

**Design Review & Historic Preservation Board
Agenda
January 9, 2020**

HISTORIC PRESERVATION DISCUSSION

CERTIFICATE OF APPROPRIATENESS

- **255 East Brook Road**
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace two windows. This property is zoned RN- Residential and is located in a historic district.
- **21 Founders Green**
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to add a sun porch. This property is zoned RN- Residential and is located in a historic district.

RESIDENTIAL APPLICATION FOR REVIEW

- **5 Winding Road**
The Applicant is requesting design review for a dining and living room addition. The addition will be located on the south side of the home and will be approximately 336 sq. ft. The applicant did appear before the Zoning Board on 12/16/2019 and was approved for a front setback variance.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOME

- **17 Blackwood Circle**
The Applicant is requesting design review for the construction of a new single-family one story home. The home will be approximately 1984 sq. ft. and will be located in the Wilshire Hill Development.

COMMERCIAL APPLICATION FOR REVIEW

- **3349 Monroe Avenue – Deka Lash**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 12.10 sq. ft. and will identify the "Deka Lash" business. The sign will be internally illuminated pan channel letters with acrylic face in white and magenta.
- **3349 Monroe Avenue – Spenga**
The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 45.41 sq. ft. and will identify "Spenga spin, strength and yoga". The sign will be internally illuminated pan channel letters.
- **5611 Palmyra Road**
The Applicant is requesting design review for the construction of a detached garage and exterior renovations. The garage will be approximately 560 sq. ft. and will be located to the southeast side of the existing building. The existing building will receive new lap siding, shake siding, new shutters and a new entrance canopy.

OTHER – REVIEW OF 12/12/2019 MINUTES

draft
**Design Review and Historic Preservation Board
Minutes
December 12, 2019**

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, Bonnie Salem, Leticia Fornataro, Kathleen Cristman, David Wigg

ALSO PRESENT

Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney

ABSENT

John Mitchell

Dirk Schneider opened the meeting at 6:45 pm.

HISTORIC PRESERVATION DISCUSSION

David Wigg discussed the former Lusk barn at the Crystal Barn site. He is looking into ways that the barn can be preserved in some fashion and will report back to the Board.

Bonnie Salem volunteered to write the resolution for the Certificate of Appropriateness for 201 Long Meadow Circle for Historic Designation.

Kathleen Cristman stated that she will send out a list of duties for volunteers for the next reception for owners of inventoried homes.

RESIDENTIAL APPLICATION FOR REVIEW

- **4040 East Avenue**

The Applicant is requesting design review for the garage addition. The addition will be 600 sq. ft. and will be located to the east of the existing garage. The applicant did receive a variance at the November 18, 2019 Zoning Board meeting.

The architect for the project, David Burrows was present to discuss the application with the Board.

The plan is to expand an existing two-car garage. The materials will be matching stucco. The panels will be Hardi panel siding with batten to cover the seams.

The roofing will be in the style of the existing and the gutters will match.

Board members felt that the window should be centered between the batten strips.

Leticia Fornataro moved to accept the application as submitted with the condition that the design be reworked to center the window between the batten strips.

Dirk Schneider seconded.

All Ayes.

- **22 East Park Road**

The Applicant is requesting design review for additions to an existing home. The additions will include a 385 sq. ft. garage addition, 216 sq. ft. great room, 98 sq. ft. kitchen and 84 sq. ft. porch.

The architect, Chris Hennessey, and homeowner, Bruno Wolf were present.

The project involves a renovation which will add a garage to the left of the front elevation, kitchen addition of the right side elevation, increase the size of the great room and add an entrance at grade.

The façade of the home will be redone and the roofing and siding will be all new.

Dirk Schneider expressed a concern about the window on the right side elevation not being centered on the gable.

Bonnie Salem discussed that this improvement of the function of the house fits in fine with the existing neighborhood.

Bonnie Salem moved to accept the application as submitted with the recommendation that the owner consider potential reorientation of the window on the right side elevation.

Kathleen Cristman seconded.

All Ayes.

- **100 Hahnemann Trail**

The Applicant is requesting design review for a two-story addition. The addition will be a small (6) bed addition to the existing assisted living residence at the existing campus on Hahnemann Trail. The addition will be a two story, 4,520 sq. ft. building. Architecturally, the building design will match the existing building. The courtyard that this addition creates with the existing will be developed into a memory garden with resident amenities.

The architect, Eric Reynolds was present. Lloyd Theiss of the Highlands of Pittsford was also in attendance.

Mr. Reynolds discussed the proposed construction as a small addition that matches the existing design of the original construction. The materials and details of the building will match the existing.

Paul Whitbeck moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3349 Monroe Avenue – Under Armour Sign**

The Applicant is requesting design review for a business identification sign. The sign will total 73.18 sq. ft. and will feature white acrylic letters with a red aluminum cabinet.

Nick Temerario was present to discuss the application with the Board.

Mr. Temerario discussed the project involved raising the parapet of the façade to be equal to that of a neighboring store. It will be painted to match the existing color of the façade.

A red box sign will be installed with the Under Armour name and logo in white.

Dirk Schneider expressed concern about the hierarchy of the parapet but acquiesced as long as it aligns with what is adjacent to it.

Kathleen Cristman moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

- **3349 Monroe Avenue – Goldfish Swim School Sign**

The Applicant is requesting design review for an addition of a business identification sign. The sign will be 54.19 sq. ft. and will identify the "Goldfish Swim School" business. The sign will be an encapsulated logo and channel letters.

No representative was present to discuss the application with the Board.

Leticia Fornataro expressed concern about the placement of the sign. The Board concurred that the sign should be centered over the door on the larger bay.

Dirk Schneider moved to approve the application with the condition that the sign is centered over the left hand column spacing.

Dave Wigg seconded.

All Ayes.

- **3025 Monroe Avenue – E & F Jewelry Sign**

The Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 43.3 sq. ft. and will identify the "Estate & Fine Jewelry" business. The sign will be 1/2" black komacel lettering and will be stud mounted to the building.

Harry Krikorian was present to discuss the application with the Board.

The Board reviewed the proposed signage. No signage will face Monroe Avenue to the front. It will be the same length as the previous sign.

Bonnie Salem moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

OTHER – REVIEW OF 11/14 /2019 MINUTES

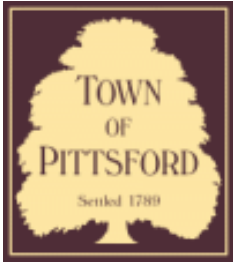
Kathleen Cristman moved to approve the minutes of the 11/14/19 meeting with one correction. Bonnie Salem seconded.

All Ayes.

The meeting adjourned at 7:45 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA19-000005

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 255 East Brook Road PITTSFORD, NY 14534

Tax ID Number: 151.17-1-6.1

Zoning District: RN Residential Neighborhood

Owner: Bacon, Thomas

Applicant: McKinnon Construction Building Contractors Inc.

Application Type:

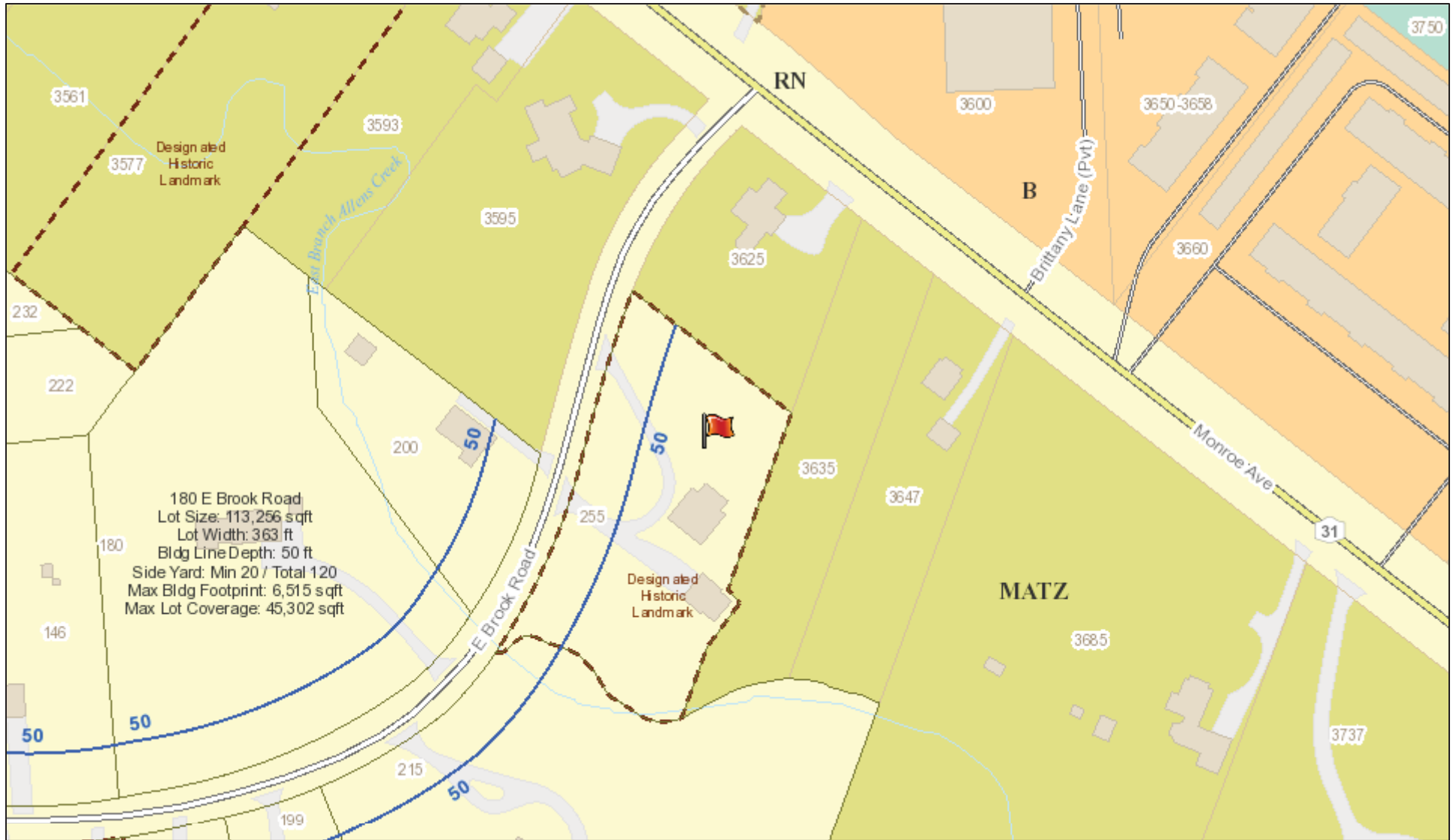
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace two windows. This property is zoned RN- Residential and is located in a historic district.

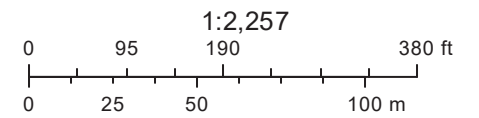
Meeting Date: January 09, 2020



RN Residential Neighborhood Zoning

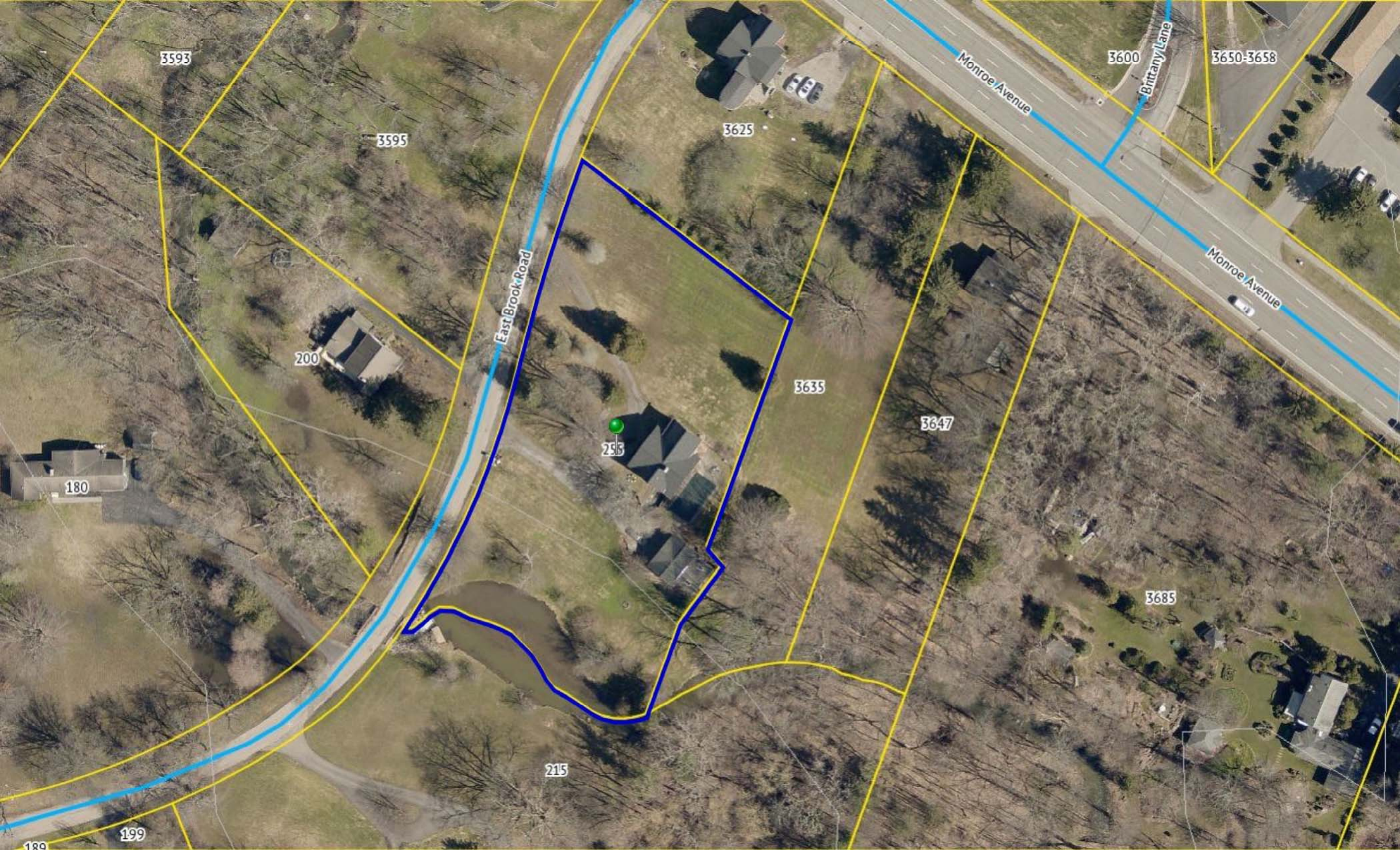


Printed January 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



3593

3595

3625

3600

3650-3658

East Brook Road

200

253

3635

3647

180

Monroe Avenue

Brittany Lane

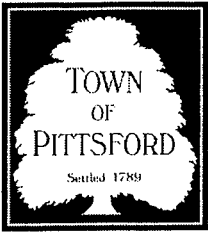
Monroe Avenue

3685

215

180

199



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # CoFA # 2

- Property Address: 255 East Brook
- Tax Account Number: 151.17-1-6.1
- Applicant's Name: John McKinnon
Address: 10 Fords Crossing Phone: (585) 330-8090
Street
Honeoye Falls NY 14472 E-mail: jmckinnon@rochester.rr.com
City State Zip Code
- Applicant's Interest in Property:
Owner: Lessee: Holding Purchase Offer:
Other (explain): Contractor
- Owner (if other than above): Thomas B. Bacon and Tammy Swan-Bacon
Address: 644 N McDonald St Phone: (954) 478-3051
Street
Mount Dora Fla 32757 E-mail: swanbacon508@gmail.com
City State Zip Code
Has the Owner been contacted by the Applicant? Yes No
- Application prepared by: John McKinnon
Address: 10 Fords Crossing Phone: (585) 330-8090
Street
Honeoye Falls NY 14472 E-mail: jmckinnon@rochester.rr.com
City State Zip Code
- Project Design Professional (if Available): NA
Address: _____ Phone: _____
Street

City State Zip Code
E-mail: _____

8. Project Contractor (if Available): McKinnon Construction
Address: 10 Fords Crossing Phone: (585) 330-8090
Street
Honeoye Falls NY 14472 E-mail: jmckinnon@rochester.rr.co
City State Zip Code

9. Present use of Property: single family home

10. Zoning District of Property: _____

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Install 2 double hung windows, similar to existing. Just need to be 1'6" shorter to accommodate
a countertop below

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

NA

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

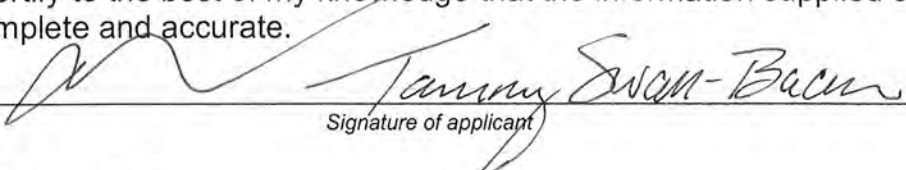
NA

16. Additional materials submitted with this application (if available):

- | | |
|---|--|
| <input type="checkbox"/> Parcel map | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans |
| <input type="checkbox"/> Other materials | |

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

12/13/2019

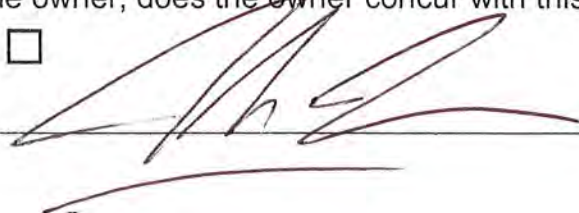
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature:

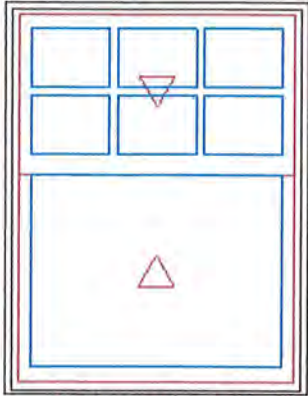


LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1 Qty: 2	Mark Unit:			
-------------------	------------	--	--	--

MARVIN 



As Viewed From The Exterior

CN 3444
 FS 33 1/2" X 43 3/4"
 RO 34 1/2" X 44 1/4"
Egress Information
 No Egress Information available.
Performance Grade
 Licensee #783
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG40 1054X1720 mm (42X67.7 in)
 LC-PG40 DP +40/-40
 FL6525

Stone White Exterior
 White Interior
 Elevate Double Hung
 CN 3444
 Rough Opening 34 1/2" X 44 1/4"
 Cottage
 Top Sash
 Stone White Exterior
 White Interior
 G.S. 28 3/4" X 15 3/32"
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Standard Cut 3W2H
 Stone White Ext - White Int
Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.
 Bottom Sash
 Stone White Exterior
 White Interior
 G.S. 28 3/4" X 22 13/32"
 IG - 1 Lite
 Low E2 w/Argon
 Stainless Perimeter Bar
 White Weather Strip Package
 White Sash Lock
 Exterior Aluminum Screen
 Stone White Surround
 Charcoal Fiberglass Mesh
 4 9/16" Jamb
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Line #2 Qty: 2	Mark Unit:			
-------------------	------------	--	--	--

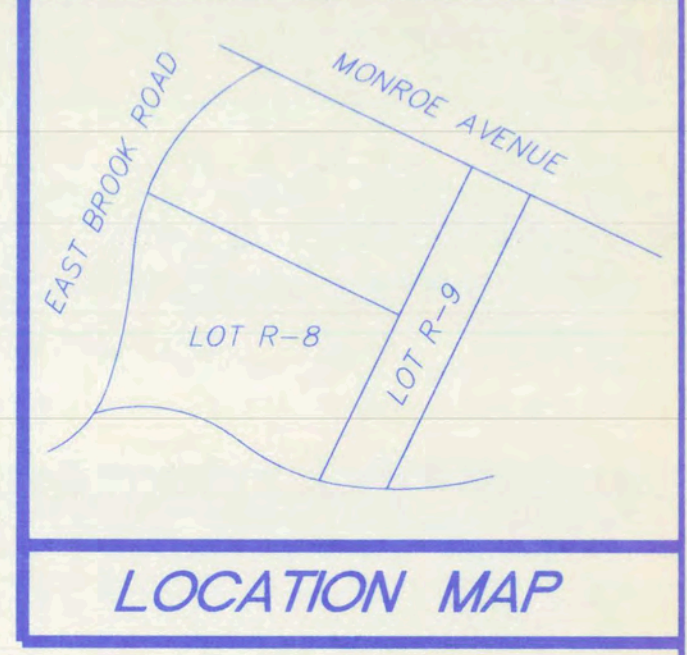
MARVIN 

Primed Pine Exterior
 Primed Pine Interior
 Ultimate Wood Double Hung
 CN 2818
 Rough Opening w/ Sub sill
 34 3/8" X 45 1/2"
 Cottage 2.0:5.0
 Top Sash
 Primed Pine Sash Exterior
 Primed Pine Sash Interior
 G.S. 28" X 14 13/32"
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 3W2H
 Primed Pine Ext - Primed Pine Int
 Ovolo Exterior Glazing Profile



