Design Review & Historic Preservation Board
Agenda
February 14, 2019

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS FOR REVIEW

- **52 Wren Field Lane**
  The Applicant is requesting design review for the addition of a 319 sq. ft. three-season room with a storage area beneath.

- **3 & 5 Greenpoint Trail**
  The Applicant is requesting design review for the proposed construction of a new townhome dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 33 (#5 Greenpoint) will be 1893 sq. ft. and Lot 34 (#3 Greenpoint) will be 1907 sq. ft.

- **259 Tobey Road**
  The Applicant is requesting design review for the construction of a 1959 sq. ft. one-story single family home.

COMMERCIAL APPLICATION FOR REVIEW

- **957 Panorama Trail South**
  The Applicant is requesting design review for the addition of a business identification sign. The sign will be a 16 sq. ft. brushed aluminum frame with white acrylic inserts and will identify the "Harris Insights & Analytics LLC" business.

OTHER – REVIEW OF 1/25/2019 MINUTES

Draft

Design Review and Historic Preservation Board
Minutes
January 24, 2019

PRESENT
Bonnie Salem, Paul Whitbeck, John Mitchell, Kathleen Cristman, David Wigg; Vice Chairman

ALSO PRESENT
Stephanie Townsend, Town Board liaison; Robert Koegel, Town Attorney; Mark Lenzi, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT
Dirk Schneider, Chairman; Leticia Fornataro

HISTORIC PRESERVATION DISCUSSION

The Board reviewed a letter drafted by Bonnie Salem designed to reach out to owners of inventoried properties. The brochure "Special Property to Historic Landmark" will be included in this mailing. Bonnie asked that Board members get back to her with any changes.

The reception meeting for owners of inventoried homes was also discussed. Kathleen Cristman and Bonnie worked on a time line for planning this event. It was suggested the event take place in May during Historic Preservation Month. Kathleen asked that the Board review and email her with comments to be discussed at the next meeting. It was requested that the reception discussion be placed on the agenda for the next few upcoming meetings.

CERTIFICATE OF APPROPRIATENESS

- **648 Mendon Road**
  The Applicant is requesting a Certificate of Appropriateness to demolish an existing accessory structure and to construct a new detached garage in the rear yard.

  David Wigg moved to open the Public Hearing.

  The homeowner, Stephen Smeulders, was present.

  Mr. Smeulders discussed how the present garage is too small to park two cars with room to exit the vehicles. A new, larger garage to be constructed will be built with a similar profile and materials consistent with others on the property. The current garage appears to have been a horse barn which was modified for use as a garage.

  Board members who had visited the site made note of the beams that are part of the current structure are deemed to be around 150 years old. These beams will be salvaged. The Board was in agreement that the foundation of the structure is "structurally inadequate". The Board felt the proposed design is a good solution to the needs of the owner and is appropriate to the other structures on this historical property.

  There was no public comment.

  David Wigg moved to close the Public Hearing and John Mitchell seconded.

  All ayes.

There was no further comment from the Board.

A resolution was moved by Board member, Bonnie Salem, seconded by Board member Paul Whitbeck, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Absent
David Wigg	Aye

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

a. All work is to be completed by January 31, 2021.
b. All materials including siding, shingles, doors, windows, and paint to be as submitted in application.

RESIDENTIAL APPLICATIONS FOR REVIEW

- **4 Sassafras Lane**
  The Applicant is requesting design review to construct a 99 sq. ft. first floor addition and 238 sq. ft. second floor addition.

  The architect for the project, David Waldarek, was present to discuss the application with the Board. The homeowner, Melissa Roland, was also present.

  Mr. Waldarek discussed how the property is located on a flag lot and cannot be seen from the roadway. The need for the additions are to accommodate the homeowner's growing family. Mr. Waldarek indicated that the materials for the siding, shutters and roof will match the existing.

  The Board felt that the additions are compatible with what is in the neighborhood.

  David Wigg moved to accept the application as submitted. Bonnie Salem seconded.

  All Ayes.

- **166 Mill Road**
  The Applicant is requesting design review to renovate the front entrance of an existing home.

  Paul Zachmann, homeowner and contractor, was present to discuss the application with the Board.

  The project will consist of the addition of a roof dormer being added over the existing front door. The doors will be changed out to a single front entry only. A cultured stone finishing may or may not be placed around the front entry. This entry is angled and is not particularly visible from the roadway.

  John Mitchell moved to accept the application as submitted with board and batten siding finish and an option for stone entry finish. Kathleen Cristman seconded.

  All Ayes.

- **1 Whitestone Lane**
  The Applicant is requesting design review for the construction of a 211 sq. ft. first floor addition and a 205 sq. ft. addition.

The architect, Paul Morabito, was present to review the application with the Board.

All exterior materials and windows will match the existing.

Kathleen Cristman moved to accept the application as submitted. Paul Whitbeck seconded.

All Ayes.

- **25 Hawkstone Way**
  The Applicant is requesting design review for the construction of a 2023 sq. ft. one-story single family home.

  Marie Kenton of Ketmar was present to discuss the application. She indicated that the colors of the new home will be in keeping with others in the neighborhood.

  Bonnie Salem moved to approve the application as submitted. John Mitchell seconded.

  All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **Cloverwood Senior Living**
  The Applicant is requesting design review for the construction of a senior living facility located at the southwest corner of Clover Street and Jefferson Road, site of the former Barn Bazaar.

  Glen Cooper of Friendly Senior Living, Rob Simonetti of SWBR and Tom Palumbo of Stantec were present.

  Project revisions were reviewed with the Board. The proposed twenty additional units (Phase II) nearest the Lusk home have been eliminated from the plan. Off the main "H" building, 6 units have been eliminated to bring the total number of units to 109. The building is lowered one story on the SE corner. Landscape plans are in development.

  It was explained that the design of the units presented are inspired by architectural elements found throughout the Town of Pittsford. The proposed colors will be grey/blue "winter" or "earth" tones to blend in with the surroundings. The base of the building will have a heavy stone look and the roof will have architectural, asphalt shingles. All units will have a balcony.

  This application will be held over for further input.

OTHER – REVIEW OF 1/10/2019 MINUTES

The minutes of the January 10, 2019 meeting were approved with one change.

All Ayes.

The meeting adjourned at 9:00 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B19-000019

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 52 Wren Field Lane PITTSFORD, NY 14534
Tax ID Number: 192.02-2-37
Zoning District: RN Residential Neighborhood
Owner: Labombarda, Michael N
Applicant: Polisseni Construction Co. Inc.

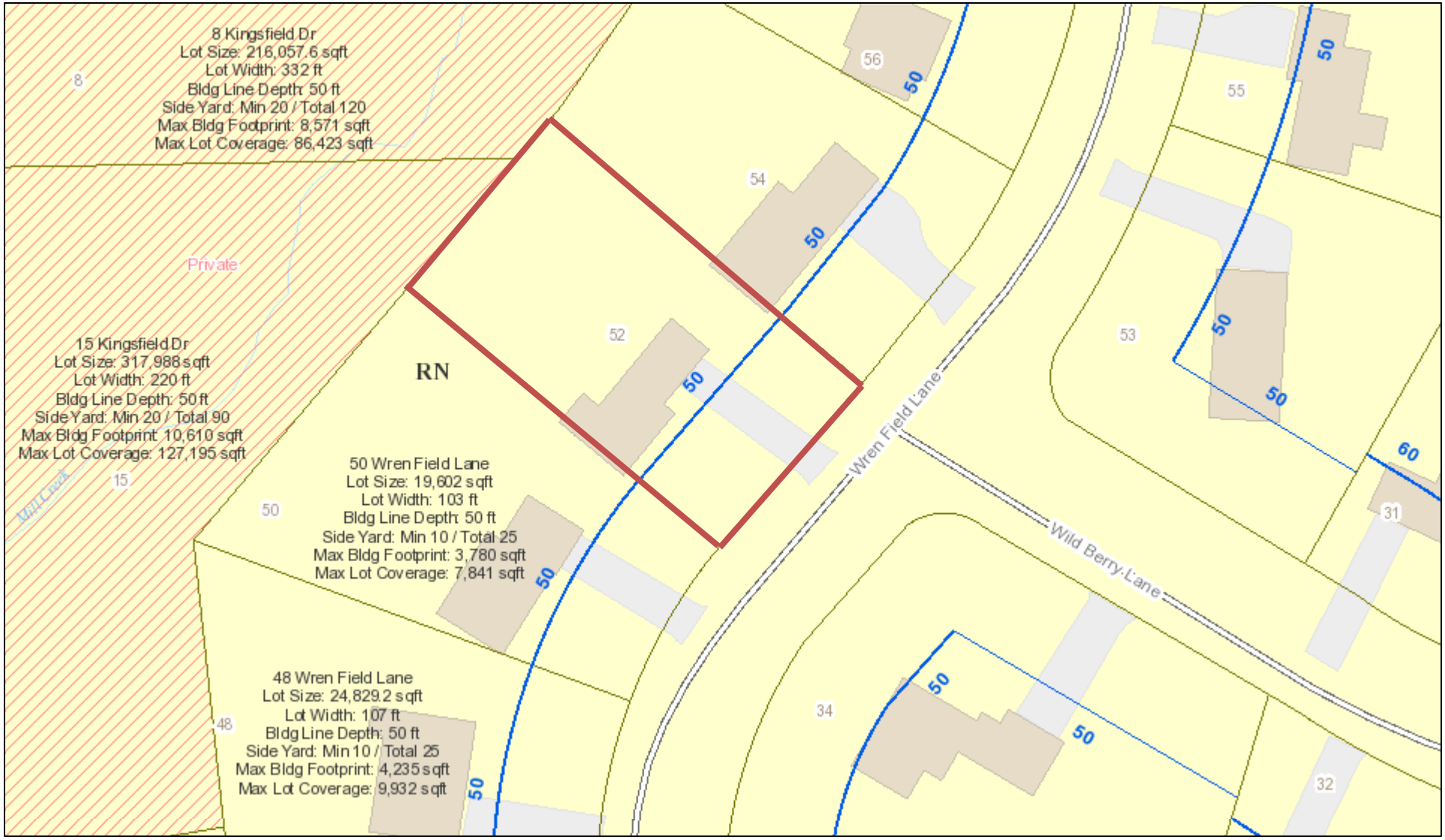
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a three season room. The three season room will be approximately 319 Sq. Ft. with a storage area beneath and will be located to the rear of the property.

Meeting Date: February 14, 2019

RN Residential Neighborhood Zoning



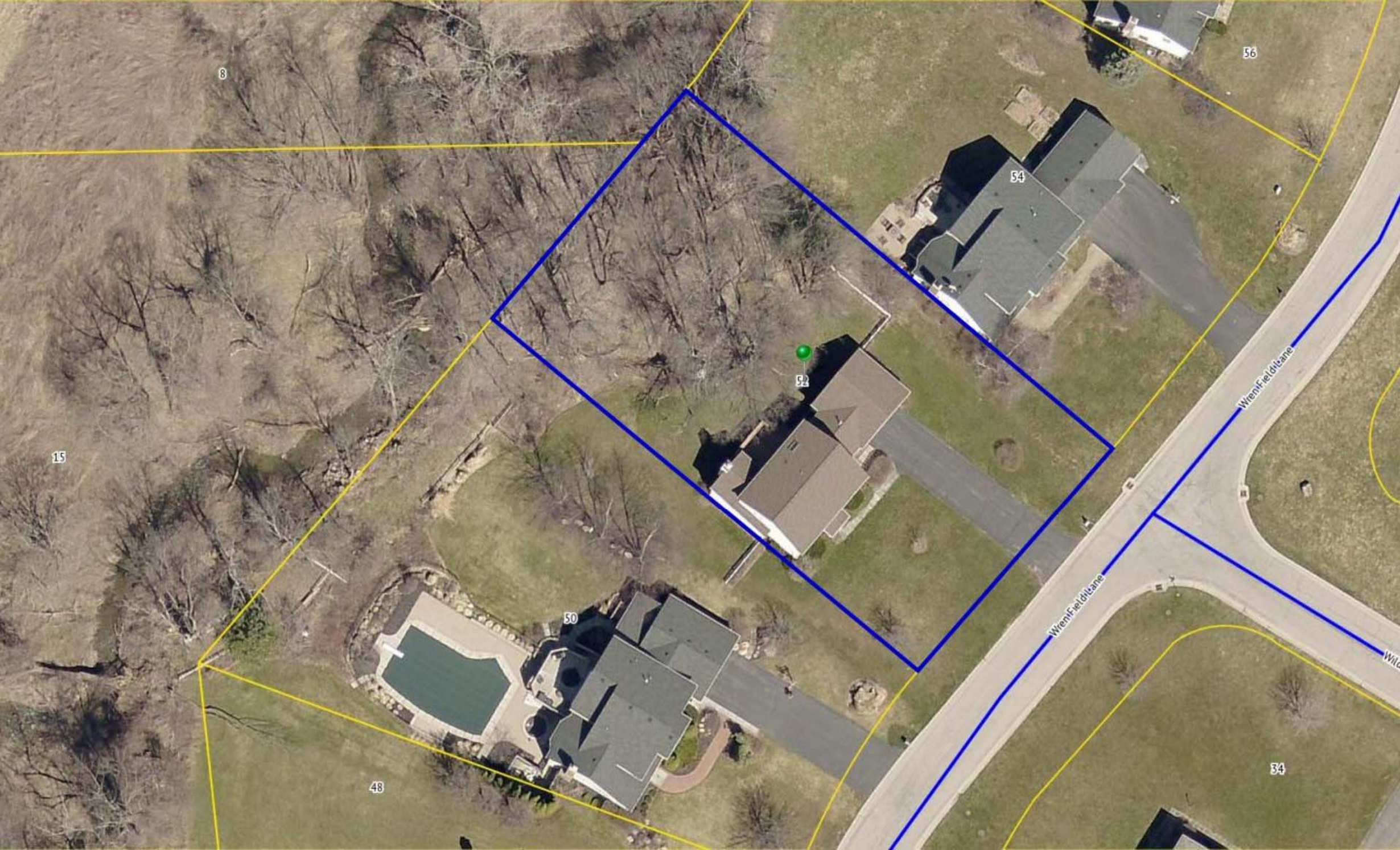
Printed February 7, 2019

1:1,128

0 45 90 180 ft

0 12.5 25 50 m

Town of Pittsford GIS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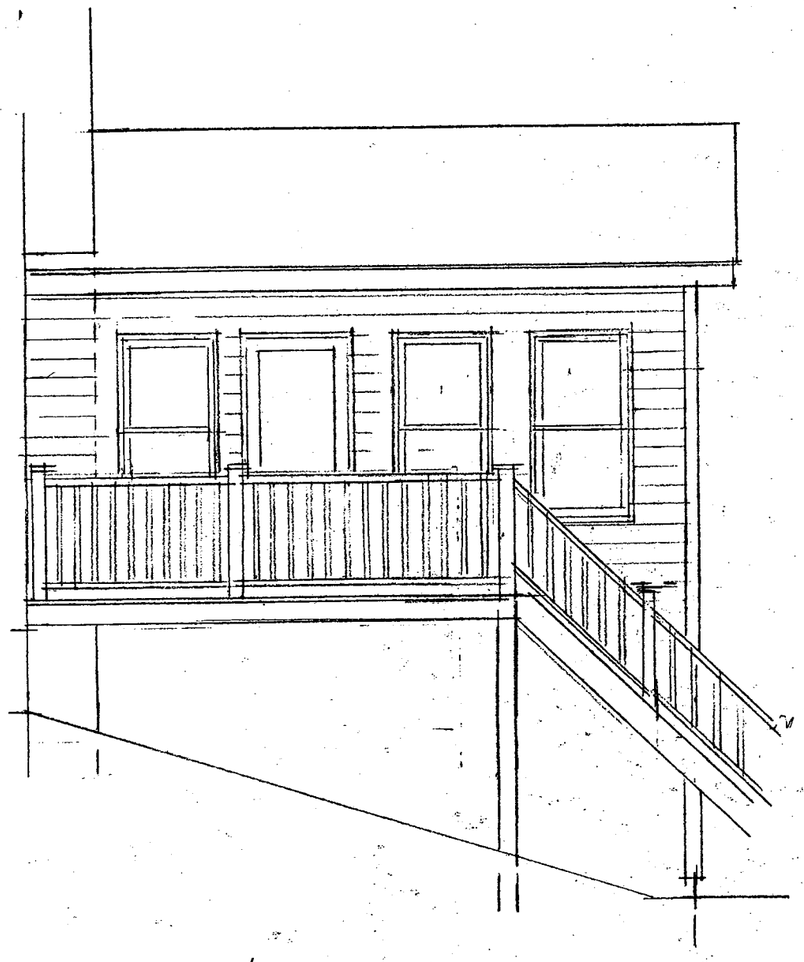
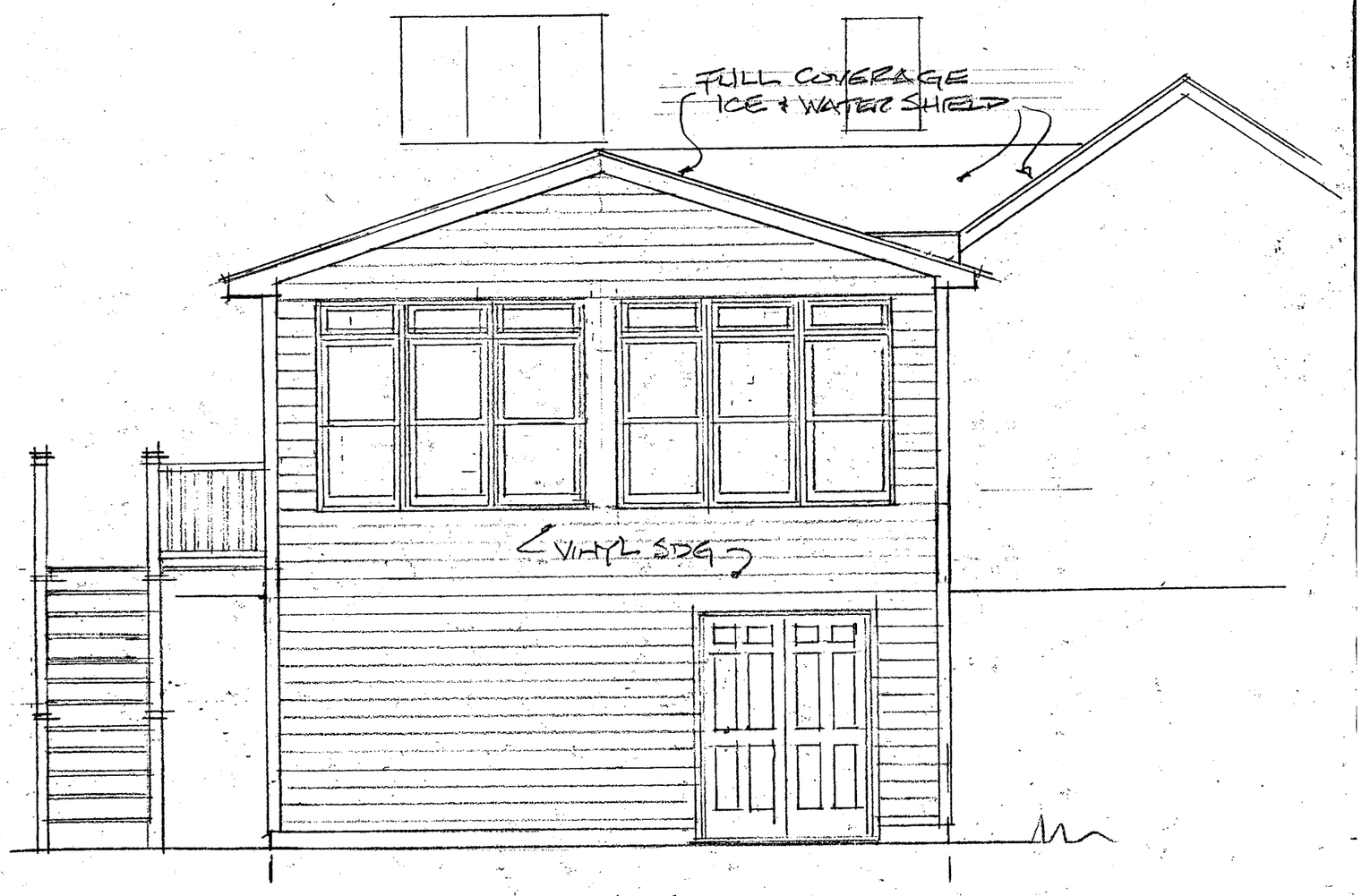
WrenFieldLane



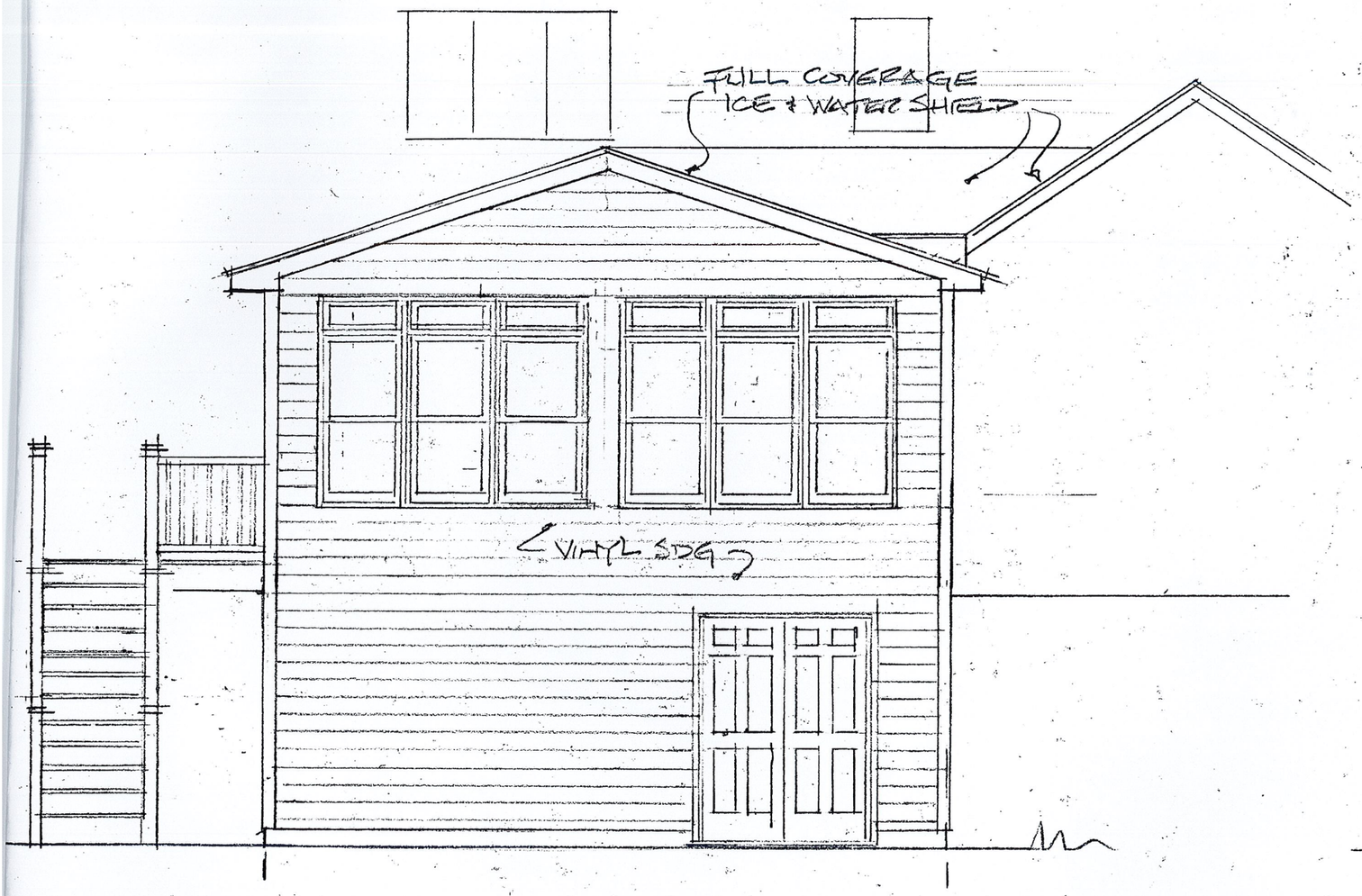
NORTH



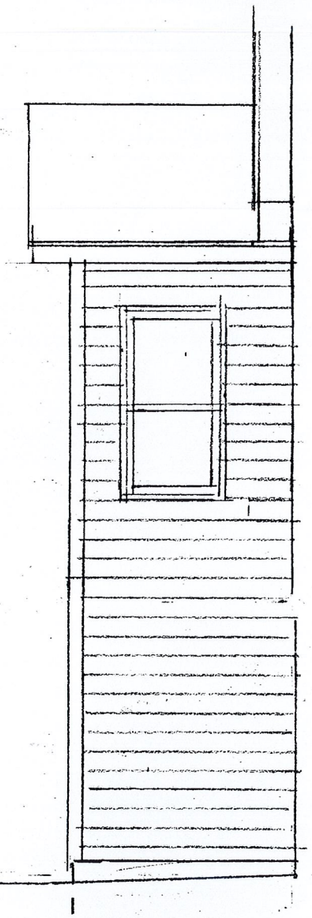
WEST

ELEVATIONS
1/4"=1'-0

1/4"=1'-0



WEST



SOUTH

LOMBOMBARDI
52 WREN FIELD
PITTSFORD

REV. 1.25.19
11.13.18

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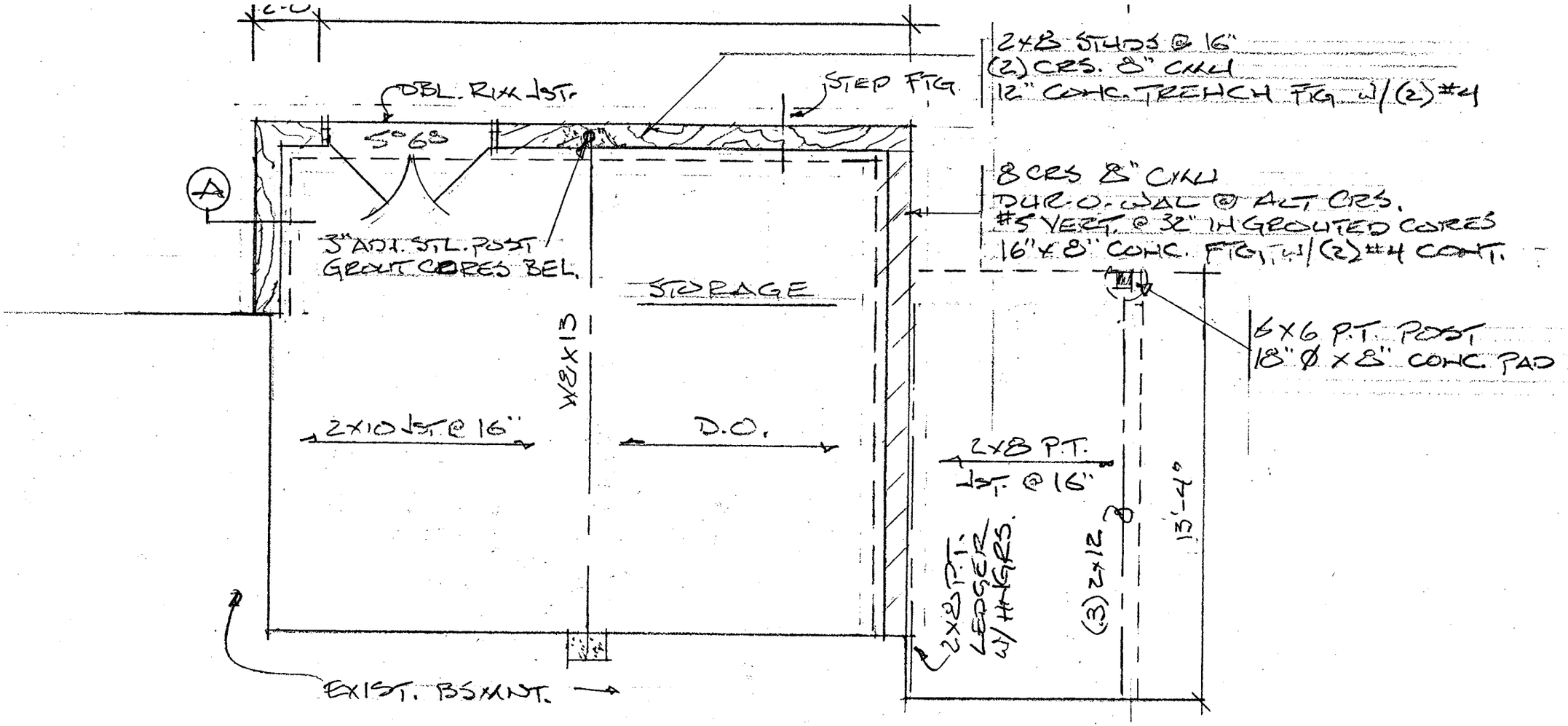
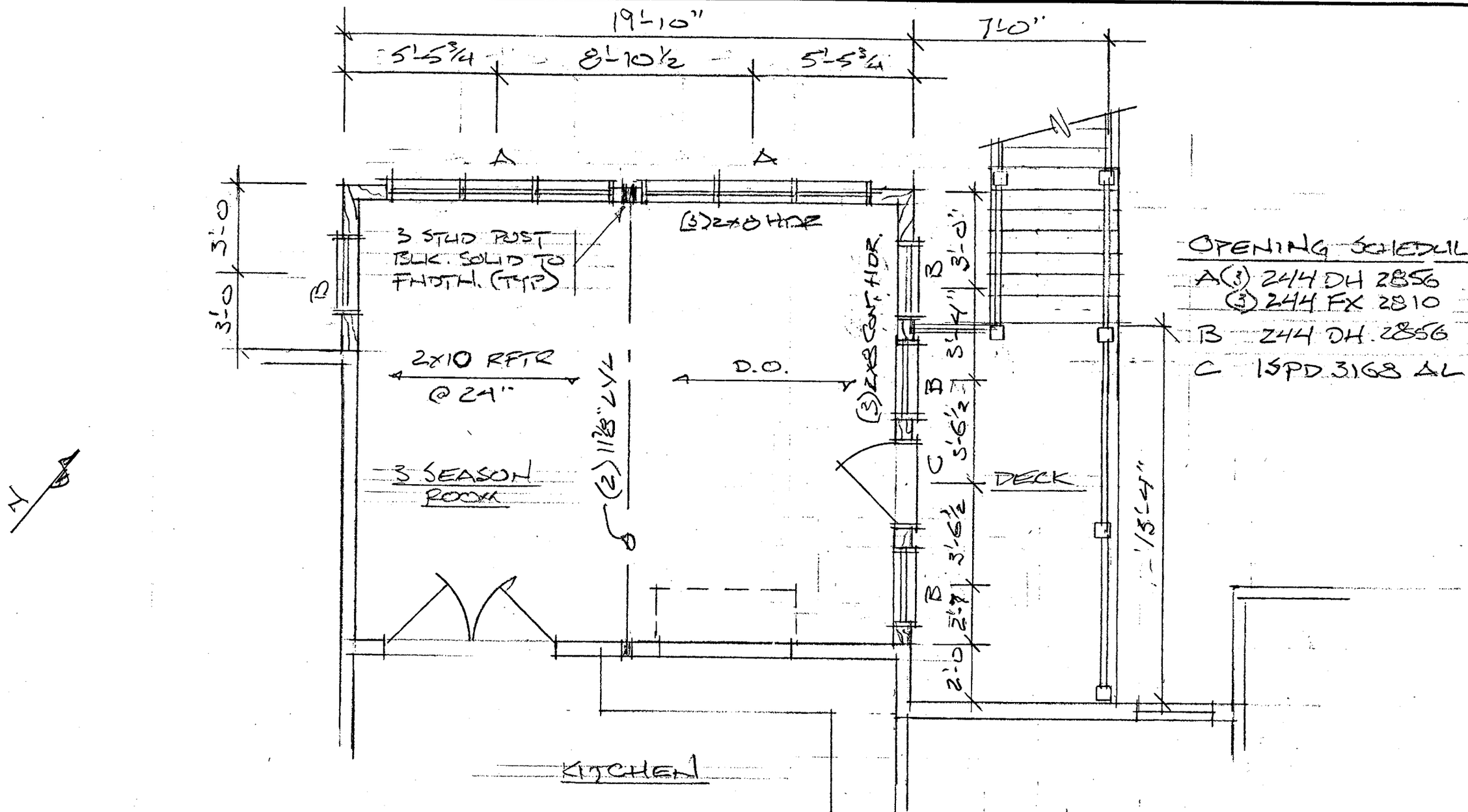


