

**Design Review & Historic Preservation Board  
Agenda  
January 24, 2019**

**HISTORIC PRESERVATION DISCUSSION**

**CERTIFICATE OF APPROPRIATENESS**

- **648 Mendon Road**  
The Applicant is requesting a Certificate of Appropriateness to demolish an existing accessory structure and to construct a new detached garage in the rear yard.

**RESIDENTIAL APPLICATIONS FOR REVIEW**

- **4 Sassafras Lane**  
The Applicant is requesting design review to construct a 99 sq. ft. first floor addition and 238 sq. ft. second floor addition.
- **166 Mill Road**  
The Applicant is requesting design review to renovate the front entrance of an existing home.
- **1 Whitestone Lane**  
The Applicant is requesting design review for the construction of a 211 sq. ft. first floor addition and a 205 sq. ft. addition.
- **25 Hawkstone Way**  
The Applicant is requesting design review for the construction of a 2023 sq. ft. one-story single family home.

**COMMERCIAL APPLICATION FOR REVIEW**

- **Cloverwood Senior Living**  
The Applicant is requesting design review for the construction of a senior living facility located at the southwest corner of Clover Street and Jefferson Road, site of the former Barn Bazaar.

**OTHER – REVIEW OF 1/10/2019 MINUTES**

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**January 10, 2019**

**PRESENT**

Bonnie Salem, Paul Whitbeck, John Mitchell, Kathleen Cristman

**ALSO PRESENT**

Stephanie Townsend, Town Board liaison; Robert Koegel, Town Attorney; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; Leticia Fornataro, David Wigg; Vice Chairman

John Mitchell opened the meeting at 6:50 pm.

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem reported that the public meeting for the Town Comprehensive Plan is coming up on January 28, 2019 at Fire Station #2 on Mendon Road from 6-9 pm. She encouraged all to attend.

The demolition legislation was discussed. Bonnie Salem suggested that a revision to the draft is in order. She felt that only having comment is not enough and that there is room for compromise between the Planning Board and the DRB&HPB on some matters regarding demolition. The other Board members were in support and suggested a revision be drafted to submit to the Town Board.

**RESIDENTIAL APPLICATIONS FOR REVIEW**

- **55 Mahogany Run**

The Applicant is requesting design review for the addition of a 270 sq. ft. sunroom located to the rear of the home.

Tim Smith of Woodstone Custom Homes was present to represent the homeowner. He indicated that all materials will match and the windows will be compatible with the rest of the home.

Kathleen Cristman moved to accept the application as submitted. Bonnie Salem seconded.

All Ayes.

- **4 Saddle Brook**

The Applicant is requesting design review for the addition of a 169 sq. ft. sunroom and a 588 sq. ft. second floor addition.

The architect for this project, Paul Morabito, was present. He indicated that this home had recently sustained a fire. The entire house will have new siding, roofing and windows.

Some members of the Board expressed concern about the massing on the right side of the front elevation but it was determined that structurally it would not be practical to alter. Mr. Morabito indicated that he had worked to provide architectural interest with the windows to create an attractive design.

Bonnie Salem moved to accept the application as submitted. Paul Whitbeck seconded.

All Ayes.



## COMMERCIAL APPLICATIONS FOR REVIEW

- **100 Hahnemann Trail**

The Applicant is requesting design review for three projects; a 150 sq. ft. addition on one of the cottages, a covered shed adjacent to the service area and a prefabricated storage shed adjacent to the cottages.

The architect, Eric Reynolds, was present. Mr. Reynolds discussed the three projects before the Board. The Board asked if other additions have been added to The Cottages. It was indicated there has been. The shed will measure 10' x 30' with a garage door that will be placed in the service yard. An additional pre-fabricated shed will provide storage for grounds maintenance equipment.

Paul Whitbeck moved to accept the application for all three projects as submitted. John Mitchell seconded.

All Ayes.

- **790 Linden Avenue**

The Applicant is requesting design review for exterior modifications to convert space from a professional office to a dental office.

No representative was present to review this application with the Board. The plan calls for adding windows and siding to the current office space. The Board felt the changes improved the appearance of the office building.

John Mitchell moved to accept the application as submitted. Kathleen Cristman seconded.

All Ayes.

- **3350 Monroe Avenue**

The Applicant is requesting design review for a 62.6 sq. ft. business identification sign.

Jennifer Lake, representing Goodwill of the Finger Lakes, was present to discuss the application with the Board.

Ms. Lake indicated that a sign change is necessary as they are changing the branding of the store. The new sign will have the same footprint, lighting and colors as the current sign.

Bonnie Salem moved to approve the application as submitted. Kathleen Cristman seconded.

All Ayes.

## COMMENTS ON MONROE GOLF CLUB PROJECT

The Board reviewed responses received from Marathon Engineering, on behalf of their client Monroe Golf Club, regarding the proposed Maintenance facility and made the following comment:

The Board was in agreement with responses #7 and #8.

Regarding #9, the Board felt that screening should be **required**, just not considered.

The Board was in agreement with response #10.

Regarding response #11, the Board stands firm on the recommendation of a brown color based on their experiences with similar facilities. The brown color serves the purpose of the facility blending in best with the natural surroundings.

Regarding response #12, the Board reiterates that a canopy is appropriate to define the entry to the building.

### **HISTORIC PRESERVATION DISCUSSION CONTINUED/ HISTORIC HOME DESIGNATION**

Regarding outreach to homeowners of inventoried homes to consider historic designation, the Board discussed the following points:

1. It was suggested that a letter go out to homeowners offering congratulations on their home's inclusion on the inventoried list.
2. An invitation would follow a contact letter to invite homeowners to an evening reception, potentially in the historic classroom or lunchroom at the Spiegel Center.
3. Owners of designated homes should be invited to share their positive experiences and benefits to designating their inventoried home.
4. A slide show of historically designated homes could be prepared to be shown.

### **OTHER – REVIEW OF 12/13/2018 MINUTES**

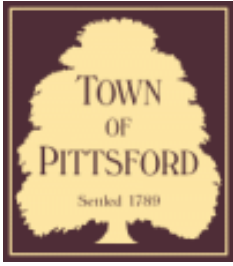
John Mitchell moved to accept the minutes as written. Kathleen Cristman seconded.

All Ayes.

The meeting adjourned at 8:55 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA19-000001**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 648 Mendon Road PITTSFORD, NY 14534

**Tax ID Number:** 178.03-2-29.21

**Zoning District:** RN Residential Neighborhood

**Owner:** Smeulders, Stephen B

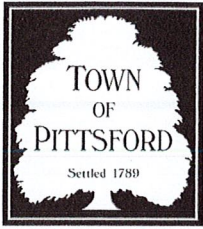
**Applicant:** Smeulders, Stephen B

### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to demolish an existing accessory structure (detached garage) and to construct a new detached garage in the rear yard. The property is zoned RN Residential Neighborhood District and is designated historic.

**Meeting Date:** January 24, 2019



# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

- Property Address: 648 Mendon Rd., Pittsford, NY 14534
- Tax Account Number: 264689 178.03-2-29.21
- Applicant's Name: Stephen Smeulders  
Address: 648 Mendon Rd Phone: 585.278.3043  
Pittsford NY 14534 E-mail: forcesailor@cs.com  
City State Zip Code
- Applicant's Interest in Property:  
Owner:  Lessee:  Holding Purchase Offer:   
Other (explain): \_\_\_\_\_
- Owner (if other than above): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street City State Zip Code  
E-mail: \_\_\_\_\_  
Has the Owner been contacted by the Applicant? Yes  No
- Application prepared by: Self  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street City State Zip Code  
E-mail: \_\_\_\_\_
- Project Design Professional (if Available): Mark P. Muller  
Address: 3509 Taft Rd. Phone: 657-6905  
Bloomfield, NY 14609 E-mail: markpmuller@frontier.net.net  
City State Zip Code

8. Project Contractor (if Available): Mr. Stephen Moore  
Address: 12 Locust Street Phone: 624-3632  
Street  
Honeoye Falls, NY 14472 E-mail: N.A.  
City State Zip Code

9. Present use of Property: Residence

10. Zoning District of Property: Residential

11. Is the property located in a Town Designated Historic District?

Yes  No

12. Is the property listed on the National Registry of Historic Places?

Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes  No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Demolish existing 18x21 garage.  
Salvage as many of the large cross-section timbers as is possible.  
Rebuild on the same location 22x21 garage to resemble a horse stable.  
Attach on interior to framing salvaged large cross-section timbers for aesthetic purposes.  
Hardie board siding to match truck/barn garage. white  
Asphalt shingles to match truck/barn garage  
Stevens & Sons 36x80 door. Picture windows framed to resemble stable door.  
7x16' Canyon Ridge garage door (model CAN 223). Fake Hay door + Hay lifter



B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

- change siding from pine to hardie board
- change from garage door that is jammed in place to one that works. - current garage is a rodent haven.
- man door added to allow quick passage to mudroom
- rural features: faux hay door & stable door
- no tree removal necessary
- no change to driveway. - Dirt floor change to concrete slab.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

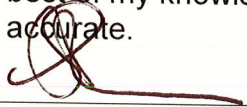
N.A.

16. Additional materials submitted with this application (if available):

- |  |   |
|--|---|
| <input type="checkbox"/> Parcel map      | <input type="checkbox"/> Architectural elevations |
| <input type="checkbox"/> Photographs     | <input type="checkbox"/> Architectural plans      |
| <input type="checkbox"/> Other materials |   |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

12/4/2018  
Date

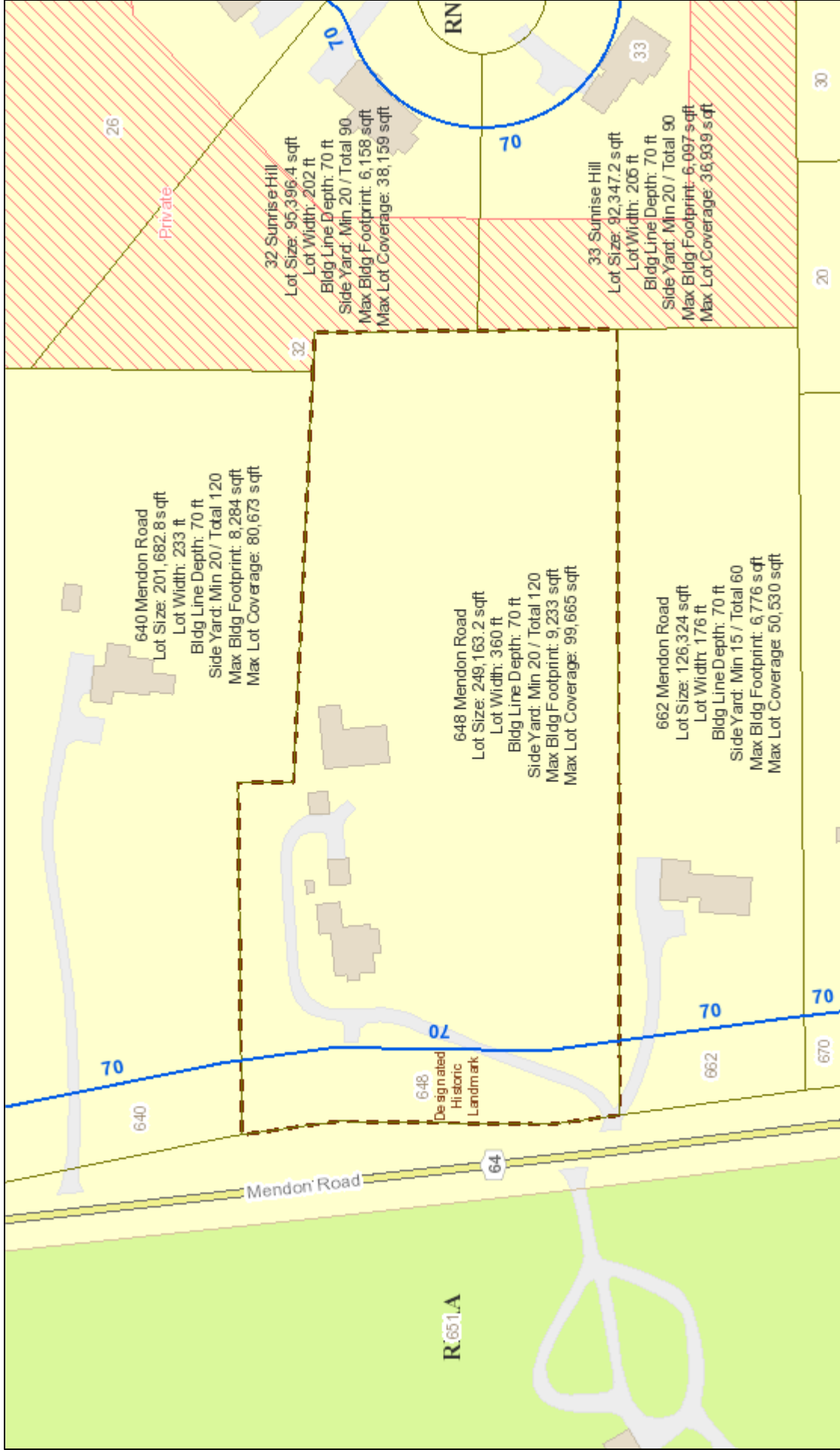
**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

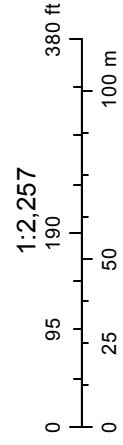
Yes  No

If Yes, owner's signature: \_\_\_\_\_

# RN Residential Neighborhood Zoning



Printed January 10, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



648 Mendon Rd  
2017-Zillow

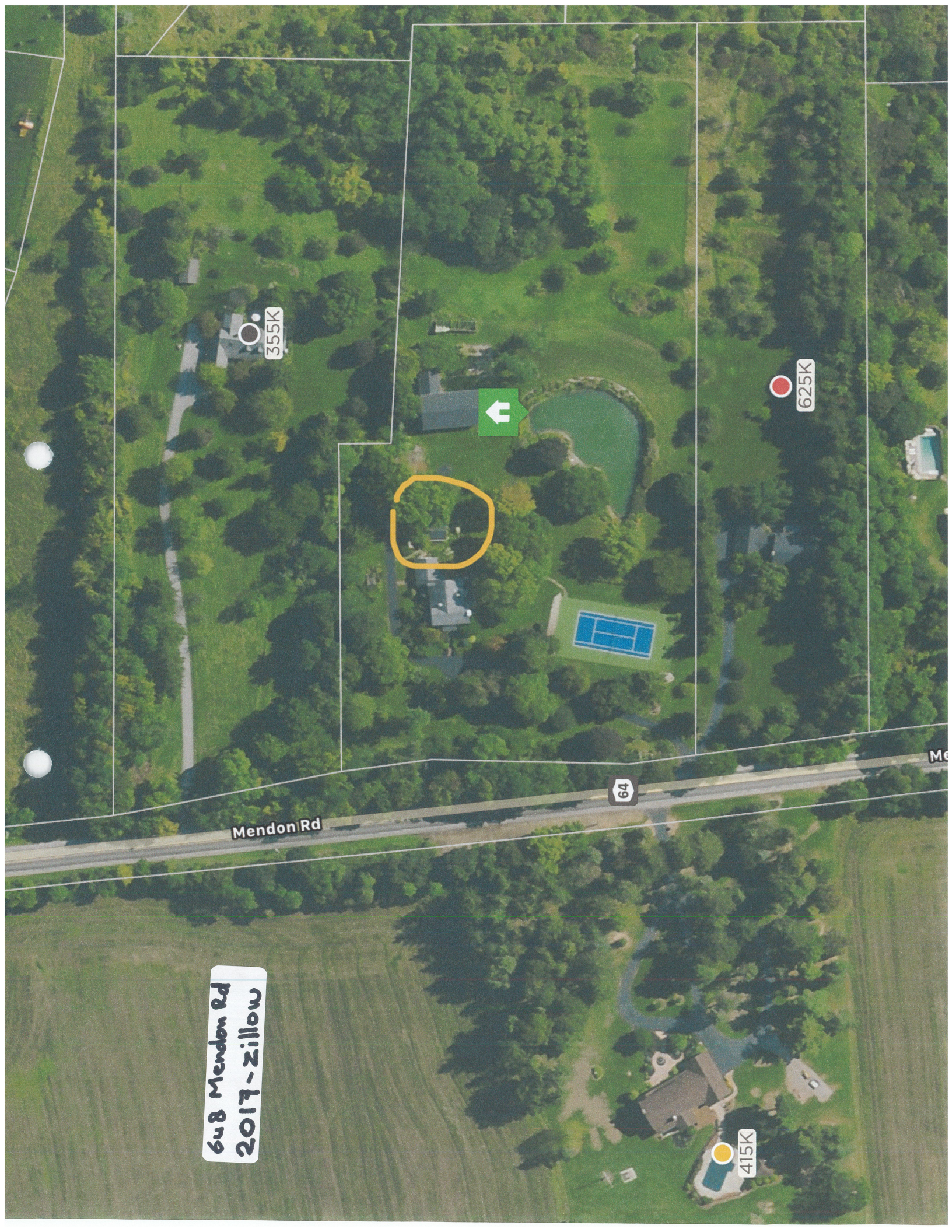
Mendon Rd

64

355K

625K

415K





# INSTRUMENT LOC

SHOWING THE LANDS

## ROBERT S. AND KATHLE

(LIBER 8020 OF DEEDS,  
BEING

# #648 MENDO

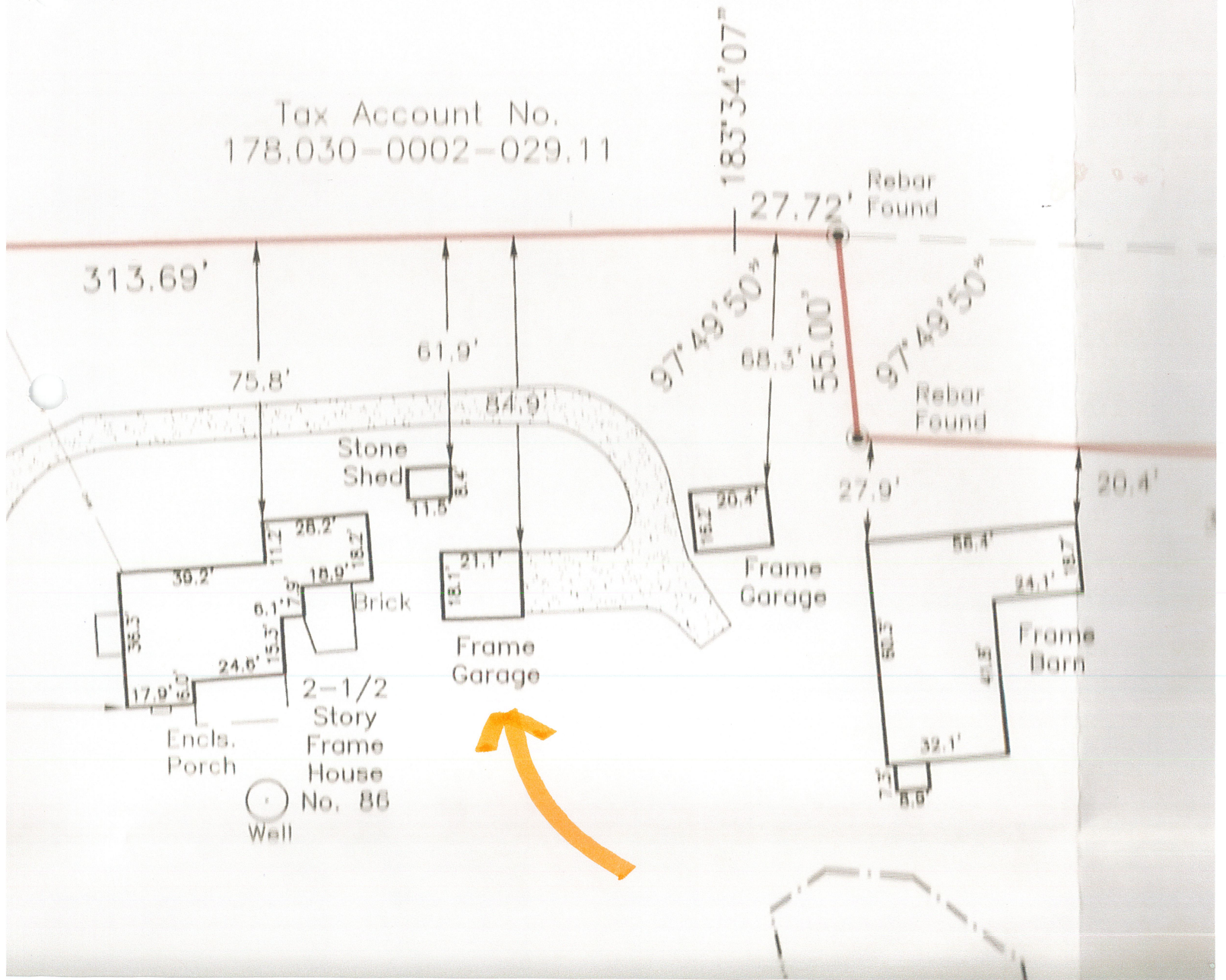
~SITUATE IN:~

PART OF LOT 6, TOWNSHIP  
TOWN OF PITTSFORD, COUNTY OF MONI

SCALE: 1" = 50' DATED: 00'

REVISED NOVEMBER 2

Tax Account No.  
178.030-0002-029.11







View to the East with foliage





View to the South-East with foliage





View to North-West  
With foliage





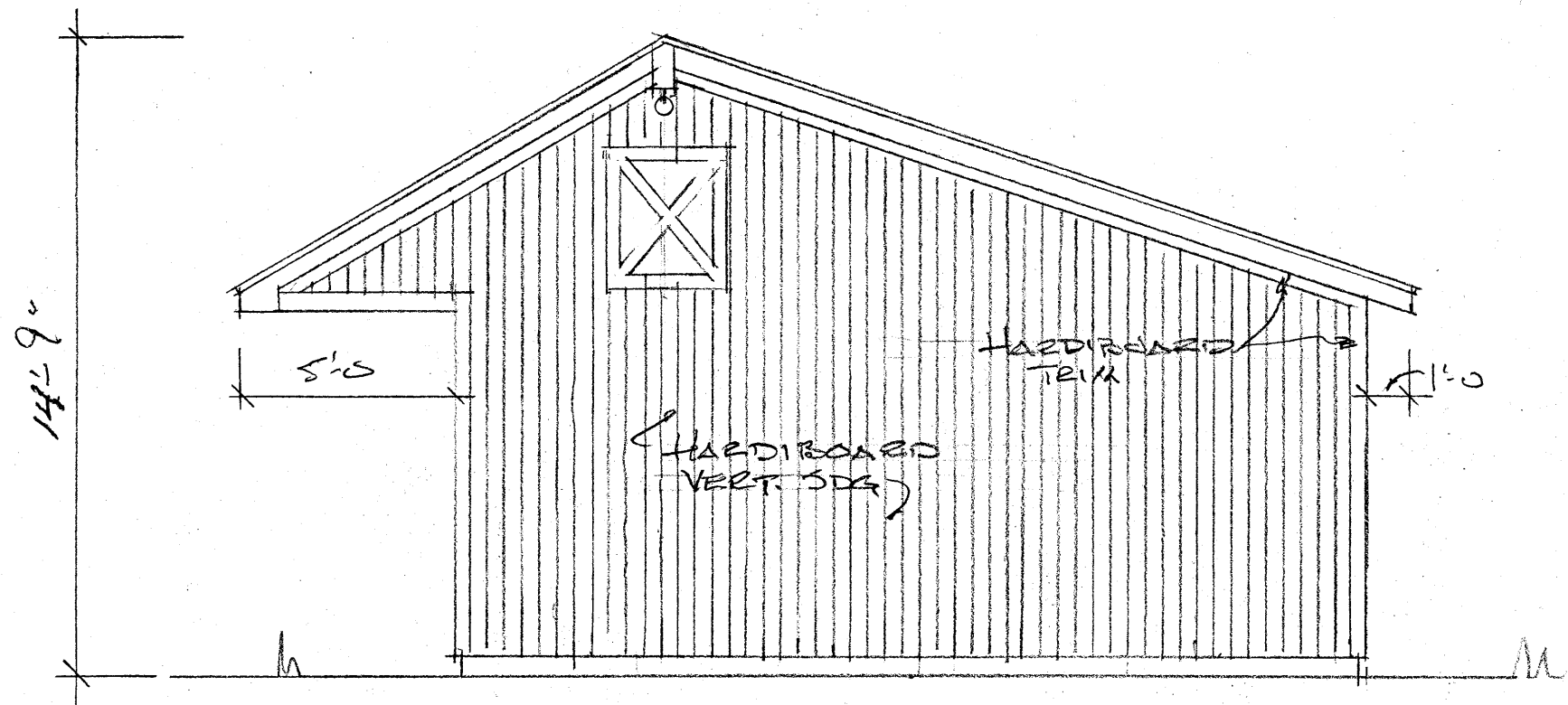
View to SouthWest  
With foliage



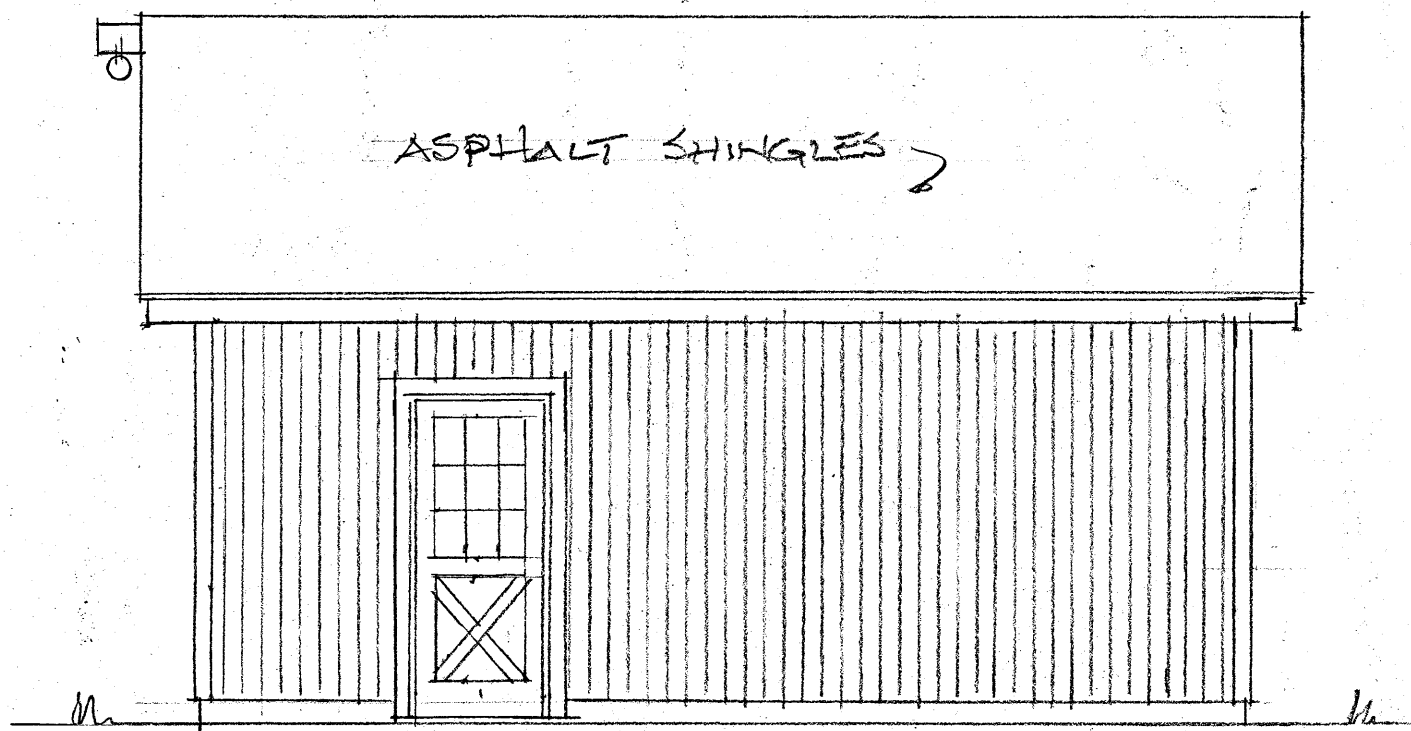


Garage for truck, to the East of proposal  
Hardieboard, garage door, faux hay door, hay lifter

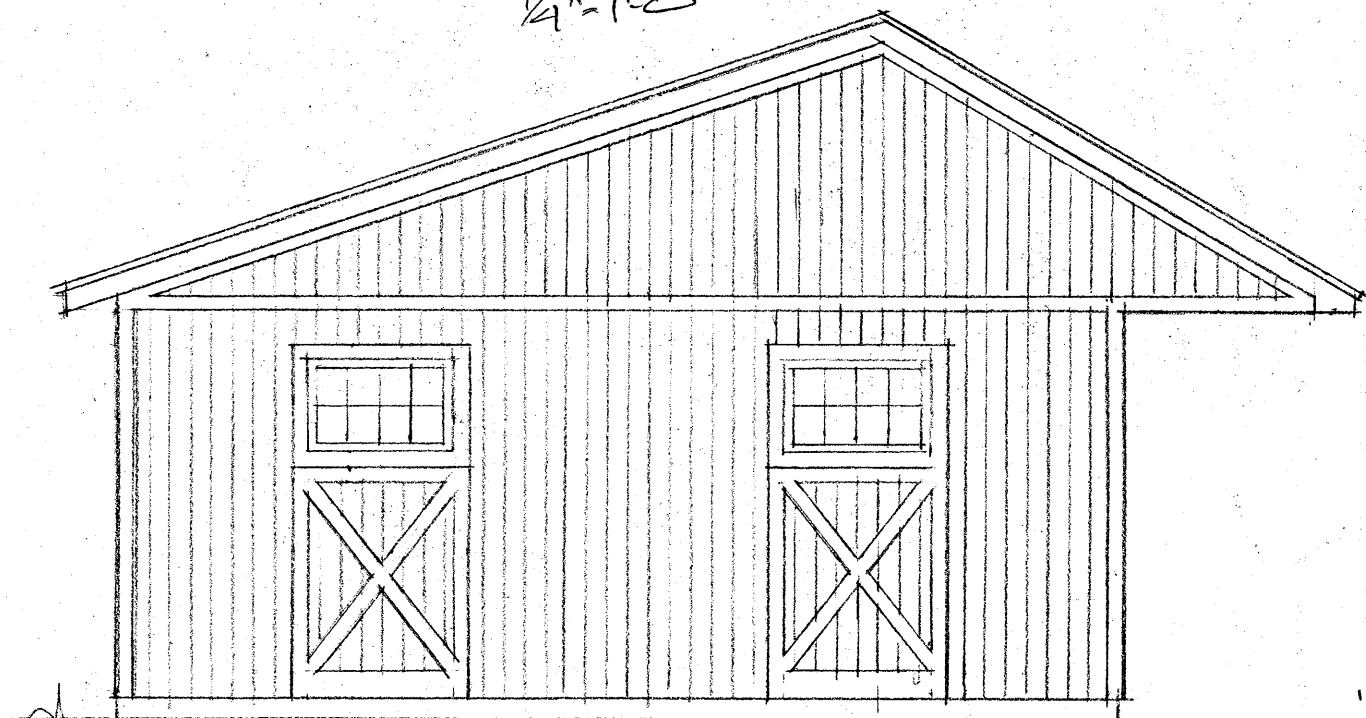




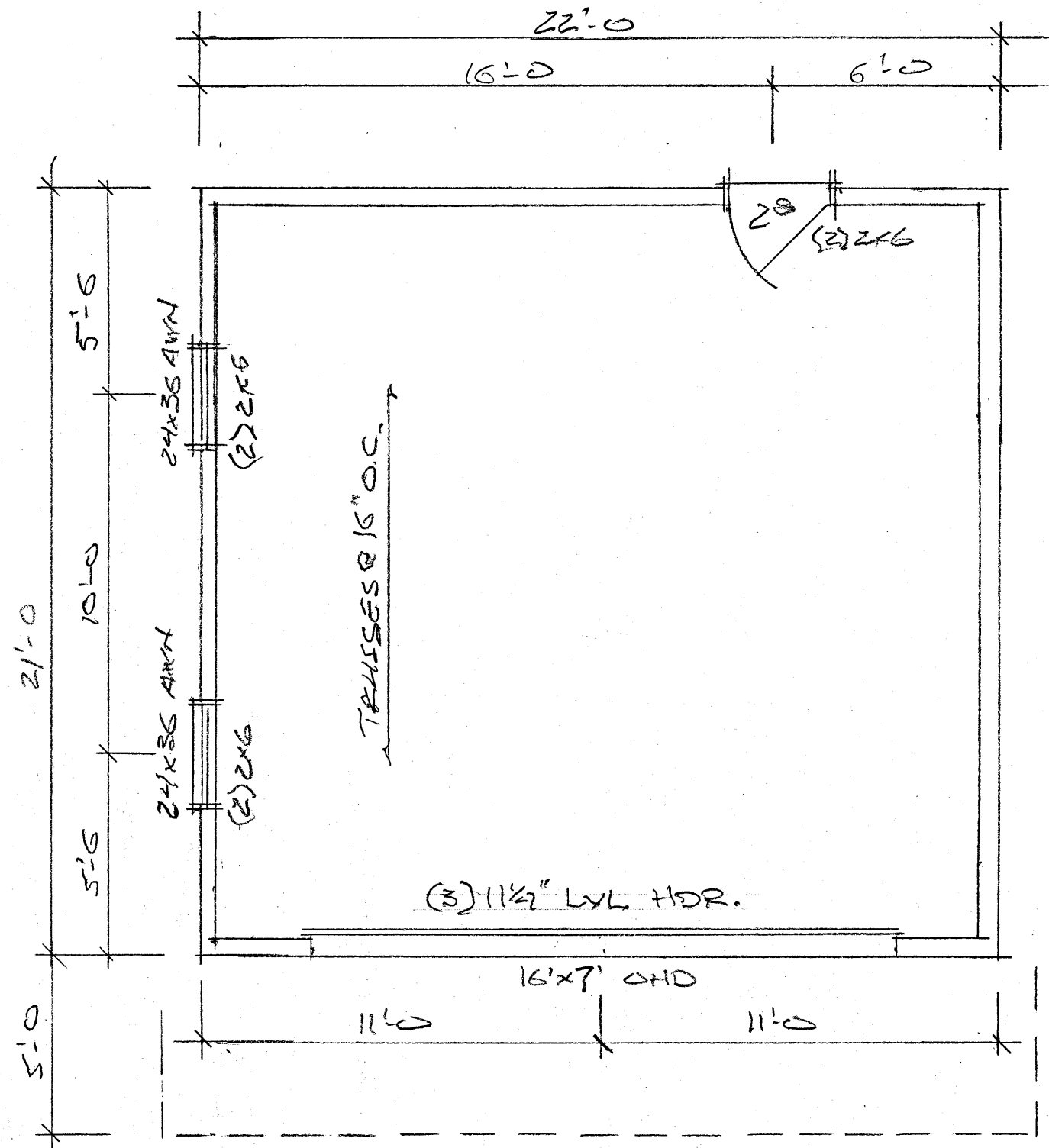
NORTH  
1/4" = 1'-0"