LEGEND

- 462 — EXISTING CONTOUR LINE
- — EXISTING PROPERTY LINE
- W — EXISTING WATERMAIN
- SAN — EXISTING SANITARY PIPE AND MANHOLE
- G — EXISTING GAS MAIN
- STM — EXISTING STORM PIPE AND MANHOLE
- OHW — EXISTING UTILITY EASEMENT
- OHW — UTILITY POLE & OVERHEAD WIRES
- EXISTING GAS VALVE
- EXISTING HYDRANT UNIT
- EXISTING WATER VALVE
- FOUND IRON PIN
- EXISTING CATCH BASIN
- EXISTING CLEAN OUTS
- EXISTING TREES



SURVEY MONUMENTATION

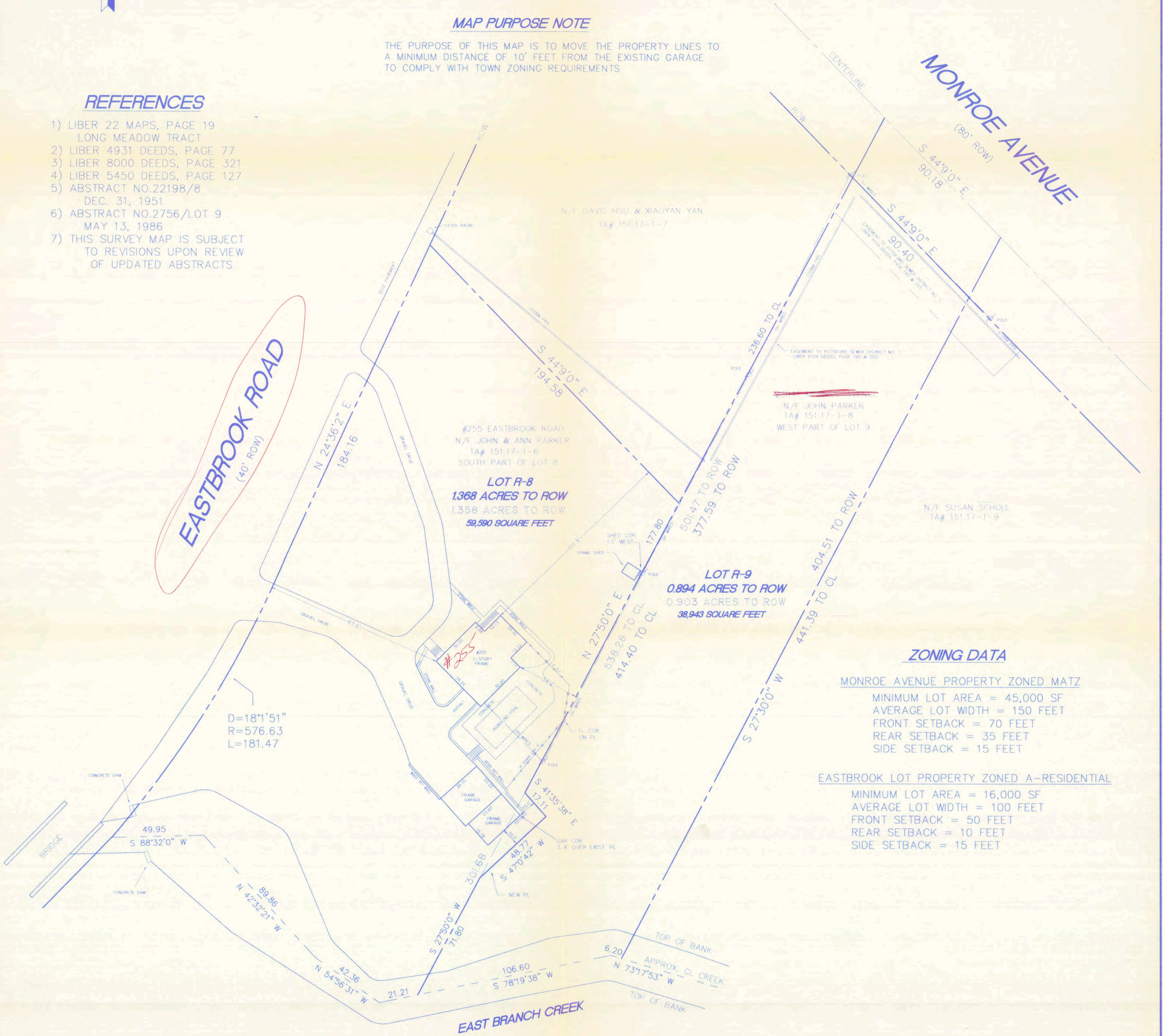
THIS PROJECT IS BEYOND 1200' FEET FROM THE NEAREST GEODETIC MONUMENT AND IS NOT TIED TO THE GRID SYSTEM

MAP PURPOSE NOTE

THE PURPOSE OF THIS MAP IS TO MOVE THE PROPERTY LINES TO A MINIMUM DISTANCE OF 10' FEET FROM THE EXISTING GARAGE TO COMPLY WITH TOWN ZONING REQUIREMENTS

REFERENCES

- 1) LIBER 22 MAPS, PAGE 19 LONG MEADOW TRACT
- 2) LIBER 4931 DEEDS, PAGE 77
- 3) LIBER 8000 DEEDS, PAGE 321
- 4) LIBER 5450 DEEDS, PAGE 127
- 5) ABSTRACT NO.22198/8 DEC. 31, 1951
- 6) ABSTRACT NO.2756/LOT 9 MAY 13, 1986
- 7) THIS SURVEY MAP IS SUBJECT TO REVISIONS UPON REVIEW OF UPDATED ABSTRACTS



ZONING DATA

MONROE AVENUE PROPERTY ZONED MATZ
 MINIMUM LOT AREA = 45,000 SF
 AVERAGE LOT WIDTH = 150 FEET
 FRONT SETBACK = 70 FEET
 REAR SETBACK = 35 FEET
 SIDE SETBACK = 15 FEET

EASTBROOK LOT PROPERTY ZONED A--RESIDENTIAL
 MINIMUM LOT AREA = 16,000 SF
 AVERAGE LOT WIDTH = 100 FEET
 FRONT SETBACK = 50 FEET
 REAR SETBACK = 10 FEET
 SIDE SETBACK = 15 FEET

I, THE UNDERSIGNED TREASURER OF MONROE COUNTY, PURSUANT TO SECT. 334 OF THE REAL PROPERTY LAW, CERTIFY THAT ALL MONROE COUNTY TAXES AND SCHOOL TAXES AGAINST THE LAND DESCRIBED HEREIN HAVE BEEN PAID THROUGH

DATED: _____
 STEPHEN W. GLEASON
 MONROE COUNTY TREASURER

COPYRIGHT PROTECTION

UNAUTHORIZED USE, REPRODUCTION AND/OR DISTRIBUTION OF THE INFORMATION SHOWN HEREON IS STRICTLY PROHIBITED. ANY SUCH UNAUTHORIZED USE SHALL INDEMNIFY AND HOLD HARMLESS JAMES H. MISSELL AND ASSOCIATES FROM ALL CLAIMS, LOSSES AND EXPENSES ARISING THEREFROM.

COPYRIGHT JAMES H. MISSELL AND ASSOCIATES, 2007

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, AND APPLIES TO THIS DRAWING: "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM, HIS SEAL AND THE NOTATION "ALTERED BY", FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

COPYRIGHT JAMES H. MISSELL AND ASSOCIATES, 2007

SURVEY CERTIFICATION

WE, JAMES H. MISSELL AND ASSOCIATES CERTIFY THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH CURRENT STANDARDS JOINTLY ADOPTED BY GENESSEE VALLEY LAND SURVEYORS ASSOCIATION AND THE MONROE COUNTY BAR ASSOCIATION AND FROM FIELD NOTES OF AN INSTRUMENT SURVEY COMPLETED ON NOVEMBER 2, 2007.



County Highway Superintendent _____ Date _____
 For the Monroe County Monumentation Law:

Monroe County Surveyors Office _____ Date _____

MONROE COUNTY DEPARTMENT OF HEALTH
 REALTY SUBDIVISION APPROVAL NOT REQUIRED
 FOR THE FILING OF THIS MAP WITH THE
 MONROE COUNTY CLERK.

DATE: _____

NOTE: OTHER DEPARTMENT OF HEALTH APPROVALS
 MAY BE NEEDED - FOR ADDITIONAL INFORMATION
 CALL 274-6058 OR 274-6856

Jeffery D'Amico
 PLANNING BOARD CHAIRPERSON

1-14-08
 DATE

255 E. Brook Rd

FINAL PLAT MAP

REVISIONS			LONG MEADOW RESUBDIVISION		
DATE:	BY:	REVISION:	BEING A RESUBDIVISION OF THE SOUTH PART OF LOT 8 AND THE WEST PART OF LOT 9 OF THE LONG MEADOW SUBDIVISION, BEING PART OF TOWN LOTS 61 & 62, TOWN-SHIP 12, RANGE 5, SITUATED IN THE TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK		
1/10/08	JM	ZONING DATA, FINAL, LOT SQ. FT.	JAMES H. MISSELL AND ASSOCIATES 900 JEFFERSON ROAD, ADMIN. BLDG. #104 ROCHESTER, NEW YORK 14623 TEL. 585-340-2315 FAX. 585-340-2316		
			CLIENT: JOHN PARKER, 255 EASTBROOK ROAD, PITTSFORD, NY TAX ACCOUNT NUMBER: 151.17-1-6 & 8		
DATE:	DRAWN BY:	SURVEYOR:	SCALE:	SHEET NO.:	DRAWING NO.:
DEC. 7, 2007	J.H.M.	J.H.M.	1" = 30'	1 OF 1	255EAST

property file #255 Eastbrook Rd



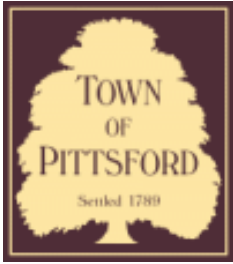




300







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA19-000004

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 21 Founders Green PITTSFORD, NY 14534

Tax ID Number: 164.03-5-10

Zoning District: RN Residential Neighborhood

Owner: Pritchard, David

Applicant: Patio Enclosures DBA Unlimited Enclosures Hart Inc.

Application Type:

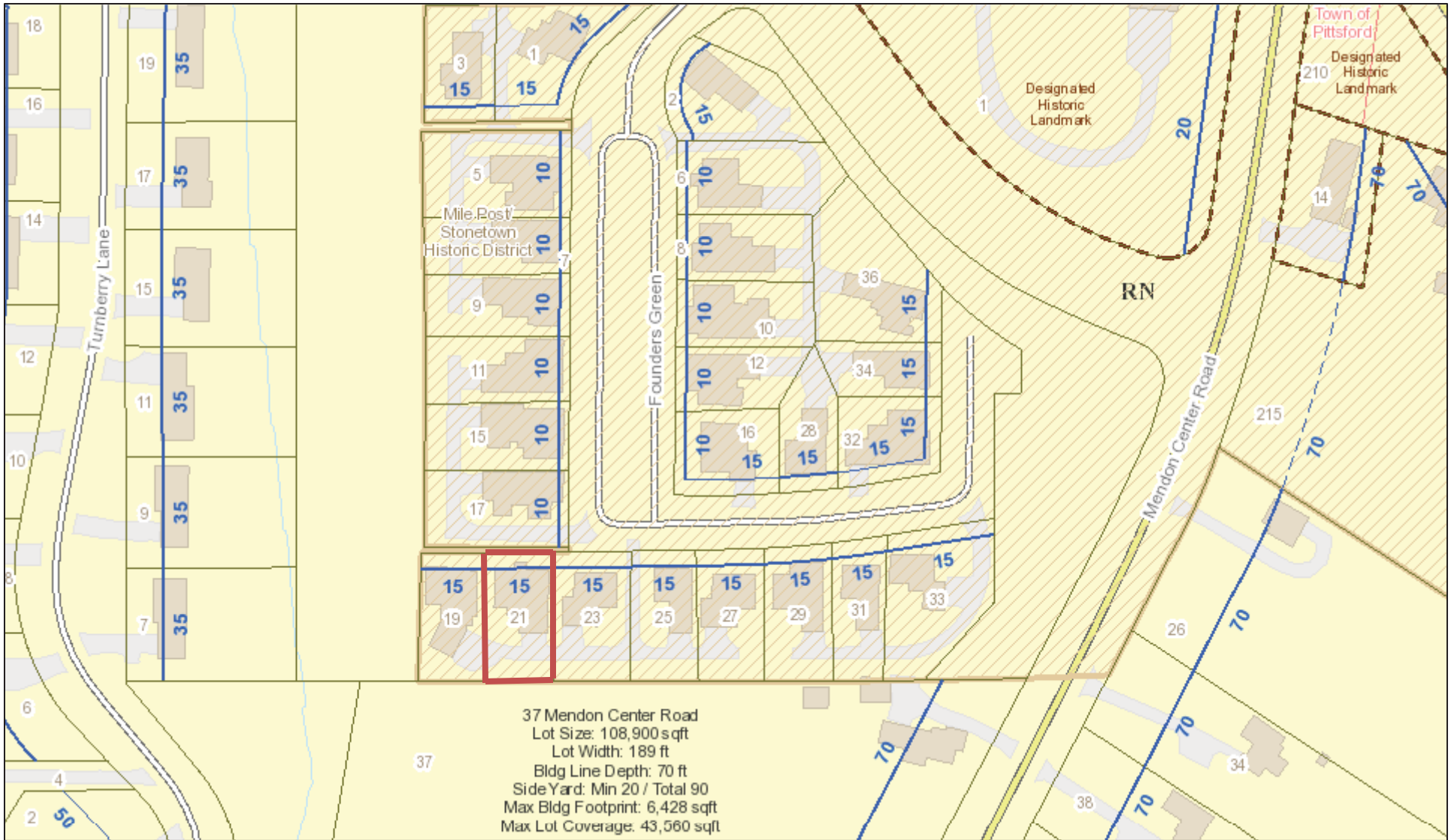
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to add a sun porch. This property is zoned RN- Residential and is located in a historic district.

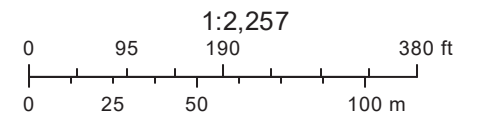
Meeting Date: January 09, 2020



RN Residential Neighborhood Zoning

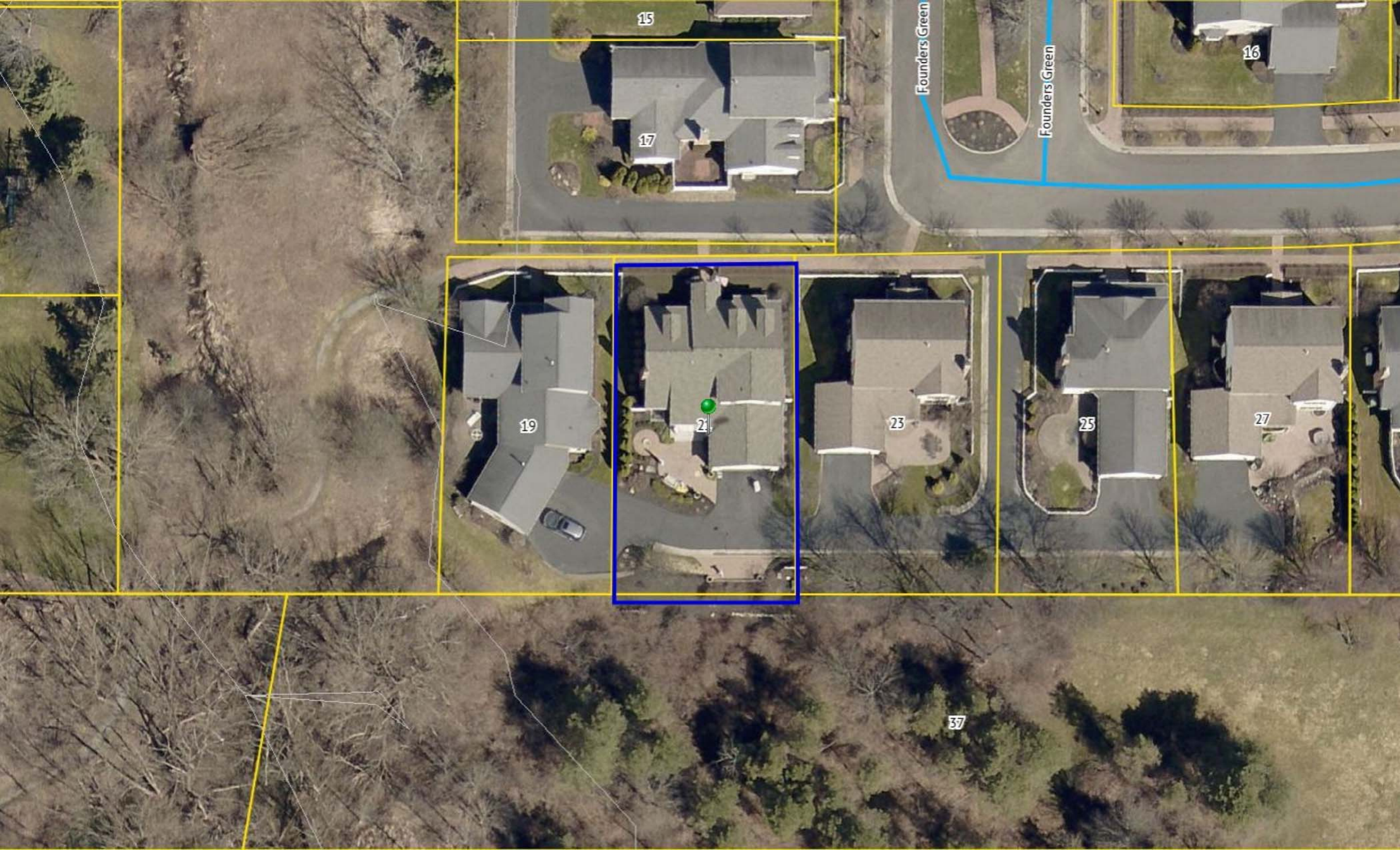


Printed January 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



15

16

17

Founders Green

Founders Green

19

21

23

25

27

37



TOWN OF PITTSFORD Design Review & Historic Preservation Board

Application for Certificate of Appropriateness

Case # CoFA #1

1. Property Address: 21 Founders Green

2. Tax Account Number: _____

3. Applicant's Name: Phil Hart - Patio Enclosures

Address: 123 Despatch Dr Phone: 385-9999
Street
East Rochester NY 14445 E-mail: philerochesterpatio
City State Zip Code enc.com

4. Applicant's Interest in Property:
Owner: Lessee: Holding Purchase Offer:
Other: (Explain) Contractor

5. Owner: (If other than above) David & Robin Pritchard

Address: 21 Founders Green Phone: 317-4344
Street
Pittsford NY 14534 E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: Phil Hart

Address: 123 Despatch Dr Phone: 385-9999
Street
East Rochester NY 14445 E-mail: _____
City State Zip Code philerochesterpatioenc.com

7. Project Design Professional: (If Available) _____

Address: _____ Phone: _____
Street
_____ E-mail: _____
City State Zip Code

8. Project Contractor: (If Available) Phil Hart
Address: 123 Despatch Dr Phone: 385-9999
Street
East Rochester NY 14445
City State Zip Code phil@rochesterpatioenr.com
E-mail: _____

9. Present use of Property: Single Family

10. Zoning District of Property: _____

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project: (Include project materials and finishes. Attach additional sheets if necessary.)

12' x 15' sunroom, deck @ house floor level with steps to match existing, sliding glass doors with capped wood posts, shed style roof - shingled to match, gutter to match, coach lights to match

B. Describe all significant site improvements proposed with this project: (Include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls. Attach additional sheets if necessary.)

N/A

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site. (Attach additional sheets if necessary.)

N/A

16. Additional materials submitted with this Application: (If available.)

- Parcel Map
- Architectural Elevations
- Photographs
- Architectural Plans
- Other Materials - Home Improvement contract

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this Application is complete and accurate.

