

**Design Review & Historic Preservation Board
Agenda
March 11, 2021**

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

- **11 Cedarwood Circle**
The Applicant is requesting design review for the addition of a mudroom. The existing covered porch will become the new mudroom and will be approximately 21 square feet located on the front of the home.
- **21 Brookwood Road**
The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 400 square feet and will be located to the rear of the home.
- **6 Canal Park Place**
The Applicant is requesting design review for the covered deck addition and oversized gazebo. The covered deck will be approximately 684 square feet and gazebo will be 450 square feet. The applicant appeared before the Zoning Board of Appeals and was granted a variance for side setback and oversized accessory structure.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOME

- **180 Kilbourn Road**
The Applicant is requesting design review for the construction of a new two story home. The home will be approximately 3924 square feet of living space and will be located in the Kilbourn neighborhood. The previous home has been demolished. The applicant did appear before the Zoning Board of Appeals on February 15th and was granted variances for setbacks.
- **19 Black Wood Circle**
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2371 square feet in the Wilshire Hills subdivision.
- **22 Lexton Way**
The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 1296 square feet on the first floor and 1414 square feet on the second floor. This home will be located in the Wilshire Hills subdivision.

COMMERCIAL APPLICATION FOR REVIEW – SIGNAGE

- **3349 Monroe Avenue**
The Applicant is requesting design review for the addition of two business identification signs. The front sign will be approximately 73.3 square feet and the sign on the side of the building will be approximately 48.3 square feet. Both signs will identify the "Adelita's Mexican Cocina & Tequila" Restaurant.

OTHER – REVIEW OF 2/25/2020 MINUTES

How to view the meeting:

1. Zoom

- In your web browser, go to
- <https://townofpittsford.zoom.us/j/85740907443?pwd=SkJnRDIXcjJVOVBiTFc2ZW9jbEF5UT09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is 857 4090 7443. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

Draft
Design Review and Historic Preservation Board
Minutes
February 25, 2021

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, John Mitchell, Kathleen Cristman, Bonnie Salem, Leticia Fornataro

ALSO PRESENT

Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

David Wigg

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, February 25 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Dirk Schneider, Chairman opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

There was no historic preservation discussion.

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

- **11 Old Landmark Drive**

The Applicant is returning for design review for the addition of a screened porch. The screened porch will be approximately 225 square feet and will be located to the rear of the property.

Mike Heiler of Homes by Design Woodworking was present to discuss the application with the Board.

Mr. Heiler stated that the construction of a screened porch will feature brick and trim which will match the original structure. An arch feature is added to blend with current trim elements on the home. Board members commented on the visibility of the line of the screen window is hidden behind the arch.

Bonnie Salem moved to accept the application as submitted with the recommendation that the line of the screen be hidden behind the arch.

John Mitchell seconded.

All Ayes

RESIDENTIAL APPLICATION FOR REVIEW - NEW

- **9 Northstone Rise**

The Applicant is requesting design review for the addition of a three-season room. The addition will be approximately 556 square feet and will be located to the rear of the home. This application was approved for a side setback variance on 2/15/2021.

Dominick Caroselli was present to discuss the application with the Board.

Mr. Caroselli discussed that this addition had received a variance for a rear setback from the Zoning Board of Appeals. He said that the split rock stone would be in a color palette that is complementary to the siding. The timbers will be stained in a similar color palette. The roofing will be consistent with what is existing.

Paul Whitbeck moved to approve the application as submitted.

Leticia Fornataro seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOME

- **4 Rockdale Meadows**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2302 sq. ft. and will be located in the Coventry Ridge Subdivision.

Steve Maynard of Spall Homes was present.

Mr. Maynard stated that this was the 18th patio home to be built in this subdivision. The home is sold and the color palette has been chosen. The home will feature three textures but the horizontal shingles and shakes will be the same color – a medium gray color. The roof will be black.

Paul Whitbeck pointed out the use of three textures and Mr. Maynard stated that 2/3 of the homes in this development feature three textures.

Kathleen Cristman moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

APPLICATION FOR LANDMARK DESIGNATION

- **East Street Burying Ground**

The Applicant is requesting design review to designate the East Street Burying Ground as a Historic Landmark in accordance with Article XXX, Section 185-195.3 of the Pittsford Town Code. The property is zoned RN (Residential Neighborhood).

Dirk Schneider opened the public hearing.

Bonnie Salem introduced the nominated property. She stated that this burial ground is historically significant as it is the final resting place of Simon Stone, one of the co-founders of the Town of Northfield later Pittsford. Mr. Stone set aside part of his property to serve as a burial ground for the early settlers of the area. Forty-five burials took place between 1814 – 1879.

Bonnie thanked Town Historian Audrey Johnson for her efforts in researching the history of the Burying Ground and the Town Board for agreeing to go forward with permission for the designation.

Margaret Carrabares-Brizee offered public comment. She noted that she supports the designation of the burying ground and the Historic Pittsford organization of which she is a member of “fully endorses” it as well.

Paul Whitbeck moved to close the public hearing.

John Mitchell seconded.

Whitbeck Aye
Salem Aye
Schneider Aye
Cristman Aye
Fornataro Aye
Mitchell Aye

Dirk Schneider closed the Public Hearing.

A resolution was moved by Board member Bonnie Salem, seconded by Board member Leticia Fornataro and was voted upon by members of the Board as follows:

David Wigg	Absent
Dirk Schneider	Aye
Bonnie Salem	Aye
Kathleen Cristman	Aye
Leticia Fornataro	Aye
Paul Whitbeck	Aye
John Mitchell	Aye

The burial ground and entire parcel were granted Landmark Designation 2021-02.

OTHER – REVIEW OF 2/11/2021 MINUTES

John Mitchell moved to approve the minutes of February 11, 2021 as written.

Bonnie Salem seconded.

All Ayes.

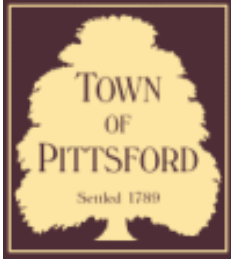
ADJOURNMENT

Dirk Schneider moved to close the meeting at 6:40 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000036

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 11 Cedarwood Circle PITTSFORD, NY 14534

Tax ID Number: 178.11-2-21

Zoning District: RN Residential Neighborhood

Owner: Sherwood, Robert G

Applicant: John Carson

Application Type:

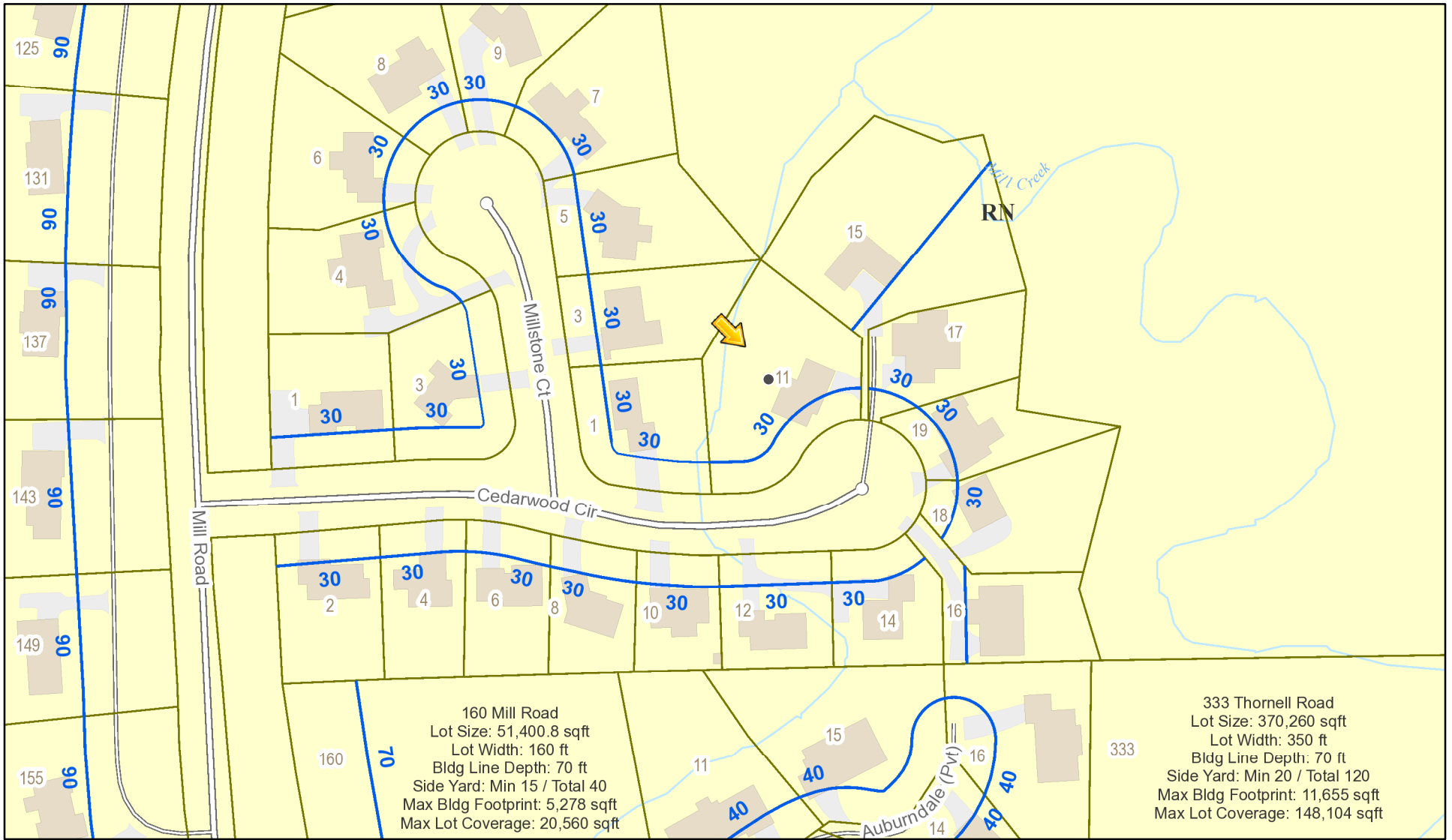
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| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a mudroom. The existing covered porch will become the new mudroom and will be approximately 21 square feet located on the front of the home.

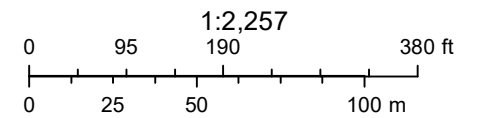
Meeting Date: March 11, 2021



RN Residential Neighborhood Zoning



Printed March 4, 2021



Town of Pittsford GIS

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15

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11

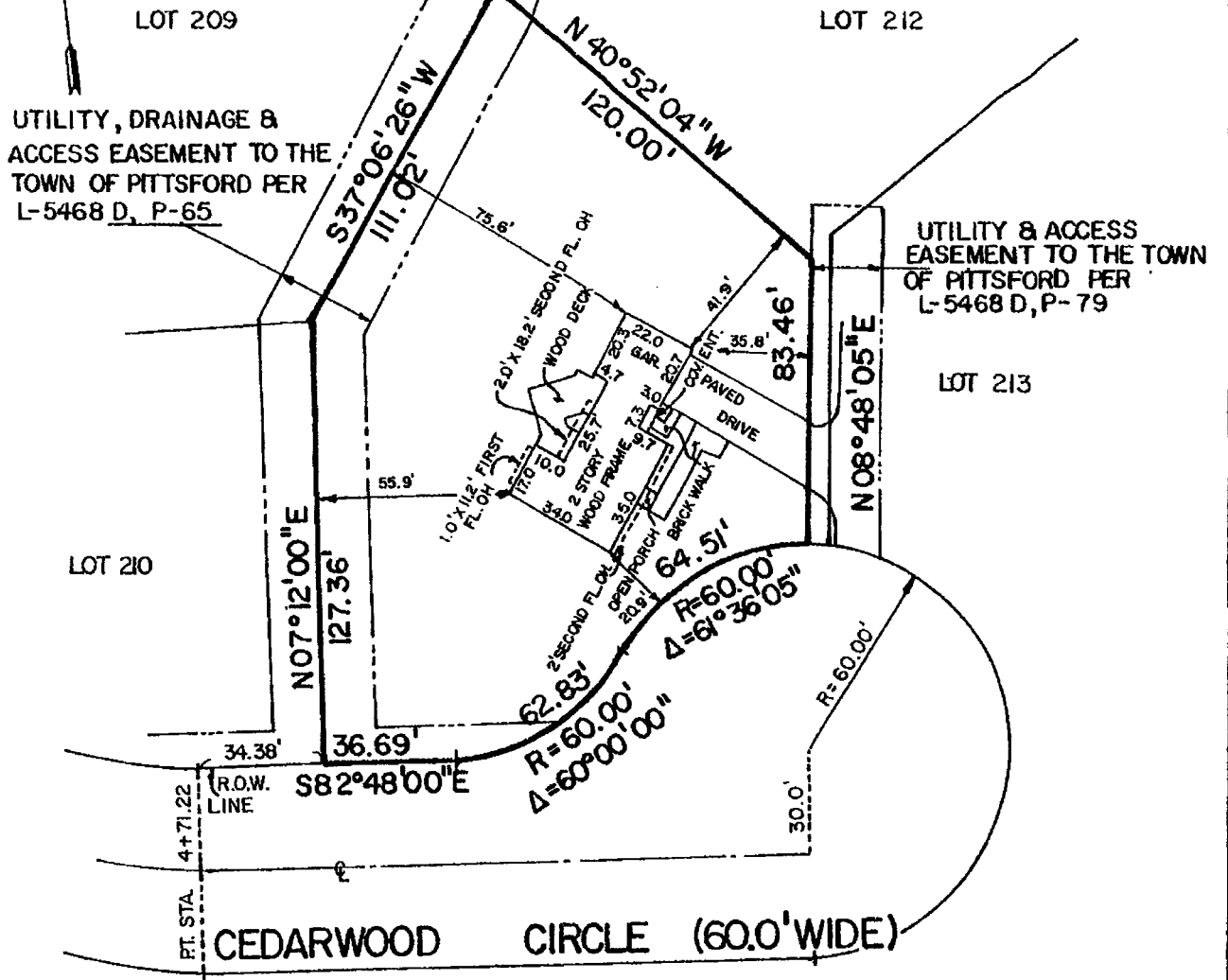
1

16

14

INSTRUMENT SURVEY MAP

* SUBJECT TO EASEMENT TO RGE & RTC
PER L-5476 D, P-237





22' x 22'
existing
Garage

Remove existing wall
+ Door

Frame New Wall
+ Window

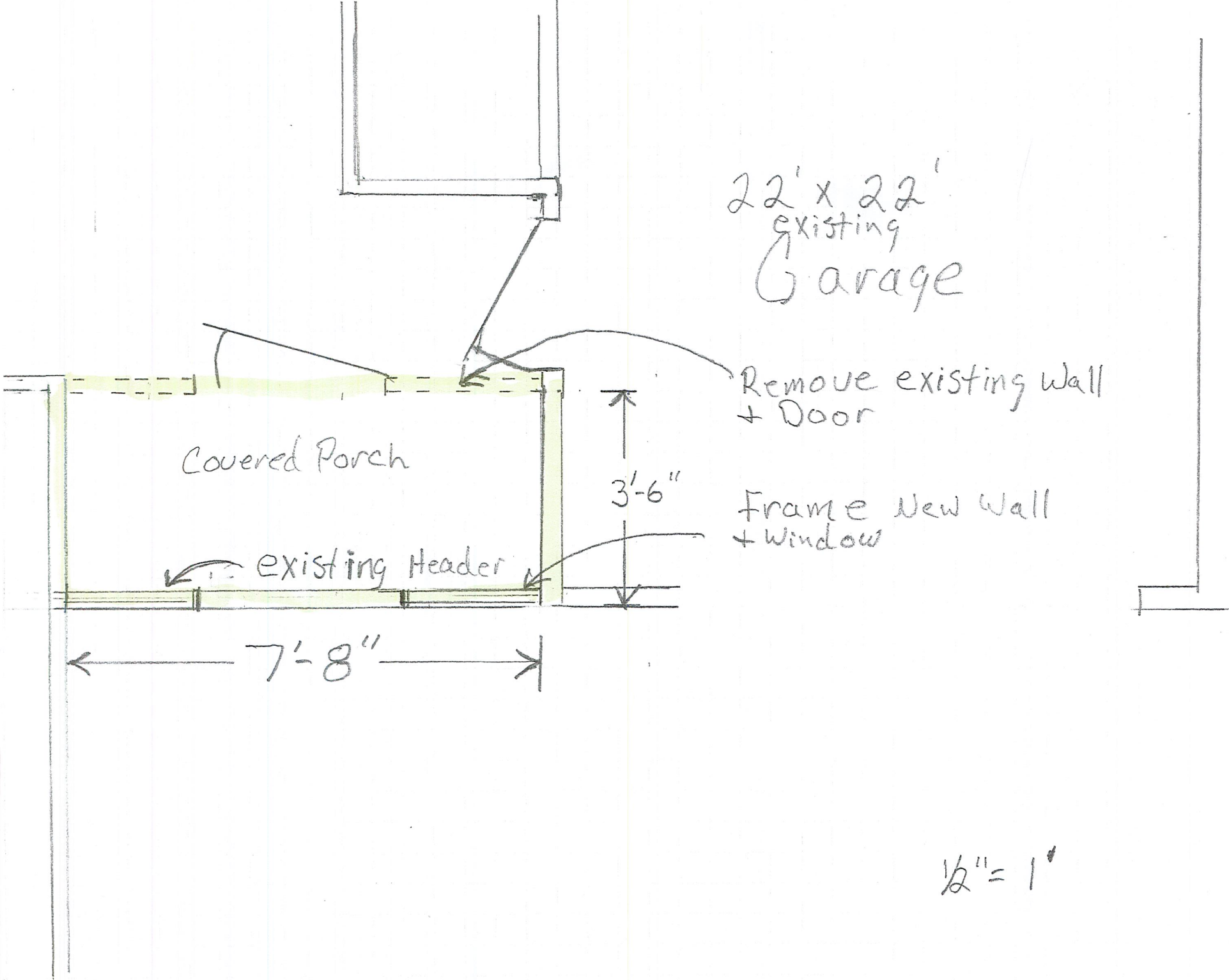
Covered Porch

existing Header

3'-6"

7'-8"

1/2" = 1'



Shewood
enclose existing covered porch

existing Shingled
Roof

→ 7'-8" ←

existing 2x9 header

R 38 Insulation

- ← 2x6 Top Plate
- ← 2x6 16" OC
- ← 7/16 OSB
- ← Tyvek House Wrap
- ← cedar Lap Siding OR STONE To match
- ← R 21 Fiberglass Insulation on walls + floor
- 3/4" Subfloor
- 2x6 Floor Joist on PT Sleepers
- 2x6 PT Sill

7' x 16'
Garage Door

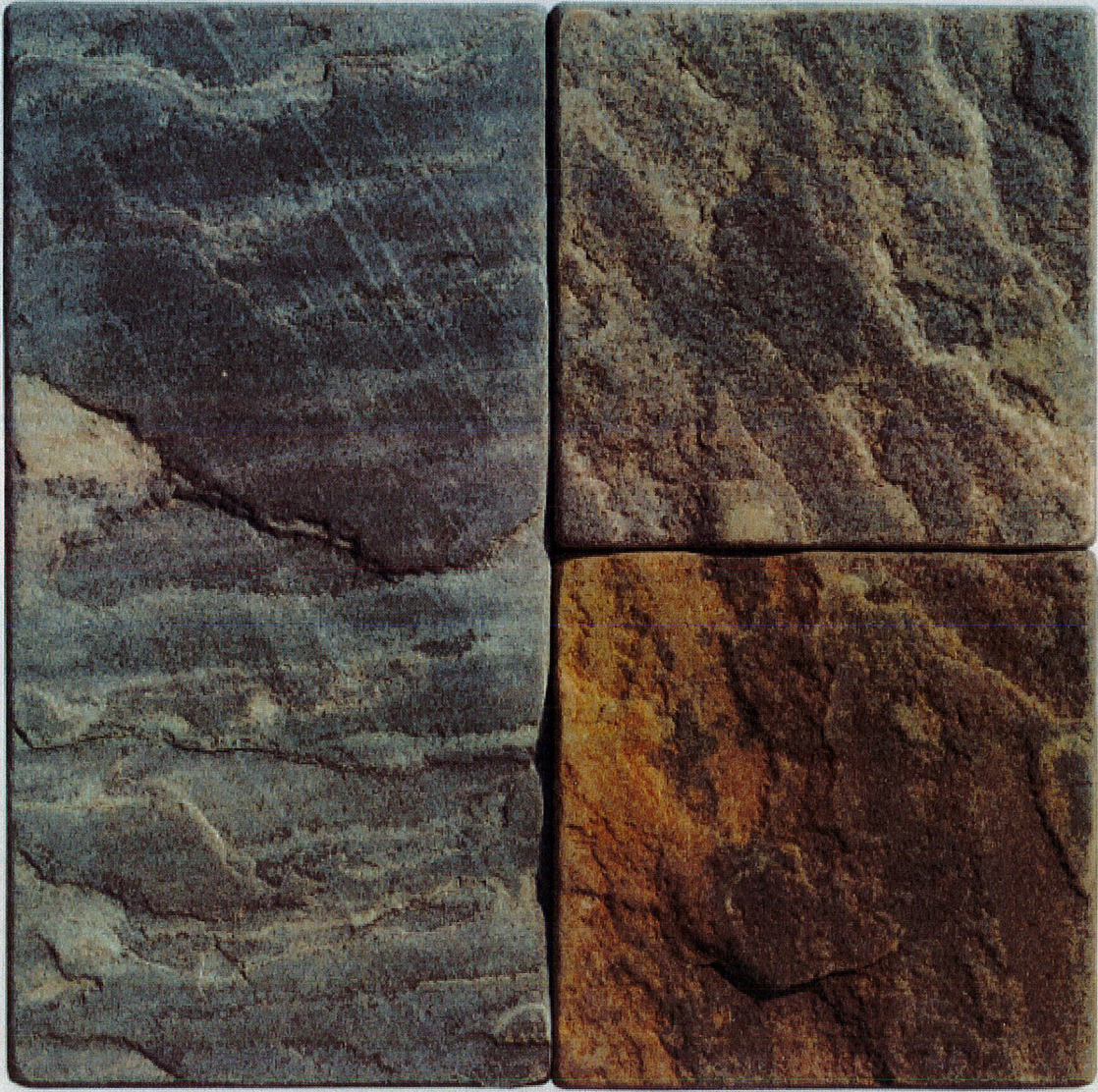
4" Slab (existing) Grade
Block

existing Footer
- 4 1/2" Below Grade

le



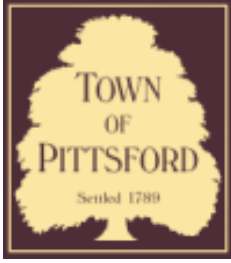
Veneer Cosmic Grey LedgeStone Thumbnail











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000037

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 21 Brookwood Road PITTSFORD, NY 14534

Tax ID Number: 164.09-2-67

Zoning District: RN Residential Neighborhood

Owner: Di Pasquale, Christopher

Applicant: Di Pasquale, Christopher

Application Type:

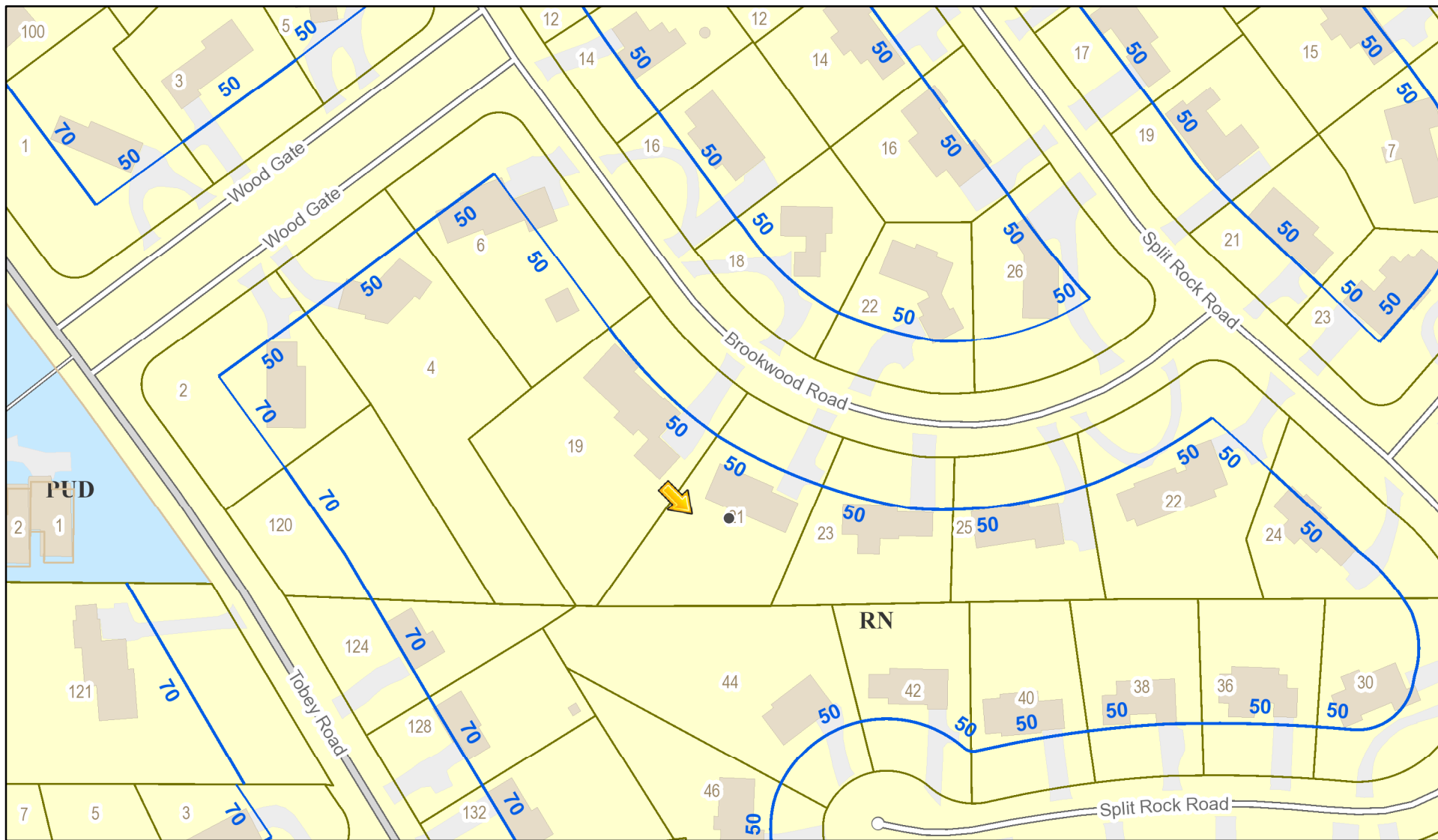
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
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| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 400 square feet and will be located to the rear of the home.

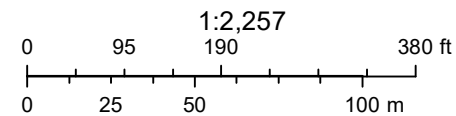
Meeting Date: March 11, 2021



RN Residential Neighborhood Zoning



Printed March 4, 2021



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18

22

Brookwood Road

19

21

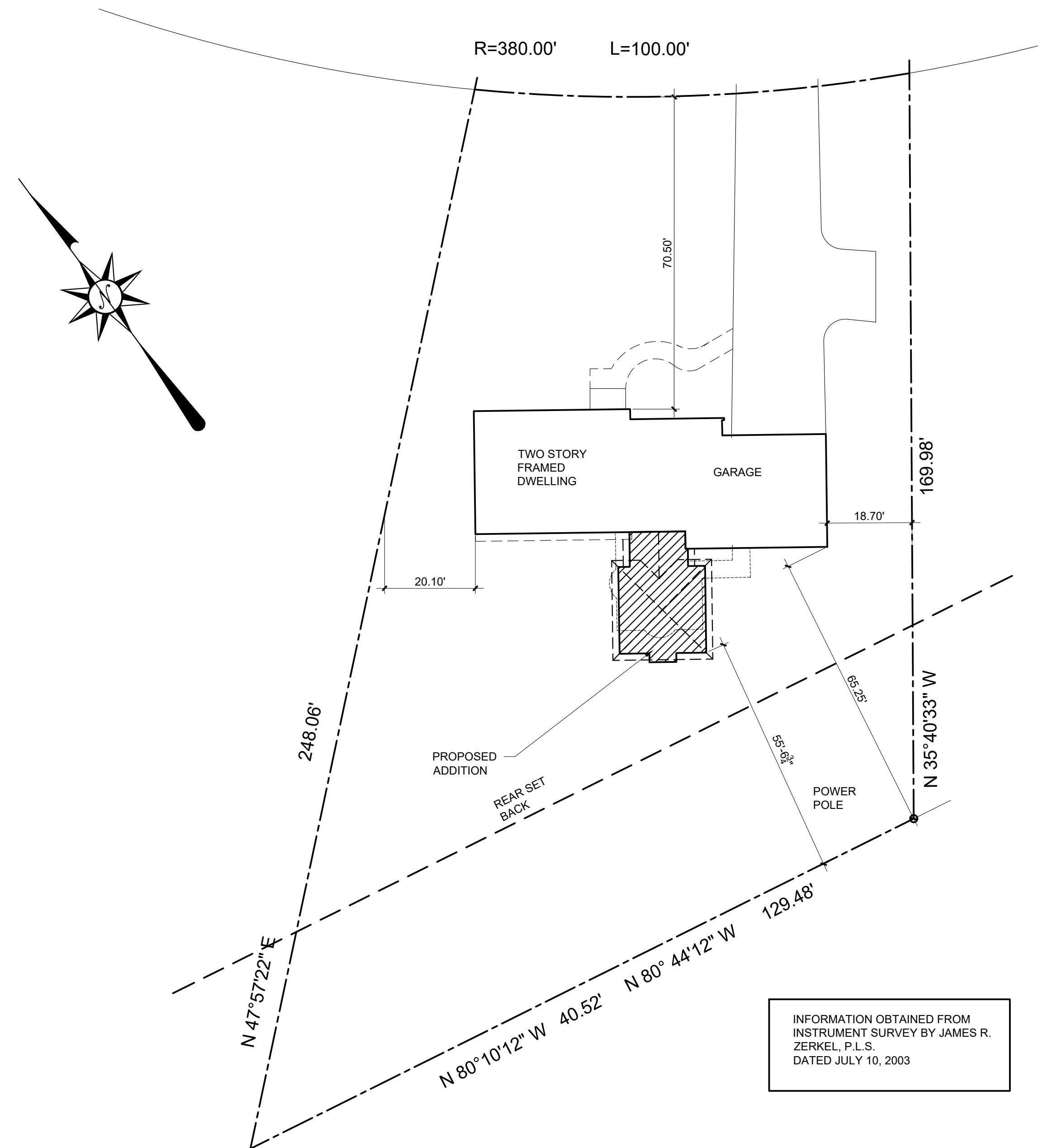
23

44

42

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BROOKWOOD ROAD



INFORMATION OBTAINED FROM
 INSTRUMENT SURVEY BY JAMES R.
 ZERKEL, P.L.S.
 DATED JULY 10, 2003

1 SITE PLAN
 G002 Scale: 1" = 20'-0"

DiPasquale Residence
 21 Brookwood Road
 Pittsford, New York 14534

Project Name

No.	Revisions/Submissions	Date
	PERMIT SET	--21

HB CORNERSTONE

99 Garnsey Road, Suite 100
 Pittsford, NY 14534
 585.419.8800 P + 585.419.8814 F

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Drawing Title

Site Plan

Project No:

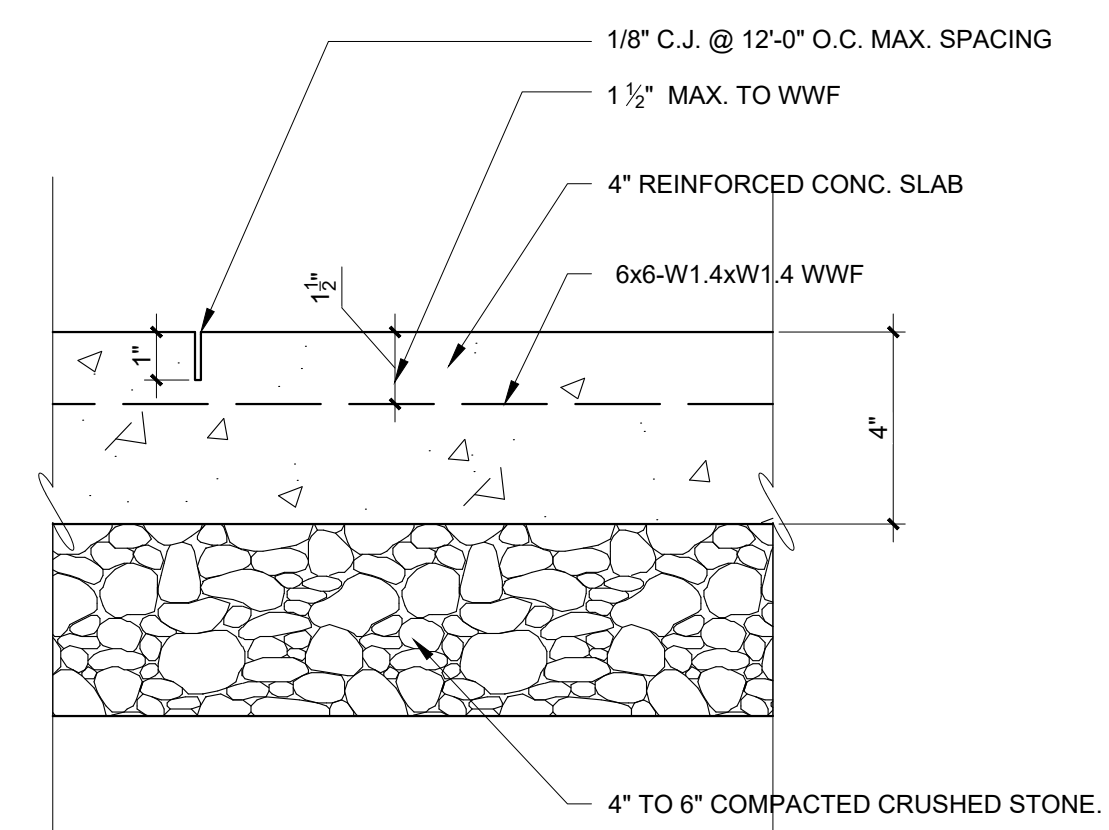
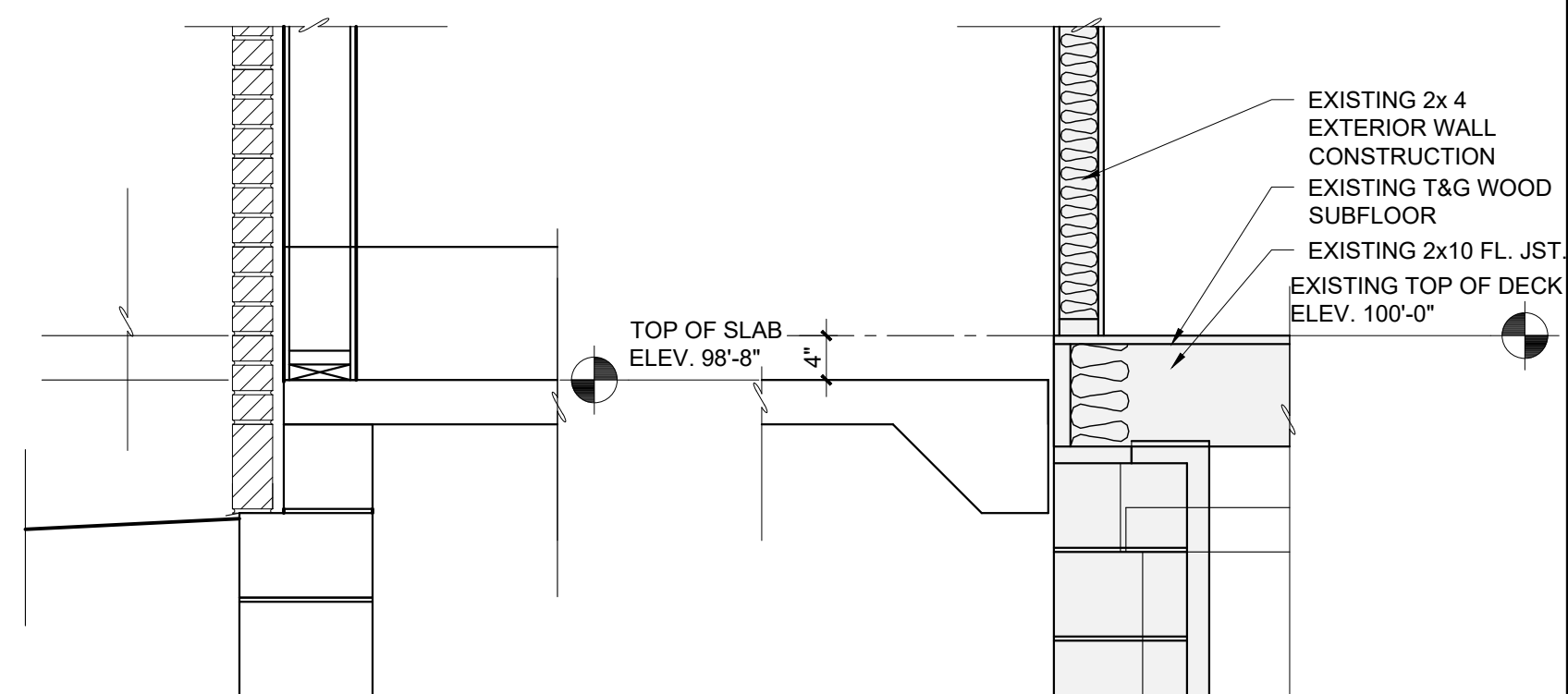
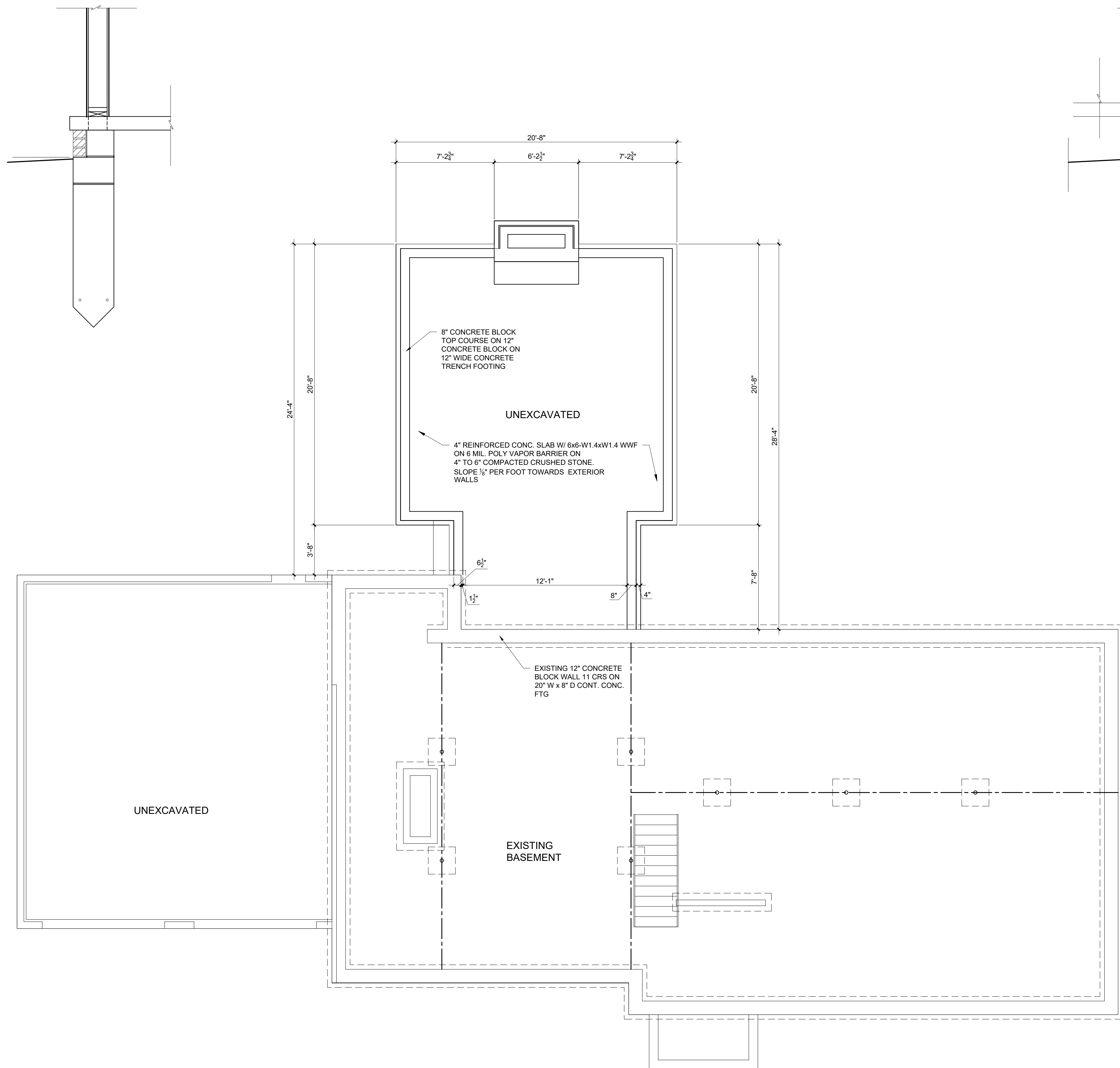
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Date: 2-27-21 Drawn By:

Drawing No.

G002

Sheet # of #

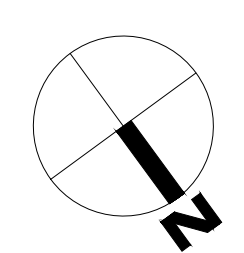


(A) CONCRETE SLAB DETAIL
3" = 1' - 0"

FOUNDATION GENERAL NOTES:

1. THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. THE BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS AND WELL DRAINED MATERIAL.
2. FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE-MIN. 3'- 6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
3. SLAB IS A MINIMUM OF 2" THICK OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OR INSUL-TARP OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
4. ALL COMPACTED SOIL TO BE COMPACTED IN 6" LIFT.
5. 2X SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION, AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA.) SPACED AT 8' O' C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 7" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
6. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT THE ARCHITECT.
7. BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.