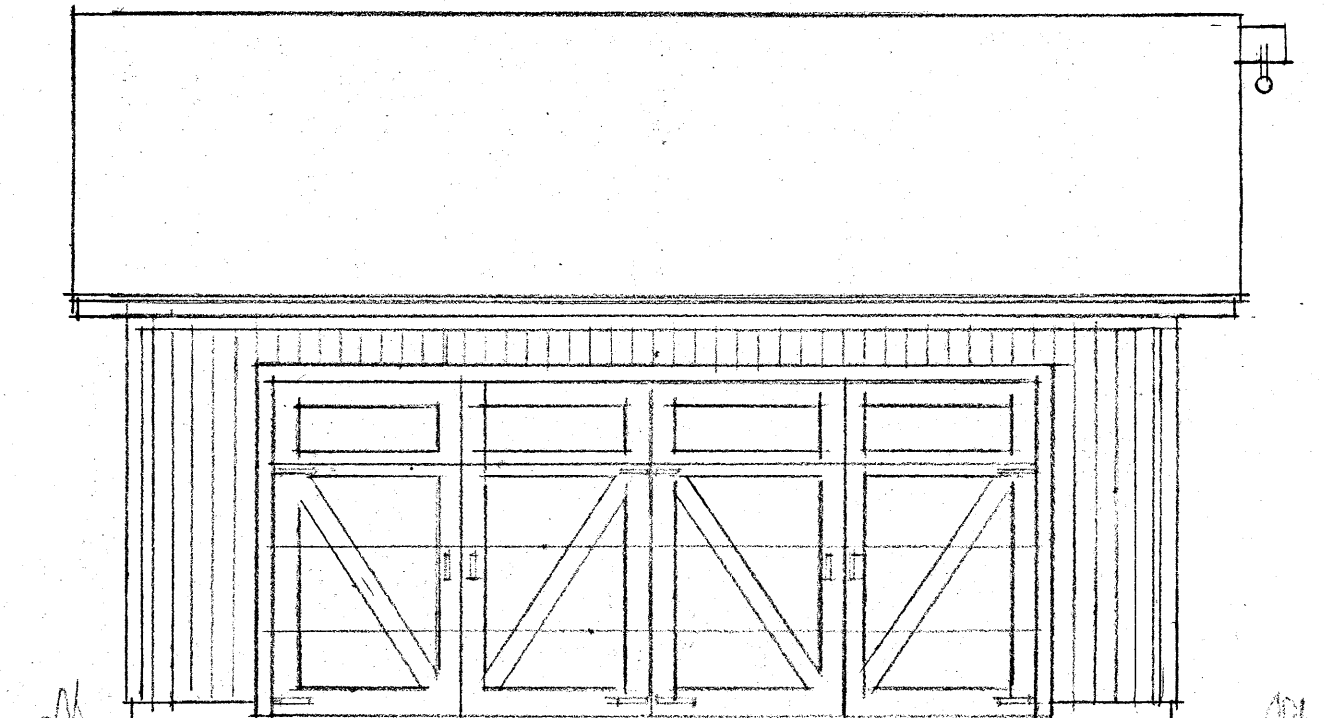
WEST  
1/4" = 1'-0"



SOUTH  
1/4" = 1'-0"



FLOOR PLAN  
1/4" = 1'-0"



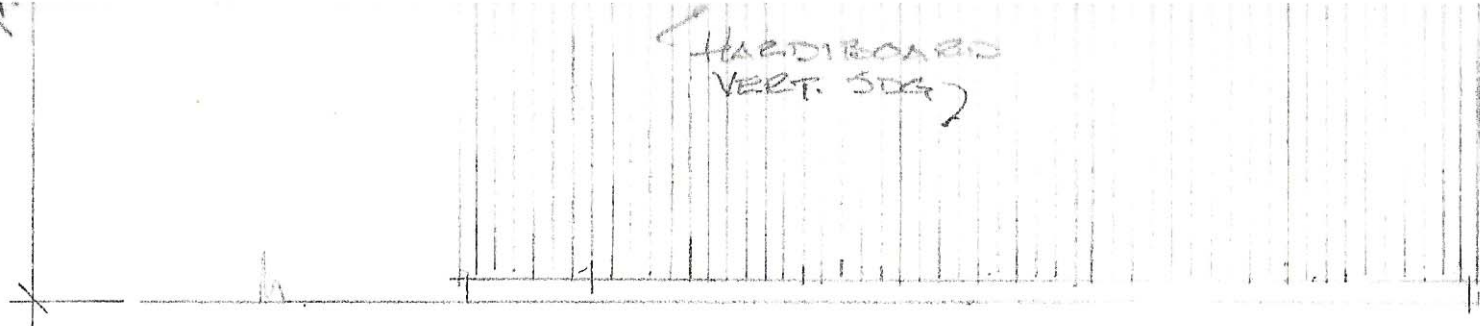
EAST  
1/4" = 1'-0"

SMELLENDEE'S GARAGE  
648 MEMPHIS ROAD  
PITTSFORD

MARK P. MULLER  
ARCHITECT

3509 Taft Road  
Bloomfield, NY 14469  
Tel 657-6905

11.26.18



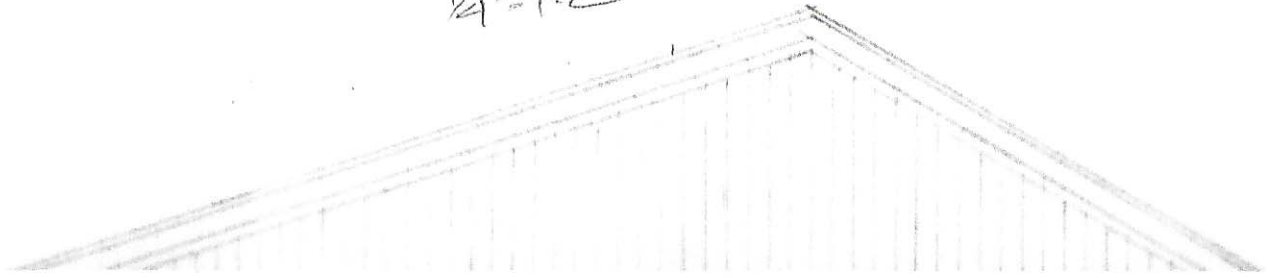
HARDIBOARD  
VERT. SDR

NORTH  
1/4" = 1'-0"



ASPHALT SHINGLES

WEST  
1/4" = 1'-0"





< Model # ST22-PR-30-6ORH Internet #205066693 >



[Share](#) [Save to Favorites](#) [Print](#)

### Steves & Sons

36 in. x 80 in. Premium 2-Panel Plank Primed White Steel Prehung Front Door w/ 36 in. Right-Hand Outswing and 6 in. Wall

★★★★★ (19) [Write a Review](#) [Questions & Answers \(16\)](#)

**\$352<sup>68</sup>**

Color/Finish: **White Primed**



Door Size (WxH) in.: **36 x 80**

[32 x 80](#)

**36 x 80**



Felluca Overhead Doors, Inc  
 1674 Norton Street  
 Rochester, NY, 14609  
 585-467-2391  
 www.fellucagaragedoors.com



Quote# 140066 Date: 6/26/2018

**Customer Contact Information:**

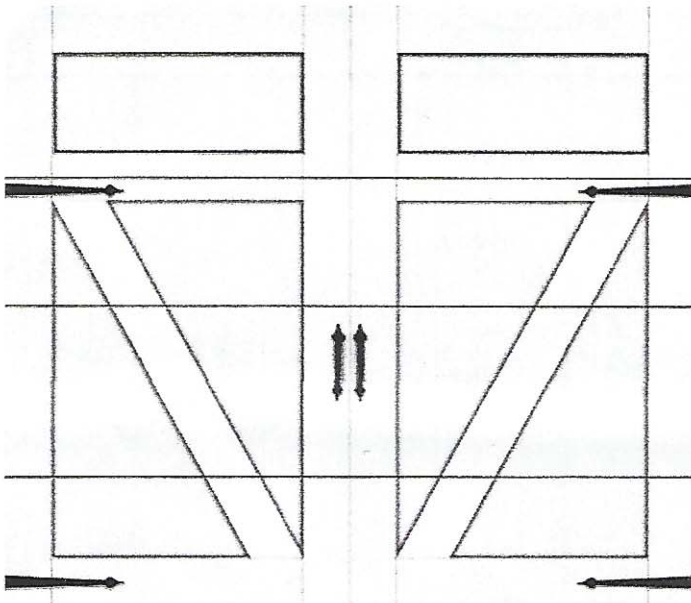
**Name:** Stephen Smeulders  
**Primary Phone:** 278-3043  
**Secondary Phone:**  
**Email Address:**  
 dave@fellucagaragedoors.com

**Sales Lead Prepared by:** Dave Lindsay

**Contact Address:**

648 Mendon Road  
 Pittsford, NY 14534  
**Install Address:**  
 648 Mendon Road  
 Pittsford, NY 14534

**Door 1**



! Product images and colors presented are for illustrative purposes only and may differ from the actual product.

**Door Description**

**Size:** 9'0" x 8'0" *Handwritten: 7'0" x 16'0"* **Quantity:** 1  
**Wind Code:** W0  
**Type:** Canyon Ridge® Collection Limited Edition Series with Intellicore®  
**Design:** CAN2-Design23  
**Construction:** 5-Layer 2" Intellicore® Insulation R-Value 20.4  
**Model:** CAN223  
**Color:** Whitewash  
**Cladding & Overlay:** Mahogany with Mahogany Overlay  
**Top Section:** TOP11 Solid  
**Glass:** Not applicable with solid top section.  
**Spring:** Coated Torsion  
**Track Size:** 2" Assembled  
**Mount Type:** Bracket  
**Track Radius:** 15  
**Handles:** Spade Lift Handle x1  
**Hinges:** Spade Strap Hinge x2  
**Step Plates:** Standard Step Plate Included x1  
**Lock:** Inside Slide Lock  
**Lock Options:** No Lock Hole (Std with no lock and inside slide lock optional on #1 & #3)  
**Other Items:** Gold Bar Upgrade  
**Vinyl Stop Mold:** WHITE

**Total: \$5228**

**Additional Items**

LiftMaster 3/4hp Opener with (2) Remote Controls,  
 Keyless Entry and Wall Station:

**Quantity: 1**

**Total: \$773.00**

*Handwritten: 82.91*

EquiCenter, Inc.  
3247 Rush Mendon Rd.  
Honeoye Falls, NY

Stable Profile







Turnkey solution found online.  
Modular Pine Board & Batten Horse Stable

Note side doors



Current sedan/compact car garage

- Mini right door is flush with right wall
- Jeep left door is flush with left wall
- Insufficient clearance to open Mini right door or Jeep left door

- Garage door is not functional
- minimal clearance with top of Jeep and garage door







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000006**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4 Sassafras Lane PITTSFORD, NY 14534

**Tax ID Number:** 179.09-1-4

**Zoning District:** RN Residential Neighborhood

**Owner:** Roland, Duane D

**Applicant:** Roland, Duane D

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a first and second floor addition. The first floor addition will be approximately 99 Sq. Ft. and will be utilized as a mud/laundry room. The second floor addition will be approximately 238 Sq. Ft. and will be a master suite located above the living room. Materials will match the existing home.

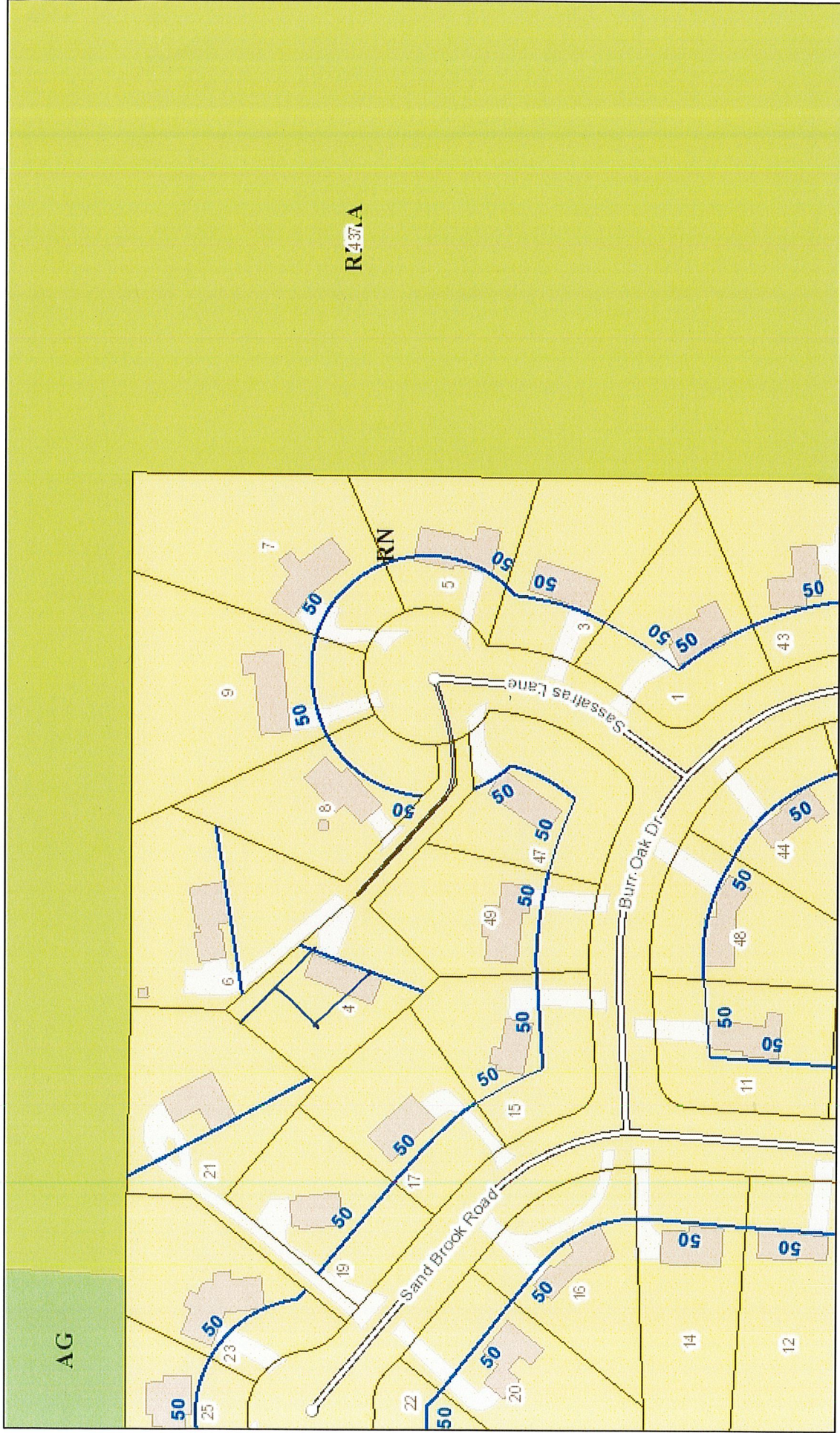
**Meeting Date:** January 24, 2019







# RN Residential Neighborhood Zoning



Printed December 7, 2018

1:2,257



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





19

17

15

11

13

9

7

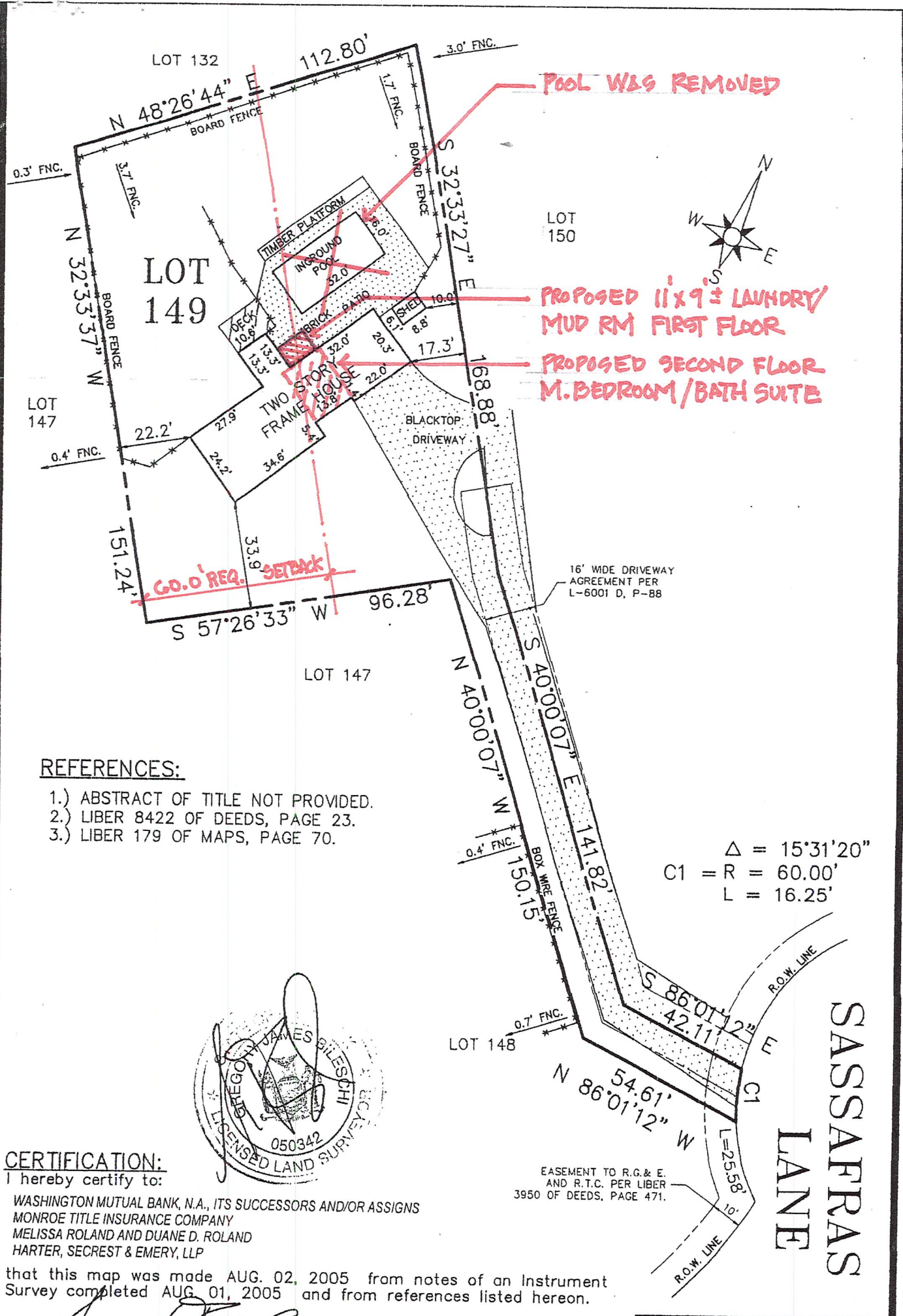
5

3

1

0





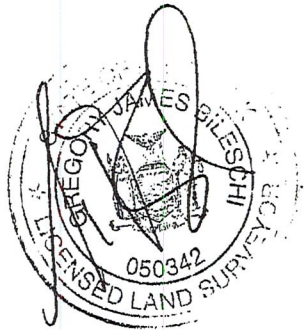
**REFERENCES:**

- 1.) ABSTRACT OF TITLE NOT PROVIDED.
- 2.) LIBER 8422 OF DEEDS, PAGE 23.
- 3.) LIBER 179 OF MAPS, PAGE 70.

$$\Delta = 15^{\circ}31'20''$$

$$C1 = R = 60.00'$$

$$L = 16.25'$$



**CERTIFICATION:**

I hereby certify to:  
 WASHINGTON MUTUAL BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS  
 MONROE TITLE INSURANCE COMPANY  
 MELISSA ROLAND AND DUANE D. ROLAND  
 HARTER, SECREST & EMERY, LLP

that this map was made AUG. 02, 2005 from notes of an Instrument Survey completed AUG. 01, 2005 and from references listed hereon.

*Gregory J. Bileschi*  
 GREGORY J. BILESCHI, N.Y.S.L.S. # 50342

NOTE: Property corners should only be set by a licensed, registered land surveyor.

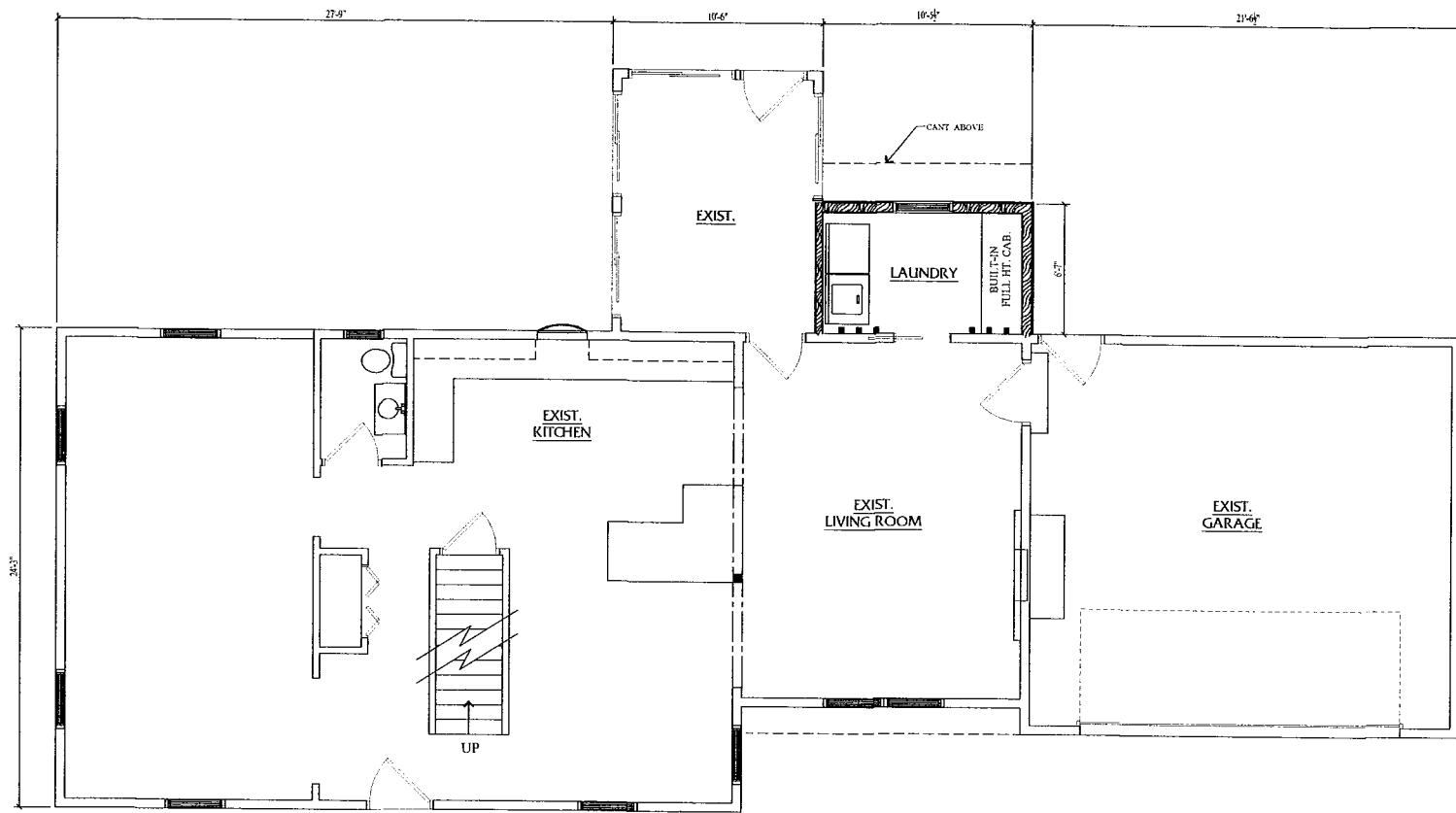
Tax Account No.  
 179.090-01-004

**TITLE:**  
 INSTRUMENT SURVEY MAP  
 4 SASSAFRAS LANE  
 BEING LOT 149 OF THE MILL VALLEY  
 ESTATES SUBDIVISION, SECTION 6,  
 SITUATE IN THE TOWN OF PITTSFORD,  
 COUNTY OF MONROE, STATE OF NEW YORK

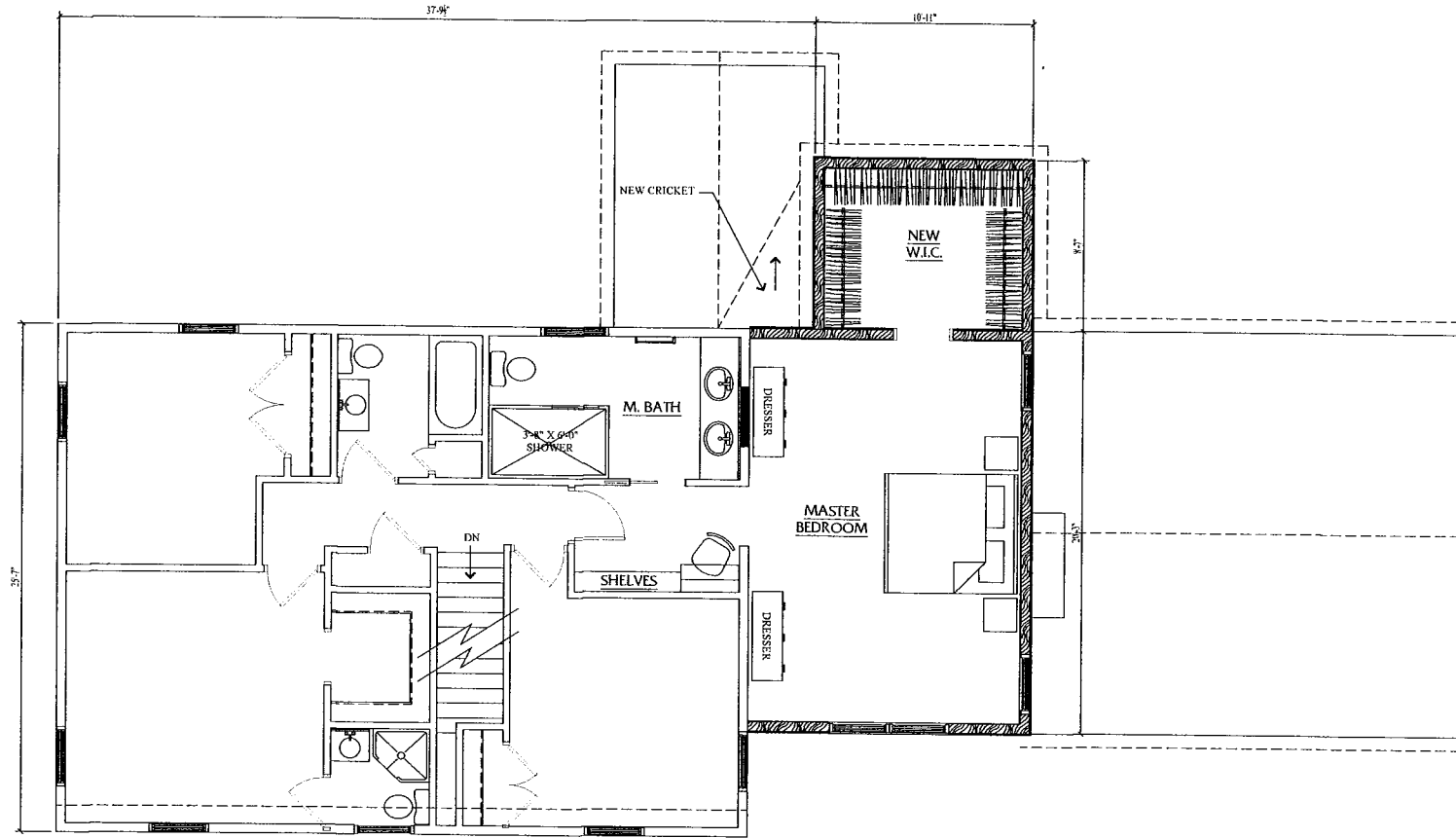
"Unauthorized alteration or addition to a survey map bearing a licensed land surveyors seal is a violation of section 7209 Subdivision 2, of the New York State Education Law."  
 "Only copies from the original of this survey marked with an original land surveyors seal shall be considered to be valid true copies."  
 "Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the New York State Association of Land Surveyors. Said certifications shall run only for the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners." This map is subject to any easements and/or encumbrances that an updated abstract of title may show. The word "certify" or "certification" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee expressed or implied. Location of subterranean improvements and those which are covered may be approximate or not shown hereon. Landscaping features are not shown hereon, unless otherwise specified.

