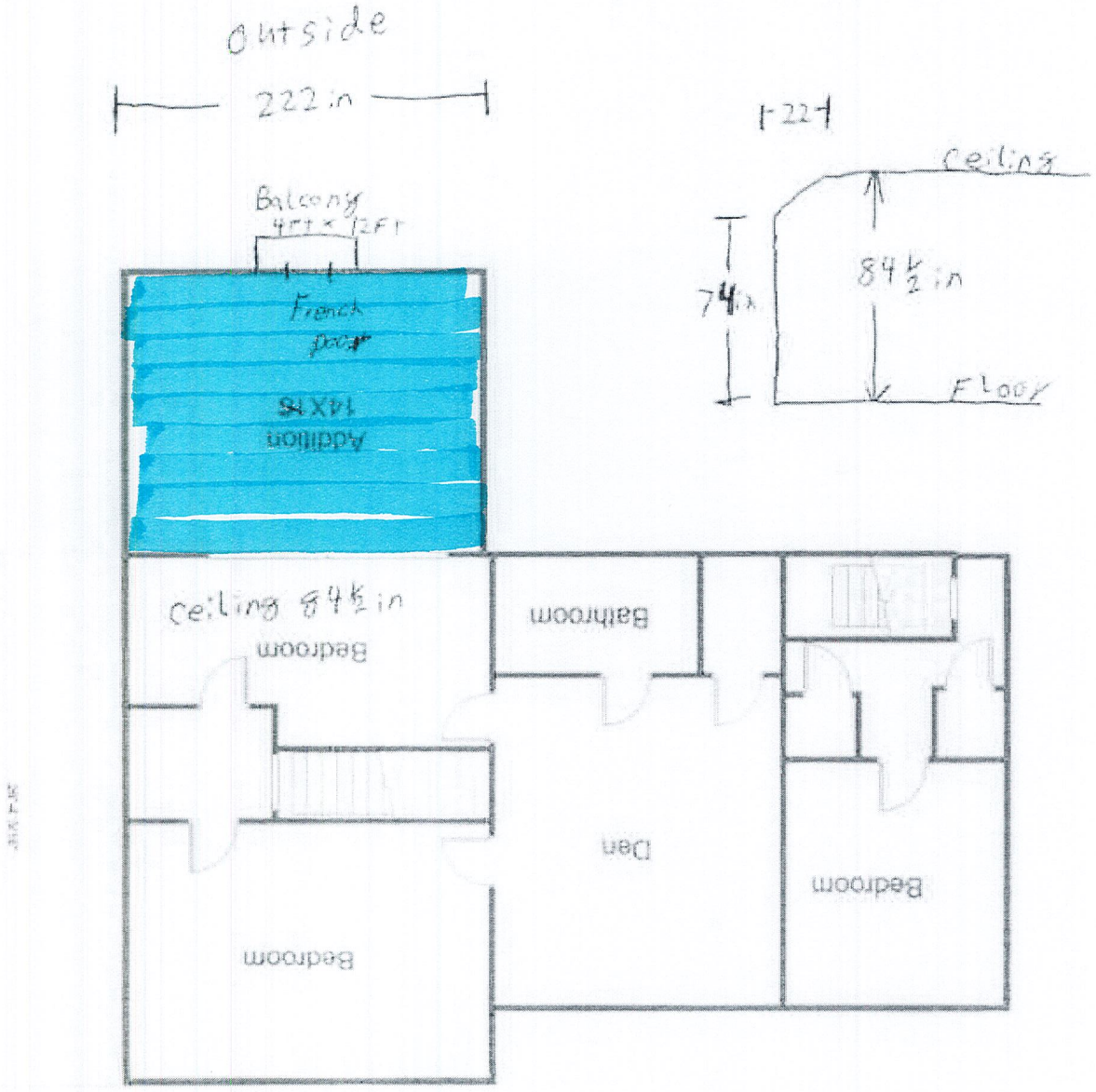
Picture 4

Front view of 3419 Clover St.

Taken from side yard looking south


N
3
2
1
3415
CLOVER ST
Pool
Picture 3
227.78'
6.7'
ONE STORY
FR.
Addition
Dog pen
NO. 3419
Picture 4
Picture 2
House
Picture 1
63.93' from R to R along
line 70' from, and para
S51°07'01"W
62.50
S.50°19
REMNANTS
FENCE &
W IN BERM
5.74'
S51°07'07"W 282.41'
266.76'
R.G.E. POLE
167A
S51°07'07"W
3419 Clover St


outside
393 in
Flat Roof
Ceiling 88 in
ceiling 106 in


outside
222 in
Balcony
4ft x 12ft
French door
Addition
14X8
ceiling 84½ in
Bedroom
Bathroom
Den
Bedroom
Bedroom
222
ceiling
84½ in
74 in
Floor

NEW YORK STATE ENERGY CODE NOTES:

THIS PROJECT IS DESIGNED TO COMPLY WITH THE PRESCRIPTIVE ENERGY CONSERVATION REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS NECESSARY AND IN A MANNER TO COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF THE 2015 (IECC) INTERNATIONAL RESIDENTIAL CODE.