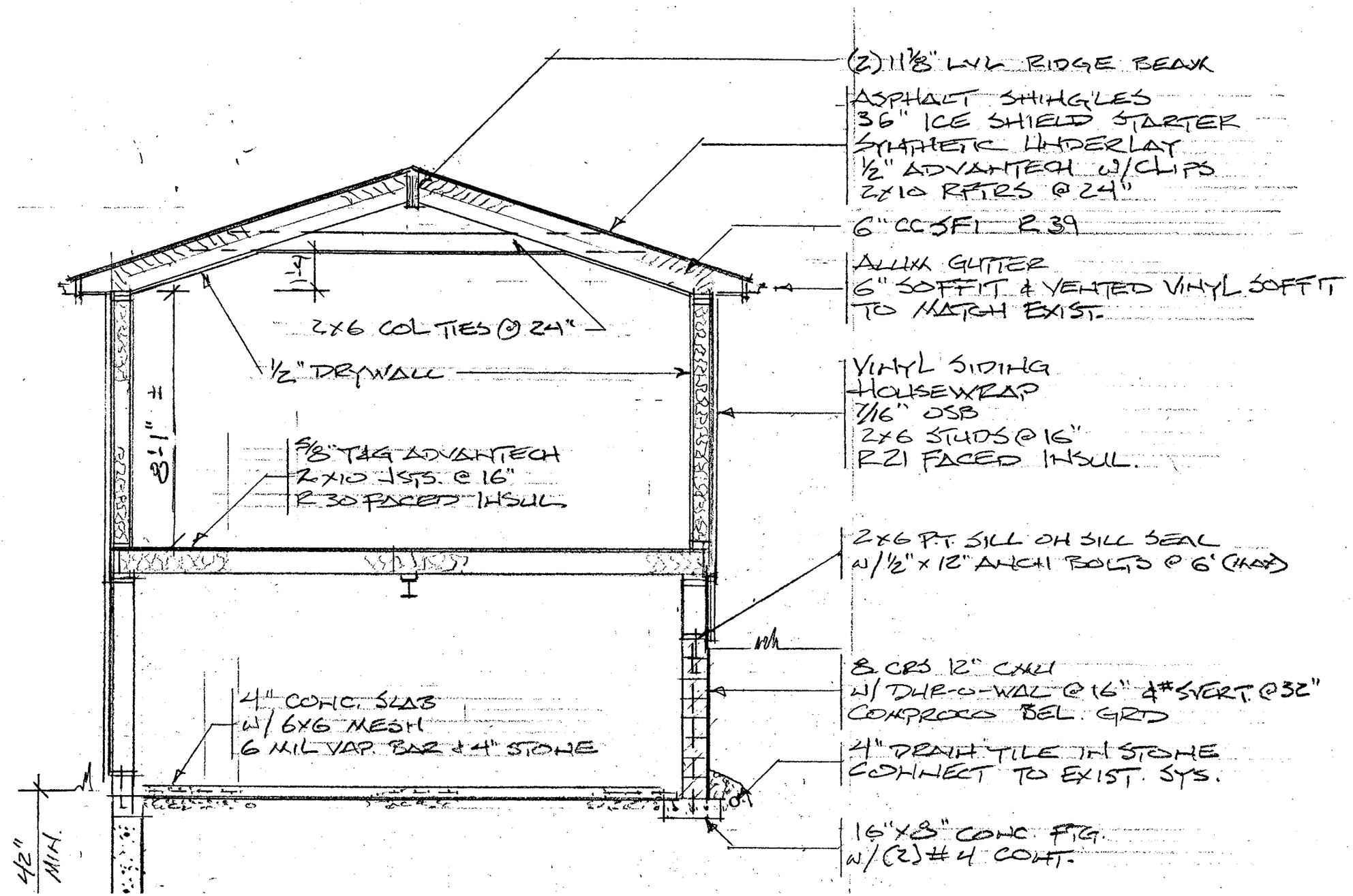
FOUNDATION PLAN

1/4" = 1'-0



FLOOR PLAN

1/4" = 1'-0


(2) 11⅞" LVL RIDGE BEAM
ASPHALT SHINGLES
36" ICE SHIELD STARTER
SYNTHETIC UNDERLAT
½" ADVANTECH W/CLIPS
2x10 RFTRS @ 24"
6" CC SFI R39
ALUM GUTTER
6" SOFFIT & VENTED VINYL SOFFIT
TO MATCH EXIST.
2x6 COL TIES @ 24"
½" DRYWALL
VINYL SIDING
HOUSEWRAP
7/16" OSB
2x6 STUDS @ 16"
R21 FACED INSUL.
8'-1"
5/8" T&G ADVANTECH
2x10 JSTS. @ 16"
R30 FACED INSUL.
2x6 P.T. SILL ON SILL SEAL
W/ ½" x 12" ANCH BOLTS @ 6' (MAX)
8 CRS 12" CMU
W/ DUR-O-WAL @ 16" 4# SVERT @ 32"
COMPROCO BEL. GRD
4" CONC. SLAB
W/ 6x6 MESH
6 MIL VAP. BAR & 4" STONE
4" DRAIN TILE IN STONE
CONNECT TO EXIST. SYS.
42" MIN.
16"x8" CONC FTG.
W/ (2) #4 CONT.


48


50

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B19-000012

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3 & 5 Greenpoint Trail PITTSFORD, NY 14534
Tax ID Number: 163.07-1-94
Zoning District: RN Residential Neighborhood
Owner: S & J Morrell, Inc.
Applicant: S & J Morrell, Inc.

Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The Applicant is requesting design review for the proposed construction of a new townhome dwelling. The Design Review Board has given the Greenpoint Trail development a blanket approval for the remaining townhomes if the submitted layout of townhomes is followed. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 33 (#5 Greenpoint) will be 1893 sq. ft. and Lot 34 (#3 Greenpoint) will be 1907 sq. ft. The developer would like to modify the townhome to meet the needs of the new owner. The color will remain the same as detailed on the spreadsheet.

Meeting Date: February 14, 2019

MORRELL BUILDERS
1501 PITTSFORD-VICTOR RD, STE 100
PITTSFORD, NY 14534 | (585) 249-8155

	Natural Slate			Victorian Grey			Granite		
Color									
Building Step									
Floor Plan A	A	A	B	A	A	B	A	A	B
Floor Plan B	A	B	B	A	B	B	A	B	B

GREENPOINT DRB FRONT ELEVATIONS & COLOR SCHEMES

HOME SITE	FLOOR PLAN SELECTED	FRONT ELEVATION	STEP	COLOR
1	Santenay	Type 1 (Greenpoint)	Step	Natural Slate
2	Greenpoint			
3		Type 3 (Two Cottages)	Step	Victorian Grey
4				
5		Type 1 (Greenpoint)	Step	Natural Slate
6				
7		Type 3 (Two Cottages)	Step	Deep Granite
8				
9		Type 1 (Greenpoint)	Step	Victorian Grey
10				
11	Greenpoint	Type 2 (Greenpoint 2 Center Dormers)	No Step	Natural Slate
12	Greenpoint			
13		Type 3 (Two Cottages, V2)	No Step	Deep Granite
14				
15		Type 2 (Greenpoint, 2 Center Dormers)	No Step	Victorian Grey
16				
17		Type 4 (Two Cottages, V2)	No Step	Natural Slate
18				
		STREET END		
19		Type 4 (Two Cottages, V2)	No Step	Deep Granite
20				
21		Type 2 (Green Point 2 Center Dormers)	No Step	Natural Slate
22				
23		Type 4 (Two Cottages, V2)	No Step	Victorian Grey
24				
25		Type 1 (Greenpoint)	Step	Deep Granite
26				
27	Santenay	Type 3 (Two Cottages)	Step	Natural Slate
28	Santenay			
29	Greenpoint	Type 1 (Greenpoint)	Step	Victorian Grey
30	Greenpoint			
31		Type 3 (Two Cottages)	Step	Deep Granits
32				
33		Type 1 (Greenpoint)	Step	Natural Slate
34				

Greenpoint Trail
Morrell Builders Inc.
Pittsford, NY

Front Elevation - Type I
2-Unit Villa BB
(Color Scheme -2 Deep Granite)

James Fahy Design Associates
Architecture & Engineering P.C.
Rochester, NY

GREENPOINT TOWNHOMES

TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK
TWO UNIT BUILDING

CLIENT:

MORRELL BUILDERS
1501 PITTSFORD - VICTOR ROAD
VICTOR, NY 14564
TEL. (585) 742-2110
WEBSITE: WWW.MORRELLBUILDERS.COM

ENGINEER:

MARATHON ENGINEERING
39 CASCADE DRIVE
ROCHESTER, NY 14614
TEL. (585) 458-7770
WEBSITE: WWW.MARATHONENG.COM

BUILDING DATA:

LOT 33	SANTENAY	1893 S.F.
LOT 34	SANTENAY	1907 S.F.

DRAWING INDEX:

ARCHITECTURAL:

STRUCTURAL:

James Fahy Design Associates
Architecture & Engineering P.C.
2024 W. Henrietta Rd. Suite 3K
Rochester, New York 14623
tel. (585) 272-1650
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

PROJECT: GREENPOINT TOWNHOMES
TWO UNIT BUILDING
LOTS 33-34
PITTSFORD, MONROE COUNTRY, NEW YORK
CLIENT: MORRELL BUILDERS

REVISIONS:

JOB NO. A18-195
PROJECT NO. TOWNHOME
PHASE: CONSTRUCTION DOCUMENTS
DATE: 1-14-2019
DRAWING NO. T1.0

GENERAL NOTES:

These plans are protected by Federal Copyright Law. Reproduction or modification of these plans without the written consent of James Fahy Design is strictly prohibited.

1. Construction shall conform to the latest edition of the 2015 International Residential Code with the 2017 NYS Residential Code Supplement. To the best of our knowledge, belief and professional judgement these plans and specifications are in compliance with the 2015 International Energy Conservation Construction Code with the 2016 NYS Energy Conservation Construction Code Supplement.
2. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the referenced codes.
3. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
4. Contractor shall be responsible for all materials, construction methods, craftsmanship,, procedures, and conditions (including safety).
5. Contractor shall verify all existing conditions, requirements, notes and dimensions shown on drawings or noted in specifications. Any variances within drawings and specifications, or with conditions encountered at job site, shall be reported to James Fahy Design before commencement of any work effected by such variance.
6. Contractor shall rigidly adhere to all laws, codes and ordinances which apply to this work. Contractor shall notify and receive clarification from James Fahy Design of any variations between contract documents and governing regulations.
7. The Contractor shall make no structural changes without written approval of James Fahy Design.
8. James Fahy Design has not been engaged for construction supervision and assumes no responsibility for construction conformance, means, methods techniques or procedures of on-site work relating to the construction plans.
9. Contractor shall investigate site during clearing and earthwork operations for filled excavations or buried structures such as cesspools, cisterns, foundations, etc. If any such items are found and effect the ability to adhere to the construction documents, James Fahy Design shall be notified for revised specifications.
10. All manufactured materials, components, fasteners, assemblies, etc. shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standard and specifications may be used.
11. Construction loads shall not overload structure nor shall they be in excess of design loading indicated herein.
12. Design of electric, plumbing, and HVAC systems by others. Verify location of existing utilities / services prior to construction.

STRUCTURAL MATERIAL SPECIFICATIONS:

Structural Steel.....ASTM A-36, Fy = 36 ksi
Reinforcing Steel.....ASTM A-615, Fy = 60 ksi
Wire Mesh.....ASTM A-185, 6 x 6 10/10 WWM Reinforcing
Lumber.....No. 2 Hem Fir Fb = 1075 psi (repetitive member use)
E = 1.3 X 106 psi
Wood Structure Panels.....DOC PS1 , DOC PS2
24 / 16 Rated (min.), 24 / 16 Floor (min.): or equal
Microlams & Ganglams.....Fb = 2600 psi, *E = 1.9 x 106 psi
* Multiplication factors apply per mfr. specs
Masonry.....ASTM C90, Grade N-1, Fm = 1350 psi
Mortar.....ASTM C270, Type S
Grout.....ASTM C476 fc = 2000 psi
Bolts.....ASTM A307 , Fy = 33 ksi
Concrete.....ACI 318 (See Table R402.2 Severe Weathering Potential)

TABLE R402.2 (ABBREVIATED FOR SEVERE WEATHERING POTENTIAL)
MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH[a] (PSI)
Basement walls, foundations and other concrete not exposed to the weather	2,500[c]
Basement slabs and interior slabs on grade, except garage floor slabs	2,500[c]
Basement walls, foundation walls, exterior walls and other vertical concrete work exposed to the weather	3,000[d]
Porches, carport slabs and steps exposed to the weather, and garage floor slabs	3,500[d, e, f]

For SI: 1 pound per square inch = 6.895 kPa.

a. Strength at 28 days psi.
c. Concrete in these locations that may be subject to freezing and thawing during construction shall be air-entrained concrete in accordance with footnote d.
d. Concrete shall be air-entrained. Total air content (percent by volume of concrete) shall be not less than 5 percent or more than 7 percent.
e. See Section R402.2 for maximum cementitious materials content.
f. For garage floors with a steel troweled finish, reduction of the total air content (percent by volume of concrete) to not less than 3 percent is permitted if the specified compressive strength of the concrete is increased to not less than 4,000 psi.

FOUNDATIONS:

1. GENERAL:
Contractor to notify James Fahy Design if site conditions such as adverse ground water or soil conditions warrant modifications to the engineering design of the foundation.
A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.
B. Contractor shall be responsible for support of all temporary embankments and excavations.
C. Backfill shall not be placed against basement foundation walls until:
- Concrete or masonry grout has reached sufficient strength to resist damage.
- Structural floor framing (including plywood subfloor) required to stabilize walls to complete and fully nailed and anchored or sufficient bracing is applied to prevent wall damage.

2. STRUCTURAL BACKFILL:
A. Structural backfill shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs - on - grade and building structure) and 90% (elsewhere) of maximum dry density at moisture content within of 3% optimum as determined by ASTM D1557. Backfill shall be free of excessive vegetation, debris or other deleterious materials and contain no particles larger than 3 inches in diameter.

3. FOOTINGS:
A. Footings shall be placed at a minimum depth of 42 inches below adjacent finished grade unless otherwise specified on the contract documents.
B. Final 3 inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.
C. Footings shall be founded on firm, undisturbed, native soils free of frost and loose material. Footings may bear on properly engineered backfill provided settlement and / or consolidation tests performed indicate anticipated settlement will not exceed that allowed for the proposed structure
D. Bottom surface of footings shall not slope more than 1.0 vertical to 10.0 horizontal, except as shown otherwise on drawings.
E. No excavation shall be made lower and closer to any footing than 1.0 vertical to 3.0 horizontal , except as shown on drawings.
F. Footings and slab-on-grade shall not be placed on muddy or frozen ground.

PARTIAL TABLE R405.1
PROPERTIES OF SOILS CLASSIFIED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM

SOIL GROUP	UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION	DRAINAGE CHARACTERISTICS[a]	FROST HEAVE POTENTIAL	VOLUME CHANGE POTENTIAL EXPANSION[b]
Group I	GW	Well-graded gravels, gravel sand mixtures, little or no fines.	Good	Low	Low
	GP	Poorly graded gravels or gravel sand mixtures, little or no fines.	Good	Low	Low
	SW	Well-graded sands, gravelly sands, little or no fines.	Good	Low	Low
	SP	Poorly-graded sands or gravelly sands, little or no fines.	Good	Low	Low
	GM	Silty gravels, gravel-sand-silt mixtures.	Good	Medium	Low
	SM	Silty sand, sand-silt mixtures.	Good	Medium	Low
Group II	GC	Clayey gravels, gravel-sand-clay mixtures.	Medium	Medium	Low
	SC	Clayey sands, sand-clay mixture.	Medium	Medium	Low
	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity.	Medium	High	Low
	CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.	Medium	Medium	Medium to Low
Group III	CH	Inorganic clays of high plasticity, fat clays.	Poor	Medium	High
	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.	Poor	High	High
Group IV	OL	Organic silts and organic silty clays of low plasticity.	Poor	Medium	Medium
	OH	Organic clays of medium to high plasticity, organic silts.	Unsatisfactory	Medium	High
	Pt	Peat and other highly organic soils.	Unsatisfactory	Medium	High

a. The percolation rate for good drainage is over 4 inches per hour, medium drainage is 2 inches to 4 inches per hour, poor is less than 2 inches per hour.
b. Soils with a low potential expansion typically have a plasticity index (PI) of 0 to 15, soils with a medium potential expansion have a PI of 10 to 35 and soils with a high potential expansion have a PI greater than 20.

CONCRETE:

1. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements for Reinforced Concrete".
2. In on-grade concrete slabs the welded wire fabric reinforcement (when required) shall be located midway in the slab thickness
3. All exterior concrete to be air - entrained.
4. Provide concrete reinforcing bars at footing locations where soil is engineered fill. Bars shall be 2 no. 4 bars, at the bottom with a minimum of 3" concrete cover, unless noted otherwise. Concrete reinforcing bars are not required at footings bearing on undisturbed soil with a bearing capacity of 2000 psf unless noted otherwise on the drawings.
5. Provisions must be taken to protect all concrete work from frost damage with special attention paid to footings and other on - grade construction prior to backfilling and enclosing the building.
6. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diameter and 10" long unless otherwise noted (u.o.n.). Placement of anchor bolts shall be: 12" from plate end, 6'-0" o.c. maximum intermediate spacing, minimum 2 bolts per bearing plate section.
7. Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D 2103 where indicated on drawings.

MILD STEEL REINFORCEMENTS FOR CONCRETE AND MASONRY:

1. Mild steel reinforcement for concrete and masonry construction shall conform to ASTM-A615 Grade 60. Ties, stirrups, and hoops shall conform to ASTM A615-87, Grade 60.

2. Welded wire fabric shall conform to ASTM A185 in as long lengths as practical.

3. SPLICES:
A. Reinforcement in concrete and masonry shall have lap lengths as follows, unless otherwise specified on drawings:

Bar Size	Length in Concrete	Length in Masonry
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-3"
#6	3'-4"	3'-9"

B. Welded wire fabrics shall be lapped one grid width plus 2"
C. Reinforcement shall be bent cold.
D. Reinforcement shall not be welded.

4. PLACING:
A. Reinforcement shall be accurately placed and adequately supported by concrete, metal, or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement. Tack welding is not allowed.
B. Except where shown otherwise on structural drawings, reinforcement in concrete shall have concrete cover as follows:
- Concrete deposited against earth.....3"
- Formed concrete against earth.....2"
- Exterior faces of walls.....2"
- Interior faces of walls.....3/4"
- To top of slabs on grade.....3/4"

WOOD:

1. MATERIALS:

A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
1. American Institute of Timber Construction: (Standard Manual)
2. National Forest Products Association: National Design Specifications for Wood Construction.
3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.
4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TPI-71)
5. U.S. Department of Commerce N.I.S.T. PS-1 & PS-2
6. American Plywood Association: Guide to Plywood for Floors, Plywood Sheathings for Walls and Roofs.
7. American Wood Preservers Association Standards.

B. All structural lumber shall be Hem Fir #2 (minimum) stress grade lumber unless noted otherwise.
Fb = 1075 psi; Fv = 150 psi; E = 1,300,000 psi
Repetitive member value may vary due to member size per National Forest Products Association specifications.

C. All structural lumber shall be stamped in accordance with the American Institute of Timber Construction 'Construction Manual'

D. Grade loss resulting from effects of weathering, handling, storage, resawing or dividing lengths will be cause for rejection.

E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat interior with ext. glue unless otherwise specified on drawings.

F. Wood structural panels shall conform to the requirements of DOC PS-1 & PS-2 and be identified by a grade mark of an approved inspection agency.

G. Wood which is in contact with concrete, masonry, within 0'-8" of grade or exposed to the exterior shall by pressure preservative treated. all fasteners, joist hangers and flashings shall be hot dip galvanized, stainless steel or approved by the manufacturer for use with pressure preservative treated wood.

H. All headers at non-bearing conditions shall be as follows: (unless otherwise noted)

opening size	header size
up to 6'-0"	2-2x8
6'-0" to 9'-0"	2-2x10

I. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1x3 mid-span cross bridging at all floor joists and spans. Double floor joists under parallel partitions over 8'-0" in length.

J. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by an Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.

2. CONNECTIONS:

A. Nailing:
1. Minimum nailing requirements for standard connections unless specifically shown or noted otherwise

ITEM	NO. OR C/O OF NAILS	SIZE OF NAIL BOX OR COMMON
Joint		
toe nail to plates, sill or girder	3	8d
To parallel alternate joints	3	16d
At laps overbearing, face nail	3	16d
Studs		
End nail to plates	2	16d
Or toe nail 2 each side	4	8d
Top Plates		
Spike together	16" o/c	16d
Laps & intersections, face nail	2	16d
Blocking		
to plate	2	16d
or toe nail	4	8d
Toe joist each side	2	16d
or toe nail	4	8d
Bridging		
Toe nail to joist, each end	2	8d
Studs		
Corner, angle or multiple	24" o/c	16d
2" x __ Laminated beams		
Lintels spike together	16" o/c	16d
Double Joists or Headers		
Spike together, along each edge	16" o/c	16d
Plywood Sheathing and Sub-floor		
Nailing at edges of each sheet 3/8" thick	6" o/c max.	8d
Nailing at edges of each sheet 1/2 & 5/8" thick	6" o/c max.	10d
At interior of each sheet space nails 10" o/c for 3/8" and 1/2" thick plywood		

B. Sheathing shall be nailed as follows, except where shown otherwise:
1. Roof sheathing: 8d common at 6" o/c at all supported edges and at 12" o/c at interior supports.
2. Floor sheathing: 8d common at 6" o/c at all supported edges and at 10" o/c at interior supports.
3. Nail wood sheathing direct to framing: 10d common at 6" o/c all panel edges and at 10" o/c at all interior studs.

C. All manufactured connection hardware designated on drawings shall be nailed in strict conformance to manufacturer's instructions.

D. All steel connection assembly details on drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC Specification for the design Fabrication and Erection of Structural Steel for Building'. Welding shall conform to AMS D1.1-86.

E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.

F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all bolt heads and nuts bearing on wood. Holes shall be properly aligned.

G. In no case shall misalignment be allowed which prevents proper bearing or alignment of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts. Nuts shall be tightened snug.

3. INSTALLATIONS:

A. All stud walls shown on drawings shall have studs placed at 16" o/c, except where shown otherwise
B. Top plates shall be doubled on all stud walls.
C. Cripples under headers shall be continuous to sole plate.
D. Block all stud walls as required for sheathing.
E. Beams, girders, and joists supporting bearing walls or other concentrated loads, shall not be notched unless specified. Joists, except as above, may be notched no deeper than 1/6 the depth provided such notch is located within 1/3 span from face of support. Saw cuts for notches shall not overrun depth of notch. Holes in joists, beams and girders shall not be larger in diameter than 1/3 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member with a minimum of 2" lumber remaining above and below drill hole. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1/4 of the stud width. Holes bored through studs may not exceed 40% of stud width and be no closer than 5/8" to edge of stud.
F. Joists, rafter, and decking shall not be cut and headed or displaced to provide for openings in roofs or floors, except as detailed on drawings.
G. Install all horizontal members with crown up. All beam and joist intersections to receive galvanized joist / beam hangers.
H. All members in bearing shall be accurately cut and aligned so that full bearing is provided without use of shims. Bearing joists shall have full blocking or support under.
I. All rafters shall be notched for full bearing at all supports unless otherwise specified.
J. All joists shall have a minimum of 2" bearing at supports unless otherwise specified.
K. All wood wall sheathing shall be applied as follows: center vertical joints over studs, Nail top of panels to double top plate, and nail bottom of panels to anchored sill plate. Apply gypsum board so that end joists of adjacent courses do not occur over the same stud.
L. Plywood sub-floor and roof sheathing: Install with face grain at right angles to supports, continuous over two or more spans. Allow minimum space 1/16" between end joints and 1/8" at edge joints for expansion and contraction of panels. Plywood decking shall also be continuously glued and nailed to all joists, rafters or trusses.

FINISHES:
A. Provide 5/8" type 'X' wall board at fire-resistance assemblies where indicated. Strict compliance with products and installation of wallboard per the fire-rated assembly test indicated must be provided, as noted.
Note: Type 'X' is a generic term. See referenced tests for actual wall board specifications to be provided.

B. Per 2015 IRC Section R302.9.1 Flame spread index. Wall and ceiling finishes shall have a flame spread index of not greater than 200. Exception: Flame spread index requirements for finishes shall not apply to trim defined as picture molds, chair rails, baseboards and handrails; to doors and windows or their frames; or to materials that are less than 1/28 inch in thickness cemented to the surface of walls or ceilings if these materials exhibit f flame spread index values not grater than those of paper of this thickness cemented to a non combustible backing.

C. Per IRC Section 302.9.2 Smoke-developed Index: Wall and ceiling finishes shall have a smoke-developed index of not greater than 450

THERMAL & MOISTURE PROTECTION:

1. The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals.
2. Install flashing and sheet metal in compliance with Architectural Sheet Metal Manual by SMACNA.
3. Aluminum flashing shall conform to ASTM B 209
4. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight / weatherproof performance as specified in section R703 & R903 of the IRC.
5. Siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation.
6. Roof valley linings shall be installed in accordance with manufactures installation instructions before applying shingles
A. Open Valleys: metal linings shall be at least 24" wide of approved corrosion resistant metals of Table R905.2.8.2 of the IRC. 2-plies of mineral surface rolled roofing complying with ASTM D249. Bottom layer 18" and top layer 36" wide.
B. Closed Valleys: 1 ply smooth roll roofing complying with ASTM D224 Type II or III 36" (min.) wide.
7. Shingles shall be fastened according to manufacturer's printed instructions. Provide one layer of 15 lb. (min.) building felt under shingles unless otherwise specified. Ice and water shield shall be installed beneath shingles extending from eaves edge to a point at least 24" inside the exterior wall line of the structure.
8. Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain. The net free ventilating areas shall 1/1 50 of the area of the vented space unless otherwise noted. Provide continuous ridge vents and soffit vents per plan, installed to manufacturers printed instructions.
9. Provide and install ceiling and exterior wall insulation with draft facing per plan.
10. In all framed walls floors and roof / ceilings comprising elements of the building thermal envelope a vapor retarder shall be installed on the warm in winter side of the insulation
11. All locations indicated on Drawings, unless otherwise noted and wherever air, water, or dust may infiltrate between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.
12. Provide seamless k gutters and downspouts connected to storm sewer system or non-erosive splash pads at grade. Include all accessories required for a complete installation.
13. The design, materials, construction and qualities of roof assemblies shall be in compliance with the provisions set forth in IRC Chapter 9 and with applicable manufacturers specifications.
14. The wall area above built-in tubs with installed shower heads and in shower compartments shall be constructed of smooth, noncorrosive and non absorbent waterproof materials to a height of not less than 6 feet above the room floor level and not less than 70 inches where measured from the compartment floor at the drain. Such walls shall form a water-tight joint with each other and with either the tub, receptor or shower floor.
15. P2603.5 A water, soil, or waste pipe shall not be installed outside of the building, in exterior walls, in attics or crawl spaces or in any other place subject to freezing temperatures unless adequate provision is made to protect it from freezing by insulation, heat, or both.
16. Insulation materials, including facings such as vapor retarders or vapor permeable membranes installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl/basement spaces and attics shall have a flame spread index not to exceed 25 with an accompanying smoke developed index not to exceed 450 when tested in accordance with ASTME 84. When installed in concealed spaces (ie. drywall covered framing cavity) the flame spread and smoke developed index limitations do not apply to the facings.

MECHANICAL:

1. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilation of, roof and floor drains, heating and air conditioning. All work shall comply with applicable Federal state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety devices prior to operations of system.
2. R403.6 mechanical ventilation (mandatory). The building shall be provided with ventilation that meets the requirements of the international residential code or international mechanical code, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.
3. All bathrooms, water closet compartments, or similar rooms without natural ventilation shall be provided with mechanical ventilation in conformity with section R303.3 of the IRC. The minimum ventilation rate shall be 50 cfm for intermittent ventilation or 20 cfm for continuous ventilation. Ventilation air from the space shall be exhausted directly to the outside.
4. All equipment and appliances shall be installed in accordance with the IRC Chapter 13 and manufacturers installation instructions. Instructions shall be made available to the code enforcement official.
5. Vented gas fireplace (decorative) shall be listed, labeled, and installed in accordance with ANSI Z21.50, IRC Chapter 24 and the manufacturer's instructions. Instructions shall be available on site for building inspector. Appliance shall be equipped with a flame safeguard device in accordance with Section G2432.2 of the IRC.
6. Automatic garage door openers shall be listed in accordance with UL325.
7. Clothes dryers shall be exhausted in accordance with the manufacturer's instructions and comply with the requirements of IRC G2439.

ELECTRICAL:

1. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and the Provisions of Part VIII of the IRC. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.
2. Electrical system layouts, if included in construction documents, are generally diagrammatic, locations of outlets and equipment is approximate. Exact routing of wiring, locations of outlets shall be governed by structural conditions and obstructions. Wiring for equipment requiring maintenance and inspection shall be readily accessible.

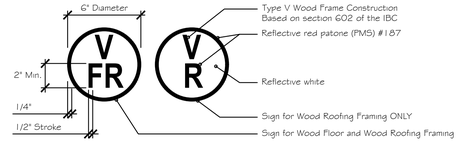
STRUCTURAL LOADING DESIGN CRITERIA:

Location	Live Load Loads, psf	Dead	Deflective Limit
1st Floor	40	15	L/360
2nd Floor (sleeping)	30	10	L/360
2nd Floor (non-sleeping)	40	10	L/360
Attic (no storage)	10	5	L/240
Attic (light storage)	20	10	L/240
Roof (w/finished clg.)*	40	20	L/240
Roof (no finished clg.)*	30	15	L/180
Decks	40	10	L/360

*Roof live loads based on 40 psf ground snow load w/ reduction factors per ASCE 7 for sloped roofs.

Assumed Safe Soil Bearing.....*2000 psf at min. 42 inches below finished grade
*Value may be increased if site specific soil classification or load bearing test data is available.

TRUSS IDENTIFICATION SIGN:
- Identification of floor and roof truss construction shall be provided by sign or symbol and shall be affixed to the exterior wall of the residential structure in compliance with 19 NYCRR PART 1265, Residential Structures with Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction.



REFERENCED STANDARDS ORGANIZATIONS

A.C.I. American Concrete Institute
2240 W. 7 Mile Rd., Box 19150, Redford Station
Detroit, MI 48219, Phone: (313) 532-2600.

A.I.T.C. American Institute for Timber Construction
333 W. Hampden Ave., Englewood, CO 80110
Phone: (303) 761-3212.

A.S.T.M. American Society for Testing and Materials
1916 Race St., Philadelphia, PA 19103
Phone: (215) 299-5400.

D.O.C. United States Department of Commerce
National Institute of Standards Technology
Gaithersburg, MD 20899

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
MATERIAL & GUIDE SPECIFICATIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.: A18-195
PROJECT NO.: TOWNHOME
DRAWN BY: CRB
DRAWING NO.: T2.0
CHECKED BY: ART
DATE: 1-14-2019

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RESIDENTIAL ENERGY EFFICIENCY

2015 INTERNATIONAL ENERGY CONSERVATION CODE®
***2016 Supplement To The New York State Energy Conservation Construction Code**

R401.3 Certificate (Mandatory). A permanent certificate shall be completed by the builder or registered design profes-sional and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit direc-tory label, service disconnect label or other required labels. The certificate shall list the predominant R-values of insula-tion installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room electric heater is heater, electric furnace or baseboard installed in the residence, the certificate shall list "gas-fired unvented room heater," "electric furnace" or "baseboard elec-tric heater," as appropriate. An efficiency shall not be listed for gas-fired unvented room heaters, electric furnaces or elec-tric baseboard heaters.

SECTION R402
BUILDING THERMAL ENVELOPE

R402.1 General (Prescriptive).

*7. Amendments to Section R402.1 (General (Prescriptive)).

Section R402.1 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R402.1 General (Prescriptive). The building thermal envelope shall meet the requirements of Sections R402.1.1 through R402.1.5.

Exception: The following low-energy buildings, or portions thereof, separated from the remainder of the building by building thermal envelope assemblies complying with this section shall be exempt from the building thermal envelope provisions of Sections R402.1.1 through R402.1.5:

1. Those with a peak design rate of energy usage less than 3.4 Btu/h · ft2 (10.7 W/m2) or 1.0 watt / ft2 of floor area for space-conditioning purposes.
2. Those that do not contain conditioned space.

R402.1.1 Vapor retarder.