**GB** GREGORY J. BILESCHI  
 LAND SURVEYOR  
 435 REYNOLDS ARCADE  
 ROCHESTER, NEW YORK 14614  
 (585) 454-6010 (phone)  
 (585) 454-6015 (fax)

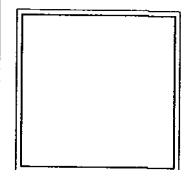
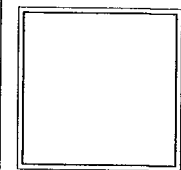
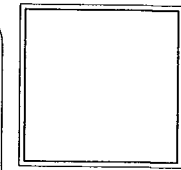
DATE: AUG. 02, 2005  
 FILE No. 050436GB  
 OWNER: FORBES  
 SCALE: 1" = 40'



**MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



**UPPER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



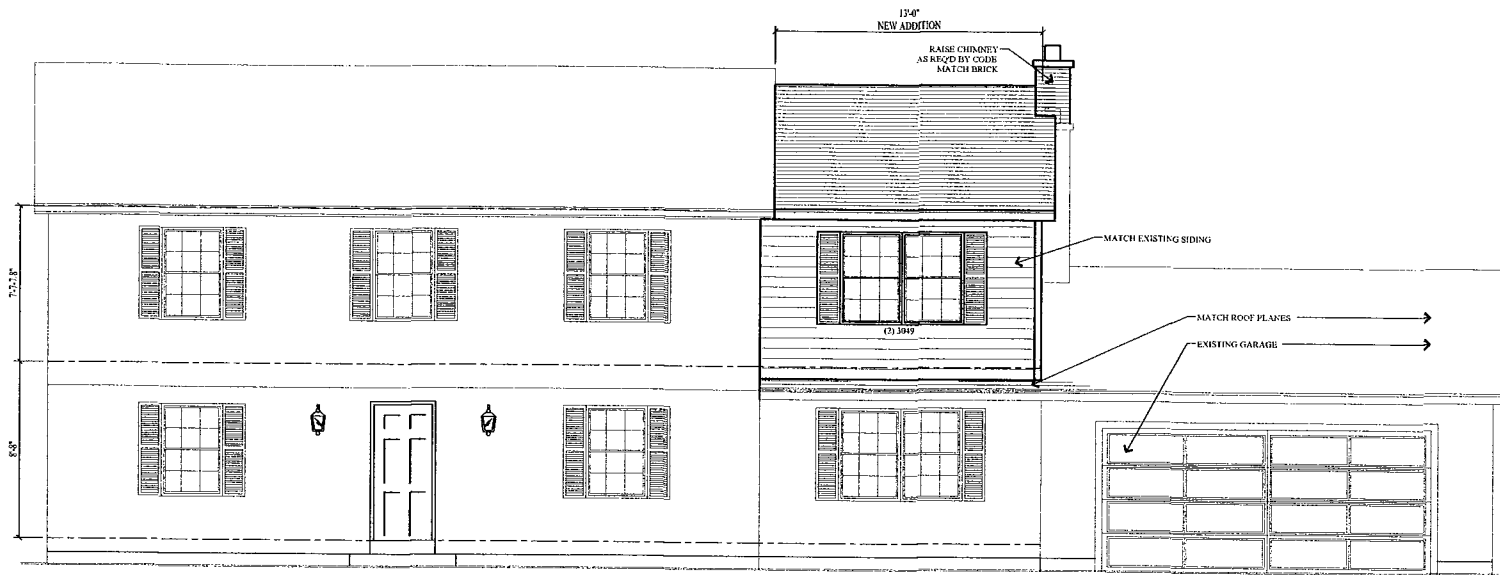
**DAVID A. WALDAREK, R.A., AIA**  
 EMAIL: [waldarekdesign@gmail.com](mailto:waldarekdesign@gmail.com) phone: 863.309.5123

PROJECT: <b>ROLAND ADDITION</b>	
CLIENT: <b>DUANE &amp; MELISSA ROLAND</b>	DATE: 12/05/18
LOCATION: <b>4 SASSAFRAS LN, PITTSFORD, NY 14534</b>	DRAWN BY: <b>KT</b>
DATE: 12/05/18	RECORD BY: <b>DW</b>
SCALE: <b>AS SHOWN</b>	JOB NO.:

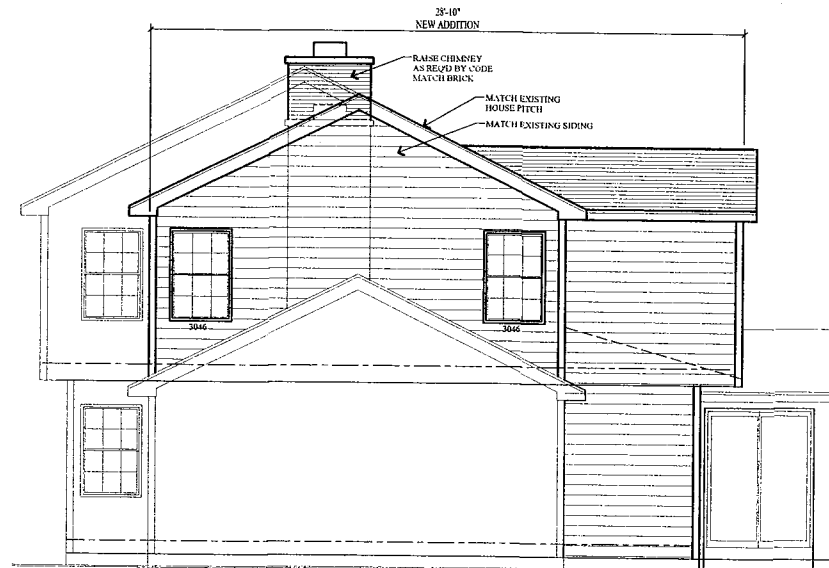
NO.	REVISIONS:

SHEET  
**A1**

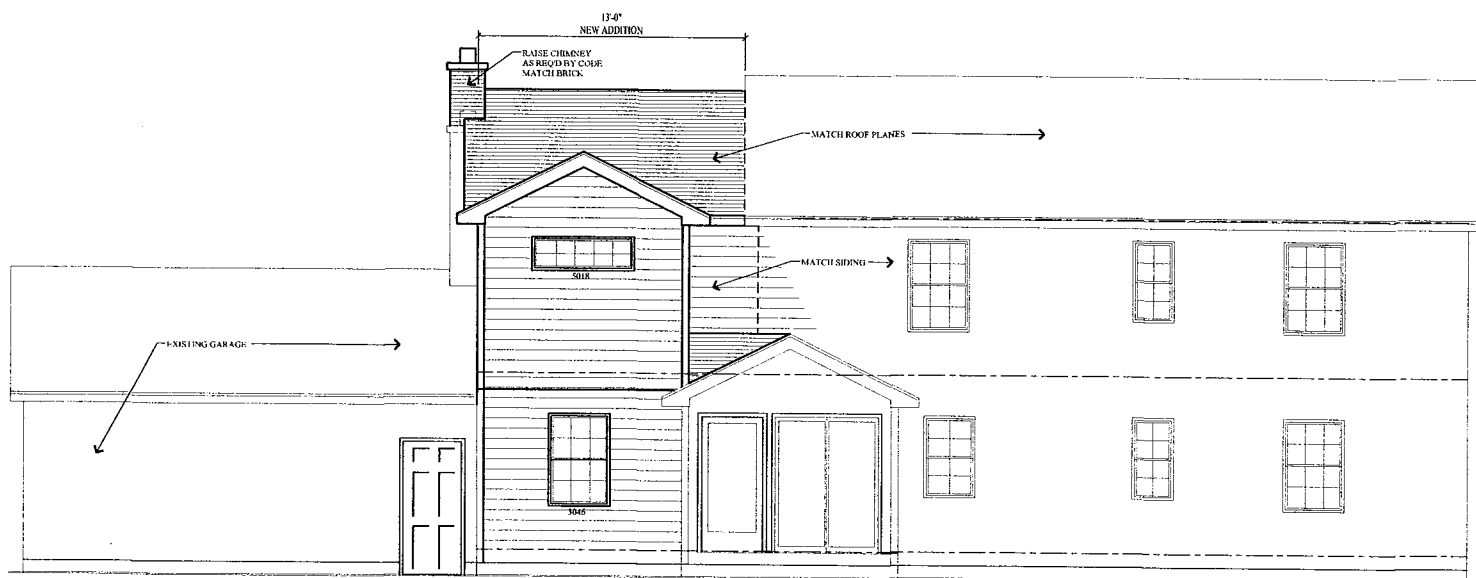
OF  
**5**



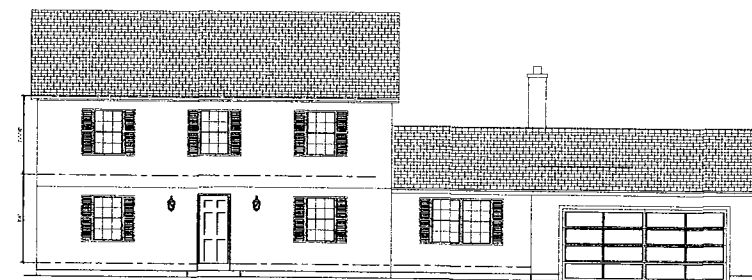
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



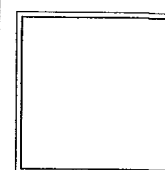
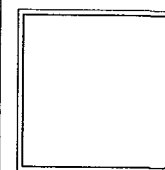
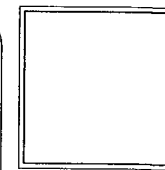
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

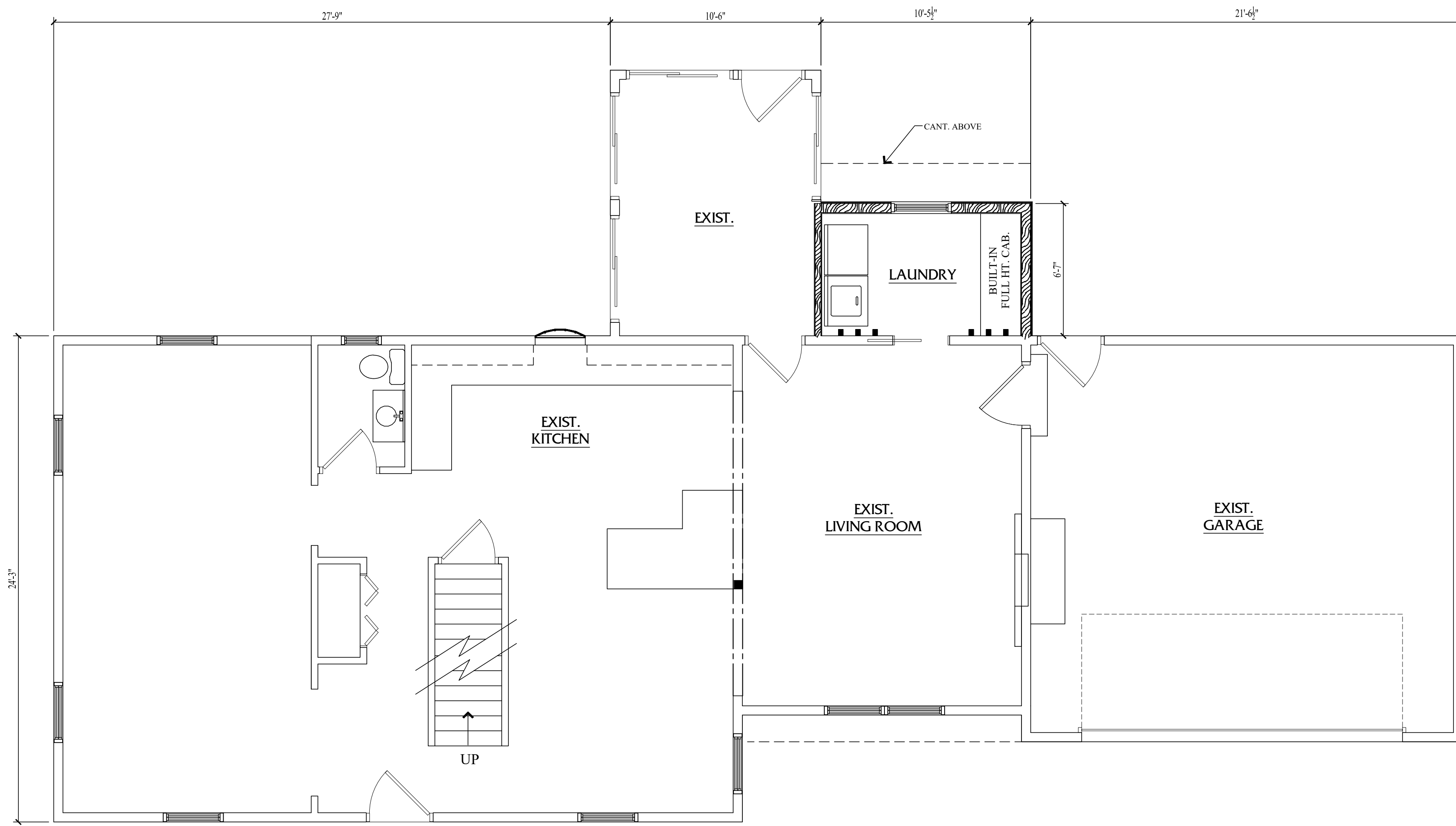



**DAVID A. WALDAREK, R.A., AIA**  
 EMAIL: waldarekda@gmail.com  
 PHONE: 863.323.5123

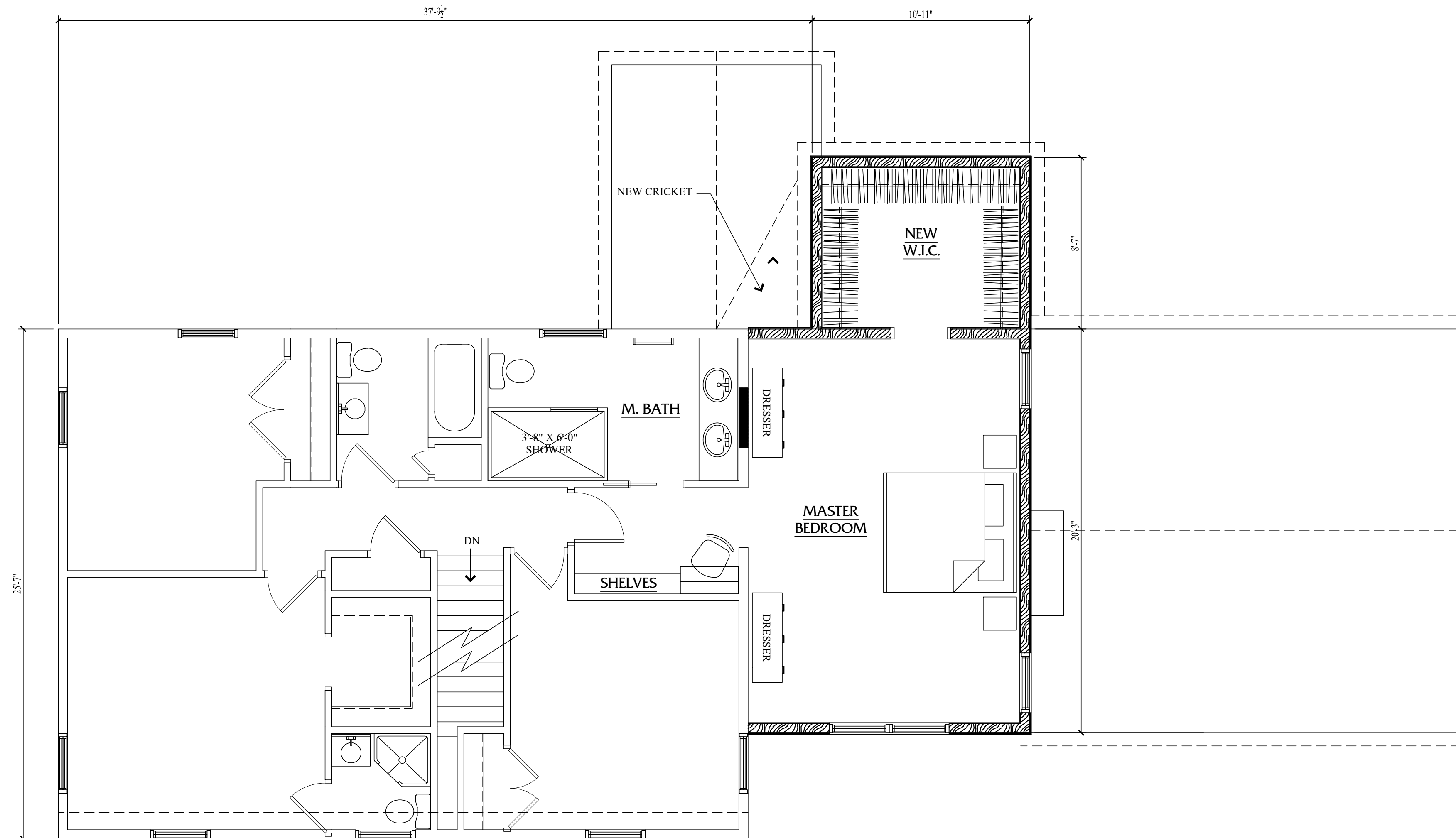
PROJECT: **ROLAND ADDITION**  
 CLIENT: **DUANE & MELISSA ROLAND**  
 LOCATION: 4 SASSAPARAS LN, PITTSFORD, NY 14534  
 DATE: 12/05/18  
 DRAWN BY: KT  
 CHECKED BY: DW


REVISIONS	DATE	BY

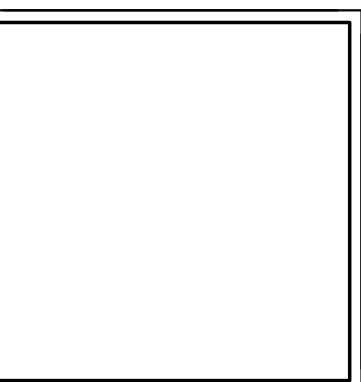
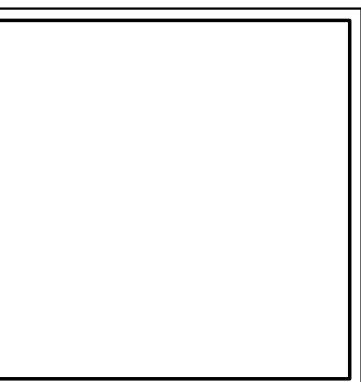
SHEET **A2** OF **5**



 **MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



 **UPPER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



**DAVID A. WALDAREK, R.A., AIA**  
phone: 866.329.5123  
EMAIL: waldredesign@gmail.com

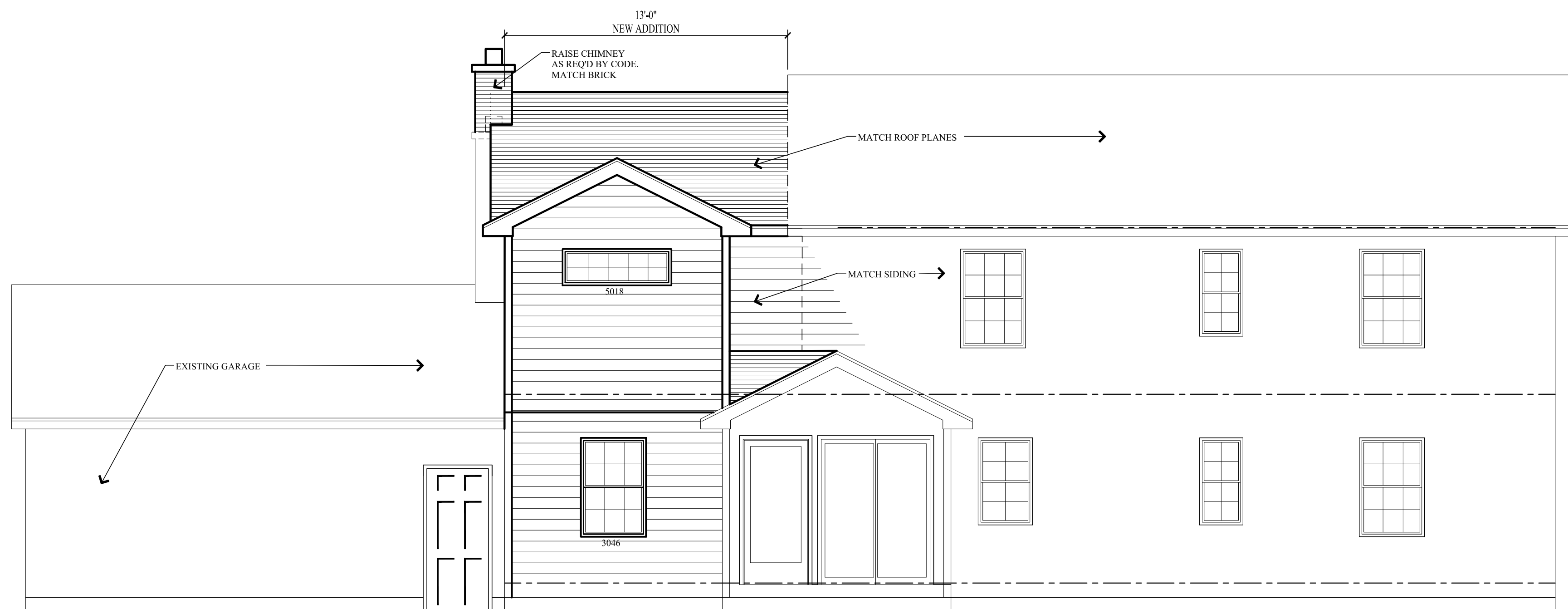
PROJECT:	<b>ROLAND ADDITION</b>		
CLIENT:	<b>DUANE &amp; MELISSA ROLAND</b>		
LOCATION:	4 SASSAFRAS LN.	PITTSFORD, NY	14534
DATE:	12/05/18	CHECKED BY:	DN
	DRAWN BY:	KT	
	JOB NO:		

REVISIONS:	DESCRIPTION:
DATE:	

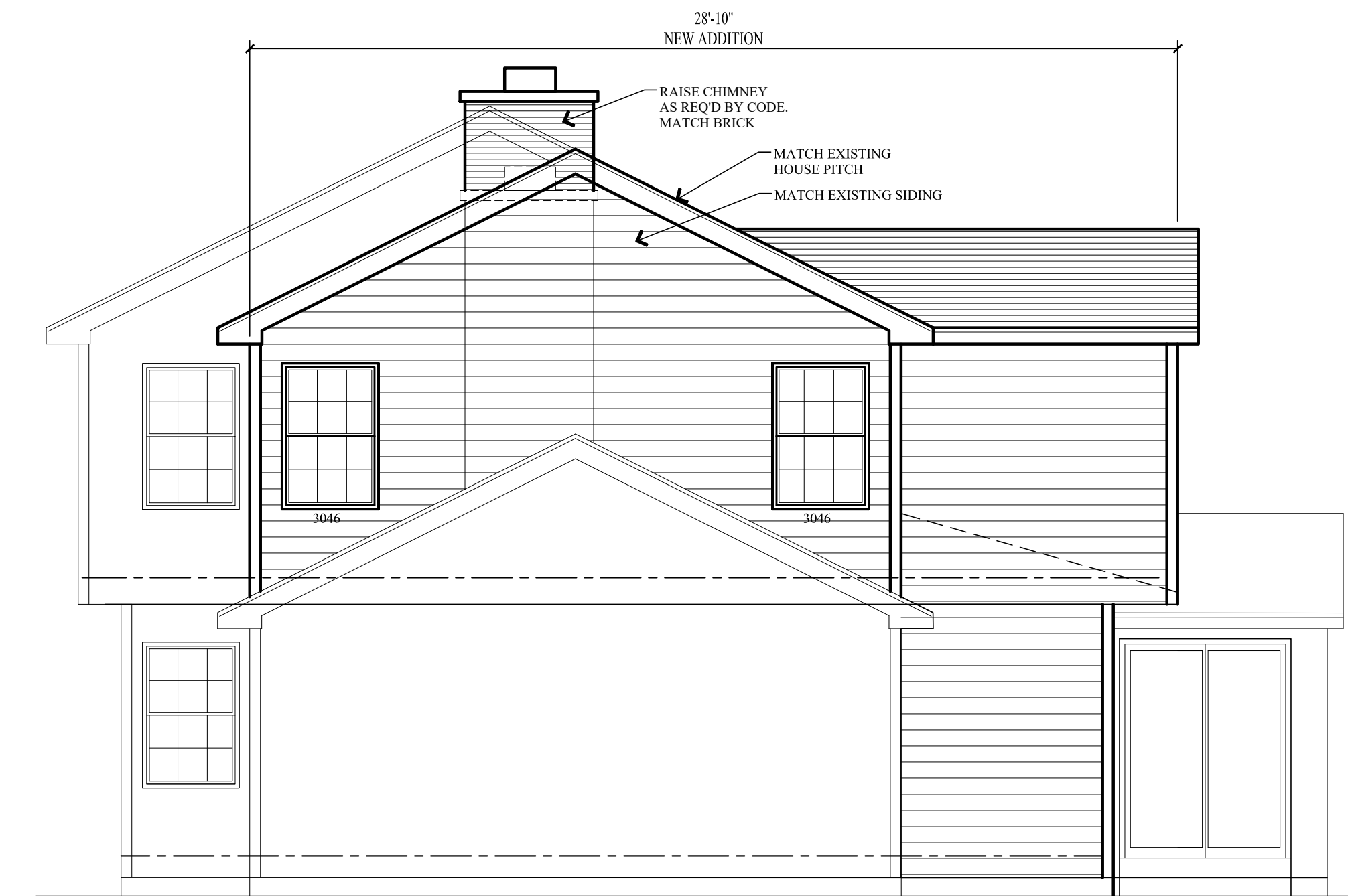




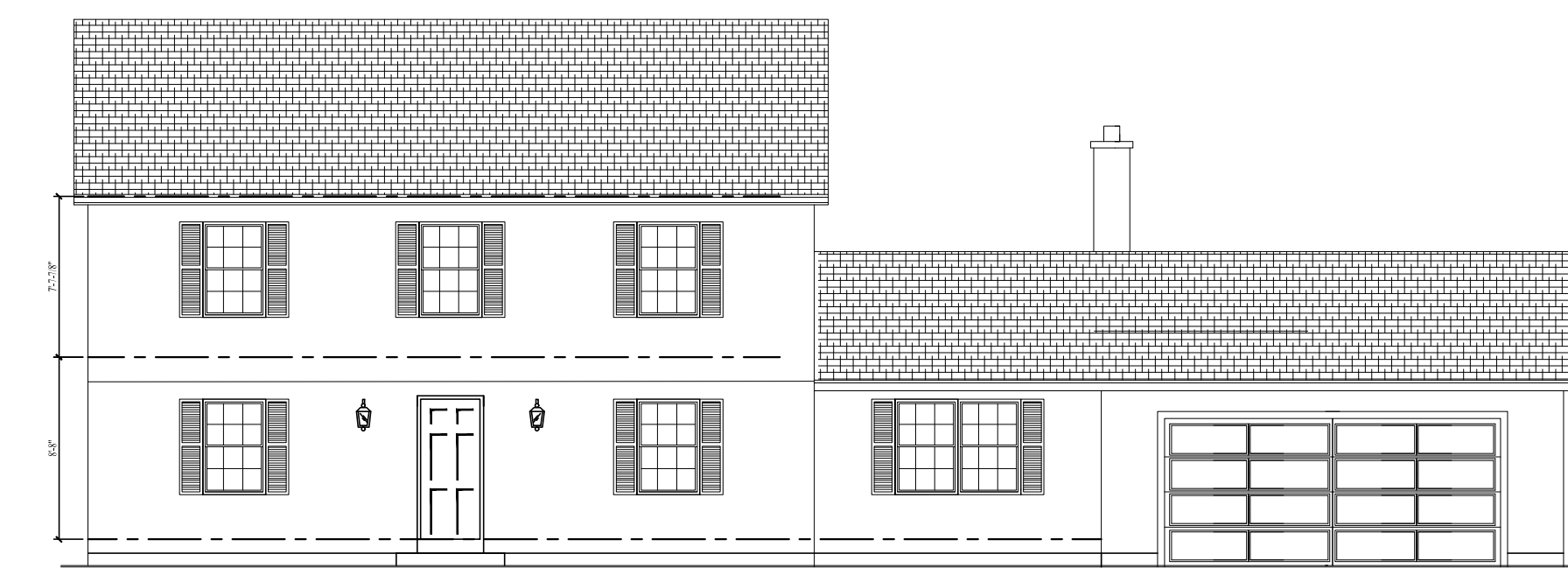
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



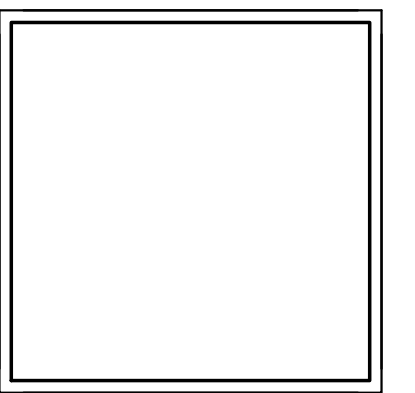
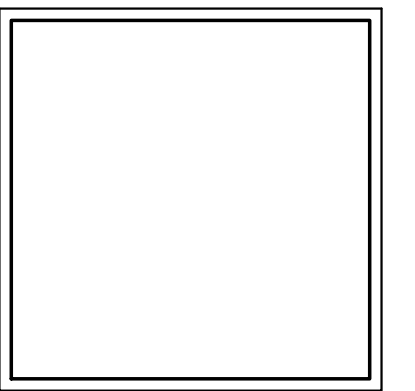
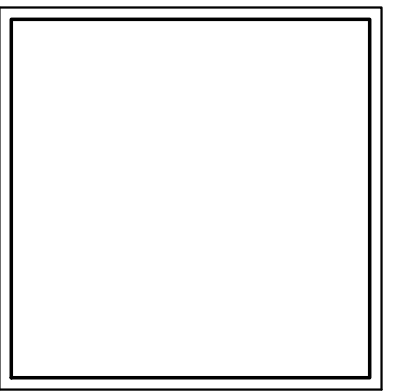
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**DAVID A. WALDAREK, R.A., AIA**  
phone: 866.329.5723  
EMAIL: waldarekdesign@gmail.com

<b>PROJECT:</b>	ROLAND ADDITION		
<b>CLIENT:</b>	DUANE & MELISSA ROLAND		
<b>LOCATION:</b>	4 SASSAFRAS LN, PITTSFORD, NY 14534		
<b>DATE:</b>	12/05/18	<b>DRAWN BY:</b>	KT
		<b>CHECKED BY:</b>	DN
		<b>JOB NO.:</b>	

REVISIONS:	DESCRIPTION:















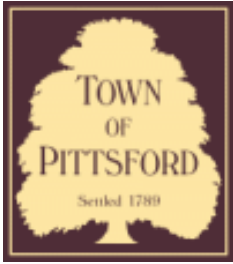






Call for more information  
800-368-6868





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000007**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 166 Mill Road PITTSFORD, NY 14534

**Tax ID Number:** 178.04-1-72

**Zoning District:** RN Residential Neighborhood

**Owner:** Brugler, Kay Utz Trust

**Applicant:** Boardwalk Design Inc.

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the renovation of the front entrance of an existing single family home. A roof dormer will be added over the existing roof with a new single front entry door and culture stone will replace siding on the door wall face.

