

**Design Review & Historic Preservation Board  
Agenda  
April 8, 2021**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **25 Vincent Drive**  
The Applicant is requesting design review for the family room addition. The addition will be approximately 362 square feet and located to the rear of the home.
- **41 Amber Hill Drive**  
The Applicant is requesting design review for the addition of a three-season room. The addition will be approximately 270 square feet and located to the rear of the home.
- **28 Coddington Grove**  
The Applicant is requesting design review for the kitchen addition. The addition will be approximately 384 square feet and located to the rear of the home.
- **156 Kilbourn Road**  
The Applicant is requesting design review for the first and second story additions. The first story additions will include a new porch, garage extension and a rear addition. The second story addition will be approximately 1395 square feet and will added to the current one story home.
- **15 Coventry Ridge**  
The Applicant is requesting design review for the cover porch addition. The addition will be approximately 591 square feet and will be located to the rear of the home.
- **290 Tobey Road**  
The Applicant is returning to request a change to a previously approved application. The Board approved an addition to for a third bay to a existing two car garage. The garage addition was going be approximately 432 sq. ft. and the applicant would like to add an additional 48 square feet.
- **3500-3600 East Avenue**  
The Applicant is requesting design review for Kilbourn Place Building one and two. These buildings will be the apartment portion of the Kilbourn Place project.

**OTHER – REVIEW OF 4/8/2021 MINUTES**

How to view the meeting:

1. Zoom

- In your web browser, go to

<https://townofpittsford.zoom.us/j/83866884772?pwd=bHZydnlmbzNxYW1mMVFPFZHZ1psQT09>

- You will be connected to the meeting.

2. Telephone

You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **838 6688 4772**.

- No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**March 25, 2021**

**PRESENT**

Dirk Schneider, Chairman; Paul Whitbeck, John Mitchell, Leticia Fornataro, Bonnie Salem

**ALSO PRESENT**

Kevin Beckford, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dave Wigg, Kathleen Cristman

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, March 25 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Dirk Schneider, Chairman opened the meeting at 6:00 pm.

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem reported on the research she had done on the historic markers. New York State no longer administers the program to place these markers. She indicated that the Town can request a grant from the William Pomperoy foundation to fund a blue and yellow 18 x 32 marker and mounting pole for the East Street Burying Ground. The application is due April 9. The Board agreed this would be a worthwhile effort. A letter of agreement from the Town is needed in order to go forward with the process. Robert Koegel will put together a letter for the Town Supervisor to sign. The Board reviewed potential text to be inscribed on the marker. It was suggested that should the marker be funded that an unveiling ceremony be organized upon installation.

**RESIDENTIAL APPLICATION FOR REVIEW**

• **6 Wild Berry Lane**

The Applicant is requesting design review for additions to the kitchen and master bedroom. The kitchen will have an approximately 25 square foot addition to expand on the existing square footage. The bedroom will have an addition of 140 square feet for a walk in closet. The materials will match the existing home.

Bill Straub, the homeowner, was present to discuss the application with the Board.

The project will add space to the kitchen and to the master bedroom. A front bump out is also proposed.

Paul Whitbeck disclosed that he has done some professional work with the contractor on the project in the past but he has no financial interest in the project.

Bonnie Salem moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **292 Shoreham Drive**

The Applicant is requesting design review for the remodel of an existing enclosed porch and the addition of a covered entry. The enclosed porch is approximately 64 square feet and the covered entry will be approximately 26 square feet.

Paul Morabito, architect for the homeowners Joe and Jessica Spillman, was present.

Mr. Morabito described the project as filling in an existing porch to create additional interior space and add a small porch. The window pattern will match the existing. The chimney will be demolished and patched with matching shingles.

John Mitchell moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **135 Sylvania Road**

The Applicant is requesting design review for the addition of a covered porch. The porch will be approximately 285 square feet and will be constructed on the rear of the home.

Kim Bailey of Stahl Properties was present.

Ms. Bailey described the project for the Board. All materials will match the existing and the porch addition will be painted white to match the exterior.

Dirk Schneider moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **49 Charmwood Road**

The Applicant is requesting design review for the addition of a covered porch and kitchen expansion. The kitchen addition will be approximately 52 square feet and the covered porch will be approximately 24 square feet.

The homeowner, Sally Scherer, was present.

Ms. Scherer described the project which will increase the size of her kitchen and add in a full bath extending into the garage. A new roof will also extend over the front stoop.

Leticia Fornataro moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

## **RESIDENTIAL APPLICATION FOR REVIEW – NEW HOME**

- **640 Mendon Center Road**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 4104 square feet and located on a large parcel south of the thruway.

The property owner, Sunil Prasad, was present to discuss the application with the Board.

The home will be built by the same builders that built the barn on the property. Discussion was held about the unique dissimilar design, the similarity of the materials to the barn and the lack of approach to the residence from the front of the house. It was determined that these factors are mitigated by the large 23 acre lot, the distance of the home from Mendon Center Road and discussion with the property owner which detailed the practicality of the placement and functionality for his family.

John Mitchell moved to accept the application for a single family home to be located on a large 23 acre lot south of the thruway as submitted.

Leticia Fornataro seconded.

All Ayes.

- **2 Eppingwood Trail**

The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 4027 square feet and will be attached to an existing garage. The home will be located in the Malvern Hills Subdivision.

Marie Kenton of Ketmar was present to discuss the application.

Ms. Kenton that the new structure would be built to adjoin an existing carriage house. The house will be stucco. There will be no mullions in the windows with the exception of those in the current carriage house. The home will have a full walkout basement.

Leticia Fornataro moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

#### **APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

- **70 Mitchell Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the exterior renovation of a designated historic home. This property is zoned (RN) Residential Neighborhood.

Dirk Schneider opened the Public Hearing.

The homeowner and applicant, Kathleen Holcombe, was present.

For the record, it was noted that the application included an error and the address is NOT in a historic district.

The proposed renovation is in the back of the structure that faces the canal and is shielded from view with foliage in the summer months. Windows and a door are proposed to be added to accommodate an interior studio space with views of the canal.

There was no public comment.

Dirk Schnedier moved to close the Public Hearing.

Paul Whitbeck seconded.

All Ayes.

Further discussion by the Board noted that although the door may not be compatible but the functionality is a necessary element for the purposes of the owner and is therefore acceptable. The Board does not feel that vinyl windows are appropriate but true wood or aluminum clad windows are more in character to the structure and therefore acceptable. The applicant indicated she is agreeable to these terms.

A resolution was read by Leticia Fornataro to grant a Certificate of Appropriateness for the proposed window and door addition.

Paul Whitbeck seconded.

A roll call was taken of the Board members present.

Schneider	Aye
Salem	Aye
Whitbeck	Aye
Fornataro	Aye
Mitchell	Aye

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- a. The window material shall be modified to be compatible with historic materials. Wood is preferred as a historic material, but aluminum clad wood is acceptable to the Board.
- b. All windows will have added either true divided or simulated divided lites / muntins to match existing window style.
- c. Door to match proposed product in the submission, with no substitutions on style or material.
- d. All new work colors to match existing window color palette.
- e. All work is to be completed by: 3/25/2022.

#### **INFORMAL REVIEW**

- **3280 Monroe Avenue**

The Applicant is requesting informal design review for the exterior alteration and renovation to the existing McDonald's Restaurant. The project consists of alterations to the front, sides, rear and roof of the building.

No representative was present to discuss this application.

Dirk Schneider on behalf of the Design Review Preservation Board declined lead agency status for this application.

The Board made their individual comments and agreed that the proposed design is simplistic but typical of the modern branding which is seen in contemporary McDonalds restaurants. Members were underwhelmed by the brown color but prefer the stone edification over previous McDonalds designs. Bonnie Salem made note the guidelines for the Monroe Avenue corridor (MATZ district zoning) suggests avoidance of the flat roof as proposed. The Board then reviewed electronically adjacent properties and noted that exceptions have been made since the code was enacted in 2002.

#### **OTHER – REVIEW OF 3/11/2021 MINUTES**

John Mitchell moved to accept the meeting minutes of the March 11, 2021 as submitted.

Bonnie Salem seconded.

All Ayes.

**ADJOURNMENT**

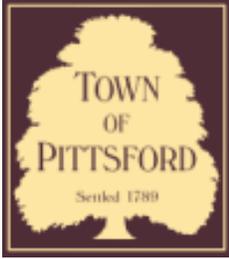
Dirk Schneider moved to close the meeting at 8:15 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000061**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 25 Vincent Drive PITTSFORD, NY 14534

**Tax ID Number:** 164.16-1-50

**Zoning District:** RN Residential Neighborhood

**Owner:** Feldman, Elizabeth S

**Applicant:** Frank Trotto

#### Application Type:

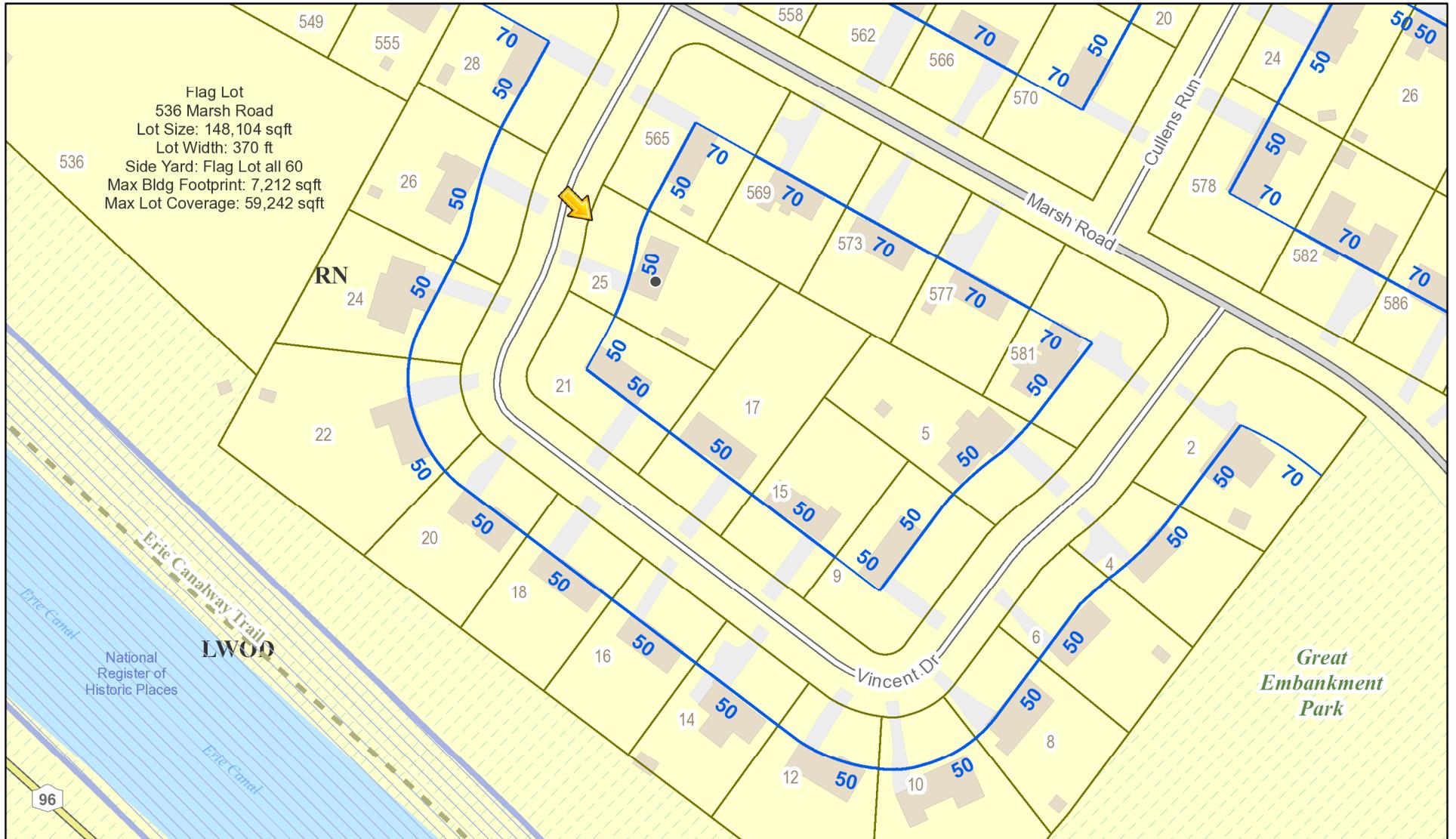
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the family room addition. The addition will be approximately 362 square feet and located to the rear of the home.

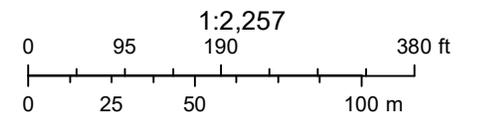
**Meeting Date:** April 08, 2021



# RN Residential Neighborhood Zoning



Printed March 31, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Marsh Road

Marsh Road

Vincent Drive

25

549

555

28

26

24

22

20

18

16

21

550

554

558

16

18

562

566

570

565

569

573

577

581

17

15

9

RESIDENTIAL ENERGY EFFICIENCY  
2020 INTERNATIONAL ENERGY CONSERVATION CODE  
TABLE 402.1.2  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT - CLIMATE ZONE 5

FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
0.30	0.55	49	20 OR 13 + 5	13/17	30 *	15/19	10, 2 ft.	15/19

\* OR INSULATION SUFFICIENT TO FILL FRAMING CAVITY, R=19 MIN.

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE DRAWINGS COMPLY WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. DRAWINGS S1, A1 THROUGH A8, DATED MARCH 24, 2021.

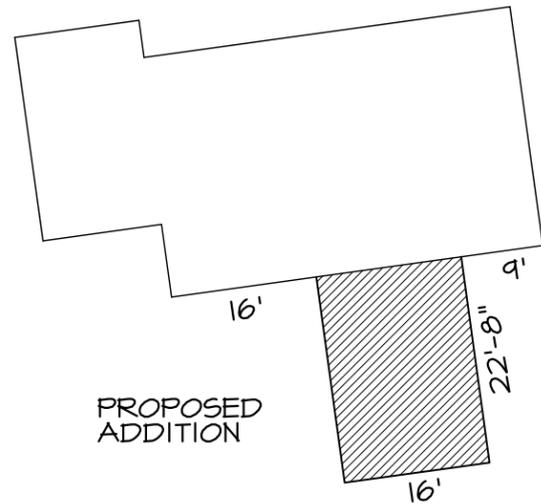
THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT & STATE LAW. NO COPYING OR EXPLOITATION; NO ALTERATIONS; NO UNAUTHORIZED USE WITHOUT THE APPROVAL OF DAVID M. BURROWS, ARCHITECT

These plans are instruments of service and may not be altered, reproduced, or copied without prior written approval.

Unauthorized alterations to these plans is a violation of the New York State Education Law, Section 7209, Article 145.

Contractor to verify all notes and dimensions before starting construction and be responsible for errors and/or omissions.

Contractor shall be responsible for construction means, methods, techniques, sequences or procedures, and safety precautions and programs in connection with the work.



PROPOSED ADDITION

1 ANDERSEN 200 SERIES GLIDING DOORS  
PS61611 SERIES PS - PROVIDE SCREEN DOOR

**DOOR SCHEDULE**

TYPE	STYLE	ROUGH OPENING	PRODUCT	U VAL.
A	DOUBLE HUNG PAIR	6'-8" W x 4'-6" H	ANDERSEN 200 SERIES 244DH3446-2	.28
B	CASEMENT BAY	7'-9" W x 4'-2" H	ANDERSEN 400 SERIES 2x 30-P404-20, 30-P4040-20	.28
C	FIXED AWNING	2'-4 7/8" W x 2'-4 7/8" H	ANDERSEN 400 SERIES AW251	.28
D	DOUBLE HUNG/PICTURE UNIT	10'-0" W x 4'-6" H	ANDERSEN 200 SERIES 2x 244DH3046, 244FX4046	.28

ALL GLAZING TO BE INSULATED GLASS W/LOW E  
PROVIDE 6 9/16" JAMB EXTENSIONS (VERIFY)  
CLAD EXTERIOR - WHITE (VERIFY) PAINTED WHITE INTERIOR (VERIFY)  
STANDARD HARDWARE FULL SCREEN

**WINDOW SCHEDULE**

- S-1 SITE PLAN, & COVER
- A-1 FLOOR PLAN
- A-2 NORTH ELEVATION
- A-3 WEST ELEVATION
- A-4 SOUTH ELEVATION
- A-5 BUILDING SECTION 1-1
- A-6 BUILDING SECTION 2-2
- A-7 FOUNDATION/FLOOR FRAMING
- A-8 ROOF FRAMING PLAN

**INDEX TO DRAWINGS**

**SITE PLAN**

1" = 20'



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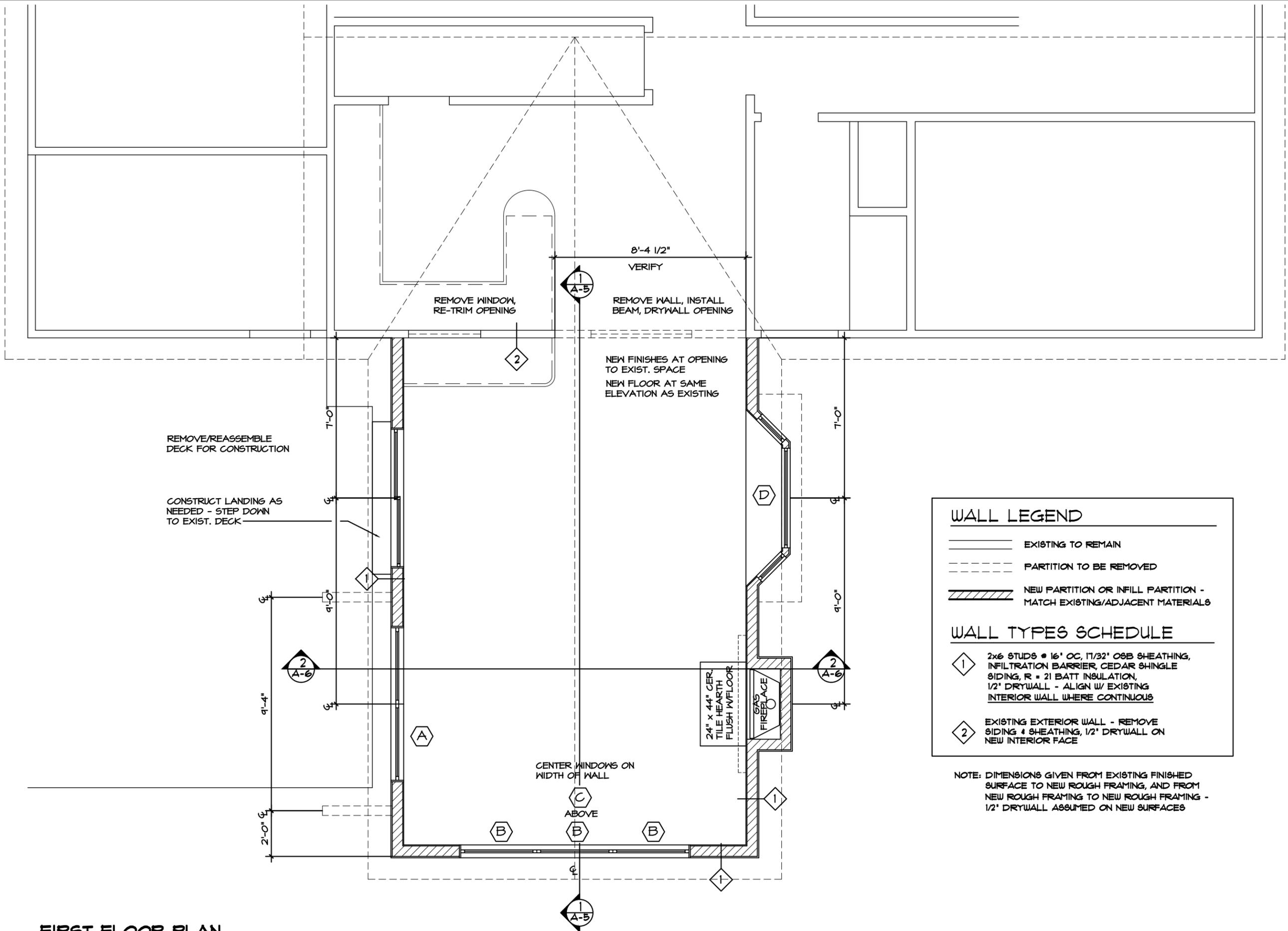
ADDITION FOR  
Elizabeth FELDMAN  
25 VINCENT DRIVE  
PITTSFORD, NEW YORK 14534

03/24/21  
REVISIONS

2104

S-1

OF 1



REMOVE/REASSEMBLE  
DECK FOR CONSTRUCTION

CONSTRUCT LANDING AS  
NEEDED - STEP DOWN  
TO EXIST. DECK

REMOVE WINDOW,  
RE-TRIM OPENING

8'-4 1/2"

VERIFY

REMOVE WALL, INSTALL  
BEAM, DRYWALL OPENING

NEW FINISHES AT OPENING  
TO EXIST. SPACE  
NEW FLOOR AT SAME  
ELEVATION AS EXISTING

**WALL LEGEND**

-  EXISTING TO REMAIN
-  PARTITION TO BE REMOVED
-  NEW PARTITION OR INFILL PARTITION -  
MATCH EXISTING/ADJACENT MATERIALS

**WALL TYPES SCHEDULE**

-  2x6 STUDS @ 16" OC, 1 1/2" OSB SHEATHING,  
INFILTRATION BARRIER, CEDAR SHINGLE  
SIDING, R = 21 BATT INSULATION,  
1/2" DRYWALL - ALIGN W/ EXISTING  
INTERIOR WALL WHERE CONTINUOUS
-  EXISTING EXTERIOR WALL - REMOVE  
SIDING & SHEATHING, 1/2" DRYWALL ON  
NEW INTERIOR FACE

NOTE: DIMENSIONS GIVEN FROM EXISTING FINISHED  
SURFACE TO NEW ROUGH FRAMING, AND FROM  
NEW ROUGH FRAMING TO NEW ROUGH FRAMING -  
1/2" DRYWALL ASSUMED ON NEW SURFACES

**FIRST FLOOR PLAN**

1/4" = 1'-0"

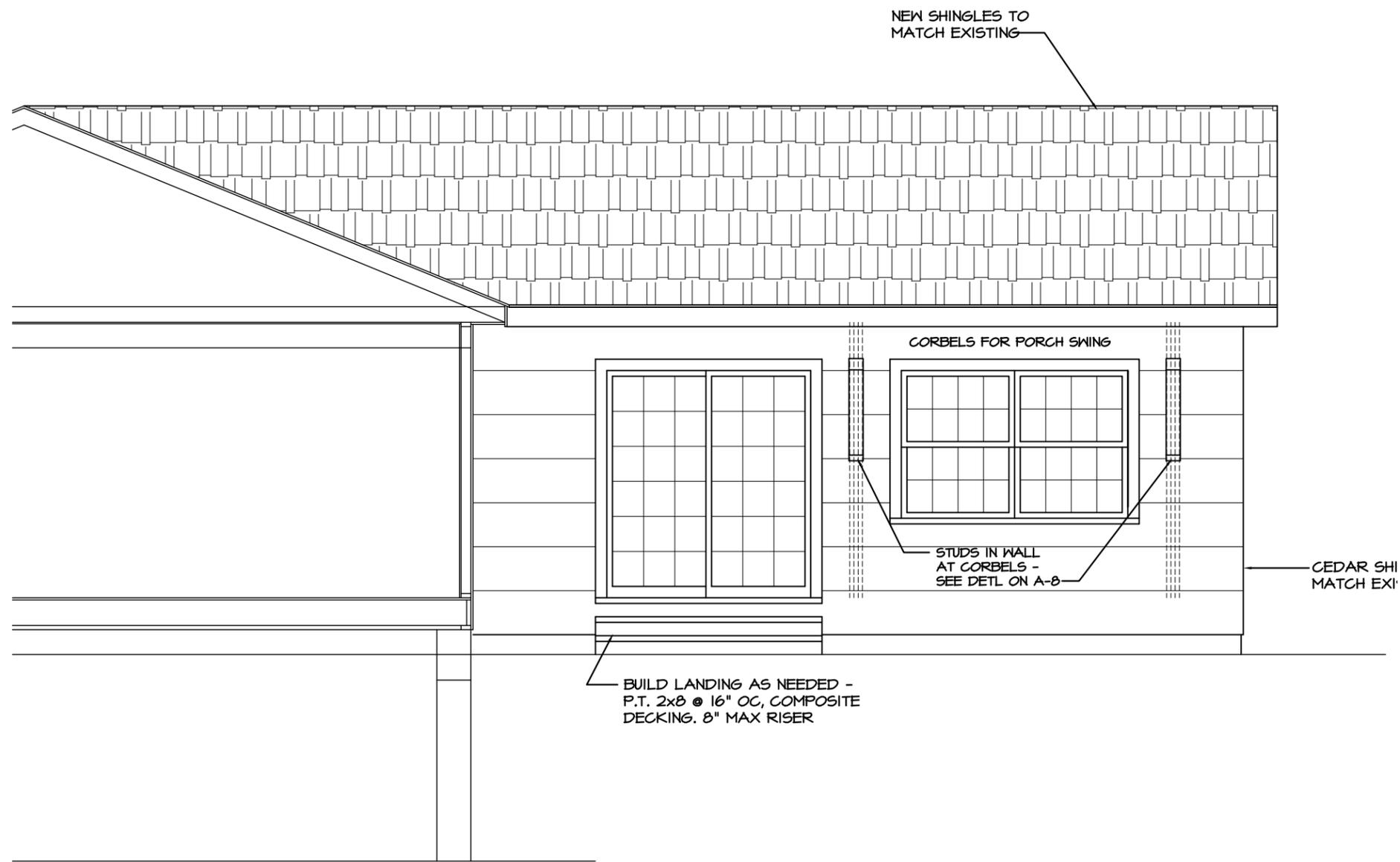
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OF 8