*8. Amendments to Section R402.1.1 (Vapor retarder).
Section R402.1.1 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R402.1.1 Vapor retarder. Wall assemblies in the building thermal envelope shall comply with the vapor retarder requirements of Section R702.7 of the 2015 International Residential Code (as amended), Section 1405.3 of the 2015 International Building Code (as amended), *or the New York City Construction Codes, as applicable.*

R402.1.2 Insulation and fenestration criteria. The building thermal envelope shall meet the requirements of Table R402.1.2, based on the climate zone specified in Chapter 3.

R402.1.3 R-value computation. Insulation material used in layers, such as framing cavity insulation, or continuous insulation shall be summed to compute the corresponding component R-value. The manufacturer's settled R-value shall be used for blown insulation. Computed R-values shall not include an R-value for other building materials or air films. Where insulated siding is used for the purpose of complying with the continuous insulation requirements of Table R402.1.2, the manufacturer's labeled R-value for insulated siding shall be reduced by R-0.6.

R402.1.4 U-factor alternative. An assembly with a U-factor equal to or less than that specified in Table R402.1.4 shall be permitted as an alternative to the R-value in Table R402.1.2.

R402.1.5 Total UA alternative. If the total building ther-mal envelope UA (sum of U-factor times assembly area) is less than or equal to the total UA resulting from using the U-factors in Table R402.1.4 (multiplied by the same assembly area as in the proposed building), the building shall be considered in compliance with Table R402.1.2. The UA calculation shall be done using a method consis-tent with the ASHRAE Handbook of Fundamentals and shall include the thermal bridging effects of framing mate-rials. The SHGC requirements shall be met in addition to UA compliance.

R402.2 Specific insulation requirements (Prescriptive). In addition to the requirements of Section R402.1, insulation shall meet the specific requirements of Sections R402.2.1 through R402.2.13.

R402.2.1 Ceilings with attic spaces. Where Section R402.1.2 would require R-38 insulation in the ceiling, installing R-30 over 100 percent of the ceiling area requir-ing insulation shall be deemed to satisfy the requirement for R-38 wherever the full height of uncompressed R-30 insulation extends over the wall top plate at the eaves. Similarly, where Section R402.1.2 would require R-49 insulation in the ceiling, installing R-38 over 100 percent of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves. This reduction shall not apply to the U-factor alternative approach in Section R402.1.4 and the total UA alternative in Section R402.1.5.

TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTa

CLIMATE ZONE	FENESTRATION U-FACTORb	SKYLIGHTb U-FACTOR	GLAZED FENESTRATION SHGCb, e	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUEi	FLOOR R-VALUE	BASEMENTc WALL R-VALUE	SLABd R-VALUE & DEPTH	CRAWL SPACEc WALL R-VALUE
1NR		0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5h	8/13	19	5/13f	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5h	13/17	30g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10h	15/20	30g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10h	19/21	38g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.
a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
e. There are no SHGC requirements in the Marine Zone.
f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

TABLE R402.1.4
EQUIVALENT U-FACTORSa

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING U-FACTOR	FRAME WALL U-FACTOR	MASS WALL U-FACTORb	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	CRAWL SPACE WALL U-FACTOR
1	0.50	0.75	0.035	0.084	0.197	0.064	0.360	0.477
2	0.40	0.65	0.030	0.084	0.165	0.064	0.360	0.477
3	0.35	0.55	0.030	0.060	0.098	0.047	0.091c	0.136
4 except Marine	0.35	0.55	0.026	0.060	0.098	0.047	0.059	0.065
5 and Marine 4	0.32	0.55	0.026	0.060	0.082	0.033	0.050	0.055
6	0.32	0.55	0.026	0.045	0.060	0.033	0.050	0.055
7 and 8	0.32	0.55	0.026	0.045	0.057	0.028	0.050	0.055

a. Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source.
b. When more than half the insulation is on the interior, the mass wall U-factors shall be a maximum of 0.17 in Climate Zone 1, 0.14 in Climate Zone 2, 0.12 in Climate Zone 3, 0.087 in Climate Zone 4 except Marine, 0.065 in Climate Zone 5 and Marine 4, and 0.057 in Climate Zones 6 through 8.
c. Basement wall U-factor of 0.360 in warm-humid locations as defined by Figure R301.1 and Table R301.1.

R402.2.2 Ceilings without attic spaces. Where Section R402.1.2 would require insulation levels above R-30 and the design of the roof/ceiling assembly does not allow suf-ficient space for the required insulation, the minimum required insulation for such roof/ceiling assemblies shall be R-30. This reduction of insulation from the require-ments of Section R402.1.2 shall be limited to 500 square feet (46 m2) or 20 percent of the total insulated ceiling area, whichever is less. This reduction shall not apply to the U-factor alternative approach in Section R402.1.4 and the total UA alternative in Section R402.1.5.

R402.2.3 Eave baffle. For air-permeable insulations in vented attics, a baffle shall be installed adjacent to soffit and eave vents. Baffles shall maintain an opening equal or greater than the size of the vent. The baffle shall extend over the top of the attic insulation. The baffle shall be per-mitted to be any solid material.

R402.2.4 Access hatches and doors. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding sur-faces. Access shall be provided to all equipment that pre-vents damaging or compressing the insulation. A wood-framed or equivalent baffle or retainer is required to be provided when loose-fill insulation is installed, the pur-pose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation.

Exception: Vertical doors that provide access from con-ditioned to unconditioned spaces shall be permitted to meet the fenestration requirements of Table R402.1.2 based on the applicable climate zone specified in Chap-ter 3.

R402.2.5 Mass walls. Mass walls for the purposes of this chapter shall be considered above-grade walls of concrete block, concrete, insulated concrete form (ICF), masonry cavity, brick (other than brick veneer), earth (adobe, com-pressed earth block, rammed earth) and solid timber/logs, or any other walls having a heat capacity greater than or equal to 6 Btu/ft2 × °F (123 kJ/m2 × K).

R402.2.6 Steel-frame ceilings, walls and floors. Steel-frame ceilings, walls, and floors shall meet the insulation requirements of Table R402.2.6 or shall meet the U-fac-tor requirements of Table R402.1.4. The calculation of the U-factor for a steel-frame envelope assembly shall use a series-parallel path calculation method.

R402.2.7 Walls with partial structural sheathing.
Where Section R402.1.2 would require continuous insula-tion on exterior walls and structural sheathing covers 40 percent or less of the gross area of all exterior walls, the continuous insulation R-value shall be permitted to be reduced by an amount necessary to result in a consistent total sheathing thickness, but not more than R-3, on areas of the walls covered by structural sheathing. This reduc-tion shall not apply to the U-factor alternative approach in Section R402.1.4 and the total UA alternative in Section R402.1.5.

R402.2.8 Floors. Floor framing-cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking.

Exception: The floor framing-cavity insulation shall be permitted to be in contact with the topside of sheathing or continuous insulation installed on the bottom side of floor framing where combined with insulation that meets or exceeds the minimum wood frame wall R-value in Table 402.1.2 and that extends from the bottom to the top of all perimeter floor framing members.

R402.2.9 Basement walls. Walls associated with condi-tioned basements shall be insulated from the top of the basement wall down to 10 feet (3048 mm) below grade or to the basement floor, whichever is less. Walls associated with unconditioned basements shall meet this requirement unless the floor overhead is insulated in accordance with Sections R402.1.2 and R402.2.8.

R402.2.10 Slab-on-grade floors. Slab-on-grade floors with a floor surface less than 12 inches (305 mm) below grade shall be insulated in accordance with Table R402.1.2. The insulation shall extend downward from the top of the slab on the outside or inside of the foundation wall. Insula-tion located below grade shall be extended the distance pro-vided in Table R402.1.2 by any combination of vertical insulation, insulation extending under the slab or insulation extending out from the building. Insulation extending away from the building shall be protected by pavement or by not less than 10 inches (254 mm) of soil. The top edge of the insulation installed between the exterior wall and the edge of the interior slab shall be permitted to be cut at a 45-degree (0.79 rad) angle away from the exterior wall. Slab-edge insulation is not required in jurisdictions designated by the code official as having a very heavy termite infestation.

R402.2.11 Crawl Space Walls

*9. Amendments to Section R402.2.11 (Crawl space walls).

Section R402.2.11 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R402.2.11 Crawl space walls. As an alternative to insulating floors over crawl spaces, crawl space walls shall be permitted to be insulated when the crawl space is not vented to the outside. Crawl space wall insulation shall be permanently fastened to the wall and extend downward from the floor to the finished grade level and then vertically and/or horizontally for at least an additional 24 inches (610 mm). Exposed earth in unvented crawl space foundations shall be covered with a continuous Class I vapor retarder in accordance with the 2015 International Building Code (as amended), the 2015 International Residential Code *(as amended), or the New York City Construction Codes, as applicable. All joints of the vapor retarder shall overlap by 6 inches (153 mm) and be sealed or taped. The edges of the vapor retarder shall extend at least 6 inches (153 mm) up the stem wall and shall be attached to the stem wall.*

R402.2.12 Masonry veneer. Insulation shall not be required on the horizontal portion of the foundation that supports a masonry veneer.

R402.2.13 Sunroom insulation. Sunrooms enclosing con-ditioned space shall meet the insulation requirements of this code.

Exception: For sunrooms with thermal isolation, and enclosing conditioned space, the following exceptions to the insulation requirements of this code shall apply:

1. The minimum ceiling insulation R-values shall be R-19 in Climate Zones 1 through 4 and R-24 in Climate Zones 5 through 8.
2. The minimum wall R-value shall be R-13 in all cli-mate zones. Walls separating a sunroom with a thermal isolation from conditioned space shall meet the building thermal envelope requirements *of this code.*

requirements of Section R402, fenestration shall comply with Sections R402.3.1 through R402.3.6.

R402.3.1 U-factor. An area-weighted average of fenestra-tion products shall be permitted to satisfy the U-factor requirements.

R402.3.2 Glazed fenestration SHGC. An area-weighted average of fenestration products more than 50-percent glazed shall be permitted to satisfy the SHGC requirements.

Dynamic glazing shall be permitted to satisfy the SHGC requirements of Table R402.1.2 provided the ratio of the higher to lower labeled SHGC is greater than or equal to 2.4, and the dynamic glazing is automatically controlled to mod-ulate the amount of solar gain into the space in multiple steps. Dynamic glazing shall be considered separately from other fenestration, and area-weighted averaging with other fenestration that is not dynamic glazing shall not be permit-

Exception: Dynamic glazing is not required to comply with this section when both the lower and higher labeled SHGC already comply with the requirements of Table R402.1.1.

R402.3.3 Glazed fenestration exemption. Up to 15 square feet (1.4 m2) of glazed fenestration per dwelling unit shall be permitted to be exempt from U-factor and SHGC requirements in Section R402.1.2. This exemption shall not apply to the U-factor alternative approach in Section R402.1.4 and the Total UA alternative in Section R402.1.5.

R402.3.4 Opaque door exemption. One side-hinged opaque door assembly up to 24 square feet (2.22 m2) in area is exempted from the U-factor requirement in Section R402.1.4. This exemption shall not apply to the U-factor alternative approach in Section R402.1.4 and the total UA alternative in Section R402.1.5.

R402.3.5 Sunroom fenestration. Sunrooms enclosing conditioned space shall meet the fenestration requirements of this code.

Exception: For sunrooms with thermal isolation and enclosing conditioned space in Climate Zones 2 through 8, the maximum fenestration U-factor shall be 0.45 and the maximum skylight U-factor shall be 0.70.

New fenestration separating the sunroom with thermal isolation from conditioned space shall meet the building thermal envelope requirements of this code.

R402.4 Air Leakage (Mandatory)

*10. Amendments to Section R402.4 (Air leakage (Mandatory)).

Section R402.4 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R402.4 Air leakage (Mandatory). The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.6.

R402.4.1 Building thermal envelope. The building ther-mal envelope shall comply with Sections R402.4.1.1 and R402.4.1.2. The sealing methods between dissimilar mate-rials shall allow for differential expansion and contraction.

R402.4.1.1 Installation. The components of the build-ing thermal envelope as listed in Table R402.4.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria listed in Table R402.4.1.1, as applicable to the method of construction. Where required by the code official, an approved third party shall inspect all components and verify compliance.

R402.4.1.2 Testing.

*11. Amendments to Section R402.4.1.2 (Testing).

Section R402.4.1.2 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R402.4.1.2 Testing. The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weather-stripping or other infiltration control measures.
2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
3. Interior doors, if installed at the time of the test, shall be open.
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
6. Supply and return registers, if installed at the time of the test, shall be fully open.

Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be prepared and signed by the party conducting the test and provided to the code official. The written report shall include:

1. the name and place of business of the party conducting the test;
2. the address of the building which was tested;
3. the conditioned floor area of dwelling, calculated in accordance with ANSI Z65, except that conditioned floor area shall include areas where the ceiling height is less than 5 feet (1524 mm);
4. measurement of the air volume lost at an internal pressurization of 0.2 inches w.g. (50 Pascals);
5. the date(s) of the test;
6. a certification by the party conducting the test of the accuracy of the test results; and
7. the signature of the party conducting the test.

*12. Addition of new Section R402.4.1.3 (Optional testing procedure for buildings with two or more dwelling units within the building thermal envelope) and new Section R402.4.1.3.1 (Buildings with seven or more dwelling units).

Section R402.4.1 of the 2015 IECC Residential Provisions shall be deemed to be amended by the addition of a new Section R402.4.1.3 and a new Section R402.4.1.3.1, to read as follows:

R402.4.1.3 Optional testing procedure for buildings with two or more dwelling units within the building thermal envelope. Where two or more dwelling units are located within the building thermal envelope of a building, the testing procedure specified in this Section R402.4.1.3 shall be permitted as an alternative to compliance with Section R402.4.1.2.

In this Section R402.4.1.3, each dwelling unit and each other conditioned occupied space located within the building thermal envelope of the building shall be referred to as a "testing unit," and the "enclosure surface area" within a testing unit shall be equal to the sum of the areas of (i) each exterior wall in such testing unit, (ii) each interior wall in such testing unit that abuts other testing unit(s), (iii) each ceiling in such testing unit that abuts other testing unit(s) or abuts unconditioned space, and (iv) each floor in such testing unit that abuts other testing unit(s) or abuts unconditioned space.

Each testing unit shall be tested and verified as having an air leakage rate not exceeding 0.3 cubic feet per minute per square foot of enclosure surface area within the testing area. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals), and shall be conducted in accordance with ASTM E779. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weather-stripping or other infiltration control measures.
2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
3. Interior doors, if installed at the time of the test, shall be open.
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
6. Supply and return registers, if installed at the time of the test, shall be fully open.

Where required by the code official, testing shall be conducted by an approved third party.

A written report of the results of the test shall be prepared and signed by the party conducting the test and provided to the code official. The written report shall include:

1. the name and place of business of the party conducting the test;
2. the address of the building which was tested;
3. the conditioned floor area of dwelling, calculated in accordance with ANSI Z65-1996, except that conditioned floor area shall include areas where the ceiling height is less than 5 feet (1524 mm);
4. measurement of the air leakage rate of each testing unit;
5. the date(s) of the test;
6. a certification by the party conducting the test of the accuracy of the test results; and
7. the signature of the party conducting the test.

R402.4.1.3.1 Buildings with more than seven dwelling units. When the optional testing procedure authorized by Section R402.4.1.3 is used for a building with more than seven dwelling units, testing each testing unit shall not be required, and testing of sample testing units selected in accordance with the provisions set forth below in this Section 402.4.1.3.1 shall be permitted, when approved by the code official.

1. Testing units shall be grouped into sample sets of not more than seven testing units and common rooms in each sample set. Each sample set shall contain testing units that are representative of all dwelling unit types and all other conditioned occupied spaces.
2. If all testing units in the first sample set tested are verified as having an air leakage rate not exceeding 0.3 cubic feet per minute per square foot of enclosure surface area within the testing area, remaining sample sets shall be permitted to be tested at the rate of one testing unit per sample set.
3. If any testing unit tested in accordance with paragraph 2 above is not verified as having an air leakage rate not exceeding 0.3 cubic feet per minute per square foot of enclosure surface area within the testing area, two additional testing units in the sample set shall be tested.
4. If any testing unit tested in accordance with paragraph 3 above is not verified as having an air leakage rate not exceeding 0.3 cubic feet per minute per square foot of enclosure surface area within the testing area, all testing units in the sample set shall be tested, and all testing units in the subsequent sample set, if any, shall be tested.
5. If all testing units in the sample set tested in accordance with paragraph 4 above are verified as having an air leakage rate not exceeding 0.3 cubic feet per minute per square foot of enclosure surface area within the testing area, subsequent sample sets shall be permitted to be tested in accordance with paragraph 2 above, where approved by the code official.

R402.4.2 Fireplaces.

*13. Amendments to Section R402.4.2 (Fireplaces).

Section R402...4. 2 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R402.4.2 Fireplaces. New wood-burning fireplaces that are designed to allow an open burn and new wood-burning fireplace units that are designed to allow an open burn shall have tight-fitting flue dampers or tight-fitting doors. Tight-fitting doors used on a factory-built fireplace listed and labeled in accordance with UL 127 or on a factory-built fireplace unit listed and labeled in accordance with UL 127 shall be tested and listed for such fireplace or fireplace unit. Tight-fitting doors used on a masonry fireplace shall be listed and labeled in accordance with UL 907.

New wood-burning fireplaces that are designed to allow an open burn and new wood-burning fireplace units that are designed to allow an open burn shall be provided with a source of outdoor combustion air as required by the fireplace construction provisions of the 2015 International Building Code (as amended), the 2015 International Residential Code *(as amended) or the New York City Construction Codes, as applicable.*

R402.4.3 Fenestration air leakage. Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m2), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m2), when tested according to NFRC 400 or AAMA/ WDMA/CSA 101/I.S.2/A440 by an accredited, indepen-dent laboratory and listed and labeled by the manufac-turer.

Exception: Site-built windows, skylights and doors.

R402.4.4 Rooms containing fuel-burning appliances. In Climate Zones 3 through 8, where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening shall be located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms shall be sealed and insu-lated in accordance with the envelope requirements of Table R402.1.2, where the walls, floors and ceilings shall meet not less than the basement wall R-value requirement. The door into the room shall be fully gasketed and any water lines and ducts in the room insulated in accordance with Section R403. The combustion air duct shall be insu-lated where it passes through conditioned space to a mini-mum of R-8.

Exceptions:

1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside.
2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the International Residential Code.

R402.4.5 Recessed lighting. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

R402.5 Maximum fenestration U-factor and SHGC (Mandatory). The area-weighted average maximum fenestration U-factor permitted using tradeoffs from Section R402.1.5 or R405 shall be 0.48 in Climate Zones 4 and 5 and 0.40 in Cli-mate Zones 6 through 8 for vertical fenestration, and 0.75 in Climate Zones 4 through 8 for skylights. The area-weighted average maximum fenestration SHGC permitted using trad-eoffs from Section R405 in Climate Zones 1 through 3 shall be 0.50.

*14. Addition of new Section 402.4.6 (Tenant separation walls (Mandatory)).

Section C402.4 of the 2015 IECC Residential Provisions shall be deemed to be amended by the addition of a new section C402.4.6, to read as follows:

R402.4.6 Tenant separation walls (Mandatory). Fire separations between dwelling units in two-family dwellings and multiple single-family dwellings (townhouses) shall be insulated to no less than R-10 and the walls shall be air sealed in accordance with Section R402.4. of this chapter.

SECTION R403
SYSTEMS

R403.1 Controls (Mandatory). At least one thermostat shall be provided for each separate heating and cooling system.

R403.1.1 Programmable thermostat. The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain differ-ent temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone tempera-tures down to 55°F (13°C) or up to 85°F (29°C). The ther-mostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).

R403.1.2 Heat pump supplementary heat (Mandatory). Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compres-sor can meet the heating load.

R403.2 Hot water boiler outdoor temperature setback. Hot water boilers that supply heat to the building through one- or two-pipe heating systems shall have an outdoor set-back control that lowers the boiler water temperature based on the outdoor temperature.

R403.3 Ducts. Ducts and air handlers shall be in accordance with Sections R403.3.1 through R403.3.5.

R403.3.1 Insulation (Prescriptive). Supply and return ducts in attics shall be insulated to a minimum of R-8 where 3 inches (76 mm) in diameter and greater and R-6 where less than 3 inches (76 mm) in diameter. Supply and return ducts in other portions of the building shall be insu-lated to a minimum of R-6 where 3 inches (76 mm) in diameter or greater and R-4.2 where less than 3 inches (76 mm) in diameter.

Exception: Ducts or portions thereof located com-pletely inside the building thermal envelope.

R403.3.2 Sealing (Mandatory).

*15. Amendments to Section R403.3.2 (Sealing (Mandatory)).

Section R403.3.2 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R403.3.2 Sealing (Mandatory). Ducts, air handlers and filter boxes shall be sealed. Joints and seams shall comply with the 2015 International Mechanical Code (as amended), the 2015 International Residential Code (as amended), or the New York City Constructions Codes, as applicable.

Exceptions:

1. Air-impermeable spray foam products shall be permitted to be applied without additional joint seals.
2. For ducts having a static pressure classification of less than 2 inches of water column (500 Pa), additional closure systems shall not be required for continuously welded joints and seams, and locking-type joints and seams of other than the snap-lock and button-lock types.

TABLE R402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

R403.3.2.1 Sealed air handler. Air handlers shall have a manufacturer's designation for an air leakage of no more than 2 percent of the design air flow rate when tested in accordance with ASHRAE 193.

R403.3.3 Duct testing (Mandatory). Ducts shall be pres-sure tested to determine air leakage by one of the follow-ing methods:

1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All reg-isters shall be taped or otherwise sealed during the test.
2. Postconstruction test: Total leakage shall be mea-sured with a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the man-ufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.

Exception: A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal enve-lope.

A written report of the results of the test shall be signed by the party conducting the test and provided to the code official.

R403.3.4 Duct leakage (Prescriptive). The total leakage of the ducts, where measured in accordance with Section R403.3.3, shall be as follows:

1. Rough-in test: The total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area where the air handler is installed at the time of the test. Where the air handler is not installed at the time of the test, the total leakage shall be less than or equal to 3 cubic feet per minute (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area.
2. Postconstruction test: Total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/ min) per 100 square feet (9.29 m2) of conditioned floor area.

R403.3.5 Building cavities (Mandatory). Building fram-ing cavities shall not be used as ducts or plenums.

R403.4 Mechanical system piping insulation (Manda-tory).
Mechanical system piping capable of m
carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.

R403.4.1 Protection of piping insulation. Piping insula-tion exposed to weather shall be protected from damage, including that caused by sunlight, moisture, equipment maintenance and wind, and shall provide shielding from solar radiation that can cause degradation of the material. Adhesive tape shall not be permitted.

R403.5 Service hot water systems. Energy conservation measures for service hot water systems shall be in accordance with Sections R403.5.1 and R403.5.4.

R403.5.1 Heated water circulation and temperature maintenance systems (Mandatory). Heated water circu-lation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessi-ble. Manual controls shall be readily accessible.

R403.5.1.1 Circulation systems. Heated water circula-tion systems shall be provided with a circulation pump. The system return pipe shall be a dedicated return pipe or a cold water supply pipe. Gravity and thermo-syphon circulation systems shall be prohibited. Con-trols for circulating hot water system pumps shall start the pump based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water.

R403.5.1.2 Heat trace systems. Electric heat trace sys-tems shall comply with IEEE 515.1 or UL 515. Con-trols for such systems shall automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping in accordance with the times when heated water is used in the occupancy.

R403.5.2 Demand recirculation systems. A water distri-bution system having one or more recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe shall be a demand recirculation water system. Pumps shall have controls that comply with both of the following:

1. The control shall start the pump upon receiving a signal from the action of a user of a fixture or appli-ance, sensing the presence of a user of a fixture or sensing the flow of hot or tempered water to a fix-ture fitting or appliance.
2. The control shall limit the temperature of the water entering the cold water piping to 104ºF (40ºC).

R403.5.3 Hot water pipe insulation (Prescriptive). Insu-lation for hot water pipe with a minimum thermal resis-tance (R-value) of R-3 shall be applied to the following:

1. Piping inch (19.1 mm) and larger in nominal 3/4 diameter.
2. Piping serving more than one dwelling unit.
3. Piping located outside the conditioned space.
4. Piping from the water heater to a distribution mani-fold.
5. Piping located under a floor slab.
6. Buried in piping.
7. Supply and return piping in recirculation systems other than demand recirculation systems.

R403.5.4 Drain water heat recovery units. Drain water heat recovery units shall comply with CSA B55.2. Drain water heat recovery units shall be tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units shall be less than 3 psi (20.7 kPa) for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recov-ery units shall be less than 2 psi (13.8 kPa) for individual units connected to three or more showers.

R403.6 Mechanical ventilation (Mandatory). The building

16. Amendments to Section R403.6 (Mechanical ventilation Mandatory)).

Section R403.6 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

Section R403.6 Mechanical ventilation (Mandatory). The building shall be provided with ventilation that meets the requirements of the 2015 International Mechanical Code (as amended), the 2015 International Residential Code (as amended), or the New York City Constructions Codes, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

R403.6.1 Whole-house mechanical ventilation system fan efficacy. Mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.1.

Exception: Where mechanical ventilation fans are inte-gral to tested and listed HVAC equipment, they shall be powered by an electronically commutated motor.

R403.7 Equipment sizing and efficiency rating (Manda-tory). Heating and cooling equipment shall be sized in accor-dance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the mini-mum required by federal law for the geographic location where the equipment is installed.

R403.8 Systems serving multiple dwelling units (Mandatory)

*17. Amendments to Section R403.8 (Systems serving multiple dwelling units (Mandatory)).
Section R403.8 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R403.8 Systems serving multiple dwelling units (Mandatory). Systems serving multiple dwelling units shall comply with the Section C403 and C404 of the 2015 IECC Commercial Provisions (as amended) in lieu of Section R403 of the 2015 IECC Residential Provisions (as amended).

R403.9 Snow melt and ice system controls (Mandatory). Snow- and ice-melting systems, supplied through energy ser-vice to the building, shall include automatic controls capable of shutting off the system when the pavement temperature is above 50°F (10°C), and no precipitation is falling and an automatic or manual control that will allow shutoff when the outdoor temperature is above 40°F (4.8°C).

R403.10 Pools and permanent spa energy consumption (Mandatory). The energy consumption of pools and perma-nent spas shall be in accordance with Sections R403.10.1 through R403.10.4.

R403.10.1 Residential pools and permanent residential spas. Swimming pools and permanent spas that are acces-sory to detached one- and two-family dwellings and town-houses three stories or less in height above grade plane and that are available only to the household and its guests shall be in accordance with APSP-145.

R403.10.2 Heaters. The electric power to heaters shall be controlled by a readily accessible on-off switch that is an integral part of the heater mounted on the exterior of the heater, or external to and within 3 feet (914 mm) of the heater. Operation of such switch shall not change the set-ting of the heater thermostat. Such switches shall be in addition to a circuit breaker for the power to the heater. Gas-fired heaters shall not be equipped with continuously burning ignition pilots.

R403.10.3 Time switches. Time switches or other control methods that can automatically turn off and on according to a preset schedule shall be installed for heaters and pump motors. Heaters and pump motors that have built-in time switches shall be in compliance with this section.

Exceptions:

1. Where public health standards require 24-hour pump operation.
2. Pumps that operate solar- and waste-heat-recov-ery pool heating systems.

R403.10.4 Covers.

18. Amendments to Section R403.10.3 (Covers).

Section R403.10.3 of the 2015 IECC Residential Provisions shall be deemed to be amended to read as follows:

R403.10.3 Covers. Outdoor heated pools and outdoor heated permanent spas shall be equipped with a vapor-retardant pool cover or other approved vapor-retardant means. Outdoor heated pools and outdoor heated permanent spas heated to more than 90 degrees F (32 degrees C) shall have a pool cover with a minimum insulation value of R-12.

Exception: Where more than 60 percent of the energy used for heating an outdoor heated pool or outdoor heated permanent spa is from site-recovered energy or solar energy source, covers or other vapor-retardant means shall not be required.

R403.11 Portable spas (Mandatory). The energy consump-tion of electric-powered portable spas shall be controlled by the requirements of APSP-14.

R403.12 Residential pools and permanent residential spas. Residential swimming pools and permanent residential spas that are accessory to detached one- and two-family dwellings and townhouses three stories or less in height above grade plane and that are available only to the house-hold and its guests shall be *in accordance with APSP-15a.

SECTION R404
ELECTRICAL POWER AND LIGHTING SYSTEMS

R404.1 Lighting equipment (Mandatory). Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

Exception: Low-voltage lighting.

R404.1.1 Lighting equipment (Mandatory). Fuel gas lighting systems shall not have continuously burning pilot lights.

TABLE R403.6.1
MECHANICAL VENTILATION SYSTEM FAN EFFICACY

FAN LOCATION	AIR FLOW RATE MINIMUM (CFM)	MINIMUM EFFICACY (CFM/WATT)	AIR FLOW RATE MAXIMUM (CFM)
Range hoods	Any	2.8 cfm/watt	Any
In-line fan	Any	2.8 cfm/watt	Any
Bathroom, utility room	10	1.4 cfm/watt	< 90
Bathroom, utility room	90	2.8 cfm/watt	Any

For SI: 1 cfm = 28.3 L/min.

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
2015 IECC REQUIREMENTS W/ NYS SUPPLEMENT

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.: A18-195
PROJECT NO.: TOWNHOME
DRAWN BY: CRB
CHECKED BY: ART
DATE: 1-14-2019
DRAWING NO.: T3.0

James Fahy Design
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website: www.jamesfahy.com

Design No. U309
BXUV.U309
Fire Resistance Ratings - ANSI/UL 263

Page Bottom

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. U309

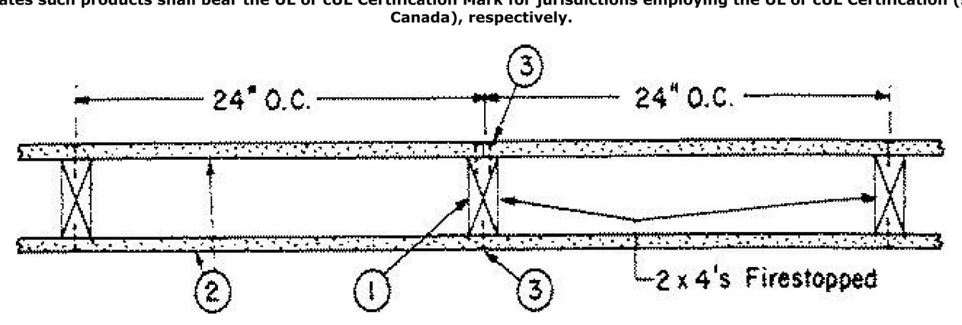
December 26, 2018

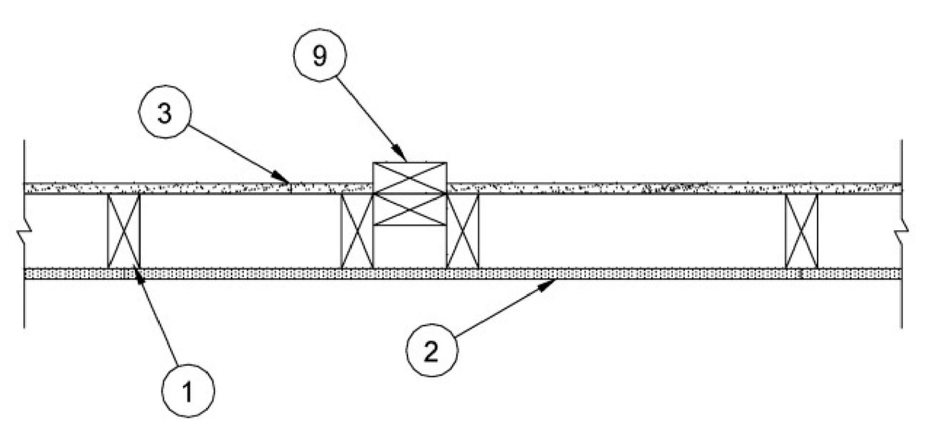
Bearing Wall Rating — 1 Hr.