1 FOUNDATION / BASEMENT FLOOR PLAN
A100 1/4" = 1'-0"



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DiPasquale Residence
21 Brookwood Road
Pittsford, New York 14534

Project Name

No.	Revisions/Submissions	Date
	PERMIT SET	--21

HB CORNERSTONE

99 Garnsey Road, Suite 100
Pittsford, NY 14534
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DJC ARCHITECTURE

99 Garnsey Road, Suite 101
Pittsford, NY 14534
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Drawing Title

FOUNDATION PLAN

Project No:

Scale: **AS NOTES**

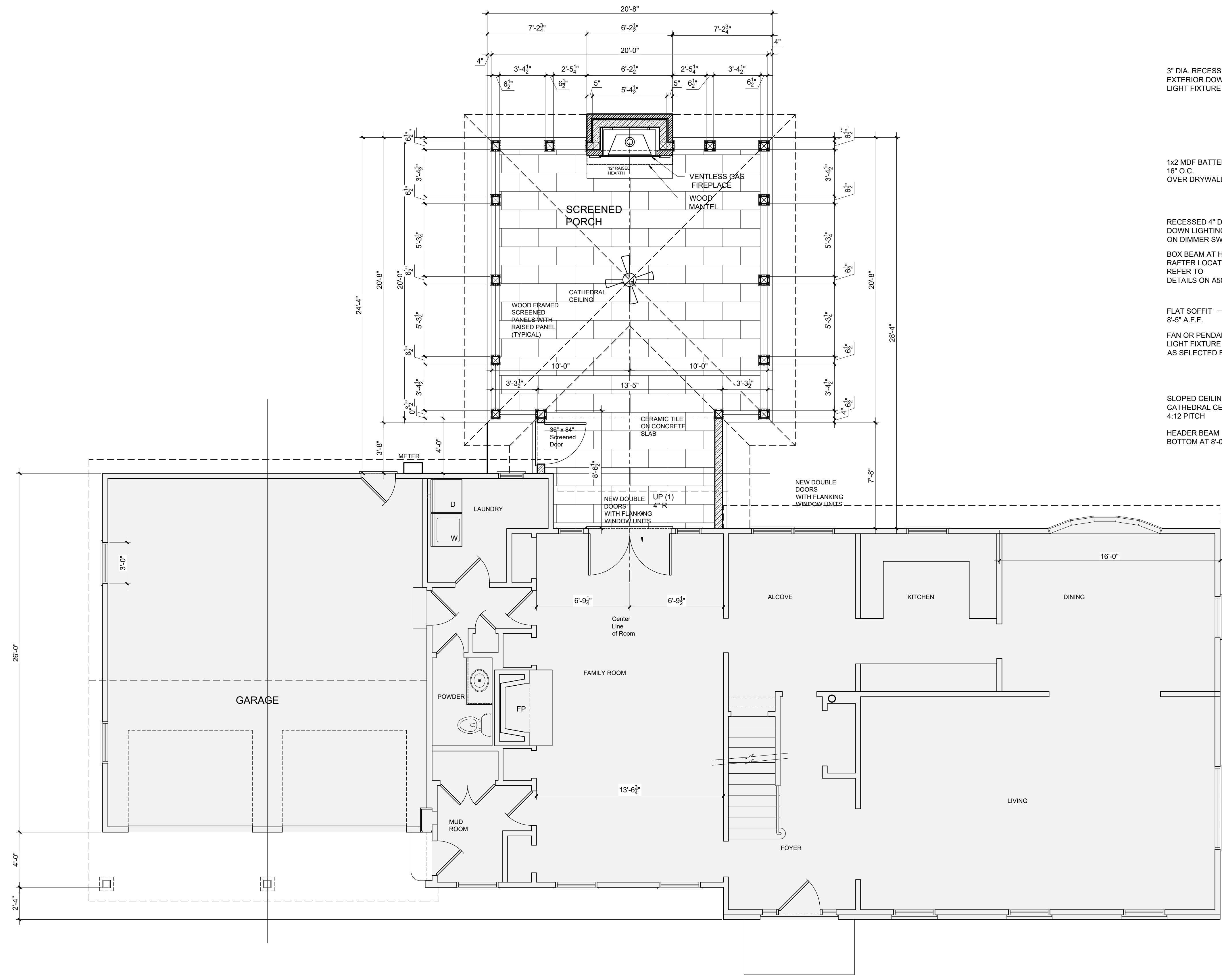
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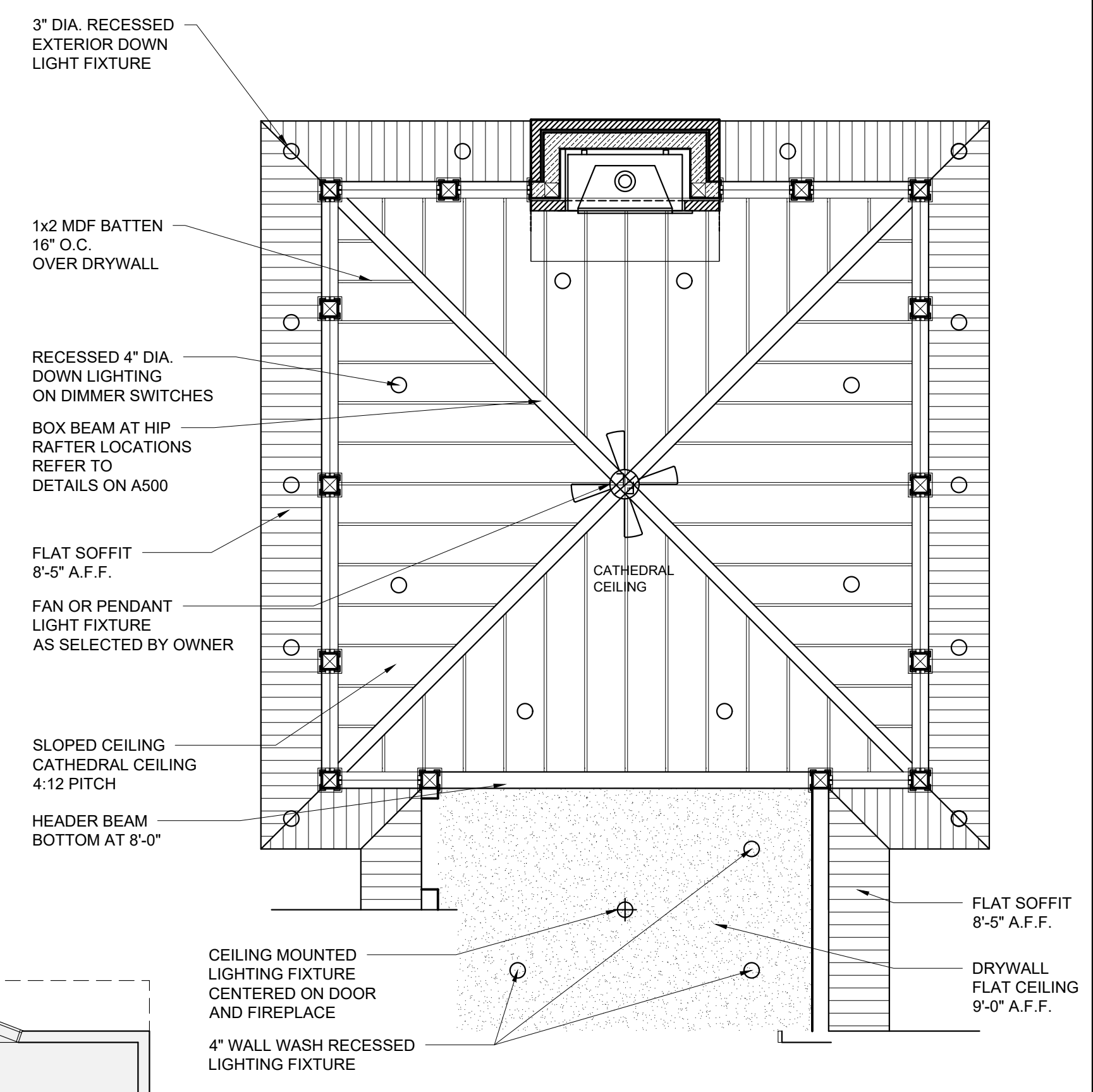
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Sheet # of #

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1
A200
FIRST FLOOR PLAN
1/4"=1'-0"



1
A200
REFLECTED CEILING PLAN
Scale: 1/4"=1'-0"

DiPasquale Residence
 21 Brookwood Road
 Pittsford, New York 14534

Project Name

No.	Revisions/Submissions	Date
	PERMIT SET	--21

HB CORNERSTONE

99 Garnsey Road, Suite 100
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Drawing Title

FLOOR PLAN

Project No:

Scale: AS NOTES

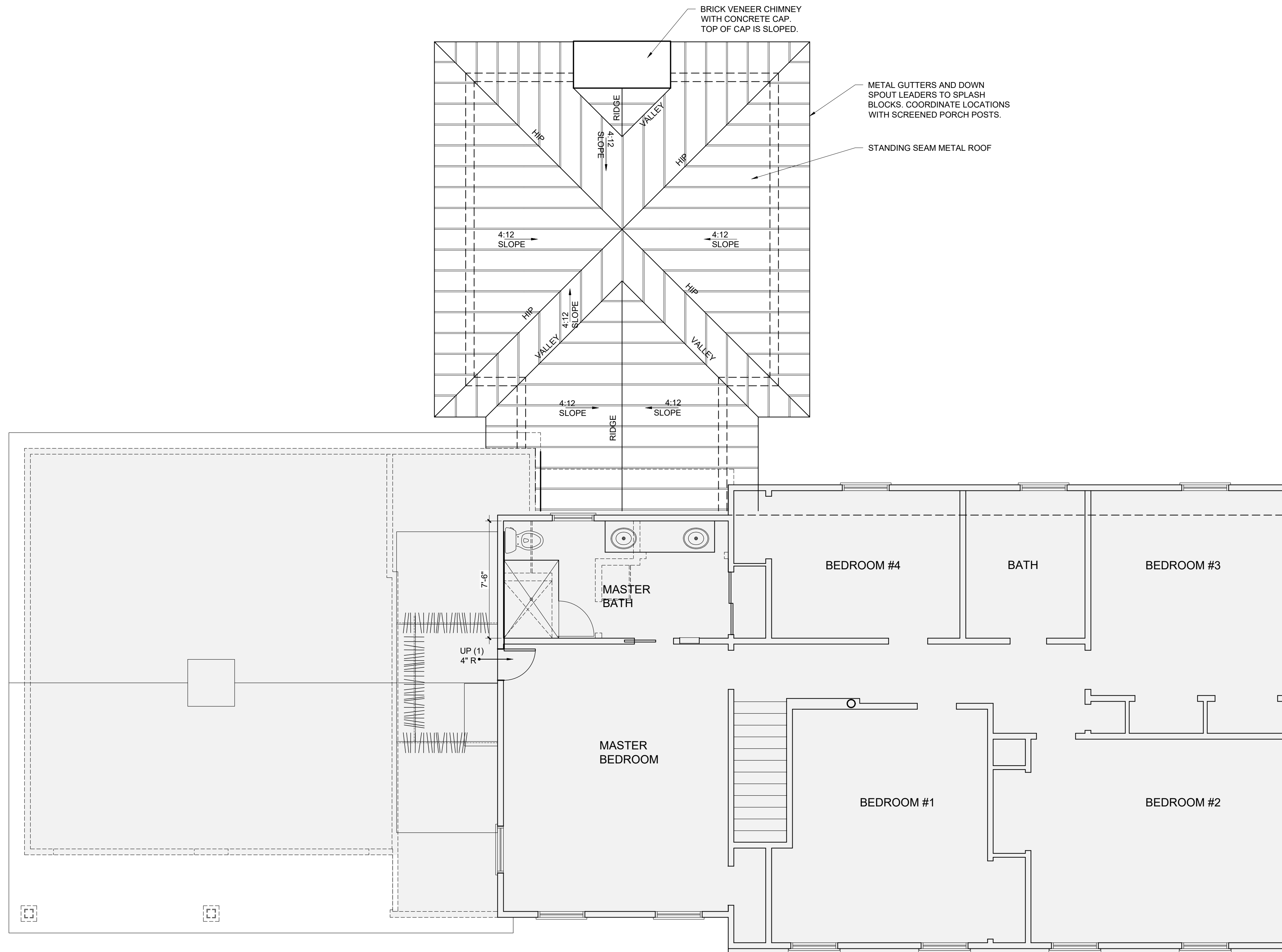
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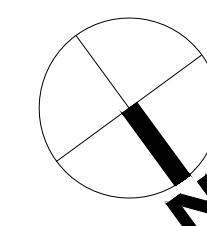
A200

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1 SECOND FLOOR PLAN
 A300 1/4"=1'-0"



Dipasquale Residence
 21 Brookwood Road
 Pittsford, New York 14534

Project Name

No.	Revisions/Submissions	Date
	PERMIT SET	--21

HB CORNERSTONE

99 Garnsey Road, Suite 100
 Pittsford, NY 14534
 585.419.8800 P + 585.419.8814 F

DJC ARCHITECTURE

99 Garnsey Road, Suite 101
 Pittsford, NY 14534
 585.419.8800 P + 585.419.8814 F

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Drawing Title
**SECOND FLOOR PLAN
 & SCREENED PORCH
 ROOF PLAN**

Project No:

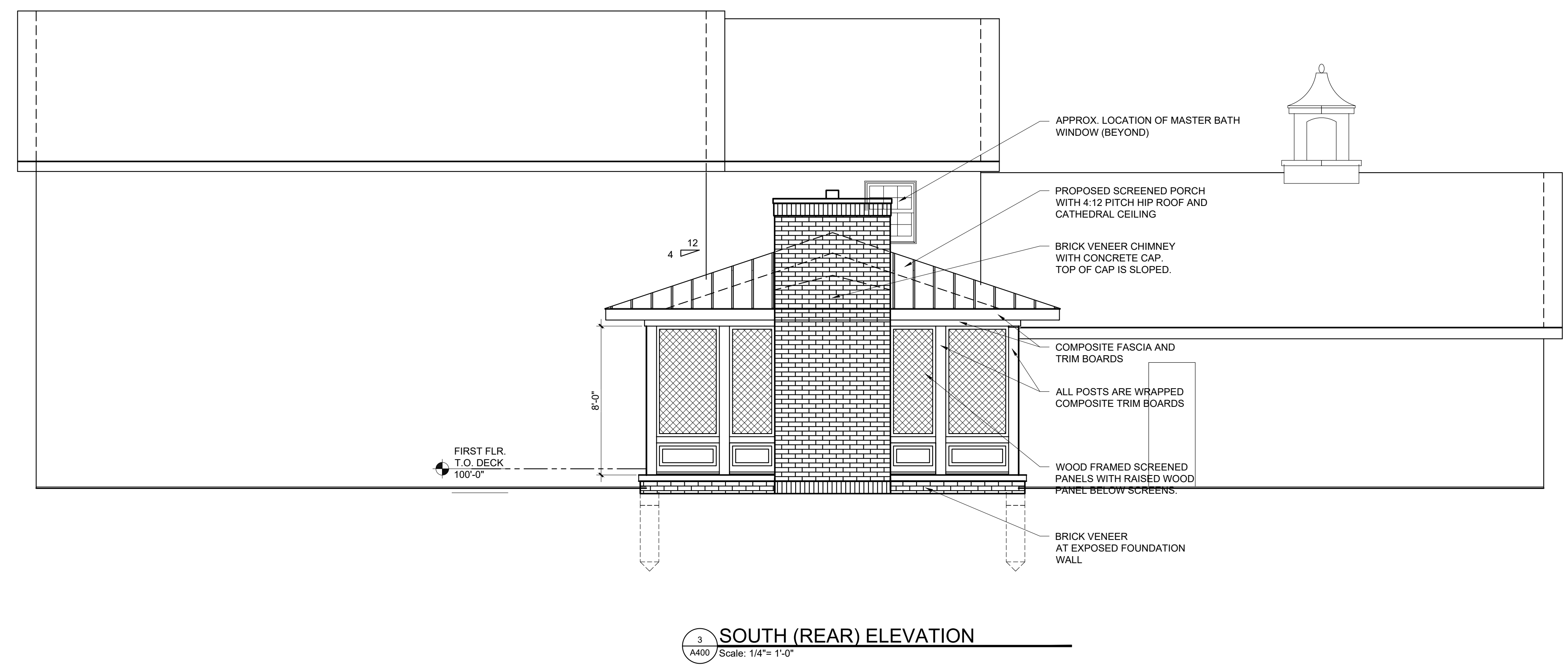
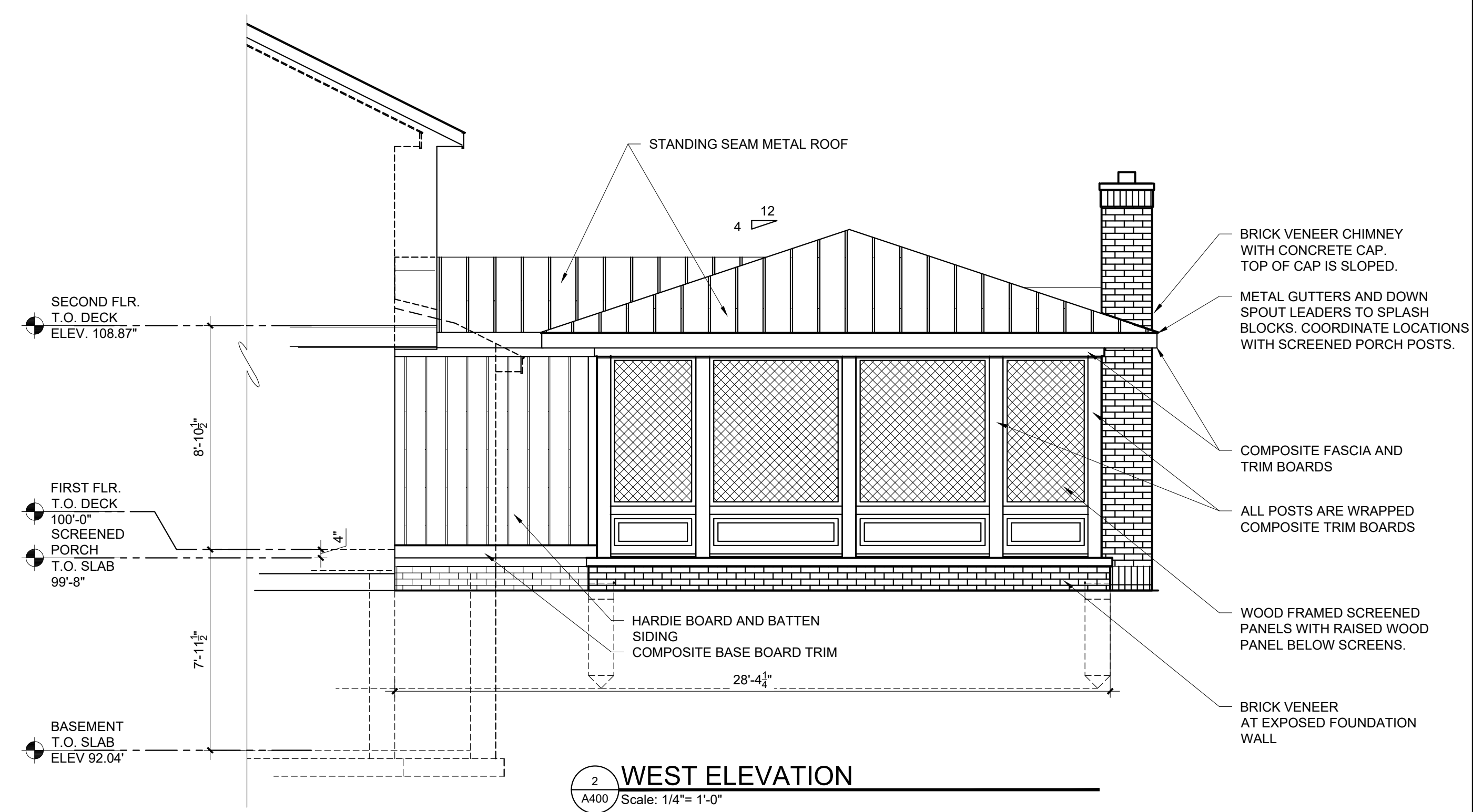
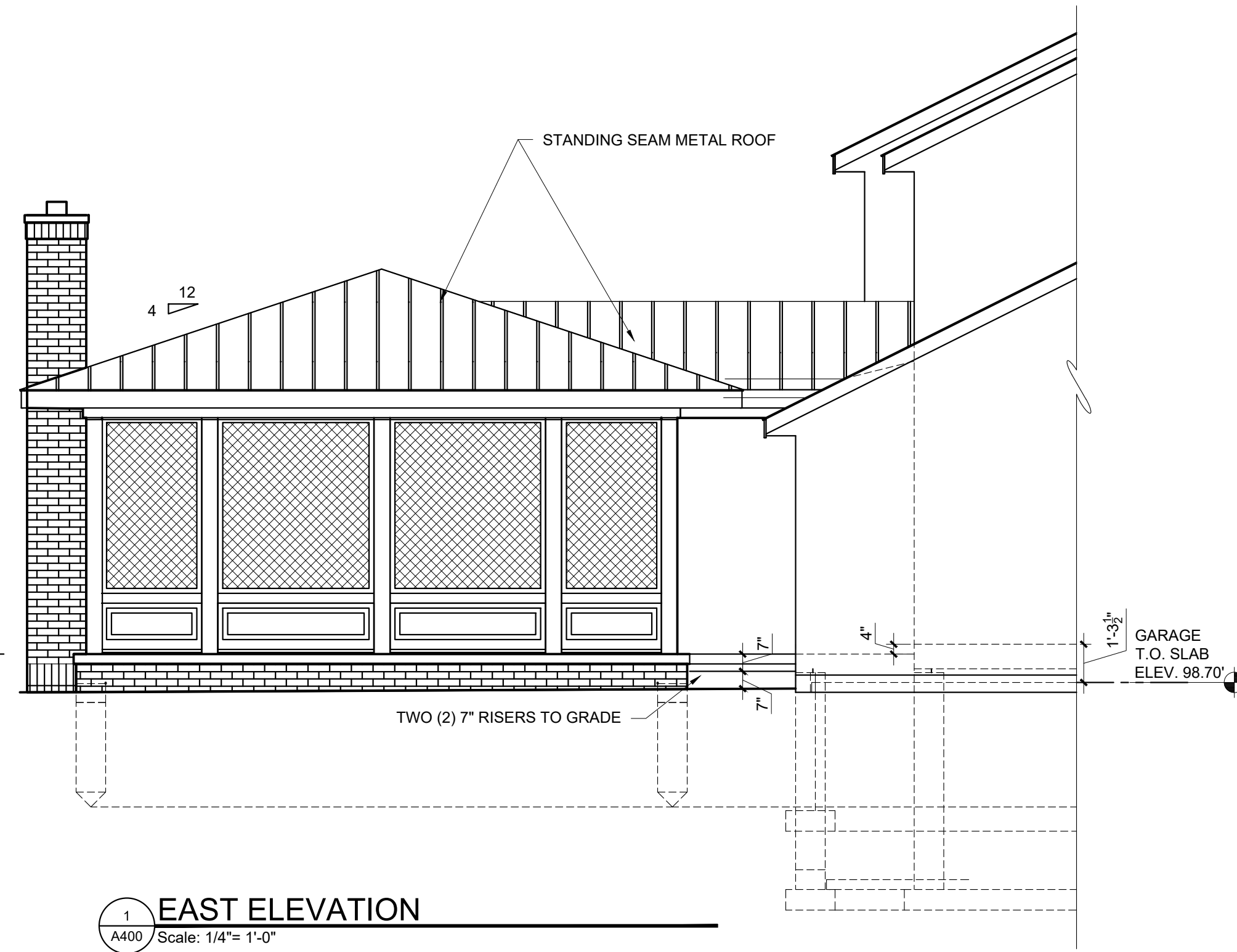
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Date: 2-27-21 Drawn By:

Drawing No.

A300

Sheet # of #



DiPasquale Residence
 21 Brookwood Road
 Pittsford, New York 14534

Project Name

No.	Revisions/Submissions	Date
	PERMIT SET	--21

HB CORNERSTONE
 99 Garnsey Road, Suite 100
 Pittsford, NY 14534
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DJC ARCHITECTURE
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Drawing Title
EXTERIOR ELEVATIONS

Project No:

Scale: **AS NOTES**

Date: **2-27-21** Drawn By:

Drawing No.

A400

Sheet # of #

DiPasquale Residence
 21 Brookwood Road
 Pittsford, New York 14534

Project Name

No.	Revisions/Submissions	Date
	PERMIT SET	--21

HB CORNERSTONE

99 Garnsey Road, Suite 100
 Pittsford, NY 14534
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Drawing Title

BUILDING SECTIONS

Project No:

Scale: AS NOTES

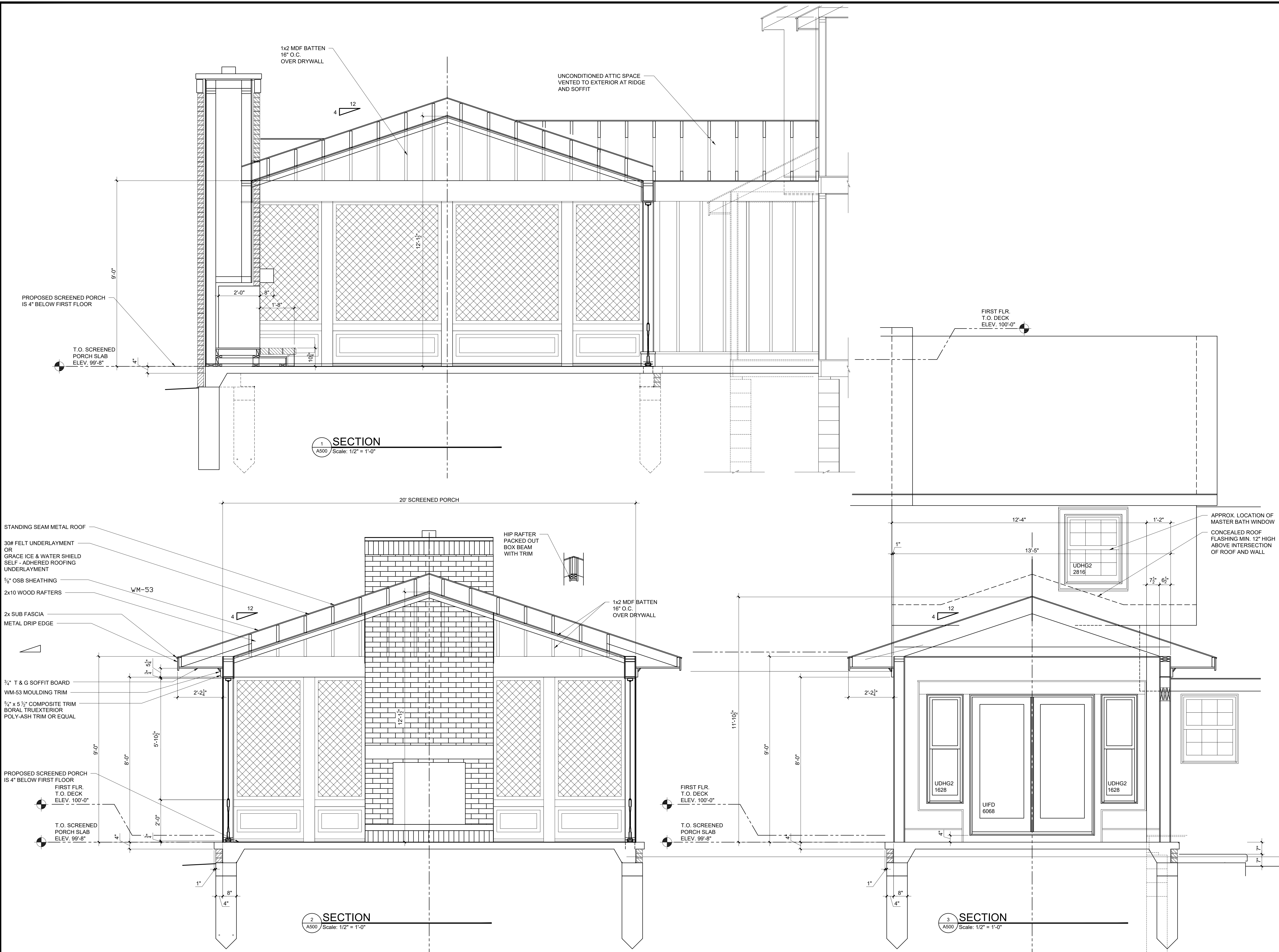
Date: 2-27-21

Drawn By:

Drawing No.

A500

Sheet # of #

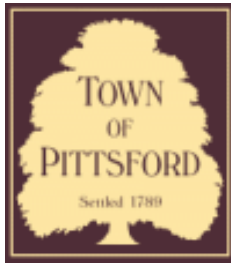


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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000039

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 6 Canal Park Place PITTSFORD, NY 14534

Tax ID Number: 150.19-1-5.71

Zoning District: RN Residential Neighborhood

Owner: Cooper, Scott D

Applicant: Josh Lawn Care & Landscaping Co.

Application Type:

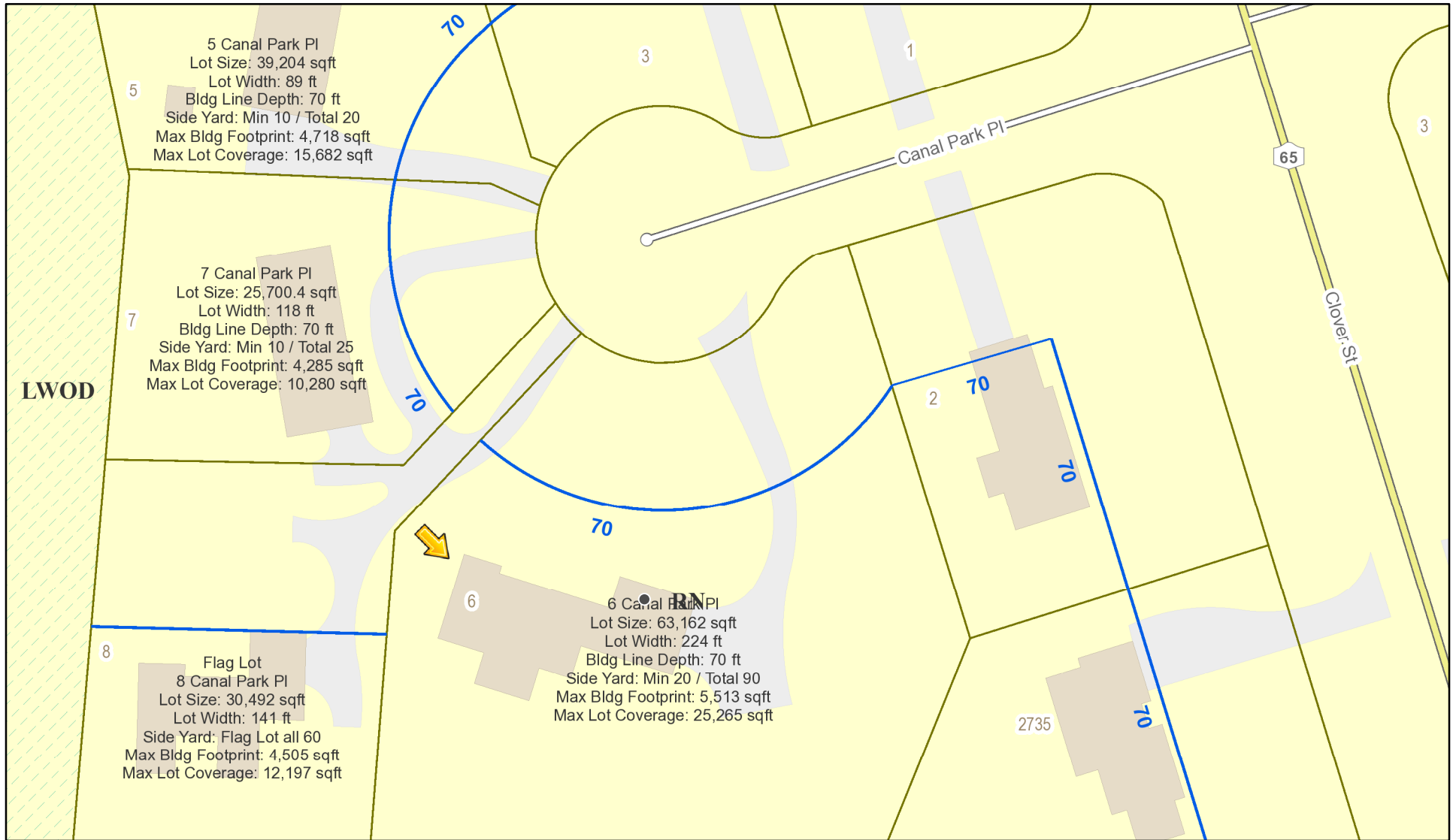
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
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§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the covered deck addition and oversized gazebo. The covered deck will be approximately 684 square feet and gazebo will be 450 square feet. The applicant appeared before the Zoning board of appeals and was granted a variance for side setback and oversized accessory structure.

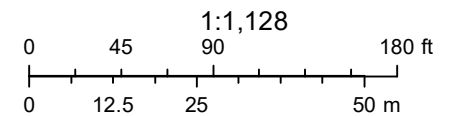
Meeting Date: March 11, 2021



RN Residential Neighborhood Zoning



Printed March 4, 2021

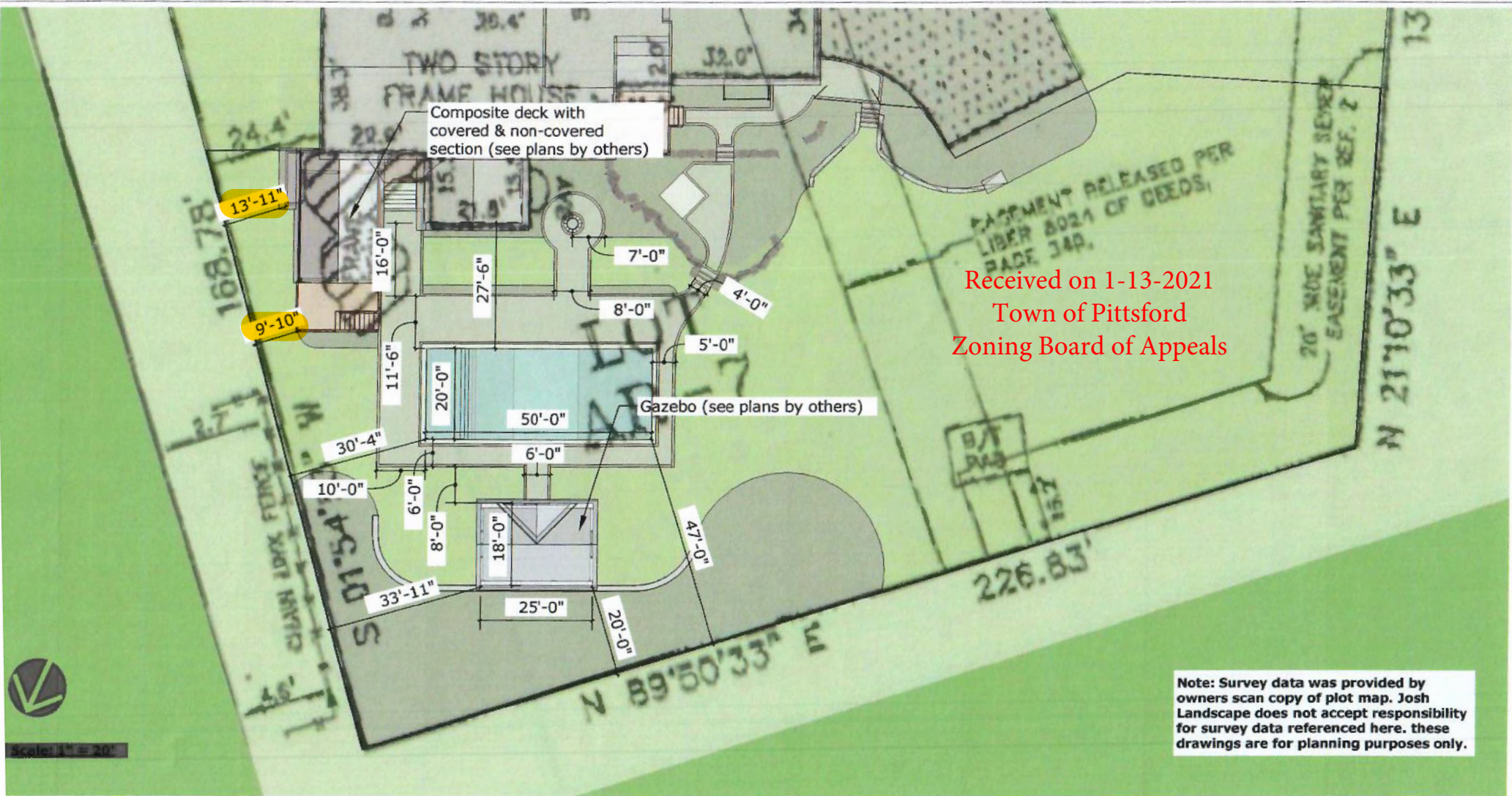


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



2749



Received on 1-13-2021
 Town of Pittsford
 Zoning Board of Appeals

Note: Survey data was provided by owners scan copy of plot map. Josh Landscape does not accept responsibility for survey data referenced here. these drawings are for planning purposes only.

Notes:







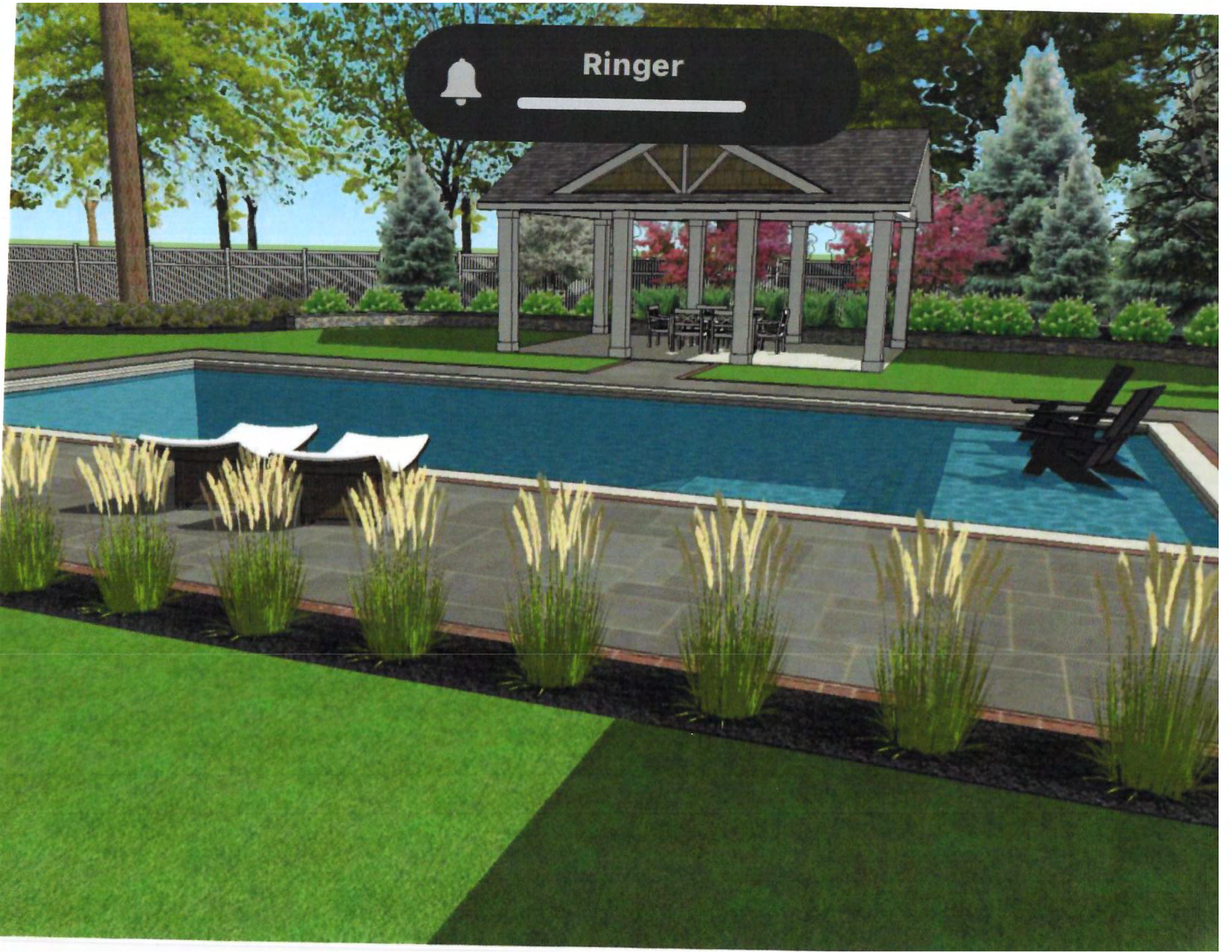








Ringer



NOTES (GENERAL NOTES TO BE APPLIED AS NEEDED TO THIS REMODELING PROJECT)

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS. (THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
 - A) CONCRETE (R402.2) = MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
 - FOOTINGS: 2500 PSI
 - BASEMENT SLAB: 2500 PSI (W/ FIBER REIN. ADDITIVE, OPTIONAL)
 - GARAGE & PORCH SLABS: 3500 PSI (AIR-ENTRAINED)
 - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)
 - B) POURED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION OR AIR ENTRAINED CONC. MUST BE USED. (TABLE R402.2, NOTE 2.)
 - C) STRUCTURAL STEEL TO BE ASTM - A96
 - D) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (HEM FIR #2 OR BETTER)
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R1001-R1006 AS APPLICABLE.
- (11) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.1.3 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R514.)
- (13) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 308.1. DECORATIVE GLASS IS EXEMPT IN SWINGS DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS).
- (14) DESIGN CRITERIA:
 - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
 - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
 - C) GROUND SNOW LOAD = 40 PSF (FIG R301.2(6))
 - D) WIND SPEED = 40 MPH, EXPOSURE B
 - E) SEISMIC DESIGN CATEGORY = A OR B - R301.2(2)
 - F) WEATHERING - SEVERE
 - G) FROST LINE DEPTH = 42"
 - H) TERMITE DAMAGE - CONTACT LOCAL JURISDICTION
 - I) DECAY DAMAGE - NONE TO SLIGHT
 - J) WINTER DESIGN TEMPERATURE - (-1) DEGREE
 - K) ICE BARRIER IS REQUIRED
 - L) ROOF TIE-DOWN REQUIREMENTS - R802.11 (BASED UPON SPECIFIC ROOF DESIGN)
 - M) ENERGY COMPLIANCE DETAILS AND PATH - N101.3
- (15) FOOTINGS TO BEAR ON FIRM LEVEL UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL
- (16) DRAWING ALTERATION: THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 148, SECTION 1204 AND APPLIES TO THESE DRAWINGS. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
- (17) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M107 OF THE CODE.
- (18) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER 11 OF THE CODE.
- (19) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

ENERGY CONSERVATION, CHAPTER 11, ENERGY EFFICIENCY

1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N104.
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N102.4.5
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N103.1.1
4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N103.3.2.
5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION N103.5
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N102.2.4
7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N102.4.1 THROUGH N102.4.6.
8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR. CONDUCT TEST ACCORDING TO ASTM E119 OR ASTM E1821 OR NET/ICC 380 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH N102.4.1.2.
9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

DECK ADDITION
6 CANAL PARK PLACE, PITTSFORD, NEW YORK

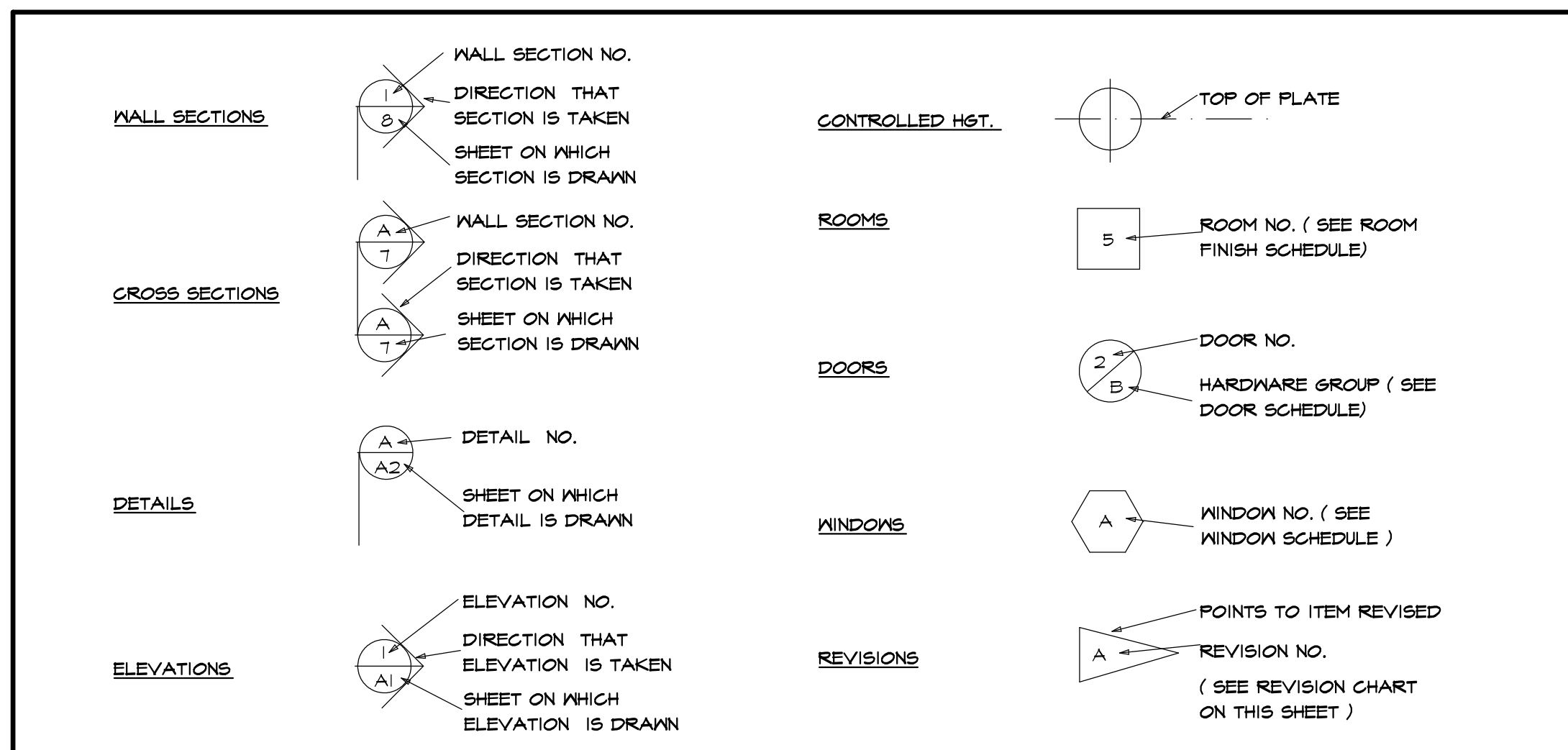
MR & MRS SCOTT COOPER, HOMEOWNERS

ENERGY CODE COMPLIANCE PATH: (EXISTING CONSTRUCTION)

THE ENTIRE BUILDING IS NOT REQUIRED TO COMPLY WITH THE CURRENT ENERGY CODE. THE ALTERATIONS SHALL CONFORM TO ENERGY CODE. NEW PENETRATION SHALL COMPLY WITH ENERGY CODE.

CAVITIES IN THE ENVELOPE (CEILING, WALL OR FLOOR) EXPOSED DURING CONSTRUCTION SHALL BE FILLED WITH (MINIMUM) FIBER GLASS INSULATION WITH VAPOR BARRIER. NEW LIGHT FIXTURES SHALL HAVE HIGH EFFICIENCY LAMPS.

SYMBOLS



ABBREVIATIONS

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNS	-OPENING
#	-AND	FTG	-FOOTING	O/A	-OVERALL
@	-AT	FDN	-FOUNDATION	O/H D	-OVERHEAD DOOR
BM	-BEAM	GYP	-GYPSUM	O/ HANG	-OVERHANGS
BLK	-BLOCK	HND/CP	-HANDICAP	O/	-OVER
BD	-BOARD	HST	-HEIGHT	OPT	-OPTIONAL
BLDG	-BUILDING	HW	-HOT WATER	P.D.R	-POWDER ROOM
BTR	-BETTER	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CL6	-CEILING	IN (")	-INCH	PSI	-POUNDS PER SQ. IN.
CL	-CENTERLINE	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
COL	-COLUMN	INFO	-INFORMATION	PLYWD	-PLYWOOD
CONC	-CONCRETE	ID	-INSIDE DIAMETER	REQ'D	-REQUIRED
CONT	-CONTINUOUS	INSUL	-INSULATION	RM	-ROOM
COMM	-COMMERCIAL	INT	-INTERIOR	RES	-RESIDENTIAL
CRS	-COURSES	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	RS	-RISERS
DL	-DEAD LOAD	IRG	-INTERNATIONAL RESIDENTIAL CODE	RD & SH	-ROD & SHELF
DIA	-DIAMETER	JT	-JOINT	S	-SOUTH
DBL	-DOUBLE	JSTS	-JOISTS	SKYLT	-SKYLIGHT
DN	-DOWN	LT	-LIGHT	SH	-SHELF
DWG	-DRAWING	LL	-LIVE LOAD	SHS	-SHELVES
DIM	-DIMENSION	MFR	-MANUFACTURER	STOR	-STORAGE
ELEG	-ELECTRIC	MAX	-MAXIMUM	STL	-STEEL
EXP	-EXPANSION	MECH	-MECHANICAL	SUSP	-SUSPENDED
EXT	-EXTERIOR	MTL	-METAL	SYN	-SYNTHETIC
FT (')	-FEET	MIN	-MINIMUM	TS	-TREADS
FIN	-FINISH	MISC	-MISCELLANEOUS	(TYP)	-TYPICAL
FLR	-FLOOR	N	-NORTH	T&G	-TONGUE & GROOVE
I ST	-FIRST	NTS	-NOT TO SCALE	W/	-WITH
FLUOR	-FLUORESCENT	NO	-NUMBER	W/O	-WITHOUT

TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.

GENERAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE
- CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION
- CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNING OF EXISTING STRUCTURE AS REQUIRED
- CONTRACTOR SHALL CO-ORDINATE THE INSTALLATION OF NEW AND / OR USE OF RELOCATED DOORS, AND WINDOWS WITH HOMEOWNER
- CONTRACTOR SHALL (WHERE POSSIBLE) MATCH PLATE HEIGHTS, SUBFLOORS, AND WINDOW ROUGH OPENING HEIGHTS TO MAINTAIN CONTINUITY
- WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS
- MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
- INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION

MINIMUM R - MAXIMUM U VALUES
PENETRATION MAX U VALUE = 0.30



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SUITE #680
FAIRPORT, NY 14450-2002
PH. (585) 223-6420
www.carindesigns.com

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Revision:

Project: DECK ADDITION

Client: SCOTT & MANDY COOPER

Job Location: 6 CANAL PARK PLACE
PITTSFORD, NEW YORK

Drawing Title: COVER SHEET & NOTES

Drawn: SMK Checked By: SLG

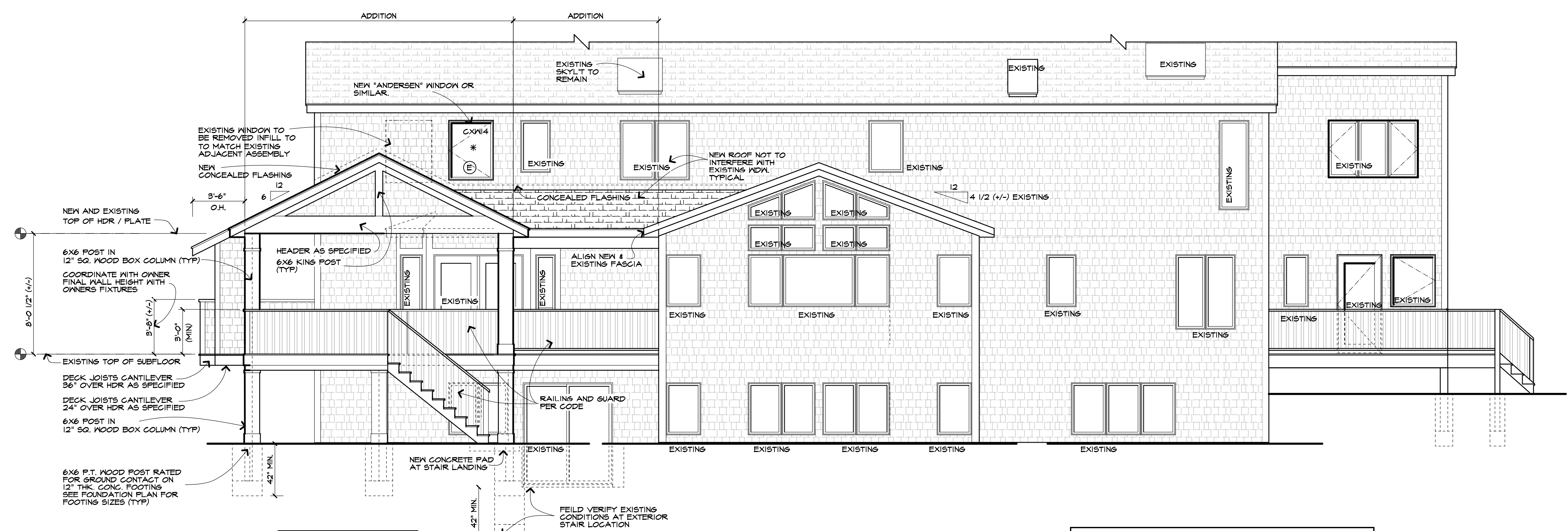
Date: DECEMBER, 2020

Job No: 30398

Sheet: 1 of 6

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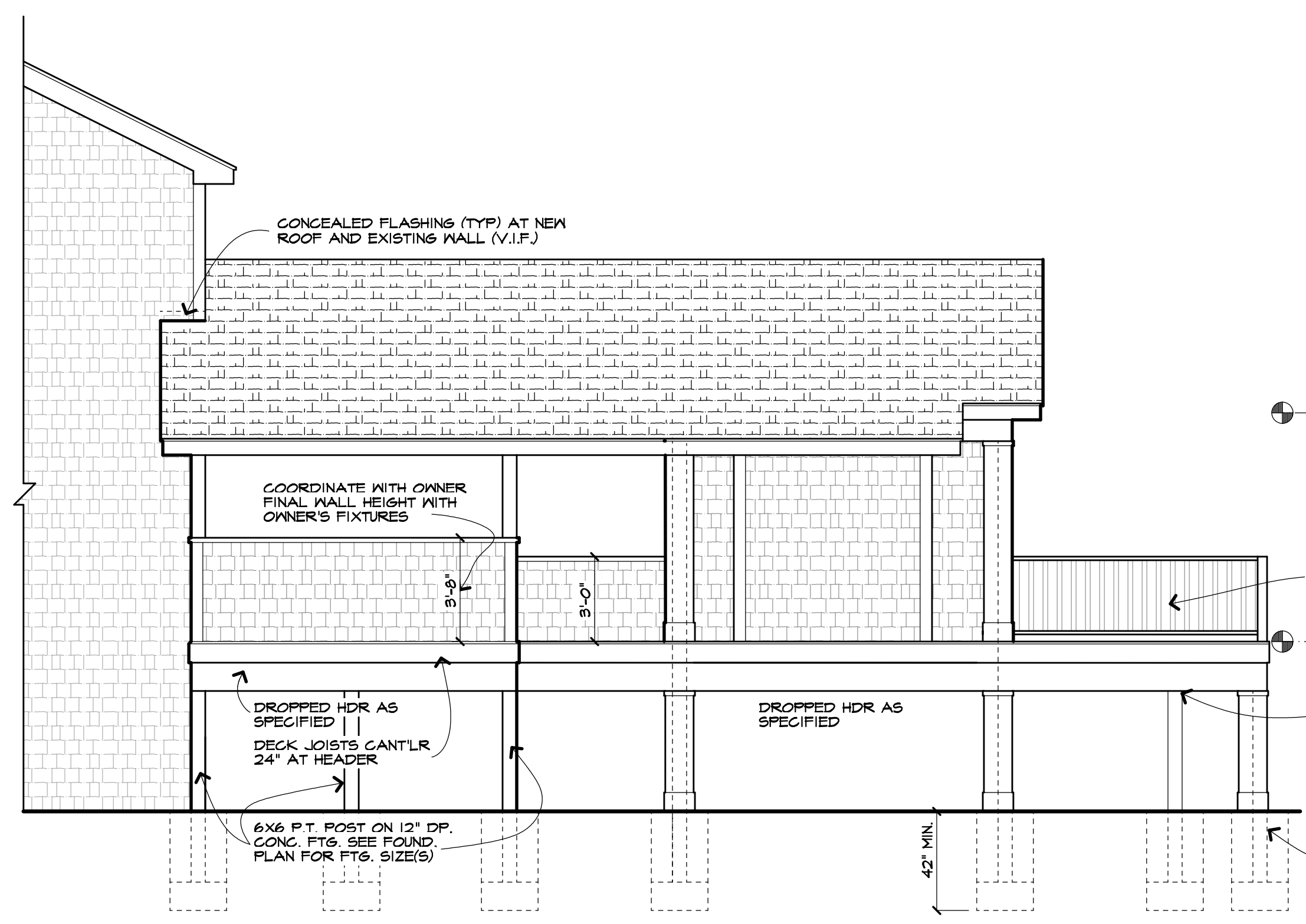
REAR ELEVATION
SCALE: 1/4" = 1'-0"

UNLESS OTHERWISE NOTED

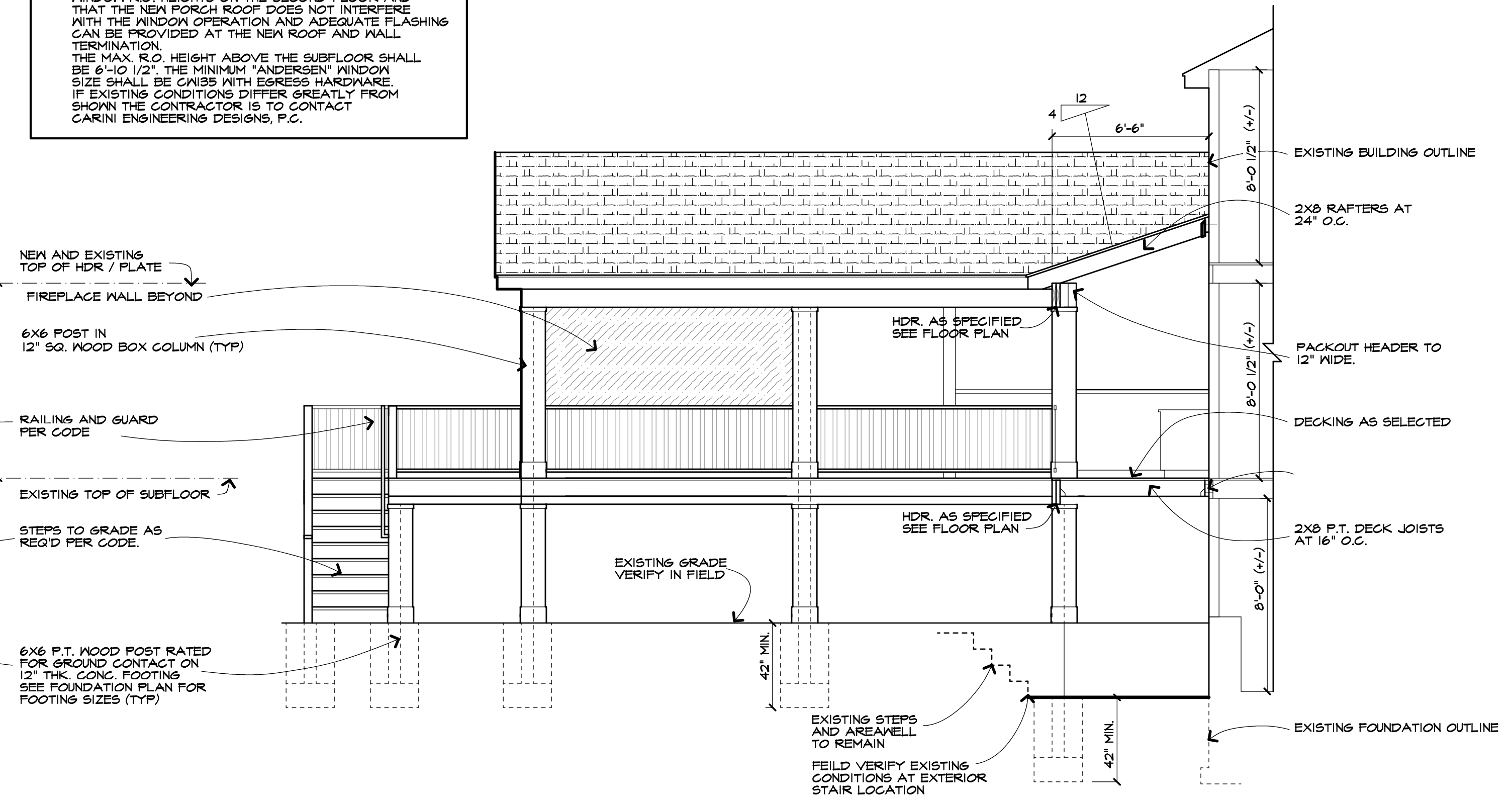
ROOFING:	ASPHALT / FIBERGLASS SHINGLES AS SELTD
FACIA:	ALUM WRAP 2X6
FRIEZEBOARDS:	6" MATCH EXISTING
CORNERBOARDS:	6" MATCH EXISTING
CASINGS:	6" MATCH EXISTING
SIDING:	VINYL AS SELTD (MATCH EXISTING)
EAVE O/HANGS:	1'-0" MATCH EXISTING
RAKE O/HANGS:	1'-0" MATCH EXISTING
FOOTING DEPTH:	3'-6" (MIN) BELOW GRADE
PLATE HEIGHT:	8'-0 1/2" (+/-) EXISTING (MATCH PORCH)
FIRST FLOOR:	

* - THE CONTRACTOR SHALL VERIFY THAT THE NEW "ANDERSEN" R.O. HEIGHT MATCHES EXISTING WINDOW R.O. HEIGHTS ON THE SECOND FLOOR AND THAT THE NEW PORCH ROOF DOES NOT INTERFERE WITH THE WINDOW OPERATION AND ADEQUATE FLASHING CAN BE PROVIDED AT THE NEW ROOF AND WALL TERMINATION.
THE MAX. R.O. HEIGHT ABOVE THE SUBFLOOR SHALL BE 6'-10 1/2". THE MINIMUM "ANDERSEN" WINDOW SIZE SHALL BE CONSISTENT WITH EGRESS HARDWARE IF EXISTING CONDITIONS DIFFER GREATLY FROM SHOWN THE CONTRACTOR IS TO CONTACT CARINI ENGINEERING DESIGNS, P.C.

NOTE:
WOOD DECKS SHALL BE BUILT IN COMPLIANCE WITH SECTION R 507 OF THE CODE. BUILDER SHALL BE FAMILIAR WITH THIS SECTION OF THE CODE AND HAVE EXPERIENCE BUILDING CODE COMPLIANT EXTERIOR DECKS.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:	
Project:	DECK ADDITION
Client:	SCOTT & MANDY COOPER
Job Location:	6 CANAL PARK PLACE PITTSFORD, NEW YORK
Drawing Title:	ELEVATIONS
Drawn:	SMK
Checked By:	SLC
Date:	DECEMBER, 2020
Job No.:	38398
Sheet:	2 of 6

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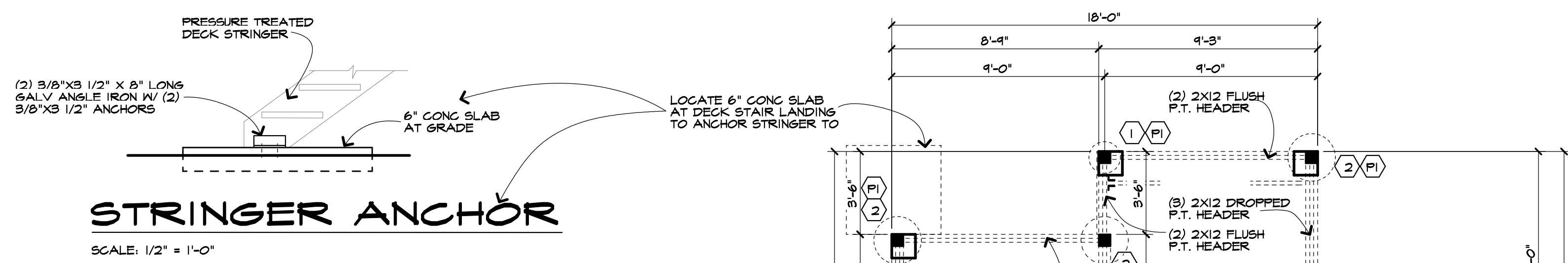
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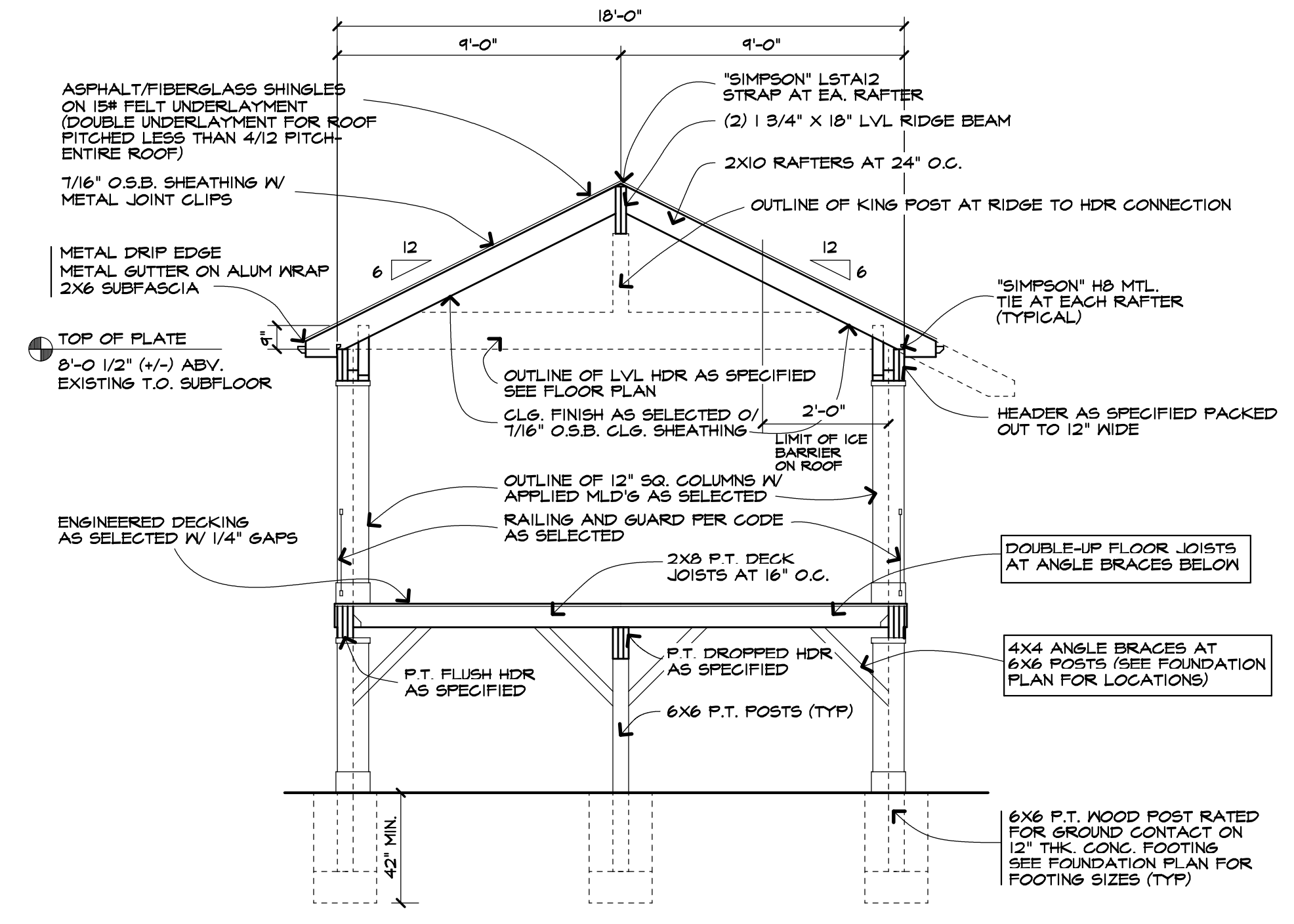
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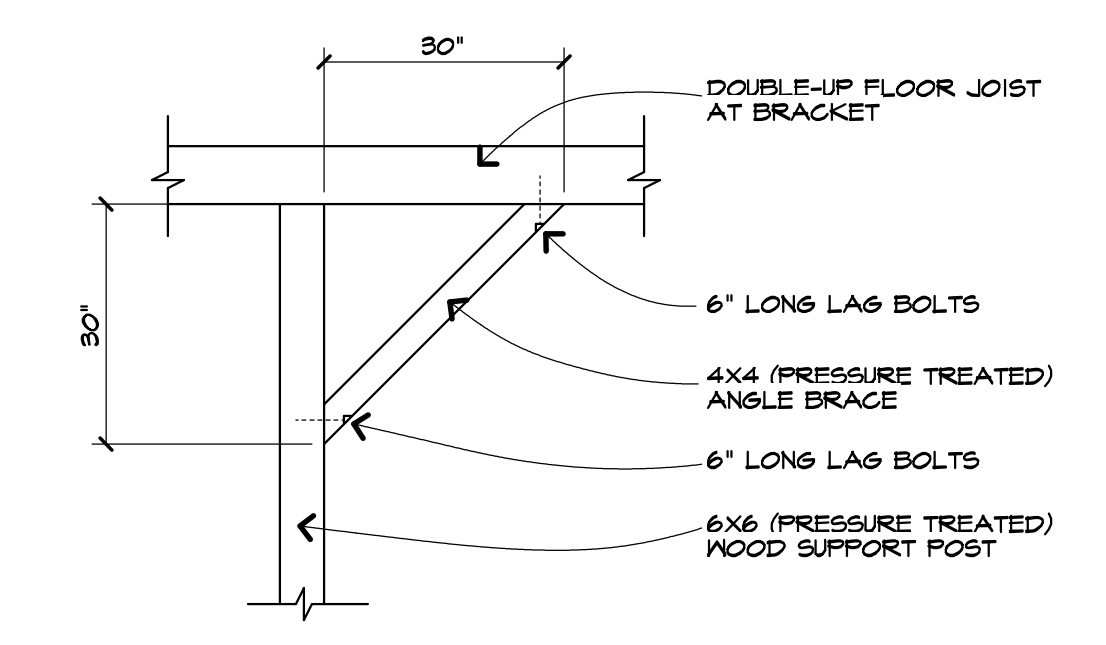
Revisions:
Project: DECK ADDITION
Client: SCOTT & MANDY COOPER
Job Location: 6 CANAL PARK PLACE PITTSFORD, NEW YORK
Drawing Title: BASEMENT PLAN
Drawn: SMK Checked By: SLC
Date: DECEMBER, 2020
Job No: 38398
Sheet: 3 of 6



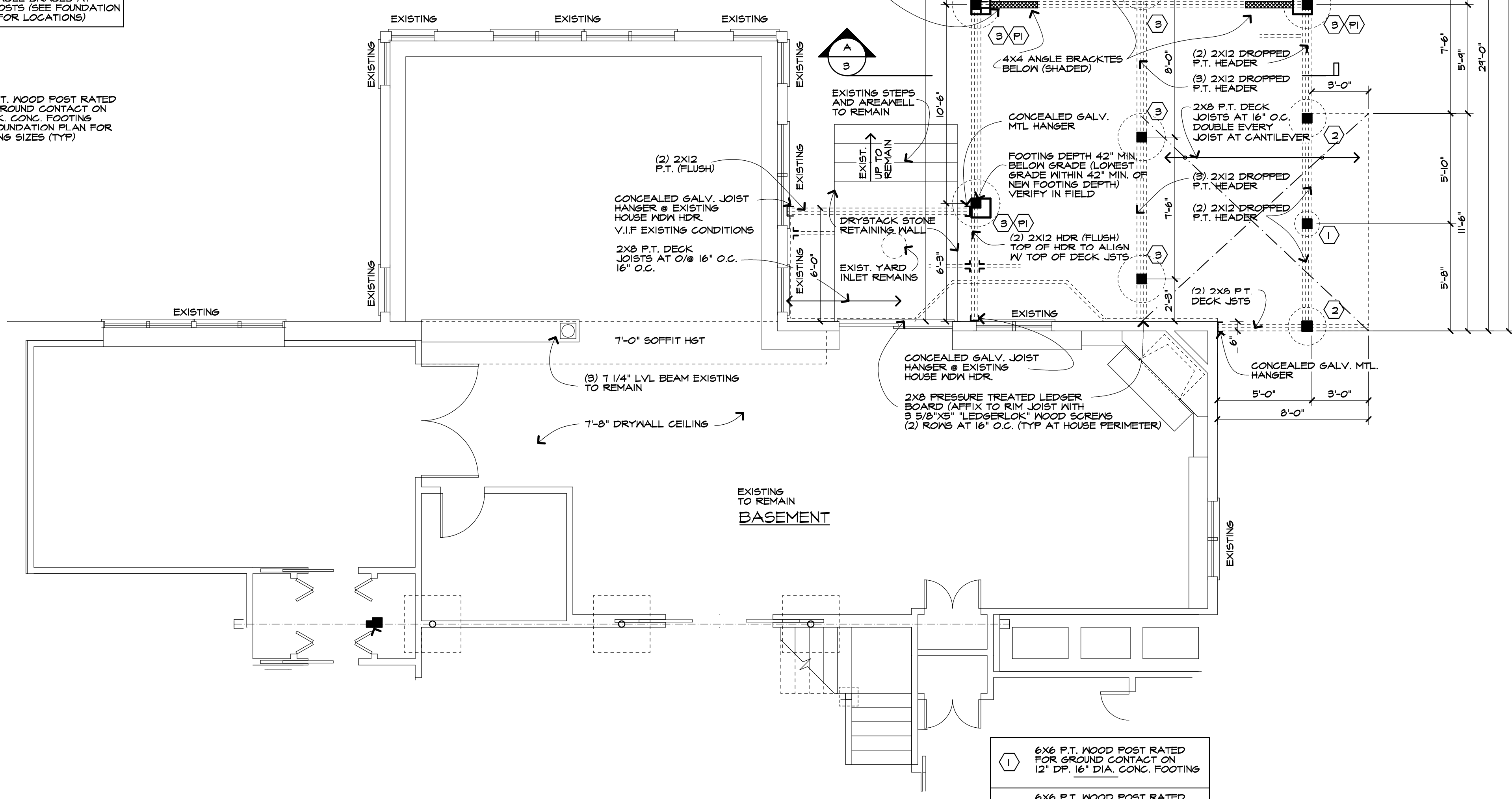
STRINGER ANCHOR
SCALE: 1/2" = 1'-0"



DECK SECTION "A"
SCALE: 1/4" = 1'-0"



CONNECTOR AT ANGLE BRACKET
SCALE: 1/2" = 1'-0"



EXISTING BASEMENT & FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- ① 6x6 P.T. WOOD POST RATED FOR GROUND CONTACT ON 12" DP, 16" DIA, CONG. FOOTING
- ② 6x6 P.T. WOOD POST RATED FOR GROUND CONTACT ON 12" DP, 24" DIA, CONG. FOOTING
- ③ 6x6 P.T. WOOD POST RATED FOR GROUND CONTACT ON 12" DP, 30" DIA, CONG. FOOTING
- (PI) PACK OUT COL. NOTED W/ 12" SQ. COLUMN W/ APPLIED MLDG AS SELECTED

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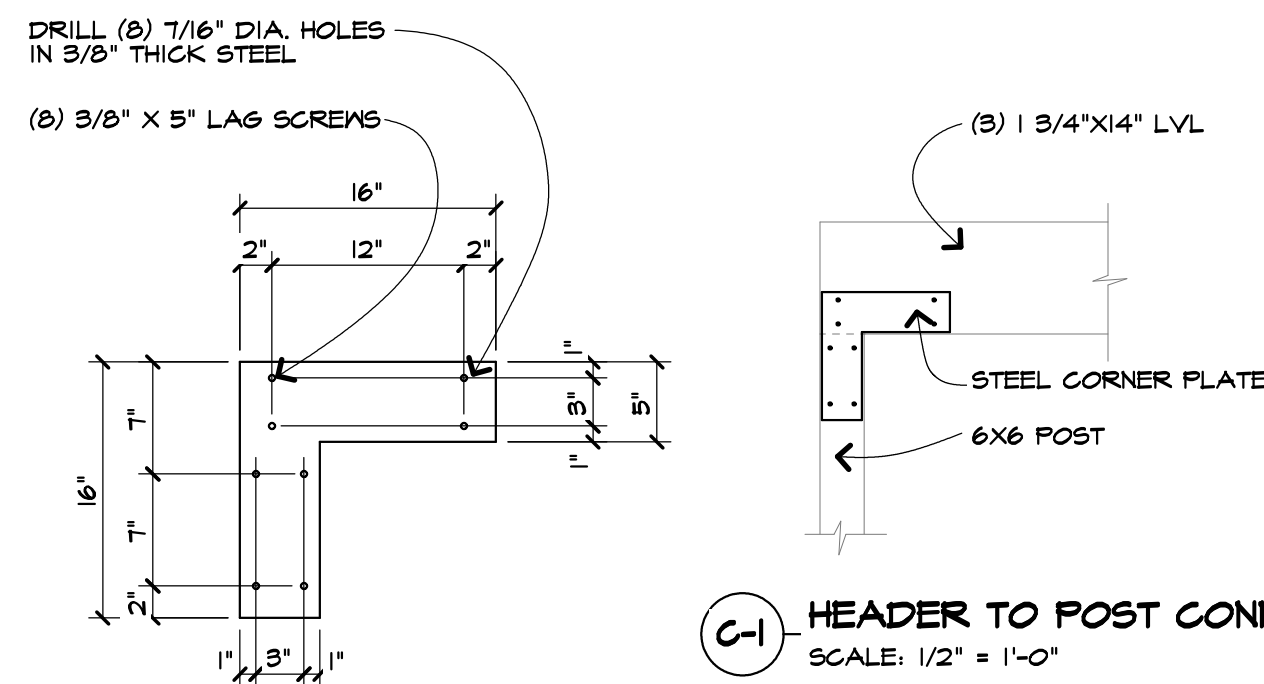
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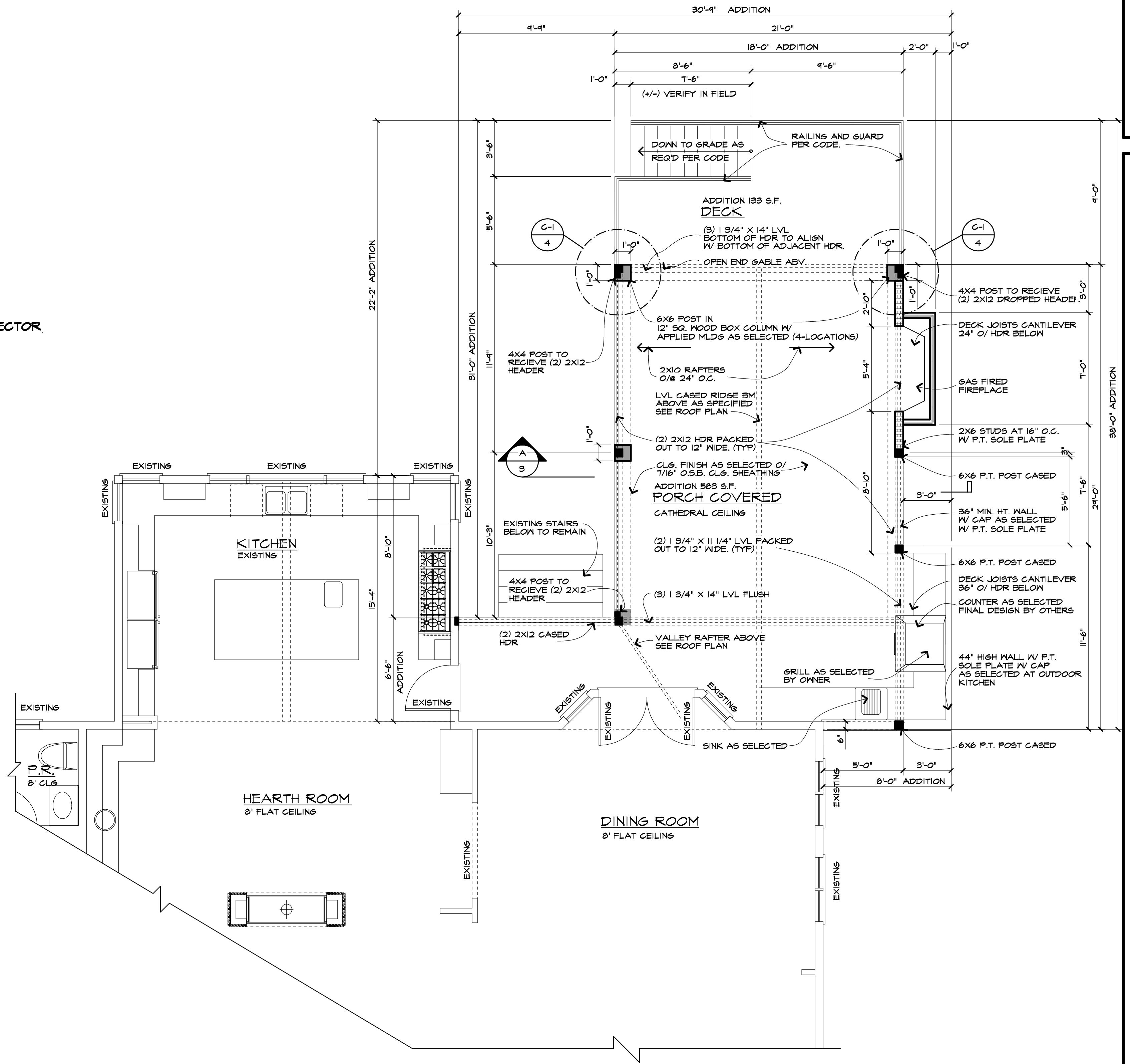
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3/8" THICK CORNER
STEEL PLATE DETAIL
SCALE: 1" = 1'-0"



PORCH / DECK ADDITION AND PARTIAL
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

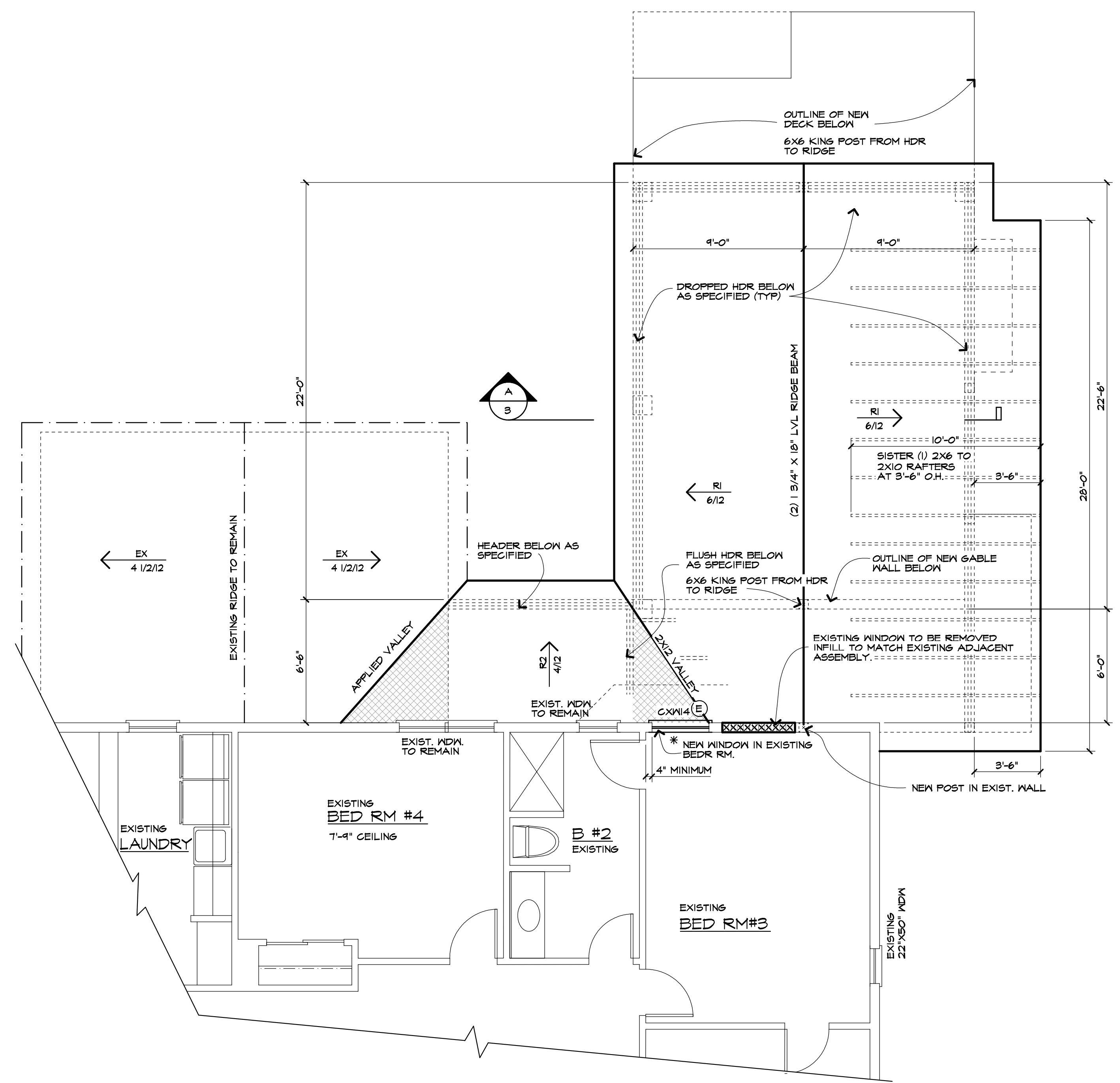
- UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE 8'-0 1/2" (+/-) ABOVE TOP OF SUBFLOOR. (MATCH EXISTING)
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER
- CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
- INSTALL HANDRAIL & GUARDS AT STAIR PER SECTIONS R311.7.8-R311.12.2 AND R-312 OF THE CODE
- LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2.000.000)
- 8 1/4" MAX STEP AT EGRESS DOOR(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR
- PER EXCEPTION SECTION R311.3.1 OF THE CODE & 7 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE CODE

WOOD DECK FASTENERS:
6185 HOT DIP GALVANIZED HANGERS, AND ASTM A153 GALVANIZED NAILS & SCREWS

CODE REQUIRES SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS IN THE ENTIRE BUILDING (NOT JUST THE ADDITION). SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE INTERCONNECTED & HARD WIRED. CO. DETECTORS REQUIRED ON EACH STORY HAVING A SLEEPING AREA, ON EACH LEVEL CONTAINING A FUEL BURNING APPLIANCE, FIRE PLACE, OR ATTACHED GARAGE. CO DETECTORS SHALL BE INTERCONNECTED & HARD WIRED. SEE SECTION R314 & R315 AND APPENDIX J OF THE 2020 CODE FOR ADDITIONAL INFORMATION.

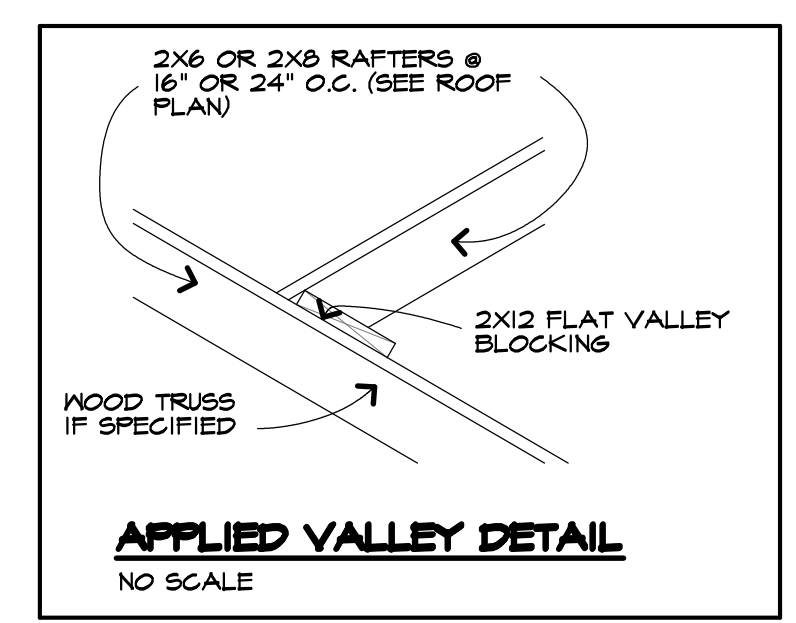
Revisions:	
Project:	DECK ADDITION
Client:	SCOTT & MANDY COOPER
Job Location:	6 CANAL PARK PLACE PITTSFORD, NEW YORK
Drawing Title:	FIRST FLOOR PLAN
Drawn:	SMK
Checked By:	SLC
Date:	DECEMBER, 2020
Job No.:	38398
Sheet:	4 of 6

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The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.
These plans comply with the 2020 code
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* - THE CONTRACTOR SHALL VERIFY THAT THE NEW "ANDERSEN" R.O. HEIGHT MATCHES EXISTING WINDOW R.O. HEIGHTS ON THE SECOND FLOOR AND THAT THE NEW PORCH ROOF DOES NOT INTERFERE WITH THE WINDOW OPERATION AND ADEQUATE FLASHING CAN BE PROVIDED AT THE NEW ROOF AND WALL TERMINATION.
THE MAX. R.O. HEIGHT ABOVE THE SUBFLOOR SHALL BE 6'-10 1/2". THE MINIMUM "ANDERSEN" WINDOW SIZE SHALL BE CONSISTENT WITH EGRESS HARDWARE IF EXISTING CONDITIONS DIFFER GREATLY FROM SHOWN THE CONTRACTOR IS TO CONTACT CARINI ENGINEERING DESIGNS, P.C.