**NORTH ELEVATION**  
 1/4" = 1'-0"

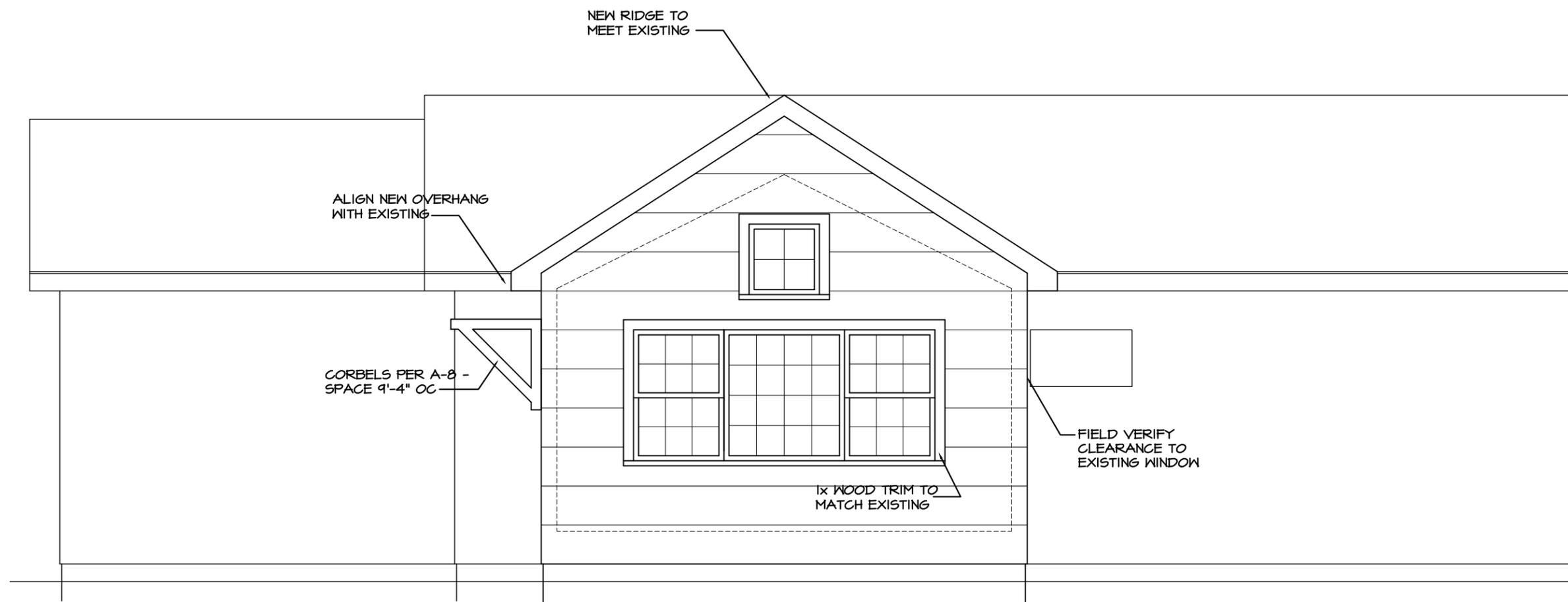
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 OF 8



**WEST ELEVATION**

1/4" = 1'-0"

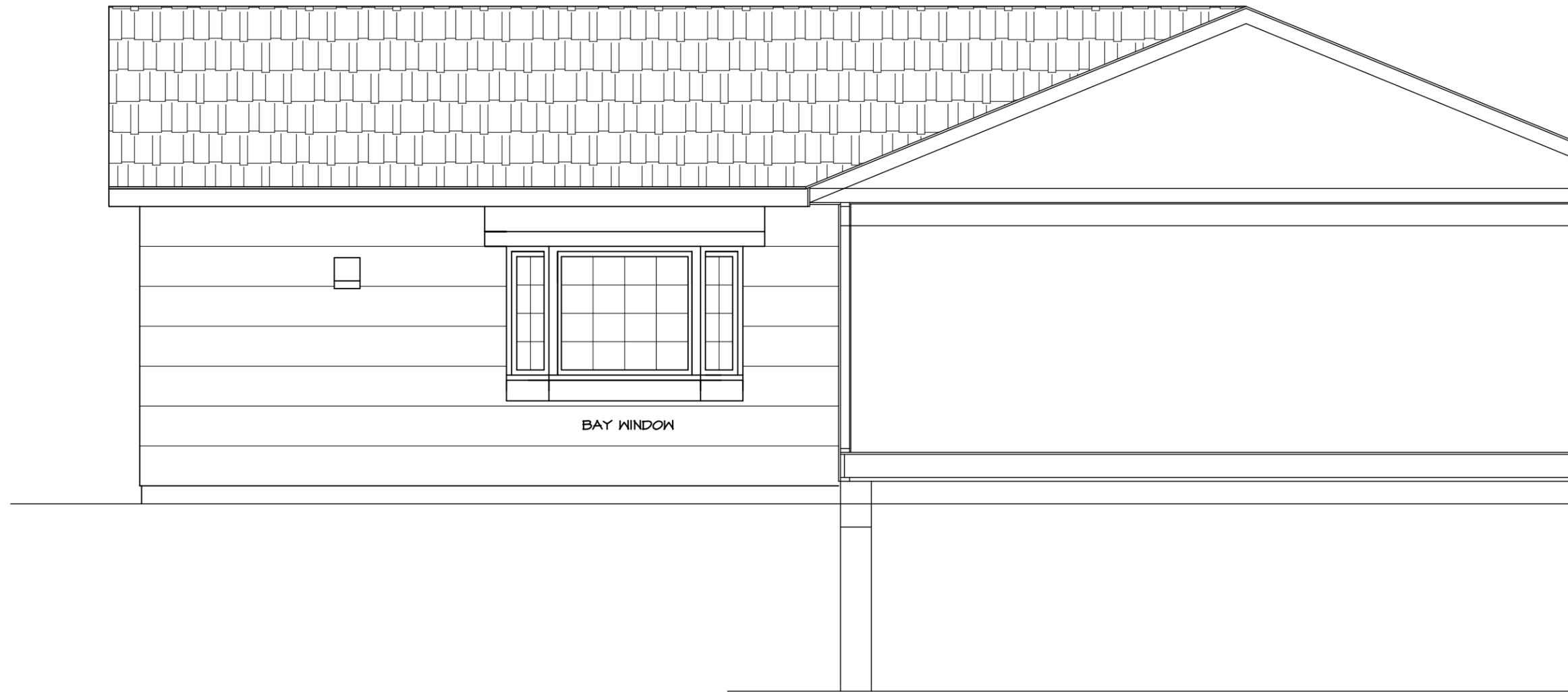
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ADDITION FOR  
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 OF 8



**SOUTH ELEVATION**  
1/4" = 1'-0"

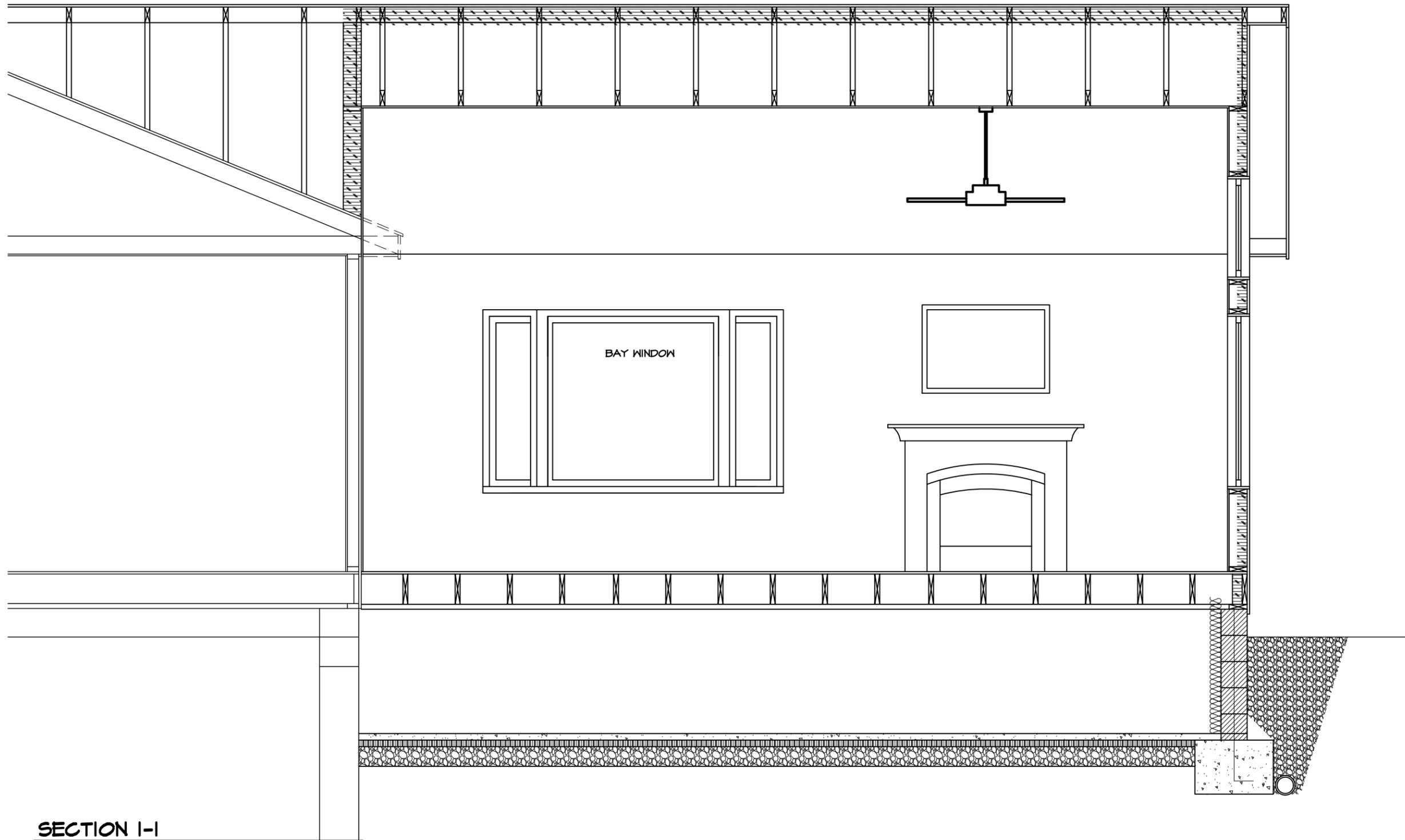
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OF 8



**SECTION I-I**  
 1/2" = 1'-0"

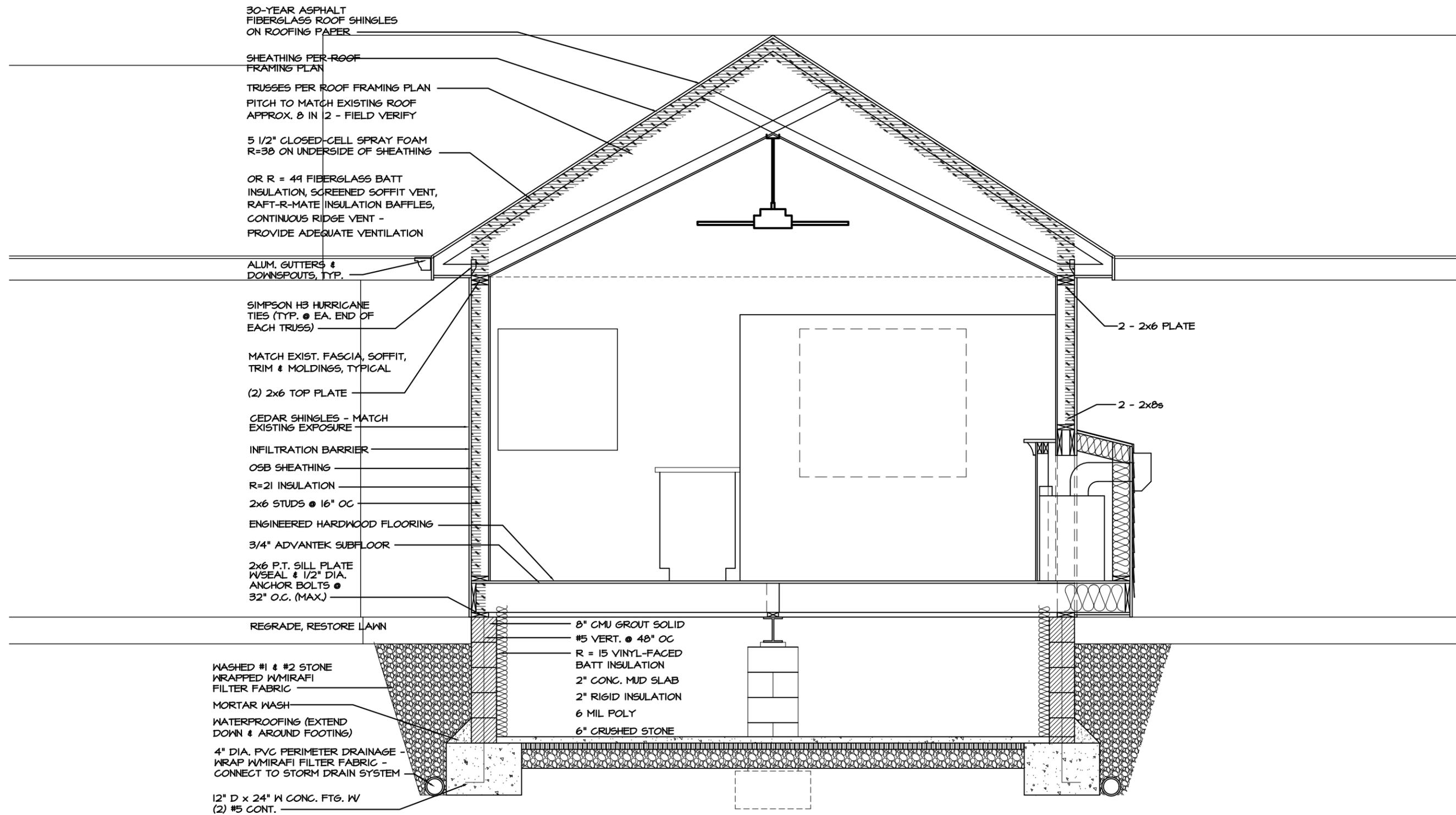
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**A-5**  
 OF 8



30-YEAR ASPHALT  
FIBERGLASS ROOF SHINGLES  
ON ROOFING PAPER

SHEATHING PER ROOF  
FRAMING PLAN

TRUSSES PER ROOF FRAMING PLAN  
PITCH TO MATCH EXISTING ROOF  
APPROX. 8 IN 12 - FIELD VERIFY

5 1/2" CLOSED-CELL SPRAY FOAM  
R=38 ON UNDERSIDE OF SHEATHING

OR R = 49 FIBERGLASS BATT  
INSULATION, SCREENED SOFFIT VENT,  
RAFT-R-MATE INSULATION BAFFLES,  
CONTINUOUS RIDGE VENT -  
PROVIDE ADEQUATE VENTILATION

ALUM. GUTTERS &  
DOWNSPOUTS, TYP.

SIMPSON H3 HURRICANE  
TIES (TYP. @ EA. END OF  
EACH TRUSS)

MATCH EXIST. FASCIA, SOFFIT,  
TRIM & MOLDINGS, TYPICAL

(2) 2x6 TOP PLATE

CEDAR SHINGLES - MATCH  
EXISTING EXPOSURE

INFILTRATION BARRIER

OSB SHEATHING

R=21 INSULATION

2x6 STUDS @ 16" OC

ENGINEERED HARDWOOD FLOORING

3/4" ADVANTEK SUBFLOOR

2x6 P.T. SILL PLATE  
W/SEAL @ 1/2" DIA.  
ANCHOR BOLTS @  
32" O.C. (MAX.)

REGRADE, RESTORE LAWN

WASHED #1 & #2 STONE  
WRAPPED W/MIRAFI  
FILTER FABRIC

MORTAR WASH

WATERPROOFING (EXTEND  
DOWN & AROUND FOOTING)

4" DIA. PVC PERIMETER DRAINAGE -  
WRAP W/MIRAFI FILTER FABRIC -  
CONNECT TO STORM DRAIN SYSTEM

12" D x 24" W CONC. FTG. W/  
(2) #5 CONT.

8" CMU GROUT SOLID  
#5 VERT. @ 48" OC  
R = 15 VINYL-FACED  
BATT INSULATION  
2" CONC. MUD SLAB  
2" RIGID INSULATION  
6 MIL POLY  
6" CRUSHED STONE

2 - 2x6 PLATE

2 - 2x6s

**SECTION 2-2**  
SCALE 3/8" = 1'-0"

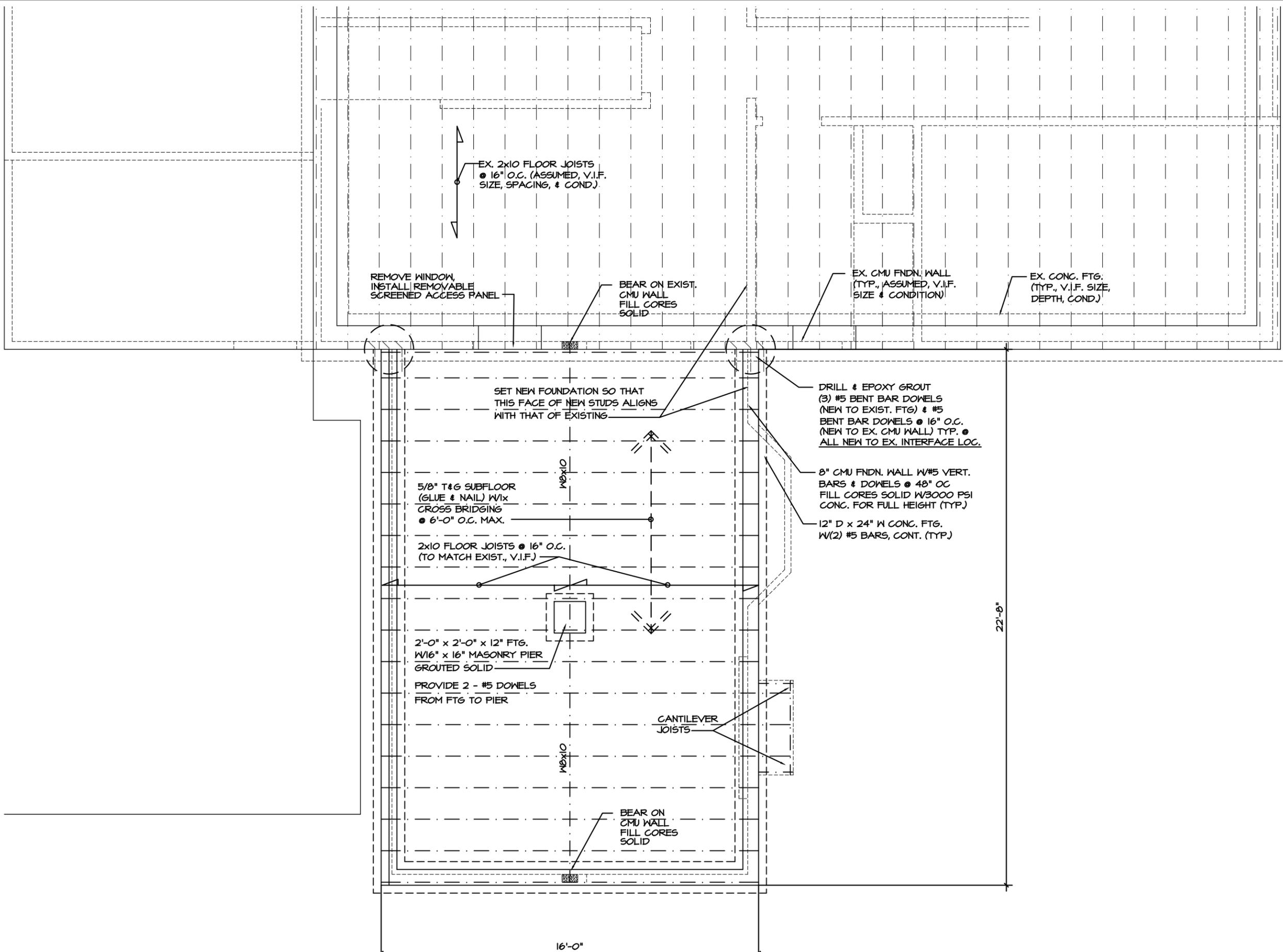
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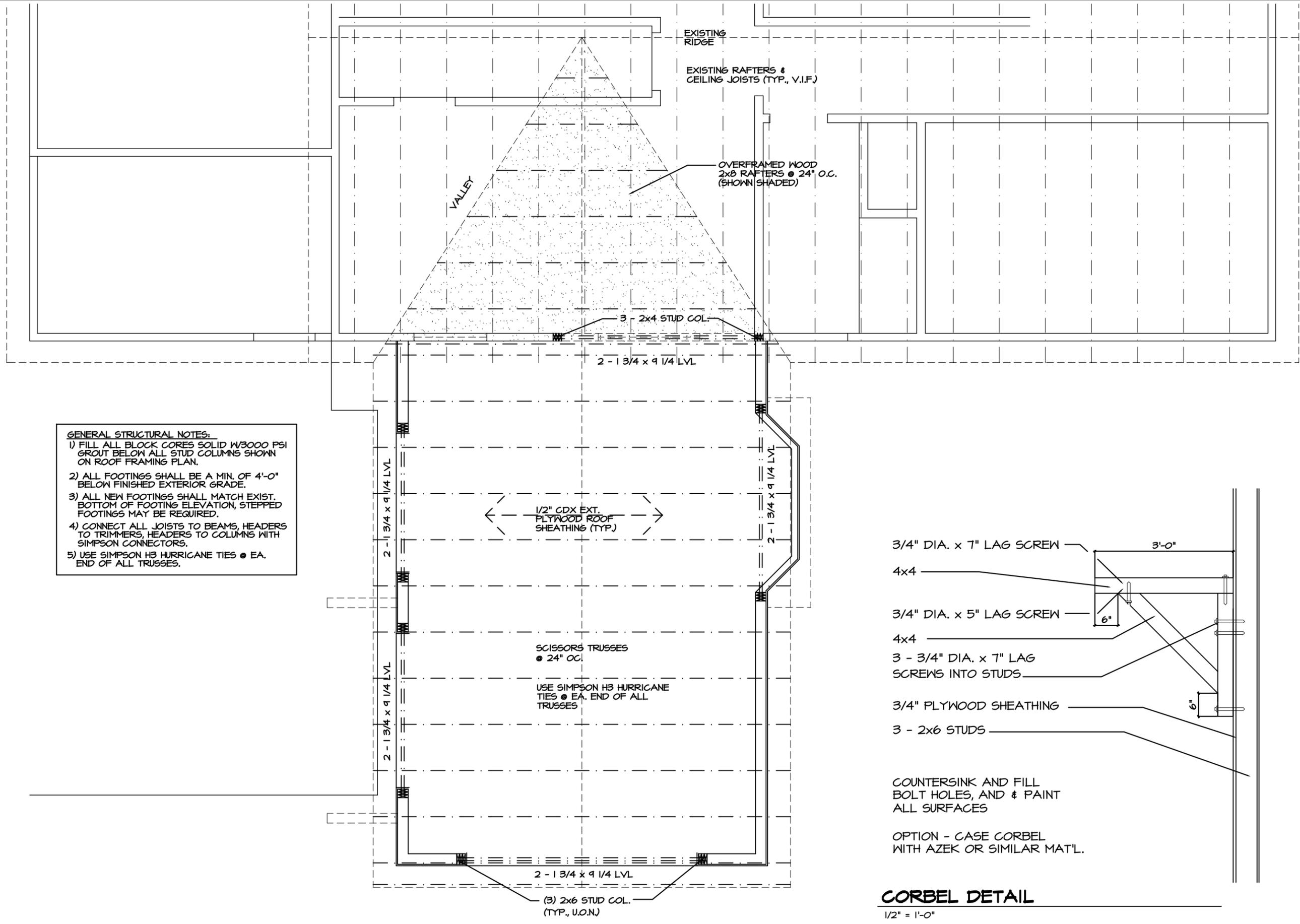
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OF 8



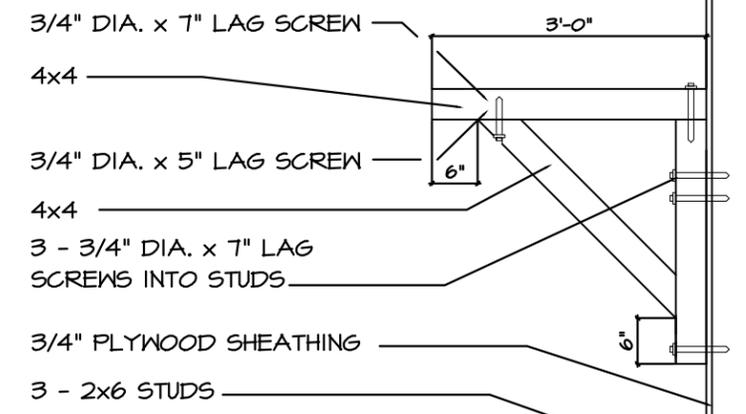
**FOUNDATION/FLOOR FRAMING PLAN**  
 1/4" = 1'-0"

FIELD VERIFY - SET FOUNDATION  
 TO ALIGN NEW W/EXISTING STUDS

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ADDITION FOR <b>Elizabeth FELDMAN</b> 25 VINCENT DRIVE PITTSFORD, NEW YORK 14534
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<b>A-7</b> OF 8



- GENERAL STRUCTURAL NOTES:**
- 1) FILL ALL BLOCK CORES SOLID W/3000 PSI GROUT BELOW ALL STUD COLUMNS SHOWN ON ROOF FRAMING PLAN.
  - 2) ALL FOOTINGS SHALL BE A MIN. OF 4'-0" BELOW FINISHED EXTERIOR GRADE.
  - 3) ALL NEW FOOTINGS SHALL MATCH EXIST. BOTTOM OF FOOTING ELEVATION, STEPPED FOOTINGS MAY BE REQUIRED.
  - 4) CONNECT ALL JOISTS TO BEAMS, HEADERS TO TRIMMERS, HEADERS TO COLUMNS WITH SIMPSON CONNECTORS.
  - 5) USE SIMPSON H3 HURRICANE TIES @ EA. END OF ALL TRUSSES.