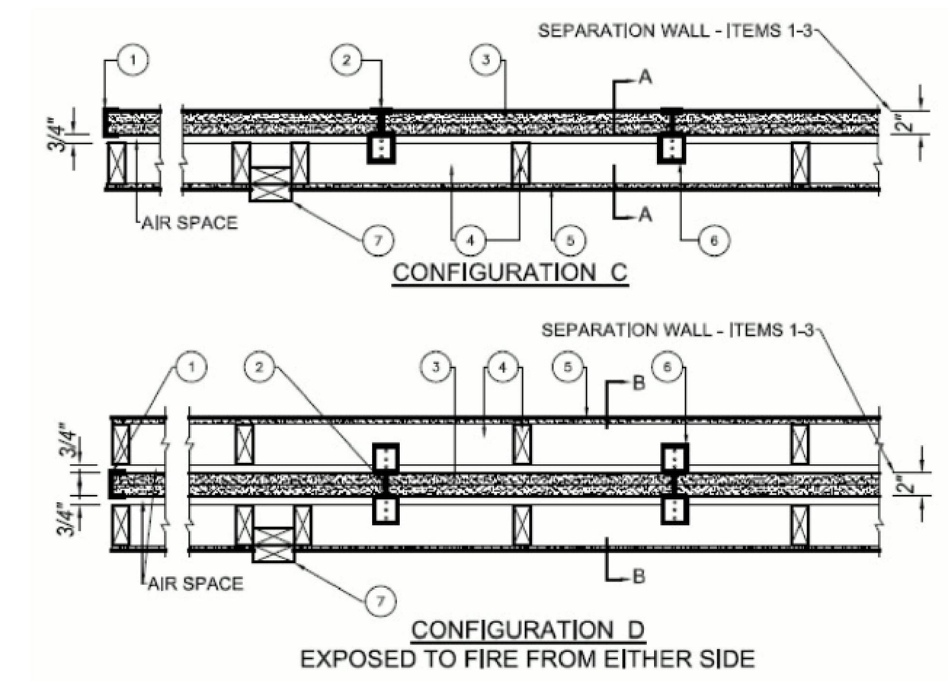
Finish Rating — See Items 2, 2A and 2B

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**







Design No. U336
BXUV.U336
Fire Resistance Ratings - ANSI/UL 263

Page Bottom

Design/System/Construction/Assembly Usage Disclaimer

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- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. U336

May 08, 2018

Exposed to fire from separation wall side only

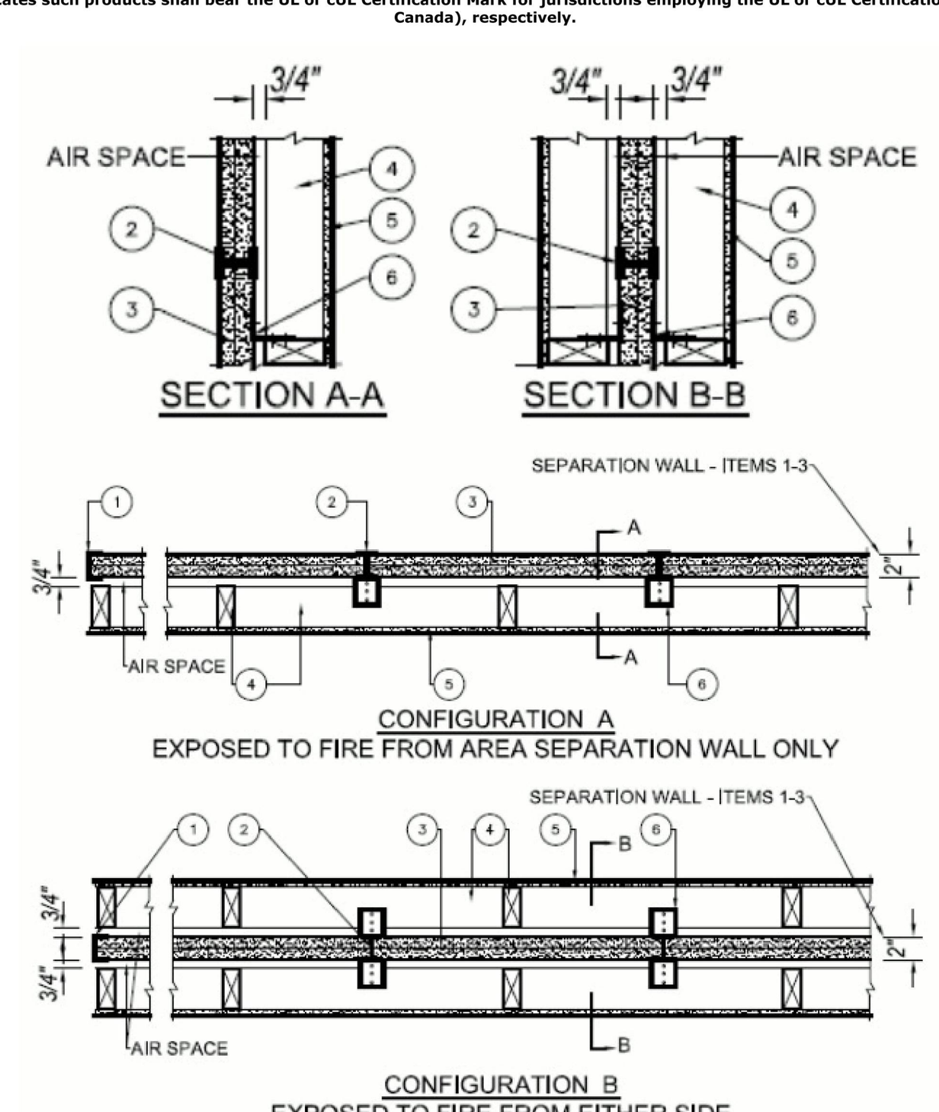
Nonbearing Wall Rating — 2 Hr (Separation Wall, See Items 1, 2 and 3)

Bearing Wall Rating - 2 Hr (Protected Wall, See Items 4 and 4A)

Nonbearing Wall Rating - 3 Hr (Protected Wall, See Item 4B)

Finish Rating — 120 Min

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
UL FIRE RATED LISTINGS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO. A18-195	PROJECT NO. TOWNHOME
DRAWN BY: CRB	DRAWING NO: T4.0
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
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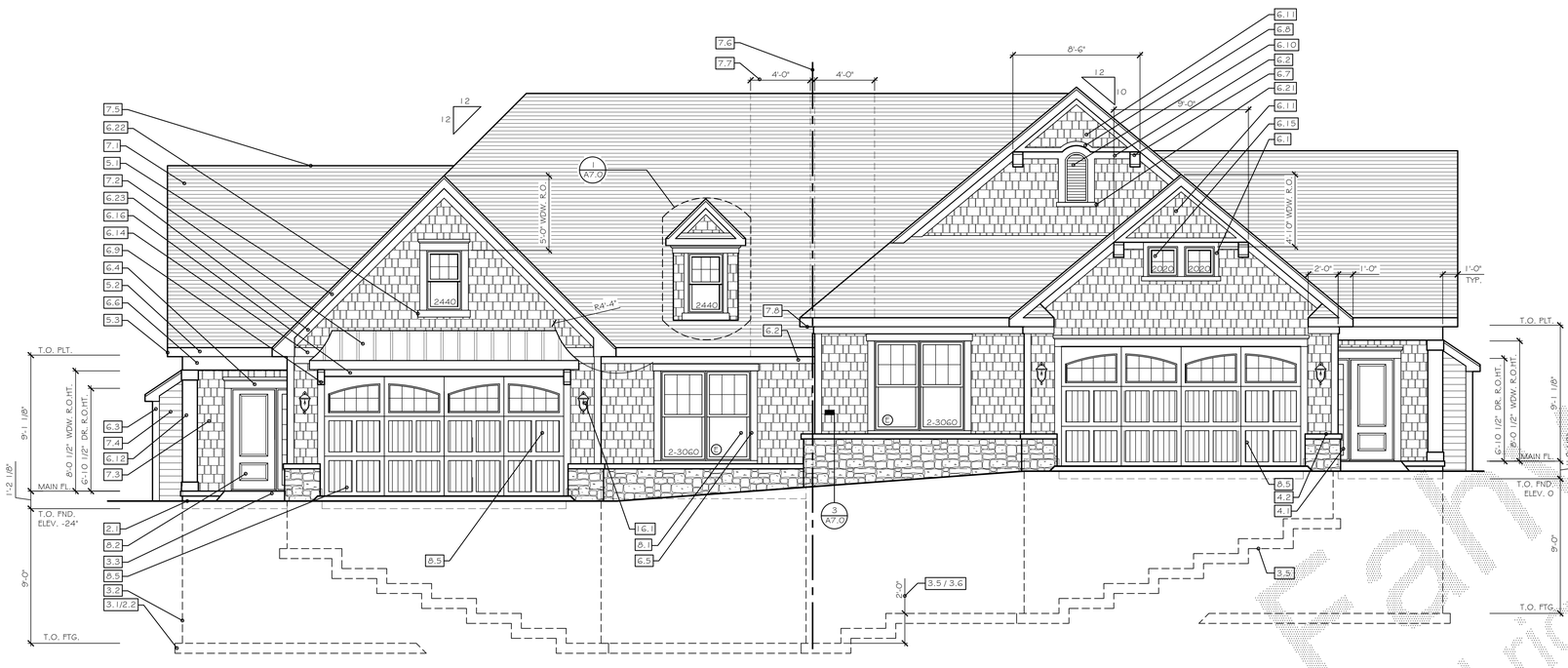
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

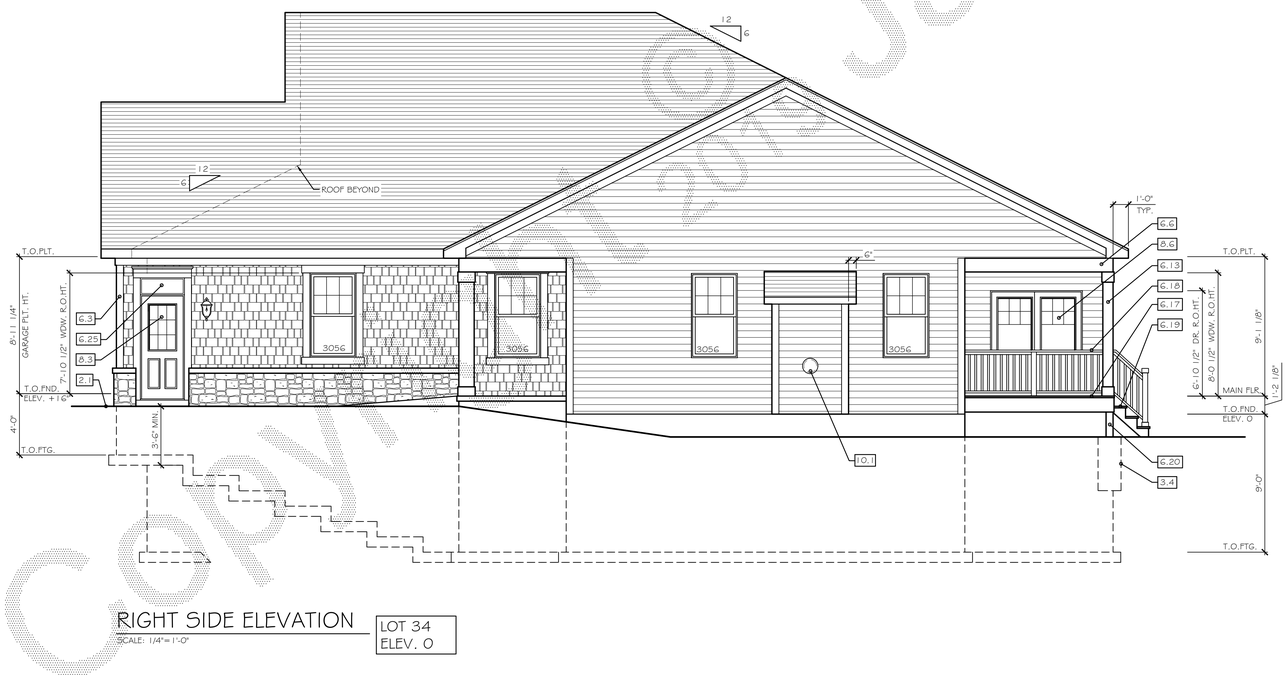


LOT 33
ELEV. -24"

LOT 34
ELEV. 0

FRONT ELEVATION

SCALE: 1/4"= 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

LOT 34
ELEV. 0

ELEVATION SPECIFICATION NOTES:

2.0 SITE WORK
- 2.1 GRADE VARIES (REFER TO SITE ENGINEERS GRADING PLAN)
- 2.2 ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM.

3.0 CONCRETE
- 3.1 CONCRETE SPREAD FOOTING. REFER TO FOUNDATION PLAN FOR SIZING
- 3.2 CONCRETE FOUNDATION WALL. REFER TO FOUNDATION PLAN FOR SIZING
- 3.3 CONCRETE PORCH, FLUSH WITH INTERIOR FLOOR. SLOPE AWAY FROM BUILDING
- 3.4 18"DIA. CONC. PIER W/ GALV. MTL. POST BASE
- 3.5 STEP FOOTING, SEE DETAIL 1/D SHT. A7.0
- 3.6 2'-0" STEP BETWEEN UNITS. VERIFY STEP LOCATION WITH SITE MAP PER BUILDING

4.0 MASONRY
- 4.1 LIGHT WEIGHT STONE VENEER GARDEN WALL W/ CAP
- 4.2 STONE SILL

5.0 METALS
- 5.1 1"Ø OVER 2x6 ALUMINUM WRAPPED RAKES
- 5.2 2x6 ALUMINUM WRAPPED FASCIA WITH METAL DRIP EDGE
- 5.3 5" ALUMINUM 'K' GUTTER (COLOR: T.B.D.) WITH DOWNSPOUTS. FINAL LOCATION PER CONTRACTOR IN FIELD.

6.0 WOODS & PLASTICS
- 6.1 1x4 TRIM (TYP. @ TRANSOMS)
- 6.2 1x6 WALL FRIEZE, FRONT & SIDES.
- 6.3 1x6 CORNER BOARD WHERE SHOWN
- 6.4 'TYPON' WCH-X8 CROSSHEAD @ WINDOWS & DOORS, FRONT & SIDES WHERE SHOWN (U.O.N.)
- 6.5 1x6 WINDOW & DOOR TRIM FRONT & SIDES WHERE SHOWN.
- 6.6 PVC WRAPPED (OR EQ.) BOX BEAM. REFER TO PLAN FOR SIZE.
- 6.7 10X10X8 BRACKET OR EQUAL
- 6.8 1X4 TRIM W/ 1'-3" RADIUS
- 6.9 2X12X6 BRACKET OR EQUAL
- 6.10 'TYPON' CLV1 6X30 ARCHED DECORATIVE VENT W/ 6" SURROUND
- 6.11 BOX OUT 9" FROM WALL
- 6.12 12" COL. W/ CAP & BASE MLDG.
- 6.13 8" COL. W/ CAP & BASE MLDG.
- 6.14 1x8 OR 1x6 WALL FRIEZE
- 6.15 7/16" O.S.B. PANEL BEHIND WINDOW. PAINT OUTER SURFACE BLACK. (TYPICAL AT UNFINISHED AREAS.)
- 6.16 1x6 CROSSHEAD TRIM @ O.H. DOOR LOT 33 ONLY
- 6.17 WOOD DECK
- 6.18 36" H VINYL GUARDRAIL SYSTEM, SEE DETAILS SHEET A7.0
- 6.19 P.T. STEPS & RAIL TO GRADE OR EQUAL
- 6.20 6x6 P.T. POST ON CONC. PIER
- 6.21 1x4 APRON (TYP. @ VENT & TRANSOMS)
- 6.22 1x6 APRON
- 6.23 1x6 GABLE FRIEZE
- 6.24 TIMBER WELL BY OTHERS TO MEET 2015 IRC CODE SEE REQUIREMENTS ON SHT. A2.0 GENERAL NOTES
- 6.25 DECORATIVE PANEL

7.0 THERMAL & MOISTURE PROTECTION
- 7.1 ASPHALT SHINGLES
- 7.2 STANDING SEAM METAL ROOF. MFR., TYPE & COLOR T.B.D.
- 7.3 7" T.W. VINYL SHAKE SIDING. (COLOR TO BE DETERMINED)
- 7.4 5" T.W. VINYL HORIZONTAL SIDING. (COLOR TO BE DETERMINED)
- 7.5 RIDGE VENT, BREAK AT FIRE RETARDANT PW. LOCATIONS
- 7.6 DWELLING UNIT SEPARATION WALL CENTERLINE
- 7.7 FIRE RETARDANT P.W. DECKING 4'-0" EACH SIDE OF 2 HR. SEPARATION WALL PER 2015 IRC SECTION R302.2.2 (EXCEPTION)
- 7.8 2-LAYERS OF 5/8" TYPE 'X' GYP. BD. AT UNDERSIDE OF SOFFIT WITH VINYL SOFFIT COVER OVER. SEE ROOF FRAMING PLAN FOR ALL LOCATIONS

8.0 WINDOWS AND DOORS
- 8.1 'VWD' 210 SERIES. DOUBLE HUNG WINDOWS W/ GRILLES AS SHOWN. U-VALUE OF .30 & PICTURE WINDOWS U-VALUE .28
- 8.2 3'-0" x 6'-8" THERMA-TRU® 593 W/ 18"W CUSTOM SIDELITE OR EQUAL (COLOR TO BE DETERMINED) (T.B.D.)
- 8.3 2'-8" x 6'-8" THERMA-TRU® 5262 OR EQUAL (COLOR T.B.D.)
- 8.4 BOMAN KEMP SLIDING EGRESS WINDOW W/ U-VALUE OF .31
- 8.5 'AMARR' CLASSICA T6 16'0 x 8'0 O.H.DR. OR EQUAL (COLOR T.B.D.)
- 8.6 'KOLBE' VINYL MW1500 TRADITIONAL SERIES S.G.D. W/ U-VALUE .30

10.0 SPECIALTIES
- 10.1 DIRECT VENT FIREPLACE FLUE, SEE MFR. SPECS. FOR CLEARANCES

16.0 ELECTRICAL
- 16.1 PROVIDE WALL OR CEILING MOUNTED LIGHTING AT ENTRY DOORS & O.H DOORS

LEGEND:
- (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER IRC 2015 SECTION R310.1
- (T) WINDOW MEETS REQUIREMENTS FOR HAZARDOUS LOCATIONS NEEDING SAFETY GLAZING PER IRC 2015 SECTION R308.4

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
FRONT & RIGHT SIDE ELEVATIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A1.0
CHECKED BY: ART	
DATE: 1-14-2019	

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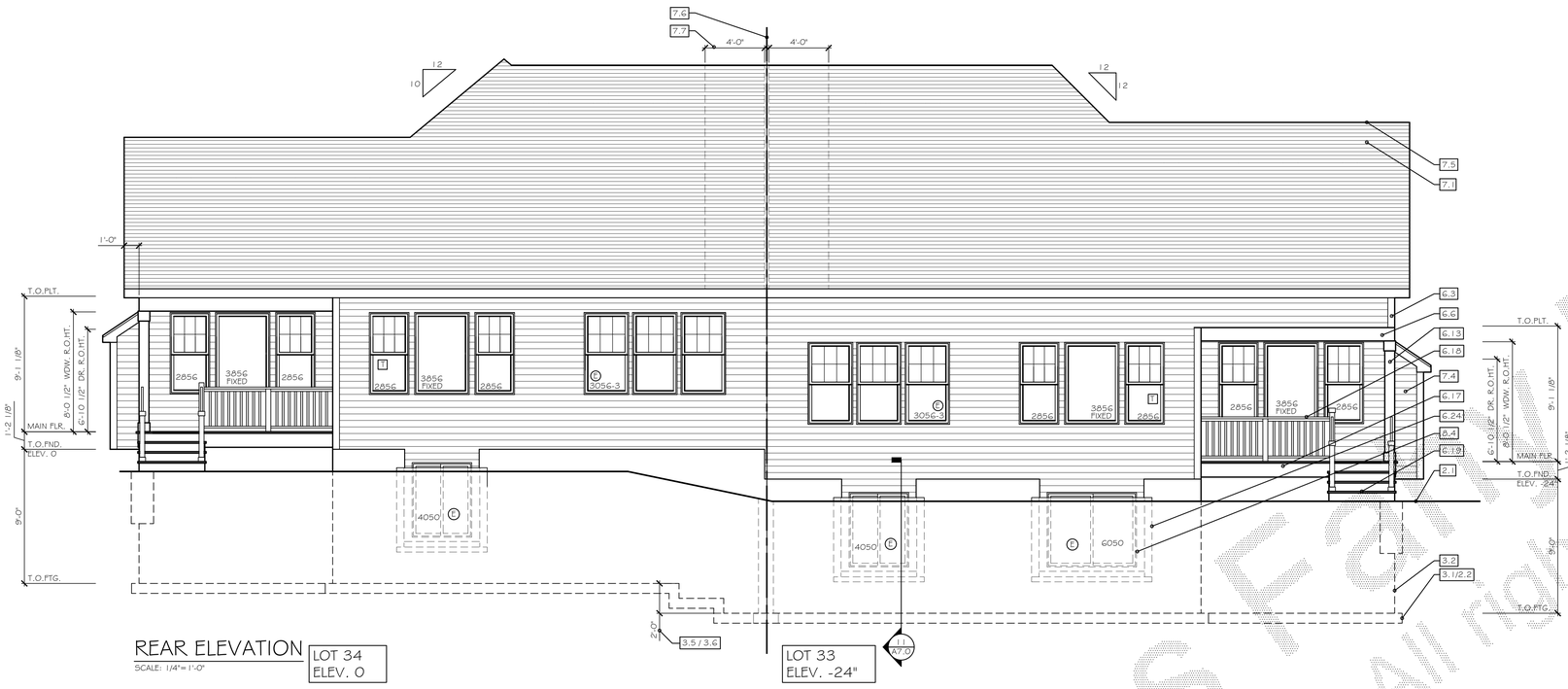
Rochester, New York 14623
585-272-1650 Fax 585-272-1008
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

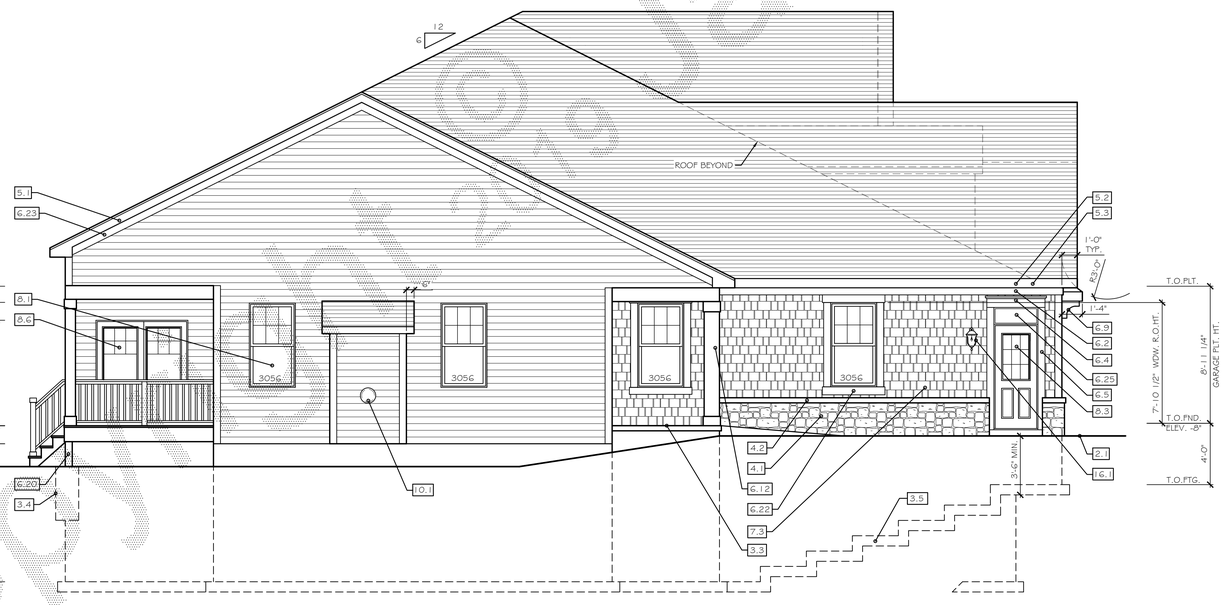


REAR ELEVATION

SCALE: 1/4"= 1'-0"

LOT 34
ELEV. 0

LOT 33
ELEV. -24"



LEFT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

LOT 33
ELEV. -24"

ELEVATION SPECIFICATION NOTES:

2.0 SITE WORK
- 2.1 GRADE VARIES (REFER TO SITE ENGINEERS GRADING PLAN)
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- 6.7 10X10X8 BRACKET OR EQUAL
- 6.8 1X4 TRIM W/ 1'-3" RADIUS
- 6.9 12X12X6 BRACKET OR EQUAL
- 6.10 'TYPON' CLV16X30 ARCHED DECORATIVE VENT W/ 6" SURROUND
- 6.11 BOX OUT 9" FROM WALL
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- 6.13 8" COL. W/ CAP & BASE MLDG.
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- 6.17 WOOD DECK.
- 6.18 36" H VINYL GUARDRAIL SYSTEM, SEE DETAILS SHEET A7.0
- 6.19 P.T. STEPS & RAIL TO GRADE OR EQUAL
- 6.20 6x6 P.T. POST ON CONC. PIER
- 6.21 1x4 APRON (TYP. @ VENT & TRANSOMS)
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- 7.6 DWELLING UNIT SEPARATION WALL CENTERLINE
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16.0 ELECTRICAL
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LEGEND:
- (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER IRC 2015 SECTION R310.1
- (T) WINDOW MEETS REQUIREMENTS FOR HAZARDOUS LOCATIONS NEEDING SAFETY GLAZING PER IRC 2015 SECTION R308.4

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
REAR & LEFT SIDE ELEVATIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A1.1
CHECKED BY: ART	
DATE: 1-14-2019	

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e-mail: info@jamesfahy.com
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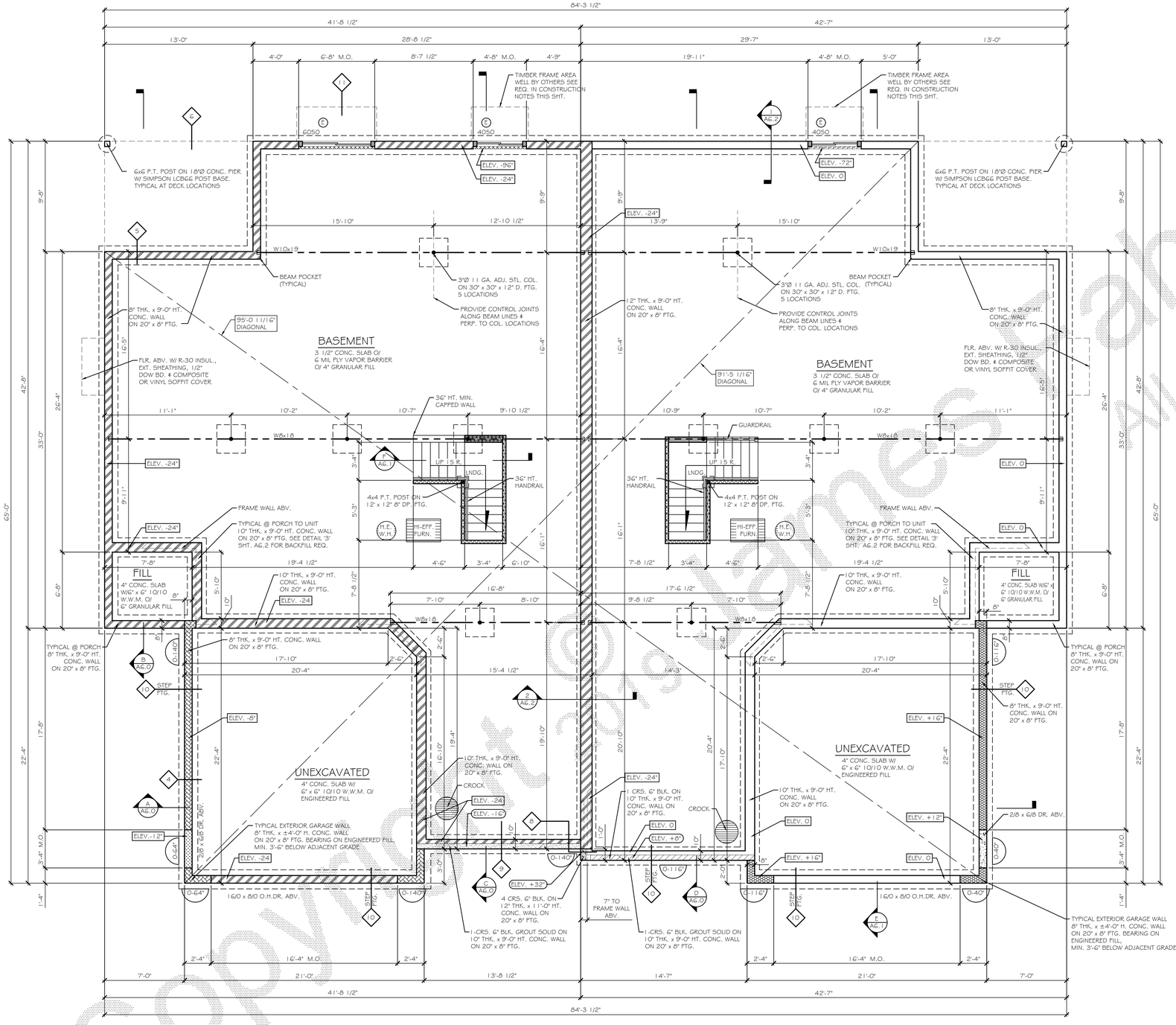

BASEMENT / FOUNDATION PLAN

SCALE: 1/4"= 1'-0"

SANTENAY — Lot 33 — ELEVATION -24"

REFER TO NOTES THIS SHT., SECTIONS ON SHT. AG.2 AND DETAILS ON SHT. A7.0 FOR ALL REINFORCING

BASEMENT / FOUNDATION PLAN

SCALE: 1/4"= 1'-0"

SANTENAY — Lot 34 — ELEVATION 0

REFER TO NOTES THIS SHT., SECTIONS ON SHT. AG.2 AND DETAILS ON SHT. A7.0 FOR ALL REINFORCING

CONSTRUCTION NOTES: (UNLESS OTHERWISE NOTED)

CONSTRUCTION NOTES:

- SLABS AT PATIOS, PORCHES, WALKWAYS AND GARAGES TO BE 3500 PSI MIN., AIR ENTRAINED.
- INTERIOR SLABS SHALL BE 2500 PSI MIN. AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
- WALLS AND SPREAD FOOTING TO BE 3000 PSI MIN. W/ REINFORCING AS NOTED AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
- ALL SLABS TO BE REINFORCED WITH WIRE MESH AS NOTED.
- INSTALL 1" DEEP x 1/4" WIDE CONTROL JOINTS IN SLAB EVERY 300 S.F. ±
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND 2015 IRC CHAPTER 4.
- CONCRETE MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ACI AND 2015 IRC CHAPTER 4.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 TYPE I, GRADE N, MOISTURE CONTROLLED UNITS. MORTAR SHALL BE TYPE M OR S
- GROUT SHALL CONFORM TO ASTM C476 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. GROUT SHALL BE PLACED IN LIFTS NOT EXCEEDING 7 COURSES IN HEIGHT UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
- COORDINATE LOCATION OF ALL FOUNDATION WALLS, PARTITIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS.
- ALL FOOTINGS & SLABS (INCLUDING HAUNCHED SLAB SHALLOW WALL FOOTINGS) MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL. (SEE NOTE BELOW)
- ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3 INCHES. FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM.
- PROVIDE CHEMICAL HARDENER AND SEALER TO ALL TROWEL FINISHED INTERIOR FLOORS WHICH ARE TO BE LEFT EXPOSED.
- PROVIDE A NON SKID FINISH TO ALL CONCRETE WALKWAYS AND PITCH TO AVOID PONDING.

REINFORCING:

- PROVIDE VERTICAL REINFORCING IN ALL FOUNDATION WALLS PER CHARTS PROVIDED BELOW.
- PROVIDE NO. 4 BAR HORIZONTAL AT ALL STEM WALLS.
- PROVIDE 5 NO. 4 BAR HORIZONTAL AT ALL 9'+ HT. WALLS
- PROVIDE CONTINUOUS REINFORCING IN ALL FOOTINGS OF 2 NO. 5 BAR HORIZONTAL.

FRAMING CONSTRUCTION NOTES:

- ALL WINDOW R.O.HTS. TO BE 7'-9 3/4" ABV. T.O.SLAB
- ALL DOOR R.O.HTS. TO BE 6'-10 1/2" ABV. T.O.SLAB
- ALL DOORS UNLESS OTHERWISE DIMENSIONED TO BE LOCATED 4" FROM ADJACENT WALL OR CENTERED IN OPENING.
- REFER TO SHEET S1.0 FOR ALL INTERIOR AND EXTERIOR HEADERS AND MAIN FLOOR FRAMING.

GENERAL NOTES:

- ALL ANGLES TO BE 12/12
- ALL FINAL UTILITY AND CROCK LOCATIONS TO BE DETERMINED ON SITE.
- ALL APPLIANCES PER CONTRACT.

LEGEND:

WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER IRC 2015 SECTION R310.1 (E)

CONSTRUCTION DETAIL
ALL DETAILS SHOWN ON SHEET A7.0

2 x 4 FRAME WALLS -24" O.C.
2 x 6 FRAME WALLS -24" O.C.

