

**Design Review & Historic Preservation Board
Agenda
January 28, 2021**

HISTORIC PRESERVATION DISCUSSION

- **Nomination for East Street Burying Ground for Historic Designation**
- **Nomination for 25 Briar Patch Road for Historic Designation**

RESIDENTIAL APPLICATION FOR REVIEW

- **107 Brook Road**
The Applicant is requesting design review for the kitchen, dining room, laundry and powder room addition. The addition will be approximately 768 square feet and located to the rear of the home.

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **8 Lexton Way**
The Applicant is requesting design review for the construction of a single family two story home. The home will have approximately 3311 square feet of livable area and will be located in the Wilshire Hills Development.
- **34 & 36 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 9 (34 Skylight Trail) will be approximately 1987 sq. ft. and Lot 10 (36 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

COMMERCIAL APPLICATION FOR REVIEW

- **3246 Monroe Avenue**
The Applicant is requesting design review for the replacement of a business identification sign. The new "Moe's Southwest Grill" sign will feature a white LED lighting system with black trim cap, turquoise, white and orange lettering. The sign will be approximately 39.6 square feet.

INFORMAL REVIEW

- **222 Golf Avenue**
The Applicant has applied for a permit to allow the demolition of a single family dwelling at 222 Golf Avenue. This property is Zoned Residential Neighborhood (RN). The Demolition permit is to be issued on or after March 12, 2021. Said structure is over 50 years old.

OTHER – REVIEW OF 1/14/2020 MINUTES

How to view the meeting:

1. Zoom

- In your web browser, go to <https://townofpittsford.zoom.us/j/82610642783?pwd=SHZ1ZVJhMUVCMWpxVVITUXFsOXNGQT09>
- You will be connected to the meeting.

2. Telephone

- You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is **826 1064 2783**. No password is necessary.

(929) 205-6099

(312) 626-6799

(253) 215-8782

(301) 715-8592

(346) 248-7799

(669) 900-6833

Draft
Design Review and Historic Preservation Board
Minutes
January 14, 2021

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, John Mitchell, Leticia Fornataro, Dave Wigg, Kathleen Cristman

ALSO PRESENT

Kevin Beckford, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Bonnie Salem

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, January 14 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Dirk Schneider, Chairman opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

Dirk Schneider announced that the East Street Burying Ground has been approved by Supervisor Bill Smith on behalf of the Town of Pittsford and is eligible to be nominated for historic designation. A formal nomination for this property and a property located at 25 Briar Patch Road will be forthcoming at a future meeting.

RESIDENTIAL APPLICATION FOR REVIEW

• **115 Ellingwood Drive**

The Applicant is requesting design review for the second story bathroom addition. The addition will be approximately 45 square feet and located on the north side of the home.

Serge Tsvasman was present to discuss the application with the Board.

The Board discussed the proposed cantilever on the north side elevation. They felt it was unbalanced looking sticking out on the side of the home. Mr. Tvasman indicated that the applicant does not have a need for the space on the first level and care has been taken in the design to include brackets under the cantilever in a manner complementary to the design of the home. The Board mainly agreed that although this was not a "deal breaker" for the approval but they wanted to highlight that it looked somewhat awkward. Paul Whitbeck suggested landscaping underneath the cantilevered area.

Kathleen Cristman moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **331 Fairport Road**

The Applicant is requesting design review for a 596 sq. ft. garage addition. The garage addition was previously approved by the Architectural Review Board and the applicant was granted a permit in 1998. The project never was completed and the owner is now ready to move forward. Since zoning codes have changed since 1998 the applicant was required to apply for a variance based on the Town's current code.

There was no representative present to discuss this application with the Board.

The Board felt comfortable reviewing the design.

The Board was supportive of the design but felt the roof return on the garage should replicate the roof return on the second story of the home. This will be made a condition of approval.

Leticia Fornataro noted that she works with the architect on this project and therefore recused herself from the vote.

John Mitchell moved to accept the application as submitted with the condition that the garage addition returns replicate the gable return on the second floor of the dwelling.

Dirk Schneider seconded.

Schneider – Aye
Wigg – Aye
Cristman – Aye
Mitchell – Aye
Whitbeck – Aye
Fornataro - Abstain

RESIDENTIAL APPLICATION FOR REVIEW – NEW

- **44 Coventry Ridge**

The Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3009 square feet of living area and will be located in the Coventry Ridge Subdivision.

Jim Connaughton of Coventry Ridge Building Corporation discussed this application with the Board.

Objections to three materials on the front elevation were brought up again by the Board particularly since many of the homes already constructed in the area have two materials on the front elevation. Mr. Connaughton stated that there is another home nearby with all board and batten finishing and this is an attempt to tie in this material with this one in the neighborhood.

Some Board members were content with the three materials as long as the two non-stone elements were the same color or in the same color palette.

Discussion was held about the stone and the choppy presentation of the different levels on the front elevation. The Board recommended that the stone be brought down even to the lowest level across the front elevation of the home. Mr. Connaughton indicated that he was in agreement with this.

David Wigg moved to accept the application as submitted with the condition that the stone on the front elevation be aligned with the lowest point of the water table and the condition that the two other differing construction materials be in the same or similar color palette.

Leticia Fornataro seconded.

All Ayes.

- **8 Ravenna Crescent**

The Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 2944 square feet of living area and will be located in the Coventry Ridge Subdivision.

Jim Connaughton discussed this application with the Board.

This home features two materials that met with the approval of the Board.

There were no further questions from the Board.

Paul Whitbeck moved to accept the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **4044B East Avenue**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2959 square feet with a 264 sq. ft. sunroom. The home will be located on a subdivided lot on a private drive.

Jennifer and Frank Mazzarella were present to discuss the application with the Board.

The exterior elevation finishes will be stucco and stone.

In general, the Board was pleased with the construction design of this home. Kathleen Cristman noted that she appreciated that the garage is not a dominant feature.

There was discussion regarding the shutter design and whether this should follow the curved elements (window headers and garage) on the home. The applicant indicated that they had considered doing this but did not know how the Board would feel about it.

Kathleen Cristman moved to accept the application as submitted with the recommendation that the shutters reflect curvature at the tops to mimic elements on the home.

Leticia Fornataro seconded.

All Ayes.

DISCUSSION

Regarding the Wright House, John Mitchell reported on his findings. His research on homes with the Italianate architectural style is that shutters were not a common feature. His recommendation would be that the shutters be removed in the renovation to more fully represent the look of the home when it was built. In addition, this style most likely included heavy brackets or molding around the windows at the top. These brackets may have been removed or covered up in recent renovations. It may be proved when the aluminum siding is removed that there will be brackets or evidence there of former bracketing. The Board concurred with Mr. Mitchell's recommendation of the removal of the shutters. There was discussion of whether the closed shutters on the window near the inside stairwell should remain or not.

OTHER – REVIEW OF 12/10/2020 MINUTES

Leticia Fornataro moved to accept the minutes of December 10, 2020 as written.

Kathleen Cristman seconded.

All Ayes.

ADJOURNMENT

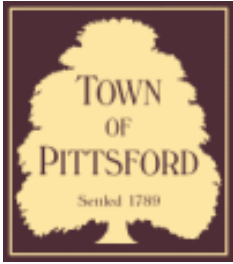
Dirk Schneider moved to close the meeting at 7:15 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000015

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 107 Brook Road PITTSFORD, NY 14534

Tax ID Number: 151.17-2-65

Zoning District: RN Residential Neighborhood

Owner: Gringer, Theresa A

Applicant: Polisseni Construction Co. Inc.

Application Type:

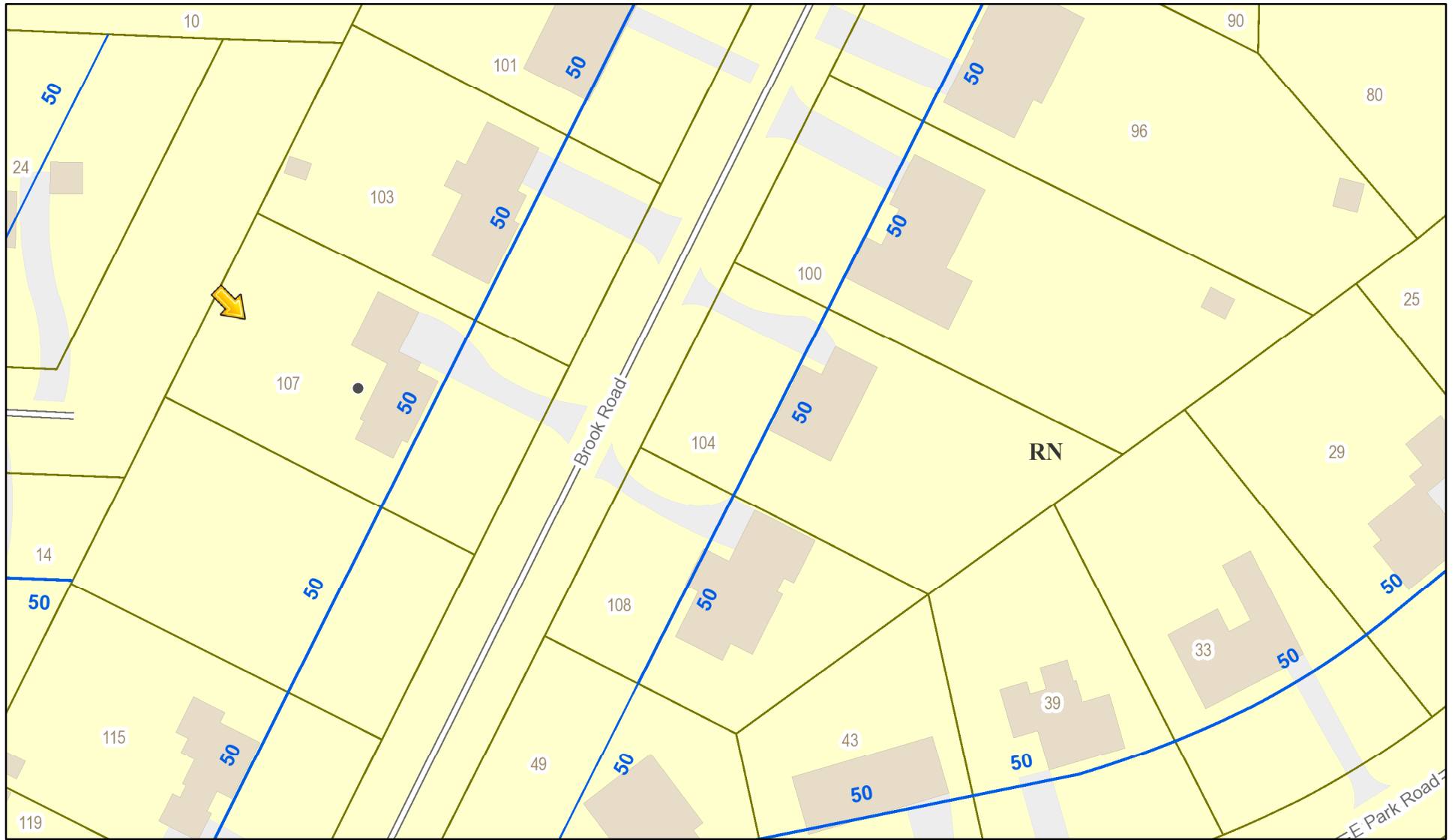
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review §185-205 (B) | <input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review §185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet §185-17 (M) |
| <input type="checkbox"/> Signage §185-205 (C) | <input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness §185-197 | <input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation §185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the kitchen, dining room, laundry and powder room addition. The addition will be approximately 768 square feet and located to the rear of the home.

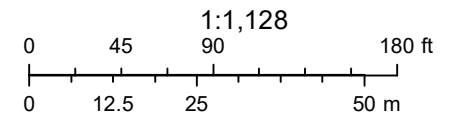
Meeting Date: January 28, 2021



RN Residential Neighborhood Zoning

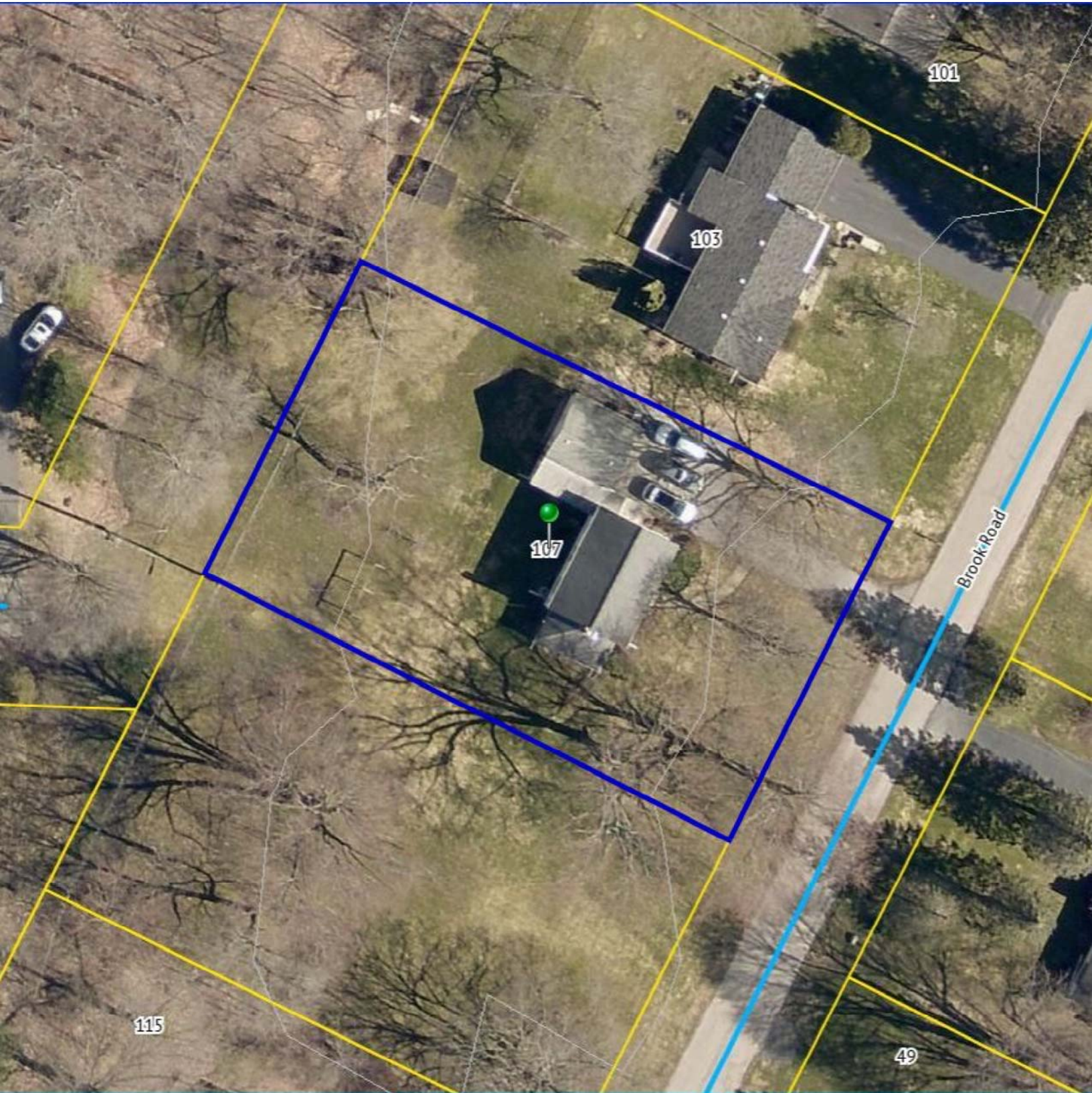


Printed January 21, 2021



Town of Pittsford GIS

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101

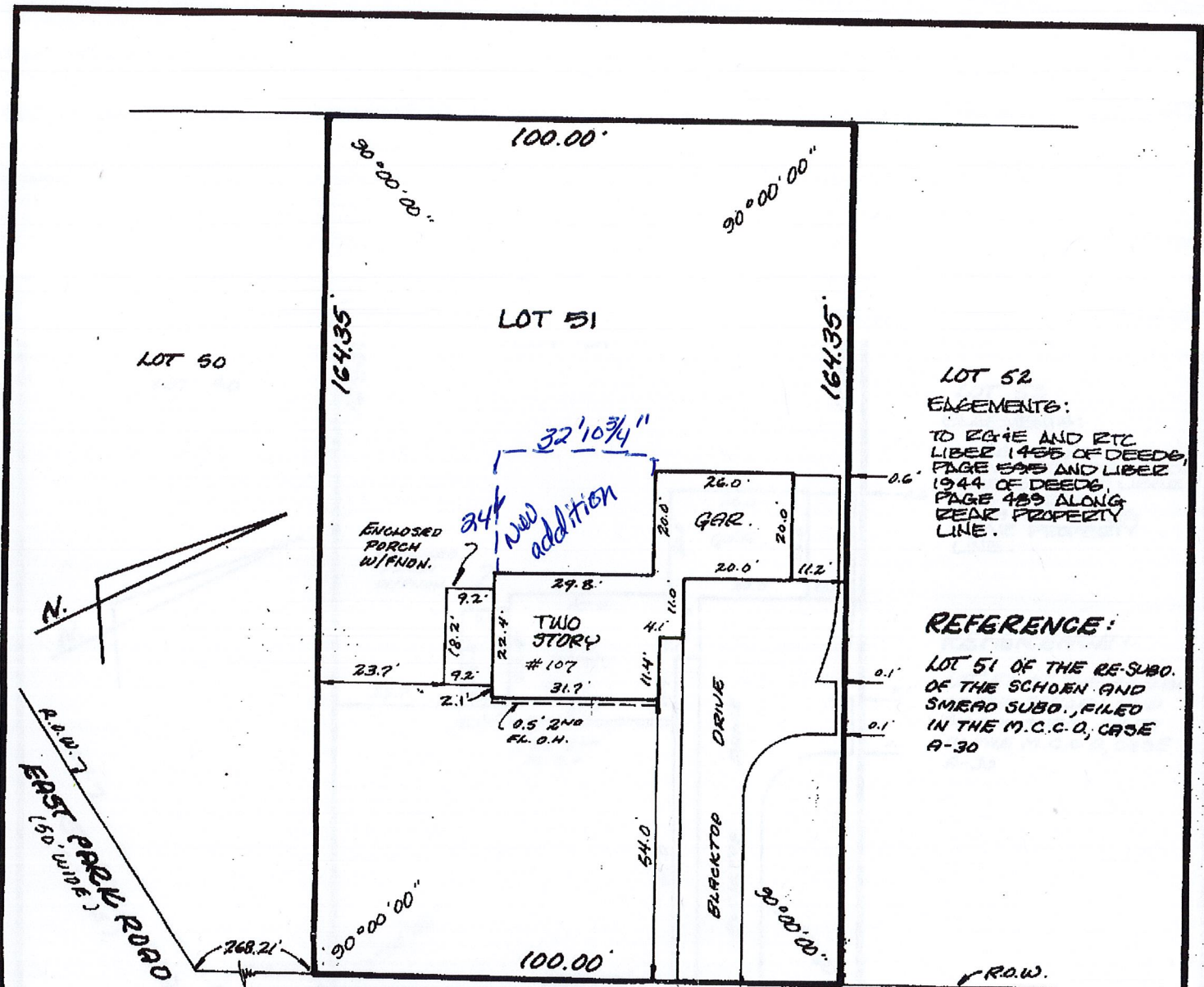
103

107

115

Brook Road

49



LOT 52
EASEMENTS:
TO EG&IE AND ETC
LIBER 1455 OF DEEDS
PAGE 595 AND LIBER
1944 OF DEEDS
PAGE 483 ALONG
REAR PROPERTY
LINE.

REFERENCE:
LOT 51 OF THE RE-SUBD.
OF THE SCHOEN AND
SMERD SUBD., FILED
IN THE M.C.C.O., CASE
A-30

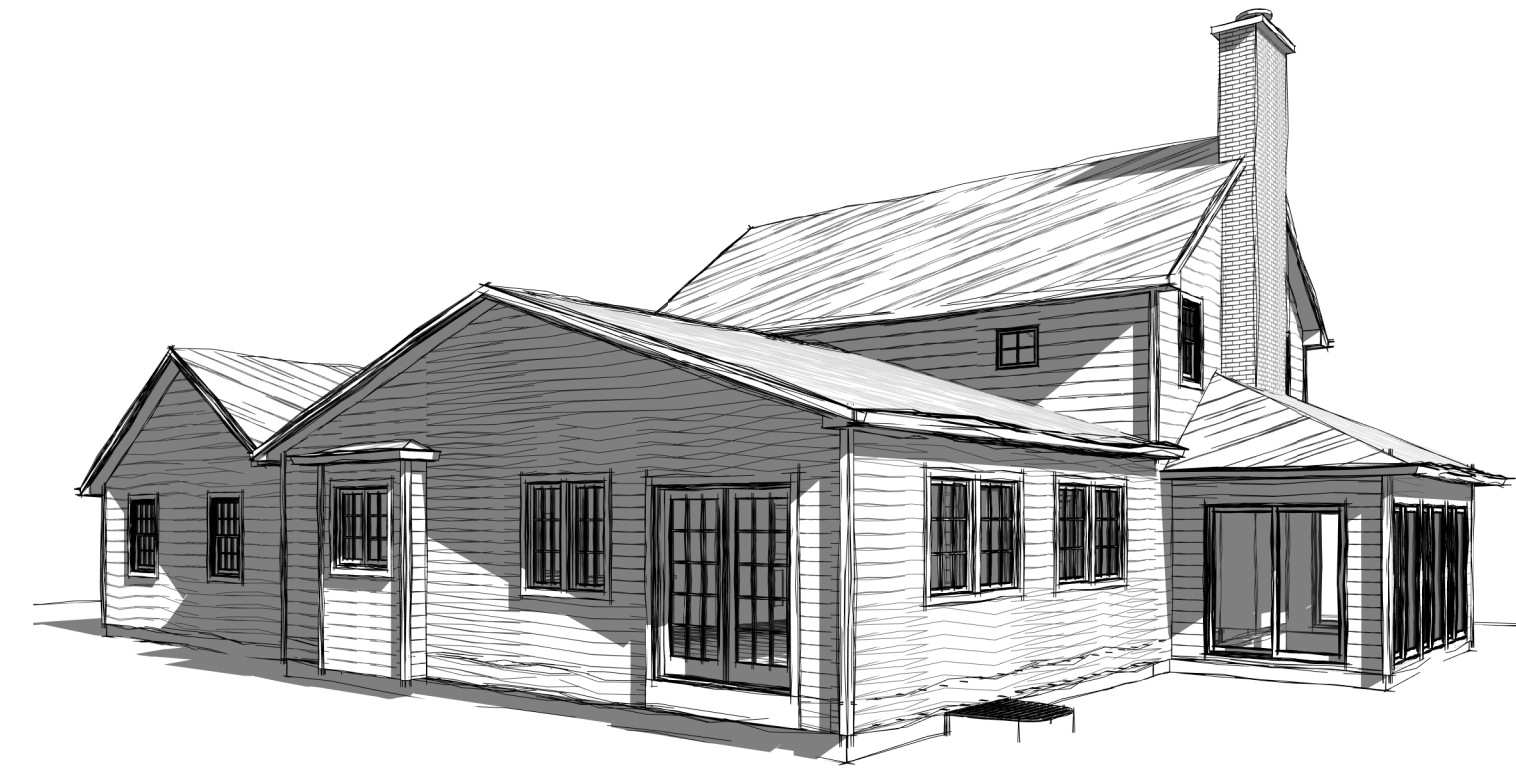
BROOK (50' WIDE) ROAD

MAP OF AN INSTRUMENT SURVEY OF:
107 BROOK ROAD

TOWN OF PITTSFORD SITUATE IN: NEW YORK
DATE: MAY 29, 2002 MONROE COUNTY SCALE: 1" = 30'

GRINGER ADDITION

107 BROOK ROAD PITTSFORD, NY 14534



CLIENT:
TONY GRINGER

DATE:
04-08-20

ARCHITECT:



Greater Living Architecture, P.C.

3033 BRIGHTON HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623

DRAWING LIST

| No. | SHEET NAME |
|-----|---|
| A1 | EXTERIOR ELEVATIONS |
| A2 | FIRST, SECOND & FOUNDATION FLOOR DEMOLITION PLAN |
| A3 | FOUNDATION PLAN & FRAMING PLAN |
| A4 | FIRST & SECOND FLOOR PLAN |
| A5 | ROOF PLAN DEMOLITION & ROOF PLAN |
| A6 | SECTIONS |
| N-1 | DETAILS |
| N-2 | REINFORCEMENT |
| T1 | TECHNICAL DATA |

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3033 BRIGHTON-HENRIETTA
TOWNLINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greaterviving.com

CONSULTANT:

CLIENT/LOCATION:
TONY GRINGER
107 BROOK ROAD PITTSFORD,
NY 14534

REVISIONS:

| DATE | BY | DESCRIPTION |
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COVER PAGE

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|-------------------|---------------------|
| DRAWN: DOR | DATE: 04/08/2020 |
| PROJECT: 19247 | SHEET: CO |

ABBREVIATIONS:

| | | | |
|----------|-------------------------------------|--------|--------------------------|
| AAT | ACCESSIBLE ACOUSTICAL TILE | LH | LEFT HAND |
| AB | ANCHOR BOLT | LH | LONG LEGS HORIZONTAL |
| ABV | ABOVE | LLV | LONG LEGS VERTICAL |
| ACST | ACROUSTICAL | LOC | LOCATION |
| ADJ | ADJACENT | LQ | LOUVER |
| A.F.F. | ABOVE FINISHED FLOOR | LT | LIGHT |
| ALUM | ALUMINUM | LVL | LEVEL |
| ANOD | ANODIZED | LW | LIGHT WEIGHT |
| APPROX | APPROXIMATE | MANUF | MANUFACTURER |
| APPROV | APPROVED | MATL | MATERIAL |
| ARCHT | ARCHITECT | MAX | MAXIMUM |
| ASPH | ASPHALT | MCH | MECHANICAL |
| ATT | ATTACHED | MEMB | MEMBRANE |
| B, BO | BULLETIN BOARD | MFR | MANUFACTURER |
| BD | BOARD | MR | MAN HOLE |
| BITUM | BITUMINOUS | MIN | MINIMUM |
| BLDG | BUILDING | MS | MISCELLANEOUS |
| BLK | BLOCK | MO | MASONRY OPENING |
| BM | BEAM | MON | MONUMENT |
| B.O.F. | BOTTOM OF FOOTING | MT | MOUNTED |
| B.O.H. | BOTTOM OF HEADER | MTL | METAL |
| BRC | BEARING | MULL | MULLION |
| BRK | BRICK | N | NORTH |
| BSMT | BASEMENT | NA | NOT APPLICABLE |
| BTM | BOTTOM | NCC | NECESSARY |
| BTWN | BETWEEN | N.H. | NOW HEALING |
| CRFT | CARPET | N.I.C. | NOT IN CONTRACT |
| CAB | CABINET | NO | NUMBER |
| CB | CATCH BASIN | NDM | NOMINAL |
| CC | CENTER TO CENTER | NTS | NOT TO SCALE |
| CMNT | CEMENT | OA | OVERALL |
| CH | CONCRETE HARDENER | OC | ON CENTER |
| CI | CAST IRON | ODIA | OUTSIDE DIAMETER |
| CJ | CONTROL JOINT | OPG | OPENING |
| CLST | CLOSET | OPF | OPPOSITE |
| CL | CENTER LINE | OVER | OVER |
| CLG | CEILING | ODO | OUTSIDE TO OUTSIDE |
| CKG | CHAULKING | P | PAINT |
| CMU | CONCRETE MASONRY UNIT | FC | FLUING CONTRACTOR |
| CO | CLEAN OUT | PL | PLATE |
| COL | COLUMN | P-LAM | PLASTIC LAMINATE |
| COMBO | COMBINATION | FLAS | FLASTER |
| CONC | CONCRETE | FLAS | FLASTER |
| COND | CONDUCTOR | PLD | PLACES |
| CONN | CONNECTION | PLWD | PLYWOOD |
| CONS | CONSTRUCTION | P # P | PAINT # PRIME |
| CONT | CONTINUOUS | PK | PAK |
| CNS | COURSES | FR | FRESHLY TREATED |
| C/S | COUNTER SINK | FS | PIPE SLEEVES |
| CS | CERAMIC TILE | FSJ | FOOTINGS PER SQUARE INCH |
| CTR | CENTER | FT | FOOT |
| D | DEEP | FTN | PARTITION |
| D | DOUBLE | F.V.C. | FLUOR VITRIL CHLORIDE |
| DBL | DOUBLE | PMT | PAVEMENT |
| DEPT | DEPARTMENT | QTY | QUANTITY |
| DF | DRINKING FOUNTAIN | LW | LIGHT WEIGHT |
| DIA | DIAMETER | R | RADIUS |
| DIM | DIMENSION | RB | RUBBER BASE |
| DN | DOWN | RCD | ROOT DRAIN |
| D.O. | DITTO | REC | RECESSED |
| DR | DOOR | REF | REFRIGERATOR |
| DS | DOWNSPOUT | REIN | REINFORCING |
| DTL | DETAIL | REQD | REQUIRED |
| DRW | DRAWING | RESBL | RESIDENT |
| DWR | DRAWER | RFM | ROOFING |
| E | EACH | RM | ROOM |
| EJ | EXPANSION JOINT | RH | RIGHT HAND |
| ELEV | ELEVATION | RI | RIGHT HAND |
| ELEC | ELECTRIC | R.O. | ROUGH OPENING |
| EMER | EMERGENCY | R.O.B. | RUN OF BANK |
| ENCL | ENCLOSURE | R.O.W. | ROUGH OFF WAY |
| ENT | ENTRANCE | R # R | REMOVE # REPLACE |
| EP | ELECTRICAL PANEL | RS | RISERS |
| EQ | EQUAL | S | SINK |
| EQUIP | EQUIPMENT | SC | SOLID CORE |
| EW | EACH WAY | SCHD | SCHEDULE |
| EX | EXTERIOR | SD | SMOKE DETECTOR |
| EXC | EXCAVATE | SECT | SECTION |
| EXIST | EXISTING | SGU | STRUCTURAL GLAZED UNIT |
| EXP | EXPANSION | SH | SHIRT |
| EXPD | EXPANDED | SHT | SHREATHING |
| E.I.F.S. | EXTERIOR INSULATION & FINISH SYSTEM | SIDLT | SIDE LIGHT |
| | | SIN | SIMILAR |
| | | SL | SLATE |
| | | SP | SPACE |
| | | SPEC | SPECIFICATIONS |
| | | SQ | SQUARE |
| | | SS | STAINLESS STEEL |
| | | STD | STANDARD |
| | | STD | STANDARD |
| | | STR | STRUCTURAL |
| | | SUSP | SUSPENDED |
| | | T | TILE |
| | | TD | TRENCH DRAIN |
| | | TEL | TELEPHONE |
| | | TEMP | TEMPERED |
| | | TERSE | TERRAZZO |
| | | T & G | TONGUE & GROOVE |
| | | THR | THRESHOLD |
| | | TOP | TOP OF PLATE |
| | | TOS | TOP OF SLAB |
| | | TR | TREAD |
| | | TR | TREAD |
| | | TYP | TYPICAL |
| | | UH | UNIT HEATER |
| | | UNF | UNFINISHED |
| | | U.O.N. | UNLESS OTHERWISE NOTED |
| | | V | VENT |
| | | VAR | VARIABLE |
| | | VB | VINYL BASE |
| | | VCT | VINYL COMPOSITION TILE |
| | | VERT | VERTICAL |
| | | VEST | VESTIBULE |
| | | VF | VERIFY IN FIELD |
| | | VRF | VINYL REINFORCED TILE |
| | | VST | VENT STACK |
| | | VV | VENT PIPE |
| | | W | WIDE |
| | | W | WITH |
| | | WANIS | WAINSCOT |
| | | WC | WALL COVERING |
| | | WD | WOOD |
| | | WF | WIDE FLANGE |
| | | WH | WATER HEATER |
| | | WI | WITHOUT |
| | | WFO | WATERPROOF |
| | | WR | WATER RESISTANT |
| | | WT | WEIGHT |
| | | WW | WOVEN WIRE FABRIC |
| | | YD | YARD |

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE JULY 2017 UNIFORM CODE SUPPLEMENT AND 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND THE 2016 SUPPLEMENT TO THE NYS ENERGY CONSERVATION CODE, EFFECTIVE OCTOBER 2016.