COUNTERSINK AND FILL BOLT HOLES, AND # PAINT ALL SURFACES

OPTION - CASE CORBEL WITH AZEK OR SIMILAR MAT'L.

**CORBEL DETAIL**

1/2" = 1'-0"

**ROOF FRAMING PLAN**  
1/4" = 1'-0"

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**A-8**  
OF 8







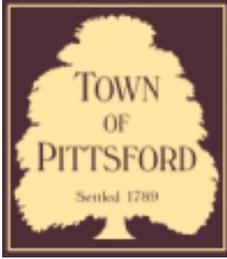
A long, single-story building with light blue horizontal siding and a grey shingled roof. The building features three windows with white frames and dark shutters, and a white garage door with a small window. A light blue door with a white X-pattern is visible near the garage. The building is set on a large green lawn, with a chain-link fence and bare trees in the background under a clear blue sky.

A large, well-maintained green lawn in the foreground, extending from the bottom edge of the image to the base of the building.

A chain-link fence runs along the back of the property, separating the lawn from the trees and sky.

A line of trees, including bare deciduous trees and evergreens, forms a backdrop behind the building.

A clear, light blue sky with a few wispy clouds, occupying the top portion of the image.



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000058**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 41 Amber Hill Drive PITTSFORD, NY 14534

**Tax ID Number:** 177.04-2-91

**Zoning District:** RN Residential Neighborhood

**Owner:** Goldstein, Jonathan I

**Applicant:** Sigrist, Jack (Architect)

#### Application Type:

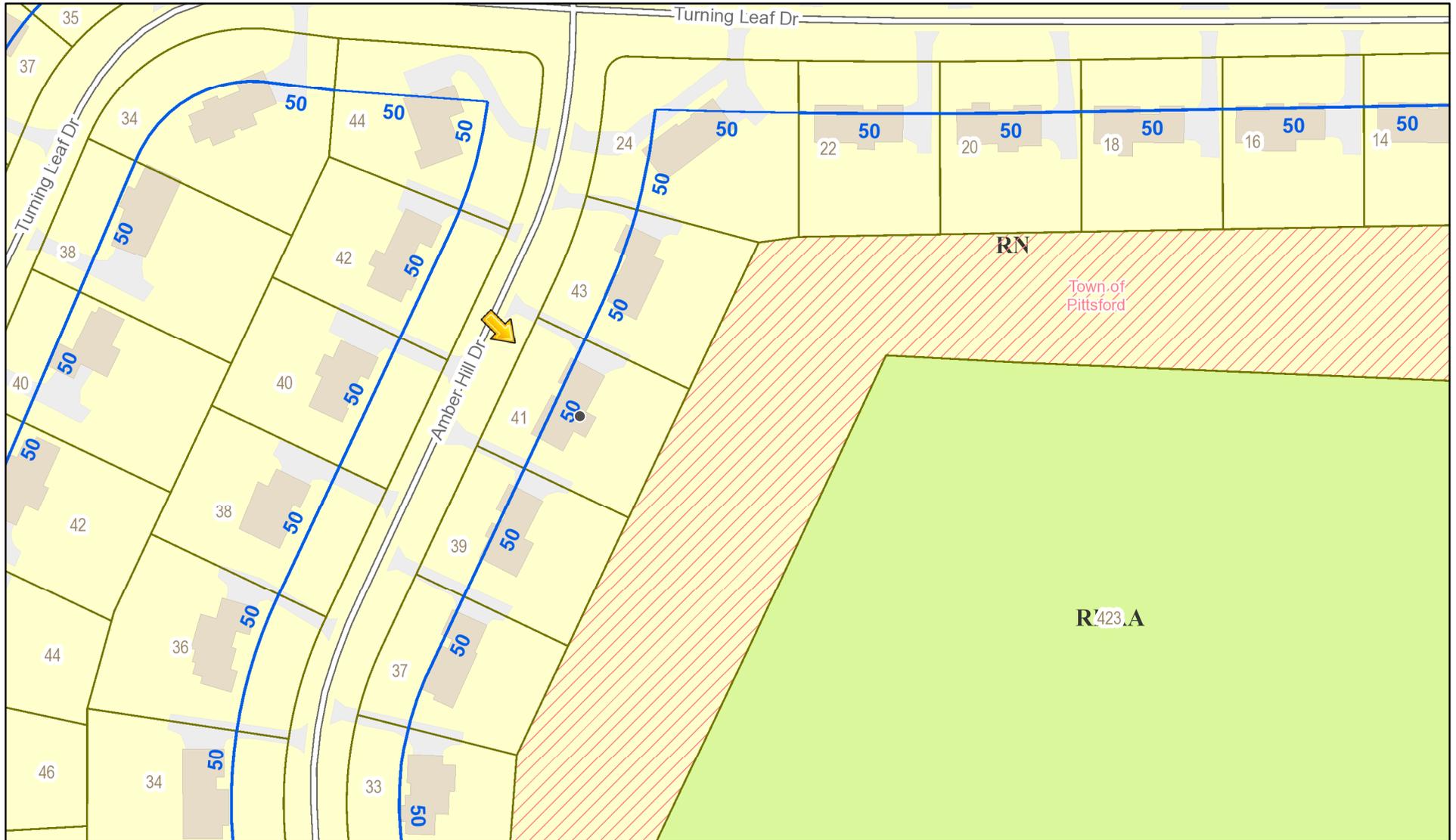
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of a three season room. The addition will be approximately 270 square feet and located to the rear of the home.

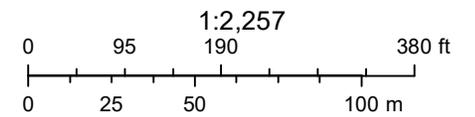
**Meeting Date:** April 08, 2021



# RN Residential Neighborhood Zoning



Printed March 31, 2021



Town of Pittsford GIS

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42

43

Amber Hill Drive

41

39

37

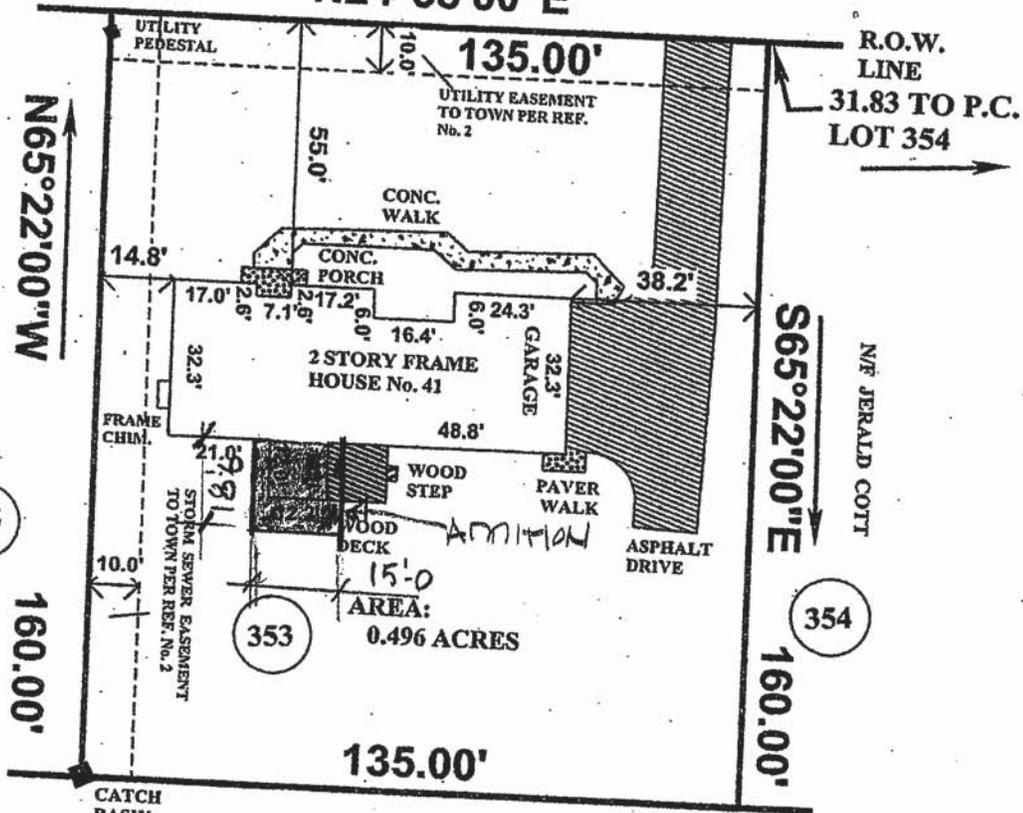
50 ft



60' R.O.W.

# AMBER HILL DRIVE

N24°38'00"E



## REFERENCES

1. L. 10115 DEEDS, P. 44
2. L. 317 MAPS, P. 38

### CERTIFIED TO:

1. ROCHESTER HOME EQUITY INC., IS AOR, ATIMA
2. CHAMBERLAIN D'AMANDA
3. WOODS OVIATT GILMAN LLP
4. JONATHAN I. GOLDSTEIN
5. THE STEWART TITLE INSURANCE COMPANY

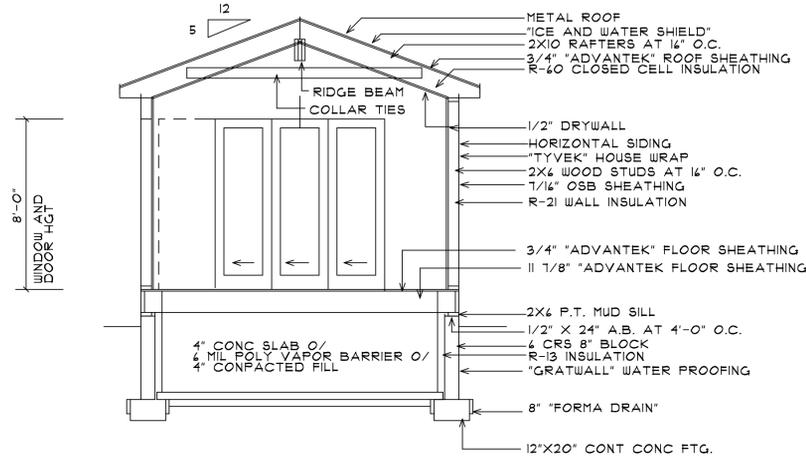
"GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW."

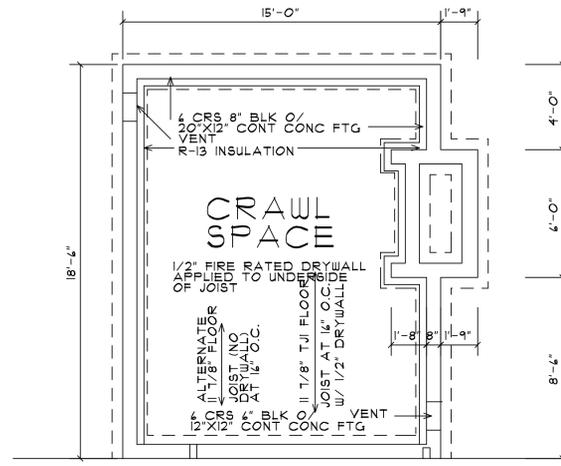
I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MAY 7, 2010 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MAY 3, 2010 USING THE REFERENCE MATERIALS LISTED.

*David E. Fries*

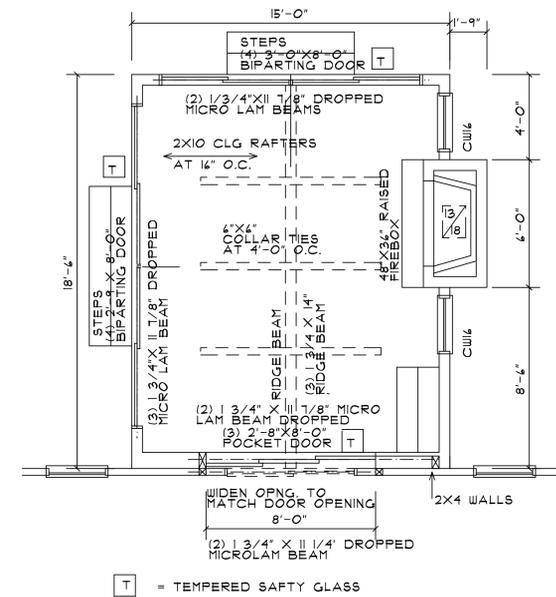


T.M.E. = TO MATCH EXISTING

SECTION



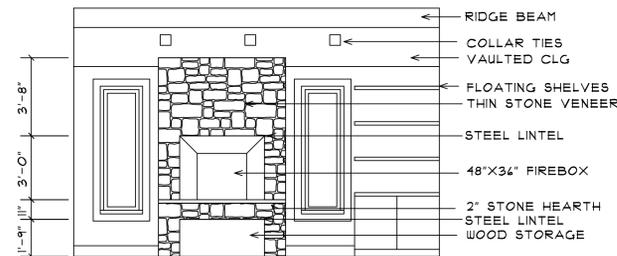
FOUNDATION PLAN



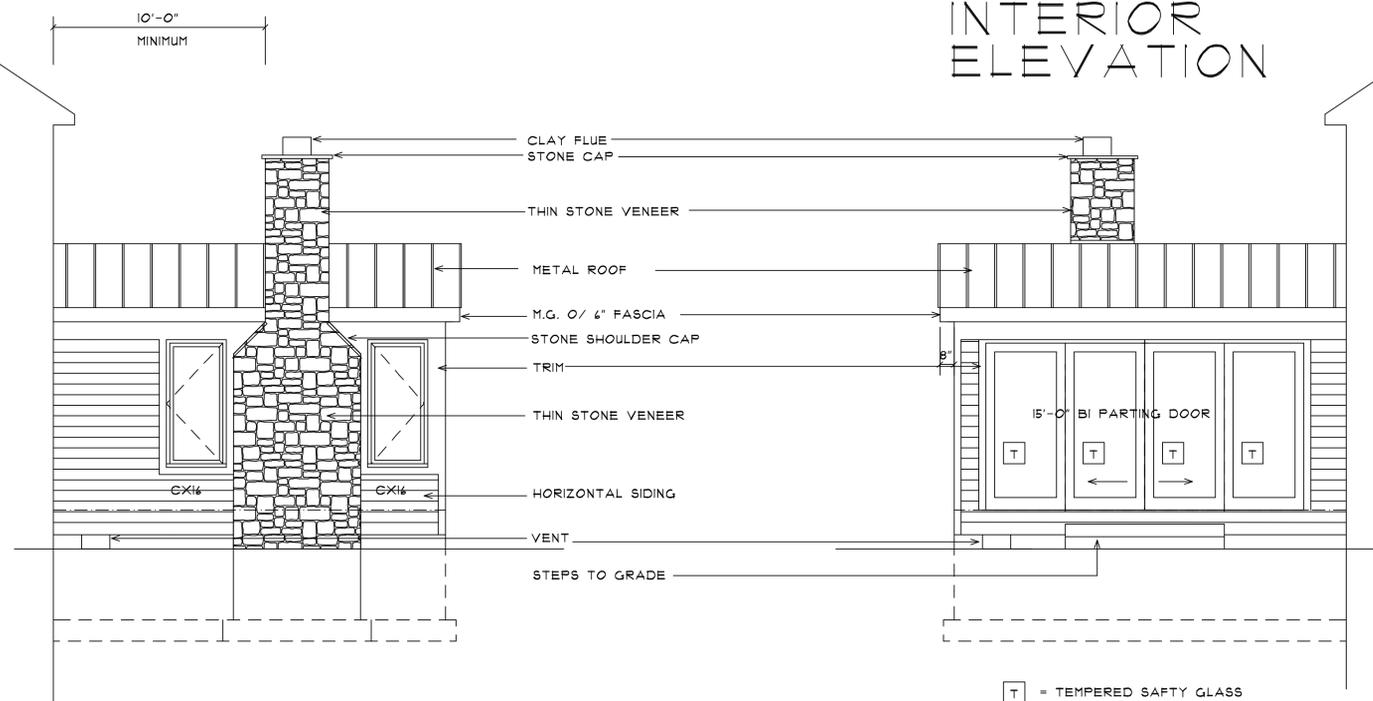
FLOOR PLAN

GENERAL NOTES

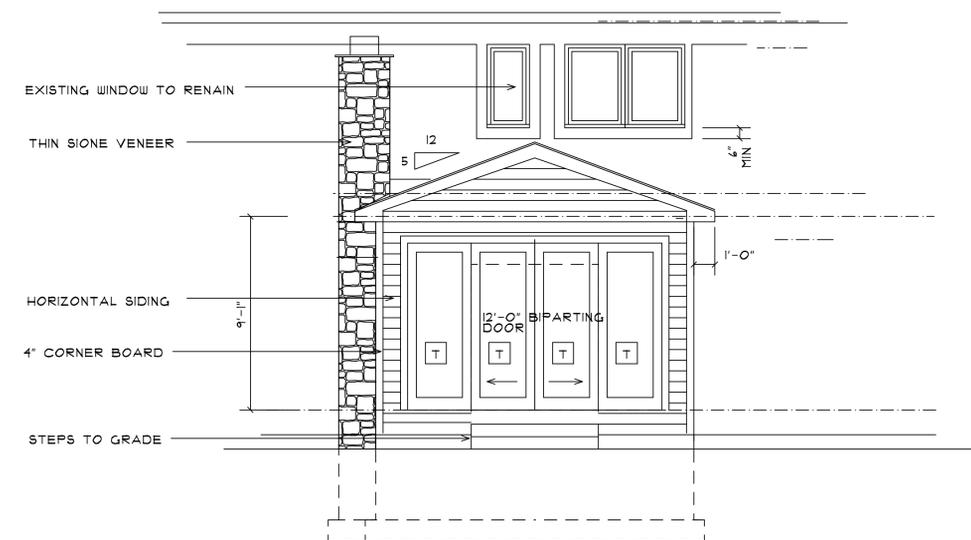
1. ALL SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO R 314.3 OF THE NEW YORK STATE CODE
2. A CARBON MONOXIDE ALARM SHALL BE PROVIDED ON EACH FLOOR ACCORDING TO F 915.2.3.III OF THE NEW YORK STATE CODE
3. SMOKE ALARMS SHALL COMPLY WITH NFPA 12 AND SECTION R 314 OF THE NEW YORK STATE CODE.
4. THE LENGHT OF EXHAUST AND SUPPLY DUCTS SHALL COMPLY WITH M 1502.2 AND TABLE M 1504.2 OF THE NEW YORK STATE CODE.
5. FOUNDATION DESIGN SHALL COMPLY WITH R 403.1.5
6. ROOF VENTILATION SHALL COMPLY WITH R 804. THE VENTILATION SYSTEM SHALL HAVE CONTIOUS SOFFIT AND RIDGE VENT.
7. ALL DUCTWORK SHALL BE INSIDE WALLS.
8. THESE PLANS COMPLY WITH, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT WITH THE ENERGY CODE
9. NOT LESS THEN 15% OF THE LAMPS IN PERMENTLY INSTALLED LIGHTINGS SHALL BE HIGH- EFFICANCY LAMPS.
10. ACCESS HATCH AND DOORS SHALL BE INSTALLED ACCORDING TO COMPLY WITH NEW YORK STATE CODE NR404.3.1.I.
11. PROGRAMABLE THERMOSTATS SHALL BE INSTALLED ACCORDING TO NEW YORK STATE CODE NR 403.1.I.
12. ALL DUCTS, AIR HANDLERS AND FILTERS BOXES SHALL BE SEALED.
13. ALL HEATED WATER CIRCULATION AND TEMPERATURE MAINTINANCE SYSTEMS SHALL COMPLY WITH NR 403.5.I OF THE NEW YORK STATE CODE
14. THE BUILDING THERMAL ENVELOPE SKALL COMPLY WITH SECTION N102.4.I OF THE NEW YORK STATE CODE.



INTERIOR ELEVATION



LEFT ELEVATION



REAR ELEVATION

THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL INNOVATIONS. THESE PLANS ARE SUBJECT TO THE LOCAL, STATE AND FEDERAL BUILDING CODES AND REGULATIONS. ARCHITECTURAL INNOVATIONS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. ARCHITECTURAL INNOVATIONS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. ARCHITECTURAL INNOVATIONS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

NO	REVISION	DATE	BY

ARCHITECTURAL INNOVATIONS

**ARCHITECTURAL INNOVATIONS**

99 SHOREHAM DRIVE  
ROCHESTER, NEW YORK 14618  
585-385-5540 E-MAIL AIPC@AOL.COM

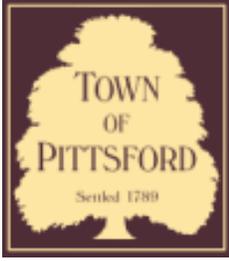
PROJECT: SUNROOM ADDITION  
DRAWING TITLE: PROJECT: AUTUMN WOODS, LOCATION: PITTSFORD, NEW YORK 14534  
CLIENT: KATE AND JONATHAN GOLDSTEIN

SHEET NUMBER: 1 of 2  
DRAWN BY: JHS  
PROJECT NUMBER: 21-005









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000059**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 28 Coddington Grove  
**Tax ID Number:** 177.08-1-66  
**Zoning District:** RN Residential Neighborhood  
**Owner:** McDonagh, Sean  
**Applicant:** Sigrist, Jack (Architect)

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

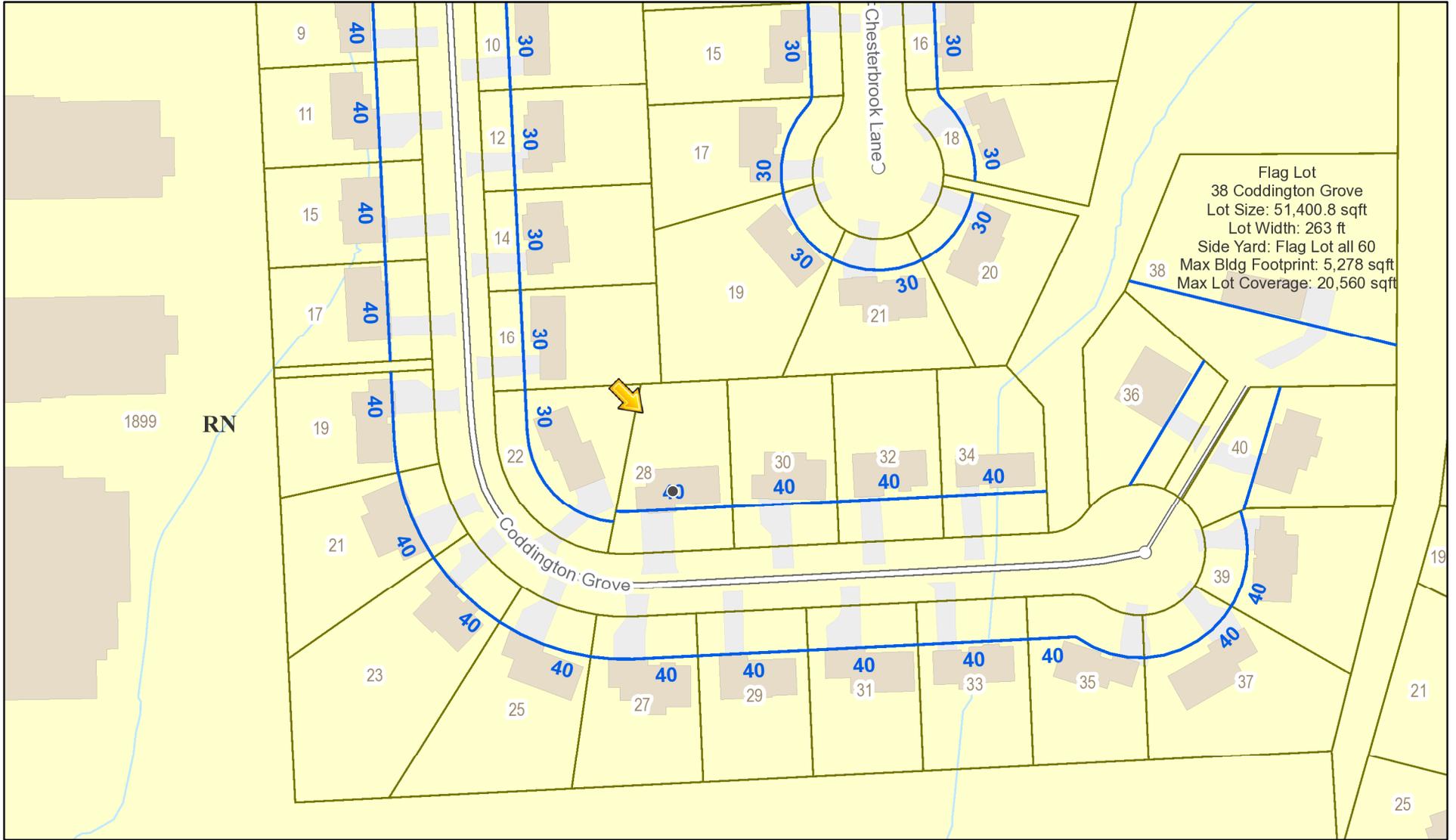
**Project Description:** Applicant is requesting design review for the kitchen addition. The addition will be approximately 384 square feet and located to the rear of the home.