CLIMATE ZONE 5 MINIMUM = MAXIMUM U VALUES

FENESTRATION	MAX U VALUE = 0.35
SKYLIGHTS	MAX U VALUE = 0.60
CEILING	MIN R VALUE = 49
WOOD FRAME WALLS	MIN R VALUE = 20
FLOOR	MIN R VALUE = 30
BASEMENT WALLS	MIN R VALUE = 10 (CONTINUOUS)

A) A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS.

B) RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.

C) CONTRACTOR SHALL PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM

D) ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED.

E) ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.

F) ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R VALUE AS THE ATTIC, WEATHERSTRIPPED AND LATCHED

G) AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE VERIFIED BY VISUAL INSPECTION

TABLE N1102.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER.
	BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED.
	AIR–PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL.
	AIR–PERMEABLE INSULATION IS INSIDE OF AN AIR BARRIER
CEILING/ ATTIC	AIR BARRIER IN ANY DROPPED CEILING/ SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
	ATTIC ACCESS (EXCEPT UNVENTED ATTIC), KNEE WALL DOOR, OR DROP DOWN STAIR IS SEALED. CORNERS AND HEADERS ARE INSULATED.
WALLS	JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED.
WINDOWS AND DOORS	SPACE BETWEEN WINDOW/ DOOR JAMBS AND FRAMING IS SEALED.
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER.
FLOORS (INCLUDING ABOVE–GARAGE AND CANTILEVERED FLOORS)	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING.
	AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
CRAWLSPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS.
	EXPOSED EARTH IN UNVENTED CRAWLSPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
SHAFTS, PENETRATIONS	UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT, OR NARROW CAVITIES ARE FILLED BY SPRAYED/ BLOWN INSULATION.
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO DRYWALL EXEPTION – FIXTURES IN CONDITIONED SPACE.
PLUMBING & WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES.
	BATT INSULATION IS CUT TO FIT AROUND WIRING AND PLUMBING, OR SPRAYED/ BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING.
SHOWER/ TUB ON EXTERIOR WALLS	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ELECTRICAL/ PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED–TYPE BOXES ARE INSTALLED.
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER.

GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE (IRC) 2015 & THE 2015 (IECC) INTERNATIONAL ENERGY CONSERVATION CODE & NYS SUPPLEMENTS.

1. BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL COMPLY TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH MATERIAL ORDERING OR WORK.

2. WOOD ROOF TRUSSES SHALL BE PROVIDED BY TRUSS MANUFACTURER. MANUFACTURER SHALL PROVIDE SHOP DRAWING BEARING TRUSS SEAL OF A LICENSED ENGINEER. CONTRACTOR SHALL REVIEW SHOP DRAWING AND NOTIFY ARCHITECT OF ANY DISCREPENCIES PRIOR TO ORDERING MATERIAL

3. NOTED DIMENSIONING TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS TO FACE OF STUD.

4. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND LIGHTING BUILDING SYSTEMS ARE THE RESPONSIBILITY OF OTHERS.

5. BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 PSF, AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS

6. ALL WOOD STRUCTURAL MATERIALS:

A.) CONCRETE: MIN. COMPRESSIVE STRENGTH @ 28 DAYS = 3000 PSI
B.) STRUCTURAL STEEL TO BE ASTM - A36
C.) WOOD JOISTS, BEAMS, HEADERS AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) FOR REPETITIVE MEMBER USE OF 1,150 PSI (HEM FIR #2 OR BETTER.)

7. GLAZING IN DOORS, STORM DOORS, SIDE LIGHTS, SHOWER SPACES AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE RESIDENTIAL BUILDING CODE AND SHALL BE IDENTIFIED AS SUCH AND IN COMPLIANCE WITH SECTION R308.1. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS.)

8. DESIGN CRITERIA:
A.) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
B.) SLEEPING ROOMS = 30 PSF LIVE LOAD
C.) GROUND SNOW LOAD = 40 PSF
D.) WIND SPEED = 90 MPH, EXPOSURE B
E.) SEISMIC DESIGN CATEGORY - B
F.) WEATHERING SEVERE
G.) FROST LINE DEPTH 42" MIN.
H.) ROOF TIE DOWN REQUIREMENTS: R802.11 (BASED UPON SPECIFIC ROOF DESIGN)
I.) ENERGY COMPLIANCE DETAILS AND PATH - R1101.2.3
J.) FLOOD HAZARD FIRM - 1992
K.) ROOF TOP CHORD 35 PSF LL MIN. BOTTOM CHORD 10 PSF D.L. (L/240)

9. FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED NATURAL SOIL FREE FROM FROST, ORGANIC OR LOOSE MATERIAL OR EXCESSIVE WATER.