NEW ROOF AT PORCH ADDITION AND PARTIAL EXISTING
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



WINDOW SUPPLIER TO VERIFY WINDOW WILL MEET THE FOLLOWING CRITERIA:
CLEAR OPENING WIDTH SHALL BE 20" OR GREATER, CLEAR OPENING HEIGHT SHALL BE 24" OR GREATER, AND NET CLEAR OPENING SHALL BE 5.7 SQ. FT. OR GREATER.
THE BOTTOM EDGE OF THE CLEAR OPENING SHALL BE NOT GREATER THAN 44" MEASURED FROM THE FLOOR.
(E)

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENING	2x6 WALL	2x4 WALL
UP TO 5'-0"	(3) 2x8	(2) 2x8

WALL LEGEND

- EXISTING WALLS TO REMAIN
- INFILL EXISTING OPENINGS TO MATCH EXISTING ADJACENT ASSEMBLY (VERIFY IN FIELD)

UNLESS OTHERWISE NOTED ON PLAN, SECOND FLOOR PLATE HEIGHT SHALL BE 7'-4" (1/2") V.I.F.
CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2/2000/2000)
PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY

UNLESS NOTED OTHERWISE

- R1 → 2x10 RAFTERS @ 24" O.C. WITH PITCH NOTED
- R2 → 2x6 RAFTERS AT 24" O.C. WITH PITCH NOTED
- EX → EXISTING ROOF TO REMAIN W/ PITCH NOTED

EAVE OVERHANGS SHALL BE 1'-0"
RAKE OVERHANGS SHALL BE 1'-0"
INSTALL ICE BARRIER ON ROOF TO COMPLY WITH SECTION R905.1.2 OF THE CODE

CODE REQUIRES SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS IN THE ENTIRE BUILDING AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE INTERCONNECTED & HARD WIRED.
CO DETECTORS REQUIRED ON EACH STORY HAVING A SLEEPING AREA, ON EACH LEVEL CONTAINING A FUEL BURNING APPLIANCE, FIRE PLACE, OR ATTACHED GARAGE.
CO DETECTORS SHALL BE INTERCONNECTED & HARD WIRED.
SEE SECTION R314 & R315 AND APPENDIX J OF THE 2020 CODE FOR ADDITIONAL INFORMATION

Revisions:

Project: DECK ADDITION

Client: SCOTT & MANDY COOPER

Job Location: 6 CANAL PARK PLACE PITTSFORD, NEW YORK

Drawing Title: SECOND FLOOR PLAN & ROOF FRAMING PLAN

Drawn: SMK	Checked By: SLG
Date: DECEMBER, 2020	
Job No.: 38398	
Sheet: 5 of 6	

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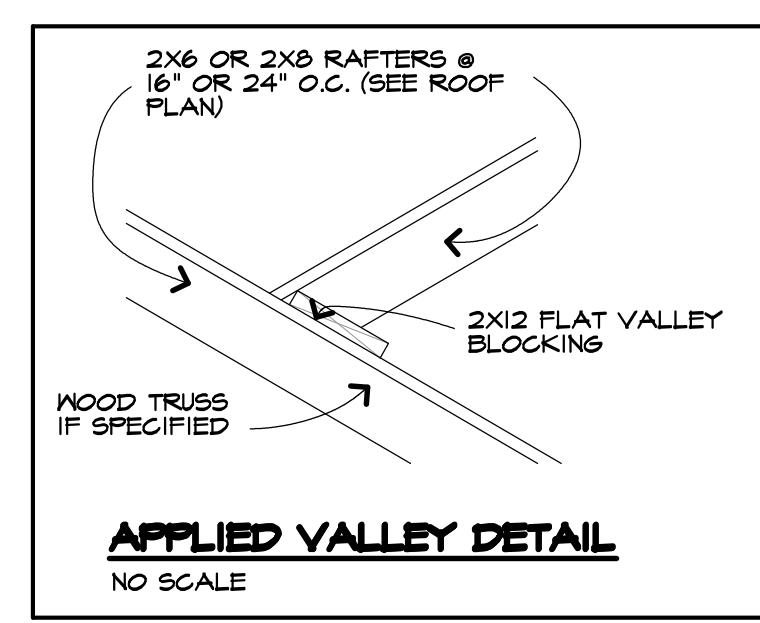
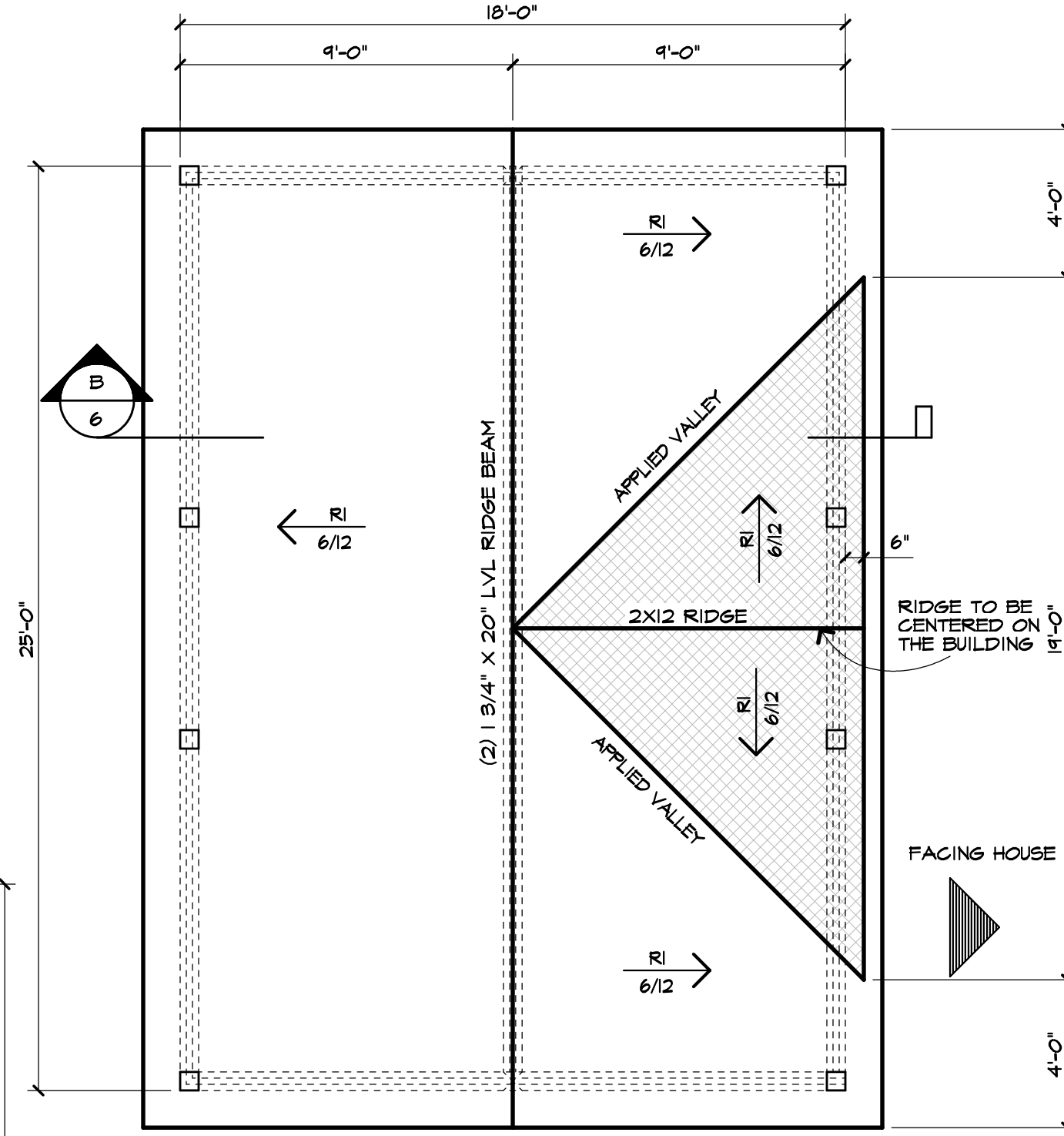
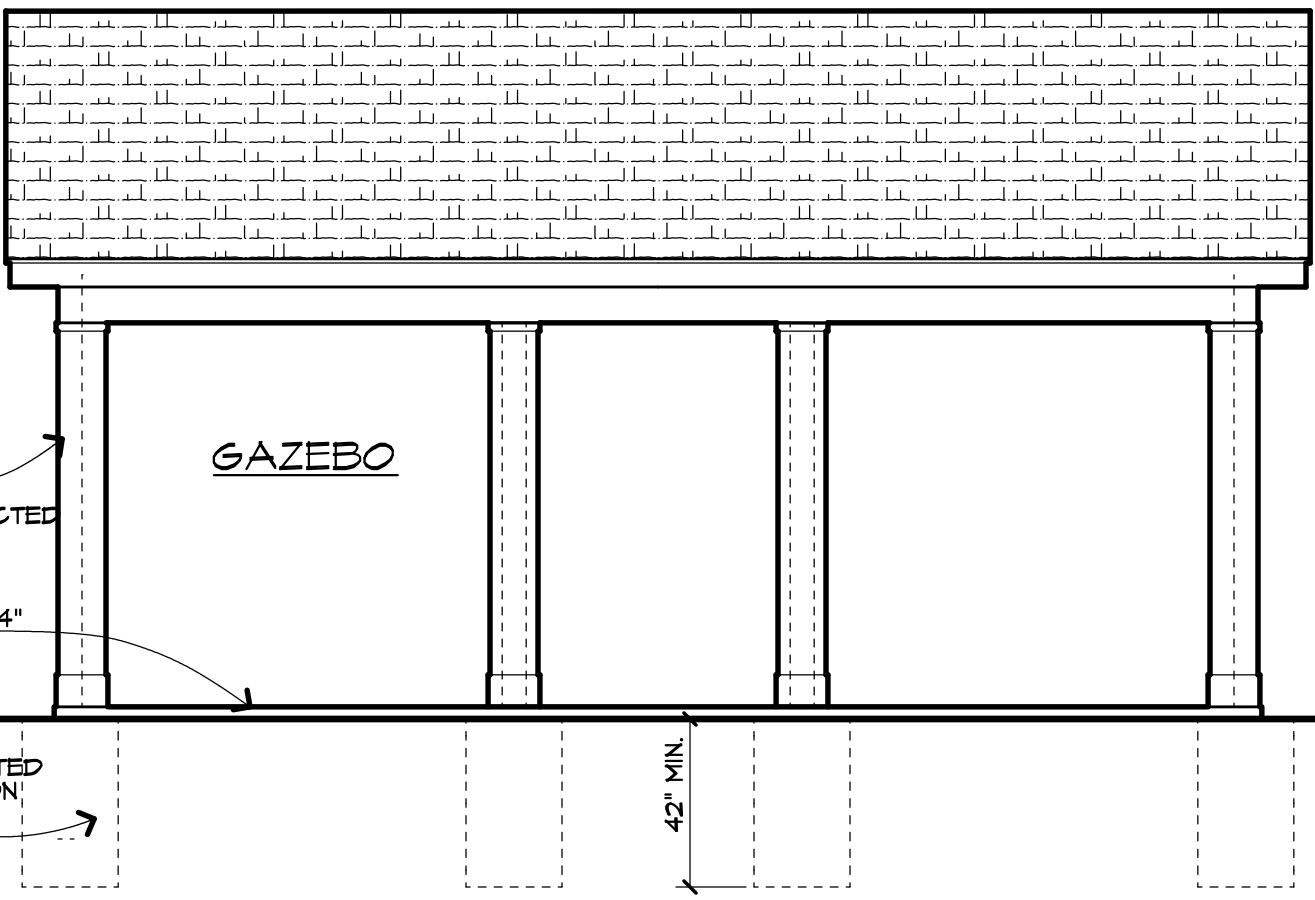
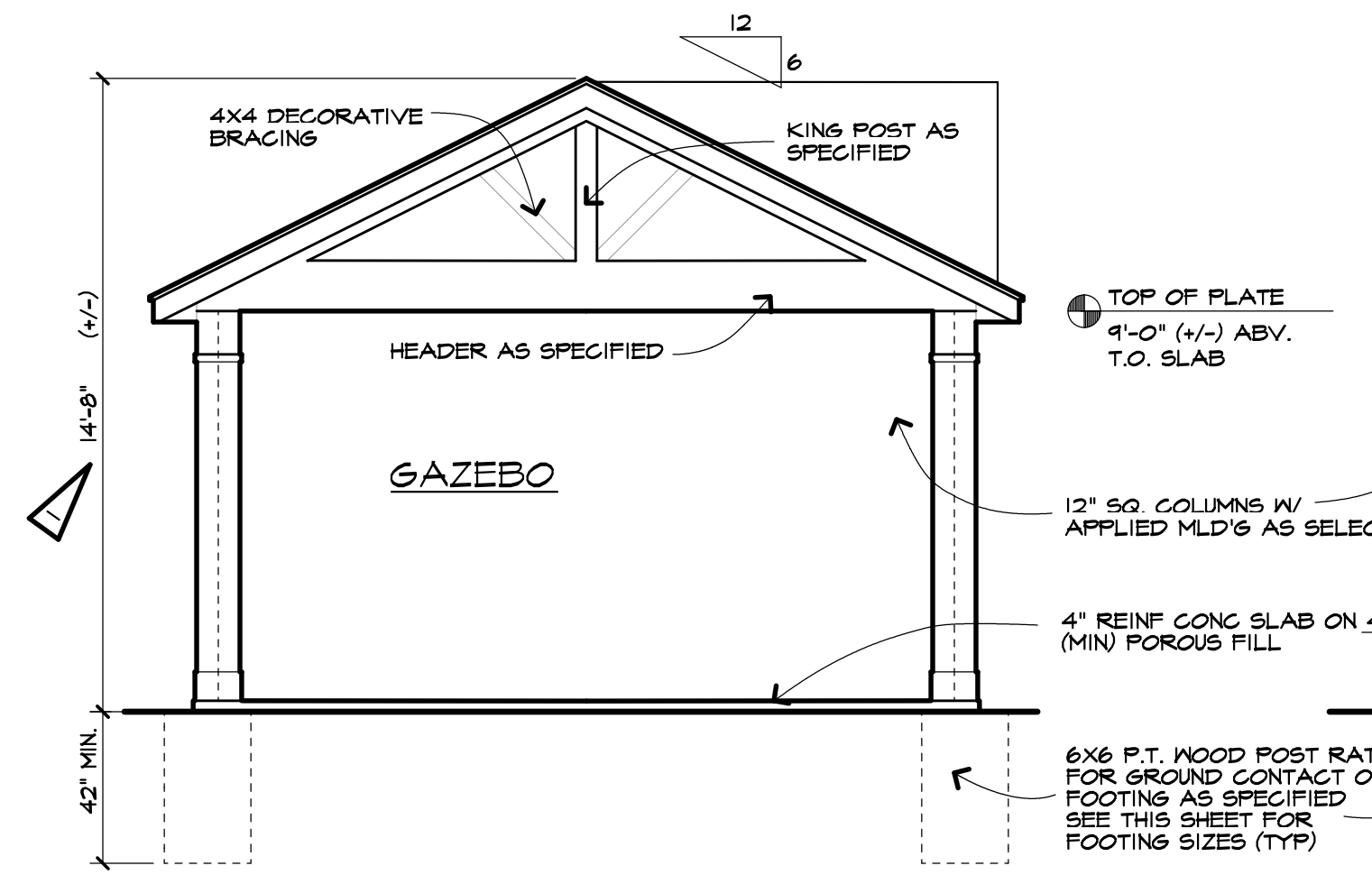
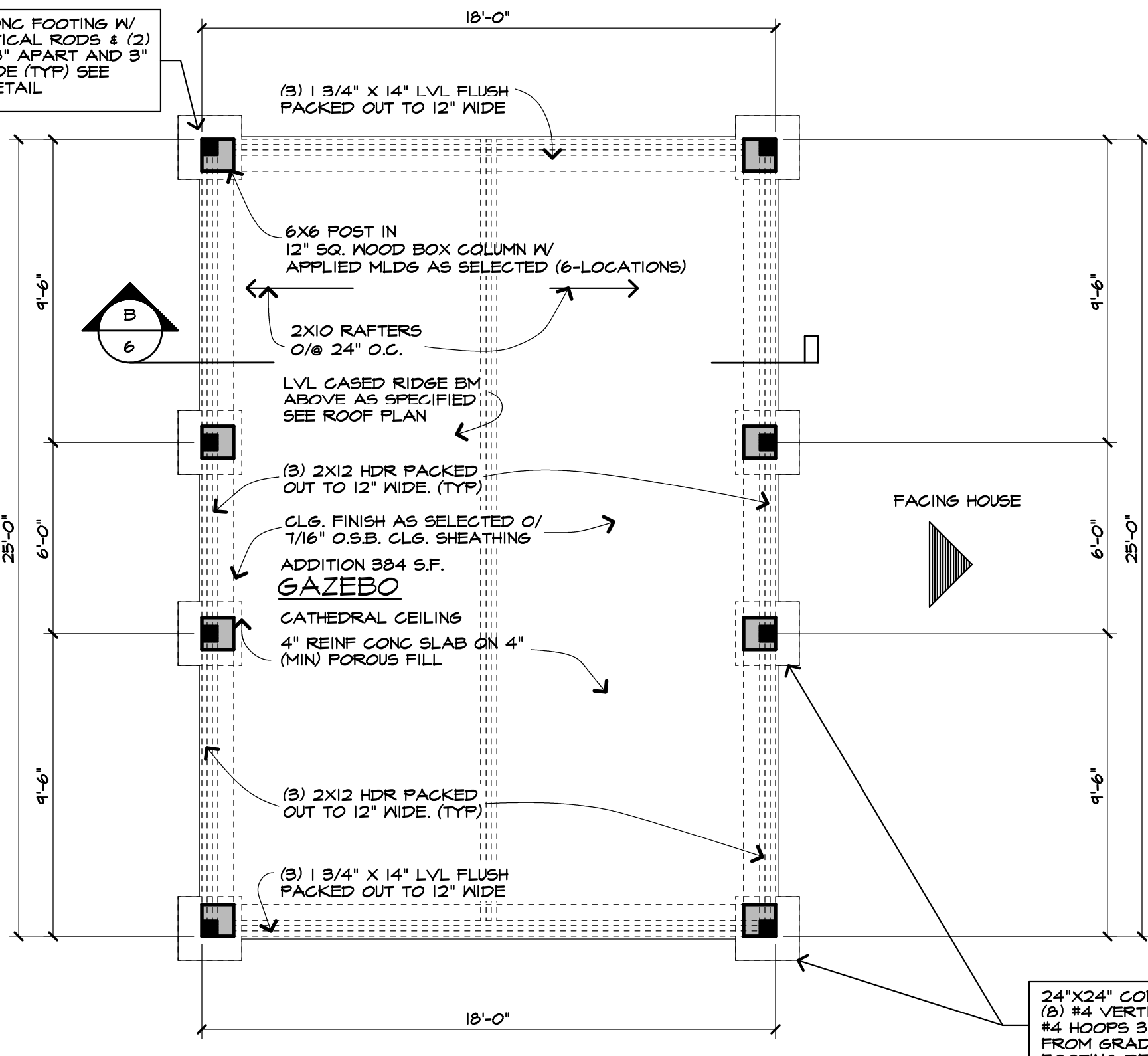
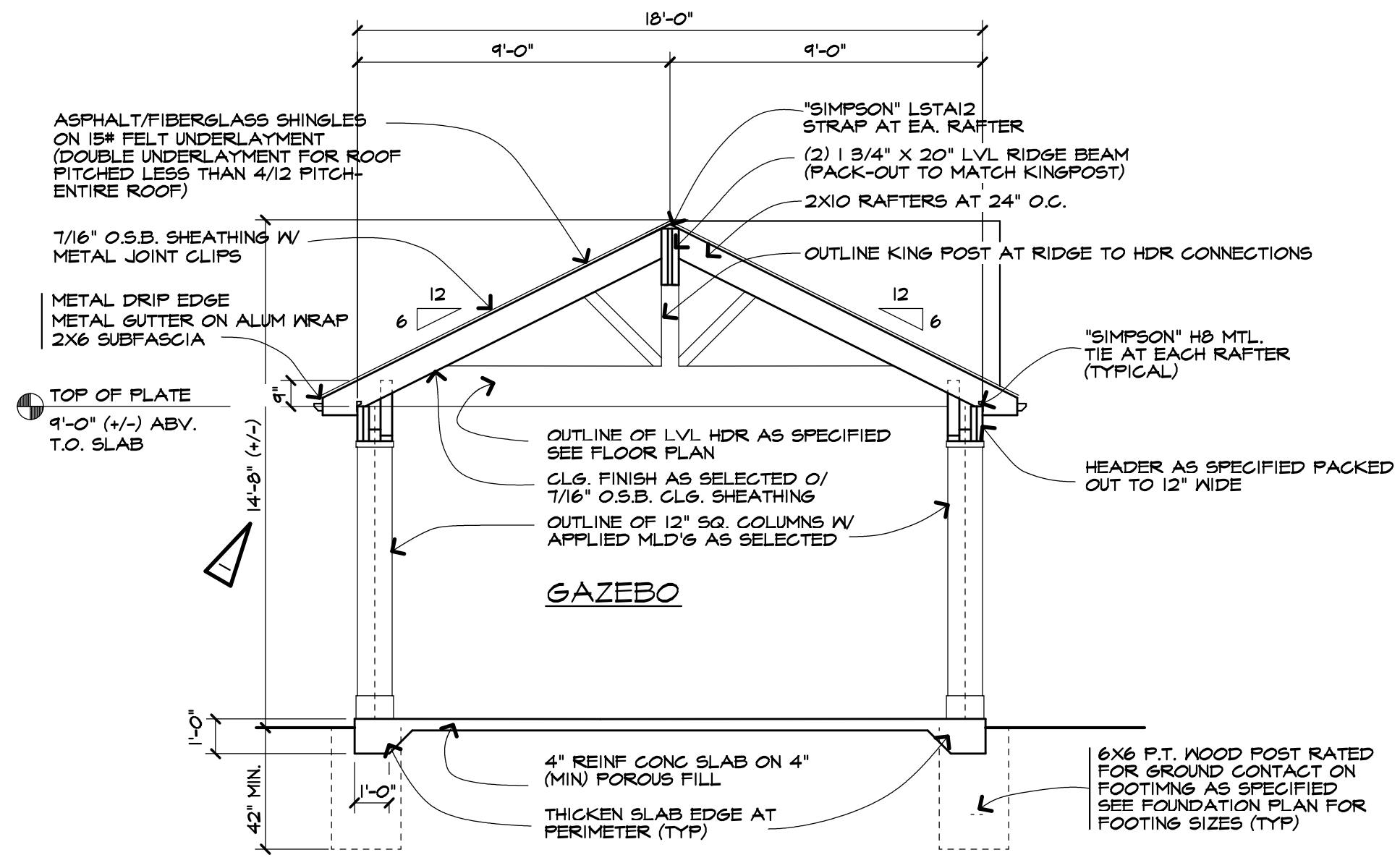
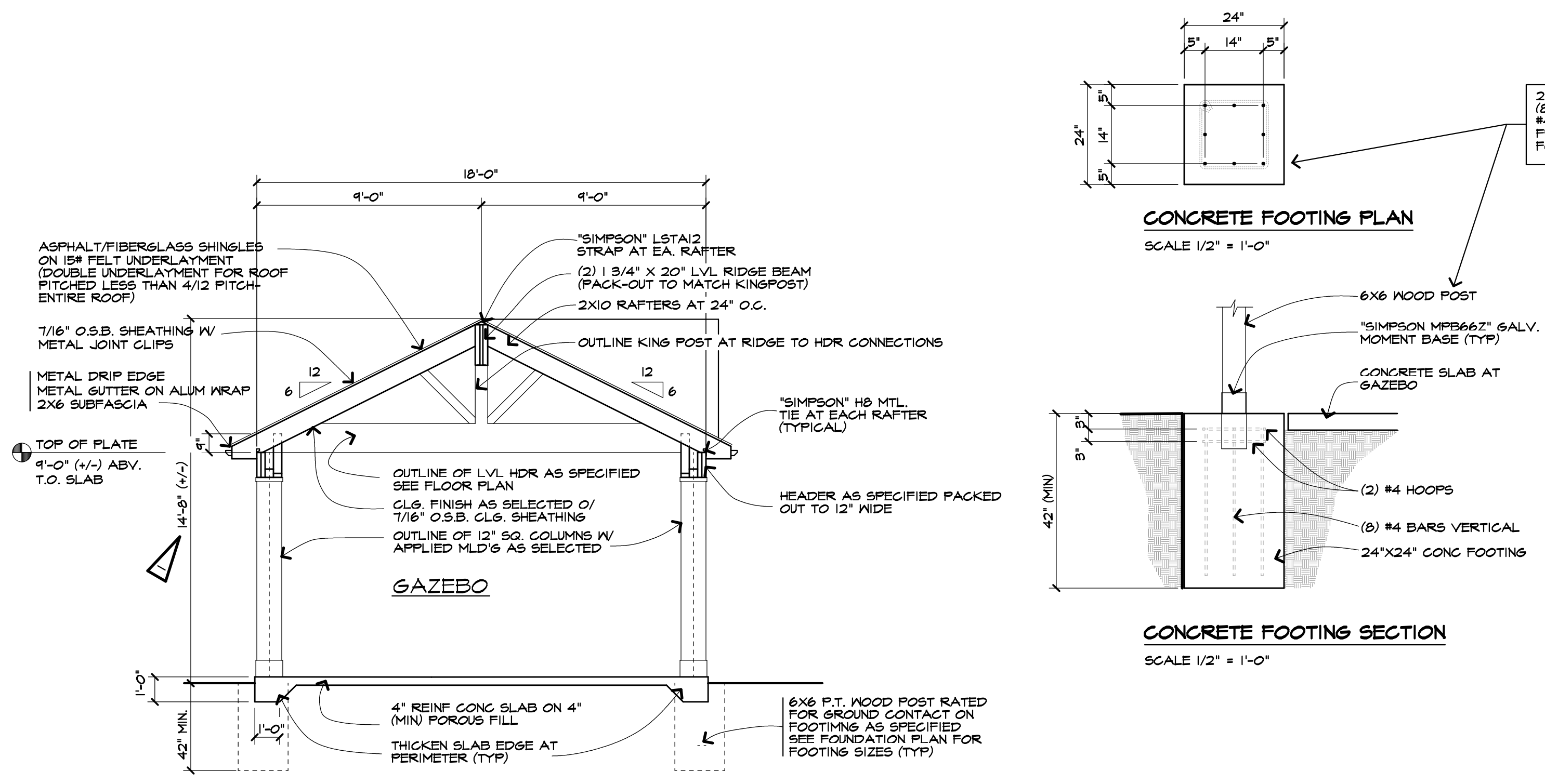
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The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added data by others. Our liability is limited to the amount of the fee paid.

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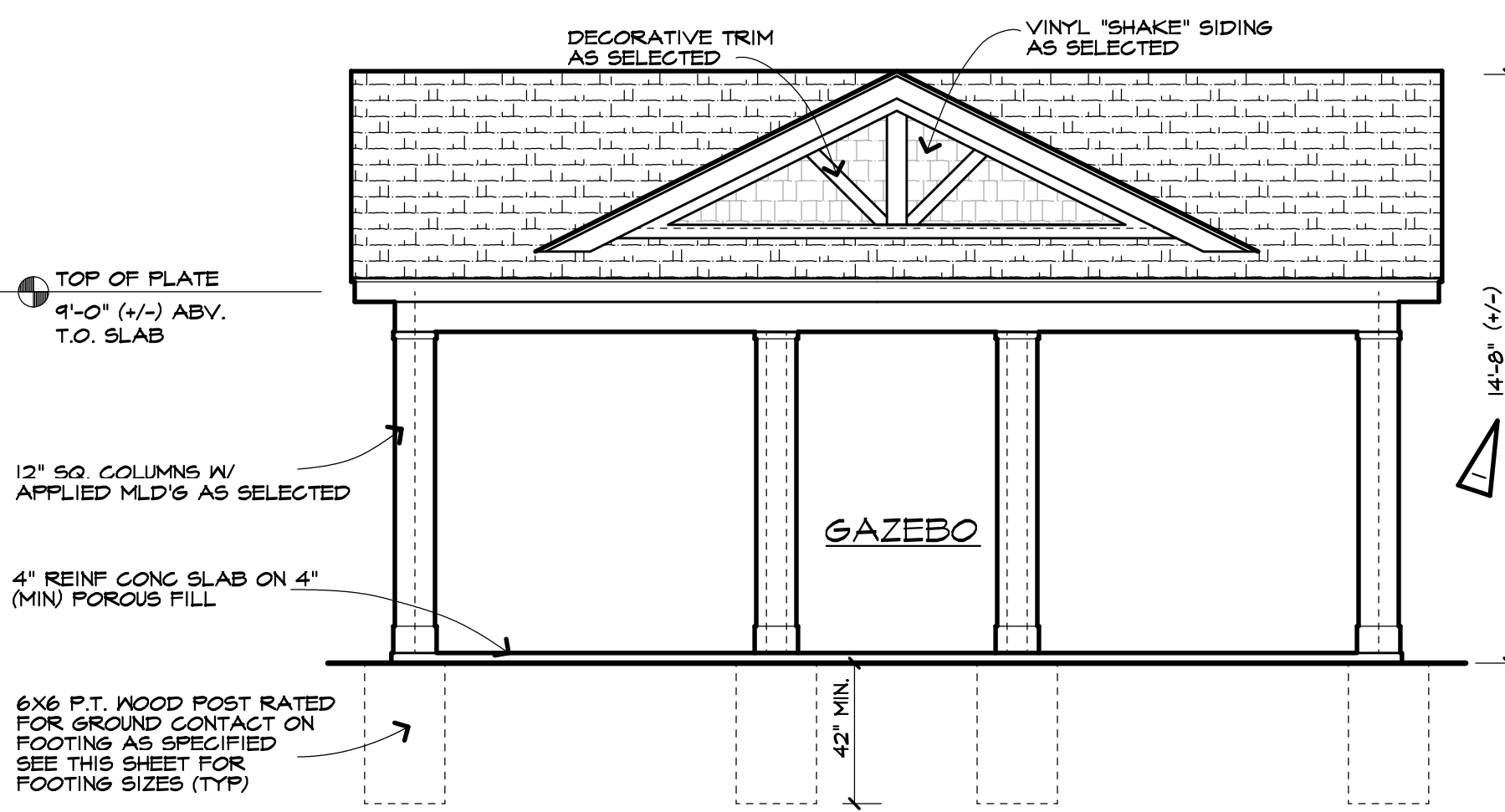
The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

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UNLESS OTHERWISE NOTED

ROOFING: ASPHALT / FIBERGLASS SHINGLES AS SELTD	
FACIA: ALUM WRAP 2X6 6"	
FRIEZEBORDS: AS SELECTED	
CASINGS: VINYL AS SELTD	
SIDING: VINYL AS SELTD	
EAVE O/HANGS: 1'-0"	
RAKE O/HANGS: 1'-0"	
FOOTING DEPTH: 3'-6" (MIN) BELOW GRADE	
PLATE HEIGHT: 9'-0" (+/-) ABV. TOP OF SLAB	



UNLESS NOTED OTHERWISE

RI → 2X10 RAFTERS @ 24" O.C. WITH FITCH NOTED

EAVE OVERHANGS SHALL BE 1'-0"

RAKE OVERHANGS SHALL BE 1'-0"

Revision: 1-11-2021 - SMK, GAZEBO HEIGHT

Project: DECK ADDITION

Client: SCOTT & MANDY COOPER

Job Location: 6 CANAL PARK PLACE PITTSFORD, NEW YORK

Drawing Title: GAZEBO PLAN

Drawn: SMK, Checked By: SLC

Date: DECEMBER, 2020

Job No: 30398

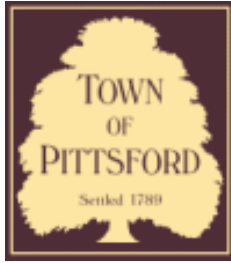
Sheet: 6 of 6







7



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000041

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 180 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.17-1-27

Zoning District: RN Residential Neighborhood

Owner: Billitier, Ron

Applicant: Morbito Architects

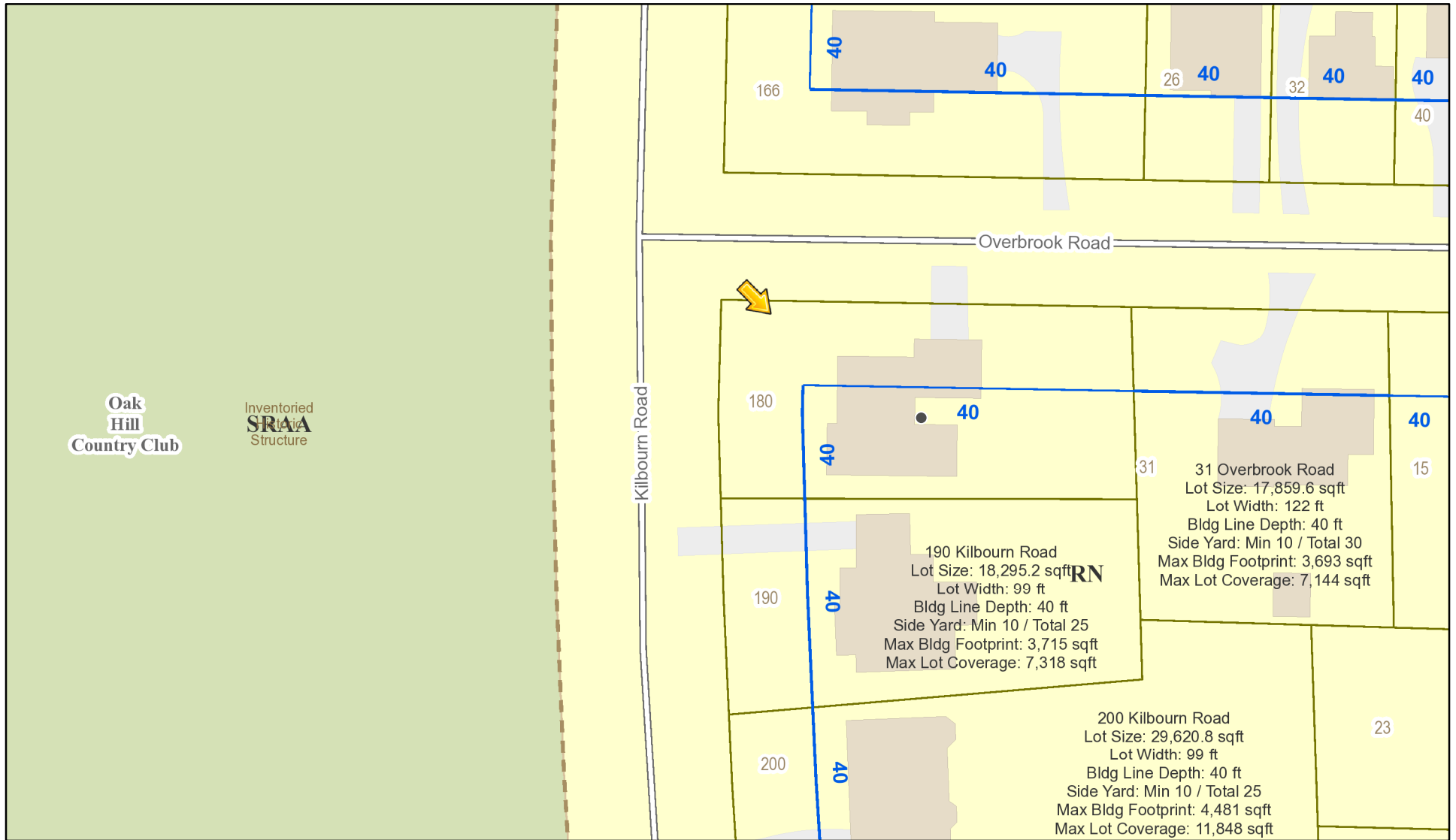
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

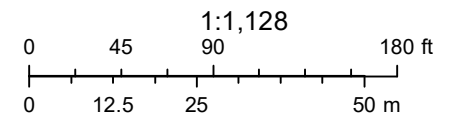
Project Description: Applicant is requesting design review for the construction of a new two story home. The home will be approximately 3924 square feet of living space and will be located in the Kilbourn neighborhood. The previous home has been demolished. The applicant did appear before the Zoning Board of Appeals on the 15th of February and was granted variances for setbacks.

Meeting Date: March 11, 2021

RN Residential Neighborhood Zoning

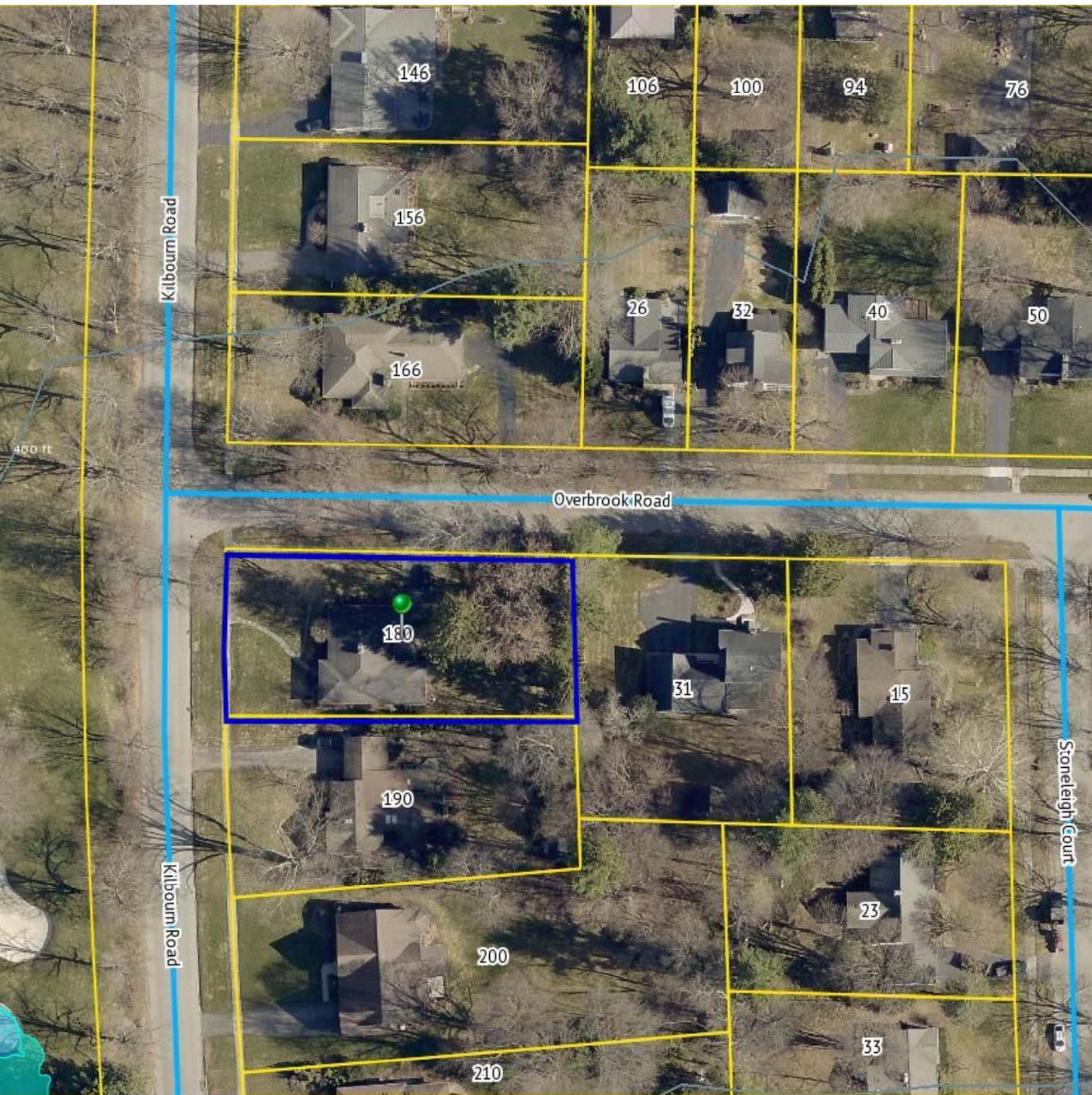


Printed October 15, 2020



Town of Pittsford GIS

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Kilbourn Road

Overbrook Road

Stoneleigh Court

Kilbourn Road

146

106

100

94

76

156

26

32

40

50

166

180

31

15

190

200

210

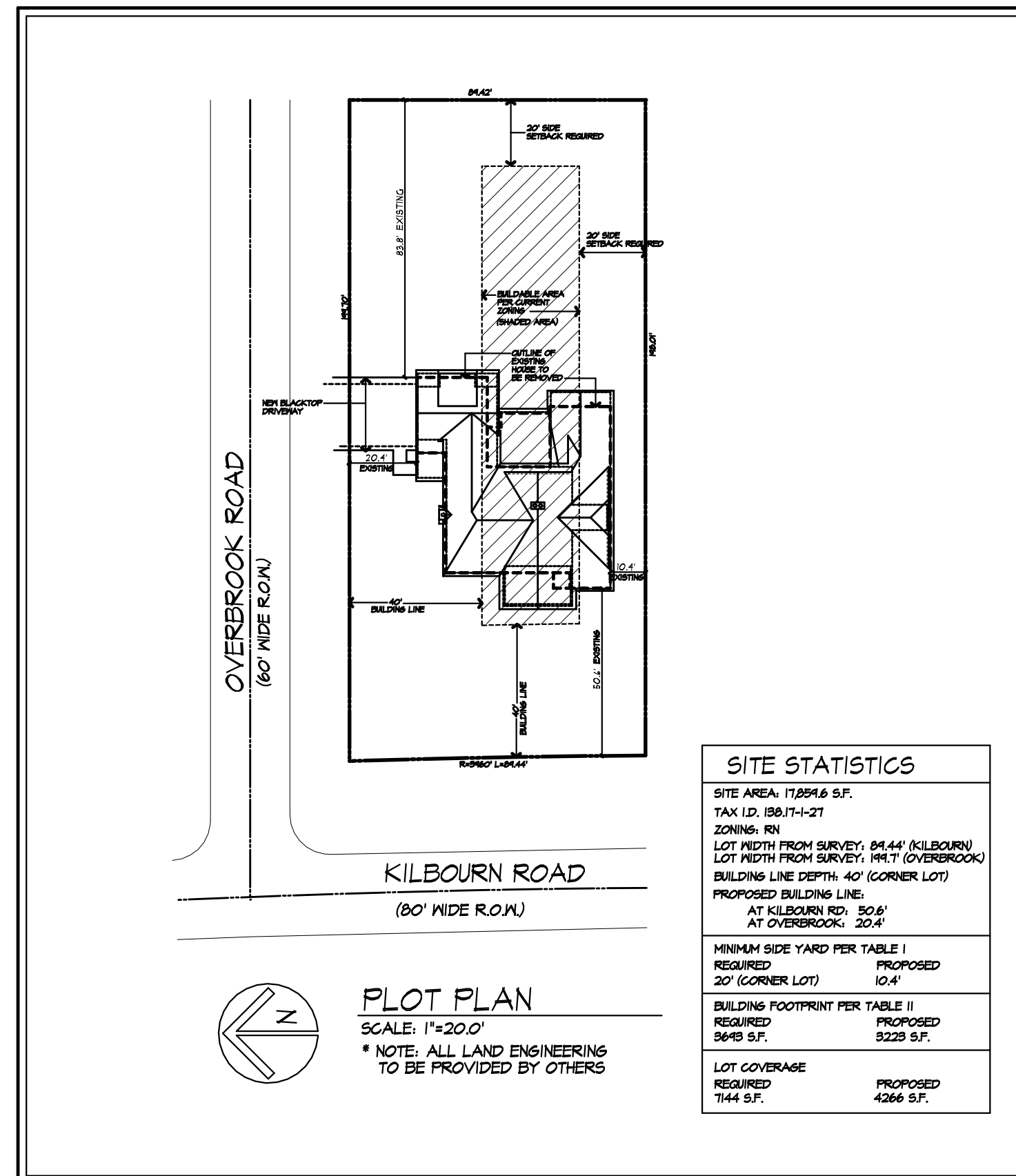
23

33

480 ft

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE GOOD PRACTICES OF THE ARCHITECTURAL PROFESSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION PROVIDED TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, AND ENERGY CODES OF THE STATE OF NEW YORK AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION PROVIDED TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION PROVIDED TO THE ARCHITECT.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING FOUNDATION DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION PROVIDED TO THE ARCHITECT.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. PROVIDE BANKY GRAVEL FILL FOR COMPACT AS NEEDED.
- MECHANICAL PROTECTIVE COVERINGS SHALL BE AS FOLLOWS:
2" X 4" FLOOR JOISTS
3" X 6" FLOOR JOISTS
8" X 10" FLOOR JOISTS
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90. 8" WALLS, REINFORCING - ASTM A618. (14.75" WALLS SHALL CONFORM TO ASTM C90 TYPE 2 - 14.75" WALLS). CONCRETE SHALL BE 3000 PSI MIN. COMPRESSIVE STRENGTH. PROVIDE DOUBLE REINFORCING BARS WITH SPACINGS AS SHOWN IN THESE DRAWINGS AND INSTALLATION PER THE LATEST EDITION OF THE ASCE MANUAL AND SPECIFICATIONS.
- MECHANICAL SYSTEMS SHALL BE INSTALLED PER ALL MANUFACTURER'S INSTRUCTIONS. PROVIDE DOUBLE REINFORCING BARS WITH SPACINGS AS SHOWN IN THESE DRAWINGS AND INSTALLATION PER THE LATEST EDITION OF THE ASCE MANUAL AND SPECIFICATIONS.
- CONTRACTOR SHALL PAY STRICT ATTENTION TO MANUFACTURER'S INSTRUCTIONS FOR THE CORRECT DRILLING, NOTCHING, JOINTING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- MECHANICAL SYSTEMS SHALL BE INSTALLED PER ALL MANUFACTURER'S INSTRUCTIONS. PROVIDE DOUBLE REINFORCING BARS WITH SPACINGS AS SHOWN IN THESE DRAWINGS AND INSTALLATION PER THE LATEST EDITION OF THE ASCE MANUAL AND SPECIFICATIONS.
- PLYWOOD SHALL CONFORM TO USE PRODUCT STANDARDS PER 1. THUSNESS AS SHOWN AND SHALL BE INSTALLED PER ALL MANUFACTURER'S INSTRUCTIONS FOR LOCATIONS INTENDED.
- ALL ROOFING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY ROOF PRESERVATIVE-TREATED WITH ORGANIC OR POLYMER SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITY) SHALL BE CALLED. CONFORMING DETAILS SHALL BE PROVIDED AT THE LOCATION ON THE EXTERIOR WALL. PROVIDE PER RESIDENTIAL CODE OF NEW YORK STATE (2022).
- CONTRACTOR SHALL VERIFY ALL NOTES AND CONDITIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER BUILDING SYSTEMS AS SHOWN AND TO BE CONSIDERED BY OTHERS. THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRECEDING TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2022):
FLOOR LOADS (LIVE AREA-WAIT FLOOR) 40 PSF
EXTERIOR DECKS 20 PSF
ROOF DECKS 20 PSF
- ALL WORK MATERIALS, VENDOR EQUIPMENT ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK, RESOURCES AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE SATISFACTORY. IF BEDROCK IS ENCOUNTERED, REMEDIAL ACTION SHALL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL NECESSARY TIES SHALL BE TIED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY COMPREHEND ALL SITE CONDITIONS PRIOR TO ANY WORK BEING DONE ON THE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS GOVERNMENT WITH LOCAL JURISDICTIONS AND REGULATIONS. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE SURVEY AND THE INFORMATION PROVIDED TO THE ARCHITECT.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL, STATE AND FEDERAL GOVERNMENTS AND ANY OTHER GOVERNMENTAL AGENCY INVOLVED IN CONNECTION WITH THE PROJECT. ALL APPLICABLE REGULATIONS SHALL BE OBTAINED AND CARRIED OUT BY ALL INDIVIDUALS UNDER THE CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN HIS HOME AND HIS SUBCONTRACTORS HOME ADDRESS FULLY AVAILABLE AT ALL TIMES IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S SEAL SHALL BE CONSIDERED TO BE VALID FOR CONSTRUCTION.
- BUILDING IS CLASSIFIED AS A ONE-FAMILY DWELLING.
- BASED ON THE INFORMATION PROVIDED, THE BUILDING SHALL BE INSTALLED IN COMPLIANCE WITH SECTION 202.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2022).
- BASED ON THE INFORMATION PROVIDED, THE BUILDING SHALL BE INSTALLED IN COMPLIANCE WITH SECTION 202.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2022).
- PROVIDE A MIN. 1/4" AIR SPACE BETWEEN THE SECTION BARS OF THE RESIDENTIAL CODE OF NEW YORK STATE (2022). ALL WALLS AND FLOORS DEPENDS FROM AN ATTACHED GARAGE.
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-LEAD AND NON-ASBESTOS CONTAINING.



SITE STATISTICS

SITE AREA: 17,591.6 S.F.
TAX I.D.: 08-17-01
ZONING: R-1
LOT DEPTH FROM SURVEY: 84.44' (KILBOURN)
LOT DEPTH FROM SURVEY: 191.71' (OVERBROOK)
BUILDING LINE DEPTH: 40' (CORNER LOT)
PROPOSED BUILDING LINE:
AT KILBOURN RD: 50.8'
AT OVERBROOK: 20.4'

MINIMUM SIDE YARD PER TABLE I
REQUIRED: 10.4'
PROPOSED: 12.4'

BUILDING FOOTPRINT PER TABLE II
REQUIRED: 5,229 S.F.
PROPOSED: 5,229 S.F.

LOT COVERAGE
REQUIRED: 14.4 S.F.
PROPOSED: 42.6 S.F.

PROPOSED RESIDENCE
180 KILBOURN ROAD
TOWN OF PITTSFORD, NEW YORK

DRAWING INDEX

1	TITLE PAGE
2	FRONT / LEFT SIDE ELEVATIONS
3	REAR / RIGHT SIDE ELEVATIONS
4	PROPOSED FOUNDATION PLAN
5	PROPOSED 1ST FLOOR PLAN
6	PROPOSED 2ND FLOOR PLAN
7	PROPOSED ROOF PLAN
8	BUILDING SECTIONS
9	BUILDING SECTIONS
10	TYPICAL DETAILS

ENERGY COMPLIANCE DETAILS & PATH
MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
2022 BUILDING CODE OF NEW YORK STATE CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. PENETRATION U-FACTOR	.52	.52
2. CEILING R-FACTOR	.41	.41
3. ROOF FRAME WALL R-VALUE	20 OR 20.8	HIGH DENSITY 2 2" EPS-40
4. FLOOR R-FACTOR	R-20	R-20
5. SLAB R-FACTOR	BACKSTOP 1/2" SLAB EDGE	R-20.8 1/2" SLAB EDGE

2022 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE TABLE

- A MINIMUM OF TWO OF THE FOLLOWING REQUIREMENTS SHALL BE MET TO COMPLY WITH SECTION 502.4.1.
- ROOFING ASSEMBLY R-VALUE IN THE DESIGN CLIMATE ZONE SHALL BE MET. THE R-VALUE SHALL BE MET BY A MINIMUM OF ONE OF THE FOLLOWING: 1. R-20 OR 2. R-20.8. THE R-VALUE SHALL BE MET BY ONE OF THE FOLLOWING: 1. R-20 OR 2. R-20.8.
- CONTRACTOR TO PROVIDE A PERFORMANCE REPORT TO CORRECT THE R-VALUE TO MEET THE REQUIREMENTS.
- ALL CEILING AREA SHALL BE FULLY INSULATED TO MEET THE R-VALUE REQUIREMENTS. THE R-VALUE SHALL BE MET BY ONE OF THE FOLLOWING: 1. R-41 OR 2. R-41.
- ATTIC ACCESS SHALL BE PROVIDED WITH THE SAME R-VALUE AS THE ATTIC FLOORING. THE R-VALUE SHALL BE MET BY ONE OF THE FOLLOWING: 1. R-41 OR 2. R-41.
- CONTRACTOR TO PROVIDE A PERFORMANCE REPORT TO CORRECT THE R-VALUE TO MEET THE REQUIREMENTS.
- MECHANICAL SYSTEMS SHALL BE INSTALLED PER ALL MANUFACTURER'S INSTRUCTIONS. PROVIDE DOUBLE REINFORCING BARS WITH SPACINGS AS SHOWN IN THESE DRAWINGS AND INSTALLATION PER THE LATEST EDITION OF THE ASCE MANUAL AND SPECIFICATIONS.
- MECHANICAL SYSTEMS SHALL BE INSTALLED PER ALL MANUFACTURER'S INSTRUCTIONS. PROVIDE DOUBLE REINFORCING BARS WITH SPACINGS AS SHOWN IN THESE DRAWINGS AND INSTALLATION PER THE LATEST EDITION OF THE ASCE MANUAL AND SPECIFICATIONS.