**Meeting Date:** April 08, 2021

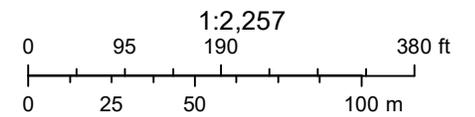


28

# RN Residential Neighborhood Zoning

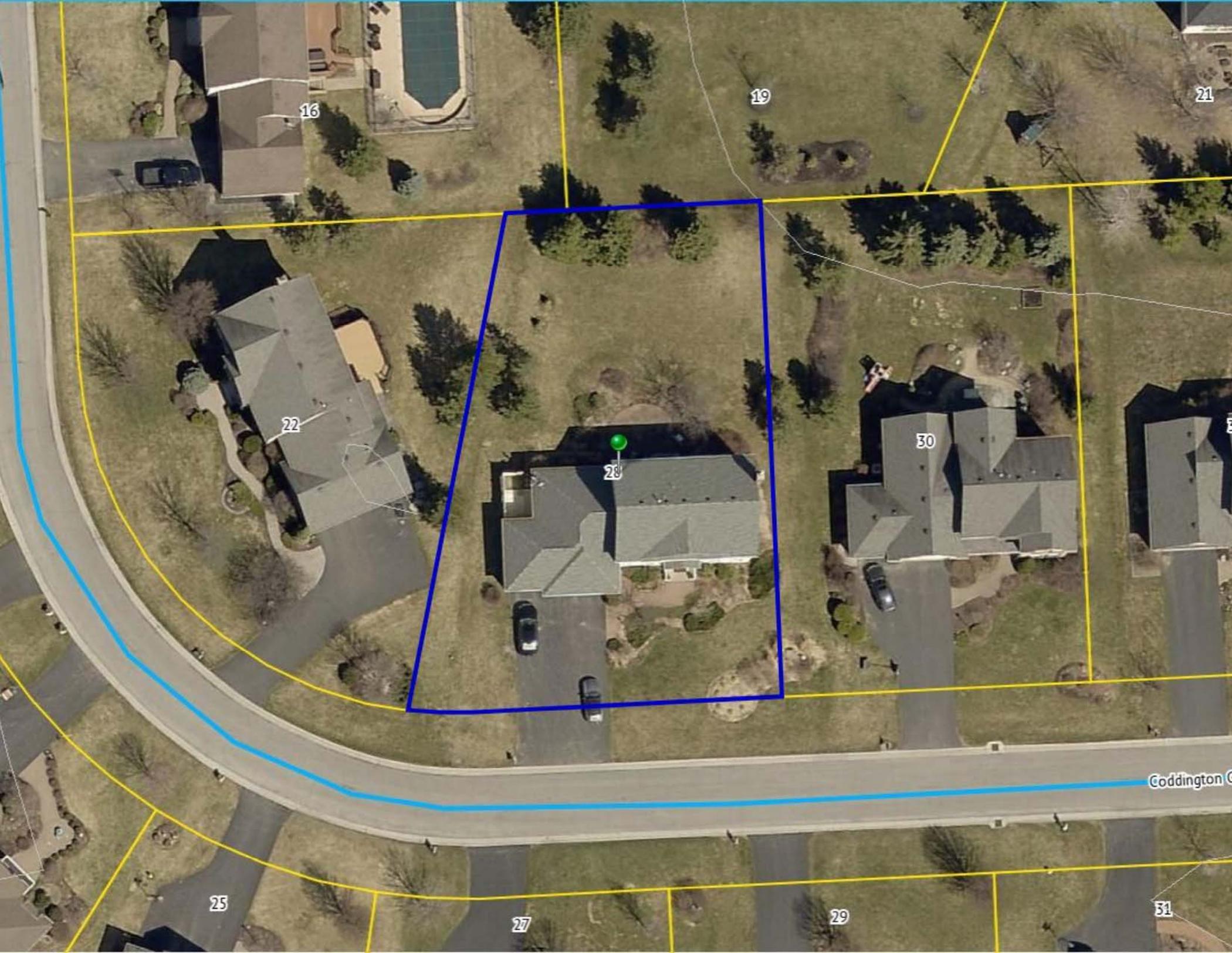


Printed March 31, 2021



Town of Pittsford GIS

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16

19

21

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28

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25

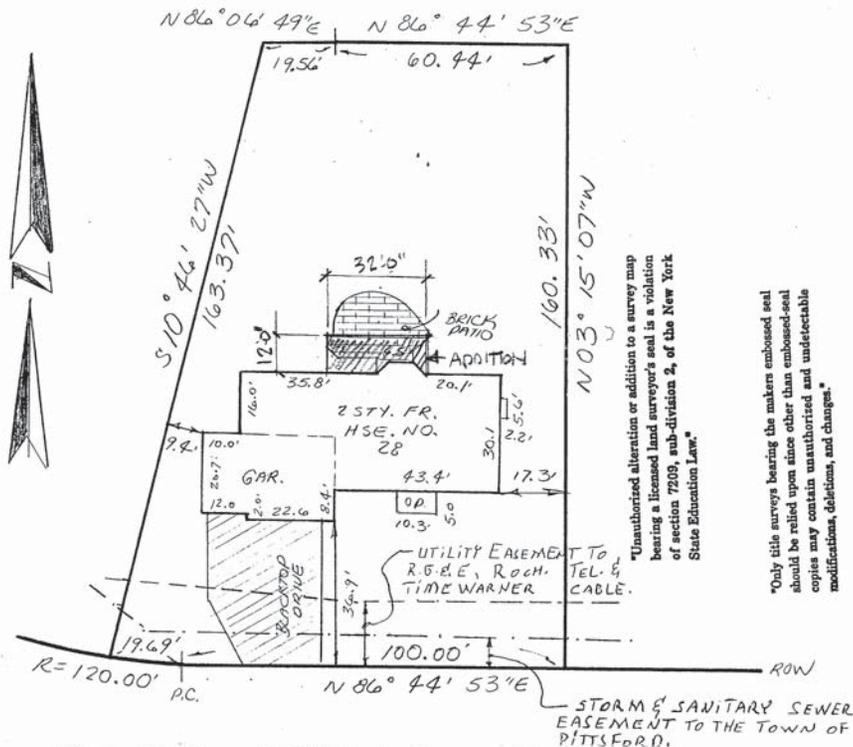
27

29

31

Coddington C

28 CODDINGTON GROVE



\*Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.\*

\*Only title surveys bearing the makers embossed seal should be relied upon since other than embossed-seal copies may contain unauthorized and undetectable modifications, deletions, and changes.\*

**CODDINGTON GROVE**  
60' R.O.W.

- REFERENCES
- 1. L. 289 MAPS, P. 13
  - 2. L. 8864 SEEDS, P. 301

I HEREBY CERTIFY TO THE PARTIES LISTED HEREOF THAT THIS MAP WAS MADE ON NOV. 23, 1998 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON NOV. 20, 1998.

*James M. Leoni*

**JAMES M. LEONI N.Y.S.R.L.S. #9225**  
 SUITE 390 3-1 COUNTRY CLUB ROAD  
 EAST ROCHESTER, N.Y. 14445

- CERTIFIED TO:
1. NORTH MORTGAGE, INC., ITS SUCCESSORS AND/OR ASSIGNS
  2. THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE
  3. DAVID W. AND JOANN M. HUFFMAN
  4. DIANE MENDICK, ESQ.
  - 5.

**INSTRUMENT SURVEY**  
**28 CODDINGTON GROVE**  
**LOT 438 CODDINGTON GROVE SEC. G**  
 SITUATE IN  
**TOWN OF PITTSFORD**  
**MONROE CO. NEW YORK**  
 SCALE: 1" = 30'  
 NOV. 23, 1998

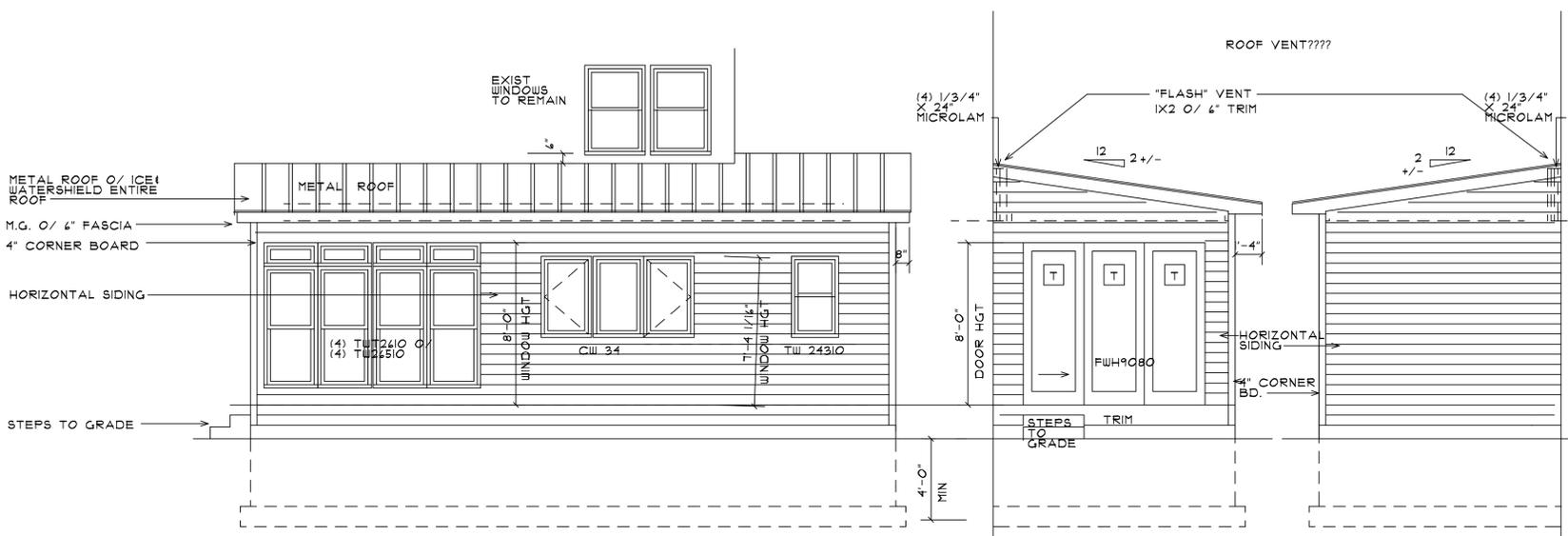
THESE PLANS ARE INSTRUMENTS OF SERVICE AND NOT BE LOANED, REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION. IF THESE PLANS ARE UNAUTHORIZED AT THE LOCATION OF THE PROJECT, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO THE PROJECT OR FOR ANY CONSEQUENCES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO THE PROJECT OR FOR ANY CONSEQUENCES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO THE PROJECT OR FOR ANY CONSEQUENCES.

ARCHITECTURAL INNOVATIONS		DATE	BY
NO.	REVISION		

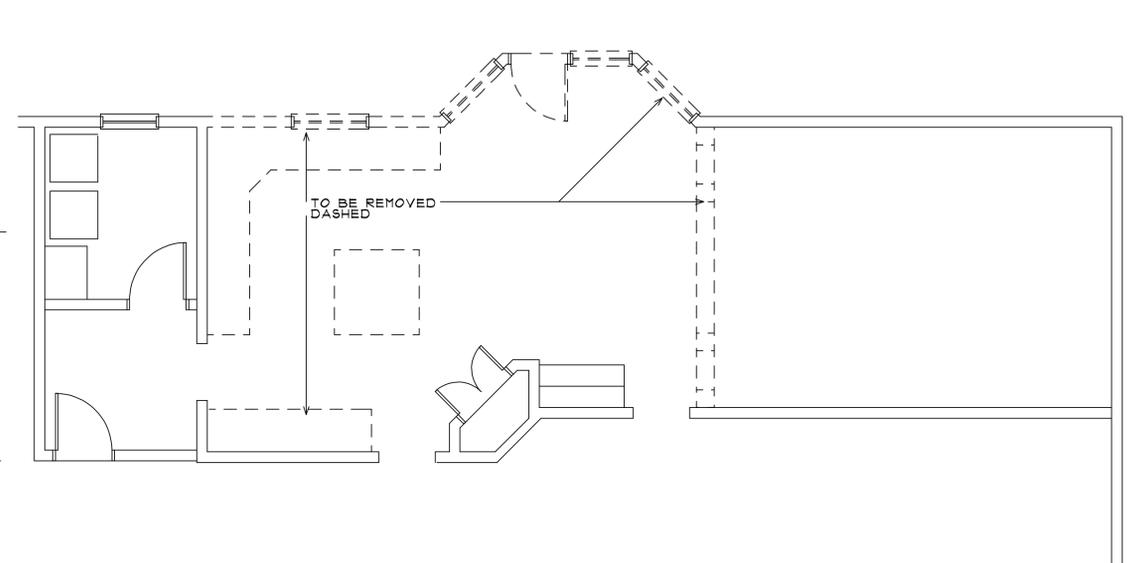
PROJECT: 28 CROFTON GROVE  
 LOCATION: PITTSFORD, NEW YORK  
 CLIENT: M/T MC DONAGH

**ARCHITECTURAL INNOVATIONS**  
 99 SHOREHAM DRIVE  
 ROCHESTER, NEW YORK 14618  
 585-385-5540 E-MAIL: AIFC@AOL.COM

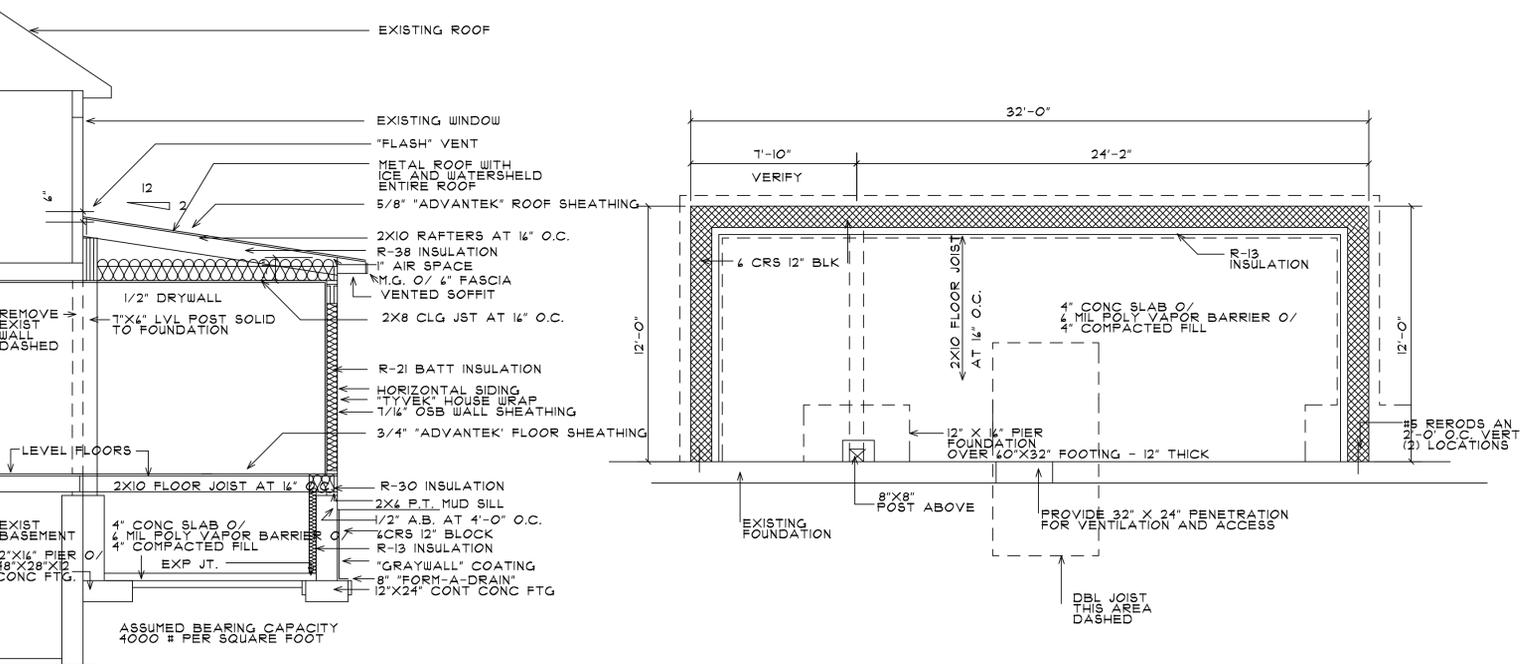
PROJECT	DRAWING TITLE	SHEET NUMBER
PROJECT: 28 CROFTON GROVE LOCATION: PITTSFORD, NEW YORK CLIENT: M/T MC DONAGH		1 of 2
	DRAWN BY	
	JHS	
	PROJECT NUMBER	
	20-023	



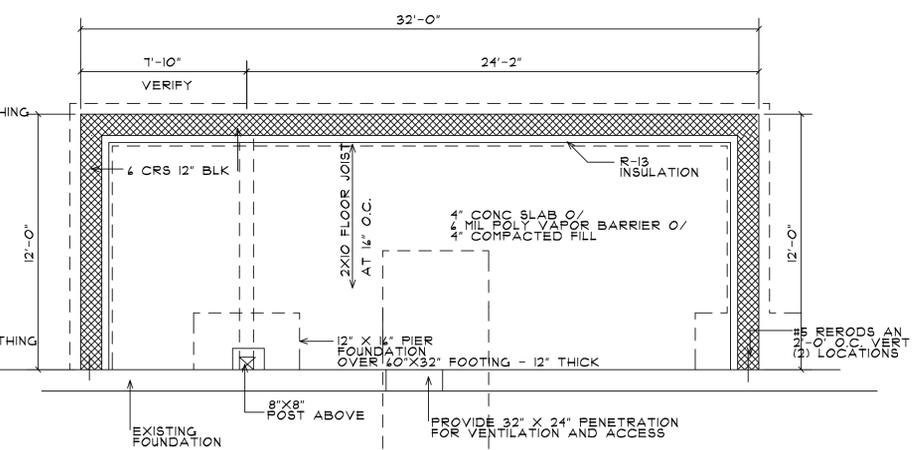
PROPOSED ELEVATION



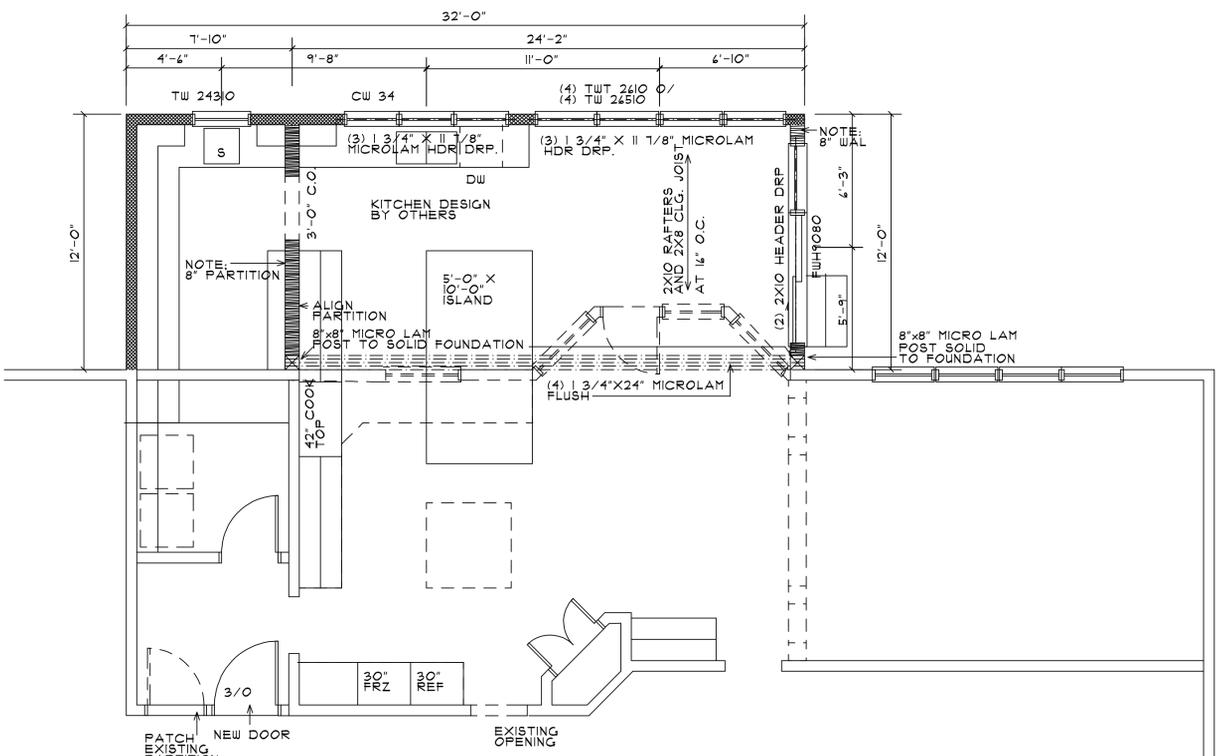
DEMOLITION - EXISTING FLOOR PLAN



SECTION



FOUNDATION PLAN



PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"

- GENERAL NOTES**
- ALL SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO R 314.3 OF THE NEW YORK STATE CODE
  - A CARBON MONOXIDE ALARM SHALL BE PROVIDED ON EACH FLOOR ACCORDING TO F 915.2.3.1.1 OF THE NEW YORK STATE CODE
  - SMOKE ALARMS SHALL COMPLY WITH NFPA 12 AND SECTION R 314 OF THE NEW YORK STATE CODE.
  - THE LENGTH OF EXHAUST AND SUPPLY DUCTS SHALL COMPLY WITH M 1506.2 AND TABLE M 1506.2 OF THE NEW YORK STATE CODE.
  - FOUNDATION DESIGN SHALL COMPLY WITH R 403.1.5
  - ROOF VENTILATION SHALL COMPLY WITH R 806. THE VENTILATION SYSTEM SHALL HAVE CONTIOUS SOFFIT AND RIDGE VENT.
  - ALL DUCTWORK SHALL BE INSIDE WALLS.
  - THESE PLANS COMPLY WITH, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT WITH THE ENERGY CODE
  - NOT LESS THEN 75% OF THE LAMPS IN PERMENTLY INSTALLED LIGHTINGS SHALL BE HIGH-EFFICANCY LAMPS.
  - ACCESS HATCH AND DOORS SHALL BE INSTALLED ACCORDING TO COMPLY WITH NEW YORK STATE CODE NR404.3.1.1.
  - PROGRAMMABLE THERMOSTATS SHALL BE INSTALLED ACCORDING TO NEW YORK STATE CODE NR 403.1.1.
  - ALL DUCTS, AIR HANDLERS AND FILTERS BOXES SHALL BE SEALED.
  - ALL HEATED WATER CIRCULATION AND TEMPERATURE MAINTINANCE SYSTEMS SHALL COMPLY WITH NR 403.5.1 OF THE NEW YORK STATE CODE
  - THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTION N102.4.1 OF THE NEW YORK STATE CODE.

WINDOWS ARE "ANDERSEN" 400 SERIES DOUBLE PANE WITH LOW - E

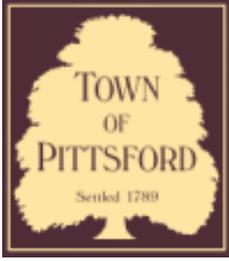
**THERMAL ENVELOPE NOTES**

FOUNDATION	R-13
BAND JOIST	R-30
WALLS	R-21
CEILING	R-38
WINDOWS	0.30
DOORS	0.30









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000064**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 156 Kilbourn Road ROCHESTER, NY 14618

**Tax ID Number:** 138.13-3-19

**Zoning District:** RN Residential Neighborhood

**Owner:** Ryan, Joseph M

**Applicant:** Ryan, Joseph M

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the first and second story additions. The first story additions will include a new porch, garage extension and a rear addition. The second story addition will be approximately 1395 square feet and will added to the current one story home.