10. DRAWING ALTERATION:
THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 145, SECTION 7209 AND APPLIES TO THESE DRAWINGS: "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

12. TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE AND IECC 2015

13. PROVIDE CAULKING, WEATHERSTRIPPING AS REQ. (COLOR MATCH SURROUNDING SURFACE.)

14. WOOD IN CONTACT W/ MASONRY OR CONC. SHALL BE PRESSURE TREATED SOUTHERN PINE OR EQUAL

15. ALL CONNECTION AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. COATED FOR SUCH APPLICATIONS

16. WHERE EXISTING WINDOWS OR DOORS ARE REMOVED, INFILL CONSTRUCTION SHALL BE FULLY INSULATED WITH INSULATION HAVING A MIN. R VALUE OF R-3 PER INCH.

17. MAX. ALLOWABLE U FACTOR FOR NEW DOORS & WINDOWS (FENESTRATION) SHALL BE 0.32 AS REQUIRED BY TABLE N1102.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. PROVIDE DOCUMENTATION SHOWING COMPLIANCE TO THE N.Y.S.E.C.C. PRIOR TO INSULATION.

18. WHERE FOAM INSULATION IS USED, A LETTER FROM THE FOAM INSULATION INSTALLER WILL BE REQUIRED TO CERTIFY THE INSTALLED DEPTH OF INSULATION AND EQUIVALENT R VALUE. THE LETTER MUST BE ON INSTALLERS LETTERHEAD.

19. PROVIDE HEADERS OVER ALL FRAMED OPENINGS PER SCHEDULE INCLUDING WINDOW & DOOR OPENINGS. MIN. HEADER SIZE AND NUMBER OF JACK STUDS SHALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

20. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS AND PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEY PENETRATIONS, UNDER AND AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, AND WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACHED TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION. FLASHINGS SHALL BE PROVIDED AS REQUIRED TO COMPLY WITH ALL OF SECTION R703.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

21. ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND CHAPTER 9 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

24. PROVIDE 6 MIL POLYETHELINE VAPOR BARRIER UNDER CRAWLSPACE SLAB.

25. PROVIDE HOUSE WRAP OVER ALL SHEATHING AND STRICTLY COMPLY WITH MANUFACTURERS INSTRUCTIONS FOR PROPER DRAINAGE, TAPEING, AND ATTACHMENT, ESPECIALLY AT DOORS & WINDOWS.

27. PROVIDE AND/OR MAINTAIN CONTINUOUS PERIMETER DRAINAGE SYSTEM THROUGH GRADE AND SUMP PUMP IF REQUIRED.

28. CORNER JOISTS UNDER ALL PARALLEL PARTITIONS.

29. CONTRACTOR SHALL REVIEW DRAWINGS AND PROVIDE ALL NECESSARY BRACING & SUPPORT UNDER ALL HEADERS & BEAMS TO MAINTAIN A CONTINUOUS LOAD PATH TO FOUNDATION

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENING	EXT. WALL	INT. WALL
UP TO 5'-0"	(2) 2X8	(2) 2X8
6'-0"	(2) 2X 10	(2) 2X10
7'-0"	(3) 2X 10	(2) 2X10
8'-0"	(3) 2X 12	(2) 2X12