COMPLIANCE METHOD: RES CHECK CERTIFICATE

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CONSERVATION CODES-STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENTS INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR/SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR/SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAM IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS-USE DIMENSIONS GIVEN.

THE CONTRACTOR/OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDINGS SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R506.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2015 IRC AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPARTMENT.

FOUNDATION:

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALL AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHOULD BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALL AND FOOTINGS.

CONTINUOUS FABRIC WRAPPED 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALL WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER REINFORCEMENT CHARTS.

FIREPLACES:

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH A MINIMUM OF 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED.

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4.

R404.4 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1. AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

R402.4.1.2 TESTING. THE ADDITION SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING FIVE AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 6. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE OPEN FULLY.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. THEY SHALL ALSO BE IC-RATED AND LABELED WITH AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM.

R402.5 MAXIMUM FENESTRATION U-FACTOR # SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 # 5 AND .40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, # 75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATES ZONES 1-3 SHALL BE .50.

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. # A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAD (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY - ELECTRIC RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.1.3 INSULATION (PRESCRIPTIVE). SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6 WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa.) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa.) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 A MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION # TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTIONS R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS # PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVICING MORE THAN ONE DWELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.1

R403.7 EQUIPMENT SIZING AND EFFICIENCY RATING (MANDATORY). HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL AND BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE # GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LATER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THE ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE, AS PER SECTION 312.1.1 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2015 IRC.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2015 IRC.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2015 IRC.

VENTILATION:

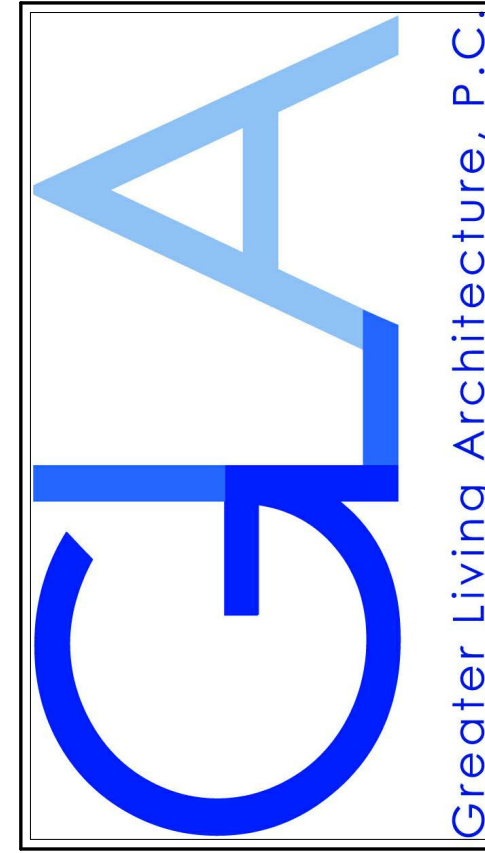
R506.2 MINIMUM VENT AREA. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS TO BE PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

STRUCTURAL MATERIAL SPECIFICATIONS:

| | |
|------------------|---|
| STRUCTURAL STEEL | ASTM A-36, Fy=36 KSI |
| REINFORCED STEEL | ASTM A-615, Fy=40 KSI |
| WIRE MESH | ASTM A-185, 6x6-1/0 W.W.M. |
| LUMBER | ALL STRUCTURAL MEMBERS, JOIST, RAFTERS, ETC. TO BE # 2 GRADE LUMBER (DOUGLAS FIRE-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE |
| PLYWOOD | CDX, PANEL INDEX |
| LVL, PSL, LSL | Fb = 2600 Fv = 285 E = 10^6 - 1.9 Fc = 750 |
| MASONRY | ASTM C90, GRADE N-1 Fm = 1350 PSI |
| MORTAR | ASTM C270, TYPE S |
| GROUT | Fc = 2000 PSI ASTM C476 |
| CONCRETE | Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN (GARAGE SLAB, PORCH SLAB # POURED FOUNDATION WALLS) ALL CONCRETE EXPOSED TO FROST OR WEATHER SHALL BE AIR-ENTRAINED BETWEEN 4.5% TO 6.5% |
| BOLTS | ASTM A307, Fy=33 KSI |
| DESIGN CRITERIA: | (FOR GREATER ROCHESTER AREA # ADJACENT COUNTIES) |

| | |
|--|-----------|
| LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO | |
| 1ST AND 2ND FLOOR LIVING AREA LIVE LOAD | 40 P.S.F. |
| SLEEPING AND ATTIC AREA LIVE LOAD | 30 P.S.F. |
| FLOOR DEAD LOAD | 15 P.S.F. |
| GROUND SNOW LOAD</ | |

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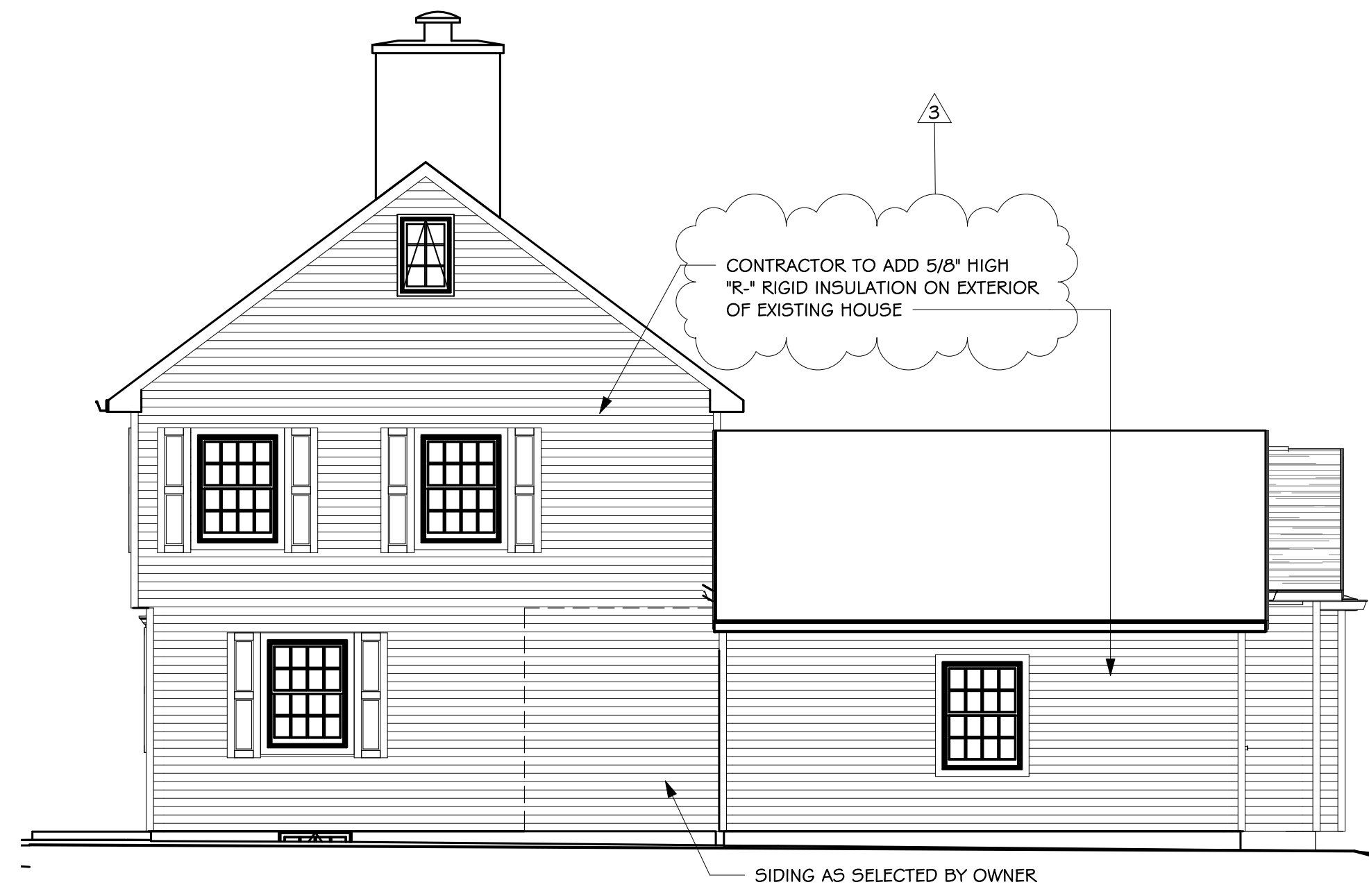
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 TONY GRINGER
 107 BROOK ROAD PITTSFORD, NY 14534

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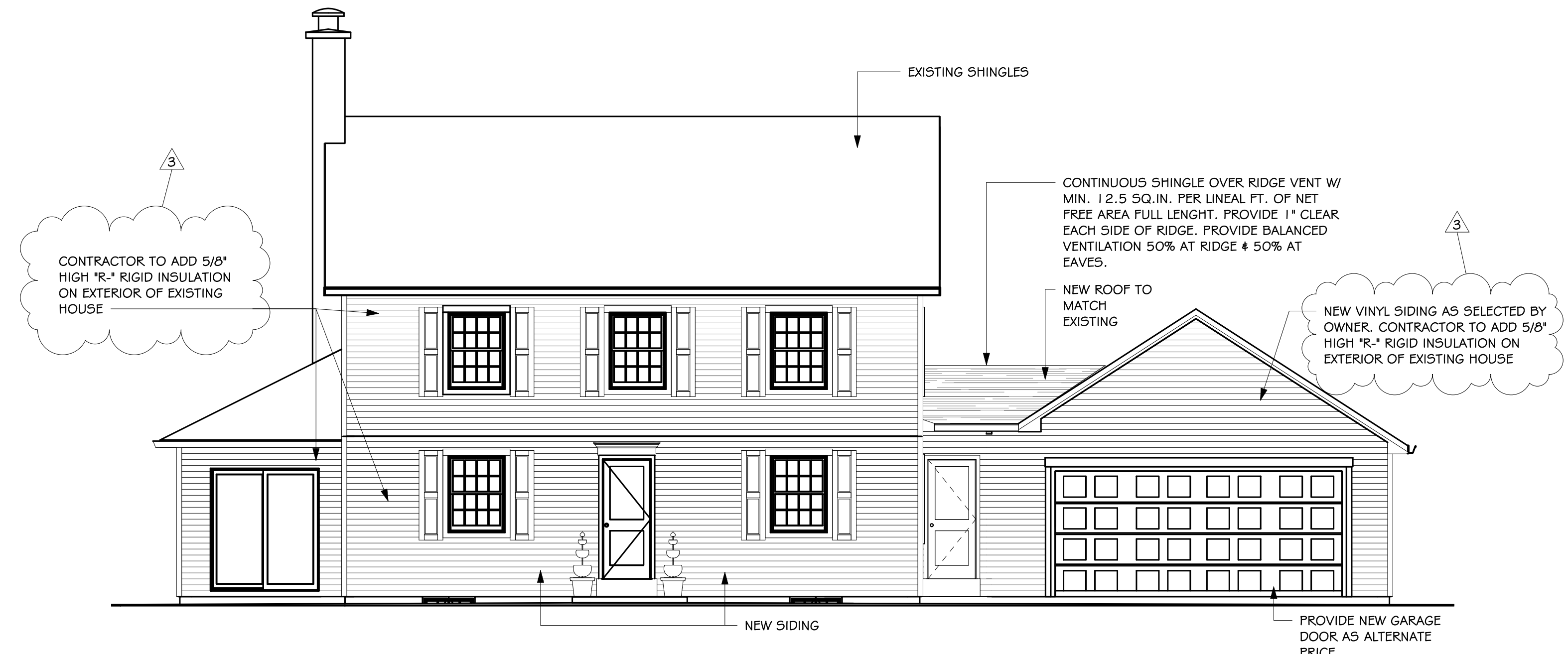
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EXTERIOR ELEVATIONS

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| PROJECT: 19247 | SHEET: A1 |



3 LEFT ELEVATION
 3/16" = 1'-0"

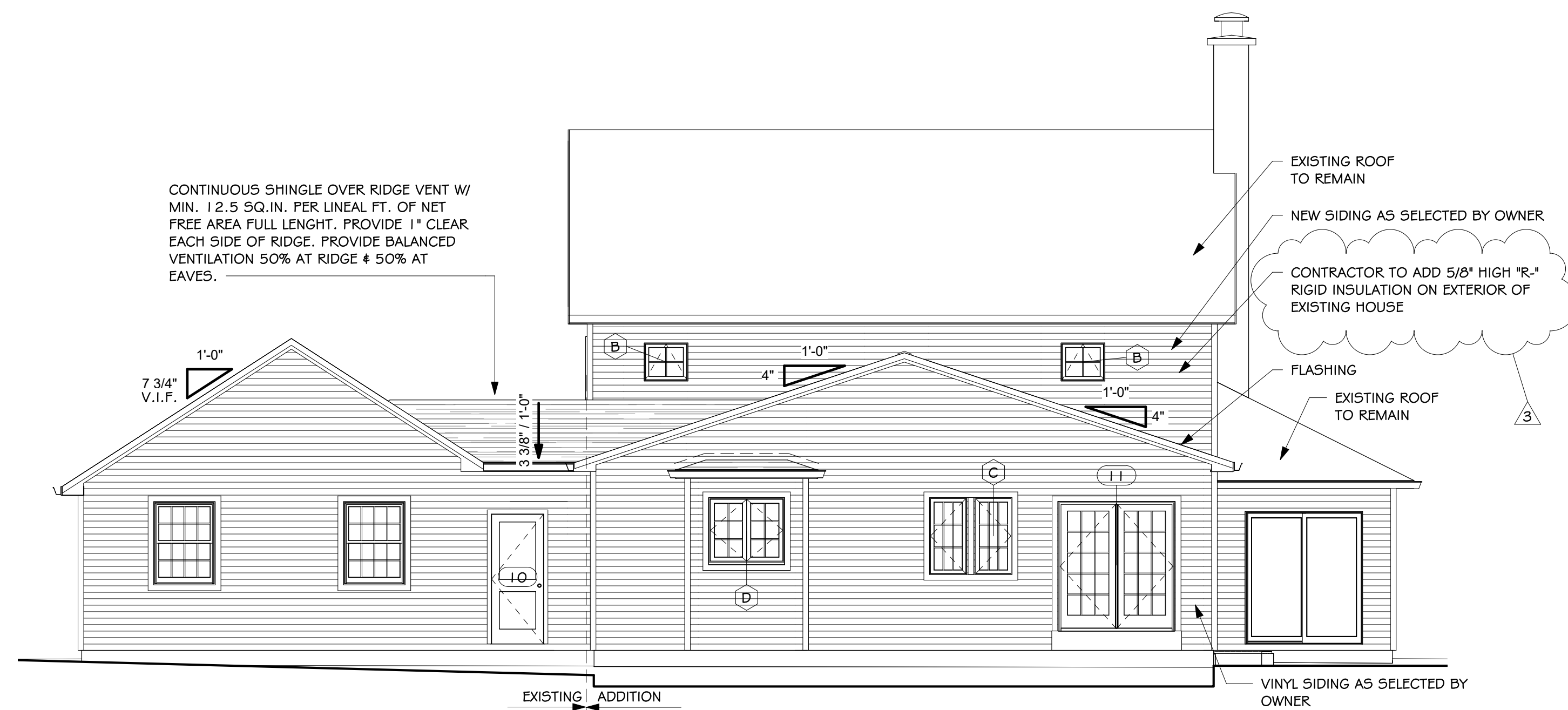


1 FRONT ELEVATION
 3/16" = 1'-0"

NOTE:
 CONTRACTOR TO INCLUDE PRICE TO RESIDE EXISTING HOUSE & NEW ADDITION



4 RIGHT ELEVATION
 3/16" = 1'-0"

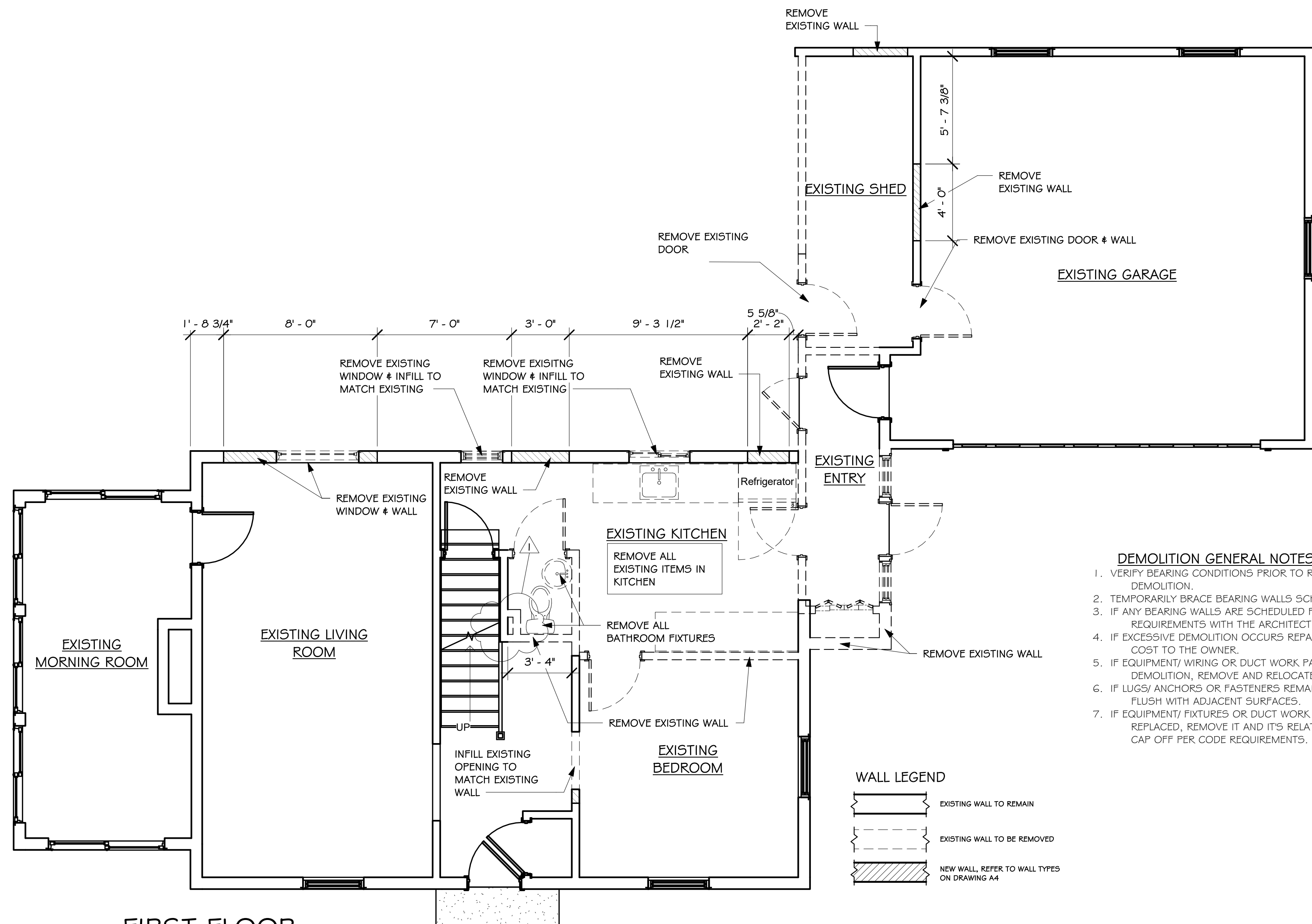


2 REAR ELEVATION
 3/16" = 1'-0"

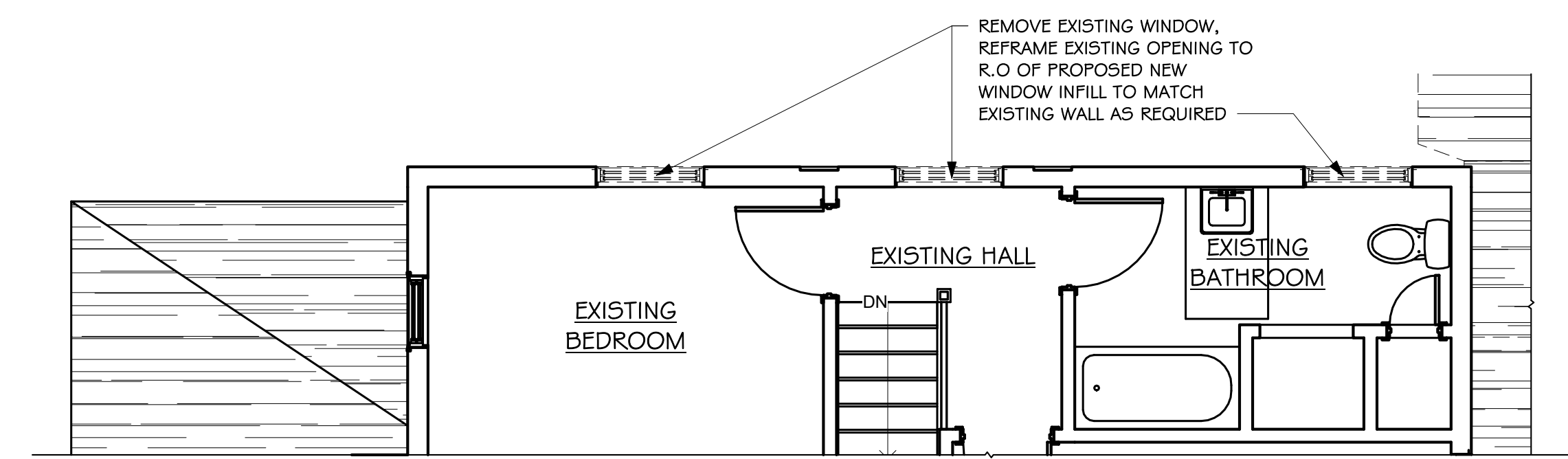
REVISIONS

- 1 REMOVE BUMP OUT IN HALL
- 2 NEW ARCHWAYS TO MATCH EXISTING
- 3 ADD NOTE: "5/8" HIGH RIGID INSULATION ON EXISTING EXTERIOR WALLS"
- 4 ADD NOTE: "REPAIR ALL CRACKED RAFTERS IN GARAGE"

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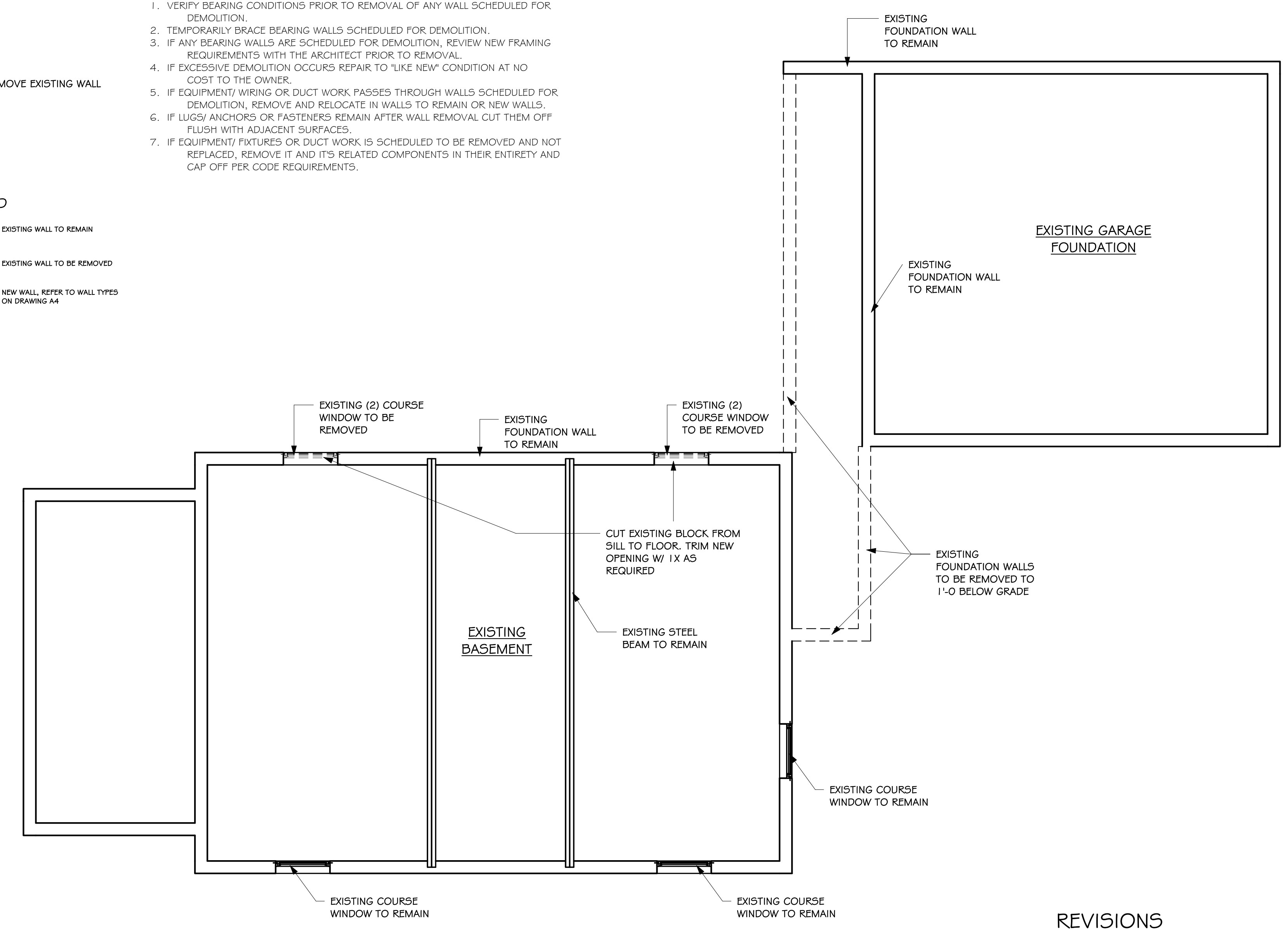


1 FIRST FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

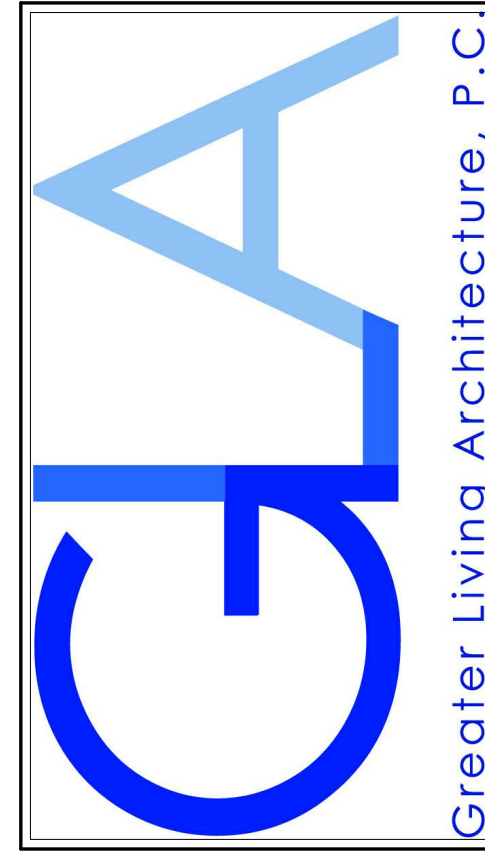
- DEMOLITION GENERAL NOTES:**
1. VERIFY BEARING CONDITIONS PRIOR TO REMOVAL OF ANY WALL SCHEDULED FOR DEMOLITION.
 2. TEMPORARILY BRACE BEARING WALLS SCHEDULED FOR DEMOLITION.
 3. IF ANY BEARING WALLS ARE SCHEDULED FOR DEMOLITION, REVIEW NEW FRAMING REQUIREMENTS WITH THE ARCHITECT PRIOR TO REMOVAL.
 4. IF EXCESSIVE DEMOLITION OCCURS REPAIR TO "LIKE NEW" CONDITION AT NO COST TO THE OWNER.
 5. IF EQUIPMENT/ WIRING OR DUCT WORK PASSES THROUGH WALLS SCHEDULED FOR DEMOLITION, REMOVE AND RELOCATE IN WALLS TO REMAIN OR NEW WALLS.
 6. IF LUGS/ ANCHORS OR FASTENERS REMAIN AFTER WALL REMOVAL CUT THEM OFF FLUSH WITH ADJACENT SURFACES.
 7. IF EQUIPMENT/ FIXTURES OR DUCT WORK IS SCHEDULED TO BE REMOVED AND NOT REPLACED, REMOVE IT AND ITS RELATED COMPONENTS IN THEIR ENTIRETY AND CAP OFF PER CODE REQUIREMENTS.