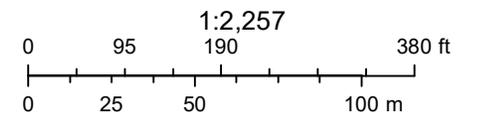
**Meeting Date:** April 08, 2021



# RN Residential Neighborhood Zoning

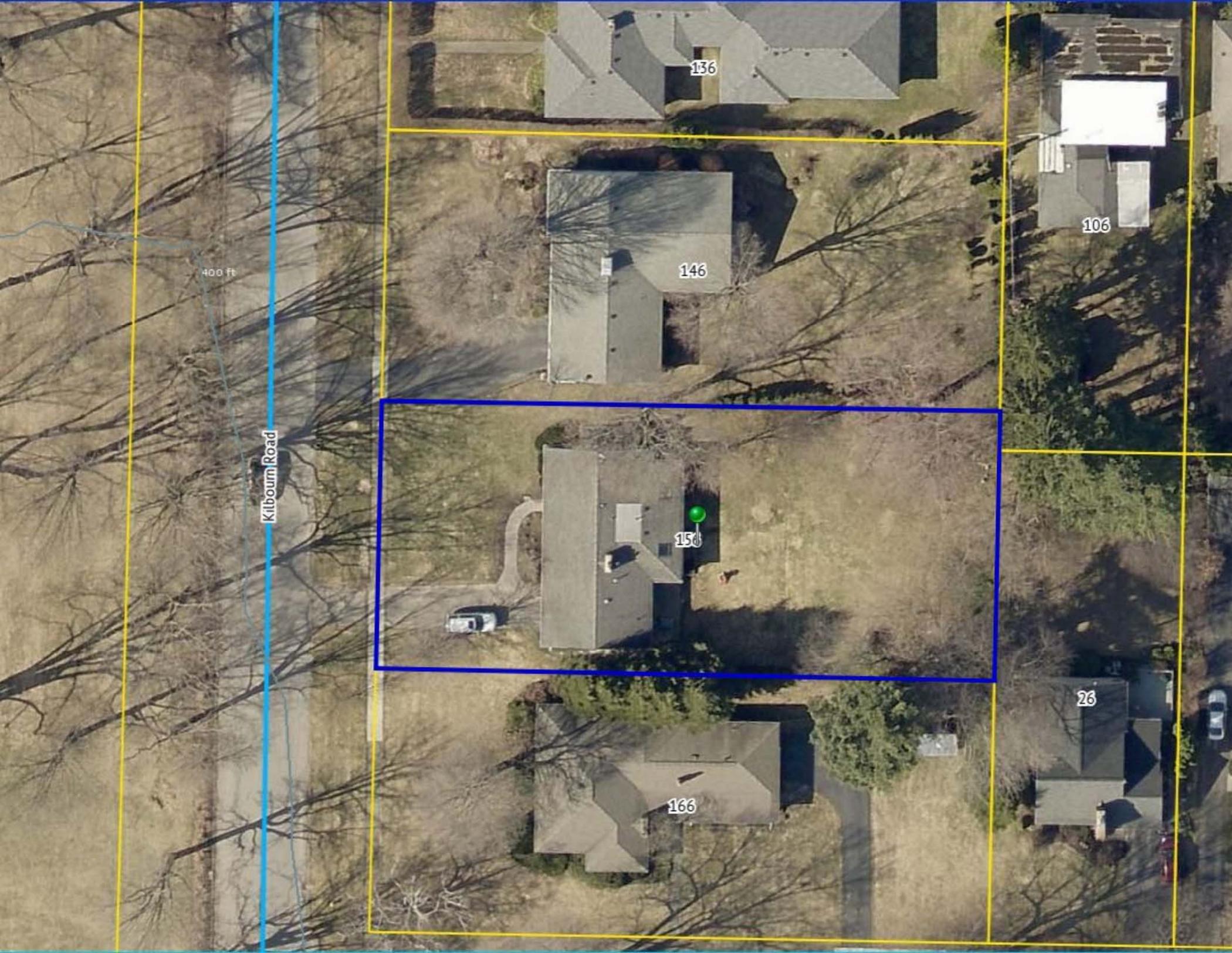


Printed March 31, 2021



Town of Pittsford GIS

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136

106

400 Ft

Kilbourn Road

146

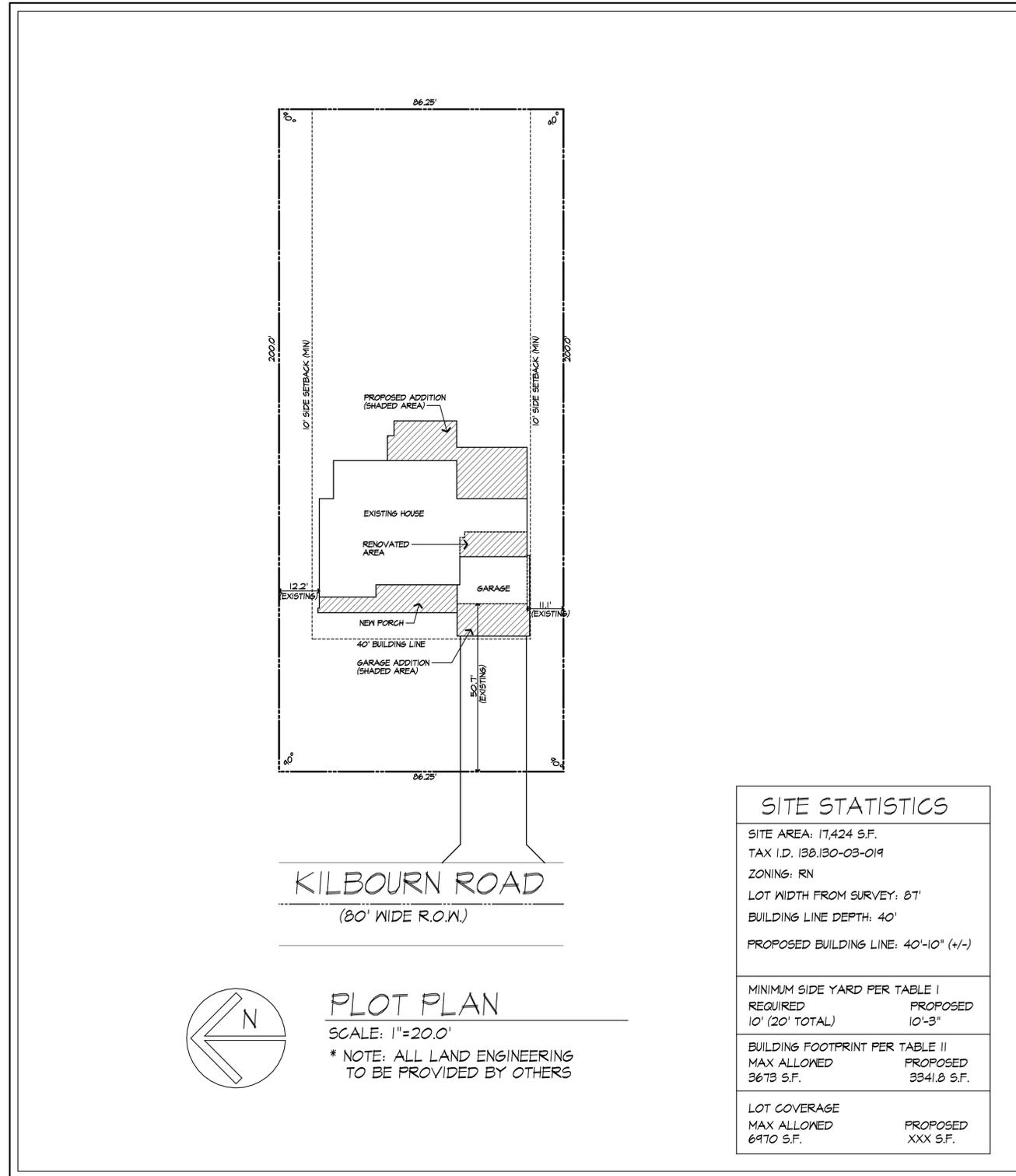
156

166

26

# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, SHOP-PRIME PAINT TT-P-30, TT-P-31C, TT-P-35, FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - I, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S MET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R301.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R301.4 OF THE BUILDING CODE OF NEW YORK STATE (2020).
- PROVIDE A MIN. 3/4" R/F FIRE SEPARATION PER SECTION R301.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



SITE STATISTICS	
SITE AREA: 17,424 S.F.	
TAX I.D. 138,130-03-019	
ZONING: RN	
LOT WIDTH FROM SURVEY: 87'	
BUILDING LINE DEPTH: 40'	
PROPOSED BUILDING LINE: 40'-10" (+/-)	
MINIMUM SIDE YARD PER TABLE I	
REQUIRED	PROPOSED
10' (20' TOTAL)	10'-3"
BUILDING FOOTPRINT PER TABLE II	
MAX ALLOWED	PROPOSED
3673 S.F.	3341.8 S.F.
LOT COVERAGE	
MAX ALLOWED	PROPOSED
6970 S.F.	XXX S.F.

**PLOT PLAN**  
SCALE: 1"=20.0'  
\* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

**PROPOSED ADDITION/ RENOVATION**  
**MR/ MRS JOSEPH RYAN**  
**156 KILBOURN ROAD PITTSFORD, NY**

# DRAWING INDEX

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| <b>12</b> | <b>WALL SECTIONS</b>                  |

ENERGY COMPLIANCE DETAILS & PATH MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5		
COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	.49	.49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JST5
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH	
1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1	
2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5	
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1	
4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4	
5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)	
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.3	
7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1	
8. MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.5.5 REQUIREMENT.	
9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1	
10. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.	

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 50 PSF R301.2 (5)
- WIND SPEED - 90 MPH, EXPOSURE B R301.2 (4)
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1'
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1
- ENERGY COMPLIANCE DETAILS & PATH - RESCHER



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**PROJECT:**  
PROPOSED RENOVATION AND ADDITION  
156 KILBOURN RD  
PITTSFORD, NY

**CLIENT:**  
MR. JOSEPH RYAN  
156 KILBOURN RD  
PITTSFORD, NY

**DRAWING:**  
TITLE PAGE

<b>DRAWN:</b> P.MA1A	<b>CHECKED:</b> V
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**DATE:** DECEMBER 2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20M384T

**SHEET:**  
**1**  
OF **13** SHEETS



**NOTICE:**

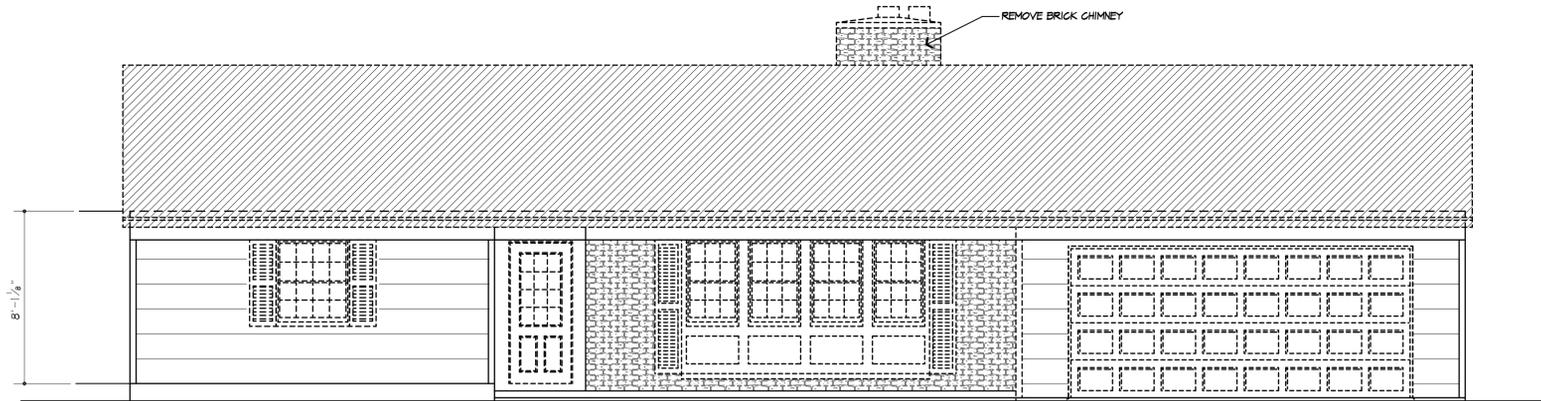
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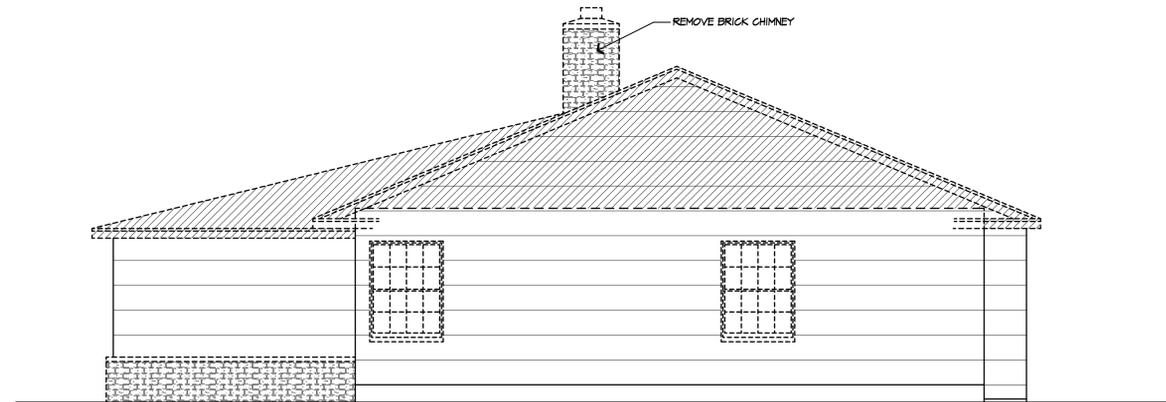
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**FRONT ELEVATION/ EXISTING**

WITH REMOVALS SHOWN



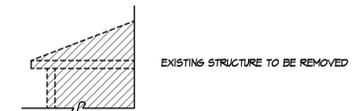
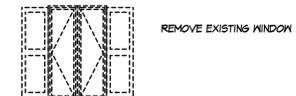
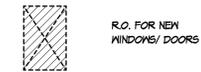
**LEFT SIDE ELEVATION/ EXISTING**

WITH REMOVALS SHOWN

**REMOVAL LEGEND ELEVATIONS**

**GENERAL REMOVALS:**

1. REMOVE EXISTING ROOF STRUCTURE  
CEILING JOISTS TO REMAIN
2. REMOVE EXISTING BRICK VENEER
3. REMOVE EXISTING SIDING TO SHEATHING.
4. REMOVE EXISTING WINDOWS, UNLESS OTHERWISE NOTED



REVISED 3/6/2021 P.J.MAIA

**PROJECT:**  
PROPOSED RENOVATION AND ADDITION  
156 KILBOURNE RD  
PITTSFORD, NY

**CLIENT:**  
M/M JOSEPH RYAN  
156 KILBOURNE RD  
PITTSFORD, NY

**DRAWING:**  
ELEVATIONS - EXISTING

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** DECEMBER 2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB84T

**SHEET:**

**2**  
OF **13** SHEETS



**NOTICE:**

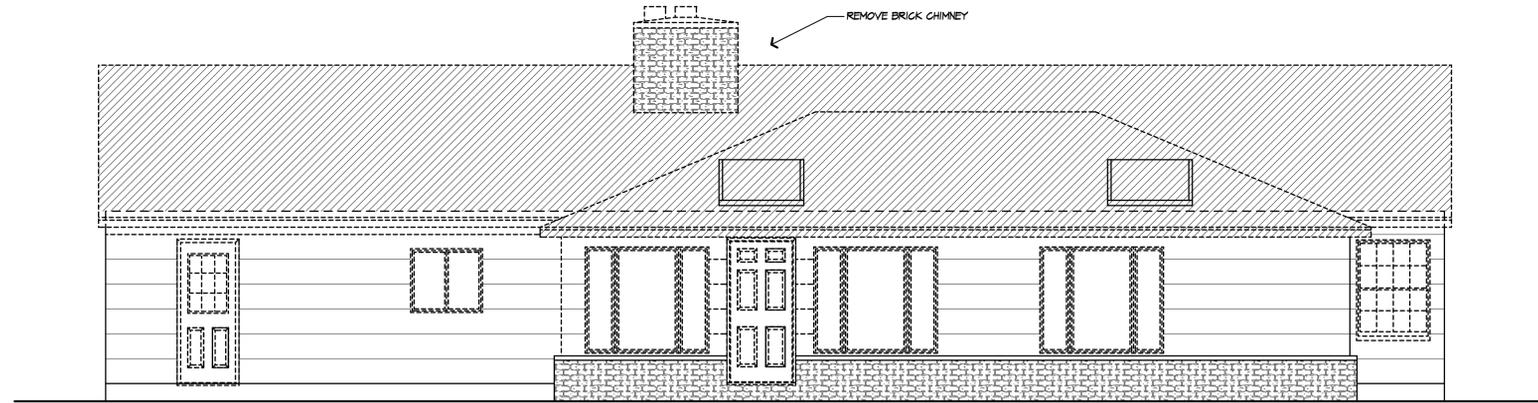
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**REAR ELEVATION/ EXISTING**

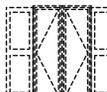
WITH REMOVALS SHOWN

**REMOVAL LEGEND ELEVATIONS**

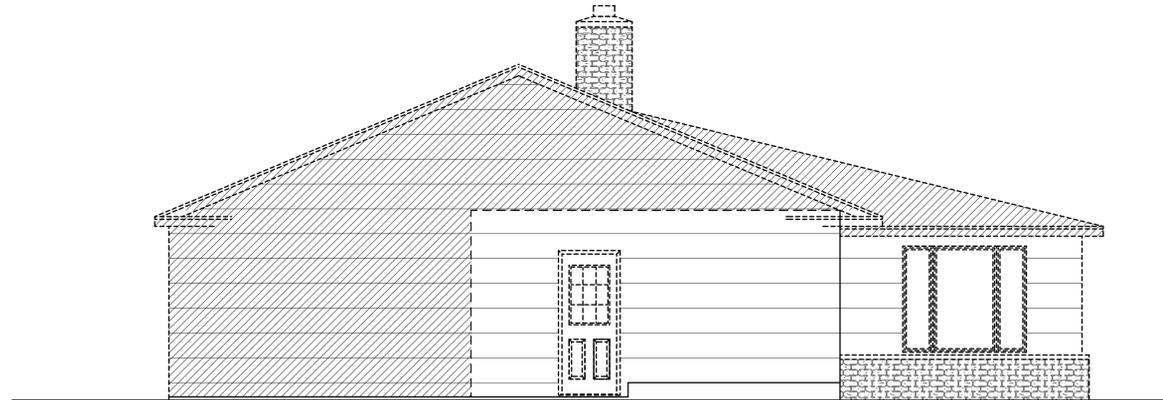
**GENERAL REMOVALS:**

1. REMOVE EXISTING ROOF STRUCTURE  
CEILING JOISTS TO REMAIN
2. REMOVE EXISTING BRICK VENEER
3. REMOVE EXISTING SIDING TO SHEATHING.
4. REMOVE EXISTING WINDOWS, UNLESS OTHERWISE NOTED

 R.O. FOR NEW WINDOWS/ DOORS

 REMOVE EXISTING WINDOW

 EXISTING STRUCTURE TO BE REMOVED



**RIGHT SIDE ELEVATION/ EXISTING**

WITH REMOVALS SHOWN

REVISED 3/6/2021 P.J.MAIA

**PROJECT:**  
PROPOSED RENOVATION AND ADDITION  
156 KILBOURNE RD  
PITTSFORD, NY

**CLIENT:**  
M/M JOSEPH RYAN  
156 KILBOURNE RD  
PITTSFORD, NY

**DRAWING:**

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** DECEMBER 2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB047

**SHEET:**

**3**  
OF **13** SHEETS



**NOTICE:**

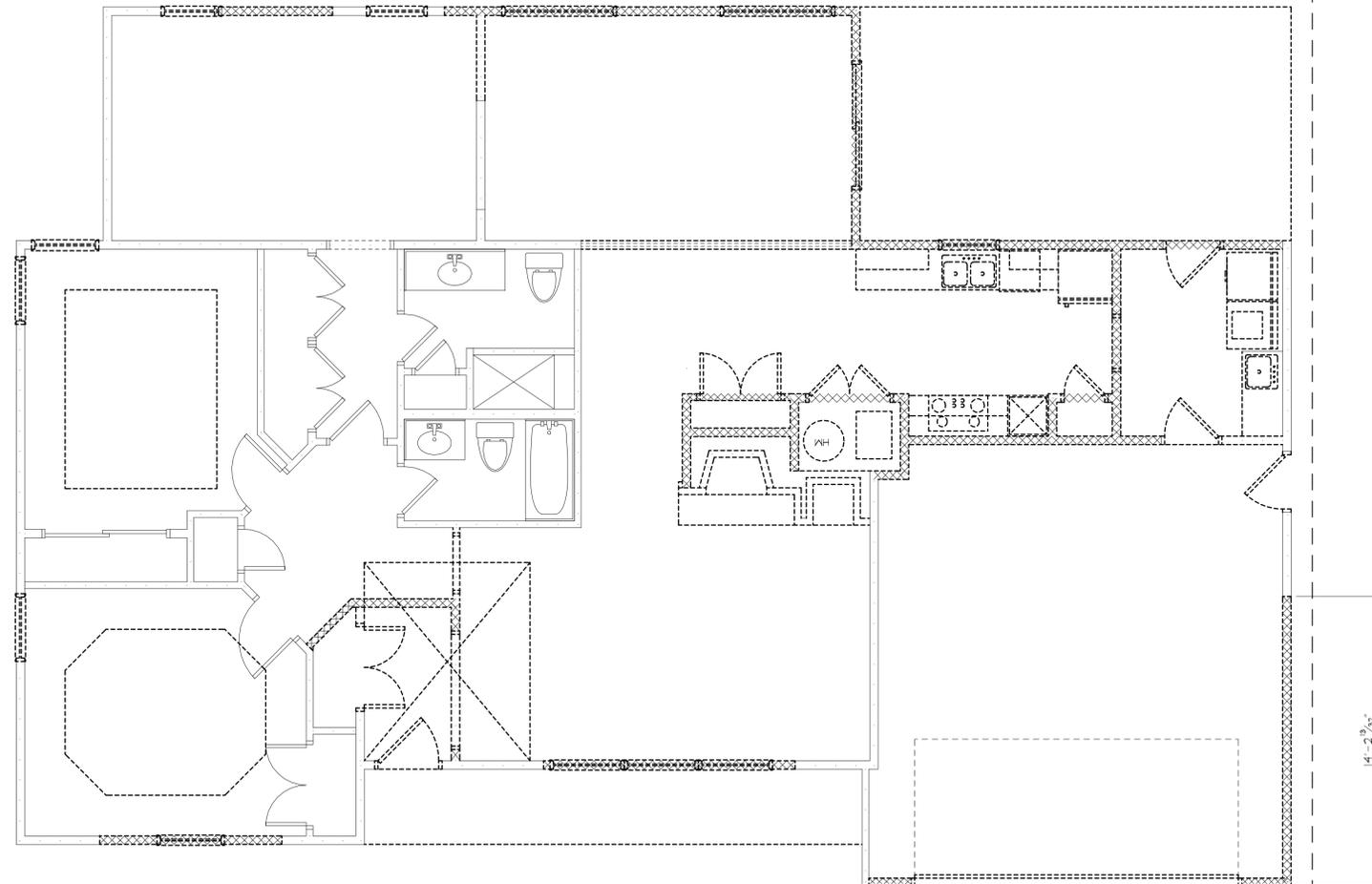
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**FLOOR PLAN/ EXISTING**

WITH REMOVALS SHOWN

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

REVISED 3/6/2021 P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION AND ADDITION  
 156 KILBOURNE RD  
 PITTSFORD, NY

**CLIENT:**  
 M/M JOSEPH RYAN  
 156 KILBOURNE RD  
 PITTSFORD, NY

**DRAWING:**  
 FIRST FLOOR PLAN  
 EXISTING

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** DECEMBER 2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB047

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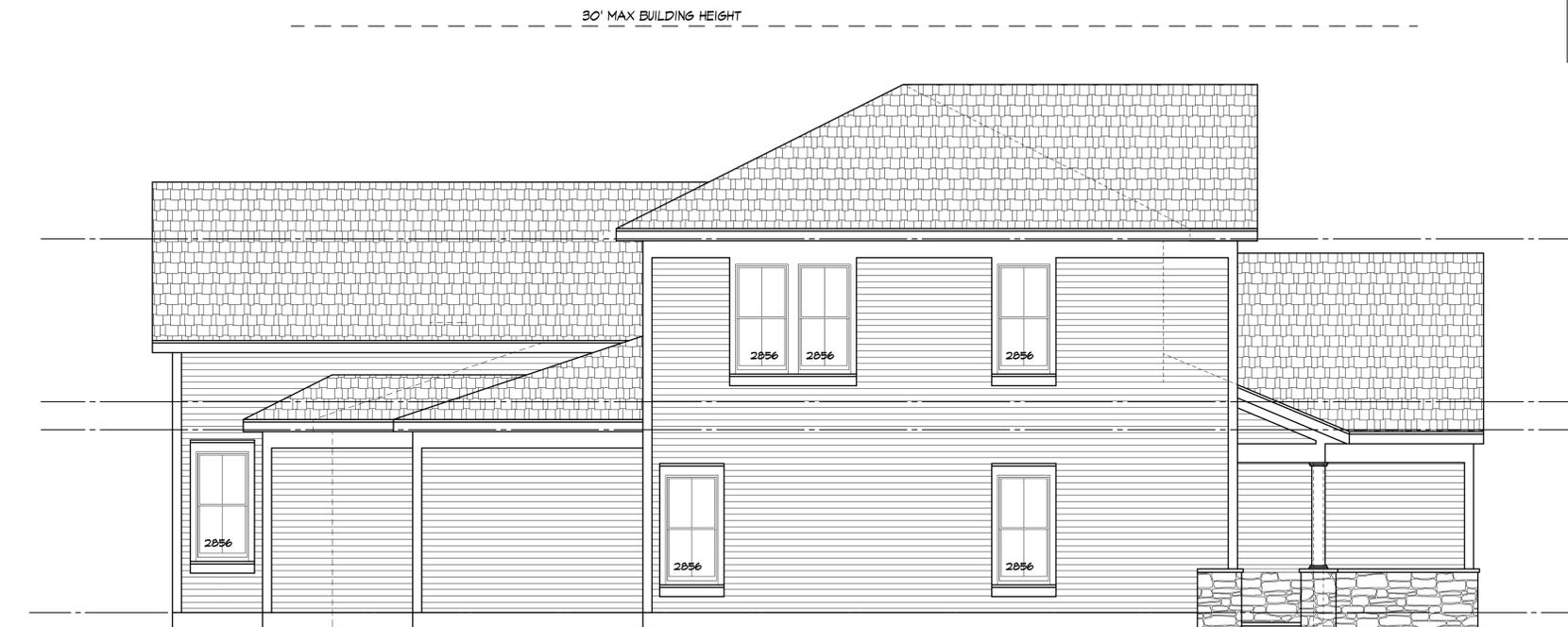
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FRONT ELEVATION/ PROPOSED

AREA: EXISTING HOUSE 1809 S.F. EXISTING GARAGE 444 S.F.  
 NEW ADDITIONS: 724 S.F. (FIRST FLOOR)  
 1395 S.F. (SECOND FLOOR)  
 TOTAL HOUSE AREA INCLUDING ADDITIONS: 3928 S.F.  
 NEW GARAGE: 521.5 S.F.  
 NEW PORCH: 282 S.F.