David D. Hardy
Signature of Applicant

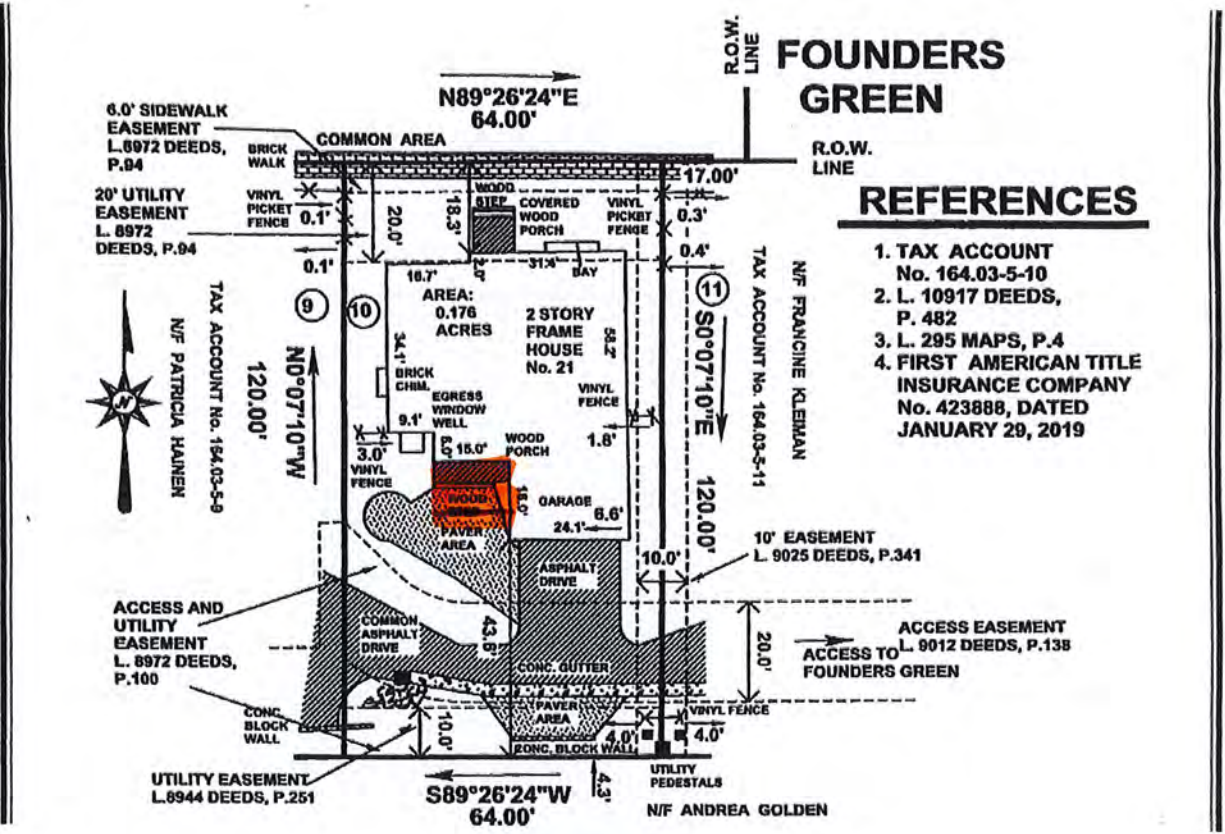
12/18/19
Date

Owner Consent:

If the Applicant is other than the Owner, does the Owner concur with this Application?

Yes No

If Yes, Owner's Signature: _____



REFERENCES

1. TAX ACCOUNT No. 164.03-5-10
2. L. 10917 DEEDS, P. 482
3. L. 295 MAPS, P. 4
4. FIRST AMERICAN TITLE INSURANCE COMPANY No. 423888, DATED JANUARY 29, 2019

"GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."
 COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
 "UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW."

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MARCH 29, 2019 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MARCH 29, 2019 USING THE REFERENCE MATERIALS LISTED.

Bruce E. Fries



BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263
 4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

CERTIFIED TO:

1. DAVID S. PRITCHARD
ROBIN W. PRITCHARD
2. LAW OFFICES OF
PULLANO & FARROW, PLLC
3. WEBBER LAW, PLLC
4. CHICAGO TITLE
INSURANCE COMPANY
5. GENESEE REGIONAL
BANK, ISADA/ATIMA

INSTRUMENT SURVEY MAP
21 FOUNDERS GREEN
LOT 10 STONETOWN HAMLET SUBDIVISION
TOWN OF PITTSFORD

MONROE COUNTY

NEW YORK

SCALE: 1"=30'

MARCH 29, 2019

BRUCE E. FRIES
PROFESSIONAL LAND SURVEYOR

PHONE: 800-772-3734 4150 RIDGE CHAPEL ROAD • MARION, NEW YORK 14505

FAX: 800-772-7419



Patio Enclosures (Hart), Inc. d.b.a. Patio Enclosures

An Independently Owned Franchise of Great Day Improvement, LLC

123 Despatch Drive, E. Rochester, NY 14445-1447 • (585) 385-9999

X = Slider
O = Fixed

HOME IMPROVEMENT CONTRACT

Buyer:
Name David Buzhaid
Name Rosalind Buzhaid
Address 21 FRANKS GREEN
Town PITSPERD, NY 14534
Phone 585-317-4344

1. Cash I
2. Less C
3. Secon
4. Due ar
5. Due & Trapez



Philip H. Hart, Jr.
President



123 Despatch Drive
East Rochester, NY 14445
Phone (585) 385-9999
Fax (585) 385-2210

phil@rochesterpatioenc.com
www.rochesterpatioenc.com

PAST DUE
FINANCE CH
ANNUAL PE



MATERIAL AND WORK DESCRIPTION:

Patio Solutions to install the following insulated glass 3 season sunroom on rear of house. Size is approx 9' x 15' w/ angled corner. Color is white. All permits & architectural renderings included. Remove & dispose of decking. Have existing step to be reused (centered on door) build new 18" deep step for side door to match hatch existing. Extend existing deck out to 9' depth w/ new concrete pier footings. Treat 2x8 joists w/ 3/4" Plywood subfloor. Insulate floor w/ 3" rigid, foil faced foam board. Walls are seawall grandview vinyl product w/ 3/4" insulated glass. Includes 3 sliding doors w/ screens and 1 stationary glass panel in angle. Oversize angle posts to accommodate wiring & light fixture. Remove decorative peccora and dispose. Fill openings left w/ white vinyl blocks. Roof is 3" thick insulroof attached to house overhang. Install new commercial gutter & downspout, tied in to existing drain pipe. Electric: New breaker two (2) wall switches (buried in wall) 2 brass floor outlets. Have one current light & install on new light. Box for fan (install on new fan) install new outside outlet (tied into dining room outlet) & have low voltage

Seller agrees to furnish labor and materials at Buyer's request, and for the contract amount, to complete the work described above, subject to the terms and conditions which appear on the FACE and on the REVERSE side of this contract. Where required, homeowner is to supply property maps needed to obtain permits.

Work to start within 90 days of the date this contract is accepted by an officer of Patio Enclosures and to be completed within 20 days after commencement if not delayed by delivery of materials, weather, strikes, fires, or other conditions beyond Seller's control. The completion date is not of the essence. **Buyer is entitled to ten (10) years of free service.**

Buyer represents and warrants that legal title to the property, which is to be improved, is in the following owners (s):
1. X David Buzhaid 10/25/19 2. Rosalind Buzhaid 10/25/19

NOTICES

1. Seller and/or all subcontractors, if any, who perform on this contract, and who are not paid, may have a claim against you, which may be enforced against the property being improved in accordance with the applicable lien laws.

#6957









19



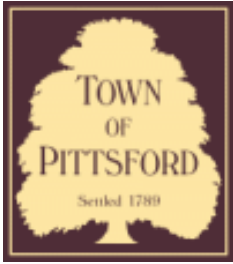
Melissa Kiefer
913-450-4427

FOR SALE

HUNT
Real Estate

244-7777

www.huntre.com



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5 Winding Road ROCHESTER, NY 14618

Tax ID Number: 151.14-1-81

Zoning District: RN Residential Neighborhood

Owner: Trost, Scott M

Applicant: Robert M Fisher Contracting

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

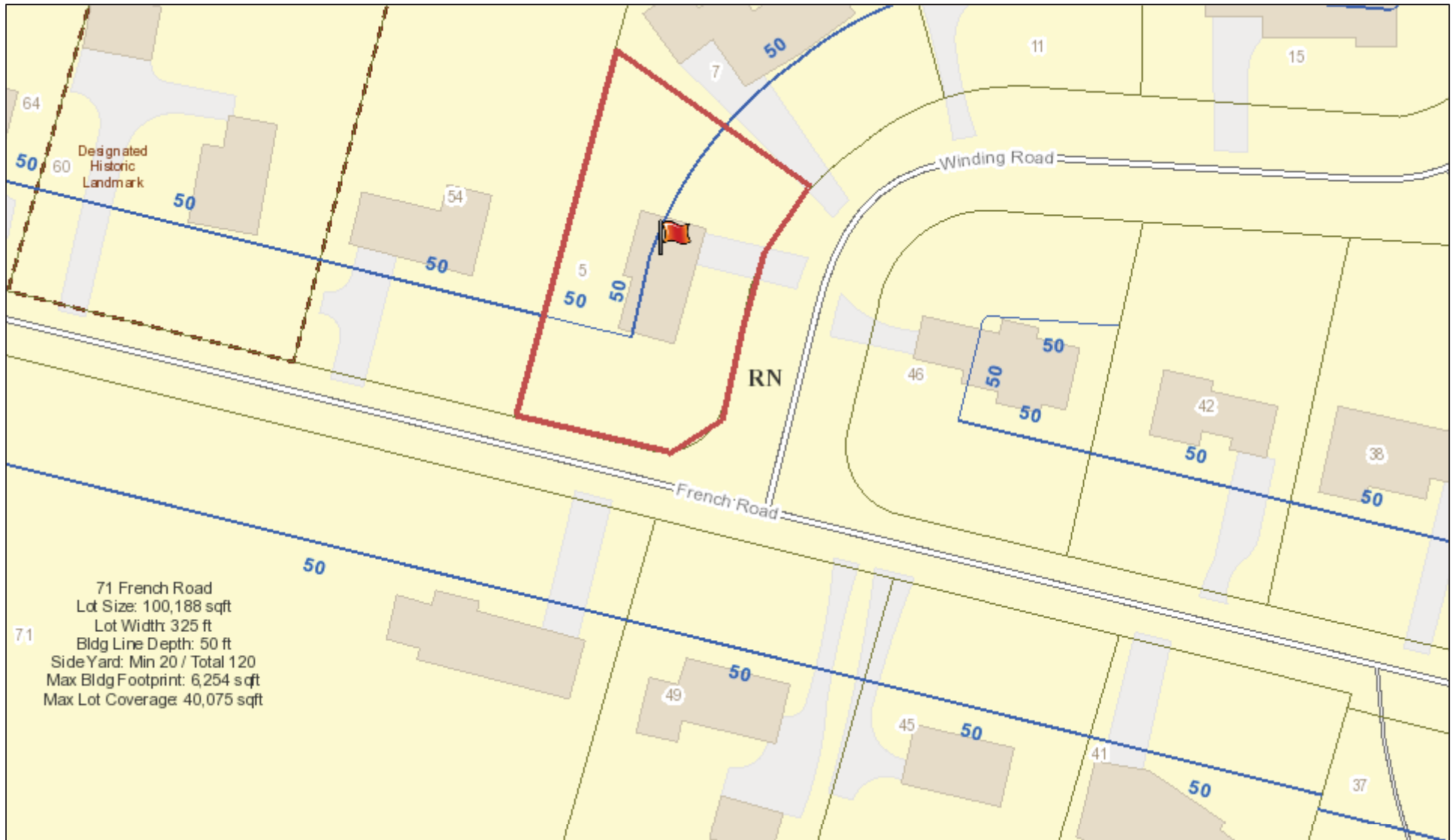
Project Description: Applicant is requesting design review for a dining and living room addition. The addition will be located on the south side of the home and will be approximately 336 Sq. Ft. The applicant did appear before the Zoning Board on 12/16/2019 and was approved for a front setback variance.

Meeting Date: January 09, 2020

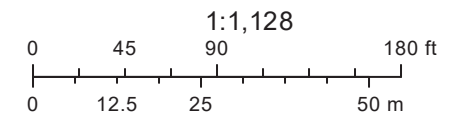


5

RN Residential Neighborhood Zoning

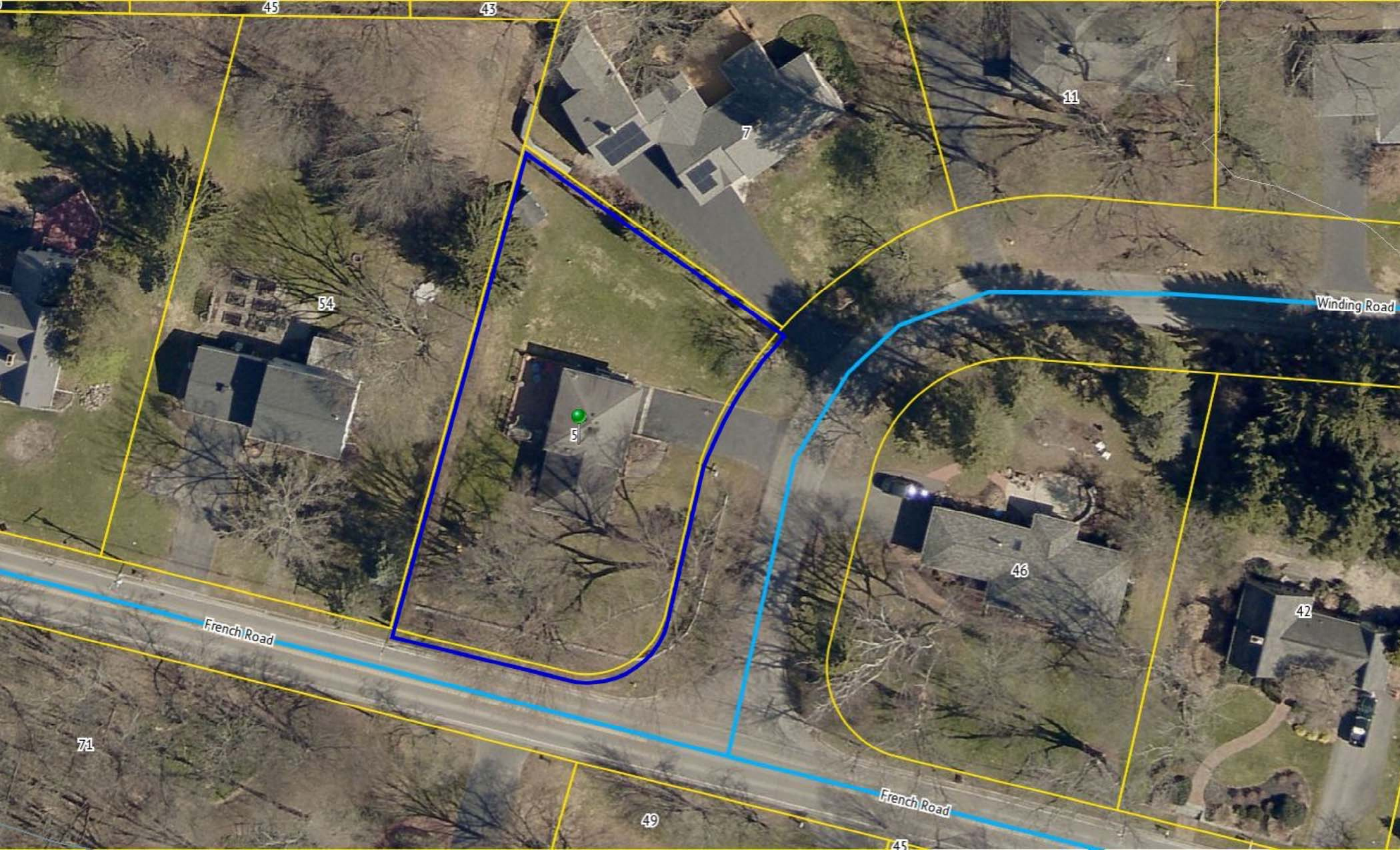


Printed January 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



45

43

11

7

54

Winding Road

5

46

42

French Road

71

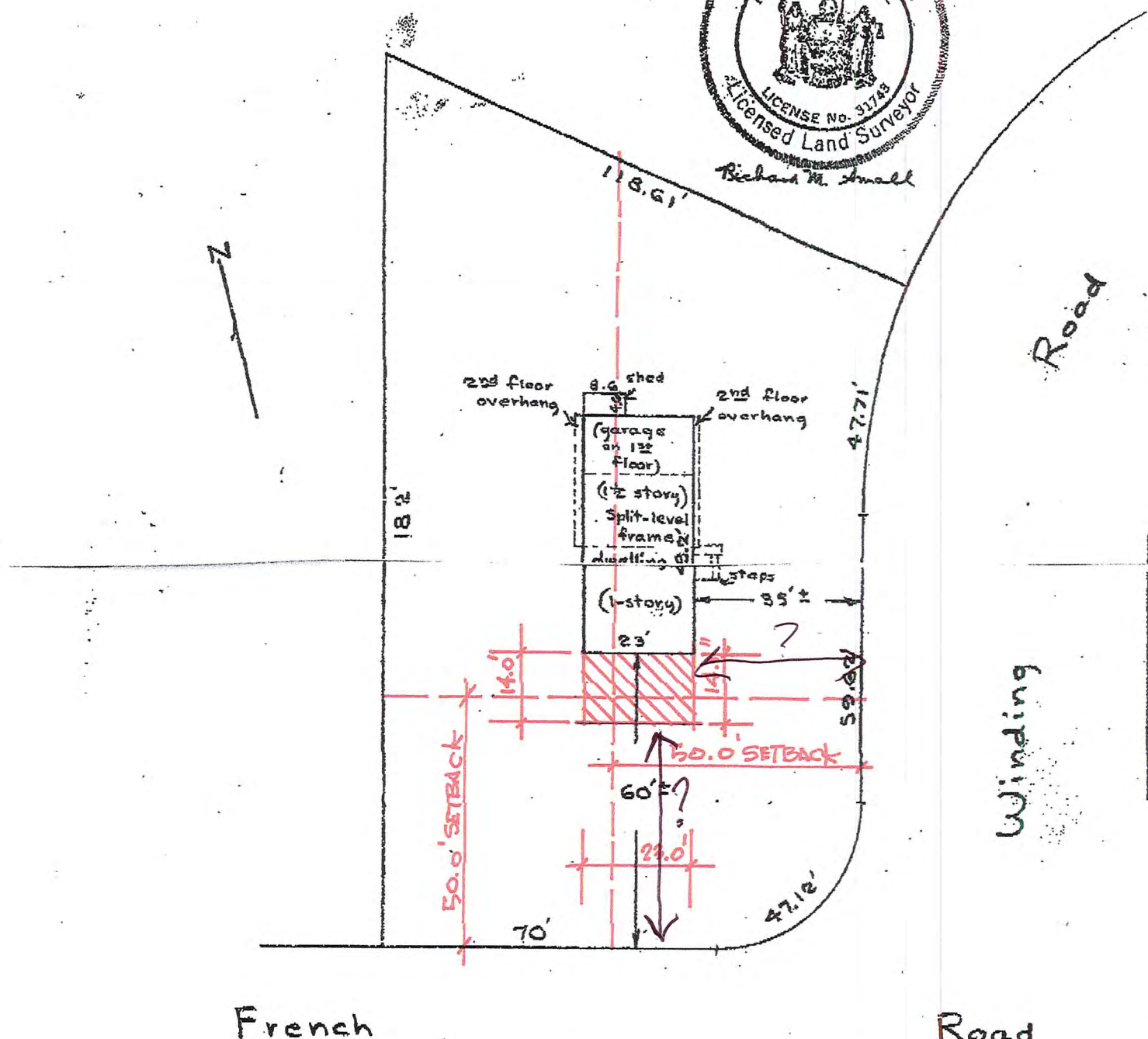
49

French Road

45

STANDARD TAPE LOCATION MAP

NAME C. A. Tr.
 STREET #5 WINDING RD ~~OFF~~ TOWN Pittsford N.Y.
 LOT NO. 11 SUBDIVISION French Road Tract - (Section One)
 REFERENCE DATA: LIBER. 102 OF MAPS, PAGE 17; LIBER. _____ OF DEEDS, PAGE _____
 SHOWING Split-level STORY DWELLING; GARAGE ~~(NOT)~~ ATTACHED.
 DISTANCE AS SHOWN FROM East PROPERTY LINE ACTUALLY MEASURED.
 MONUMENTS USED: YES NO
 ALL BUILDINGS ON PREMISES AND ANY APPARENT ENCROACHMENT BY OR ON PREMISES ARE SHOWN.
 MAIN FRONT WALL IS ~~IS NOT~~ ON APPARENT UNIFORM SET-BACK LINE.