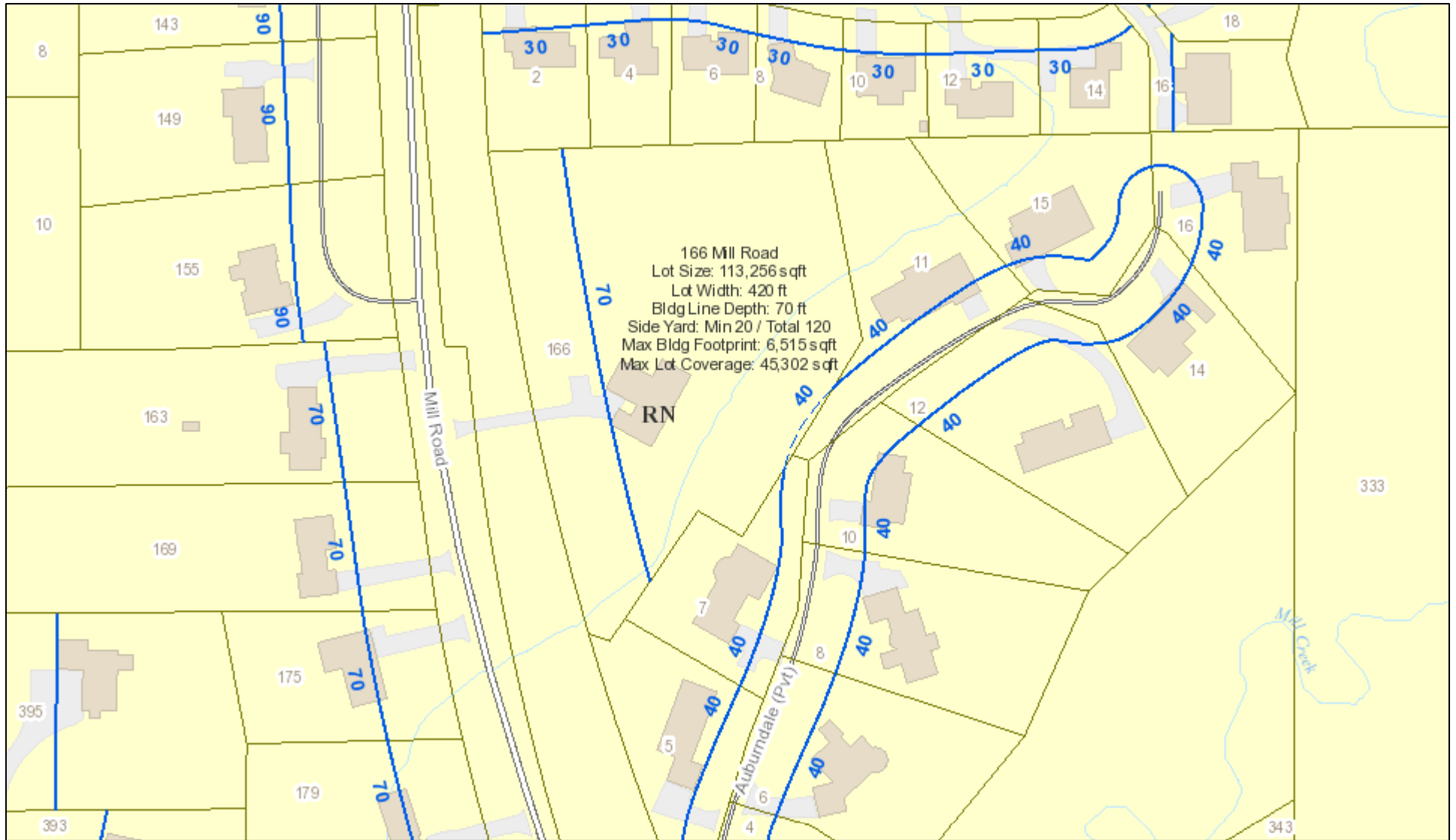
**Meeting Date:** January 24, 2019



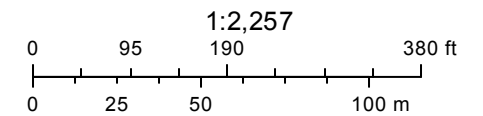




# RN Residential Neighborhood Zoning



Printed January 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

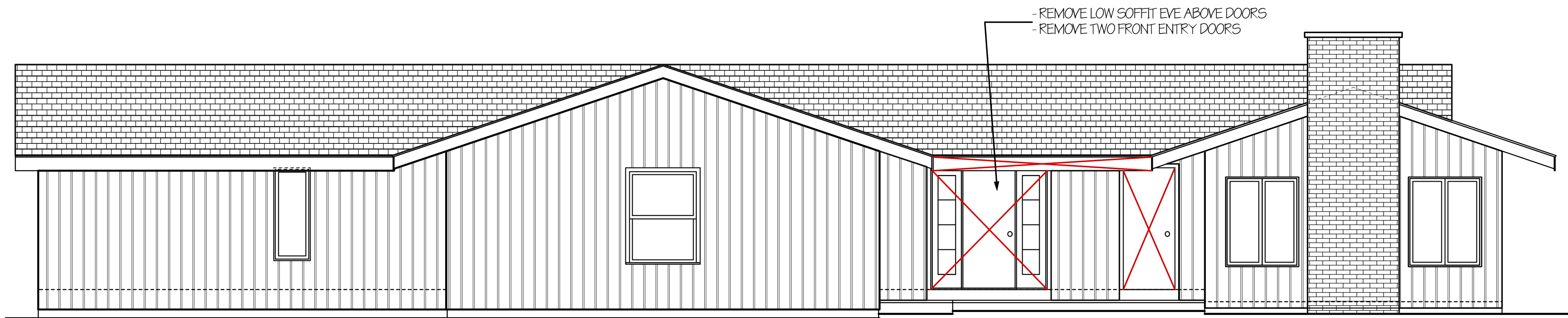




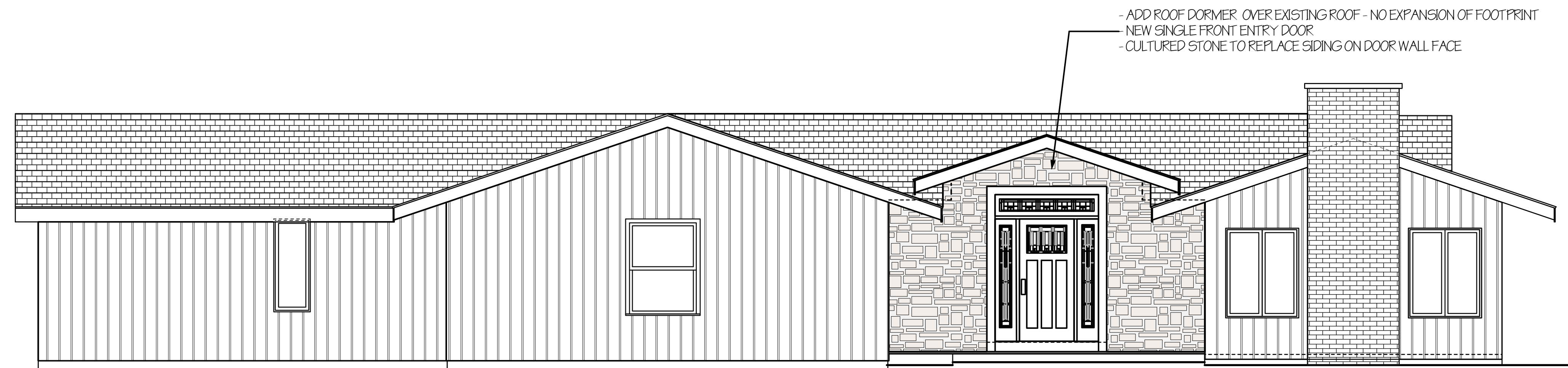








# EXISTING FRONT ELEVATION



# PROPOSED FRONT ELEVATION

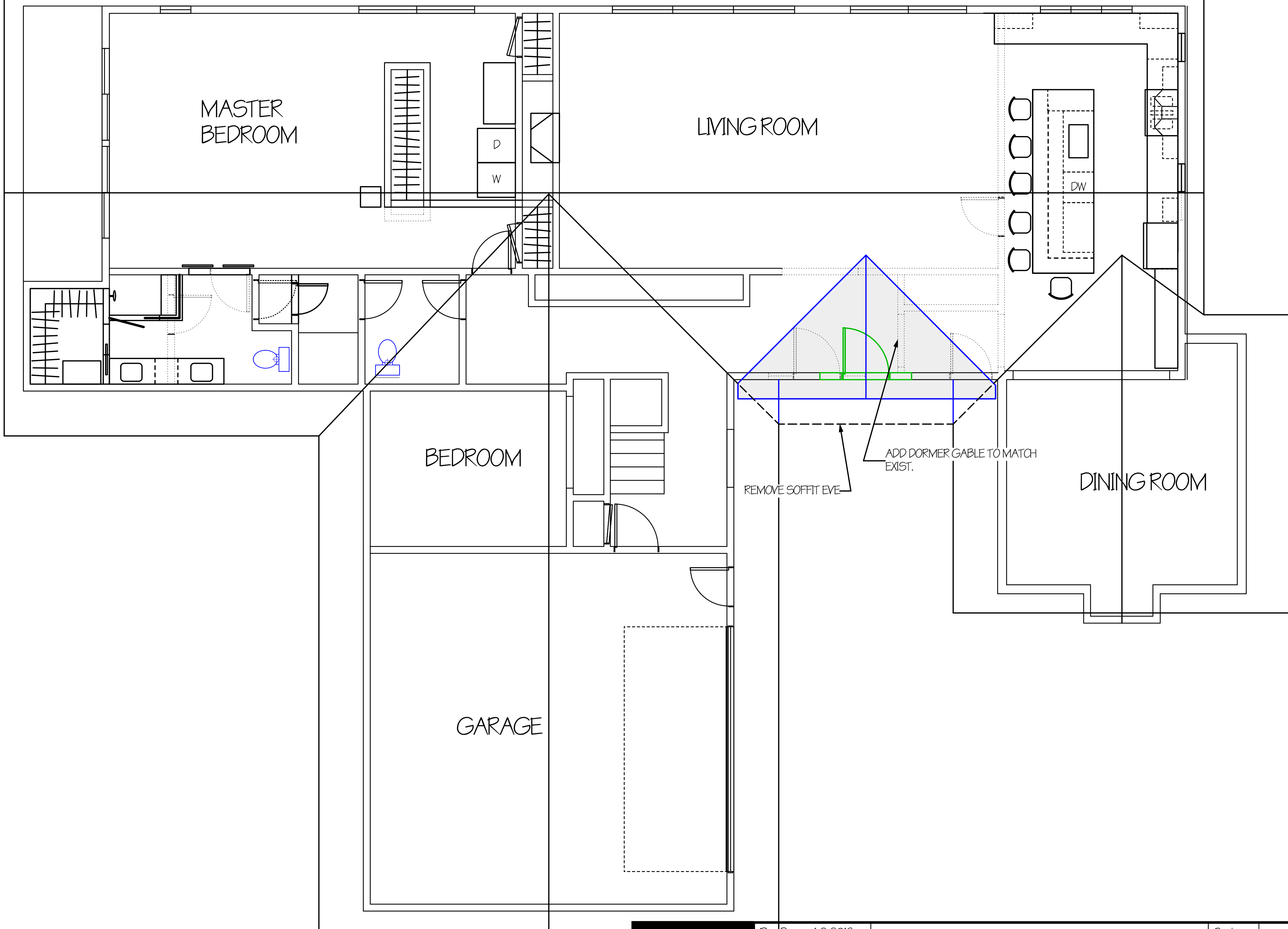


Plan Date: 1-9-2018  
 Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_

166 MILL ROAD  
 FRONT ELEVATION VIEW  
 BOARDWALK DESIGN INC 604 PITTSFORD VICTOR RD PITTSFORD, NY

Scale:	1/4"=10'
Drawn By	P. ZACHMAN





MASTER  
BEDROOM

LIVING ROOM

BEDROOM

DINING ROOM

GARAGE

REMOVE SOFFIT EAVE

ADD DORMER GABLE TO MATCH  
EXIST.



Plan Date: 1-9-2018

Revisions:

166 MILL ROAD  
PLAN VIEW- ROOF LINES

Scale: 1/4"=10"

Drawn By P. ZACHMAN

BOARDWALK DESIGN INC 604 PITTSFORD VICTOR RD PITTSFORD, NY

















# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000008**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 1 Whitestone Lane ROCHESTER, NY 14618

**Tax ID Number:** 137.20-2-21

**Zoning District:** RN Residential Neighborhood

**Owner:** Brodhead, Emily H

**Applicant:** Brodhead, Emily H

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a two story addition. Two story addition will be approximately 211 Sq. Ft. on the first floor and 205 Sq. Ft. on the second floor. The addition will be located to rear of the house and all exterior finishes/colors will match existing home.

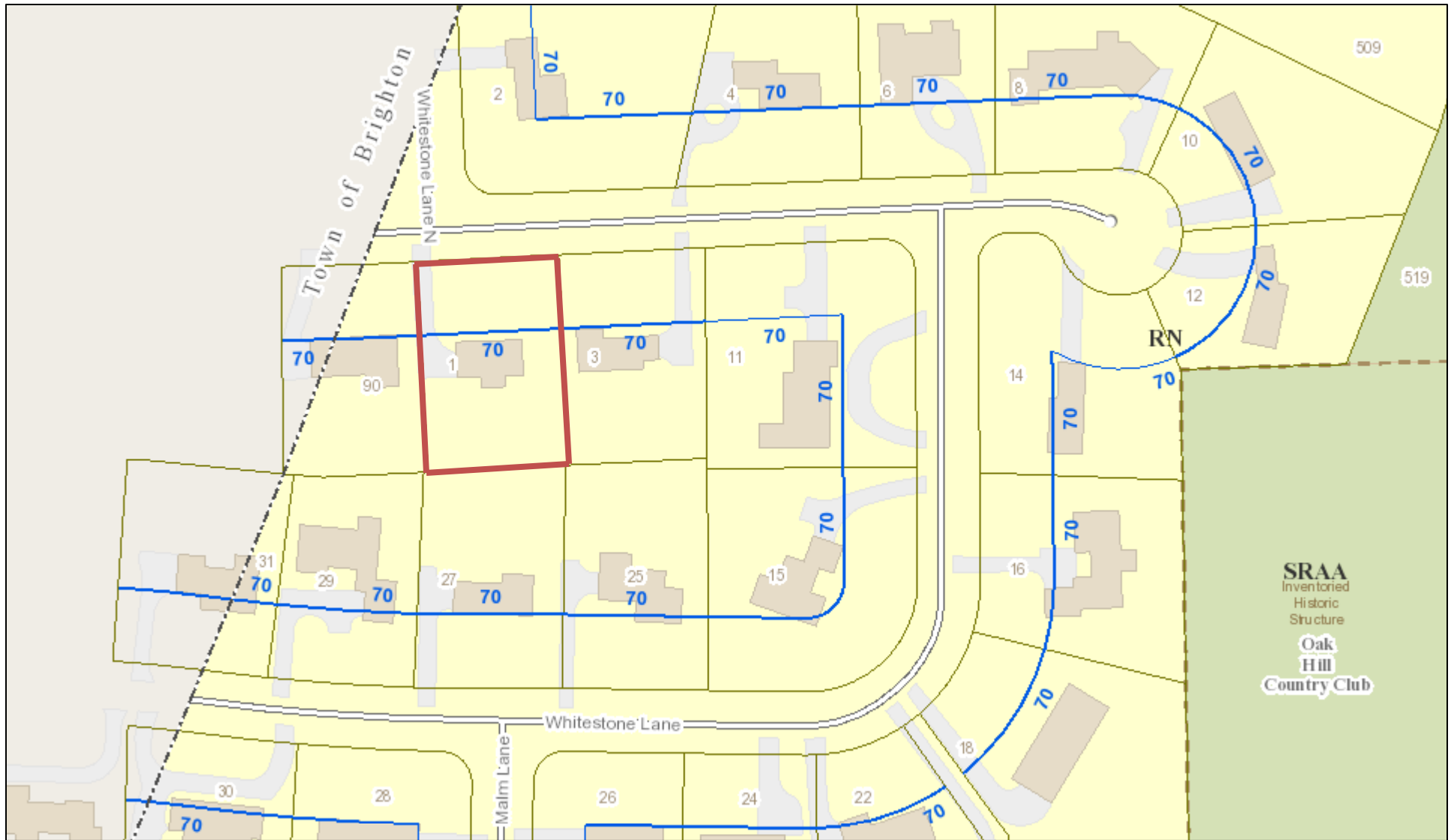
**Meeting Date:** January 24, 2019



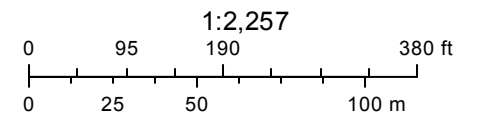




# RN Residential Neighborhood Zoning



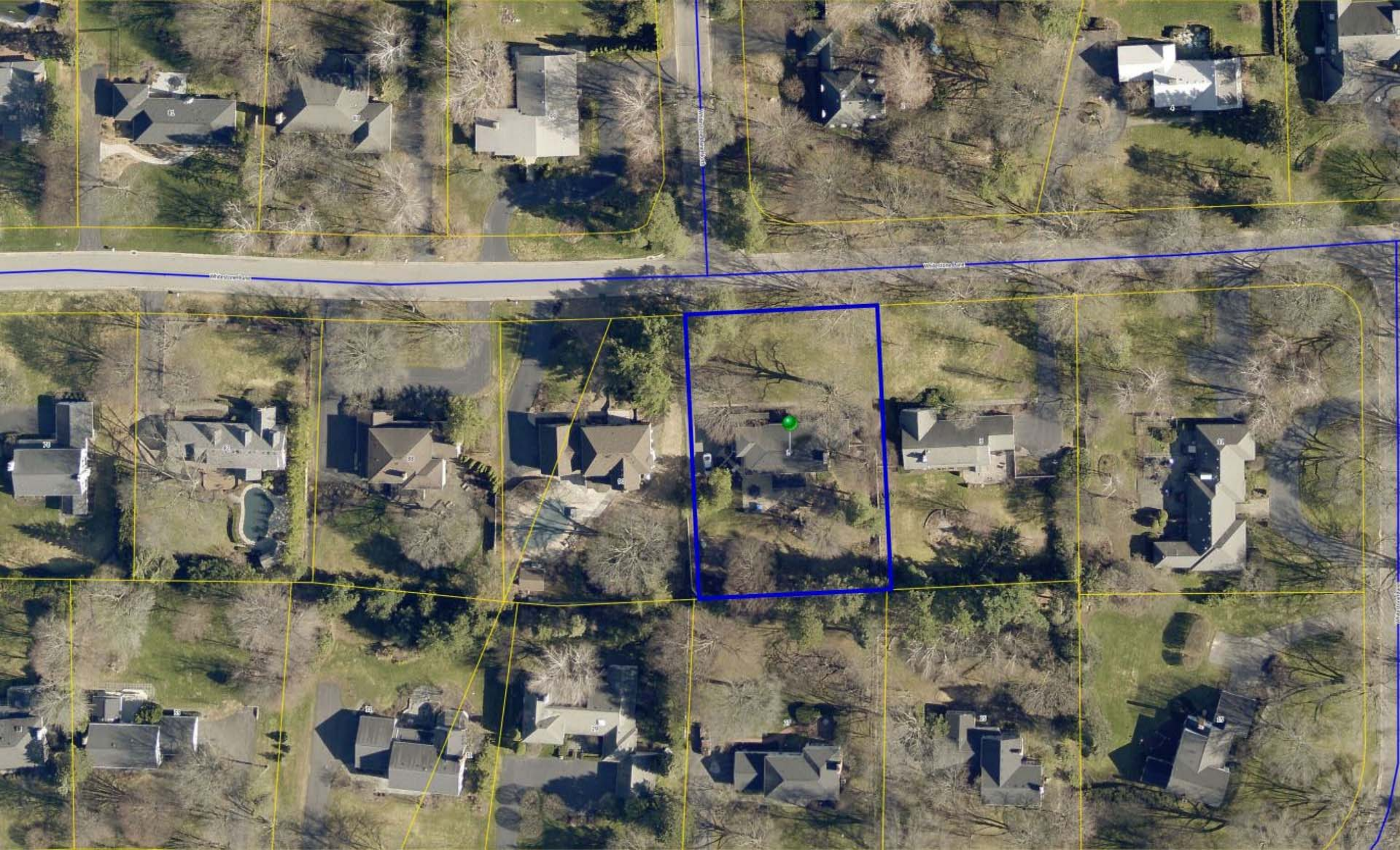
Printed January 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





1827 Pine Hill

1827 Pine Hill

1827 Pine Hill

1827 Pine Hill





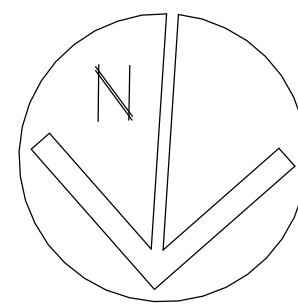
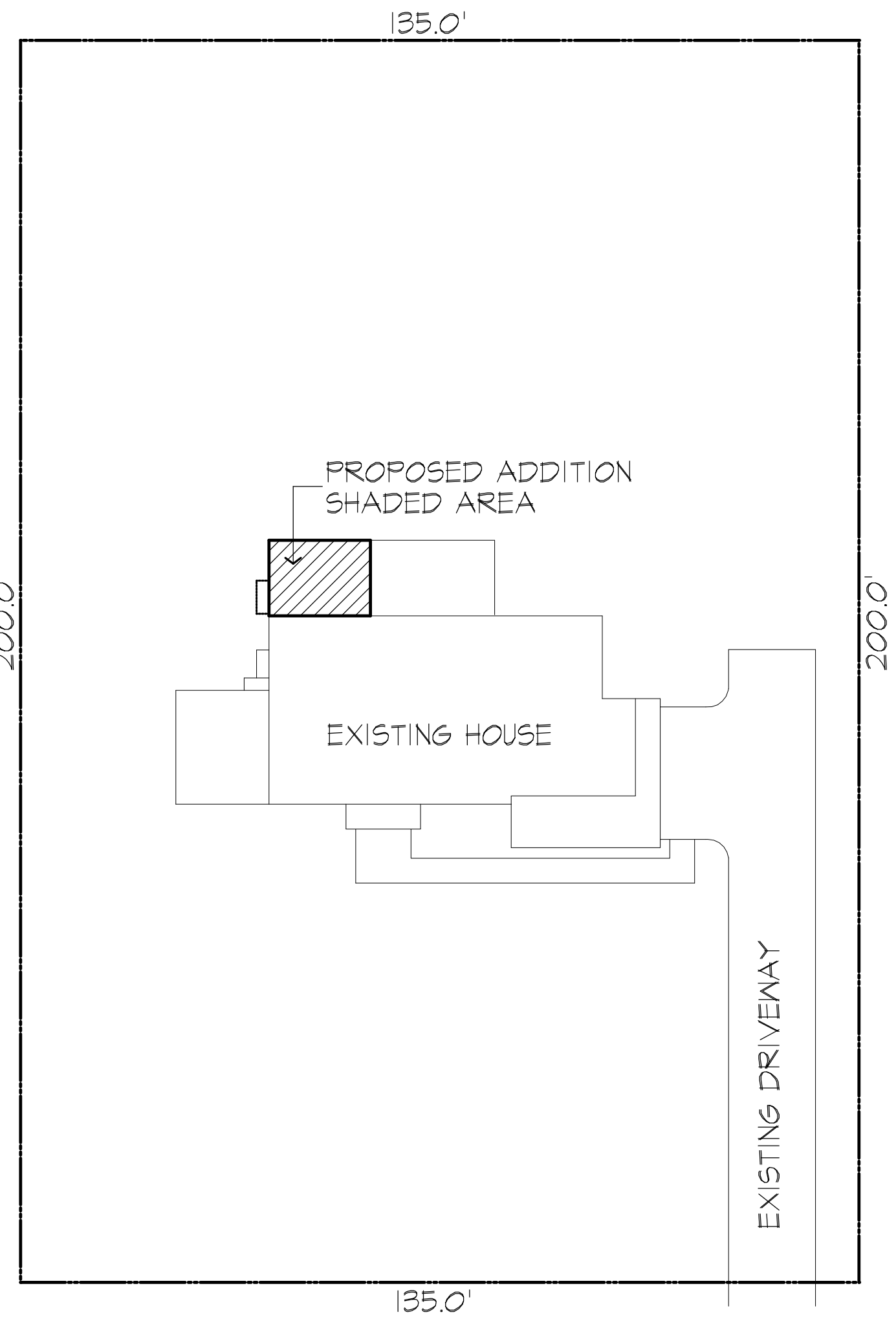






# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDINGS/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A62. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-86. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (F<sub>B</sub>) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 103.8 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL. OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DENISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



## PLOT PLAN

SCALE: 1"=20'

\* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

# RENOVATION/ADDITION TO RESIDENCE

## CHRIS & EMILY BRODHEAD

1 WHITESTONE LANE PITTSFORD, NY 14618

# DRAWING INDEX

1	TITLE PAGE
2	EXISTING ELEVATIONS
3	PROPOSED ELEVATIONS
4	PROPOSED 1ST FLOOR PLAN
5	PROPOSED 2ND FLOOR PLAN

## ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.32	.30
2. CEILING R-FACTOR	44	44
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND J5T5
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30

## 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1102.4.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SHUT-OFF THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1102.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.6.1
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 40"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - I
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1

**PATRICK J. MORABITO**  
A.I.A.  
**ARCHITECT**  
P.C.

55 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.pjmarchitect.com

### NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.  
NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2016  
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

**PROJECT:**  
RENOVATION TO RESIDENCE  
1 WHITESTONE LANE  
PITTSFORD, NY 14618

### CLIENT:

MM BRODHEAD

### DRAWING:

TITLE PAGE

### DRAWN:

PM/MV

### CHECKED:

PM

### DATE:

DECEMBER 2016

### SCALE:

1/4"=1'-0"

### JOB NO.:

16MXXX

### SHEET:

1

OF 5 SHEETS







REAR ELEVATION / EXISTING



RIGHT SIDE ELEVATION



LEFT ELEVATION / EXISTING

**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**55 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**  
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.  
 ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.  
 THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.  
 UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.  
 COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

**PROJECT:**  
 RENOVATION TO RESIDENCE  
 1 WHITESTONE LANE  
 PITTSFORD, NY 14618

**CLIENT:**  
 M/M BRODHEAD

**DRAWING:**  
 ELEVATIONS- EXISTING

**DRAWN:** PM/M  
**CHECKED:** FM

**DATE:** DECEMBER 2018

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18XXXX

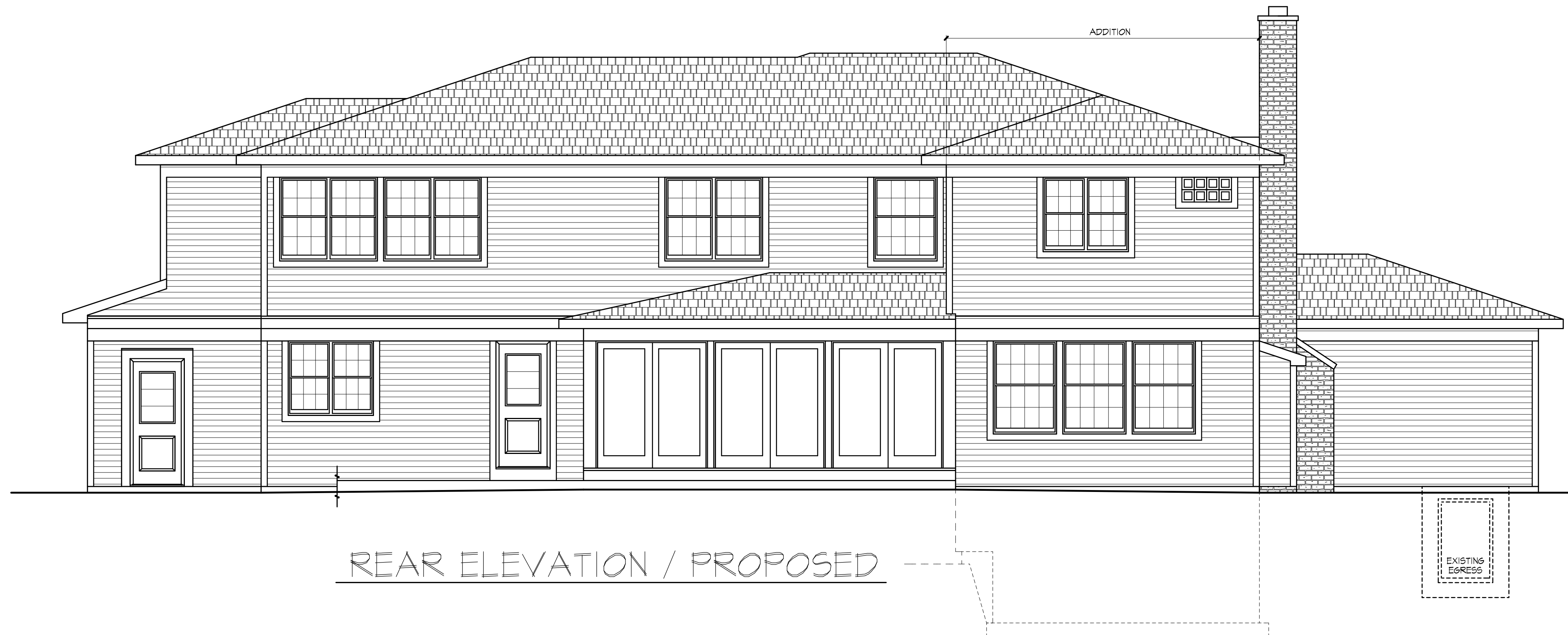
**SHEET:**

**2**

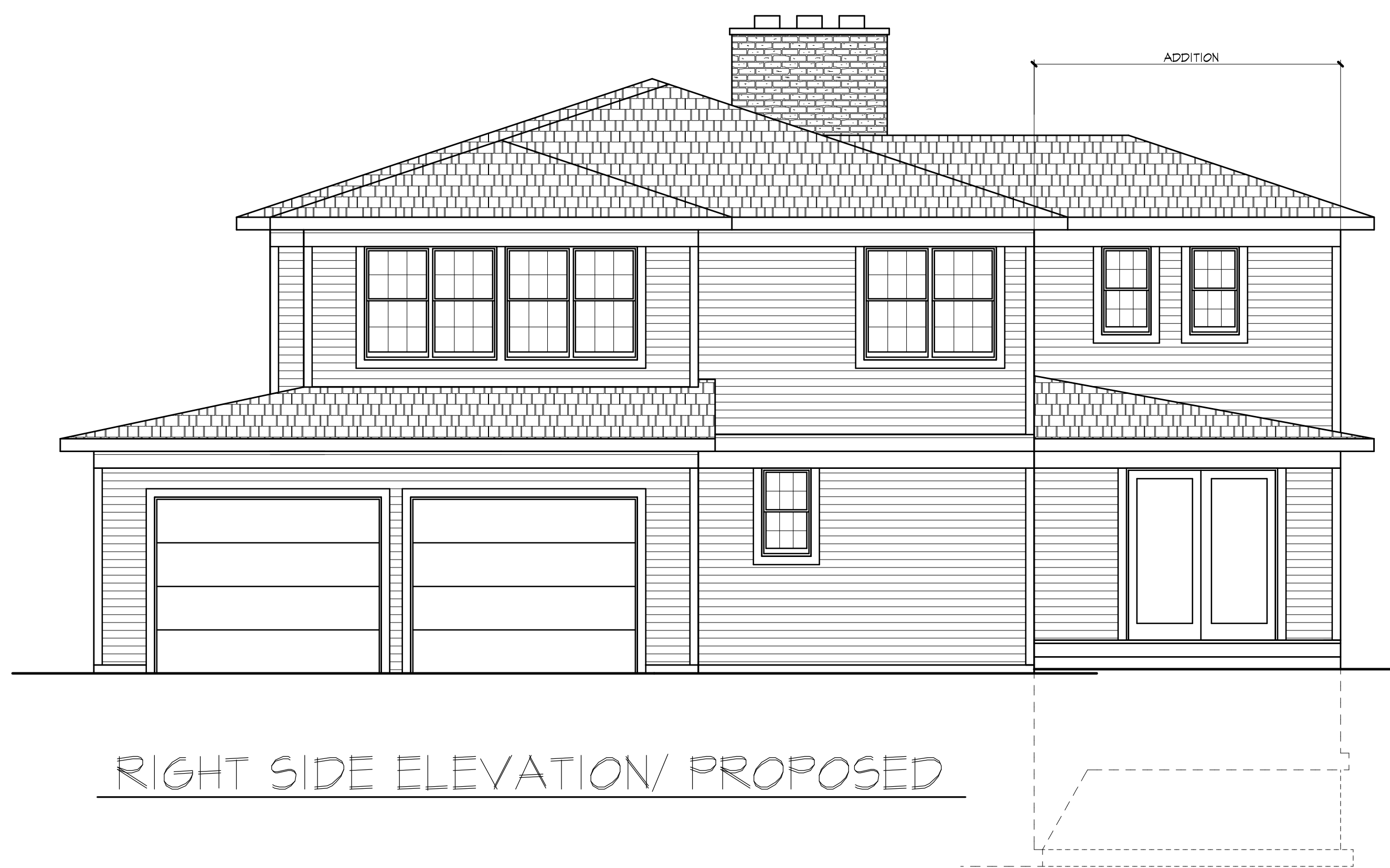
**OF 5 SHEETS**







REAR ELEVATION / PROPOSED



RIGHT SIDE ELEVATION / PROPOSED



LEFT ELEVATION / PROPOSED

**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**55 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**  
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.  
 ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.  
 THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.  
 UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.  
 COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

**PROJECT:**  
 RENOVATION TO RESIDENCE  
 1 WHITESTONE LANE  
 PITTSFORD, NY 14618

**CLIENT:**  
 M/M BRODHEAD

**DRAWING:**  
 ELEVATIONS - PROPOSED

**DRAWN:** PM/M  
**CHECKED:** FM

**DATE:** DECEMBER 2018

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18XXXX

**SHEET:**

**3**

**OF 5 SHEETS**





**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**55 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**

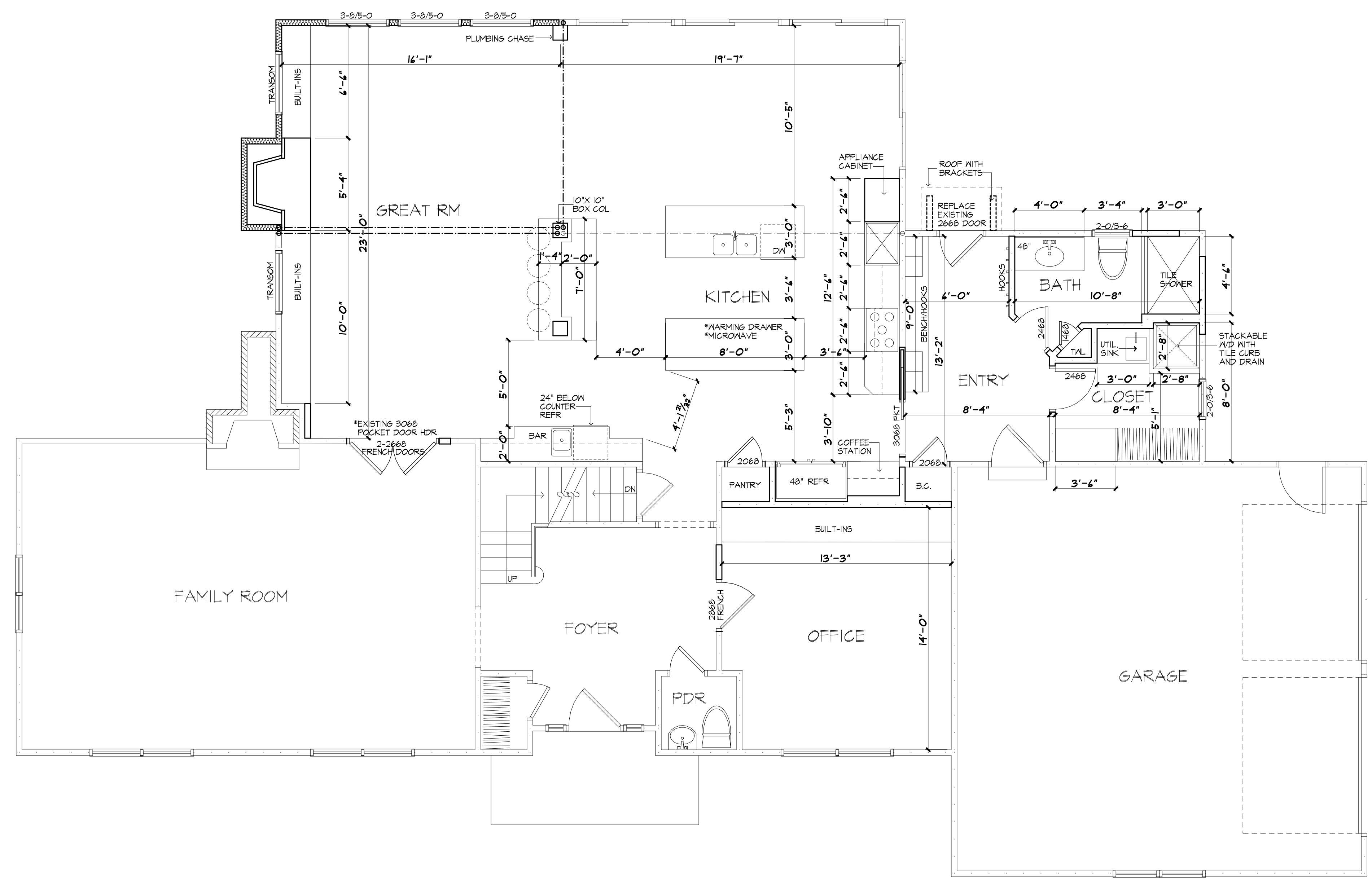
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2016  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



**PROPOSED FIRST FLOOR PLAN**

1896 SQ FT EXISTING AREA  
 211 SQ FT PROPOSED AREA  
 2107 SQ FT TOTAL PROPOSED AREA:

**PROJECT:**  
 RENOVATION TO RESIDENCE  
 1 WHITESTONE LANE  
 PITTSFORD, NY 14618

**CLIENT:**  
 M/M BRODHEAD

**DRAWING:**  
 FIRST FLOOR PLAN  
 PROPOSED

**DRAWN:** PM/VM  
**CHECKED:** FM

**DATE:** DECEMBER 2016

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 16MXXX

**SHEET:**

**4**

**OF 5 SHEETS**





**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**55 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**

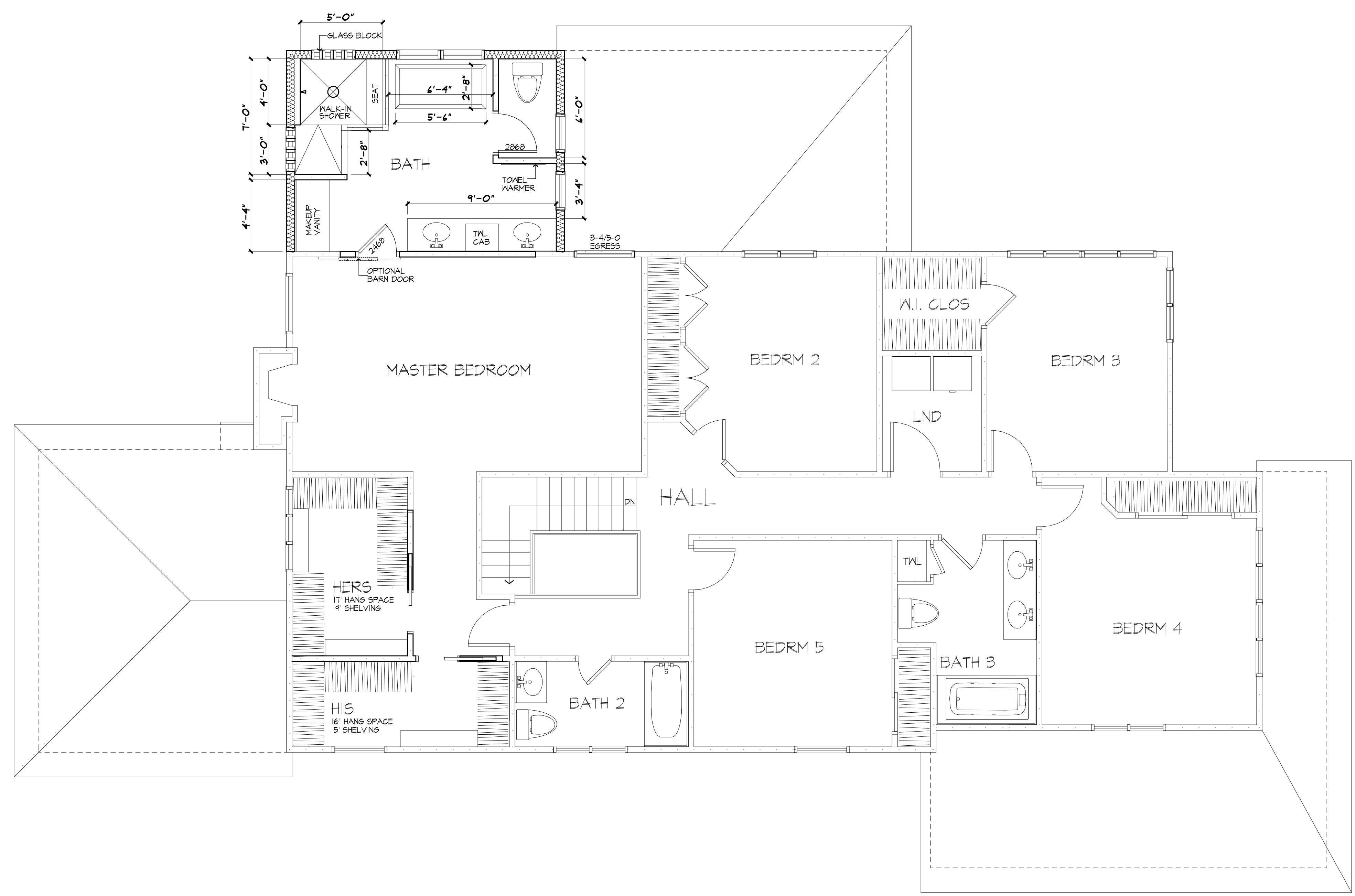
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2016  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