LEFT SIDE ELEVATION/ PROPOSED

REVISED 3/6/2021 P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION AND ADDITION  
 156 KILBOURNE RD  
 PITTSFORD, NY

**CLIENT:**  
 M/M JOSEPH RYAN  
 156 KILBOURNE RD  
 PITTSFORD, NY

**DRAWING:**  
 ELEVATIONS - PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** DECEMBER 2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB047

**SHEET:**

**6**  
 OF 13 SHEETS





REAR ELEVATION/ PROPOSED



RIGHT SIDE ELEVATION/ PROPOSED



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**PROJECT:**  
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156 KILBOURNE RD  
PITTSFORD, NY

**CLIENT:**  
M/M JOSEPH RYAN  
156 KILBOURNE RD  
PITTSFORD, NY

**DRAWING:**  
ELEVATIONS - PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
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**DATE:** DECEMBER 2020

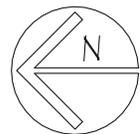
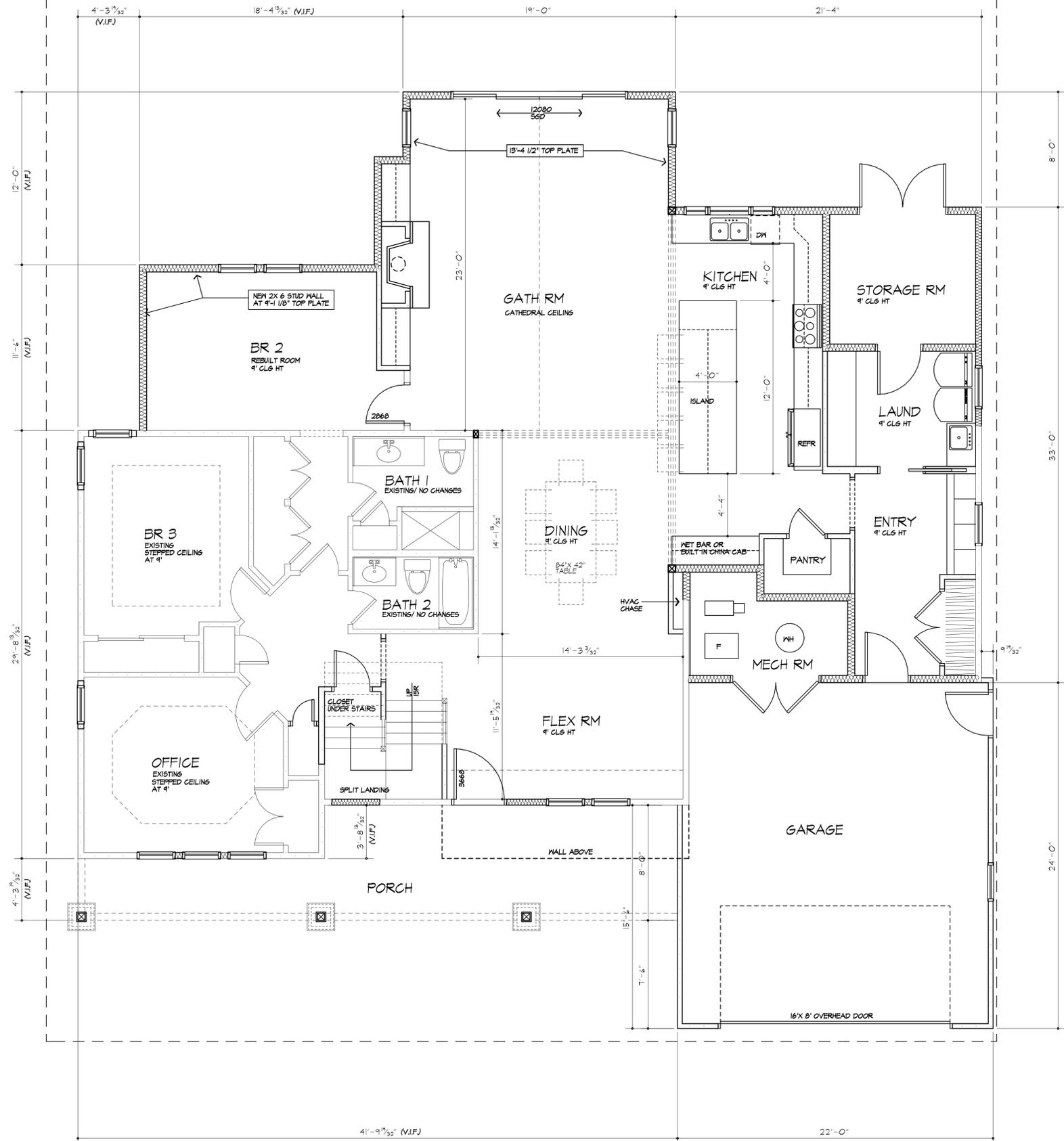
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB047

**SHEET:**

**7**  
OF **13** SHEETS





### FIRST FLOOR PLAN/ PROPOSED

AREA: EXISTING HOUSE 1809 S.F. EXISTING GARAGE 444 S.F.  
 NEW ADDITIONS: 724 S.F.  
 TOTAL FIRST FLOOR INCLUDING ADDITIONS: 2533 S.F.  
 NEW GARAGE: 521.5 S.F.  
 NEW PORCH: 282 S.F.



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 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

REVISED 3/6/2021 P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION AND ADDITION  
 156 KILBOURNE RD  
 PITTSFORD, NY

**CLIENT:**  
 M/M JOSEPH RYAN  
 156 KILBOURNE RD  
 PITTSFORD, NY

**DRAWING:**  
 1ST FLOOR PLAN  
 PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
---------------------------	----------------------

**DATE:** DECEMBER 2020

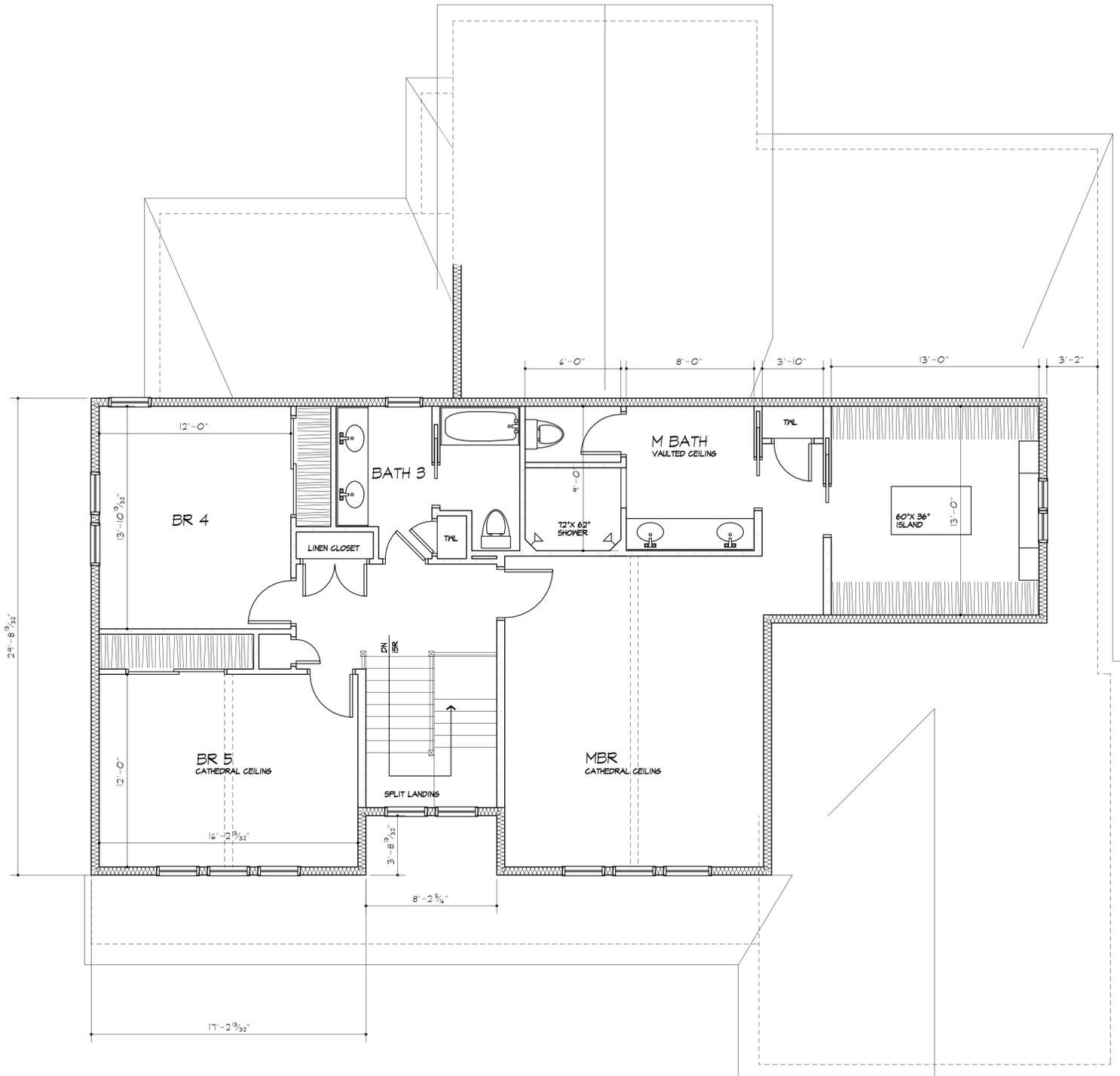
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB047

**SHEET:**

**9**  
 OF 13 SHEETS





**SECOND FLOOR PLAN/ PROPOSED**  
 AREA: 1395 S.F. FLOOR AREA



**MORABITO ARCHITECTS**  
 PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
 LICENSED IN CO., MA, NE, NY, PA, SC

121 Sully's Trail  
 Pittsford, NY 14534

(585) 264-1330  
 (585) 264-1333 Fax

www.MorabitoArchitects.com

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REVISED 3/6/2021 P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION AND ADDITION  
 156 KILBOURNE RD  
 PITTSFORD, NY

**CLIENT:**  
 M/M JOSEPH RYAN  
 156 KILBOURNE RD  
 PITTSFORD, NY

**DRAWING:**  
 2ND FLOOR PLAN  
 PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> V
---------------------------	----------------------

**DATE:** DECEMBER 2020

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 20MB047

**SHEET:**

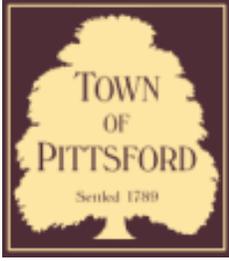
**10**  
 OF **13** SHEETS











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B21-000065**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 15 Coventry Ridge PITTSFORD, NY 14534

**Tax ID Number:** 177.03-5-5

**Zoning District:** IZ Incentive Zoning

**Owner:** Klein, David

**Applicant:** Brasly, James (Architect)

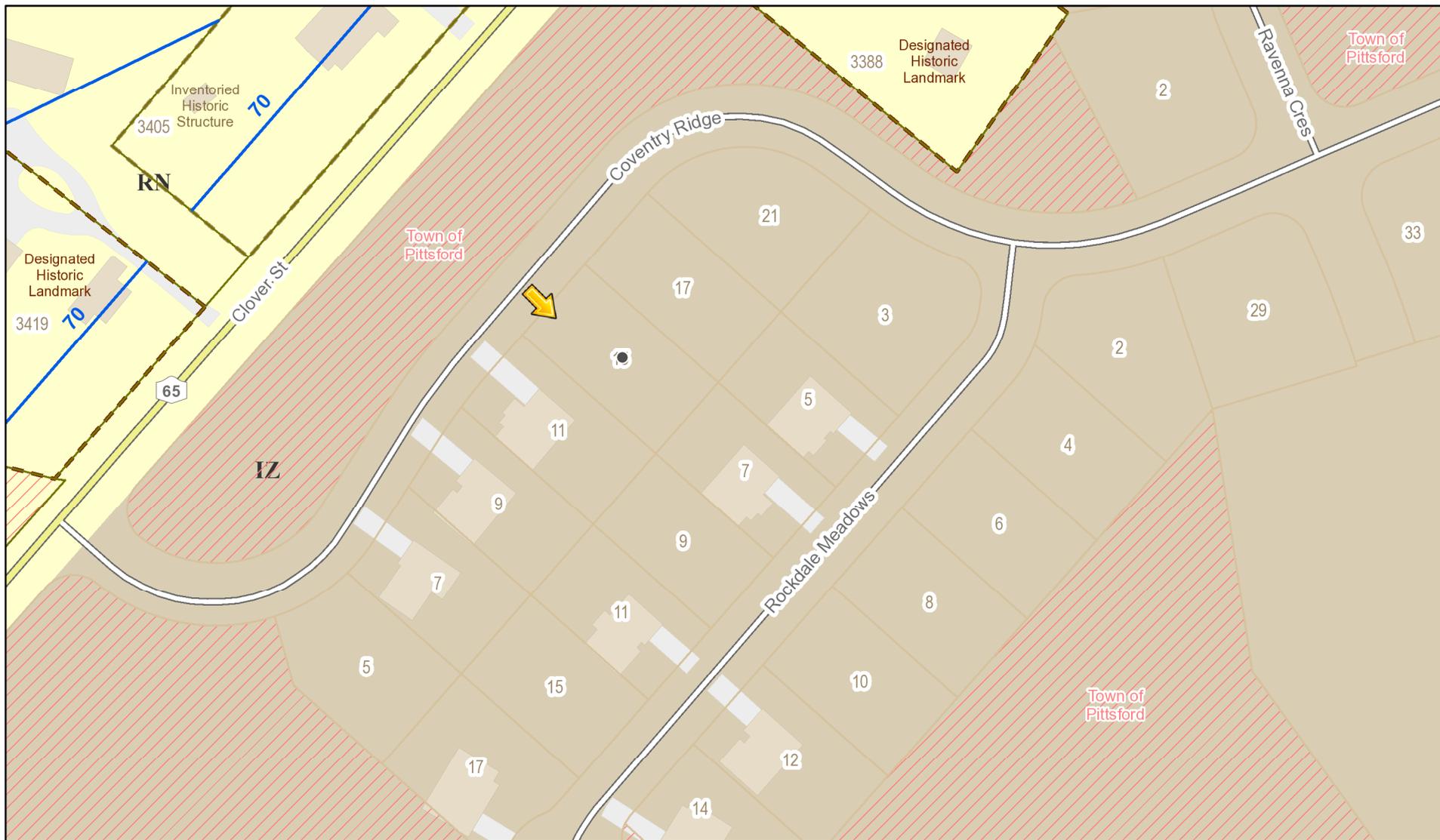
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

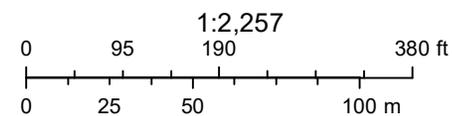
**Project Description:** Applicant is requesting design review for the cover porch addition. The addition will be approximately 591 square feet and will be located to the rear of the home.

**Meeting Date:** April 08, 2021

# RN Residential Neighborhood Zoning

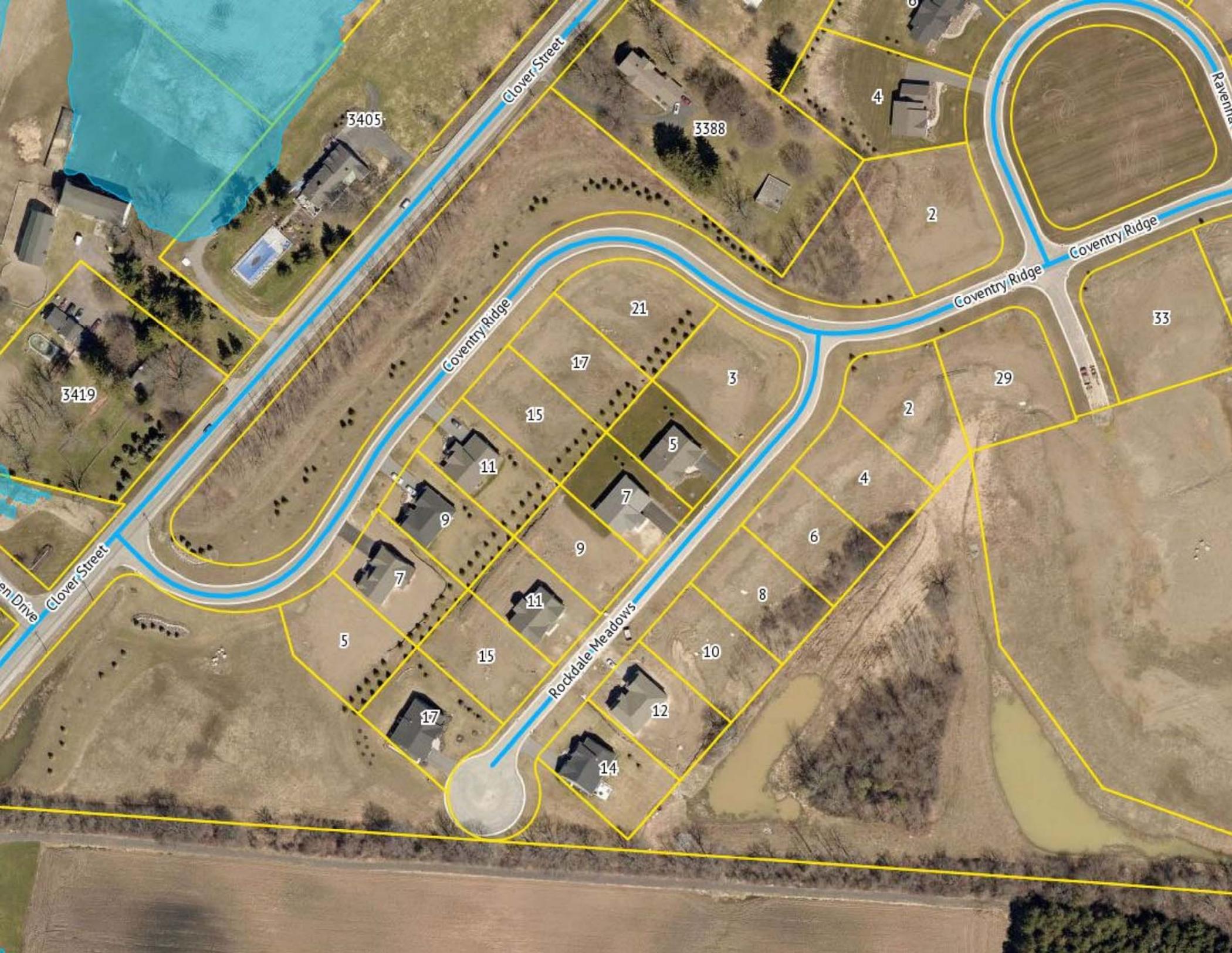


Printed April 1, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Clover Street

3405

3388

4

2

Coventry Ridge

33

Coventry Ridge

21

17

3

29

3419

15

2

11

5

4

9

7

6

en Drive  
Clover Street

9

8

7

11

10

5

Rockdale Meadows

15

12

17

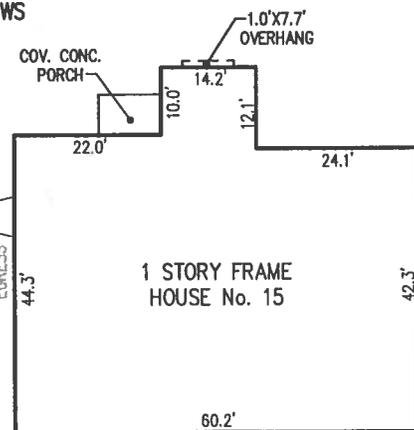
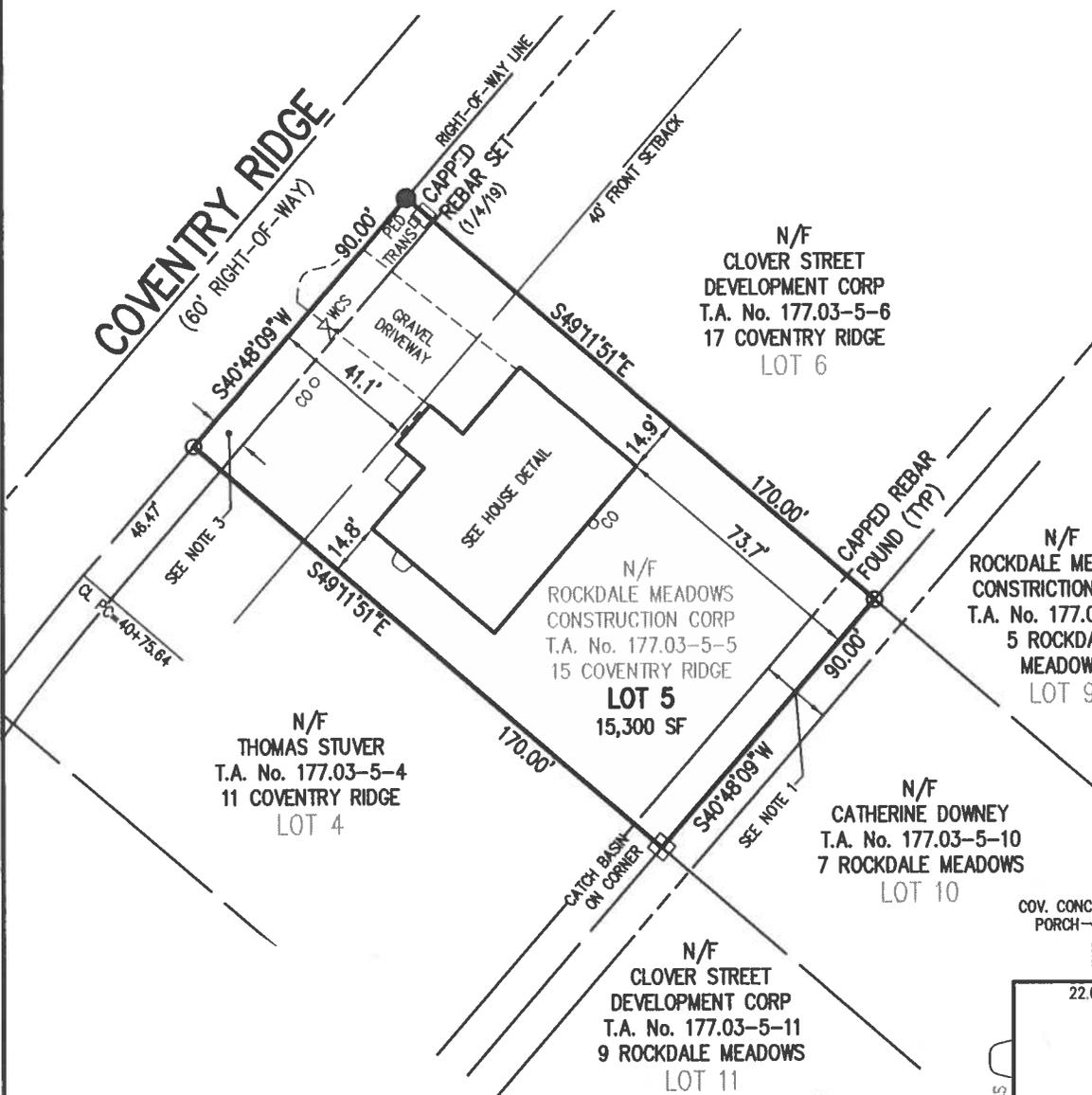
14





MAP OF A SURVEY

**COVENTRY RIDGE**  
(60' RIGHT-OF-WAY)



**REFERENCES:**

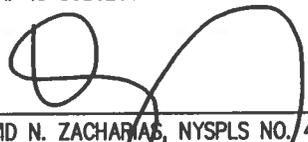
1. A PLAN ENTITLED "COVENTRY RIDGE SUBDIVISION, SECTION 2, FINAL SUBDIVISION PLAT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 349 OF MAPS, PAGE 76.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

**NOTES:**

1. PARCEL SUBJECT TO AN EASEMENT TO TOWN OF PITTSFORD PER LIBER 11532 OF DEEDS, PAGE 54.
2. PARCEL SUBJECT TO A DECLARATION OF CONDITIONS, COVENANTS AND RESTRICTIONS PER LIBER 11056 OF DEEDS, PAGE 147, AND AMENDED PER LIBER 11676 OF DEEDS, PAGE 397 AND LIBER 11763 OF DEEDS, PAGE 58.
3. PARCEL MAY BE SUBJECT TO A UTILITY EASEMENT TO ROCHESTER GAS & ELECTRIC CORP., FRONTIER TELEPHONE OF ROCHESTER, INC., TIME WARNER ENTERTAINMENT COMPANY - ADVANCE NEWHOUSE PARTNERSHIP, THROUGH ITS ROCHESTER DIVISION, DBA TIME WARNER CABLE.
4. SETBACK REQUIREMENTS:  
FRONT: 40 FEET  
SIDE: 10 FEET  
REAR: 10 FEET
5. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '27), WESTERN ZONE.