2015 IRC SECTION R314.3 SMOKE ALARM LOCATIONS

1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.

2015 IRC SECTION R315.3 CARBON MONOXIDE ALARM LOCATIONS

CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

2015 IRC SECTION R310.2.3 WINDOW WELLS

THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN
9 SQUARE FEET, WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
EXCEPTION: THE LADDER OR STEPS REQUIRED BY SECTION R310.2.3.1 SHALL BE PERMITTED TO ENCROACH NOT MORE THAN 6 INCHES INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.

R310.2.3.1 LADDER AND STEPS

WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS R311.7 AND R311.8. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES, SHALL PROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.2.3.2 DRAINAGE

WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R405.1 OR BY AN APPROVED ALTERNATIVE METHOD.
EXCEPTION: A DRAINAGE SYSTEM FOR WINDOW WELLS IS NOT REQUIRED WHERE THE FOUNDATION IS ON WELL-DRAINED SOIL OR SAND-GRAVEL MIXTURE SOILS IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R405.1

FOUNDATION LEGEND

ELEV. = 0" +32" : BLOCK.
ELEV. = 0 +16" :
ELEV. = +12" :
ELEV. = +8" : BLOCK.
ELEV. = 0" :
ELEV. = 0 - 8" :
ELEV. = 0 - 12" :
ELEV. = 0 - 16" : BLOCK.
ELEV. = 0 - 24" :
ELEV. = 0 - 72" :
ELEV. = 0 - 96" :
ELEV. TOP OF CONC. WALL : XXXXX
ELEV. BOTTOM OF FOOTING : XXX
ELEV. TOP OF BLOCK : XXXXX

PARTIAL TABLE R404.1.2(8)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n, & o)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(g) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (inches)		
		Soil classes(a) and design lateral soil (psf per foot of depth)		
		GW,GP,SW and SP 30	GM, GC, SM, SM-SC and ML 45	SH, ML-CL and Inorganic CL 60
		Minimum wall thickness (8 inches)		
9	4	NR	NR	NR
	5	NR	NR(1)	NR
	6	NR(1)	NR	6 @ 39
	7	NR	5 @ 37	6 @ 36
	8	5 @ 41	6 @ 36	6 @ 29
	9	6 @ 46	6 @ 30	6 @ 23

PARTIAL TABLE R404.1.2(8)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n, & o)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(g) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (inches)		
		Soil classes(a) and design lateral soil (psf per foot of depth)		
		GW,GP,SW and SP 30	GM, GC, SM, SM-SC and ML 45	SH, ML-CL and Inorganic CL 60
		Minimum wall thickness (10 inches)		
9	4	NR	NR	NR
	5	NR	NR	NR
	6	NR	NR	NR(1)
	7	NR	NR	5 @ 37
	8	NR(1)	5 @ 37	6 @ 39
	9	NR	6 @ 41	6 @ 30

PARTIAL TABLE R404.1.2(8)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n, & o)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(g) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (inches)		
		Soil classes(a) and design lateral soil (psf per foot of depth)		
		GW,GP,SW and SP 30	GM, GC, SM, SM-SC and ML 45	SH, ML-CL and Inorganic CL 60
		Minimum wall thickness (12 inches)		
9	4	NR	NR	NR
	5	NR	NR	NR
	6	NR	NR	NR
	7	NR	NR	NR(1)
	8	NR	NR(1)	4 @ 45
	9	NR	NR	6 @ 39

For SI: 1 inch = 25.4 mm; 1 foot = 304.8 mm; 1 pound per square foot per foot = 0.1571 kPa2/m, 1 pound per square inch = 6.895 kPa.
NR = Not required.
a. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.
b. Table values are based on reinforcing bars with a minimum yield strength of 60,000 psi.
c. Vertical reinforcement with a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(9).
d. NR indicates no vertical wall reinforcement is required, except for 6-inch nominal walls formed with stay-in-place forming systems in which case vertical reinforcement shall be No. 4@48 inches on center.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g Where walls will retain 4 feet or more of unbalanced backfill, they shall be laterally supported at the top and bottom before backfilling.
h. Vertical reinforcement shall be located to provide a cover of 1 1/4 inches measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8 inch.
i. Concrete cover for reinforcement measured from the inside face of the wall shall be not less than 3/4 inch. Concrete cover for reinforcement measured from the outside face of the wall shall be not less than 1 1/2 inches for No. 5 bars and smaller, and not less than 2 inches for larger bars.
j. DR means design is required in accordance with the applicable building code, or where there is no code, in accordance with ACI 318.
k. Concrete shall have a specified compressive strength, f'_c, of not less than 2,500 psi at 28 days, unless a higher strength is required by Footnote 1 or m.
l. The minimum thickness is permitted to be reduced 2 inches, provided the minimum specified compressive strength of concrete, f'_c, is 4,000 psi.
m. A plain concrete wall with a minimum nominal thickness of 12 inches is permitted, provided minimum specified compressive strength of concrete, f'_c, is 3,500 psi.
n. See Table R608.3 for tolerance from nominal thickness permitted for flat walls.
o. The use of this table shall be prohibited for soil classifications not shown.

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
BASEMENT / FOUNDATION PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.: A18-195
PROJECT NO.: TOWNHOME
DRAWN BY: CRB
CHECKED BY: ART
DATE: 1-14-2019
DRAWING NO.: A2.0

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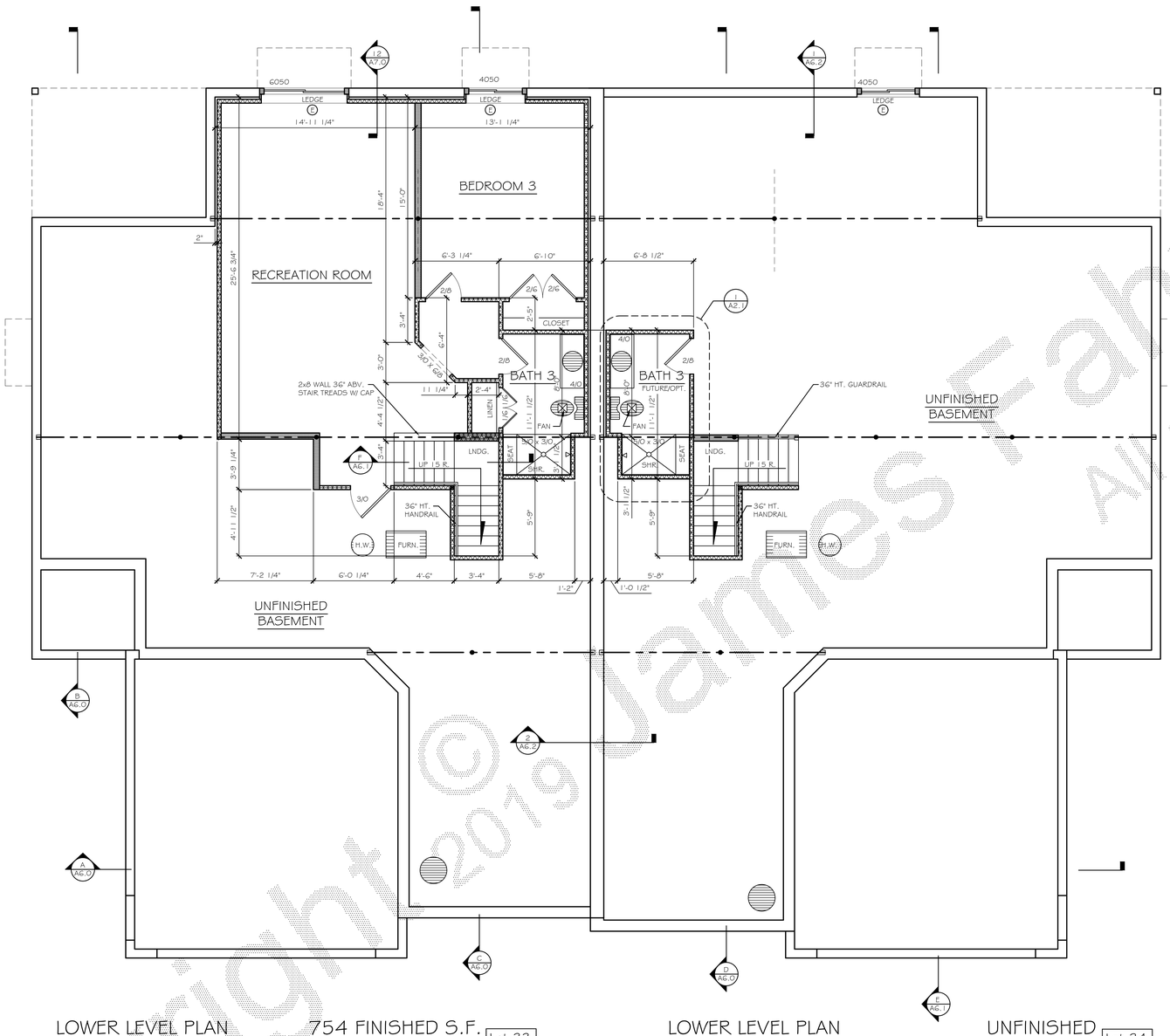
website: www.jamesfahy.com



LOWER LEVEL PLAN — 754 FINISHED S.F. — Lot 33

SCALE: 1/4"= 1'-0"

LOWER LEVEL PLAN — UNFINISHED — Lot 34

SCALE: 1/4"= 1'-0"

GENERAL NOTES:

(UNLESS OTHERWISE NOTED)

- CEILINGS IN FINISHED AREAS TO BE 8'-0" H. SUSPENDED.
- ALL WINDOW R.O. HTS. TO BE 7'-9 3/4" ABV. T.O.SLAB
- ALL ANGLES TO BE 12/12
- ALL APPLIANCES PER CONTRACT
- HANDRAIL & GUARD DETAILS PROVIDED ON SHEET A7.0
- PER 2015 IRC SECTION R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD.
- ALL DOORS UNLESS OTHERWISE DIMENSIONED TO BE LOCATED 4" FROM ADJACENT WALL OR CENTERED IN OPENING.

2015 IRC/SECTION R314.3 SMOKE ALARM LOCATIONS

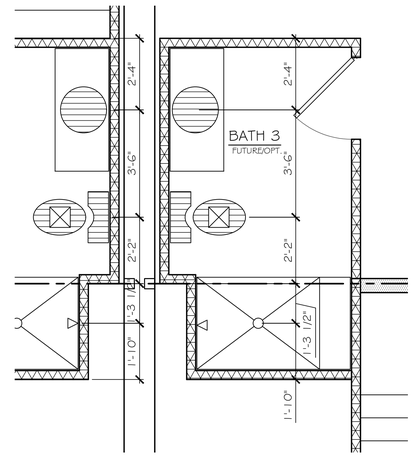
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT AND HABITABLE ATICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ONT THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3

2015 IRC SECTION R315.3
CARBON MONOXIDE ALARM LOCATIONS
CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM IS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

LEGEND:

- 2x4 STUDS @ 24" O.C.
- 2x6 STUDS @ 24" O.C.
- 2 x 8 FRAME WALLS -24" O.C.

WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER 2015 IRC SECTION R310.1 (E)



1 LOT 34 FUTURE PLUMBING LOCATIONS

SCALE: 1/2" = 1'-0"

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
FINISHED LOWER LEVEL

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A2.1
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
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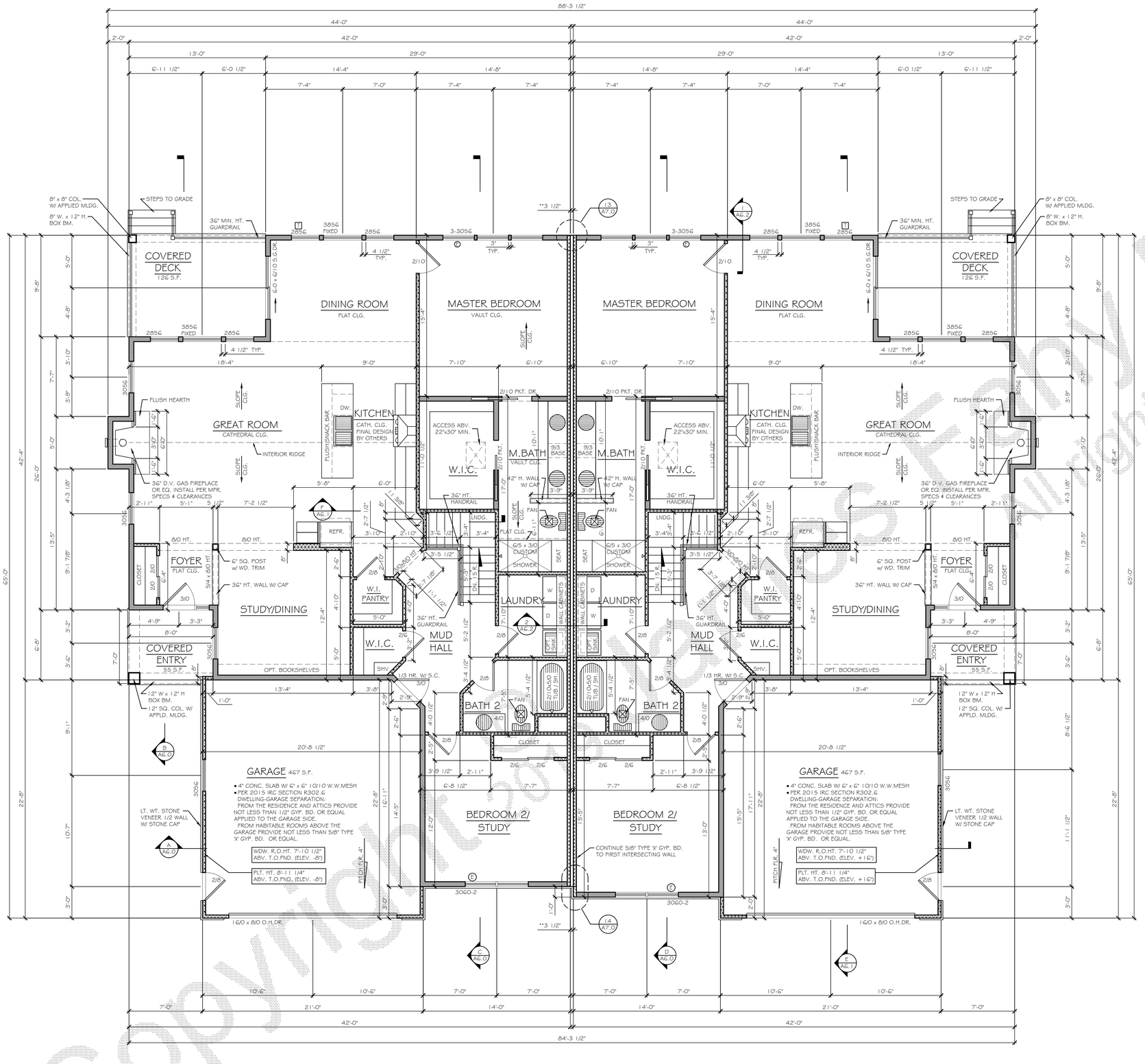

MAIN FLOOR PLAN — 1893 S.F. — LOT 33
SCALE: 1/4"=1'-0" — SANTENAY — ELEV. -24"

MAIN FLOOR PLAN — 1907 S.F. — LOT 34
SCALE: 1/4"=1'-0" — SANTENAY — ELEV. 0

GENERAL NOTES: (UNLESS OTHERWISE NOTED)

- ALL PLATE HEIGHTS TO BE 9'-1 1/8"
- ALL WINDOW R.O.HTS. TO BE 8'-0 1/2"
- ALL DOOR R.O.HTS. TO BE 6'-10 1/2"
- ** DIMENSION INCLUDES 2" SHAFT WALL PLUS 3/4" AIRSPACE EACH SIDE
- ALL ANGLES TO BE 12/12
- ALL APPLIANCES PER CONTRACT
- HANDRAIL & GUARD DETAILS PROVIDED ON SHEET A-7.0
- PER 2015 IRC SECTION R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD.
- ALL DOORS UNLESS OTHERWISE DIMENSIONED TO BE LOCATED 4" FROM ADJACENT WALL OR CENTERED IN OPENING.
- ALL ENTRIES FROM PORCHES, DECKS AND GARAGES TO UNITS TO BE FLUSH
- SEE SHEET S-3.0 FOR ALL STRUCTURE INCLUDING INTERIOR & EXTERIOR HEADERS

2015 IRC SECTION R314.3 SMOKE ALARM LOCATIONS
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ONT THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3

2015 IRC SECTION R315.3 CARBON MONOXIDE ALARM LOCATIONS
CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

LEGEND:
- 2 x 4 FRAME WALLS - 24" O.C.
- 2 x 6 FRAME WALLS -24" O.C.
- 1 HR. RATED EXTERIOR WALL (UL DESIGN NO. U309)
- 2 HR. SEPARATION WALL ASSEMBLY (UL DESIGN NO. U336)
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER 2015 IRC SECTION R310.1 (E)
- WINDOW MEETS REQUIREMENTS FOR HAZARDOUS LOCATIONS NEEDING SAFETY GLAZING PER 2015 IRC SECTION R308.4 (T)

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
MAIN FLOOR PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A3.0
CHECKED BY: ART	
DATE: 1-14-2019	

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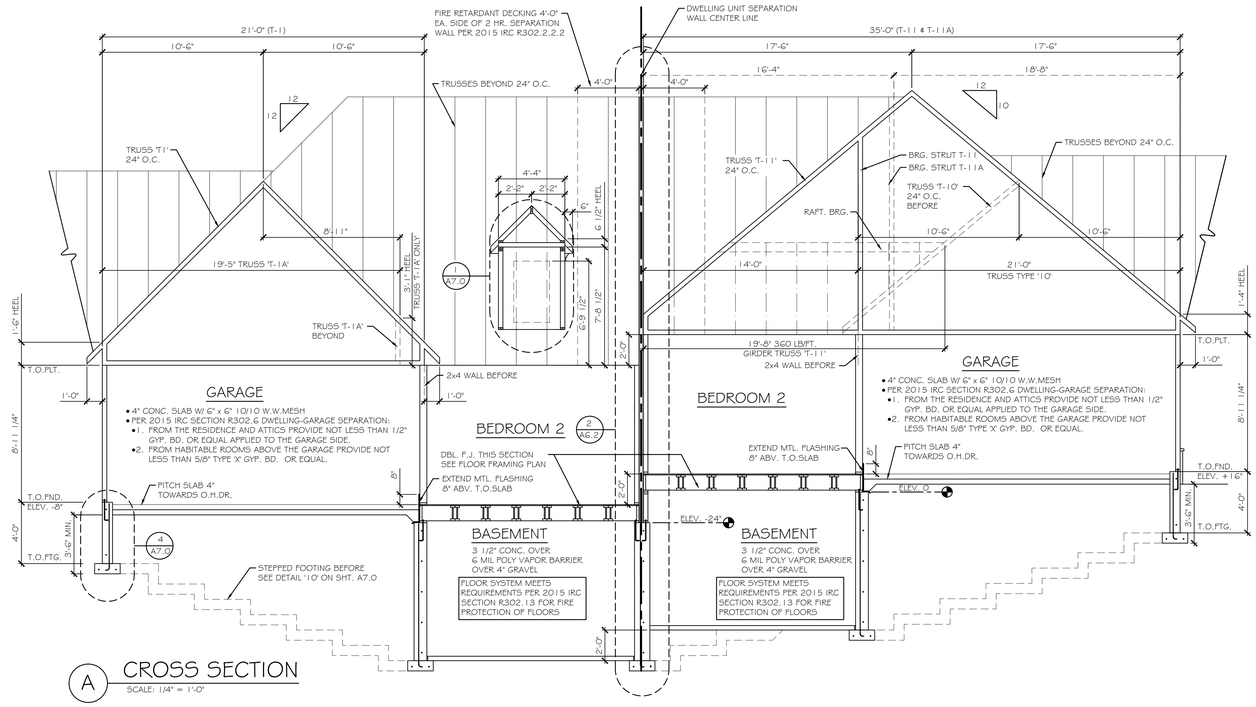
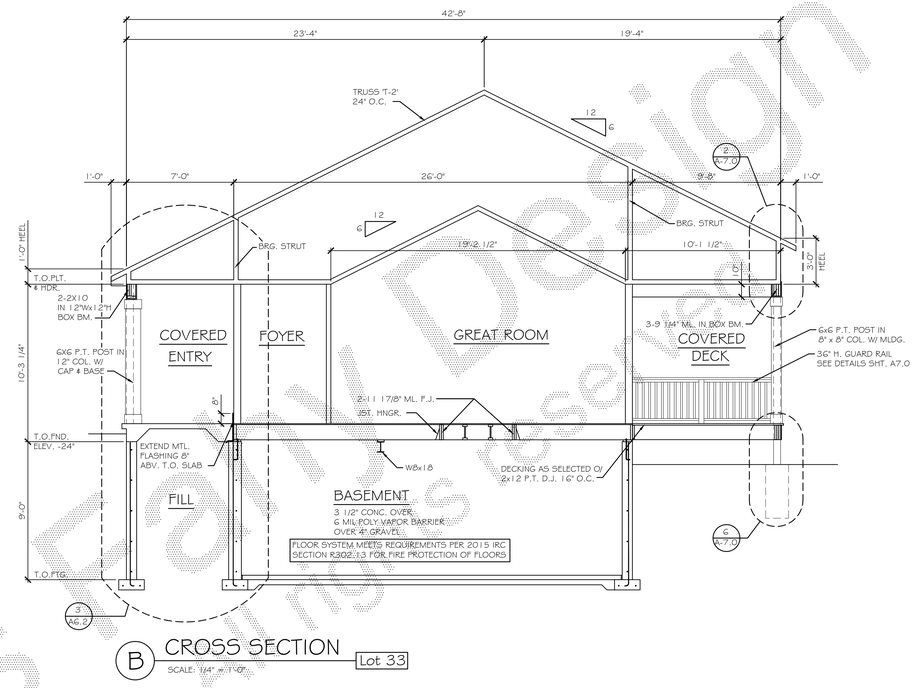


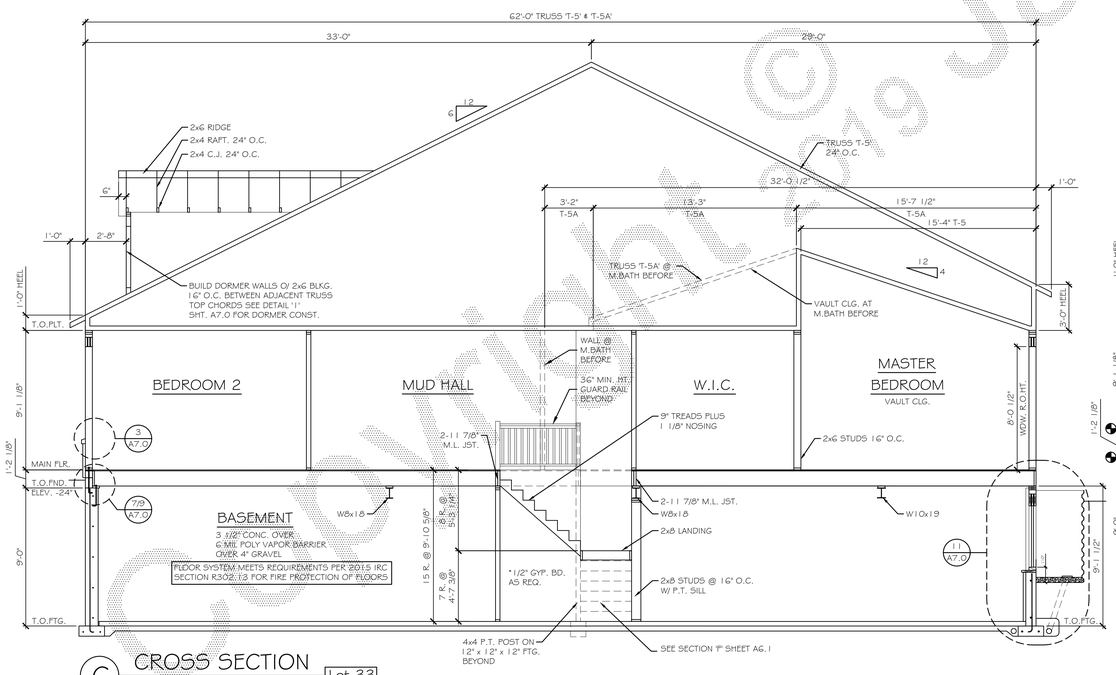
A CROSS SECTION

SCALE: 1/4" = 1'-0"



B CROSS SECTION Lot 33

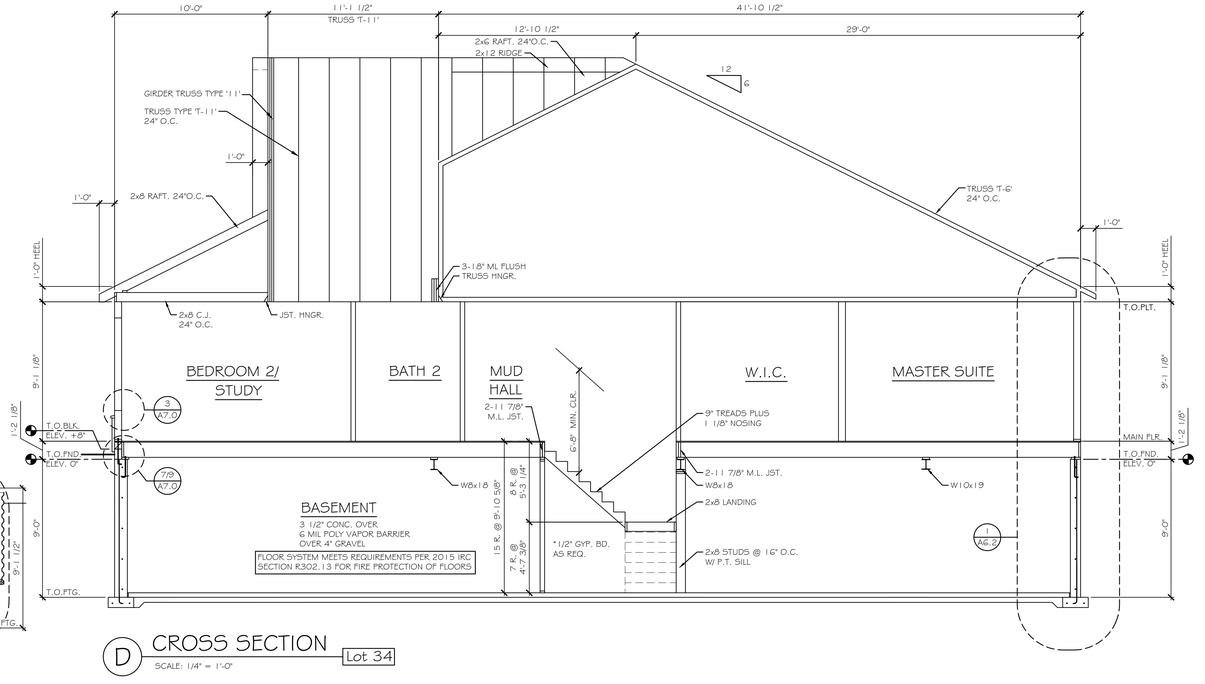
SCALE: 1/4" = 1'-0"



C CROSS SECTION Lot 33

SCALE: 1/4" = 1'-0"

* 2015 IRC SECTION R302.7 UNDER-STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALL, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.



D CROSS SECTION Lot 34

SCALE: 1/4" = 1'-0"

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
BUILDING SECTIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A6.0
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
2024 W. Hennetta Rd. Suite 3K
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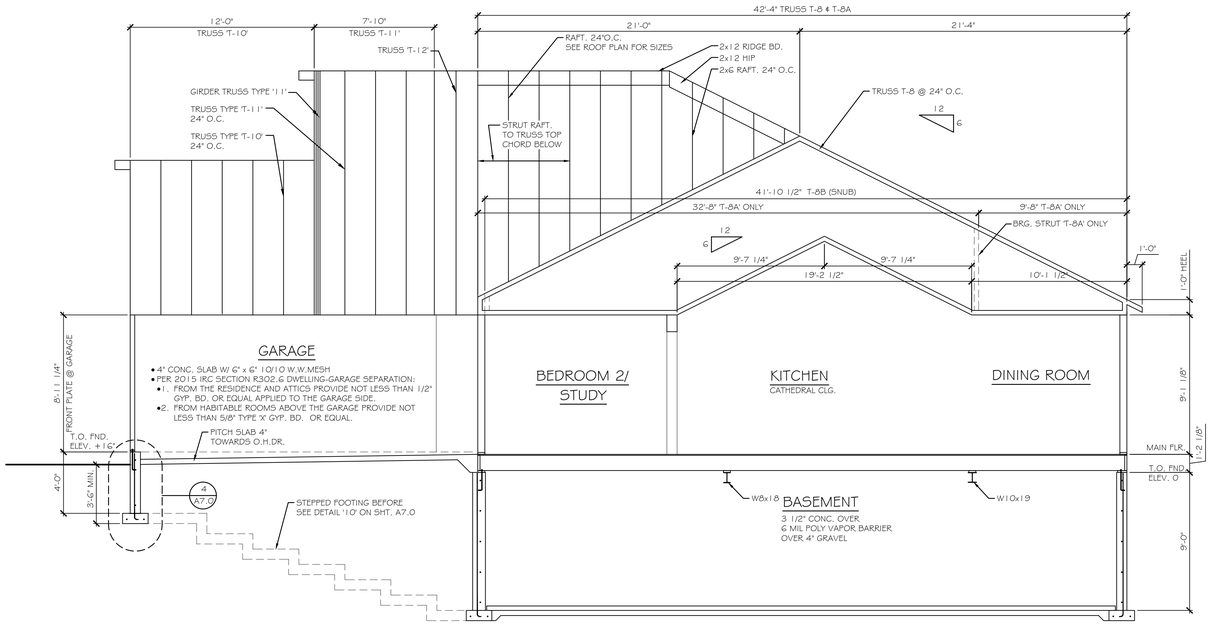
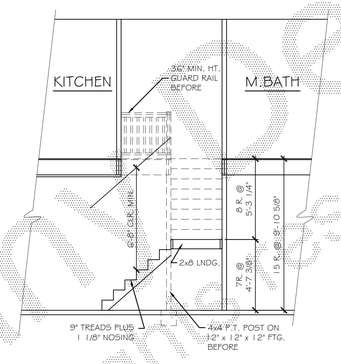


E CROSS SECTION — Lot 34

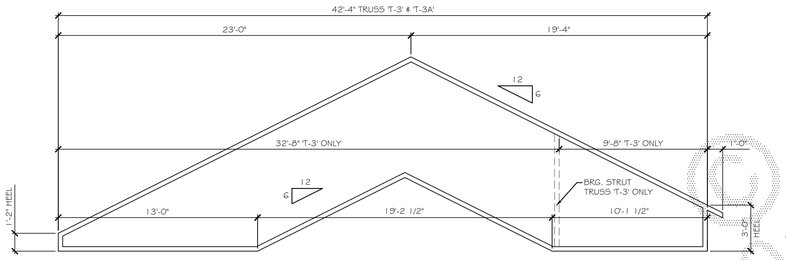
SCALE: 1/4" = 1'-0"



F STAIR DIAGRAM

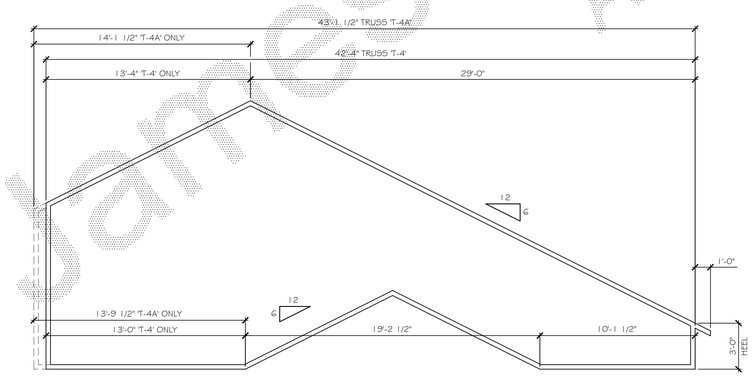
SCALE: 1/4" = 1'-0"

PER 2015 IRC SECTION R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD.



3 3A TRUSS DIAGRAM

SCALE: 1/4" = 1'-0"



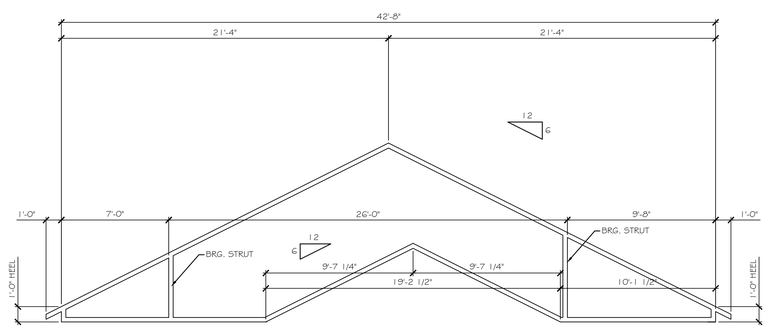
4 4A TRUSS DIAGRAM

SCALE: 1/4" = 1'-0"

ALL DIMENSIONS TO BE VERIFIED BY TRUSS MFR.