BASIC DESIGN CRITERIA

- GROUND BORN LOAD - 40 PSF (R-10.4)
- FLOOR DECK - 20 PSF EXPOSED (R-10.4)
- ROOF DECK - 20 PSF EXPOSED (R-10.4)
- ROOFING - 20 PSF (R-10.4)
- ROOF LINE DEPTH - 40'
- WIND EXPOSURE - WIND TO BLUNT
- CREAK EXPOSURE - WIND TO BLUNT
- WIND DESIGN TEMPERATURE - 1
- ICE WIND DESIGN TEMPERATURE - 1
- SLAB RAISED - 18" - 18"
- ROOF TO DOWN REINFORCEMENT (R-10.4)

TOTAL FOOTPRINT: 9,229 SQ FT

MORABITO ARCHITECTS
121 Sully's Trail
Pittsford, NY 14534
(585) 264-1330
(585) 264-1333 Fax
www.MorabitoArchitects.com

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PROJECT: PROPOSED RESIDENCE
180 KILBOURN ROAD
PITTSFORD, NEW YORK
CLIENT:
FOR BELLER
DRAWING:
TITLE PAGE
DRAWN: [] CHECKED: []
DATE: FEBRUARY 2023
SCALE: 1/4"=1'-0"
JOB NO.: 180 KILBOURN
SHEET:
1
OF 10 SHEETS



FRONT ELEVATION
 AREA OF 1ST FLOOR: 2156 SQ FT
 AREA OF 2ND FLOOR: 1768 SQ FT
 TOTAL LIVING SPACE: 3924 SQ FT



LEFT SIDE ELEVATION
 PROPOSED

UNLESS OTHERWISE NOTED

ROOFING: 25 YEAR GUARANTEE ASPHALT SHINGLES
 ROOF VENTING: CONTINUOUS RISE VENT
 FASCIAS: 4"
 GUTTERS: 4"
 GARDNS: 4"
 SIDING: VERTICAL, AS SELECTED
 OVERHANGS: 12"
 RAISE OVERHANGS: 12"
 MIN FIN. DEPTH: 4'-0"
 CLR. HT.:
 1ST FLOOR: 8'-0"
 2ND FLOOR: 8'-0"
 FINISH SET HT.:
 1ST FLOOR: 8'-0"
 2ND FLOOR: 8'-0"
 FINISH HT. ACCORDING TO DATA, PROVIDE SAFETY GLAZING PER FLOOR-G

UNLESS OTHERWISE NOTED

ROOFING: MATCH EXISTING
 ROOF VENTING: MATCH EXISTING
 FASCIAS: MATCH EXISTING
 GUTTERS: MATCH EXISTING
 CORNICES: MATCH EXISTING
 GARDNS: MATCH EXISTING
 SIDING: MATCH EXISTING
 OVERHANGS: MATCH EXISTING
 RAISE OVERHANGS: MATCH EXISTING
 MIN FIN. DEPTH: 4'-0"
 CLR. HT.:
 1ST FLOOR: MATCH EXISTING
 2ND FLOOR: MATCH EXISTING
 FINISH SET HT.:
 1ST FLOOR: MATCH EXISTING
 2ND FLOOR: MATCH EXISTING
 FINISH HT. ACCORDING TO DATA, PROVIDE SAFETY GLAZING PER FLOOR-G

UNLESS OTHERWISE NOTED

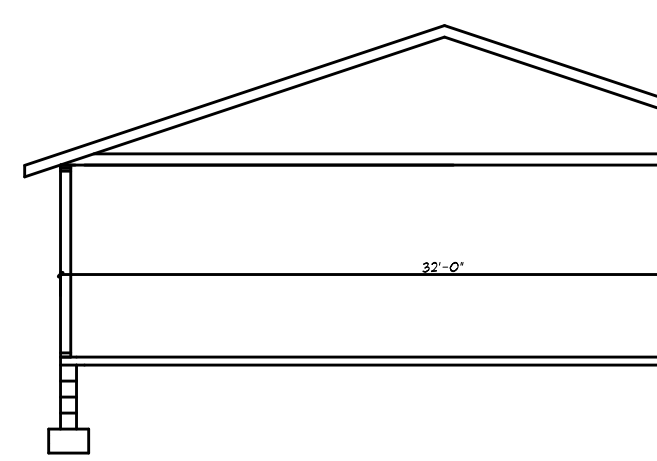
ROOFING: 25 YEAR GUARANTEE ASPHALT SHINGLES
 ROOF VENTING: CONTINUOUS RISE VENT
 FASCIAS: 4"
 GUTTERS: 4"
 GARDNS: 4"
 SIDING: VERTICAL, AS SELECTED
 OVERHANGS: 12"
 RAISE OVERHANGS: 12"
 MIN FIN. DEPTH: 4'-0"
 CLR. HT.:
 1ST FLOOR: 8'-0"
 2ND FLOOR: 8'-0"
 FINISH SET HT.:
 1ST FLOOR: 8'-0"
 2ND FLOOR: 8'-0"
 FINISH HT. ACCORDING TO DATA, PROVIDE SAFETY GLAZING PER FLOOR-G

REAR ELEVATION
 PROPOSED

MORABITO ARCHITECTS
 ARCHITECTS & INTERIORS, LLC
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 Pittsford, NY 14534
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 (585) 264-1333 Fax
 www.MorabitoArchitects.com

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 I, the undersigned, being a duly licensed Architect under the laws of the State of New York, do hereby certify that I am the author of the design herein shown, and that I am a duly licensed Architect under the laws of the State of New York, and that I am not providing these plans to any other party without your written consent.

PROJECT: REFINISHED RESIDENCE
 100 W. PITTSFORD, NEW YORK
CLIENT:
 FOR BILLY
DRAWING: ELEVATIONS - PROPOSED
DATE: FEBRUARY 2023
SCALE: 1/8"=1'-0"
JOB NO.: 187 FALBURN
SHEET: 2
 OF 10 SHEETS



UNLESS OTHERWISE NOTED

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES

ROOF VENTING: CONTIGUOUS ROOF VENT

FASCIA: 4"

TRUSSES: 8"

CORNBRECK: 4"

GABRIEL: 4"

SOFFIT: VERTICAL, AS SELECTED

OVERHANG: 4"

RAVINE OVERHANG: 12"

HIDE FITS: DEPTH: 4-1/2"

GLE: 1/2"

1ST FLOOR: 4-1/2"

2ND FLOOR: 3-1/2"

3RD FLOOR: 3-1/2"

4TH FLOOR: 3-1/2"

5TH FLOOR: 3-1/2"

6TH FLOOR: 3-1/2"

7TH FLOOR: 3-1/2"

8TH FLOOR: 3-1/2"

9TH FLOOR: 3-1/2"

10TH FLOOR: 3-1/2"

11TH FLOOR: 3-1/2"

12TH FLOOR: 3-1/2"

13TH FLOOR: 3-1/2"

14TH FLOOR: 3-1/2"

15TH FLOOR: 3-1/2"

16TH FLOOR: 3-1/2"

17TH FLOOR: 3-1/2"

18TH FLOOR: 3-1/2"

19TH FLOOR: 3-1/2"

20TH FLOOR: 3-1/2"

21TH FLOOR: 3-1/2"

22TH FLOOR: 3-1/2"

23TH FLOOR: 3-1/2"

24TH FLOOR: 3-1/2"

25TH FLOOR: 3-1/2"

26TH FLOOR: 3-1/2"

27TH FLOOR: 3-1/2"

28TH FLOOR: 3-1/2"

29TH FLOOR: 3-1/2"

30TH FLOOR: 3-1/2"

31TH FLOOR: 3-1/2"

32TH FLOOR: 3-1/2"

33TH FLOOR: 3-1/2"

34TH FLOOR: 3-1/2"

35TH FLOOR: 3-1/2"

36TH FLOOR: 3-1/2"

37TH FLOOR: 3-1/2"

38TH FLOOR: 3-1/2"

39TH FLOOR: 3-1/2"

40TH FLOOR: 3-1/2"

41TH FLOOR: 3-1/2"

42TH FLOOR: 3-1/2"

43TH FLOOR: 3-1/2"

44TH FLOOR: 3-1/2"

45TH FLOOR: 3-1/2"

46TH FLOOR: 3-1/2"

47TH FLOOR: 3-1/2"

48TH FLOOR: 3-1/2"

49TH FLOOR: 3-1/2"

50TH FLOOR: 3-1/2"

51TH FLOOR: 3-1/2"

52TH FLOOR: 3-1/2"

53TH FLOOR: 3-1/2"

54TH FLOOR: 3-1/2"

55TH FLOOR: 3-1/2"

56TH FLOOR: 3-1/2"

57TH FLOOR: 3-1/2"

58TH FLOOR: 3-1/2"

59TH FLOOR: 3-1/2"

60TH FLOOR: 3-1/2"

61TH FLOOR: 3-1/2"

62TH FLOOR: 3-1/2"

63TH FLOOR: 3-1/2"

64TH FLOOR: 3-1/2"

65TH FLOOR: 3-1/2"

66TH FLOOR: 3-1/2"

67TH FLOOR: 3-1/2"

68TH FLOOR: 3-1/2"

69TH FLOOR: 3-1/2"

70TH FLOOR: 3-1/2"

71TH FLOOR: 3-1/2"

72TH FLOOR: 3-1/2"

73TH FLOOR: 3-1/2"

74TH FLOOR: 3-1/2"

75TH FLOOR: 3-1/2"

76TH FLOOR: 3-1/2"

77TH FLOOR: 3-1/2"

78TH FLOOR: 3-1/2"

79TH FLOOR: 3-1/2"

80TH FLOOR: 3-1/2"

81TH FLOOR: 3-1/2"

82TH FLOOR: 3-1/2"

83TH FLOOR: 3-1/2"

84TH FLOOR: 3-1/2"

85TH FLOOR: 3-1/2"

86TH FLOOR: 3-1/2"

87TH FLOOR: 3-1/2"

88TH FLOOR: 3-1/2"

89TH FLOOR: 3-1/2"

90TH FLOOR: 3-1/2"

91TH FLOOR: 3-1/2"

92TH FLOOR: 3-1/2"

93TH FLOOR: 3-1/2"

94TH FLOOR: 3-1/2"

95TH FLOOR: 3-1/2"

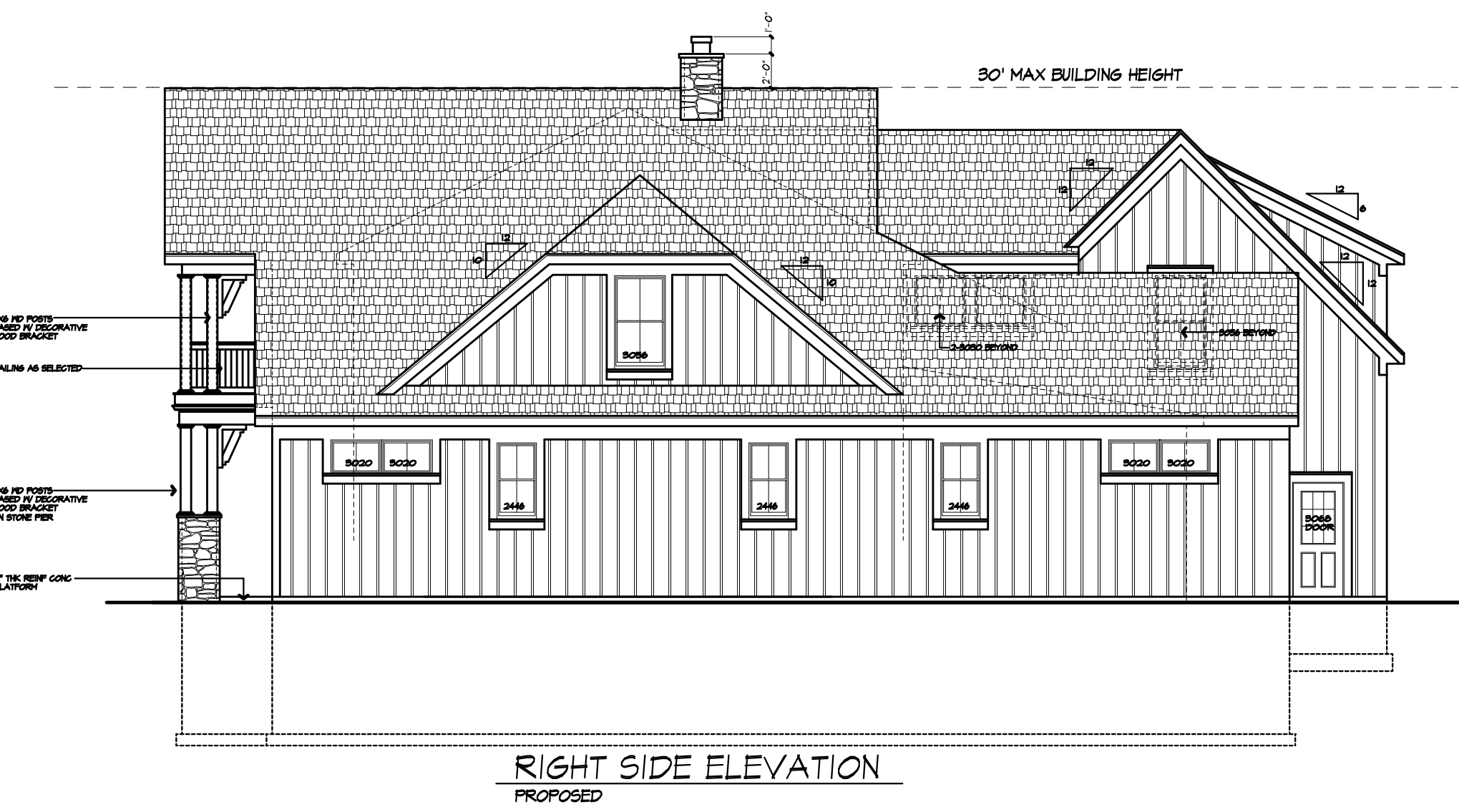
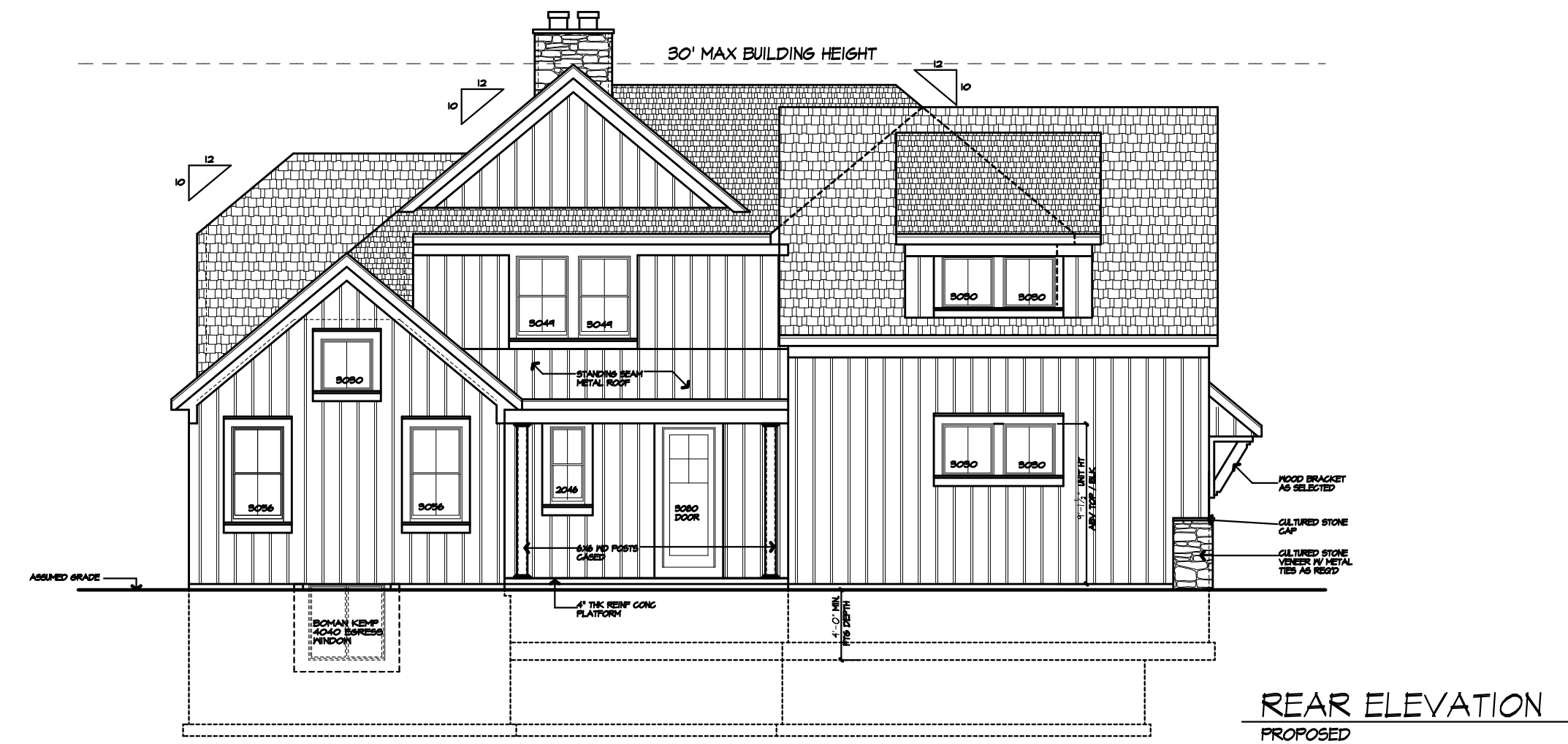
96TH FLOOR: 3-1/2"

97TH FLOOR: 3-1/2"

98TH FLOOR: 3-1/2"

99TH FLOOR: 3-1/2"

100TH FLOOR: 3-1/2"



MORABITO ARCHITECTS
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 (585) 264-1333 Fax
 www.MorabitoArchitects.com

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 I, the undersigned, being a duly licensed Architect in the State of New York, do hereby certify that the above is a true and correct copy of the original design as shown to me by the client, and that I am not providing any other services to the client in connection with this project, unless otherwise noted on this drawing. I further certify that I am not providing any other services to the client in connection with this project, unless otherwise noted on this drawing. I further certify that I am not providing any other services to the client in connection with this project, unless otherwise noted on this drawing.

PROJECT:
 PROPOSED RESIDENCE
 121 SULLY'S TRAIL, PITTSFORD, NEW YORK

CLIENT:
 RON MILLITER

DRAWING:
 ELEVATIONS - PROPOSED

DRAWN: [Signature] **CHECKED:** [Signature]

DATE: FEBRUARY 2020

SCALE: 1/8"=1'-0"

JOB NO.: 107 FALZURUM

SHEET:
 3
 OF 10 SHEETS

TABLE RC401(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D 5 TO 10 (A)

WALL HEIGHT	HEIGHT OF UNEXCAVATED PORTION (D)	MINIMUM VERTICAL REINFORCEMENT (B, C)			
		SEE CLASSIFIED LITERATURE, SEE LINKS OR REFER TO REFINEMENTS			
		MIN. NO. OF #5 BARS	MIN. NO. OF #5 BARS	MIN. NO. OF #5 BARS	MIN. NO. OF #5 BARS
8'-0"	4'-0" OR LESS	4	4	4	4
	4'-0" TO 4'-6"	4	4	4	4
	4'-6" TO 5'-0"	4	4	4	4
	5'-0" TO 8'-0"	4	4	4	4
10'-0"	4'-0" OR LESS	4	4	4	4
	4'-0" TO 4'-6"	4	4	4	4
	4'-6" TO 5'-0"	4	4	4	4
	5'-0" TO 10'-0"	4	4	4	4
12'-0"	4'-0" OR LESS	4	4	4	4
	4'-0" TO 4'-6"	4	4	4	4
	4'-6" TO 5'-0"	4	4	4	4
	5'-0" TO 12'-0"	4	4	4	4

FIG. 86 - 12" X 16" 1' HIGH 1' WIDE PER FOOT PER FOOT 4" COMPRESSIVE STRENGTH CONCRETE FOUNDATION WALLS SHALL BE LAID IN RUNNER BARS:

A. ALL EXTERIOR REINFORCING BARS SHALL BE PROVIDED WITH AN END ANCHOR AS SHOWN IN THE DETAIL OF REINFORCING BARS AT THE END OF THE WALL.

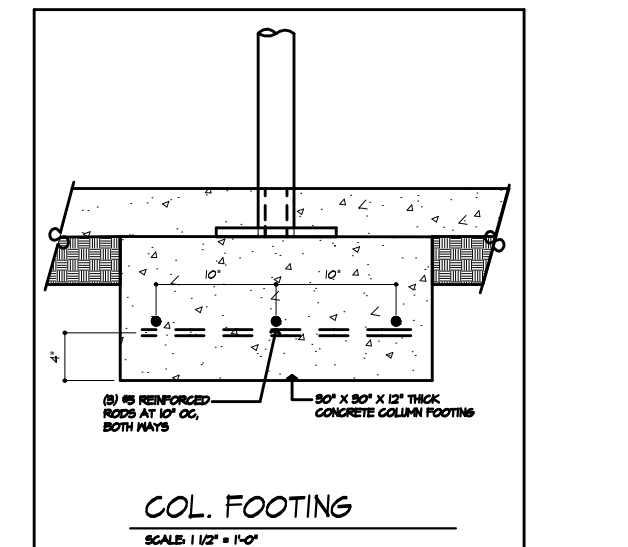
B. VERTICAL REINFORCING SHALL BE PLACED AS SHOWN IN THE DETAIL OF REINFORCING BARS AT THE END OF THE WALL. THE CENTER OF VERTICAL REINFORCING SHALL BE AT LEAST 2 IN. FROM THE FACE OF THE WALL.

C. REINFORCING BARS SHALL BE SPACED TO MATCH THE DETAIL OF REINFORCING BARS AT THE END OF THE WALL. THE CENTER OF VERTICAL REINFORCING SHALL BE AT LEAST 2 IN. FROM THE FACE OF THE WALL.

D. ALL BARS SHALL BE LAID IN ACCORDANCE WITH THE DETAIL OF REINFORCING BARS AT THE END OF THE WALL. THE CENTER OF VERTICAL REINFORCING SHALL BE AT LEAST 2 IN. FROM THE FACE OF THE WALL.

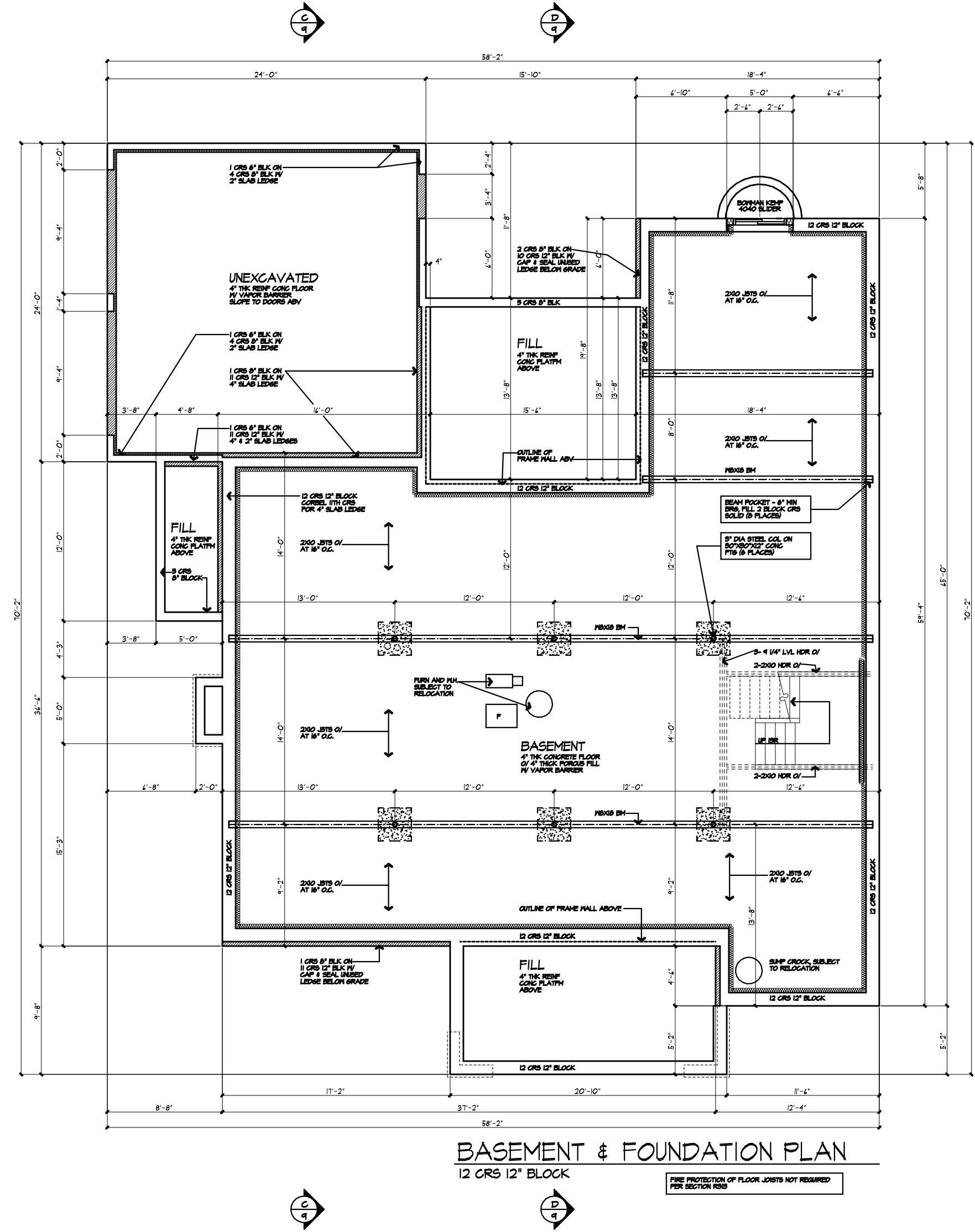
STEPPED FOOTING NOTE:

BASED UPON THE TOP SURFACE OF FOOTING SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTING SHALL BE LEVEL AND THE TOP SURFACE OF FOOTING SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTING SHALL BE LEVEL AND THE TOP SURFACE OF FOOTING SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTING SHALL BE LEVEL AND THE TOP SURFACE OF FOOTING SHALL BE LEVEL.



FIRE PROTECTION REQUIREMENTS PER IBC 703.2.1

BASED UPON THE TOP SURFACE OF FOOTING SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTING SHALL BE LEVEL AND THE TOP SURFACE OF FOOTING SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTING SHALL BE LEVEL AND THE TOP SURFACE OF FOOTING SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTING SHALL BE LEVEL AND THE TOP SURFACE OF FOOTING SHALL BE LEVEL.



- NOTES:
1. FOOTINGS TO BE PLACED ON UNDESIGNED EXISTING FND. EXISTING CAPACITY OF EXISTING FND TO BE DETERMINED BY GEOTECHNICAL ENGINEER.
 2. ALL EXTERIOR FOUNDATION WALLS TO BE CONCRETE WITH EXTERIOR FINISH. INTERIOR FINISH TO BE DETERMINED BY ARCHITECT.
 3. ALL INTERIOR FOUNDATION WALLS TO BE CONCRETE WITH INTERIOR FINISH.
 4. ALL FOUNDATION WALLS TO BE CONCRETE WITH REINFORCING BARS.
 5. REINFORCE BLOCK WALL PER SECTION, PER FIG. 86.300.

MORABITO ARCHITECTS
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 Pittsford, NY 14534
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PROJECT: RENEWED REFINANCE SOUTH OF PITTSFORD, NEW YORK	CLIENT: FOR BILLY
DRAWING: FOUNDATION PLAN	CHECKED: BY
DATE: FEBRUARY 2020	SCALE: 1/8"=1'-0"
JOB NO.: 187 FALG009	SHEET: 4 OF 10 SHEETS

150'

EXHAUST DUCTS AND EXHAUST OPENINGS

M BODIES EXIST LENGTH:
THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH MECHANICAL EXHAUSTERS SHALL BE LIMITED TO THE FOLLOWING:
1. EXHAUST DUCTS SHALL NOT BE LIMITED BY THE DISTANCE FROM THE EXHAUSTER TO THE EXHAUST OPENING.
2. EXHAUST DUCTS SHALL NOT BE LIMITED BY THE DISTANCE FROM THE EXHAUSTER TO THE EXHAUST OPENING.
3. EXHAUST DUCTS SHALL NOT BE LIMITED BY THE DISTANCE FROM THE EXHAUSTER TO THE EXHAUST OPENING.

DUCT TYPE	DUCT LENGTH	DUCT LENGTH
TYPE A	100 FT	100 FT
TYPE B	100 FT	100 FT
TYPE C	100 FT	100 FT
TYPE D	100 FT	100 FT
TYPE E	100 FT	100 FT
TYPE F	100 FT	100 FT
TYPE G	100 FT	100 FT
TYPE H	100 FT	100 FT
TYPE I	100 FT	100 FT
TYPE J	100 FT	100 FT
TYPE K	100 FT	100 FT
TYPE L	100 FT	100 FT
TYPE M	100 FT	100 FT
TYPE N	100 FT	100 FT
TYPE O	100 FT	100 FT
TYPE P	100 FT	100 FT
TYPE Q	100 FT	100 FT
TYPE R	100 FT	100 FT
TYPE S	100 FT	100 FT
TYPE T	100 FT	100 FT
TYPE U	100 FT	100 FT
TYPE V	100 FT	100 FT
TYPE W	100 FT	100 FT
TYPE X	100 FT	100 FT
TYPE Y	100 FT	100 FT
TYPE Z	100 FT	100 FT

WINDOW FALL PROTECTION

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 2401.0 AND 2402.0.

WINDOW GLAZING

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION 2401.0 AND 2402.0.

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

SMOKE & CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.0 AND 908.0.

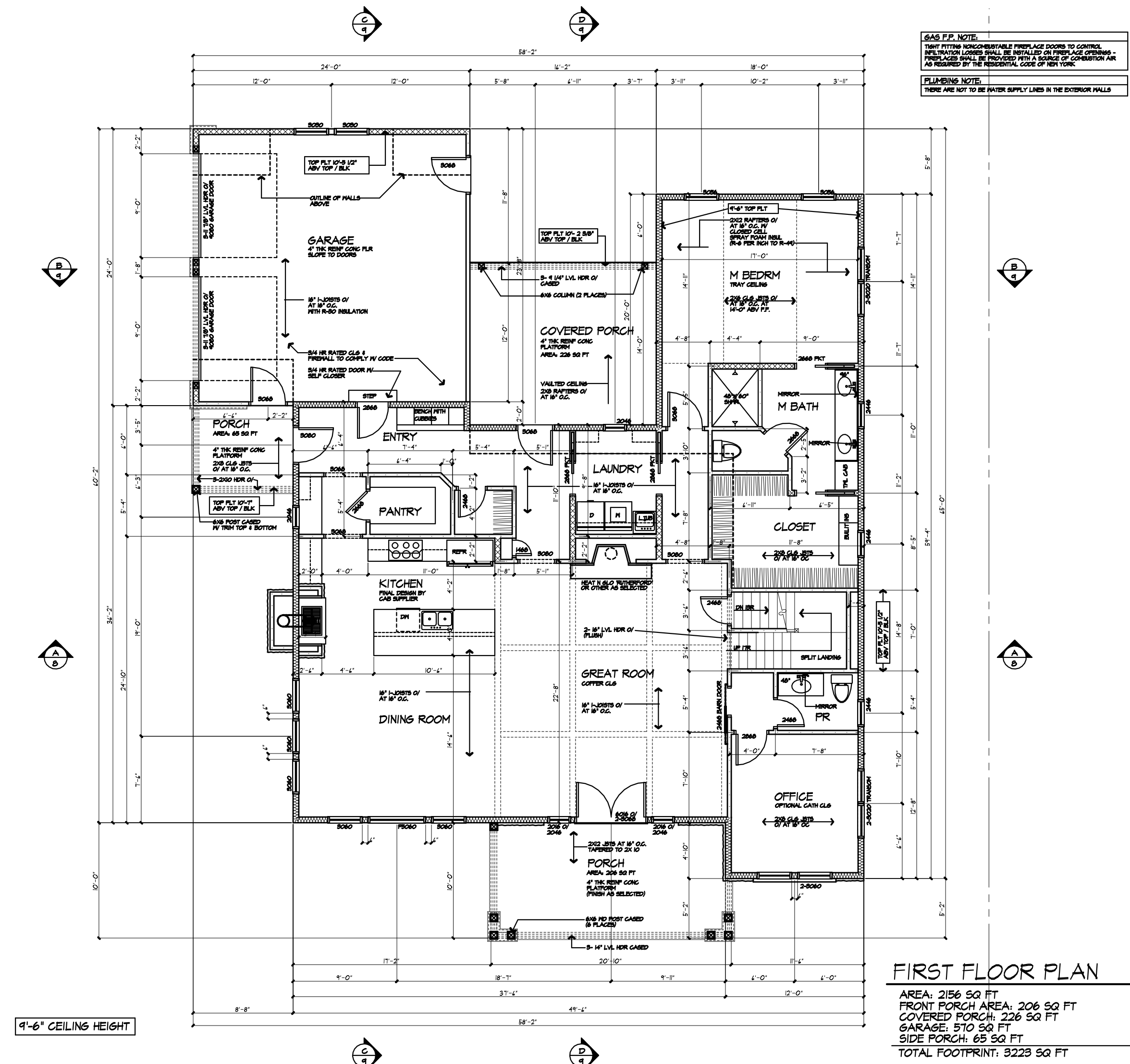
HEADER SCHEDULE

UNLESS OTHERWISE NOTED

OPENING	2x4 WALL	2x4 WALL
UP TO 4'-0"	2x4	2x4
4'-0" TO 6'-0"	2x4	2x4
6'-0" TO 8'-0"	2x4	2x4
8'-0" TO 10'-0"	2x4	2x4
10'-0" TO 12'-0"	2x4	2x4
12'-0" TO 14'-0"	2x4	2x4
14'-0" TO 16'-0"	2x4	2x4
16'-0" TO 18'-0"	2x4	2x4
18'-0" TO 20'-0"	2x4	2x4
20'-0" TO 22'-0"	2x4	2x4
22'-0" TO 24'-0"	2x4	2x4
24'-0" TO 26'-0"	2x4	2x4
26'-0" TO 28'-0"	2x4	2x4
28'-0" TO 30'-0"	2x4	2x4
30'-0" TO 32'-0"	2x4	2x4
32'-0" TO 34'-0"	2x4	2x4
34'-0" TO 36'-0"	2x4	2x4
36'-0" TO 38'-0"	2x4	2x4
38'-0" TO 40'-0"	2x4	2x4
40'-0" TO 42'-0"	2x4	2x4
42'-0" TO 44'-0"	2x4	2x4
44'-0" TO 46'-0"	2x4	2x4
46'-0" TO 48'-0"	2x4	2x4
48'-0" TO 50'-0"	2x4	2x4
50'-0" TO 52'-0"	2x4	2x4
52'-0" TO 54'-0"	2x4	2x4
54'-0" TO 56'-0"	2x4	2x4
56'-0" TO 58'-0"	2x4	2x4
58'-0" TO 60'-0"	2x4	2x4
60'-0" TO 62'-0"	2x4	2x4
62'-0" TO 64'-0"	2x4	2x4
64'-0" TO 66'-0"	2x4	2x4
66'-0" TO 68'-0"	2x4	2x4
68'-0" TO 70'-0"	2x4	2x4
70'-0" TO 72'-0"	2x4	2x4
72'-0" TO 74'-0"	2x4	2x4
74'-0" TO 76'-0"	2x4	2x4
76'-0" TO 78'-0"	2x4	2x4
78'-0" TO 80'-0"	2x4	2x4
80'-0" TO 82'-0"	2x4	2x4
82'-0" TO 84'-0"	2x4	2x4
84'-0" TO 86'-0"	2x4	2x4
86'-0" TO 88'-0"	2x4	2x4
88'-0" TO 90'-0"	2x4	2x4
90'-0" TO 92'-0"	2x4	2x4
92'-0" TO 94'-0"	2x4	2x4
94'-0" TO 96'-0"	2x4	2x4
96'-0" TO 98'-0"	2x4	2x4
98'-0" TO 100'-0"	2x4	2x4

MALL LEGEND

SEE SCHEDULE OF MATERIALS FOR ALL CONNECTIONS



MORABITO ARCHITECTS

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PROJECT: REHABILITATION OF 100 SULLY'S TRAIL, PITTSFORD, NY 14534

CLIENT: POINTELLIER

DRAWING: FIRST FLOOR PLAN

DRAWN: [Name] **CHECKED:** [Name]

DATE: FEBRUARY 2009

SCALE: 1/8"=1'-0"

JOB NO.: 007 FLD009

SHEET: 5 OF 10 SHEETS

EXHAUST DUCTS AND EXHAUST OPENINGS

M DUCTS DUCT LENGTH
 RESEARCHER TO TOP OF ROOF WITH 1/2" CLEARANCE FROM VENTILATING TERMINUS AND TO TOP OF ROOF WITH 1/2" CLEARANCE FROM VENTILATING TERMINUS. ALL DUCTS SHALL BE LABELED AND THE DUCT WITHIN 10' OF THE TERMINUS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER AND THE DUCT IDENTIFICATION NUMBER SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER. ALL DUCTS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER. ALL DUCTS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER.

TABLE M DUCT - DUCT LENGTH

DUCT TYPE	FLOOR DUCT	ROOF DUCT
1	2'-0"	1'-0"
2	2'-0"	1'-0"
3	2'-0"	1'-0"
4	2'-0"	1'-0"

DUCT IDENTIFICATION

1. DUCT IDENTIFICATION NUMBER SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER. ALL DUCTS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER. ALL DUCTS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER. ALL DUCTS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER. ALL DUCTS SHALL BE LABELED WITH THE DUCT IDENTIFICATION NUMBER.

WINDOW FALL PROTECTION

FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110.

WINDOW GLAZING

WINDOW GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WINDOW GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WINDOW GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WINDOW GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WINDOW GLAZING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110.

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

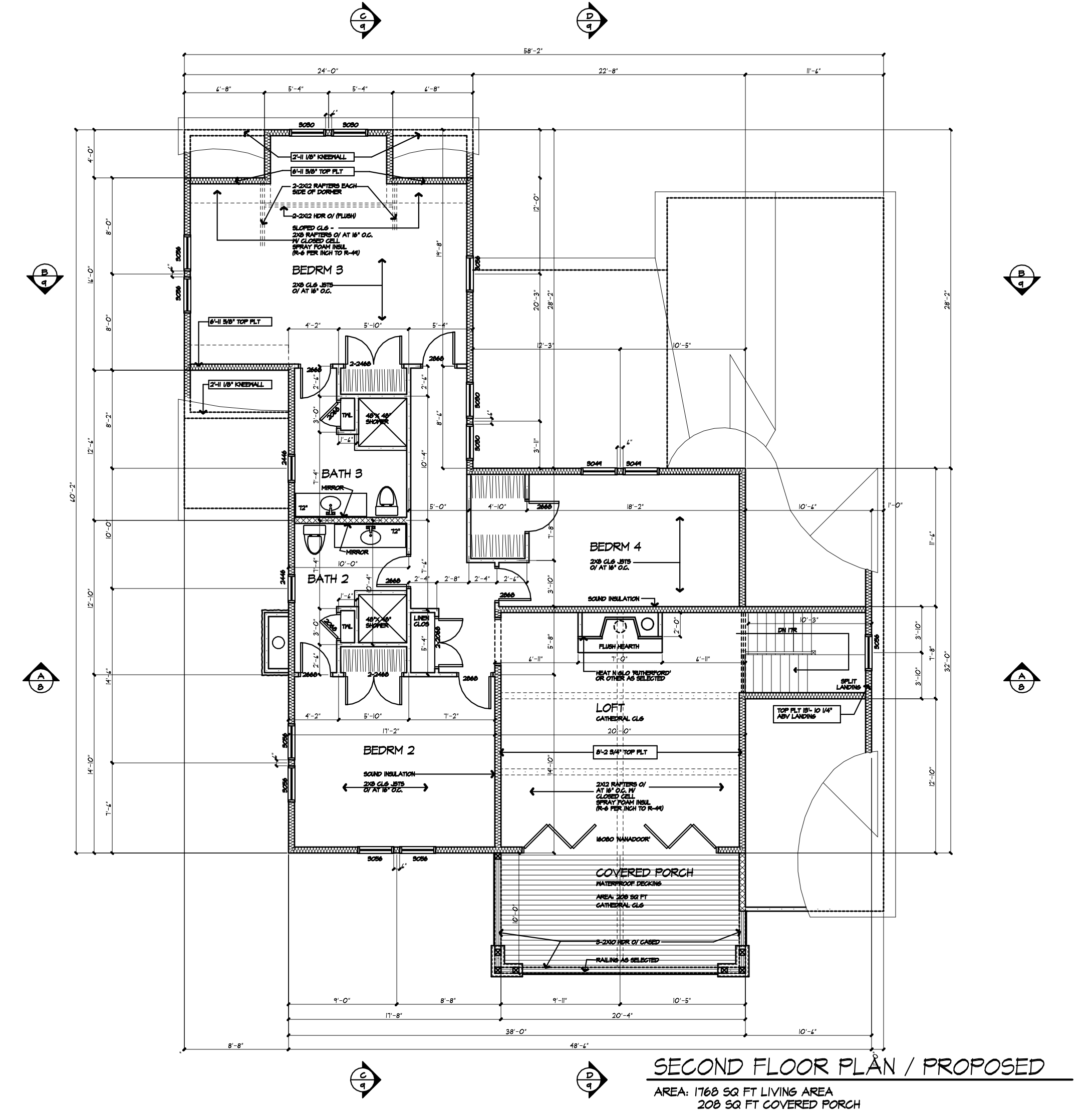
SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 07050. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 07050. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 07050. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 07050. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 07050.

HEADER SCHEDULE

OFFENSE	200 PHL	201 PHL
200 PHL	200 PHL	200 PHL
201 PHL	201 PHL	201 PHL
202 PHL	202 PHL	202 PHL
203 PHL	203 PHL	203 PHL
204 PHL	204 PHL	204 PHL
205 PHL	205 PHL	205 PHL
206 PHL	206 PHL	206 PHL
207 PHL	207 PHL	207 PHL
208 PHL	208 PHL	208 PHL
209 PHL	209 PHL	209 PHL
210 PHL	210 PHL	210 PHL

WALL LEGEND

WALL LEGEND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WALL LEGEND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WALL LEGEND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WALL LEGEND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110. WALL LEGEND SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 05110.