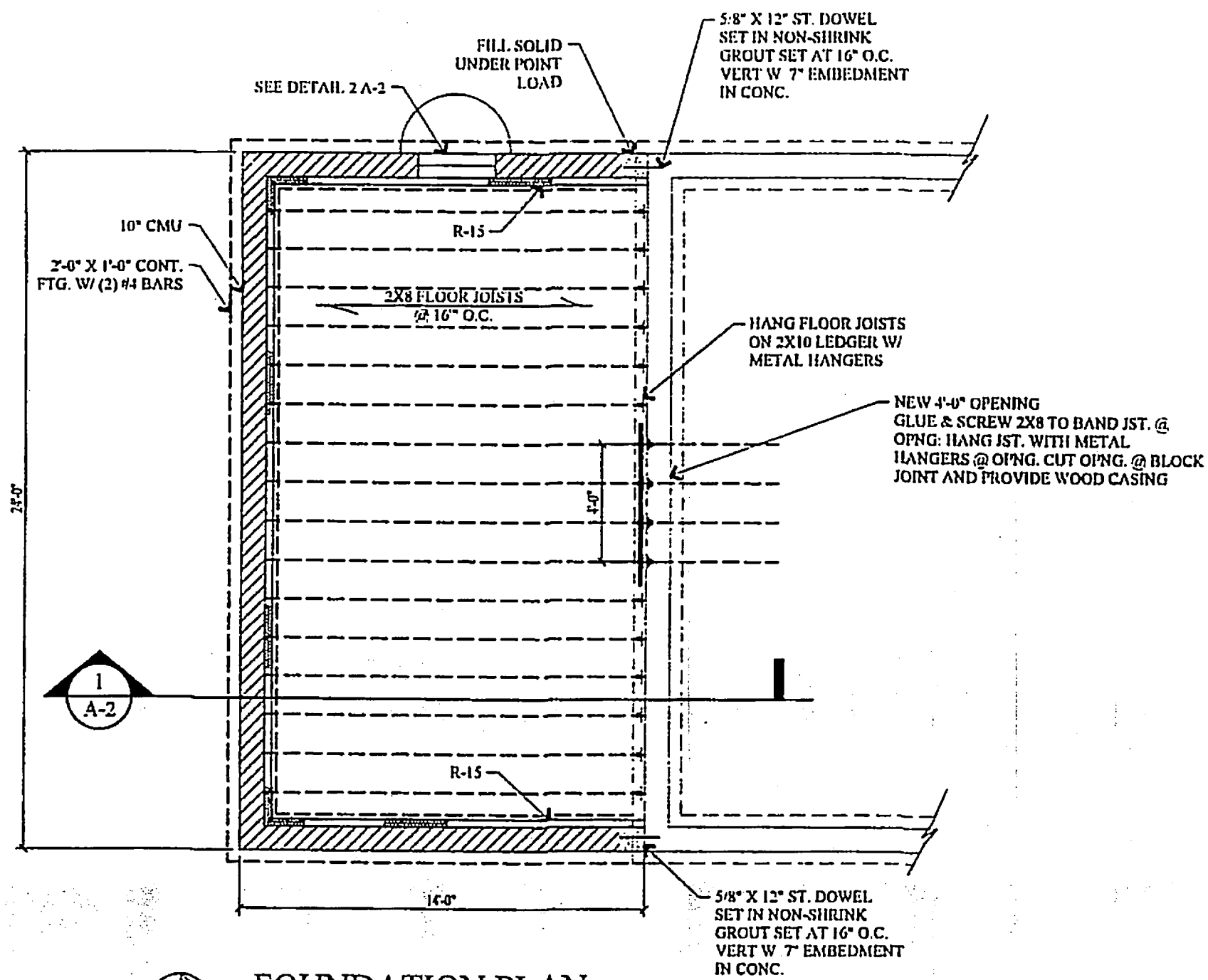
SCALE: 1" = 30' DATE 4-28-76

REMARKS: THIS INFORMATION IS FOR Houghton & Pappas, Attys.
 THIS IS NOT AN INSTRUMENT SURVEY AND INFORMATION SHOWN SHOULD NOT BE USED FOR BUILDING PURPOSES OR EXACT LOCATION OF PROPERTY LINES.

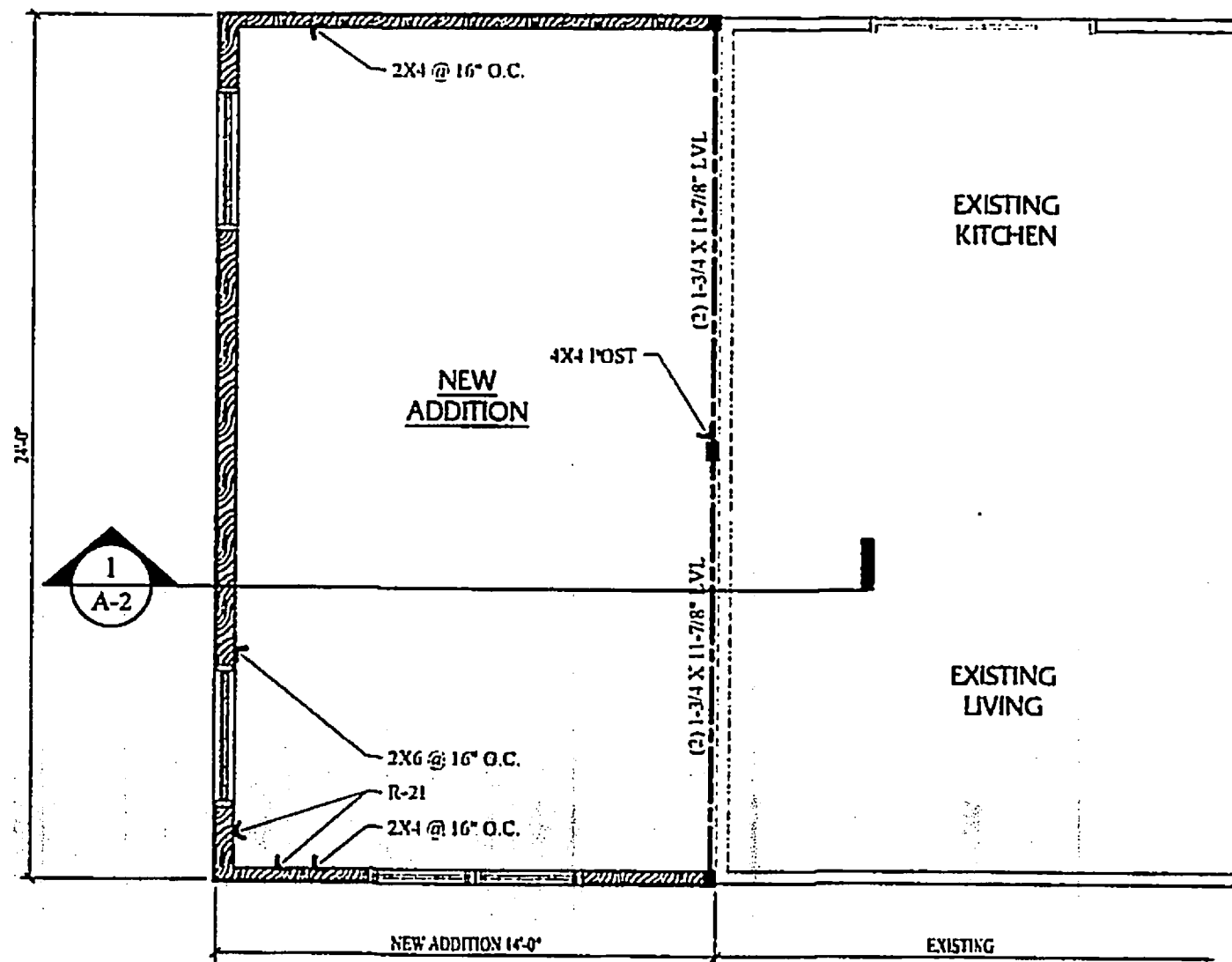
RICHARD M. SMALL
 NEW YORK STATE LAND SURVEYOR
 LICENSE No. 31743
 20 FAIRGATE STREET
 ROCHESTER, N.Y. 14603
 436-1271



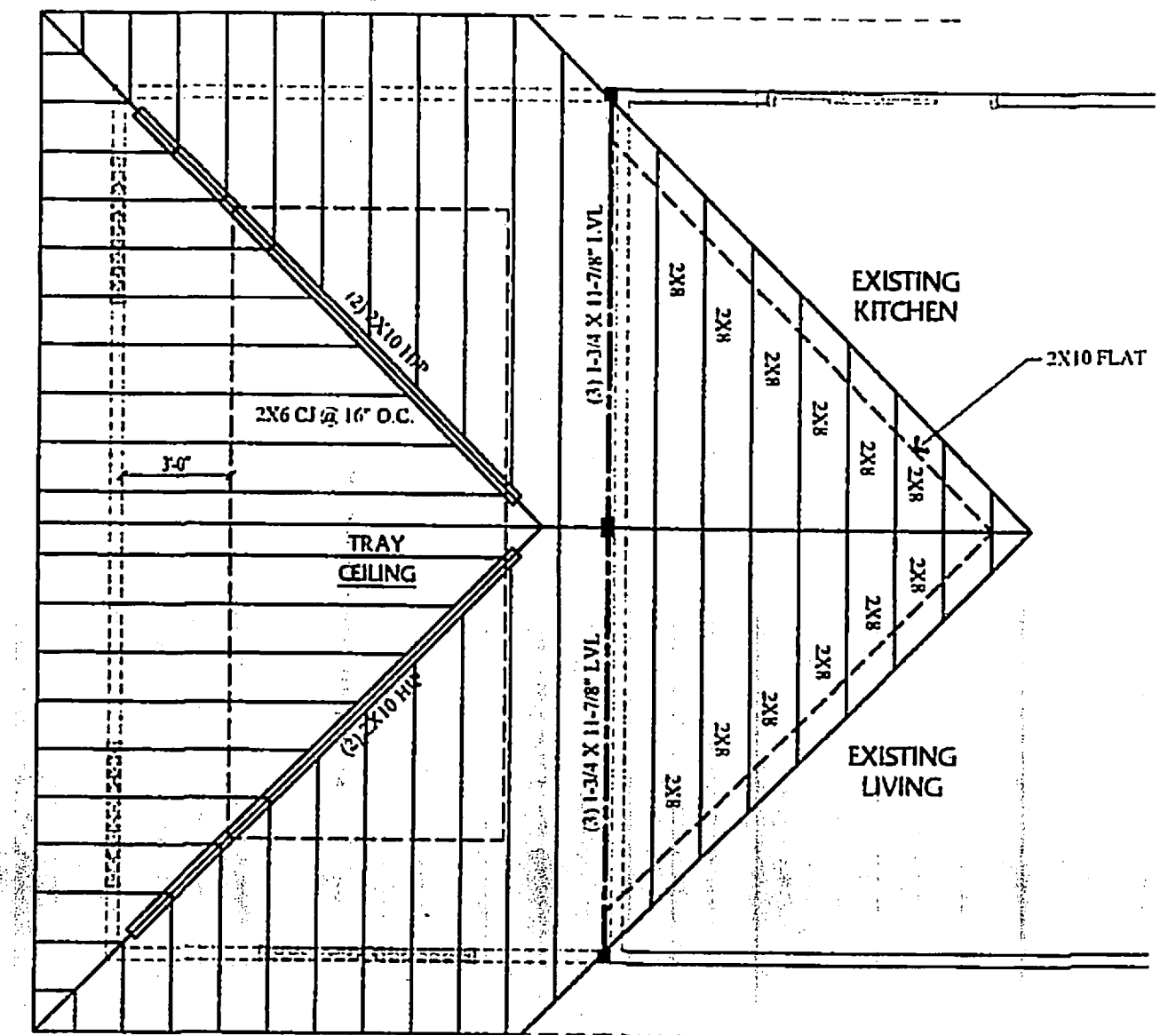




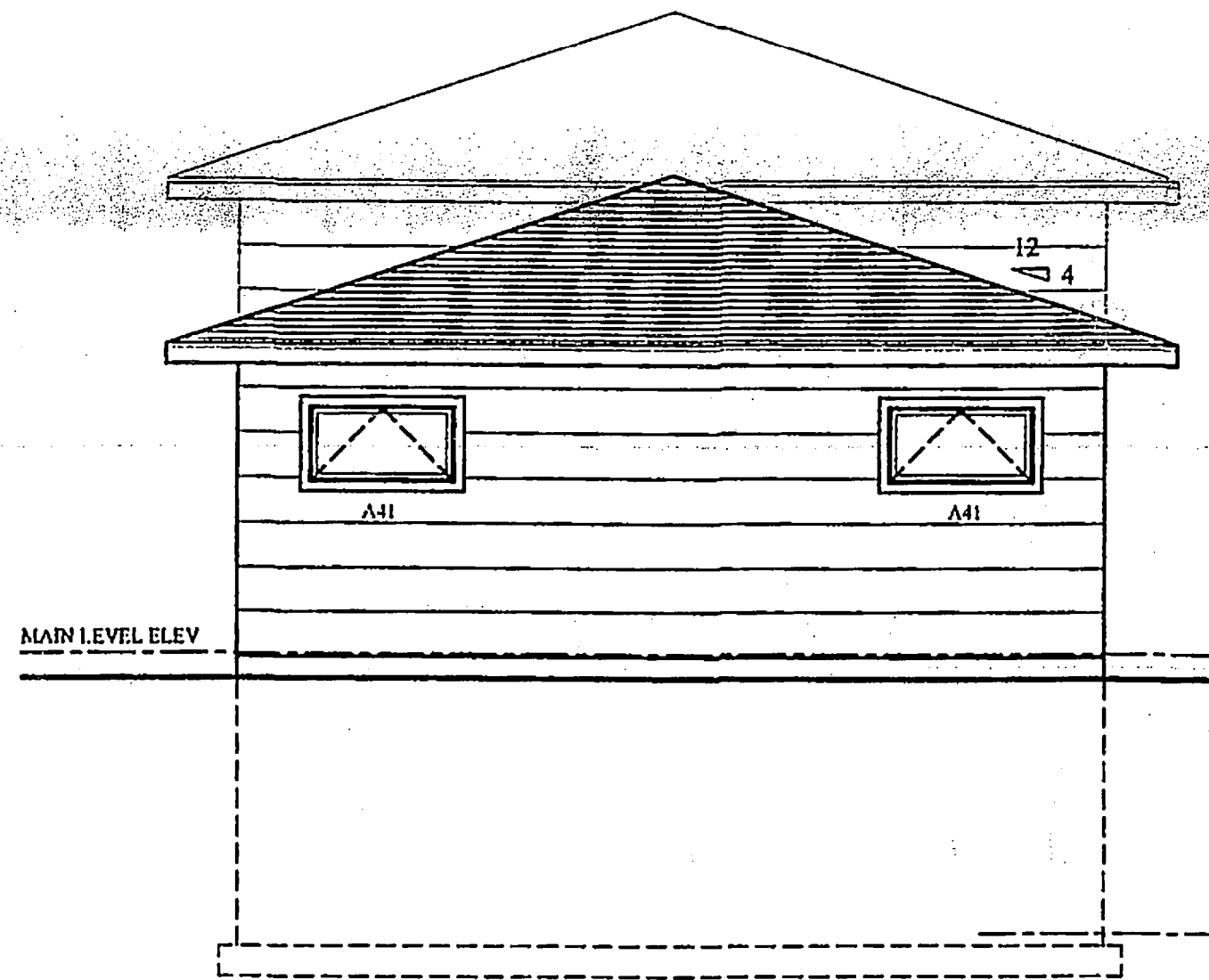
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



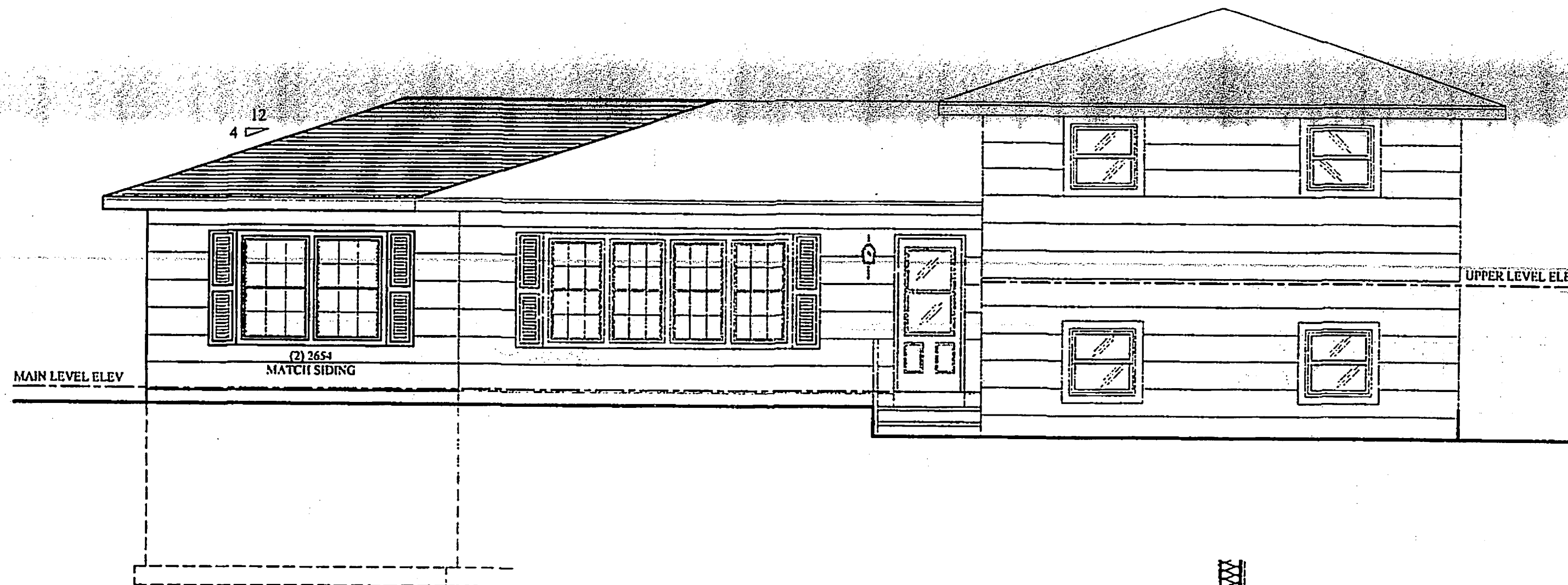
MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



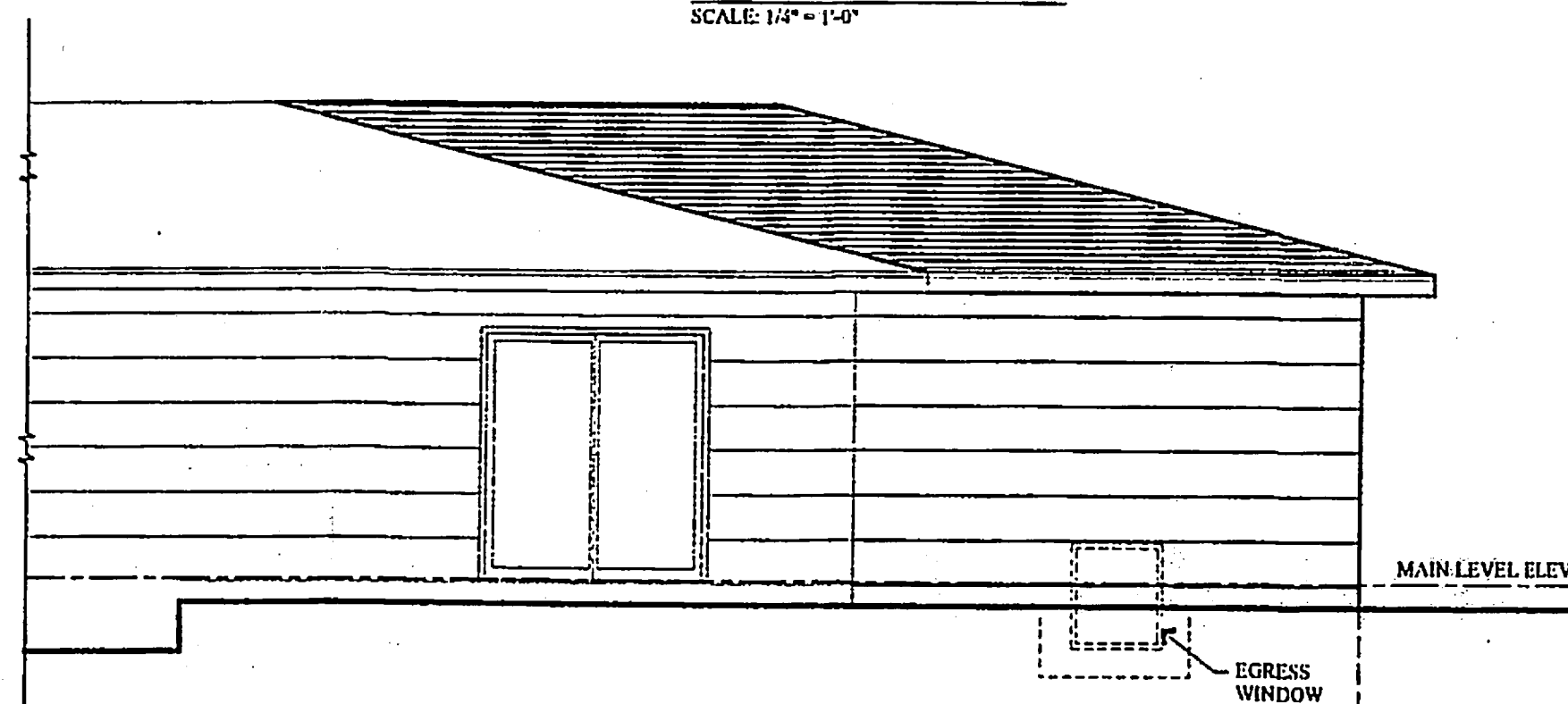
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