**PROPOSED SECOND FLOOR PLAN**

1621 SQ FT EXISTING AREA  
 205 SQ FT PROPOSED AREA  
 1823 SQ FT TOTAL PROPOSED AREA.

**PROJECT:**  
 RENOVATION TO RESIDENCE  
 1 WHITSTONE LANE  
 PITTSFORD, NY 14618

**CLIENT:**  
 M/M BRODHEAD

**DRAWING:**  
 SECOND FLOOR PLAN  
 PROPOSED

**DRAWN:** PM/M  
**CHECKED:** PM

**DATE:** DECEMBER 2016

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 16MXXXX

**SHEET:**

**5**

**OF 5 SHEETS**



















## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000009**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 25 Hawkstone Way PITTSFORD, NY 14534

**Tax ID Number:** 178.03-4-17

**Zoning District:** RN Residential Neighborhood

**Owner:** Ketmar Development Corp

**Applicant:** Ketmar Development Corp

#### Application Type:

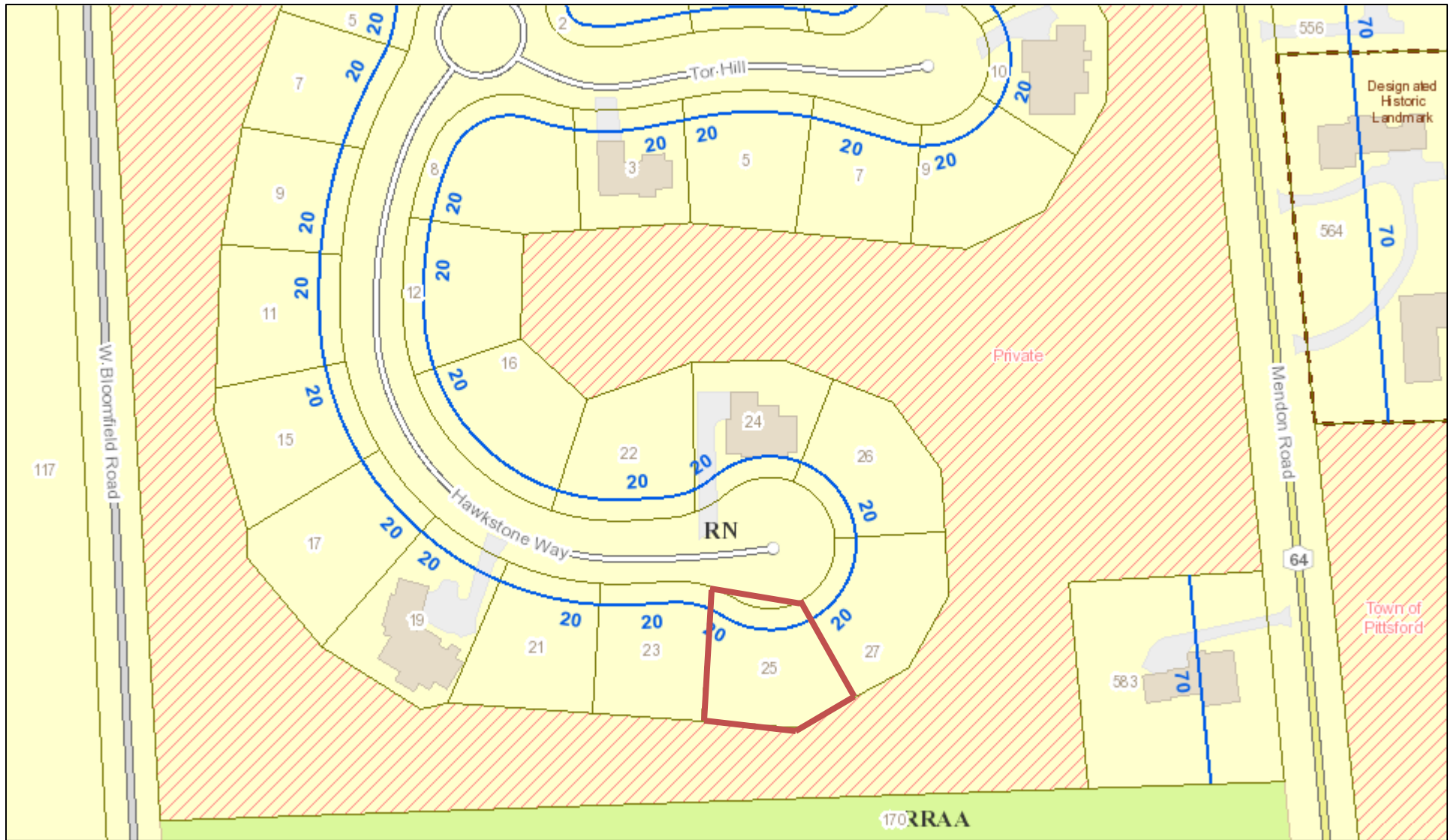
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2023 square feet and will be located in the Malvern Hills development.

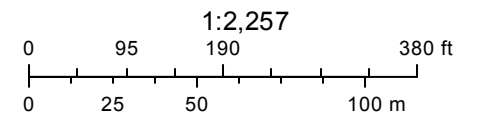
**Meeting Date:** January 24, 2019



# RN Residential Neighborhood Zoning



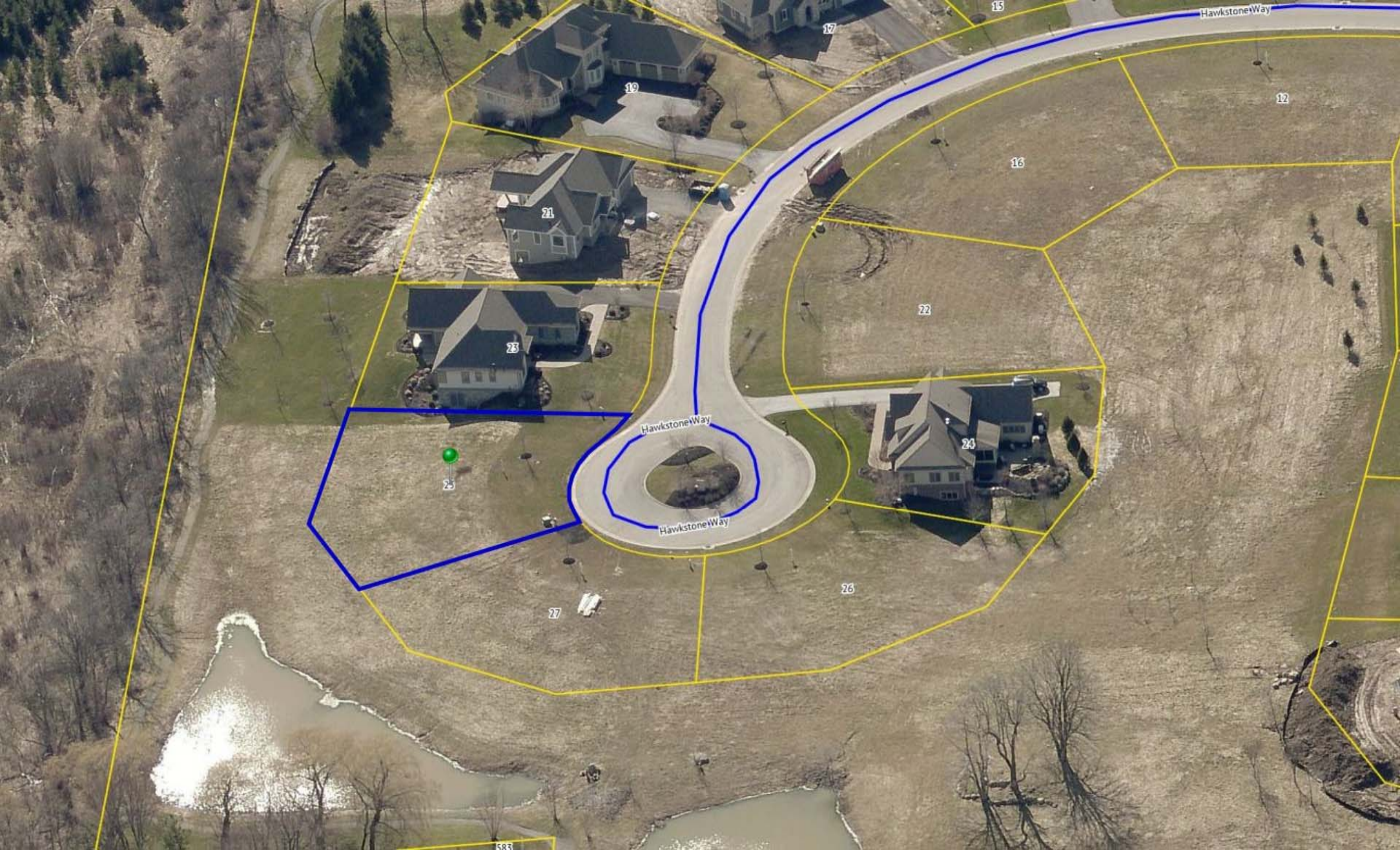
Printed January 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





HawkstoneWay

17

15

19

12

16

21

22

23

24

HawkstoneWay

25

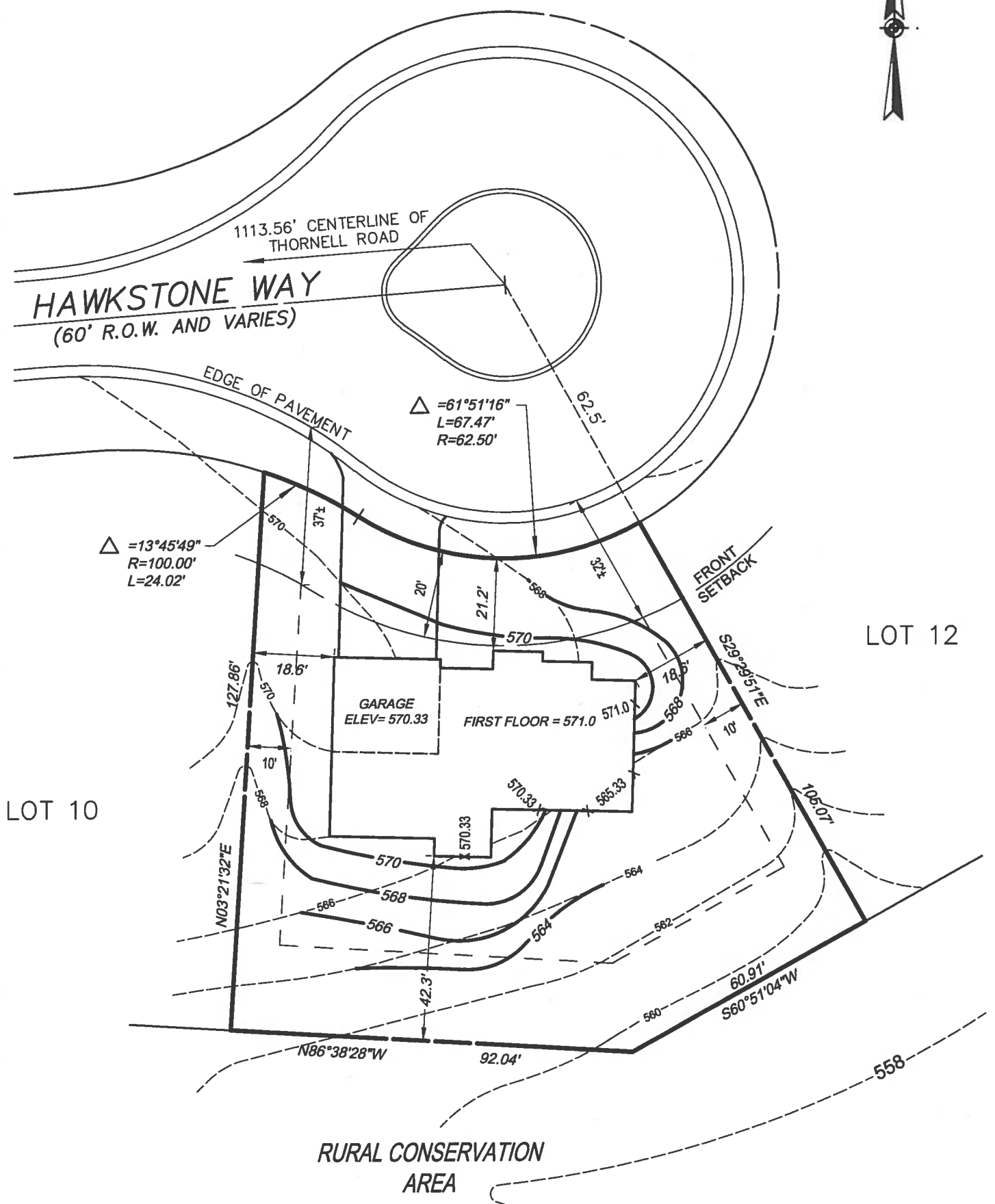
HawkstoneWay

26

27

583





LOT 12

LOT 10

N/F  
 KETMAR DEVELOPMENT CORP  
 T.A. # 178.030-02-28.2  
 LIBER 304 OF MAPS PAGE 12



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

**COSTICH ENGINEERING**

217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-3020

## PLOT PLAN – LOT 11

SUBDIVISION: <b>MALVERN COTTAGES</b>		LOT NUMBER: <b>11</b>
TOWN: <b>TOWN</b>	COUNTY: <b>MONROE</b>	STATE: <b>NEW YORK</b>
SCALE: <b>1"=30'</b>	DATE: <b>1/2019</b>	DWG. NUMBER <b>PP-11</b>

H:\JOB\



# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3000 PSI PORCH  
3000 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A62. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-36. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (F<sub>B</sub>) FOR ALL FRAMING LUMBER TO BE (150 PSI) #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP.-I, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOGALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHINGS SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 109.8 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)  
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 9/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.

# DRAWING INDEX

<b>1</b>	<b>TITLE PAGE</b>
<b>2</b>	<b>FRONT/LEFT SIDE ELEVATIONS</b>
<b>3</b>	<b>REAR/RIGHT SIDE ELEVATIONS</b>
<b>4</b>	<b>BASEMENT/FOUNDATION PLAN</b>
<b>4a</b>	<b>FINISHED LOWER LEVEL PLAN</b>
<b>5</b>	<b>1ST FLOOR PLAN</b>
<b>6</b>	<b>ROOF PLAN</b>
<b>7</b>	<b>TRUSS DIAGRAMS</b>
<b>8</b>	<b>BUILDING SECTIONS</b>
<b>9</b>	<b>WALL SECTIONS</b>

## ENERGY COMPLIANCE DETAILS & PATH INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT PER INTERNATIONAL RESIDENTIAL CODE (2015 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	32	30
2. CEILING R-FACTOR	49	49
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. BASEMENT CONCRETE WALL/ FRAME WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY	R-15 CONTINUOUS FULL HEIGHT HIGH DENSITY 21 CAVITY
5. FLOOR R-VALUE	30	30
6. SKYLIGHT U-FACTOR	55	N/A
7. SLAB R-VALUE/ DEPTH	10/ 2'-0"	10/ 2'-0"
8. CRAWL SPACE WALL R-VALUE	15/19	N/A

## 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 104.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 103.2.1

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R202.1.1

## ANDERSON RESIDENCE

## LOT 11 THE COTTAGES AT MALVERN

## KETMAR DEVELOPMENT CORP

**PATRICK J. MORABITO**  
A.I.A.  
**ARCHITECT**  
P.C.

**121 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

### NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 9, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

### PROJECT:

ANDERSON RESIDENCE  
LOT 11 THE COTTAGES  
AT MALVERN HILLS

### CLIENT:

KETMAR DEVELOPMENT CORP

### DRAWING:

TITLE PAGE

DRAWN:	CHECKED:
PJM / MSM	PJM

PJM / MSM

DATE: JANUARY 2019

SCALE: 1/4"=1'-0"

JOB NO.: 18M380T

### SHEET:

**1**  
OF **9** SHEETS





**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**121 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**

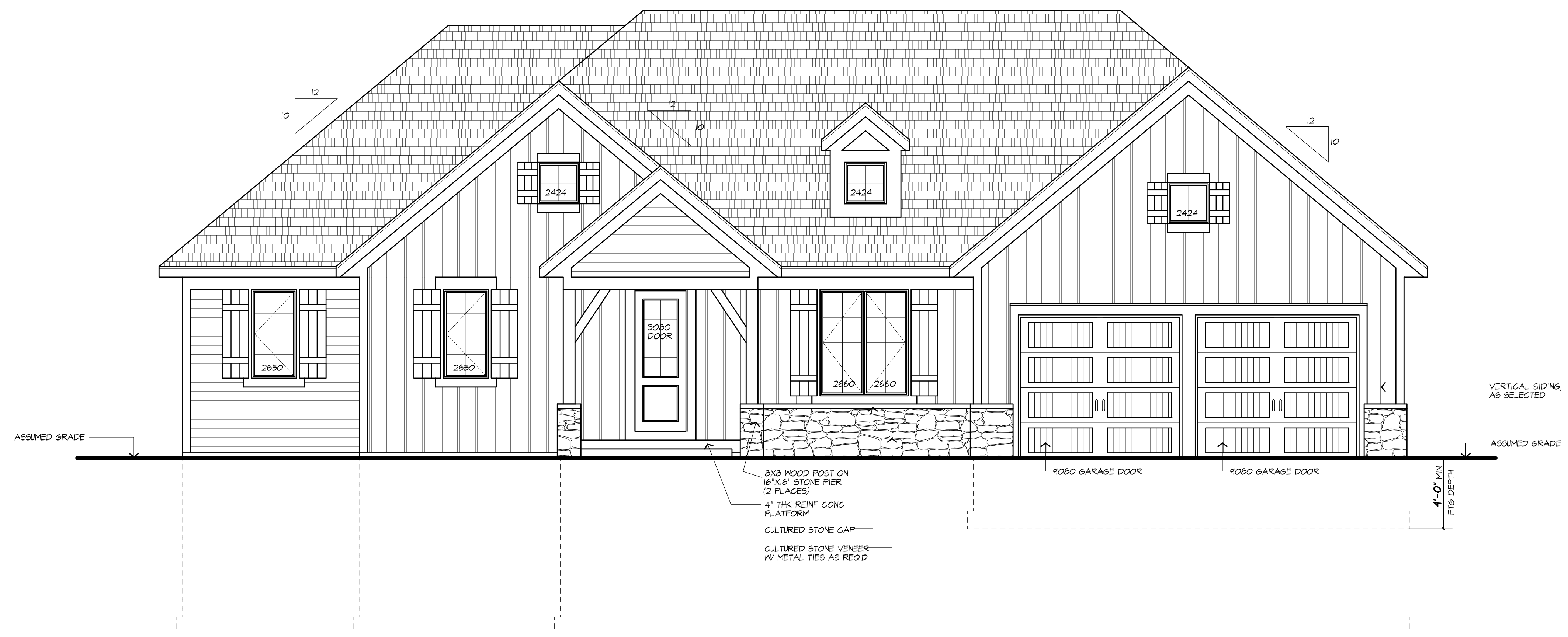
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

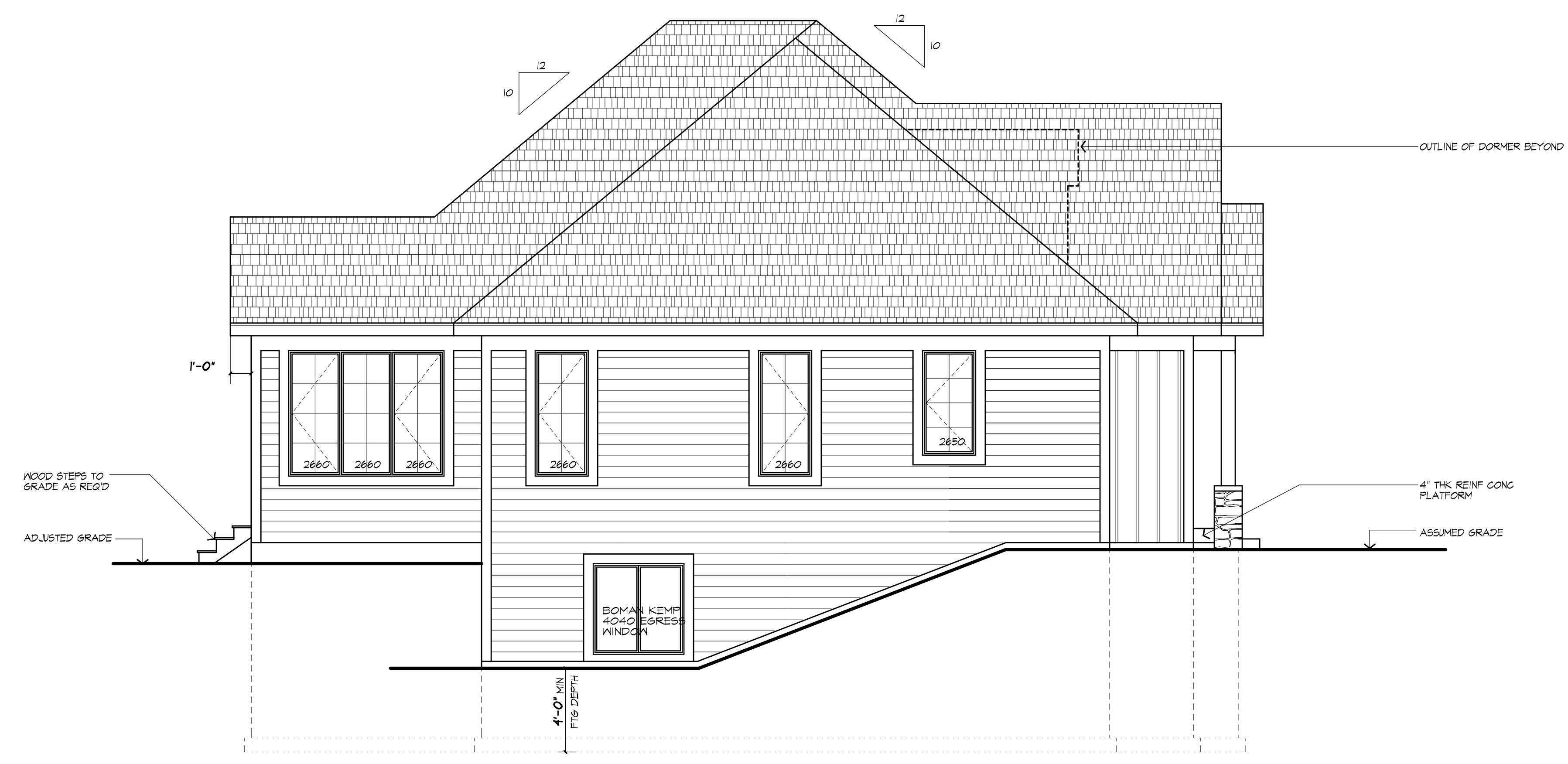
THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



**FRONT ELEVATION/ LOT II THE COTTAGES AT MALVERN**  
 AREA: 2023 SQ FT



**LEFT SIDE ELEVATION**

**UNLESS OTHERWISE NOTED**

ROOFING: 25 YR GUARANTEE ASPHALT SHINGLES

ROOF VENTING: CONTINUOUS RIDGE VENT

FASCIAS: 8"

FRIEZEBDS: 8"

CORNERBDS: 6"

CASINGS: 6"

SIDING: HORIZ AS SELECTED

OVERHANGS: 1'-4"

RAKE OVERHANGS: 12"

MIN FTG. DEPTH: 4'-0"

CLG HT:

1ST FLOOR: 9'-1 1/8"

1ST FLOOR: 8'-2"

WINDOW MFR: VMD AS SELECTED (PROVIDE SAFETY GLAZING PER R.308.4)

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
 ANDERSON RESIDENCE  
 LOT II THE COTTAGES  
 AT MALVERN HILLS

**CLIENT:**  
 KETMAR DEVELOPMENT CORP

**DRAWING:**  
 FRONT / LEFT SIDE ELEVATIONS

**DRAWN:** PJM / MGM  
**CHECKED:** PJM

**DATE:** JANUARY 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18M380T

**SHEET:**



**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**121 Sully's Trail**  
**Pittsford, NY 14534**

**(585) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**

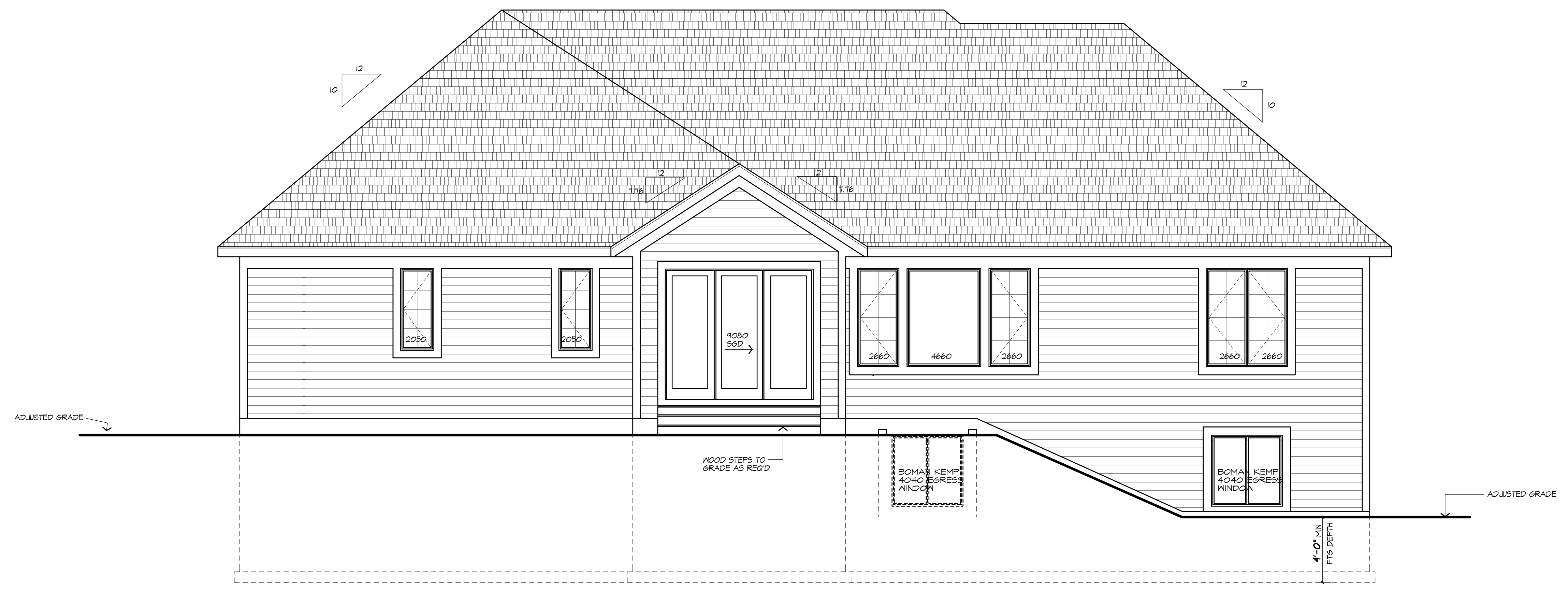
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

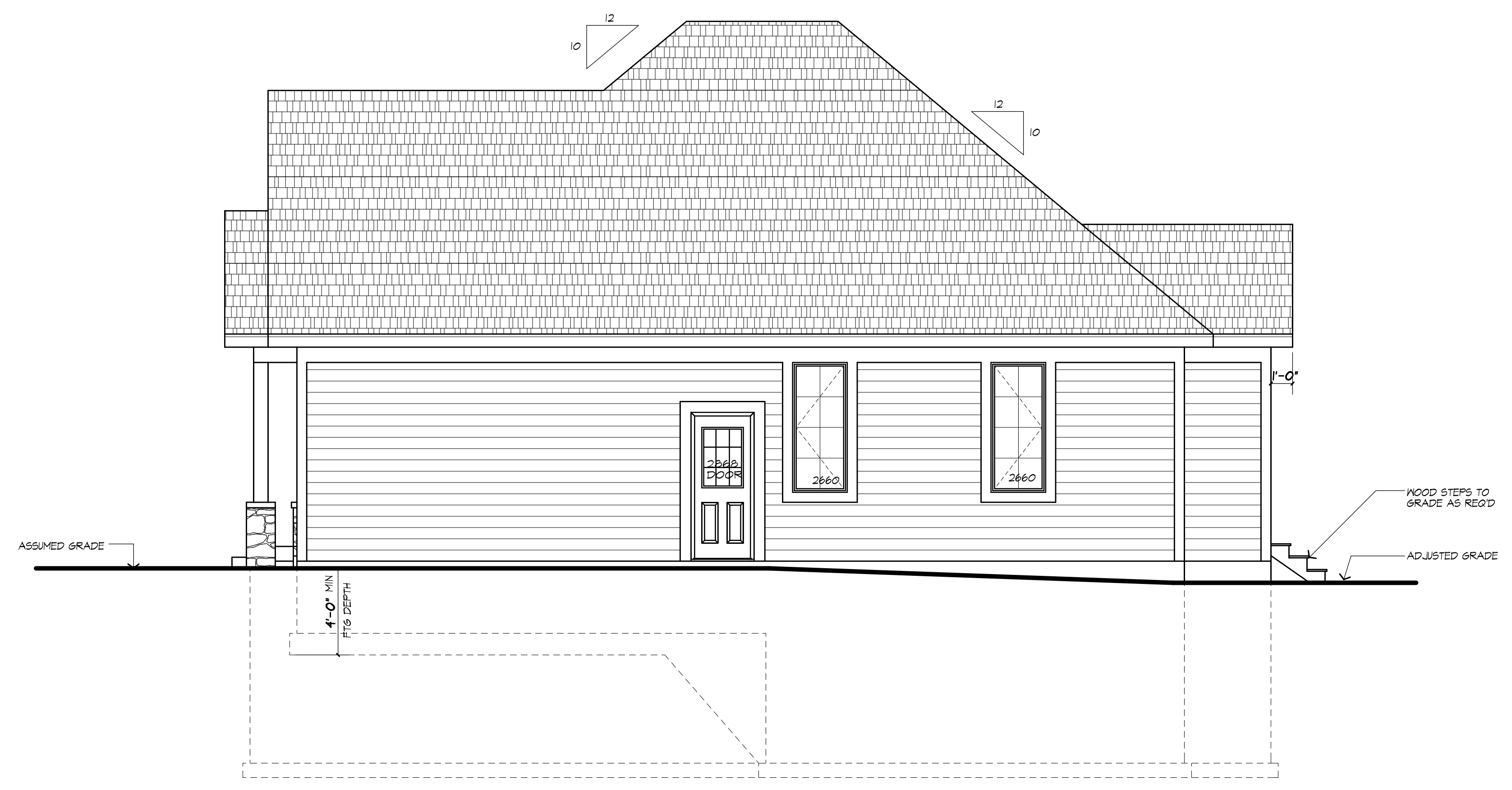
THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.