MORABITO ARCHITECTS

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 Pittsford, NY 14534
 (585) 264-1330
 (585) 264-1333 Fax
 www.MorabitoArchitects.com

NOTICE:

PROJECT: PROPOSED RENOVATION
 100 SULLY'S TRAIL, PITTSFORD, NY 14534

CLIENT: FION MILLER

DRAWING: SECOND FLOOR PLAN PROPOSED

DRAWN: [Name] CHECKED: [Name]

DATE: FEBRUARY 2023

SCALE: 1/8" = 1'-0"

JOB NO.: 1907 FLS2000

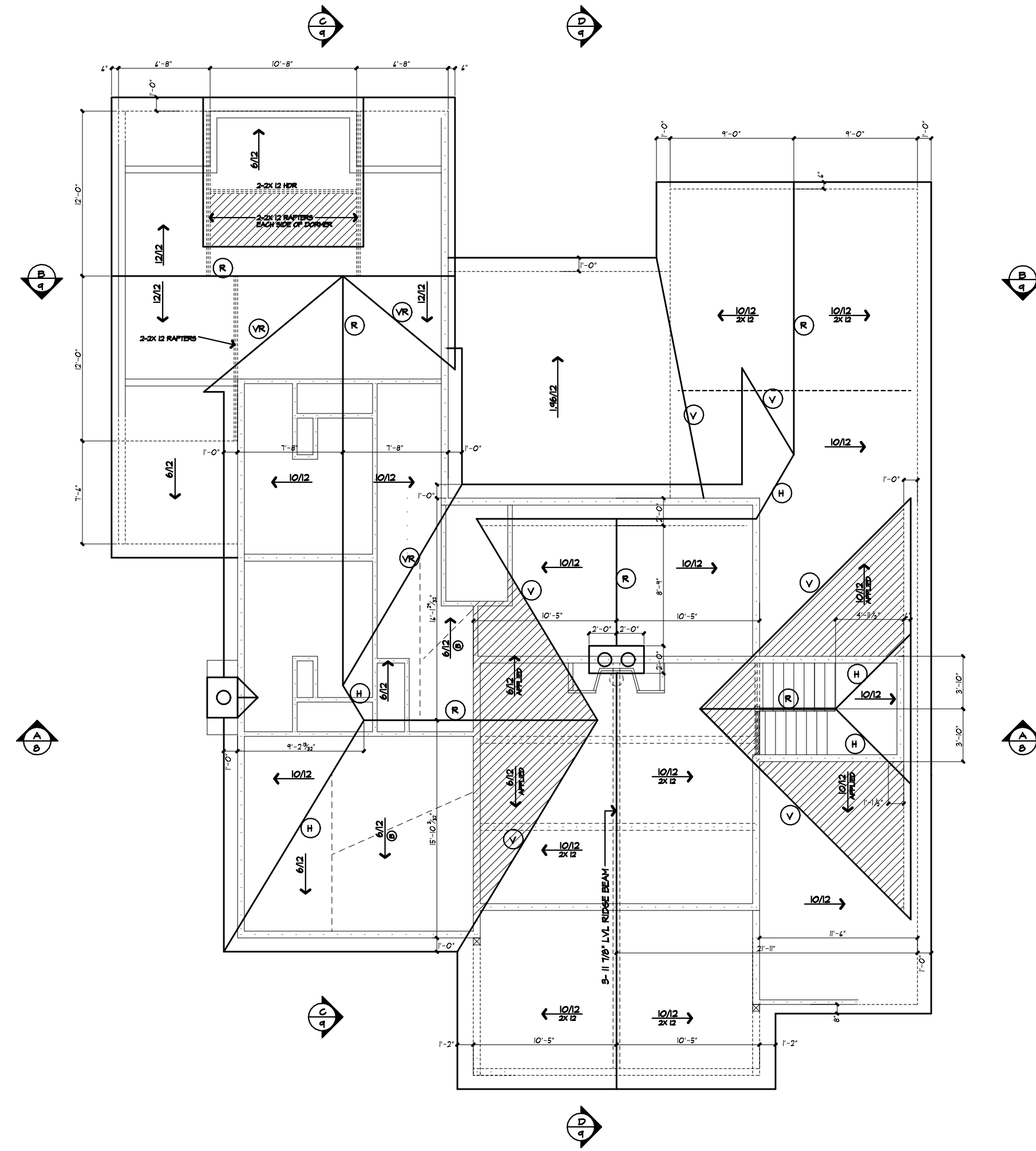
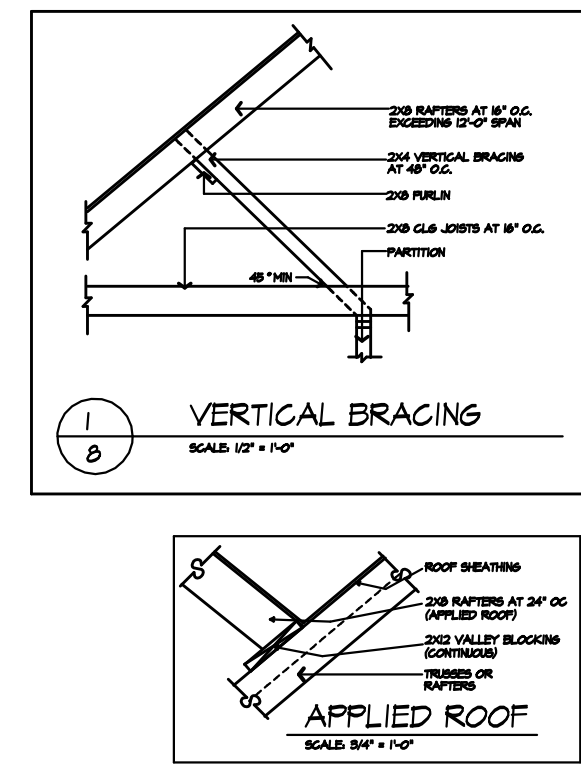
SHEET: 6 OF 10 SHEETS



ROOF PLAN


ROOF LEGEND	
→	2x8 RAFTERS AT 8' O.C. BY FIELD NOTES
→	2x8 RAFTERS AT 8' O.C. PARTIAL FIELD BY SPACING PARTIAL VALLEY BY SPACING BRAND AND TYPE FROM PRODUCT DATA SHEET. SEE DETAIL 101 AND 102. SEE DETAIL 103.
R	2x12 ROOF BOARD
H	2x12 HP RAFTER
VH	2x12 VALLEY RAFTER
V	TRUSS ROOF
V	APPLIED VALLEY - SEE DETAIL 101

NOTES:
PROVIDE ICE PROTECTION ASSEMBLY
IN ACCORDANCE WITH LOCAL CODES
AND THE 2015 INTERNATIONAL RESIDENTIAL
CODE BOOK, CODE OF NEW YORK STATE



ROOF LEGEND	
→	2x8 RAFTERS AT 8' O.C. BY FIELD NOTES
→	2x8 RAFTERS AT 8' O.C. PARTIAL FIELD BY SPACING PARTIAL VALLEY BY SPACING BRAND AND TYPE FROM PRODUCT DATA SHEET. SEE DETAIL 101 AND 102. SEE DETAIL 103.
R	2x12 ROOF BOARD
H	2x12 HP RAFTER
VH	2x12 VALLEY RAFTER
V	APPLIED VALLEY - SEE DETAIL

NOTES:
PROVIDE ICE PROTECTION ASSEMBLY
IN ACCORDANCE WITH LOCAL CODES
AND THE 2015 INTERNATIONAL RESIDENTIAL
CODE BOOK, CODE OF NEW YORK STATE



MORABITO ARCHITECTS
121 Sully's Trail
Pittsford, NY 14534
(585) 264-1330
(585) 264-1333 Fax
www.MorabitoArchitects.com

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PROJECT: PITTSFORD RESIDENCE
121 SULLY'S TRAIL, PITTSFORD, NY 14534

CLIENT: RON MILLER

DRAWING: ROOF PLAN - PROPOSED


DRAWN: [Signature] CHECKED: [Signature]

DATE: FEBRUARY 2023

SCALE: 1/8"=1'-0"

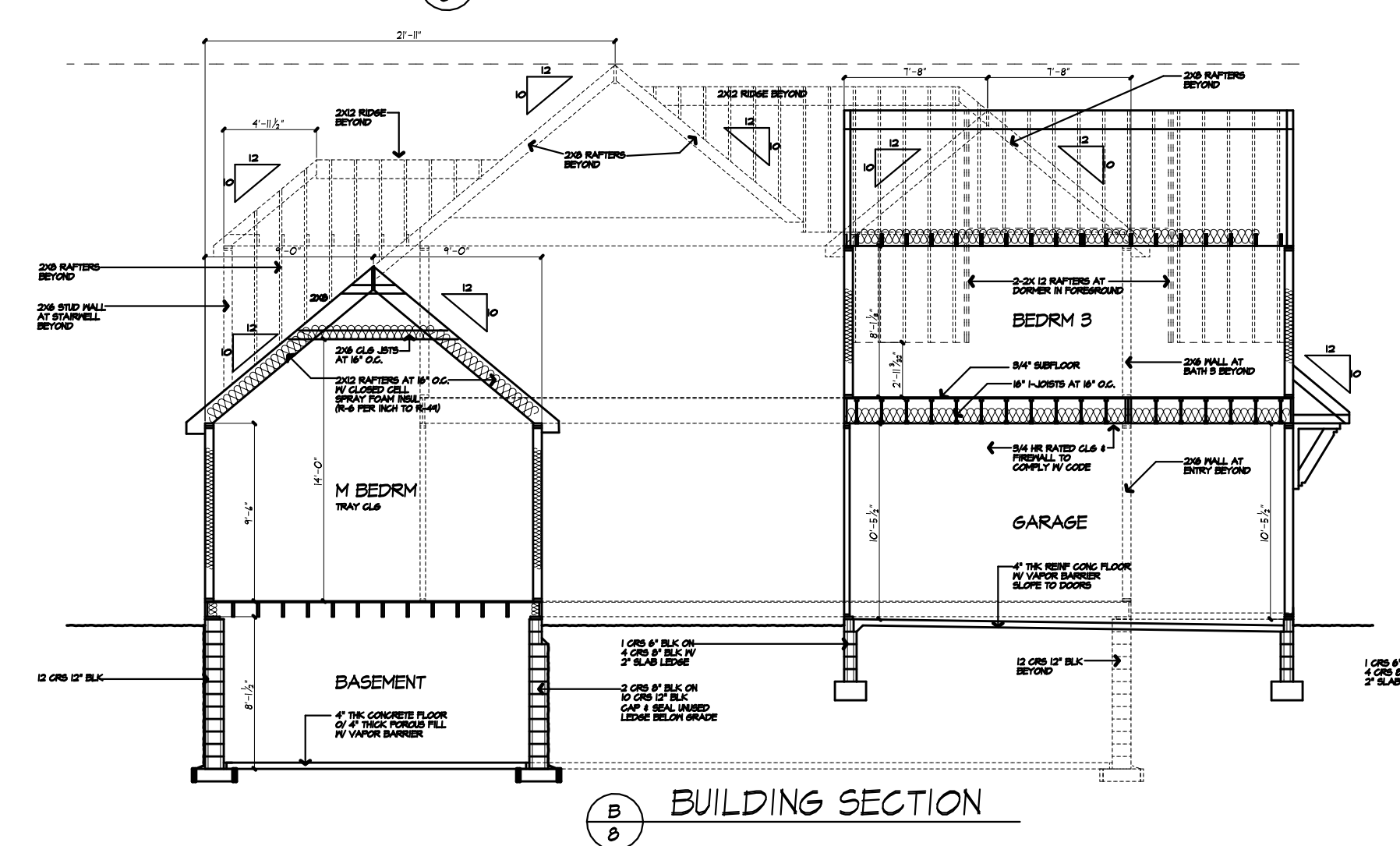
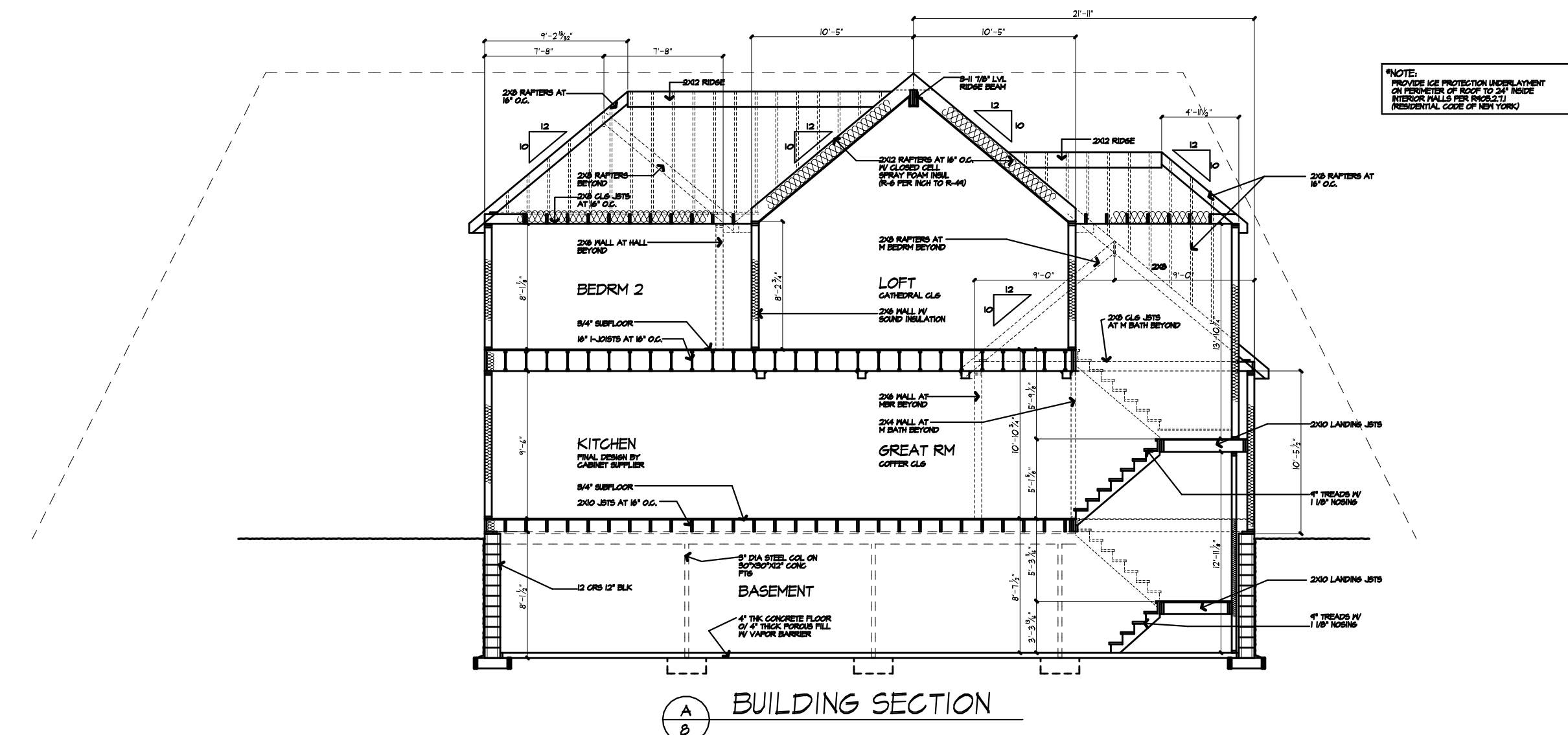
JOB NO.: 197 FALBLOOM

SHEET: 7 OF 10 SHEETS



ROOF LEGEND	
→	2x8 RAFTERS AT 8' O.C. BY FIELD NOTES
R	2x12 ROOF BOARD

NOTES:
PROVIDE ICE PROTECTION ASSEMBLY
IN ACCORDANCE WITH LOCAL CODES
AND THE 2015 INTERNATIONAL RESIDENTIAL
CODE BOOK, CODE OF NEW YORK STATE



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PROJECT:
 PITTSFORD RESIDENCE
 121 SULLY'S TRAIL, PITTSFORD, NY 14534

CLIENT:
 RON BELLITER

DRAWING:
 BUILDING SECTIONS

DRAWN:
 RM

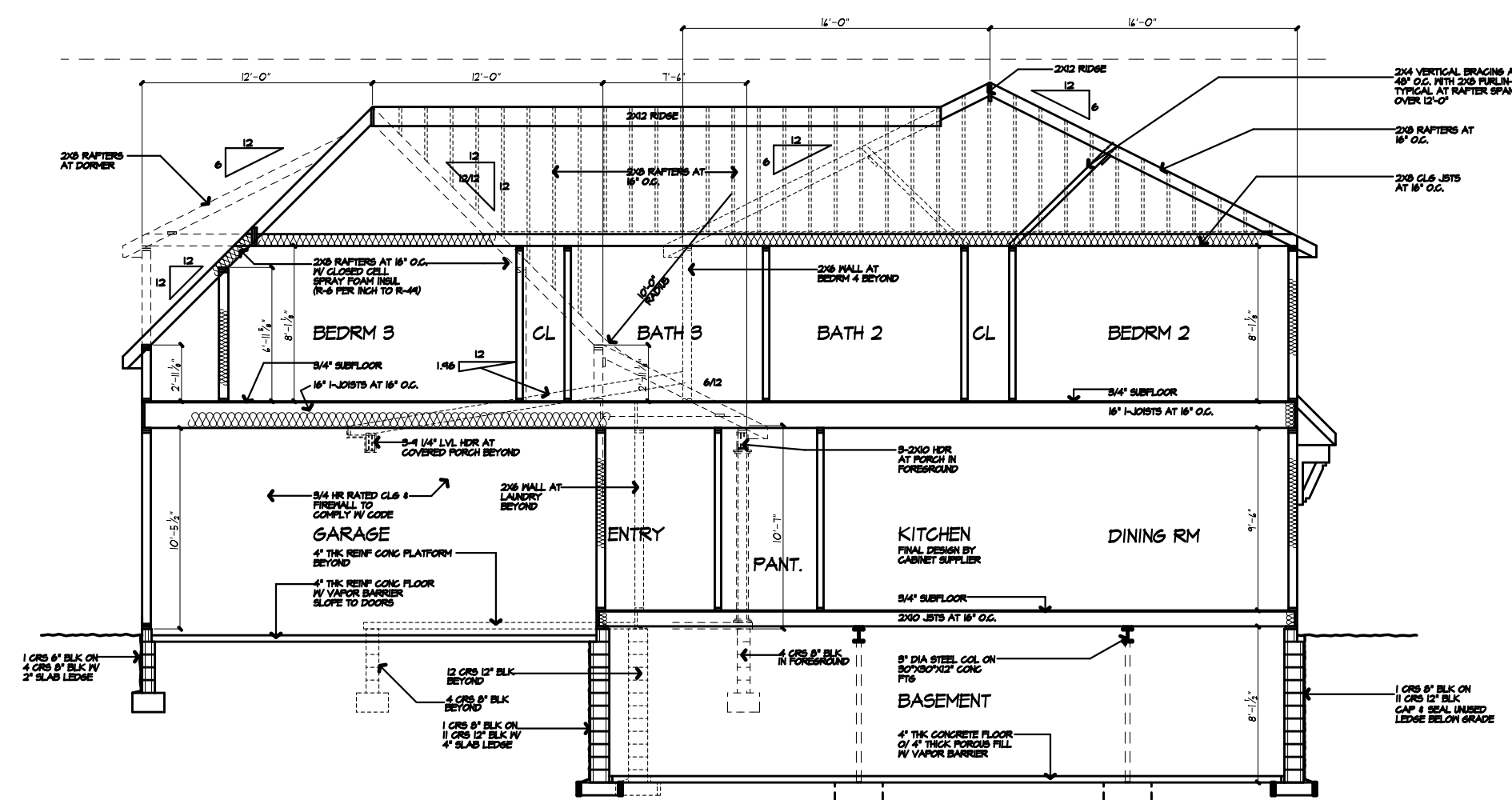
CHECKED:
 Y

DATE:
 FEBRUARY 2009

SCALE:
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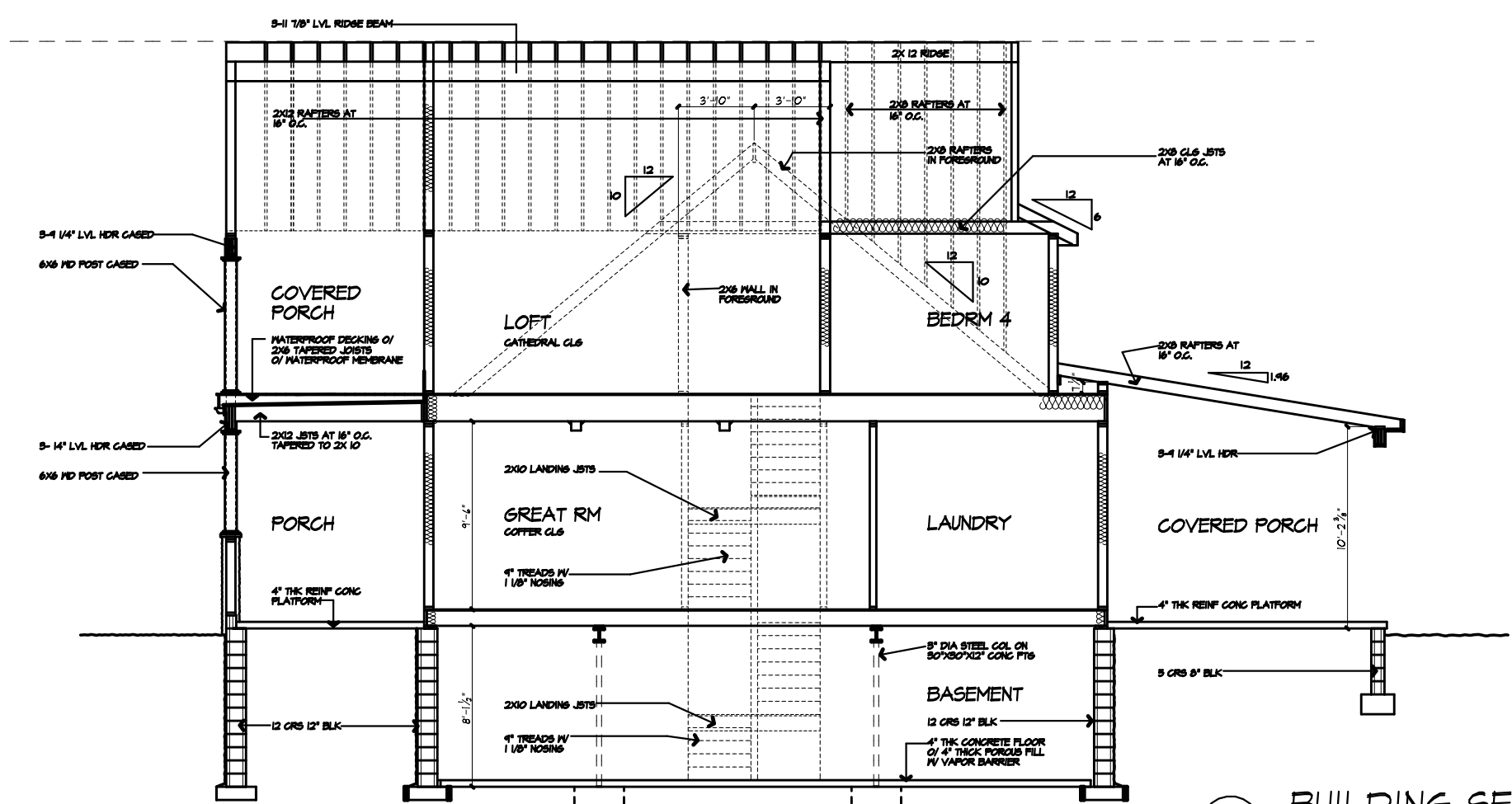
JOB NO.:
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SHEET:
 8
 OF 10 SHEETS



NOTE:
 PROVIDE THE PROTECTION UNDERLAP
 DIMENSIONS OF 6" MIN. TO ALL
 ROOFING SHALL BE PER LOCAL
 RESIDENTIAL CODE OF NEW YORK

C
 BUILDING SECTION



D
 BUILDING SECTION

MORABITO ARCHITECTS

121 Sully's Trail
 Pittsford, NY 14534
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PROJECT:
 REFINISHED RESIDENCE
 121 SULLY'S TRAIL, PITTSFORD, NEW YORK

CLIENT:
 RON BULLITER

DRAWING:
 BUILDING SECTIONS

DRAWN:
 RAB

CHECKED:
 Y

DATE:
 FEBRUARY 2009

SCALE:
 1/8"=1'-0"

JOB NO.:
 107 FALB009

SHEET:
 9
 OF 10 SHEETS

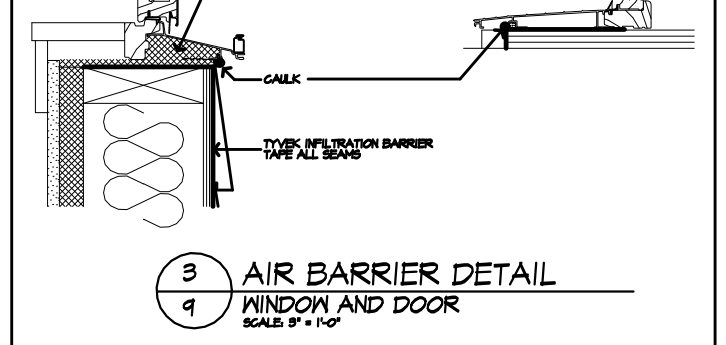
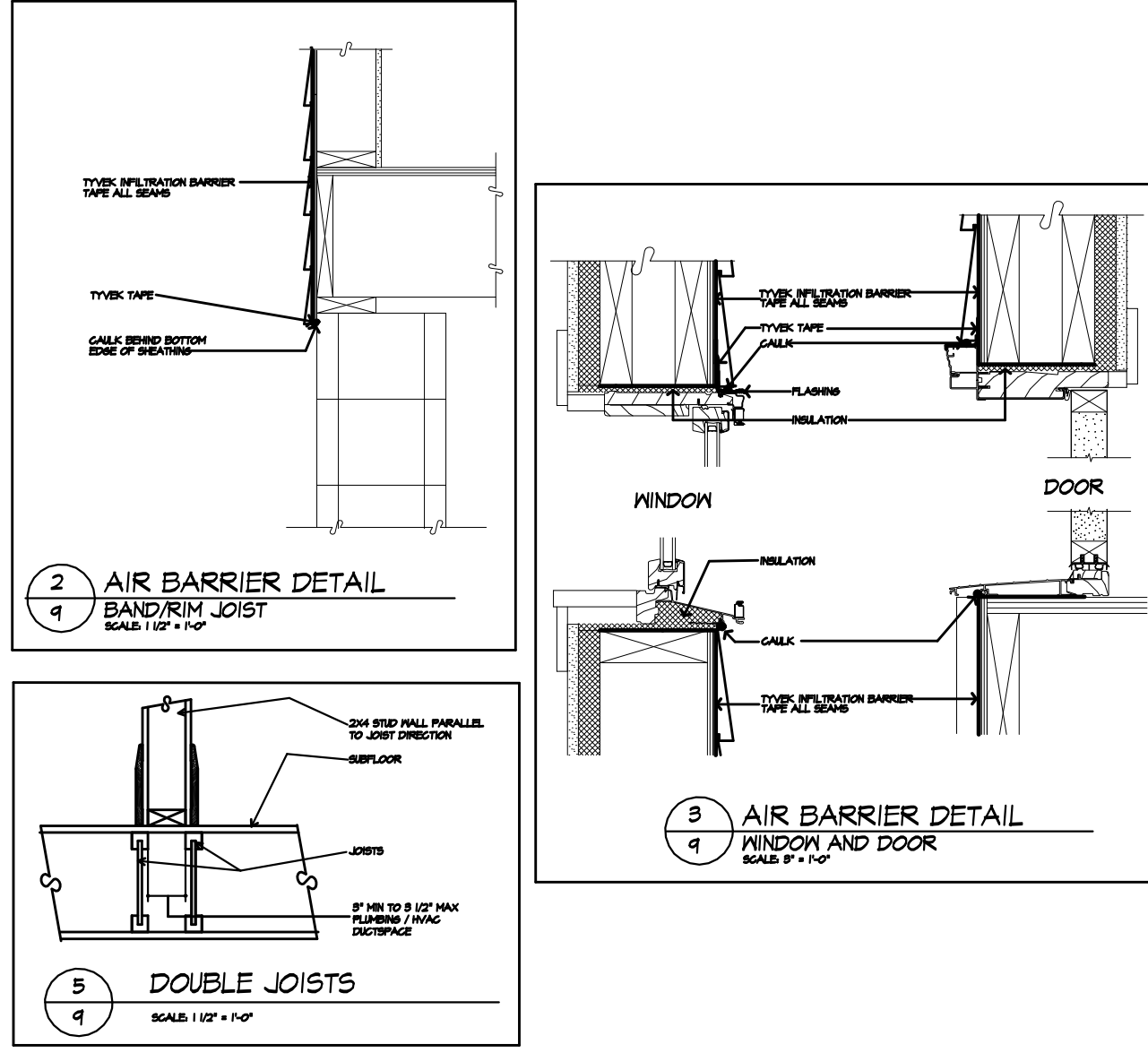
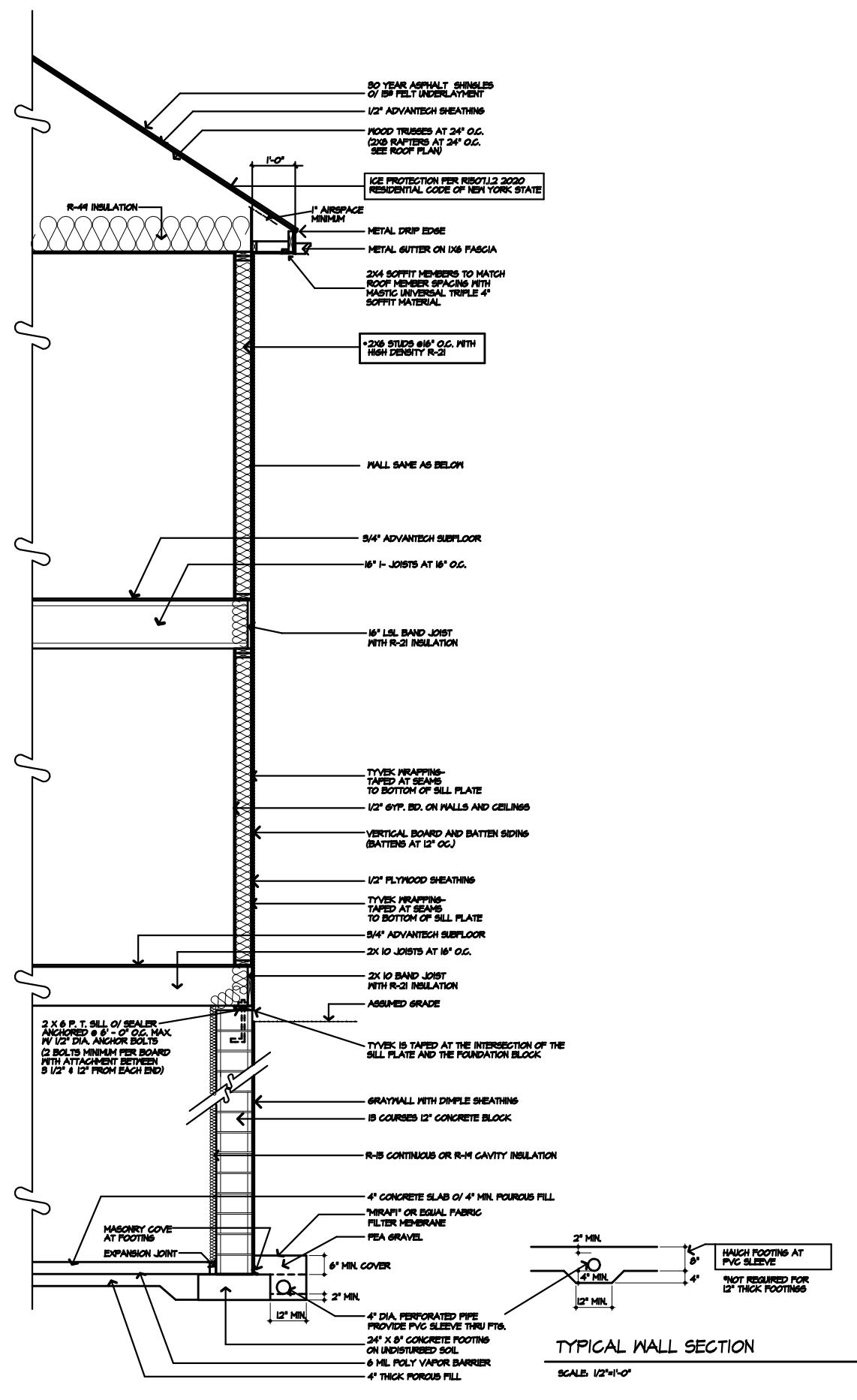


TABLE N102.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

COMPONENT	CRITERIA
GLAZING	INSULATION TYPE AND DENSITY CORRESPOND TO SPECIFICATIONS ON DRAWINGS INSULATION JOINTS IN THE AIR BARRIER ARE FILLED OR SEALED AIR PENETRABLE INSULATION IS NOT USED AS A SEALING MATERIAL AIR PENETRABLE INSULATION IS MADE OF AN AIR BARRIER
CEILING/ROOF	AIR BARRIER IS PROTECTED FROM PUNCTURE AND DAMAGE AIR PENETRABLE INSULATION IS MADE OF AN AIR BARRIER
FILLS	CONCRETE AND RENDER ARE FIELDED JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED
WINDOWS AND DOORS	SEALS AT WINDOW AND DOOR JAMB AND HEAD
SHAFT PENETRATIONS	DO NOT PENETRATE THROUGH AIR BARRIER
NARROW GAVITES	SEALS AT WINDOW AND DOOR JAMB AND HEAD
GARAGE SEPARATION	DO NOT PENETRATE THROUGH AIR BARRIER
RECESSED LIGHTING	DO NOT PENETRATE THROUGH AIR BARRIER
PLUMBING AND VENTS	INSULATION IS PLACED BETWEEN OUTSIDE AND INSIDE
EXTERIOR WALLS OR ROOFING	DO NOT PENETRATE THROUGH AIR BARRIER
EXTERIOR WALLS	DO NOT PENETRATE THROUGH AIR BARRIER



LIGHTING FIXTURE SCHEDULE

TYPE	QUANTITY
...	...

LIGHTING FIXTURE CONTROL NARRATIVE

...

TYPICAL NOTES

- 1) ...
- 2) ...
- 3) ...
- 4) ...
- 5) ...

EXHAUST DUCTS AND EXHAUST OPENINGS

DUCT TYPE	FLUE DUCT	SMOOTH WALL DUCT
...

MORABITO ARCHITECTS
121 Sully's Trail
Pittsford, NY 14534
(585) 264-4330
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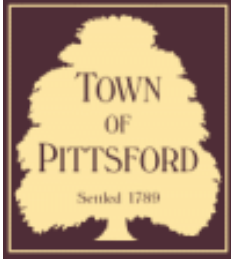
...

PROJECT: ...
CLIENT: ...
DATE: ...
SCALE: ...
OF 10 SHEETS









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000042

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 19 Black Wood Circle PITTSFORD, NY 14534

Tax ID Number: 178.03-5-35

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Wilshire Hill LLC

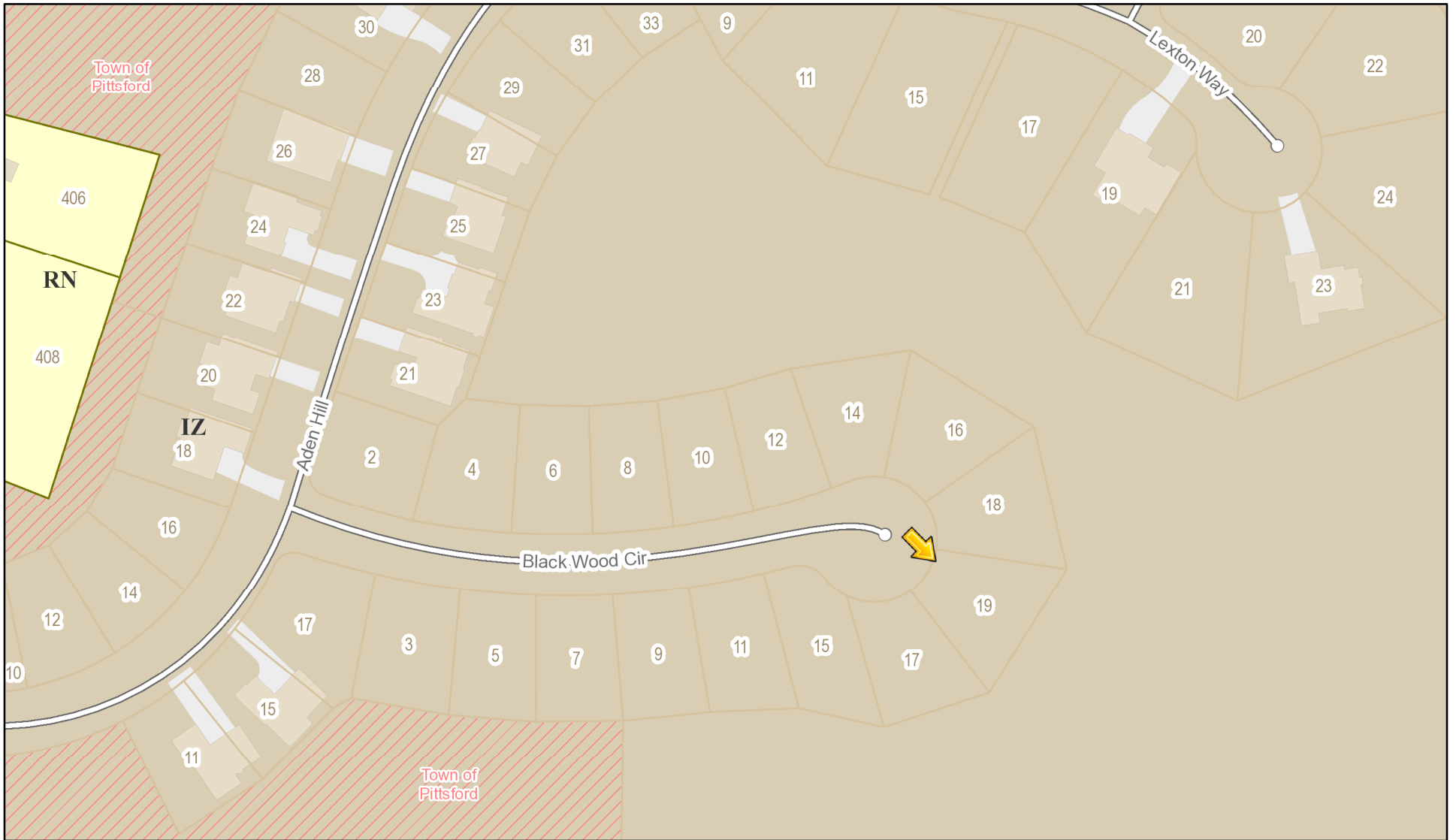
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

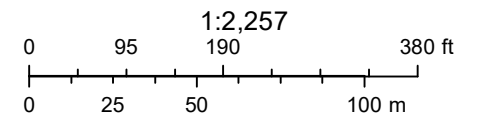
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2371 square feet in the Wilshire Hills Subdivision.

Meeting Date: March 11, 2021

RN Residential Neighborhood Zoning

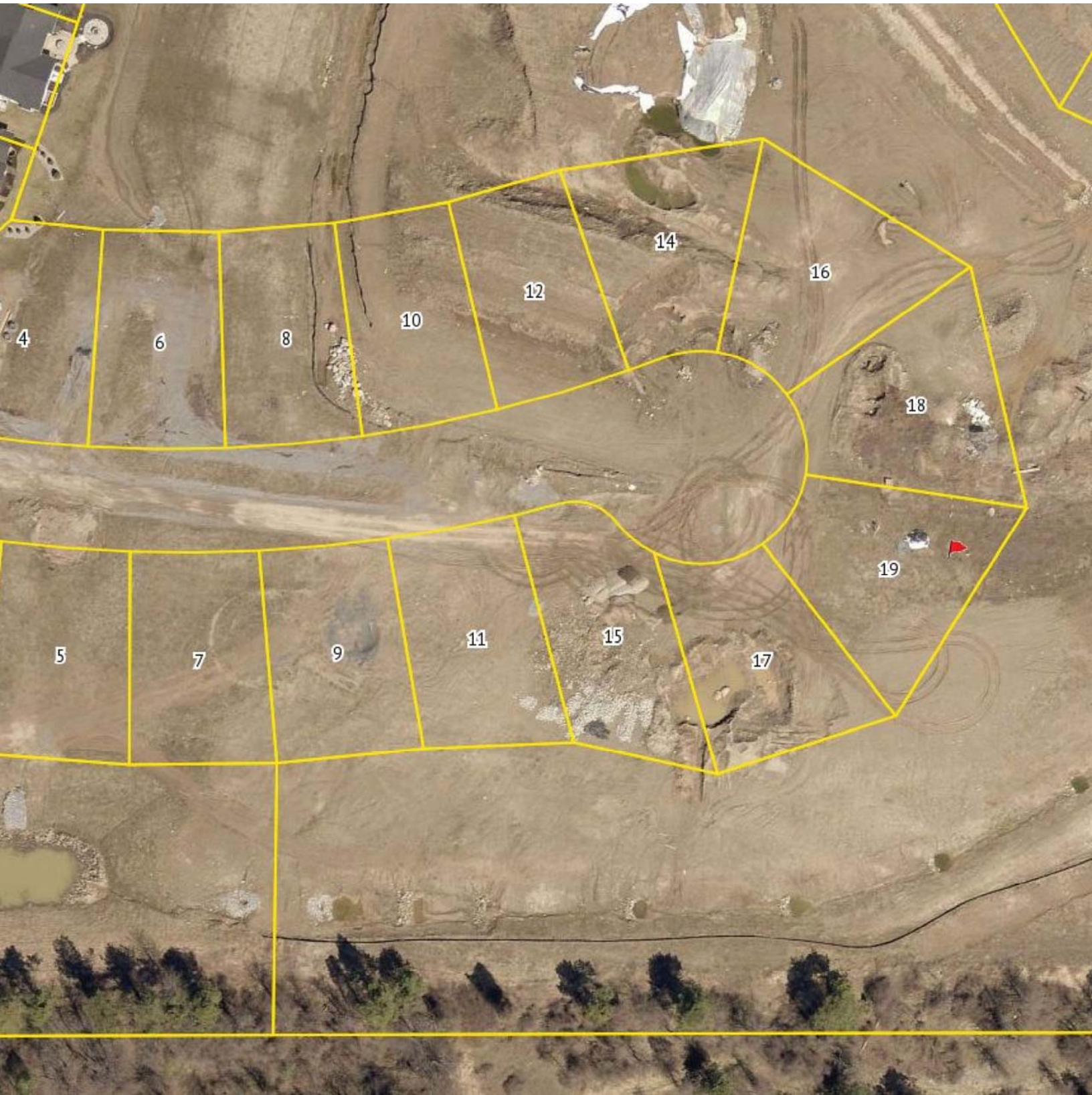


Printed March 4, 2021

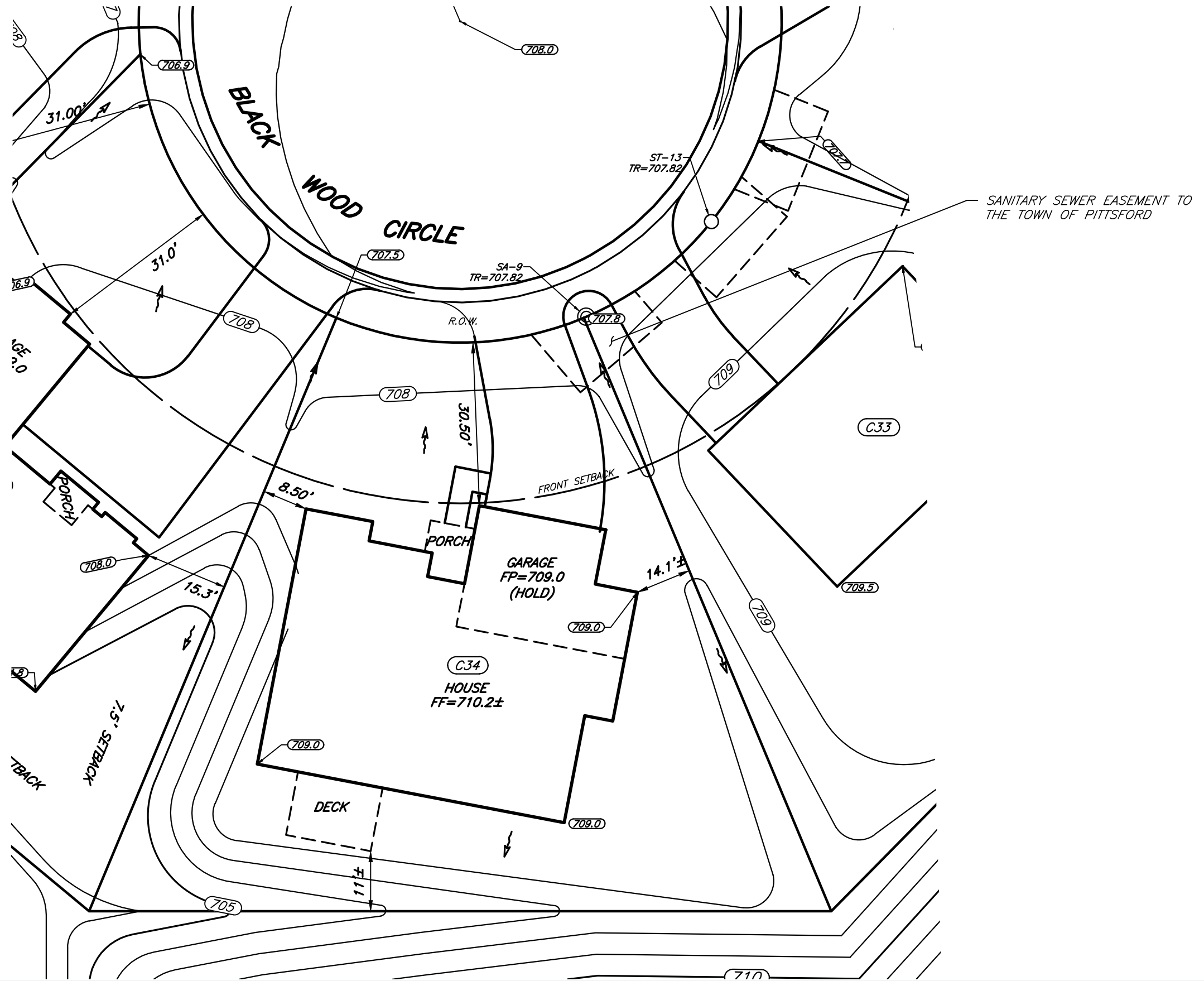


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C34\LOT C34.dwg, Plot Date: 2/1/2021, By: RIEDE



JOB NO: 0423-17
SCALE: 1" = 20'
DRAWN: RJT
DESIGNED: RJT
DATE: 2/1/21

SETBACK	REQUIRED	PROVIDED
FRONT	30'	30.5'
SIDE	7.5'	8.5'
REAR	10'	11' ±

TITLE:

PLOT PLAN - LOT C34

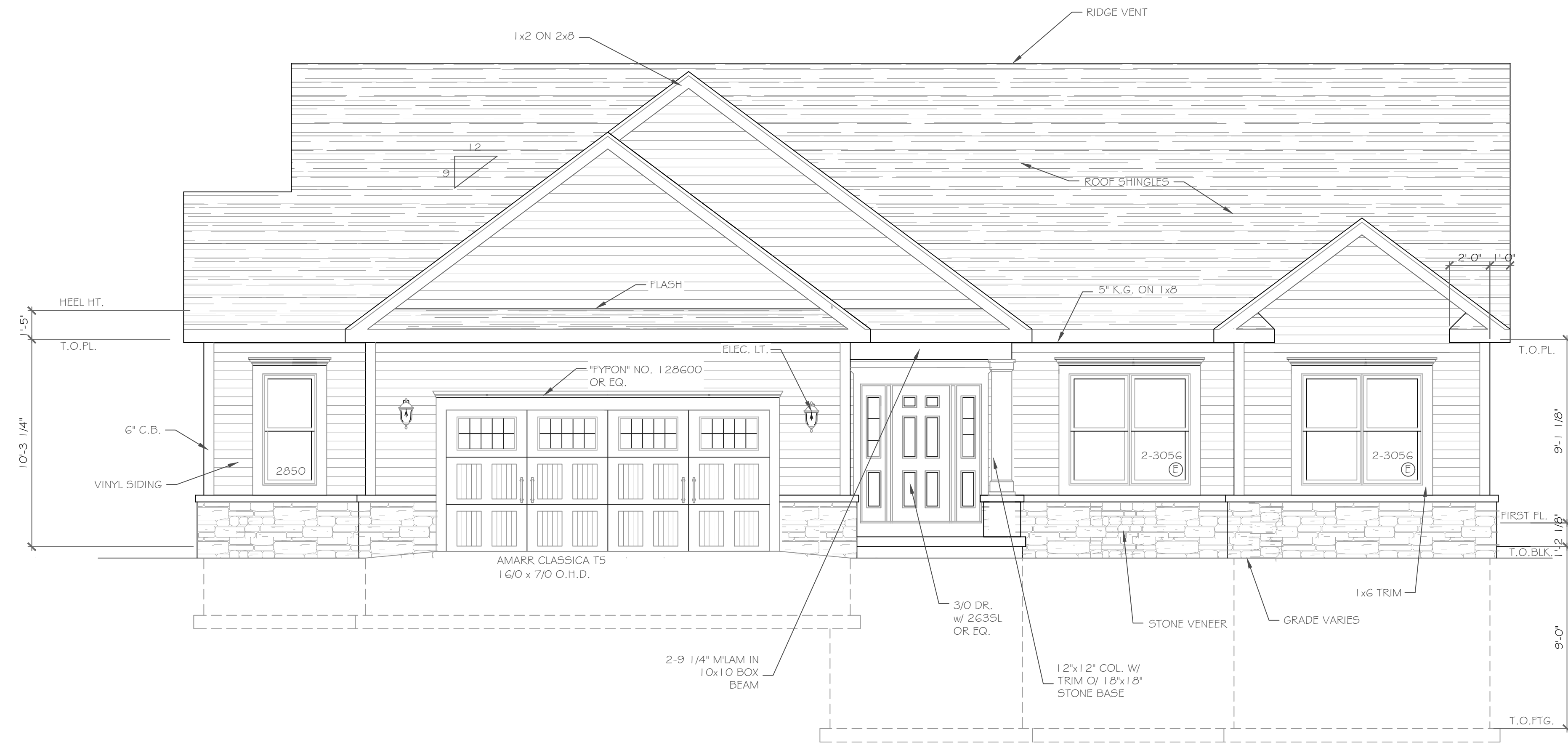
WILSHIRE HILL - SECTION 3

TOWN OF PITTSFORD MONROE COUNTY NEW YORK

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

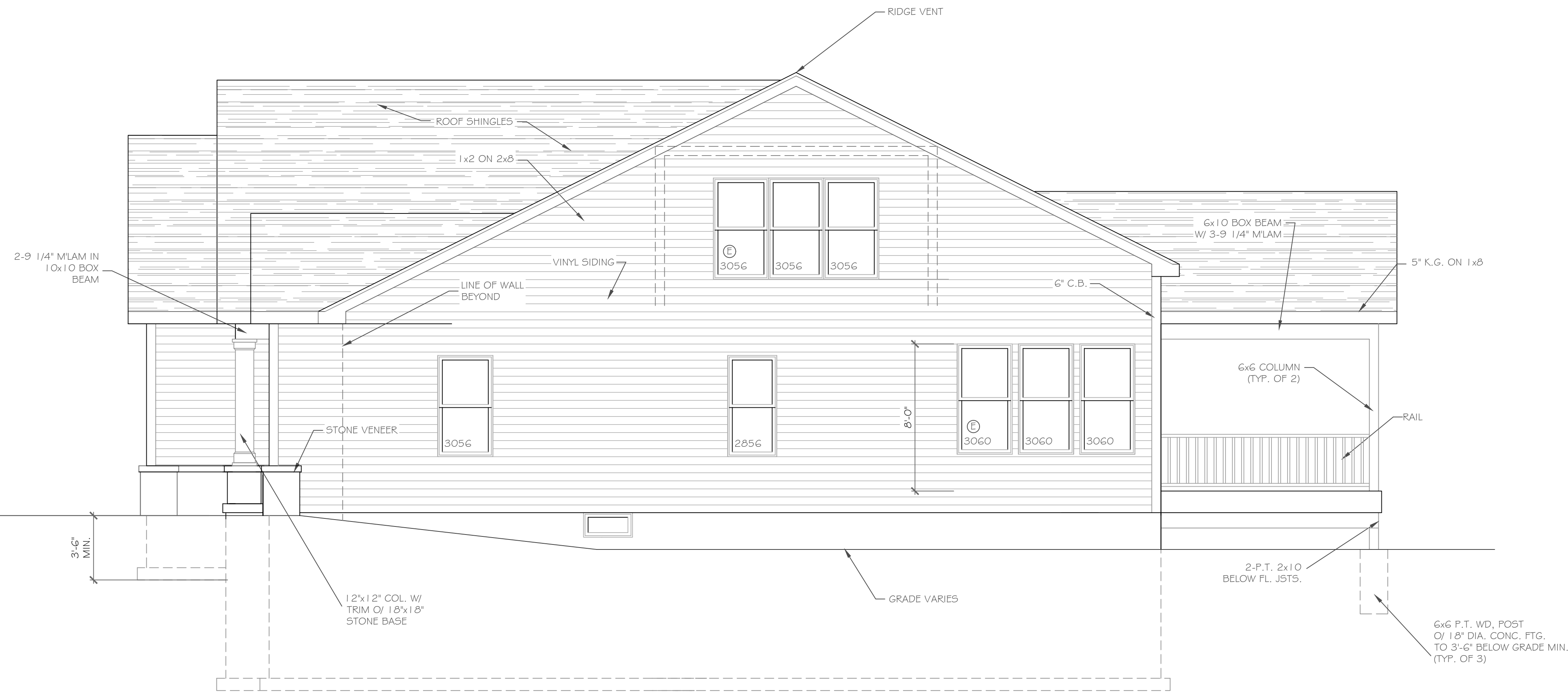
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2371 S.F.