3 BASEMENT DEMOLITION PLAN
 1/4" = 1'-0"

REVISIONS

| | |
|---|---|
| 1 | REMOVE BUMP OUT IN HALL |
| 2 | NEW ARCHWAYS TO MATCH EXISTING |
| 3 | ADD NOTE: "5/8" HIGH RIGID INSULATION ON EXISTING EXTERIOR WALLS" |
| 4 | ADD NOTE: "REPAIR ALL CRACKED RAFTERS IN GARAGE" |



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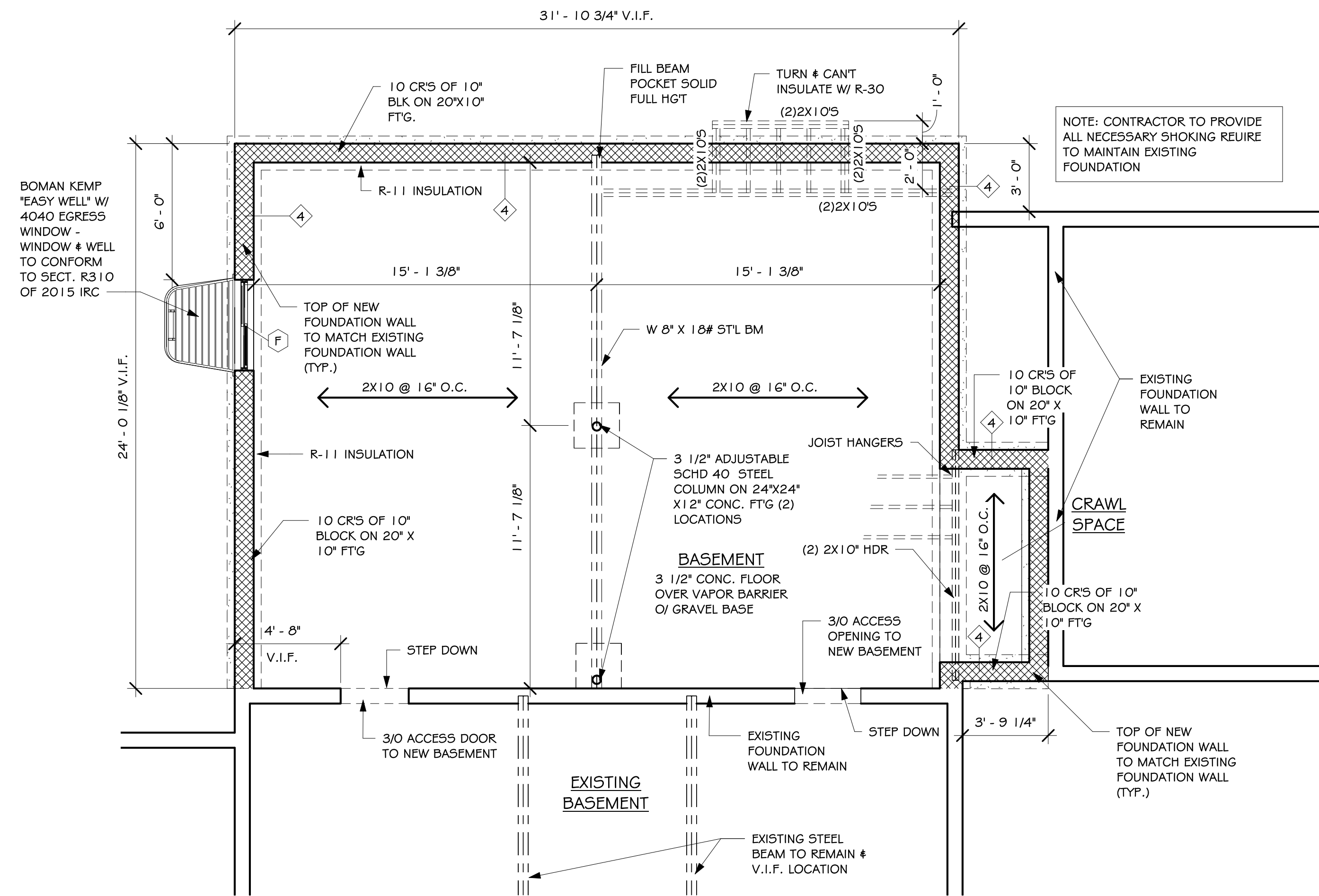
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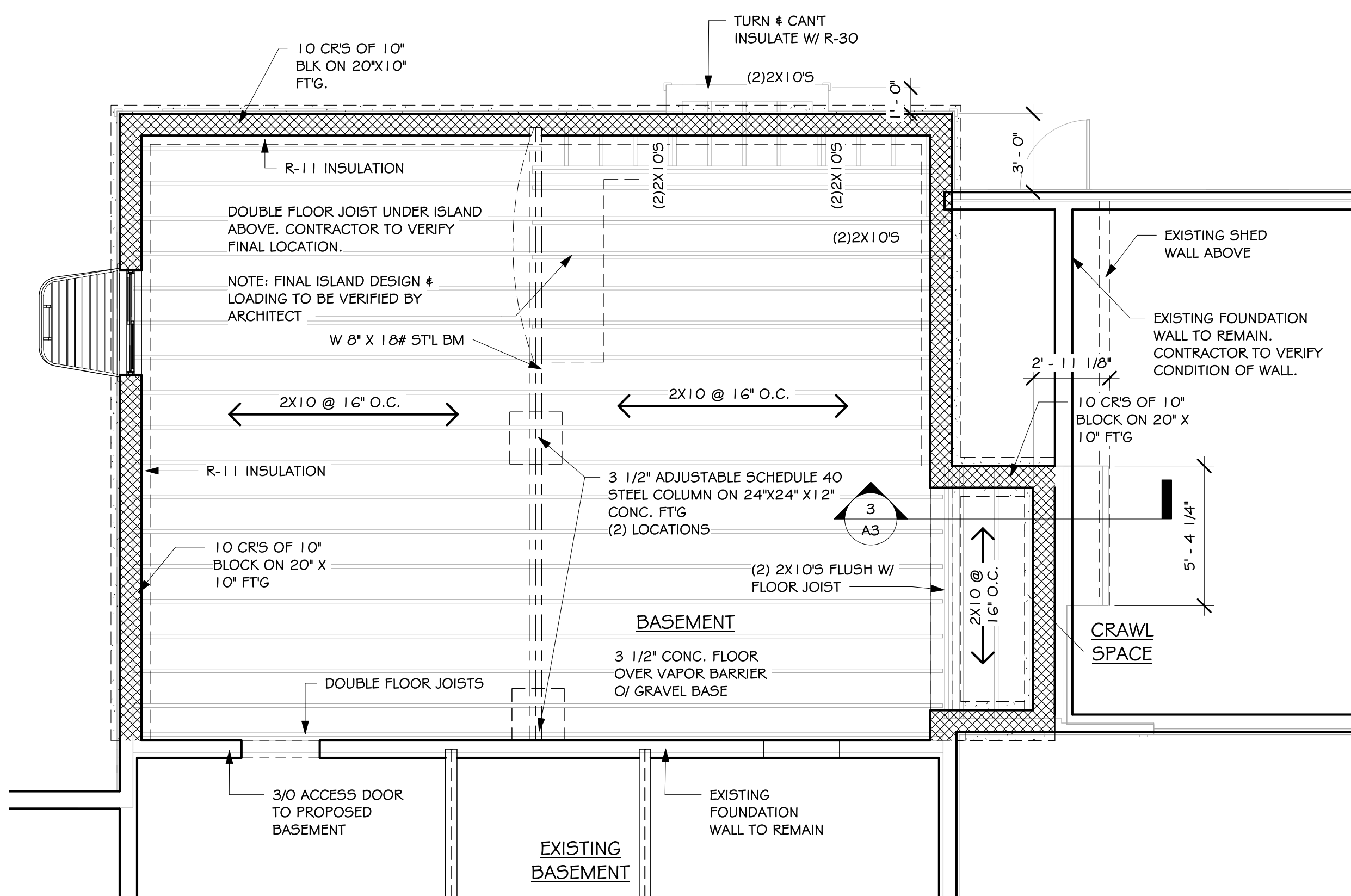
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FIRST, SECOND & FOUNDATION FLOOR DEMOLITION PLAN

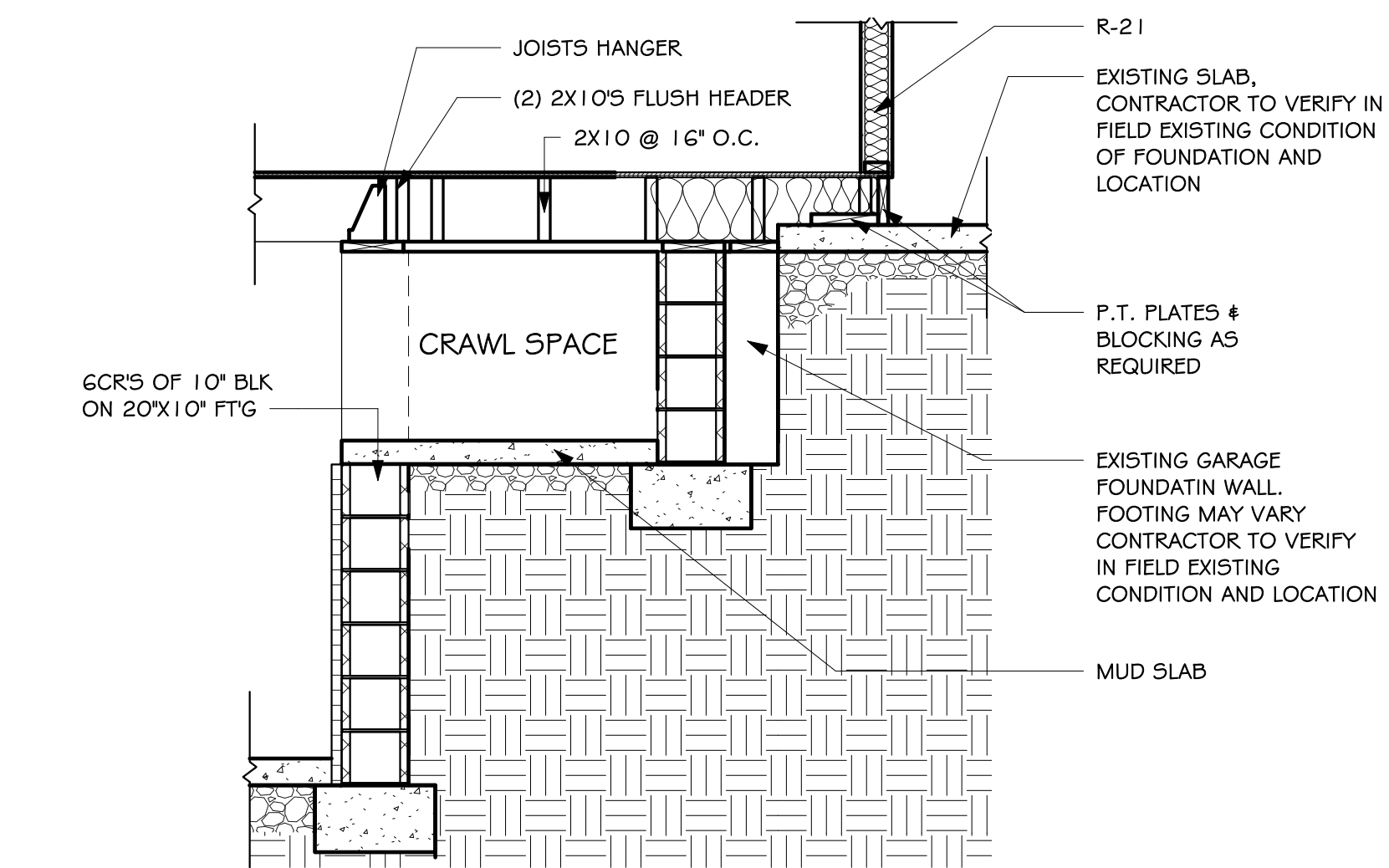
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| DOR | 04/08/20 |
| PROJECT: | SHEET: |
| 19247 | A2 |



1 BASEMENT
1/4" = 1'-0"

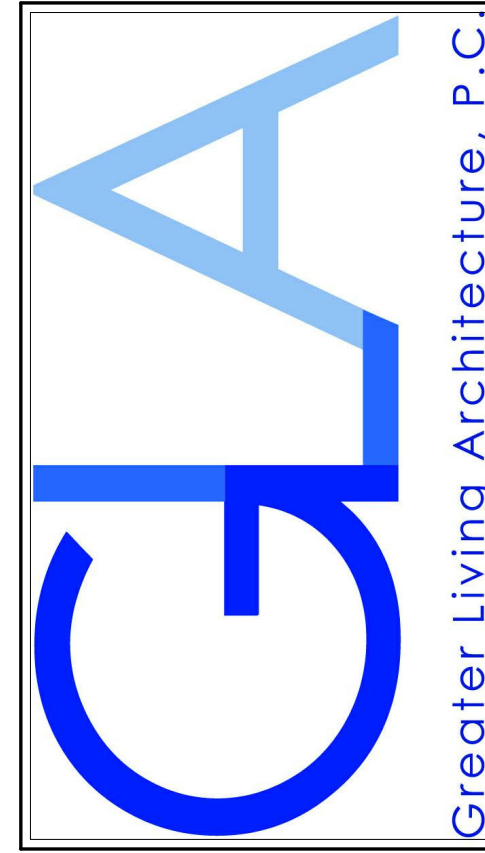


2 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



3 CRAWL SPACE DETAIL
1/2" = 1'-0"

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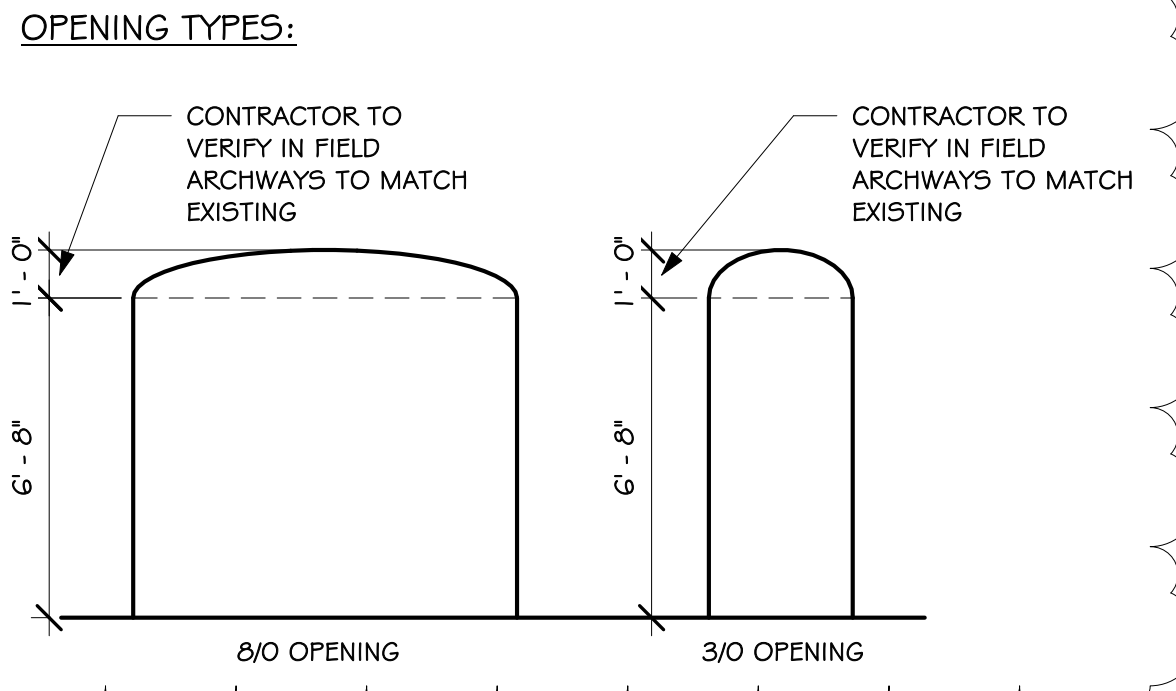
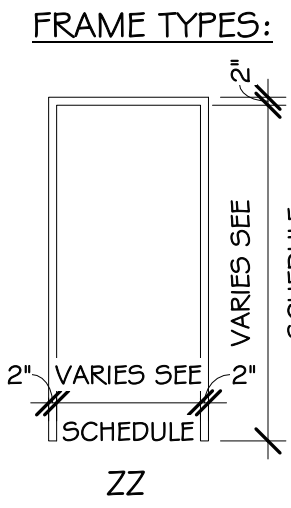
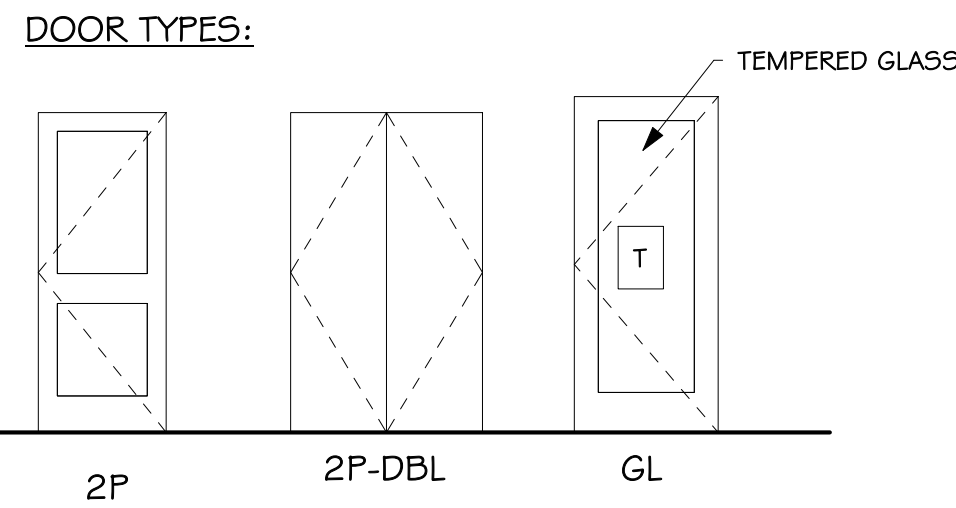
FOUNDATION PLAN & FRAMING PLAN

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| PROJECT: 19247 | SHEET: A3 |

DOOR SCHEDULE

| # | TYPE | MATERIAL | THICKNESS | WIDTH | HEIGHT | FRAME TYPE | HARDWARE | # | COMMENTS |
|----|------|----------|-----------|-----------|--------|------------|----------|----|----------|
| 1 | | | 1 3/8" | 2'-8" | 6'-8" | | | 1 | |
| 2 | | | 1 3/8" | 2'-8" | 6'-8" | | | 2 | |
| 5 | | | 1 3/8" | 2'-6" | 6'-8" | | | 5 | |
| 6 | | | 1 3/8" | 2'-8" | 6'-8" | | | 6 | |
| 7 | | | 1 3/8" | 2'-0" | 6'-8" | | | 7 | |
| 9 | | | 1 3/8" | 2'-0" | 6'-8" | | | 9 | |
| 10 | | | 1 3/8" | 2'-8" | 6'-8" | | | 10 | |
| 11 | | | 1 3/8" | 6'-0 1/8" | 6'-8" | | | 11 | |
| 12 | | | 1 3/8" | 2'-8" | 6'-8" | | | 12 | |

GENERAL NOTES:
 - FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING.
 - DOOR STOPS TO BE WALL MOUNTED UNLESS IMPRACTICAL OR LOCATION DOES NOT SERVE INTENDED FUNCTION.
 - CONTRACTOR IS RESPONSIBLE FOR TOTAL QUANTITIES.
 - ALL DEADBOLTS TO BE THUMB TURN RELEASE.
 - ALL EXTERIOR DOORS TO HAVE RUBBER SWEEPS.
 - HARDWARE FINISH & KEYING DETERMINED BY OWNER.
 - ALL PRIVACY SETS TO HAVE SLOTTED RELEASE.



WINDOW SCHEDULE

| SYMBOL | MODEL NUMBER | ROUGH HEIGHT | ROUGH WIDTH | QUAN. | COMMENTS |
|--------|----------------------|--------------|-------------|-------|----------|
| A | 310X410 | 4'-0" | 3'-0" | 4 | |
| B | 214X210 | 2'-0" | 2'-4" | 2 | |
| C | 210X410 | 4'-0" | 2'-0" | 2 | |
| D | 410 X 316 CSMT-DBL | 3'-6" | 4'-0" | 1 | |
| F | WINDOW & WINDOW WELL | 4'-0" | 4'-0" | 1 | |

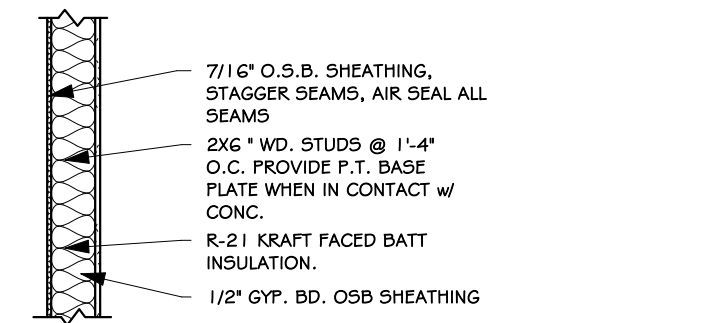
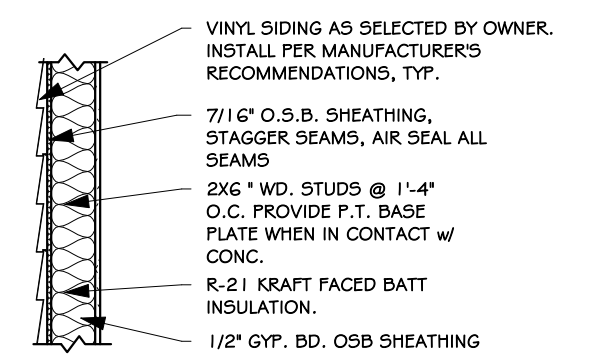
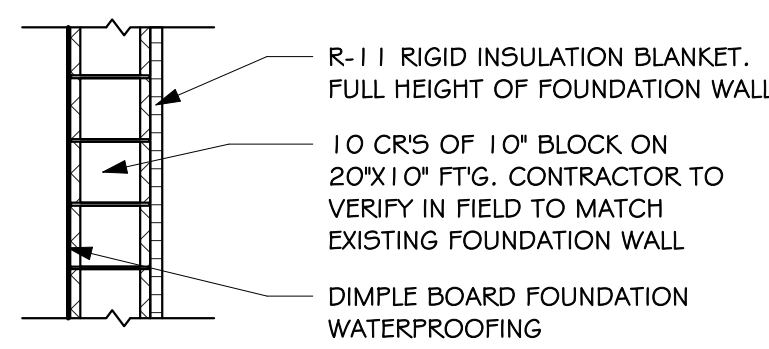
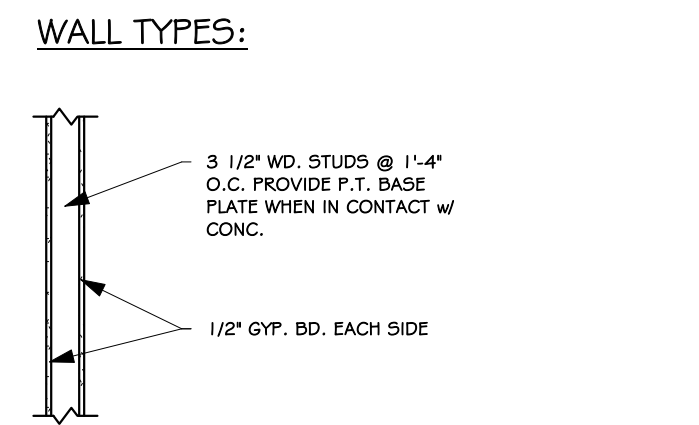
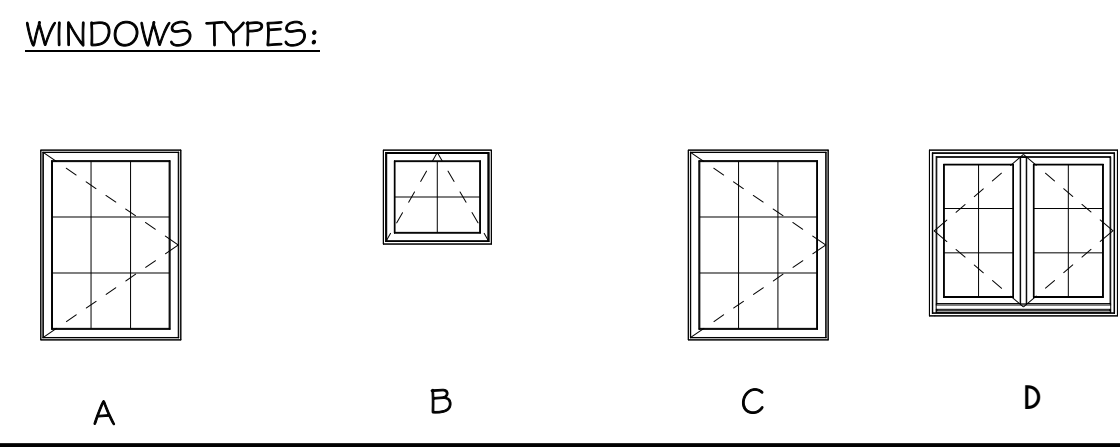
GENERAL NOTES:
 1) CONTRACTOR IS RESPONSIBLE FOR COORDINATING DIMENSIONS IF DIFFERENT WINDOW TYPES FROM THOSE SPECIFIED ARE APPROVED.
 2) MEASURE WINDOW OPENINGS BEFORE ORDERING, FIELD VERIFY WINDOW SIZES & QUANTITIES.
 3) PROVIDE MESH, HALF SCREENS FOR ALL SINGLE HUNG WINDOW UNITS.

WINDOWS LEGEND

E MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.1 OF 2015 IRC

T SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2015 IRC

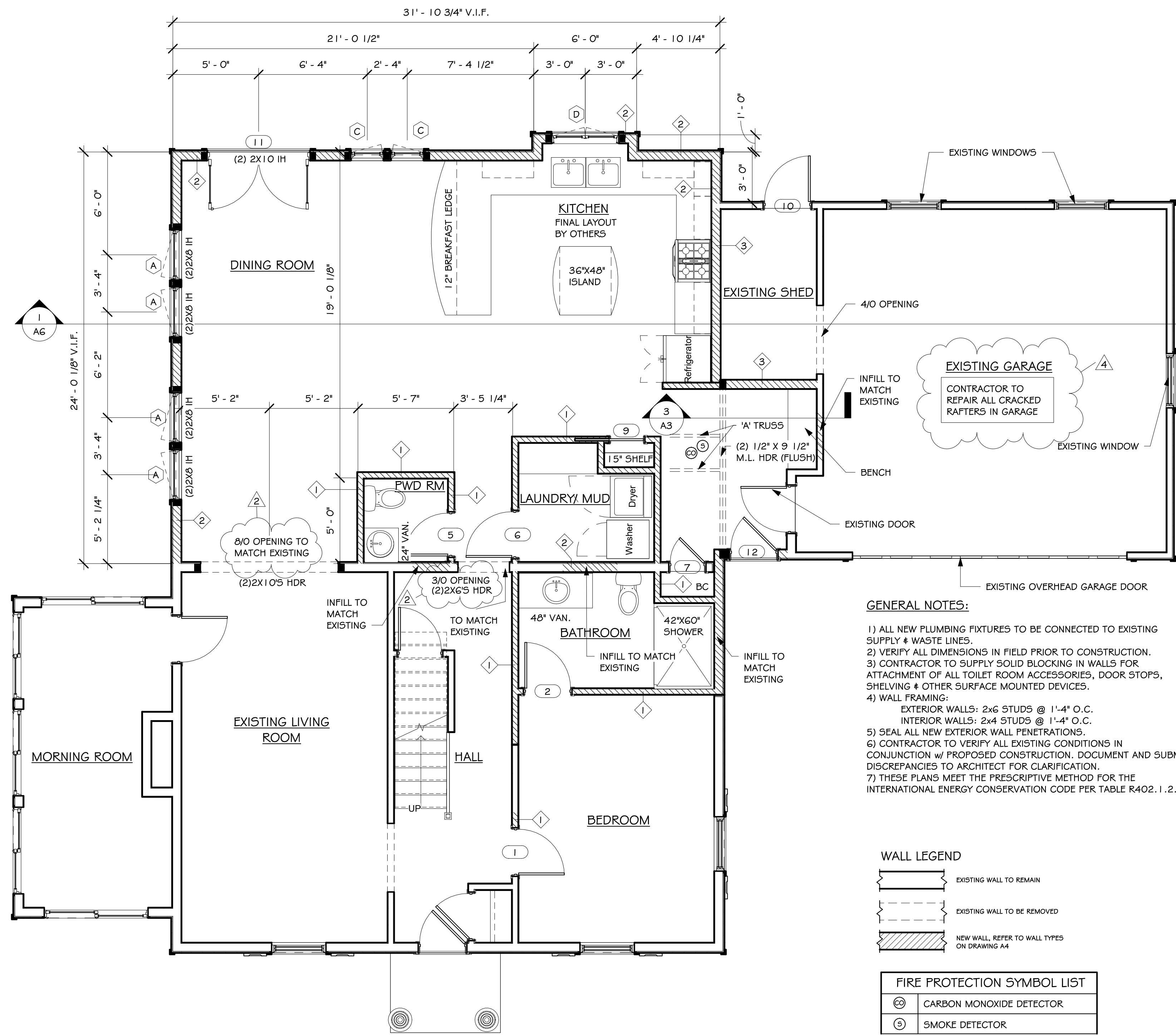
FP SPECIFIES THAT THIS UNIT OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2015 IRC



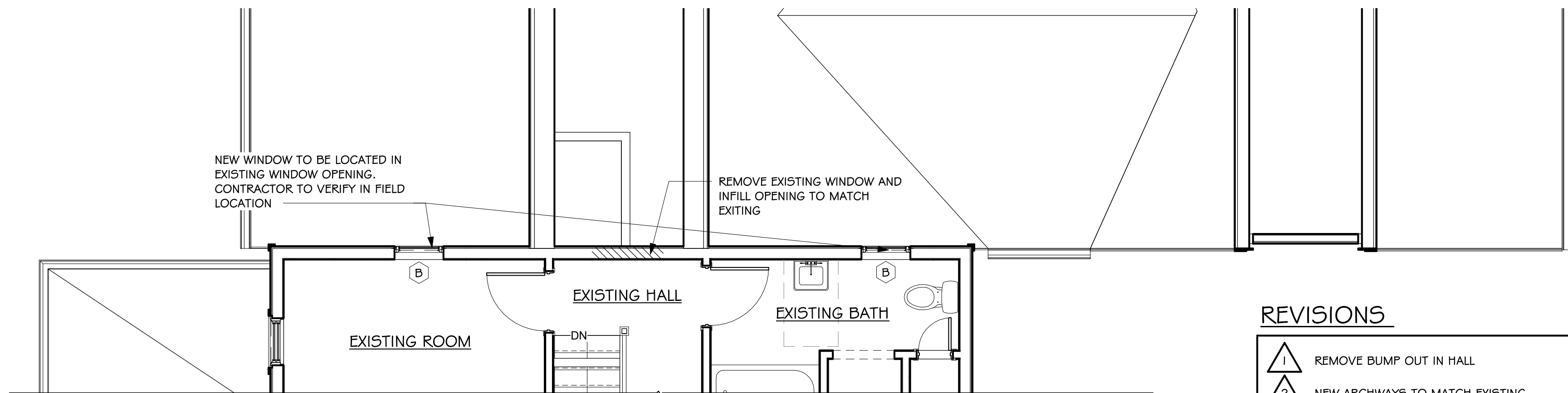
HEADER SCHEDULE

| EXTERIOR WALLS - FIRST FLOOR | | |
|-------------------------------|--------------------------|-----------------------|
| < 4'-0" | (2) 2x6's | G4N w/ (2) JACK STUDS |
| < 5'-0" | (2) 2x8's | G4N w/ (2) JACK STUDS |
| < 6'-2" | (2) 2x10's | G4N w/ (2) JACK STUDS |
| < 7'-1" | (2) 2x12's OR (3) 2x10's | G4N w/ (2) JACK STUDS |
| EXTERIOR WALLS - SECOND FLOOR | | |
| < 3'-2" | (2) 2x4's | G4N w/ (2) JACK STUDS |
| < 4'-8" | (2) 2x6's | G4N w/ (2) JACK STUDS |
| < 5'-11" | (2) 2x8's | G4N w/ (2) JACK STUDS |
| < 7'-3" | (2) 2x10's OR (3) 2x8's | G4N w/ (2) JACK STUDS |

NOTE: ALL HEADERS TO BE GLUED & NAILED, TYP.

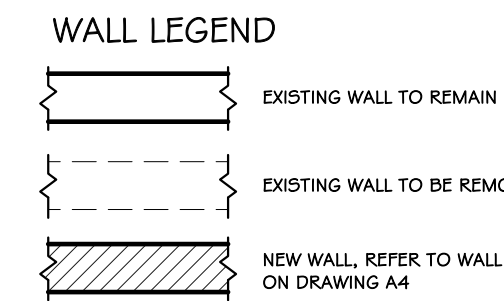


1 FIRST FLOOR PLAN
 1/4" = 1'-0"



2 SECOND FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES:
 1) ALL NEW PLUMBING FIXTURES TO BE CONNECTED TO EXISTING SUPPLY & WASTE LINES.
 2) VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
 3) CONTRACTOR TO SUPPLY SOLID BLOCKING IN WALLS FOR ATTACHMENT OF ALL TOILET ROOM ACCESSORIES, DOOR STOPS, SHELVING & OTHER SURFACE MOUNTED DEVICES.
 4) WALL FRAMING:
 EXTERIOR WALLS: 2x6 STUDS @ 1'-4" O.C.
 INTERIOR WALLS: 2x4 STUDS @ 1'-4" O.C.
 5) SEAL ALL NEW EXTERIOR WALL PENETRATIONS.
 6) CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN CONJUNCTION W/ PROPOSED CONSTRUCTION. DOCUMENT AND SUBMIT DISCREPANCIES TO ARCHITECT FOR CLARIFICATION.
 7) THESE PLANS MEET THE PRESCRIPTIVE METHOD FOR THE INTERNATIONAL ENERGY CONSERVATION CODE PER TABLE R402.1.2.