PROVIDE 2 JACK STUDS AT HEADERS FOR OPENINGS 6'-0" AND OVER

INSTALL CONT. 1/2" PLYWOOD SPACER (S) AT ALL HEADERS AS REQUIRED TO MATCH WALL WIDTH

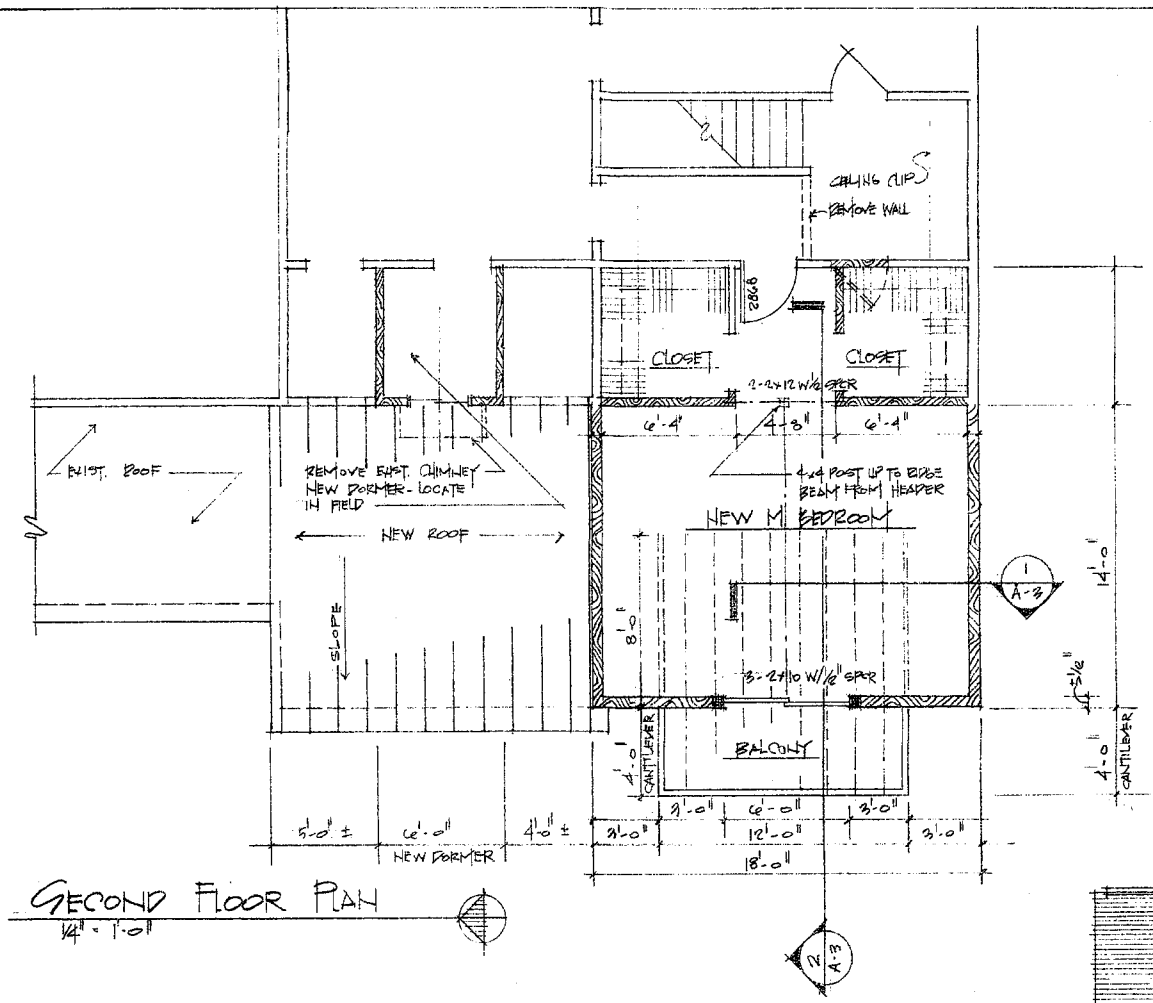
DRAWING INDEX:

THE DUTKO ADDITION
3419 CLOVER ST.
PITTSFORD, NY 14534

ARCHITECT:
DAVID A. WALDAREK, RA
1128 OHSTROM PARK
WEBSTER, N.Y. 14580
(585) 329-5123

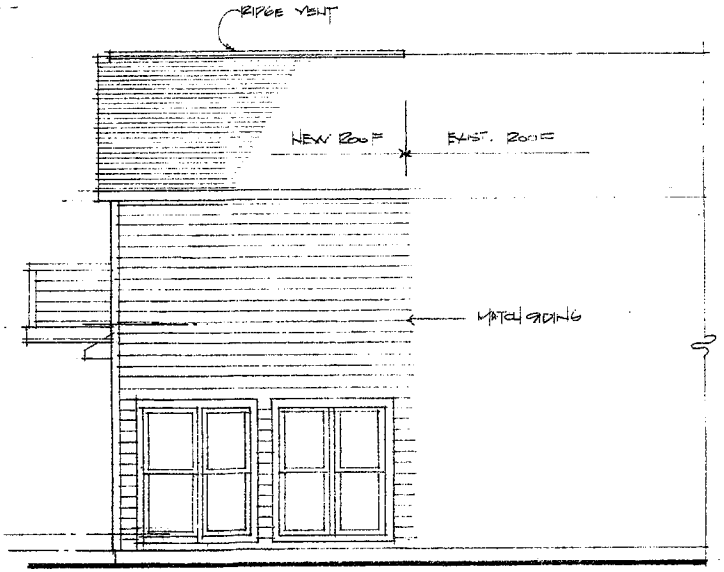
PROJECT:
DUTKO ADDITION
3419 CLOVER ST.
PITTSFORD, NY 14534

T-1



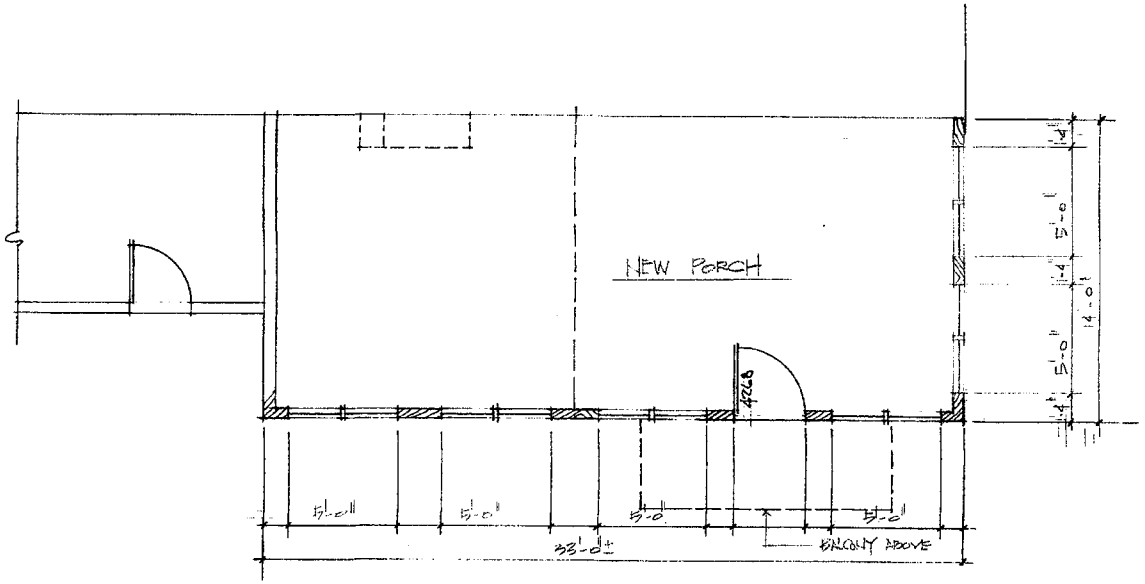
SECOND FLOOR PLAN

1/4" = 1'-0"



SOUTH ELEVATION

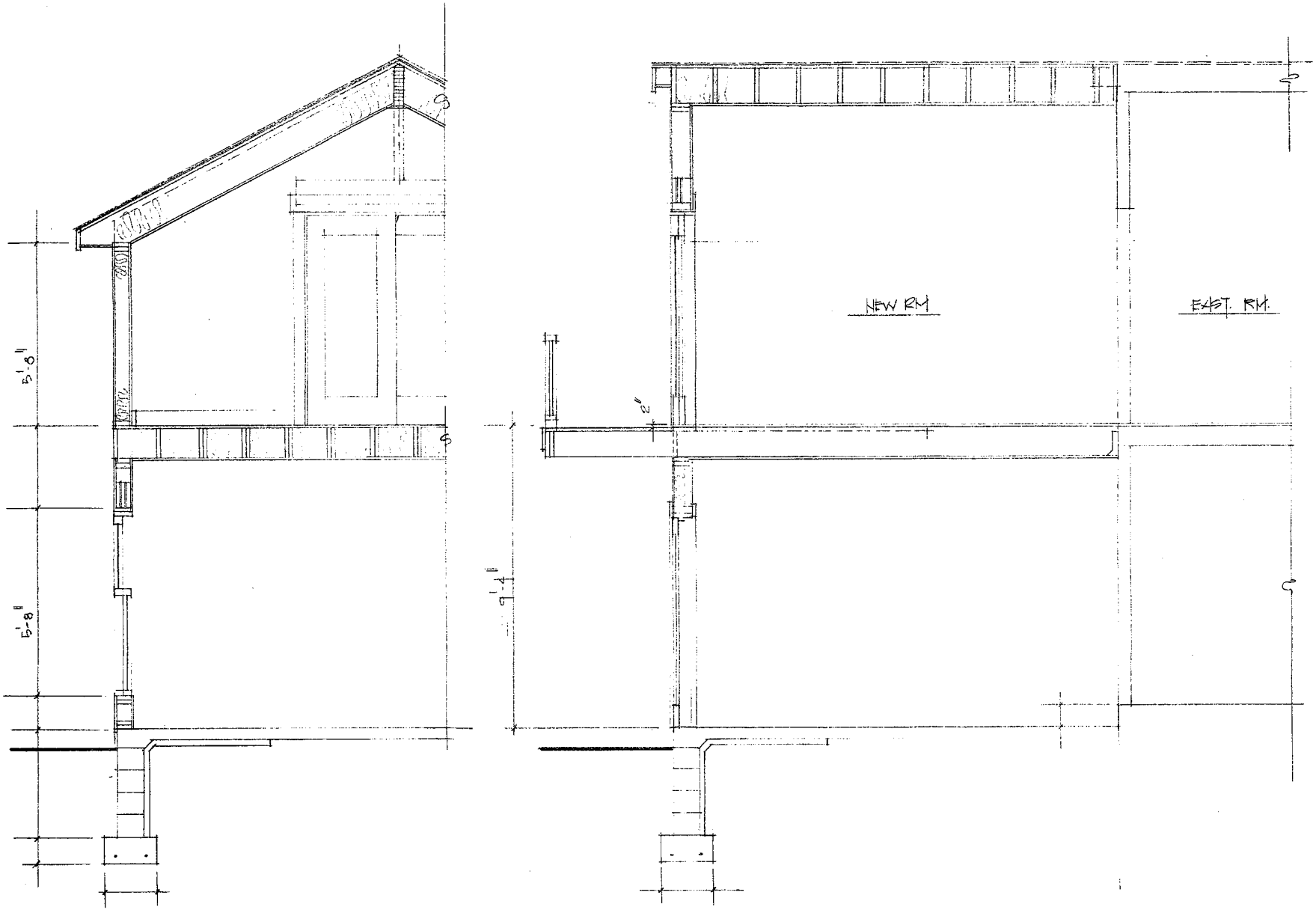
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

WEST ELEVATION
1/4" = 1'-0"

A-1


5'-8"
5'-8"
9'-4"
2"
NEW RM.
EXIST. RM.