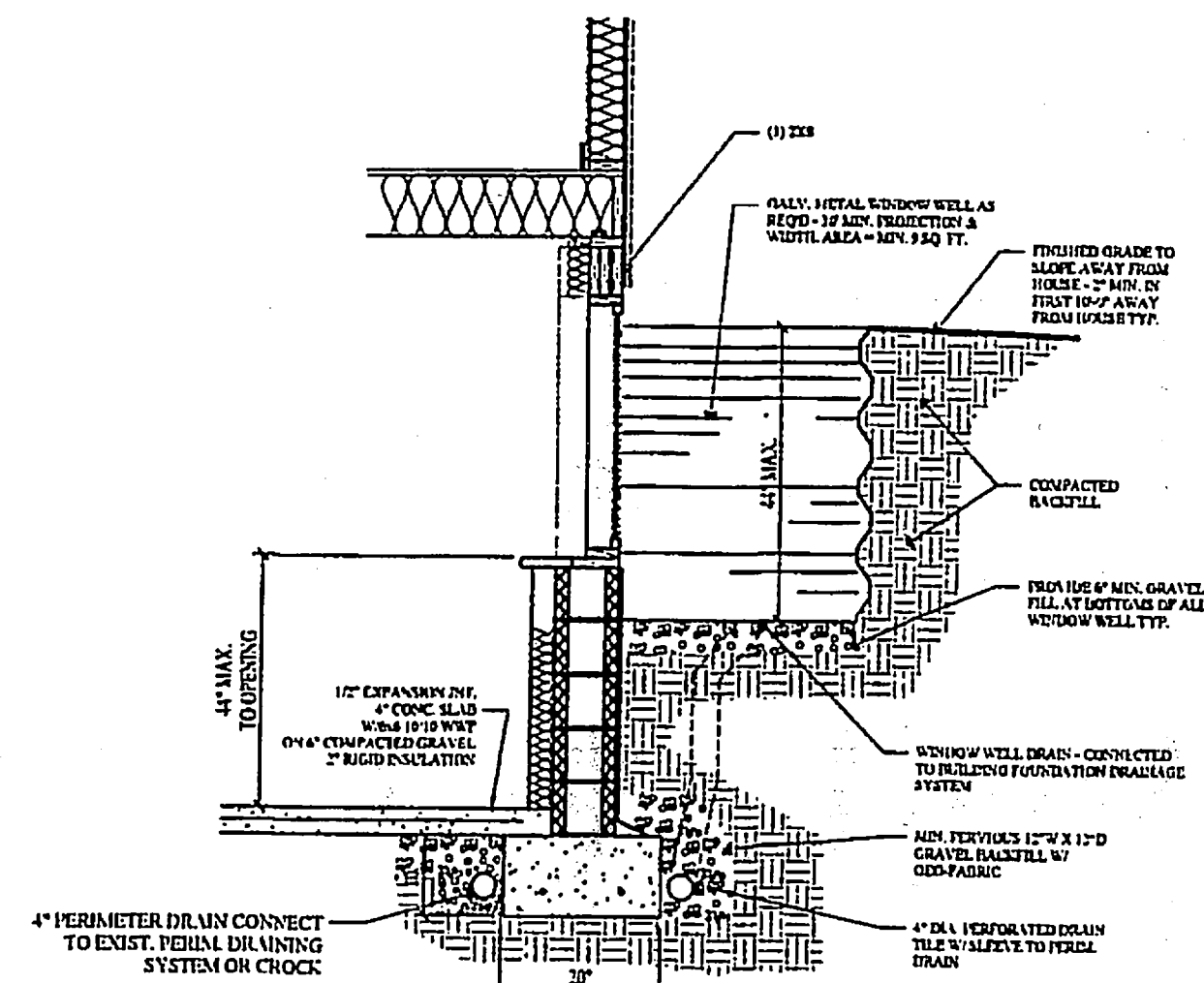
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SECTION @ WINDOW WELL
SCALE: 1/2" = 1'-0"

DAVID A. WALDAREK, R.A., AIA
phone: 585-293-5123
EMAIL: david@dwaldarek.com

PROJECT:	TROST ADDITION
CLIENT:	SCOTT & DONNA TROST
LOCATION:	5 WILKINS ROAD ROCHESTER, NY 14618
DATE:	10/22/18
SCALE:	AS SHOWN
DESIGNED BY:	KT
CHECKED BY:	DW

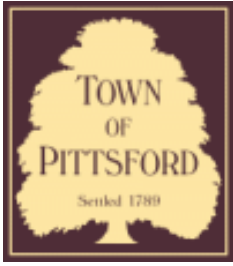
REVISIONS:	
NO.	DESCRIPTION
1	CHANGE WALL VALUES

A1 **3**









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B20-000001

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 17 Black Wood Circle ,

Tax ID Number: 178.03-5-36.17

Zoning District:

Owner: S&J Morrell Builders

Applicant: S & J Morrell Builders

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

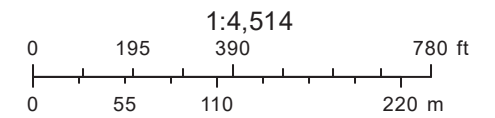
Project Description: Applicant is requesting design review for the construction of a new single family one story home. The home will be approximately 1984 Sq. Ft. and will be located in the Wilshire Hills Development.

Meeting Date: January 09, 2020

RN Residential Neighborhood Zoning

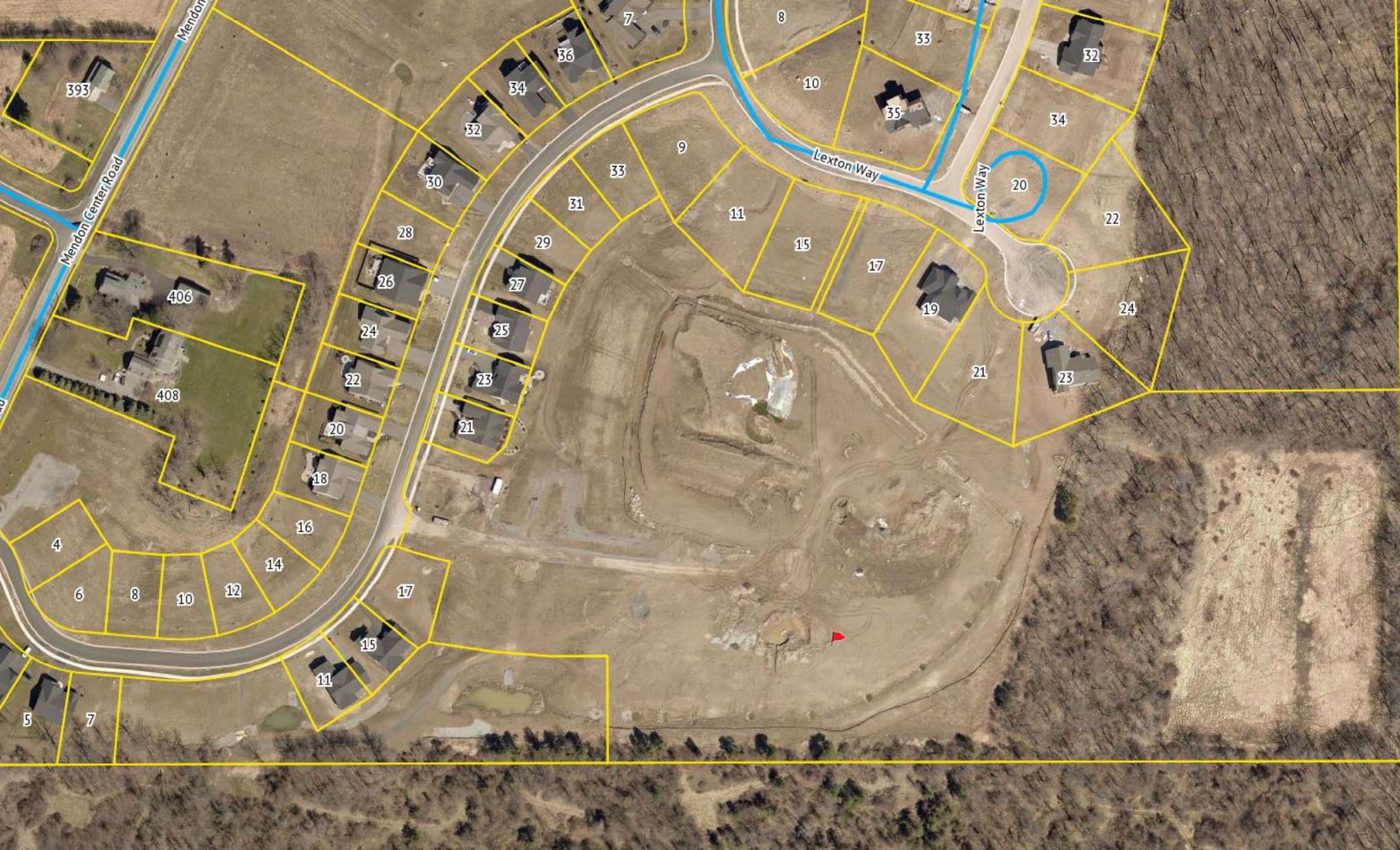


Printed January 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



393

406

408

4

6

8

10

12

14

16

18

20

22

24

26

28

30

32

34

36

7

31

33

9

11

15

17

21

23

22

24

20

19

10

33

34

32

8

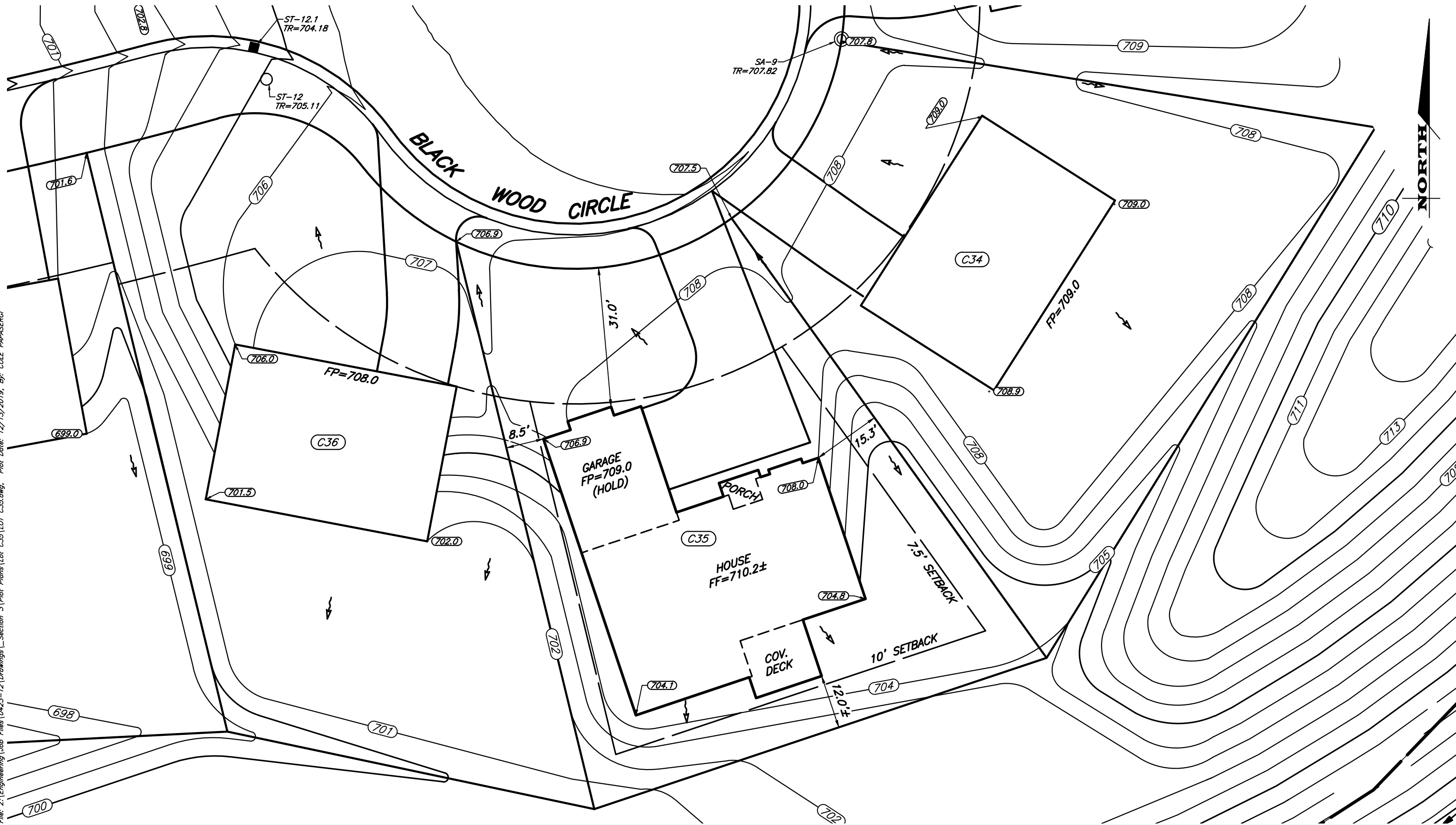
Mendon Center Road

Lexton Way

Lexton Way



File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C35\LOT C35.dwg, Plot Date: 12/13/2019, By: COLE PAPERERI



TITLE:

PLOT PLAN - LOT C35

WILSHIRE HILL - SECTION 3

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



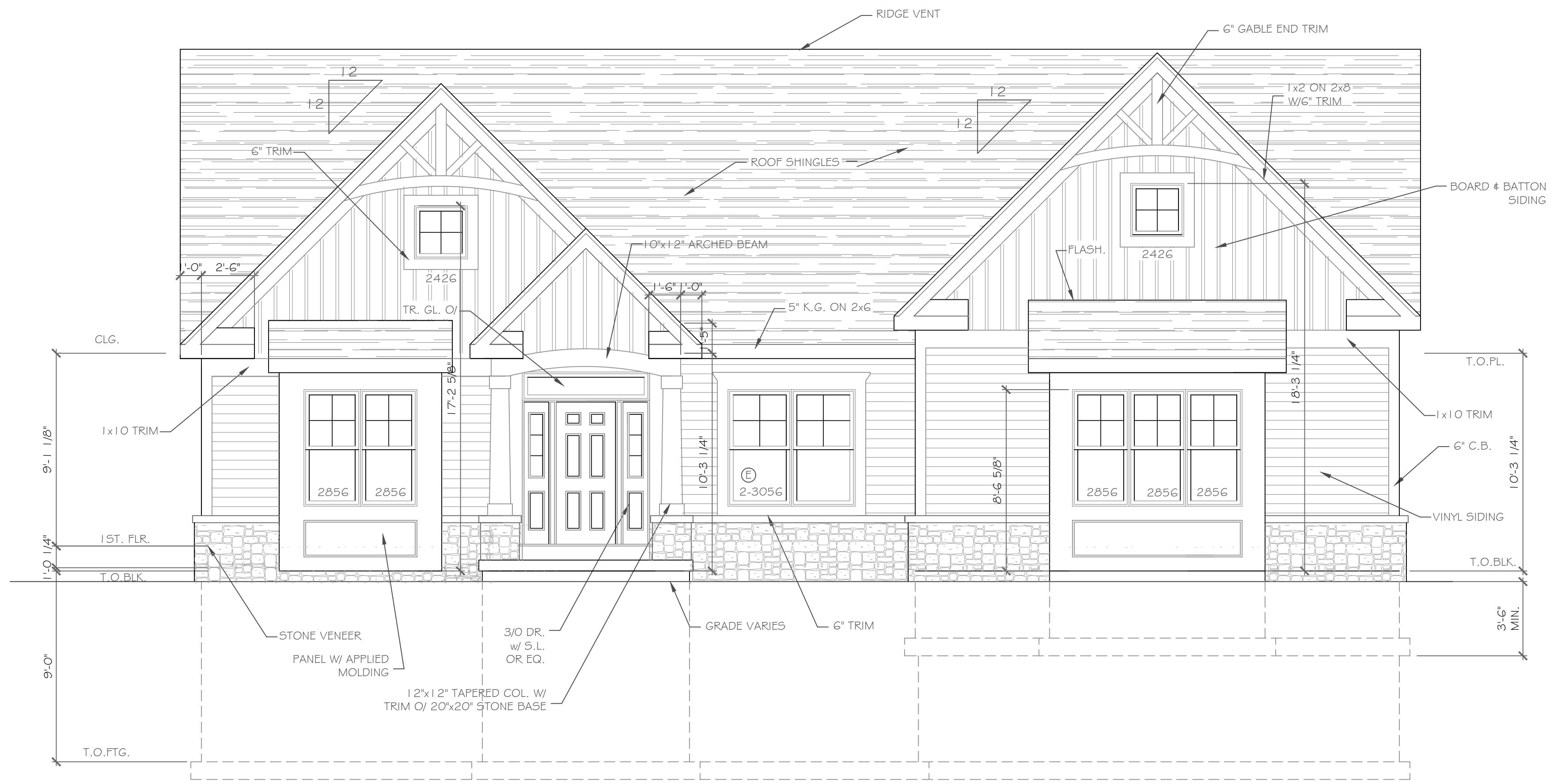
JOB NO: 0423-17
SCALE: 1" = 20'
DRAWN: CMP
DESIGNED: RJT
DATE: 12/13/19

SETBACK	REQUIRED	PROVIDED
FRONT	30'	31.0'
SIDE	7.5'	8.5'
REAR	10'	12.0' ±

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

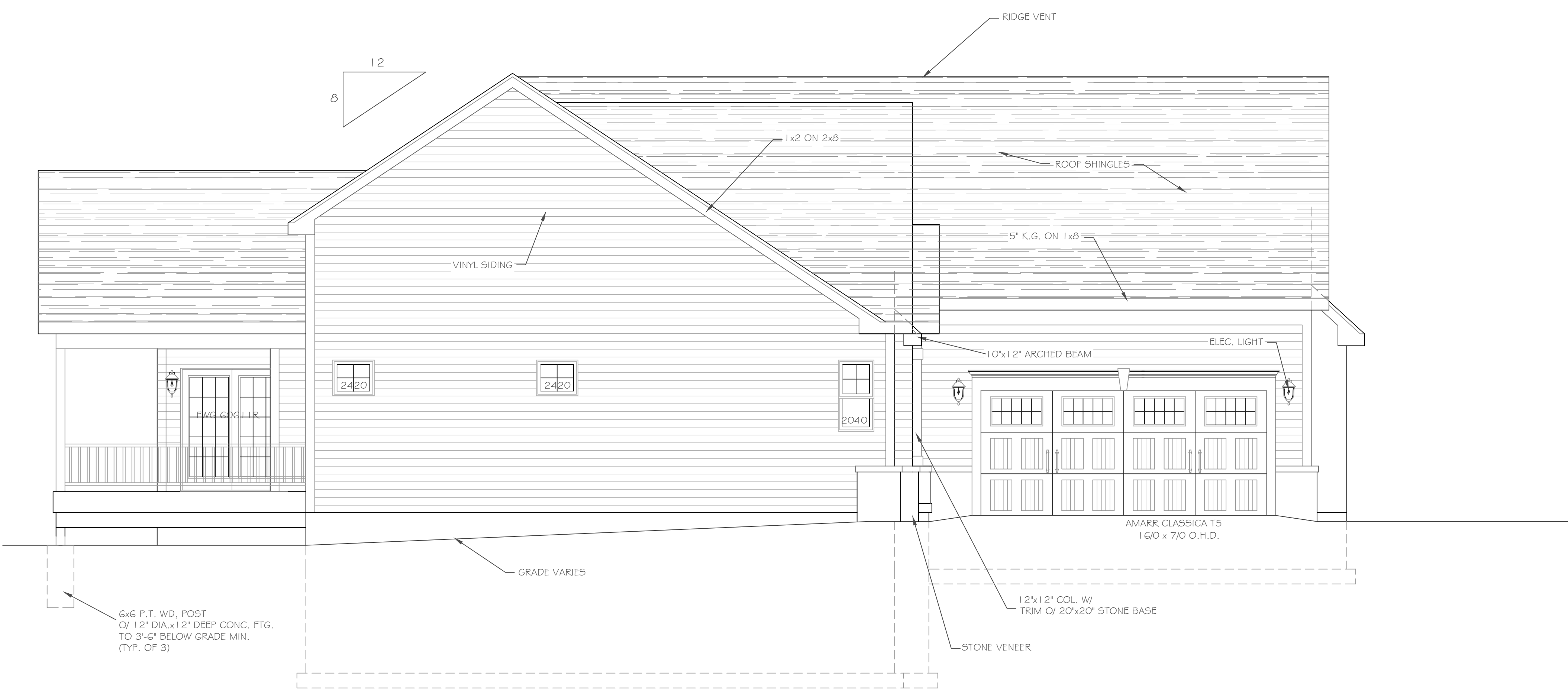
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 1984 S.F.

1/4" = 1'-0"

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION

1/4" = 1'-0"

COPYRIGHT NOTICE:
 These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. Any unauthorized alterations to these plans is a violation of the Professional Services Agreement, Section 7.209 Article 1.45. CKH Architecture, P.A. Copyright © All rights reserved.