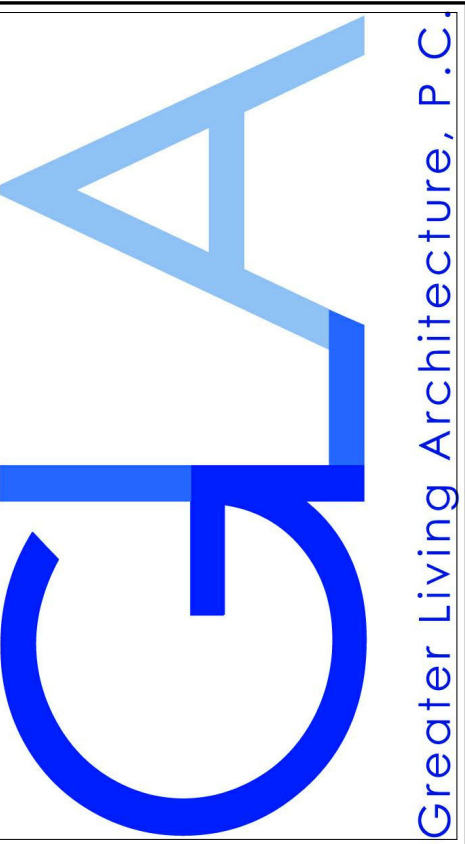
FIRE PROTECTION SYMBOL LIST

| | |
|---|--------------------------|
| ⊕ | CARBON MONOXIDE DETECTOR |
| ⊙ | SMOKE DETECTOR |

REVISIONS

| | |
|---|--|
| 1 | REMOVE BUMP OUT IN HALL |
| 2 | NEW ARCHWAYS TO MATCH EXISTING |
| 3 | ADD NOTE: "5/8\"/> |
| 4 | ADD NOTE: "REPAIR ALL CRACKED RAFTERS IN GARAGE" |

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CLIENT/LOCATION:
 TONY GRINGER
 107 BROOK ROAD PITTSFORD, NY 14534

REVISIONS:

| DATE | BY | DESCRIPTION |
|----------|----|-----------------------------|
| 04/08/20 | | SEE NOTE AT REVISION LEGEND |

FIRST & SECOND FLOOR PLAN

| | |
|----------------|------------------|
| DRAWN: DOR | DATE: 04/08/2020 |
| PROJECT: 19247 | SHEET: A4 |

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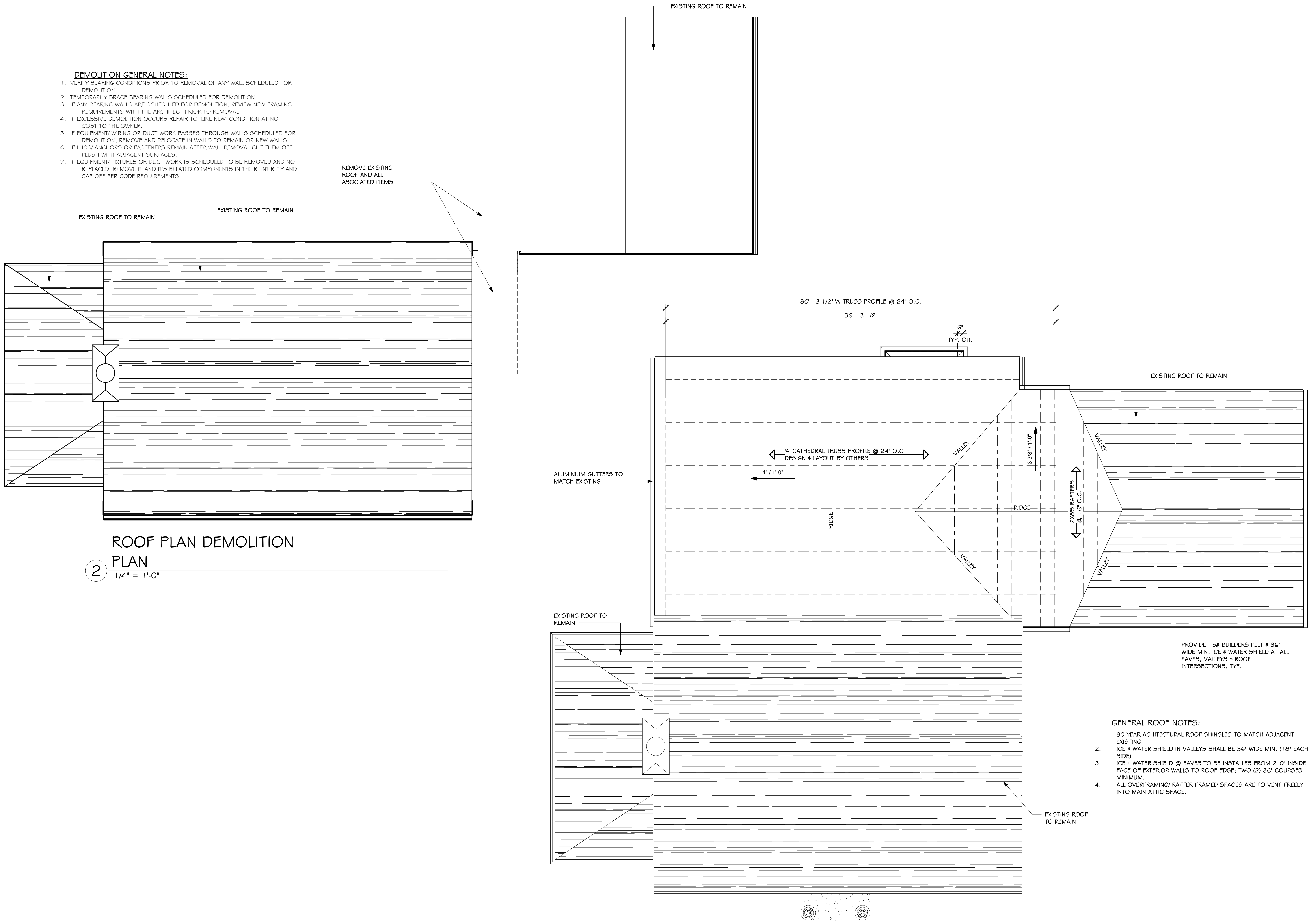
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ROOF PLAN DEMOLITION # ROOF PLAN

| | |
|-------------------|---------------------|
| DRAWN: DOR | DATE: 04/08/2020 |
| PROJECT: 19247 | SHEET: A5 |

- DEMOLITION GENERAL NOTES:**
1. VERIFY BEARING CONDITIONS PRIOR TO REMOVAL OF ANY WALL SCHEDULED FOR DEMOLITION.
 2. TEMPORARILY BRACE BEARING WALLS SCHEDULED FOR DEMOLITION.
 3. IF ANY BEARING WALLS ARE SCHEDULED FOR DEMOLITION, REVIEW NEW FRAMING REQUIREMENTS WITH THE ARCHITECT PRIOR TO REMOVAL.
 4. IF EXCESSIVE DEMOLITION OCCURS REPAIR TO "LIKE NEW" CONDITION AT NO COST TO THE OWNER.
 5. IF EQUIPMENT/ WIRING OR DUCT WORK PASSES THROUGH WALLS SCHEDULED FOR DEMOLITION, REMOVE AND RELOCATE IN WALLS TO REMAIN OR NEW WALLS.
 6. IF LUGS/ ANCHORS OR FASTENERS REMAIN AFTER WALL REMOVAL CUT THEM OFF FLUSH WITH ADJACENT SURFACES.
 7. IF EQUIPMENT/ FIXTURES OR DUCT WORK IS SCHEDULED TO BE REMOVED AND NOT REPLACED, REMOVE IT AND ITS RELATED COMPONENTS IN THEIR ENTIRETY AND CAP OFF PER CODE REQUIREMENTS.

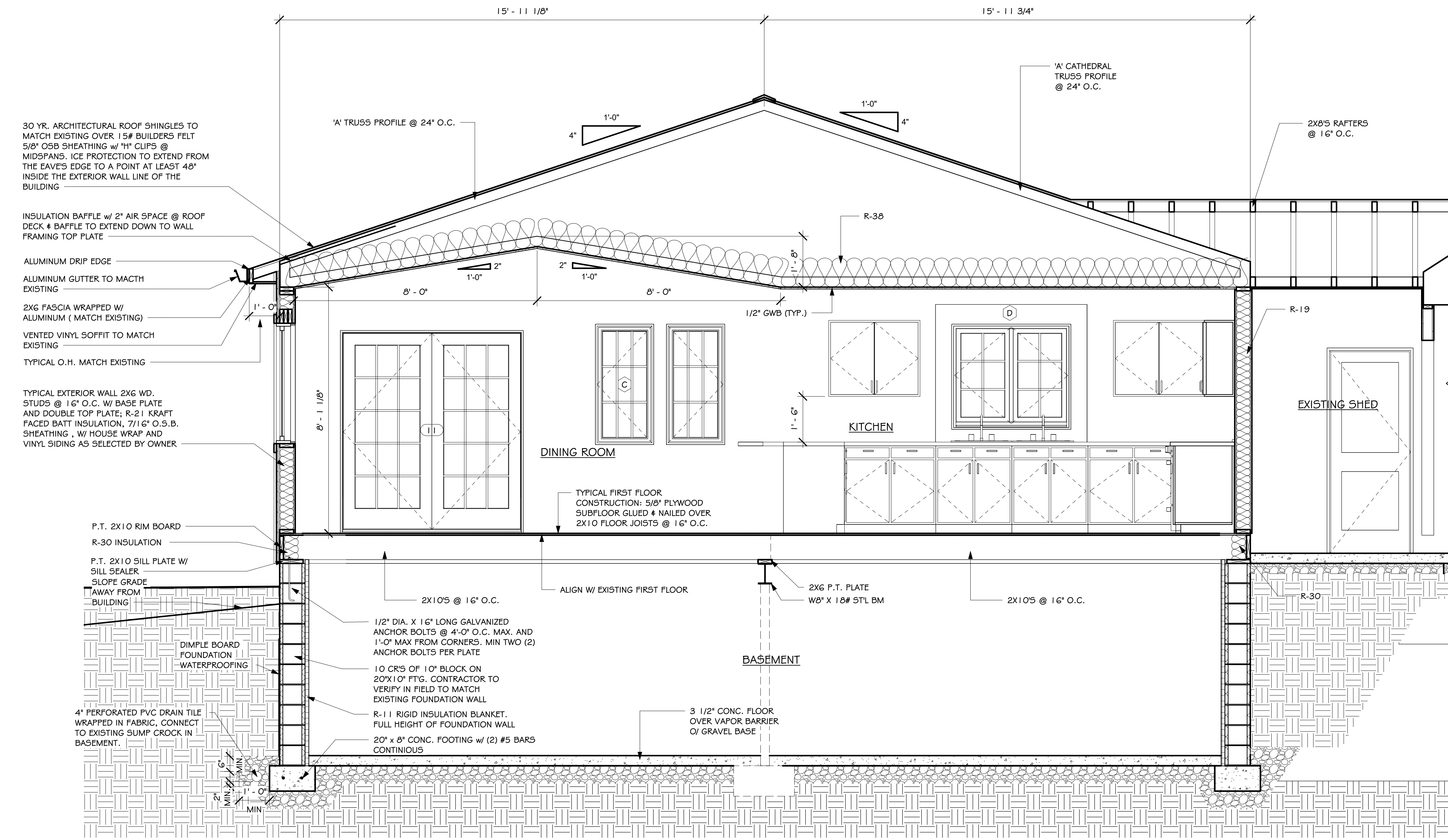


2 ROOF PLAN DEMOLITION PLAN
 1/4" = 1'-0"

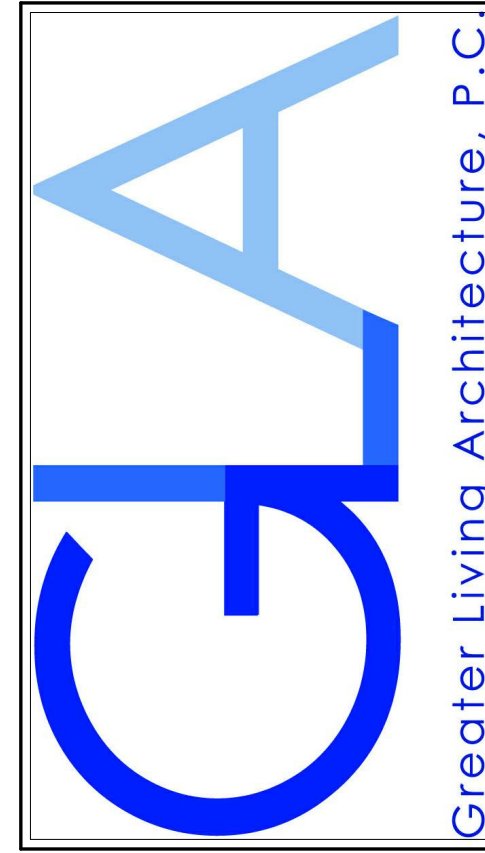
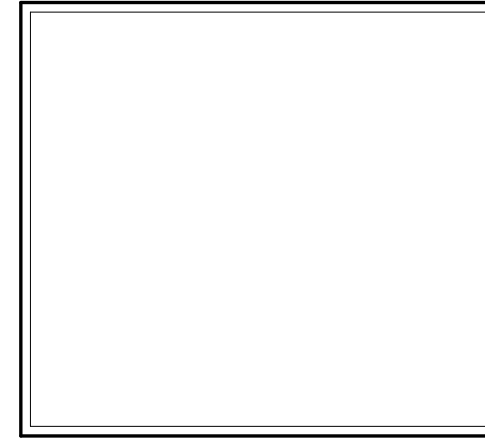
1 ROOF PLAN
 1/4" = 1'-0"

- GENERAL ROOF NOTES:**
1. 30 YEAR ARCHITECTURAL ROOF SHINGLES TO MATCH ADJACENT EXISTING
 2. ICE & WATER SHIELD IN VALLEYS SHALL BE 36" WIDE MIN. (18" EACH SIDE)
 3. ICE & WATER SHIELD @ EAVES TO BE INSTALLED FROM 2'-0" INSIDE FACE OF EXTERIOR WALLS TO ROOF EDGE; TWO (2) 36" COURSES MINIMUM.
 4. ALL OVERFRAMING/ RAFTER FRAMED SPACES ARE TO VENT FREELY INTO MAIN ATTIC SPACE.

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BUILDING SECTION - A
 1/2" = 1'-0"



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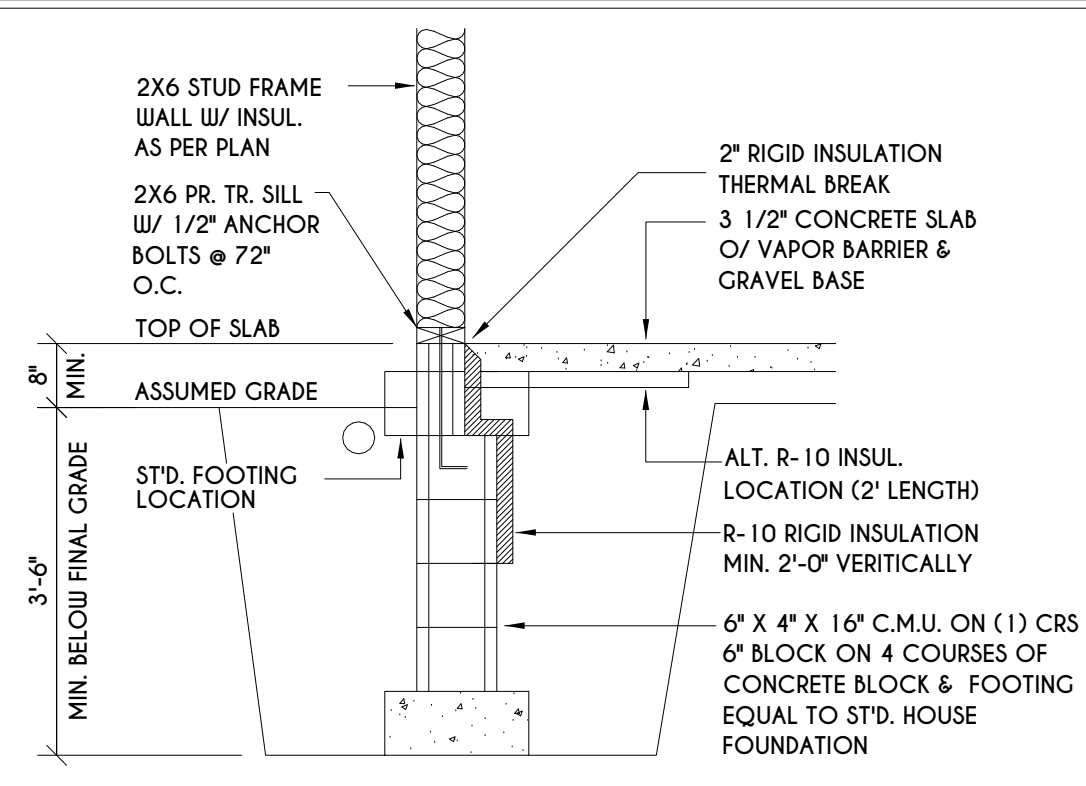
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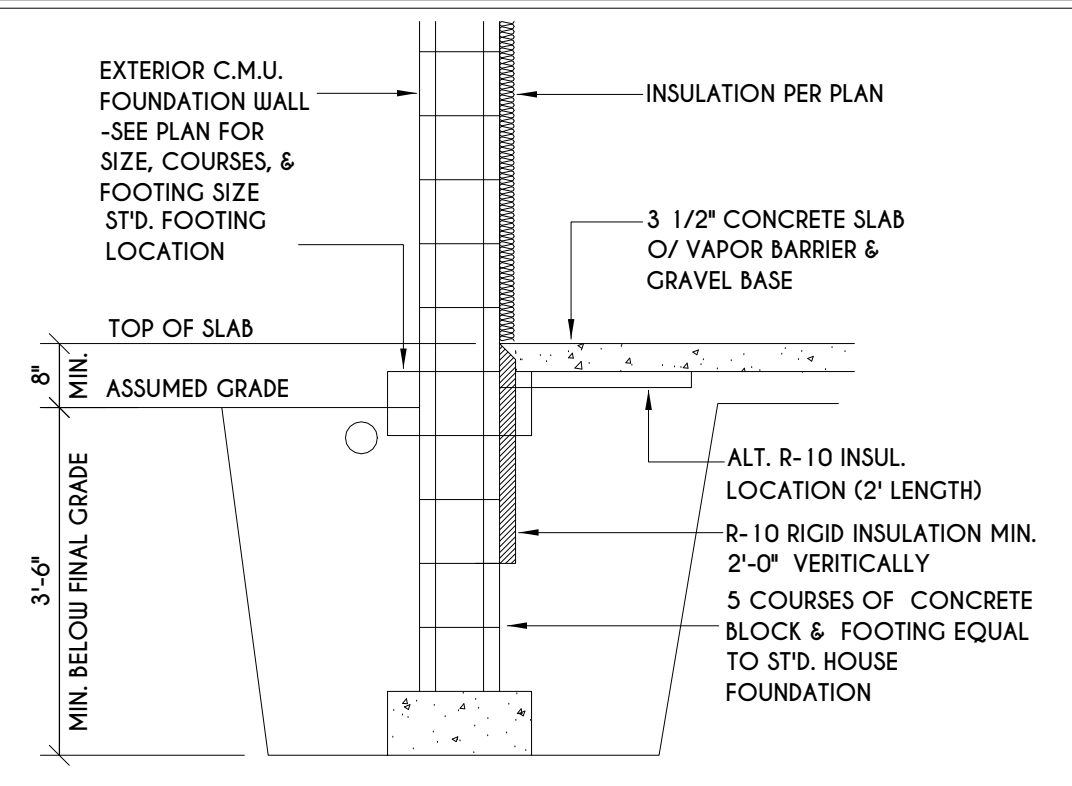
| DATE | BY | DESCRIPTION |
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SECTIONS

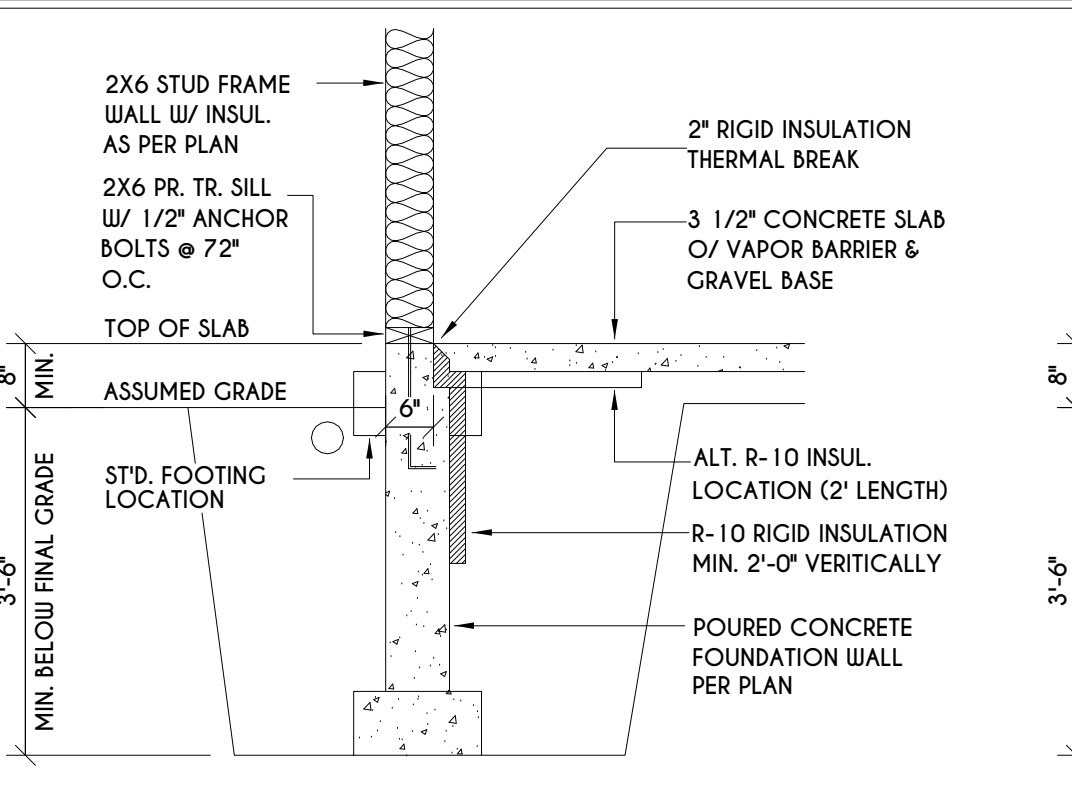
DRAWN: DOR **DATE:** 04/08/20
PROJECT: 19247 **SHEET:** A6



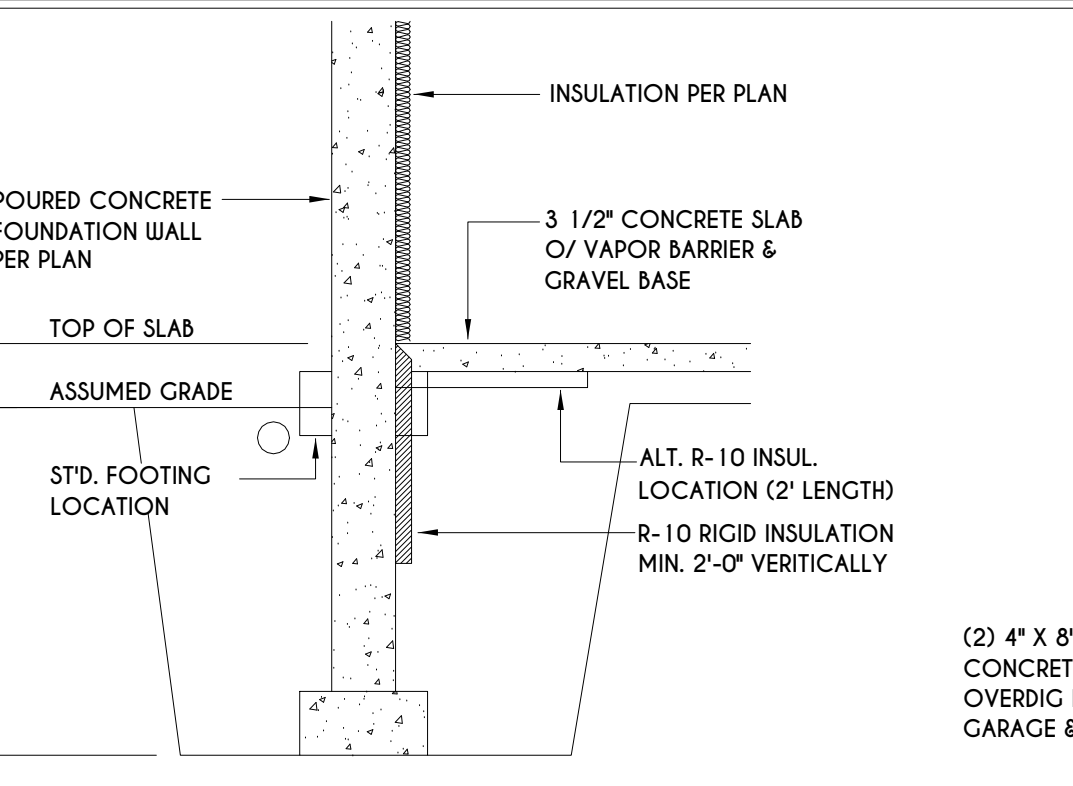
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



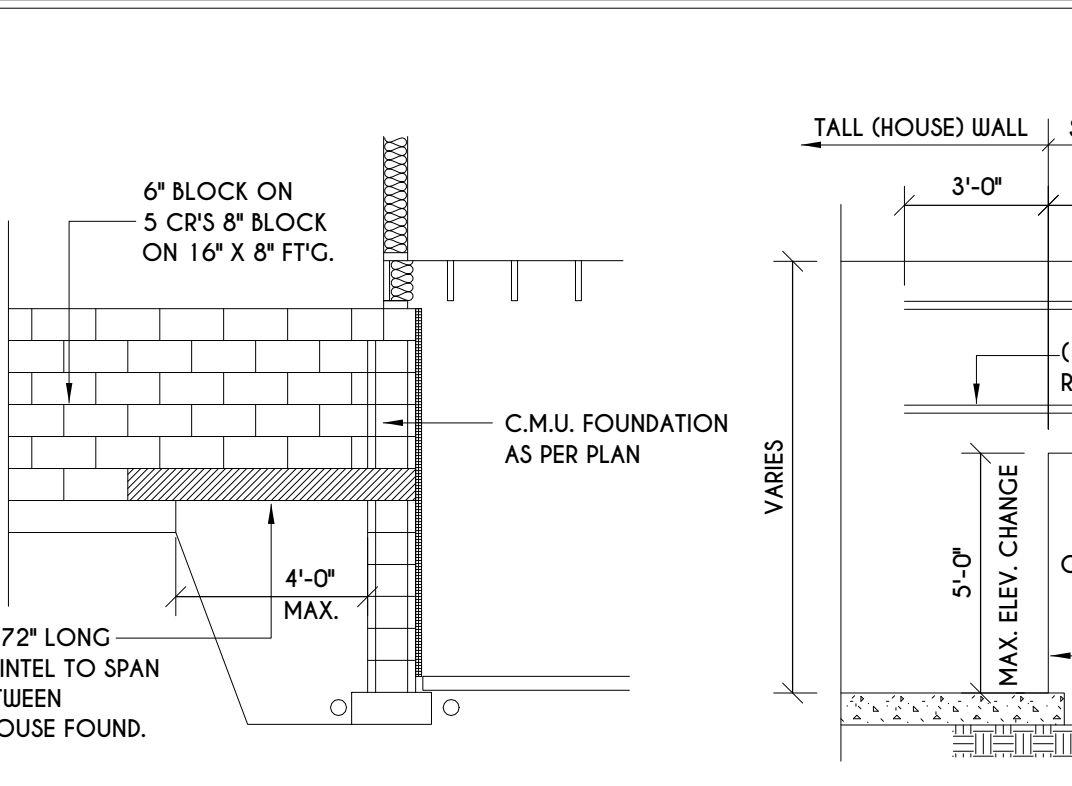
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



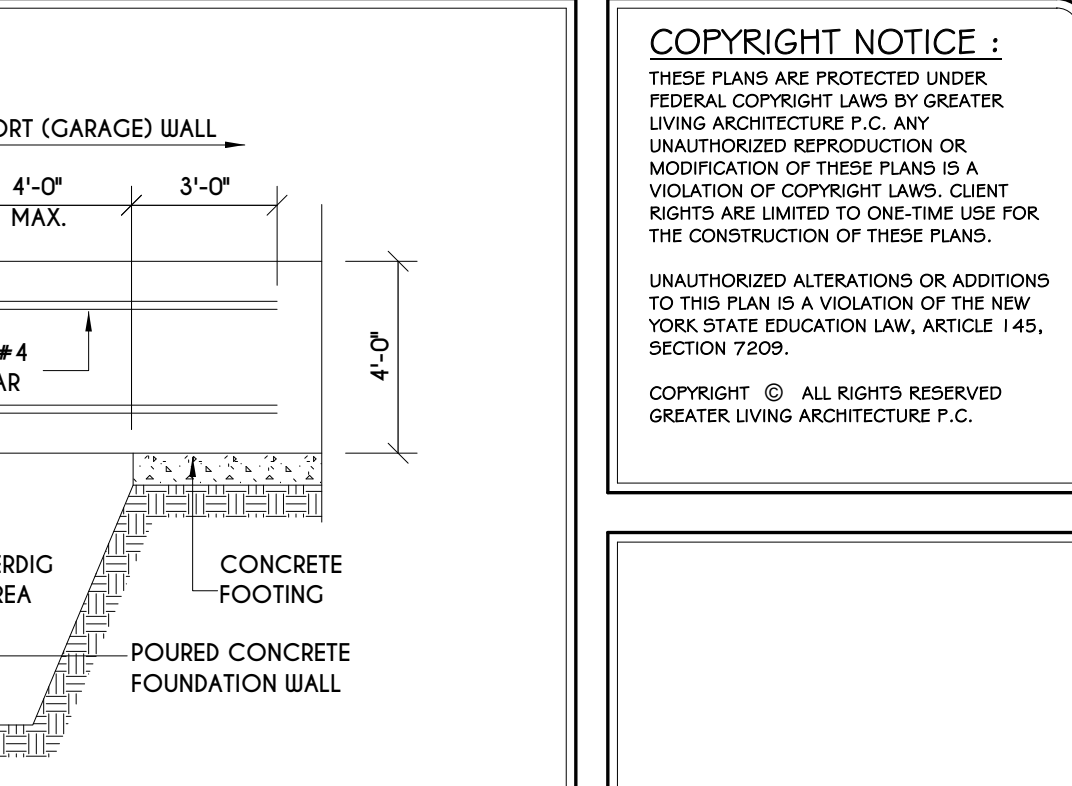
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



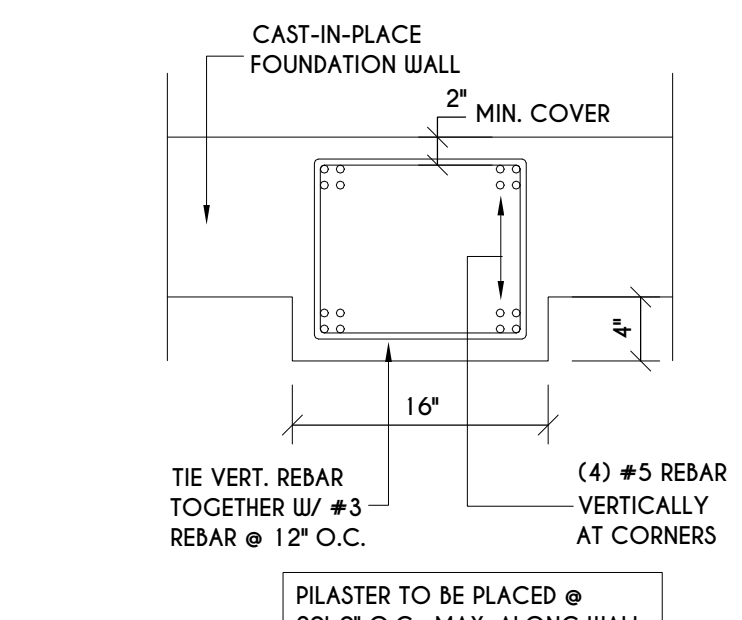
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



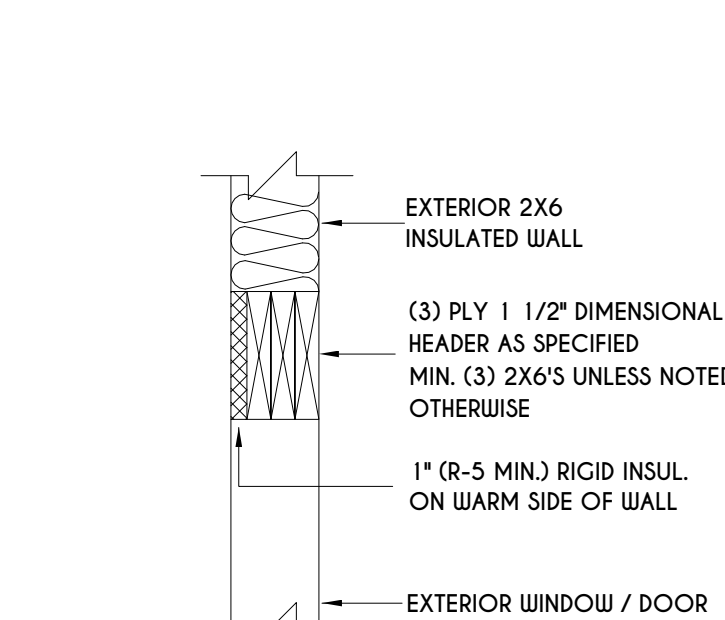
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