1/4" = 1'-0"

- NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - Ⓢ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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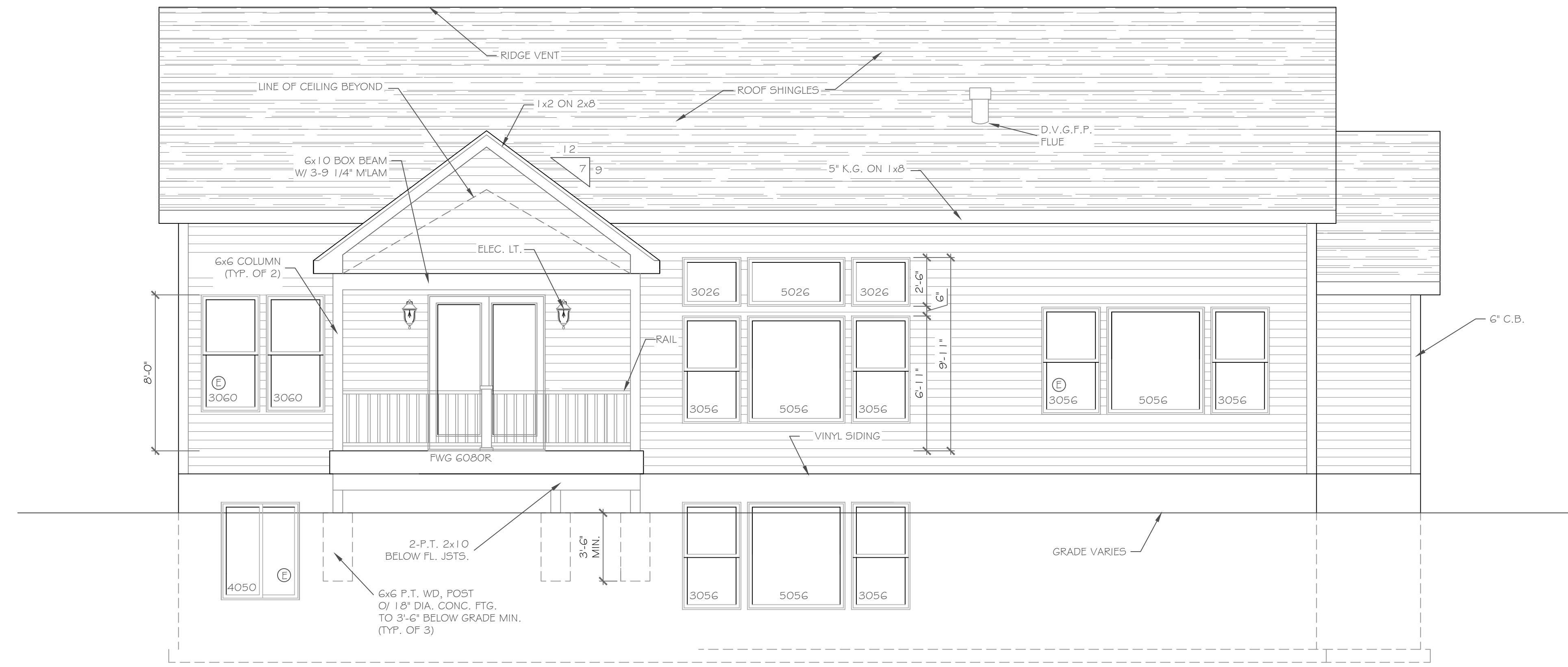
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations	PHASE: Construction Documents

PROJECT: Lot 34C, Wilshire Hill Pittsford, New York	DATE: February 2021
CLIENT: Morrell Builders	JOB NO. - A20-047

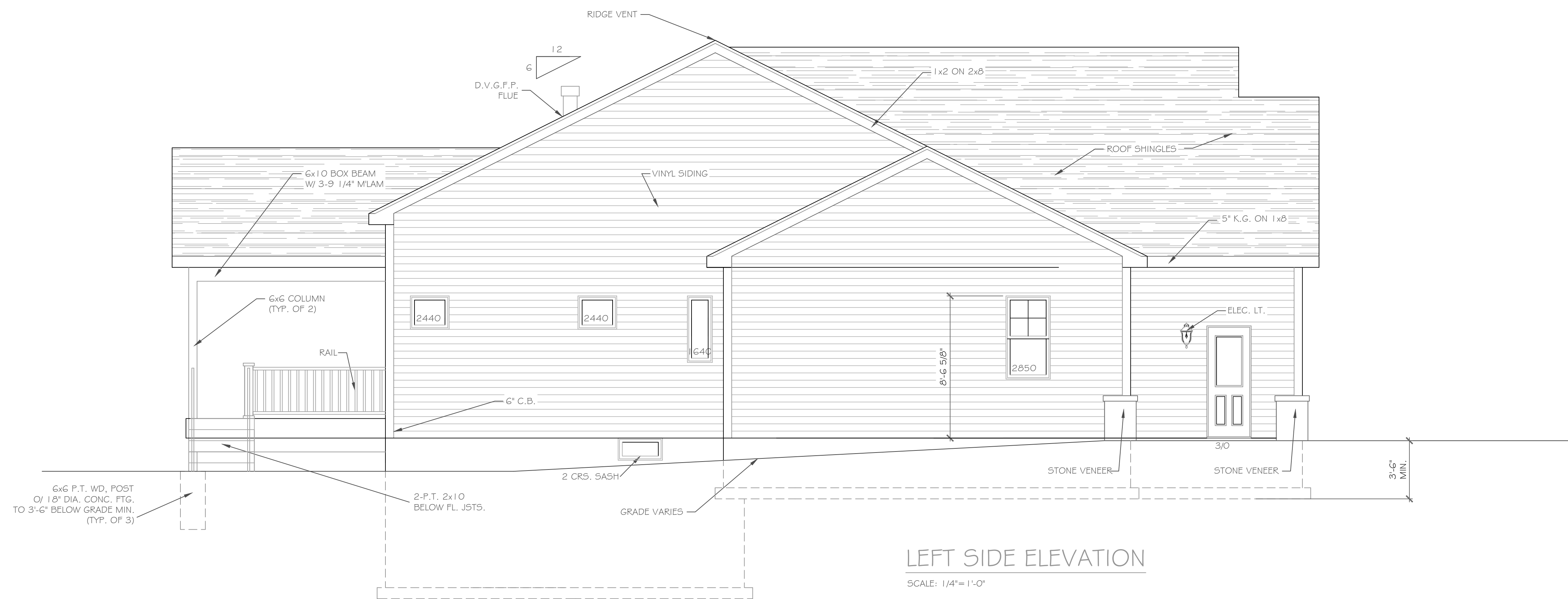
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-1



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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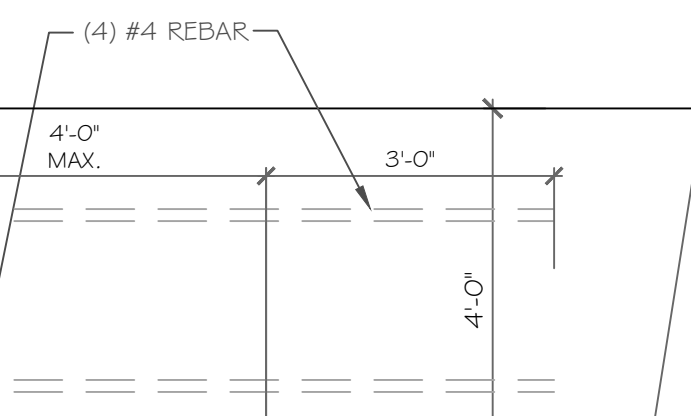
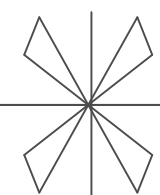
PROJECT-	Lot 34C, Wishire Hill Pittsford, New York
CLIENT-	Morrell Builders
JOB NO.-	A20-047
DATE	February 2021
PHASE	Construction Documents

DRAWING TITLE-	Elevations
----------------	------------

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

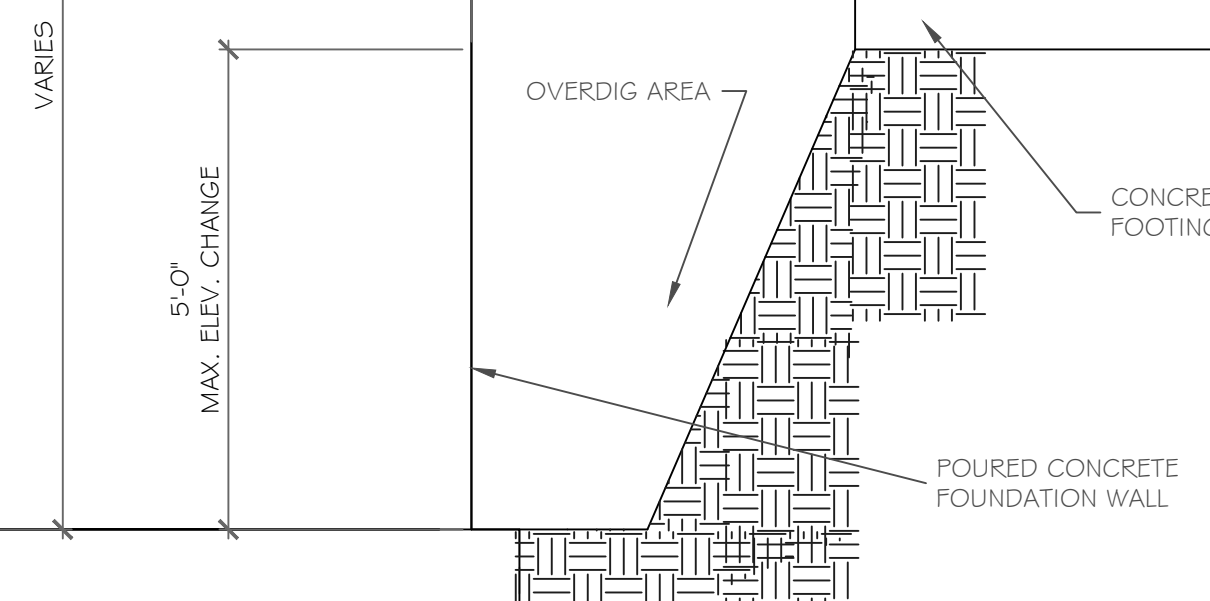
DRAWING NO. -
A-5

HOUSE WALL GARAGE WALL



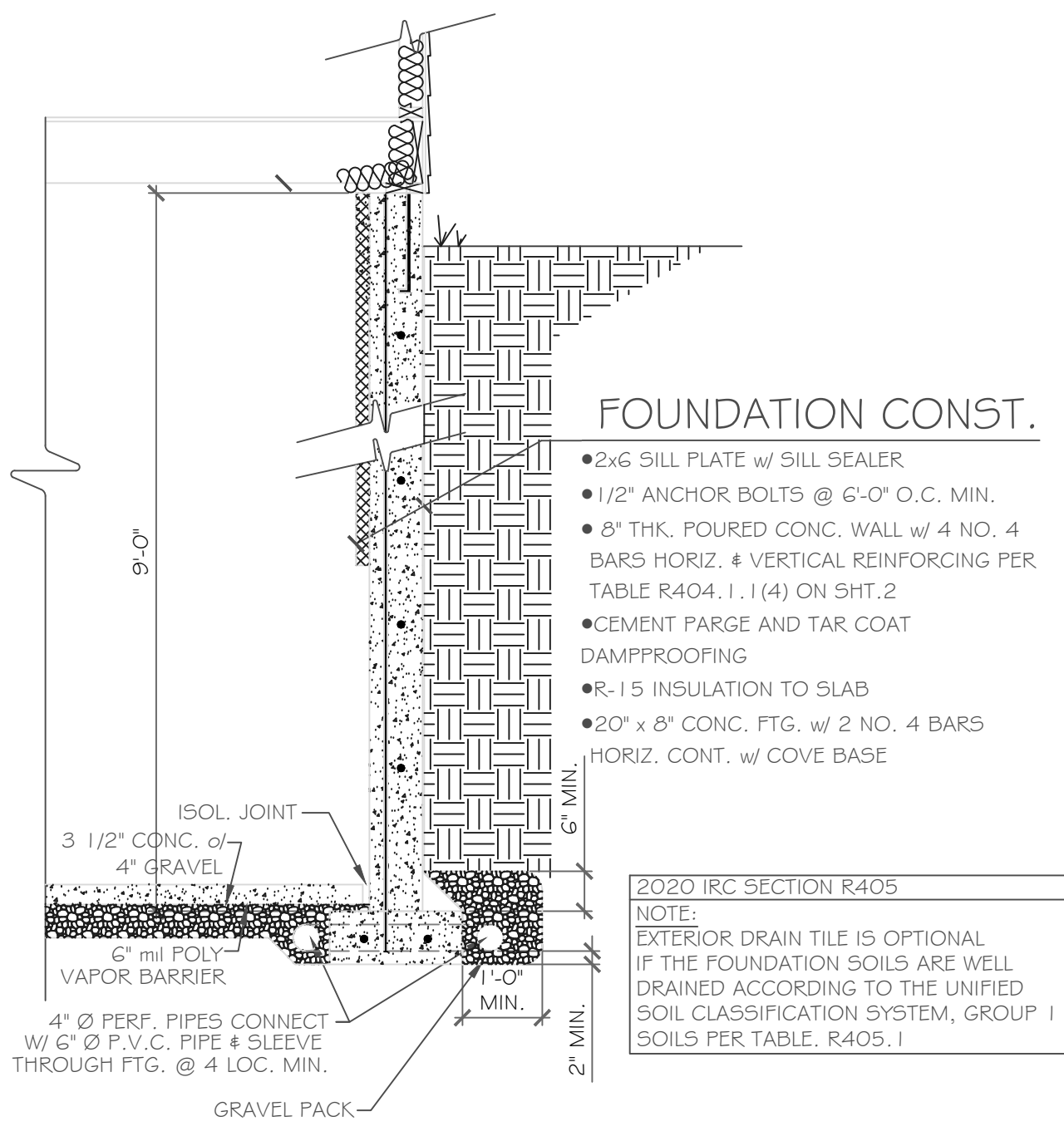
POURED WALL JUMP FOOTING DETAIL

SCALE: 1/2" = 1'-0"



GARAGE WALL DETAIL

SCALE: 1/2" = 1'-0"



FOUNDATION CONST.

- 2x6 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 4" THK. POURED CONC. WALL w/ 4 NO. 4 BARS HORIZ. & VERTICAL REINFORCING PER TABLE R404.1.1 (4) ON SHT. 2
- CEMENT PARGE AND TAR COAT DAMPPROOFING
- R-15 INSULATION TO SLAB
- 20" x 8" CONC. FTG. w/ 2 NO. 4 BARS HORIZ. CONT. w/ COVE BASE

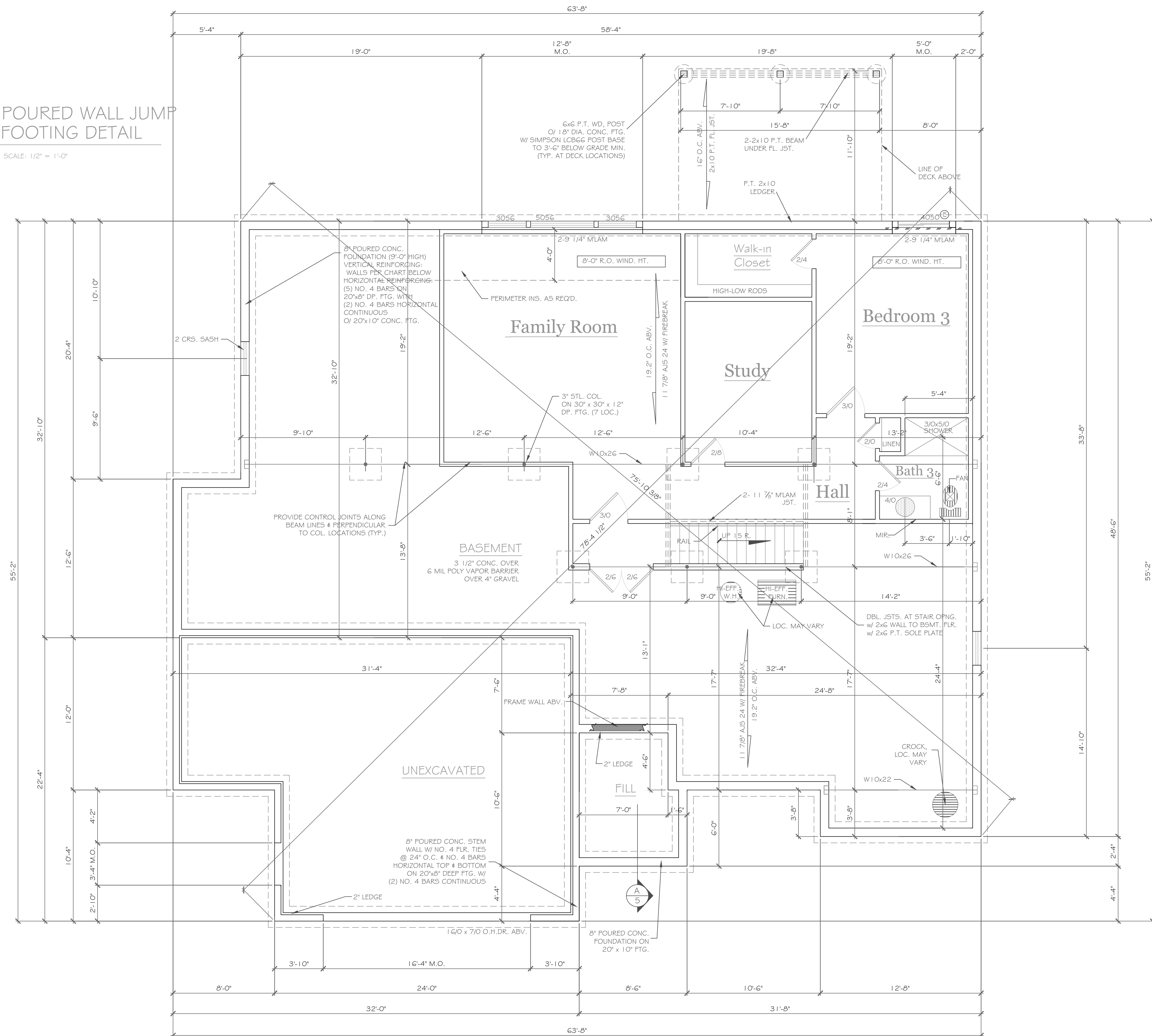
NOTE:
EXTERIOR DRAIN TILE IS OPTIONAL IF THE FOUNDATION SOILS ARE WELL DRAINED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS PER TABLE, R405.1

BASEMENT & FOUNDATION PLAN

1/4" = 1'-0"
900 sf Finished Space
NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.
- PROVIDE SOLID BLK. TO BLK. @ ALL BRG. POINTS. ■

CONC. LEGEND:

ELEV. = 0'	■
ELEV. = (-) 8'	■
ELEV. = (-) 11'-4"	■
ELEV. = (-) 6'-4"	■
ELEV. = (-) 9'-0"	■



PARTIAL TABLE R404.1.2(B)
NOMINAL FLAT BASEMENT WALLS (ft., in., k, h, o.)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (INCHES)		
		Soil classes (a) & design lateral soil (psf per foot of depth)	Soil classes (b) & design lateral soil (psf per foot of depth)	Soil classes (c) & design lateral soil (psf per foot of depth)
9	4	NR	NR	NR
	5	NR	NR(0)	NR
	6	NR (0)	NR	#6 at 39" o.c.
	7	NR	#5 at 37" o.c.	#6 at 38" o.c.
	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 29" o.c.
	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(B).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
j. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
k. See Table R603.3 for tolerance from nominal thickness permitted for flat walls.
l. The use of this Table shall be prohibited for soil classifications not shown.

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REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement Plan

PHASE:
Construction Documents

PROJECT:
Lot 34C, Wilshire Hill
Pittsford, New York

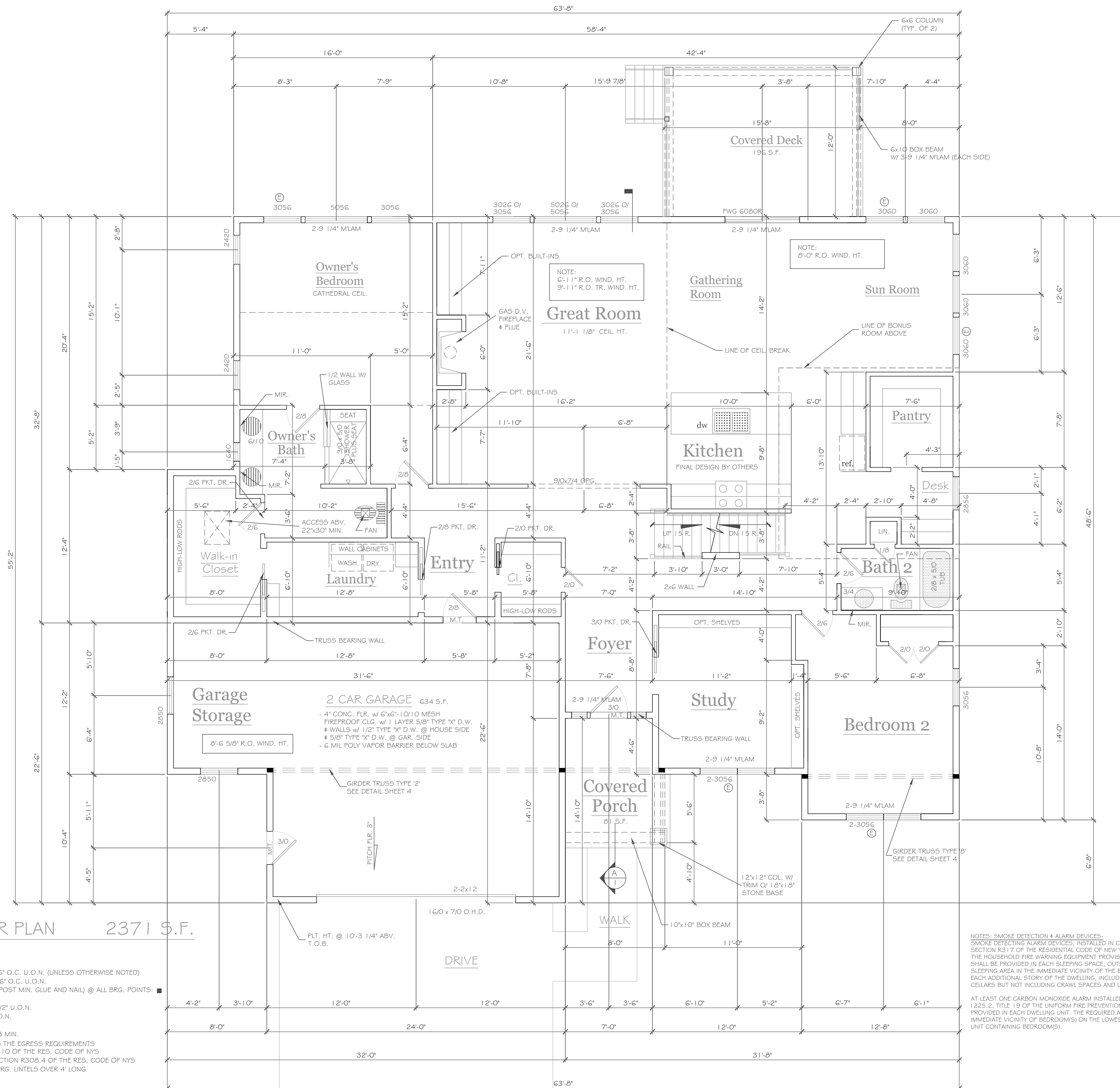
CLIENT:
Morrell Builders

DATE:
February 2021

JOB NO. -
A20-047

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-2



FIRST FLOOR PLAN 2371 S.F.

1/4" = 1'-0"

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
- ANGLES TO BE 12/12 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4" LONG

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

 AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plan

PHASE:
 Construction Documents

PROJECT:
 Lot 34C, Wilshire Hill
 Pittsford, New York

CLIENT:
 Morrell Builders

JOB NO.:
 A20-047

DATE:
 February 2021

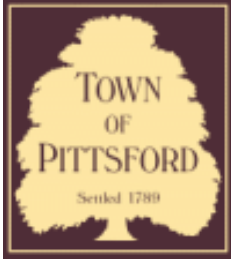
CKH
 architecture
 1501 Pittsford Victor Road
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 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.:
A-3









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000043

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 22 Lexton Way PITTSFORD, NY 14534

Tax ID Number: 178.03-5-10

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Wilshire Hill LLC

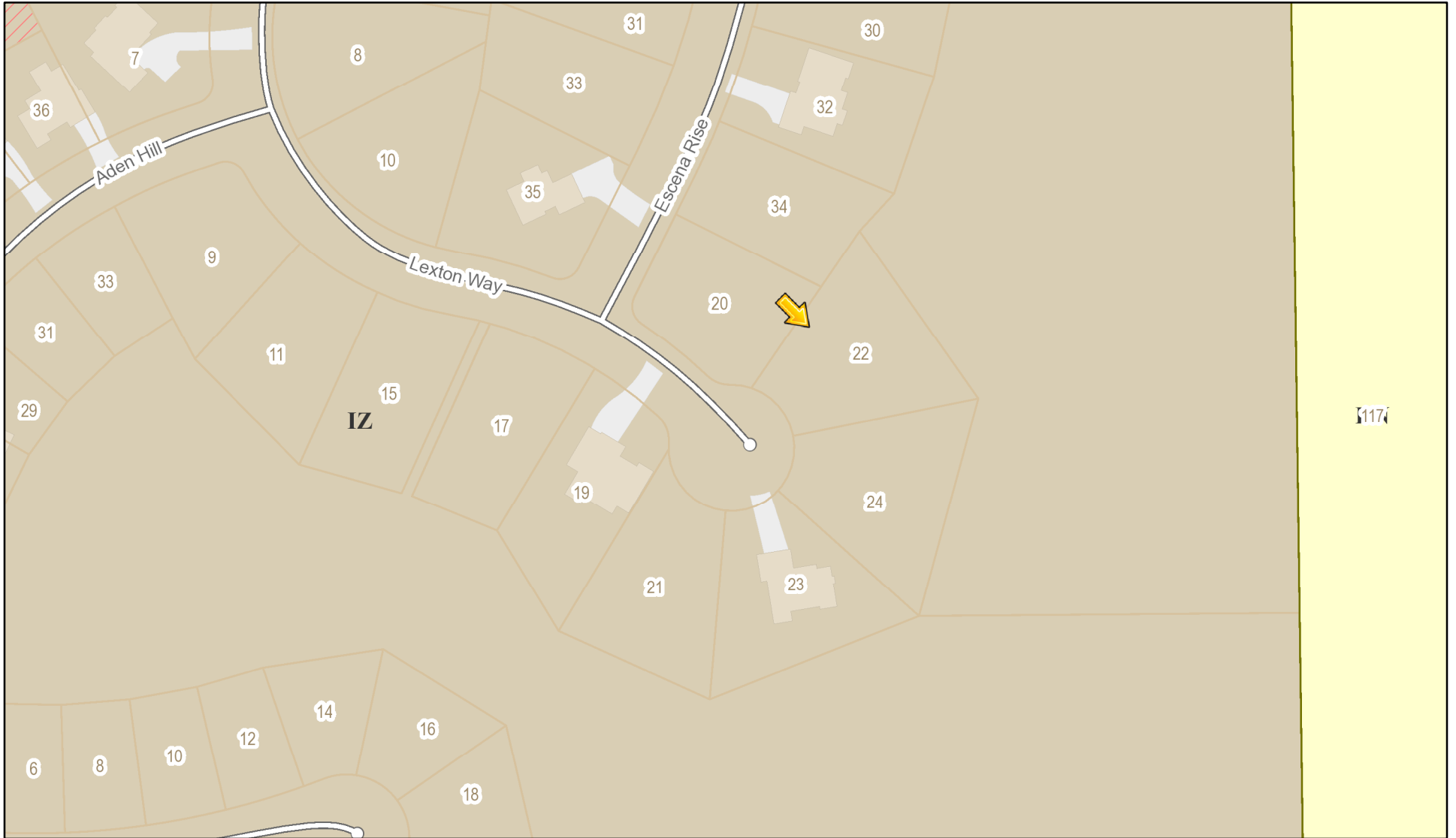
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

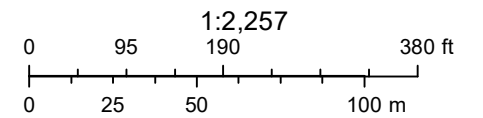
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 1296 square feet on the first floor and 1414 square feet on the second floor. This home will be located in the Wilshire Hills Subdivision.

Meeting Date: March 11, 2021

RN Residential Neighborhood Zoning



Printed March 4, 2021

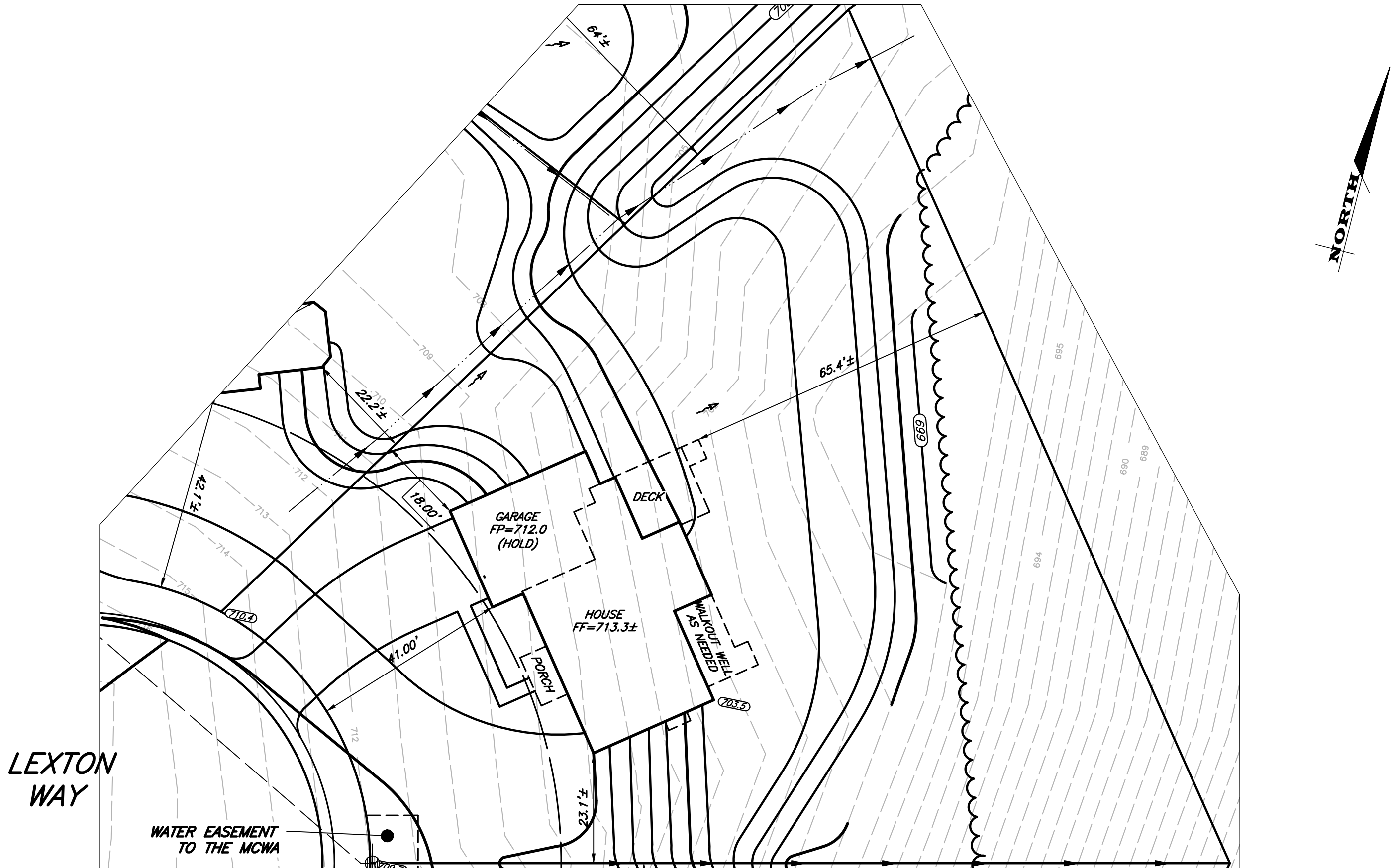


Town of Pittsford GIS

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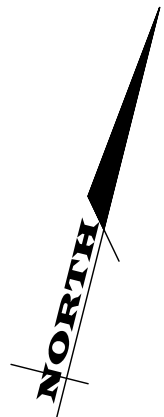


File: Z:\Engineering\Job Files\0423-12 Drawings\Section 3\Plot Plans\Lot P16\LOT P-16.dwg, Plot Date: 2/26/2021, By: RTIEDE



**LEXTON
WAY**

**WATER EASEMENT
TO THE MCWA**



SETBACK	REQUIRED	PROVIDED
FRONT	40'	41.0'
SIDE	10'	18.0'
REAR	10'	65.4' ±

TITLE:

PLOT PLAN - LOT P16

WILSHIRE HILL - SECTION 3

DESIGN CRITERIA:

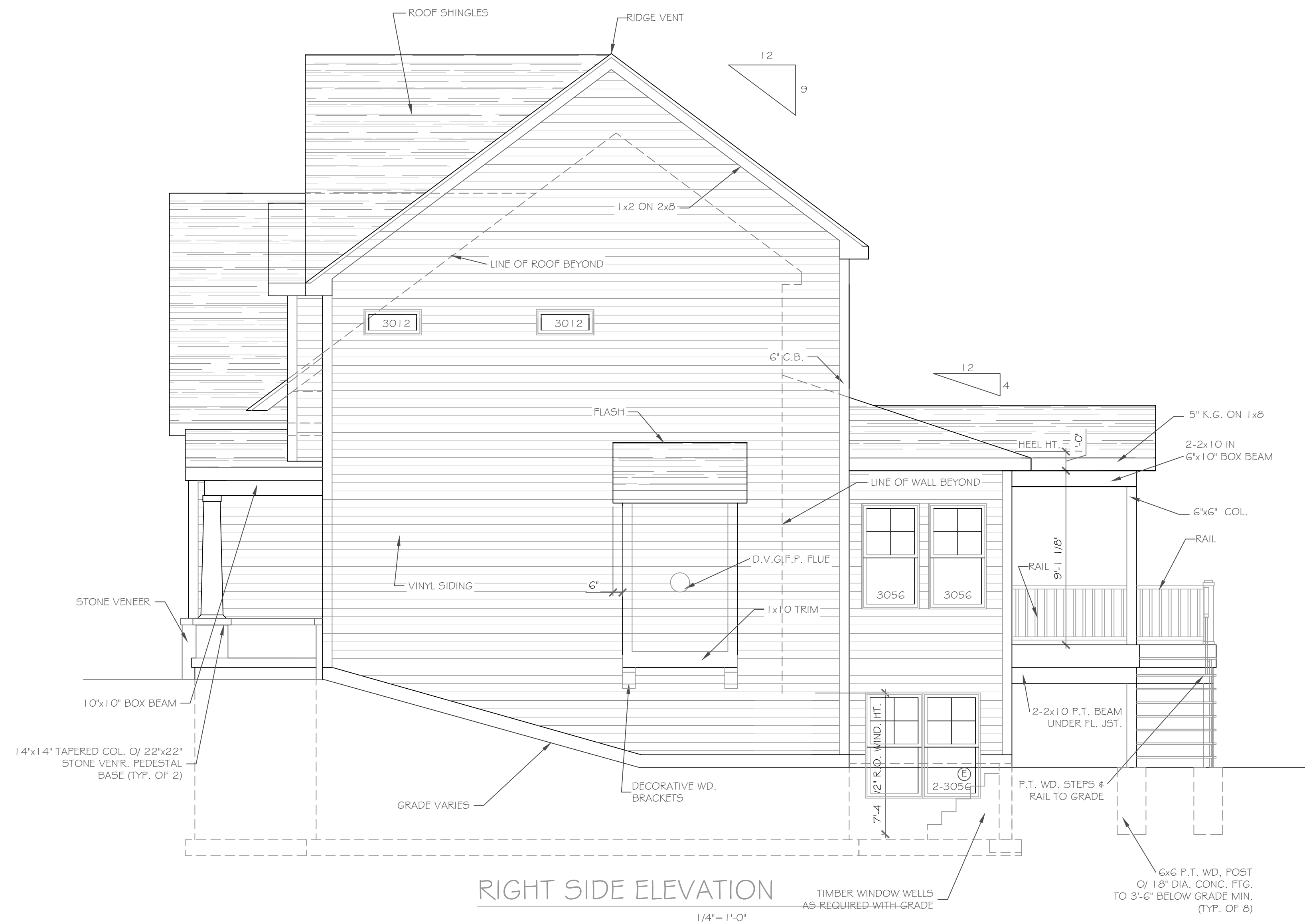
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802, I 1, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2710 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- E : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION 1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations	PHASE- Construction Documents

PROJECT- Lot 16P, Wilshire Hill Pittsford, New York	DATE- February 2021
CLIENT- Pride Mark Homes	JOB NO.- A21-015

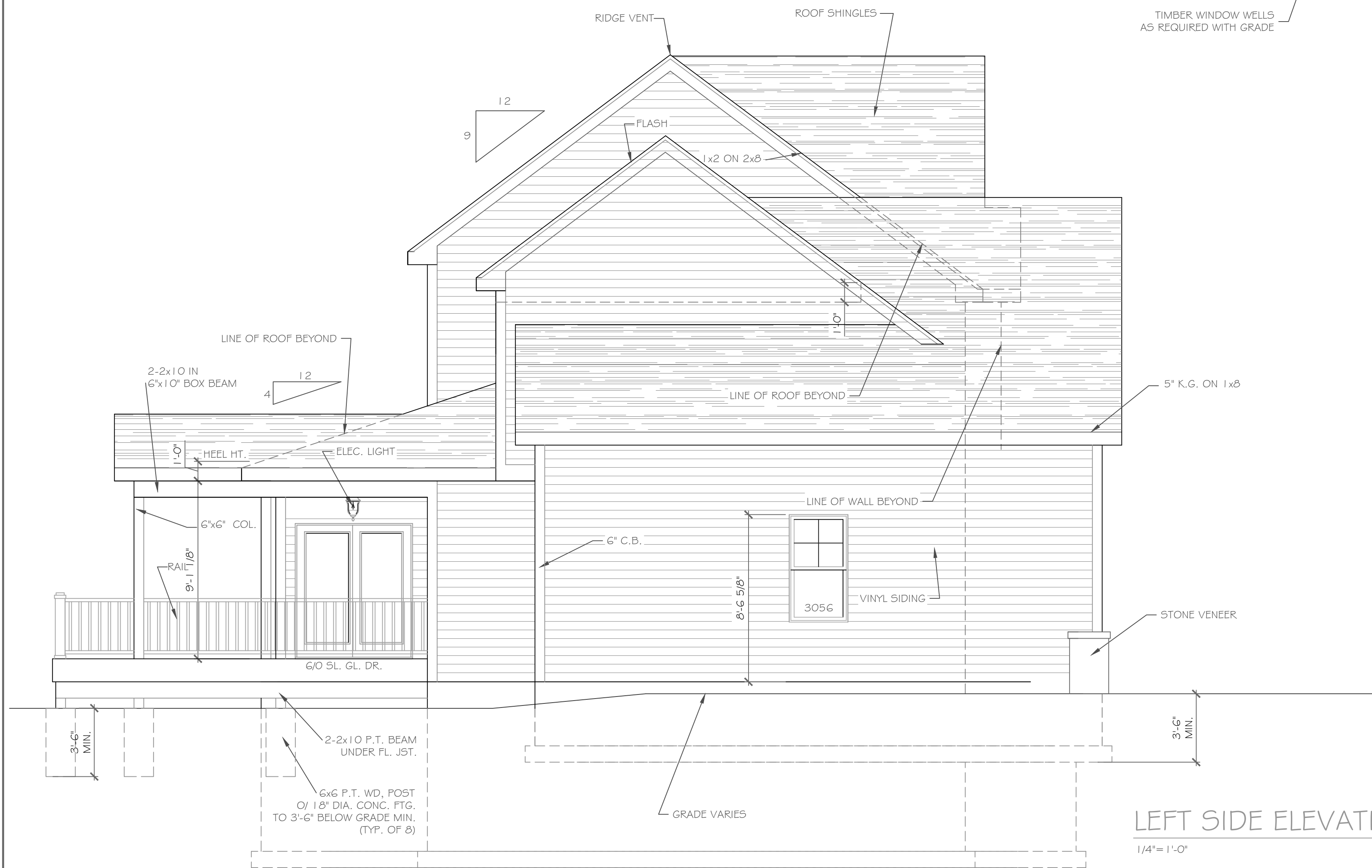
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail-CKHennessey@frontiernet.net