WE: BME ASSOCIATES, CERTIFY TO SPALL HOMES THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON JANUARY 4, 2019 AND FROM THE REFERENCES NOTED HEREON, THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY:   
DAVID N. ZACHARIAS, NYSPLS No. 49940

**PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, T.A. No. 177.03-5-5**

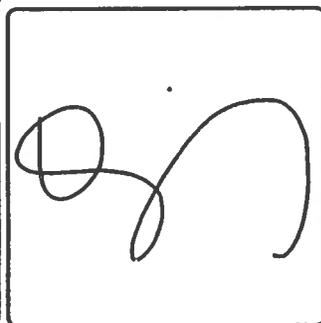
"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

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COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

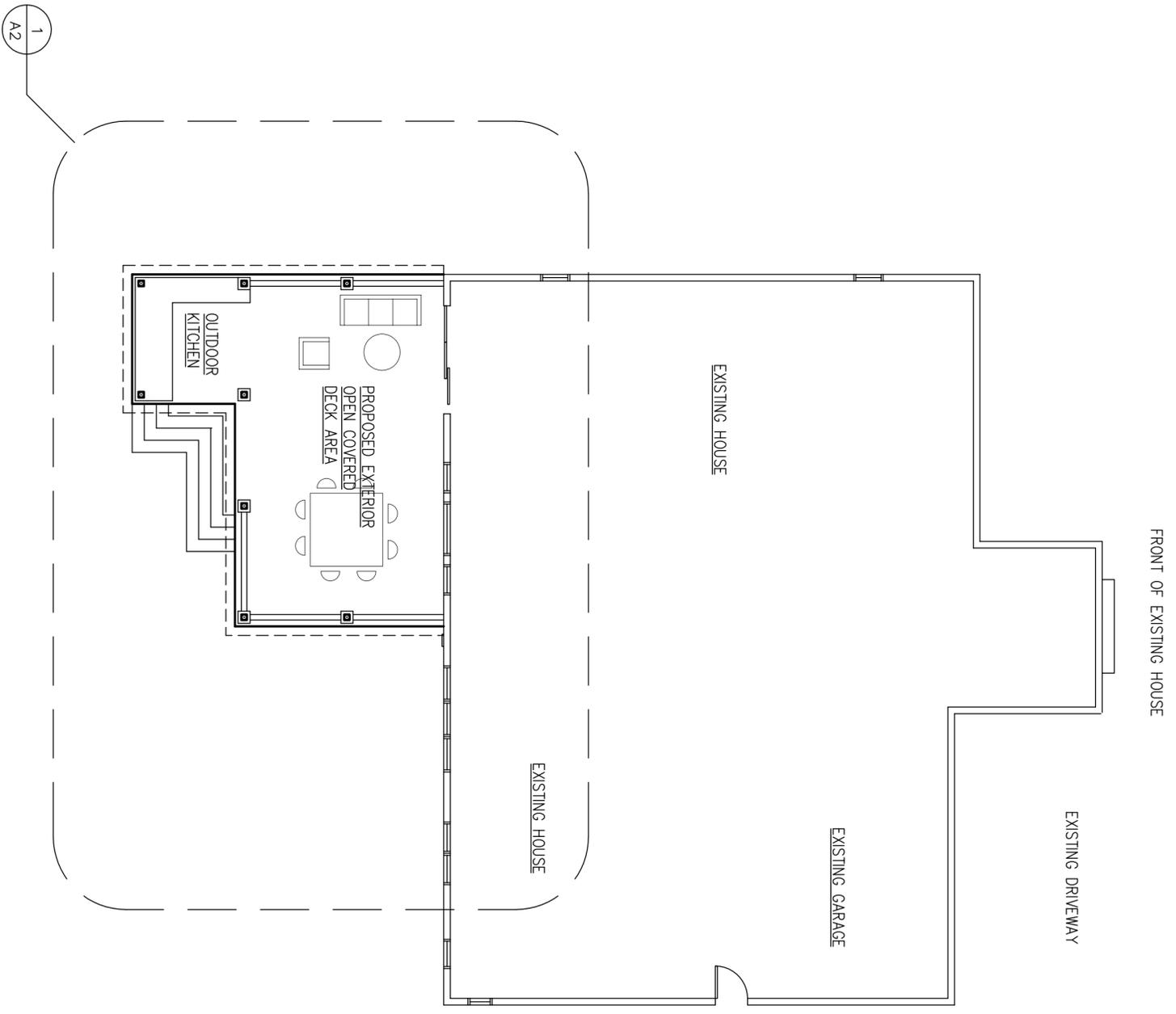
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS 10 LIFT BRIDGE LANE EAST FAIRPORT, NEW YORK 14450 PHONE 585-377-7360 FAX 585-377-7309	LOT 5 COVENTRY RIDGE SUBDIVISION SECTION 2 TOWN OF PITTSFORD MONROE COUNTY NEW YORK		DRAWN BY: KAM	SCALE: 1"=50'
			DATE: 1-7-19	DWG NO: 9502E-40



15 COVENTRY RIDGE KLEIN RESIDENCE

EXISTING CONDITIONS PHOTOS



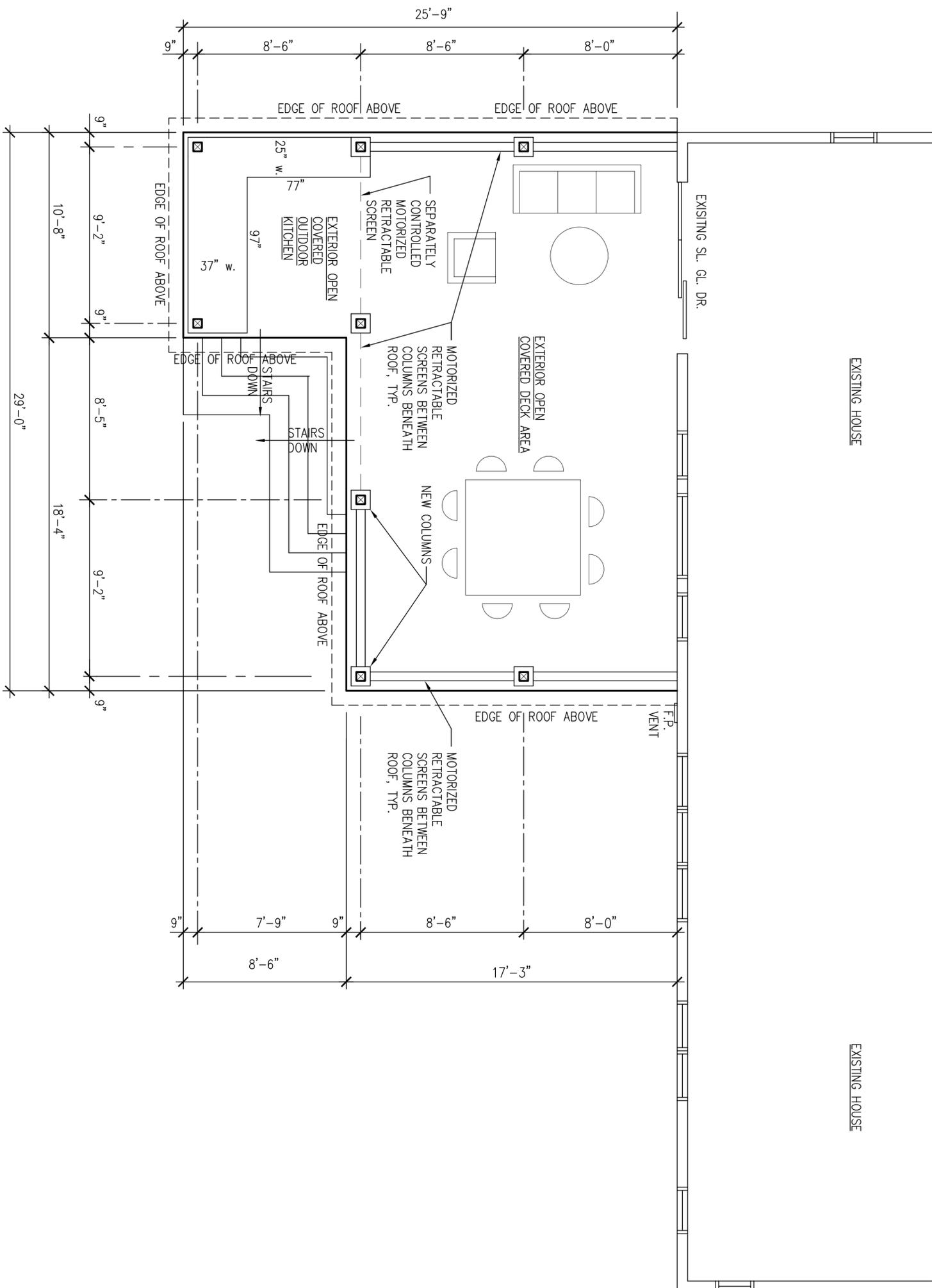


1  
A1  
OVERALL HOUSE FLOOR PLAN  
SCALE: 1/8" = 1'-0"

James P. Brasley  
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1326	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Covered Rear Porch Klein Residence 15 Coventry Ridge, Pittsford NY 14534 (Town of Pittsford, Monroe County)		TITLE OF DRAWING OVERALL HOUSE FLOOR PLAN	
DWG. NO. <b>A1</b>			



1  
A2  
ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

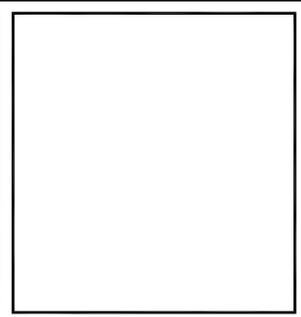


PROJECT NUMBER 1326	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
------------------------	--------------------	-------------------------	-------------------

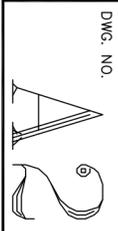
PROJECT  
**Covered Rear Porch**  
 Klein Residence  
 15 Coventry Ridge, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

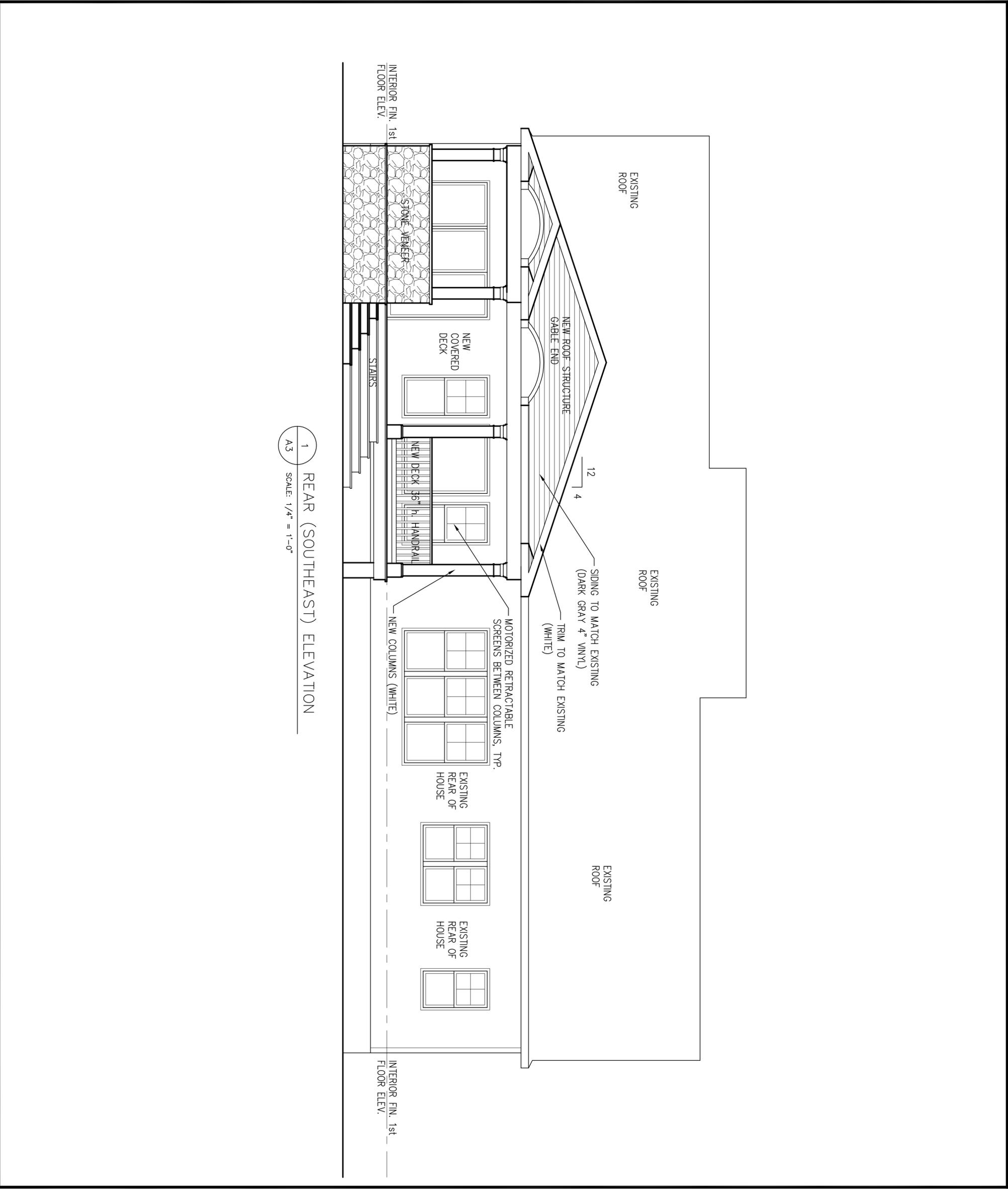
TITLE OF DRAWING  
 ENLARGED FLOOR PLAN

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			



**James P. Brasley**  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490





1 REAR (SOUTHEAST) ELEVATION  
 A3 SCALE: 1/4" = 1'-0"

James P. Brasley  
 10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

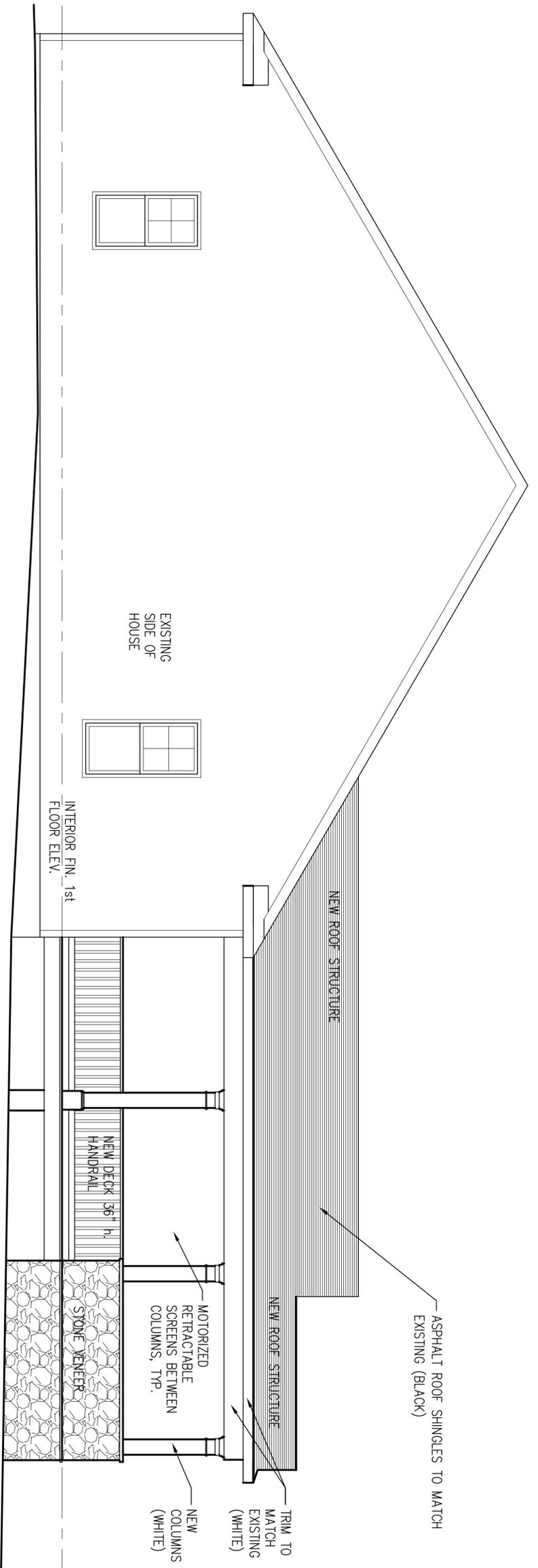
DATE 03/31/2021

PROJECT NUMBER 1326

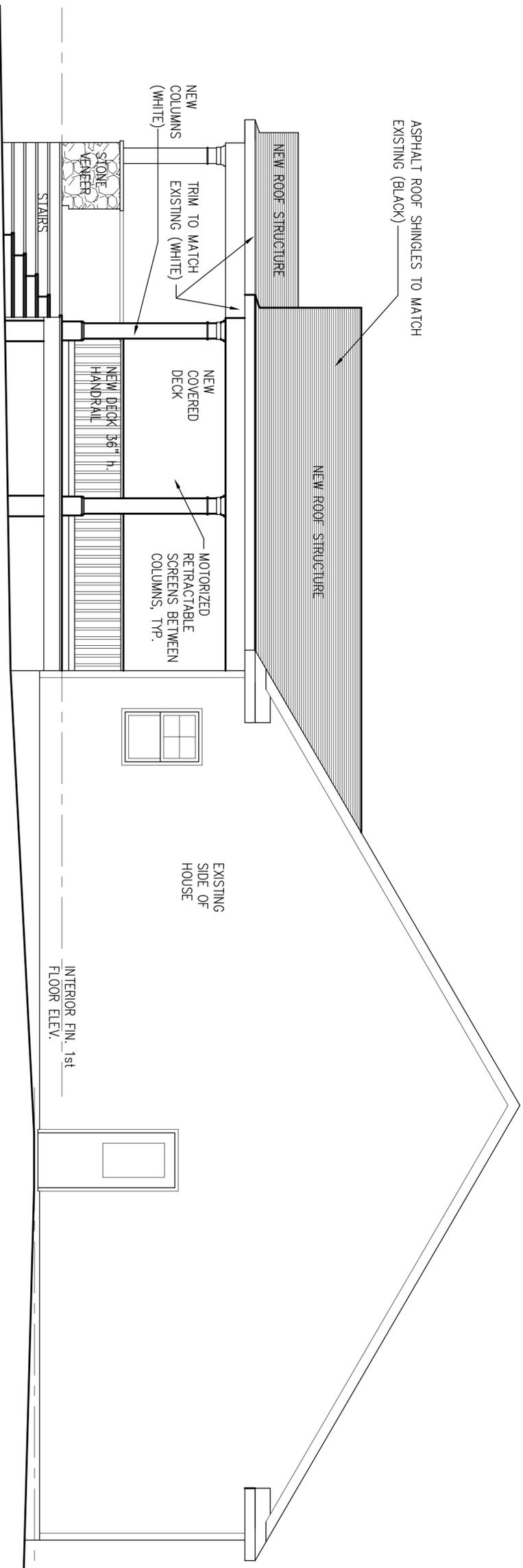
PROJECT Covered Rear Porch  
 Klein Residence  
 15 Coventry Ridge, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING REAR (SOUTHEAST) ELEVATION

DWG. NO. A3



1 RIGHT SIDE (SOUTHWEST) ELEVATION  
A4 SCALE: 1/4" = 1'-0"



2 LEFT SIDE (NORTHEAST) ELEVATION  
A4 SCALE: 1/4" = 1'-0"

James P. Brasley  
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

DATE 03/31/2021

PROJECT NUMBER 1326

PROJECT Covered Rear Porch  
Klein Residence  
15 Coventry Ridge, Pittsford NY 14534  
(Town of Pittsford, Monroe County)

TITLE OF DRAWING RIGHT SIDE (SOUTHWEST) ELEVATION  
AND LEFT SIDE (NORTHEAST) ELEVATION

DWG. NO. A4







9

3  
Spall Realty Corporation  
Quality in the Area  
585-586-4521  
www.spallrealty.com  
**AVAILABLE**

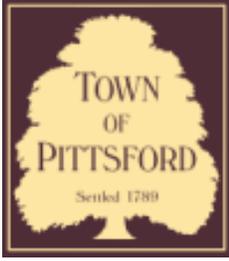


Mallboxes  
Plus  
800-343



11

  
Spall Realty Corporation  
Quality in PA Real Estate  
585-586-4521  
www.spallrealty.com  
**AVAILABLE**



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B20-000076**

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 290 Tobey Road PITTSFORD, NY 14534

**Tax ID Number:** 164.03-1-96

**Zoning District:** RN Residential Neighborhood

**Owner:** Richardson, Thomas M

**Applicant:** Brasley, James (Architect)

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is returning to request a change to a previously approved application. The board approved an addition to for a third bay to a existing two car garage. The garage addition was going be approximately 432 sq. ft. and the applicant would like to add an additional 48 square feet.

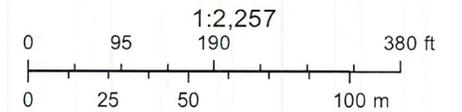
**Meeting Date:** April 08, 2021



# RN Residential Neighborhood Zoning

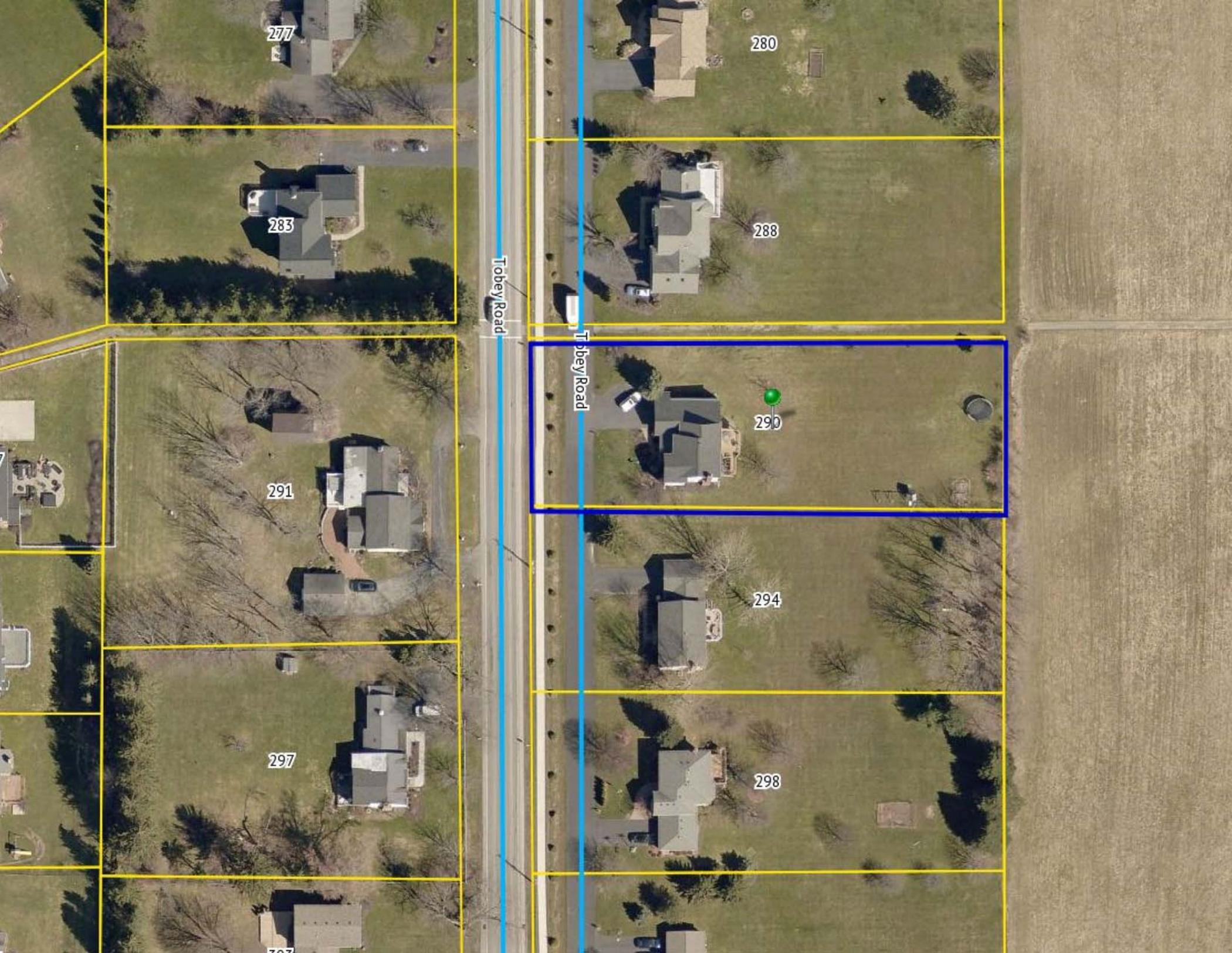


Printed June 18, 2020



Town of Pittsford GIS

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277

283

291

297

297

280

288

290

294

298

Tobey Road

Tobey Road

# TOBEY (49.5' R.O.W.) ROAD

607.39' TO NORTHERLY R.O.W.  
LINE OF CALKINS ROAD

10.25' HIGHWAY RESERVATION  
PER REFERENCE 3

20' WIDE SANITARY SEWER  
EASEMENT PER REFERENCE 3

N 00°57'25" W

120.25'

R.O.W. LINE

10' WIDE UTILITY EASE.  
PER REFERENCE 3

10' WIDE SIDEWALK EASE.  
PER REFERENCE 3

BLACKTOP

50' WIDE INGRESS/EGRESS  
& UTILITY EASE. PER REF. 3



**REFERENCES:**

- 1.) ABSTRACT OF TITLE NOT PROVIDED.
- 2.) LIBER 8610 OF DEEDS, PAGE 643.
- 3.) LIBER 260 OF MAPS, PAGE 11.