7 NOT USED

SCALE: 1/4" = 1'-0"



9 TRUSS DIAGRAM

SCALE: 1/4" = 1'-0"

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
BUILDING SECTIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A6.1
CHECKED BY: ART	
DATE: 1-14-2019	

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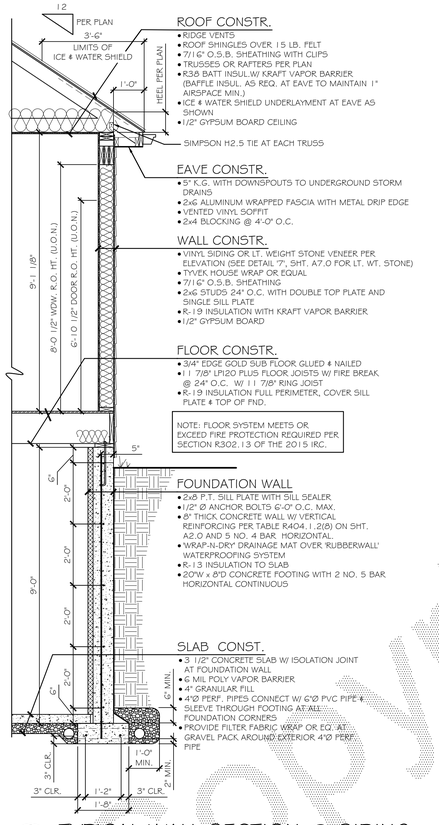
e-mail: info@jamesfahy.com
website: www.jamesfahy.com



ROOF CONSTR.

- RIDGE VENTS
- ROOF SHINGLES OVER 15 LB. FELT
- 7/16" O.S.B. SHEATHING WITH CLIPS
- TRUSSES OR RAFTERS PER PLAN
- R38 BATT INSUL.W/ KRAFT VAPOR BARRIER (BAFFLE INSUL. AS REQ. AT EAVE TO MAINTAIN 1" AIRSPACE MIN.)
- ICE & WATER SHIELD UNDERLAYMENT AT EAVE AS SHOWN
- 1/2" GYPSUM BOARD CEILING

SIMPSON H2.5 TIE AT EACH TRUSS

EAVE CONSTR.

- 5" K.G. WITH DOWNSPOUTS TO UNDERGROUND STORM DRAINS
- 2x6 ALUMINUM WRAPPED FASCIA WITH METAL DRIP EDGE
- VENTED VINYL SOFFIT
- 2x4 BLOCKING @ 4'-0" O.C.

WALL CONSTR.

- VINYL SIDING OR LT. WEIGHT STONE VENEER PER ELEVATION (SEE DETAIL '7', SHT. A7.0 FOR LT. WT. STONE)
- TYVEK HOUSE WRAP OR EQUAL
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS 24" O.C. WITH DOUBLE TOP PLATE AND SINGLE SILL PLATE
- R-19 INSULATION WITH KRAFT VAPOR BARRIER
- 1/2" GYPSUM BOARD

FLOOR CONSTR.

- 3/4" EDGE GOLD SUB FLOOR GLUED & NAILED
- 11 7/8" LPI20 PLUS FLOOR JOISTS W/ FIRE BREAK @ 24" O.C. W/ 11 7/8" RIM JOIST
- R-19 INSULATION FULL PERIMETER, COVER SILL PLATE & TOP OF FND.

NOTE: FLOOR SYSTEM MEETS OR EXCEED FIRE PROTECTION REQUIRED PER SECTION R302.13 OF THE 2015 IRC.

FOUNDATION WALL

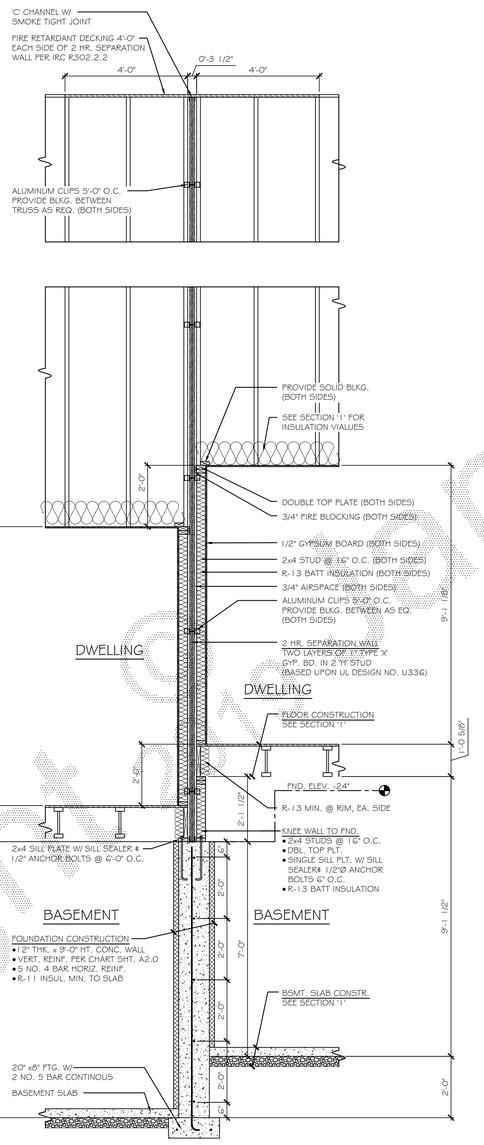
- 2x8 P.T. SILL PLATE WITH SILL SEALER
- 1/2" Ø ANCHOR BOLTS 6'-0" O.C. MAX.
- 8" THICK CONCRETE WALL W/ VERTICAL REINFORCING PER TABLE R404.1.2(8) ON SHT. A2.0 AND 5 NO. 4 BAR HORIZONTAL.
- 'WRAP-N-DRY' DRAINAGE MAT OVER 'RUBBERWALL' WATERPROOFING SYSTEM
- R-13 INSULATION TO SLAB
- 20"W x 8"D CONCRETE FOOTING WITH 2 NO. 5 BAR HORIZONTAL CONTINUOUS

SLAB CONST.

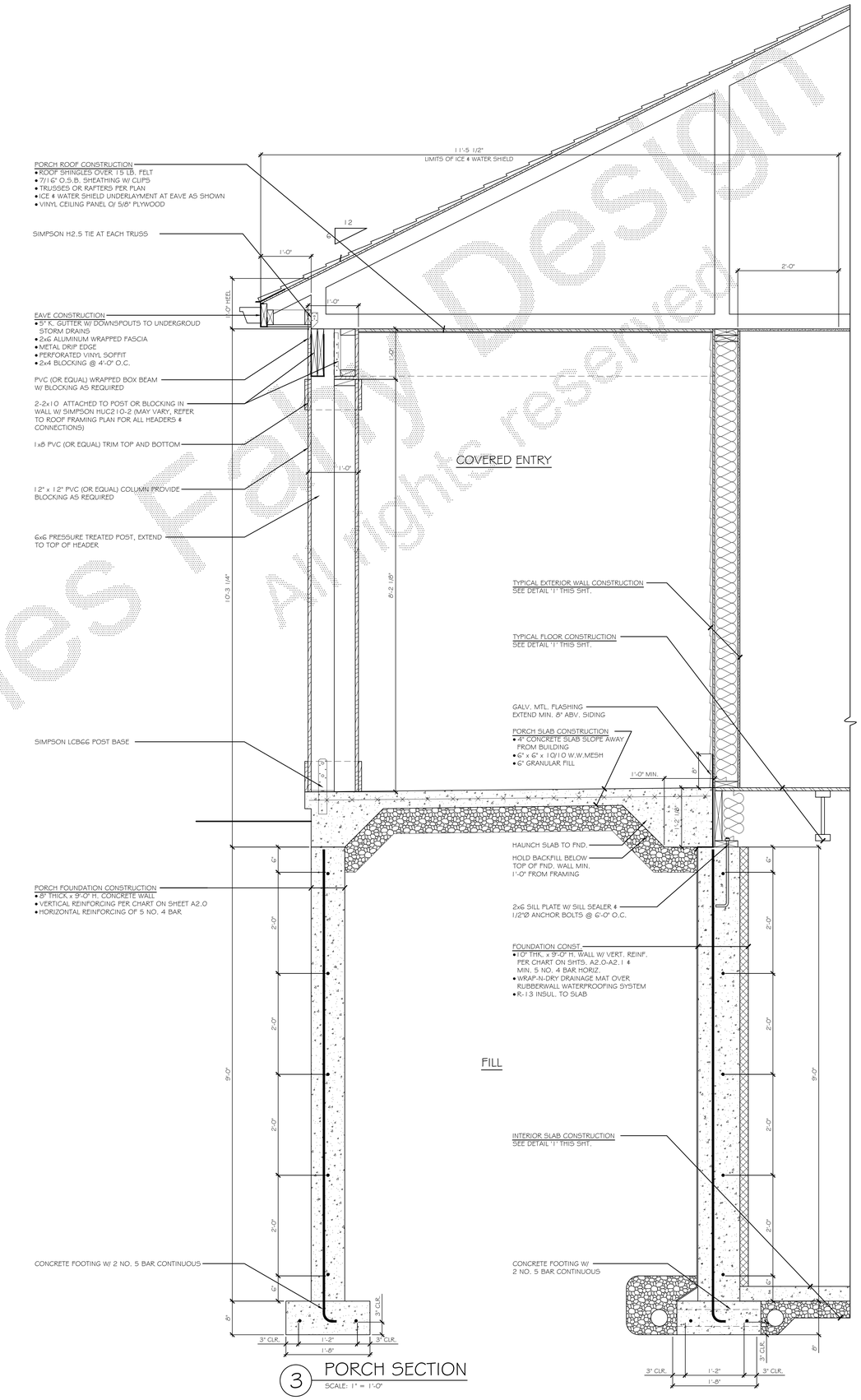
- 3 1/2" CONCRETE SLAB W/ ISOLATION JOINT AT FOUNDATION WALL
- 6 MIL POLY VAPOR BARRIER
- 4" GRANULAR FILL
- 4"Ø PERF. PIPES CONNECT W/ 6"Ø PVC PIPE & SLEEVE THROUGH FOOTING AT ALL FOUNDATION CORNERS
- PROVIDE FILTER FABRIC WRAP OR EQ. AT GRAVEL PACK AROUND EXTERIOR 4"Ø PERF. PIPE

1 TYPICAL WALL SECTION @ SIDING
SCALE: 1/2" = 1'-0"

2015 IRC SECTION R405.1
A DRAINAGE SYSTEM IS NOT REQUIRED WHERE THE FOUNDATION IS INSTALLED ON WELL-DRAINED GROUND OR SAND GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R405.1



2 DWELLING SEPARATION WALL
SCALE: 1/2" = 1'-0"



3 PORCH SECTION
SCALE: 1" = 1'-0"

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

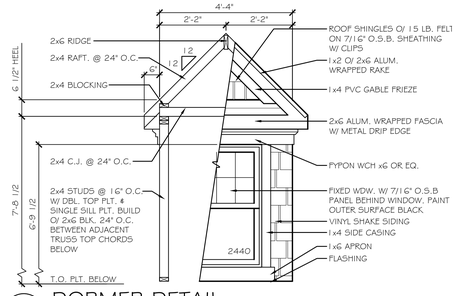
CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
BUILDING SECTIONS

PHASE:
CONSTRUCTION DOCUMENTS

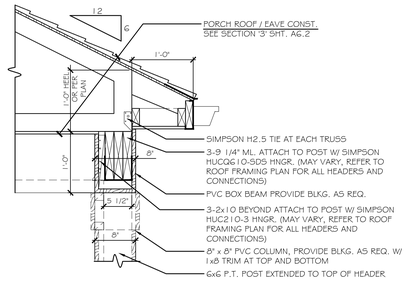
JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A6.2
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
2024 W. Hennetta Rd. Suite 3K
Rochester, New York 14623
585-272-1650 Fax 585-272-1008
e-mail: info@jamesfahy.com
website: www.jamesfahy.com



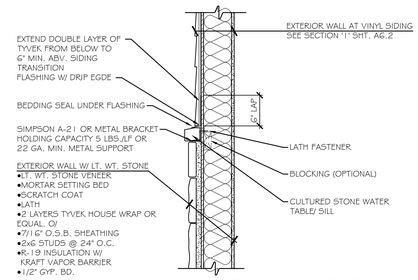
1 DORMER DETAIL

SCALE: 1/2" = 1'-0"



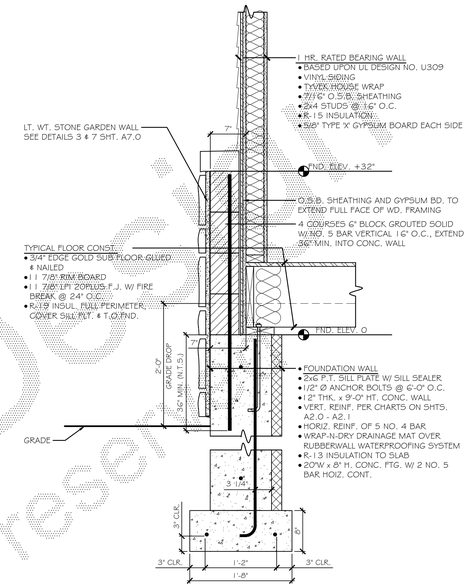
2 COVERED DECK EAVE

SCALE: 1" = 1'-0"



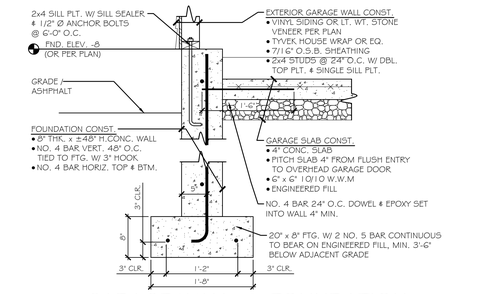
3 GARDEN WALL @ TRANSITION

SCALE: 1" = 1'-0"



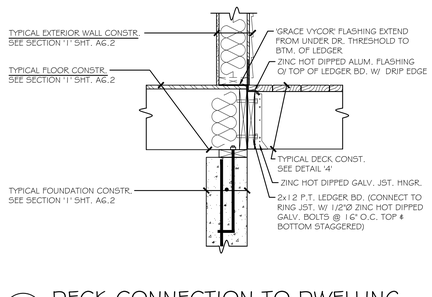
8 FOUNDATION AT GRADE DROP

SCALE: 1" = 1'-0"



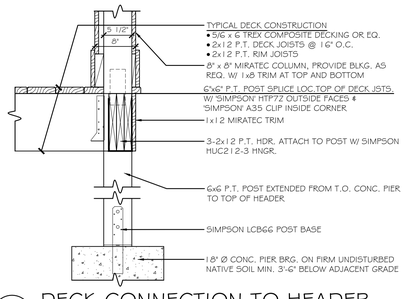
4 GARAGE WALL @ FOUNDATION

SCALE: 1" = 1'-0"



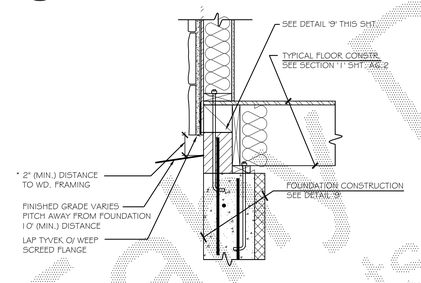
5 DECK CONNECTION TO DWELLING

SCALE: 1" = 1'-0"



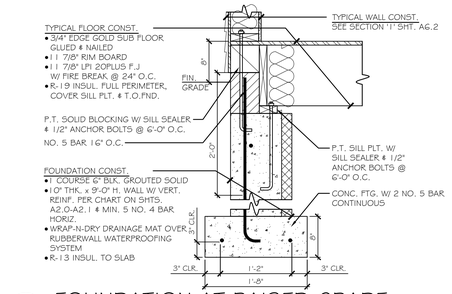
6 DECK CONNECTION TO HEADER

SCALE: 1" = 1'-0"



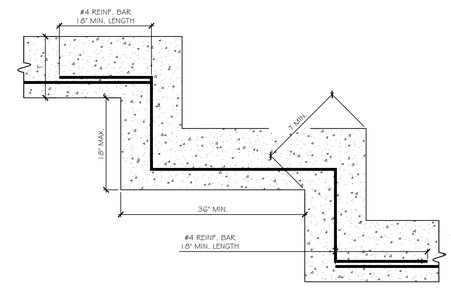
7 GARDEN WALL @ FOUNDATION

SCALE: 1" = 1'-0"



9 FOUNDATION AT RAISED GRADE

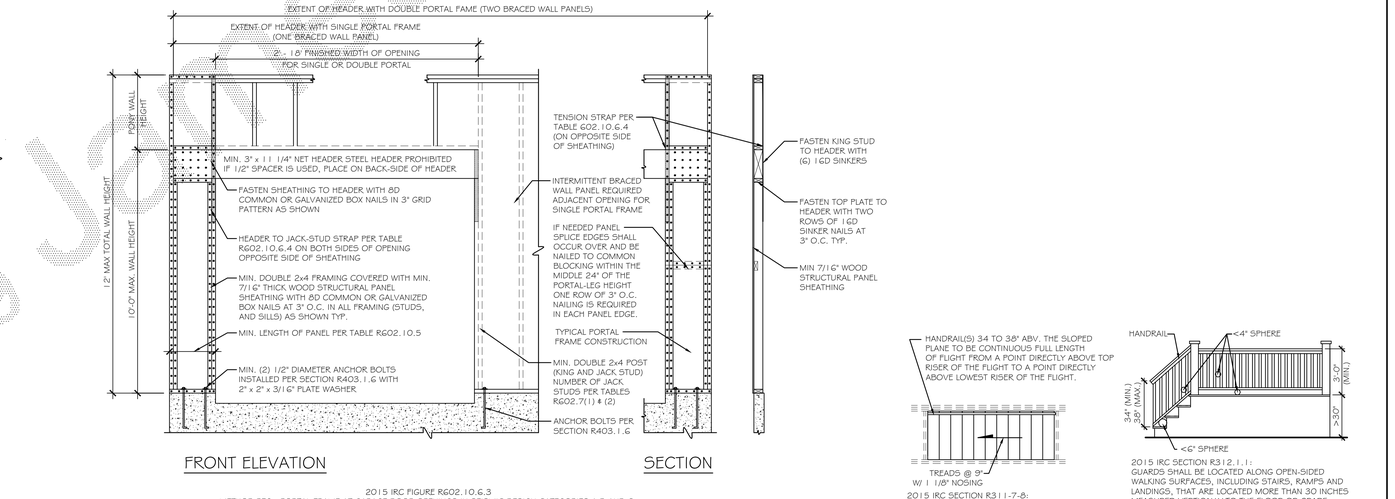
SCALE: 1" = 1'-0"



10 REINFORCED STEPPED FOOTING

SCALE: 1" = 1'-0"

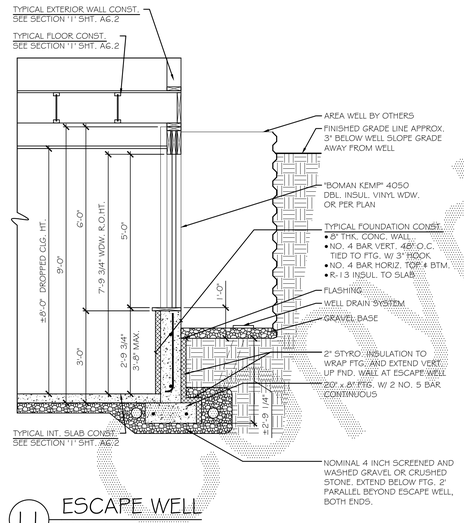
T = FOOTING THICKNESS
ALL SPLICED TO OVERLAP A MIN. OF 18"



2015 IRC FIGURE R602.10.6.3
METHOD PFG - PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A,B AND C

15 NARROW WALL BRACING DETAIL AT GARAGE

SCALE: 1/2" = 1'-0" TYPICAL @ ALL GAR. DR. WALL LENGTHS

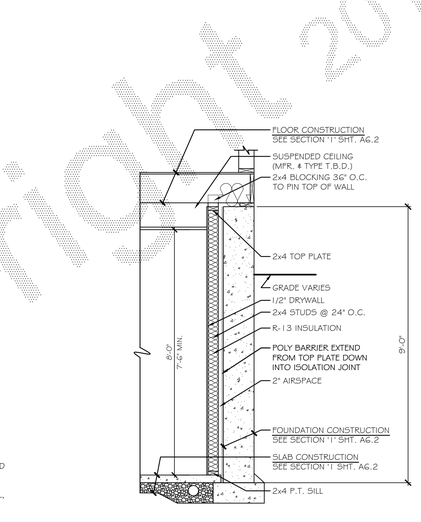


11 ESCAPE WELL

SCALE: 1/2" = 1'-0"

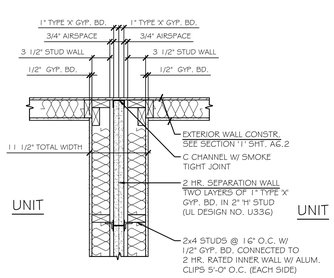
COMPLIES WITH 2015 IRC SECTION R403.1.4.1 EXCEPTION 2 AND SECTION R403.3 FOR FROST PROTECTED SHALLOW FOUNDATIONS

REFER TO FOUNDATION PLAN FOR NOTES PERTAINING TO 2015 IRC SECTIONS R310.2.3, R310.2.3.1 & R310.2.3.2 FOR WINDOW WELL CODE COMPLIANCE



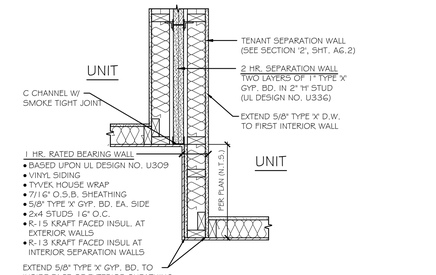
12 TYP. FINISHED BASEMENT WALL

SCALE: 1/2" = 1'-0"



13 SEPARATION WALL

SCALE: 1" = 1'-0" FLUSH TERMINATION @ UNITS

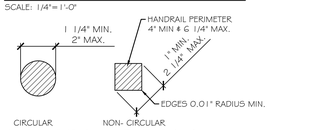


14 ONE HOUR RATED WALL EXTENSION

SCALE: 1" = 1'-0" UNIT TO UNIT

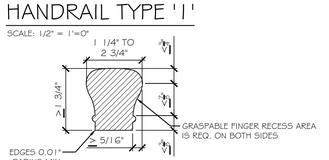
HANDRAILS & GUARDS

SCALE: 1/4"= 1'-0"



HANDRAIL TYPE '1'

SCALE: 1/2" = 1"=0"



HANDRAIL TYPE '2'

SCALE: 1/2" = 1'-0"
HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4" (PERMITTED WITHIN DWELLING UNITS)

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
DETAILS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: A7.0
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
2024 W. Henrietta Rd. Suite 3K
Rochester, New York 14623
585-272-1650 Fax 585-272-1008
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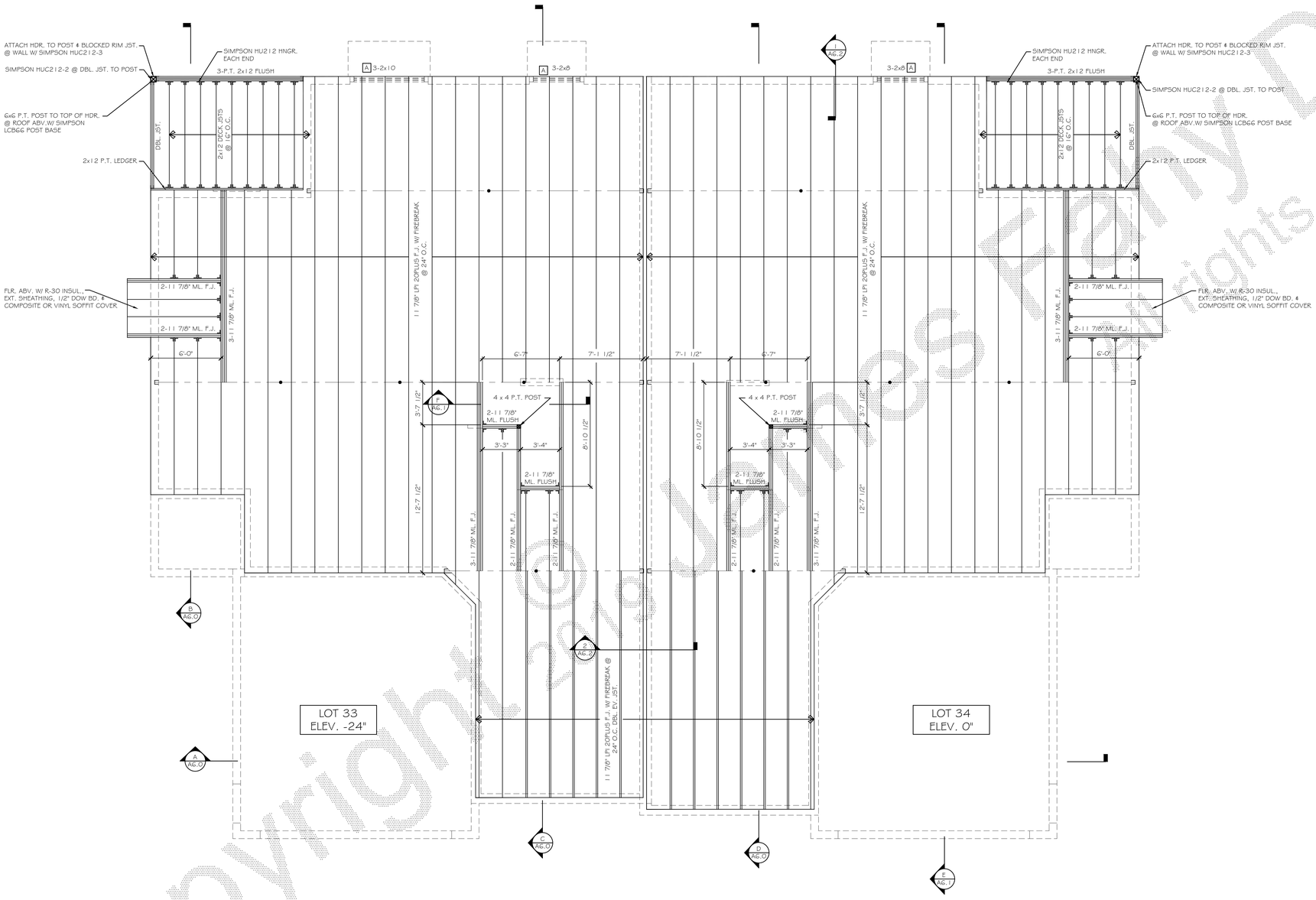

MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES: (UNLESS OTHERWISE NOTED)

- ANY UNSPECIFIED EXTERIOR WALLS TO BE 2x6 @ 24" O.C.
- ANY UNSPECIFIED INTERIOR WALLS TO BE 2x4 @ 24" O.C.
- ALL FLOOR JOISTS TO BE 24" O.C.
- ALL HEADERS AND LINTELS ARE DROPPED BELOW FRAMING MEMBERS SUPPORTED UNLESS NOTED "FLUSH"
- ALL UNSPECIFIED INTERIOR & EXTERIOR HEADERS TO BE 2-2x8 AT 2x4 WALLS AND 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQUIRED TO FILL WALL CAVITY
- DOUBLE JACK STUDS AT ALL LOAD BEARING LINTELS OVER 4 FEET LONG
- PROVIDE SOLID BLOCKING (3 STUD POST MIN. GLUE AND NAIL) AT ALL BEARING POINTS
- FLOOR JOIST LOCATIONS MAY VARY SLIGHTLY WITH FINAL LAYOUT
- ALL FRAMING AT DECK LOCATIONS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCLUDING JOIST HANGERS, POST BASES, NAILS, SCREWS OR BOLTS) AT DECK LOCATIONS OR OTHER AREAS SUBJECTED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED MEETING ASTM A153 STANDARDS AND CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.
- PER 2015 IRC SECTION R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD.
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2015 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

FRAMING LEGEND:

- SINGLE FLOOR MEMBER :
- DOUBLE FLOOR MEMBER :
- JOISTS HANGERS :
- RIM JOISTS / LEDGER BD. :
- WALLS BELOW : — — —
- 3 STUD POST : ■ (U.O.N.)
- MICROLLAM OR LVL, 2.0 E MIN. : ML.

WINDOW/DOOR END SUPPORT GLUED & NAILED (U.O.N.)

- A KING & 1-JACK STUDS
- B 3-JACK STUDS

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
MAIN FLOOR FRAMING PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: S1.0
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
2024 W. Hennetta Rd. Suite 3K
Rochester, New York 14623
585-272-1650 Fax 585-272-1008
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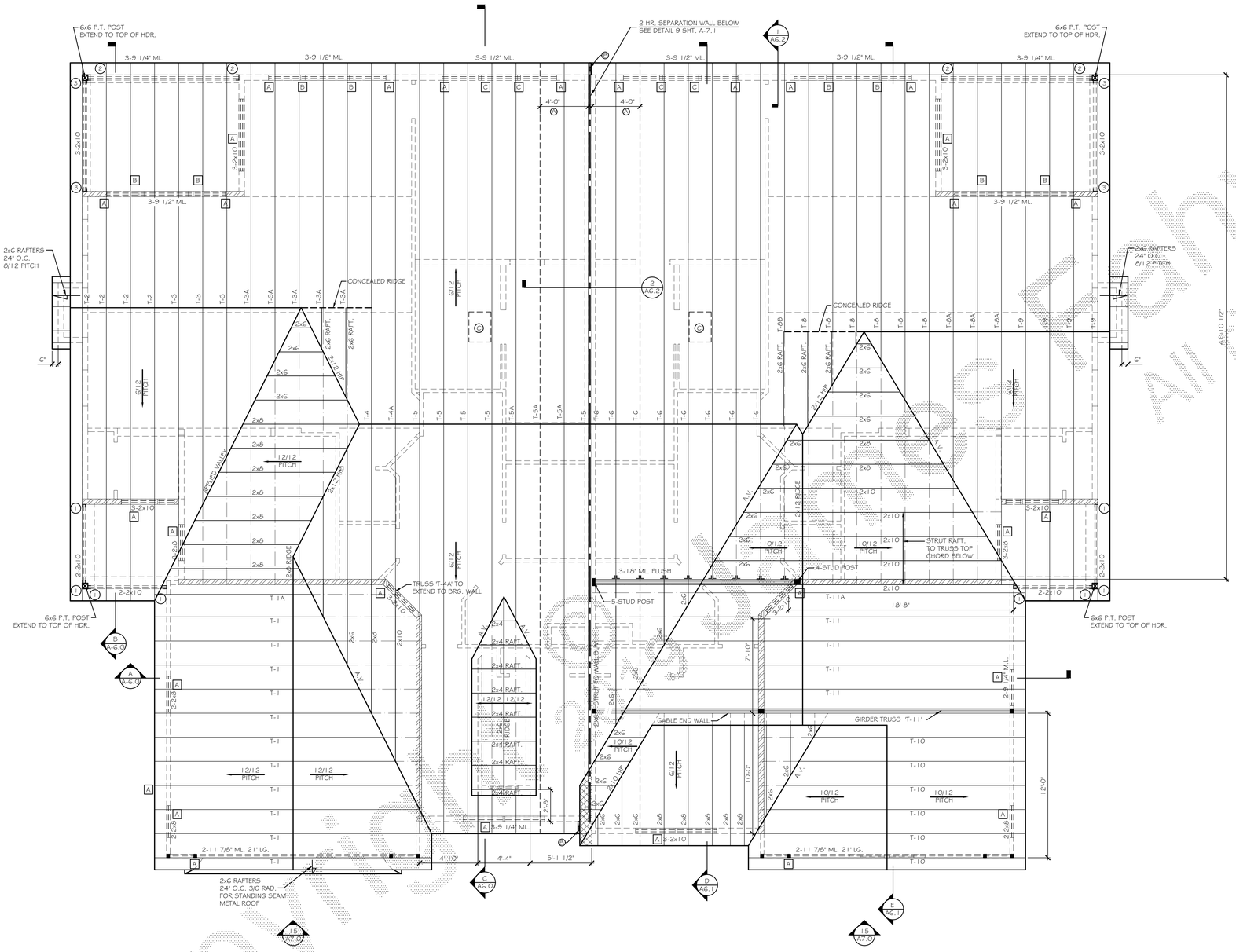

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES: (UNLESS OTHERWISE NOTED)

- ALL SOFFITS TO BE 1'-0"
- ALL TRUSSES / RAFTER SPACING TO BE 24" O.C.
- TRUSS TYPE AND LOCATIONS ARE SUGGESTED. FINAL TRUSS LAYOUT AND DESIGN BY TRUSS MFR. TRUSS DESIGN AND FABRICATION SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 IRC R802.10 AND ACCEPTED ENGINEERING PRACTICE.
- PROFESSIONALLY SEALED TRUSS SHOP DRAWINGS INCLUDING DESIGN DRAWINGS PER 2015 IRC R802.10.1. DESIGN PER 2015 IRC R802.10.2 AND BRACING SPECIFICATIONS PER 2015 IRC R802.10.3 SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
- ALL TRUSS HANGERS SHALL BE SIZED AND SPECIFIED BY TRUSS MFR.
- ALL HEADERS AND LINTELS ARE DROPPED BELOW FRAMING MEMBERS SUPPORTED UNLESS NOTED "FLUSH"
- ALL UNSPECIFIED INTERIOR HEADERS TO BE 2-2x8 AT 2x4 WALLS AND 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQUIRED TO FILL WALL CAVITY
- DOUBLE JACK STUDS AT ALL LOAD BEARING LINTELS OVER 4 FEET LONG
- PROVIDE SOLID BLOCKING (3 STUD POST MIN. GLUE AND NAIL) AT ALL BEARING POINTS
- POST ALL HIP, RIDGE, AND VALLEY TERMINATIONS TO SOLID BEARING BELOW
- PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- PROVIDE ICE & WATER SHIELD ON ENTIRE ROOF SURFACE AT LOCATIONS WITH 4/12 PITCH OR LOWER.
- ATTIC ACCESS (PER 2015 IRC SECTION R507): AN OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA EXCEEDING 30 S.F. AND HAVING A CLEAR HEIGHT OF OVER 30 INCHES. THE ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30" MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING.
- ALL DOWNSPOUTS SHALL BE TIED TO UNDERGROUND STORM DRAINS
- EACH 3"x4" DOWNSPOUT HAS A CAPACITY FOR 1100 SQUARE FEET OF ROOF AREA.