REAR ELEVATION



RIGHT SIDE ELEVATION

UNLESS OTHERWISE NOTED

ROOFING:	25 YR GUARANTEE ASPHALT SHINGLES
ROOF VENTING:	CONTINUOUS RIDGE VENT
FASCIAS:	8"
FRIEZEBDS:	8"
CORNERBDS:	6"
CASINGS:	6"
SIDING:	HORIZ AS SELECTED
OVERHANGS:	1'-4"
RAKE OVERHANGS:	12"
MIN FTS. DEPTH:	4'-0"
CLS HT:	
1ST FLOOR:	4'-1 1/8"
WINDOW UNIT HT:	
1ST FLOOR:	8'-2"
WINDOW MFR:	VND AS SELECTED (PROVIDE SAFETY GLAZING PER R.308.4)

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
 ANDERSON RESIDENCE  
 LOT II: THE COTTAGES  
 AT MALVERN HILLS

**CLIENT:**  
 KETMAR DEVELOPMENT CORP

**DRAWING:**  
 REAR / RIGHT SIDE ELEVATIONS

<b>DRAWN:</b>	<b>CHECKED:</b>
PJM / MGM	PJM

**DATE:** JANUARY 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18M380T

**SHEET:**

**3**

OF 9 SHEETS





**NOTICE:**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS "ARCHITECTURAL WORKS" UNDER THE COPYRIGHT ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
ANDERSON RESIDENCE  
LOT II: THE COTTAGES  
AT MALVERN HILLS

**CLIENT:**  
KEMAR DEVELOPMENT CORP

**DRAWING:**  
BASEMENT / FOUNDATION PLAN

<b>DRAWN:</b> PJM / M/M	<b>CHECKED:</b> PJM
----------------------------	------------------------

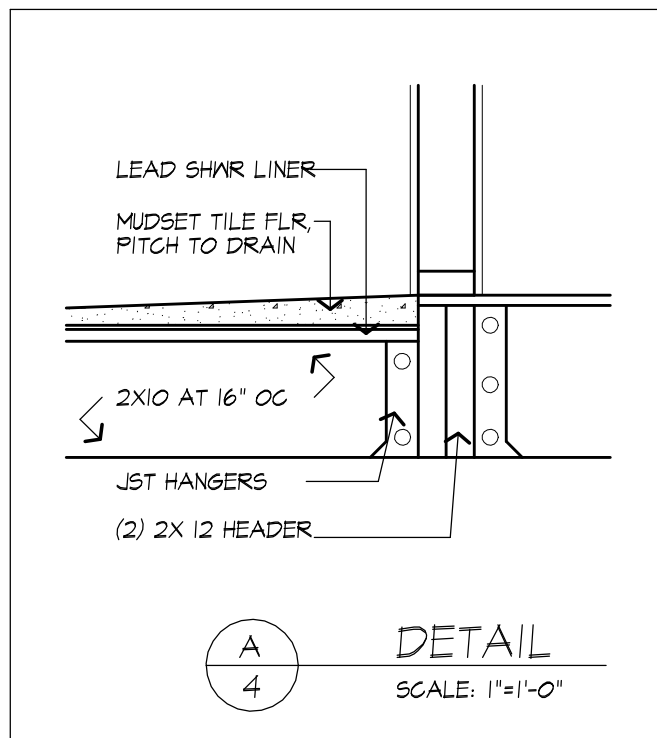
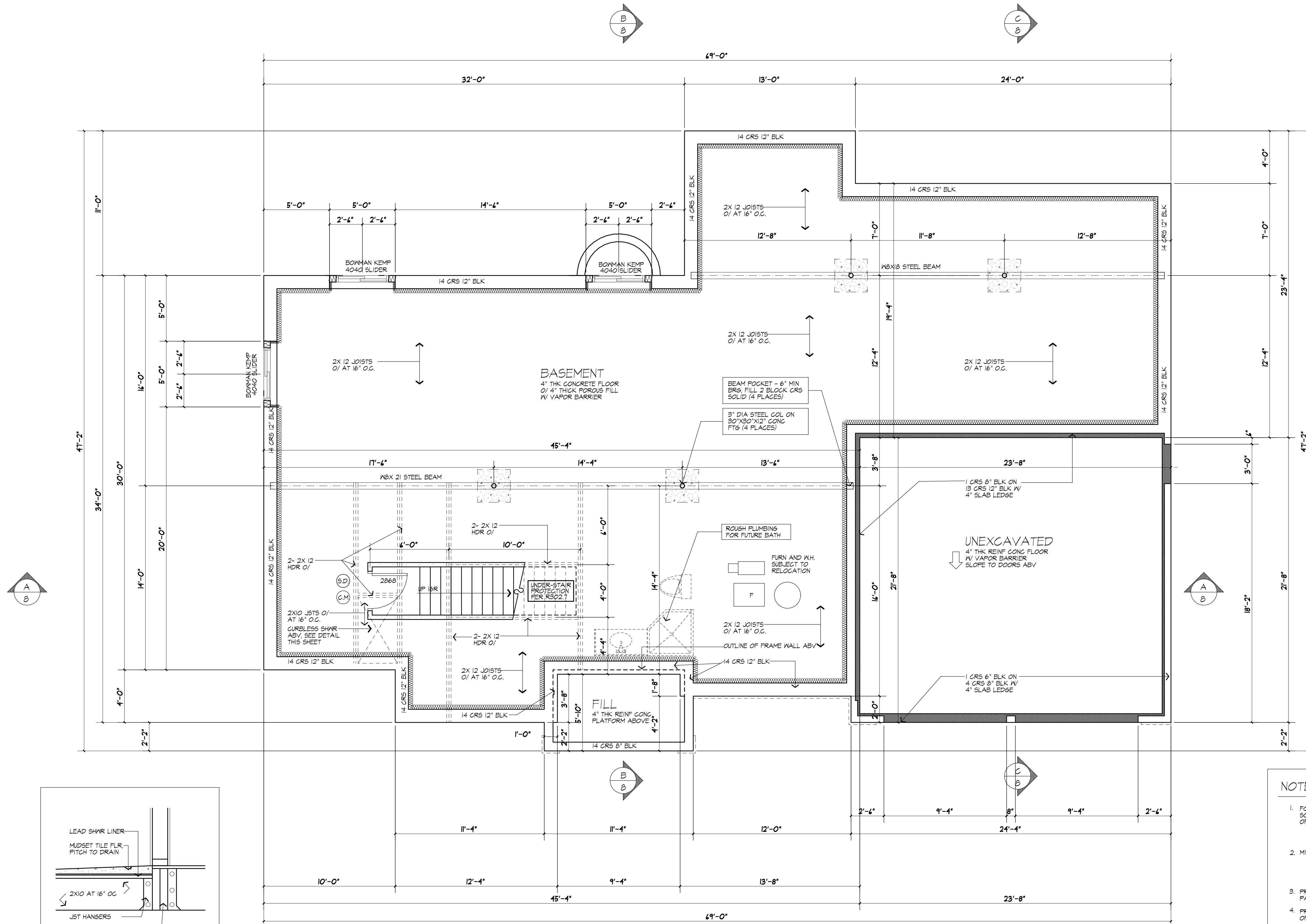
**DATE:** JANUARY 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18M380T

**SHEET:**

**4**  
OF 9 SHEETS



**BASEMENT & FOUNDATION PLAN**  
14 CRS 12" BLOCK

FIRE PROTECTION OF FLOOR JOISTS NOT REQUIRED PER SECTION R302.13 (2015 IRC)

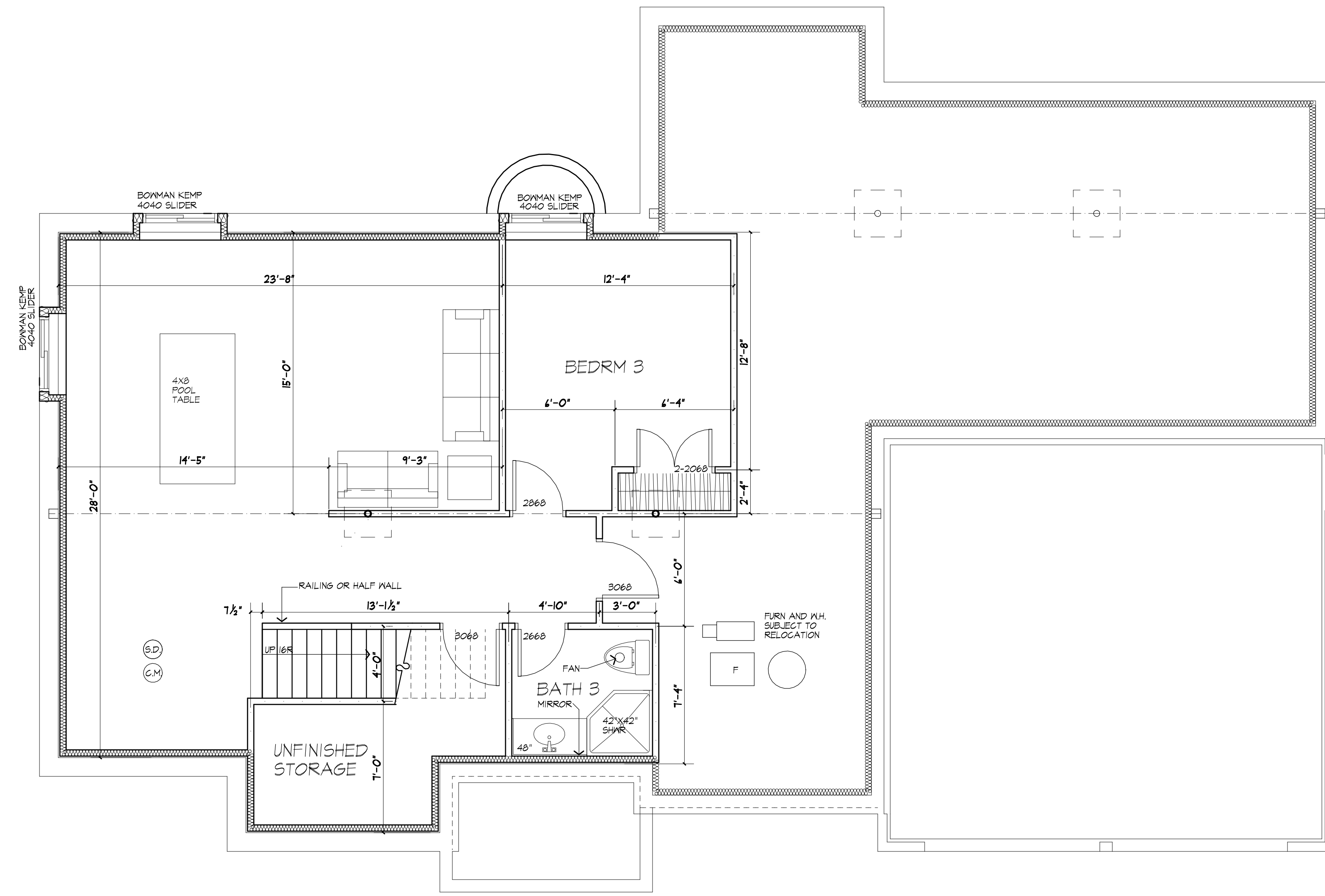
- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.  
SIZES: 8" BLK - 16" WIDE X 8" THK.  
12" BLK - 24" WIDE X 8" THK.  
(GARAGE) 8" BLK - 16" WIDE X 12" THK.  
2. MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:  
FOOTINGS: 2500 P.S.I.  
FLOOR SLABS: 2500 P.S.I.  
PORCH: 3500 P.S.I.  
GARAGE: 3500 P.S.I.
  - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
  - PROVIDE CROSS BRIDGINS AT MID SPAN OF FLOOR FRAMING
  - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.

**STEPPED FOOTING NOTE:**  
R403.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)



SMOKE & CARBON MONOXIDE ALARM LOCATIONS

- SD** R913.1.1 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- CM** R913.4.2 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



**FINISHED BASEMENT PLAN**  
AREA: 855 S.F.

HEADER SCHEDULE  
UNLESS OTHERWISE NOTED

OPENING	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. WD. GUSSETS - 2X6 MALL  
PROVIDE (1) 1/2" PLY. WD. GUSSETS - 2X4 MALL  
GLUE AND NAIL ALL HEADERS

WALL LEGEND

- 2X6 STUDS AT 16' O.C. W/ INSULATION
- 2X6 STUDS AT 16' O.C. (INTERIOR WALL)
- 2X4 STUDS @ 16' O.C.
- (3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP FLTS
- PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'0"

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

**PATRICK J. MORABITO**  
A.I.A.  
ARCHITECT  
P.C.

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.pjmarchitect.com

**NOTICE:**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS. THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. COPYRIGHT 2018 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
ANDERSON RESIDENCE  
LOT II THE COTTAGES  
AT MALVERN HILLS

**CLIENT:**  
KETMAR DEVELOPMENT CORP

**DRAWING:**  
FINISHED BASEMENT PLAN

**DRAWN:** P.J.M / M.G.M  
**CHECKED:** P.J.M

**DATE:** JANUARY 2019

**SCALE:** 1/4" = 1'-0"

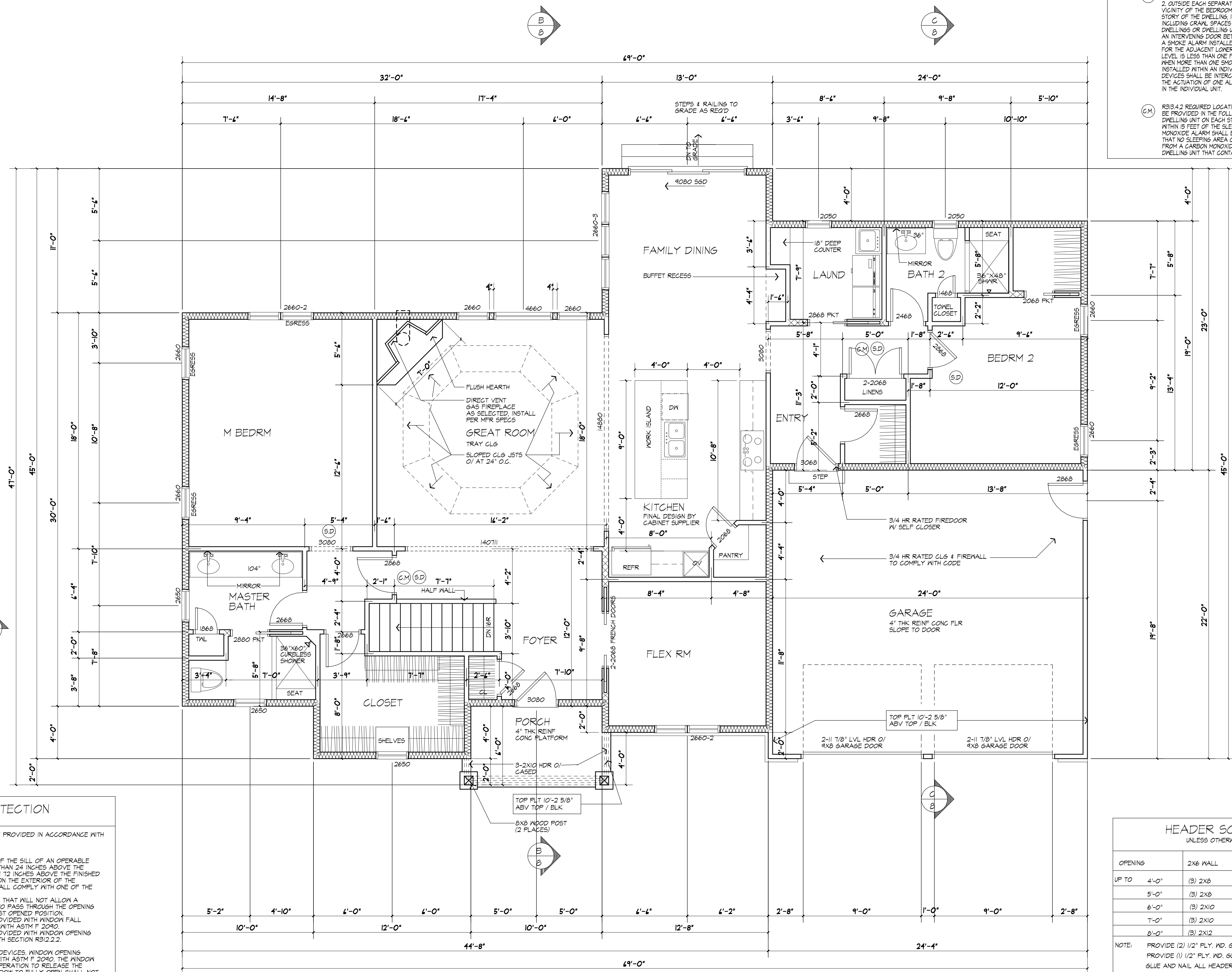
**JOB NO.:** 18M380T

**SHEET:**

**4a**  
OF 9 SHEETS







**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

- (SD) R913.1.1 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- (CM) R913.4.2 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**WINDOW FALL PROTECTION**  
R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS. IN DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R312.2.1.

**GAS F.P. NOTE:**  
TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.

**PLUMBING NOTE:**  
THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENING	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. WD. GUSSETS - 2X6 MALL  
PROVIDE (1) 1/2" PLY. WD. GUSSETS - 2X4 MALL  
GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

- 2X6 STUDS AT 16' OC W/ INSULATION
- 2X6 STUDS AT 16' OC (INTERIOR WALL)
- 2X4 STUDS @ 16' OC.
- (3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP PLTS (INTERIOR WALL)
- PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

**FLOOR PLAN**  
AREA: 2023 SQ FT

REFER TO SHEET 6 AND SHEET 7 FOR ALL ROOF FRAMING INFORMATION

**PATRICK J. MORABITO**  
A.I.A.  
**ARCHITECT**  
P.C.

121 Sully's Trail  
Pittsford, NY 14534  
(585) 264-1330  
(585) 264-1333 Fax  
www.pjmarchitect.com

**NOTICE:**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
ANDERSON RESIDENCE  
LOT II THE COTTAGES  
AT MALVERN HILLS

**CLIENT:**  
KEMAR DEVELOPMENT CORP

**DRAWING:**  
FLOOR PLAN

**DRAWN:** P.J.M / M.G.M  
**CHECKED:** P.J.M

**DATE:** JANUARY 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18M380T

**SHEET:**



**NOTICE:**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS "ARCHITECTURAL WORKS" UNDER THE PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
 ANDERSON RESIDENCE  
 LOT II: THE COTTAGES  
 AT MALVERN HILLS

**CLIENT:**  
 KETMAR DEVELOPMENT CORP

**DRAWING:**  
 ROOF PLAN

**DRAWN:** P.J.M / M.G.M  
**CHECKED:** P.J.M

**DATE:** JANUARY 2019

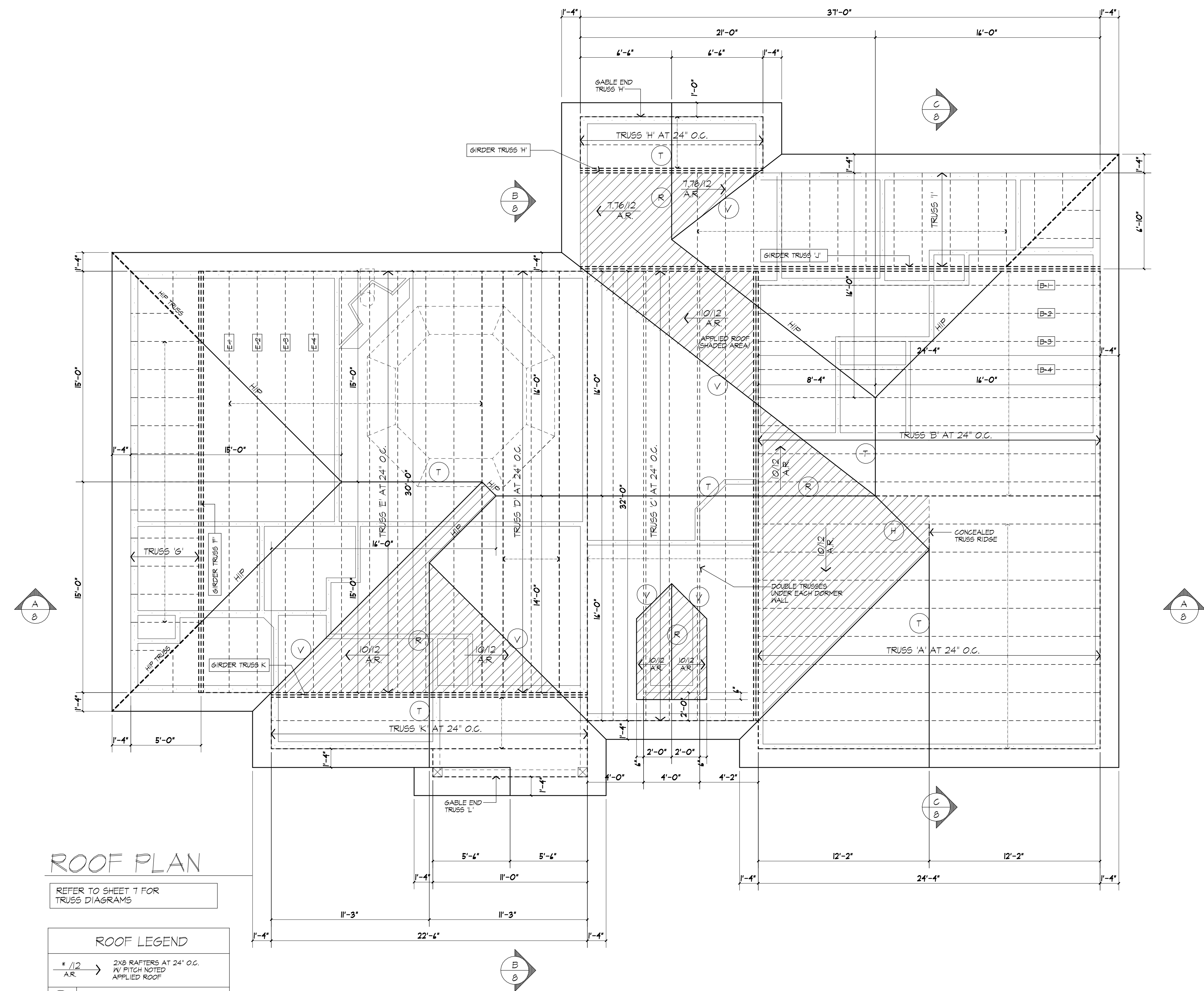
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18MB007

**SHEET:**

**6**

OF 9 SHEETS



**ROOF PLAN**

REFER TO SHEET 7 FOR TRUSS DIAGRAMS

ROOF LEGEND	
* 1/2 A.R.	2x8 RAFTERS AT 24" O.C. W/ PITCH NOTED APPLIED ROOF
(R)	2x12 RIDGE BOARD
(H)	2x12 HIP RAFTER
(T)	TRUSS RIDGE
(V)	APPLIED VALLEY - SEE DETAIL 1/4
*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.1 (2015 IRC)	



**NOTICE:**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 9, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**

ANDERSON RESIDENCE  
LOT II: THE COTTAGES  
AT MALVERN HILLS

**CLIENT:**

KETMAR DEVELOPMENT CORP

**DRAWING:**

BUILDING SECTIONS

**DRAWN:**

PJM / MSM

**CHECKED:**

PJM

**DATE:**

JANUARY 2019

**SCALE:**

1/4"=1'-0"