LOT  
306

S 89°02'35" W

300.00'

LOT  
307

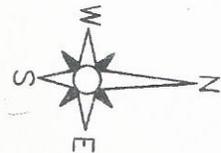
N 89°02'35" E

300.00'

LANDS OF THE TOWN OF PITTSFORD (10' WIDE PEDESTRIAN WALKWAY)

S 00°57'25" E 120.25'

LANDS OF THE TOWN OF PITTSFORD



**CERTIFICATION:**

I hereby certify to:

FRANK H. FERRIS, III, ESQ.  
THOMAS M. RICHARDSON AND THERESA M. RICHARDSON  
THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE  
THE PITTSFORD FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS

that this map was made JUNE 07, 2006 from notes of an Instrument Survey completed JUNE 05, 2006 and from references listed hereon.

*Gregory J. Bilesch*

REVISED JULY 25, 2006: ADDED LOT DIM'S.,  
NORTH ARROW AND REFERENCES.

Tax Account No.

290 TOBEY ROAD

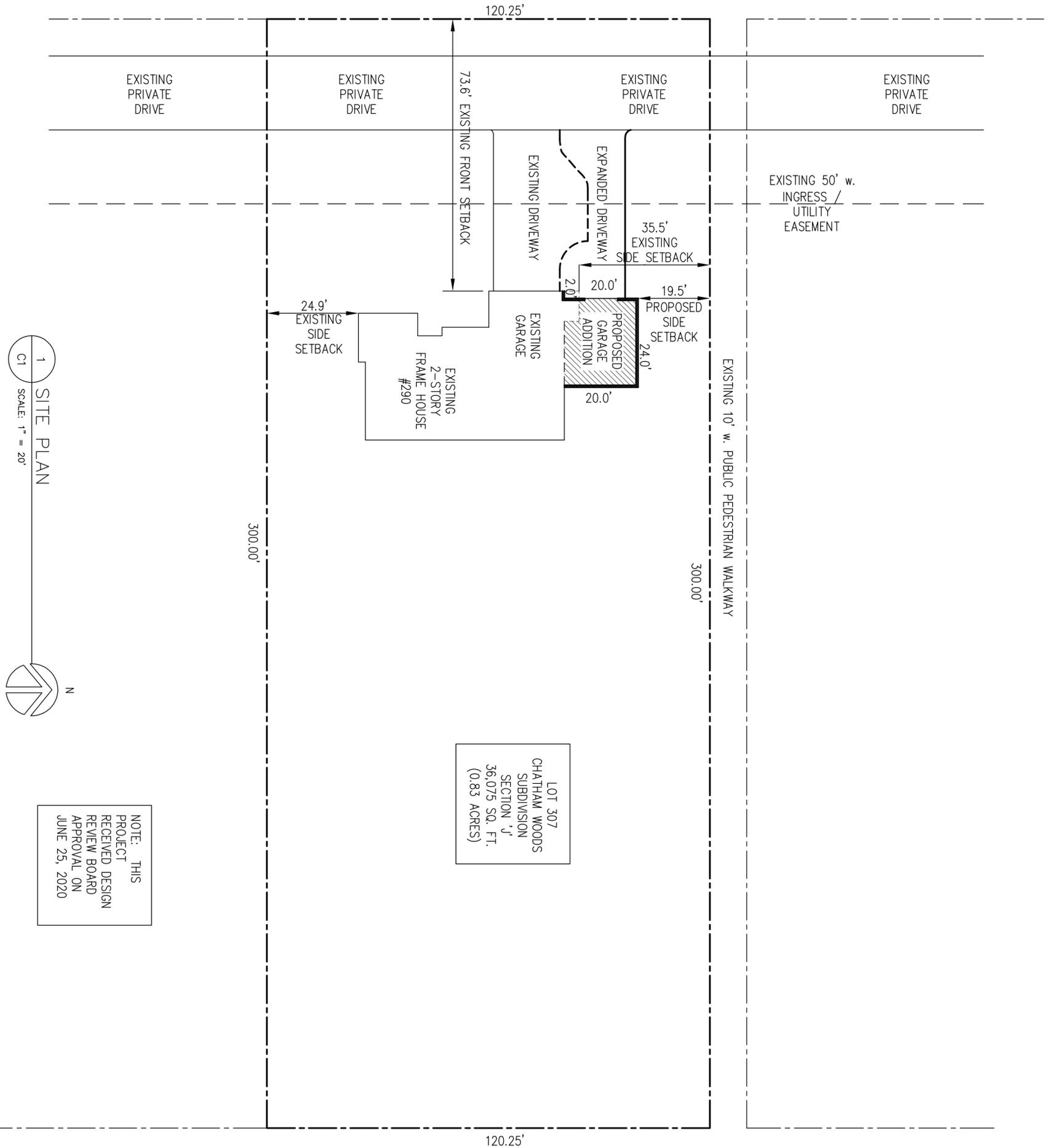
RICHARDSON RESIDENCE

EXISTING CONDITIONS PHOTOS

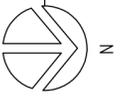


# TOBEY ROAD

49.5' R-O-W



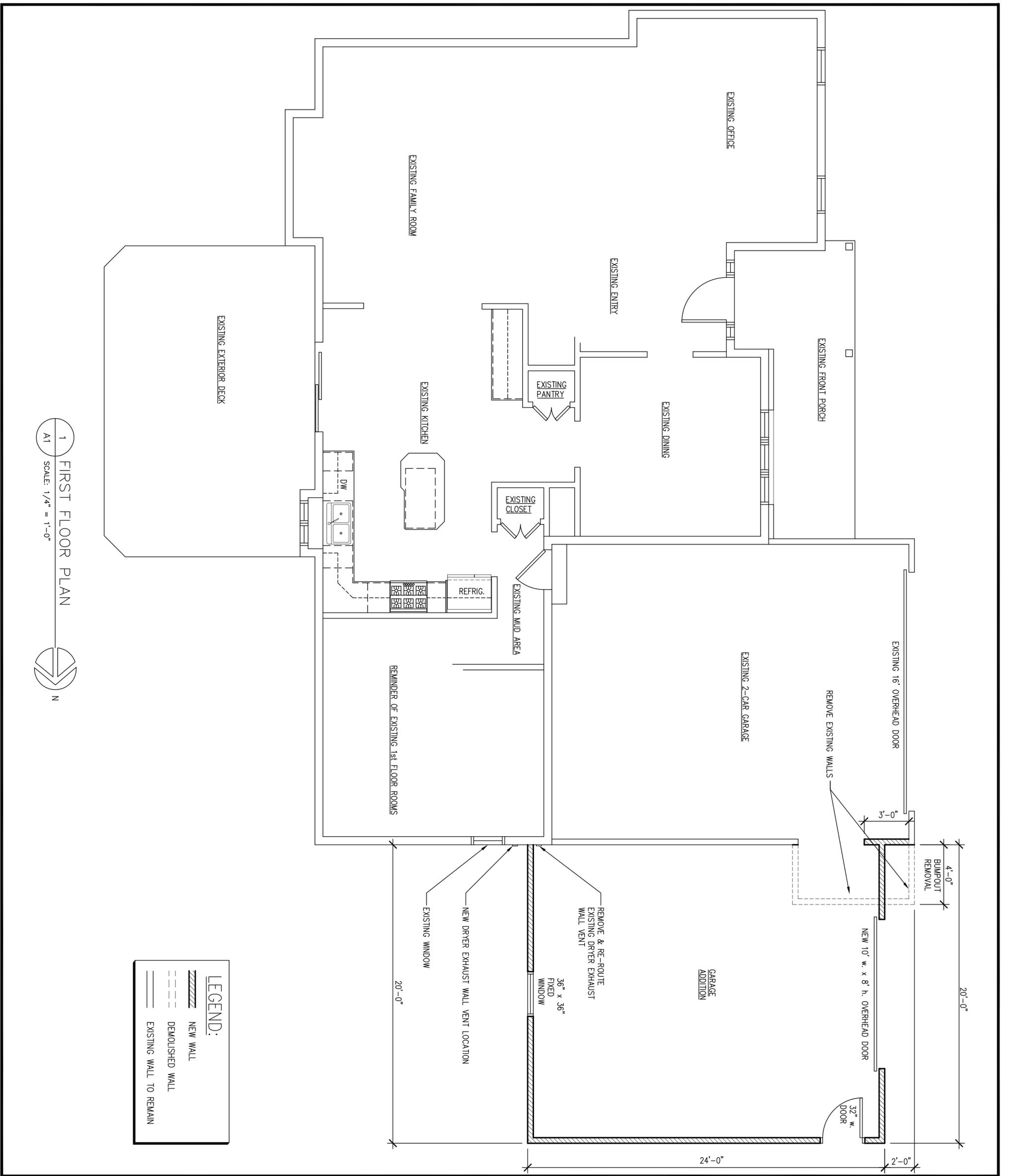
1  
C1  
SITE PLAN  
SCALE: 1" = 20'



NOTE: THIS PROJECT RECEIVED DESIGN REVIEW BOARD APPROVAL ON JUNE 25, 2020

LOT 307  
CHATHAM WOODS  
SUBDIVISION  
SECTION 'J'  
36,075 SQ. FT.  
(0.83 ACRES)

PROJECT NUMBER 1272	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED				
PROJECT <b>Addition and Alterations to Richardson Residence</b> 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				4			
TITLE OF DRAWING SITE PLAN				3			
DWG. NO. 				2			
				1			
				REVISIONS	DATE	BY	
				James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490			



1 FIRST FLOOR PLAN  
 A1 SCALE: 1/4" = 1'-0"

**LEGEND:**

	NEW WALL
	DEMOLISHED WALL
	EXISTING WALL TO REMAIN

PROJECT NUMBER 1272	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED																			
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)				<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">REVISIONS</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> </tr> </thead> <tbody> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> </tbody> </table>				REVISIONS	DATE	BY	4			3			2			1		
REVISIONS	DATE	BY																				
4																						
3																						
2																						
1																						
TITLE OF DRAWING FIRST FLOOR PLAN				James P. Brasley 10 Cambridge Court Fairport, NY 14450 (585) 377-9490																		
DWS. NO. <b>A1</b>																						

James P. Brasley

10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490



1 EXISTING FRONT (WEST) ELEVATION  
A4 SCALE: 1/4" = 1'-0"



20'-0" w.  
GARAGE ADDITION

2 PROPOSED NEW FRONT (WEST) ELEVATION  
A4 SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1272	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FRONT (WEST) ELEVATION			
DWG. NO. A4			

James P. Brasley

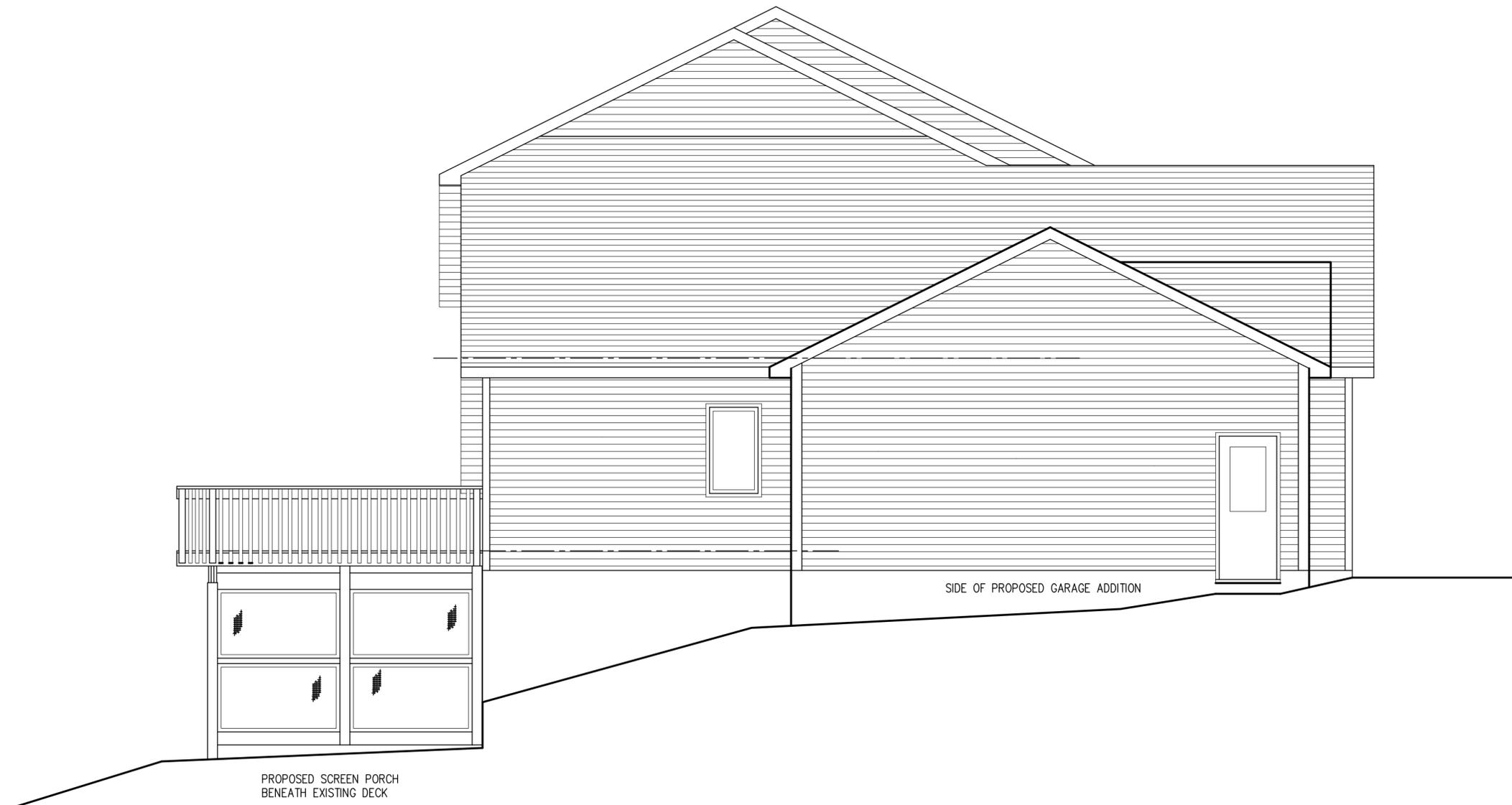
10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490



1  
A5 EXISTING LEFT SIDE (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1272	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING LEFT SIDE (NORTH) ELEVATION -- EXISTING			
DWG. NO. <b>A5</b>			



PROPOSED SCREEN PORCH  
BENEATH EXISTING DECK

SIDE OF PROPOSED GARAGE ADDITION

1  
A6 LEFT SIDE (NORTH) ELEVATION  
PROPOSED NEW CONSTRUCTION  
SCALE: 1/4" = 1'-0"

James P. Brasley

10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE  
AS NOTED

DRAWN BY  
JIM BRASLEY

DATE  
03/31/2021

PROJECT NUMBER  
1272

PROJECT  
Addition and Alterations to  
Richardson Residence  
290 Tobey Road, Pittsford NY 14534  
(Town of Pittsford, Monroe County)

DWG. NO.  
**A6**

TITLE OF DRAWING  
LEFT SIDE (NORTH) ELEVATION --  
PROPOSED NEW CONSTRUCTION



1 EXISTING REAR (EAST) ELEVATION  
 A7 SCALE: 1/4" = 1'-0"

James P. Brasley

10 Cambridge Court  
 Fairport, NY 14450  
 (585) 377-9490

NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

SCALE  
 AS NOTED

DRAWN BY  
 JIM BRASLEY

DATE  
 03/31/2021

PROJECT NUMBER  
 1272

PROJECT  
 Addition and Alterations to  
 Richardson Residence  
 290 Tobey Road, Pittsford NY 14534  
 (Town of Pittsford, Monroe County)

TITLE OF DRAWING  
 EXISTING REAR (EAST) ELEVATION

DWG. NO.

A7

James P. Brasley

10 Cambridge Court  
Fairport, NY 14450  
(585) 377-9490



1 PROPOSED NEW REAR (EAST) ELEVATION  
A8 SCALE: 1/4" = 1'-0"

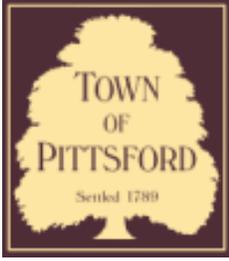
NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1272	DATE 03/31/2021	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Addition and Alterations to Richardson Residence 290 Tobey Road, Pittsford NY 14534 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING REAR (EAST) ELEVATION -- PROPOSED NEW CONSTRUCTION			
DWG. NO. A8			









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
C21-000010

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3500-3600 East Avenue ROCHESTER, NY 14618

**Tax ID Number:** 138.14-1-13.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Riedman Properties

**Applicant:** Riedman Properties

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)           | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input checked="" type="checkbox"/> Commercial Design Review<br>§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                             | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197          | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                     |   |

**Project Description:** Applicant is requesting design review for Kilbourn Place Building one and two. These buildings will be the apartment portion of the Kilbourn Place project.

**Meeting Date:** April 08, 2021

Kilbourn Place  
Design Review Board Presentation

**RIEDMAN**  
C O M P A N I E S



INTERSTATE 490 EASTERN THRUWAY CONNECTION

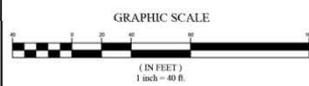


NEW YORK STATE ROUTE 96 - EAST AVENUE  
(66.0' WIDE)

BRETTON WOODS DRIVE  
(60.0' WIDE)

KILBOURN ROAD  
(80.0' WIDE)

**Dig Safely, New York**  
**Call 811**  
before you dig



1	02/02/20	REMOVED GARAGE OUTSIDE PARKING SPACES	CBA	AHA
2	02/02/20	ADDED CAR GARAGE AT APARTMENT BUILDING 1	D.J.L.	AHA
7	02/02/20	NOTED NEW SITE DESIGN LAYOUT FOR LOT 1	D.J.L.	AHA
8	02/02/20	ADJUSTED NEW SITE DESIGN LAYOUT FOR LOT 1	D.J.L.	AHA
9	02/02/20	ADJUSTED NEW SITE DESIGN LAYOUT FOR LOT 1	D.J.L.	AHA
10	02/02/20	REMOVED FOUR GARAGES IN EXISTING ZONING SUBMISSION	D.J.L.	AHA
11	02/02/20	PARKING REVISIONS	C.M.	AHA
12	02/02/20	REVISED PER INCORPORATED ZONING SUBMISSION	D.J.L.	AHA
13	02/02/20	CHANGED SITE DATA (LOT 1 & LOT 2)	D.J.L.	AHA
14	02/02/20	ADDED SITE DATA AND BUILDING SETBACKS	D.J.L.	AHA
REV	DATE	REVISION	BY	CHKD/APP'D

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COSTICH ENGINEERING P.C.

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PROJECT ENGINEER  
A.H.A.

DESIGNER  
D.J.L.

REVISOR  
D.J.H.

TITLE  
R.B.G.

DATE  
02/12/2018

SCALE  
1"=40'



• CIVIL ENGINEERING  
• LAND SURVEYING  
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCKHURST, NY 14880  
(815) 458-3020

TITLE OF PROJECT  
**KILBOURN APARTMENTS**

FILE OF DRAWING  
**OVERALL CONCEPT SITE PLAN**

LOCATION OF PROJECT  
1434 HAVENS RD 13B 141-11 AND A PORTION OF THE 14-01-13 TOWN LOT 1 AND 11, TOWNSHIP 11, RANGE 1, OF THE ALBANY PLATS TOWNSHIP, WESTERN COUNTY OF MONROE, STATE OF NEW YORK.

CLIENT  
KILBOURN PLACE LLC  
18 BUCKLE AVENUE  
ROCKHURST, NEW YORK 14880

DWG NO. 0001  
CN106  
SHEET 1 OF 1

# Building 1





**HAN**  
HANLON ARCHITECTS

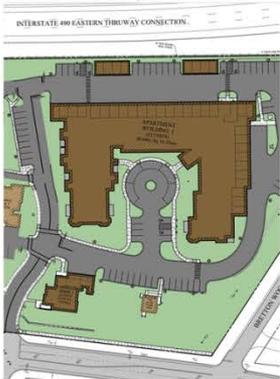


WEST WING

CENTRAL COURTYARD

EAST WING

EAST AVE ELEVATION  
(SOUTH)



PROJECT  
NORTH

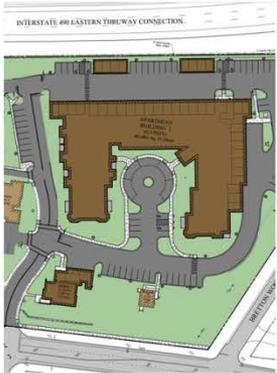


KILBOURN APARTMENTS  
BUILDING 1 ELEVATIONS

DATE: 11-4-20



**WEST ELEVATION  
(EAST ELEVATION SIMILAR)**



**PROJECT  
NORTH**



**KILBOURN APARTMENTS  
BUILDING 1 ELEVATIONS**

DATE: 11-4-20



490 ELEVATION  
(NORTH)

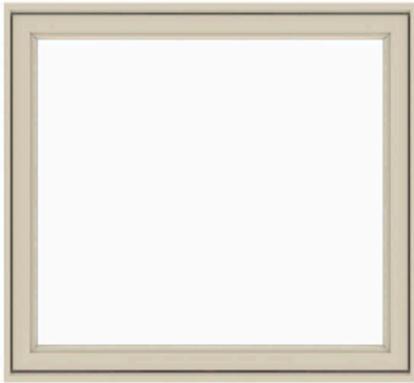


  
PROJECT  
NORTH

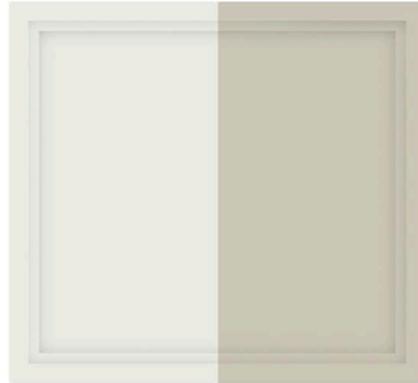
**HANLON**  
HANLON ARCHITECTS

KILBOURN APARTMENTS  
BUILDING 1 ELEVATIONS

DATE: 11-4-20



VINYL CASEMENT WINDOW



PVC TRIM- PAINTED



FIBER CEMENT LAP SIDING



40 YEAR ARCHITECTURAL ROOF SHINGLES  
WITH ACCENT STANDING SEAM METAL ROOF



ALUMINUM  
STOREFRONT AT  
COMMON AREA  
(COLOR TO  
MATCH TRIM



BALCONY RAILINGS:  
ALUMINUM, POWDER COAT COLOR T.B.D.



WATSONTOWN BRICK COMPANY MUDBOX WATEX, GEORGETOWN

# Building 2





**HVN**  
A HUNTERS HILL COMPANY

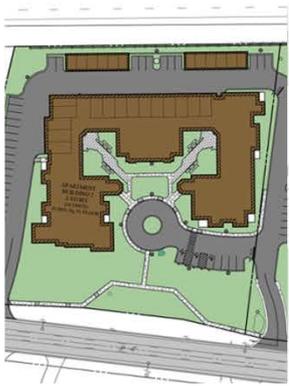


WEST WING

CENTRAL COURTYARD

EAST WING

EAST AVE ELEVATION  
SOUTH



PROJECT  
NORTH

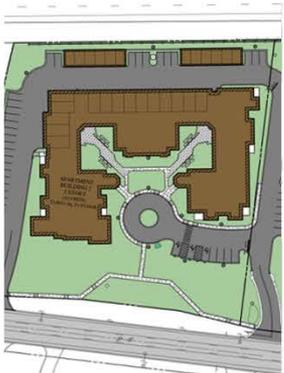


KILBOURN APARTMENTS  
BUILDING 2 ELEVATIONS

DATE: 11-4-20



EAST ELEVATION



PROJECT  
NORTH

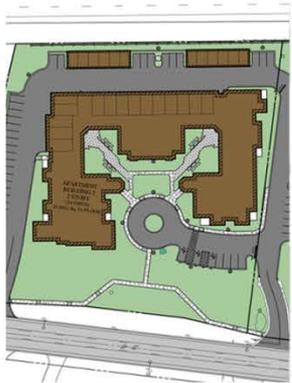
**HANLON**  
HANLON ARCHITECTS

**KILBOURN APARTMENTS**  
**BUILDING 2 ELEVATIONS**

DATE: 11-4-20



WEST ELEVATION



PROJECT  
NORTH

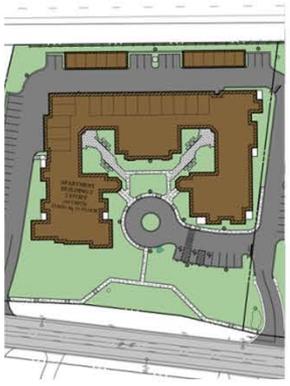
**HANLON**  
HANLON ARCHITECTS

**KILBOURN APARTMENTS**  
**BUILDING 2 ELEVATIONS**

DATE: 11-4-20



490 ELEVATION  
(NORTH)

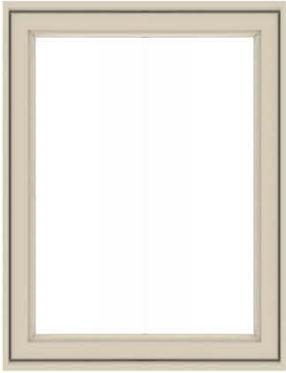


  
PROJECT  
NORTH



KILBOURN APARTMENTS  
BUILDING 2 ELEVATIONS

DATE: 11-4-20



VINYL CASEMENT WINDOW



PVC TRIM- PAINTED



FIBER CEMENT LAP SIDING



40 YEAR ARCHITECTURAL ROOF SHINGLES  
WITH ACCENT STANDING SEAM METAL ROOF



BALCONY RAILINGS:  
ALUMINUM, POWDER COAT COLOR T.B.D.



WATSONTOWN BRICK COMPANY IRON SPOT FRIT SERIES: BELVIDERE