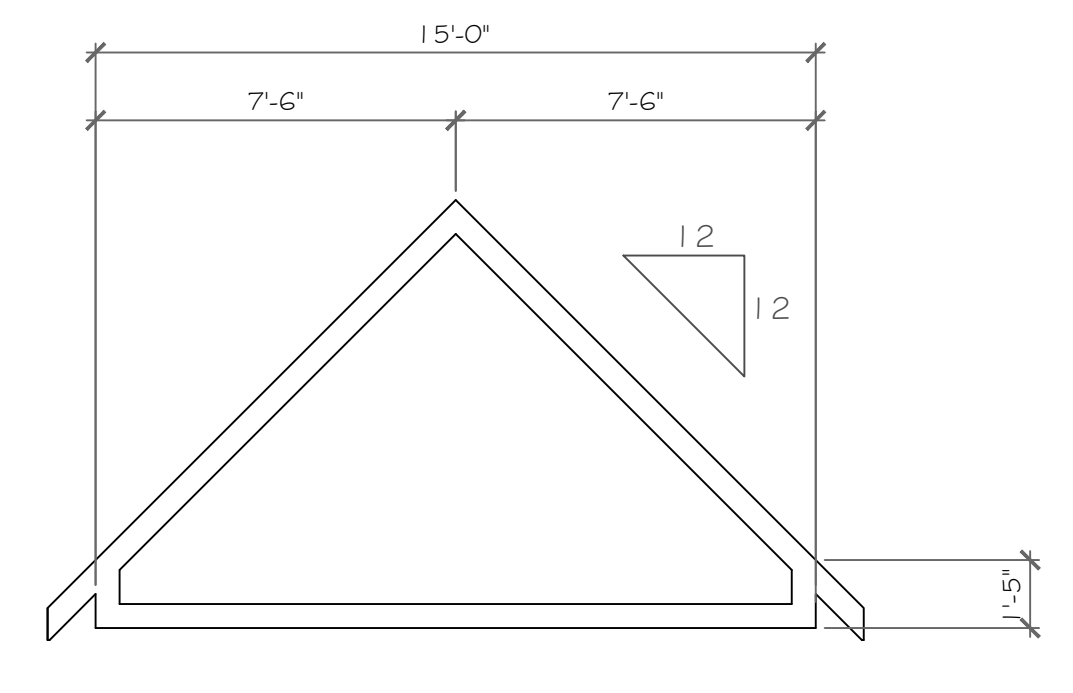
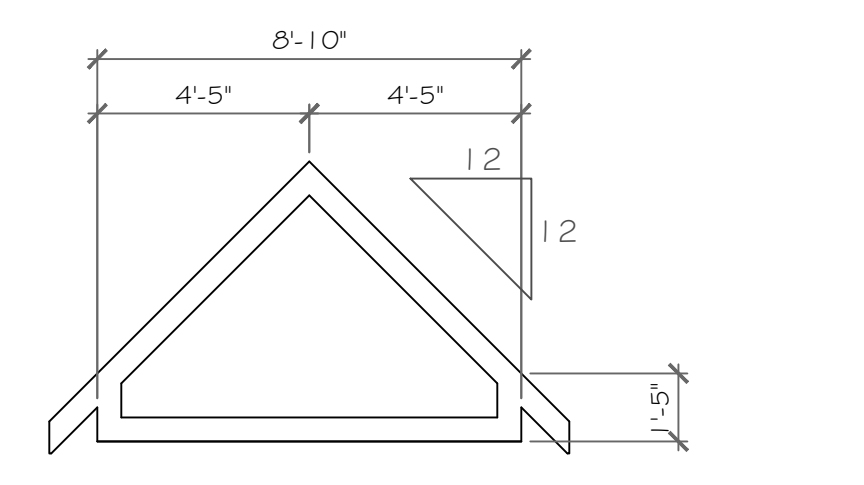
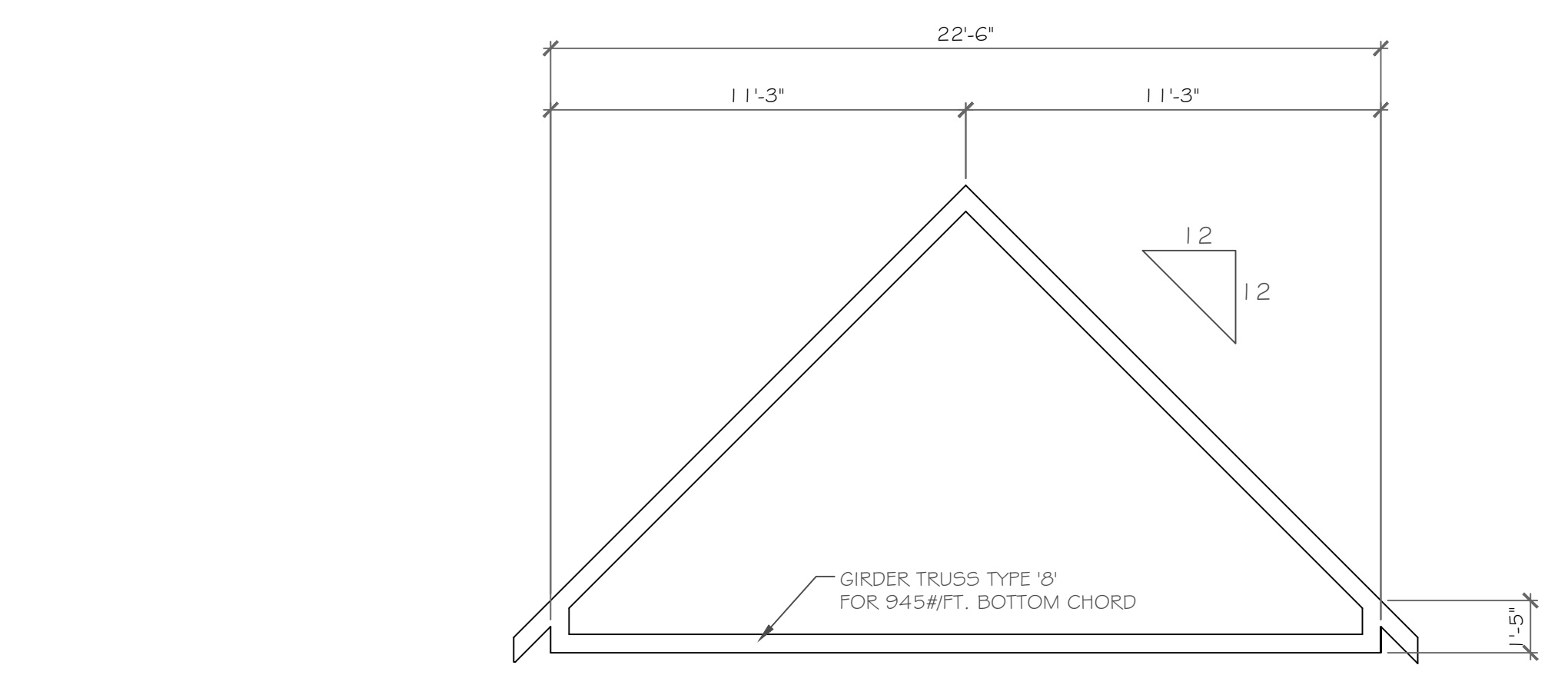
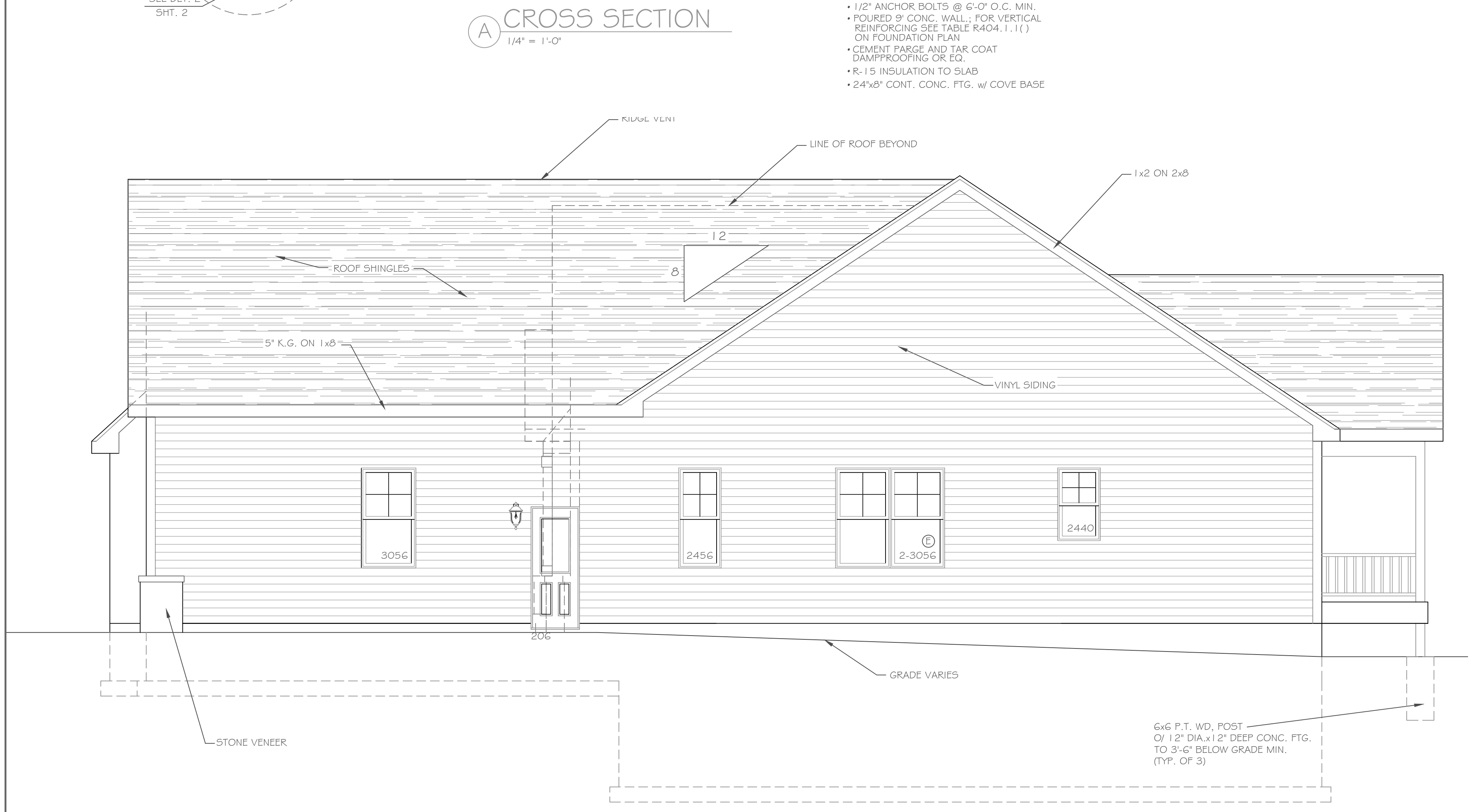
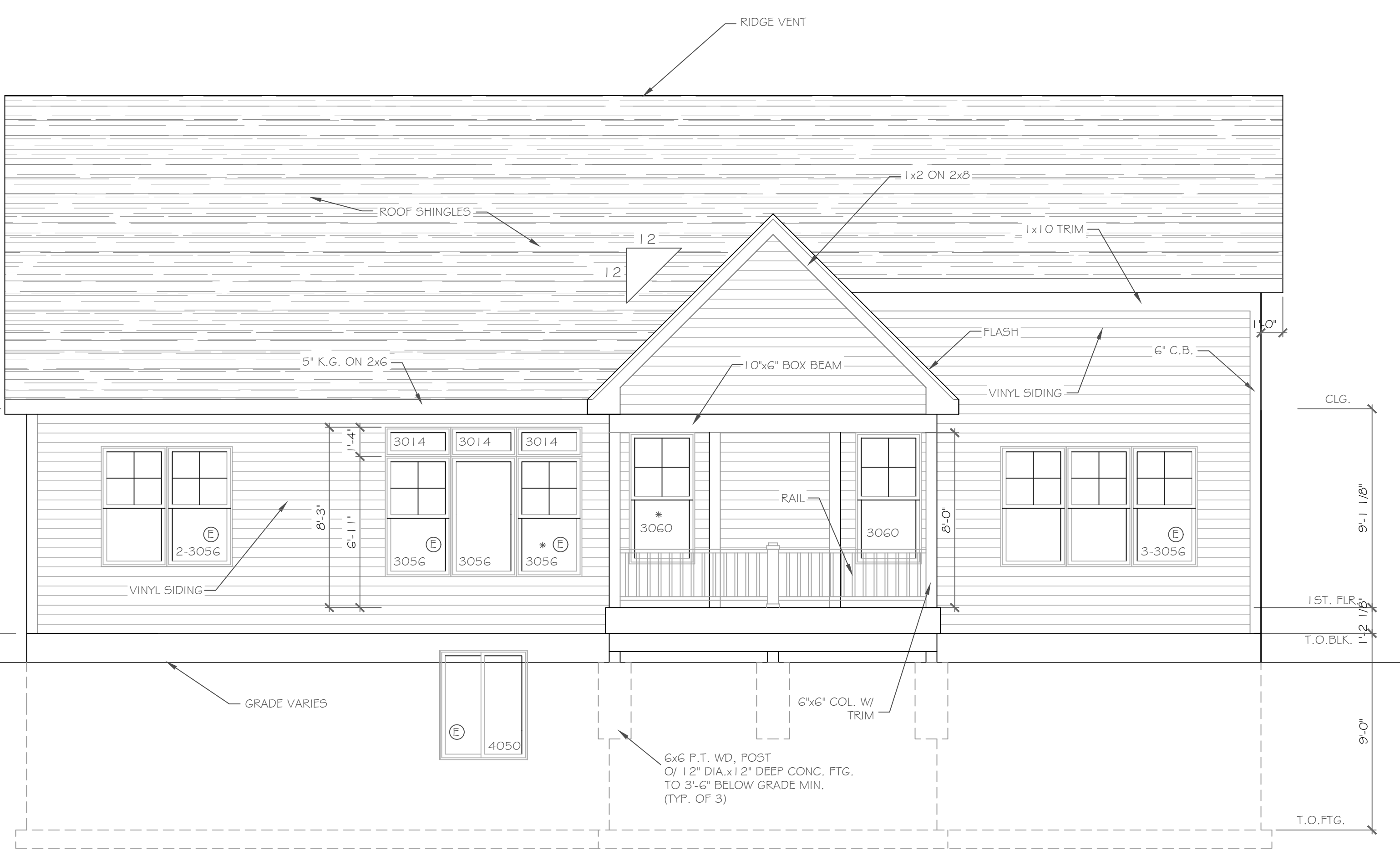
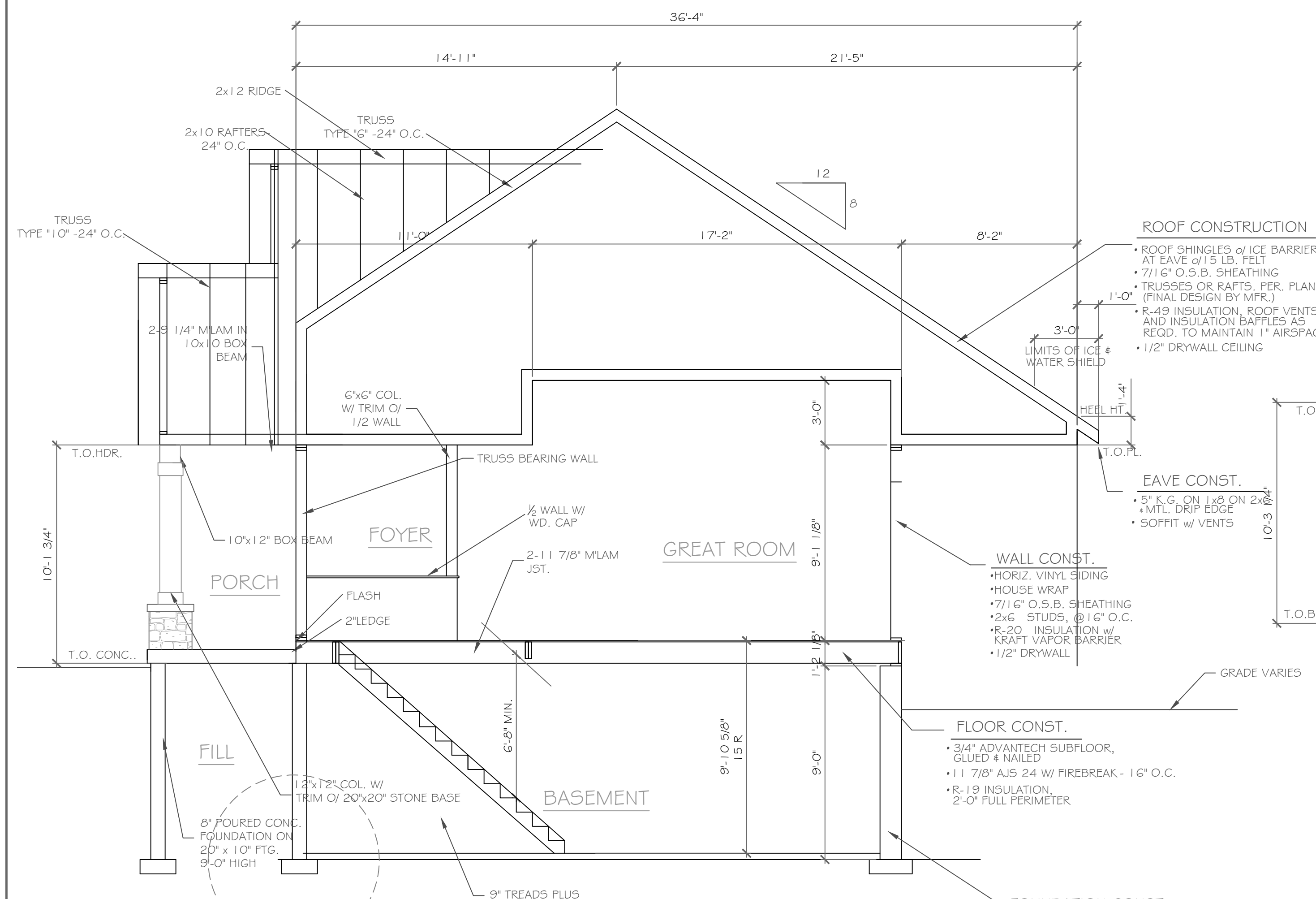
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations & Notes	PHASE- Construction Documents

PROJECT- Lot 35C Wishire Hill, Pittsford, N.Y.	DATE- December 2019
CLIENT- Morrell Builders	JOB NO.- A19-043

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York, 14564
 phone: (585) 249-1334
 fax: (585) 249-1333
 email: CKHennessey@frontier.net

DRAWING NO.-
A-1



ROOF CONSTRUCTION

- ROOF SHINGLES or ICE BARRIER AT EAVE w/ 1/2" FELT
- 7/16" O.S.B. SHEATHING
- TRUSSES OR RAFTS PER PLAN (FINAL DESIGN BY MFR.)
- R-49 INSULATION, ROOF VENTS AND INSULATION Baffles AS REQD. TO MAINTAIN 1" AIRSPACE
- 1/2" DRYWALL CEILING

EAVE CONST.

- 5' K.G. ON 1x8 ON 2x6
- 1" ML. DRIP EDGE
- SOFFIT w/ VENTS

WALL CONST.

- HORIZ. VINYL SIDING
- HOUSE WRAP
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS @ 16" O.C.
- R-20 INSULATION w/ KRAFT VAPOUR BARRIER
- 1/2" DRYWALL

FLOOR CONST.

- 3/4" ADVANTECH SUBFLOOR, GLUED & NAILED
- 1 1/2 7/8" AIS 24 W/ FIREBREAK - 16" O.C.
- R-19 INSULATION
- 2'-0" FULL PERIMETER

FOUNDATION CONST.

- 2x10 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- POURED 9" CONC. WALL, FOR VERTICAL REINFORCING SEE TABLE R404.1.1(1) ON FOUNDATION PLAN
- CEMENT PARGE AND TAR COAT DAMPROOFING OR EQ.
- R-15 INSULATION TO SLAB
- 24'x8" CONT. CONC. FTG. w/ COVE BASE

COPYRIGHT NOTICE
These plans are instruments of service and may not be altered, reproduced, or copied without the express written consent of the architect. UnAUTHORIZED alterations to these plans is a violation of the contract documents. Section 7209 Article 145.
CKH Architecture, P.A.
Copyright ©
All rights reserved.

REVISIONS- NO.	DATE	DESCRIPTION

DRAWING TITLE: **Elevations & Section**

PROJECT: **Lot 35C Wishire Hill, Pittsford, N.Y.**

CLIENT: **Morrell Builders**

PHASE: **Construction Documents**

JOB NO.: **A 19-043**

DATE: **December 2019**

PROJECT: Lot 35C Wishire Hill, Pittsford, N.Y.