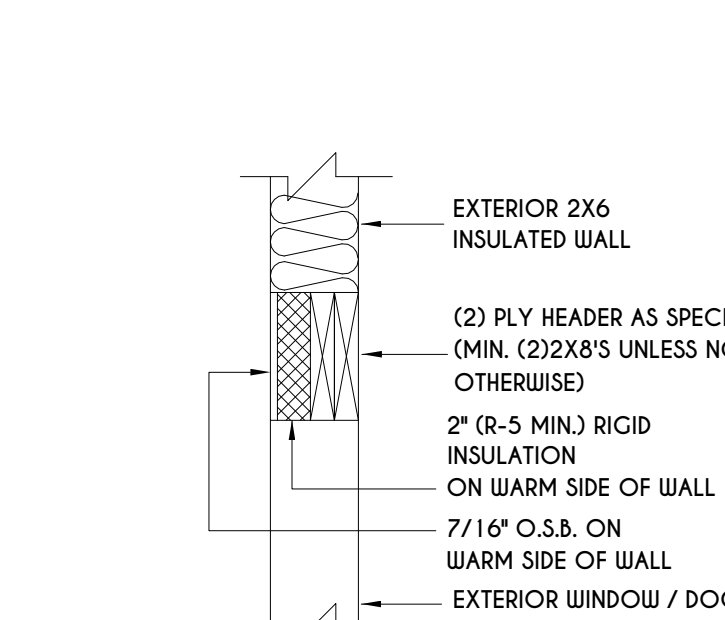
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



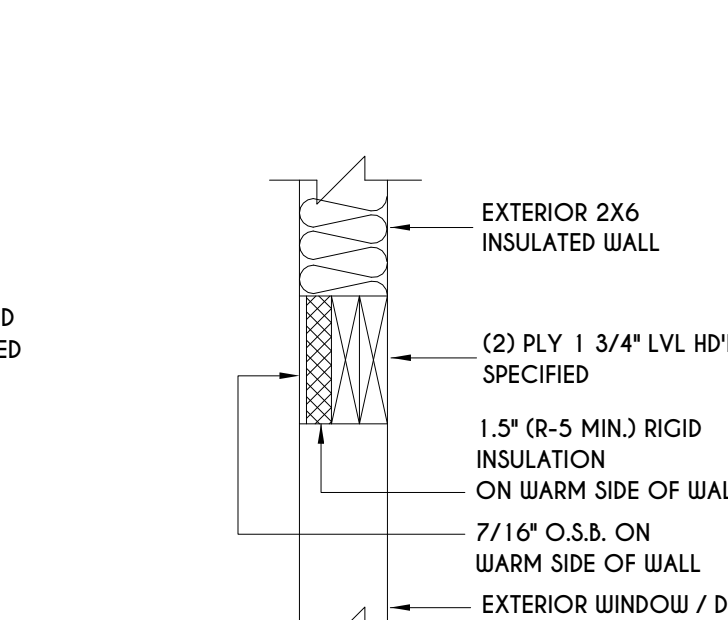
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



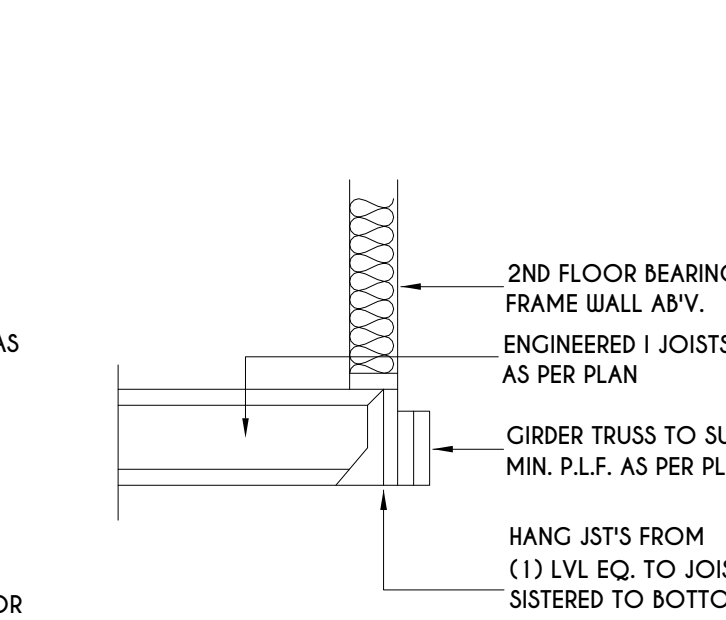
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



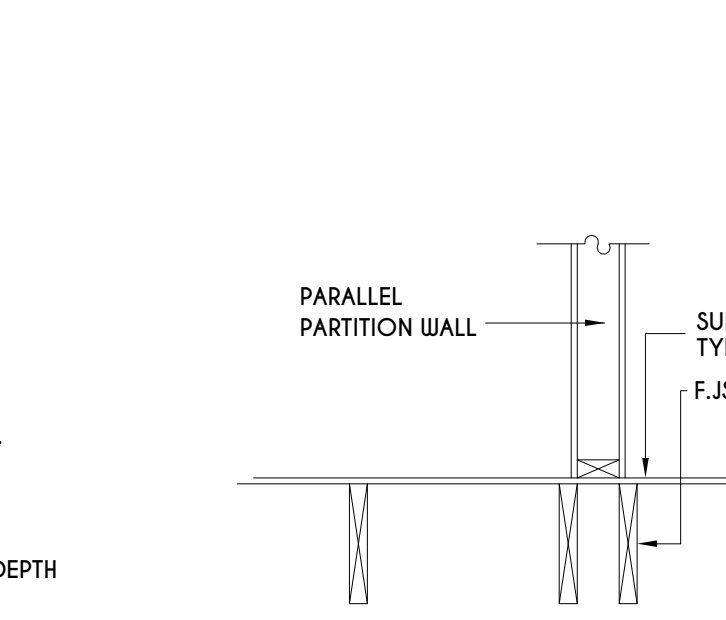
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



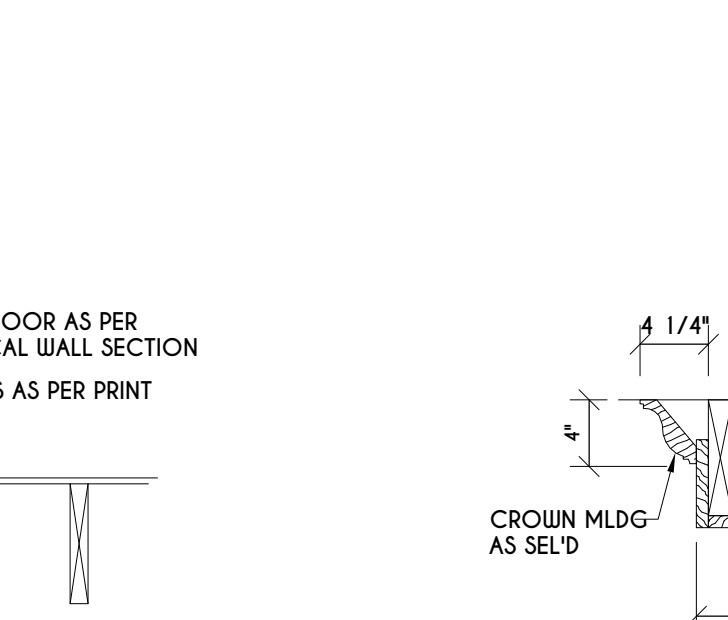
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



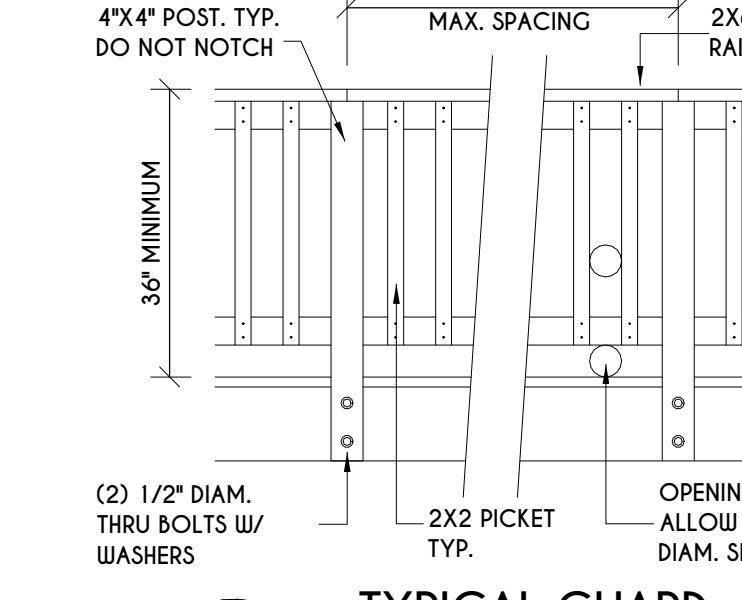
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



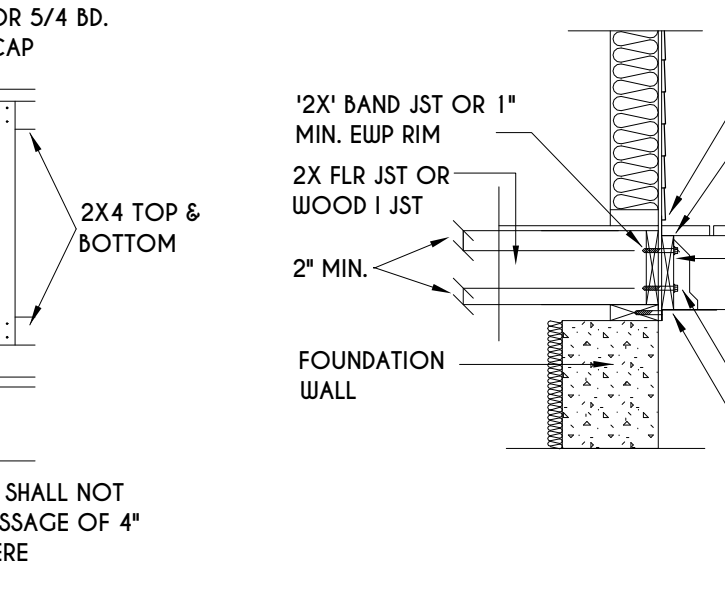
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



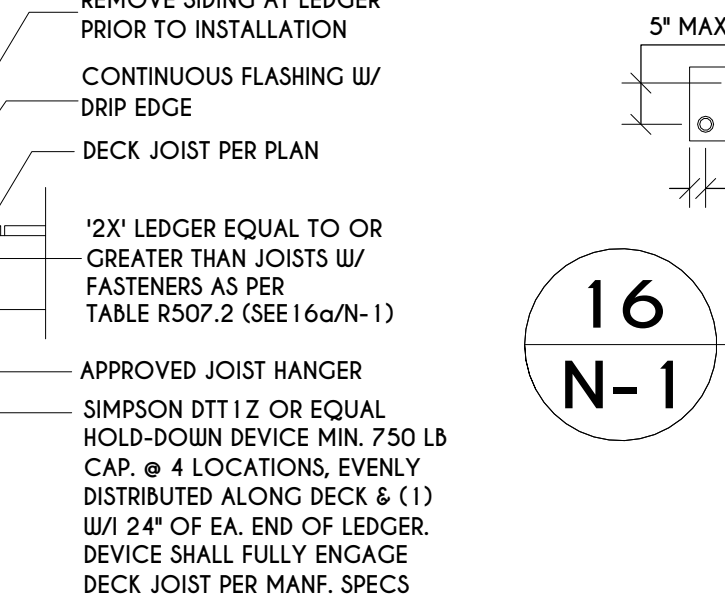
13
N-1
COFFERED BEAM DETAIL
N.T.S.



14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R312 OF 2015 IRC



15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

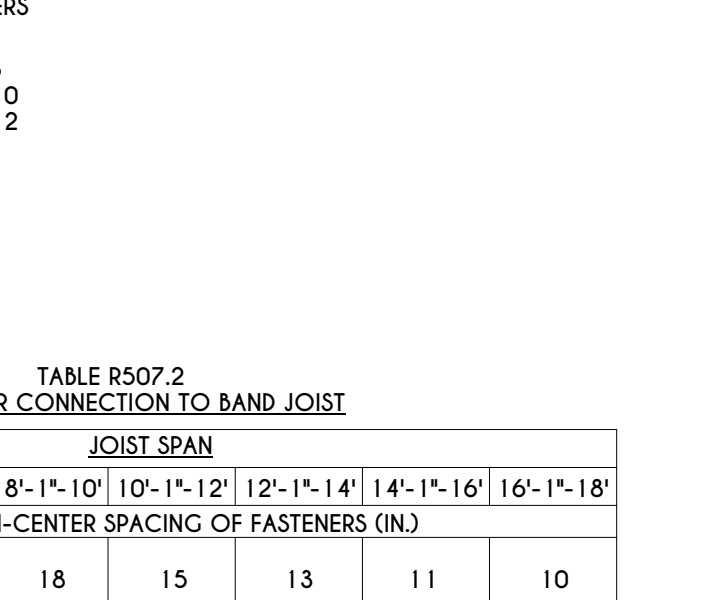


16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.2.1(1) IRC
N.T.S.

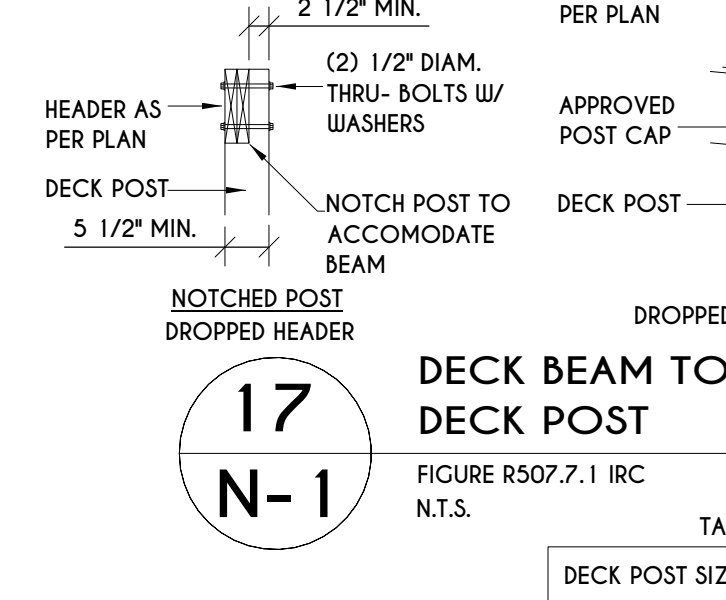
TABLE R507.2 DECK LEDGER CONNECTION TO BAND JOIST

| CONNECTION DETAILS | JOIST SPAN | | | | | | |
|---|------------|------------|-------------|--------------|--------------|--------------|--------------|
| | 6' & LESS | 6'-1" - 8' | 8'-1" - 10' | 10'-1" - 12' | 12'-1" - 14' | 14'-1" - 16' | 16'-1" - 18' |
| 1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING | 30 | 23 | 18 | 15 | 13 | 11 | 10 |
| 1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING | 36 | 36 | 34 | 29 | 24 | 21 | 19 |
| 1/2" DIAM. BOLT W/ 1" MAX. SHEATHING | 36 | 36 | 29 | 24 | 21 | 18 | 16 |

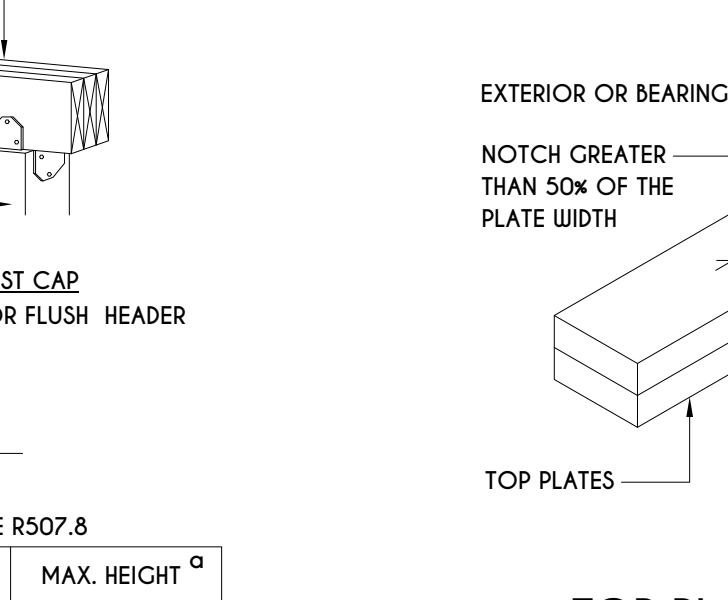
16a
N-1
TABLE R507.8
DECK BEAM TO DECK POST
FIGURE R507.7.1 IRC
N.T.S.



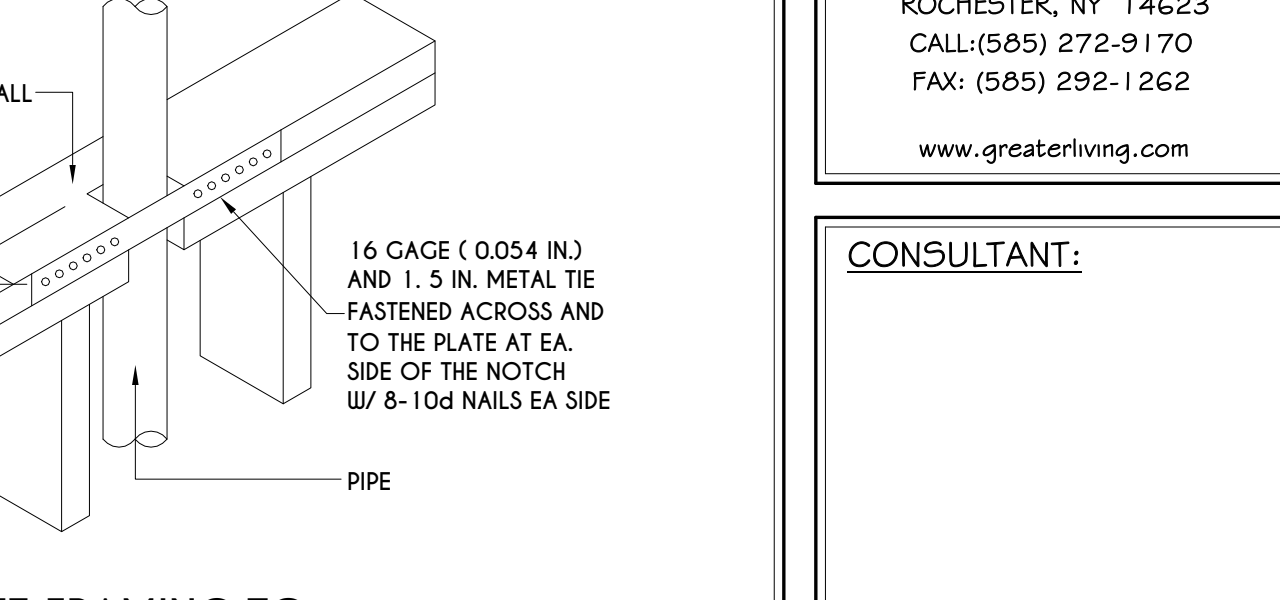
17
N-1
DECK BEAM TO DECK POST
FIGURE R507.7.1 IRC
N.T.S.



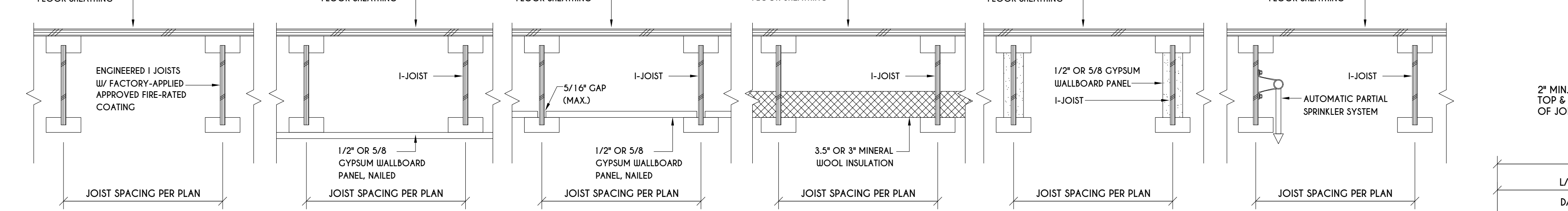
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH 2015 IRC SECTION R302.13



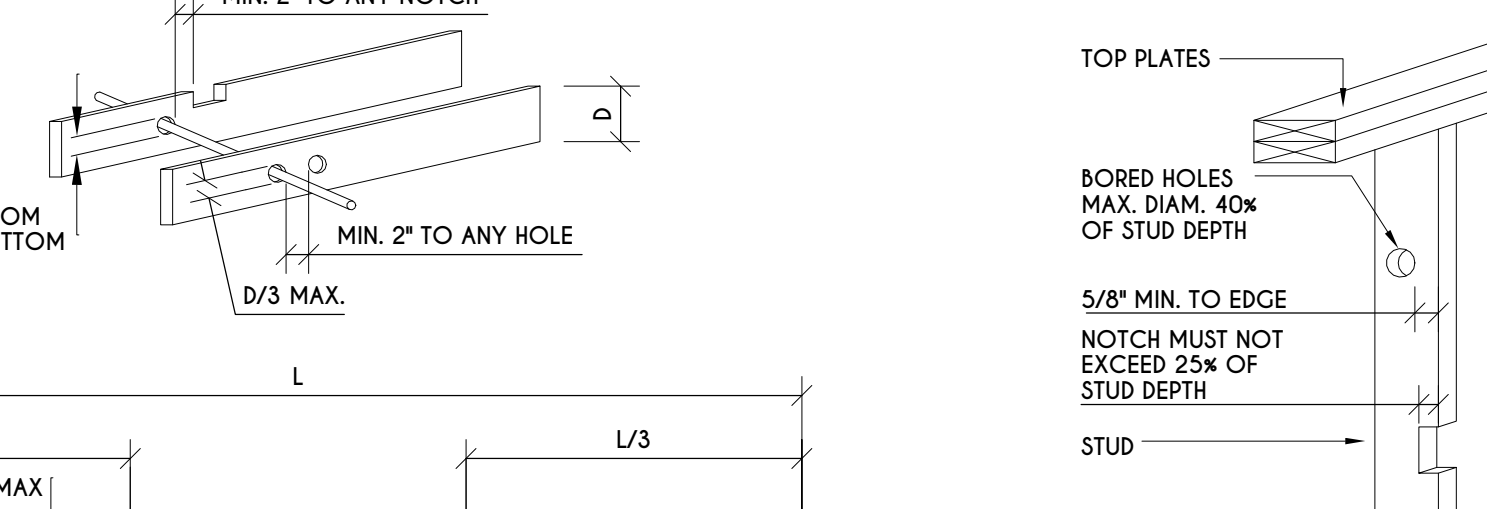
19
N-1
STEPPED FOOTING DETAIL
N.T.S.
NOTES: T = FOOTING THICKNESS
- THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.
- THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.
- A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.



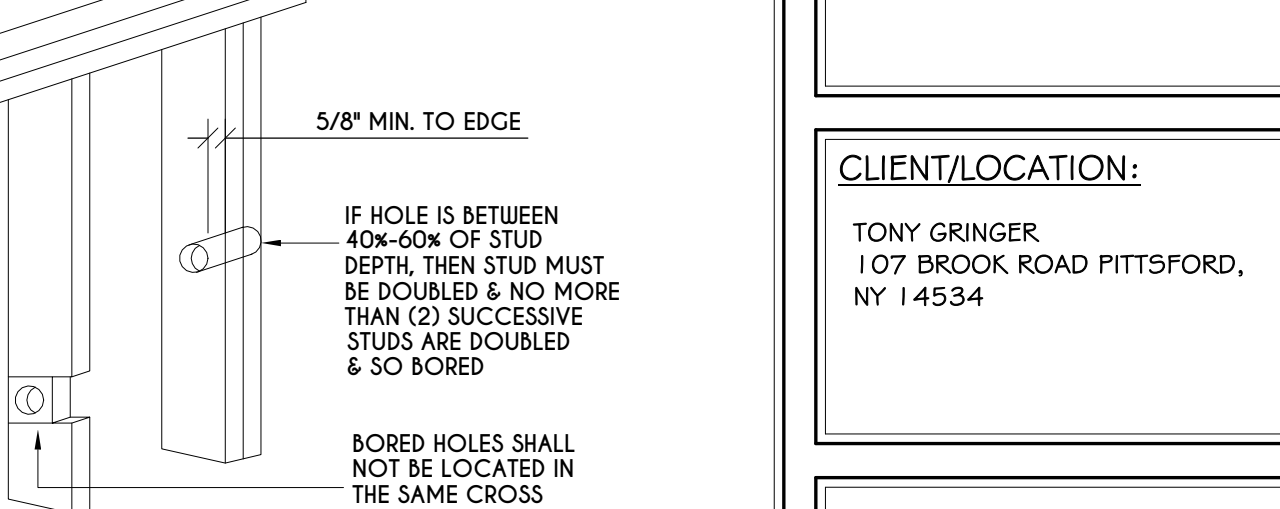
20
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASUREMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR
MINIMUM 20'-0"



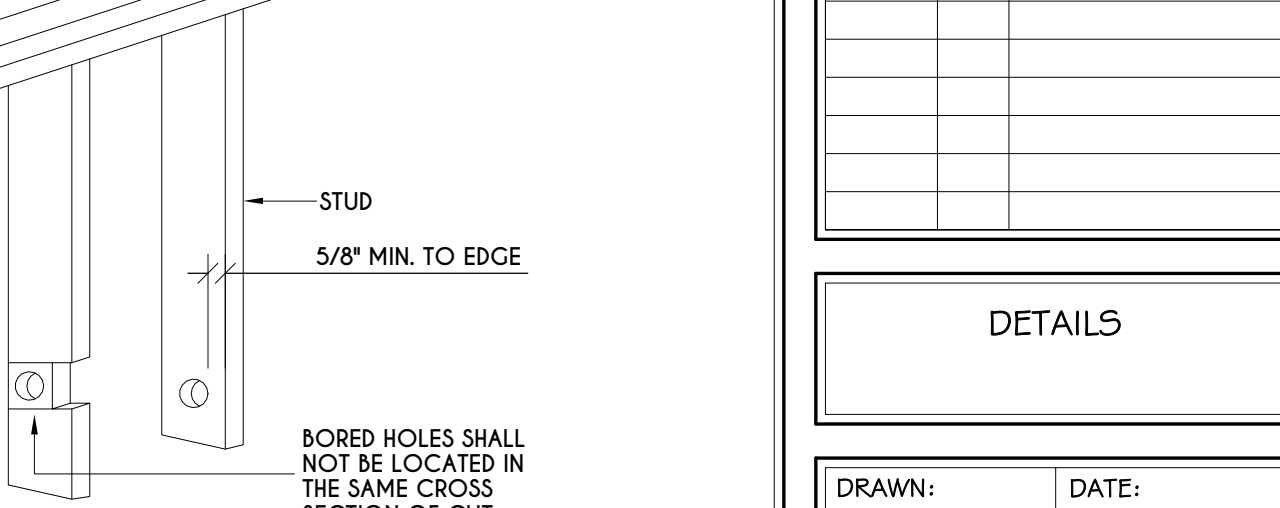
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH 2015 IRC SECTION R302.13



17
N-1
CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

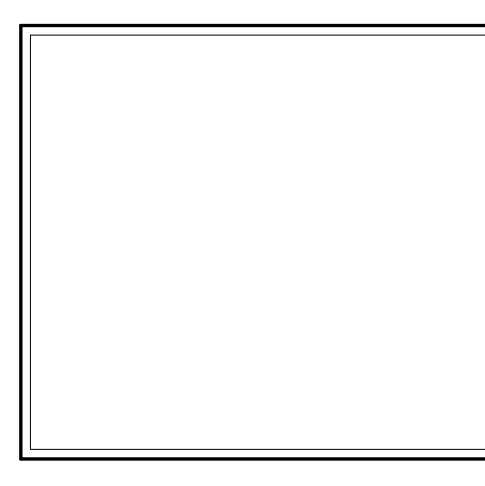


13
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



13
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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| DATE | BY | DESCRIPTION |
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DETAILS

DRAWN: DOR
DATE: 04/08/2020
PROJECT: 19247
SHEET: N-1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 3$ INCHES ^{a, c, f}

| WALL HEIGHT | HEIGHT OF UNBALANCED BACKFILL ^e | MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c} | | | |
|-------------|--|--|----------------------------------|--|--|
| | | SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE) | | | |
| | | GM, GP, SU, AND SP SOILS 30 | GM, GS, SM-SC AND ML SOILS 45 | SC, MH, ML-CL AND INORGANIC CL SOILS 60 | |
| 6'-8" | 4' (OR LESS) | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 5' | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 6'-8" | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| 7'-4" | 4' (OR LESS) | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 5' | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 7'-4" | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| 8'-0" | 4' (OR LESS) | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 5' | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 8'-0" | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| 8'-8" | 4' (OR LESS) | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 5' | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 8'-8" | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| 9'-4" | 4' (OR LESS) | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 5' | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 9'-4" | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| 10'-0" | 4' (OR LESS) | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 5' | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |
| | 10'-0" | #4 @ 48" O.C. | #4 @ 48" O.C. | #4 @ 48" O.C. | |

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

| WALL HEIGHT | HEIGHT OF UNBALANCED BACKFILL ^e | MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c} | | | |
|-------------|--|--|----------------------------------|--|--|
| | | SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE) | | | |
| | | GM, GP, SU, AND SP SOILS 30 | GM, GS, SM-SC AND ML SOILS 45 | SC, MH, ML-CL AND INORGANIC CL SOILS 60 | |
| 6'-8" | 4' (OR LESS) | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 5' | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 6'-8" | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| 7'-4" | 4' (OR LESS) | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 5' | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 7'-4" | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| 8'-0" | 4' (OR LESS) | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 5' | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 8'-0" | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| 8'-8" | 4' (OR LESS) | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 5' | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 8'-8" | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| 9'-4" | 4' (OR LESS) | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 5' | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 9'-4" | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| 10'-0" | 4' (OR LESS) | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 5' | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |
| | 10'-0" | #4 @ 56" O.C. | #4 @ 56" O.C. | #4 @ 56" O.C. | |

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 8.75$ INCHES ^{a, c, f}

| WALL HEIGHT | HEIGHT OF UNBALANCED BACKFILL ^e | MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c} | | | |
|-------------|--|--|----------------------------------|--|--|
| | | SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE) | | | |
| | | GM, GP, SU, AND SP SOILS 30 | GM, GS, SM-SC AND ML SOILS 45 | SC, MH, ML-CL AND INORGANIC CL SOILS 60 | |
| 6'-8" | 4' (OR LESS) | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 5' | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 6'-8" | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| 7'-4" | 4' (OR LESS) | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 5' | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 7'-4" | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| 8'-0" | 4' (OR LESS) | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 5' | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 8'-0" | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| 8'-8" | 4' (OR LESS) | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 5' | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 8'-8" | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| 9'-4" | 4' (OR LESS) | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 5' | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 9'-4" | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| 10'-0" | 4' (OR LESS) | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 5' | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |
| | 10'-0" | #4 @ 72" O.C. | #4 @ 72" O.C. | #4 @ 72" O.C. | |

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

| MAXIMUM WALL HEIGHT (FEET) | MINIMUM UNBALANCED BACKFILL HEIGHT (FEET) | MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES) | | | | | | | | | | | |
|----------------------------|---|--|----|----|----|----------------------------------|----|----|----|--|----|----|----|
| | | SOIL CLASSES AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH) | | | | | | | | | | | |
| | | GM, GP, SU, AND SP SOILS 30 | | | | GM, GS, SM-SC AND ML SOILS 45 | | | | SC, MH, ML-CL AND INORGANIC CL SOILS 60 | | | |
| 4 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| 5 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| 6 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| 7 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| 8 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| 9 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| 10 | 4 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 5 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |
| | 6 | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR | NR |