LEGEND:

- ROOF LOAD BRG. WALL
- WALLS BELOW
- LAY OVER ROOF
- 2 LAYERS OF 5/8" TYPE 'X' GYP. BD. @ UNDERSIDE OF SOFFIT.
- SOLID BLOCKING
- 6x6 P.T. POST
- FIRE RATED DECKING 4'-0" EACH SIDE OF 2 HR. SEPARATION WALL PER 2015 IRC R302.2.2
- 2 LAYERS OF 5/8" TYPE 'X' GYP. BD. BLOCKING IN SOFFIT
- ATTIC ACCESS
- APPLIED VALLEY : A.V.
- VALLEY TRUSSES PER MFR. : V.T.
- CONSTRUCTION DETAIL : 4 — ALL DETAILS SHOWN ON SHEETS A7.0

- APPLIED VALLEY FRAMING
  - USE 2 X 12 FLAT o/ ROOF SHEATHING FOR 2 X 10 RAFTERS.
  - USE 2 X 10 FLAT o/ ROOF SHEATHING FOR 2 X 8 RAFTERS.
  - USE 2 X 8 FLAT o/ ROOF SHEATHING FOR 2 X 6 RAFTERS.

WINDOW/DOOR END SUPPORT GLUED & NAILED (U.O.N.)

- KING & 1-JACK STUDS A
- 3 - JACK STUDS B
- 2 - JACK STUDS C
- KING & 2-JACK STUDS D

'SIMPSON' (OR EQUAL) POST CAP & HANGER CONNECTIONS

- HUC210-2 (2-2x10) 1
- HUCQ610-SDS (3-9 1/4" ML.) 2
- HUC210-3 (3-2x10) 3

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
GREENPOINT TOWNHOMES
LOTS 33-34
PITTSFORD, NY

CLIENT:
MORRELL BUILDERS

DRAWING TITLE:
ROOF FRAMING PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.	PROJECT NO.
A18-195	TOWNHOME
DRAWN BY: CRB	DRAWING NO: S3.0
CHECKED BY: ART	
DATE: 1-14-2019	

James Fahy Design
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585-272-1650 Fax 585-272-1008
e-mail: info@jamesfahy.com
website: www.jamesfahy.com

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B19-000020

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

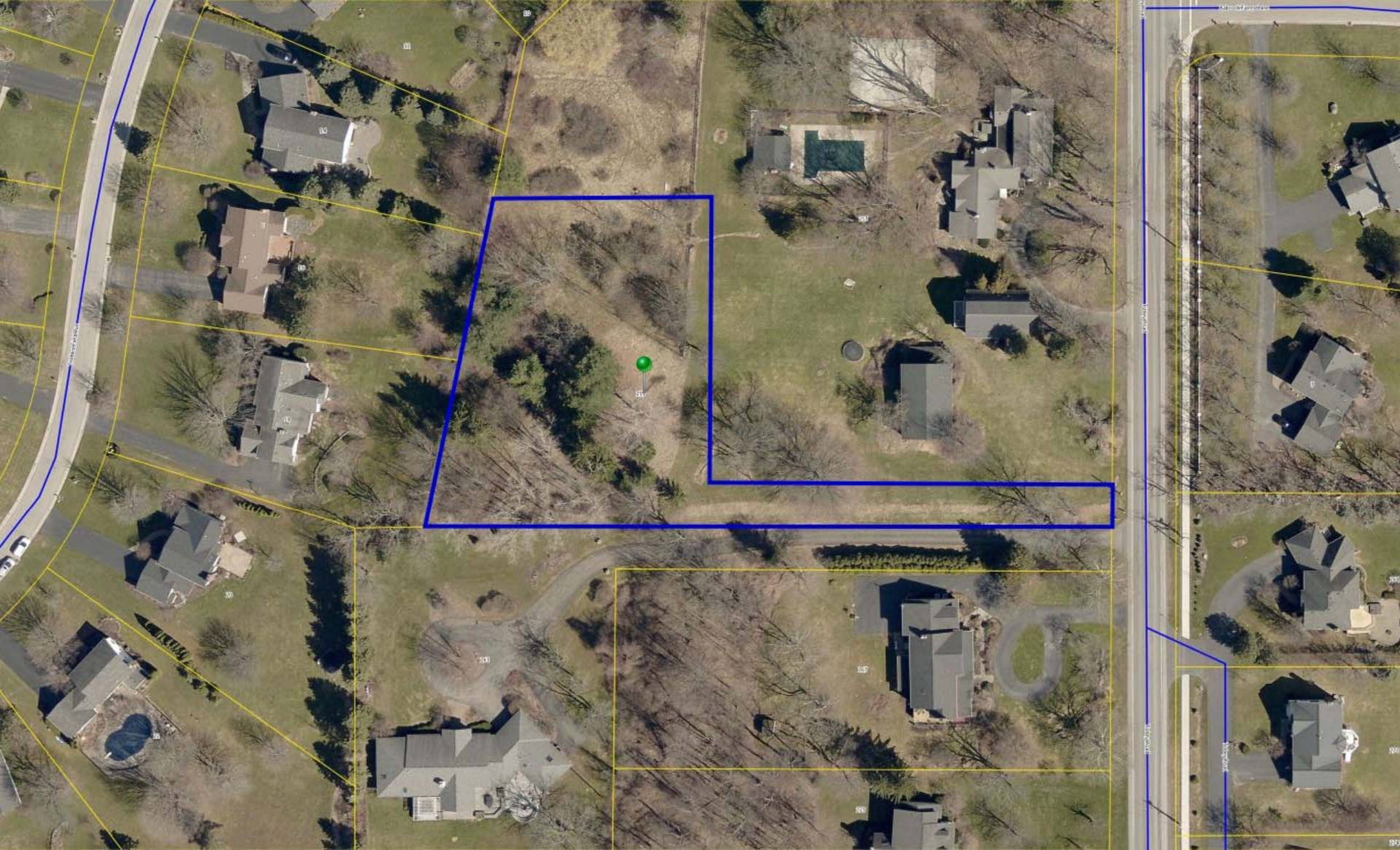
Property Address: 259 Tobey Road PITTSFORD, NY 14534
Tax ID Number: 164.17-1-1.2
Zoning District: RN Residential Neighborhood
Owner: Spyropoulos, Alex C
Applicant: Gerber Homes & Additions LLC

Application Type:

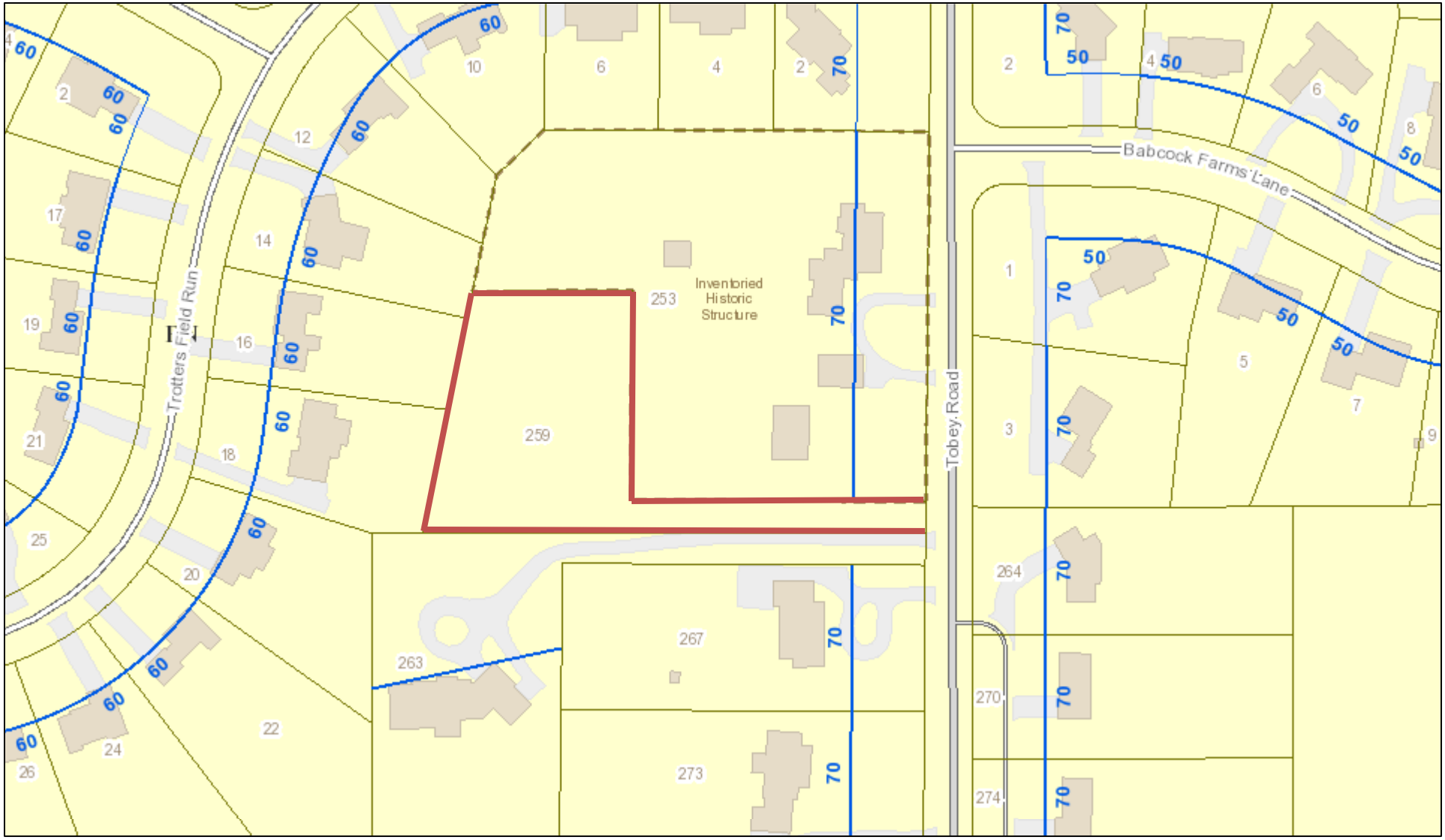
- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1959 sq. ft. and will be located on a vacant lot located off of Tobey Road.

Meeting Date: February 14, 2019



RN Residential Neighborhood Zoning



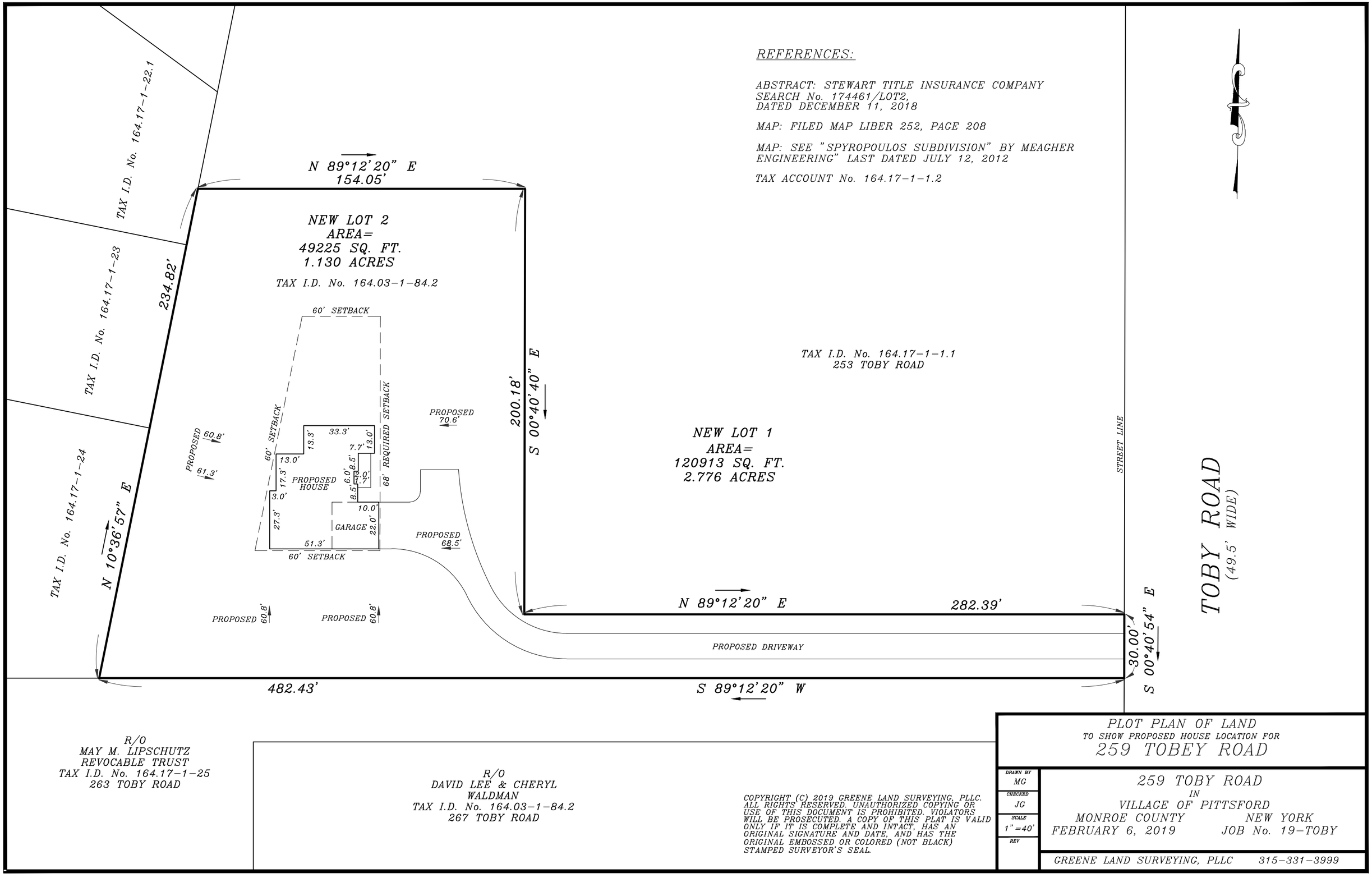
Printed February 7, 2019

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS



REFERENCES:

ABSTRACT: STEWART TITLE INSURANCE COMPANY
SEARCH No. 174461/LOT2,
DATED DECEMBER 11, 2018

MAP: FILED MAP LIBER 252, PAGE 208

MAP: SEE "SPYROPOULOS SUBDIVISION" BY MEACHER ENGINEERING" LAST DATED JULY 12, 2012

TAX ACCOUNT No. 164.17-1-1.2

TAX I.D. No. 164.17-1-1.1
253 TOBY ROAD

R/O
MAY M. LIPSCHUTZ
REVOCABLE TRUST
TAX I.D. No. 164.17-1-25
263 TOBY ROAD

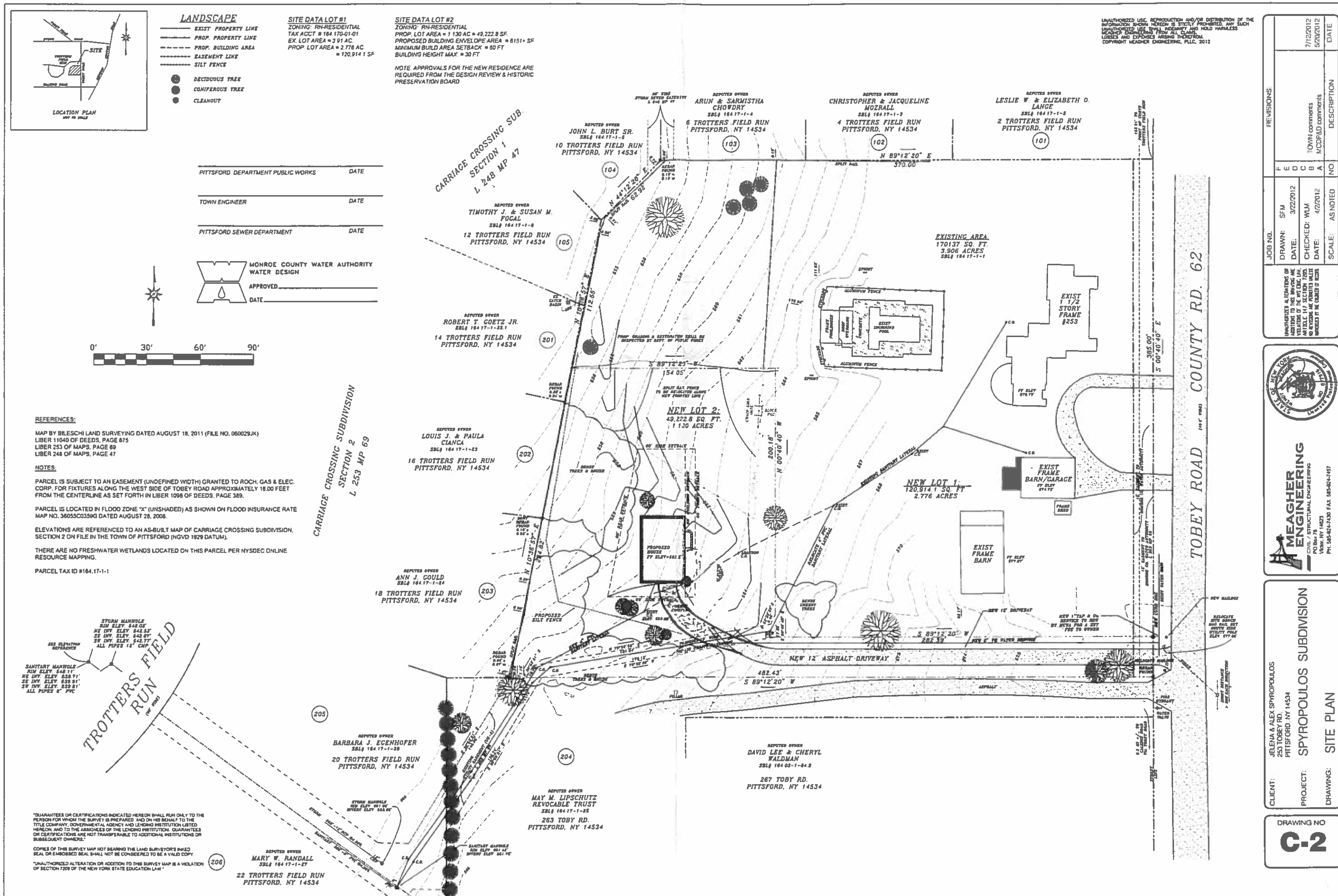
R/O
DAVID LEE & CHERYL
WALDMAN
TAX I.D. No. 164.03-1-84.2
267 TOBY ROAD

PLOT PLAN OF LAND
TO SHOW PROPOSED HOUSE LOCATION FOR
259 TOBEY ROAD

DRAWN BY	MC
CHECKED	JG
SCALE	1" =40'
REV	

259 TOBY ROAD
IN
VILLAGE OF PITTSFORD
MONROE COUNTY NEW YORK
FEBRUARY 6, 2019 JOB No. 19-TOBY

GREENE LAND SURVEYING, PLLC 315-331-3999


LOCATION PLAN
SITE
LANDSCAPE
EXIST PROPERTY LINE
PROP. PROPERTY LINE
PROP. BUILDING AREA
EASEMENT LINE
SILT FENCE
DECIDUOUS TREE
CONIFEROUS TREE
CLEANOUT
SITE DATA LOT #1
ZONING: RN-RESIDENTIAL
TAX ACCT # 164.170-01-01
EX. LOT AREA = 3.91 AC.
PROP. LOT AREA = 2.776 AC.
= 120,914.1 SF
SITE DATA LOT #2
ZONING: RN-RESIDENTIAL
PROP. LOT AREA = 1.130 AC = 49,222.8 SF.
PROPOSED BUILDING ENVELOPE AREA = 6151+ SF
MINIMUM BUILD AREA SETBACK = 60 FT
BUILDING HEIGHT MAX. = 30 FT
NOTE. APPROVALS FOR THE NEW RESIDENCE ARE REQUIRED FROM THE DESIGN REVIEW & HISTORIC PRESERVATION BOARD
PITTSFORD DEPARTMENT PUBLIC WORKS DATE
TOWN ENGINEER DATE
PITTSFORD SEWER DEPARTMENT DATE
MONROE COUNTY WATER AUTHORITY WATER DESIGN
APPROVED
DATE
0' 30' 60' 90'
REFERENCES:
MAP BY BILESCHI LAND SURVEYING DATED AUGUST 18, 2011 (FILE NO. 060029JK)
LIBER 11040 OF DEEDS, PAGE 675
LIBER 253 OF MAPS, PAGE 69
LIBER 248 OF MAPS, PAGE 47
NOTES:
PARCEL IS SUBJECT TO AN EASEMENT (UNDEFINED WIDTH) GRANTED TO ROCH. GAS & ELEC. CORP. FOR FIXTURES ALONG THE WEST SIDE OF TOBEY ROAD APPROXIMATELY 18.00 FEET FROM THE CENTERLINE AS SET FORTH IN LIBER 1098 OF DEEDS, PAGE 389.
PARCEL IS LOCATED IN FLOOD ZONE "X" (UNSHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 36055C0359G DATED AUGUST 28, 2008.
ELEVATIONS ARE REFERENCED TO AN AS-BUILT MAP OF CARRIAGE CROSSING SUBDIVISION, SECTION 2 ON FILE IN THE TOWN OF PITTSFORD (NGVD 1929 DATUM).
THERE ARE NO FRESHWATER WETLANDS LOCATED ON THIS PARCEL PER NYSDEC ONLINE RESOURCE MAPPING.
PARCEL TAX ID #164.17-1-1
CARRIAGE CROSSING SUB. SECTION 1 L 248 MP 47
CARRIAGE CROSSING SUBDIVISION SECTION 2 L 253 MP 69
TROTTERS FIELD RUN
JOHN L. BURT SR. 10 TROTTERS FIELD RUN PITTSFORD, NY 14534
ARUN & SARMISTHA CHOWDRY 6 TROTTERS FIELD RUN PITTSFORD, NY 14534
CHRISTOPHER & JACQUELINE MOZRALL 4 TROTTERS FIELD RUN PITTSFORD, NY 14534
LESLIE W. & ELIZABETH O. LANGE 2 TROTTERS FIELD RUN PITTSFORD, NY 14534
TIMOTHY J. & SUSAN M. FOCAL 12 TROTTERS FIELD RUN PITTSFORD, NY 14534
ROBERT T. GOETZ JR. 14 TROTTERS FIELD RUN PITTSFORD, NY 14534
LOUIS J. & PAULA CIANCA 16 TROTTERS FIELD RUN PITTSFORD, NY 14534
ANN J. GOULD 18 TROTTERS FIELD RUN PITTSFORD, NY 14534
BARBARA J. ECENHOFER 20 TROTTERS FIELD RUN PITTSFORD, NY 14534
MARY W. RANDALL 22 TROTTERS FIELD RUN PITTSFORD, NY 14534
MAY M. LIPSCHUTZ REVOCABLE TRUST 263 TOBY RD. PITTSFORD, NY 14534
DAVID LEE & CHERYL WALDMAN 267 TOBY RD. PITTSFORD, NY 14534
EXISTING AREA 170137 SQ. FT. 3.906 ACRES
NEW LOT 2: 49,222.8 SQ. FT. 1.130 ACRES
NEW LOT 1: 120,914.1 SQ. FT. 2.776 ACRES
EXIST 1 1/2 STORY FRAME #253
EXIST FRAME BARN/GARAGE
EXIST FRAME BARN
PROPOSED HOUSE
NEW 12' ASPHALT DRIVEWAY
TOBEY ROAD COUNTY RD. 62
N 89°12'20" E 370.00'
S 89°12'20" W 482.43'
"GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."
COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID COPY.
"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW."
REVISIONS
A 4/2/2012 MCDP&D comments
B 7/12/2012 TOWN comments
5/20/2012
JOB NO.
DRAWN: SFM
DATE: 3/22/2012
CHECKED: WLM
DATE: 4/2/2012
SCALE: AS NOTED
MEAGHER ENGINEERING
CIVIL / STRUCTURAL ENGINEERING
CLIENT: JELENA & ALEX SPYROPOULOS 253 TOBEY RD. PITTSFORD, NY 14534
PROJECT: SPYROPOULOS SUBDIVISION
DRAWING: SITE PLAN
DRAWING NO
C-2

WINDOWS: VUD SOLARBAN GLASS W/ ARGON
U-FACTOR 0.28
SHGC 0.31

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2015 IECC

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2015 IRC

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1507.3 OF 2015 IRC
(SEE TABLE3 M1507.3.3(1) & M1507.3.3(2) PG 1)

TABLE M1507.3.3(1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

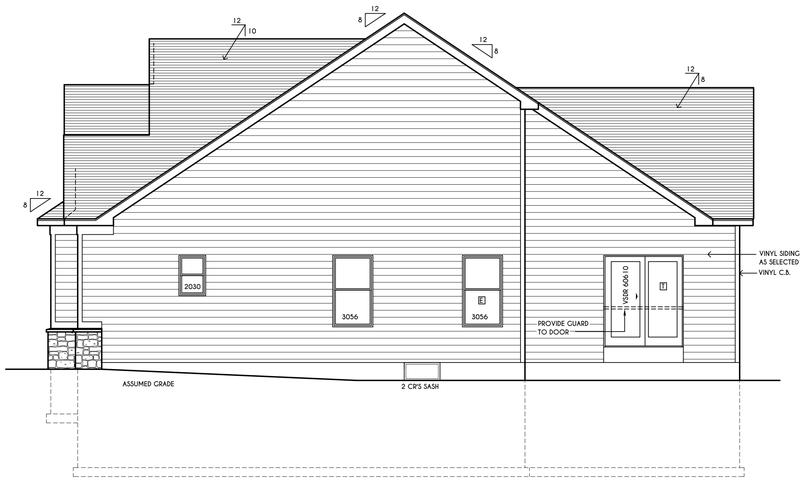
DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.000471 9 m3/s

TABLE M1507.3.3(2)
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS [a,b]

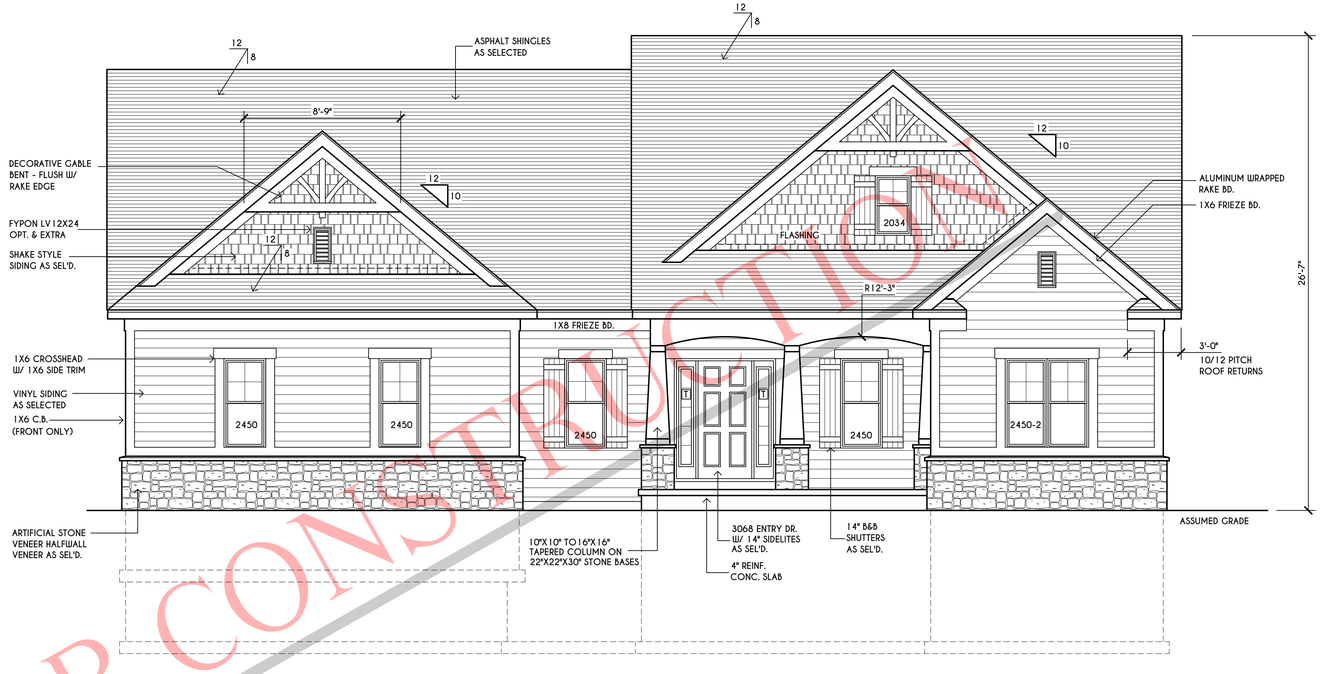
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given,the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.



RIGHT ELEVATION

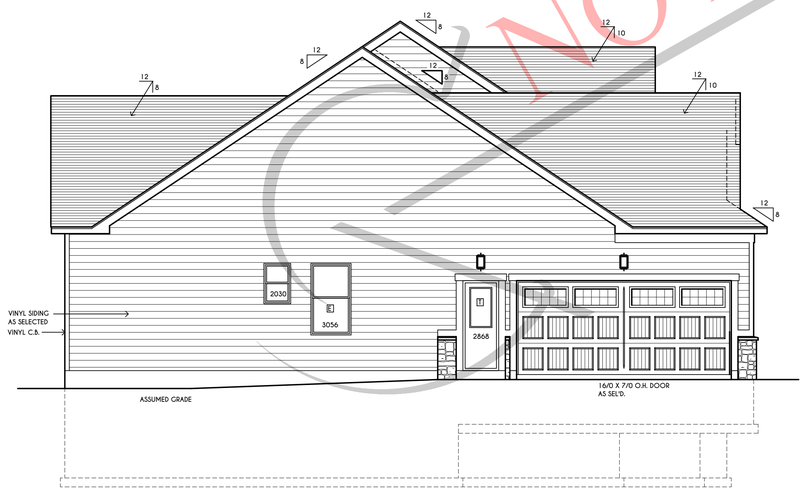
SCALE: 3/16" = 1'-0"



FRONT ELEVATION

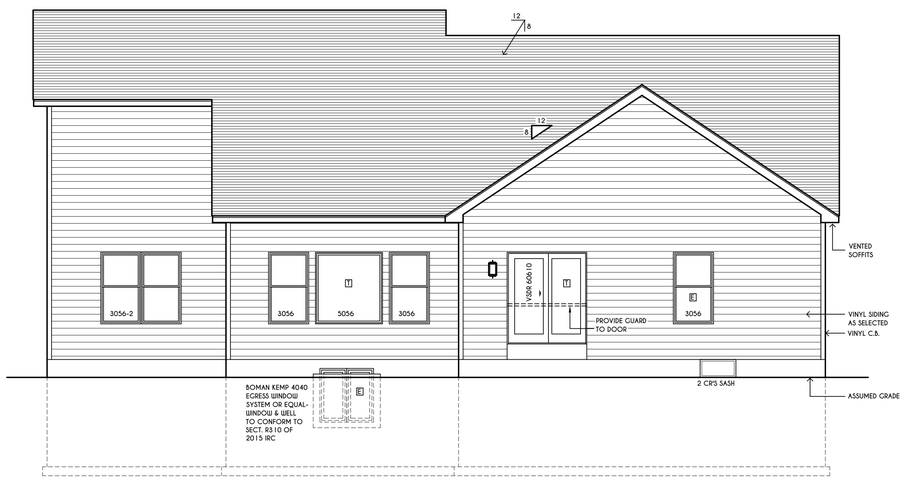
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1959 SQ.FT.
BASEMENT LIVING AREA = 292 SQ.FT.
TOTAL LIVING AREA = 2251 SQ.FT.
TOTAL CONDITIONED VOLUME = 35,262 CU.FT.