DRAWING NO.-
A-1



REAR ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

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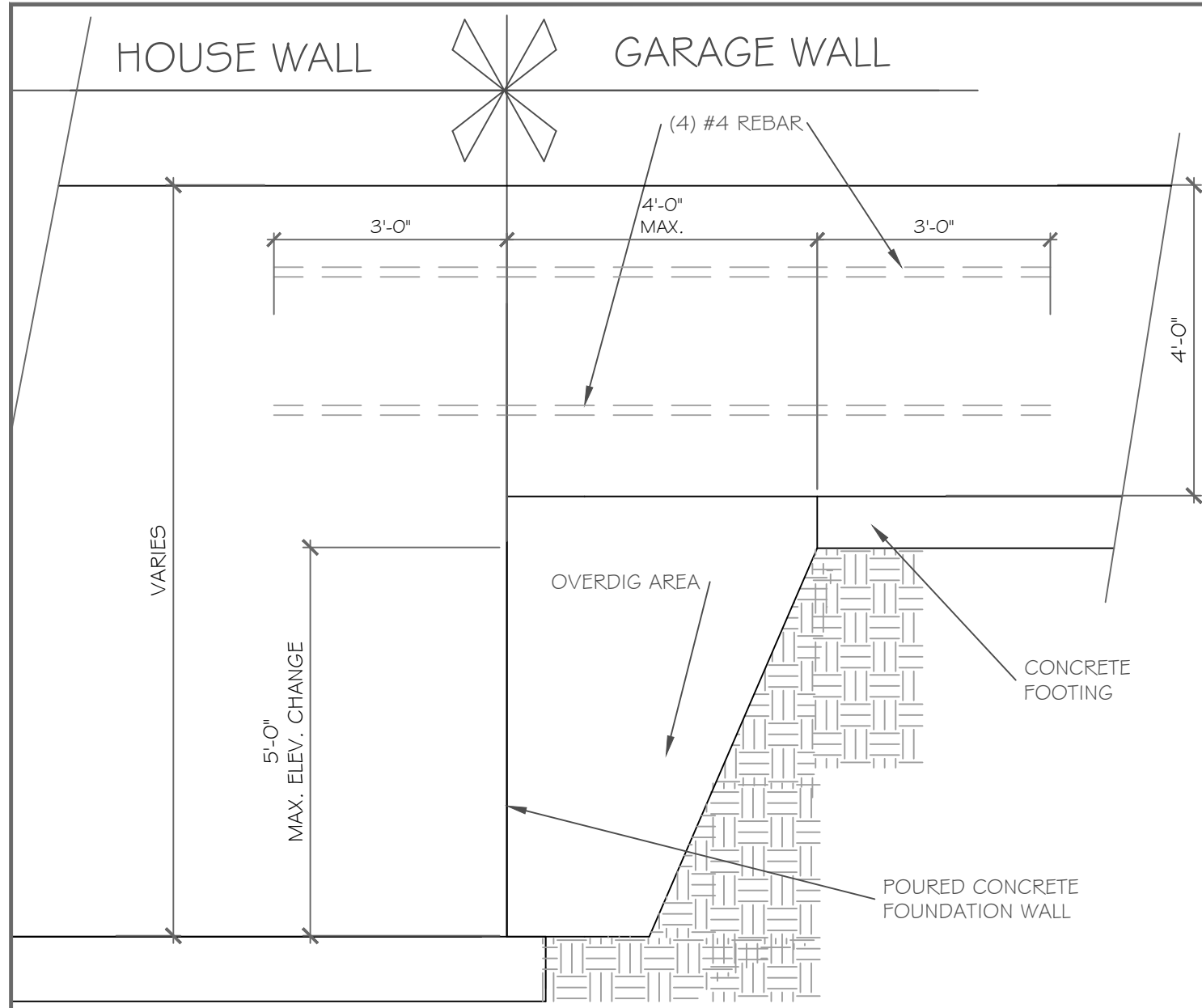
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations	PHASE- Construction Documents

PROJECT- Lot 16P, Wilshire Hill Pittsford, New York	DATE- February 2021
CLIENT- Pride Mark Homes	JOB NO.- A21-015

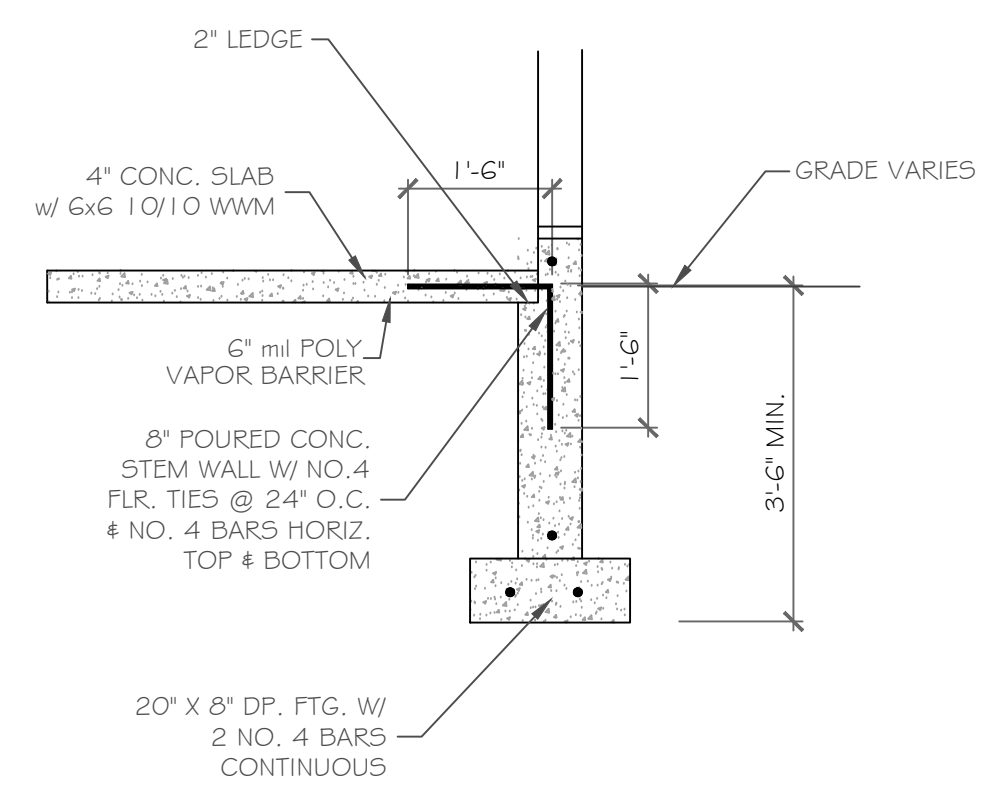
CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone-(585) 249-1334
 e-mail-CKHennessey@frontiernet.net

DRAWING NO.-
A-6



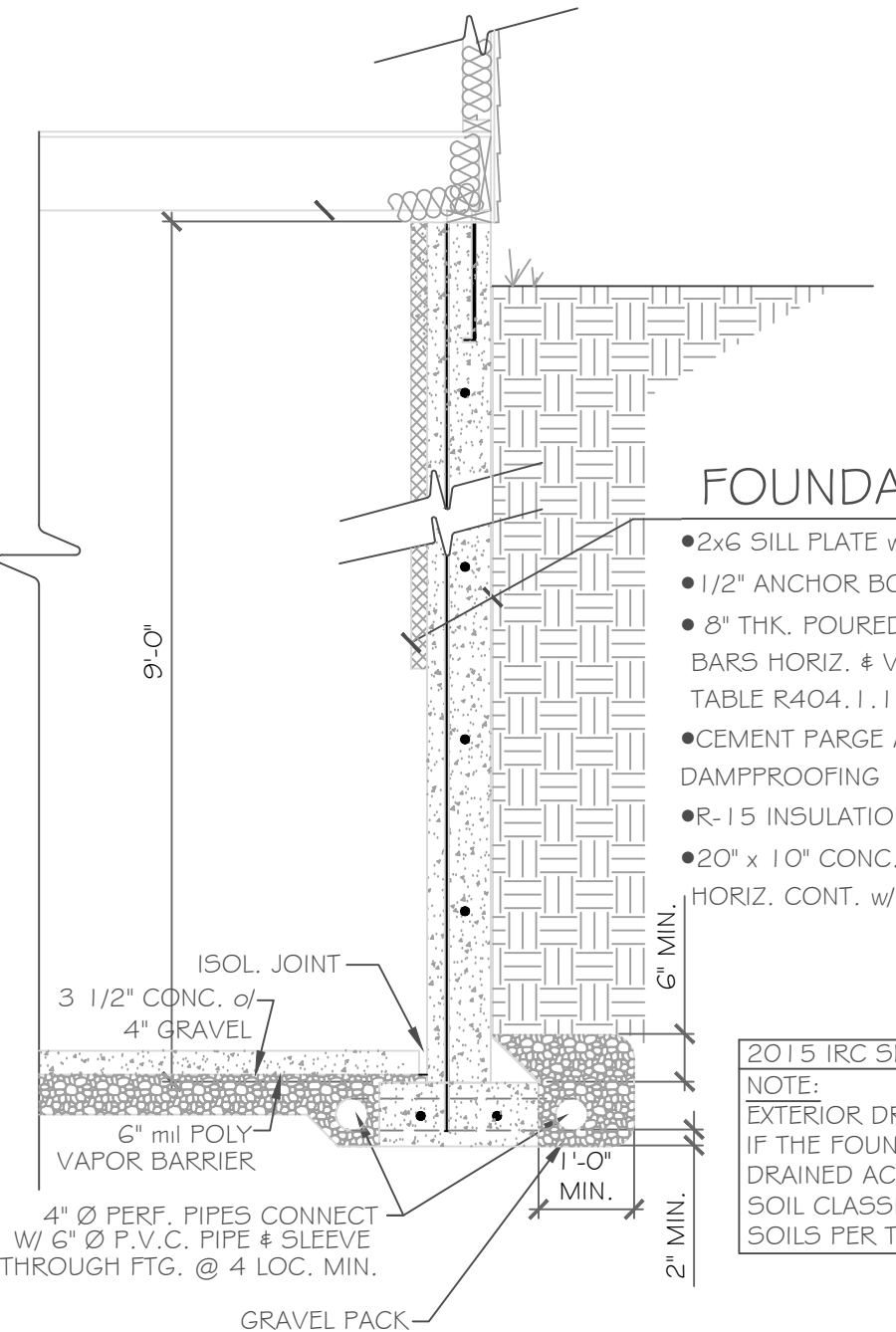
POURED WALL JUMP FOOTING DETAIL

SCALE: 1/2" = 1'-0"



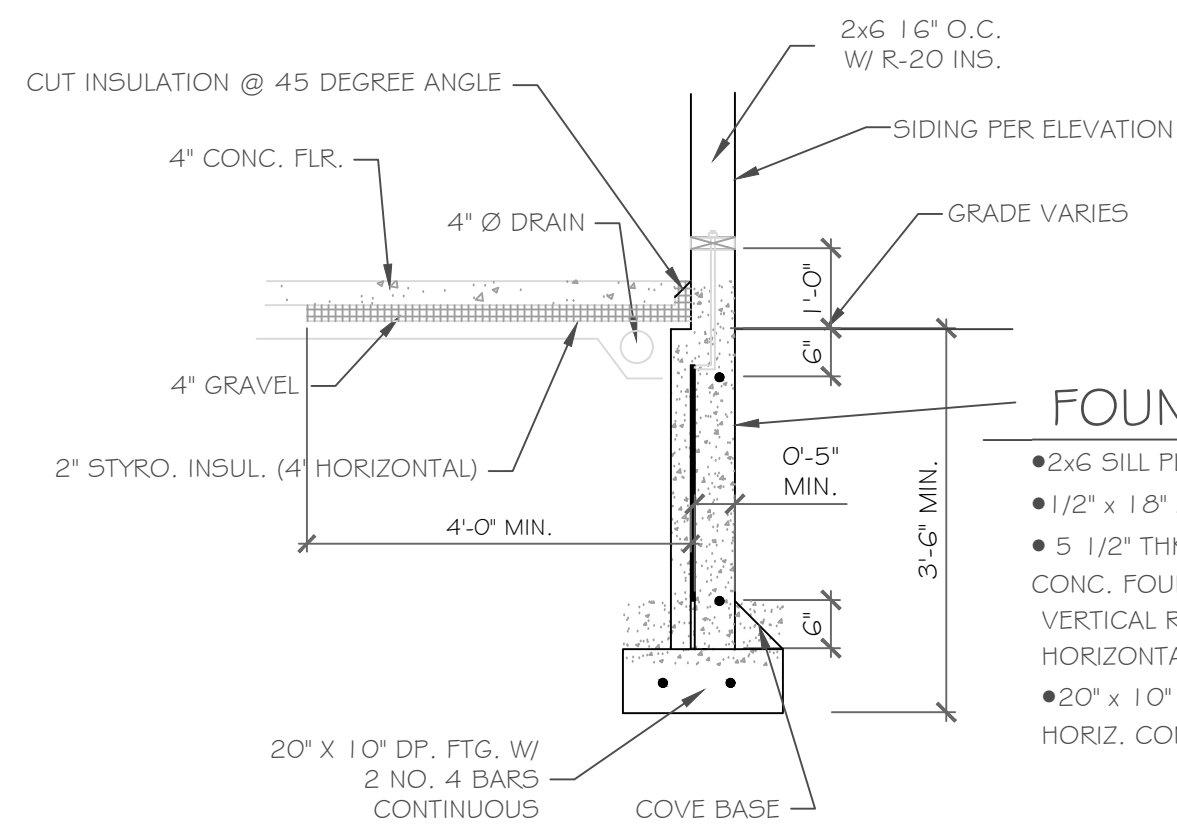
GARAGE WALL DETAIL

SCALE: 1/2" = 1'-0"



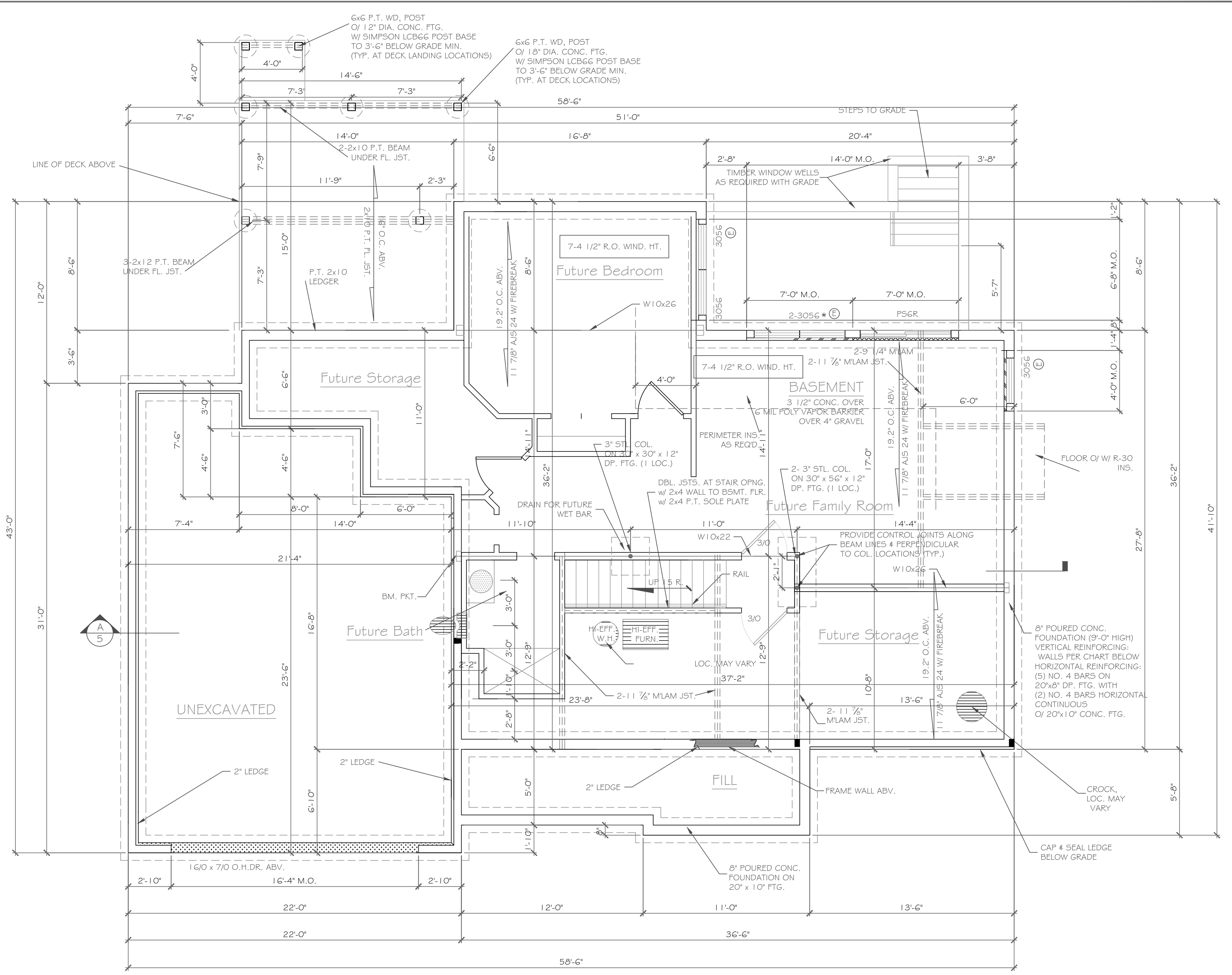
TYPICAL POURED WALL DETAILS

SCALE: 1/2" = 1'-0"



WALKOUT w/ 2x6 FRAME WALL DETAIL

SCALE: 1/2" = 1'-0"



BASEMENT & FOUNDATION PLAN

1/4" = 1'-0"

NOTE:
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE w/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. BLK. LEGEND:

[Pattern]	ELEV. = 0'
[Pattern]	ELEV. = (-) 8'
[Pattern]	ELEV. = (-) 1'-4"
[Pattern]	ELEV. = (-) 7'-0"
[Pattern]	ELEV. = (-) 9'-0"

PARTIAL TABLE R404.1.2(B)
 NOMINAL FLAT BASEMENT WALLS (p,c,d,e,f,h,i,k,n,o.)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING(INCHES)			
		Soil classes(a) & design lateral soil (psf per foot of depth)	Soil classes(a) & design lateral soil (psf per foot of depth)	Soil classes(a) & design lateral soil (psf per foot of depth)	Soil classes(a) & design lateral soil (psf per foot of depth)
9	4	NR	NR	NR	NR
	5	NR	NR(1)	NR	NR
	6	NR (1)	NR	#6 at 39" o.c.	#6 at 38" o.c.
	7	NR	#5 at 37" o.c.	#6 at 38" o.c.	#6 at 29" o.c.
	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 29" o.c.	#6 at 23" o.c.

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
 c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3, 3.7.6 and Table R404.1.2(D).
 d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
 e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
 f. Interpolation is not permitted.
 h. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
 i. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
 k. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote i or m.
 l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
 n. See Table R403.3 for tolerance from nominal thickness permitted for flat walls.
 o. The use of this Table shall be prohibited for soil classifications not shown.

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REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PHASE:
 Construction Documents

PROJECT:
 Lot 16P, Wilshire Hill
 Pittsford, New York

CLIENT:
 Pride Mark Homes

DATE:
 February 2021

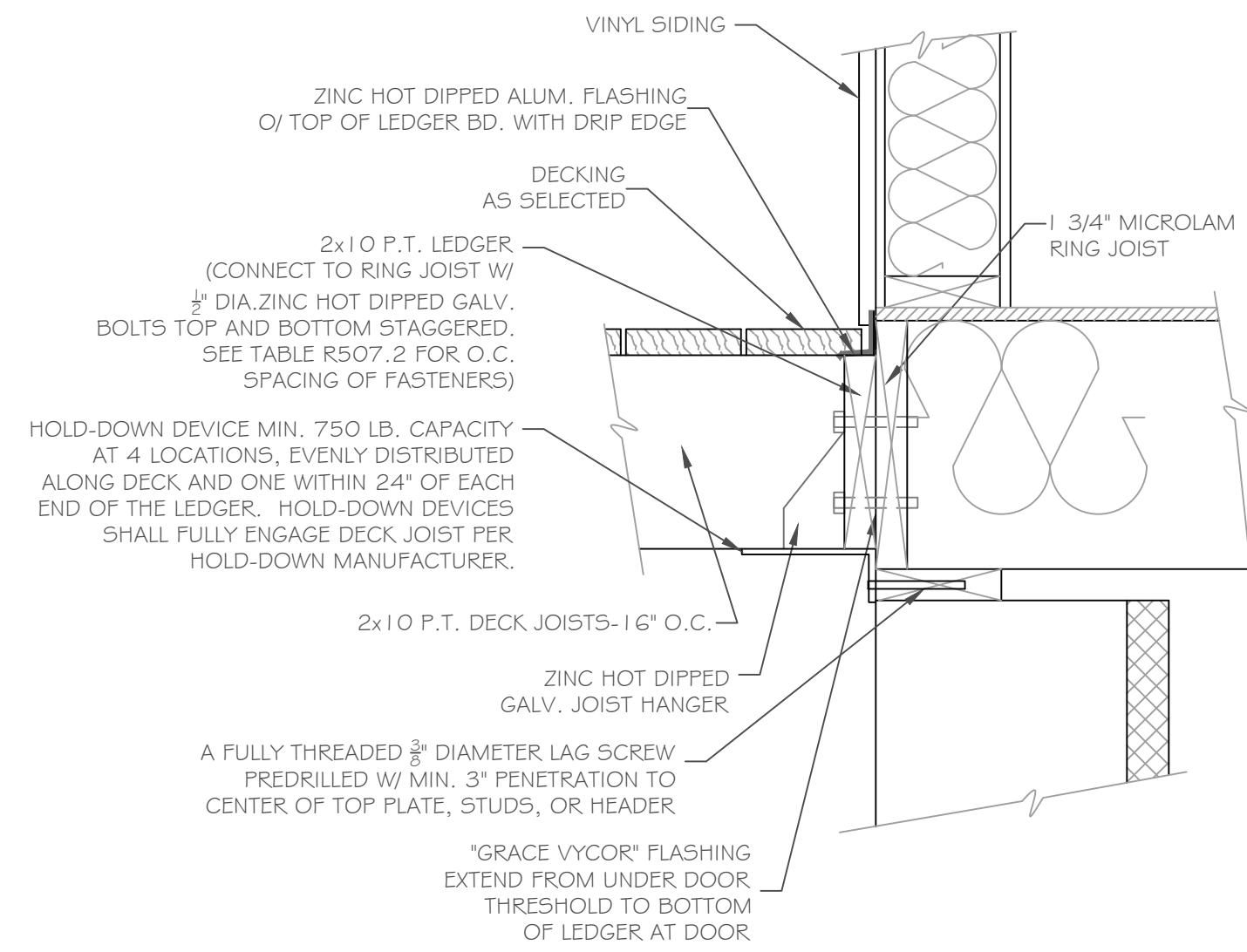
JOB NO.:
 A21-015

CKH architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.:
 A-2

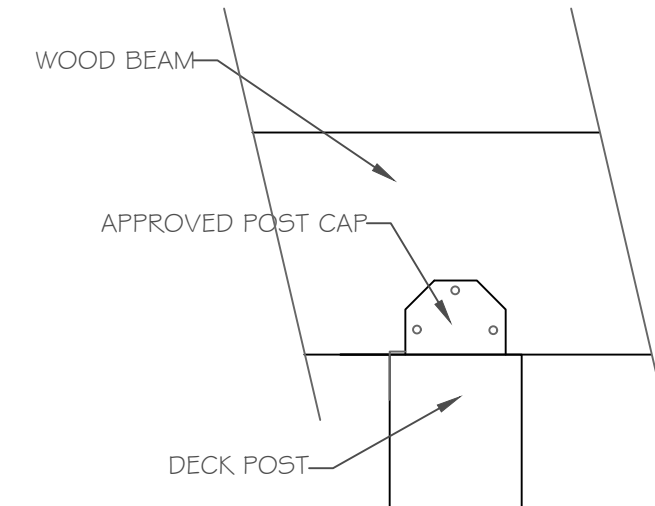
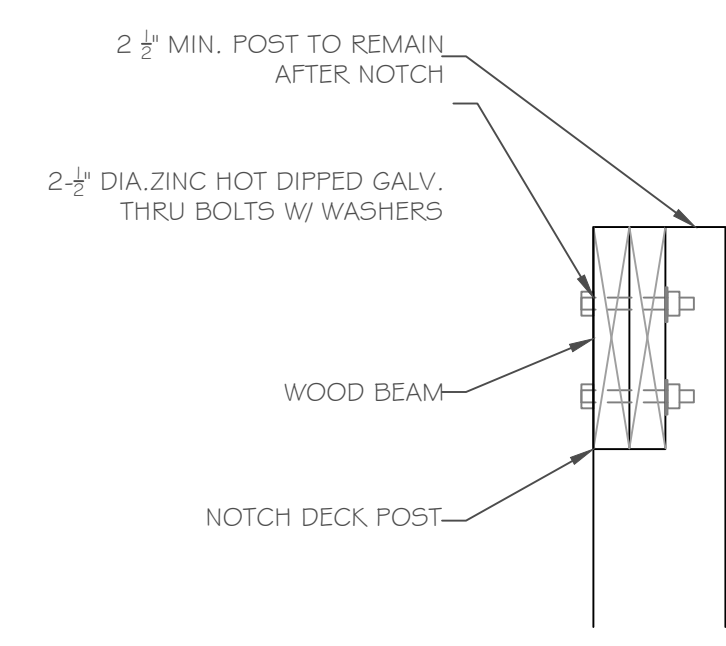
DECK CONNECTION TO DWELLING

SCALE: 1 1/2" = 1'-0"



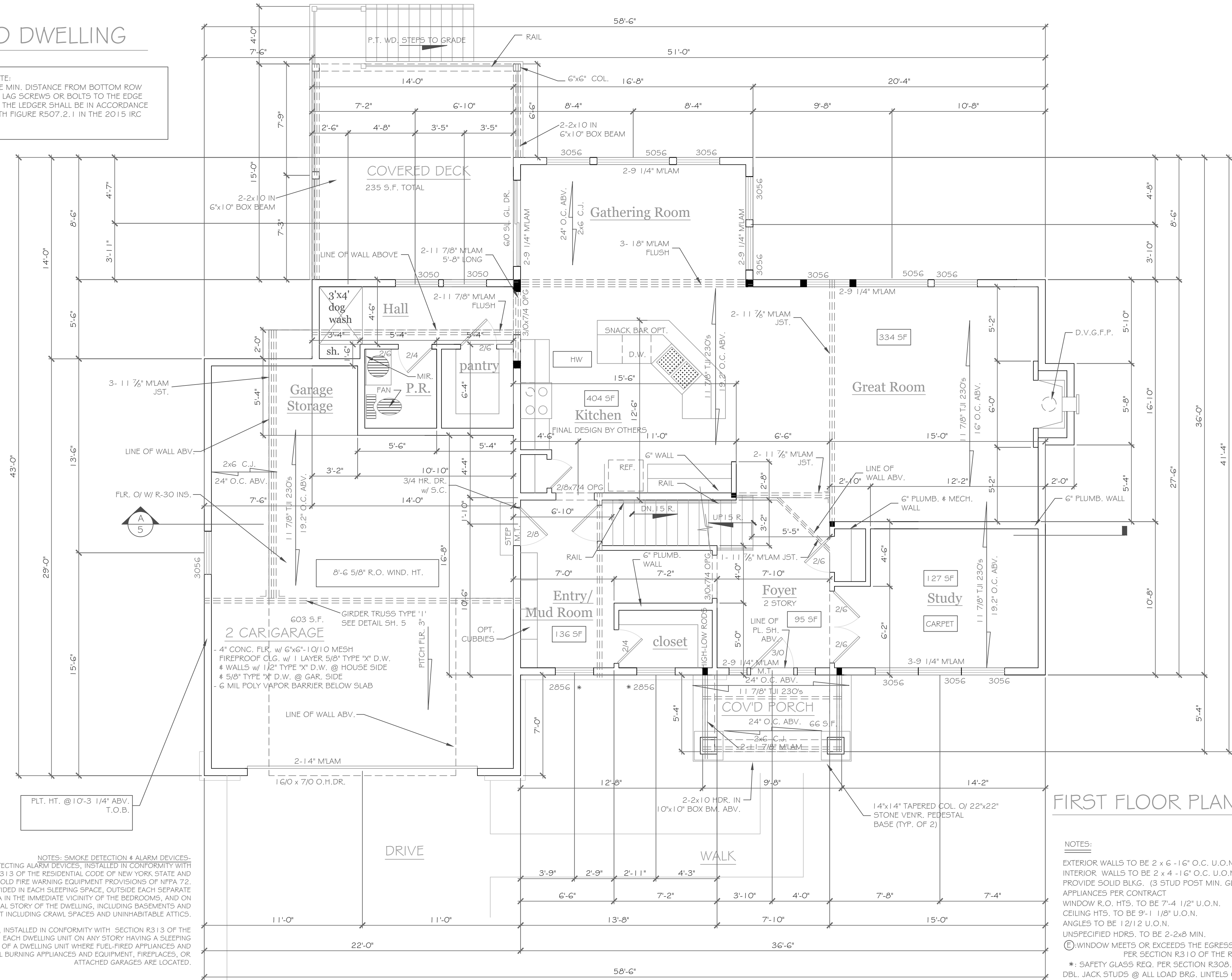
NOTE: THE MIN. DISTANCE FROM BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH FIGURE R507.2.1 IN THE 2015 IRC

NOTE: DECK BEAMS SHALL BE ATTACHED TO DECK POSTS IN ACCORDANCE WITH R507.7.1 OF THE 2015 IRC



DECK BEAM TO DECK POST DETAIL

SCALE: 1 1/2" = 1'-0"



FIRST FLOOR PLAN 1296 S.F.

1/4" = 1'-0"

NOTES:
 EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
 PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
 APPLIANCES PER CONTRACT
 WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 ANGLES TO BE 12/12 U.O.N.
 UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
 WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES - SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plan

PROJECT:
**Lot 16P, Wilshire Hill
 Pittsford, New York**

CLIENT:
Pride Mark Homes

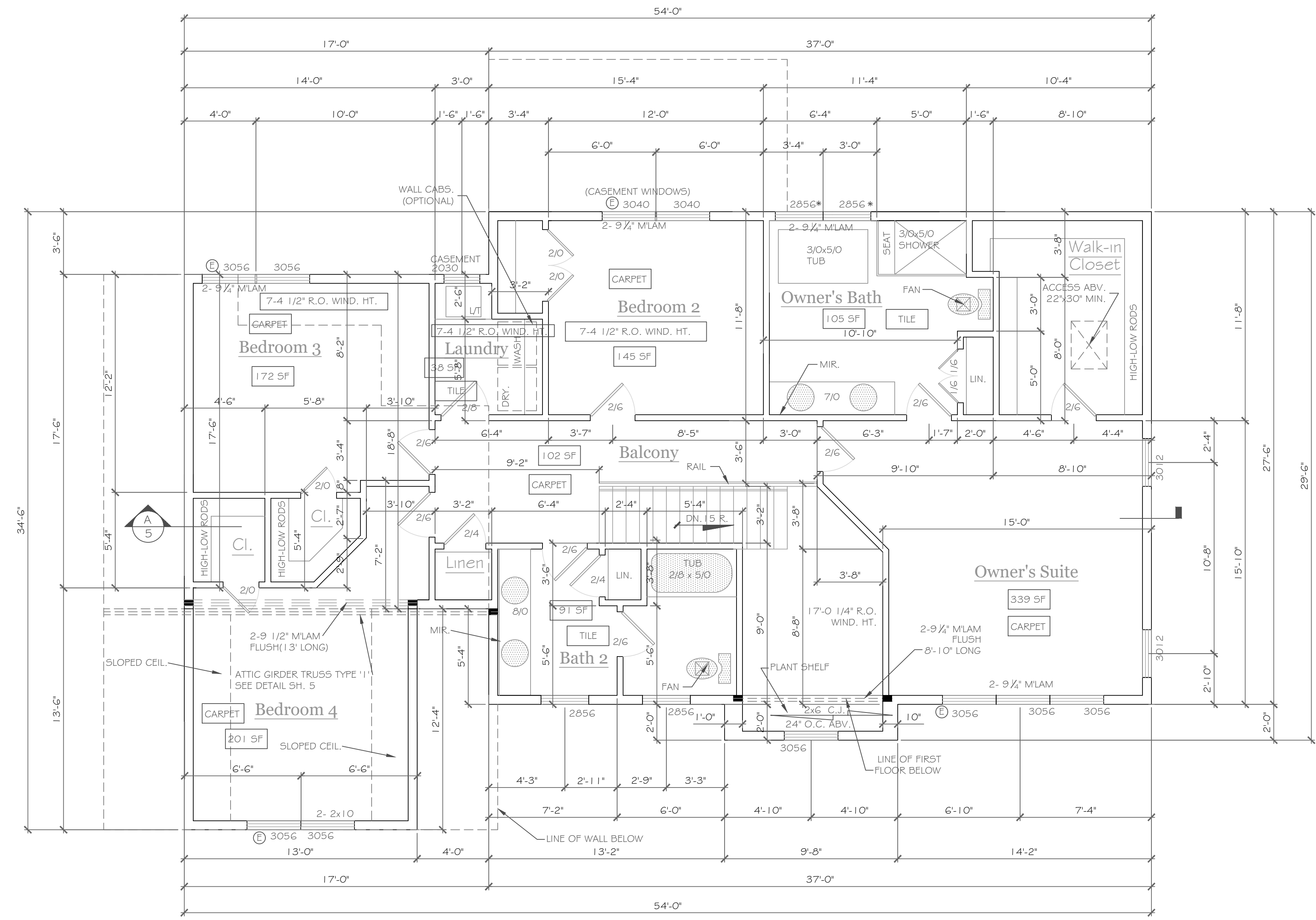
JOB NO. -
A21-015

DATE:
February 2021

PHASE:
Construction Documents

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-3



SECOND FLOOR PLAN 1414 S.F.
1/4" = 1'-0"

NOTE:
 EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
 PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■
 AFFLUANCES PER CONTRACT
 WINDOW R.O. HTS. TO BE 6'-10 1/2" U.O.N.
 CEILING HTS. TO BE 8'-1 1/8" U.O.N.
 ANGLES TO BE 1/2" U.O.N.
 UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
 (C) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Second Floor Plan

PHASE:
 Construction Documents

PROJECT:
 Lot 16P, Wilshire Hill
 Pittsford, New York

CLIENT:
 Pride Mark Homes

JOB NO. -
 A21-015

DATE:
 February 2021

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

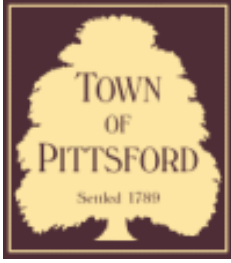
DRAWING NO. -
A-4





19 LEXTON WAY





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000003

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC (Adelita's Mexican Cocina & Tequila)

Applicant: Vital Signs

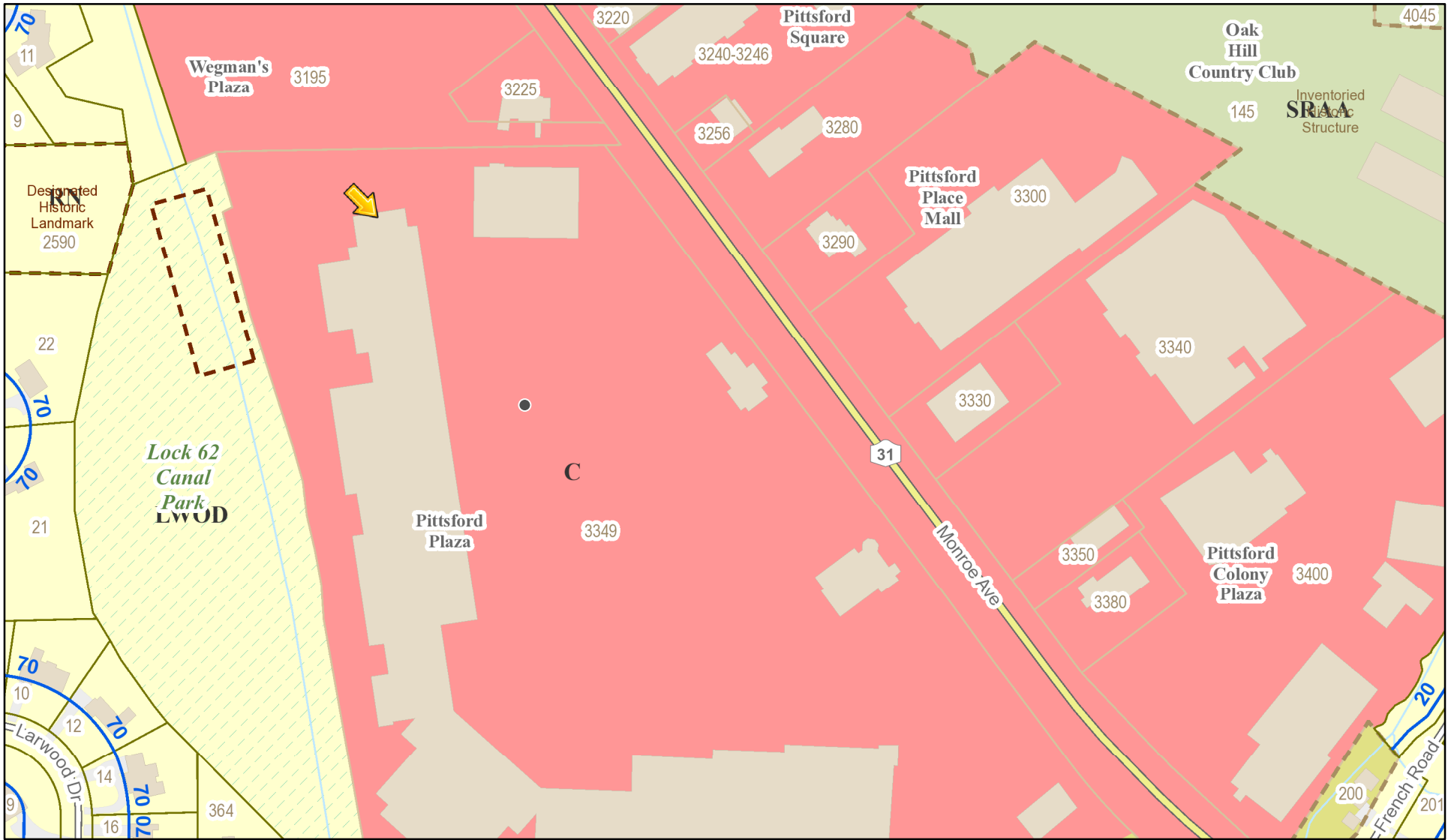
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

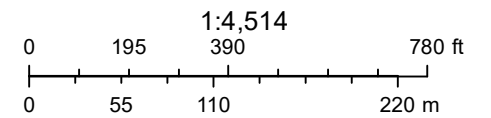
Project Description: Applicant is requesting design review for the addition of two business identification signs. The front sign will be approximately 73.3 square feet and the sign on the side of the building will be approximately 48.3 square feet. Both signs will identify the "Adelita's Mexican Cocina & Tequila" Restaurant.

Meeting Date: March 11, 2021

RN Residential Neighborhood Zoning



Printed March 4, 2021



Town of Pittsford GIS

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Unnamed Street

Unnamed Street

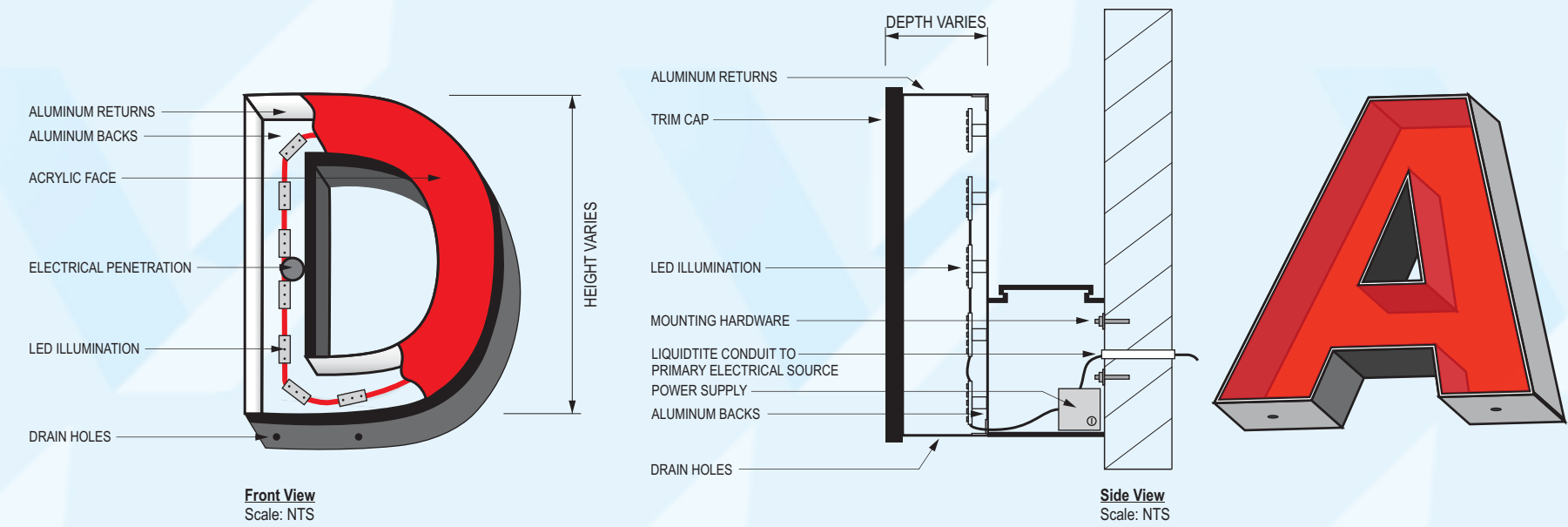
Unnamed Street

3349

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ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC. UNLESS OTHERWISE STATED



- 43.50\"X48.00\" LED ILLUMINATED CABINET
- Standard channel letters mounted to raceway.
Red Translucent faces, black trim cap, black returns to Medium Grey raceway.
White LED Illumination
- 104\"X9\" ILLUMINATED CABINET OR NON-ILLUMINATED SIGN PANEL



SAMPLES
 FABRICATED AND
 INSTALLED
 BY VITAL SIGNS.



764 Ridge Rd Webster, New York 14580
 Phone: 585-787-4256 Fax: 585-347-4290

Client:
 Caesar / Adelits Mexican Cocina

Location:
 3349 Monroe Avenue

Start Date:

Revisions:

Job#:

Drawing#: V.5

Page:

For proofing only. Colors and content are for proofing only and are representations of the actual finished product. Graphic locations may need to be adjusted to fit actual; Store front / Vehicle / Existing Sign Faces / Commercial Properties.

Please proof thoroughly for spelling, colors, content and placement. If revisions are required please note and fax back. IF APPROVED PLEASE SIGN BELOW.

Sales Rep:
AC

Designer:
RD

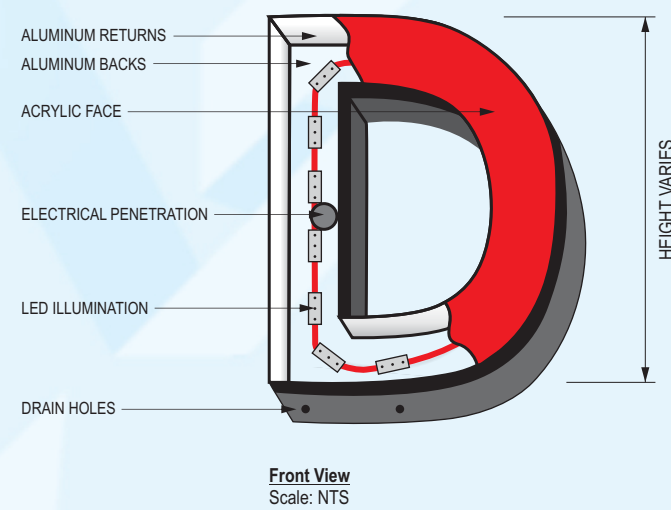
●-----
 CLIENT APPROVAL - SIGNATURE REQUIRED

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ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC. UNLESS OTHERWISE STATED

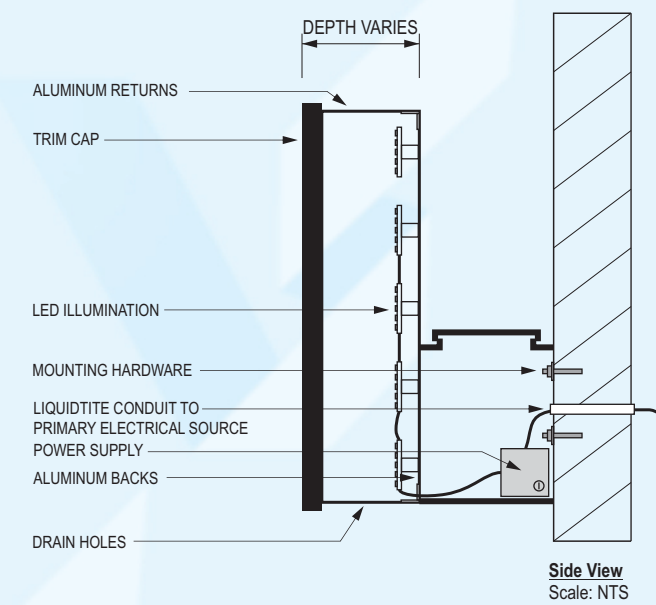


Standard channel letters mounted to raceway.
 Red Translucent faces, black trim cap, black returns to match black raceway.
 White LED Illumination

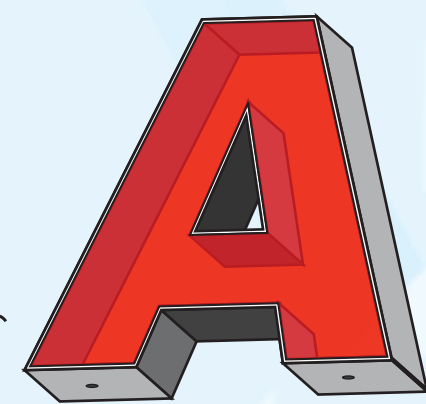
104"X9" ILLUMINATED CABINET OR NON-ILLUMINATED SIGN PANEL



Front View
Scale: NTS



Side View
Scale: NTS



SAMPLES
 FABRICATED AND
 INSTALLED
 BY VITAL SIGNS.



764 Ridge Rd Webster, New York 14580
 Phone: 585-787-4256 Fax: 585-347-4290

Client:
 Caesar / Adelits Mexican Cocina

Location:
 3349 Monroe Avenue

Start Date:

Revisions:

Job#:

Drawing#: V.4

Page:

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 ● CLIENT APPROVAL - SIGNATURE REQUIRED

Sales Rep:

AC

Designer:

RD