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B, AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E, AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B, AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E, AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B, AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E, AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM REFER TO TABLE R404.1.
- b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND/OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2(9).
- d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
- e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
- f. INTERPOLATION IS NOT PERMITTED.
- g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
- h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL, THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
- i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR NO. 6 BARS.
- j. FOR MEMBER DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
- k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c , OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 2.
- l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c , IS 4,000 PSI.
- m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c , IS 3,500 PSI.
- n. SEE TABLE R603.8 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
- o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1

AIR BARRIER AND INSULATION INSTALLATION

| COMPONENT | AIR BARRIER CRITERIA | INSULATION INSTALLATION CRITERIA |
|---|--|---|
| GENERAL REQUIREMENTS | A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. | AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER. |
| CEILING / ATTIC | ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. | THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER. |
| WALLS | THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED. | CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. |
| WINDOWS, SKYLIGHTS AND DOORS | THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED. | RIM JOISTS SHALL INCLUDE THE AIR BARRIER. |
| RIM JOISTS | RIM JOISTS SHALL INCLUDE THE AIR BARRIER. | RIM JOISTS SHALL BE SEALED. |
| FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS) | THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. | FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS. |
| CRAWL SPACE WALLS | EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED. | WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS. |
| SHAFTS, PENETRATIONS | DUCT SHAFTS, UTILITY PENETRATIONS, AND PIPES PENETRATING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED. | BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE. |
| NARROW CAVITIES | | BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING. |
| GARAGE SEPARATION | AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES. | |
| RECESSED LIGHTING | RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL. | RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED. |
| PLUMBING AND WIRING | | BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING. |
| SHOWER / TUB ON EXTERIOR WALL | THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS. | EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE SEALED. |
| ELECTRICAL / PHONE BOX ON EXTERIOR WALLS | THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED. | |
| HVAC REGISTER BOOTS | HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL. | |
| CONCEALED SPRINKLERS | WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING. | |

a. IN ADDITION, INSPECTION OF LOC WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

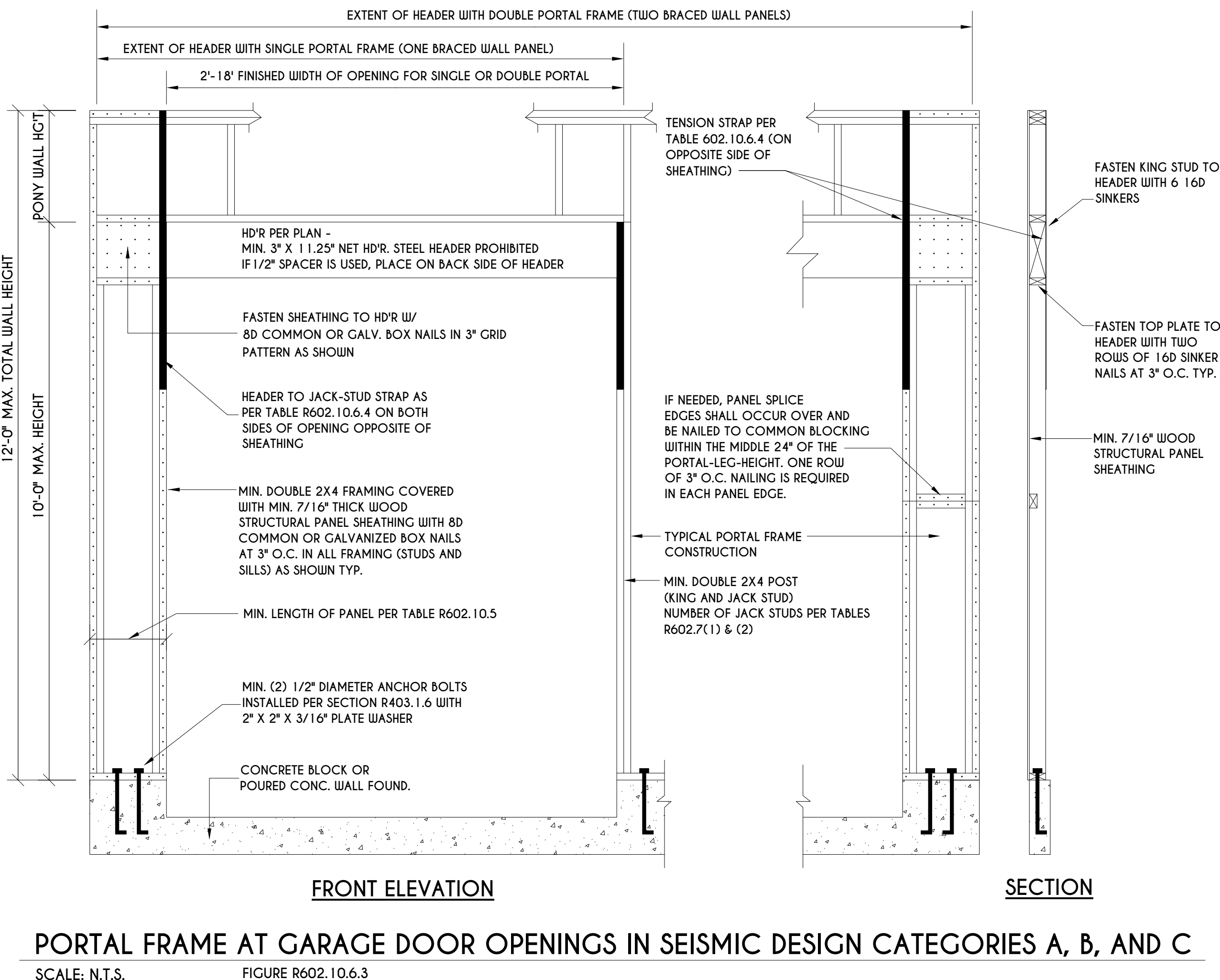
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

| CLASS OF MATERIALS | LOAD-BEARING PRESSURE (pounds per square foot) |
|---|--|
| CRYSTALLINE BEDROCK | 12,000 |
| SEDIMENTARY & FOLIATED ROCK | 4,000 |
| SANDY GRAVEL AND/OR GRAVEL (GM & GP) | 3,000 |
| SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (GM, GS, SM, SC, CM, & CO) | 2,000 |
| CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SANDY SILT (CL, ML, & CH) | 1,500 ^b |

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
- b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

| UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL | SOIL DESCRIPTION |
|---|--|
| GM | WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES |
| GP | POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES |
| SU | WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES |
| SP | POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES |
| GM | SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES |
| SM | SILTY SAND, SAND-SILT MIXTURES |
| GC | CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES |
| SC | CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES |
| ML | INORGANIC SILTS & VERY FINE SANDS, ROCK FLOES, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY |
| CL | INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS |
| CH | INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS |
| MH | INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS ELASTIC SILTS |
| OL | ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY |
| OH | ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS |
| PT | PEAT & OTHER HIGHLY ORGANIC SOILS |

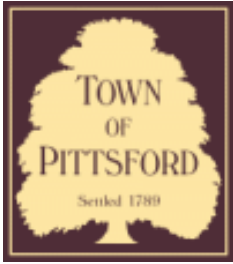








115



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000017

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 8 Lexton Way PITTSFORD, NY 14534

Tax ID Number: 178.03-4-43

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Wilshire Hill LLC

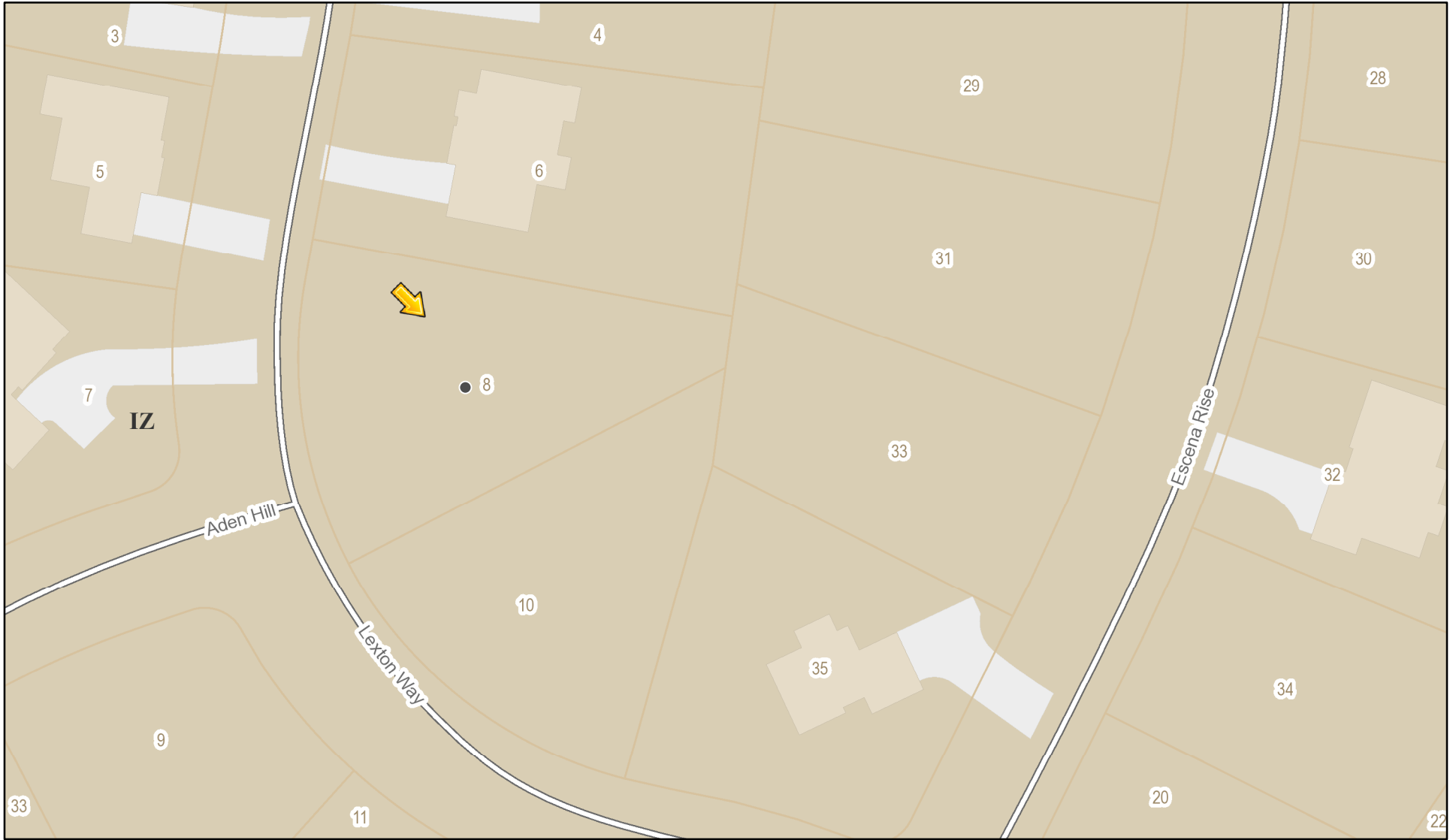
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review §185-205 (B) | <input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review §185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet §185-17 (M) |
| <input type="checkbox"/> Signage §185-205 (C) | <input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness §185-197 | <input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation §185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

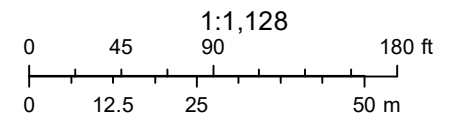
Project Description: Applicant is requesting design review for the construction of a single family two story home. The home will have approximately 3311 square feet of livable area and will be located in the Wilshire Hills Development.

Meeting Date: January 28, 2021

RN Residential Neighborhood Zoning



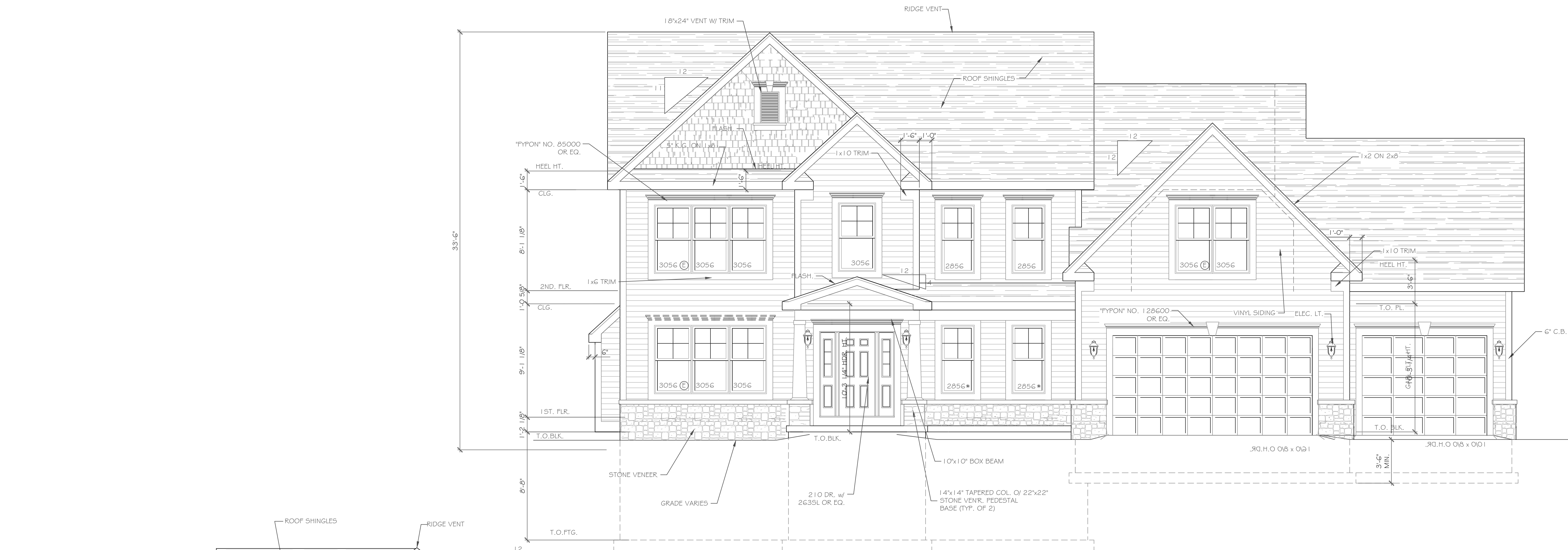
Printed January 21, 2021



Town of Pittsford GIS

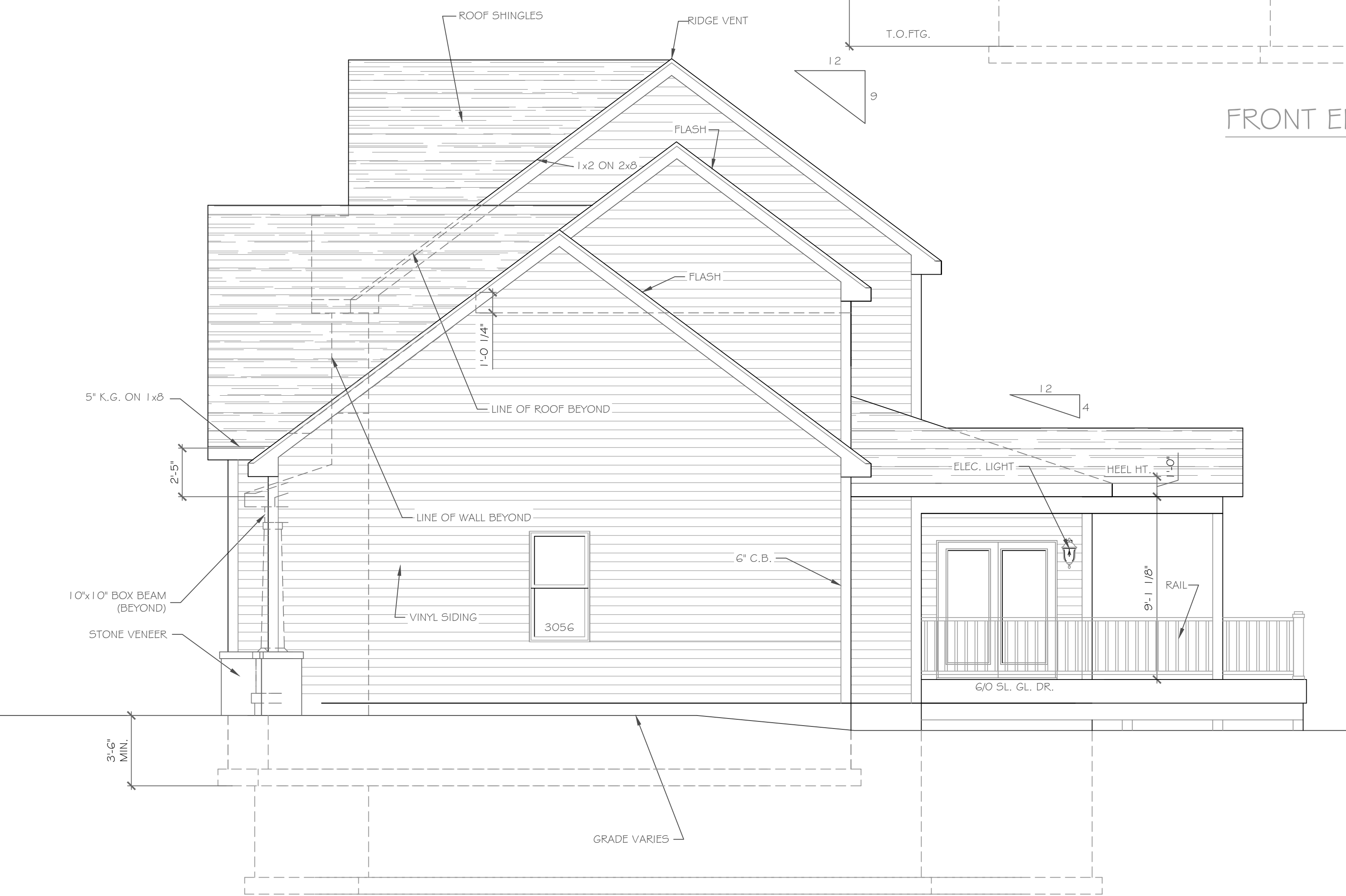
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FRONT ELEVATION 2689 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - E : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

1/4" = 1'-0"

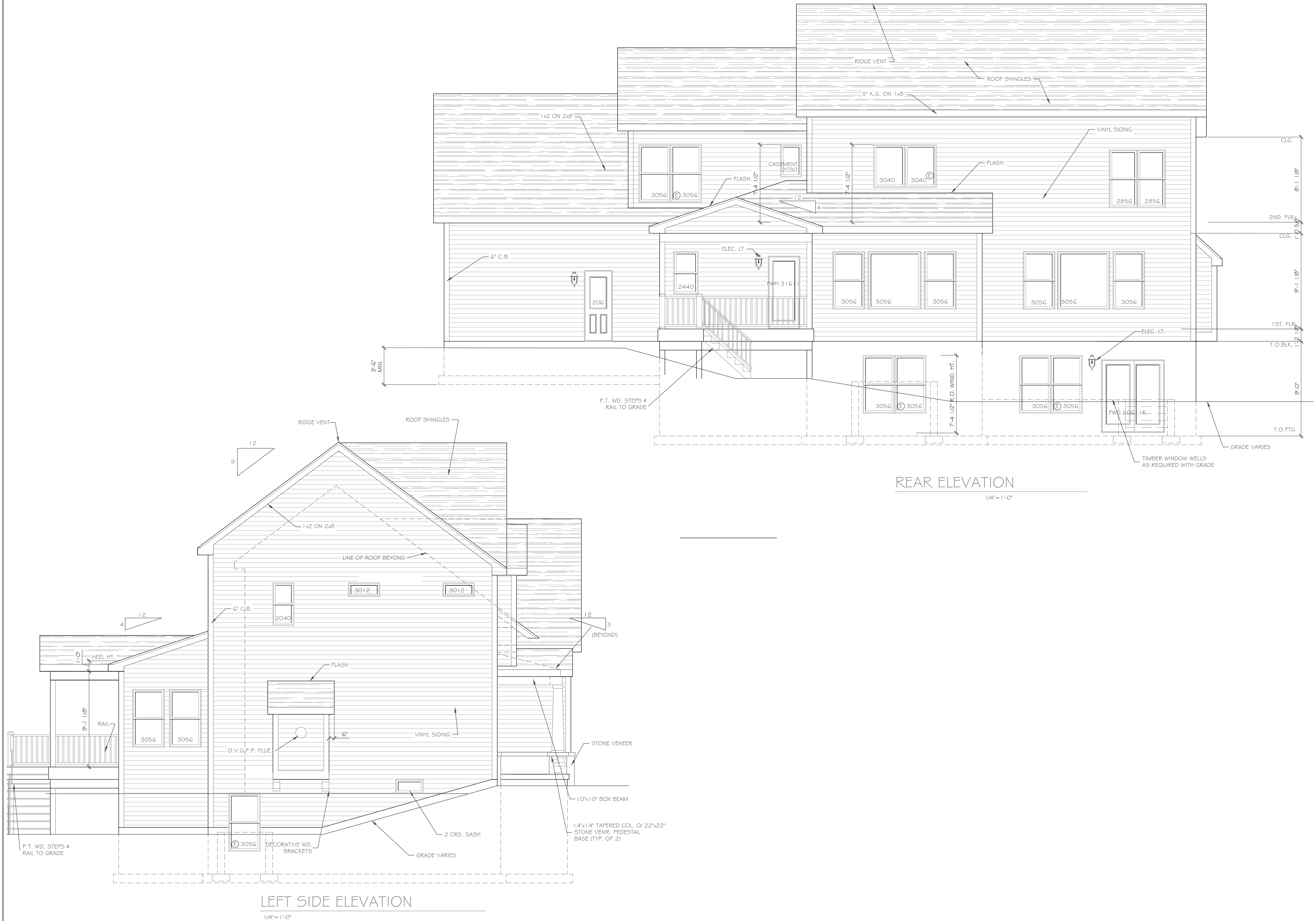
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| REVISIONS- | NO. | DATE | DESCRIPTION |
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| DRAWING TITLE: Elevations | PHASE: Construction Documents |
| | |

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|--|-----------------------|
| PROJECT: Lot 43P, Wishire Hill Pittsford, New York | DATE: January 2021 |
| CLIENT: Morrell Builders | JOB NO. - A21-005 |

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 e-mail: CKHennessey@frontiernet.net



REAR ELEVATION
1/4" = 1'-0"

LEFT SIDE ELEVATION
1/4" = 1'-0"

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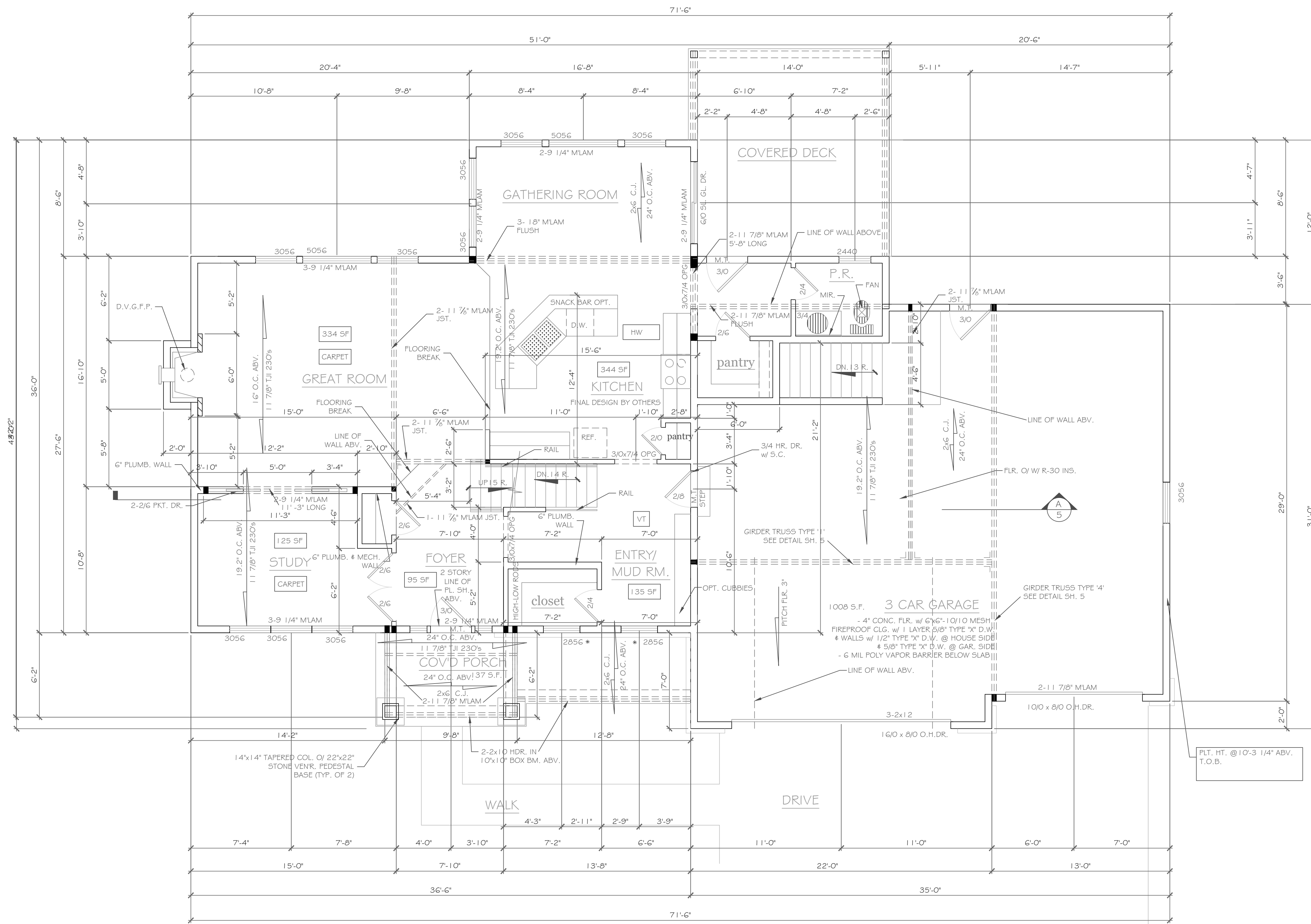
| REVISIONS- | NO. | DATE | DESCRIPTION |
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| DRAWING TITLE- | PHASE- |
|----------------|------------------------|
| Elevations | Construction Documents |

| | |
|----------|--|
| PROJECT- | Lot 43P, Wishire Hill Pittsford, New York |
| CLIENT- | Morrell Builders |
| JOB NO.- | A21-005 |
| DATE- | January 2021 |

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fax: (585) 249-1333
e-mail: CKHennessey@frontiernet.net

DRAWING NO.-
A-6



FIRST FLOOR PLAN 1275 S.F.

NOTES: SMOKE DETECTION & ALARM DEVICES- SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

NOTES:

EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)

INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.

PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS:

APPLIANCES PER CONTRACT

WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.

CEILING HTS. TO BE 9'-1 1/8" U.O.N.

ANGLES TO BE 1/2 U.O.N.

UNSPECIFIED HDRS. TO BE 2-2x8 MIN.

WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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| REVISIONS- | NO. | DATE | DESCRIPTION |
|------------|-----|----------|--|
| | 1 | 10/20/14 | ADJUST FLOOR STUDY WALL DIMENSION MICROCLAVUS IN GREAT RM. |

DRAWING TITLE:
 First Floor Plan

PHASE:
 Construction Documents

PROJECT:
 Lot 43P, Wishire Hill
 Pittsford, New York

CLIENT:
 Morrell Builders

JOB NO.:
 A21-005

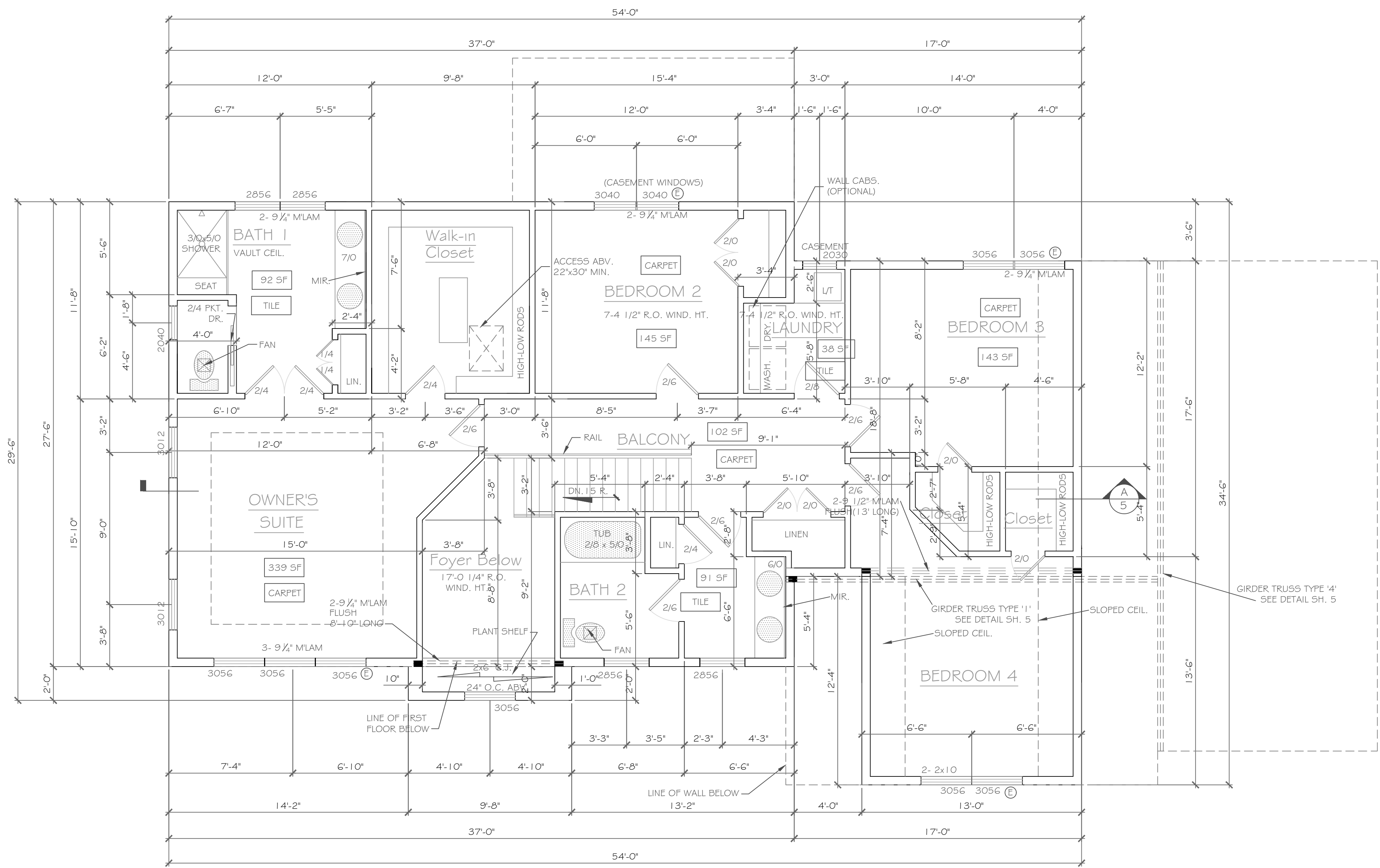
DATE:
 January 2021

CKH
 architecture

1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564

phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
 A-3



SECOND FLOOR PLAN 1414 S.F.
1/4" = 1'-0"

NOTES: SMOKE DETECTION & ALARM DEVICES- SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

NOTE:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
■ PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS:
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 6'-10 1/2" U.O.N.
CEILING HTS. TO BE 8'-1 1/8" U.O.N.
ANGLES TO BE 12/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS (E) PER SECTION R310 OF THE RES. CODE OF NYS
: SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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| NO. | DATE | DESCRIPTION |
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| DRAWING TITLE | PHASE |
|-------------------|------------------------|
| Second Floor Plan | Construction Documents |

| | |
|---|---------------------|
| PROJECT - Lot 43P, Wishire Hill Pittsford, New York | DATE - January 2021 |
| CLIENT - Morrell Builders | JOB NO. - A21-005 |

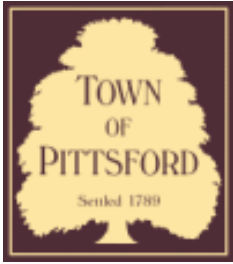
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net