CLIENT: Morrell Builders

JOB NO.: A 19-043

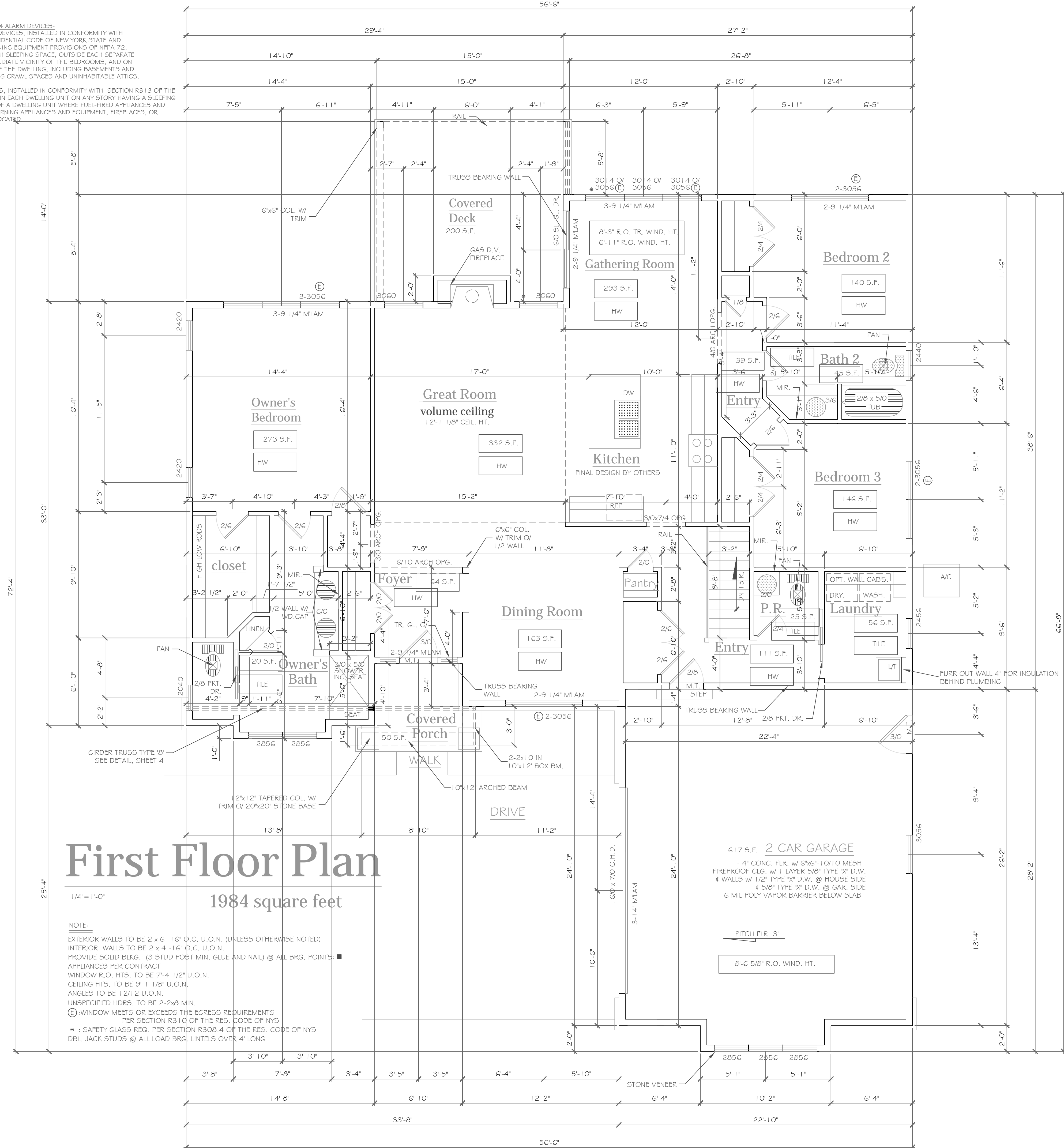
DATE: December 2019

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKHennessey@frontier.net

DRAWING NO. - **A-5**

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.



First Floor Plan

1884 square feet

1/4" = 1'-0"

NOTE:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" D.C. U.O.N.
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
CEILING HTS. TO BE 9'-1 1/8" U.O.N.
ANGLES TO BE 1 2/12 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
⊕ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

COPYRIGHT NOTICE.
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. UnAUTHORIZED alterations to these plans is a violation of the Copyright Act of 1976, Section 107 and 108, and Section 17209 Article 145, Chapter 170, Title 19, of the Pennsylvania Code.
CKH Architecture, P.A.
Copyright ©
All rights reserved.

REVISIONS:	NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plan

PHASE:
Construction Documents

PROJECT:
**Lot 35C
Wilshire Hill, Pittsford, N.Y.**

CLIENT:
Morrell Builders

DATE:
December 2019

JOB NO. -
A19-043

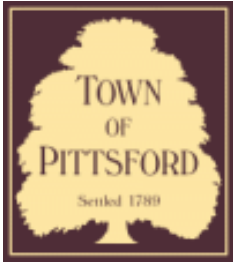
CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
fax: (585) 249-1333
email: CKHennessey@frontier.net

DRAWING NO. -
A-3









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S20-000001

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Royal Sign

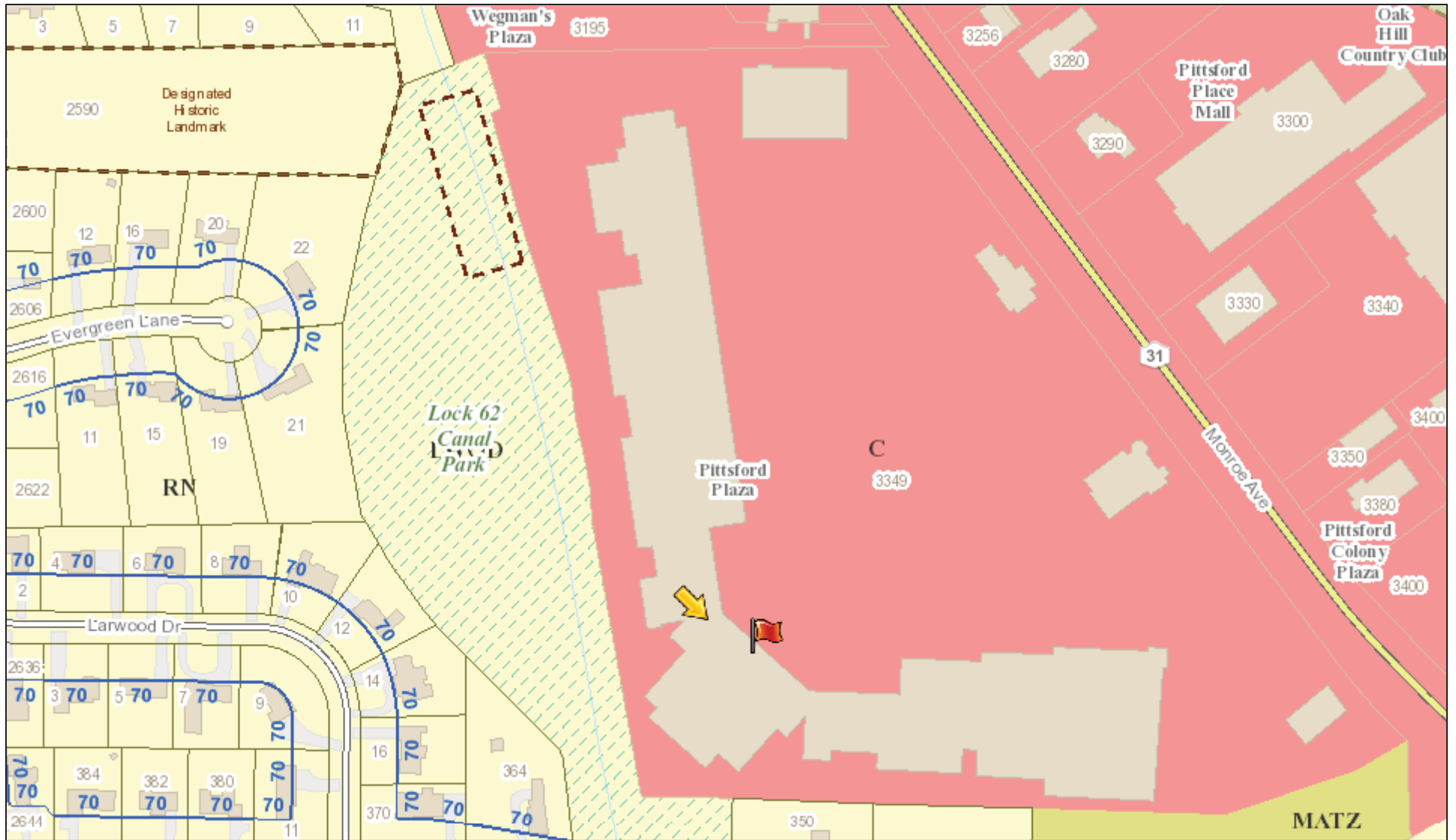
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

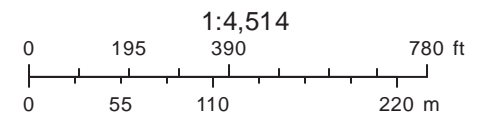
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 12.10 Sq. Ft. and will identify the "Deka Lash" business. The sign will be internally-illuminated pan channel letters with acrylic face in white and magenta.

Meeting Date: January 09, 2020

RN Residential Neighborhood Zoning



Printed January 2, 2020

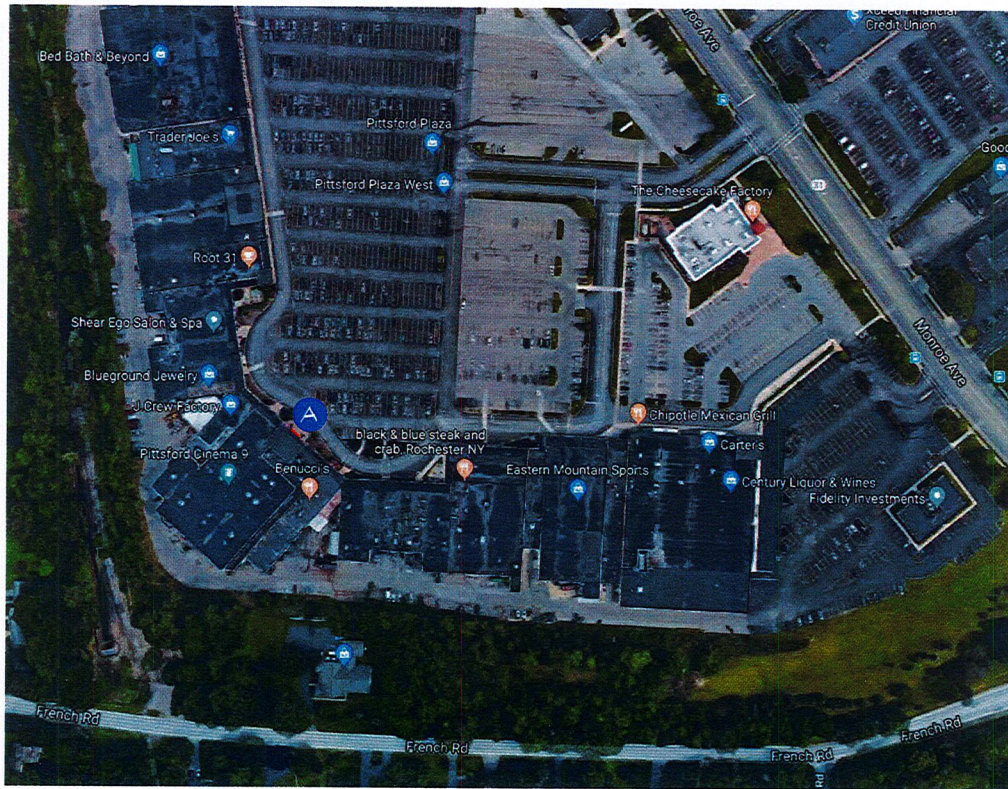


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

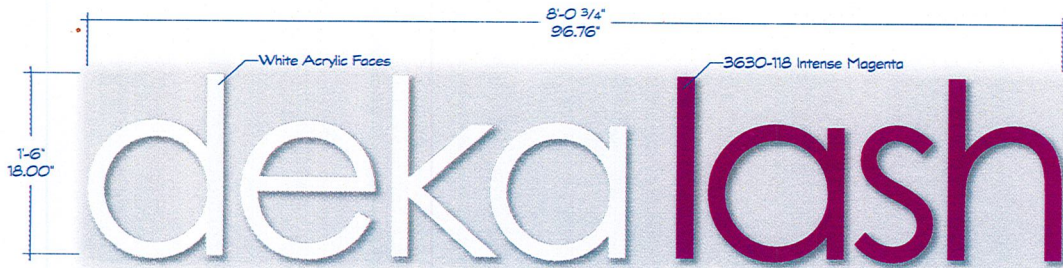
deka lash

3349 Monroe Ave., Suite 27-A | Rochester, NY 14618

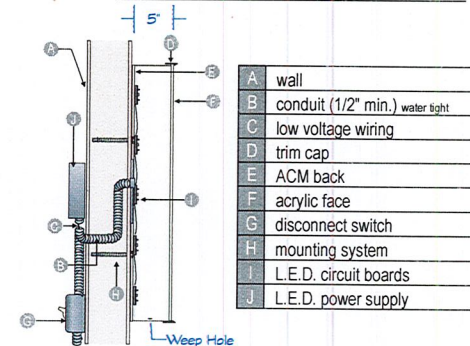


SITE PLAN NTS

Client:	Deka Lash
Location:	3349 Monroe Ave Suite 27-A Rochester, NY 14618
2631 N. 31st Ave. Phoenix, AZ 85009 602-278-6286 royalsign.net	
Project 191681	
▲ 14 NOV 19 RKP	
▲ 25 NOV 19 RKP	
▲ n/a	
▲ n/a	
▲ n/a	
▲ n/a	
▲ n/a	
▲ n/a	
▲ n/a	
Project Manager: Dane Alvord	
Email: dane@royalsign.net	
Approval Signatures	
X Client	
X Landlord	
Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.	
<small>This original unaltered drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from ROYAL SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. ROYAL SIGN COMPANY will do its best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive final drawings on all equipment during the fabrication process, ROYAL SIGN COMPANY must be advised in writing prior to the start of fabrication.</small>	
Sheet Title Site	
Page Number 1 of 2	



PC Letter / LEDs - Cross Section Detail



A	INTERNALLY-ILLUMINATED PAN CHANNEL LETTERS	Scale: 3/4" = 1'-0"	Perimeter 52'	Sign Area 12.10 sf
----------	---	------------------------	------------------	-----------------------

Fabricate and install one (1) set of int-illuminated, aluminum, PC letters w/ 5" deep returns, painted white. White acrylic faces w/ 3/4" white trim cap. Illuminate using white LEDs to remote power supplies (see detail).

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
U.L. LISTED



Client:
Deka Lash

Location:
3349 Monroe Ave
Suite 27-A
Rochester, NY 14618



2631 N. 31st Ave.
Phoenix, AZ 85009
602-278-6286
royalsign.net

Project
191681

- ▲ 14 NOV 19 RKP
- ▲ 25 NOV 19 RKP
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a
- ▲ n/a

Project Manager:
Dane Alvord

E-Mail:
dane@royalsign.net

Approval Signatures

X Client

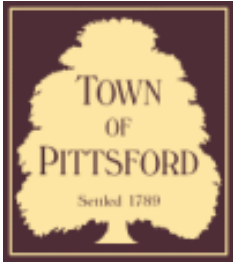
X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from ROYAL SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. ROYAL SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings or if changes during the fabrication process, ROYAL SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Exterior

Page Number
2 of 2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S20-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Excalibur Sign Studio

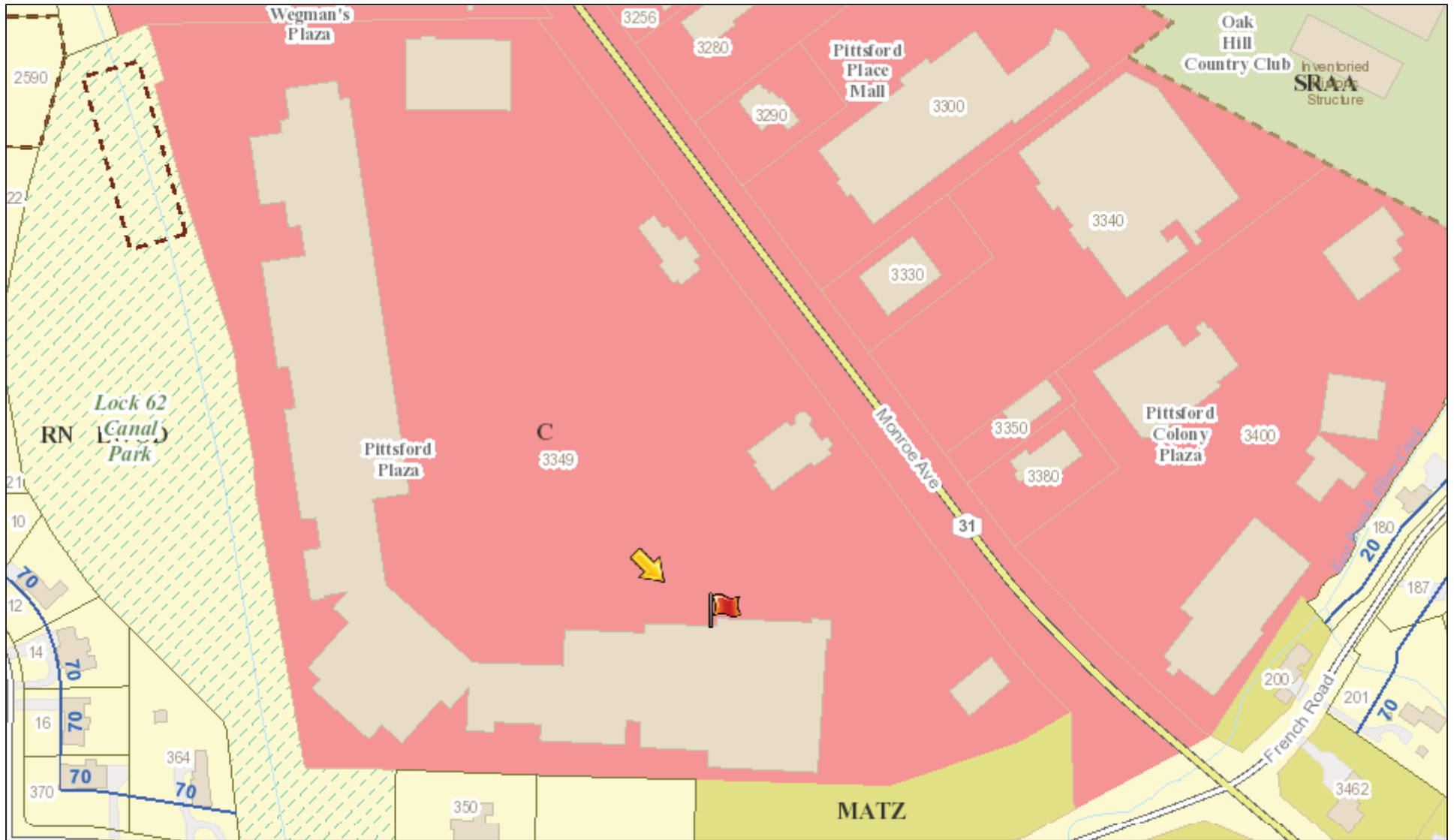
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

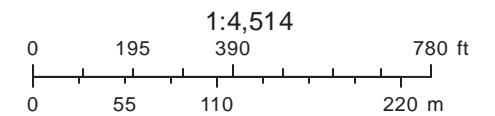
Project Description: Applicant is requesting design review for the addition of a business identification sign. The sign will be approximately 45.41 Sq. Ft. and will identify "Spenga spin, strength and yoga". The sign will be internally-illuminated pan channel letters.