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
CA21-000003

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 810 Allens Creek Road ROCHESTER, NY 14618
Tax ID Number: 138.13-1-40
Zoning District: RN Residential Neighborhood
Owner: Stahl Property Associates
Applicant: Stahl Property Associates

Application Type:

- ☐ Residential Design Review §185-205 (B)
- ☐ Commercial Design Review §185-205 (B)
- ☐ Signage §185-205 (C)
- ☐ Certificate of Appropriateness §185-197
- ☐ Landmark Designation §185-195 (2)
- ☑ Informal Review
- ☐ Build to Line Adjustment §185-17 (B) (2)
- ☐ Building Height Above 30 Feet §185-17 (M)
- ☐ Corner Lot Orientation §185-17 (K) (3)
- ☐ Flag Lot Building Line Location §185-17 (L) (1) (c)
- ☐ Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting informal design review for exterior changes to a designated historic home in Pittsford. Some of the changes include a detached garage, porte cochere and a covered walkway.

Meeting Date: April 22, 2021

DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: Stahl Property Associates

Name(s) of Property Owner(s): Kimberley S. Bailey

Name of Applicant: Kimberley S. Bailey

Telephone Numbers: (585) 415-9882 *(Owner)* _____ *(Applicant)*

Email Address: kimbailey99@gmail.cim

PLEASE CHECK ONE

☐ **REQUEST FOR APPROVAL** (Please provide a brief description of the project.)

☑ **REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

We are requesting an informal review with the Historic Preservation Board for a project located at 810 Allens Creek Road. We are proposing the addition of 3 dormers, a porte cochere at side entry, a detached garage, and addition to the rear of home located at existing garage, and landscape and driveway changes. Attached is a site plan, survey, 3D perspective sketch, along with local and otherwise photos and documents regarding Georgian and Colonail Revival homes in the era with modifications we are proposing. We would like to move forward with architectual drawings based on input from an informal review.

APPLICANT MUST PROVIDE:

- Building Permit Application
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.

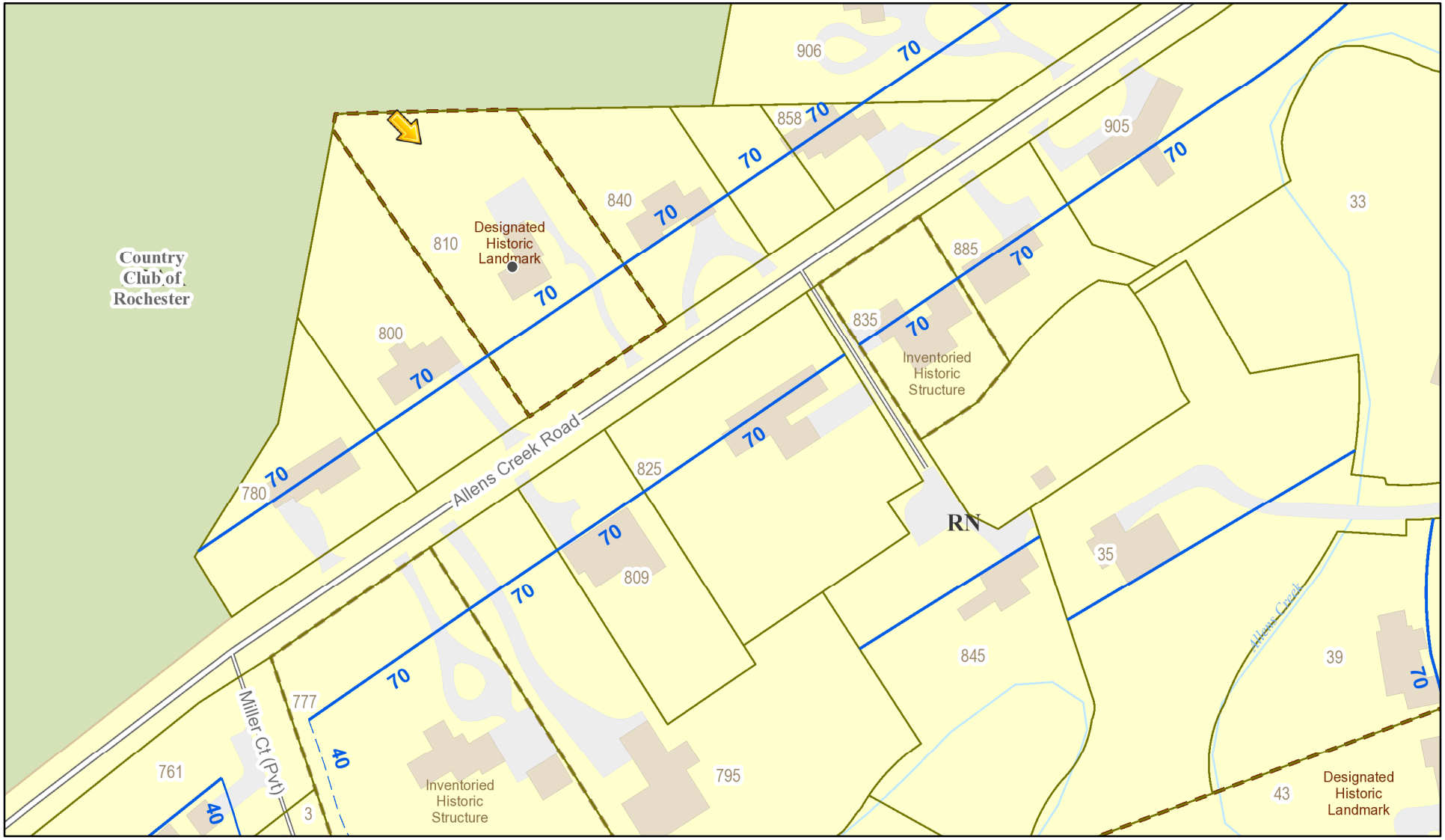
RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