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

GREATER LIVING ARCHITECTURE, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

GUPTA RESIDENCE
259 TOBEY RD
PITTSFORD, NY

BUILDER:

BUILDER

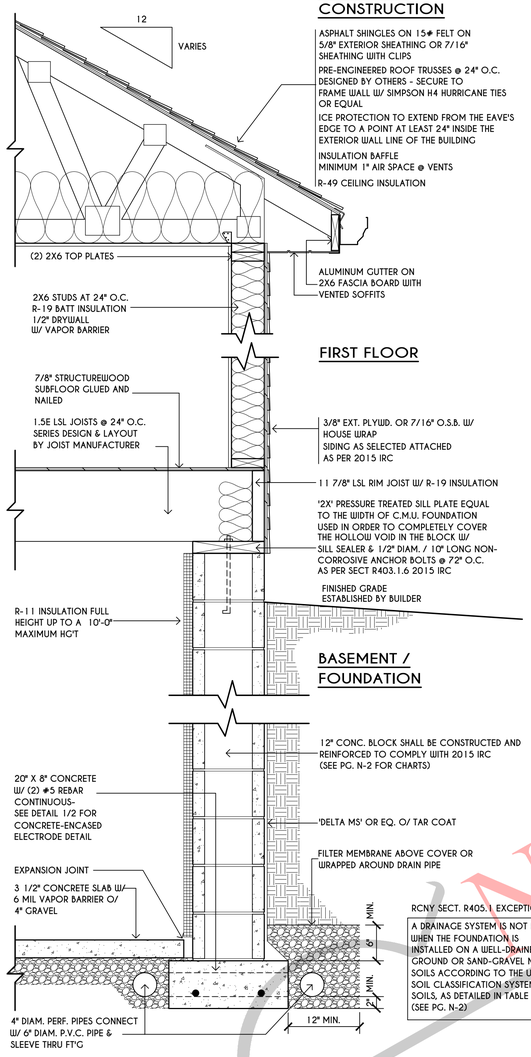
ELEVATIONS

GLA PLAN 2251 R

drawn:	checked:
AMM	
scale:	date:
AS NOTED	1/19

PROJECT: 2395 A17

sheet: 1 / 4

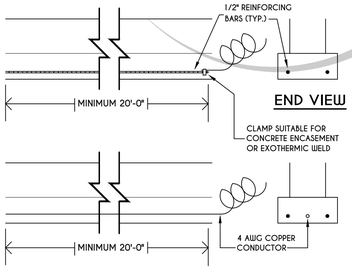


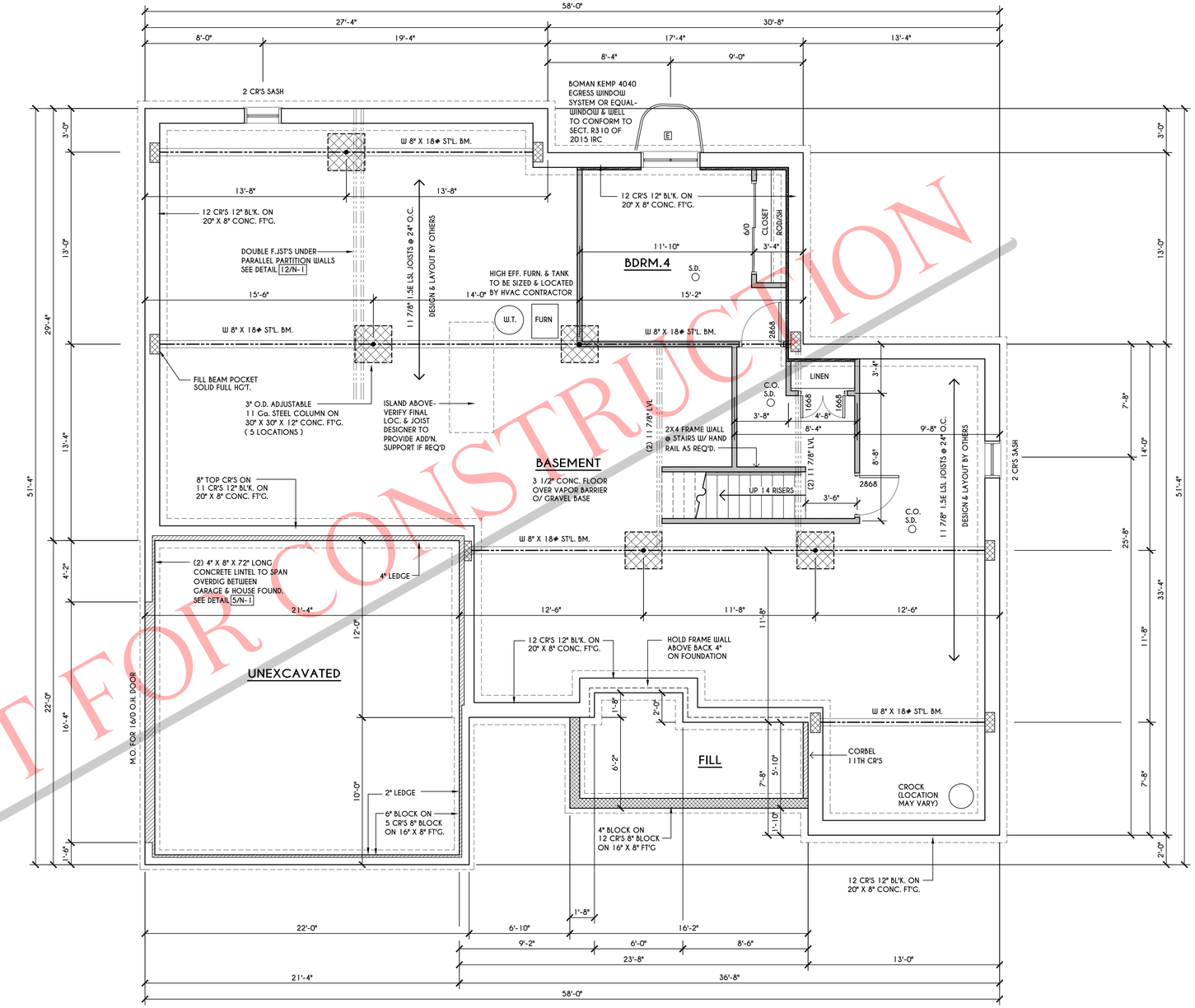
TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

1/2

250.52(A) (3) CONCRETE-ENCASED ELECTRODES





BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FINISHED BASEMENT 292 SQ.FT.

NOTES:
- CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
- ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
- ALL ANGLES TO BE 45 DEG. U.N.O.
- ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
- ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC
- REINFORCE FOUNDATION WALLS AS PER 2015 IRC. SEE PG. N-2 FOR REINFORCING CHARTS
- SEE CONCRETE-ENCASED ELECTRODE DETAIL 20/N-1

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 24" O.C.
- 2" DOW BOARD W/ 3/4" FURRING STRIPS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"

PER SECT. R310.1 OF 2015 IRC

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC

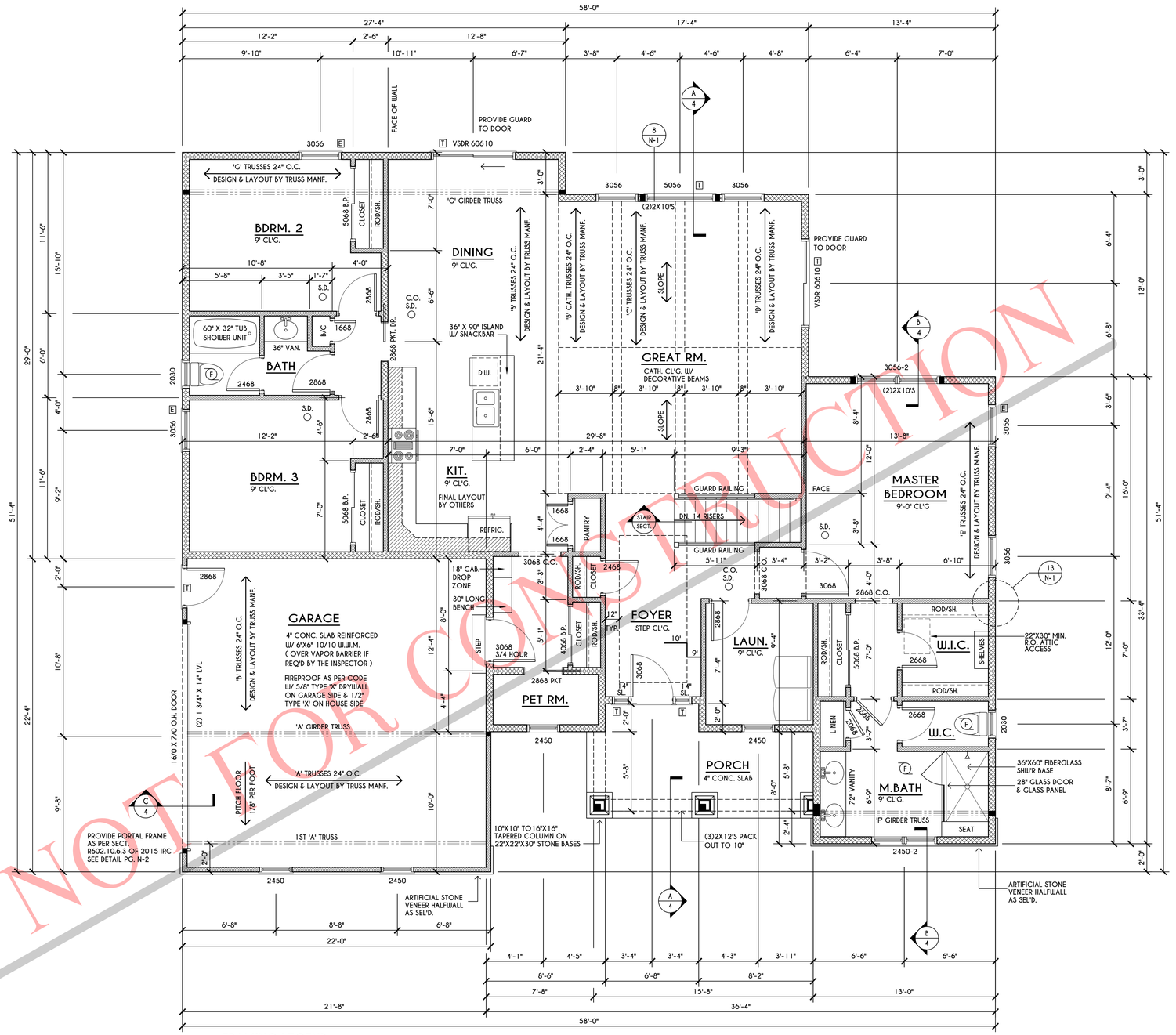
ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:

ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2015 IRC. SEE DETAIL 18/N-1 FOR FIREPROOFING METHODS



FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X4 GARAGE STUDS @ 24" O.C.
- 2X6 STUDS @ 24" O.C.

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FIRST FLOOR PLAN

1959 SQ. FT.

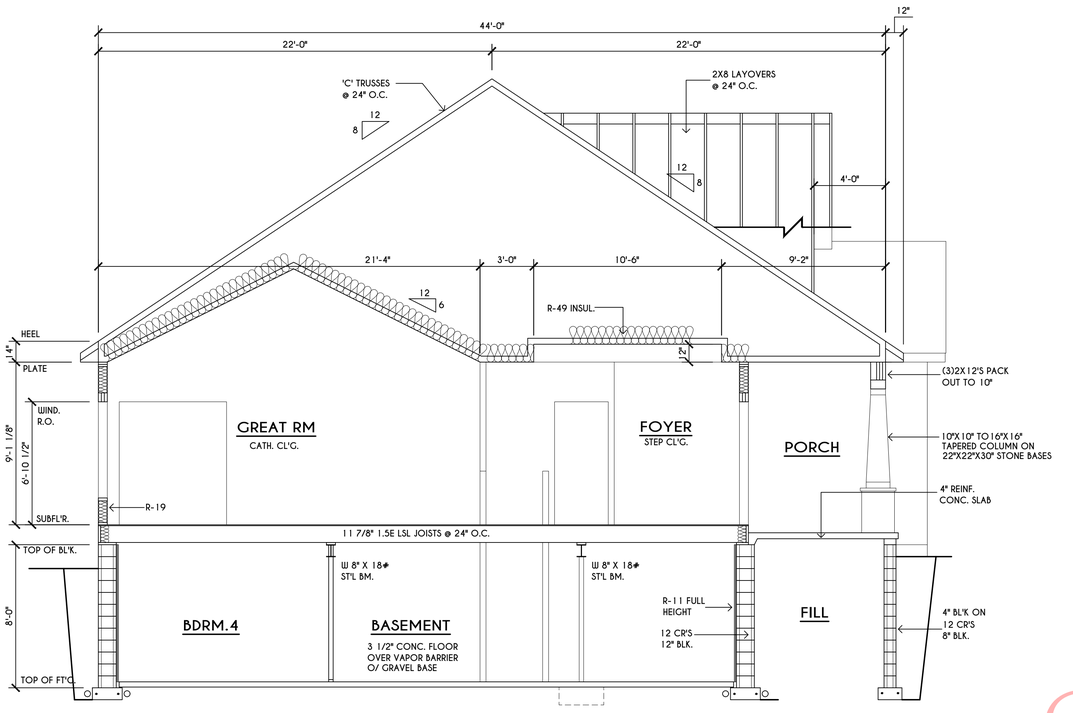
SCALE: 1/4" = 1'-0"

NOTES:

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE D&L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

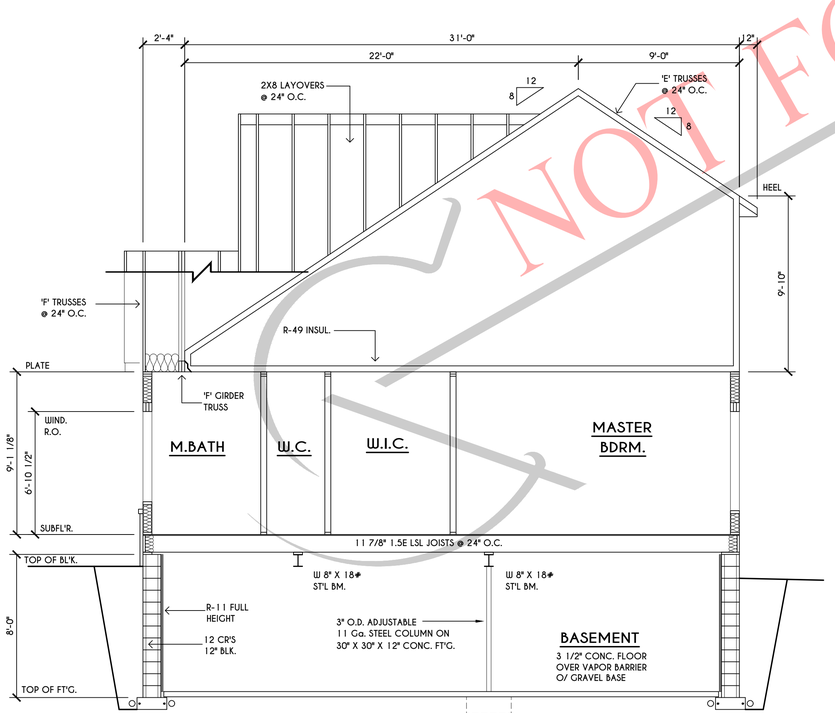
WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
  - CLEAR OPENING AREA OF 5.7 SQ.FT.
  - CLEAR OPENING WIDTH OF 20"
  - CLEAR OPENING HEIGHT OF 24"
  PER SECT. R310.1 OF 2015 IRC
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC



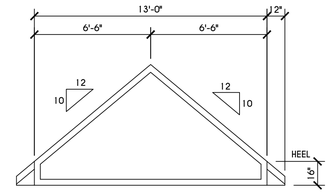
A/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"

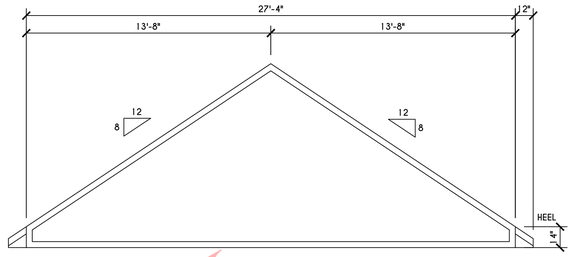


B/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"

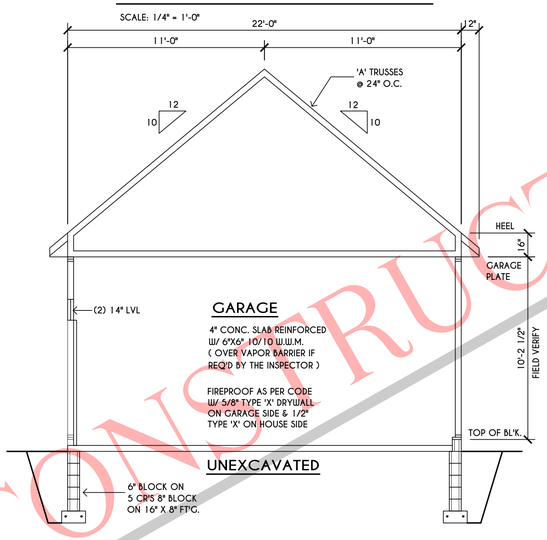


'F' TRUSS PROFILE



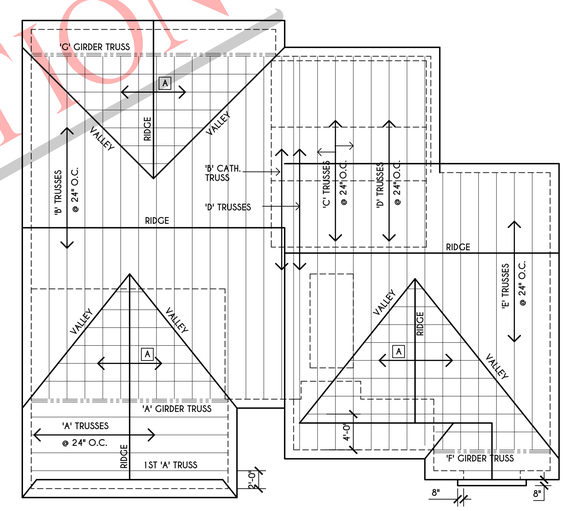
'G' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



C/4 BUILDING SECTION

SCALE: 1/4" = 1'-0"



ROOF PLAN

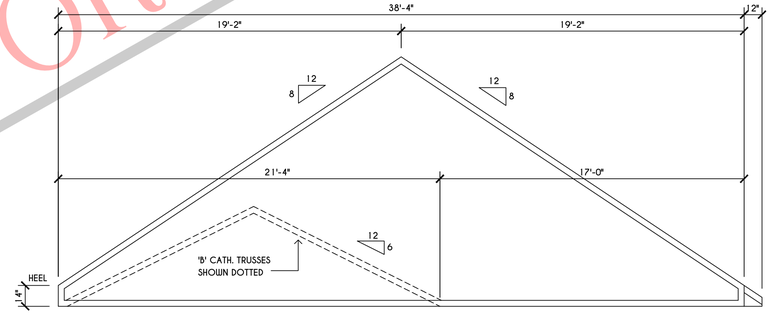
SCALE: 1/8" = 1'-0"

A – 2X8 LAYOVER RAFTERS 24" O.C.

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

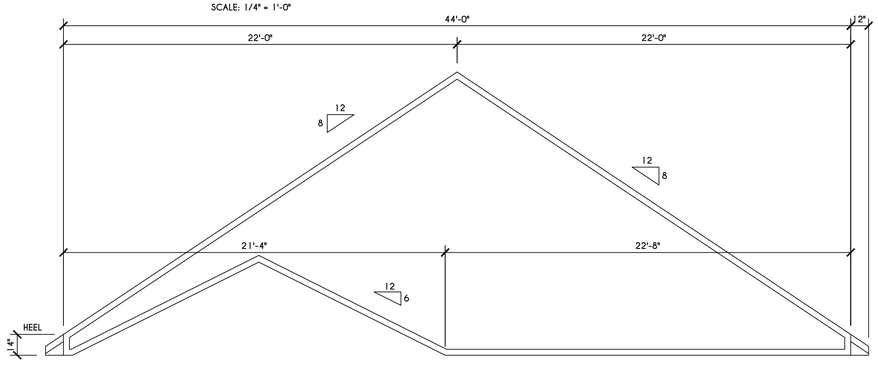
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



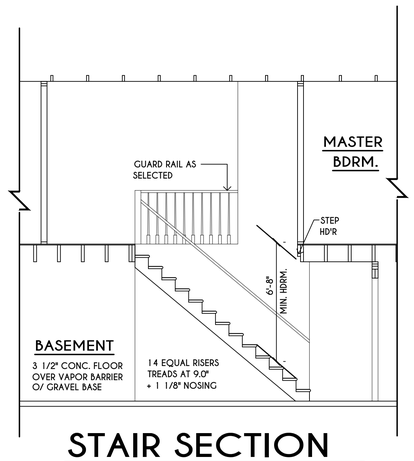
'B' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



STAIR SECTION

SCALE: 1/4" = 1'-0"

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
S19-000002

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 957 Panorama Trail S S ROCHESTER, NY 14625
Tax ID Number: 139.13-1-1.1
Zoning District: C-2 Commercial
Owner: Panorama Landing LLC
Applicant: Gal-Son Development, Inc.

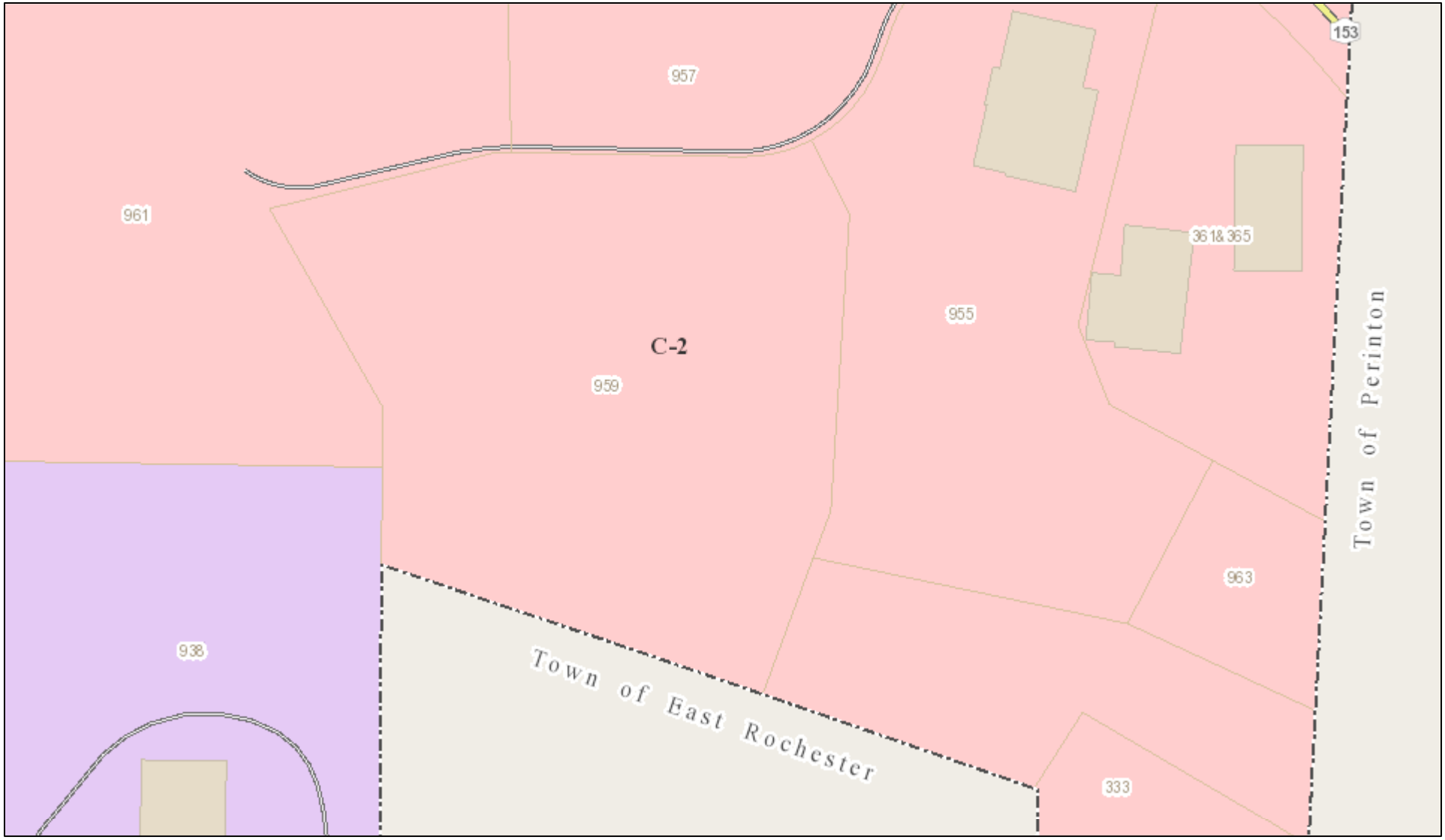
Application Type:

- [ ] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [x] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be a 16 Sq. Ft. brushed aluminum frame with white acrylic inserts and will identify the "Harris Insights & Analytics LLC" business.

Meeting Date: February 14, 2019

RN Residential Neighborhood Zoning



Printed February 7, 2019

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


Panorama Trail South
945
951
953
441
361&365
359
355

REFERENCE:

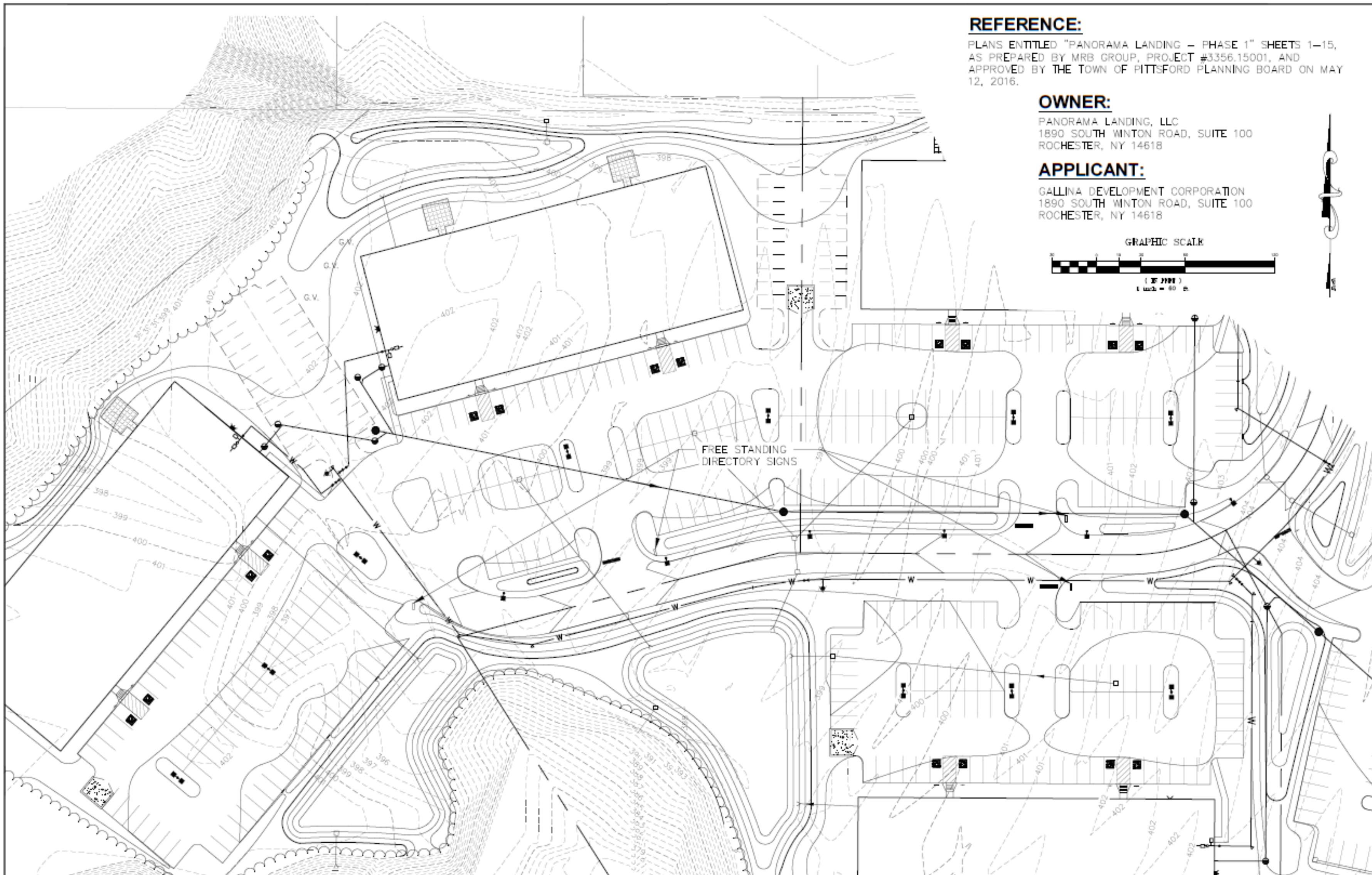
PLANS ENTITLED "PANORAMA LANDING – PHASE 1" SHEETS 1–15, AS PREPARED BY MRB GROUP, PROJECT #3356.15001, AND APPROVED BY THE TOWN OF PITTSFORD PLANNING BOARD ON MAY 12, 2016.

OWNER:

PANORAMA LANDING, LLC
1890 SOUTH WINTON ROAD, SUITE 100
ROCHESTER, NY 14618

APPLICANT:

GALLINA DEVELOPMENT CORPORATION
1890 SOUTH WINTON ROAD, SUITE 100
ROCHESTER, NY 14618



DRAWING ALTERATION
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7209 AND APPLIES TO THIS DRAWING.
IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Title: PANORAMA LANDING
955 PANORAMA TRAIL SOUTH
TOWN OF PITTSFORD, NEW YORK

Drawing Title: DIRECTORY SIGN PLAN

Drawn By: KJM
Checked By: SMS
Scale: 1" = 60'
Date: 11/22/2016

MRB group
Engineering, Architecture, Surveying, D.P.C.
The Culver Road Armory, 145 Culver Road, Suite 160, Rochester, New York 14620 585-381-9250
2730 Woodhouse Road, Suite 1, Horseheads, New York 14845 607-796-9340
The Mill, 125 High Rock Avenue, Saratoga Springs, New York 12866 518-899-2180
220 Washington Street, Suite 201, Watertown New York, 13601 315-775-5880
www.mrbgroup.com

Sheet No. S-2
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Project No. 3356.15001

SIGN SCHEDULE:

TOTAL PROPOSED SIGNAGE: 64 SF

4 – 4'x4' BUSINESS DIRECTORY SIGNS PER BUILDING

DRAWING ALTERATION
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7209 AND APPLIES TO THIS DRAWING.
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No. | Revisions and Descriptions | By | Date

Project Title: PANORAMA LANDING
955 PANORAMA TRAIL SOUTH
TOWN OF PITTSFORD, NEW YORK

Drawing Title: 4 TENANT BUILDING SIGNS

Drawn By: KJM
Checked By: SMS
Scale: N.T.S.
Date: 11/22/2016

MRB group

Sheet No. S-6

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Project No. 3356.15001

Harris Insights & Analytics LLC

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