Meeting Date: January 09, 2020

RN Residential Neighborhood Zoning



Printed January 2, 2020



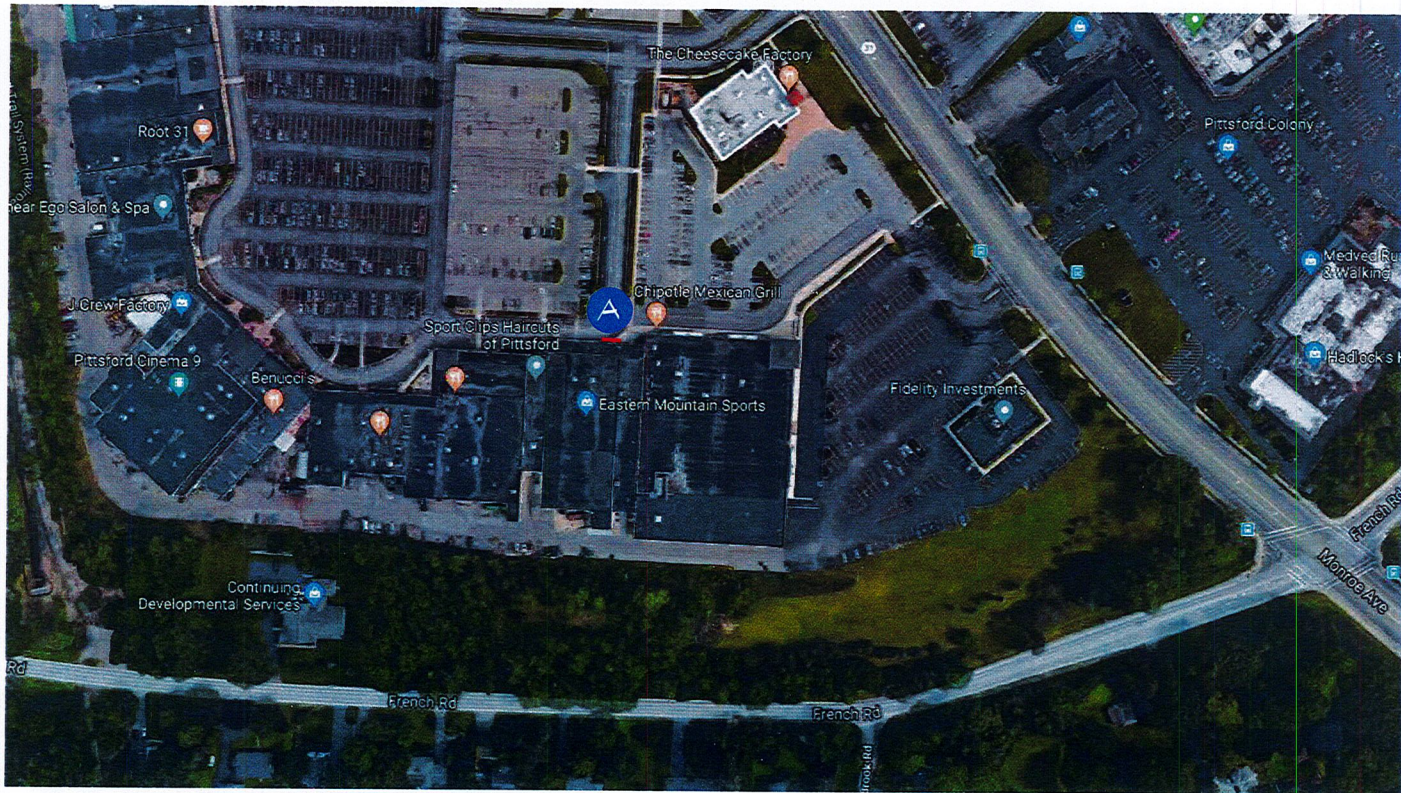
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

SPENGA

spin • strength • yoga

3349 Monroe Ave. | Rochester, NY 14618



SITE PLAN NTS



Client: SPENGA

Location: 3349 Monroe Ave Rochester, NY 14618

royal sign

2631 N. 31st Ave. Phoenix, AZ 85009 602-278-6286 royalsign.net

Project 191799

▲ 02 DEC 19 RKP

▲ n/a

▲ n/a

▲ n/a

▲ n/a

▲ n/a

▲ n/a

▲ n/a

Project Manager: Dane Alvord

Email: dane@royalsign.net

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

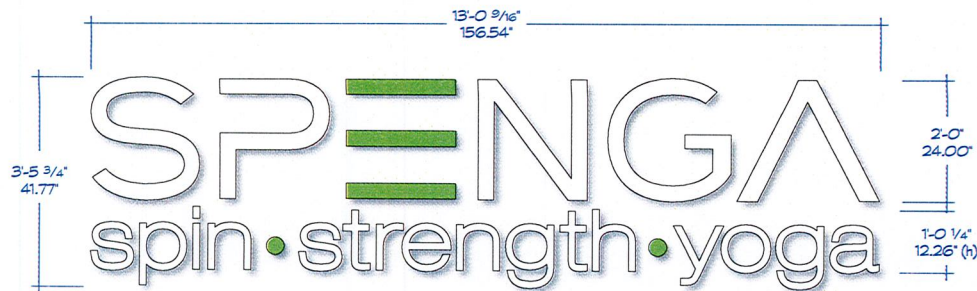
This digital unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to parties outside of your organization without express written authorization from ROYAL SIGN COMPANY. All special orders on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. ROYAL SIGN COMPANY will not be held responsible for maintaining the design intent of these drawings at all times. If the owner or client, interested parties who receive detail drawings on all changes during the fabrication process, ROYAL SIGN COMPANY must be advised in writing prior to the start of fabrication.

Single Title

Cover

Page Number

1 of 2



PERSPECTIVE VIEW

A	INTERNALLY-ILLUMINATED PAN CHANNEL DISPLAY	Scale: 1/2" = 1'-0"	Perimeter 148'	Sign Area 45.41 sf
----------	---	------------------------	-------------------	-----------------------

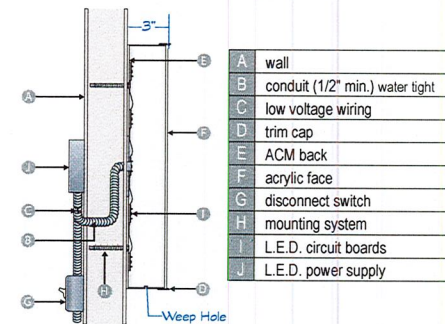
Fabricate and install one (1) set (each) of internally-illuminated, aluminum, pan channel letters:

"SPENGA", "spin", "strength", "yoga" to have 3" deep returns (black); white acrylic faces w/ 3/4" black trim cap.

"E" and "dots" to have 3" deep returns ("SPENGA" green), white acrylic faces w/ "SPENGA" green vinyl overlay w/ 3/4" trim cap to match "SPENGA" green.

Illuminate all using white LEDs to remote power supplies (see detail).

PC Letter / LEDs - Cross Section Detail



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
U.L. LISTED



Client: SPENGA

Location: 3348 Monroe Ave Rochester, NY 14618

royal sign

2631 N. 31st Ave. Phoenix, AZ 85009 602-278-6286 royalsign.net

Project: 191799

02 DEC 19 RKP

n/a

n/a

n/a

n/a

n/a

n/a

n/a

Project Manager: Done Alvord

E-Mail: done@royalsign.net

Approval Signatures

X Client

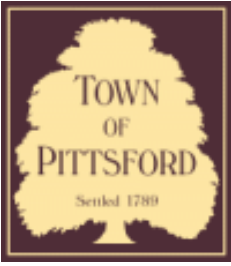
X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from ROYAL SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. ROYAL SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on all changes during the fabrication process, ROYAL SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sign Type: Exterior

Page Number: 2 of 2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C20-000001

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5611 Palmyra Road PITTSFORD, NY 14534

Tax ID Number: 164.12-1-66

Zoning District: RN Residential Neighborhood

Owner: Dr. Marci Pitcher DDS

Applicant: Mossien Associates

Application Type:

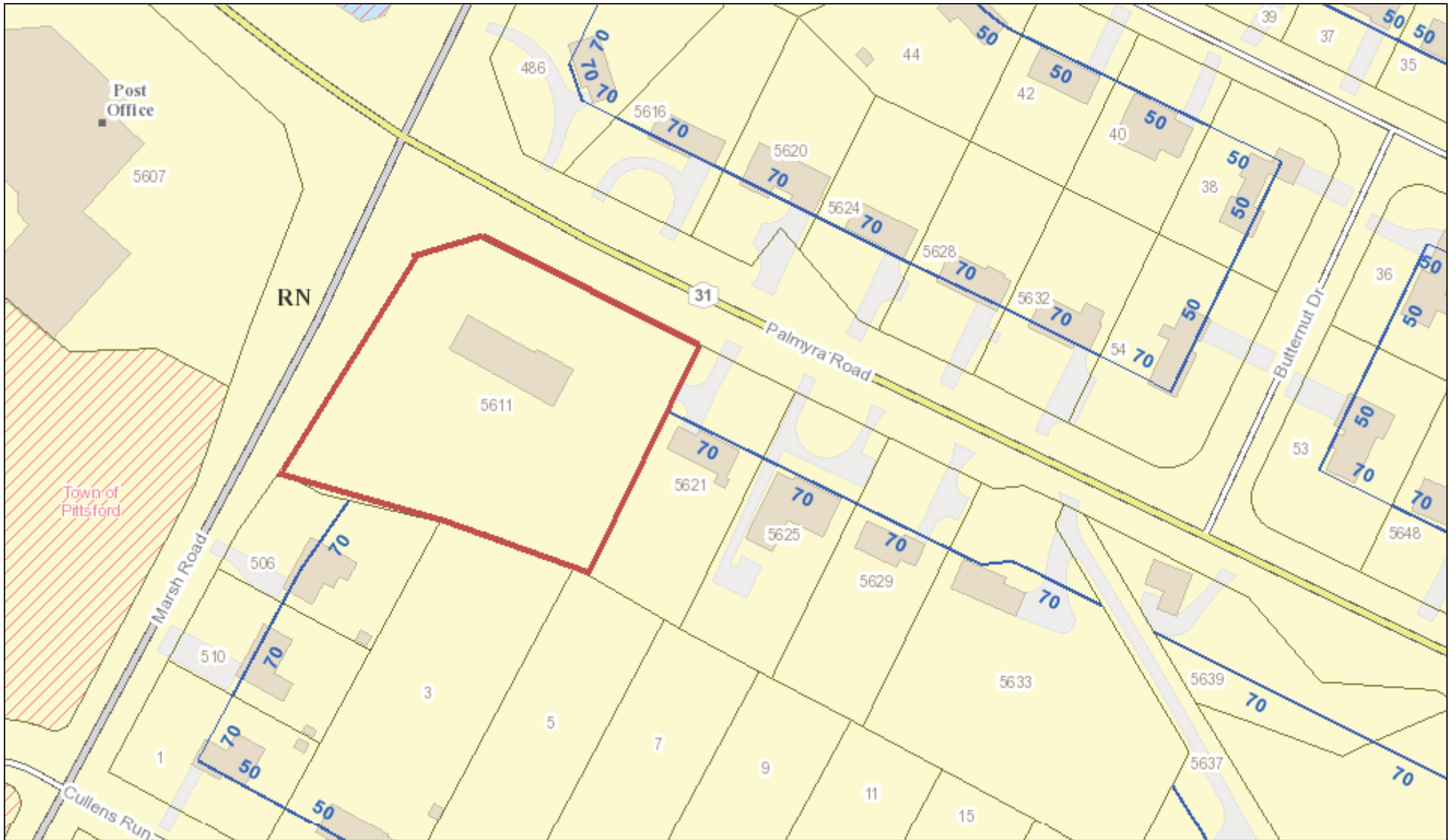
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of a detached garage and exterior renovations. The garage will be approximately 560 Sq. Ft. and will be located to the southeast side of the existing building. The existing building will receive new lap siding, shake siding, new shutters and a new entrance canopy.

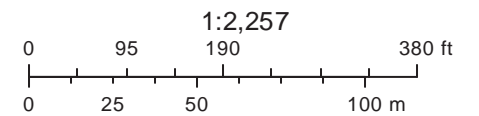
Meeting Date: January 09, 2020



RN Residential Neighborhood Zoning

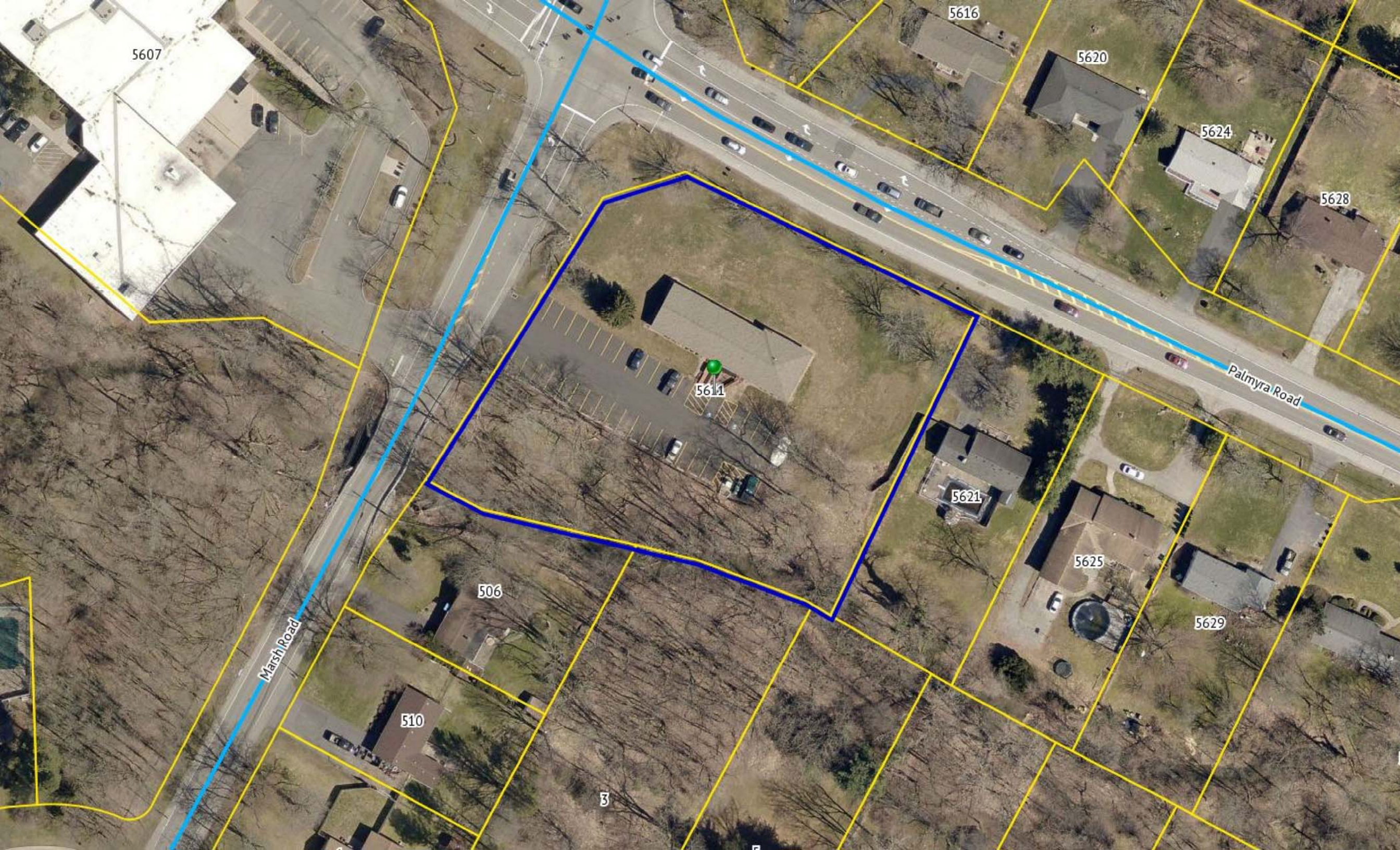


Printed January 2, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



5607

5616

5620

5624

5628

5611

5621

5625

5629

506

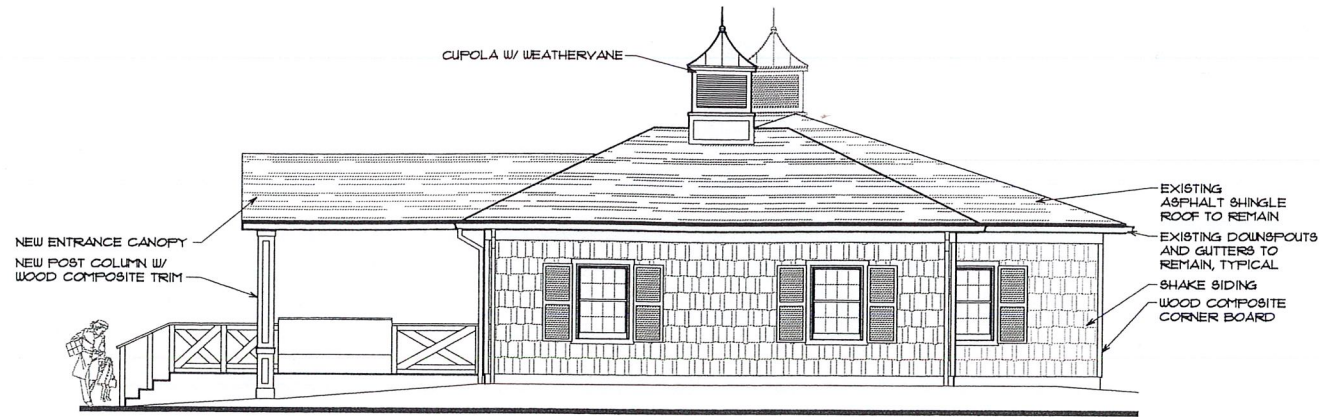
510

Marsh Road

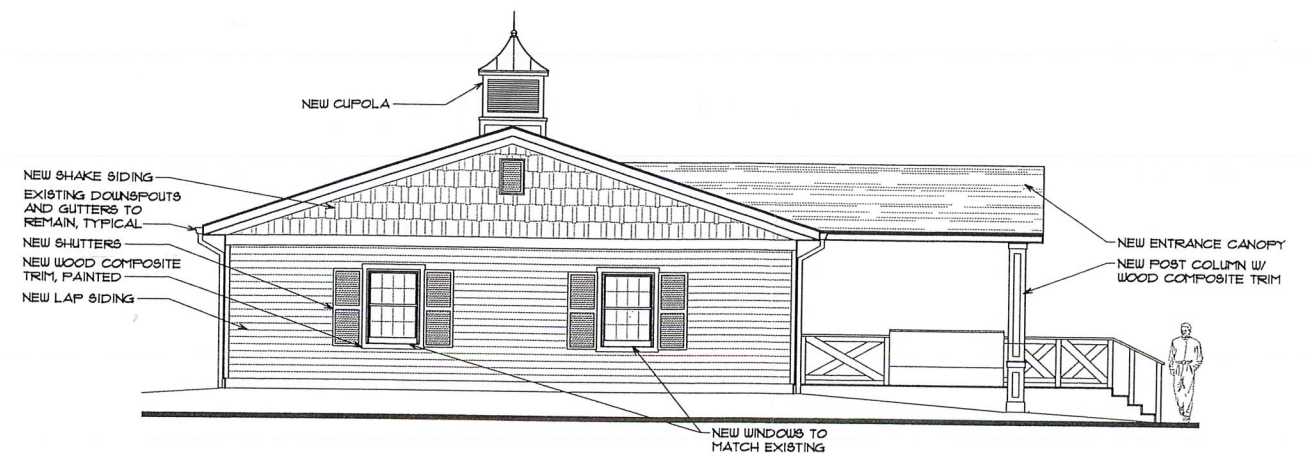
Palmyra Road

3

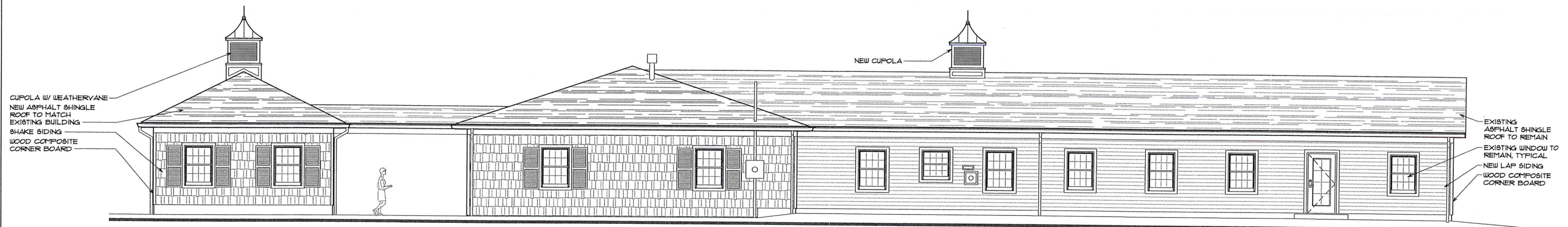
5



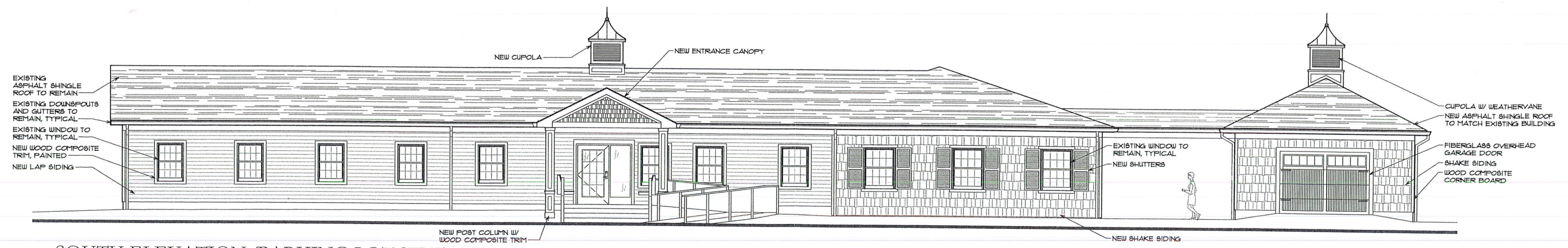
EAST ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION (MARSH ROAD)
SCALE: 3/16" = 1'-0"



NORTH ELEVATION (PITTSFORD-PALMYRA ROAD)
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION (PARKING LOT SIDE)
SCALE: 3/16" = 1'-0"

Project

PROPOSED INTERIOR & EXTERIOR IMPROVEMENTS - 5611 PALMYRA ROAD

PITTSFORD, NEW YORK

NOVEMBER 7, 2019 / 2019-025

Owner

DR. MARCI PITCHER, DDS

Architect

MOSSIEN ASSOCIATES

ARCHITECTS, P.C.

585-262-6900
78 LINDEN OAKS | SUITE 110 | ROCHESTER, NY 14625
WWW.MOSSIEN.COM