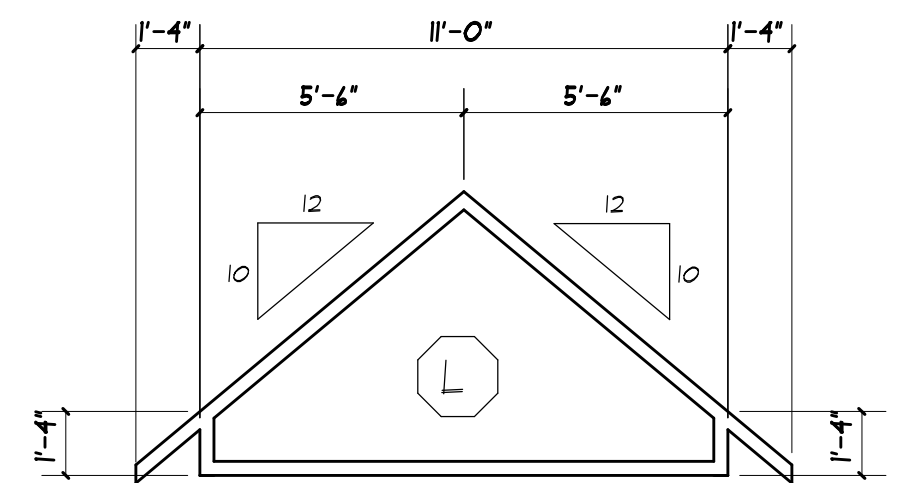
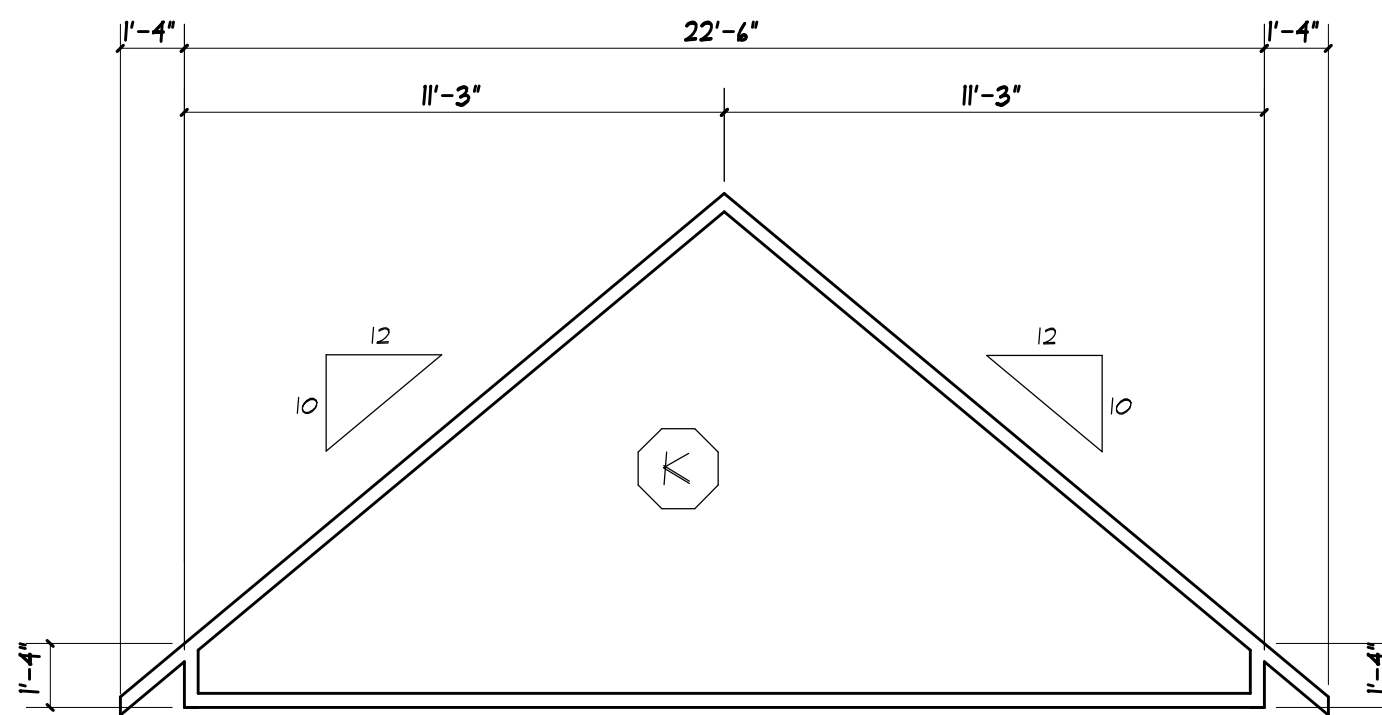
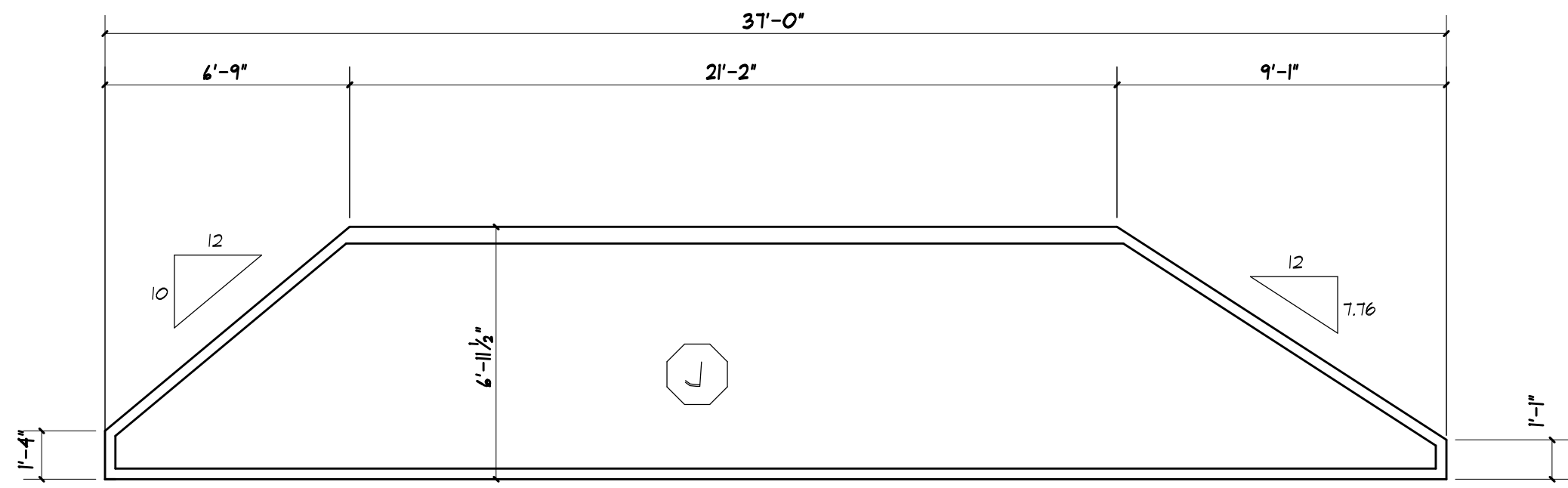
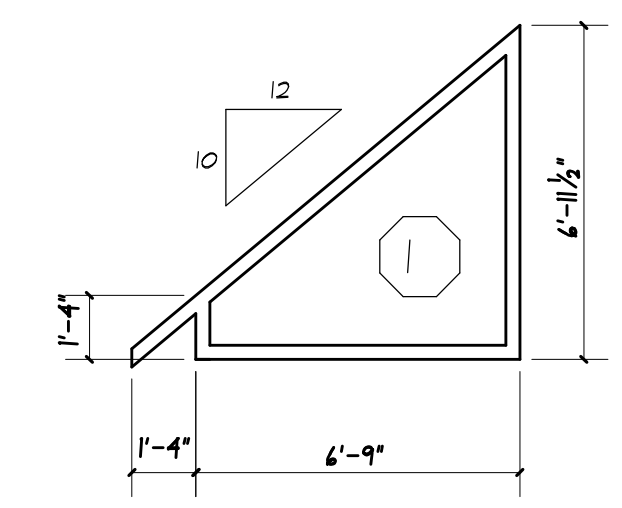
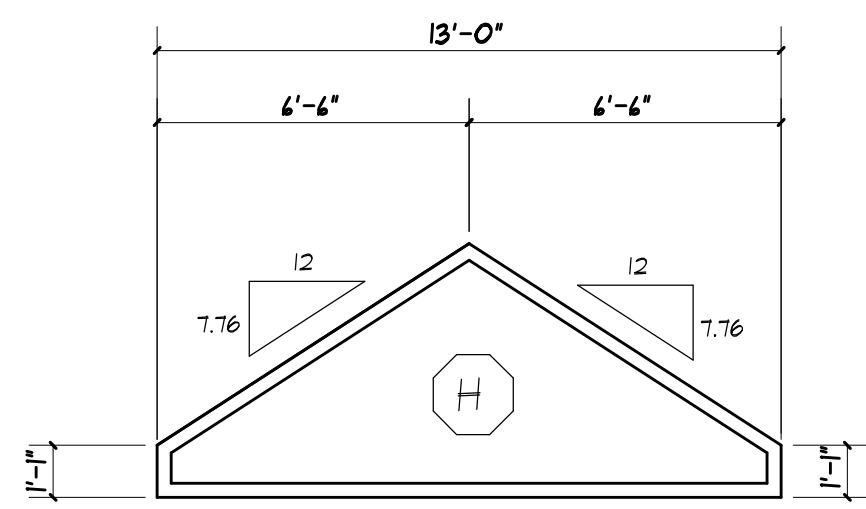
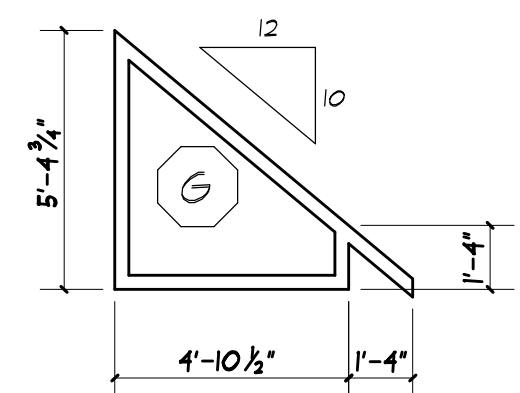
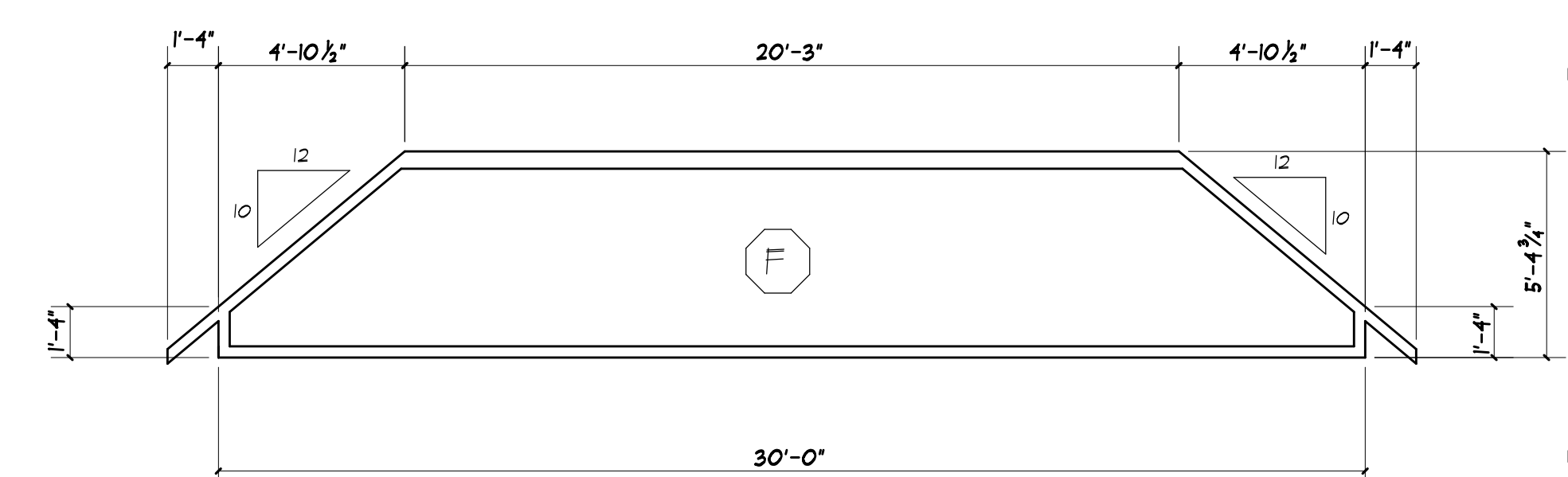
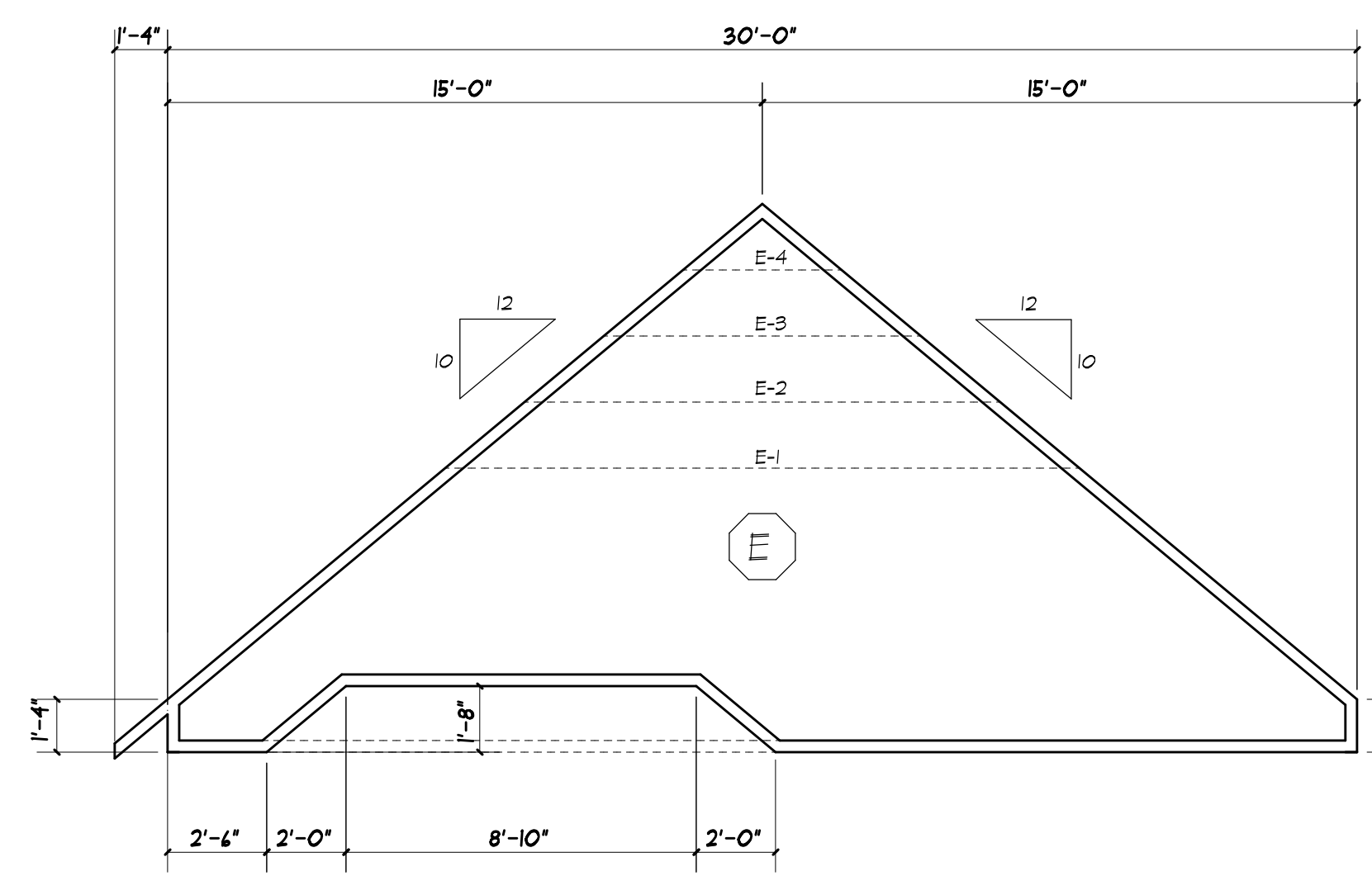
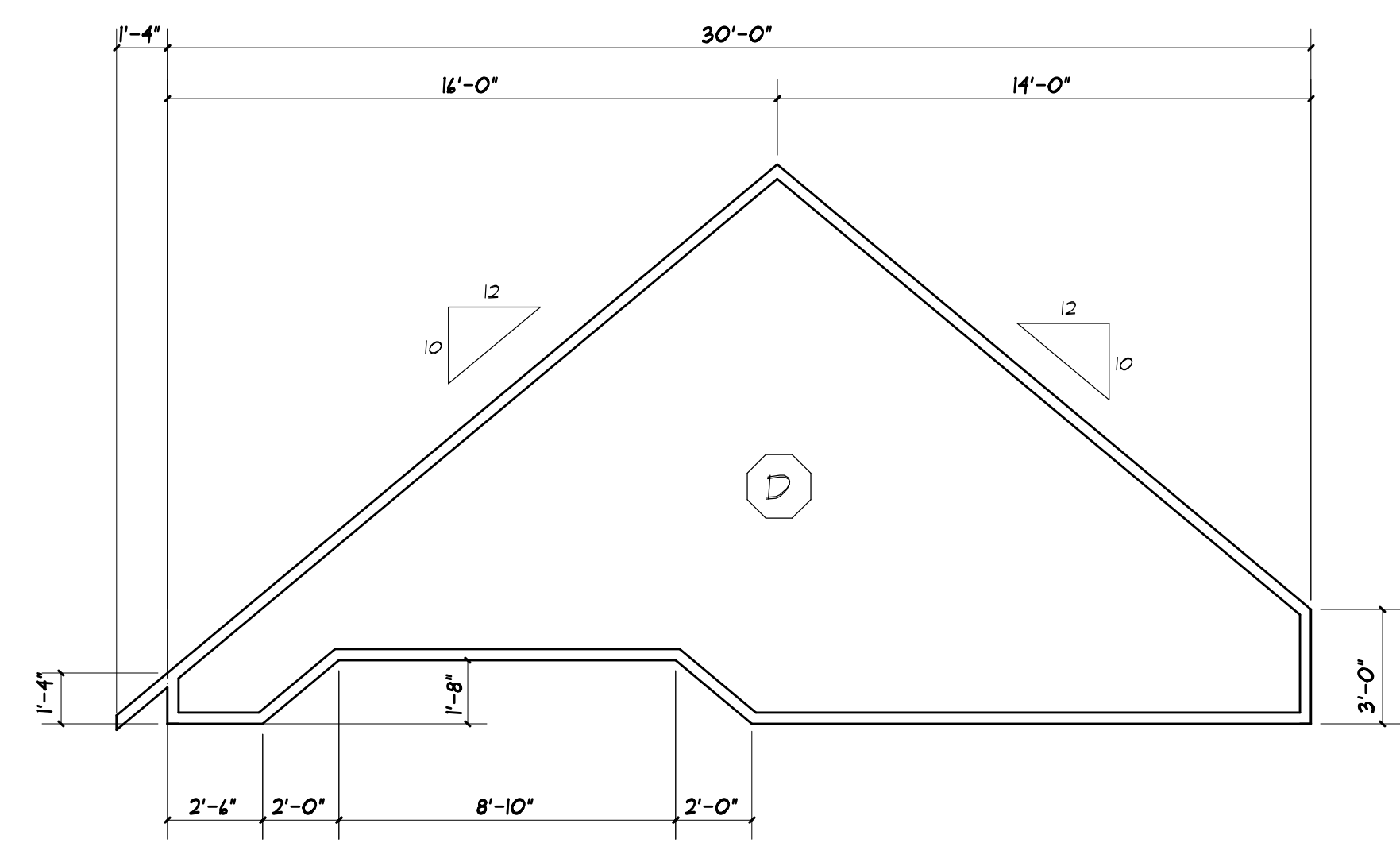
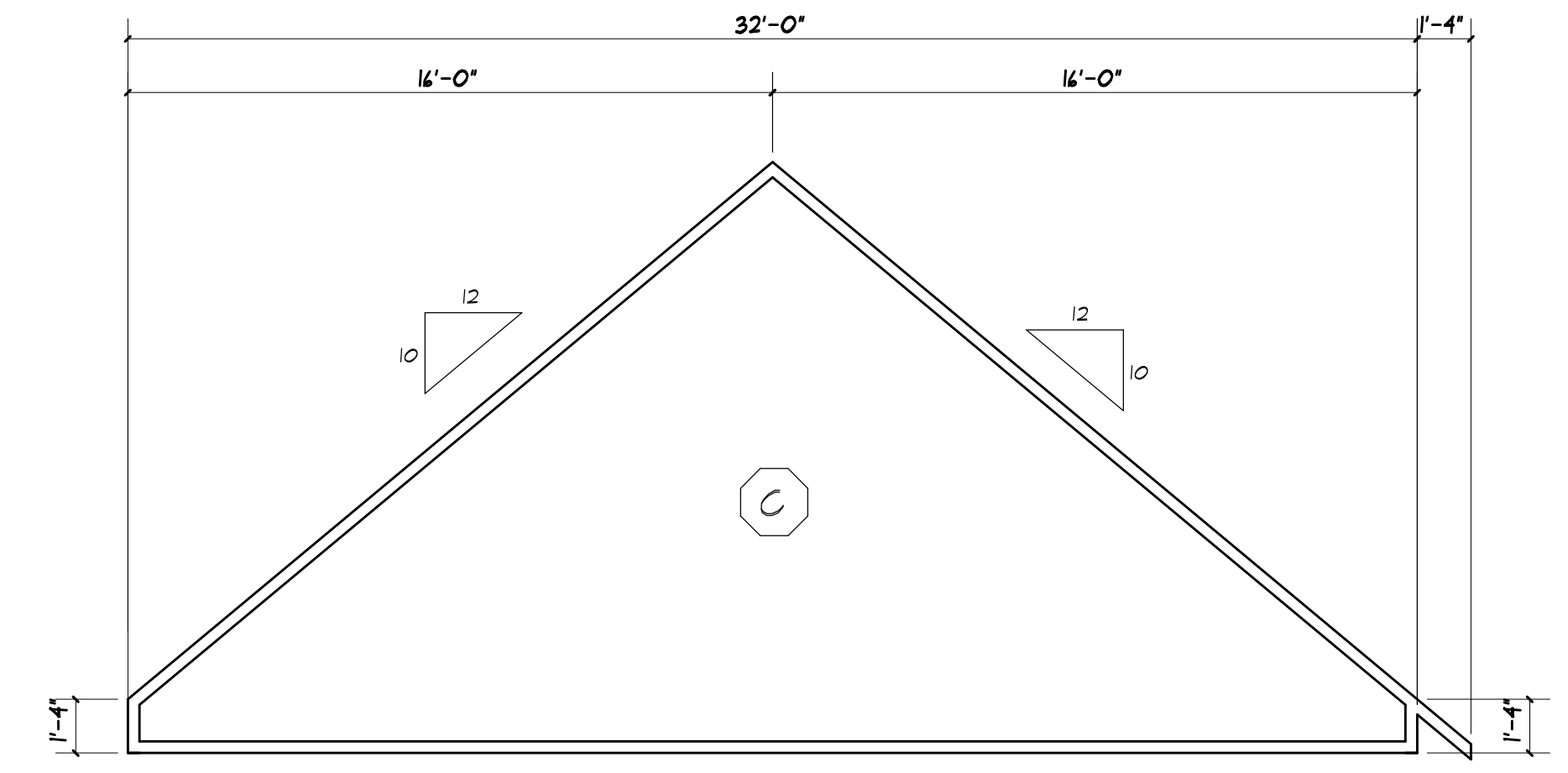
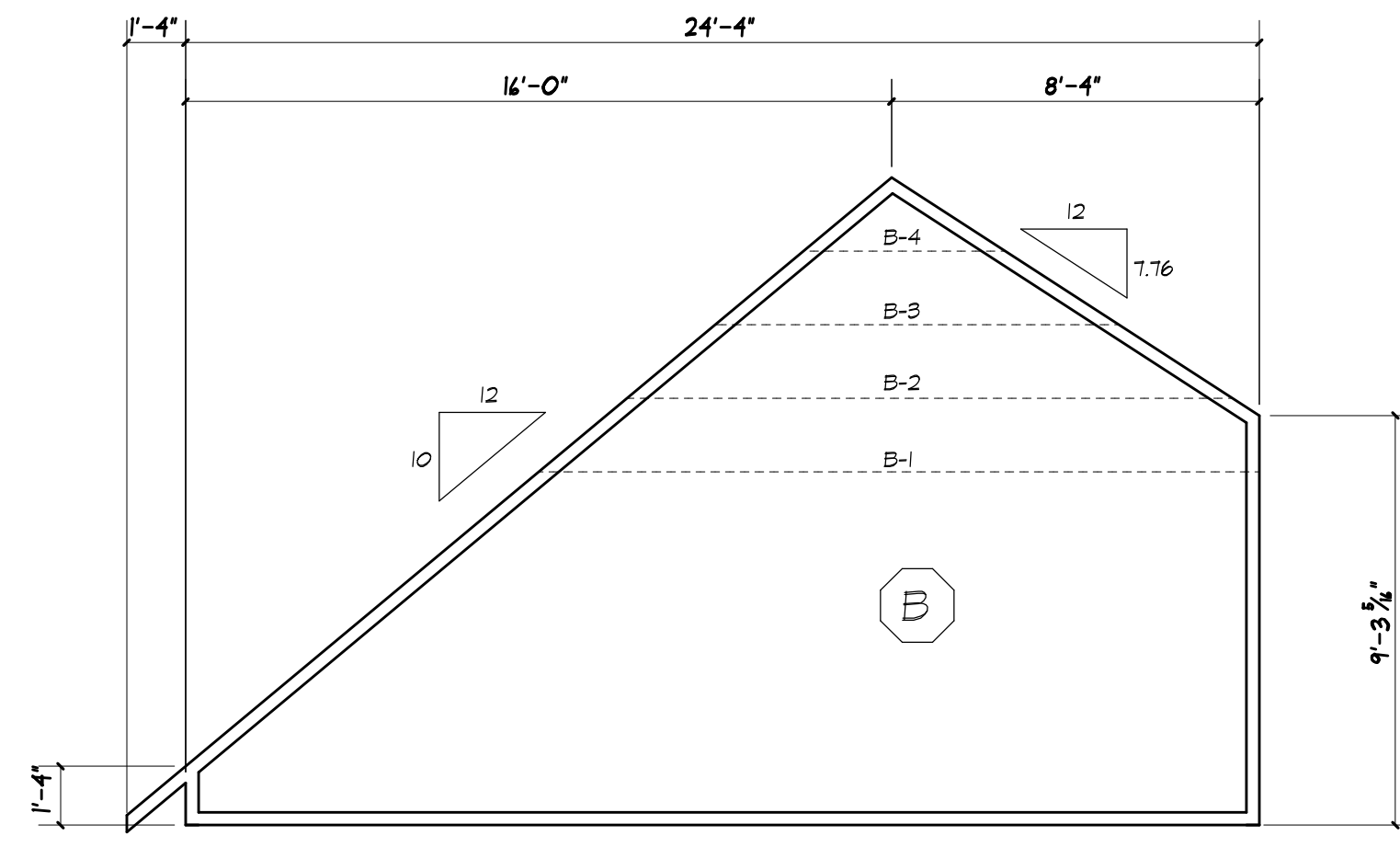
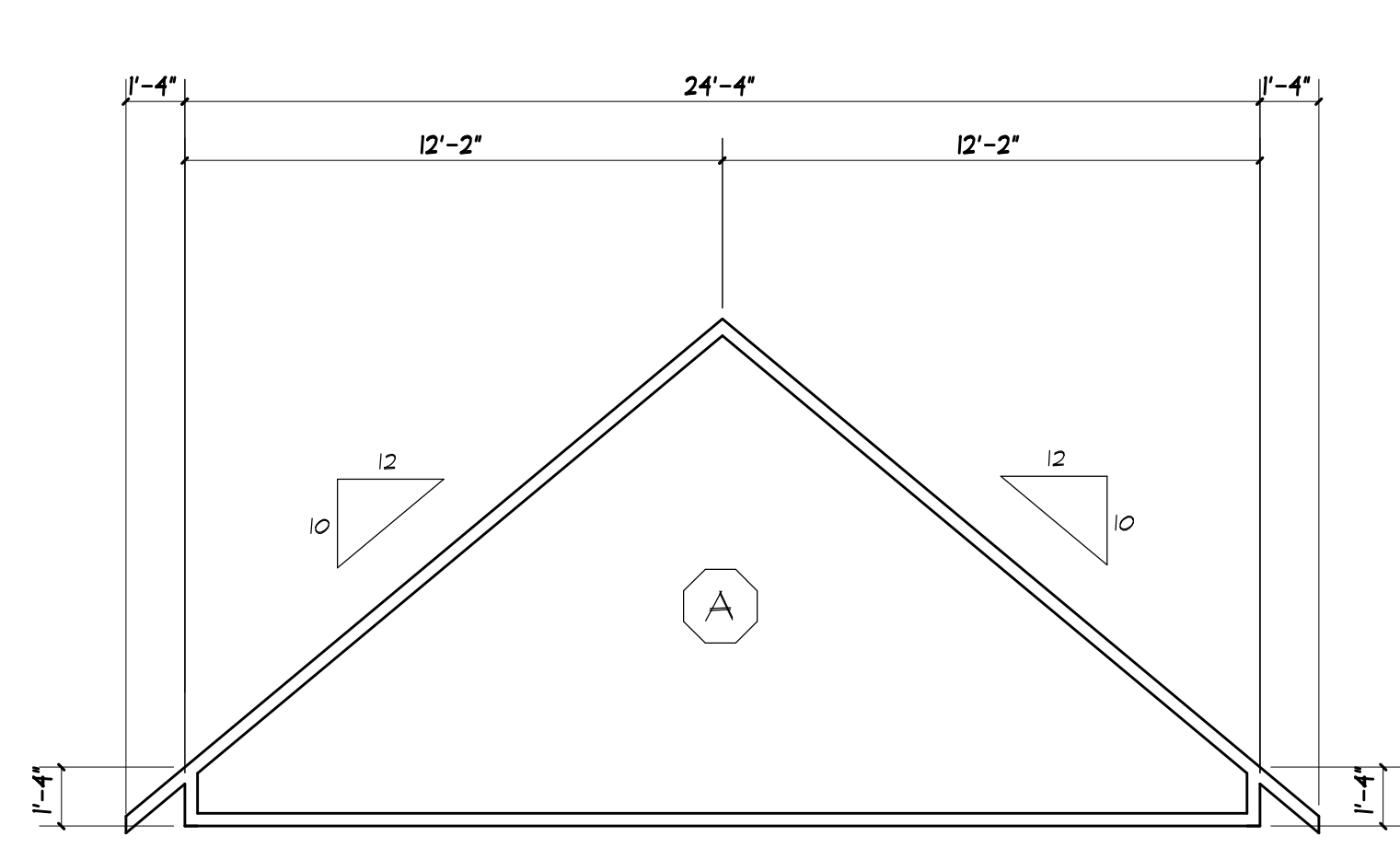
**JOB NO.:**

18M380T

**SHEET:**

**7**

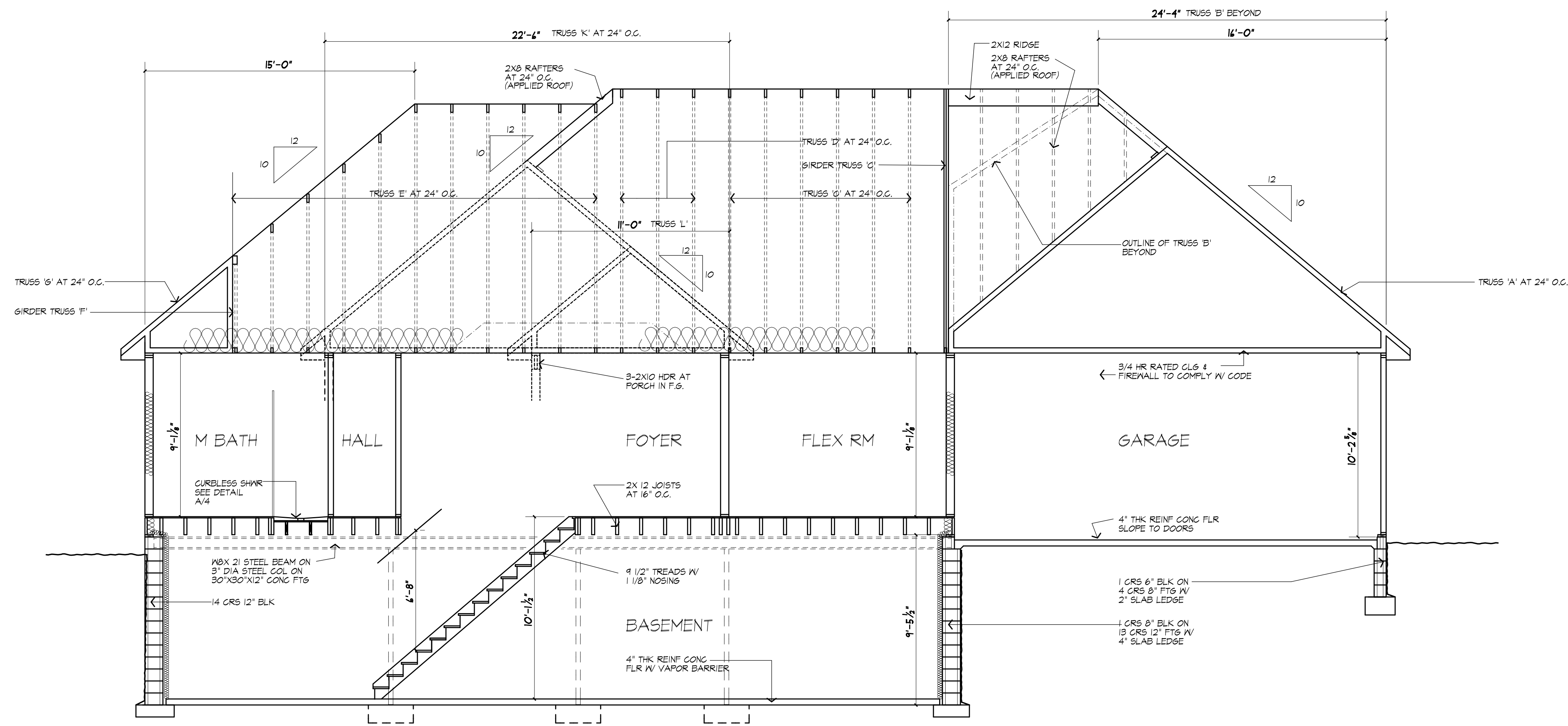
OF 9 SHEETS



**TRUSS DIAGRAMS**  
FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION

\*NOTE:  
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R201.2.1 (RESIDENTIAL CODE OF NEW YORK)

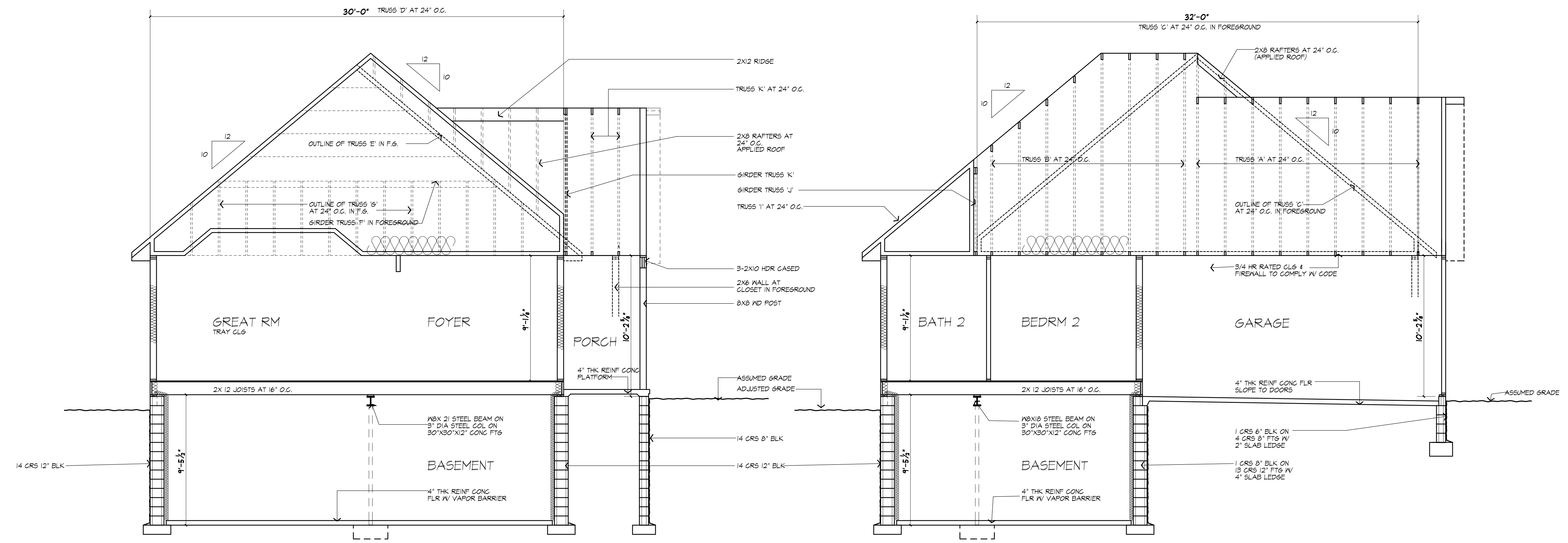




NOTE:  
 PROVIDE ICE PROTECTION UNDERLAYMENT  
 ON PERIMETER OF ROOF TO 24" INSIDE  
 INTERIOR WALLS PER R905.2.1  
 (2015 IRC)

LINE LEGEND  
 - - - - - BEYOND  
 - - - - - IN FOREGROUND

SECTION A



SECTION B

SECTION C

**PATRICK J. MORABITO**  
 A.I.A.  
**ARCHITECT**  
 P.C.

121 Sully's Trail  
 Pittsford, NY 14534

(585) 264-1330  
 (585) 264-1333 Fax

www.pjmarchitect.com

**NOTICE:**  
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.  
 ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.  
 THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.  
 UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.  
 COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

JANUARY 4, 2019

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
 ANDERSON RESIDENCE  
 LOT II: THE COTTAGES  
 AT MALVERN HILLS

**CLIENT:**  
 KEMAR DEVELOPMENT CORP

**DRAWING:**  
 BUILDING SECTIONS

<b>DRAWN:</b> PJM / MSM	<b>CHECKED:</b> PJM
----------------------------	------------------------

**DATE:** JANUARY 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18M380T

**SHEET:**

**8**  
 OF 9 SHEETS





**PATRICK J. MORABITO**  
**A.I.A.**  
**ARCHITECT**  
**P.C.**

**121 Sully's Trail**  
**Pittsford, NY 14534**

**(85) 264-1330**  
**(585) 264-1333 Fax**

**www.pjmarchitect.com**

**NOTICE:**  
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2018  
 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

**JANUARY 4, 2019**

This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
 ANDERSON RESIDENCE  
 LOT II: THE COTTAGES  
 AT MALVERN HILLS