W
LOT #P8
SOLD



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000018

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 34 & 36 Skylight Trail PITTSFORD, NY 14534

Tax ID Number: 192.06-1-9

Zoning District: RRAA Rural Residential

Owner: S & J Morrell, Inc

Applicant: S & J Morrell, Inc

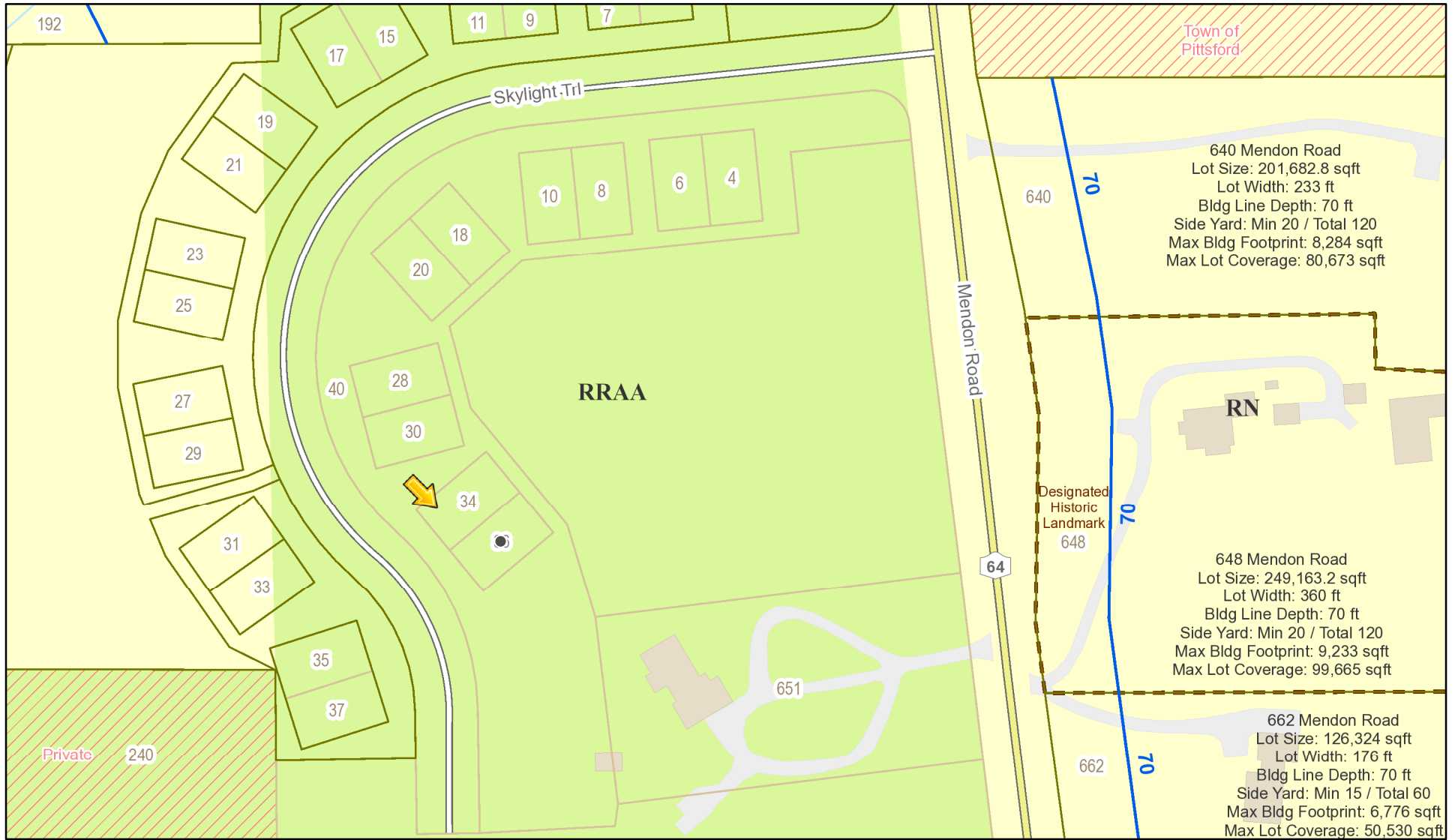
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review §185-205 (B) | <input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review §185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet §185-17 (M) |
| <input type="checkbox"/> Signage §185-205 (C) | <input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness §185-197 | <input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation §185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

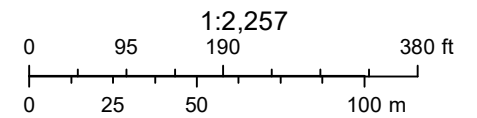
Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 9 (34 Skylight Trail) will be approximately 1987 sq. ft. and Lot 10 (36 Skylight Trail) will be 2000 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: January 28, 2021

RN Residential Neighborhood Zoning

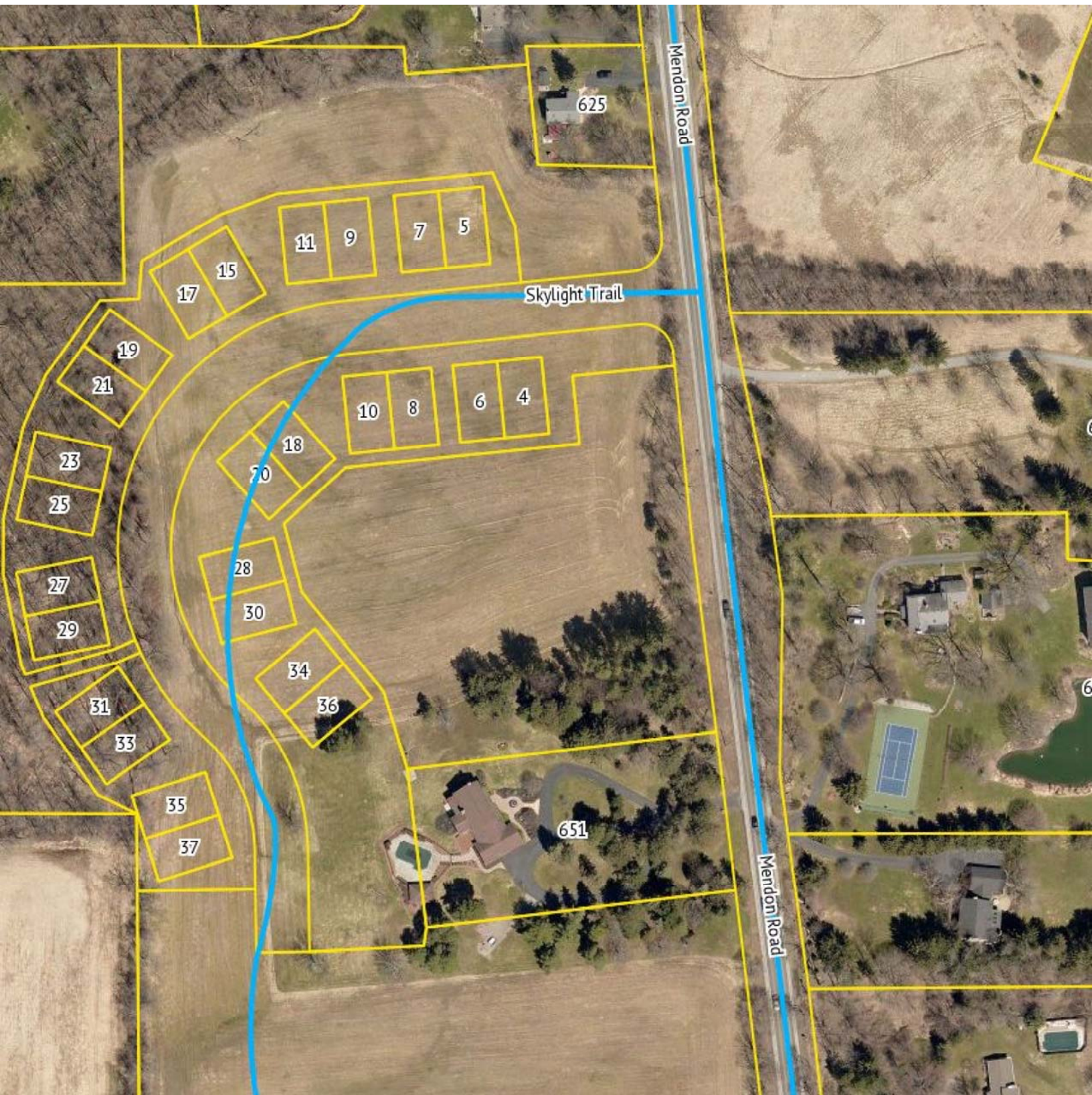


Printed January 21, 2021



Town of Pittsford GIS

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625

Skylight Trail

Mendon Road

Mendon Road

651

11 9 7 5

17 15

19 21

10 8 6 4

23 25

18 20

27 29

28 30

31 33

34 36

35 37

ALPINE RIDGE
A MORRELL COMMUNITY

No development agricultural zone

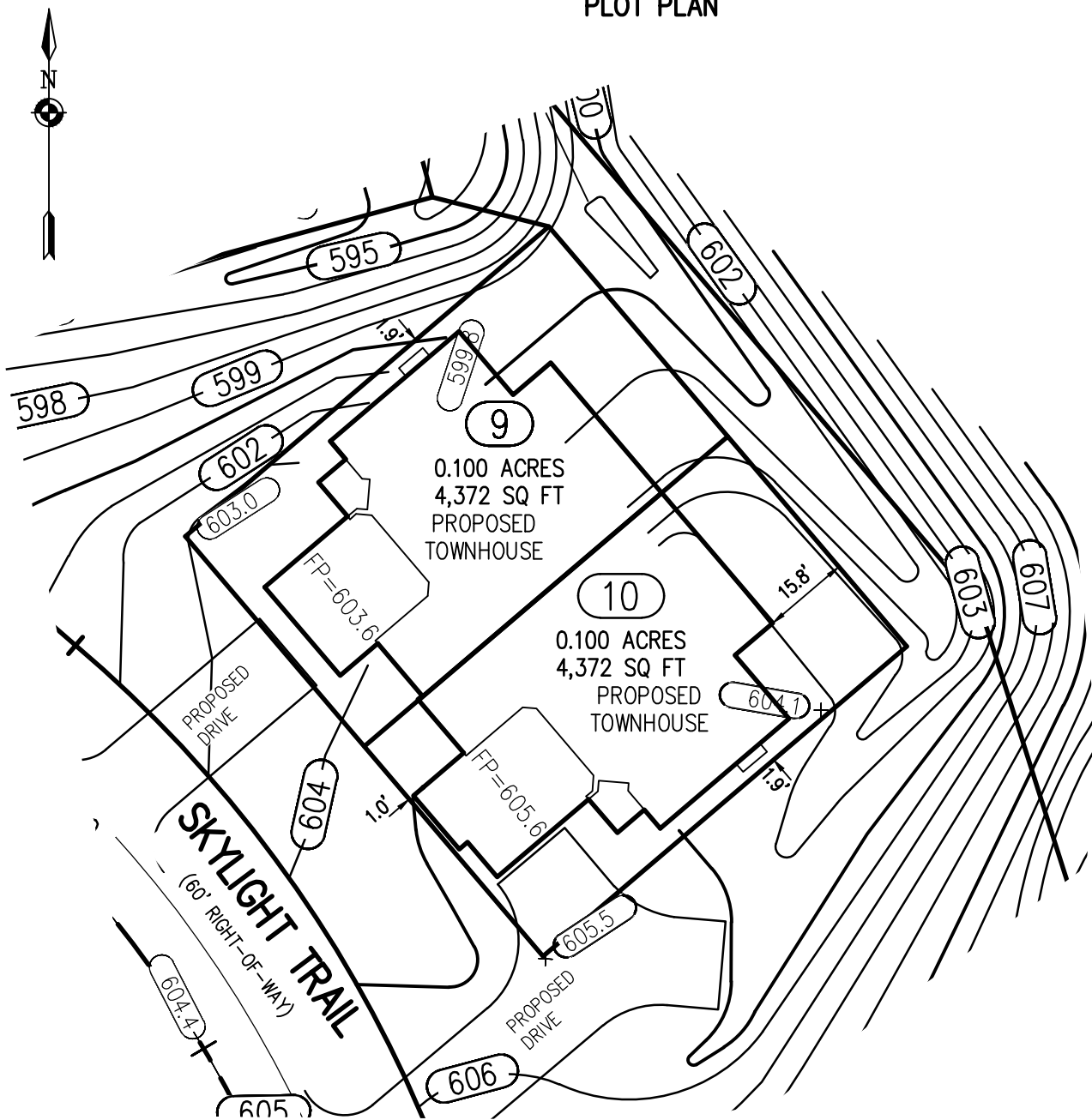


⊗ = Side Load Garage

X = Stone Siding

| | Cobblestone (CS) | Light Mist (LM) | Navajo Beige (NB) | Khaki Brown (KB) | Boothbay Blue (BB) |
|-----------------------|------------------|-----------------|-------------------|------------------|--------------------|
| Color | | | | | |
| Denotes Buildign Step | | | | | |
| Garage Door | Dark Oak (DO) | Walnut (EW) | Mahogany (MA) | Dark Oak (DO) | Mahogany (MA) |

PLOT PLAN



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 1, BEING A RE-SUBDIVISION OF THE KEVIN RYAN SUBDIVISION, AS FILED 4/15/2019 IN M.C.C.O. AS LIBER 358 OF MAPS, PAGE 41," PREPARED BY DOUGLAS W. MAGDE, L.S. HAVING DRAWING NUMBER SV1.0 AND LAST REVISED JUNE 27, 2019.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
 FRONT 0' (LOT) 25' (R.O.W.)
 SIDE 0'
 REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 1 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN (SHEET 1 OF 2), PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED JUNE 27, 2019.

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."
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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 PHONE 585-377-7360
 FAX 585-377-7309

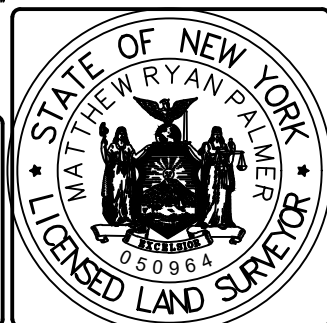
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LOTS 9 & 10 ALPINE RIDGE SUBDIVISION SECTION 1
 TOWN OF PITTSFORD MONROE COUNTY NEW YORK

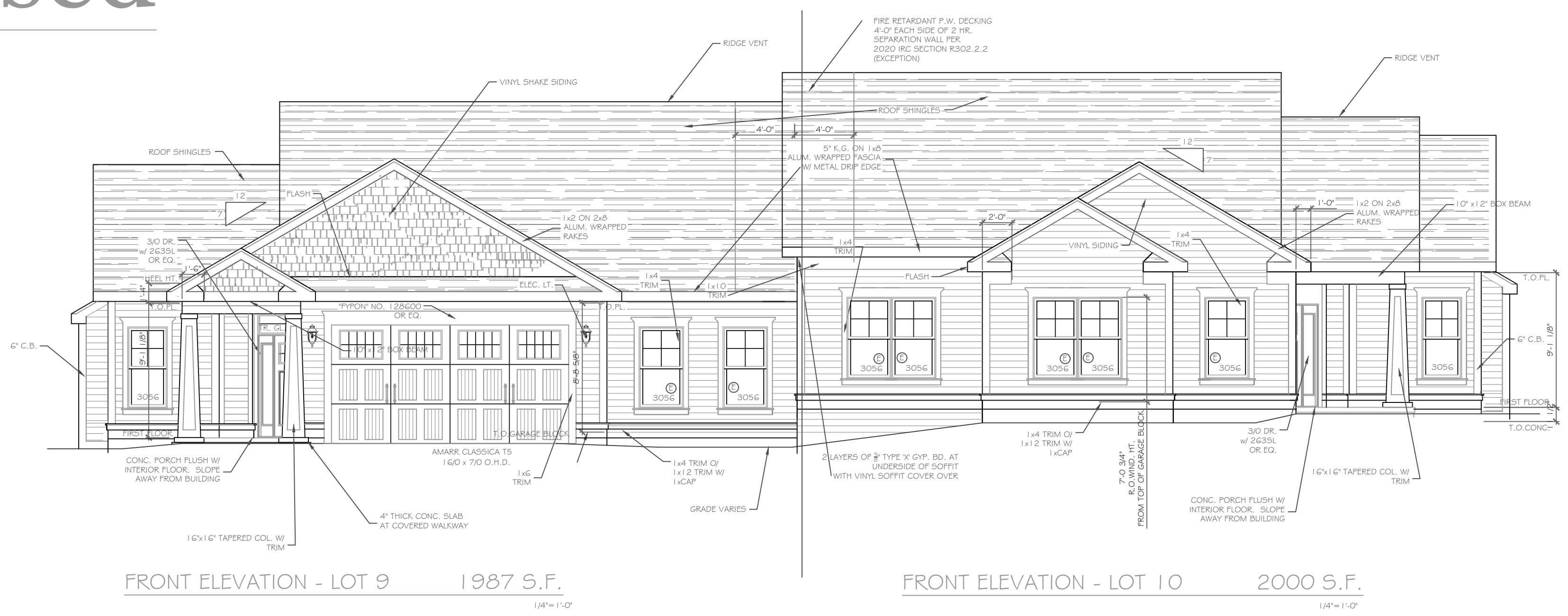


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 DATE: 1-19-21

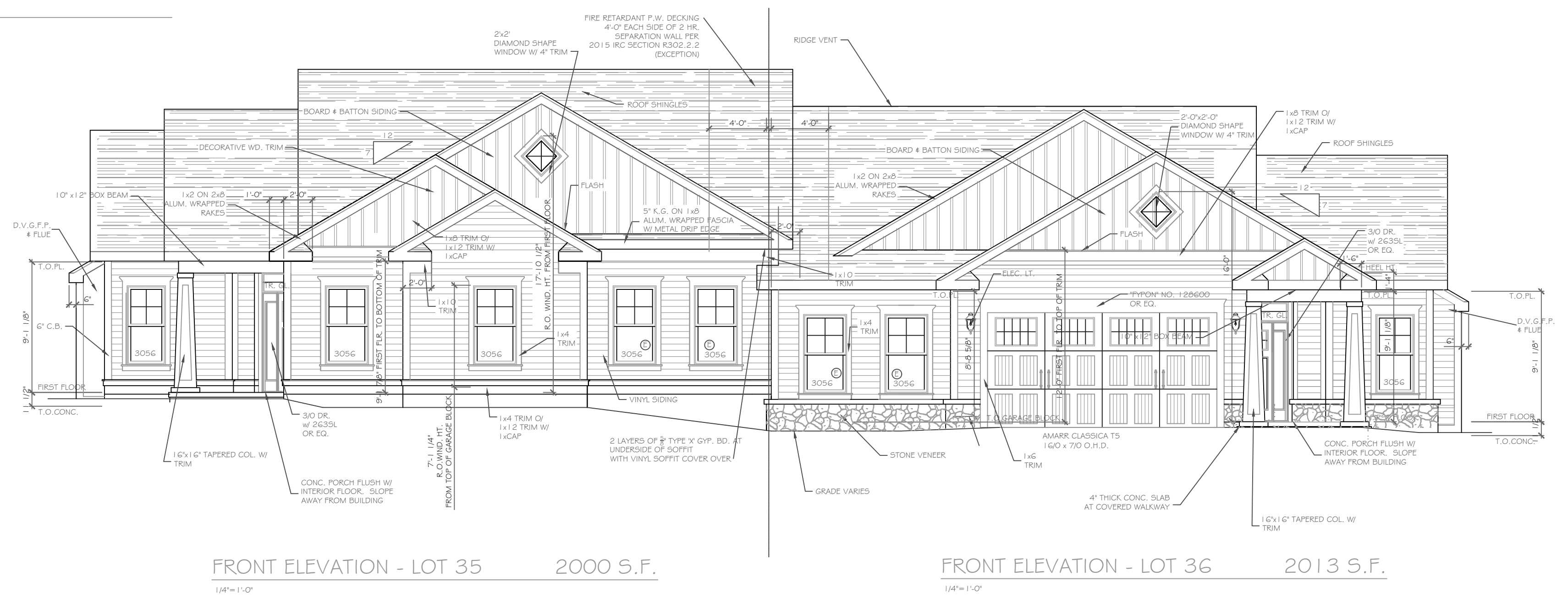
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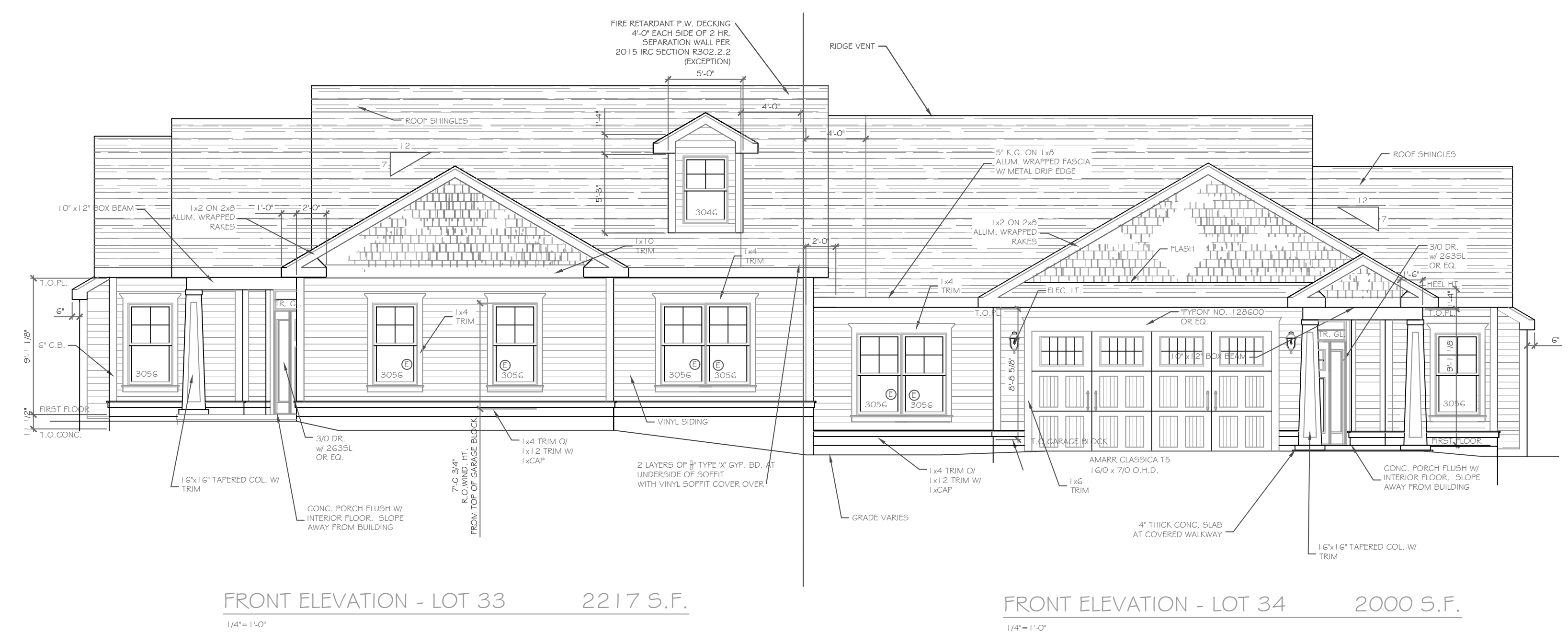
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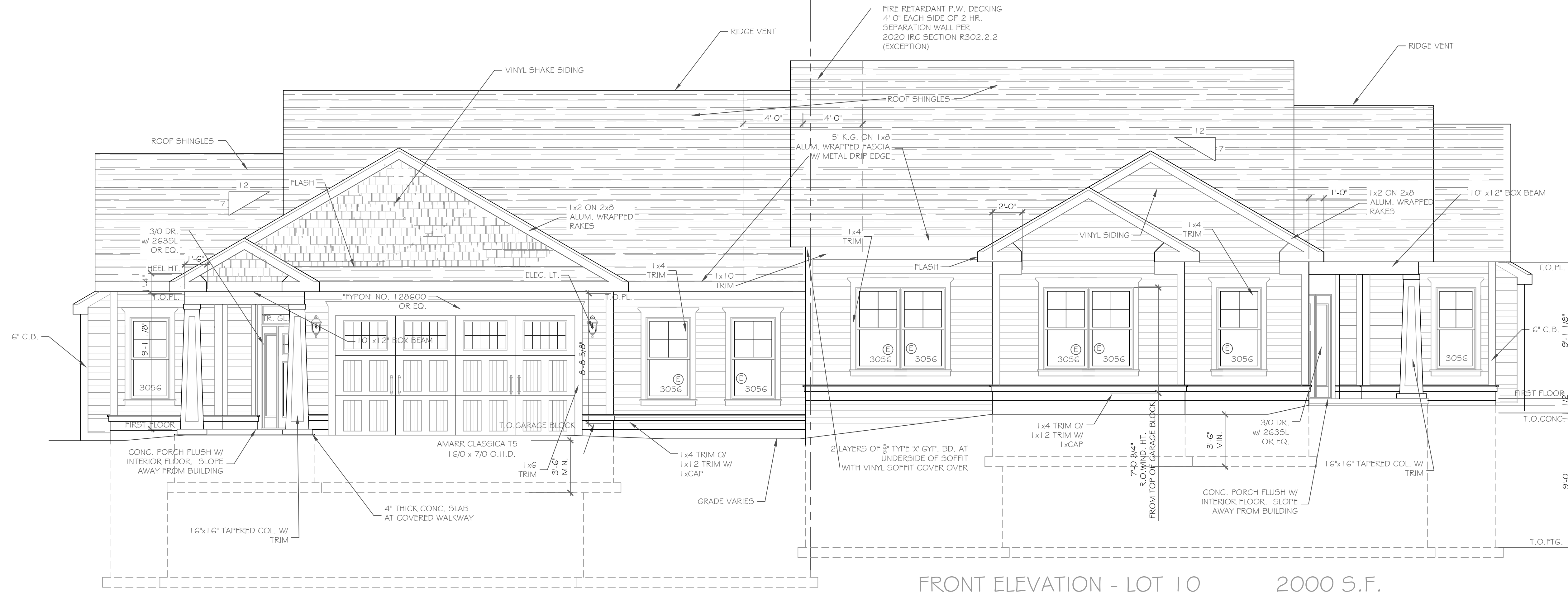


Approved



Approved





FRONT ELEVATION - LOT 10 2000 S.F.

1/4" = 1'-0"

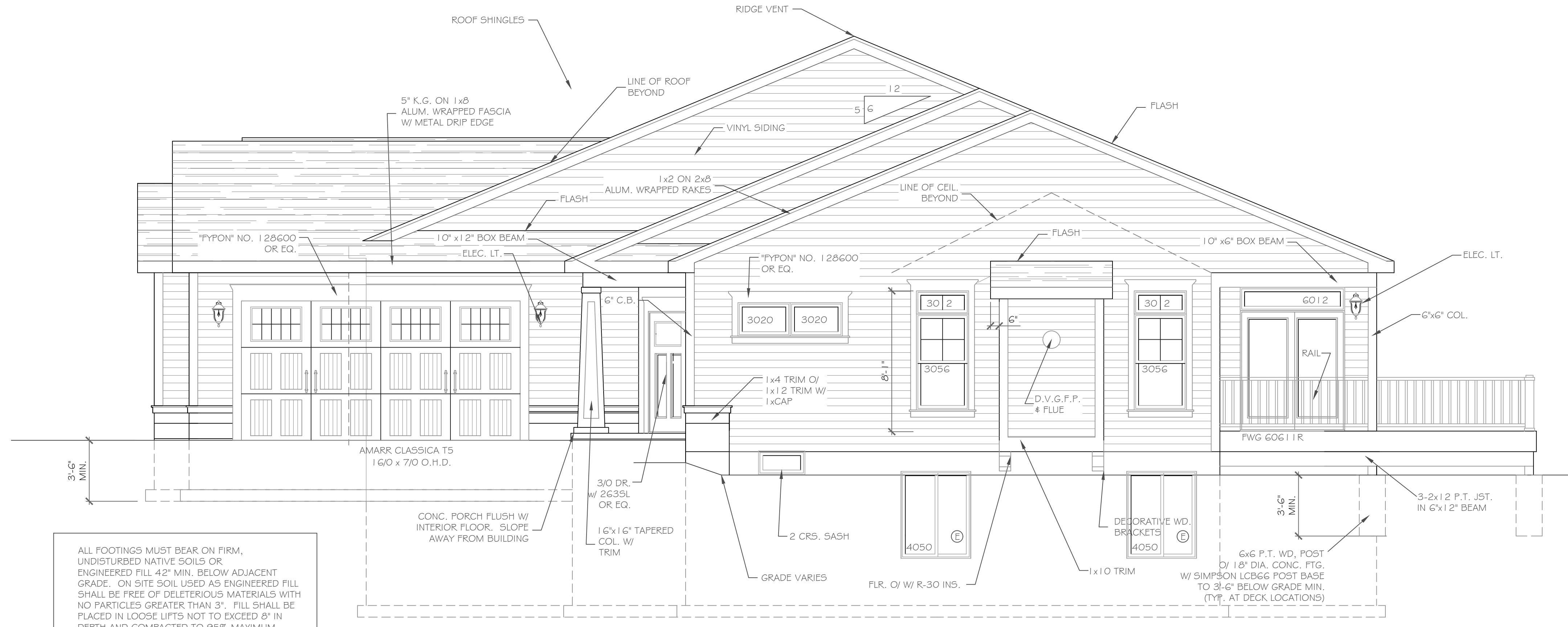
FRONT ELEVATION - LOT 9 1987 S.F.