For Official Use Only

Received By _____ Received Date _____ Meeting Date _____

RN Residential Neighborhood Zoning



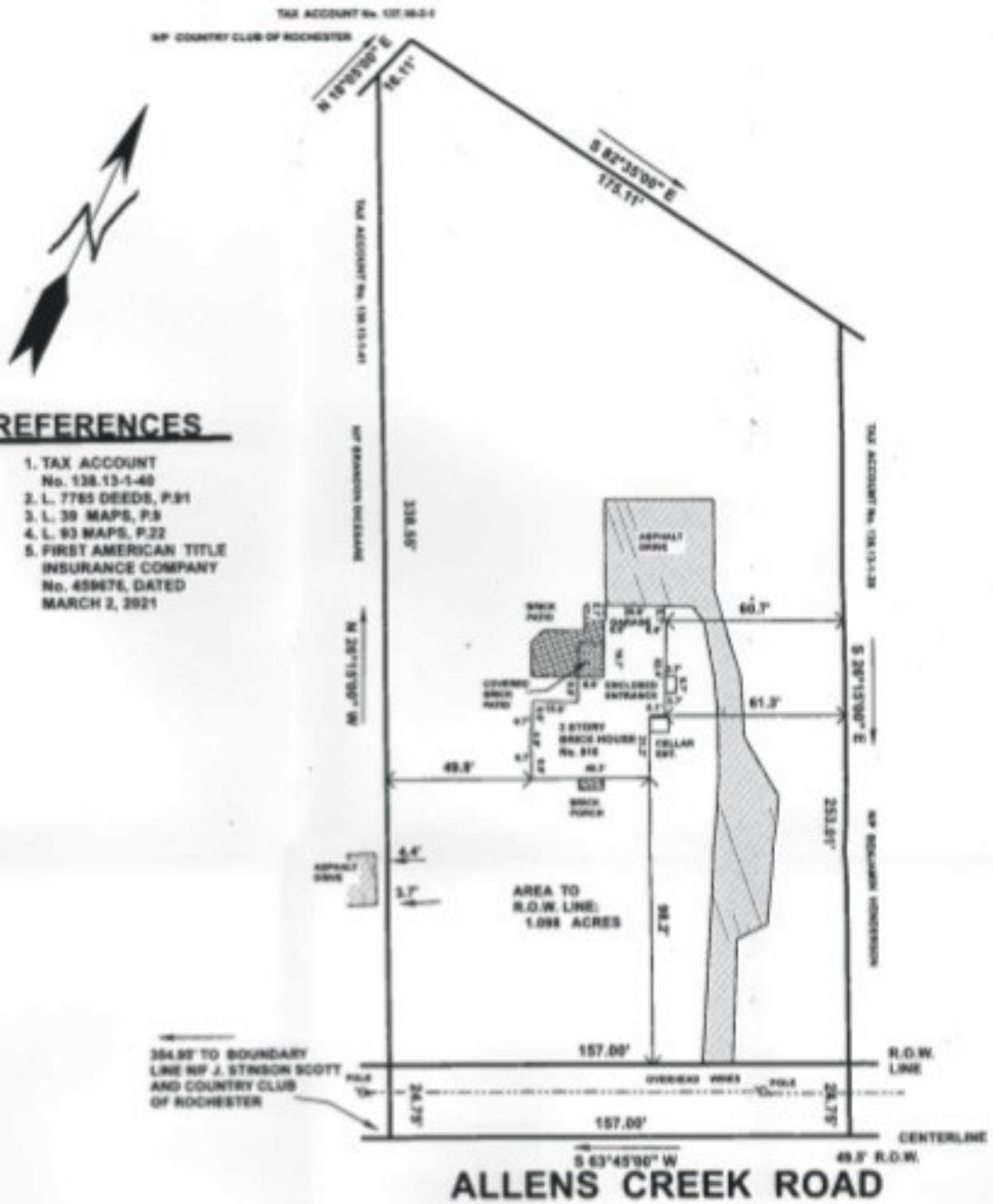
Printed April 15, 2021

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS



ALLENS CREEK ROAD

REFERENCES

1. TAX ACCOUNT No. 138.13-1-40
2. L. 7785 DEEDS, P.91
3. L. 39 MAPS, P.9
4. L. 93 MAPS, P.22
5. FIRST AMERICAN TITLE INSURANCE COMPANY No. 459676, DATED MARCH 2, 2021

"GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW"

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MARCH 18, 2021 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MARCH 17, 2021 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries

BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263
4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

CERTIFIED TO:

1. STAHL PROPERTY ASSOCIATES IV, LLC
2. WOODS OVIATT GILMAN LLP
3. STEWART TITLE INSURANCE COMPANY

INSTRUMENT SURVEY MAP

810 ALLENS CREEK ROAD
PART LOT 69, TOWNSHIP 12, RANGE 5
TOWN OF PITTSFORD

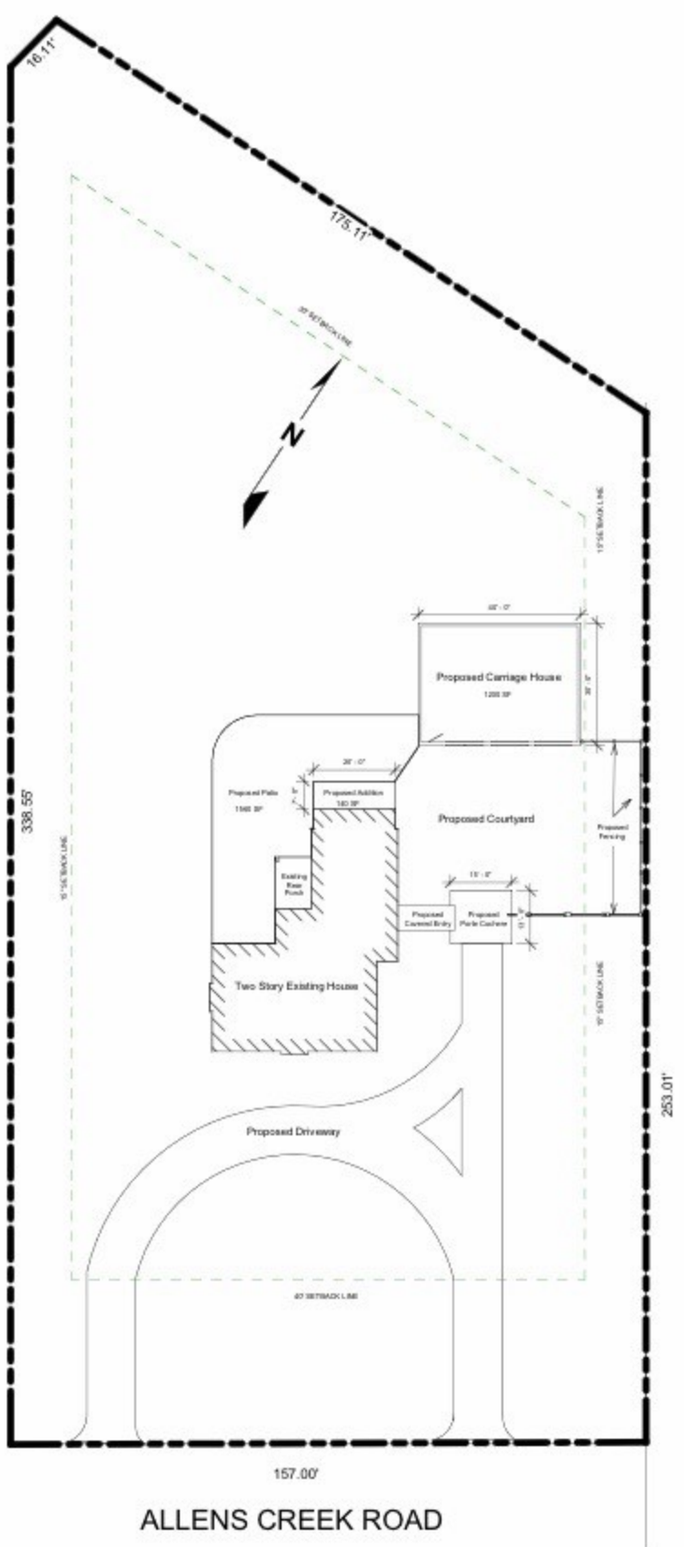
MONROE COUNTY NEW YORK

SCALE: 1" = 40'

MARCH 18, 2021

BRUCE E. FRIES
PROFESSIONAL LAND SURVEYOR
PHONE: 800-772-3734
4150 RIDGE CHAPEL ROAD • MARION, NEW YORK 14505
FAX: 800-772-7419

Allens Creek Proposed Site



The garage was at first a utilitarian building separate from the house. By the 1920s—when it might be built alongside the house rather than at the back of the lot—the garage was increasingly tied to the house proper by a loggia, pergola, or breezeway. A low wall between house and garage formed a courtyard (or, at least, a laundry yard). The "walled compound" look was particularly popular for English and French Revival houses. The attached garage became more popular after fear of gas fires subsided, although many codes continued to require fire walls.