**CLIENT:**  
 KETMAR DEVELOPMENT CORP

**DRAWING:**  
 WALL SECTIONS

**DRAWN:** PJM / MGM  
**CHECKED:** PJM

**DATE:** JANUARY 2019  
**SCALE:** 1/4"=1'-0"  
**JOB NO.:** 18M380T  
**SHEET:** 9  
 OF 9 SHEETS

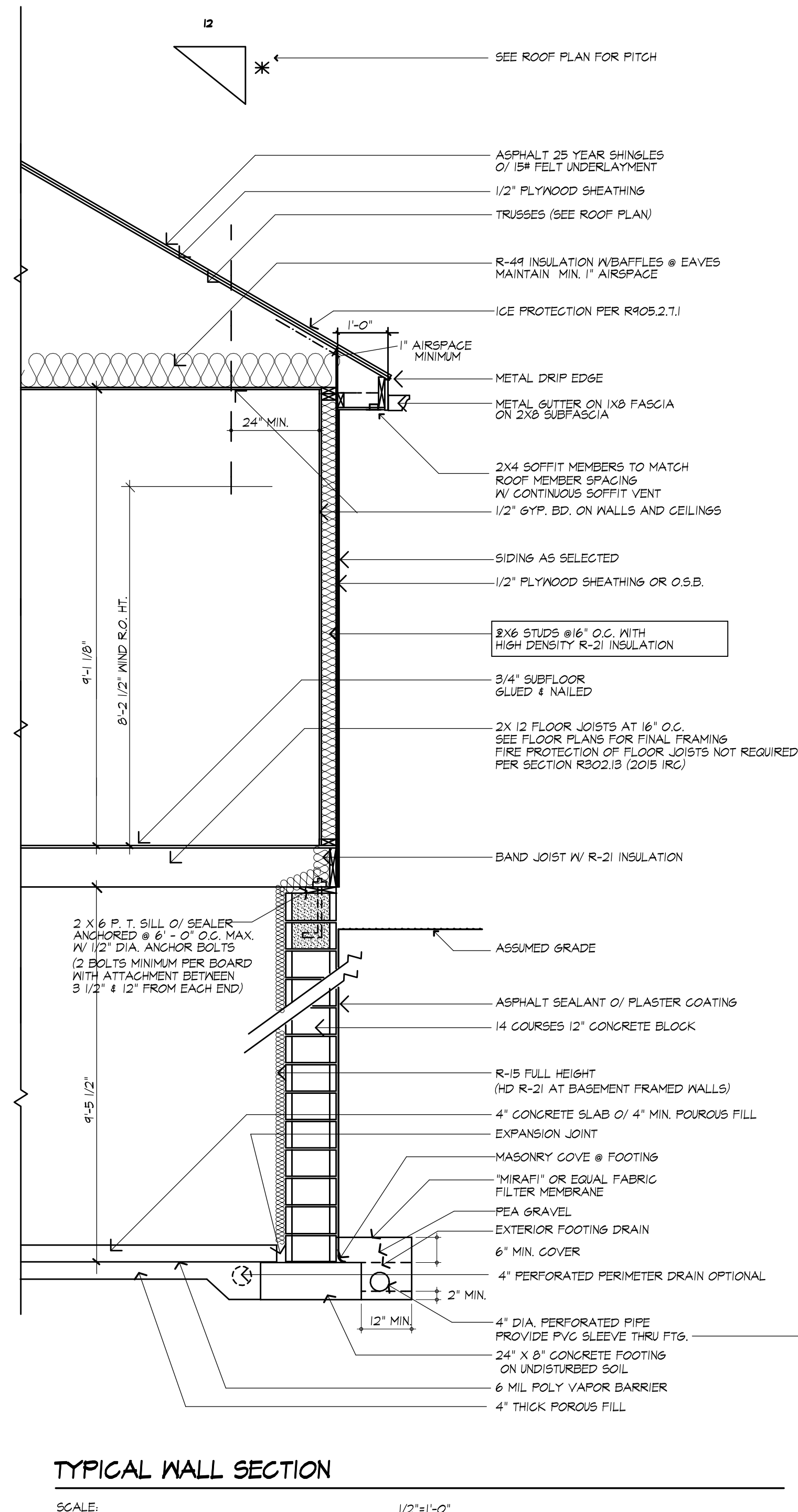
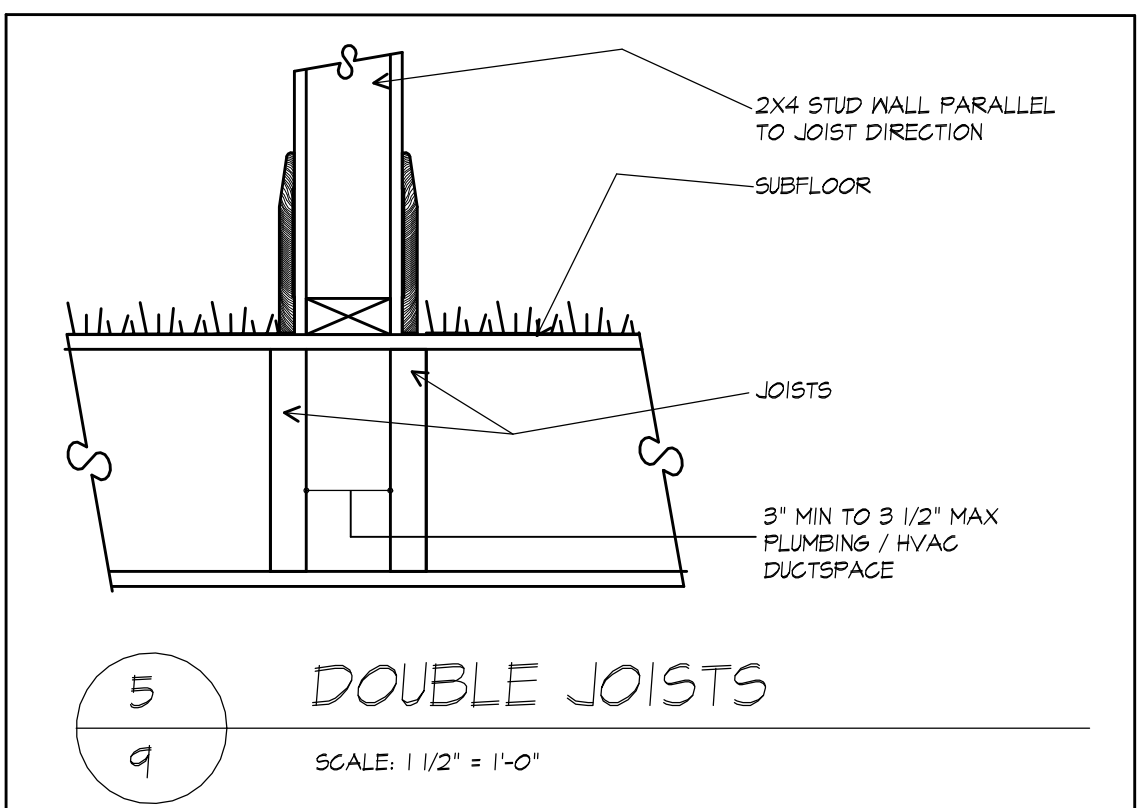
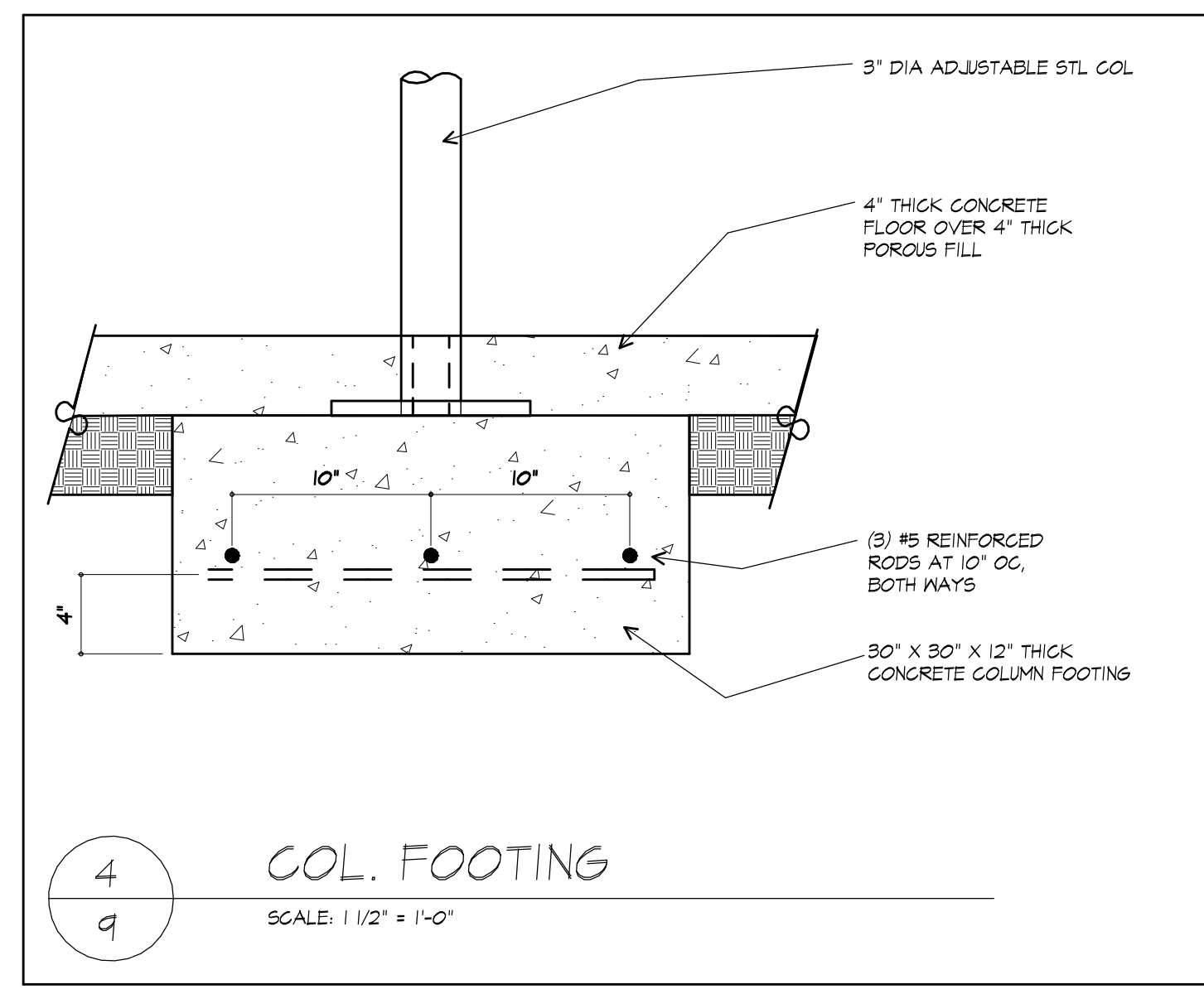
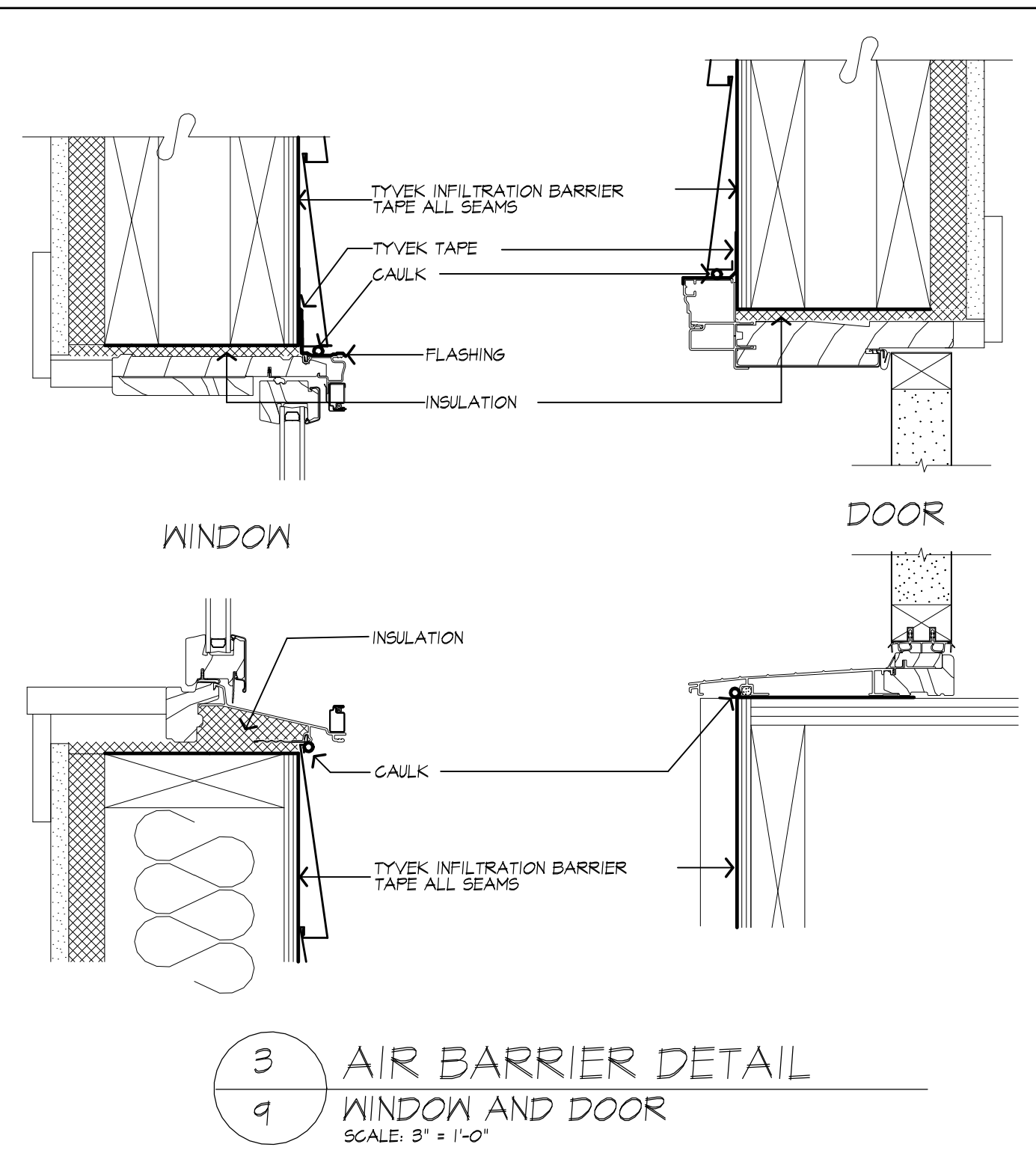
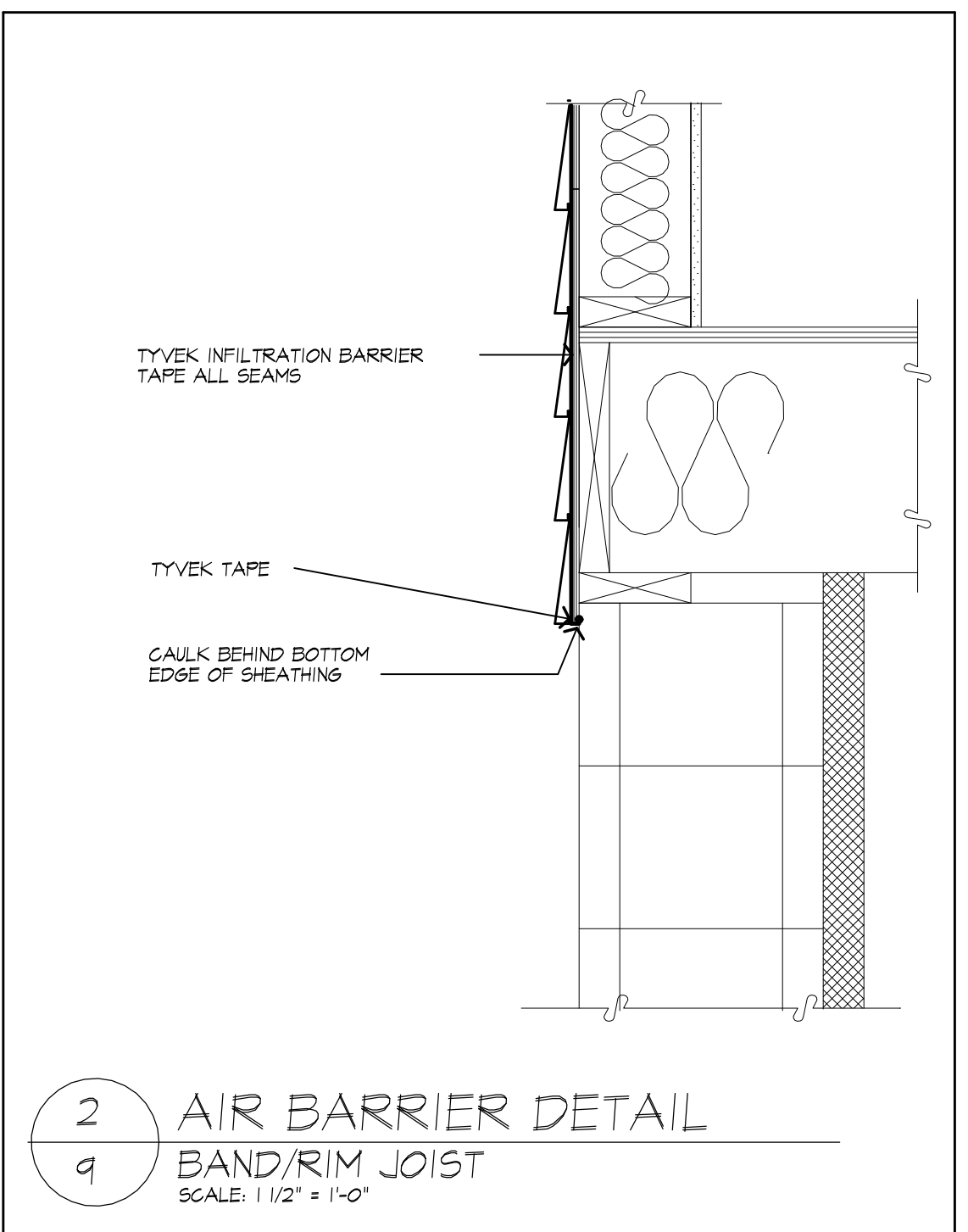
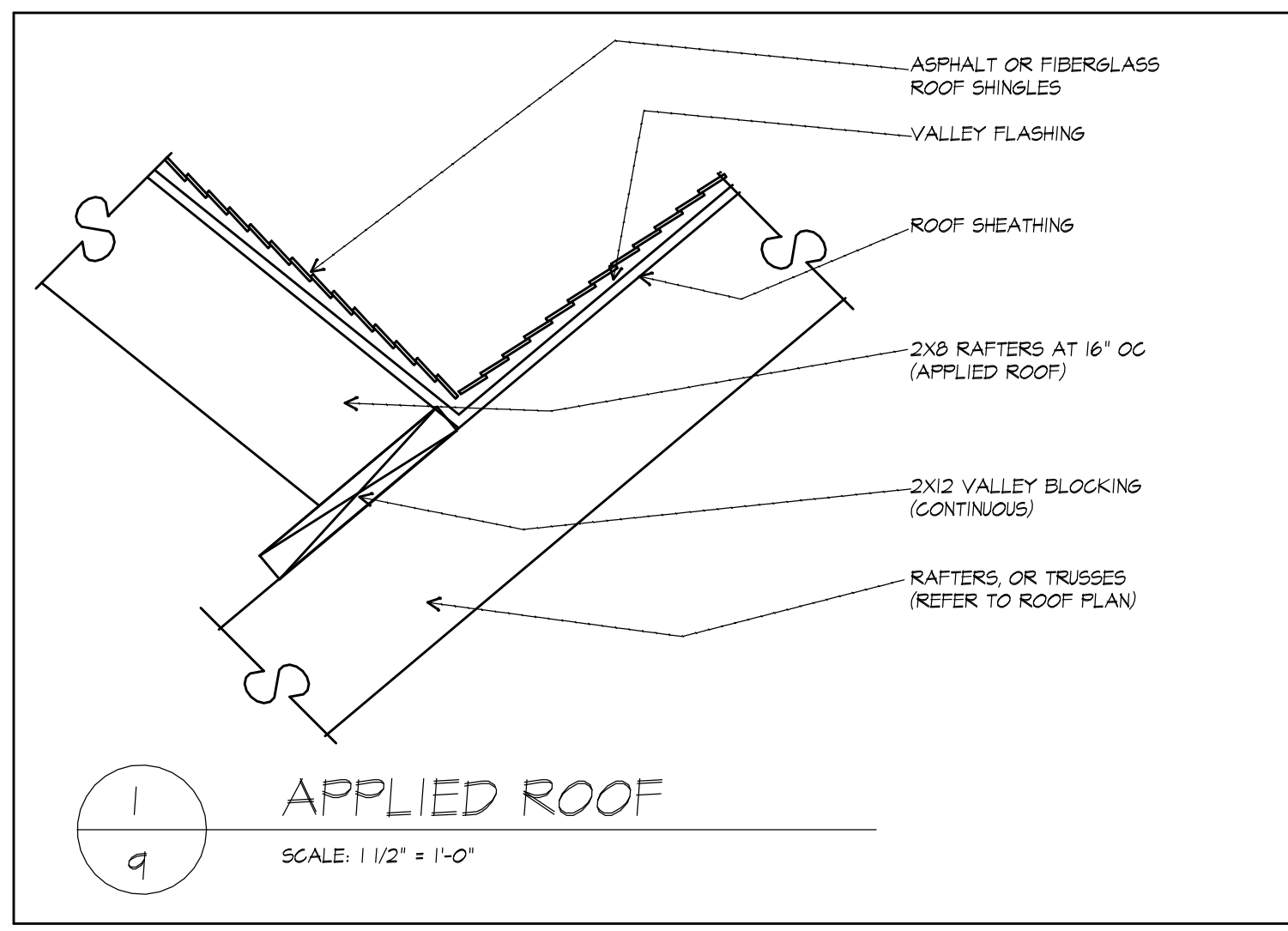


TABLE N102.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT AND CONTIGUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL AIR PERMEABLE INSULATION IS INSIDE OF AN AIR BARRIER
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED JUNCTION OF FOUNDATION AND BILL PLATE IS SEALED
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMS AND FRAMING IS SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION
CRAWL-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLEX SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO DRYWALL. EXCEPTION: FIXTURES IN UNCONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES BATT INSULATION IS CUT TO FIT AROUND WIRING AND BEHIND PIPING AND WIRING CAN INSULATION EXTENDS
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXISTING WALL
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN DWELLING UNITS
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER

**TYPICAL NOTES**

- DOOR MANUFACTURER: ANDERSEN OR EQUAL
- WINDOW AND DOOR AIR INFILTRATION: ANDERSEN WINDOWS OR EQUAL DOUBLE HUNG 0.30 CFM CASEMENT, AWNING, FIXED 0.05 CFM DOORS: 0.30 CFM OR LESS SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM
- GAS FIREPLACE(S): HEAT-N-GLO 6000G DIRECT VENT \*TIGHT FITTING NON-COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
- JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2x6 FRAMED WALLS. KRAFT BATTS
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 10SF OR BELOW 5SF SHALL BE INSULATED TO A MINIMUM OF R-8.
- BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 409.2.2 OF THE 2010 ENERGY CONSERVATION CODE.
- ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL OTHER DUCTS LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

**LIGHTING FIXTURE SCHEDULE**

- OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE  
 BASEMENT MINIMUM (3) 60 WATT FIXTURES  
 STAIRWAYS MINIMUM (1) 60 WATT FIXTURE  
 HALLWAYS MINIMUM (1) 120 WATT FIXTURE  
 GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE  
 LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE  
 WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE  
 BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE  
 DINETTE MINIMUM (1) 120 WATT FIXTURE  
 KITCHEN MINIMUM (1) 120 WATT FIXTURE  
 DINING ROOM MINIMUM (1) 120 WATT FIXTURE  
 ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
 ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
 ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE  
 GARAGE MINIMUM (2) 60 WATT FIXTURES

**LIGHTING FIXTURE CONTROL NARRATIVE**

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER, WHERE ONE OR MORE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

R803.1 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH 5FT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R803.4.2 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA. WITHIN 5 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

















## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**C19-000006**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 2851 Clover Street PITTSFORD, NY 14534

**Tax ID Number:** 163.02-1-24.111

**Zoning District:** PUD Planned Unit Development

**Owner:** Cloverwood

**Applicant:** SWBR (Robert F. Simonetti)

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)           | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input checked="" type="checkbox"/> Commercial Design Review<br>§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                             | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197          | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                     |   |

**Project Description:** Applicant is requesting design review for the construction of "The Terraces at Cloverwood" previously Friendly Commons. This will be upscale senior living located in the area of the former "Barn Bazaar" at the southwest corner of Clover Street and Jefferson Road.

**Meeting Date:** January 24, 2019





**ROCHESTER OFFICE**  
387 East Main St  
Rochester NY 14604  
585 232 8300  
rochester@swbr.com

Architecture  
Graphic Design  
Interior Design  
Landscape Architecture  
Structural Engineering

January 16, 2019

DRHP Board Members  
cc: Allen Reitz  
Town of Pittsford  
11 South Main Street  
Pittsford, NY 14534

Re: Terraces at Cloverwood  
(previously Friendly Commons)  
SWBR Project No. 17565.00

Dear DRHP Board Members:

The attached submission is a progress update from our previous presentation to this Board. We have since continued to work on defining and refining the project, and its architectural character.

Our team has done extensive research as to Pittsford's vernacular, and has proceeded to refine a building mass that entails major cues from the Town of Pittsford, both in language and materials.

The intent of this submission and subsequent presentation is to ensure the Board is informed and aware of our design development, and continue the dialog as we progress through the next milestones of the project.

Looking forward to seeing you and presenting our progress next week!

Sincerely,

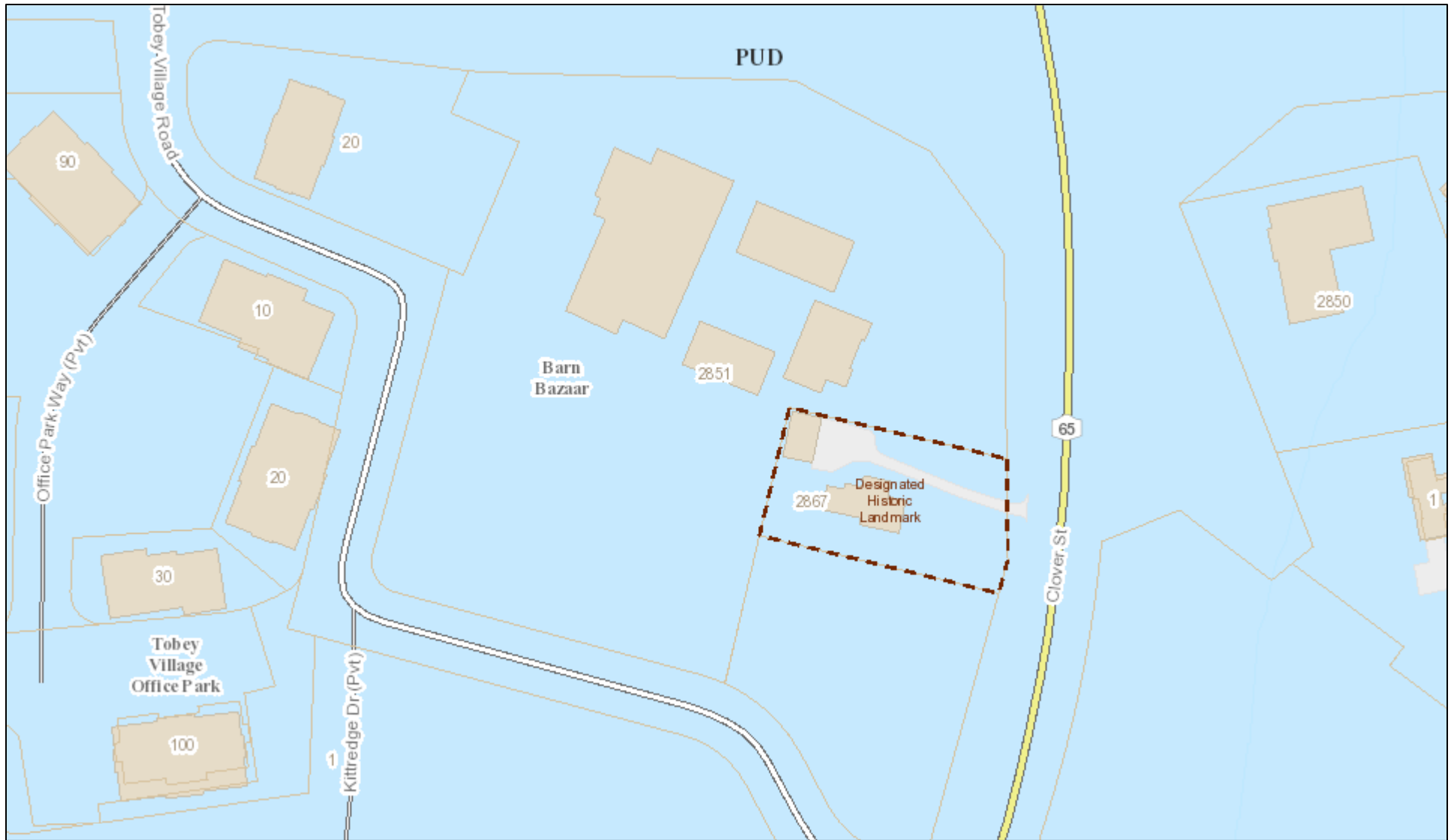
Robert F. Simonetti, AIA  
Design Director/Project Architect

LBF/kf

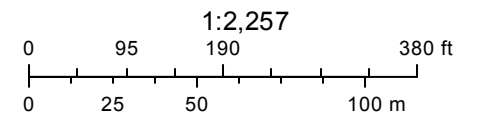
J:\2017\17565.00 CLOVERWOOD SENIOR LIVING EXPANSION\11-COMMUNICATIONS\11.01\_LETTERS AND MEMOS\DRHP BOARD LETTER 01 16 19.DOCX



# RN Residential Neighborhood Zoning



Printed January 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.









4 3D View from Clover St in Winter



3 3D View from Clover St and W. Jefferson Rd.



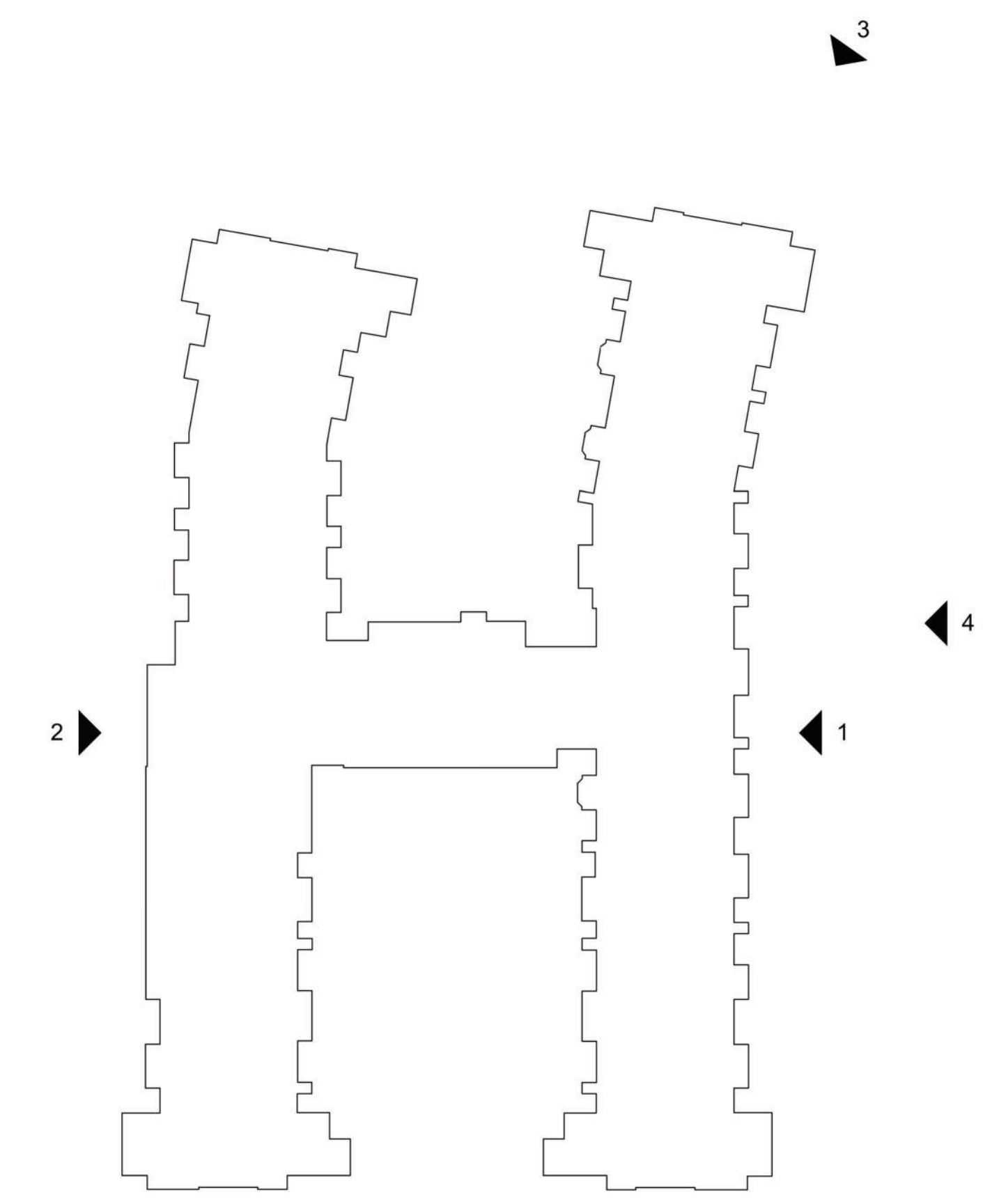
2 West Elevation

T. ROOF DECK  
+573' - 0"  
THIRD FLOOR  
+562' - 0"  
SECOND FLOOR  
+551' - 0"  
FIRST FLOOR  
+540' - 0"  
TERRACE LEVEL  
+529' - 0"



1 East Elevation

T. ROOF DECK  
+573' - 0"  
THIRD FLOOR  
+562' - 0"  
SECOND FLOOR  
+551' - 0"  
FIRST FLOOR  
+540' - 0"  
TERRACE LEVEL  
+529' - 0"



Key Plan

# Exterior Elevations and 3D Views Friendly Commons at Cloverwood

January 24, 2019





6 3D View from Clover St and Tobey Village Rd



5 North Elevation



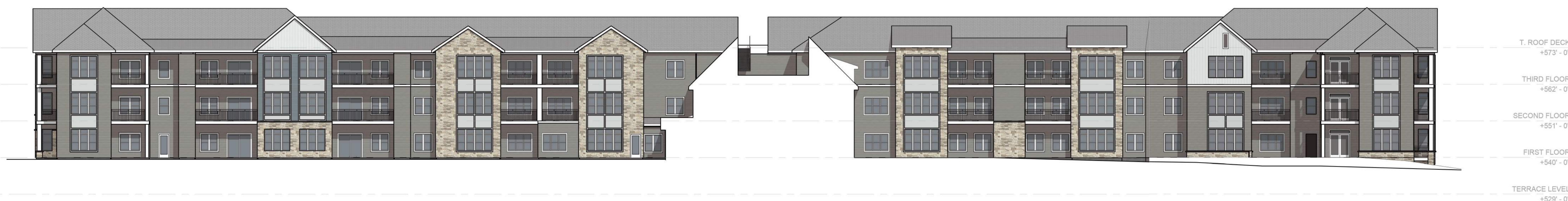
4 South Elevation



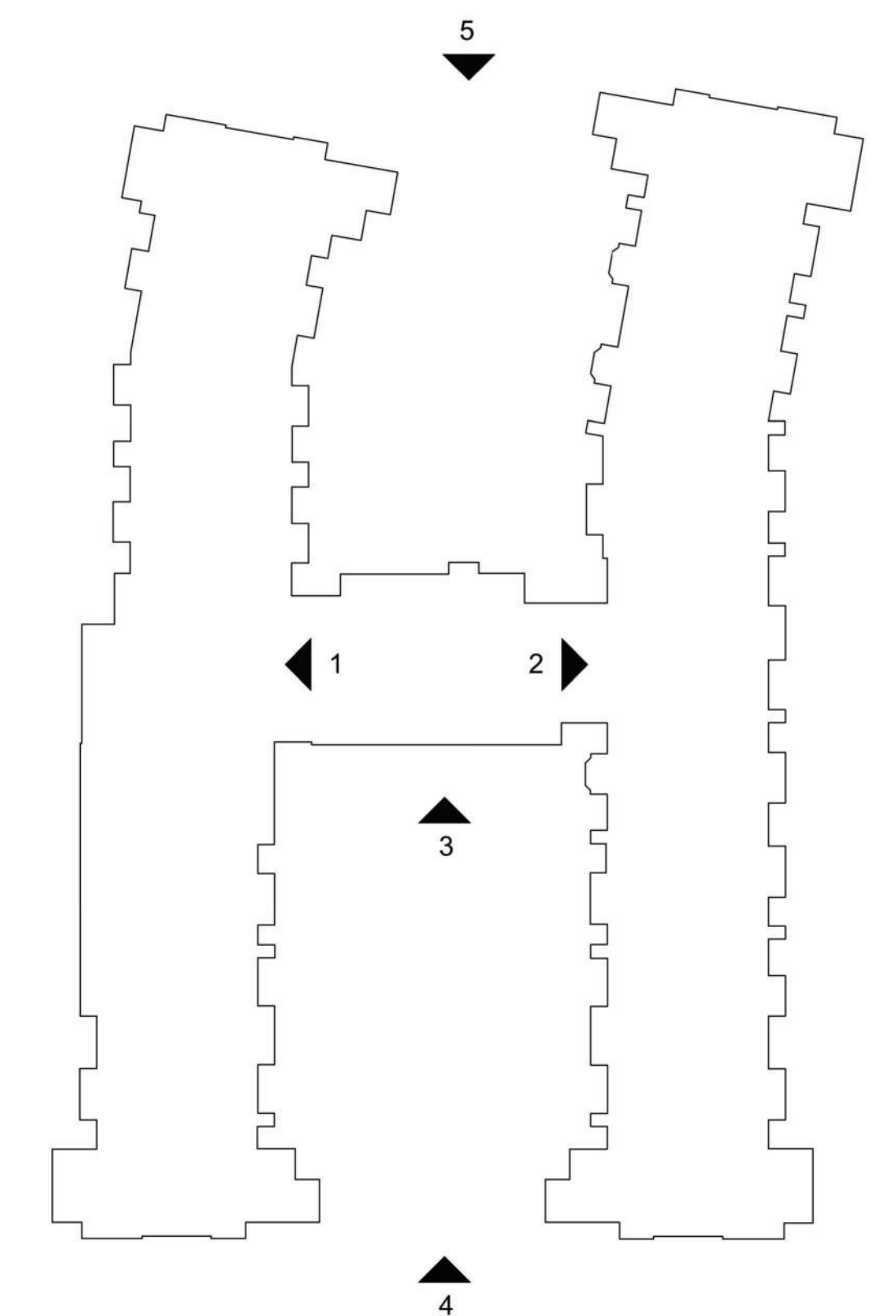
3 South Elevation of Commons



2 West Elevation of Courtyard



1 East Elevation of Courtyard



Key Plan

# Exterior Elevations and 3D Views Friendly Commons at Cloverwood

January 24, 2019







Landscape Plan Friendly Commons at Cloverwood  
 December 10, 2018