1/4" = 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION - LOT 10

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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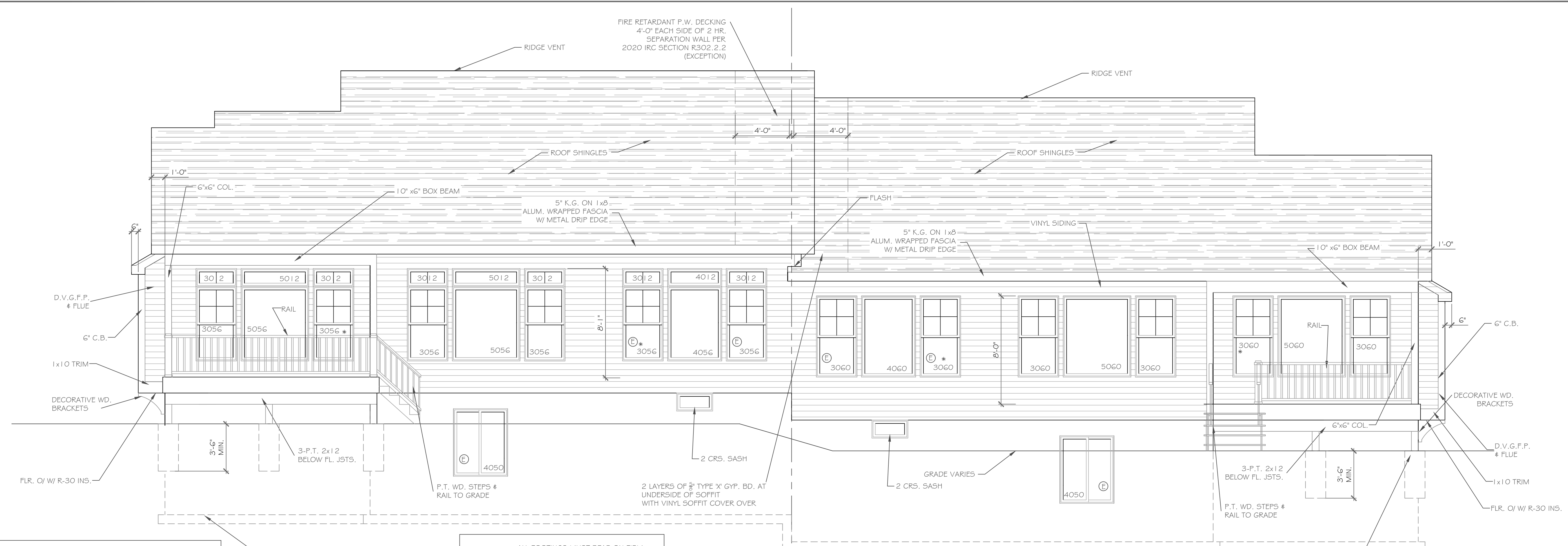
| REVISIONS- | NO. | DATE | DESCRIPTION |
|------------|-----|------|-------------|
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|-------------------------------------|----------------------------------|
| DRAWING TITLE: Elevations | PHASE: Construction Documents |
| | DATE: January 2021 |

| | |
|--|------------------------------------|
| PROJECT: Alpine Ridge - Units 9 & 10 Pittsford, New York | CLIENT: Morrell Builders |
| JOB NO. - A21-002 | DATE: January 2021 |

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 architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-1



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST
 O/ 1 1/2" DIA. CONC. FTG.
 W/ SIMPSON LCB66 POST BASE
 TO 3'-6" BELOW GRADE MIN.
 (TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REAR ELEVATION - LOT 10
 1/4" = 1'-0"

REAR ELEVATION - LOT 9
 1/4" = 1'-0"

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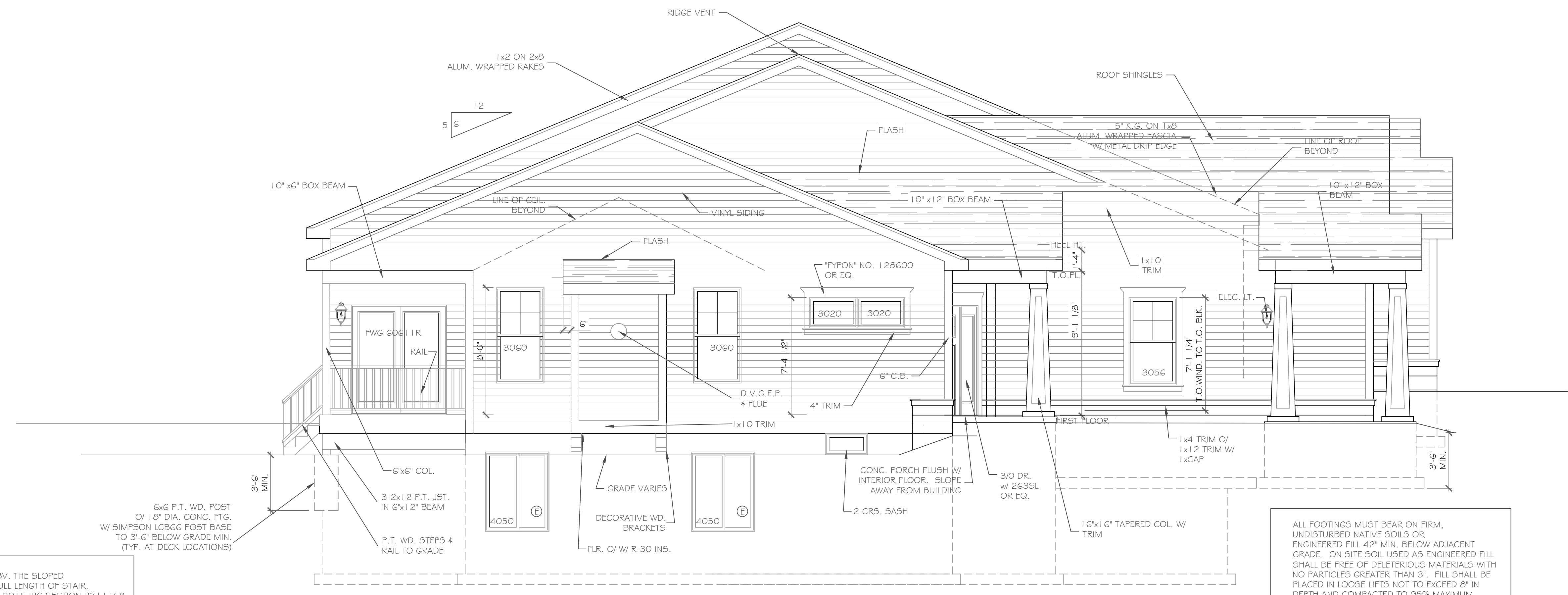
| REVISIONS- | NO. | DATE | DESCRIPTION |
|------------|-----|------|-------------|
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DRAWING TITLE: **Elevations**
 PHASE: **Construction Documents**

PROJECT: **Alpine Ridge - Units 9 & 10**
 CLIENT: **Morrell Builders**
 ADDRESS: **Pittsford, New York**
 DATE: **January 2021**
 JOB NO.: **A21-002**

CKH architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. - **A-2**



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2015 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST
 O/ 1 1/2" DIA. CONC. FTG.
 W/ SIMPSON LCB66 POST BASE
 TO 3'-6" BELOW GRADE MIN.
 (TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

LEFT SIDE ELEVATION - LOT 9
 1/4" = 1'-0"

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

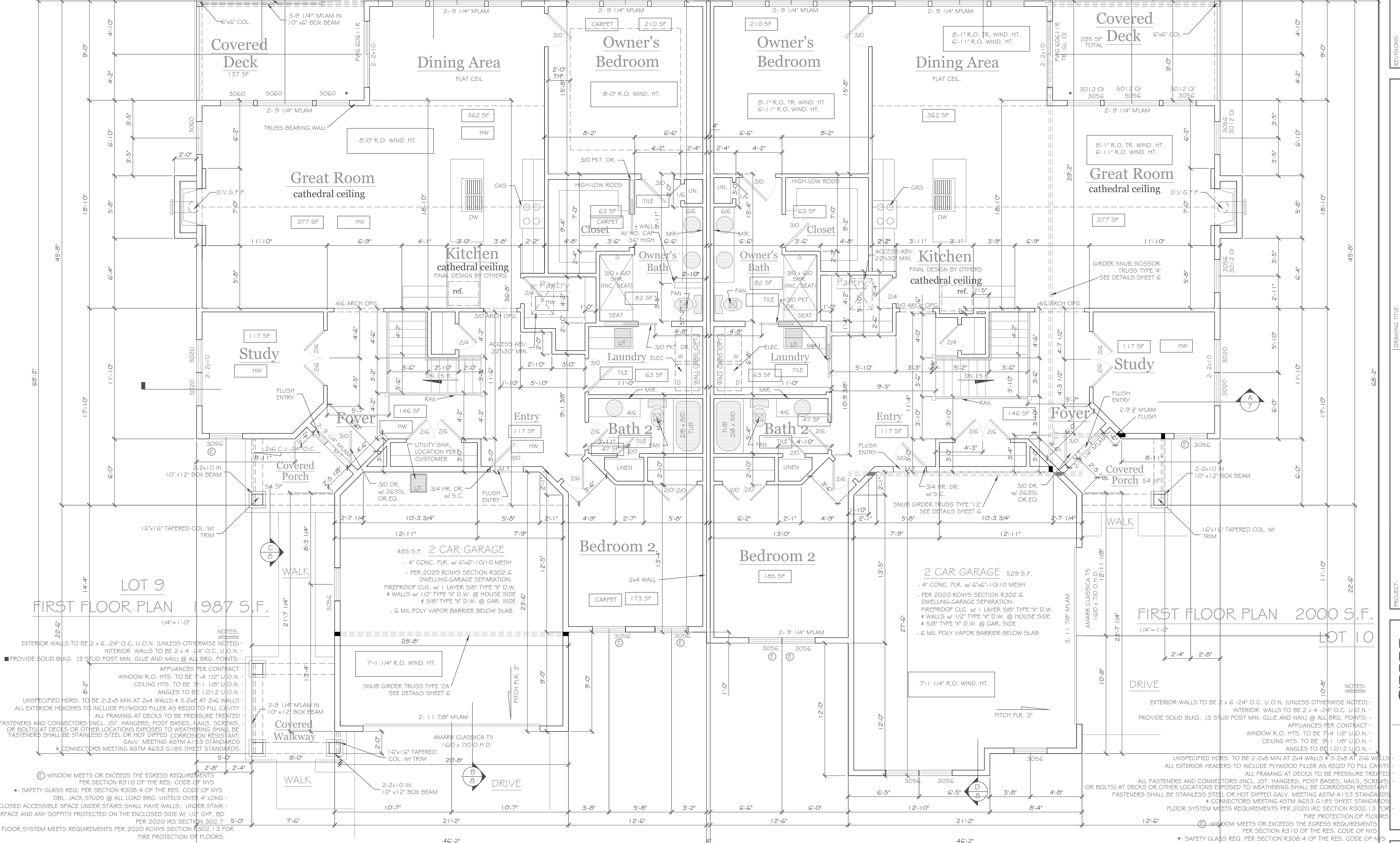
NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313.3 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

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| NO. | DATE | DESCRIPTION |
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LOT 9 FIRST FLOOR PLAN 1987 S.F.

LOT 10 FIRST FLOOR PLAN 2000 S.F.

NOTES:
 EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED) - INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N. - PROVIDE SOLID BKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: - APPLIANCES PER CONTRACT WINDOW R.O. HTS. TO BE 7'-4" U.O.N. - CEILING HTS. TO BE 9'-1 1/8" U.O.N. - ANGLES TO BE 1/2" U.O.N. - UNSPECIFIED HDRS. TO BE 2-2x8 MIN AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY - ALL FRAMING AT DECKS TO BE PRESSURE TREATED - ALL FASTENERS AND CONNECTORS (INCL. JST, HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED CORROSION RESISTANT. GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.
 @ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR - SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
 FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 RCNYS SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

NOTES:
 EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED) - INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N. - PROVIDE SOLID BKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: - APPLIANCES PER CONTRACT WINDOW R.O. HTS. TO BE 7'-4" U.O.N. - CEILING HTS. TO BE 9'-1 1/8" U.O.N. - ANGLES TO BE 1/2" U.O.N. - UNSPECIFIED HDRS. TO BE 2-2x8 MIN AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY - ALL FRAMING AT DECKS TO BE PRESSURE TREATED - ALL FASTENERS AND CONNECTORS (INCL. JST, HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS
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DRAWING TITLE:
 First Floor Plan

PROJECT:
 Alpine Ridge - Units 9 & 10
 Pittsford, New York

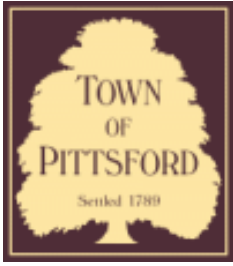
CLIENT:
 Morrell Builders

DATE:
 January 2021

JOB NO.:
 A21-002

PHASE:
 Construction Documents

CKH architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S21-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3240-3246 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-10.1

Zoning District: C Commercial

Owner: Buffalo-Pitt Sq Assoc LLC

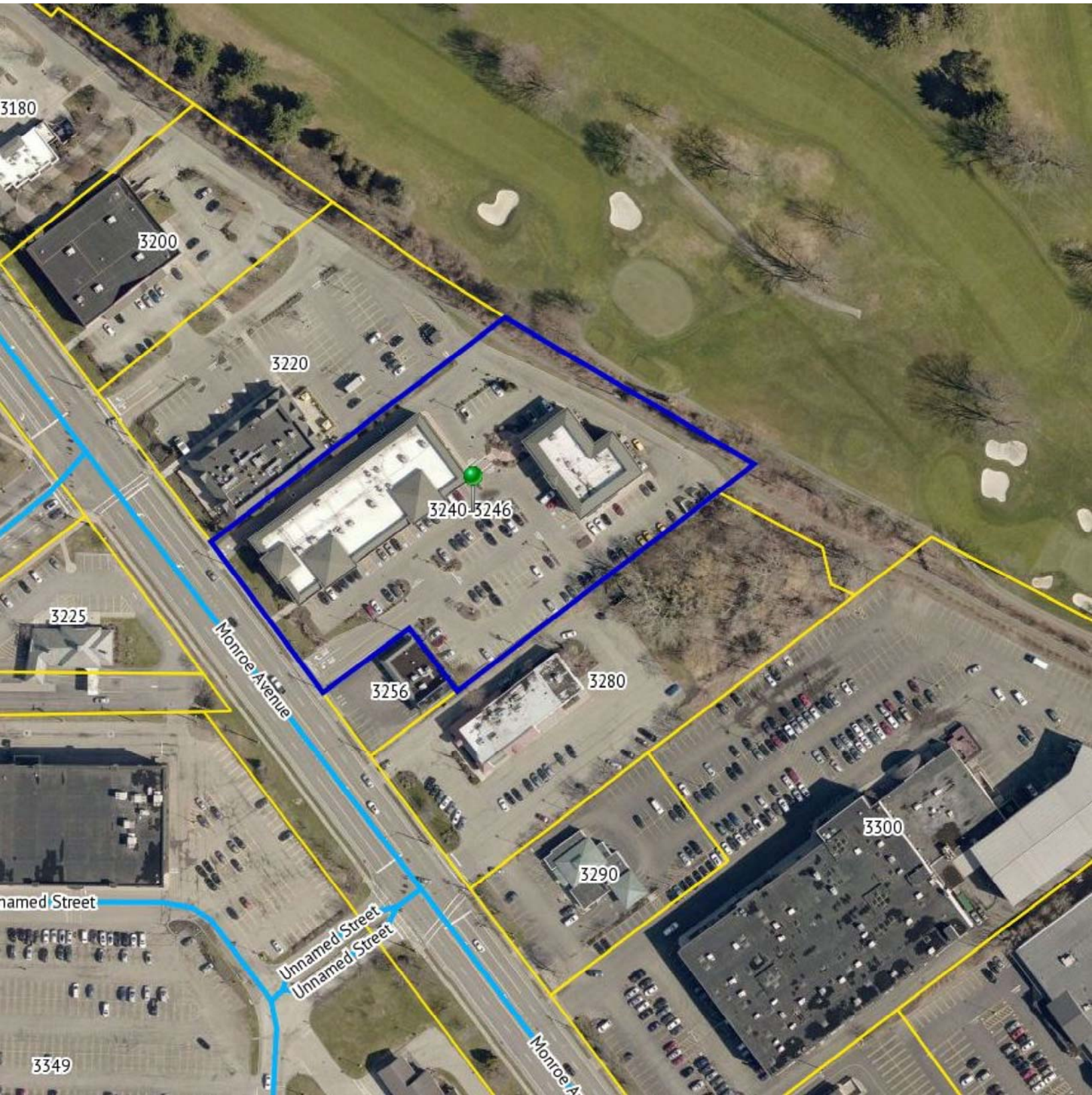
Applicant: ROC Signs

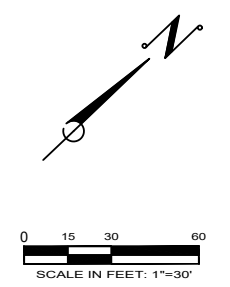
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review §185-205 (B) | <input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review §185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet §185-17 (M) |
| <input checked="" type="checkbox"/> Signage §185-205 (C) | <input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness §185-197 | <input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation §185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

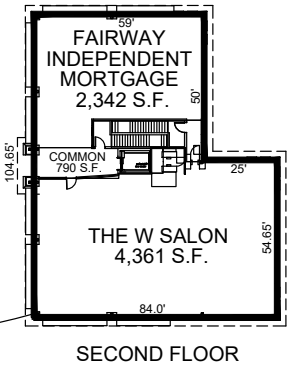
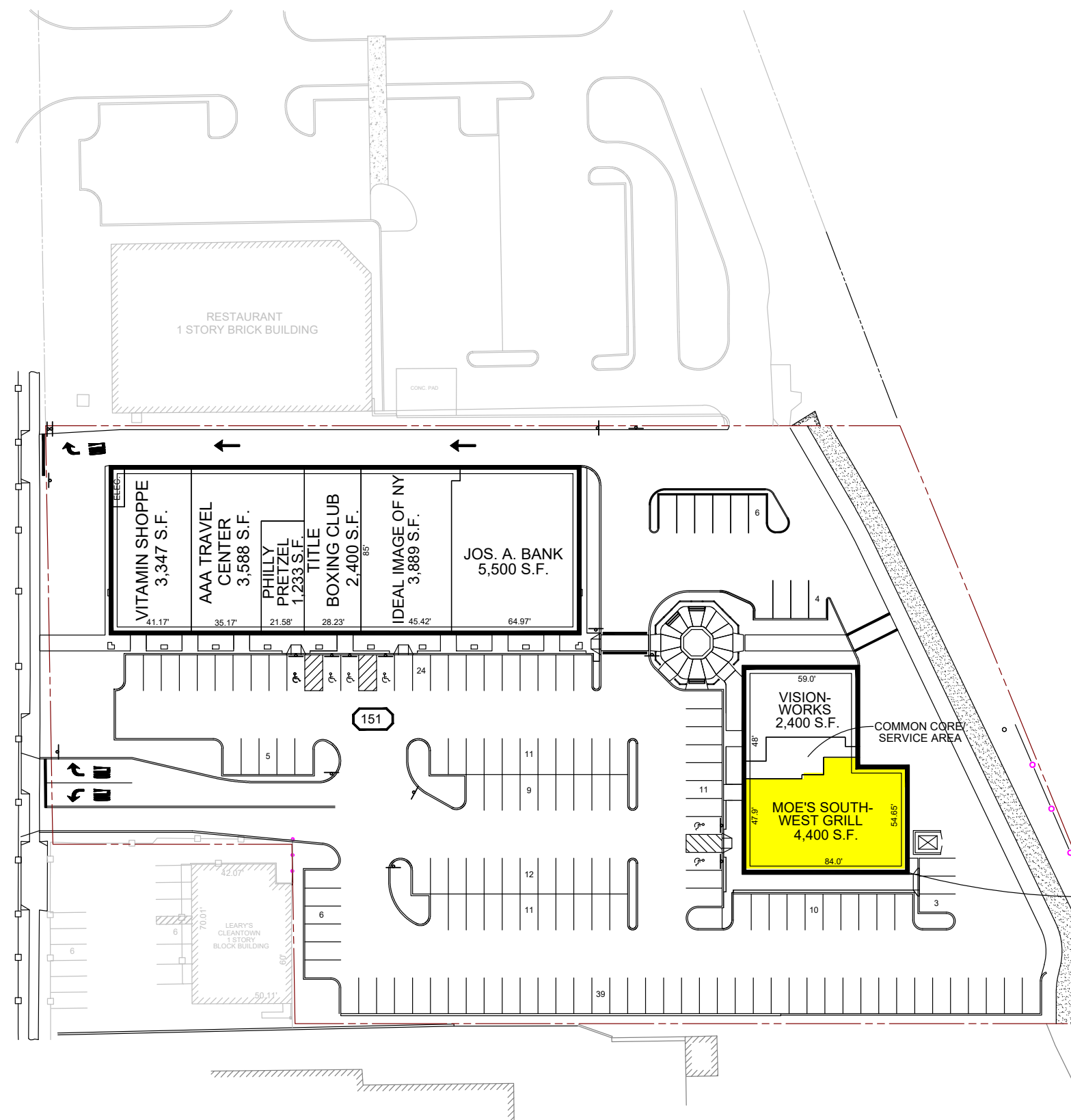
Project Description: Applicant is requesting design review for the replacement of a business identification sign. The new "Moe's Southwest Grill" sign will feature a white LED lighting system with black trim cap, turquoise, white and orange lettering. The sign will be approximately 39.6 square feet.

Meeting Date: January 28, 2021





MONROE AVENUE (RT. 31)



PITTSFORD SQUARE

3240 & 3246 MONROE AVENUE
PITTSFORD, NEW YORK 14618

PROPERTY ID#: 2086

07-23-20

THE SOLE PURPOSE OF THIS DRAWING IS TO ILLUSTRATE THE APPROXIMATE DIMENSIONS AND LAYOUT OF THE DEMISED PREMISES. NO OTHER WARRANTY OR REPRESENTATION, EXPRESSED OR IMPLIED, IS MADE WITH RESPECT TO THE ILLUSTRATION.

LEASING PLAN

DRAWN BY: XXX CHECKED BY: XXX SCALE: 1"=30'



WALDEN

Moe's southwest grill

3246

Current Sign



EST 1988



#847
 3246 MONROE AVENUE
 ROCHESTER, NY



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CUSTOMER APPROVAL:

 DATE: _____

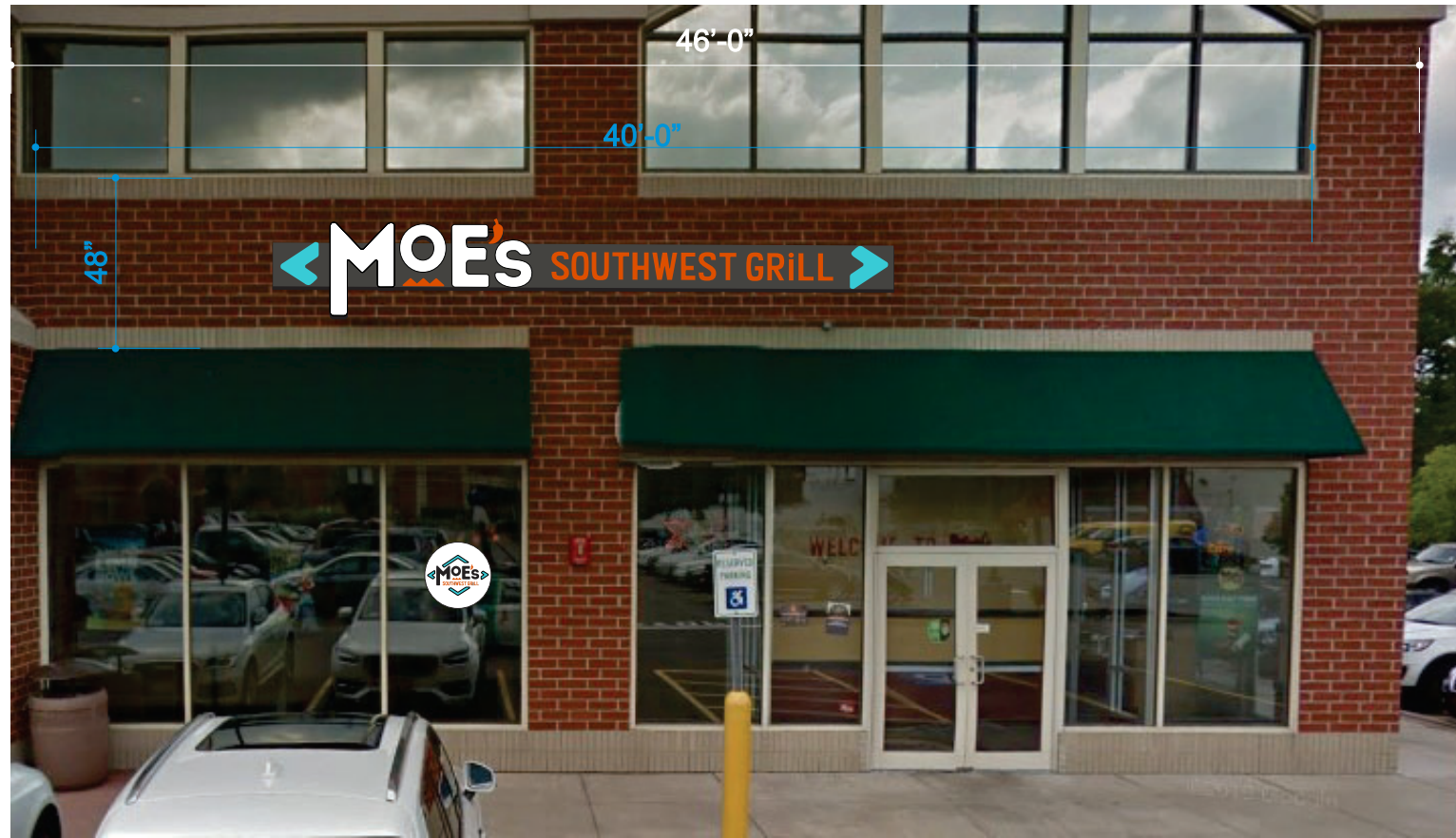
| Rev. # | DATE | BY |
|---------|---------------------|-------|
| Rev. #1 | 12/09/20 | AAAJ |
| Rev. #2 | _____ | _____ |
| Rev. #3 | _____ | _____ |

| Rev. # | DATE | BY |
|---------|-------|-------|
| Rev. #4 | _____ | _____ |
| Rev. #5 | _____ | _____ |
| Rev. #6 | _____ | _____ |

MOE'S #847
 3246 MONROE AVENUE
 ROCHESTER, NY

DRAWING NO:
 104453.01

ARTIST: AAAJ DATE: 10/28/20
 SHEET: 1 OF 2



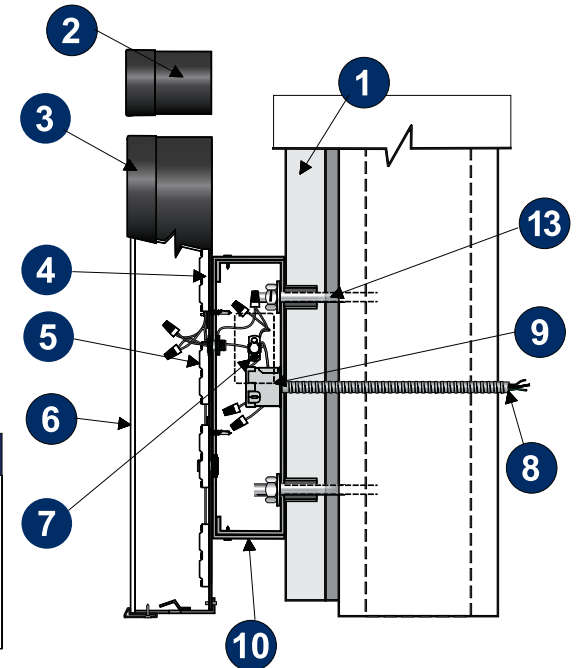
FRONT



INTERIOR WINDOW SIGN
 WHITE ACRYLIC PANEL
 DIGITAL GRAPHICS, 1ST SURFACE

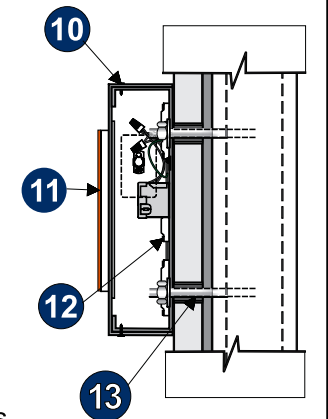


- Colors:**
- White
 - PMS 319C Turquoise
 - PMS 1665C Orange
 - SW 7069



Specifications: Channel Letters & Push-Thru Illuminated Cabinet

1. Existing Facade
2. .050" Aluminum returns painted Black
3. 1" Black Trim Cap
4. .063" Aluminum letter back
5. White LED Lighting System
6. 3/16" White Acrylic letter face
7. UL Approved waterproof disconnect switch
8. Primary electrical service (by others)
9. Low Voltage Power Supply
10. 4" deep Aluminum cabinet
11. 3/4" Clear acrylic push-thru letters
12. White LED Lighting System
13. Mounting hardware to suite existing conditions



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CUSTOMER APPROVAL:

DATE: _____

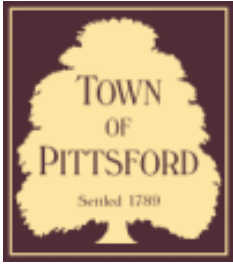
| Rev. # | DATE | BY |
|---------|----------|------|
| Rev. #1 | 12/09/20 | AAAJ |
| Rev. #2 | | |
| Rev. #3 | | |

| Rev. # | DATE | BY |
|---------|------|----|
| Rev. #4 | | |
| Rev. #5 | | |
| Rev. #6 | | |

MOE'S #847
 3246 MONROE AVENUE
 ROCHESTER, NY

DRAWING NO:
 104453.01

ARTIST: AAAJ DATE: 10/28/20
 SHEET: 2 OF 2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D21-000001

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 222 Golf Avenue PITTSFORD, NY 14534

Tax ID Number: 152.13-2-8

Zoning District: RN Residential Neighborhood

Owner: Stanley Powers

Applicant: Stanley Powers

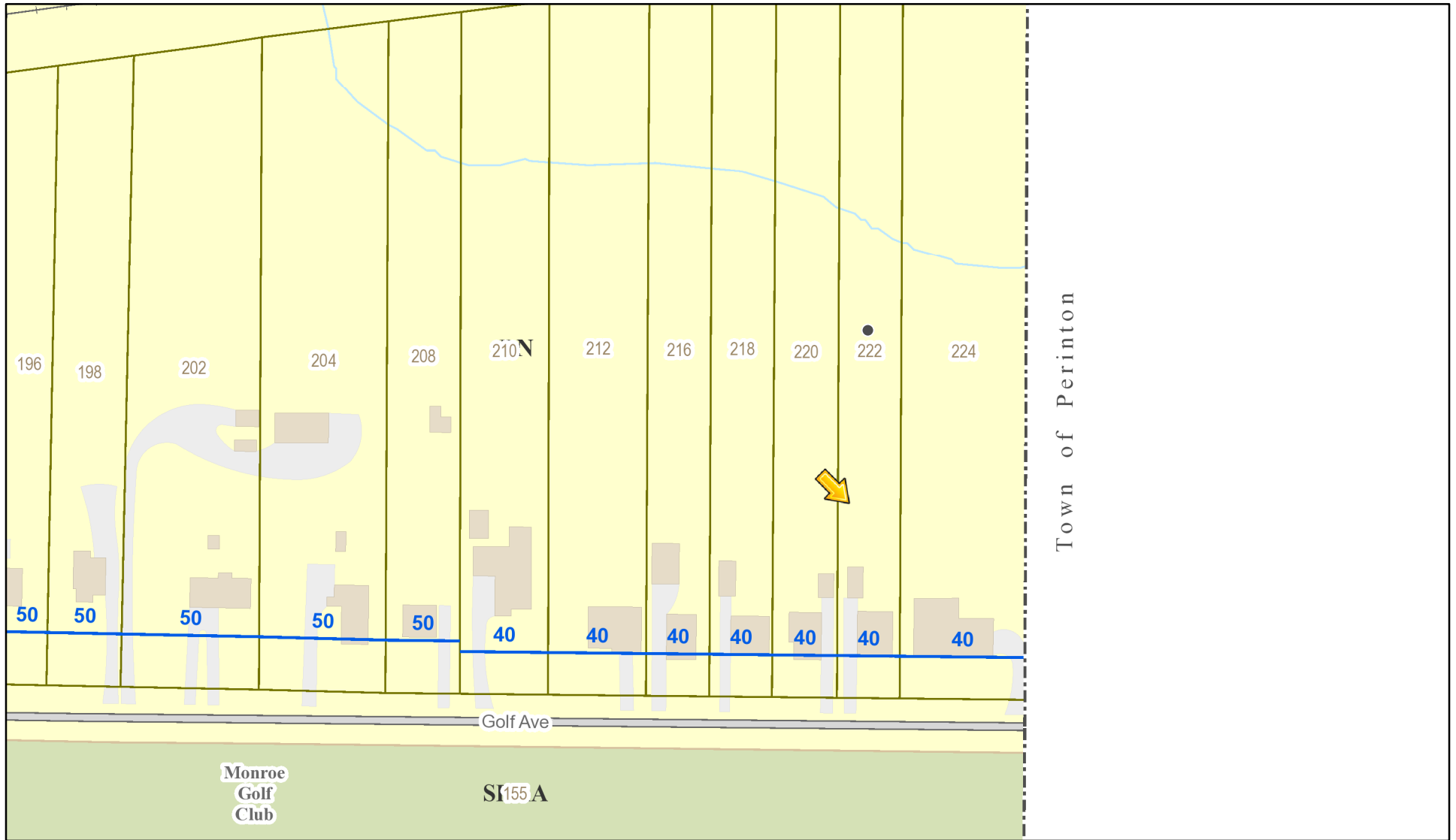
Application Type:

- | | |
|---|---|
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| <input type="checkbox"/> Signage §185-205 (C) | <input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness §185-197 | <input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation §185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2) |
| <input checked="" type="checkbox"/> Informal Review | |

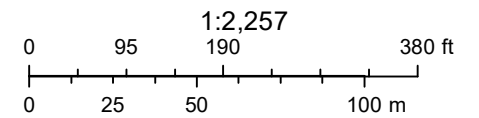
Project Description: The owner of 222 Golf Ave., has applied for a demolition permit to allow the demolition of a single family dwelling at 222 Golf Avenue. This property is Zoned Residential Neighborhood (RN). The Demolition permit is to be issued on or after March 12, 2021. Said structure is over 50 years old.

Meeting Date: January 28, 2021

RN Residential Neighborhood Zoning



Printed January 21, 2021



Town of Pittsford GIS

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